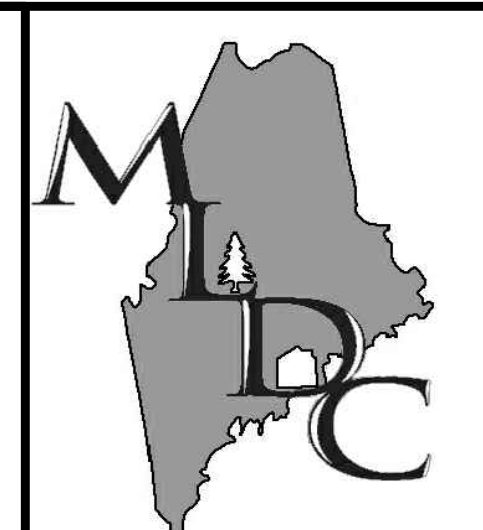


NOTES

1. EXISTING SITE CONDITIONS SURVEYED BY MAIN-LAND ON APRIL 20, 2021 AND OCTOBER 17 & 18, 2017
2. CONTRACTOR SHALL VERIFY SITE CONDITIONS, INCLUDING TEST PITS FOR LOCATIONS AND INVERTS OF UTILITIES, AND REPORT ANY DISCREPANCIES TO MAIN-LAND PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
3. LOCATION OF UNDERGROUND UTILITIES INCLUDING SEWER, WATER AND ELECTRIC UNKNOWN. MAIN-LAND RECOMMENDS THE USE OF DIG SAFE OR OTHER ENTITIES TO MARK ANY UNDERGROUND UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.

LEGEND

- | | |
|--------------------------------------|------------------|
| OU | OVERHEAD UTILITY |
| BOUNDARY LINE (SURVEYED) | |
| CHAIN LINK FENCE | |
| TREELINE (APPROXIMATE) | |
| NEW TREELINE | |
| EXISTING PAVED SURFACE TO REMAIN | |
| EXISTING PAVED SURFACE TO BE REMOVED | |
| EXISTING CONCRETE SURFACE | |
| DECIDUOUS TREE | |
| EXISTING UTILITY POLE | |



MAIN-LAND

DEVELOPMENT
CONSULTANTS, INC.

69 MAIN ST. LIVERMORE FALLS, MAINE
367 US ROUTE 1 FALMOUTH, MAINE
PH: (207) 897-6752 FAX: (207) 897-5404
WWW.MAIN-LANDDC.COM

PROJECT

**HANCOCK LUMBER
EXPANSION**

258 MAIN STREET, TOWN OF
YARMOUTH, COUNTY OF
CUMBERLAND, STATE OF MAINE

OWNER OF RECORD

**L & S LIMITED
LIABILITY COMPANY**

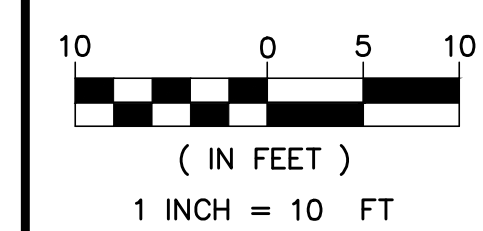
P.O. BOX 299
CASCO, MAINE 049015

MADE FOR

HANCOCK LUMBER

285 MAIN STREET
YARMOUTH, MAINE 04096

DRAWING SCALE:



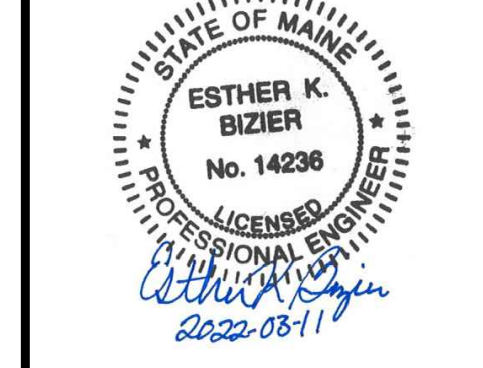
SUBMISSION NOTES:
SUBMISSION 1: 2021-10-28 TLB
SUBMITTED FOR CLIENT REVIEW.
SUBMISSION 2: 2022-03-11 TLB
SUBMITTED FOR REVIEW.

PROJ. MGR: EKB
DRAWN BY: TLB
CHECKED BY: EKB
SUBMISSION NO. 2
SURVEY DATE: 2021-04-20
SUBMISSION DATE: 2022-03-11
SUBMITTED FOR: REVIEW

NOT FOR CONSTRUCTION

**EXISTING
CONDITIONS &
DEMO PLAN**

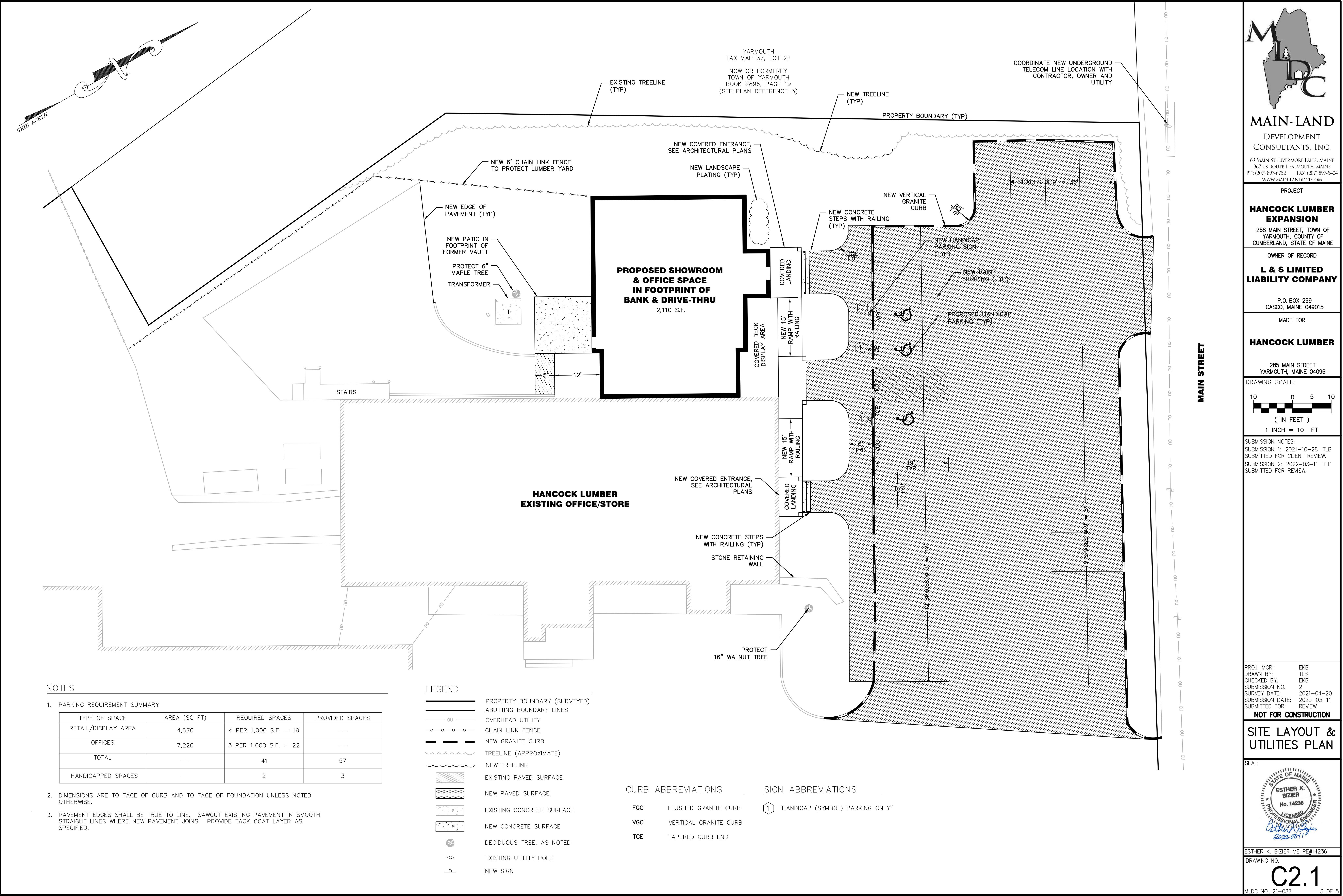
SEAL:



ESTHER K. BIZIER ME PE#14236

DRAWING NO.

C1.1



NOTES

1. PARKING REQUIREMENT SUMMARY

TYPE OF SPACE	AREA (SQ FT)	REQUIRED SPACES	PROVIDED SPACES
RETAIL/DISPLAY AREA	4,670	4 PER 1,000 S.F. = 19	--
OFFICES	7,220	3 PER 1,000 S.F. = 22	--
TOTAL	--	41	57
HANDICAPPED SPACES	--	2	3

2. DIMENSIONS ARE TO FACE OF CURB AND TO FACE OF FOUNDATION UNLESS NOTED OTHERWISE.

3. PAVEMENT EDGES SHALL BE TRUE TO LINE. SAWCUT EXISTING PAVEMENT IN SMOOTH STRAIGHT LINES WHERE NEW PAVEMENT JOINS. PROVIDE TACK COAT LAYER AS SPECIFIED.

LEGEND

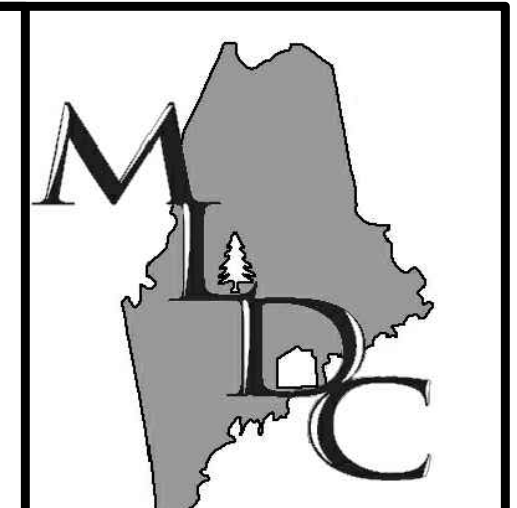
- PROPERTY BOUNDARY (SURVEYED)
- ABUTTING BOUNDARY LINES
- OVERHEAD UTILITY
- CHAIN LINK FENCE
- NEW GRANITE CURB
- TREELINE (APPROXIMATE)
- NEW TREELINE
- EXISTING PAVED SURFACE
- NEW PAVED SURFACE
- EXISTING CONCRETE SURFACE
- NEW CONCRETE SURFACE
- DECIDUOUS TREE, AS NOTED
- EXISTING UTILITY POLE
- NEW SIGN

CURB ABBREVIATIONS

- FGC FLUSHED GRANITE CURB
- VGC VERTICAL GRANITE CURB
- TCE TAPERED CURB END

SIGN ABBREVIATIONS

- "HANDICAP (SYMBOL) PARKING ONLY"



MAIN-LAND
DEVELOPMENT
CONSULTANTS, INC.

69 MAIN ST. LIVERMORE FALLS, MAINE
367 US ROUTE 1 FALMOUTH, MAINE
PH: (207) 897-6752 FAX: (207) 897-5404
WWW.MAIN-LANDDC.COM

PROJECT

**HANCOCK LUMBER
EXPANSION**

258 MAIN STREET, TOWN OF
YARMOUTH, COUNTY OF
CUMBERLAND, STATE OF MAINE

OWNER OF RECORD

**L & S LIMITED
LIABILITY COMPANY**

P.O. BOX 299
CASCO, MAINE 049015

MADE FOR

HANCOCK LUMBER

285 MAIN STREET
YARMOUTH, MAINE 04096

DRAWING SCALE:

10 0 5 10
(IN FEET)
1 INCH = 10 FT

SUBMISSION NOTES:
SUBMISSION 1: 2021-10-28 TLB
SUBMITTED FOR CLIENT REVIEW.
SUBMISSION 2: 2022-03-11 TLB
SUBMITTED FOR REVIEW.

PROJ. MGR: EKB
DRAWN BY: TLB
CHECKED BY: EKB
SUBMISSION NO. 2
SURVEY DATE: 2021-04-20
SUBMISSION DATE: 2022-03-11
SUBMITTED FOR: REVIEW

NOT FOR CONSTRUCTION

**SITE LAYOUT &
UTILITIES PLAN**

SEAL:

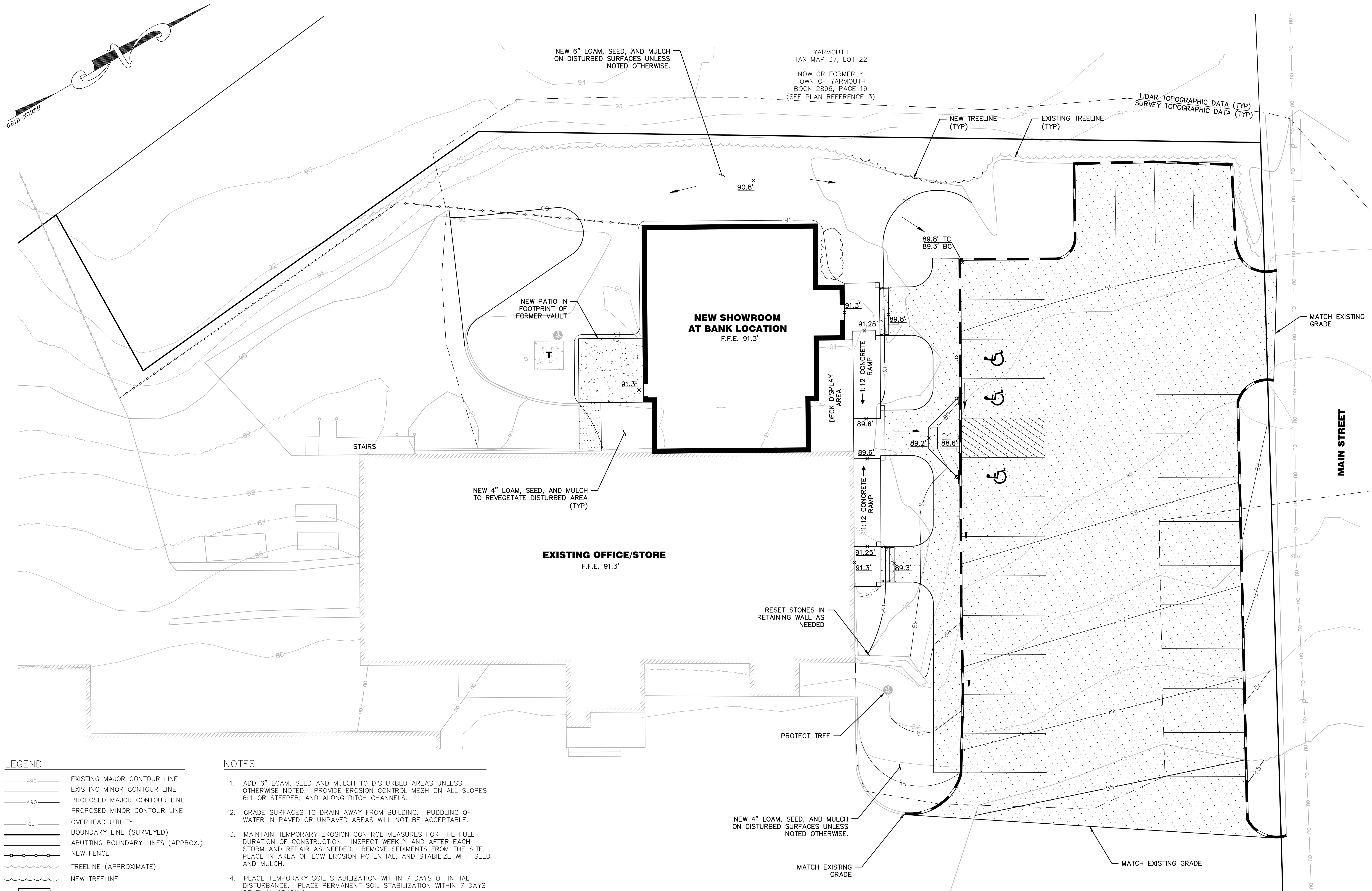
STATE OF MAINE
ESTHER K. BIZIER
No. 14236
LICENSED PROFESSIONAL ENGINEER
2022-03-11

ESTHER K. BIZIER ME PE#14236

DRAWING NO.

C2.1

MLDC NO. 21-087 3 OF 5

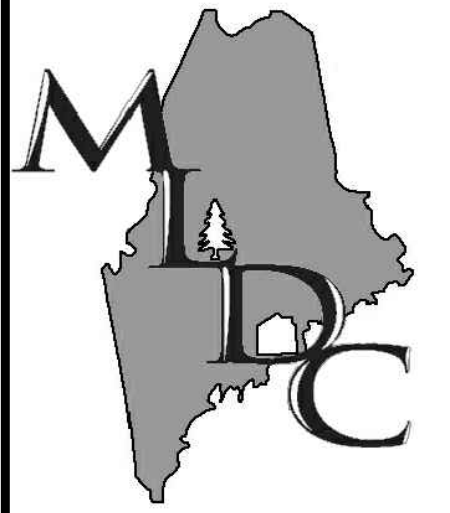


LEGEND

- EXISTING MAJOR CONTOUR LINE
- EXISTING MINOR CONTOUR LINE
- PROPOSED MAJOR CONTOUR LINE
- PROPOSED MINOR CONTOUR LINE
- OVERHEAD UTILITY
- BOUNDARY LINE (SURVEYED)
- ABUTTING BOUNDARY LINES (APPROX.)
- NEW FENCE
- TREELINE (APPROXIMATE)
- NEW TREELINE
- NEW PAVED SURFACE
- EXISTING CONCRETE SURFACE
- NEW CONCRETE SURFACE
- DECIDUOUS TREE
- EXISTING UTILITY POLE
- FLOW DIRECTION ARROW
- SPOT GRADE

NOTES

- ADD 6" LOAM, SEED AND MULCH TO DISTURBED AREAS UNLESS OTHERWISE NOTED. PROVIDE EROSION CONTROL MESH ON ALL SLOPES 6:1 OR STEEPER, AND ALONG DITCH CHANNELS.
- GRADE SURFACES TO DRAIN AWAY FROM BUILDING. PUDDLING OF WATER IN PAVED OR UNPAVED AREAS WILL NOT BE ACCEPTABLE.
- MAINTAIN TEMPORARY EROSION CONTROL MEASURES FOR THE FULL DURATION OF CONSTRUCTION. INSPECT WEEKLY AND AFTER EACH STORM AND REPAIR AS NEEDED. REMOVE SEDIMENTS FROM THE SITE, PLACE IN AREA OF LOW EROSION POTENTIAL, AND STABILIZE WITH SEED AND MULCH.
- PLACE TEMPORARY SOIL STABILIZATION WITHIN 7 DAYS OF INITIAL DISTURBANCE. PLACE PERMANENT SOIL STABILIZATION WITHIN 7 DAYS OF FINAL GRADING.
- FIRST FLOOR ELEVATION (FFE) BASED ON A TOPOGRAPHIC SURVEY BY MAIN-LAND AND IS BASED ON LOCATION OF FIRST FLOOR AT ENTRY POINTS.
- CONTOURS SHOWN ARE A BLEND OF A TOPOGRAPHIC SURVEY COMPLETED BY MAIN-LAND AND DEVELOPMENT CONSULTANTS, INC. ON APRIL 20, 2021 AND STATE OF MAINE LIDAR DATA WITH A CONTOUR INTERVAL OF 1-FOOT. THE VERTICAL DATUM IS NAVD88 AND BASED ON GPS OBSERVATIONS PROCESSED WITH OPUS NEAR THE SURVEYED PARCEL.



MAIN-LAND

DEVELOPMENT
CONSULTANTS, INC.

69 MAIN ST. LIVERMORE FALLS, MAINE
367 US ROUTE 1 FALMOUTH, MAINE
PH: (207) 897-6752 FAX: (207) 897-5404
WWW.MAIN-LANDDC.COM

PROJECT

**HANCOCK LUMBER
EXPANSION**

258 MAIN STREET, TOWN OF
YARMOUTH, COUNTY OF
CUMBERLAND, STATE OF MAINE

OWNER OF RECORD

**L & S LIMITED
LIABILITY COMPANY**

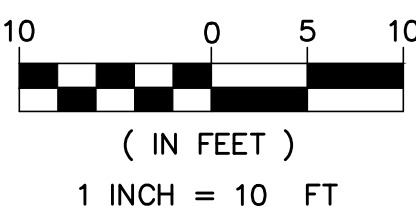
P.O. BOX 299
CASCO, MAINE 049015

MADE FOR

HANCOCK LUMBER

285 MAIN STREET
YARMOUTH, MAINE 04096

DRAWING SCALE:



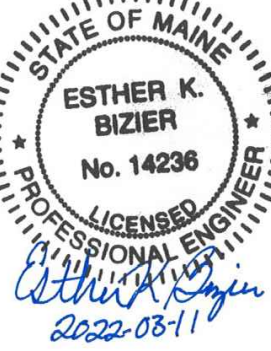
SUBMISSION NOTES:
SUBMISSION 1: 2021-10-28 TLB
SUBMITTED FOR CLIENT REVIEW.
SUBMISSION 2: 2022-01-06 TLB
SUBMITTED FOR CLIENT REVIEW.
SUBMISSION 3: 2022-03-11 TLB
SUBMITTED FOR REVIEW.

PROJ. MGR: EKB
DRAWN BY: TLB
CHECKED BY: EKB
SUBMISSION NO. 3
SURVEY DATE: 2021-04-20
SUBMISSION DATE: 2022-03-11
SUBMITTED FOR: REVIEW

NOT FOR CONSTRUCTION

**GRADING &
EROSION
CONTROL PLAN**

SEAL:



ESTHER K. BIZIER ME PE#14236

DRAWING NO.

C3.1

MLDC NO. 21-087 4 OF 5

1. TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN ON THIS DRAWING PERFORMED AND SUPPLIED BY MAIN-LAND DEVELOPMENT CONSULTANTS, INC (MAIN-LAND).
2. CONTRACTOR SHALL VERIFY SITE CONDITIONS, INCLUDING TEST PITS FOR LOCATIONS AND INVERTS OF UTILITIES, AND REPORT ANY DISCREPANCIES TO MAIN-LAND PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
3. PRIOR TO REMOVAL OF UTILITIES, VERIFY UTILITY FUNCTION, MATERIAL, USE, AND CURRENT ACTIVITY. REPORT DISCREPANCIES TO MAIN-LAND FOR DIRECTION PRIOR TO COMMENCING THE WORK ON THAT UTILITY.
4. SOME EXISTING PIPES COULD BE ASBESTOS CEMENT PIPE. HANDLE AND DISPOSE OF ASBESTOS MATERIALS WITH CARE AND IN ACCORDANCE WITH APPLICABLE CODES AND SAFETY STANDARDS.
5. EXCAVATE AND STOCKPILE TOPSOIL ON-SITE. TOPSOIL IS TO REMAIN THE PROPERTY OF THE OWNER. NO TOPSOIL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. EXCESS TOPSOIL WILL BE REMOVED FROM THE SITE BY THE OWNER. THE CONTRACTOR SHALL COORDINATE THE TOPSOIL REMOVAL SCHEDULE WITH THE OWNER IN ADVANCE.

- L1. DIMENSIONS ARE TO FACE OF CURB AND TO FACE OF FOUNDATION UNLESS NOTED OTHERWISE.
- L2. PAVEMENT EDGES SHALL BE TRUE TO LINE. SAWCUT EXISTING PAVEMENT IN SMOOTH STRAIGHT LINES WHERE NEW PAVEMENT JOINS. PROVIDE TACK COAT LAYER AS SPECIFIED.
- L3. CONTRACTOR SHALL VERIFY SITE CONDITIONS, INCLUDING TEST PITS FOR LOCATIONS AND INVERTS OF UTILITIES.
- L4. PROVIDE TRAFFIC CONTROL SIGNAGE AND STRIPING AS SHOWN AND IN ACCORDANCE WITH U.S.D.O.T. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

- G1. ADD 6" LOAM, SEED AND MULCH TO DISTURBED AREAS UNLESS OTHERWISE NOTED. PROVIDE EROSION CONTROL MESH ON ALL SLOPES 6:1 OR STEEPER, AND ALONG DITCH CHANNELS.
- G2. GRADE SURFACES TO DRAIN AWAY FROM BUILDING. PUDDLING OF WATER IN PAVED OR UNPAVED AREAS WILL NOT BE ACCEPTABLE.
- G3. MAINTAIN TEMPORARY EROSION CONTROL MEASURES FOR THE FULL DURATION OF CONSTRUCTION. INSPECT WEEKLY AND AFTER EACH STORM AND REPAIR AS NEEDED. REMOVE SEDIMENTS FROM THE SITE, PLACE IN AREA OF LOW EROSION POTENTIAL, AND STABILIZE WITH SEED AND MULCH.
- G4. PLACE TEMPORARY SOIL STABILIZATION WITHIN 7 DAYS OF INITIAL DISTURBANCE. PLACE PERMANENT SOIL STABILIZATION WITHIN 7 DAYS OF FINAL GRADING.

- 4.1. THE ACCURACY AND COMPLETENESS OF SUBSURFACE INFORMATION IS NOT GUARANTEED. VERIFY SITE CONDITIONS INCLUDING TEST PITS FOR LOCATIONS AND INVERTS OF UTILITIES AND REPORT ANY DISCREPANCIES TO MAIN—LAND PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
- 4.2. PROVIDE AT LEAST 5' OF SOIL COVER OVER WATER LINES AND SEWER FORCE MAIN. WHERE VERTICAL SEPARATION CANNOT BE OBTAINED, BETWEEN WATER AND SEWER, THE SEWER SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS—OF—CONSTRUCTION AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
- 4.3. PROVIDE 4 FOOT WIDE LAYER OF 2-INCH THICK RIGID FOAM INSULATION ON BEDDING MATERIAL 6-INCHES ABOVE OR BELOW SEWER PIPE OR WATER PIPE, WHERE IT CROSSES A STORM DRAIN PIPE WITH LESS THAN 4 FEET OF SEPARATION.
- 4.4. CLEAN SEDIMENTS FROM NEW AND EXISTING STORM DRAIN PIPES AND CATCH BASINS.
- 4.5. COORDINATE WORK ON UTILITY LINES OR WITHIN ROAD RIGHT—OF—WAY WITH THE UTILITY COMPANIES AND CITY ROAD DEPARTMENT.
- 4.6. SLOPE CONDUITS AWAY FROM BUILDING TO HANDHOLE OR UTILITY POLE TO AVOID GROUNDWATER SEEPAGE INTO BUILDING.

NOT TO SCALE

STORM SEWER GRATE

REINFORCED CORNERS

MANAGEABLE 2 FOOT CONTAINMENT AREA

LIFT STRAPS

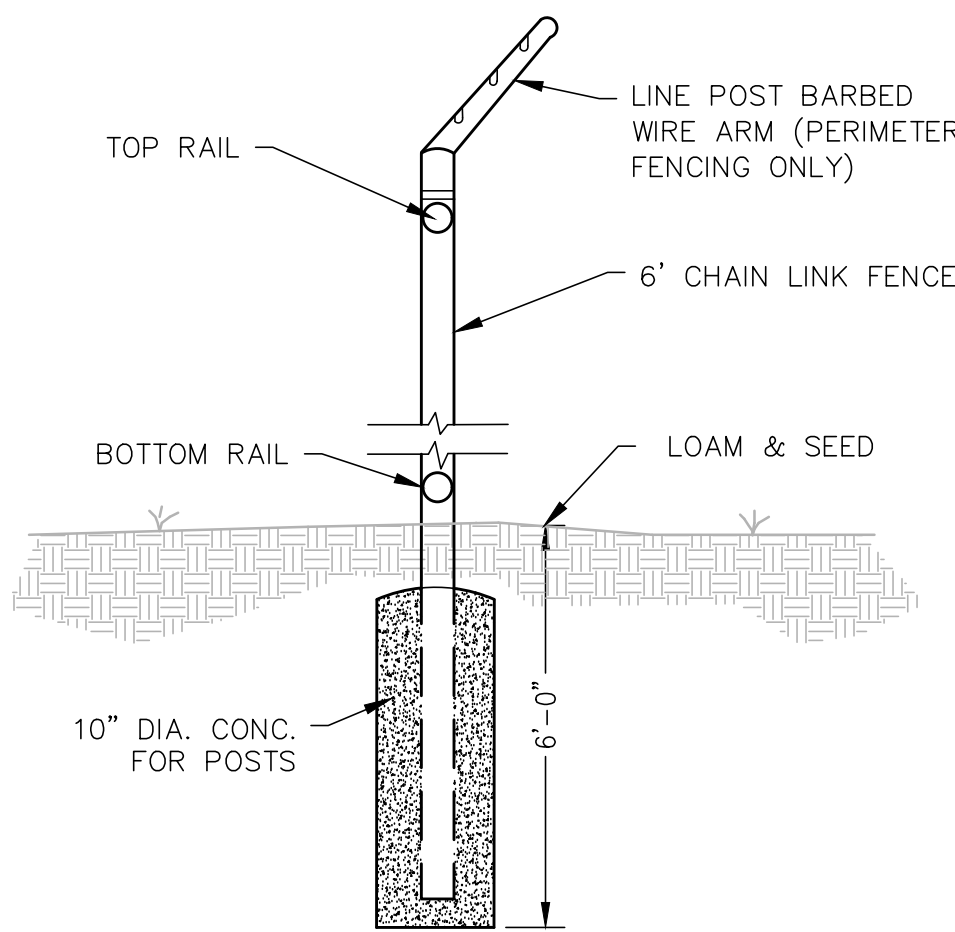
OVERFLOW PORTS

DUMPING STRAPS

STORM INLET

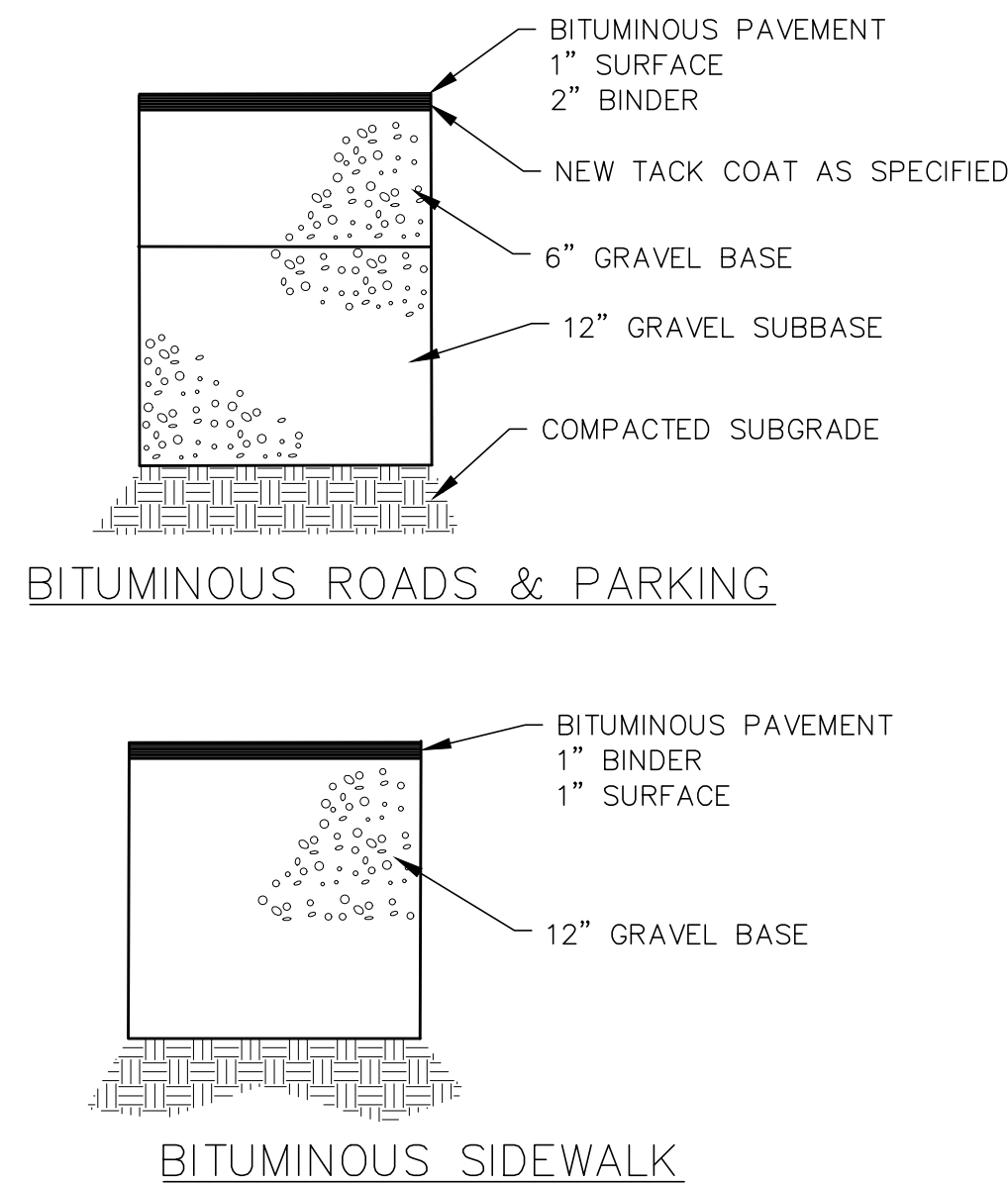
NOT TO SCALE

C3

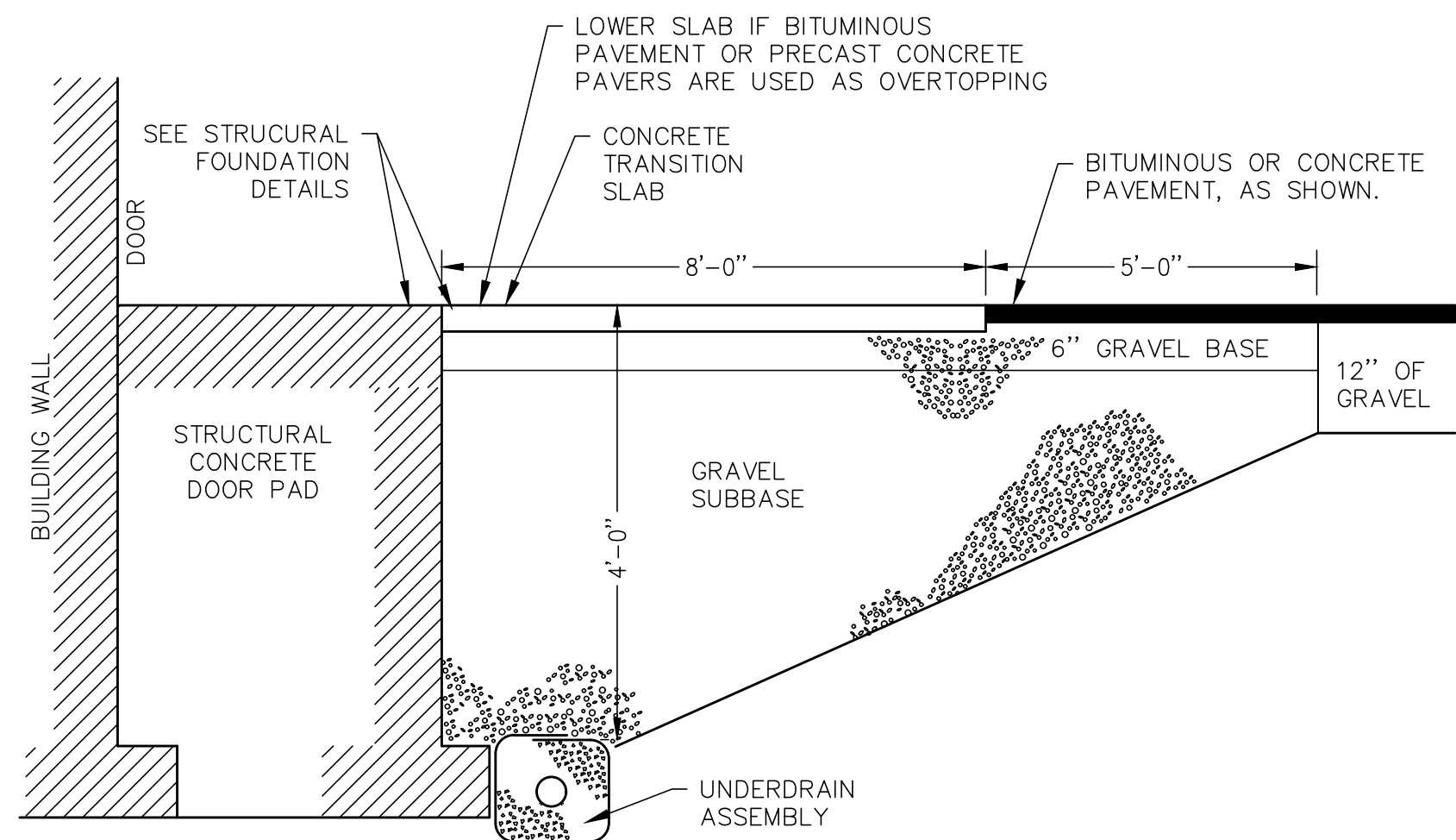


NOT TO SCALE

B3

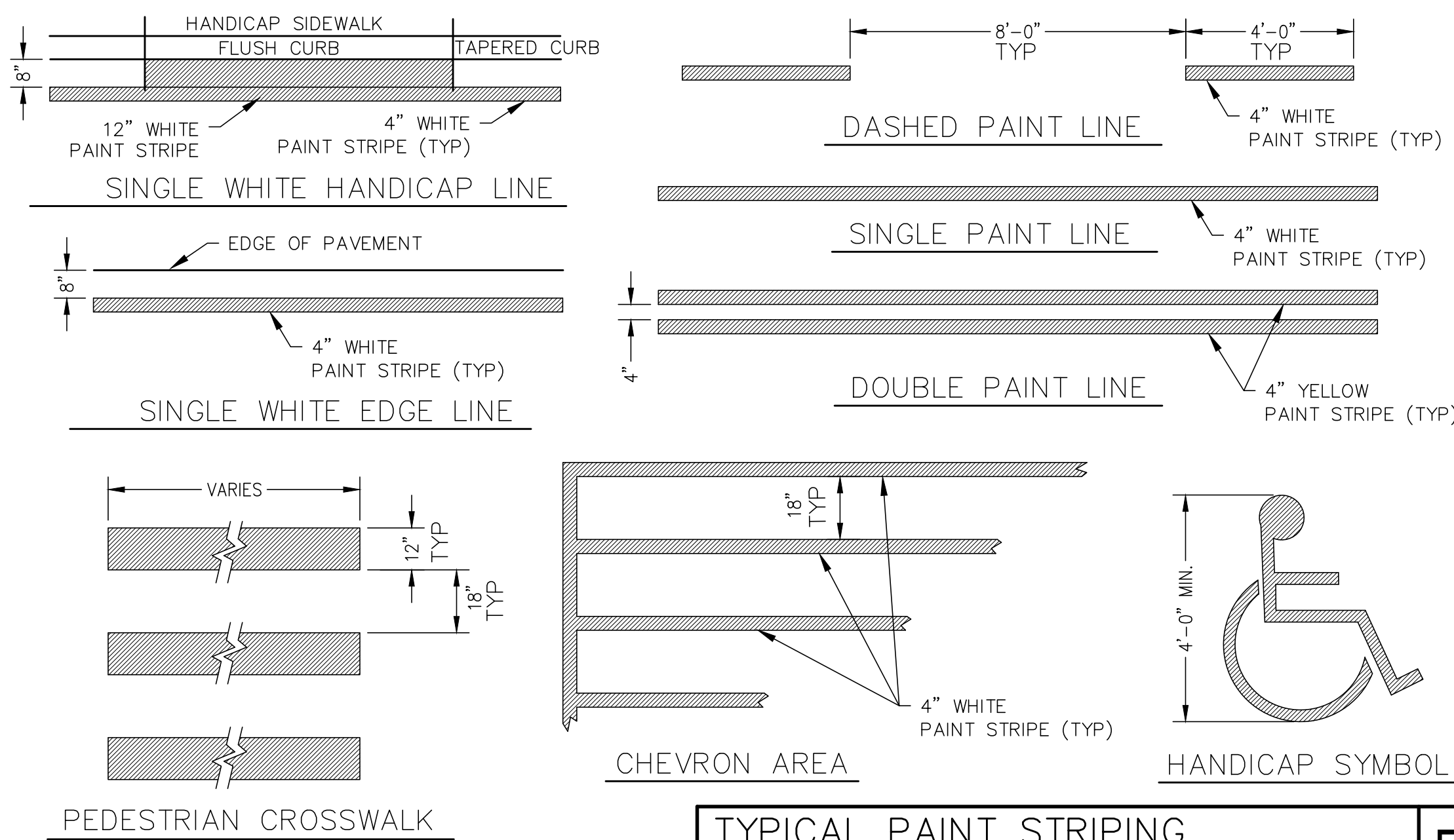


NOT TO SCALE



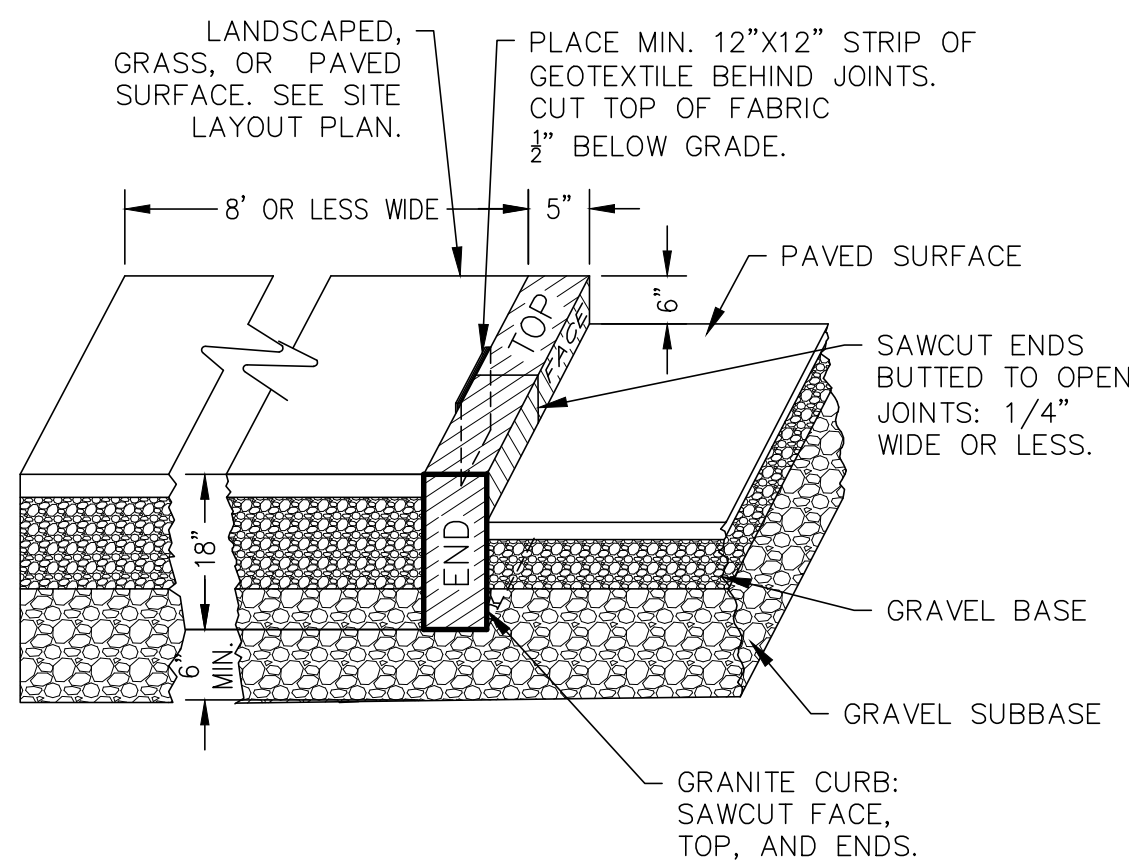
NOT TO SCALE

C1



NOT TO SCALE

B1



NOTE

1. USE CURVED SECTIONS FOR CURB RADIUS OF 40' OR LESS.
2. SEE SPECIFICATIONS SECTION 2500 FOR FURTHER INFORMATION.

NOT TO SCALE

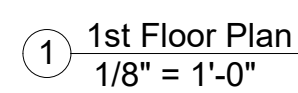
A1

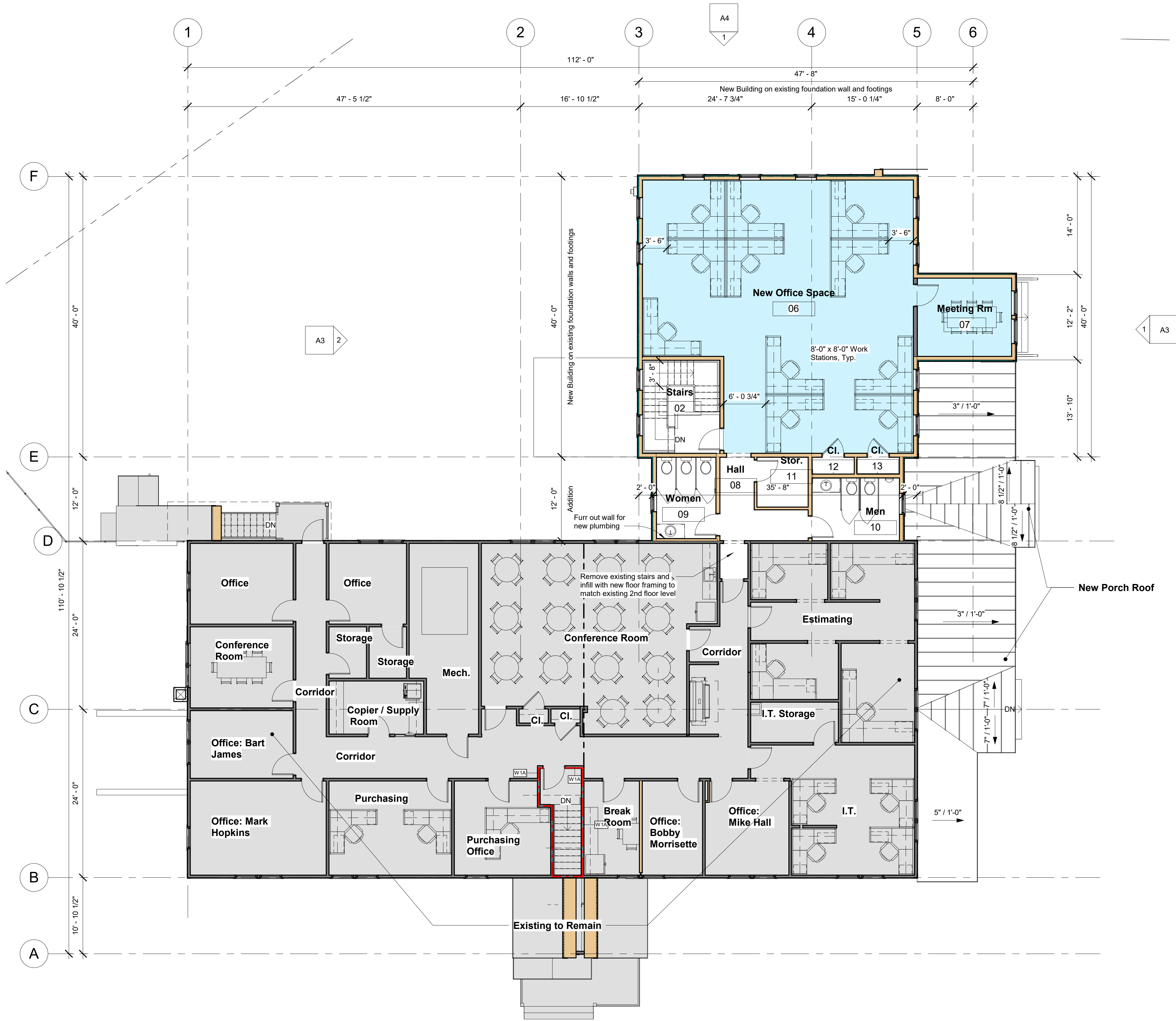


001

UDC NO. 21.

MLDC NO. 21-087 5 OF 5

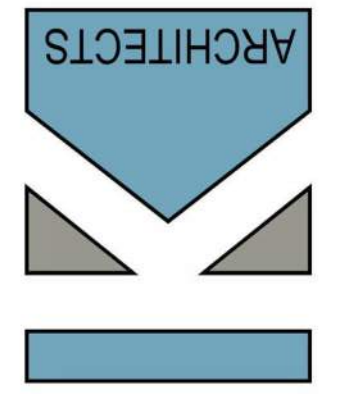




1 2nd Floor
1/8" = 1'-0"

Progress Drawings

KW Architects
Kristi Kenney, RA
PO Box 404
Wells, Maine 04090
(207) 332-9199



Hancock Lumber Retail Operations Center

Yarmouth, Maine

REVISIONS		
#	Date	Description

Date:	03/09/22
Project #	200918
Drawn By:	AEP
Checked By:	KK
Drawing Scale	1/8" = 1'-0"

SHEET TITLE
2nd Floor Plan

A2

© COPYRIGHT 2022
Reproduction or Release of this Document Without
Written Permission of KW Architects is Prohibited



Exterior Detail Key

- 01 Asphalt Roof Shingles, Typ. - Verify color with Owner
- 02 1 x 4 / 1 x 8 Fascia Trim, Typ.
- 03 Horizontal Clapboard Siding, Typ. - 8" Maximum to weather per Town Design Requirements
- 04 1 x 8 Corner Boards, Typ.
- 05 Wood Panel w/ 1 x Trim, painted
- 06 Mechanical Louver @ Attic
- 07 Electrical Meter
- 08 Existing Transformer to Remain
- 09 Typ. Structural Column built out w/ 1x Trim, painted
- 10 Metal Roofing, Typ. - Verify color with Owner
- 11 Decorative Bracket, Typ.
- 12 Gooseneck Light Fixture

Town of Yarmouth Architectural Standards Requirements:

Foundation walls shall be exposed a minimum of 6 inches and a maximum of 36 inches above grade.

Posts shall be painted or opaque stained wood or painted synthetic or authentic wood no less than 6 x 6 inches.

Surface-applied waterproofing shall not be visible.

Exterior trim shall be indistinguishable from wood when painted. Trim shall be pine graded better than number 2, fiber-reinforced cementitious trim, or PVCBD-based products.

All exposed wood, except cedar shake shingles, shall be painted or opaque stained.

Flashing shall be galvanized metal or copper.

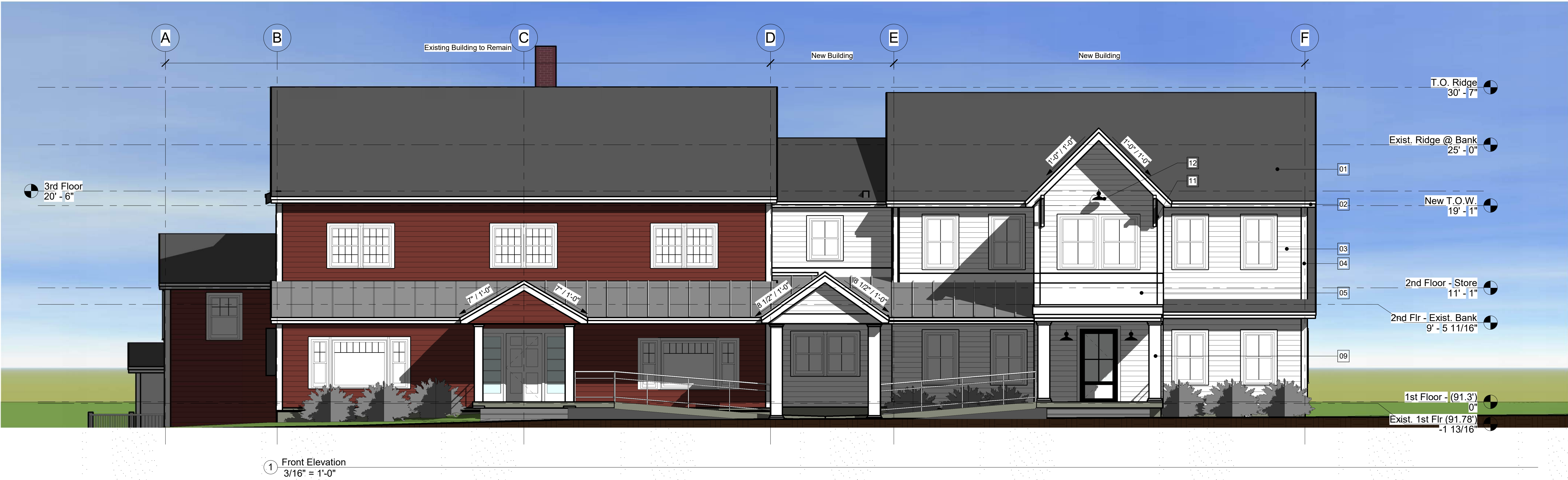
Roof penetrations, other than chimneys, shall be placed so as not to be visible from streets or paths to the extent practicable, and shall be black or match the color of the roof except those made of metal which may be left natural. Natural roof ventilation using linear soffit vents, ridge vents and dormer vents is required.

Gutters, downspouts and projecting drain pipes shall be made of galvanized steel, wood, or painted aluminum to match the fascia or wall material, or raw copper.

Gutters shall be square, half-round or ogee in profile.

Downspouts shall be arranged as an integral part of the Facade composition, and shall generally be placed at the corners of the Building least visible from Frontages.

Utility vents shall not be located on primary Façades.



Progress Drawings

Hancock Lumber Retail
Operations Center
Yarmouth, Maine

KW Architects
Kristi Kenney, RA
PO Box 404
Wells, Maine 04090
(207) 332-9199

REVISIONS		
#	Date	Description

Date:	03/09/22
Project #:	200918
Drawn By:	AEP
Checked By:	KK
Drawing Scale:	As indicated

SHEET TITLE
Building Elevations

A3
© COPYRIGHT 2022 Reproduction or Release of this Document Without Written Permission of KW Architects is Prohibited



① Right Elevation
3/16" = 1'-0"

Exterior Detail Key

- 01 Asphalt Roof Shingles, Typ. - Verify color with Owner
- 02 1 x 4 / 1 x 8 Fascia Trim, Typ.
- 03 Horizontal Clapboard Siding, Typ. - 8" Maximum to weather per Town Design Requirements
- 04 1 x 8 Corner Boards, Typ.
- 05 Wood Panel w/ 1 x Trim, painted
- 06 Mechanical Louver @ Attic
- 07 Electrical Meter
- 08 Existing Transformer to Remain
- 09 Typ. Structural Column built out w/ 1x Trim, painted
- 10 Metal Roofing, Typ. - Verify color with Owner
- 11 Decorative Bracket, Typ.
- 12 Gooseneck Light Fixture

Town of Yarmouth Architectural Standards Requirements:

Foundation walls shall be exposed a minimum of 6 inches and a maximum of 36 inches above grade.

Posts shall be painted or opaque stained wood or painted synthetic or authentic wood no less than 6 x 6 inches.

Surface-applied waterproofing shall not be visible.

Exterior trim shall be indistinguishable from wood when painted. Trim shall be pine graded better than number 2, fiber-reinforced cementitious trim, or PVCBD-based products.

All exposed wood, except cedar shake shingles, shall be painted or opaque stained.

Flashing shall be galvanized metal or copper.

Roof penetrations, other than chimneys, shall be placed so as not to be visible from streets or paths to the extent practicable, and shall be black or match the color of the roof except those made of metal which may be left natural. Natural roof ventilation using linear soffit vents, ridge vents and dormer vents is required.

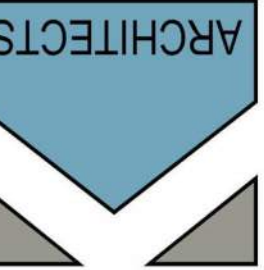
Gutters, downspouts and projecting drain pipes shall be made of galvanized steel, wood, or painted aluminum to match the fascia or wall material, or raw copper.

Gutters shall be square, half-round or ogee in profile.

Downspouts shall be arranged as an integral part of the Façade composition, and shall generally be placed at the corners of the Building least visible from Frontages.

Utility vents shall not be located on primary Façades.

KW Architects
Kristi Kenney, RA
PO Box 404
Wells, Maine 04090
(207) 332-9199



Hancock Lumber Retail Operations Center

Yarmouth, Maine

REVISIONS

#	Date	Description

Date:	03/09/22
Project #:	200918
Drawn By:	AEP
Checked By:	KK
Drawing Scale:	As indicated

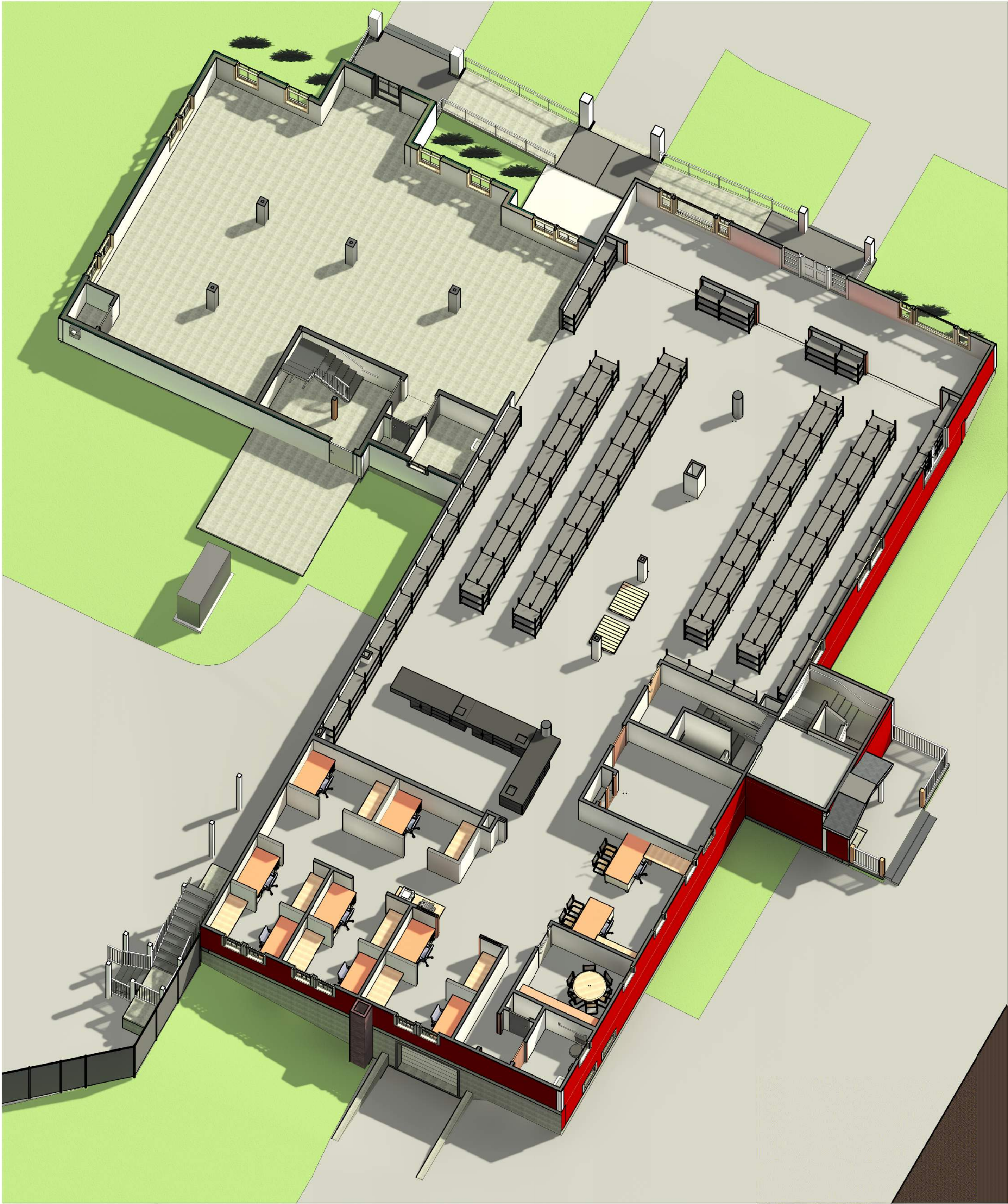
SHEET TITLE

Building Elevation

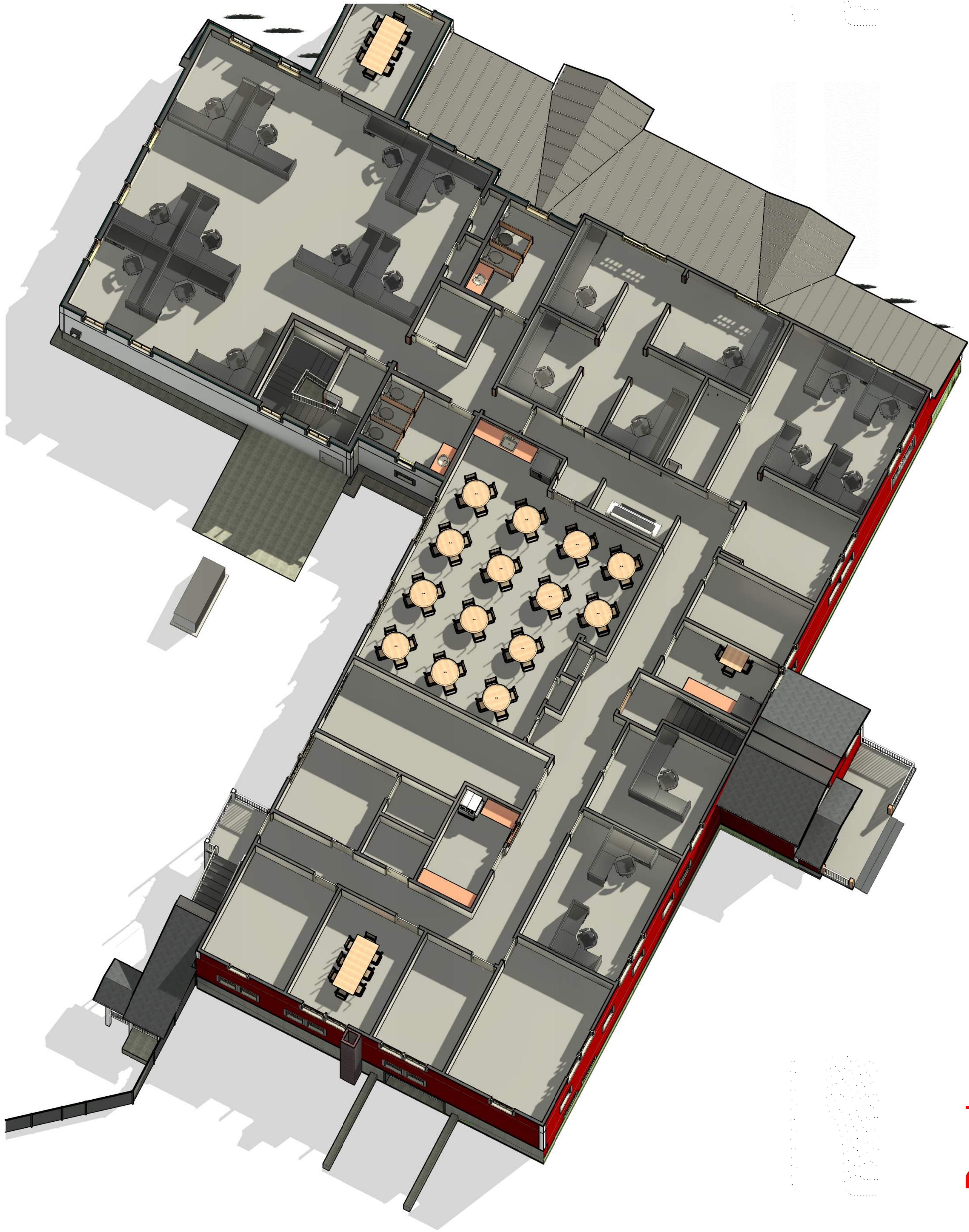
A4

© COPYRIGHT 2022
Reproduction or Release of this Document Without
Written Permission of KW Architects is Prohibited

Progress Drawings

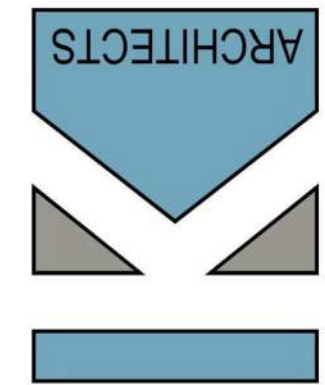


1 3D View - 1st Floor



2 3D View - 2nd Floor

KW Architects
Kristi Kenney, RA
PO Box 404
Wells, Maine 04090
(207) 332-9199



**Hancock Lumber Retail
Operations Center**
Yarmouth, Maine

REVISIONS		
#	Date	Description

Date:	03/09/22
Project #:	200918
Drawn By:	AEP
Checked By:	KK
Drawing Scale:	

SHEET TITLE
Axonometric View -
1st and 2nd Floors

RI

© COPYRIGHT 2022
Reproduction or Release of this Document Without
Written Permission of KW Architects is Prohibited

Progress Drawings



① 3D Front elevation



② 3D Front Angle



③ 3D Rear

KW Architects
Kristi Kenney, RA
PO Box 404
Wells, Maine 04090
(207) 332-9199



**Hancock Lumber Retail
Operations Center**
Yarmouth, Maine

REVISIONS

#	Date	Description

Date:	03/09/22
Project #:	200918
Drawn By:	AEP
Checked By:	KK
Drawing Scale:	

SHEET TITLE
3D Exterior Views

R2

© COPYRIGHT 2022
Reproduction or Release of this Document Without
Written Permission of KW Architects is Prohibited

Progress Drawings