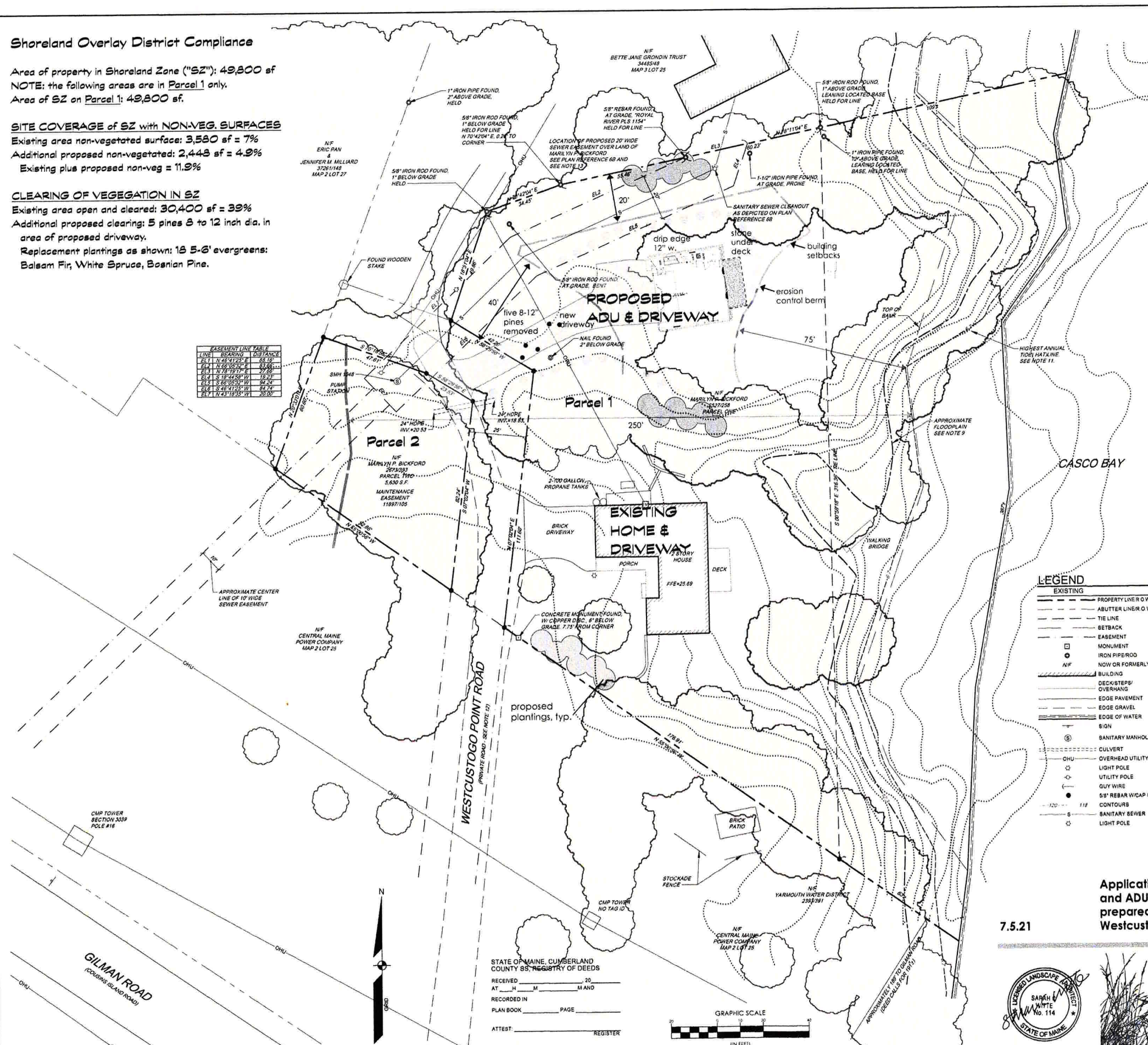


Area of property in Shoreland Zone ("SZ"): 49,800 sf
NOTE: the following areas are in Parcel 1 only.
Area of SZ on Parcel 1: 49,800 sf.

Existing area non-vegetated surface: 3,580 sf = 7%
Additional proposed non-vegetated: 2,448 sf = 4.9%
Existing plus proposed non-veg = 11.9%

Existing area open and cleared: 30,400 sf = 33%
Additional proposed clearing: 5 pines 8 to 12 inch dia. in
area of proposed driveway.
Replacement plantings as shown: 16 5-8' evergreens:
Balsam Fir, White Spruce, Bosnian Pine.

LINE	BEARING	DISTANCE
EL1	N 46°41'25" E	88.18'
EL2	N 66°05'32" E	83.66'
EL3	N 78°19'17" E	27.66'
EL4	S 18°44'39" W	19.23'
EL5	S 66°05'32" W	94.24'
EL6	S 46°41'25" W	84.74'
EL7	N 43°18'35" W	20.00'



A map of the study area in Maine. The map shows the coastline of Casco Bay to the east and Yarmouth to the north. Two roads are labeled: 'PINEPOINTE RD' and 'GILMAN RD'. A point on Gilman Rd is marked with a circle and labeled 'SITE'. A north arrow is located in the upper left corner. The map uses solid lines for roads and coastlines, and dotted lines for other boundaries or features.

1. THE RECORD OWNER OF THE PARCEL IS MARILYN P. BICKFORD LIVING TRUST BY DEED DATED JANUARY 31, 2011 AND RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD) IN BOOK 26497, PAGE 322. REFERENCE IS MADE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD) IN BOOK 26555, PAGE 415 DATED JULY 11, 1960 AND TO CORD BOOK 2673, PAGE 293 DATED APRIL 3, 1962.

2. THE PARCEL IS SHOWN AS LOT 26 ON THE TOWN OF YARMOUTH TAX MAP 3 AND IS LOCATED IN THE LDR DISTRICT AND THE SHORELAND OVERLAY DISTRICT.

3. SPACE AND BULK CRITERIA FOR THE LDR DISTRICT ARE AS FOLLOWS:

MINIMUM LOT SIZE:	2 ACRES
MINIMUM STREET FRONTAGE:	200 FEET
MINIMUM FRONT YARD:	40 FEET
MINIMUM SIDE YARD:	20 FEET
MINIMUM REAR YARD:	40 FEET

4. *SEE ORDINANCE FOR MORE PARTICULAR INFORMATION.

4. THE AREA OF PARCEL ONE IS APPROXIMATELY 45,800 SQUARE FEET OR 1.14 ACRES AS MEASURED TO THE HIGHEST ANNUAL TIDE (HAT) LINE. THE AREA OF PARCEL ONE MEASURED TO THE TIDE LINE DEPICTED HEREON IS 35,566 SQUARE FEET OR 0.82 ACRES.

5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD WORK PERFORMED BY SEBAGO TECHNICS, INC. IN FEBRUARY AND APRIL OF 2021.

6. PLAN REFERENCES:

A. "STANDARD BOUNDARY SURVEY, OLD GILMAN ROAD, TOWN OF YARMOUTH, CUMBERLAND COUNTY, MAINE FOR DAVID P. SNOW AND SANDRA S. SNOW, GILMAN ROAD, YARMOUTH, MAINE 04096" BY WALT DUNKLE DATED JULY 1, 1995. THIS PLAN IS UNRECORDED.

B. "PLAN OF PROPOSED SEWER EASEMENT MADE FOR DAVID AND SANDRA SNOW, 27 WESTCUSTOQ POINT ROAD, YARMOUTH, MAINE 04096" BY ROYAL RIVER SURVEY CO. DATED JUNE 28, 2007. THIS PLAN IS MARKED DRAFT, PROGRESS PRINT.

7. PLAN ORIENTATION IS GRID NORTH. MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE 18-24N63. ELEVATIONS DEPICTED HEREON ARE NAVD83. BASED ON DUAL FREQUENCY GPS OBSERVATIONS.

8. UTILITY INFORMATION DEPICTED HEREON, UNLESS OTHERWISE NOTED, IS OF QUALITY LEVEL D PER AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD CHANCE 38-02. UTILITIES DEPICTED HEREON ARE NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION AND/OR EXCAVATION.

9. THE LOCUS PROPERTY AS DEPICTED HEREON DOES FALL WITHIN A SPECIAL FLOOD HAZARD AREA AS INDICATED ON THE FLOOD INSURANCE RATE MAP FOR YARMOUTH, MAINE, CUMBERLAND COUNTY, COMMUNITY-PANEL NUMBER 23055-500-9, HAVING AN EFFECTIVE DATE OF NOVEMBER 15, 1984. THE LOCUS FALLS WITHIN AN AREA OF 100 YEAR FLOOD HAZARD. FLOOD HAZARD DETERMINED, FLOOD PLAIN ELEVATION 13 FEET (NGVD 29). TO CONVERT FROM NAVD83 TO NGVD29 ADD 0.87 FEET IN THIS VICINITY, BASED ON UTILITY D.V. ARMY CORPS OF ENGINEERS CORP. OF E. 6.1. SCOTT.

10. SEE EASEMENT DEED FROM MARILYN V. BICKFORD TO DAVID P. SNOW AND SANDRA S. SNOW DATED APRIL 25, 1995 AND RECORDED AT THE CCRD IN BOOK 11897, PAGE 105. FURTHER REFERENCE IS MADE TO A SEVER PUNDING EASEMENT AGREEMENT DATED APRIL 25, 1995 AND RECORDED AT THE CCRD IN BOOK 11896, PAGE 136 AND ALSO EASEMENT DEED FROM MARILYN V. BICKFORD TO LAURANCE D. BIBLEY DATED APRIL 25, 1995 AND RECORDED AT THE CCRD IN BOOK 11897, PAGE 159.

11. ELEVATION 8.7 FEET NAVD83 AS DEPICTED HEREON REPRESENTS THE HIGHEST ANNUAL TIDE (HAT) LINE AS PUBLISHED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION IN 2013 FOR THIS VICINITY.

12. THE 25-FOOT WIDE ROAD IDENTIFIED AS WESTCUSTOQ POINT ROAD WAS EXCEPTED FROM THE CONVEYANCE BY YARMOUTH REALTY BUREAU TO MARILYN P. BICKFORD IN CORD BOOK 2673, PAGE 293 ON APRIL 3, 1962. THE CURRENT OWNERS OF THIS 25-FOOT WIDE STRIP IS UNKNOWN TO THIS SURVEYOR. IT IS PRESUMED TO BE WITH THE YARMOUTH REALTY BUREAU OR THEIR SUCCESSORS OR ASS'GNS.

13. SEBAGO TECHNICS, INC. FOUND NO RECORDS GRANTING THIS EASEMENT AS DEPICTED ON PLAN REFERENCE 8B. THE EASEMENT AND SEVER LINE AS DEPICTED HEREON ARE SHOWN ON PLAN REFERENCE 8B. SEBAGO TECHNICS, INC. DID NOT FIELD LOCATE.

THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION
AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT WAS DONE
IN ACCORDANCE WITH CHAPTER 90, PART 1 (PROFESSIONAL
STANDARDS OF PRACTICE) AND PART 2 (TECHNICAL STANDARDS
OF PRACTICE) OF THE MAINE BOARD OF LICENSURE FOR
PROFESSIONAL LAND SURVEYORS.

Charles D. Marchese
CHARLES D. MARCHESE, PLS 2009 04/29/2021

7.5.21



Sarah Witte, Landscape Architect
16 Cumberland Street, Yarmouth Maine 04096
207.415.2973 • ME Lic. # 114
sarahwitteLA@gmail.com

BOUNDARY SURVEY OF WESTCUSTOGO POINT SURVEY 21 WESTCUSTOGO POINT ROAD YARMOUTH, ME 04066		MARILYN BICKFORD 21 WESTCUSTOGO POINT ROAD YARMOUTH, ME 04066	
DESIGNED N/A		DRAWN MAC/CDM	
CHECKED CDM/TSL		DATE 03/02/2011	
SCALE 1" = 20'		PROJECT 20590	

SHEET 1 OF 1



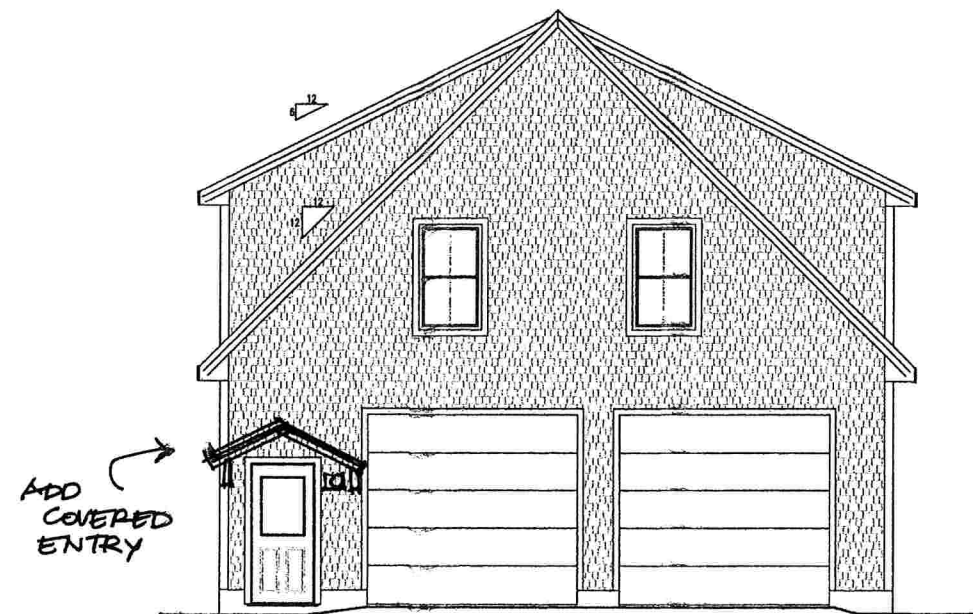
WWW.SEBAGOTECH.COM
 75 John Roberts Rd.
 South Portland, ME 04106
 Tel. 207-200-2100

REV.	BY	DATE	STATUS	ISSUED TO CLIENT FOR REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHINCS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHINCS, INC.



CHARLES D. MARCHESE PLS 2009



FRONT ELEVATION



RIGHT ELEVATION

4X4 PT. POST W/
CABLE RAIL SYSTEM
4" MAX SPACING
BETWEEN CABLES

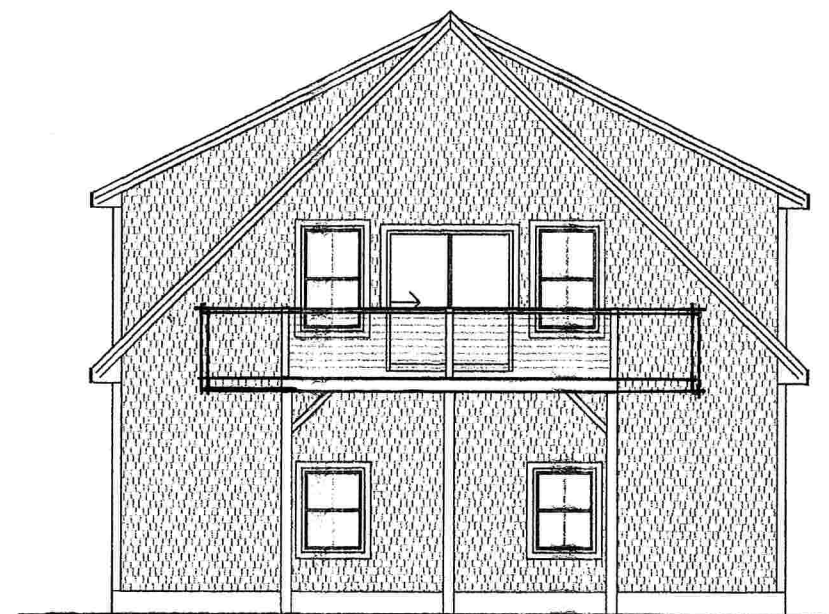
1/2" PT. POST @ 12" O.C.

FASTEN POST TO SAND TUBE
W/ SIMPSON ANCHOR

1/2" DIA. CONC. FILLED SAND
TUBE 4'-0" MIN. BELOW GRADE

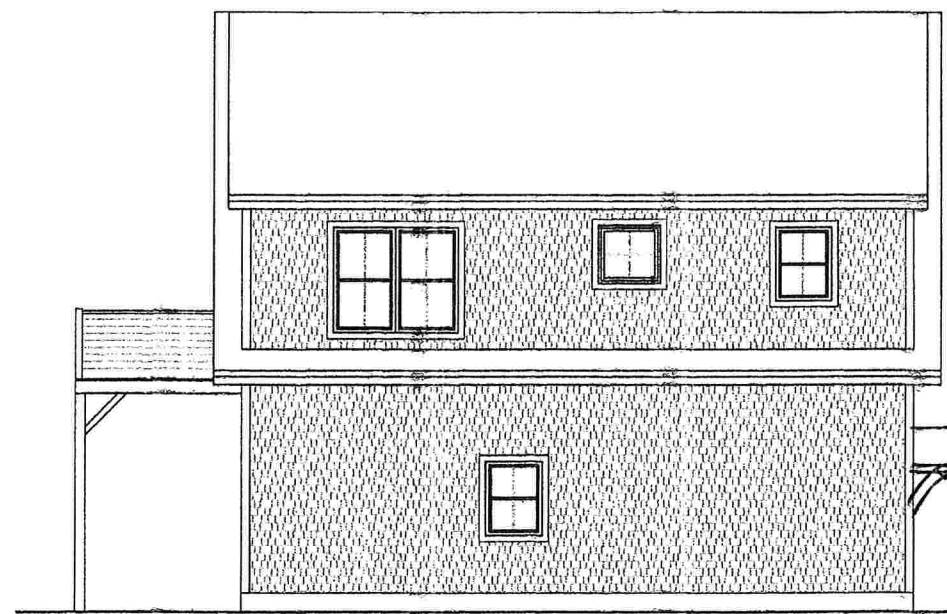
FROST LINE

NOTE: TOP OF POSTS
SHOULD BE A MIN. OF 8"
ABOVE GRADE



REAR ELEVATION

NOTE UPPER DECK
WILL BE 8'x 24'



LEFT ELEVATION

ADD
COVERED
ENTRY



ELEVATIONS
BICKFORD GARAGE WITH APARTMENT
YARMOUTH, ME

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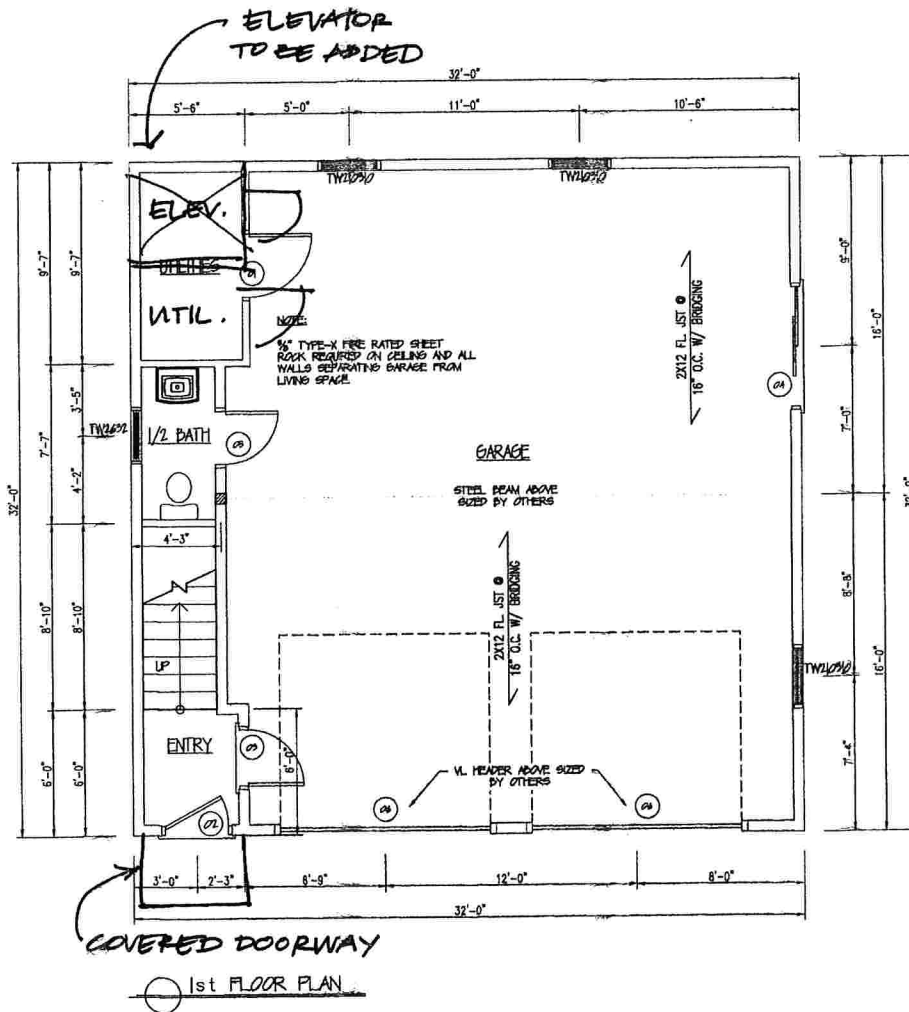
Revisions:

4/1/21	CHANGED TO 1/4" ON DOORS

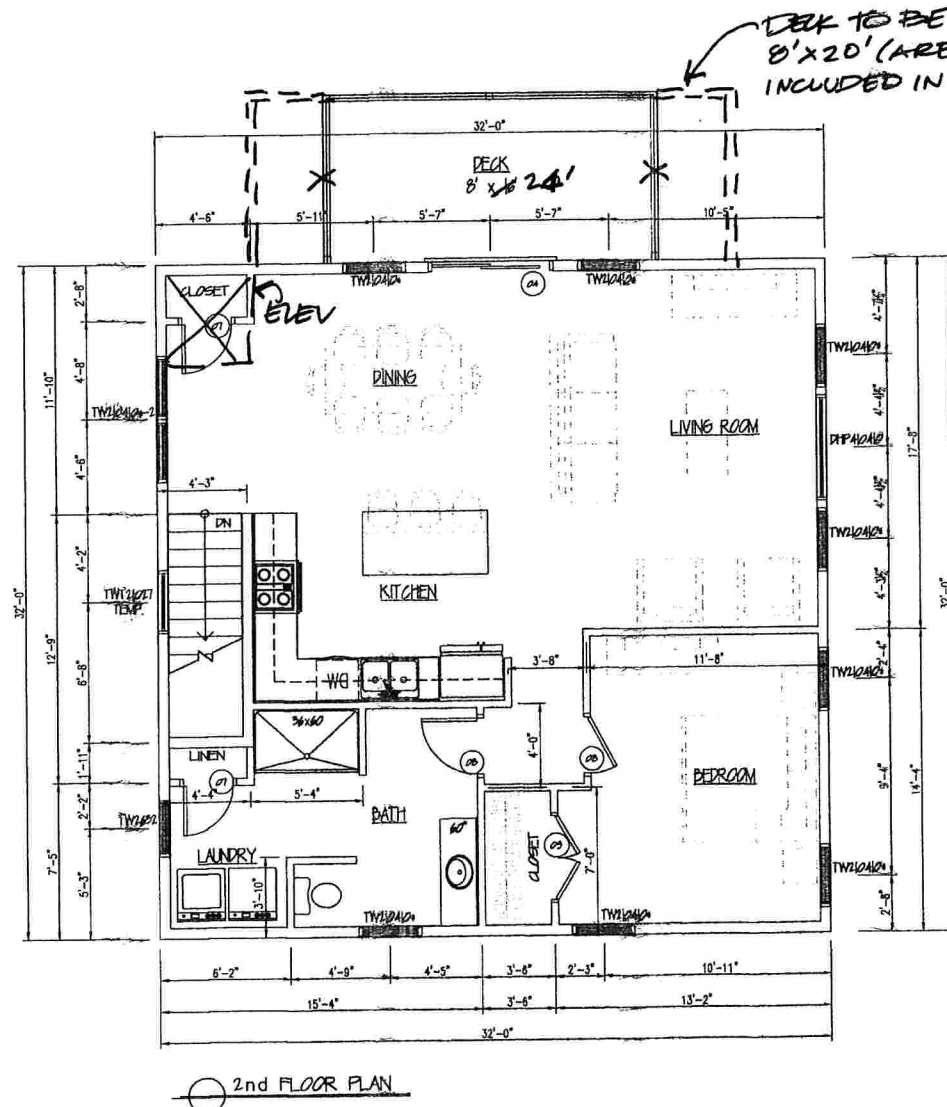
Date : 4/28/21
Scale : 1/4"=1'-0"
Drawn By: TMS
Project: GA042221
Sheet Number:
1-of-3

TABLE R502.2(1)		ORDER SPANS AND HEADER SPANS FOR EXTERIOR BEARING WALLS	
		(Maximum spans for Douglas fir-larch, long-leaf southern pine and spruce-pine-fir and required number of jack studs)	
GROUPOUS AND HEADERS SUPPORTING	SIZE	GROUND SNOW LOAD (psf)	
		20	30
Roof and ceiling	2'-0"	1	1
	2'-2"	1	1
	2'-4"	1	1
	2'-6"	1	1
Roof, ceiling and one clear span floor	2'-0"	1	1
	2'-2"	1	1
	2'-4"	1	1
	2'-6"	1	1
Roof, ceiling and two clear span floors	2'-0"	1	1
	2'-2"	1	1
	2'-4"	1	1
	2'-6"	1	1

- For S: 1 inch=25.4mm, 1 pound per square foot=0.04788 kN/m²
- Spans are given in feet and inches.
 - Tabulated values assume #2 grade lumber.
 - Building width is measured perpendicular to the ridge. For widths between those shown, spans are permitted to be interpolated.
 - W-Numbers of jack studs required to support each end. Where the number of required jack studs equals one, the header is permitted to be supported by an approved framing member attached to the full-height wall stud and to the header.
 - Use 30psf ground snow load for areas in which ground snow load is less than 30psf and the roof live load is equal to or less than 20psf.



WINDOW SCHEDULE				
MARK	SIZE		QTY	STYLE
	WIDTH	HEIGHT		
TW210410	2'-11 5/8"	5'-0 7/8"	8	EGRESS OH
TW210410-2	5'-11 1/4"	5'-0 7/8"	1	MULLED EGRESS OH
TW2632	2'-7 5/8"	3'-4 7/8"	2	DH
TW210310	2'-11 5/8"	4'-0 7/8"	3	DH
TW121027	2'-11 5/8"	2'-9 5/16"	1	TRANSOM, TEMPERED



DOOR SCHEDULE				
MARK	SIZE		QTY	STYLE
	WIDTH	HEIGHT		
01	36"	80"	1	INT. HINGED
02	36"	80"	1	EXTERIOR ENTRY
03	36"	80"	1	EXT. FIRE-RATED
04	72"	80"	2	SLIDING GLASS DOOR
05	30"	80"	1	INT. HINGED
06	10'-0"	9'-0"	2	OVERHEAD DOOR
07	28"	80"	2	INT. HINGED
08	32"	80"	2	INT. HINGED
09	48"	80"	1	INT. HIS/HERS

- NOTES
- SMOKE ALARMS SHALL BE INTERCONNECTED & INSTALLED IN THE FOLLOWING LOCATIONS:
 - EACH SLEEPING AREA
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM
 - ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENT, DENNIS ROOM AND HABITABLE ATTIC
 - FIRE SEPARATION PER TOWN OR LOCAL CODE WHEN REQUIRED
 - IF DWELLING UNIT HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING AND/OR CONTAINS A FUEL-BURNING APPLIANCE CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - DENOTES EGRESS WINDOW
 - WINDOWS REQUIRING SAFETY GLAZING PER IBC/IRC/UPC, NOTED AS TEMPERED
 - OPERABLE WINDOWS WHERE THE TOP OF THE SILL IS LESS THAN 24" ABOVE THE FINISHED FLOOR AND GREATER THAN 7" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING SHALL BE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH IRC502.2

T.J. Sylvester

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207-240-4538

Designing homes since 2000

NOTEWORTHY DESIGN

FLOOR PLANS

BICKFORD GARAGE WITH APARTMENT

YARMOUTH, ME

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Revisions:

8/1/21	CHANGES TO A.D. 11.01.01.01.01
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Date : 4/28/21

Scale : 1/4"=1'-0"

Drawn By: TMS

Project: GA042221

Sheet Number:

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