



12/14/2021

Nicholas Ciarimboli  
Town of Yarmouth  
200 Main Street  
Yarmouth, Maine 04096

**Subject:** Homewood Village Owners Association Shoreland Improvements;  
**Shoreland Zoning Permit Application**  
77 Homewood Circle; Yarmouth, Maine

Dear Regulatory Permit Representative,

Please find enclosed a copy of the Town of Yarmouth Shoreland Zoning Permit application for a residential community shoreline stabilization project, located at 77 Homewood Circle on Casco Bay in Yarmouth, Maine for review and consideration for permit approval.

1. The Town has been provided one electronic (PDF) copy of the application, one hardcopy and the appropriate application fee.
2. The Town has received a copy of the Maine Department of Environmental Protection's NRPA PBR permit application under separate electronic (PDF) submission from VDC via email on December 13, 2021.

On behalf of the client, we appreciate early permit consideration on the application. Please do not hesitate to call us with any questions or comments.

Sincerely,

BAKER DESIGN CONSULTANTS, Inc.

Travis Pryor, LEED-AP  
Project Manager

JN: 20-11

CC: Susie Soule, HVOA Board Member  
Barney Baker, BDC

Shoreland Zone Permit Application  
**Homewood Village Owners  
Association  
Shoreland Improvements**

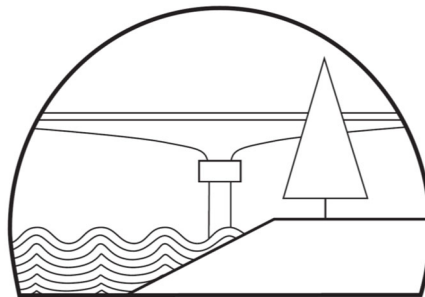
Yarmouth, Maine

**Applicant:**

Homewood Village Owners Association  
77 Homewood Circle  
Yarmouth, ME 04096

**Submitted To:**

Nicholas Ciarimboli,  
Codes Enforcement Officer / Planning Assistant  
Town of Yarmouth  
200 Main Street  
Yarmouth, ME 04096



**BAKER DESIGN CONSULTANTS**  
Civil, Marine, and Structural Engineering  
7 Spruce Road, Freeport, ME 04032



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Baker Design Consultants

7 Spruce Road

Freeport, Maine 04032

207-846-9724

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## Part I – Shoreland Zone Permit Application

### TOWN OF YARMOUTH

200 Main Street

Yarmouth, Maine 04096

(207)846-2401

WWW.YARMOUTH.ME.US

Fax: (207)846-2438

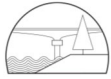
#### SHORELAND ZONING PERMIT APPLICATION

PERMIT # \_\_\_\_\_ ISSUE DATE \_\_\_\_\_ FEE AMOUNT \$150.00  
Date: 12/14/2021 Zoning District WOC II / SOD / RP Map 2 Lot 34 Ext \_\_\_\_\_  
APPLICANT NAME: Baker Design Consultants (Agent) PHONE NO: (207) 846-9724  
MAILING ADDRESS: 7 Spruce Road; Freeport, ME 04032 e-mail t.pryor@bakerdesignconsultants.com  
OWNER (other than applicant)  
NAME: Homewood Village Owners Association (Attention Susie Soule) PHONE NO: (207) 329-4940  
MAILING ADDRESS: 77 Homewood Circle; Yarmouth, ME 04096 e-mail susiesoule@gmail.com  
CONTRACTOR  
NAME: Linkel Construction, Inc. PHONE NO: (207) 725-1438  
MAILING ADDRESS: 255 Augusta Road; Topsham, ME 04086 e-mail tobias@linkelconstruction.com  
PROPERTY LOCATION: Homewood Village; Casco Bay, Yarmouth, ME

*Applicant must also include a narrative of the project including a description of all proposed construction, (E.G. Land clearing, road building, septic systems and wells – Please note: A site plan sketch is required on a separate sheet of paper no less than 11" x 17" or greater than 24"x36"*

**Please note: Plan set must be bound (not rolled) with a cover sheet and index.**

Proposed use of project: Shoreland Improvements  
Estimated cost of construction \$240,450.00  
Lot area (sq. ft.) 773,720  
Frontage on Road (FT) 965  
SQ. FT. of lot to be covered by non-vegetated surfaces No Change  
Elevation above 100 YR Flood Plain N/A  
Frontage on water body (FT.) 923  
Height of proposed structure N/A



Existing use of property Residential

Proposed use of property Residential

*Note: NEXT Questions apply only to expansions of portions of existing structures that are less than the required setback.*

- A) Total building footprint area of portion of structure that is less than required setback as of 1/1/89: N/A SQ.FT.
- B) Actual shore setback of existing structure proposed for expansion (measured as required in SOD, e.g.: Highest Annual Tide; Upland Edge of Coastal Wetland; Top of Bank (RP); Normal High Water Line of rivers and streams; as applicable): N/A
- C) Building footprint area of expansions of portion of structure that is less than required setback from 1/1/89 to present: N/A SQ.FT.
- D) Building footprint area of proposed expansion of portion of structure that is less than required setback: N/A SQ.FT.
- E) % Increase of building footprint of previous and proposed expansions of portion of structure that is less than required setback since 1/1/89: % increase =  $((C+D)/A) \times 100 =$   
N/A %
- F) Floor Area and Market Value of Structure prior to improvements: (a) Area: N/A  
Value: N/A. Floor Area and Market Value of portions of Structure removed, damaged or destroyed: (b) Area: N/A Value: N/A. If the floor area or market value of (b) exceeds 50% of the area or value of (a), then the Relocation provisions of Article IV.R.5.a.(3) and (4) shall apply. **Note:** A value appraisal may be required or submitted in close cases where the applicant asserts that that 50% trigger and relocation assessment provision is not met. **Any plan revisions after initial approvals to replace rather than renovate building components (foundations, framing, etc.) shall be required to recalculate the extent of removal, damage or destruction relative to retained structure.**
- ☒ Please provide a site plan to include lot lines, area to be cleared of trees and other vegetation; the exact position of proposed structures, including decks, porches, and out buildings with accurate setback distances from the shoreline, side and rear property lines; the location of proposed wells, septic systems, and driveways; and areas and amounts to be filled or graded. If the proposal is for the expansion of an existing structure, please distinguish between the existing structure and the proposed expansion.
- ☒ Note: For all projects involving filling, grading, or other soil disturbance you must provide a soil erosion control plan describing the measures to be taken to stabilize disturbed areas before, during and after construction.
- ☒ Draw a simple sketch showing both the existing and proposed structures with dimensions.



SHORELAND ZONING PERMIT CHECKLIST

Please note that this checklist is intended to help applicants identify major submittal components but it is the applicant's responsibility to review the SOD/RP provisions outlined in Chapter 701 of the Yarmouth Code and provide all required information as well as conform to all design components. Copies of Chapter 701 are available at the Yarmouth Town Hall or can be downloaded on the Town website which is [www.yarmouth.me.us](http://www.yarmouth.me.us).

- ☒ Complete Shoreland Zoning Permit application including signatures of property owners and agents.
- ☒ Appropriate fee.
- ☒ Square footage of lot area within the 250' SOD
- ☒ Square footage and % of lot covered by non-vegetated surfaces within the SOD
- ☒ Square footage and % of cleared area within lot area within the SOD
- ☒ Delineation of 75' setback from upland edge of the coastal wetland
- ☒ Delineation of 250' SOD line from upland edge of the coastal wetland.
- ☒ Delineation of Resource Protection District
- ☒ Height of any proposed structures as measured between the mean original grade at the downhill side of the structure and the highest point of the structure
- ☒ Building elevations of any proposed structures as viewed from side and rear lot lines
- ☒ % Increase of expansions of portion of structure which is less than the required setback (if applicable)
- ☒ Floor Area and Market Value of Structure prior to improvements: (a) Area: \_\_\_\_\_ Value: \_\_\_\_\_. Floor Area and Market Value of portions of Structure removed, damaged or destroyed: (b) Area: \_\_\_\_\_ Value: \_\_\_\_\_.
- ☒ Elevation of lowest finished floor to 100 year flood elevation
- ☒ Evidence of submission of the application to the Maine Historic Preservation Commission (MHPC) at least twenty (20) days prior to the Planning Board meeting as required in Article IV.R.O
- ☒ Copy of additional permit(s) if applicable:
  - Planning Board (e.g. Subdivision, Site Plan Review)
  - Board of Appeals
  - Flood Hazard
  - Exterior plumbing permit (Approved HHE 200 Application Form)
  - Interior plumbing permit
  - DEP permit (Site Location, Natural Resources Protection Act)
  - Army Corps of Engineers Permit (e.g. Sec. 404 of Clean Waters Act)
- ☒ Please circle all habitat types, marine organisms and shoreline elements present:  
(Sand beach) boulder/cobble beach (sand flat) (mixed coarse & fines) (salt marsh)  
ledge (rocky shore) mudflat (sediment depth if known) (Bluff/bank) (Mussels) (clams)  
(marine worms) rockweed (eelgrass) (lobsters) (other \_\_\_\_\_)
- ☒ Signs of intertidal erosion? Yes (no)
- ☒ Energy: (protected) semi-protected (partially exposed) exposed
- ☒ Copy of deed
- ☒ Soil erosion control plan
- ☒ Photographs
- ☒ Plan view



NOTE: Applicant is advised to consult with the CEO and appropriate state and federal agencies to determine whether additional permits, approvals, and reviews are required.

**CONDITIONS OF APPROVAL**

The property shown on this plan may be developed and used only as depicted on this approved plan. All elements and features of the plan and all representations made by the applicant concerning the development and use of the property which appear in the record of the Planning Board proceedings are conditions of approval. No change from the conditions of approval is permitted unless an amended plan is first submitted to and approved by the Planning Board.

I certify that all information given in this application is accurate. All proposed uses shall be in conformance with this application and the Town of Yarmouth Shoreland Regulations in the Zoning Ordinance. I agree to future inspections by the Code Enforcement Officer / Planning Director / Planning Board members (as applicable) at reasonable hours and with advance notice.

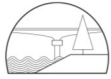
"I authorize appropriate staff within the Yarmouth Planning Department to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to collect facts pertaining to my application."

Applicant Signature See Attached Authorized Agent Letter Date See Attached

Agent Signature  Date 12/14/2021  
(if applicable)

Code Enforcement Officer \_\_\_\_\_

DATE OF APPROVAL / DENIAL OF APPLICATION \_\_\_\_\_  
(by either staff or planning board)



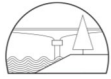
## Agent Authorization

Susie Soule  
Homewood Village Owners Association  
77 Homewood Circle  
Yarmouth, ME 04096

By signing below, I authorize Baker Design Consultants to act as agent for the purpose of permit communication on applications filed for the proposed shoreland improvements located within Homewood Village; Homewood Circle (Tax Map 2 / Lot 34); Casco Bay; Yarmouth, Maine.

Signed: 

Date: 12/6/21



## Project Narrative

Settlement of Drinkwater Point by white immigrants at the current Homewood Village is documented back to 1791. The farmstead expanded to include several cottages, a wharf and eventually the Homewood Inn. The Inn and its seasonal guest cottages were in operation from 1912 to 1990. Some of the cottages within the village that were constructed on ledge seaward of the highest annual tide (HAT) line which have been removed and only partial concrete foundations remain anchored to ledge. In 1990 the development was incorporated as a non-profit residential village (Homewood Village Owners Association) and remains in the same configuration since.

HVOA is a coastal property in Yarmouth, Maine, on Casco Bay, with approximately 18 acres of lawn, landscape areas, gravel drives and parking, residential buildings, as well as several residential cottages, a community building, community outdoor pool and paved recreation court area, garages, and a timber pier with timber floating docks.

A slope failure occurred on the properties shorefront in 2014 and has since been repaired. Permits for this repair work included:

- MaineDEP permit L26696ANBN
- U.S. Army Corps of Engineers permit NAE-2015-01500
- Town of Yarmouth Shoreland Zoning permit SOD 2015-19

The shorefront has been protected by a concrete toe wall, riprap, granite block seawall and vegetated embankment areas since the Homewood Inn was in operation. Several areas of the shorefront are in need of repair and rehabilitation. Existing conditions photographs attached to this application follow, which indicated the shorefront conditions.

All work is intended to stay at and above the HAT line. All stabilization work will meet State and Town requirements. All work will repair the toe walls and granite block sea wall in place. The work will remove invasive plant species impacted by the work and will replant disturbed areas above the toe armoring with native vegetation. Repairs and improvements to existing storm drain conveyance systems to the bottom of the slope will be either through existing outfall pipes or a new outfall pipe location behind an existing concrete toe wall.

U.S. Army Corps of Engineers permitting is not required as the work will not disturb any wetlands or impact the site beyond the HAT line.

The proposed shoreland improvements are as indicated on the attached drawings.





## CONSIDERATION OF REGULATORY STANDARDS

All working proposed shall be in conformity with regulations of the WOC II, SOD and RPD districts as applicable. The applicable Town of Yarmouth regulatory land use standards are provided below and addressed in the text that follows.

### *§ Shoreland Overlay District Standards*

#### *a. Stream Protection District.*

N/A

#### *b. Dimensional Standards*

1. The existing lot is 18.0+/- acres in size, exceeding the WOC II 17 acre minimum. 4.0+/- acres are located within the Shoreland Zone.
2. Land below the Normal High-Water line is not included toward calculating the minimum lot area.
3. N/A
4. The minimum lot width within 100-ft of the Highest Annual Tide is 615-ft +/-, which is greater than the shore frontage requirement for WOC II use adjacent to tidal areas, which is 200-ft.
5. N/A
6. The lot has approximately 255-ft of shore frontage, exceeding the 150-foot minimum for a residential unit adjacent to tidal areas.

#### *c. Principal and Accessory Structures*

N/A

#### *d. Parking Areas.*

N/A

#### *e. Roads and Driveways.*

N/A

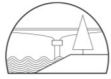
#### *f. Storm Water Runoff.*

Storm drainage on the property is primarily conveyed by surface flows over lawns, off of buildings and paved surfaces, collected in subsurface pipes and catch basins, and to the shoreline through outfall pipes laid on the embankment.

Proposed changes associated with the shoreline stabilization project include:

- Repairing separated pipe segments and an eroding outfall area by extending the easternmost outfall pipe to the adjacent concrete toe wall with new pipe segments and two catch basins.





- Installing a new catch basin at the top of the full slope repair section and replacing the 4" outfall pipe with a new 15" outfall pipe discharging behind repaired stone toe armoring.
- Repairing separated pipe segments with new connections to an existing manhole, and intercepting surface flows from an old well with a curtain drain and pipe connecting to the drain manhole on the eastern end of the property.
- All disturbed areas will be replanted with vegetation matching existing (lawn, perennials and/or shrubs).

*g. Essential Services*

N/A

*h. Mineral Exploration and Extraction*

N/A

*i. Agriculture*

N/A

*j. Timber Harvesting.*

N/A

*k. Clearing or Removal of Vegetation*

*l. Hazard Trees, Storm-Damaged Trees, and Dead Tree Removal*

N/A

*m. Exemptions to Clearing and Vegetation Removal Requirements*

N/A

*n. Revegetation Standards.*

Revegetation is proposed for all disturbed areas to replace existing and invasive species plantings with lawn and/or native perennials and shrubs. If trees are required to be removed as hazard trees they will be removed as determined to be hazard trees during the construction period upon approval of the Town Codes Enforcement officer.

*o. Erosion and Sedimentation Control*

1. Application of temporary and permanent erosion control measures for the project shall be in accordance with procedures and specifications of the current Maine Erosion and Sediment Control Handbook for Construction; Best Management Practices, by the MaineDEP.
2. All erosion control measures shall be installed before excavation takes place and shall be maintained continuously until construction is complete and the site is stabilized.



3. All coastal stabilization construction shall be stabilized complete and in-place at the end of each day and between high tide cycles.
4. The contractor is certified by MaineDEP in E.&S.C. practices.

*p. Soils.*

All repair work will maintain existing soil conditions behind and beneath the stone toe, concrete toe and granite block seawall armoring of the shorefront.

*q. Water Quality.*

Water is conveyed across the property towards to the shoreline and discharged into Casco Bay. The majority of the water is conveyed by surface flow across gravel areas, building roofs and decks, lawns and perennial / shrub growth areas and collected in subsurface drainpipes conveyed to the shoreline via outfall pipes on top of the embankments. Repair of the shorefront stabilization structures as described above and on the attached drawings will reduce soil erosion into Casco Bay.

*r. Archaeological Sites*

This site is not listed on, or eligible to be listed on the National Register of Historic Places. See attachments for correspondence with MHPC.

*s. Septic Waste Disposal.*

N/A



# ATTACHMENTS

Attachment 1	MHPC Correspondence
Attachment 2	Additional Permits
Attachment 3	Deed
Attachment 4	Soil Erosion Control Plan
Attachment 5	Photographs
Attachment 6	Project Plans



## ATTACHMENT 1 MHPC Correspondence

The State office of the Maine Historic Preservation has been provided a copy of key plans with a request for comment as part of the Town of Yarmouth Shoreland Zoning permit application requirements as evidenced below:



BAKER DESIGN CONSULTANTS  
Civil, Marine and Structural Engineering

December 14, 2021

Maine Historic Preservation Commission (MHPC)  
Attn: Kirk Mohnney, Director  
65 State House Station  
Augusta, Maine 04333-0065

Subject: Homewood Village Owners Association Shoreland Improvements  
**Town of Yarmouth Shoreland Zone Permit Application**  
77 Homewood Circle; Casco Bay; Yarmouth, Maine 04096

Dear Sir/Madam,

I have enclosed plans, photographs and a location map for the Homewood Village Owners Association Shoreland Improvements project in Yarmouth, Maine.

In accordance with the Yarmouth Town Ordinance (Chapter 701), we are requesting your review of the project in question in relation to any possible architectural and/or archeological significance. The project involves repair and improvement of existing shorefront stabilization structures including stone toe armoring, concrete toe walls, a granite block seawall and stormdrain pipe outfalls as described further in the attached project location map, photos and drawings.

Please let us know if you have any questions or comments.

Thank you for your time and consideration.

Sincerely,

BAKER DESIGN CONSULTANTS, Inc.

Travis Pryor, RLA / LEED-AP  
Senior Project Manager

PN: 20-11

Copy w/o enc  
[kirk.mohnney@maine.gov](mailto:kirk.mohnney@maine.gov)



## **ATTACHMENT 2   Additional Permits**

- The Town has received a copy of the Maine Department of Environmental Protection's NRPA PBR application submission dated December 13, 2021.



## ATTACHMENT 3 Deed

- Release Deed: Cumberland County Registry of Deeds, Book 9355, Pages 337-342

EX9355PG 337

**050381** 901017

RELEASE DEED

KNOW ALL MEN BY THESE PRESENTS that HOMEWOOD INN ASSOCIATES, a Maine general partnership and FREDERICK B. WEBSTER, JR. of Yarmouth, Maine, for consideration paid, release to HOMEWOOD VILLAGE OWNERS ASSOCIATION, a Maine non-profit corporation, whose mailing address is P.O. Box 196, Drinkwater Point, Yarmouth, Maine 04096, a certain lot or parcel of land with all the buildings and improvements thereon and the wharf adjacent thereto, situated in the Town of Yarmouth, in the County of Cumberland and State of Maine, more particularly described as follows:

A certain lot or parcel of land bounded southwesterly by land now or formerly of John R. Drinkwater, southeasterly by Casco Bay, northeasterly by the town road, and northwesterly by the back road so-called, excepting therefrom a lot of land containing about three-quarters (3/4) of an acre conveyed by James M. Bucknam to his wife, Edna A. Bucknam, and another lot of land containing about 15 acres, conveyed to James P. Baxter, et als, by James M. Bucknam.

Also another lot of land containing about 32 acres, bounded southwesterly by land now or formerly of John R. Drinkwater; northwesterly by land now or formerly of Reuben Prince, Reuben Chandler and Samuel Prince; northeasterly by land now or formerly of Dorcas Drinkwater, and southeasterly by the back road, so-called, excepting therefrom a lot of land of about 2 acres, conveyed by said James M. Bucknam to his son, James M. Bucknam, Jr.

Also another lot of land, containing 10 acres, more or less, bounded northwesterly and southwesterly by the town road, and northeasterly and southeasterly by land now or formerly of Theophilus Drinkwater.

The three lots of land above described constituted the former homestead farm of Samuel Bucknam, late of Yarmouth, deceased, and excepting therefrom the three lots of land conveyed by said James M. Bucknam to Edna Bucknam, said James P. Baxter, et als, and said James M. Bucknam, Jr., are the same that were conveyed to said James M. Bucknam by Samuel Bucknam by deed dated September 25th, A. D., 1854, recorded in Cumberland County Registry of Deeds, Book 259, Page 471, and were later conveyed to Marie R. Gibson under the name of Maria R. Trimble by deed dated February 15, 1904, and

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SCRIBNER, ALLEN,  
SMITH & LANCASTER  
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EX0355PG 1338

recorded in said Registry of Deeds, Book 748, Page 59, to which deed reference may be had for a more particular description of the premises above described.

Also another lot of land and the wharf adjacent thereto, situated at Bucknam's Point in Yarmouth Foreside, in said Yarmouth, bounded and described, as follows: Beginning at the seashore in the southwesterly line of the town road leading to Yarmouth Village; thence northwesterly by the line of said road about 14 rods to a stone monument; thence southwesterly seven and one-half (7 1/2) rods to a stone monument near a stone culvert; thence southeasterly about 15 rods to an old wharf and to the seashore; thence northeasterly by the seashore to the place of beginning, containing three-quarters (3/4) of an acre, more or less; being the premises which were conveyed by Edna A. Bucknam to Marie R. Gibson under the name of Maria R. Trimble by deed dated February 15, A. D. 1904, recorded in said Registry of Deeds, Book 748, Page 58, together with the right of way therein described.

EXCEPTING AND RESERVING from the above described premises all the right, title and interest of the said Marie R. Gibson in and to the shore and the shore rights and the privileges connected with and appurtenant to the fifteen (15) acre lot conveyed to James P. Baxter, et als, above referred to.

The above property is subject to a right of way granted by Burton P. Lyman to Alfred S. Taylor 3 rods in width over a portion of the said property as set forth in the deed of Burton P. Lyman to Alfred S. Taylor, dated November 19, 1930, and recorded in said Registry of Deeds, Book 1354, Page 393. Also subject to the perpetual right and easement of the Central Maine Power Company as set forth in a deed from said Burton P. Lyman, dated August 14, 1931, and recorded in said Registry of Deeds, Book 1388, Page 366. Also subject to and excepting and reserving therefrom the rights conveyed to the State of Maine by Burton P. Lyman by deed dated June 21, 1940, and recorded in said Registry of Deeds, Book 1611, Page 258, to construct and perpetually maintain a public highway over and across a certain portion of real estate as described and set forth in said last mentioned deed.

ALSO EXCEPTING the parcels which have been conveyed by the following deeds recorded in said Registry of Deeds:

1. Deed from Homewood Inn, Inc. to Richard Olney and Isabel Porter Olney dated July 10, 1970 and recorded in said Registry of Deeds at Book 3139, Page 120.
2. Deed from Homewood Inn, Inc. to Leon Gorman and Wendy G. Gorman dated July 16, 1970 and recorded in said Registry of Deeds at Book 3135, Page 633.
3. Deed from Homewood Inn, Inc. to Helen G. Taylor Frothingham dated April 9, 1970 and recorded in said Registry of Deeds at Book 3132, Page 164.

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BK9355PG1339

4. Deed from Homewood Inn, Inc. to Leon A. Gorman and Wendy G. Gorman dated May 29, 1970 and recorded in said Registry of Deeds at Book 3130, Page 815.

5. Deed from Homewood Inn, Inc to Drinkwater Shores, Inc. dated March 9, 1970 and recorded in said Registry of Deeds at Book 3120, Page 205.

6. Deed from Frederick B. Webster and Doris P. Webster to Loyall F. Sewall dated August 10, 1962 and recorded in said Registry of Deeds at Book 2694, Page 110.

7. Deed from Frederick B. Webster and Doris P. Webster to Edward C. Delano and Marguerite L. Delano dated May 2, 1963 and recorded in said Registry of Deeds at Book 2747, Page 28.

8. Deed from Frederick B. Webster and Doris P. Webster to Elizabeth W. White dated July 2, 1963 and recorded in said Registry of Deeds at Book 2779, Page 330.

9. Deed from Frederick B. Webster and Doris P. Webster to Jules E. Bernard and Brunetta E. Bernard dated February 25, 1964 and recorded in said Registry of Deeds at Book 2812, Page 396.

10. Deed from Frederick B. Webster and Doris P. Webster to Frederick B. Webster, Jr. dated August 21, 1953 and recorded in said Registry of Deeds at Book 2147, Page 138.

11. Deed from Frederick B. Webster to Leroy O. Arringdale dated January 26, 1948 and recorded in said Registry of Deeds at Book 1899, Page 418.

12. Deed from Frederick B. Webster to Ralph E. Wilson dated March 25, 1948 and recorded in said Registry of Deeds at Book 1907, Page 317.

13. Deed from Frederick B. Webster to Roger L. Arringdale dated May 11, 1948 and recorded in said Registry of Deeds at Book 1914, Page 47.

14. Deed from Frederick B. Webster to Wynona S. Gould dated July 19, 1948 and recorded in said Registry of Deeds at Book 1923, Page 207.

15. Deed from Frederick B. Webster to Russell A. McLeod and Elaine S. McLeod dated November 3, 1950 and recorded in said Registry of Deeds at Book 2021, Page 107.

16. Deed from Homewood Inn, Inc. to Webster & Goddard Insurance, Inc. dated June 29, 1973 and recorded in said Registry of Deeds at Book 3444, Page 190.

17. Deed from Homewood Inn Associates and Maine National Bank to Seaborne of Yarmouth Association dated April 24, 1990 and recorded in said Registry of Deeds in Book 9184, Page 4.

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EX9355PG0340

18. Deed from Homewood Inn Associates and Maine National Bank to John L. Lunt and Marilyn M. Lunt dated April 24, 1990 and recorded in said Registry of Deeds in Book 9184, Page 6.

ALSO EXCEPTING those certain lots or parcels of land situated in the Town of Yarmouth, County of Cumberland and State of Maine, being the same property conveyed to Frederick B. Webster, Jr. and Colleen Webster from Doris P. Gillette by deed dated February 11, 1983, recorded in said Registry of Deeds in Book 6145, Page 192, and deed dated March 20, 1986, recorded in said Registry of Deeds in Book 7128, Page 166, as confirmed by Confirmation Deed of Doris P. Gillette dated November 23, 1988, and recorded in said Registry of Deeds in Book 8566, Page 289.

ALSO EXCEPTING the following:

1. Rights and easements granted to Central Maine Power Company by instrument dated October 28, 1969 and recorded in said Registry of Deeds in Book 3120, Page 636, by instrument dated May 4, 1960 and recorded in said Registry of Deeds in Book 2548, Page 362, by instrument dated December 13, 1963 and recorded in said Registry of Deeds at Book 2798, Page 190, and by instrument dated November 3, 1950 and recorded in said Registry of Deeds at Book 2034, Page 500.

2. Rights and easements granted to New England Telephone and Telegraph Company by instrument dated April 8, 1980 and recorded in said Registry of Deeds in Book 4592, Page 282.

3. Rights and easements granted to Central Maine Power Company and New England Telephone and Telegraph Company by instrument dated November 17, 1976 and recorded in said Registry of Deeds in Book 4017, Page 180.

4. Rights and easements granted to Town of Yarmouth by instrument dated February 23, 1984 and recorded in said Registry of Deeds in Book 6403, Page 205.

5. Rights and easements granted by Homewood Inn Associates and Maine National Bank to Frederick B. Webster, Jr. and Colleen M. Webster by instrument dated April 24, 1990 and recorded in said Registry of Deeds in Book 9189, Page 1.

6. Rights in common with others to use all driveways and the right to use all utility lines, pipes and wires excepted in Deed dated March 28, 1966 and recorded in said Registry of Deeds in Book 2951, Page 276.

Being a portion of the premises conveyed to Homewood Inn, Inc. by deed of Frederick B. Webster and Doris P. Webster dated March 14, 1966 and recorded in said Registry of Deeds, Book 2951, Page 276. Reference is also made to the deed from Grace R. Lugin to

PIERCE, ATWOOD,  
SCRIBNER, ALLEN,  
SMITH & LANCASTER  
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PORTLAND, MAINE  
04101



BK 9355 PG 341

Frederick B. Webster dated October 27, 1947 and recorded in said Registry of Deeds at Book 1894, Page 290.

Reference is further made to the Standard Boundary Survey of Homewood Inn, Homewood Road, Yarmouth, Maine for Homewood Inn Associates dated June 27, 1989, last revised September 7, 1990 recorded in said Registry of Deeds in Plan Book 187, Page 42.

SUBJECT FURTHER to the provisions of the Declaration of Covenants, Conditions and Restrictions, Homewood Village, Yarmouth, Maine dated October 17, 1990 to be recorded herewith in said Registry of Deeds.

SUBJECT FURTHER to the provisions of the Conversion Plan for Homewood Village, being all of the following: Standard Boundary Survey dated June 27, 1989, last revised September 7, 1990, prepared by Maine Land Surveyors, Inc., recorded in said Registry of Deeds in Plan Book 187, Page 42; Plan of Homewood Village dated June 27, 1989, last revised April 25, 1990, prepared by Maine Land Surveyors, Inc., recorded in said Registry of Deeds in Plan Book 187, Page 43, Sheet 1 of 5; Homewood Village Conversion & Site Plan, Significant Open Space Village, Sheet No. 5, dated January 31, 1990, last revised May 9, 1990, prepared by Terrence J. DeWan & Associates, recorded in said Registry of Deeds in Plan Book 187, Page 43, Sheet 2 of 5; Homewood Village Conversion and Site Plan, Significant Open Space Field, Sheet No. 6, dated January 31, 1990, last revised April 25, 1990, prepared by Terrence J. DeWan & Associates, recorded in the said Registry of Deeds in Plan Book 187, Page 43, Sheet 3 of 5; Homewood Village Conversion & Site Plan, Significant View Corridor Village, Sheet No. 7, dated January 31, 1990 last revised May 9, 1990, prepared by Terrence J. DeWan & Associates, recorded in said Registry of Deeds in Plan Book 187, Page 43, Sheet 4 of 5; Homewood Village Conversion and Site Plan, Significant View Corridor Field, Sheet No. 8, dated January 31, 1990 last revised April 25, 1990, prepared by Terrence J. DeWan & Associates, recorded in said Registry of Deeds in Plan Book 187, Page 43, Sheet 5 of 5; and Homewood Village Conversion Plan Description of Existing and Proposed Buildings: Proposed Building Alterations Permitted Building Alterations, dated April 25, 1990, last revised May 7, 1990, prepared by Terrence J. DeWan & Associates and Maine Land Surveyors, Inc., recorded in said Registry of Deeds in Book 9342, Page 105.

RESERVING, HOWEVER, to the Grantors herein those certain lots together with the residential units thereon as shown on the aforesaid plan recorded in said Registry of Deeds in Plan Book 187, Page 43, Sheet 1 of 5, and as further described in the aforesaid document recorded in said Registry of Deeds in Book 9342, Page 105, as "Out of Bounds 1," "Out of Bounds 2," "Maine House," "Guest House," "Nor'east," "Sunnyside," "Court House," "White House," "Applewood," "Gull," "Casco," "Orchard," "Oaks,"

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SMITH & LANCASTER  
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PORTLAND, MAINE  
04101

-5-



BK9355PG0342

"Cove," "Seawall," "Tides 1," and "Tides 2". AND  
FURTHER RESERVING to the Grantors all of the rights  
and benefits of the owners of said lots and  
residential units as described in the said Declaration  
of Covenants, Conditions and Restrictions, Homewood  
Village, Yarmouth, Maine dated October 17, 1990.

IN WITNESS WHEREOF, Frederick B. Webster, Jr., individually  
and as General Partner of Homewood Inn Associates has executed  
this deed as of the 17th day of October, 1990.

SIGNED, SEALED and DELIVERED  
in the Presence of

HOMEWOOD INN ASSOCIATES

By: Frederick B. Webster, Jr.  
Frederick B. Webster, Jr.,  
General Partner

Frederick B. Webster, Jr.  
Frederick B. Webster, Jr.,  
Individually

STATE OF MAINE  
CUMBERLAND, ss.

October 17, 1990

Then personally appeared the above named Frederick B.  
Webster, Jr., in his individual capacity and as General Partner  
of Homewood Inn Associates, a Maine general partnership, and  
acknowledged the foregoing instrument to be his free act and  
deed individually and in his said capacity and the free act and  
deed of Homewood Inn Associates.

Before me,

Elaine S. Falender  
Notary Public/Attorney at Law  
Elaine S. Falender  
Printed Name

646/WPPSF

PIERCE, ATWOOD,  
SCRIBNER, ALLEN,  
SMITH & LANCASTER  
ONE MONUMENT SQ.  
PORTLAND, MAINE  
04101

RECEIVED  
REGISTERED REGISTRY OF DEEDS  
1990 OCT 17 PM 1:45  
CUMBERLAND COUNTY

-6-



## **ATTACHMENT 4   Soil Erosion Control Plan**

The project involves excavation and re-grading of a portion of the property embankment, excavation and re-installation / relocation of subsurface drainpipes and outfalls and excavation and repair of areas behind concrete toe walls. Invasive plant species will be removed, in addition to vegetation removed for access to the shoreline and for repair of a portion of the embankment slope. These areas will be stabilized by repaired toe armoring and replacement of disturbed areas above with native perennials and shrubs. Upland areas will be stabilized with erosion control blankets secure in place at the end of each workday to prevent erosion of earthwork materials from migrating into the coastal wetland. All toe armoring repairs will be secured in-place at the end of each workday and before proceeding upgradient with outfall pipe and slope stabilization repairs. All embankment work shall also be secured at the end of each workday with stone step materials and/or erosion control matting.

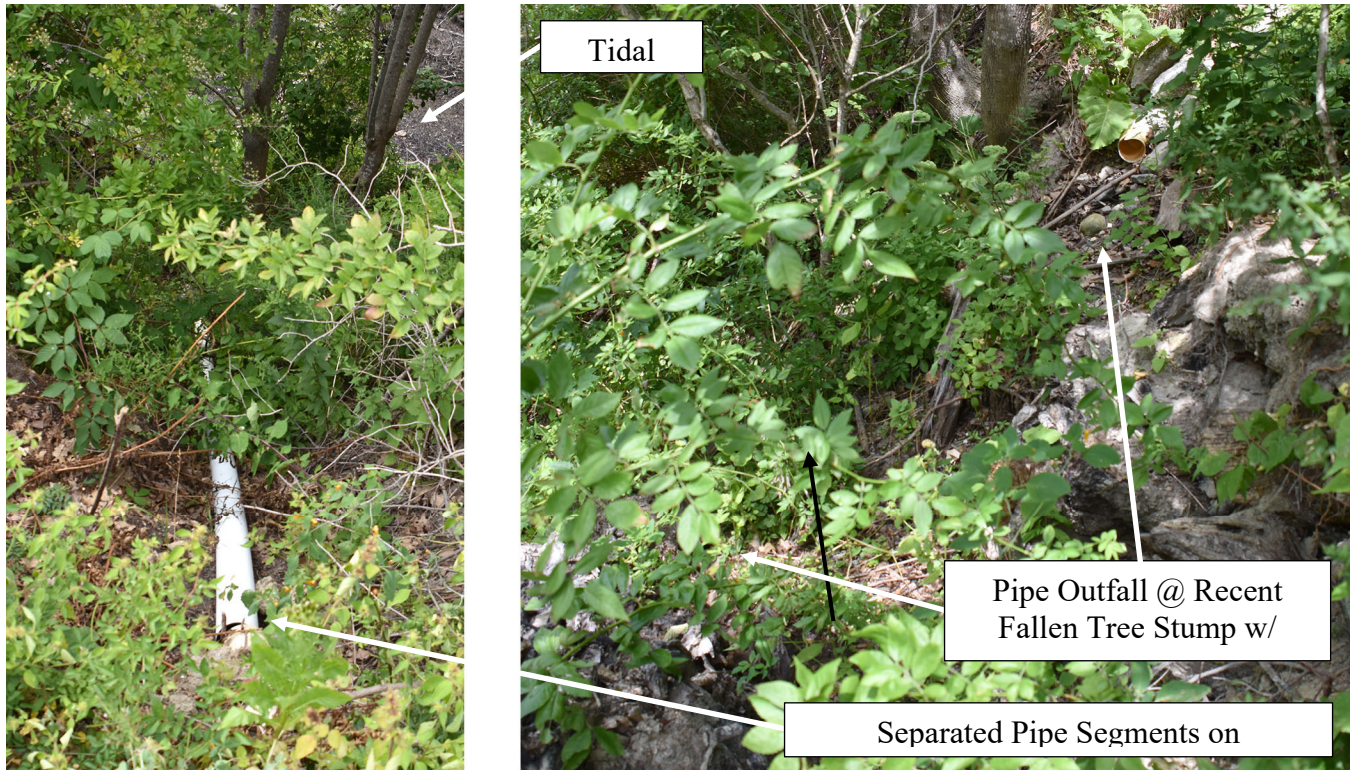
MaineDEP Best Management Practices for erosion control will be referenced in the construction documents.

1. Application of temporary and permanent erosion control measures for the project shall be in accordance with procedures and specifications of the current Maine Erosion and Sediment Control Handbook for Construction; Best Management Practices.
2. All areas disturbed during construction shall be reconstructed and stabilized to their pre-construction conditions or better unless noted otherwise.
3. All work shall be executed from shore by barge or upland by small excavator at the top of the embankment, or by hand labor on the embankment slope. No tracked or wheeled equipment shall be operated or placed below or in tidal waters.
4. Temporary erosion control measures shall be removed upon completion of grading operations, and restoration and stabilization of all disturbed areas.
5. The Contractor shall be responsible for maintaining erosion control measures during construction.

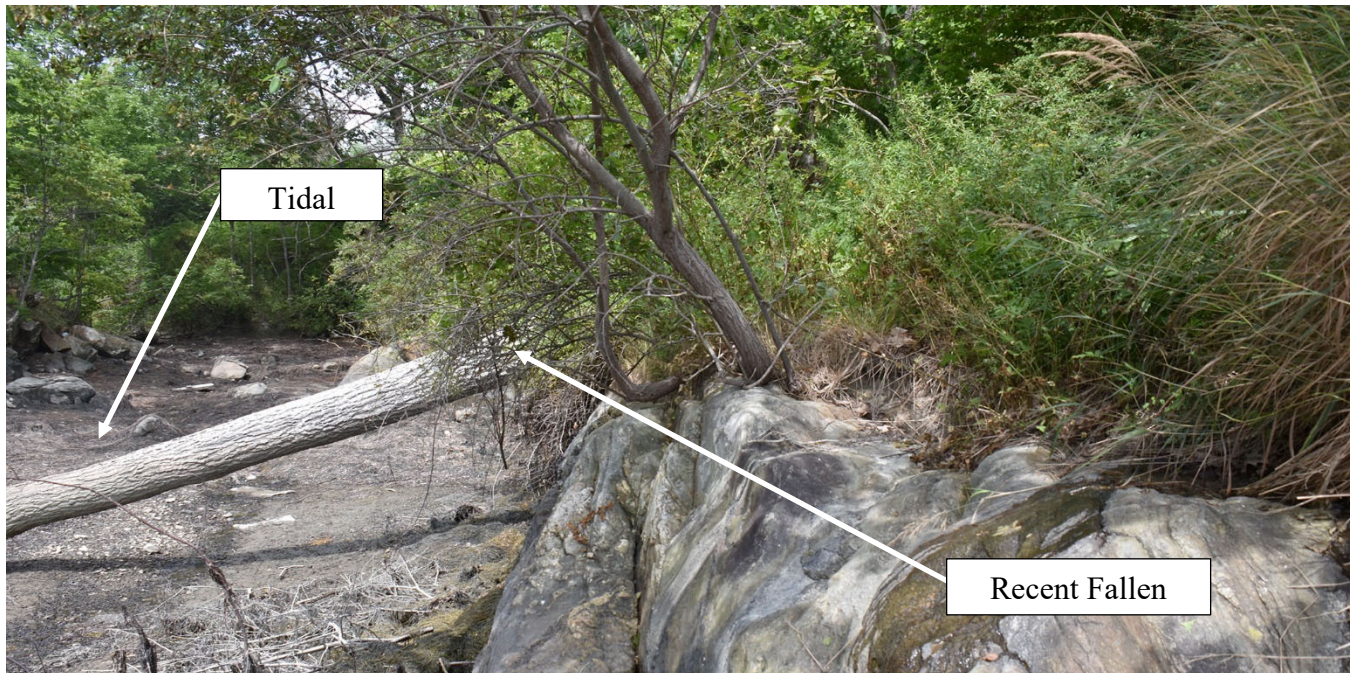




## ATTACHMENT 5 Photographs

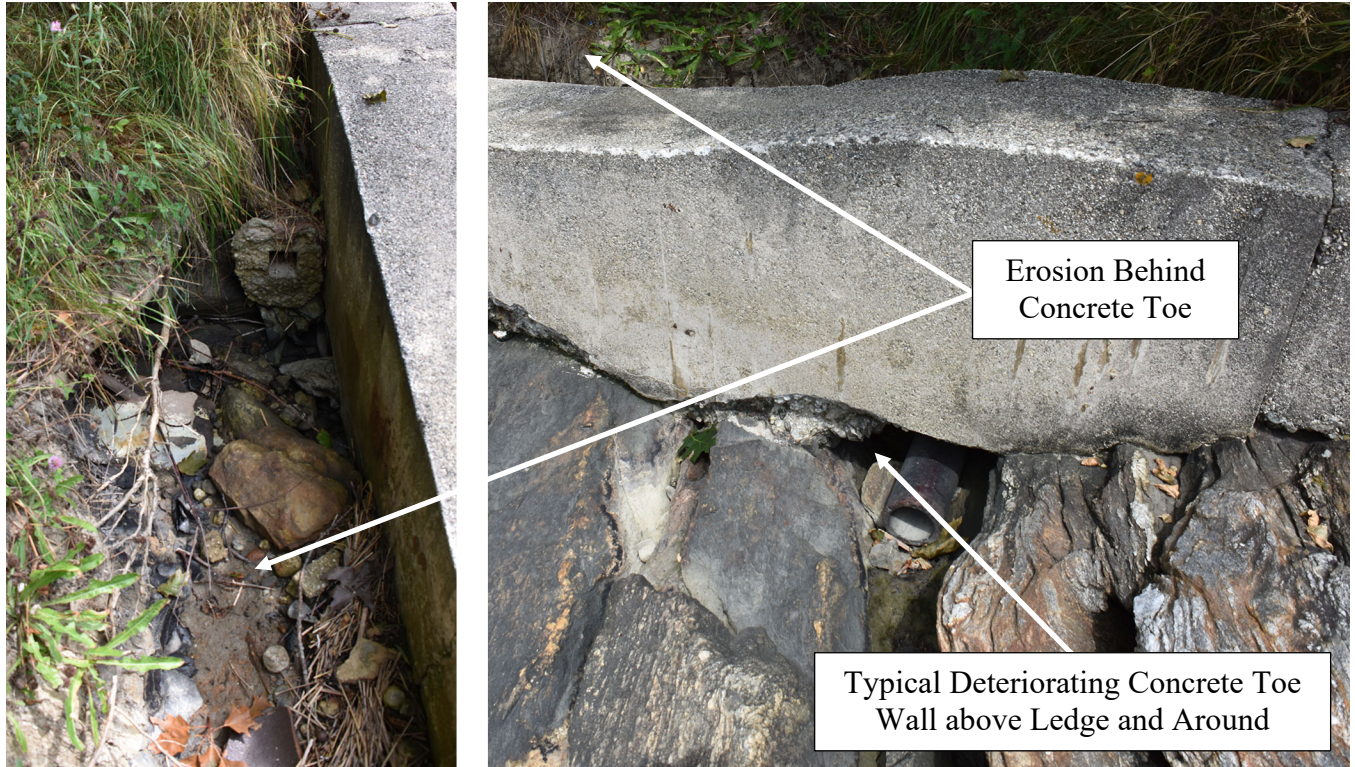


Looking at the western most storm drain outfall pipe to the shore. The pipe has separate in several sections. Low Tide 12:39pm [Photo Time – Date: 10:00am – 8/13/20; Ebb Tide]



Looking north at a recently fallen tree. The roots of the tree are in close proximity to the storm drain outfall. Low Tide 12:39pm [Photo Time – Date: 10:00am – 8/13/20; Ebb Tide]





An example of a section of the deteriorating concrete toe wall along the eastern shoreline with eroded soils behind the wall. Low Tide 12:39pm [Photo Time – Date: 10:00am – 8/13/20; Ebb Tide]



Looking south at the granite block seawall. Wyman Power Station on Cousins Island in the background. Low Tide 1:27pm [Photo Time – Date: 11:00am – 4/16/20; Ebb Tide]





Looking north at a section of the deteriorating concrete toe wall to the east of the granite block seawall. Low Tide 1:27pm [Photo Time – Date: 11:00am – 4/16/20; Ebb Tide]

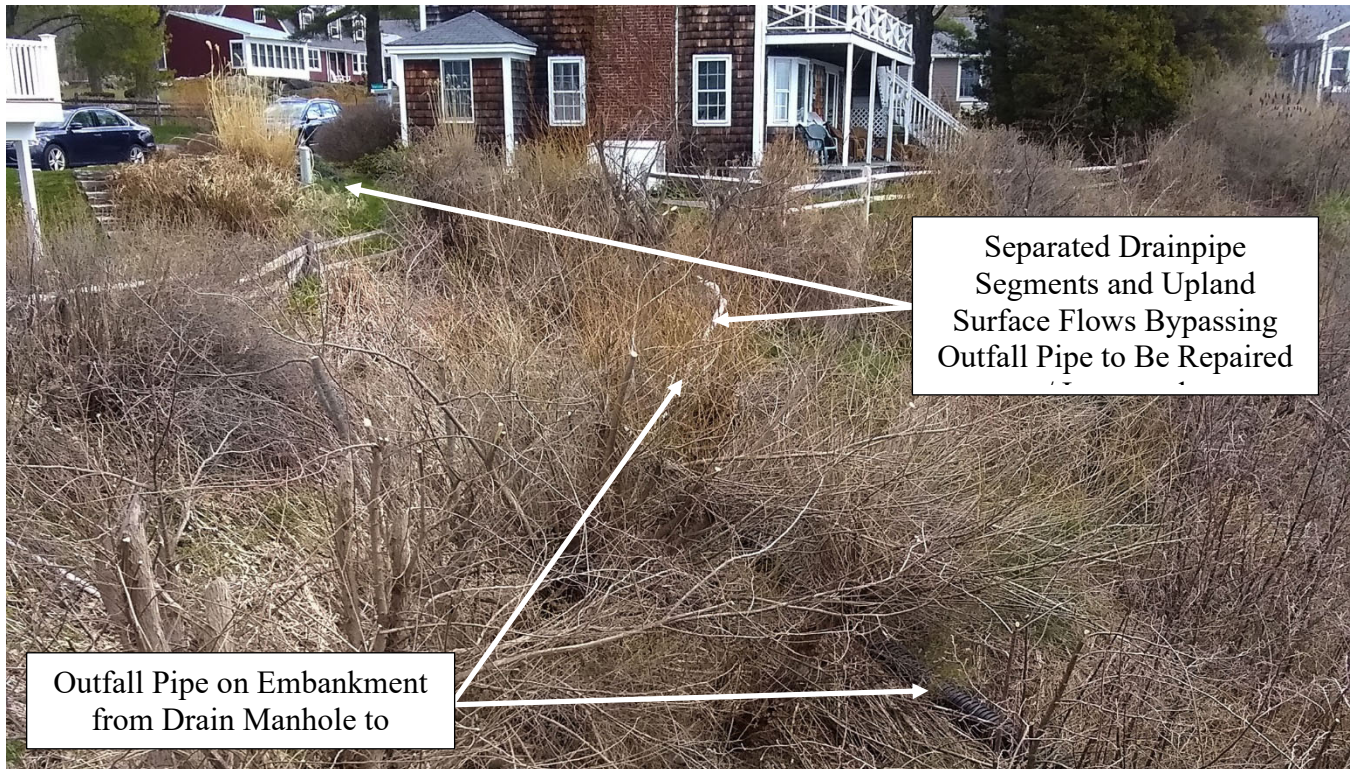


Looking north at a portion of riprap toe armored shoreline. Area to the right with the outfall pipe was part of the 2014 slope failure repair. Low Tide 1:27pm [Photo Time – Date: 11:00am – 4/16/20; Ebb Tide]



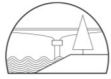


Looking northwest next to the slope failure repair where displaced riprap and deteriorated concrete toe wall conditions are occurring. Low Tide 1:27pm [Photo Time – Date: 11:00am – 4/16/20; Ebb Tide]



Looking northeast at the vegetated embankment area with prior MaineDEP approved outfall pipes. Low Tide 1:27pm [Photo Time – Date: 11:00am – 4/16/20; Ebb Tide]





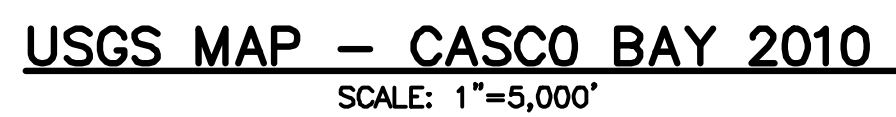
## **ATTACHMENT 6 Project Plans**

The following plans are provided:

- G-1 COVERSHEET
- G-2 NOTES AND SCHEDULES
- C-1 OVERVIEW PLAN
- C-2 SITE PLAN I
- C-3 SITE PLAN II
- C-4 SITE PLAN III
- C-5 DETAILS I
- C-6 DETAILS II



YARMOUTH, MAINE  
PROJECT NO. 20-11



SHEET NO.	DESCRIPTION
G-1	COVERSHEET
G-2	NOTES AND SCHEDULES
C-1	OVERVIEW PLAN
C-2	SITE PLAN I
C-3	SITE PLAN II
C-4	SITE PLAN III
C-5	DETAILS I
C-6	DETAILS II

**NOT FOR CONSTRUCTION**



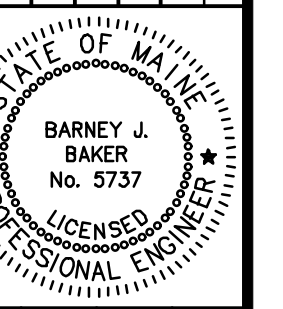
OWNER:           HOMEWOOD VILLAGE OWNERS ASSOCIATION

ADDRESS:       77 HOMEWOOD CIRCLE  
                    YARMOUTH, ME 04096

MAP/LOT:       02-34

ZONING:         WOC II   WATER ORIENTED COMMERCIAL II  
                    RPD       RESOURCE PROTECTION DISTRICT  
                    SOD       SHORELAND OVERLAY DISTRICT

B	PERMITTING	12/08/21	TJP
A	CLIENT REVIEW	06/11/21	TJP
NO.	SUBMISSION	DATE	INT.



DRAWN BY:	TJP
CHECKED BY:	BJB
SCALE:	AS SHOWN

COVERSHEET I

HOMWOOD VILLAGE OWNERS ASSOCIATION  
**SHORELAND IMPROVEMENTS**  
YARMOUTH, MAINE

PROJECT: HO		SH
TE		
ECEMBER 2021		
NTRACT NO. 20-11		
SHEET NO.	REV.	
G-1	B	



x:\20\20-11 hvaa-shoreland-td\_permits\cod\20-11 hvaa-shorefront-gen.dwg 12/8/2021

SCOPE OF WORK SUMMARY

- 1. SUBMIT SCHEDULE OF WORK FOR APPROVAL BY OWNER.
- 2. VERIFY ON-SITE LIMITS OF WORK AND MATERIALS STAGING.
- 3. PERFORM "DIG SAFE" UTILITY LOCATION.
- 4. INSTALL EROSION CONTROL MEASURES.
- 5. CONSTRUCTION OF SHORELAND IMPROVEMENT PROJECTS IN PHASES AS APPROVED BY OWNER AND IN ACCORDANCE WITH THE DESIGN PLANS AND REGULATORY PERMIT APPROVALS.
- 6. REMOVE EXCESS MATERIAL FROM SITE AS NECESSARY.
- 7. RESTORE ALL REMAINING DISTURBED AREAS.
- 8. REMOVE EROSION CONTROL MEASURES

PROJECT COORDINATION

- 1. A BRIEF LIST OF PERMIT CONDITIONS IS PROVIDED FOR CONTRACTOR REFERENCE. THIS LIST IS NOT COMPREHENSIVE. THE CONTRACTOR SHALL BE FAMILIAR WITH THE CONDITIONS OF ALL OWNER PROVIDED LOCAL, STATE AND FEDERAL PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL ADDITIONAL PERMIT NECESSARY TO COMPLETE THE WORK.  
  
(TBD PENDING MaineDEP, ACOE AND TOWN OF YARMOUTH PERMIT APPROVALS)
- 2. COPIES OF ALL PERMITS SHALL BE MAINTAINED ON-SITE FOR THE DURATION OF THE CONSTRUCTION PERIOD.

GENERAL NOTES

- 1. THE CONTRACTOR SHALL TAKE PRE-CONSTRUCTION PHOTOGRAPHS AND PROVIDE COPIES TO THE OWNER PRIOR TO CONSTRUCTION. THIS WORK SHOULD INCLUDE ALL PRIVATE PROPERTY THAT MAY BE IMPACTED BY THE PROJECT.
- 2. ALL AREAS AND SITE FEATURES (INCLUDING BUT NOT LIMITED TO BUILDINGS, RETAINING WALLS, FENCES, VEGETATION, ETC.) THAT ARE DISTURBED BY THE CONTRACTOR WHICH ARE NOT TO BE PAVED, SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION OR BETTER. THIS WORK IS CONSIDERED INCIDENTAL TO THE CONTRACT AND SHALL BE AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 3. THE CONTRACTOR SHALL BE GOVERNED BY THE CONSTRUCTION SAFETY RULES AS ADOPTED BY THE STATE BOARD OF CONSTRUCTION SAFETY, AUGUSTA, MAINE AND THE SAFETY AND HEALTH REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) AS PROMULGATED BY THE US DEPARTMENT OF LABOR.
- 4. THE CONTRACTOR SHALL COMPLY WITH FEDERAL, STATE AND LOCAL REGULATORY REQUIREMENTS, AND SHALL INCLUDE IN THEIR BID COSTS FOR COMPLIANCE.
- 5. THE OWNER IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS, RIGHTS OF WAY AND EASEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF/HERSELF WITH EACH PERMIT AND RIGHTS OF OWNERSHIP/ACCESS PRIOR TO BIDDING THE WORK, AND SHALL ABIDE BY THE PROVISIONS OF EACH FOR THE DURATION OF CONSTRUCTION. COPIES OF SUCH PERMITS AND OWNERSHIP/ACCESS RIGHTS ARE AVAILABLE FOR REVIEW FROM THE OWNER.
- 6. LOCATIONS AND LIMITS OF ALL ON-SITE WORK AND STAGING AREAS SHALL BE REVIEWED BY, COORDINATED WITH AND FOUND ACCEPTABLE TO THE OWNER AND ENGINEER. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR ALL STAGING AND STORAGE OF MATERIALS.

SURVEY NOTES

- 1. PARCEL DATA IS FROM TOWN OF YARMOUTH TAX MAPS.
- 2. TOPOGRAPHIC SURVEY IS FROM THE FOLLOWING SOURCES:
  - I. MaineGIS SOURCES INCLUDING LIDAR CONTOURS AND AERIAL IMAGERY.
  - II. FIELD SURVEY OBSERVATIONS PERFORMED BY BAKER DESIGN CONSULTANTS DURING 2019 AND 2020.
  - III. SHOREFRONT STABILIZATION PROJECT ADJACENT TO THE BOUDREAU RESIDENCE.
- 3. ALL TOPOGRAPHIC INFORMATION PROVIDED IS REFERENCED TO NAVD88 VERTICAL DATUM, MAINE STATE PLANE HORIZONTAL DATUM, AND ORIENTED TO GRID NORTH UNLESS OTHERWISE NOTED.
- 4. UTILITY INFORMATION IS BASED ON AS-BUILT PLANS PROVIDED BY HVOA.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR RESETTling ALL EXISTING PROPERTY MONUMENTATION THAT IS DISTURBED BY HIS/HER OPERATIONS AT NO EXPENSE TO THE OWNER. THIS WORK IS TO BE DONE BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF MAINE.
- 6. BASE FLOOD/TIDAL INFORMATION, ZONING BOUNDARIES AND SETBACKS ARE APPROXIMATE AS SHOWN BASED ON DATA PUBLISHED BY THE TOWN OF YARMOUTH, NOAA, MaineDEP AND FEMA RESPECTIVELY, AS NOTED ON THE FOLLOWING TABLE.

PROJECT ELEVATIONS (BY DATUM)				
ELEVATION	CHART	NGVD29	NAVD88	
(ft)	(ft)	(ft)	(ft)	
Base Flood Elevation (Existing)	17.6	13.0	12.3	FEMA 1984 FIRM, ZONE V2
Base Flood Elevation (Preliminary)	17.3	12.7	12.0	FEMA 2017 FIRM, ZONE VE
500-Year Stillwater	14.7	10.1	9.4	FEMA 1984 Town of Yarmouth Flood Insurance Study - at Prince Point
100-Year Stillwater	14.2	9.6	8.9	
50-Year Stillwater	13.9	9.3	8.6	
10-Year Stillwater	13.3	8.7	8.0	
Highest Annual Tide	11.8	7.2	6.7	2018 MaineDEP Predictions - Prince Point
MH+HW	9.9	5.3	4.7	BASED ON NOAA TIDAL STATION BM 8418150 "PORTLAND"
MHW	9.5	4.9	4.2	
NAVD88	5.3	---	0.0	
NGVD29	4.6	0.0	-0.7	
MLW	0.4	-4.2	-4.9	
MLLW	0.0	-4.6	-5.3	

UTILITY NOTES

- 1. THE UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE AND ARE PROVIDED AS A GUIDE TO THE CONTRACTOR. NO GUARANTEE IS MADE THAT UTILITIES WILL BE ENCOUNTERED WHERE SHOWN OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS IN THE FIELD AND BE RESPONSIBLE FOR REPAIR OF UTILITIES DISTURBED DURING CONSTRUCTION.
- 2. THE CONTRACTOR SHALL NOT MAKE ANY OPENING OR EXCAVATION WITHIN THE PROJECT AREA UNTIL CONTACT HAS BEEN MADE WITH "DIG SAFE" AND ALL UTILITIES TO LOCATE ANY EXISTING POWER, TELEPHONE, CABLE TV, WATER OR OTHER UNDERGROUND SERVICES.
- 3. NO DISRUPTION TO THE EXISTING UTILITIES ADJACENT THE PROJECT SITE SHALL BE ALLOWED DURING DEMOLITION OR CONSTRUCTION ACTIVITIES.
- 4. ANY TEMPORARY UTILITY SERVICE, IF REQUIRED BY THE CONTRACTOR TO PERFORM HIS/HER WORK DURING THE DURATION OF CONSTRUCTION, IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. WITH THE EXCEPTION OF DRAINAGE, ADJUSTMENT OF ALL UTILITY COVERS OR SIMILAR STRUCTURES TO THE NEW FINISH GRADE WILL BE PERFORMED BY THE APPROPRIATE UTILITY OR ITS AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL COOPERATE WITH THE UTILITY IN EVERY WAY TO EXPEDITE SUCH ADJUSTMENTS. THE CONTRACTOR SHALL COORDINATE ALL UTILITY RELOCATION AND INSTALLATION WITH APPROPRIATE UTILITY COMPANIES.

DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL NOT MAKE ANY OPENING OR EXCAVATION WITHIN THE PROJECT AREA UNTIL CONTACT HAS BEEN MADE WITH "DIG SAFE" AND ALL UTILITIES TO LOCATE ANY EXISTING POWER, TELEPHONE, CABLE TV, GAS, WATER, SEWER OR OTHER UNDERGROUND SERVICES.
- 2. THE CONTRACTOR SHALL NOT HAVE ANY RIGHT OF PROPERTY IN MATERIALS TAKE FROM ANY EXCAVATION AND DEMOLITION WORK.
- 3. ALL SUITABLE EXCAVATED MATERIAL MAY BE INCORPORATED INTO THE PROJECT WITH WRITTEN APPROVAL FROM THE OWNER. EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 4. THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED, UNSUITABLE AND EXCESS MATERIAL IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- 5. TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED AT A LOCATION TO BE DESIGNATED BY THE OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFFSITE.
- 6. ALL REMOVED NON-NATIVE PLANT MATERIAL SHALL BE PROPERLY DISPOSED OF BY BURNING ON-SITE OR DISPOSAL AT A WASTE RECEIVING FACILITY

EROSION CONTROL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTION OF EROSION FOR THE DURATION OF THE PROJECT.
- 2. APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE CURRENT MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION; BEST MANAGEMENT PRACTICES.
- 3. SLOPE STABILIZATION AND RECONSTRUCTION SHALL PROCEED IN A LINEAR FASHION TO ENSURE THAT PROGRESSIVE SECTIONS CAN BE STABILIZED.
- 4. EQUIPMENT WHICH CANNOT ACCESS THE SITE BY BARGE WILL NOT BE ALLOWED IN THE INTERTIDAL ZONE UNLESS AUTHORIZED BY THE OWNER.
- 5. ALL WORK THAT EXTENDS BELOW THE HIGHEST ANNUAL TIDE ELEVATION SHALL BE COMPLETED IN THE DRY, EITHER DURING LOW TIDES OR BY UTILIZATION OF COFFER DAMS, AND SHALL BE STABILIZED AT THE END OF EACH WORK DAY DURING THE CONSTRUCTION PERIOD.
- 6. THE CONTRACTOR SHALL MONITOR WIND AND WAVE CONDITIONS AND SHALL TAKE APPROPRIATE ACTION TO PROTECT THE WORK FROM STORM DAMAGE DURING CONSTRUCTION.
- 7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE ANY EXCAVATION TAKES PLACE.
- 8. INSTALL EROSION CONTROL MESH ON ALL PROPOSED SLOPES 2:1 OR STEEPER, UNLESS SHOWN OR NOTED OTHERWISE.
- 9. ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY, AFTER RAINSTORMS AND DURING RUNOFF EVENTS. ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.

EROSION CONTROL NOTES CONTINUED

- 10. SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK.
- 11. THE CONTRACTOR SHALL CONTROL DUST TO TOLERABLE LIMITS OF THE OWNER AND THE STATE. NO EARTH MATERIAL OR CONSTRUCTION DEBRIS SHALL BE TRACKED OR SPILLED ON PUBLIC STREETS OUTSIDE THE PROJECT AREA.
- 12. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF ACCEPTABLE GROUND COVER.
- 13. THE CONTRACTOR SHALL BE CERTIFIED BY MaineDEP IN EROSION AND SEDIMENTATION CONTROL PRACTICES.

GRADING & DRAINAGE NOTES

- 1. ANY SETTLEMENT OCCURING WITHIN ONE YEAR OF SUBSTANTIAL COMPLETION OF THE PROJECT WILL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 2. ALL DRAINAGE STRUCTURES SHALL BE CLEAN AND FREE OF SEDIMENT OCCURRING DURING THE CONSTRUCTION PERIOD AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 3. ALL DRAINAGE STRUCTURE AND PIPE CONNECTIONS SHALL BE WATERTIGHT.
- 4. ALL PIPE LENGTHS MEASURED FOR PAYMENT SHALL BE FROM OUTSIDE FACE OF STRUCTURES.

CONCRETE REPAIR NOTES

- 1. PREPARE CONCRETE TOE WALL REPAIR AREAS BY REMOVING LOOSE DEBRIS MATERIAL.
- HYDRAULIC CEMENT, GROUT OR SHOTCRETE

- 1. REPAIR METHOD SHALL BE SUITABLE FOR MARINE CONSTRUCTION AND AS APPROVED BY ENGINEER AND OWNER. REPAIR SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 2. REPAIR CONCRETE MATERIAL IS TO BE PLACED DURING LOW TIDE AND THE CONTRACTOR MUST DEVELOP MEANS TO PREVENT ADVERSE EFFECTS TO CEMENTITIOUS MATERIAL DUE TO TIDAL OR WAVE ACTION DURING CURING.

CONSTRUCTION

- 1. EXISTING SPALLING CONCRETE SHALL BE CHIPPED AND REMOVED.
- 2. REPAIR CONCRETE SECTIONS SHALL BE FEATHERED INTO EXISTING CONCRETE SURFACES TO CREATE A UNIFORM FACE FREE FROM BUMPS OR PROTRUSIONS.

VEGETATION GENERAL NOTES

- 1. VEGETATION MANAGEMENT (INSTALLATION AND MAINTENANCE) SHALL COMPLY WITH TOWN OF YARMOUTH ZONING ORDINANCE CHAPTER 7 AS APPLICABLE UNDER WATER ORIENTED COMMERCIAL II (WOC II), RESOURCE PROTECTION DISTRICT (RPD) AND SHORELAND OVERLAY DISTRICT (SOD) REQUIREMENTS.
- 2. AN UPDATED LIST OF NON-NATIVE INVASIVE VEGETATION IS MAINTAINED BY THE DEPARTMENT OF AGRICULTURE, CONSERVATION AND FORESTRY'S NATURAL AREAS PROGRAM:  
[https://www.maine.gov/dacf/mnap/features/invasive\\_plants/invasives.htm](https://www.maine.gov/dacf/mnap/features/invasive_plants/invasives.htm)

VEGETATION INSTALLATION NOTES

- 1. THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE VEGETATION WITHIN THE CONSTRUCTION AREA UNLESS NOTED TO BE REMOVED, LIMBED OR PRUNED. THIS MAY REQUIRE HAND EXCAVATION WITHIN THE DRIFLINE OF TREES.
- 2. ALL NEW PLANTING MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN ADDITION ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF THE HIGHEST SPECIMEN QUALITY.
- 3. ALL NEW PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- 4. THE GENERAL CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- 5. THE GENERAL CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE ENGINEER.
- 6. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO PREVIOUS GRADE.
- 7. STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY THE LANDSCAPE ARCHITECT/ENGINEER PRIOR TO COMMENCEMENT OF PLANTING.
- 8. ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED, PRUNED AND FERTILIZED PER THE SPECIFICATIONS.
- 9. ALL LAWN AREAS DISTURBED BY CONSTRUCTION OPERATIONS INSIDE AND OUTSIDE THE LIMIT OF WORK SHALL BE LOAMED AND SEEDED AS SPECIFIED.
- 10. ALL PLANT BEDS ARE TO RECEIVE THREE INCHES (3") OF SHREDDED BARK MULCH AS SPECIFIED.
- 11. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE ONLY AS APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER.
- 12. ALL AREAS TO BE SEEDED SHALL RECEIVE SOIL PREPARATION AS SPECIFIED PRIOR TO SEEDING, UNLESS OTHERWISE NOTED ON PLAN.
- 13. PREPARE ALL TREE PITS WITH PLANTING SOIL TO A MINIMUM DEPTH MATCHING THE DEPTH OF TREE ROOT BALLS.

VEGETATION INSTALLATION NOTES CONTINUED

- 14. ALL AREAS TO BE SEEDED WITH LAWN MIX AND THE ROADSIDE MIX SHALL RECEIVE 4" TOPSOIL PRIOR TO SEEDING.
- 15. NATIVE PLANT SPECIES REMOVED SHALL BE REPLANTED WITH IN-KIND SPECIES AND/OR THOSE PROVIDED IN THE PLANT LIST.
- 16. A MINIMUM OF FIVE (5) SPECIES OF EACH SHRUB, PERENNIAL AND/OR TREE SPECIES LISTED IN THE PLANT LIST SHALL BE SELECTED FOR AREAS REQUIRING MORE THAN FIFTEEN (15) SHRUB, PERENNIAL AND/OR TREES BE REPLACED. PLANTS SHALL BE INSTALLED IN A RANDOMLY MIXED DISTRIBUTION THROUGHOUT THE RESTORATION AREA.
- 1. PLANT SPECIES SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER. CONTRACTOR SHALL REFERENCE THE FOLLOWING RESOURCES FOR COASTAL PLANT LIST GUIDELINES:
  - UNIVERSITY OF MAINE COOPERATE EXTENSION
  - THE WILD SEED PROJECT
  - CUMBERLAND COUNTY SOIL & WATER CONSERVATION DISTRICT - COASTAL PLANTING GUIDE

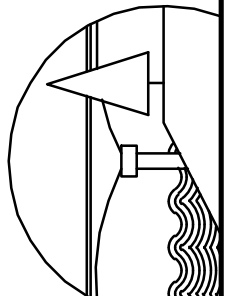
PLANT LIST							
KEY	QTY	SCIENTIFIC NAME COMMON NAME	SIZE	SPACING	ROOTING	MATURE SIZE	NOTES
TREES							
AC	X	AMELANCHIER CANADENSUS SHADBLOW SERVICEBERRY	1.5"-2" CAL	10' O.C.	B&B/CONT	30' H / 20' W	SET BACK MIN 15' FROM TOP OF EMBANKMENT
CC	X	CARPINUS CAROLINIANA AMERICAN HOPHORNBEAM	1.5"-2" CAL	15' O.C.	B&B/CONT	35' H / 35' W	SET BACK MIN 15' FROM TOP OF EMBANKMENT
CG	X	CRATAEGUS CRUSGALLI COCKSPUR HAWTHORN	1.5"-2" CAL	15' O.C.	B&B/CONT	35' H / 35' W	SET BACK MIN 15' FROM TOP OF EMBANKMENT
FP	X	FRAXINUS PENNSYLVANICA GREEN ASH	2"-2.5" CAL	25' O.C.	B&B/CONT	60' H / 45' W	SET BACK MIN 15' FROM TOP OF EMBANKMENT
PV	X	PRUNUS VIRGINIANA CHOKECHERRY	5'-6" HT	10' O.C.	B&B/CONT	35' H / 20' W	SET BACK MIN 15' FROM TOP OF EMBANKMENT
QC	X	QUERCUS RUBRA RED OAK	2"-2.5" CAL	25' O.C.	B&B/CONT	75' H / 45' W	SET BACK MIN 15' FROM TOP OF EMBANKMENT
SHRUBS							
AA	X	ARONIA ARBUTIFOLIA RED CHOKEBERRY	12"-18" HT	3' O.C.	B&B/CONT	6' H / 4' W	
JC	X	JUNIPERUS COMMUNIS COMMON JUNIPER	12"-18" HT	5' O.C.	B&B/CONT	5' H / 10' W	
JH	X	JUNIPERUS HORIZONTALIS 'BAR HARBOR' BAR HARBOR JUNIPER	5-7 PPP	4' O.C.	B&B/CONT	6' H / 8' W	
MP	X	MYRICA PENNSYLVANICA NORTHERN BAYBERRY	12"-18" HT	4' O.C.	B&B/CONT	5' H / 8' W	
PM	X	PRUNUS MARITIMA BEACH PLUM	12"-18" HT	3' O.C.	B&B/CONT	5' H / 5' W	
PQ	X	PARTHENOCISSUS QUINQUEFOLIA VIRGINIA CREEPER	5-7 PPP	5' O.C.	B&B/CONT	6' H / 15' W	
RV	X	ROSAL VIRGINIANA VIRGINIA ROSE	12"-18" HT	3' O.C.	B&B/CONT	5' H / 5' W	
PERENNIALS							
AB	X	AMMOPHILA BREVILIGULATA AMERICAN BEACH GRASS	5-7 PPP	2' O.C.	CONT.		
AG	X	ANDROPOGON GERARDII BIG BLUE STEM	5-7 PPP	2' O.C.	CONT.		
EA	X	ECHINACEA ANGUSTIFOLIA CONE FLOWER	5-7 PPP	2' O.C.	CONT.		
HJ	X	HORDEUM JUBATUM FOXTAIL BARLEY	5-7 PPP	2' O.C.	CONT.		
LJ	X	LATHYRUS JAPONICUS BEACH PEA / SEA PEA / SEA VETCHLING	5-7 PPP	2' O.C.	CONT.		
RL	X	RUBICECKIA LACINIATA BLACK-EYED SUSAN	5-7 PPP	2' O.C.	CONT.		
OTHER							

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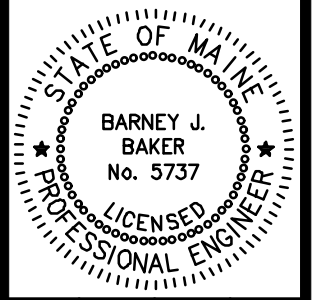
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						TUP	INT.
						12/08/21	06/11/21
						A	DATE
						PERMITTING	CLIENT REVIEW
						B	SUBMISSION
						NO.	



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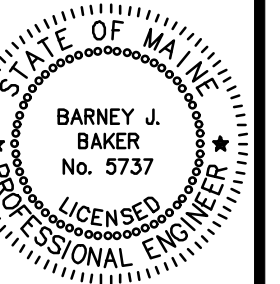
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	PROJECT: HOMEWOOD VILLAGE OWNERS ASSOCIATION SHORELAND IMPROVEMENTS YARMOUTH, MAINE

DATE	DECEMBER 2021
CONTRACT NO.	20-11
SHEET NO.	G-2
REV.	B



- NOTES:**
1. THE OFFICIAL TOWN OF YARMOUTH ZONING MAP DOES NOT INDICATE RPD ZONING OVERLAYING THE WOC II ZONE. WRITTEN DEFINITION IN THE TOWN OF YARMOUTH CHAPTER 701 ZONING ORDINANCE INDICATE THAT RPD ZONING OVERLAYS THE WOC II ZONE AS FOLLOWS:
    - 1.1. RPD INCLUDES ALL AREAS WITHIN THE 100-YR FLOOD PLAIN OF ALL TIDAL WATERS.
    - 1.2. RPD INCLUDES AREAS OF TWO OR MORE CONTIGUOUS ACRES WITH SUSTAINED SLOPES OF 20% OR GREATER.
    - 1.3.
    - 1.4. RPD INCLUDES LANDS ADJACENT TO TIDAL WATERS WHICH ARE SUBJECT TO SEVERE EROSION OR MASS MOVEMENT, SUCH AS STEEP COASTAL BLUFFS.
  2. TOPOGRAPHY IS BASED ON THE FOLLOW SOURCES:
    - 2.1. LIDAR CONTOUR DATA
    - 2.2. ESTIMATED SITE BOUNDARIES ARE APPROXIMATE AS SHOWN (TAX MAPS, HIGHEST ANNUAL TIDE, FEMA FLOOD ZONES, AND ZONING).
    - 2.3. UTILITY AS-BUILTS PLANS AS RECORDED BY HVQA.
    - 2.4. BOUDREAU SHOREFRONT STABILIZATION PROJECT DESIGN PLANS.
    - 2.5. 2020 BDC SITE OBSERVATIONS.
  3. REFER TO VEGETATION MANAGEMENT PLAN FOR RECOMMENDED MAINTENANCE OF EXISTING SHORELAND VEGETATION.

	B	PERMITTING	12/08/21	TJP
	A	CLIENT REVIEW	06/11/21	TJP
NO.		SUBMISSION	DATE	INT.



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# OVERVIEW PLAN

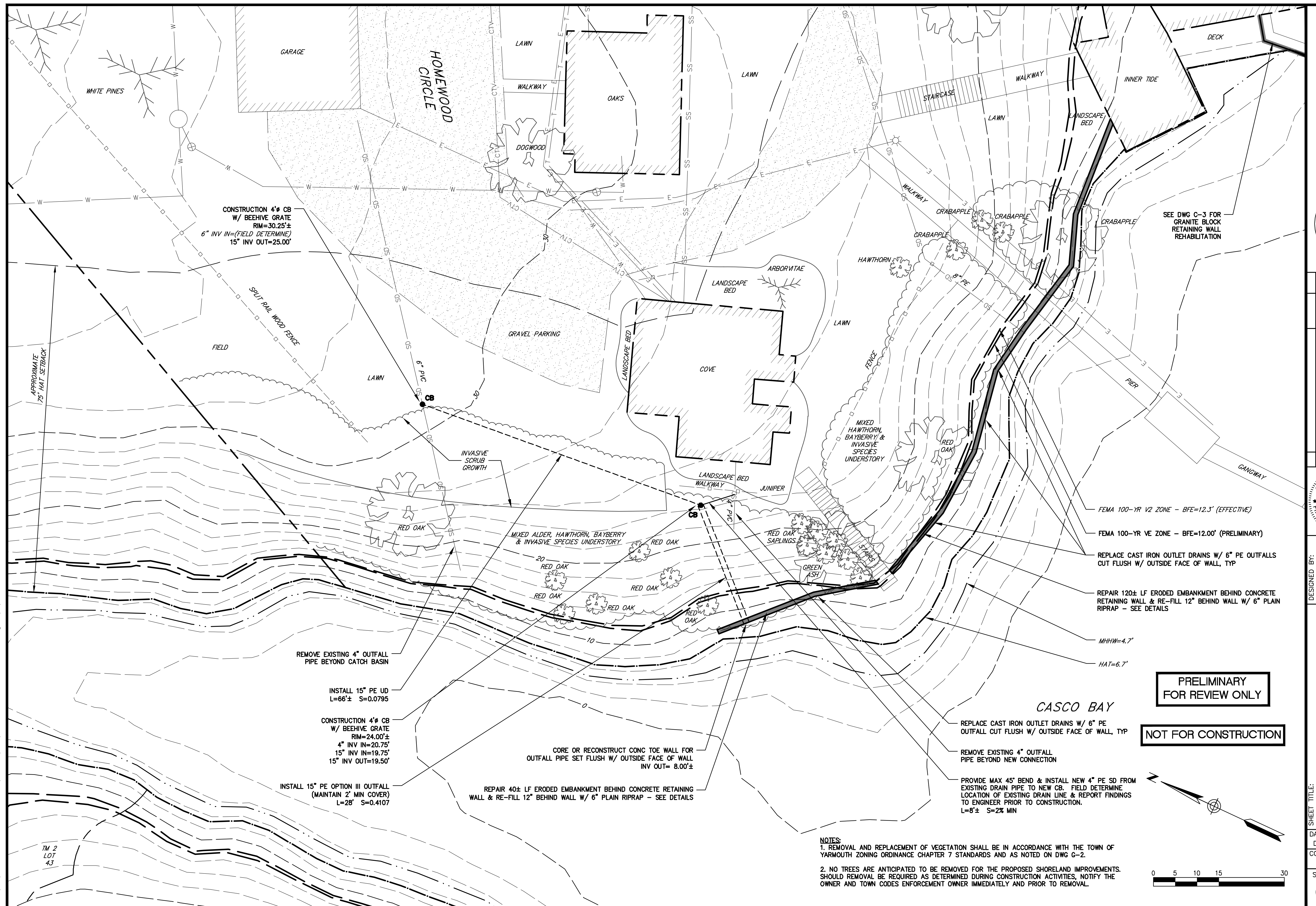
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HOMEWOOD VILLAGE OWNERS' ASSOCIATION  
**SHORELAND IMPROVEMENTS**  
 YARMOUTH, MAINE

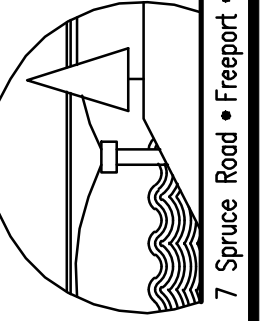
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CONTRACT NO.		
20-11		
SHEET NO.	REV.	
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	A	CLIENT REVIEW	06/11/21	TJP
	NO.	SUBMISSION	DATE	INT.

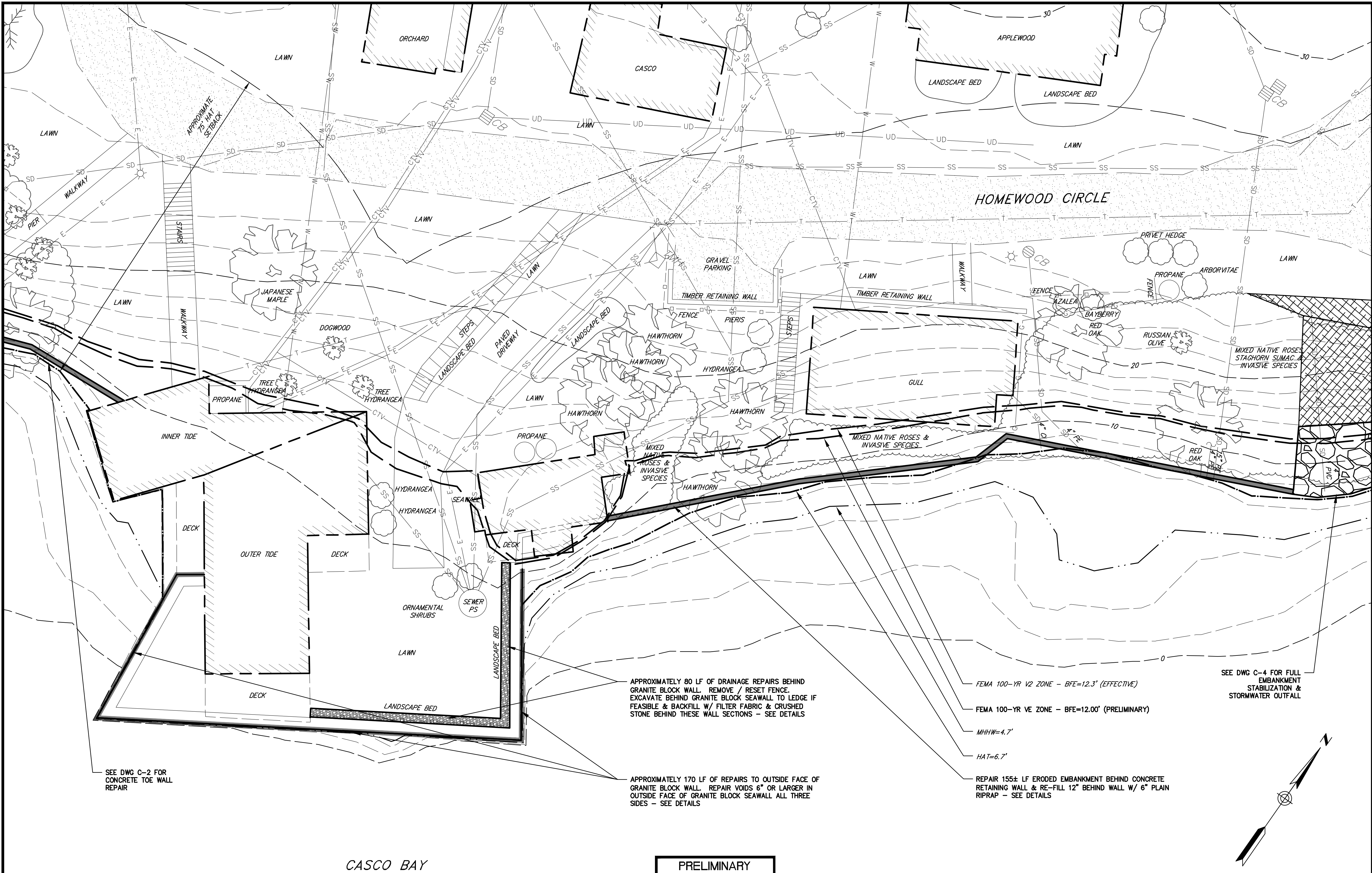
STATE OF MAINE  
BARNEY J. BAKER  
No. 5737  
LICENSED  
PROFESSIONAL ENGINEER

TJP
DRAWN BY:
JLD
CHECKED BY:
BJB
SCALE:
AS SHOWN

**PROJECT:** HOMWOOD VILLAGE OWNERS ASSOCIATION  
**SHORELAND IMPROVEMENTS**  
YARMOUTH, MAINE

DATE DECEMBER 2021	
CONTRACT NO. 20-11	
SHEET NO. <b>C-2</b>	REV. <b>B</b>

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- NOTES:
1. REMOVAL AND REPLACEMENT OF VEGETATION SHALL BE IN ACCORDANCE WITH THE TOWN OF YARMOUTH ZONING ORDINANCE CHAPTER 7 STANDARDS AND AS NOTED ON DWG G-2.
  2. NO TREES ARE ANTICIPATED TO BE REMOVED FOR THE PROPOSED SHORELAND IMPROVEMENTS. SHOULD REMOVAL BE REQUIRED AS DETERMINED DURING CONSTRUCTION ACTIVITIES, NOTIFY THE OWNER AND TOWN CODES ENFORCEMENT OWNER IMMEDIATELY AND PRIOR TO REMOVAL.

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DRAWN BY:	JLD	DATE:	06/11/21
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SCALE:	AS SHOWN	DATE:	

SHEET TITLE:

SITE PLAN II

PROJECT:

HOMEWOOD VILLAGE OWNERS ASSOCIATION  
SHORELAND IMPROVEMENTS  
YARMOUTH, MAINE

DATE:

DECEMBER 2021

CONTRACT NO.:

20-11

SHEET NO.:

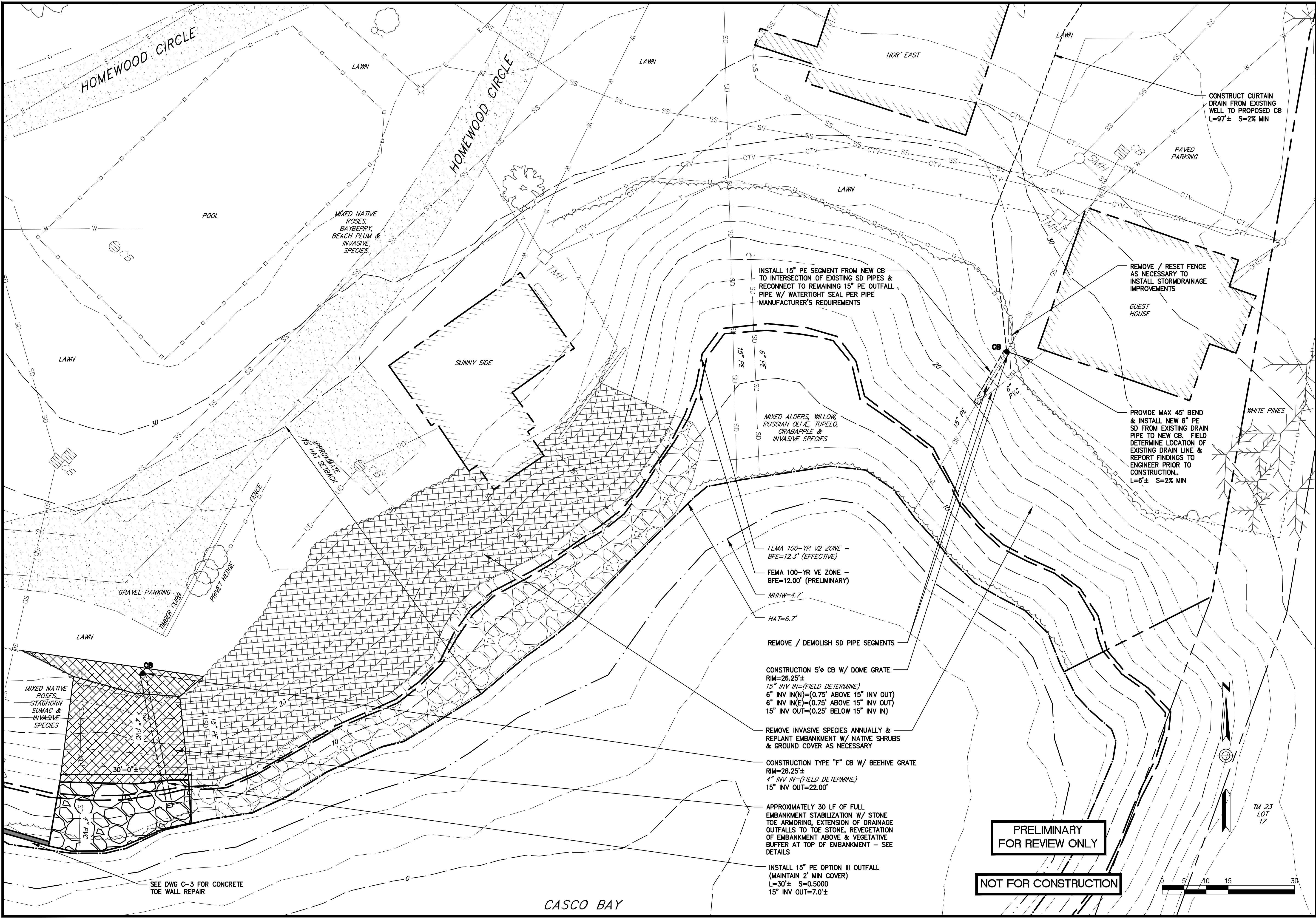
C-3

REV.:

B



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SITE PLAN III

SHORELAND IMPROVEMENTS  
YARMOUTH, MAINE

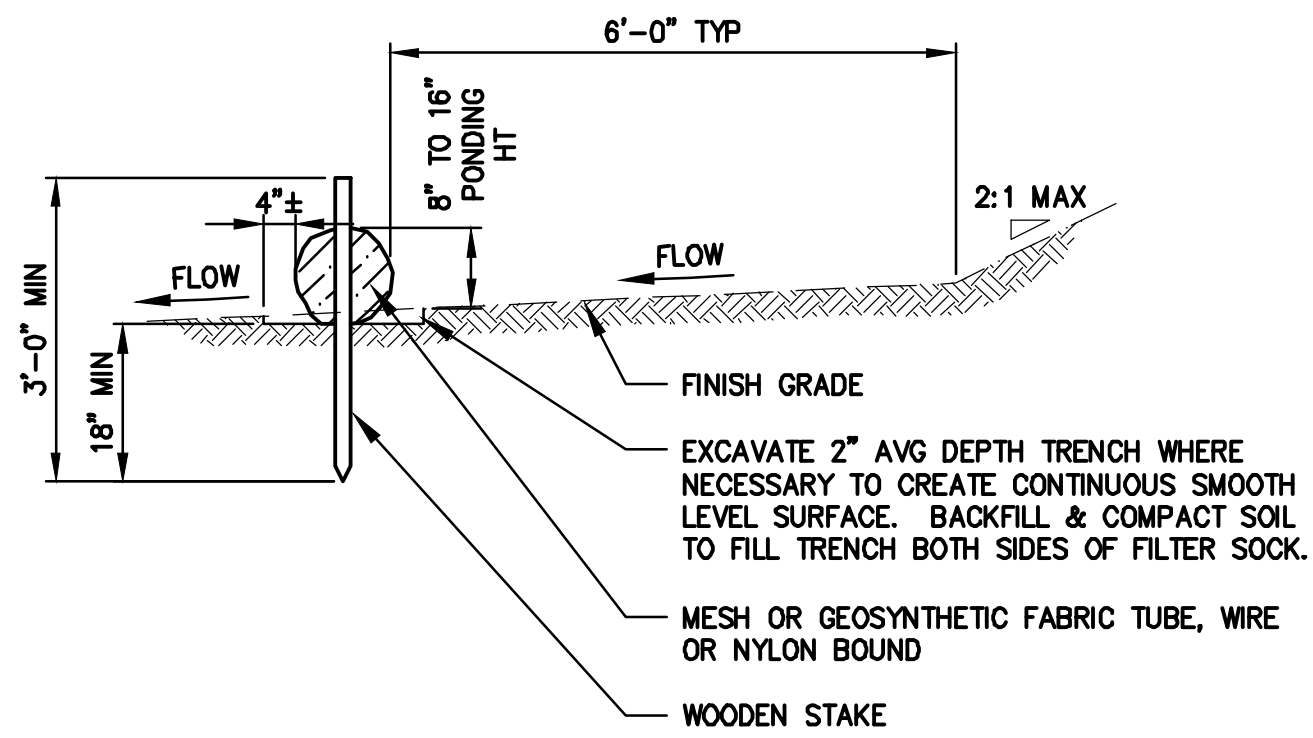
DATE:	DECEMBER 2021
CONTRACT NO.:	20-11
SHEET NO.:	C-4
REV.:	B



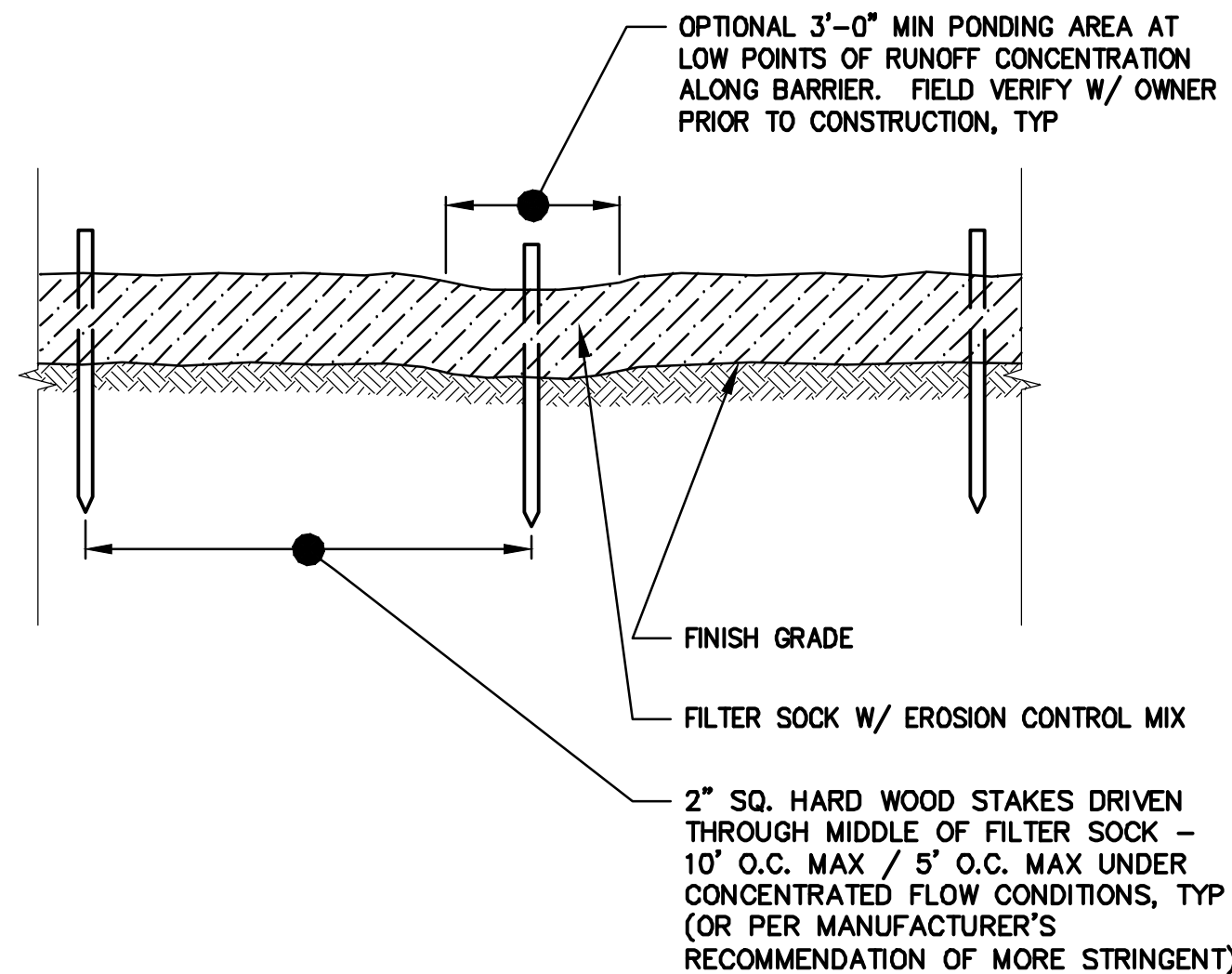




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SECTION

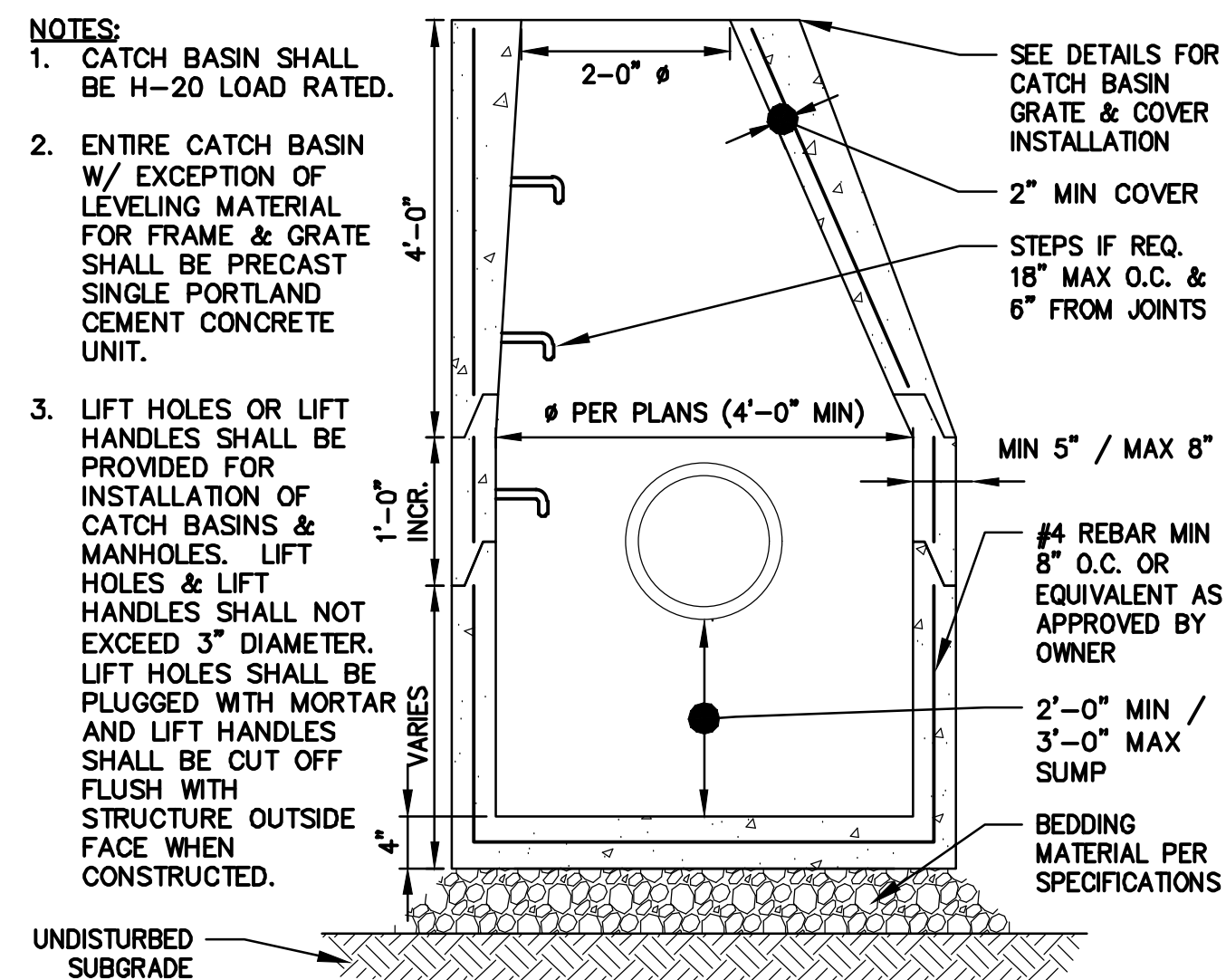


ELEVATION

- NOTES:
1. FILTER SOCKS SHALL BE INSTALLED IN CONTINUOUS SEGMENTS AND IN FULL CONTACT WITH THE GROUND ON A SMOOTH LEVEL SURFACE.
  2. FOLLOW MANUFACTURER'S REQUIREMENTS FOR INSTALLATION, MAINTENANCE AND REMOVAL OF FILTER SOCK MATERIALS.
  3. AREAS DISTURBED BY EROSION BARRIERS SHALL BE STABILIZED AFTER REMOVAL.

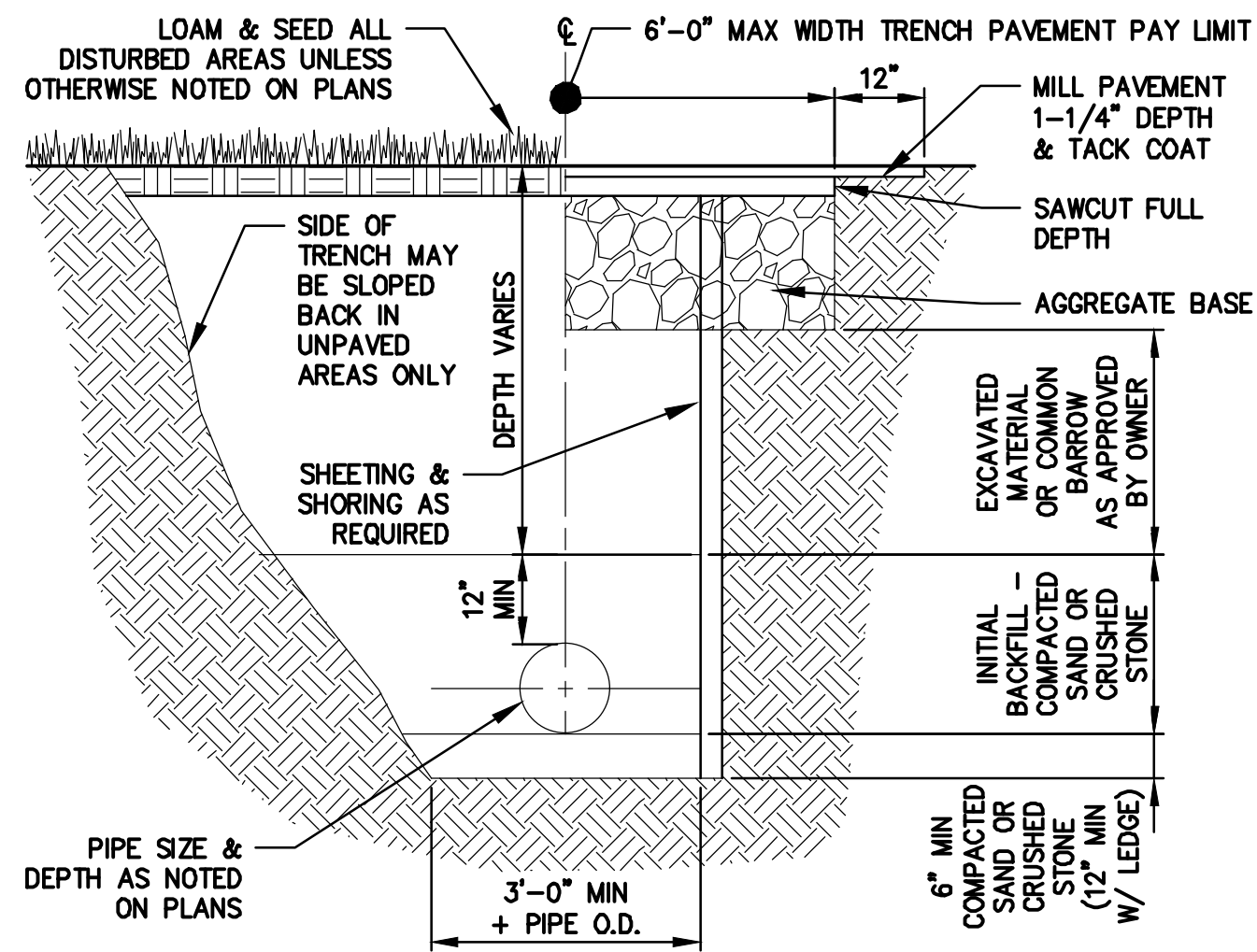
**SEDIMENT BARRIER - FILTER SOCK**

NOT TO SCALE



**PRECAST CATCH BASIN - MeDOT TYPE A5-C**

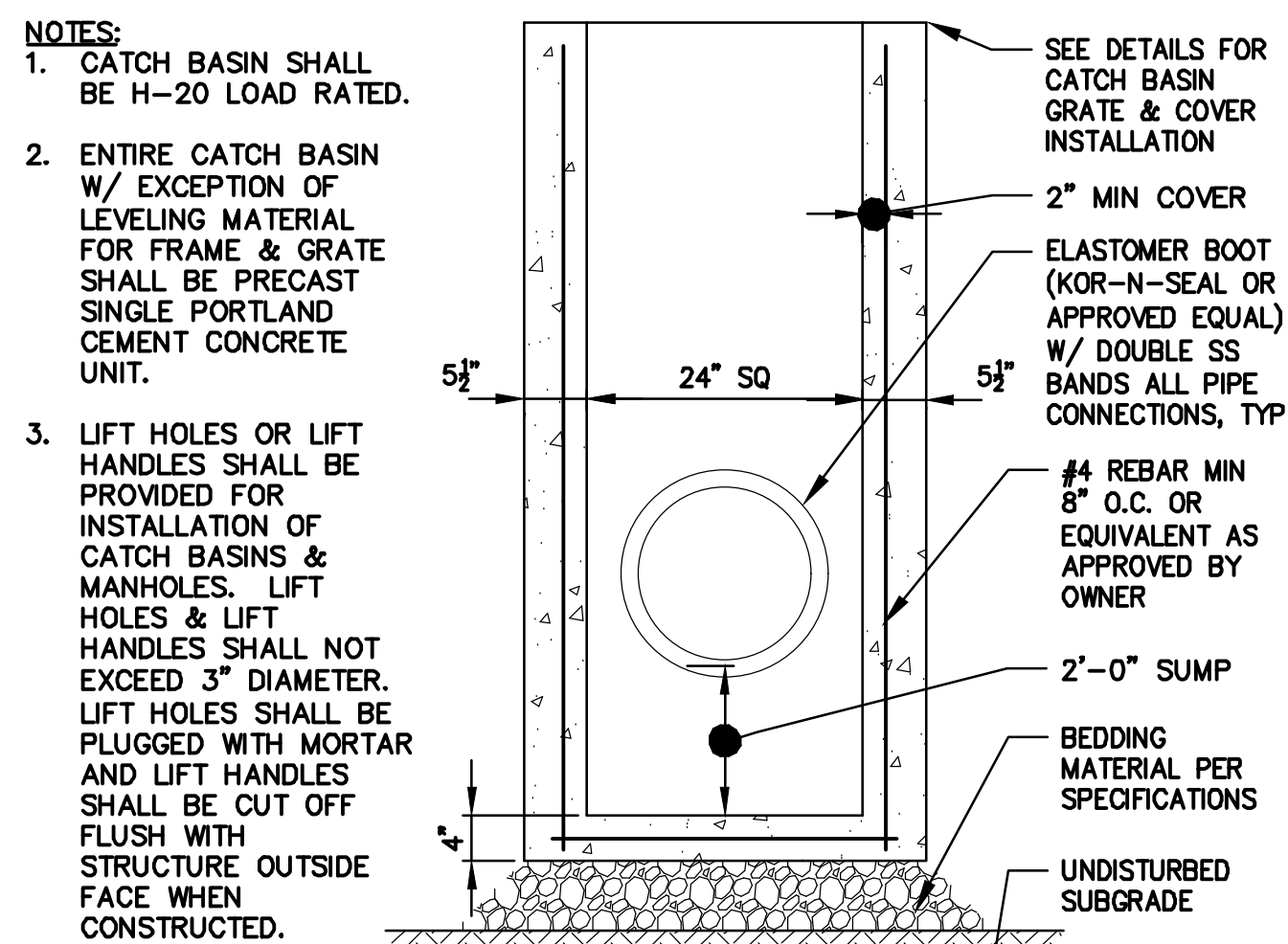
NOT TO SCALE



- NOTES:
1. SEE DETAILS FOR UNDER DRAIN PIPE, BACKFILL AND GEOTEXTILE REQUIREMENTS

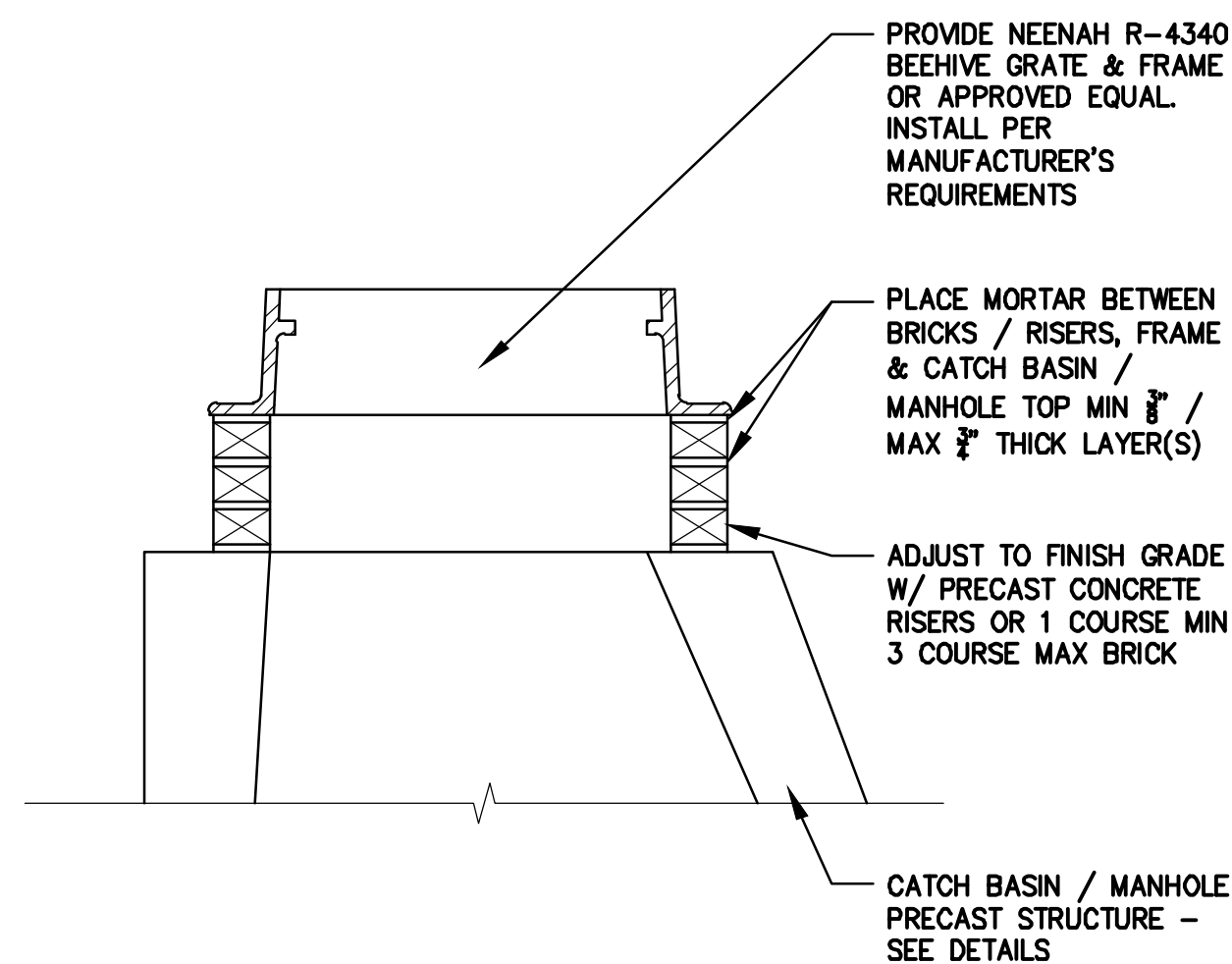
**TRENCH**

NOT TO SCALE



**CATCH BASIN - TYPE "F"**

NOT TO SCALE

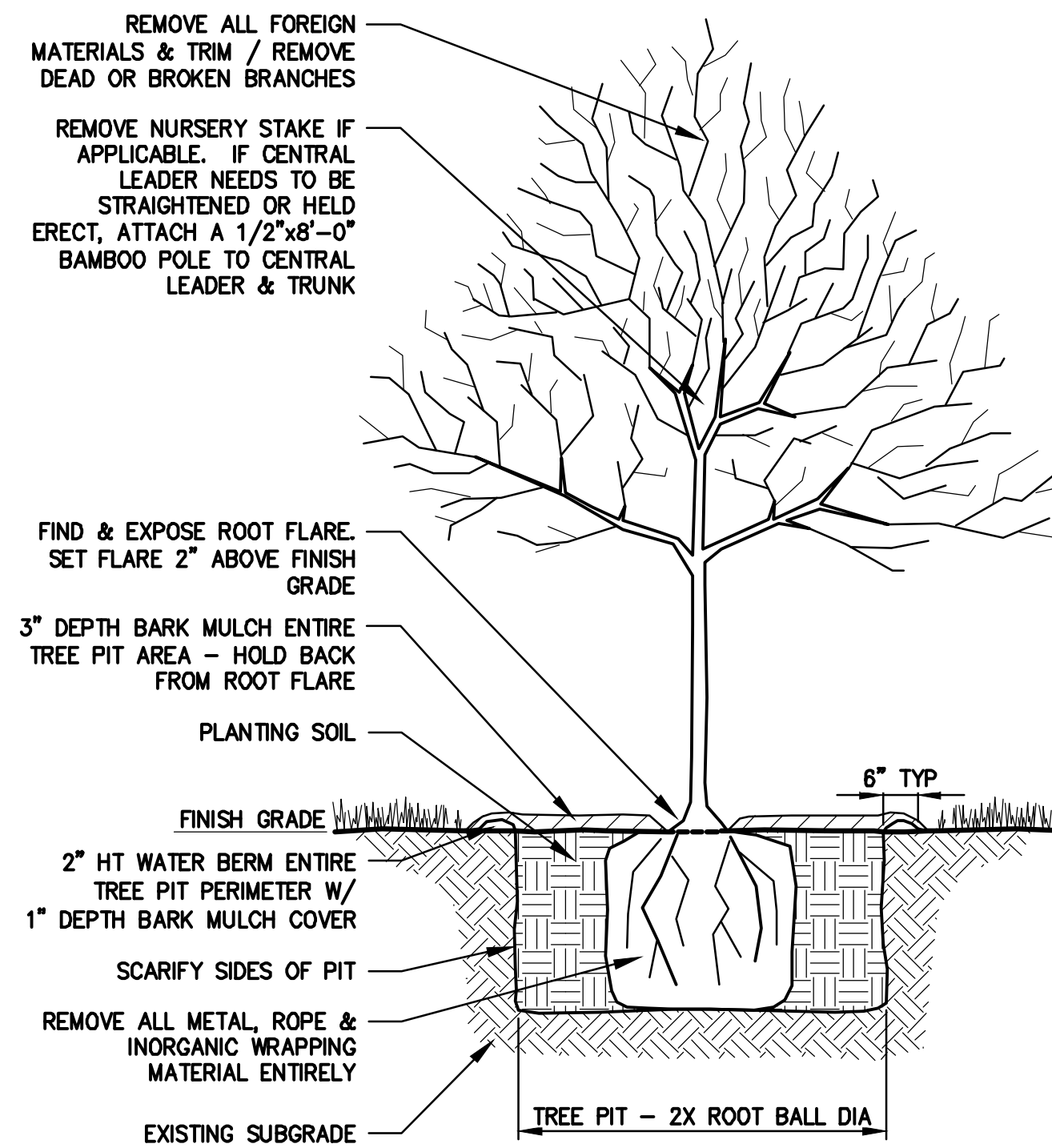


**PRECAST CATCH BASIN / MANHOLE COVER**

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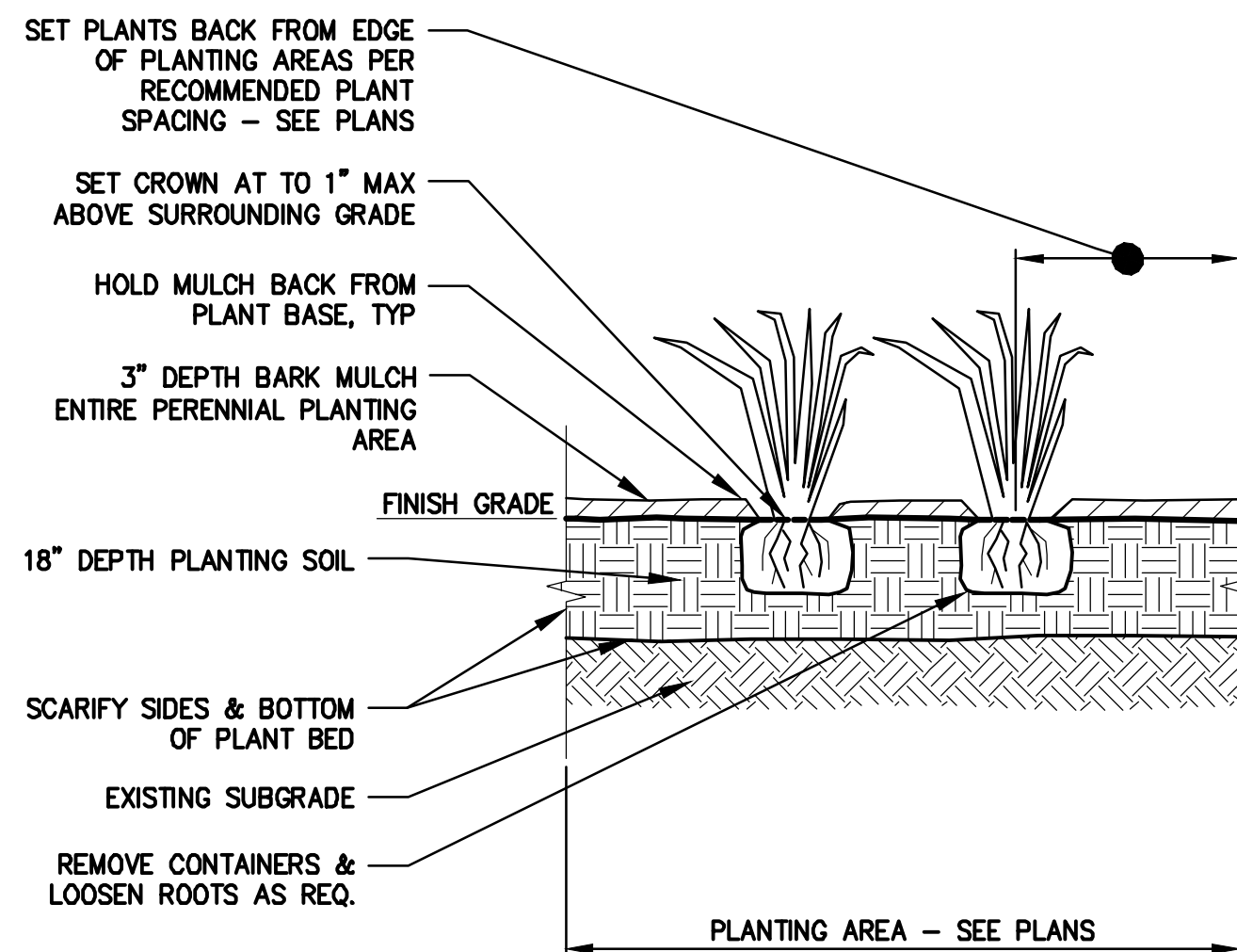
NOT FOR CONSTRUCTION



- NOTES:
1. STAKING IS ACCEPTABLE FOR ALL DECIDUOUS TREES UP TO 2-1/2" CALIPER. DECIDUOUS TREES GREATER THAN 2-1/2" CALIPER AND ALL EVERGREEN TREES SHALL BE GUYED UNLESS OTHERWISE APPROVED BY THE OWNER.
  2. ALL STAKING AND GUYING MATERIALS SHALL BE COMPLETELY REMOVED BETWEEN 9-12 MONTHS AFTER ACCEPTED FINAL PLANTING.
  3. TREE TO BE SET PLUMB.
  4. IF USING ROOTBALL STABILIZATION SYSTEM. FOLLOW MANUFACTURER'S REQ.

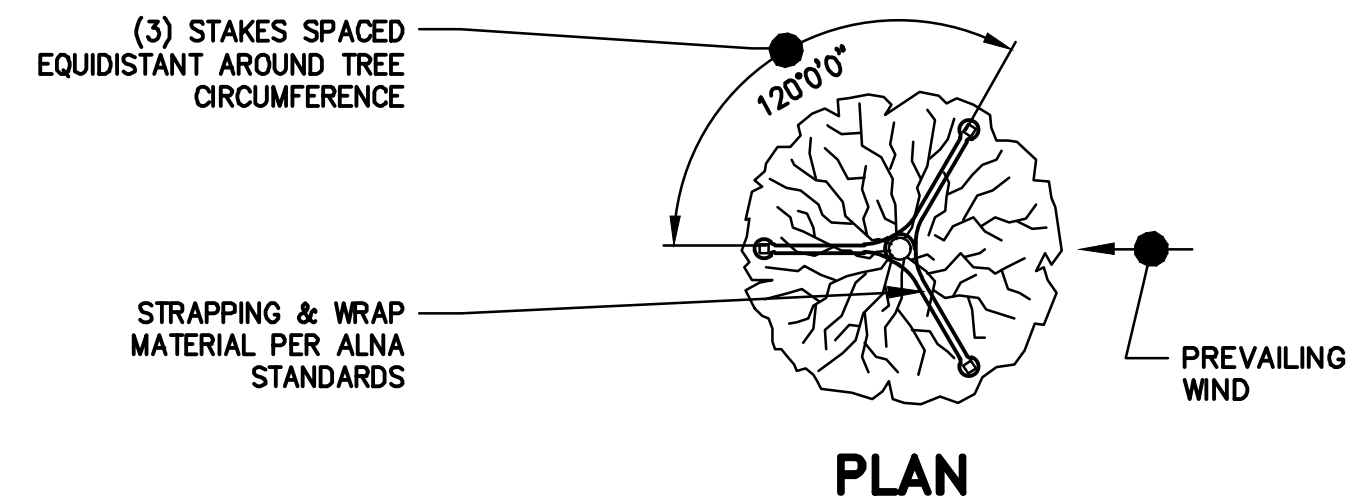
**TREE INSTALLATION <= 10-FT**

NOT TO SCALE

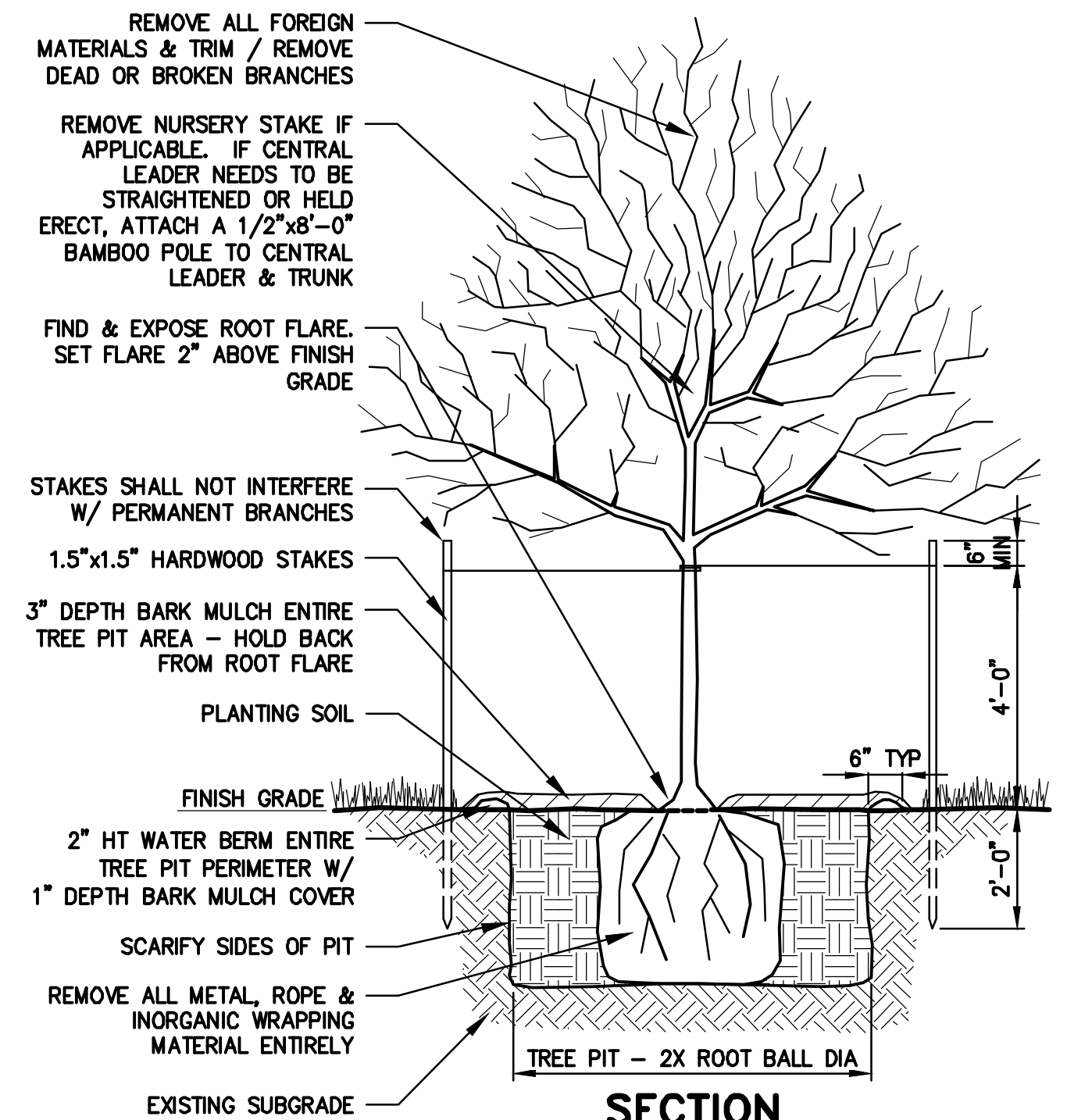


**PERENNIAL INSTALLATION**

NOT TO SCALE



PLAN

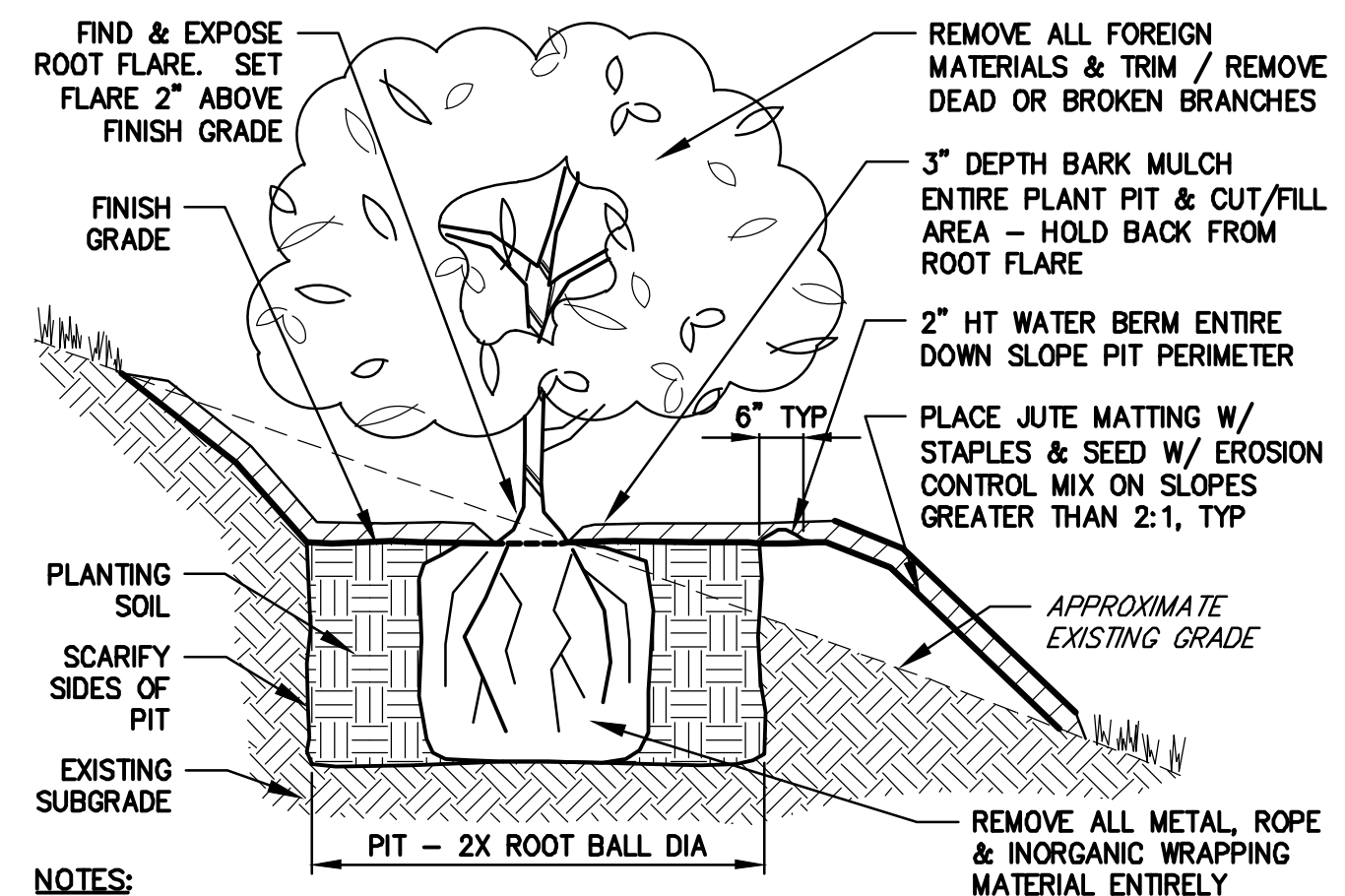


SECTION

- NOTES:
1. STAKING IS ACCEPTABLE FOR ALL DECIDUOUS TREES UP TO 2-1/2" CALIPER. DECIDUOUS TREES GREATER THAN 2-1/2" CALIPER AND ALL EVERGREEN TREES SHALL BE GUYED UNLESS OTHERWISE APPROVED BY THE OWNER.
  2. ALL STAKING AND GUYING MATERIALS SHALL BE COMPLETELY REMOVED BETWEEN 9-12 MONTHS AFTER ACCEPTED FINAL PLANTING.
  3. TREE TO BE SET PLUMB.
  4. IF USING ROOTBALL STABILIZATION SYSTEM. FOLLOW MANUFACTURER'S REQ.

**TREE INSTALLATION > 10-FT**

NOT TO SCALE

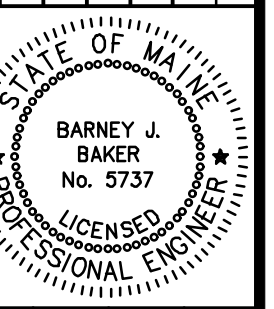


- NOTES:
1. SHRUB TO BE SET PLUMB.
  2. SECURE SHRUB AS MAY BE REQUIRED ACCORDING TO SIZE., LOCATION, & WIND/WEATHER CONDITIONS.
  3. IF USING ROOTBALL STABILIZATION SYSTEM, INSTALL PER MANUFACTURER'S REQ.

**SHRUB INSTALLATION ON SLOPE**

NOT TO SCALE

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SCALE:	AS SHOWN

DETAILS II  
PROJECT: HOMEWOOD VILLAGE OWNERS ASSOCIATION  
SHORELAND IMPROVEMENTS  
YARMOUTH, MAINE

SHEET TITLE:	DATE DECEMBER 2021
CONTRACT NO.	20-11
SHEET NO.	C-6
REV.	B