



HEIGHT EXCEPTION

(Reference: ARTICLE II.K.)

General Board of Appeals

Yarmouth, Maine

(Code Enforcement Office 207-846-2401)

Map: 13 Lot: 16

Date: 2/14/2020

I, Michael Robitaille, owner (or owners duly authorized representative) of property at
659 East Main Street, and located in the RR District
respectfully request a height authorization appeal in accordance with the Town of Yarmouth's Zoning
Ordinance: ARTICLE II.K

I have provided the following materials in support of this application demonstrating:

the request is consistent with the objectives of the Town's Comprehensive Plan;

will not adversely affect surrounding areas; and

in scale with its environs.

I have paid the \$100 (one hundred dollars) application fee.

I have included evidence of my legal interest in the property under consideration or authorization to act for the property owner.

Elevation drawings of the building, including dimensions.

The Department of Planning and Development shall send notices to all property owners at a minimum of 500 feet including a description of the proposal. Letters will be at a cost of \$5/letter to the applicant.

Applicant's/Representative's Signature Michael Robitaille.

Mailing Address: 178 North Rd., YARMOUTH Tele. No. (207) 846-2400.

2/11/2020

Town of Yarmouth Fire Department
178 North Road
Yarmouth, Maine

Application for Height Exception

Town of Yarmouth Zoning Ordinance – Article II – K, Height Regulations

The Town of Yarmouth Fire Department, with an address, 178 North Road, Yarmouth, Maine, hereby requests a height exception per Article II – K, Chapter 701, of the Town of Yarmouth Zoning Ordinance, for 40' to allow the construction of a Fire Facilities Steel Fire Training Towers tower located at 659 East Main Street, Yarmouth, Maine.

Chapter 701, Article II, Section K states:

The height limitations for all districts should be 35 feet, except for silos for storage of feed crops, steeples, wireless communication towers, Alternative Tower Structures, and except when otherwise authorized by the General Board of Appeals, in cases where it is consistent with the objectives of the comprehensive plan, will not adversely affect surrounding areas, and is in scale with its environs, this restriction shall not apply, providing however, in the SOD and RPD the maximum structure height is 35'.

History:

In 1986 the Town of Yarmouth was approved for a training facility to be located at the site where the towns Transfer station is located. The facility started when a home was moved from Spring Street and placed on site. Hundreds of volunteer hours were donated to build the site to become a regional burn and training facility. The current building has two burn rooms, is multi-story, and has an attached garage.

The Town of Yarmouth Fire Department has been operating with the same burn facility for 34 years. No prior need for a height variance was needed due to the structure being an average size house under 35'. Without a building with a height of at least 40', the proper training and certifications for height related tasks would have either not been completed or would have to be completed off site at a great expense.

The current facility is the most used facility in the State of Maine. Annually more than 25 different departments and agencies use the facility for trainings. Last year nearly 16,000 hours of training were completed at the site and two State Certification tests were held there. The facility also hosts training for police departments and a nationally accredited canine accelerant program.

Present:

In July of 2019 the Yarmouth Fire Department was given funding by the state to build a new steel fire training tower. The towers are prefabricated by Fire Facilities in Louisiana and then shipped in sections to Maine so the final assembly can be on site. With training being the backbone to any fire department the construction of this new facility will create many new opportunities to learn and grow as a department.

2/11/2020

The structure will be 22' wide and 48'8" long with varying building heights for different training conditions. The tallest point on the structure is 40', creating a tower portion which will allow for more advanced training and certifications. The tower increases the readiness for firefighters to succeed in untested environments and cement the fundamentals they already have. With the closest property and structure being the Town of Yarmouth Transfer Station, there is no concern over visual impact. The closest private properties are along East Main Street, with only one property abutting the proposed site. Combining distance to the site, the amount of foliage and elevation change leaves no view of the proposed site. Additionally, the current outdated burn building is located on the same lot as this proposed burn facility, allowing for the use of the property to stay the same.

The Yarmouth Fire Department believes the requested height exception aligns with the goals, policies, and strategies outlined in the Town of Yarmouth's 2010 Comprehensive Plan, based on the following:

1. With the steady increase of population there is a need for additional space for storage, meetings, training, and administrative functions for the Yarmouth Fire Department.
2. The Yarmouth Fire Departments new training facility falls within multiple strategies from the Town of Yarmouth's Comprehensive Plan.
 - a. Strategy D.1.1 – Assess the need for additional space at the North Road Fire Department campus to meet the department's needs.
 - b. Strategy H.2.1 – Continue to seek grants and other outside funding to pay for capital investments.

The Yarmouth Fire Department feels that this variance will create many opportunities to help train fire fighters to today's new standards. Consider a study done in 2017 by the Maine Fire Protection Services Commission, Live Fire Training Facility Engineering Study Summary, there is an excerpt looking at the necessity of new training facilities that would allow training for certain height qualifications.

"Another relevant concern is that no current training facility in Maine provides certified training for advanced operations, such as those involved with aerial apparatus. Aerial standards require a minimum of 40 feet of vertical height, equal to a four-story building, to properly train on aerial ladder operations. None of the current training facilities have these capabilities, since all are two-story buildings. The ability to add training towers to current or new facilities would allow departments to provide certified training for aerial apparatus and meet the current National Fire Protection Agency (NFPA) standards."

On behalf of the Town of Yarmouth Fire Department, we request a height exception for the overall structure height of 40 feet, as measured from the first floor – slab elevation, to be granted for the purpose of constructing a new fire training facility structure as described herein.

We thank you for your consideration.

By: Michael Robitaille

Signature: Michael Robitaille

Title: FIRE CHIEF

178 North Road
Yarmouth, Maine

Know all Men by these Presents,

That I, Gordon B. Davis

of Cape Elizabeth, County of Cumberland, State of Maine,

~~being unmarried~~, for consideration paid, grant to ~~XXXXXXXXXXXXXXXXXXXX~~
Town of Yarmouth

of Yarmouth, County of Cumberland, State of Maine,

whose mailing address is

Town Office, Main Street, Yarmouth, Maine

with ~~warranty covenants~~, the land in Yarmouth, County of Cumberland,

State of Maine, described as follows:

a certain lot or parcel of land off East Main Street in said Town of Yarmouth, described as follows:

Commencing at a point on the Easterly side of Main Street, in the Town of Yarmouth at the most Westerly corner of land of Leverett D. Walsh; thence in an Easterly direction along the line of Walsh's land a distance of Four Hundred Twenty-five feet (425') to the Southeasterly corner of Walsh's land which corner is the point of beginning of the parcel herein conveyed; thence at right angles to the first mentioned course along the rear line of Walsh's land to the Town Dump Road, and hereby giving and granting to the Grantee all of the land formerly of Walsh which lies Easterly of the rear line herein described.

Also conveyed herein is a right-of-way thirty feet (30') in width across the Northeasterly corner of Walsh's land in the event that a thirty foot (30') space does not exist between the Town of Yarmouth Dump property and the remaining land of Walsh.

Excepting and reserving to Grantor herein an easement in common with others, including the Town of Yarmouth, over and across the Town Dump Road.

Also excepting and reserving from the above-described parcel of land a lot of land from the easterly portion of said conveyed parcel bounded and described as follows:

Commencing at a point marked by a tree with wire on the edge of the upland marsh, said point being on the boundary between land of Grantor herein and land now or formerly of Susie E. Fitts; thence North 37° 05'20" West three hundred forty-eight feet (348') to a point marked by a tree with wire; thence North 74°30' East five hundred forty-five feet (545') to a point on the edge of the marsh upland; thence in a southerly direction along the edge of the marsh upland to point of beginning.

Also excepting and reserving to Grantor herein a right-of-way thirty feet (30') in width across land herein conveyed, described as follows:

Commencing at the northeast corner of land now or formerly of Elmer E. Stowell, et al, being the northwest corner of land herein conveyed; thence North 26° West along the Yarmouth Dump Road one hundred six feet (106') to a point; thence South 38°30' West sixty-six and seventy-seven hundredths feet (66.77') to a point; thence turning in an easterly direction and maintaining a width of thirty feet (30') along the northerly boundary of property herein conveyed to a point one hundred feet (100') westerly of an iron pipe on the edge of the Marsh upland in said northerly boundary; thence in a southerly direction, maintaining a width of thirty feet (30') and on a line with the tree with wire marking the southwest corner of the property excepted and reserved by Grantor herein to a point one hundred fifty-feet (150') from the southerly boundary of land

conveyed herein; thence turning in an easterly direction and maintaining a width of thirty feet (30') parallel to said southerly boundary of the parcel herein conveyed to land excepted and reserved by Grantor herein.

Grantee, Town of Yarmouth, shall have the use of the rights of way described in the foregoing together with the right to excavate, fill or otherwise alter the land within said right of way for its purposes and as it deems necessary. Provided, however, that upon fourteen (14) days advance notice in writing from the Grantor, Grantee agrees to slope those areas within said right of way so excavated, filled or altered to a grade not in excess of eight percent (8%). *YSD*

And

Katherine Y. Davis

~~husband~~/wife of said grantor, joins as grantor, and releases all rights by descent and all other rights.

Witness our hands and seals this *5th* day of the month of *June*, 19 *80*.

Signed, Sealed and Delivered

in presence of

I have for
Robert J. Davis *Gordon B. Davis*
Katherine Y. Davis

State of Maine, County of

Cumberland ss.

June 5, 19 *80*

Then personally appeared the above named
 Gordon B. Davis

and acknowledged the foregoing instrument to be his free act and deed.

Before me,

JUN 12 1980

Lorraine L. Gaudet

LANDFILL PROPERTY ?

(E. MAIN ST.)

Warranty Deed

Maine Statutory Short Form

From

Gordon B. Davis

To

The Inhabitants of the Town of
Yarmouth

Dated May, 19 80

State of Maine,

ss. Registry of Deeds.

Received, 19

t H., M., and

Recorded in Book, Page

Attest:

Register.

FROM THE OFFICE OF

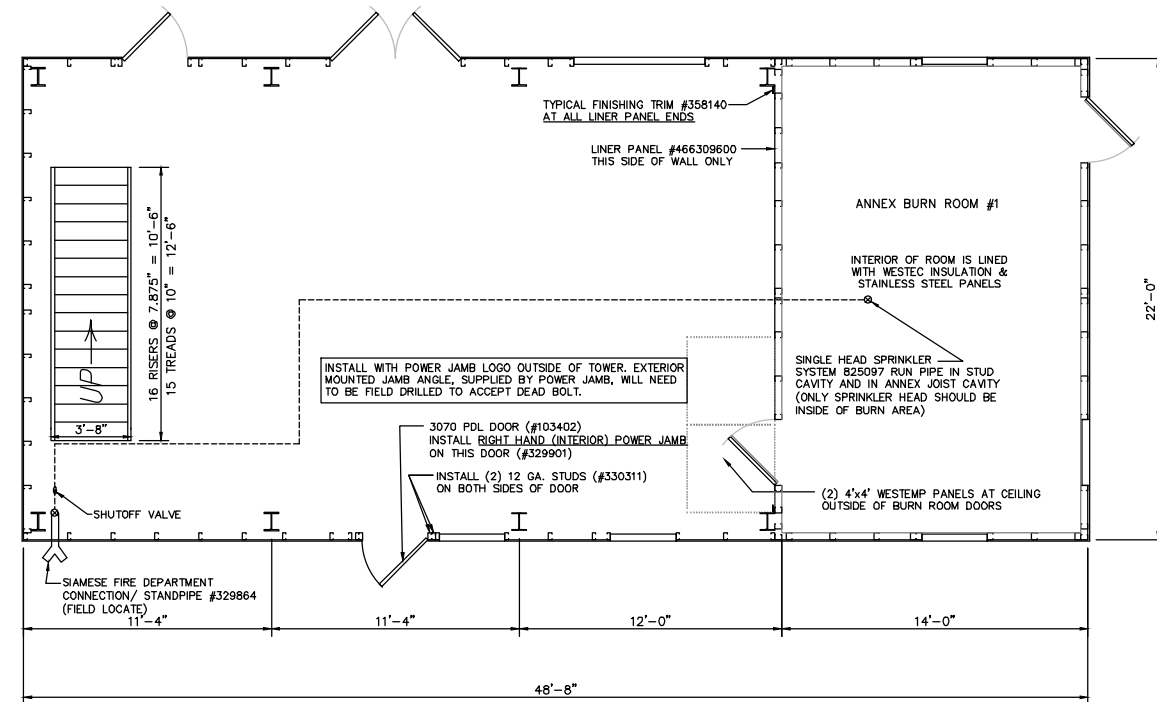
Catherine R. Johns, Esq.

482 Congress.

Portland, Maine 04101

Marks Printing House, Portland, Maine

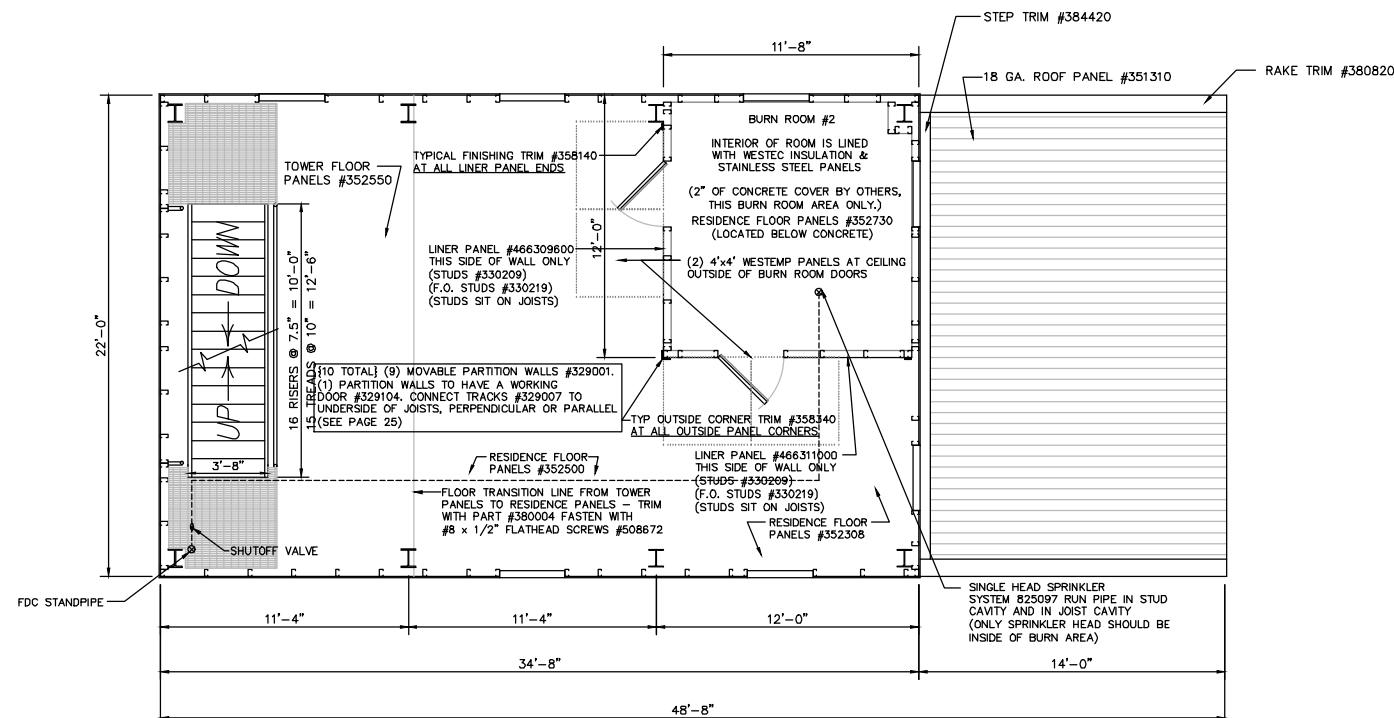
ML 40-1



FIRST FLOOR PLAN

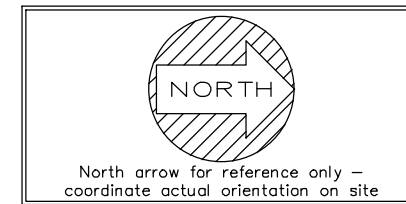
SCALE: 1/4" = 1'-0"

NOTE: ALL SHUTTERS IN TOWER SWING IN, UNLESS OTHERWISE SHOWN
ALL SHUTTERS IN BURN ROOM & ATTIC SWING OUT, UNLESS OTHERWISE SHOWN



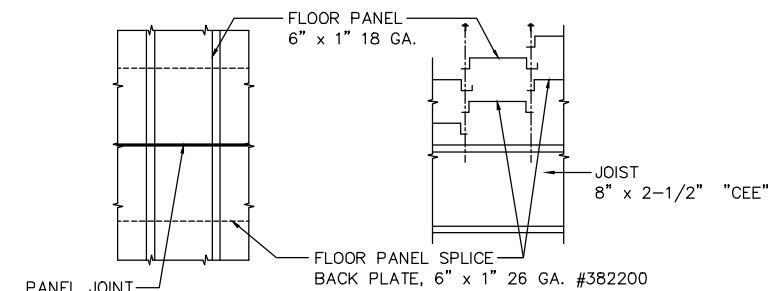
SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



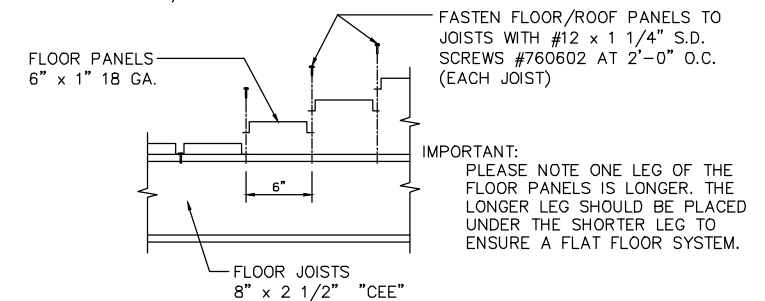
DESIGN LOADS:

ROOF LIVE LOAD: 100 PSF
FLOOR LIVE LOAD: 100 PSF
WIND LOAD: 105 MPH; RISK CAT I
SEISMIC DESIGN CAT: LOCAL
SITE CLASS: LOCAL
DESIGN CODE: LOCAL & NFPA 1402



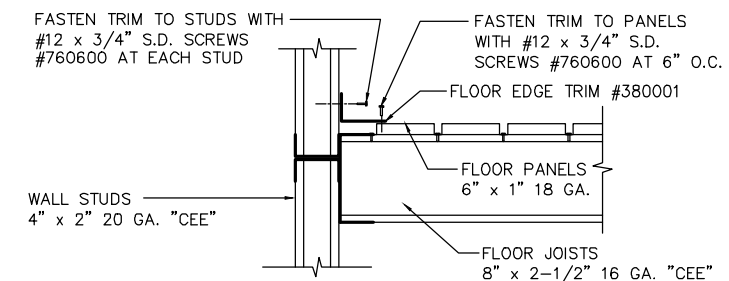
FLOOR PANEL SPLICE PLATE

scale: 1 1/2" = 1'-0"



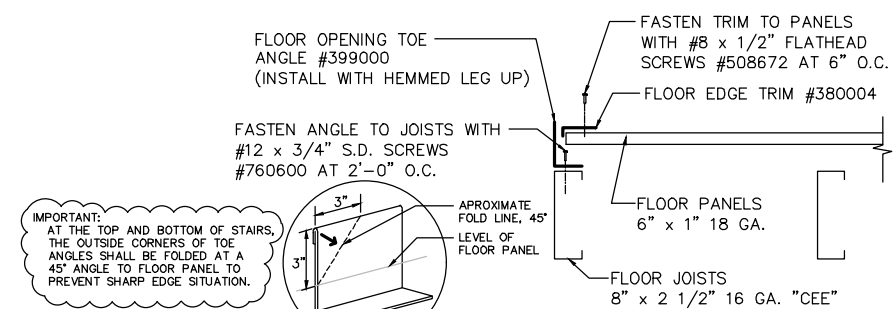
TYPICAL FLOOR PANEL FASTENING DETAIL

scale: 1 1/2" = 1'-0"



TYPICAL FLOOR EDGE TRIM DETAIL

scale: 1 1/2" = 1'-0"



TYPICAL FLOOR OPENING TRIM DETAIL

scale: 1 1/2" = 1'-0"

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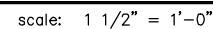
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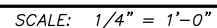
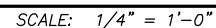
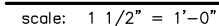
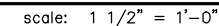
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CUSTOM
BANGOR, ME

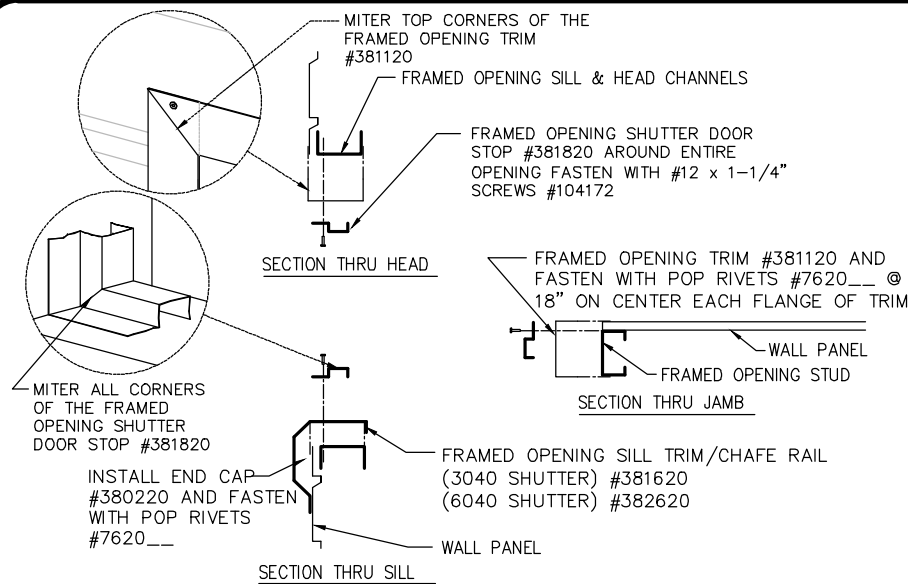
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Date: FEBRUARY 21, 2019
Drawn by: DWK
Checked by: SPW
Scale: SHOWN
Order No. #5129
Sheet No.



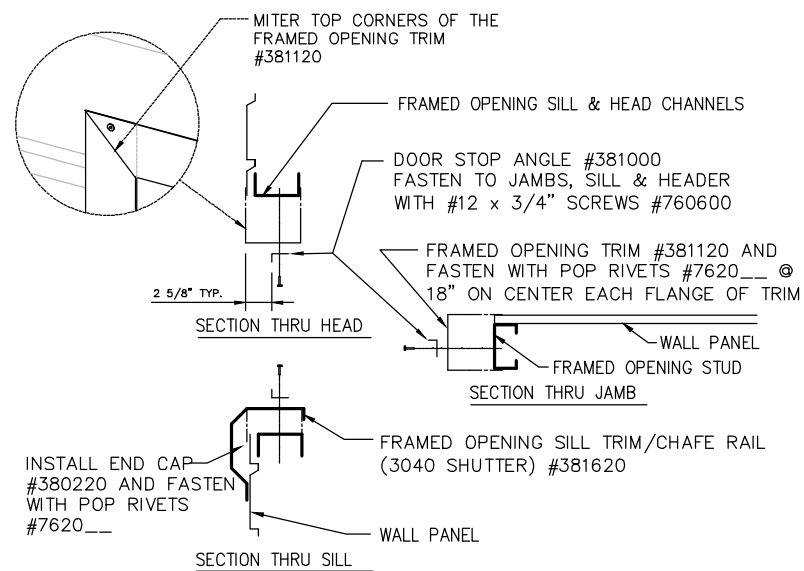
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03 of 04



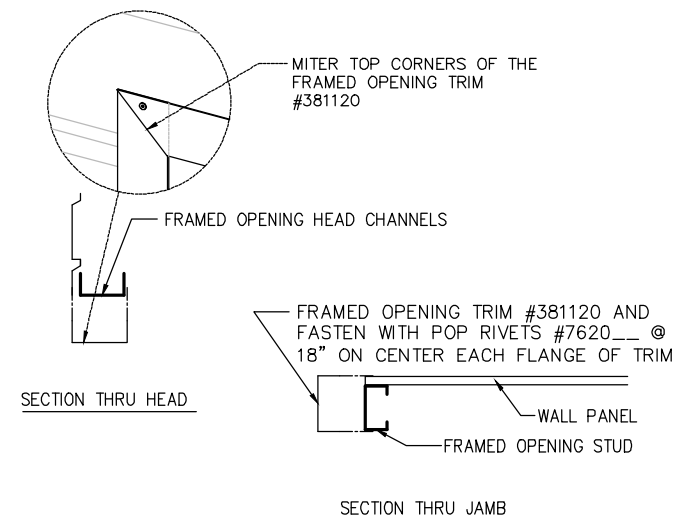
STANDARD SHUTTER TRIM DETAILS

scale: 1 1/2" = 1'-0"

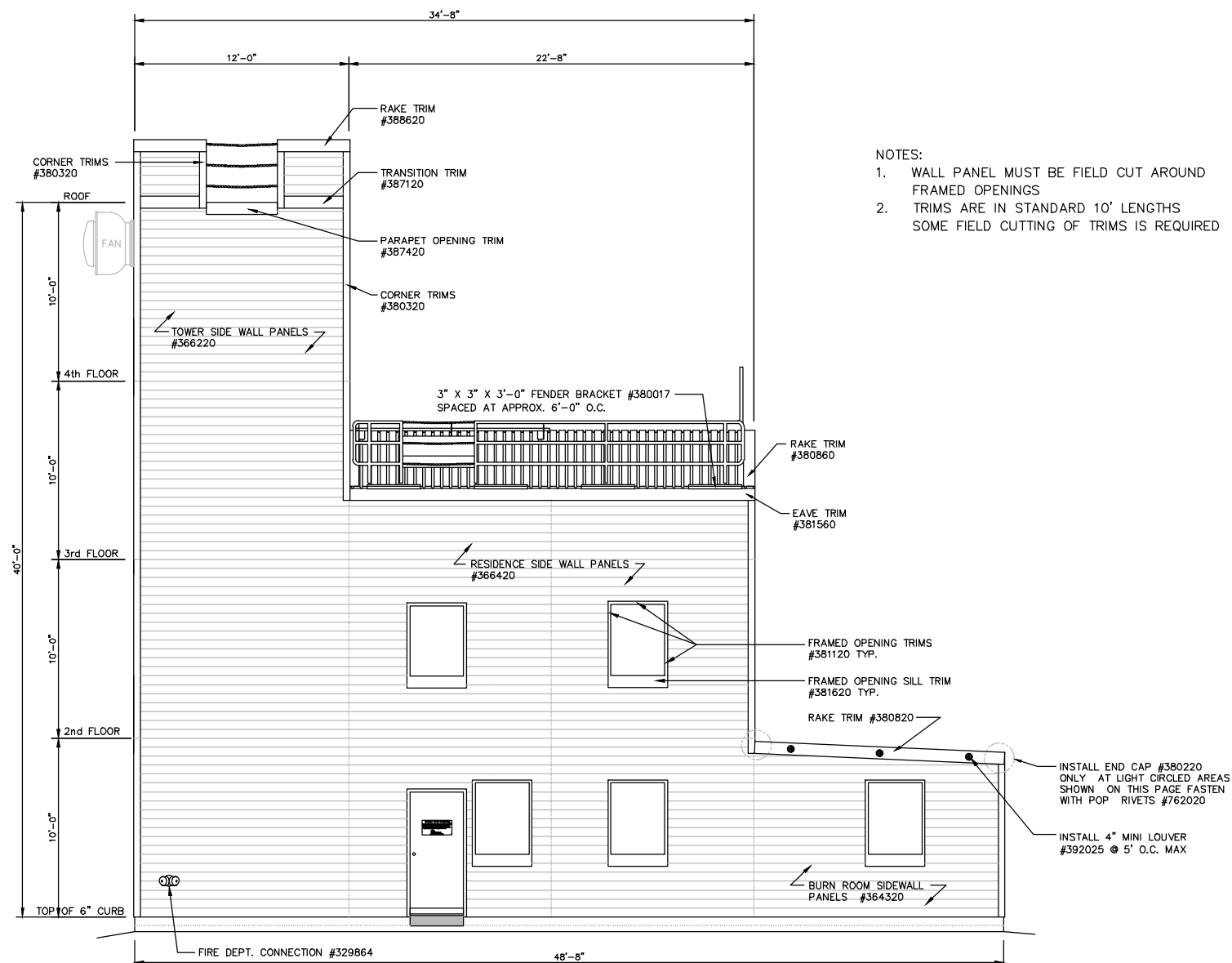


BURN ROOM SHUTTER TRIM DETAILS

SCALE: 1 1/2" = 1'-0"



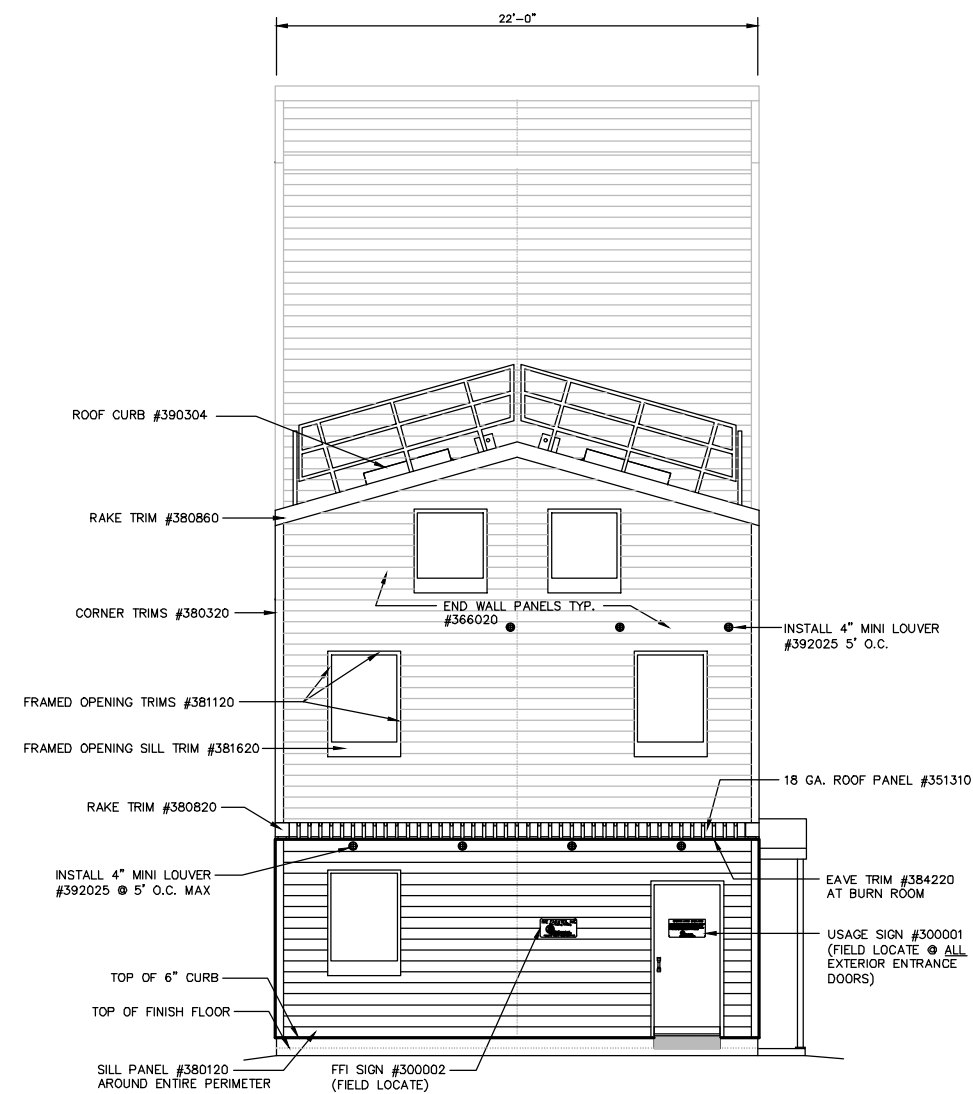
TOWER SWING DOOR TRIM DETAILS



EAST SIDE ELEVATION

SCALE: 1/4" = 1'-0"

- NOTES:
1. WALL PANEL MUST BE FIELD CUT AROUND FRAMED OPENINGS
 2. TRIMS ARE IN STANDARD 10' LENGTHS SOME FIELD CUTTING OF TRIMS IS REQUIRED



NORTH END ELEVATION

SCALE: 1/4" = 1'-0"

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WESCO MODEL FF-4
CUSTOM BANGOR, ME

Job Description: **ELEVATIONS**

Date: FEBRUARY 21, 2019

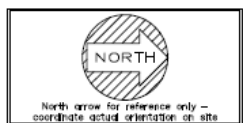
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Checked by: SPW

Scale: SHOWN

Order No. #5129

Sheet No.



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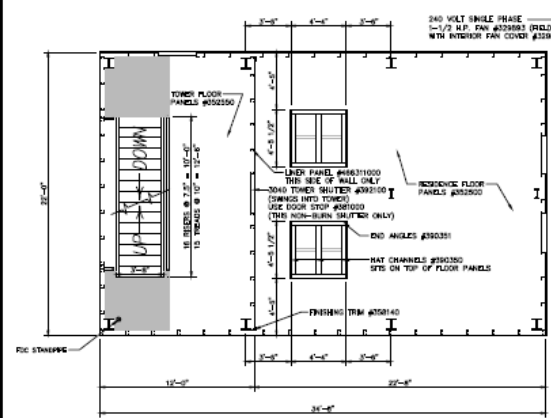
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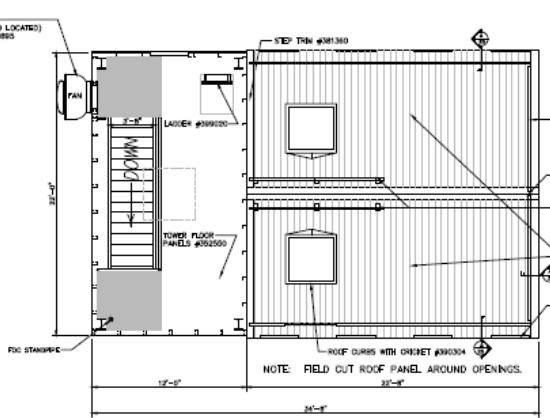
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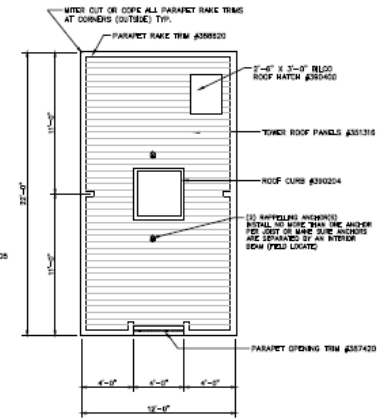
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 Order No.: #0129
 Sheet No.: 02 of 04



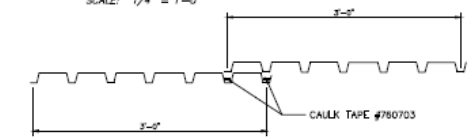
TOWER THIRD FLOOR & ATTIC PLAN



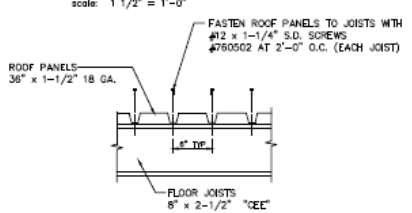
TOWER FOURTH FLOOR AND RESIDENCE ROOF PLAN



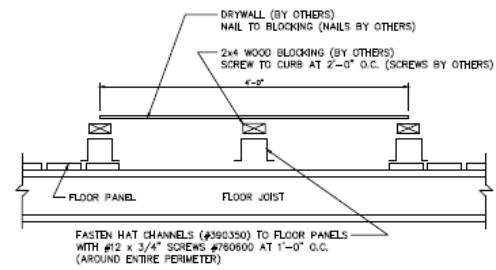
TOWER ROOF PLAN



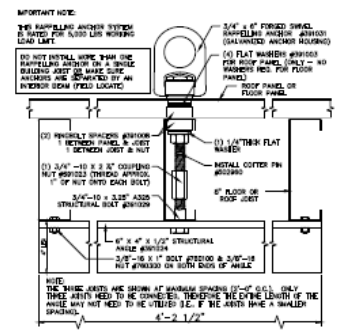
TYPICAL ROOF PANEL OVERLAP



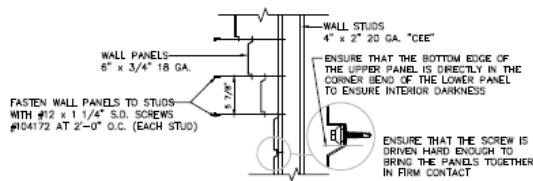
TYPICAL ROOF PANEL FASTENING DETAIL



SECTION THRU DRYWALL CURB

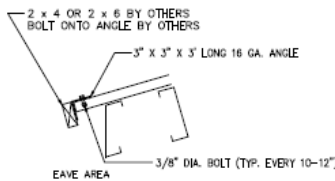


FORGED SWIVEL RAPPELLING ANCHOR INSTALLATION DETAIL



TYPICAL WALL PANEL FASTENING DETAIL

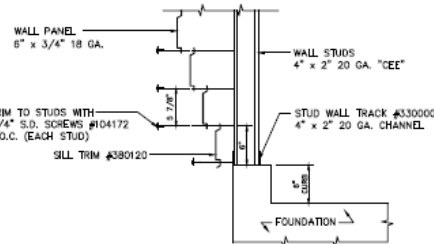
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BRACKETS FOR 2X4 FENDER DETAILS

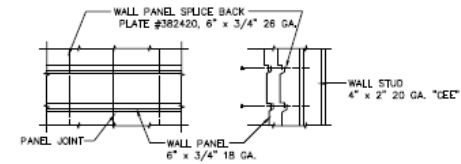
scale: 1 1/2" = 1'-0"

- NOTES:
1. WALL PANEL MUST BE FIELD CUT AROUND FRAMED OPENINGS
 2. TRIMS ARE IN STANDARD 10' LENGTHS SOME FIELD CUTTING OF TRIMS IS REQUIRED



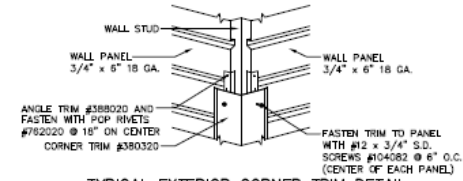
TYPICAL SILL DETAIL

scale: 1 1/2" = 1'-0"



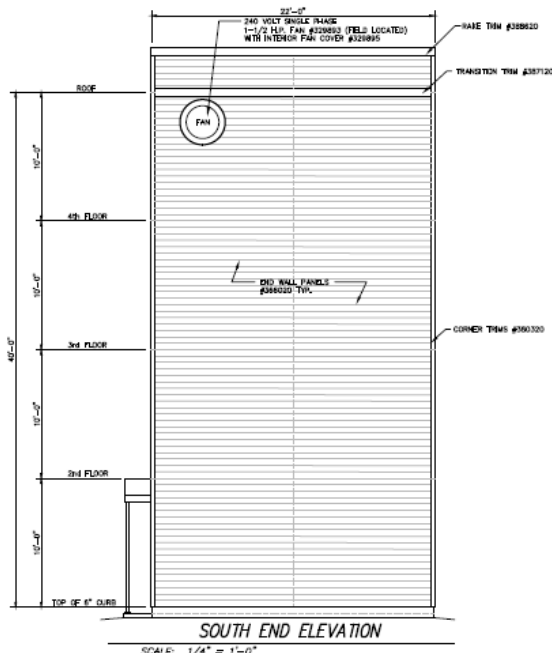
WALL PANEL SPLICE PLATE

scale: 1 1/2" = 1'-0"



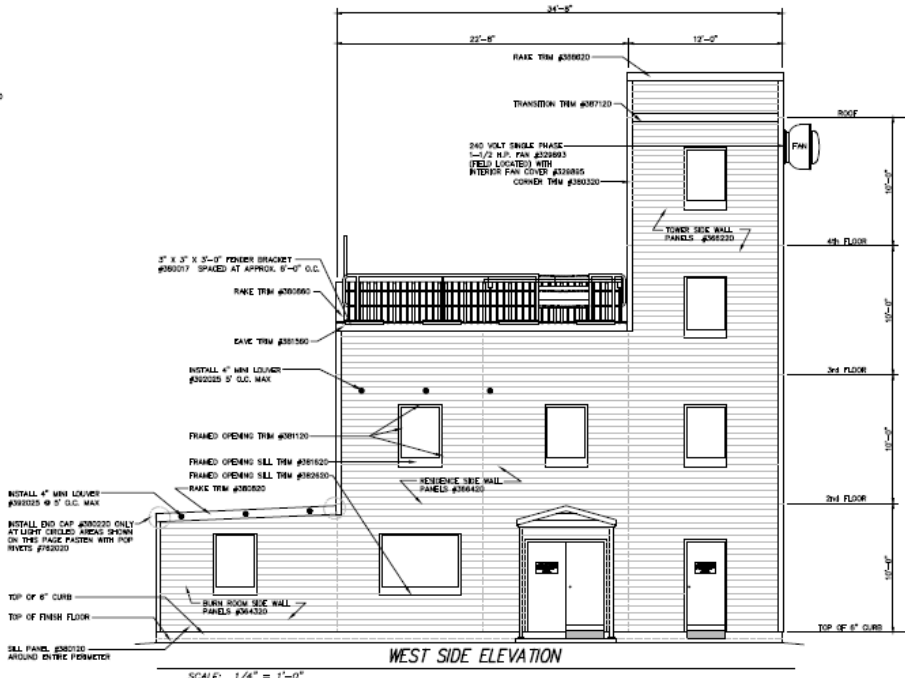
TYPICAL EXTERIOR CORNER TRIM DETAIL

scale: 1 1/2" = 1'-0"



SOUTH END ELEVATION

SCALE: 1/4" = 1'-0"



WEST SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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FIRE FACILITIES
STEEL FIRE TRAINING TOWERS

DATE: FEBRUARY 21, 2019

DESIGNED BY: CHM

CHECKED BY: SHM

SCALE: 1/4\"/>

MECO MODEL FF-4
CUSTOM
BANGOR, ME

DATE: FEBRUARY 21, 2019

DESIGNED BY: CHM

CHECKED BY: SHM

SCALE: 1/4\"/>

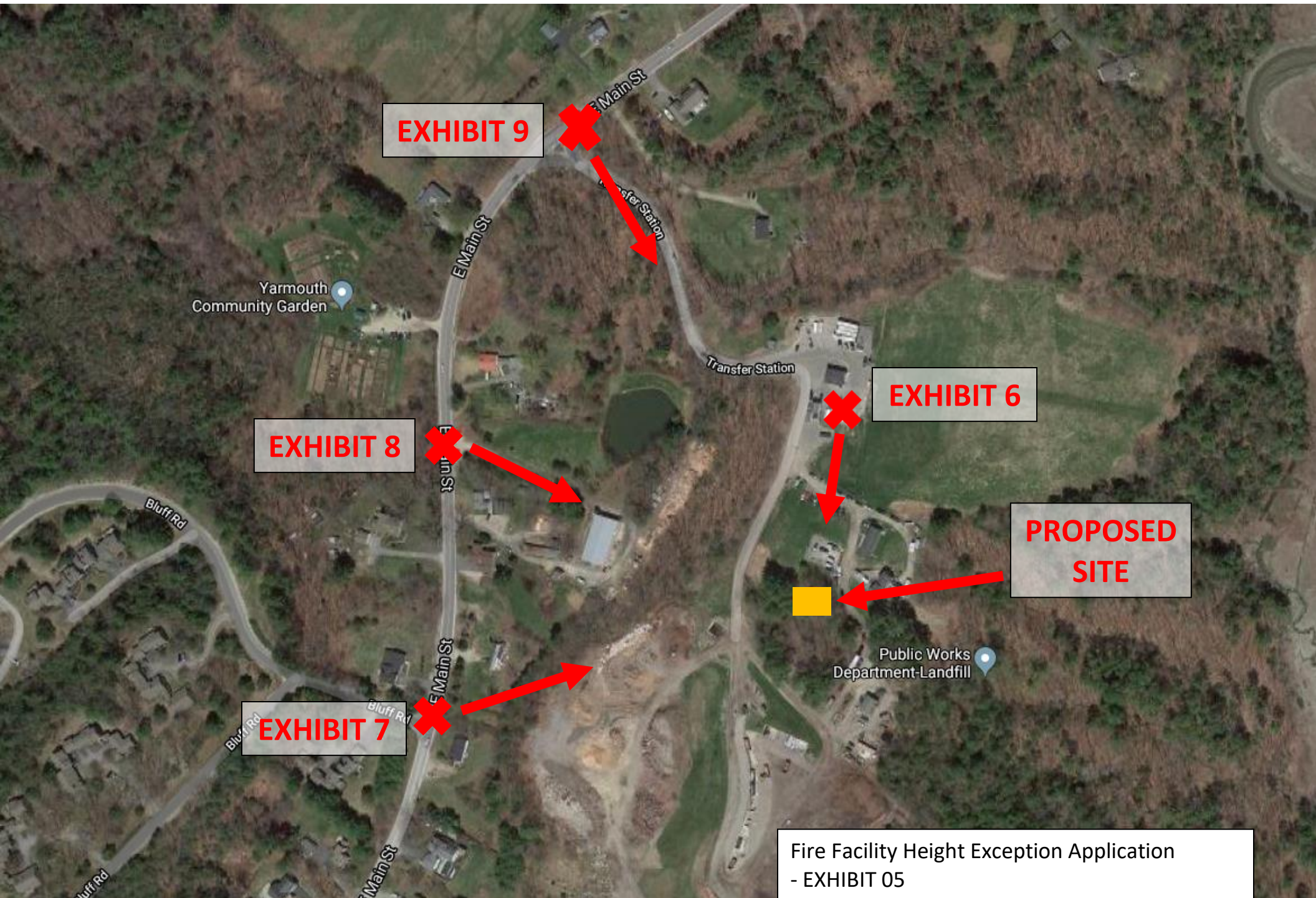


EXHIBIT 9

EXHIBIT 8

EXHIBIT 7

EXHIBIT 6

**PROPOSED
SITE**

Fire Facility Height Exception Application
- EXHIBIT 05



Fire Facility Height Exception Application
- EXHIBIT 06



Fire Facility Height Exception Application
- EXHIBIT 07



Fire Facility Height Exception Application
- EXHIBIT 08



Fire Facility Height Exception Application
- EXHIBIT 09