

PROJECT PARCEL SITE
YARMOUTH ASSESSOR'S
MAP & LOT NUMBERS

MAP

LOT

004

012-0A1

Applicant:
Pamela L. Higgins &
Stephen H. Connolly
7 Merganser Way, Freeport, ME
04032

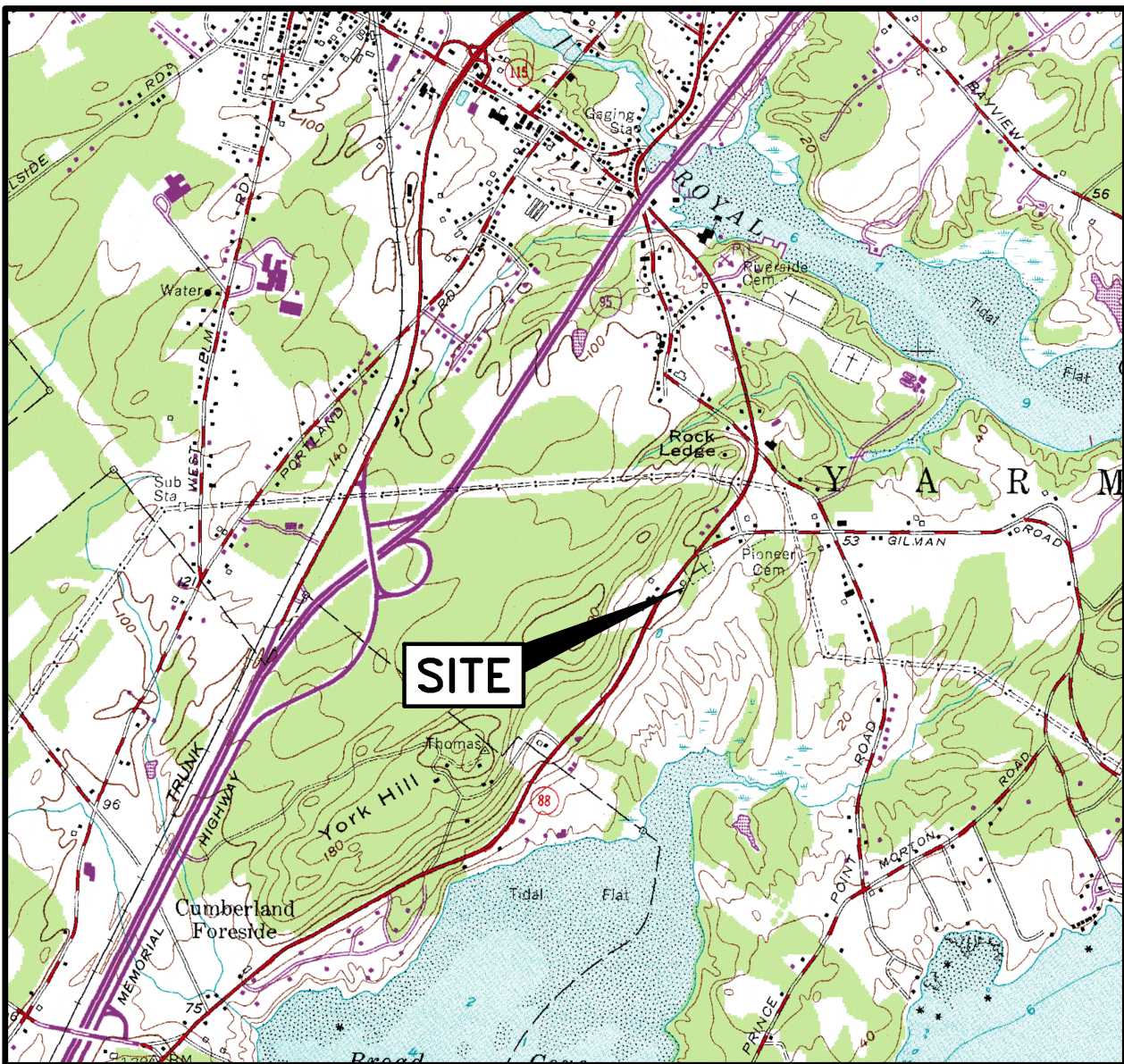
AMENDED SUBDIVISION PLAN

474 LAFAYETTE ST, YARMOUTH, MAINE

PREPARED BY:



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LOCATION MAP
N.T.S.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	BUILDING	
	RIGHT OF WAY	
	PROPERTY LINE	
	BUILDING SETBACK	
	ZONE LINE	
	WETLAND BOUNDARY	
	GUIDE RAIL	
	EDGE OF PAVEMENT	
	EDGE OF GRAVEL DRIVE	
	GRADING CONTOUR LINE	
	SPOT ELEVATION	
	TREELINE	
	TREES & HEDGES	
	POLE WITH LIGHT FIXTURE(S)	
	UTILITY POLE	
	FREESTANDING SIGN	
	PAINTED DIRECTIONAL TRAFFIC ARROW	
	OVERHEAD ELECTRIC/TELEPHONE	
	UNDERGROUND ELECTRIC/TELEPHONE	
	WATER LINE	
	STORM DRAIN LINE	
	CULVERT	
	HYDRANT	
	WATER GATE VALVE	
	WATER SHUT OFF VALVE	
	MANHOLE	
	CATCH BASIN	
	TEST PIT	
	IRON ROD (SET)	
	IRON ROD (FOUND)	
	MONUMENT	
	RIPRAP	
	SILT FENCE - PERIMETER	
	STONE SEDIMENT BARRIER	
	FENCE	
	WELL	

GENERAL NOTES

GENERAL NOTES

- TOPOGRAPHIC DATA AND EXISTING CONDITIONS WAS PREPARED BY OWEN HASKELL INC. OF FALMOUTH, ME ON 10/26/18.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER, THE TOWN OF YARMOUTH OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND/OR TOWN OF YARMOUTH SPECIFICATIONS.

PERMITTING NOTES

- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF A SITE PLAN APPROVAL FROM THE TOWN OF YARMOUTH. THE CONSTRUCTION WILL BE GOVERNED BY THE TOWN OF YARMOUTH ZONING ORDINANCE WHICH IS AVAILABLE FOR VIEWING AT THE OFFICE OF THE ENGINEER OR THE MUNICIPAL OFFICE.
- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF A STORMWATER PERMIT FROM MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL REVIEW THE ABOVE REFERENCED PERMITS PRIOR TO SUBMITTING A BID FOR THIS PROJECT, AND INCLUDE COSTS AS NECESSARY TO COMPLY WITH THE CONDITIONS OF THESE PERMITS.

LAYOUT NOTES

- PROPERTY LINE AND R.O.W. MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE, BY A MAINE LICENSED LAND SURVEYOR.
- PROPOSED RIGHT OF WAY MONUMENTS AND PROPERTY LINE PINS SHALL BE INSTALLED UNDER THE DIRECTION OF A MAINE LICENSED LAND SURVEYOR.

UTILITY NOTES

- ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO YARMOUTH WATER DISTRICT STANDARDS. ALL WATER DISTRIBUTION PIPING SHALL BE CLASS 52 DUCTILE IRON PIPE, DOUBLE CEMENT LINED AND BITUMINOUS COATED CONFORMING TO AWWA/ANSI C104/A21.4. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
- THE LOCATION OF THE PROPOSED UNDERGROUND ELECTRICAL SERVICE IS APPROXIMATE AND THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION WITH CENTRAL MAINE POWER COMPANY.
- THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL BE PLACED ON THE WATER DISTRIBUTION LINES AT ALL BENDS, TEES, VALVES, CHANGES IN DIRECTION, ETC. THE THRUST BLOCKS OR LOCKING RETAINER GLANDS SHALL MEET THE REQUIREMENTS OF THE YARMOUTH WATER DISTRICT STANDARDS.
- TEST PITS AT ALL UTILITY CROSSINGS SHALL BE COMPLETED TWO WEEKS IN ADVANCE OF THE START OF CONSTRUCTION OR ORDERING OF MATERIALS. TEST PIT INFORMATION SHALL BE PROMPTLY PROVIDED TO ENGINEER FOR REVIEW.

GRADING AND DRAINAGE NOTES

- UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MDOT SPECIFICATIONS SECTION 603-- PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH THE EXCEPTION THAT THE ONLY ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
SMOOTH BORE POLYETHYLENE -- ADS OR HANCOR
- TOPSOIL STRIPPED IN AREAS OF CONSTRUCTION THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED ON SITE AT A LOCATION TO BE DESIGNATED BY THE OWNER. UNSUITABLE SOIL SHALL BE SEPARATED, REMOVED AND DISPOSED OF AT AN APPROVED DISPOSAL LOCATION OFF SITE.
- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.

EROSION CONTROL NOTES

- LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
- PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES.
- SILTATION FENCE SHALL BE INSTALLED DOWNGRADIENT OF ANY DISTURBED AREAS TO TRAP RUNOFF- BORNE SEDIMENTS UNTIL GRASS AREAS ARE REVEGETATED. THE SILT FENCE SHALL BE INSTALLED PER THE DETAILS PROVIDED ON THIS PLAN AND INSPECTED BEFORE AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. REPAIRS SHALL BE MADE IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THE FENCE LINE. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THE FENCE, THE BARRIER SHALL BE REPLACED WITH A STONE CHECK DAM.
- SILT FENCING WITH A MINIMUM STAKE SPACING OF 6 FEET SHALL BE USED, UNLESS THE FENCE IS SUPPORTED BY WIRE FENCE REINFORCEMENT OF MINIMUM 14 GAUGE AND WITH A MAXIMUM MESH SPACING OF 6 INCHES, IN WHICH CASE STAKES MAY BE SPACED A MAXIMUM OF 10 FEET APART. THE BOTTOM OF THE FENCE SHALL BE ANCHORED.
- SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
- ALL GROUND AREAS GRADED FOR CONSTRUCTION WILL BE GRADED, LOAMED AND SEEDED AS SOON AS POSSIBLE. PERMANENT SEED MIXTURE SHALL CONFORM TO THE SEEDING PLAN CONTAINED IN THE EROSION CONTROL PLANS AND NOTES.
- ALL NON-PAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE LOAMED AND SEEDED, UNLESS OTHERWISE SHOWN ON PLANS OR DIRECTED BY THE TOWN.
- LOAM AND SEED IS INTENDED TO SERVE AS THE PRIMARY PERMANENT REVEGETATIVE MEASURE FOR ALL DENUDED AREAS NOT PROVIDED WITH OTHER EROSION CONTROL MEASURES, SUCH AS RIPRAP.
- LAFAYETTE STREET SHALL BE SWEEPED TO CONTROL MUD, DUST, AND THE TRACKING OF MATERIAL OFF THE SITE AND ONTO THE SURROUNDING ROADWAYS, AS NECESSARY.
- THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCE AS IT BECOMES SATURATED WITH MUD TO ENSURE THAT IT WORKS AS PLANNED DURING CONSTRUCTION.
- THE CONTRACTOR IS CAUTIONED THAT FAILURE TO COMPLY WITH THE SEQUENCE OF CONSTRUCTION, EROSION/SEDIMENT CONTROL PLAN, AND OTHER PERMIT REQUIREMENTS MAY RESULT IN MONETARY PENALTIES. THE CONTRACTOR SHALL BE ASSESSED ALL SUCH PENALTIES AT NO COST TO THE TOWN OR PERMITTEE.

STANDARDS FOR TIMELY STABILIZATION OF CONSTRUCTION SITES

- THE CONTRACTOR SHALL STABILIZE THE DISTURBED SLOPES WITH LOAM AND SEED AND EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SC150 OR APPROVED EQUIVALENT) INSTALLED AND ANCHORED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
- DITCH FLOW LINE SHALL BE STABILIZED WITH NORTH AMERICAN GREEN SC150 OR EQUIVALENT INSTALLED AND POSITIONED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

UTILITIES

WATER:

YARMOUTH WATER DISTRICT
181 SUGO ROAD
YARMOUTH, MAINE 04096
(207) 846-5821
CONTACT: ROBERT MACKINNON

ELECTRIC:

CENTRAL MAINE POWER
83 EDISON DRIVE
AUGUSTA, MAINE 04330
(207) 623-3521
CONTACT: TIMOTHY LANEY

TELEPHONE:

FAIRPOINT
5 DAVIS FARM ROAD
PORTLAND, MAINE 04103
(207) 797-1866
CONTACT: SCOTT DERRIG

CABLE:

SPECTRUM
118 JOHNSON ROAD
PORTLAND, MAINE 04102
(207) 253-2222
CONTACT: MARK PELLITIER

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PERMITS

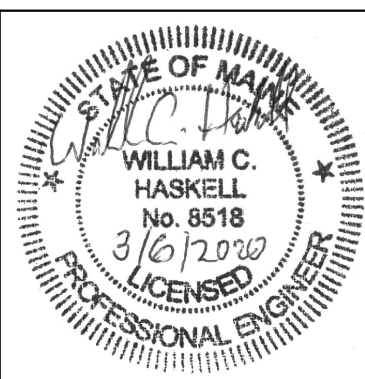
TYPE OF PERMIT

AMENDED SUBDIVISION

GOVERNING BODY

TOWN OF YARMOUTH
PLANNING DEPARTMENT
YARMOUTH TOWN HALL
200 MAIN STREET
YARMOUTH, MAINE 04096
(207) 846-9036

NOTE: THIS PLAN SET IS ISSUED FOR
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Rev.	Date	Revision

AMENDED SUBDIVISION	3/6/20	WCH
Issued For	Date	By

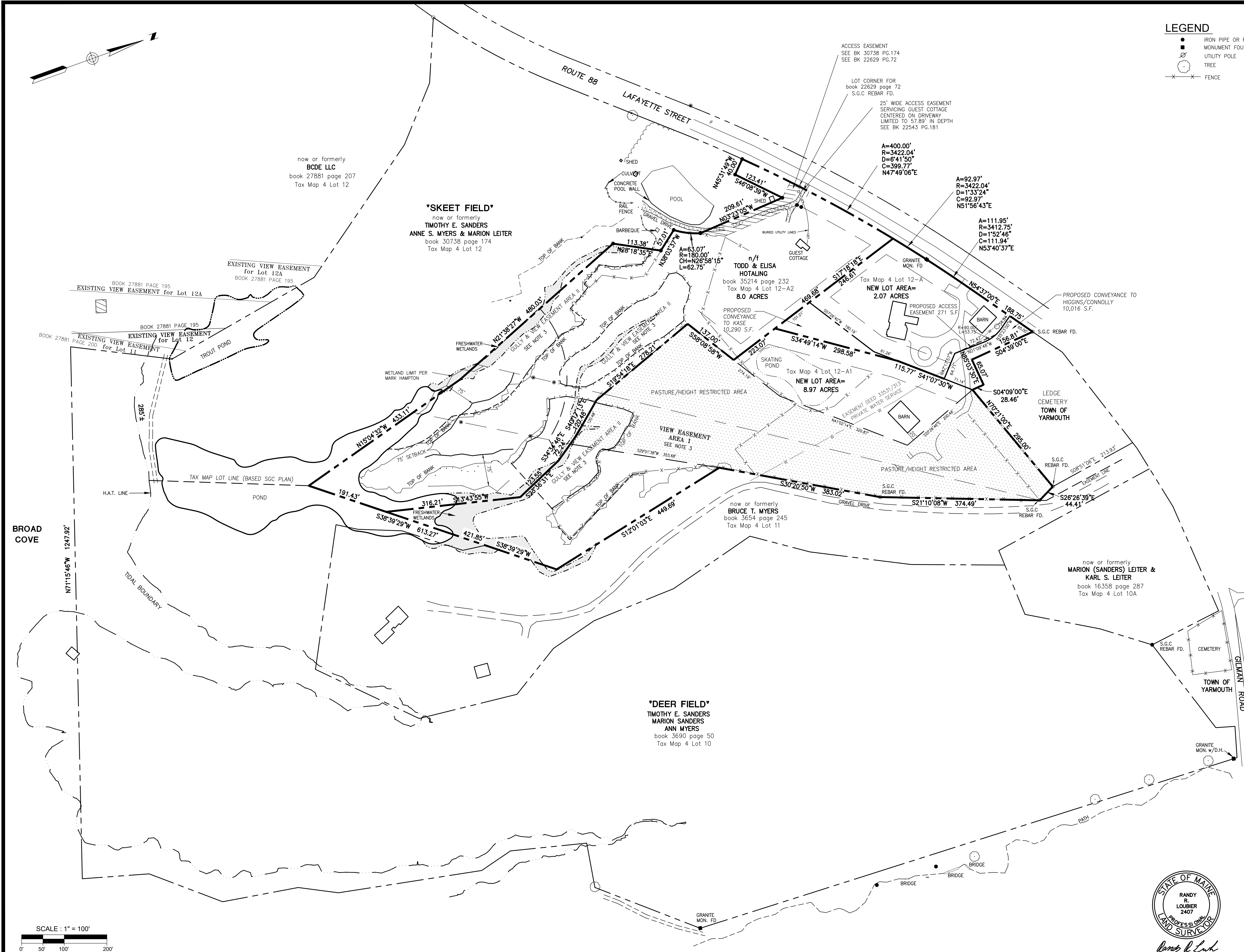
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Checked: WCH	Scale: NTS	Job No.: 3635
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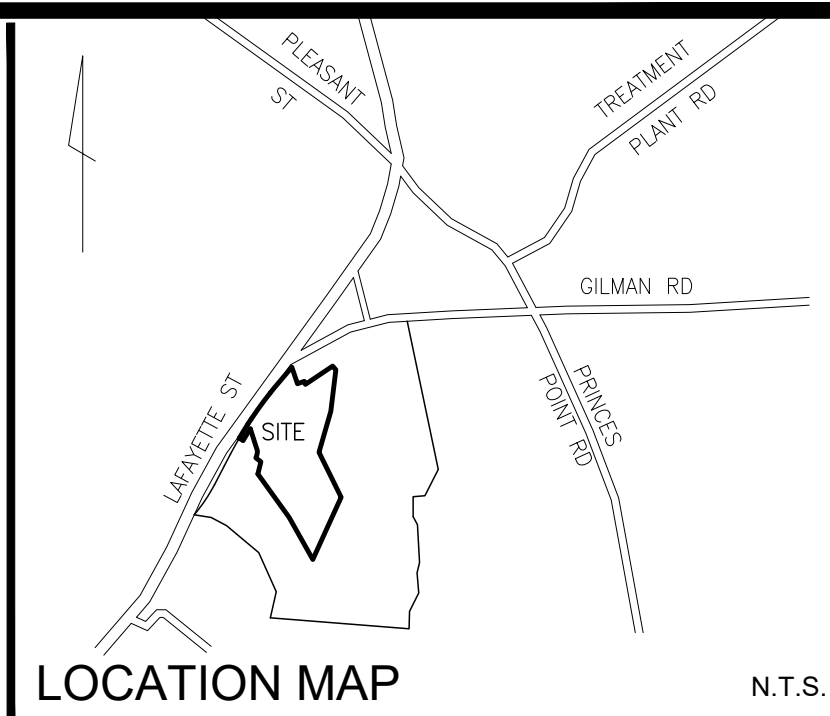
Drawing Name:	Cover Sheet, General Notes, and Legend
Project:	Amended Subdivision Plan 474 Lafayette St, Yarmouth, ME
Client:	Pamela L. Higgins & Stephen H. Connolly 7 Merganser Way, Freeport, ME 04032

Drawing No.
1



LEGEND

- IRON PIPE OR ROD FOUND
- MONUMENT FOUND
- UTILITY POLE
- TREE
- FENCE



PLAN REFERENCES

- "PLAN OF PROPERTY SURVEY W/LOT DIVISION, ROUTE 88, LAFAYETTE STREET, YARMOUTH, MAINE MADE FOR TIMOTHY E. SANDERS JULY 25, 2012 REVISED THROUGH 10-14-16 BY ROYAL RIVER SURVEY CO." RECORDED IN PLAN BOOK 216 PAGE 398
- "STANDARD BOUNDARY SURVEY OF PROPERTY LOCATED ON LAFAYETTE ROAD, TOWN OF YARMOUTH, CUMBERLAND COUNTY, STATE OF MAINE PREPARED FOR: TIMOTHY E. SANDERS APRIL 25, 2011 REVISED APRIL 25, 2011 BY SGC ENGINEERING, LLC"
- "PROPOSED LOT DIVISION PLAN ON LAFAYETTE ROAD & GILMAN ROAD, YARMOUTH, MAINE MADE FOR RECORD OWNER TIMOTHY E. SANDERS" DATED APRIL 19, 2018 BY OWEN HASKELL, INC.
- "PROPOSED LOT DIVISION PLAN ON LAFAYETTE ROAD, YARMOUTH, MAINE MADE FOR RECORD OWNER ELISA AND TODD HOATALING" DATED JULY 25, 2018 BY OWEN HASKELL, INC.

GENERAL NOTES

- OWNERS OF RECORD:
TAX MAP 4 LOT 12-A JOEL & ANGELA KASE
C.C.R.D. BOOK 35538 PAGE 332
TAX MAP 4 LOT 12-A1 PAMELA HIGGINS & STEPHEN CONNOLLY
C.C.R.D. BOOK 35565 PAGE 1
- BEARINGS ARE MAGNETIC BASED ON PLAN REFERENCE 1.
- EASEMENTS SHOWN ARE TAKEN FROM PLAN REFERENCE 1 RECORDED IN PLAN BOOK 216 PAGE 398.
- THE PROPERTY IS LOCATED IN THE TOWN OF YARMOUTH LOW DENSITY RESIDENTIAL DISTRICT.
- WETLANDS DELINEATED AND DRAWN BY MARK HAMPTON.
- AREA OF FRESHWATER WETLANDS = 37,265 SF±
AREA OF POND ON LOTS = 24,740 SF±
- THE PLANNING BOARD HAS GRANTED A WAIVER FROM THE STANDARD OF THE MAXIMUM GRADE OF THE DRIVEWAY AT THE LAFAYETTE STREET INTERSECTION.

APPROVED BY THE
TOWN OF YARMOUTH PLANNING BOARD

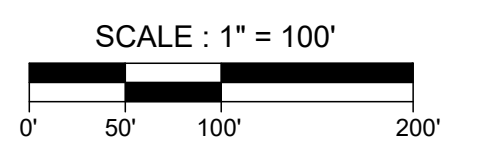
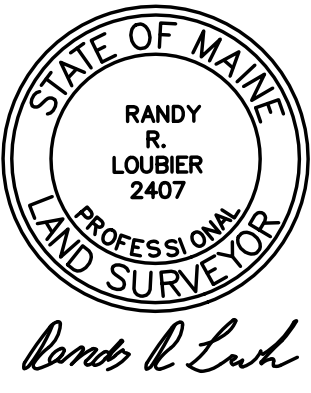
CHAIRPERSON
DATE: _____

THIS PLAN AMENDS PREVIOUSLY RECORDED
"3 LOT SUBDIVISION PLAN" RECORDED IN
C.C.R.D. PLAN BOOK 219, PAGE 113.
IT AMENDS THE PROPOSED LOT CONFIGURATION
FOR LOT 12-A AND 12-A1

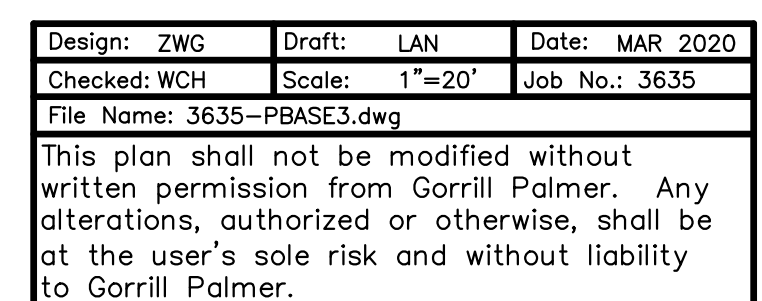
Amended
3 Lot Subdivision Plan
On
Lafayette Street, Yarmouth, Maine
Made for Record Owners
ELENA & MARK GRASSIA
474 Lafayette Street, Yarmouth, Maine

OWEN HASKELL, INC.
PROFESSIONAL LAND SURVEYORS
390 U.S. ROUTE ONE, UNIT 10, FALMOUTH, MAINE 04105

DRAWN BY: RRS DATE: MARCH 5, 2020 JOB NO. 2019-198 Y
CHECKED BY: EBC / JWS SCALE: 1" = 100' DRWG. NO. 1-AMD



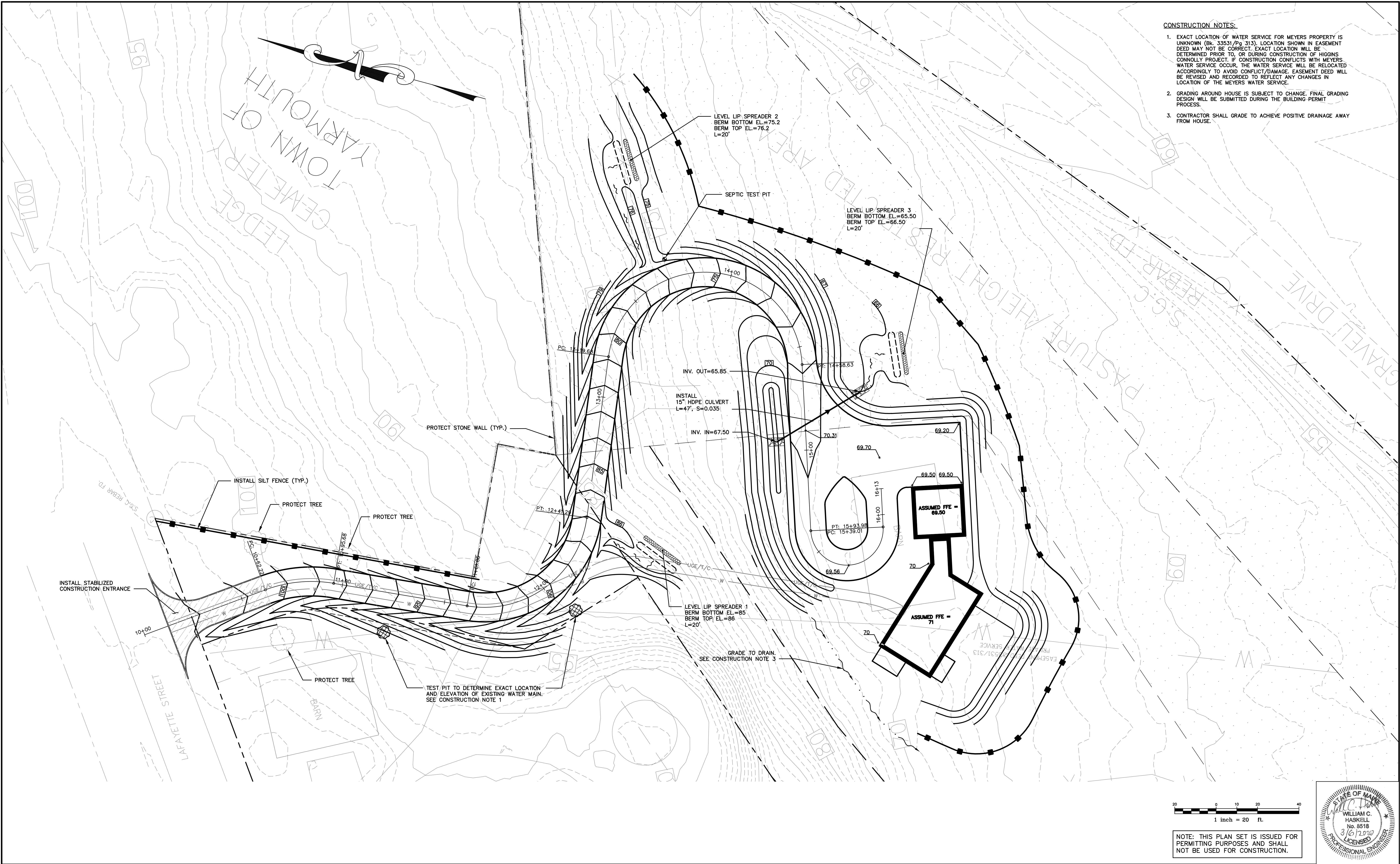
1. EXACT LOCATION (BK. 33531/Pg 313). LOCATION SHOWN IN EASEMENT DEED MAY NOT BE CORRECT. EXACT LOCATION WILL BE DETERMINED PRIOR TO, OR DURING CONSTRUCTION OF HIGGINS CONJUGALLY PROJECT. IF CONSTRUCTION CONFLICTS WITH MEYERS WATER SERVICE OCCUR, THE WATER SERVICE WILL BE RELOCATED ACCORDINGLY TO AVOID CONFLICT/DAMAGE. EASEMENT DEED WILL BE REVISED AND RECORDED TO REFLECT ANY CHANGES IN LOCATION OF THE MEYERS WATER SERVICE.
2. HOUSE AND GARAGE FOOTPRINT IS APPROXIMATE AND SUBJECT TO CHANGE. FINAL HOUSE FOOTPRINT AND DESIGN WILL BE SUBMITTED IN THE BUILDING PERMIT PROCESS.
3. NEW SEPTIC TEST PIT AND SEPTIC SYSTEM DESIGN WILL BE SUBMITTED IN THE BUILDING PERMIT PROCESS.
4. ACTUAL UTILITY ENTRY POINTS TO THE HOUSE ARE APPROXIMATE AND MAY BE ADJUSTED. FINAL LOCATIONS WILL BE SUBMITTED IN THE BUILDING PERMIT PROCESS.
5. WATER SERVICE TAP AND METER PIT WILL BE INSTALLED BY YARMOUTH WATER DISTRICT.



Drawing No.

3

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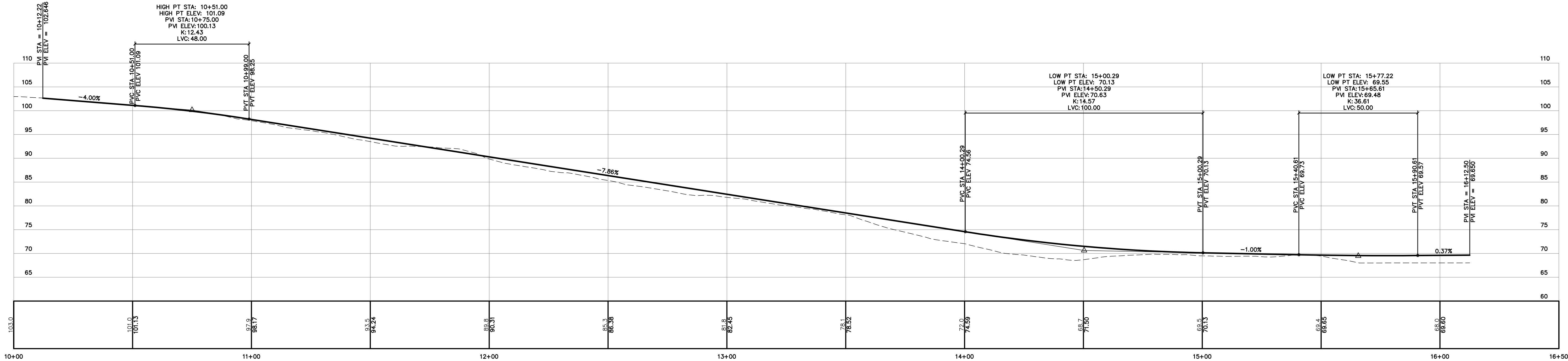


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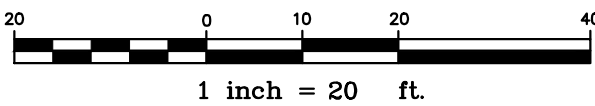
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Project:	Amended Subdivision Plan 474 Lafayette St., Yarmouth, ME
Client:	Pamela L. Higgins & Stephen H. Connolly 7 Merganser Way, Freeport, ME 04032

Drawing No.
4

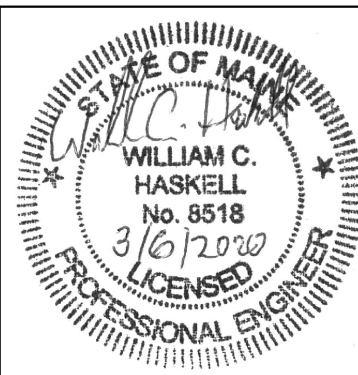
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DRIVEWAY PROFILE
SCALE: 1" = 20' HORIZ.
1" = 10' VERT.



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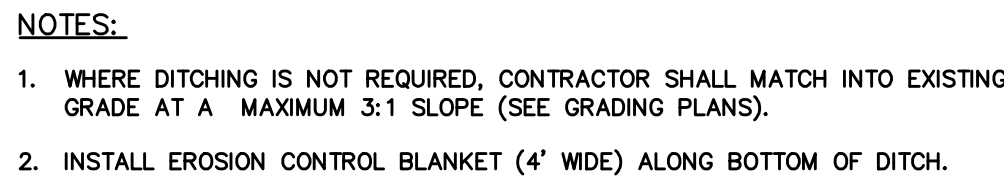


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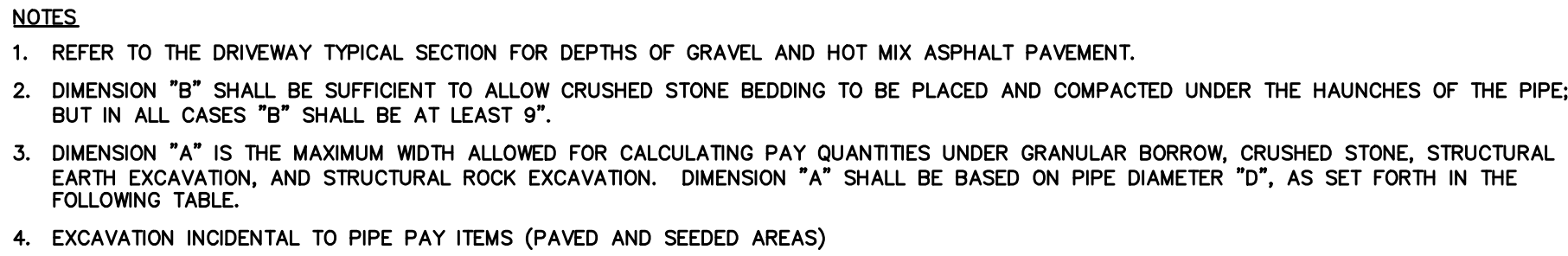
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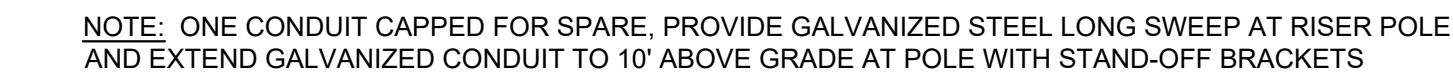
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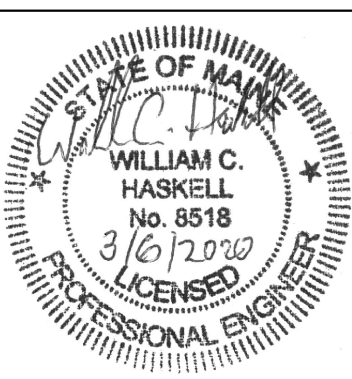
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NOT TO SCALE

1. INSERT NOTE ABOVE.
2. FINAL CONDUIT SIZE, NUMBER OF CONDUITS, AND CONDUIT LAYOUT IN TRENCH TO BE CONFIRMED WITH RESPECTIVE UTILITY COMPANIES. SPARE CONDUITS MAY BE OPTIONAL.

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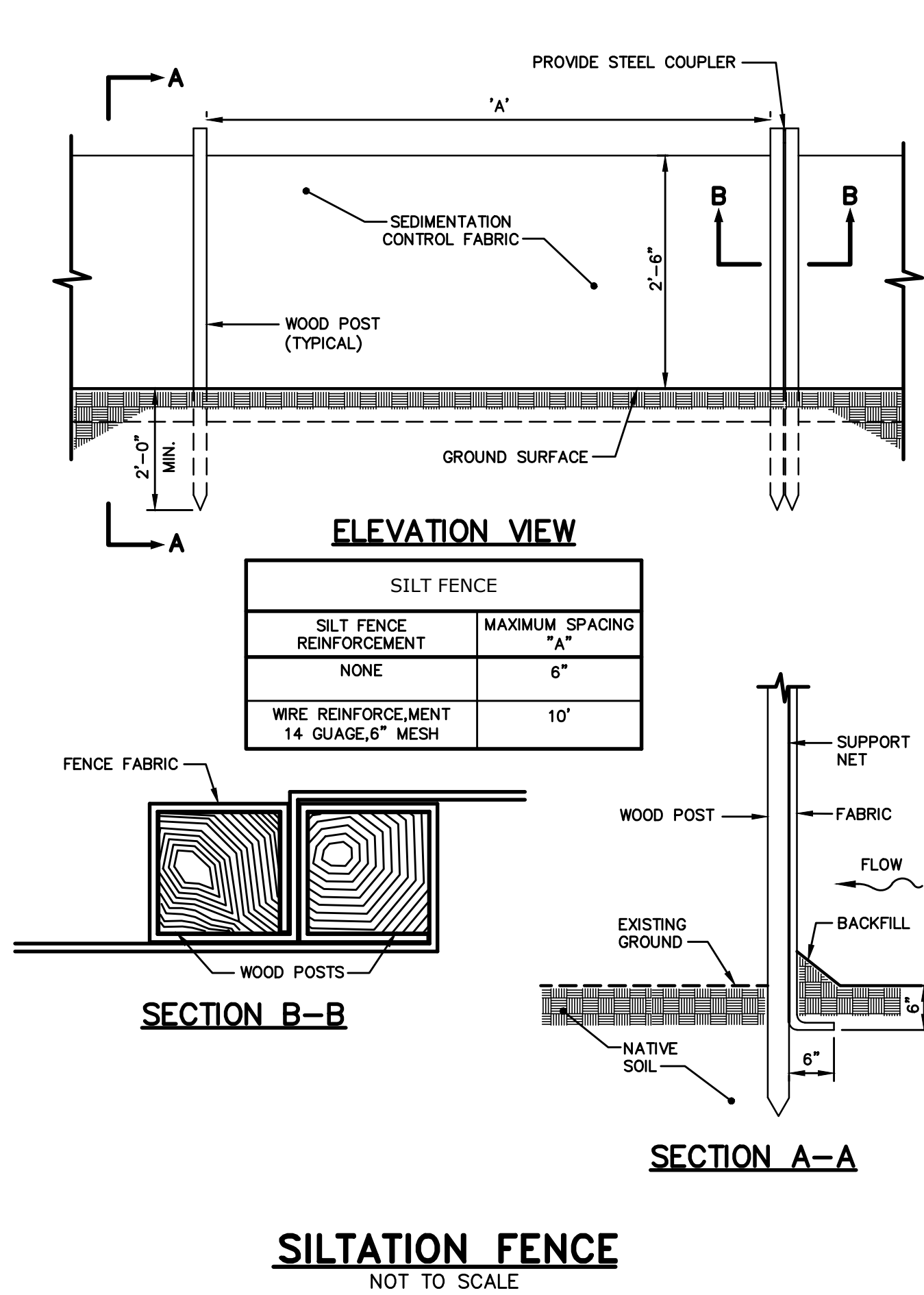
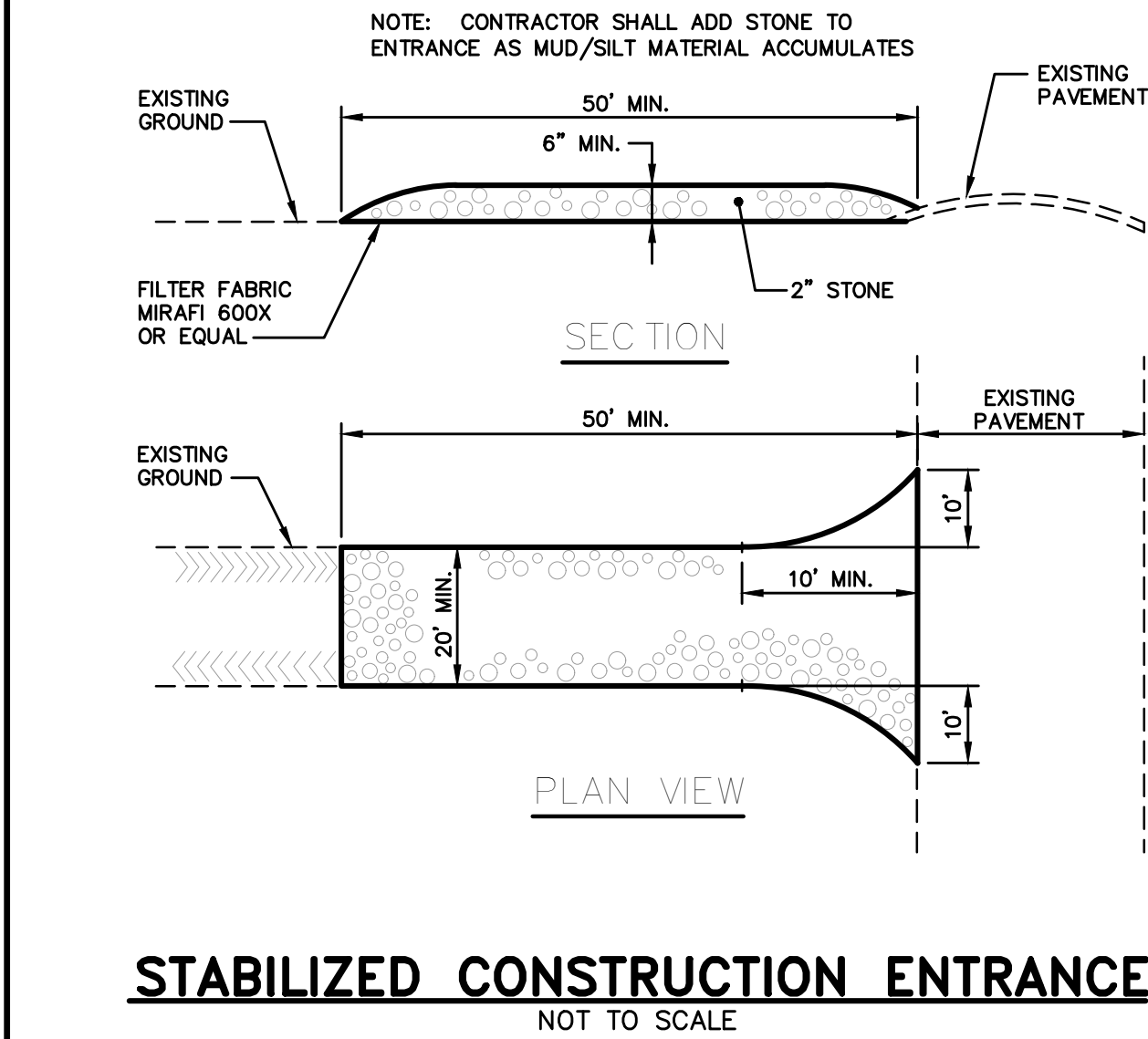
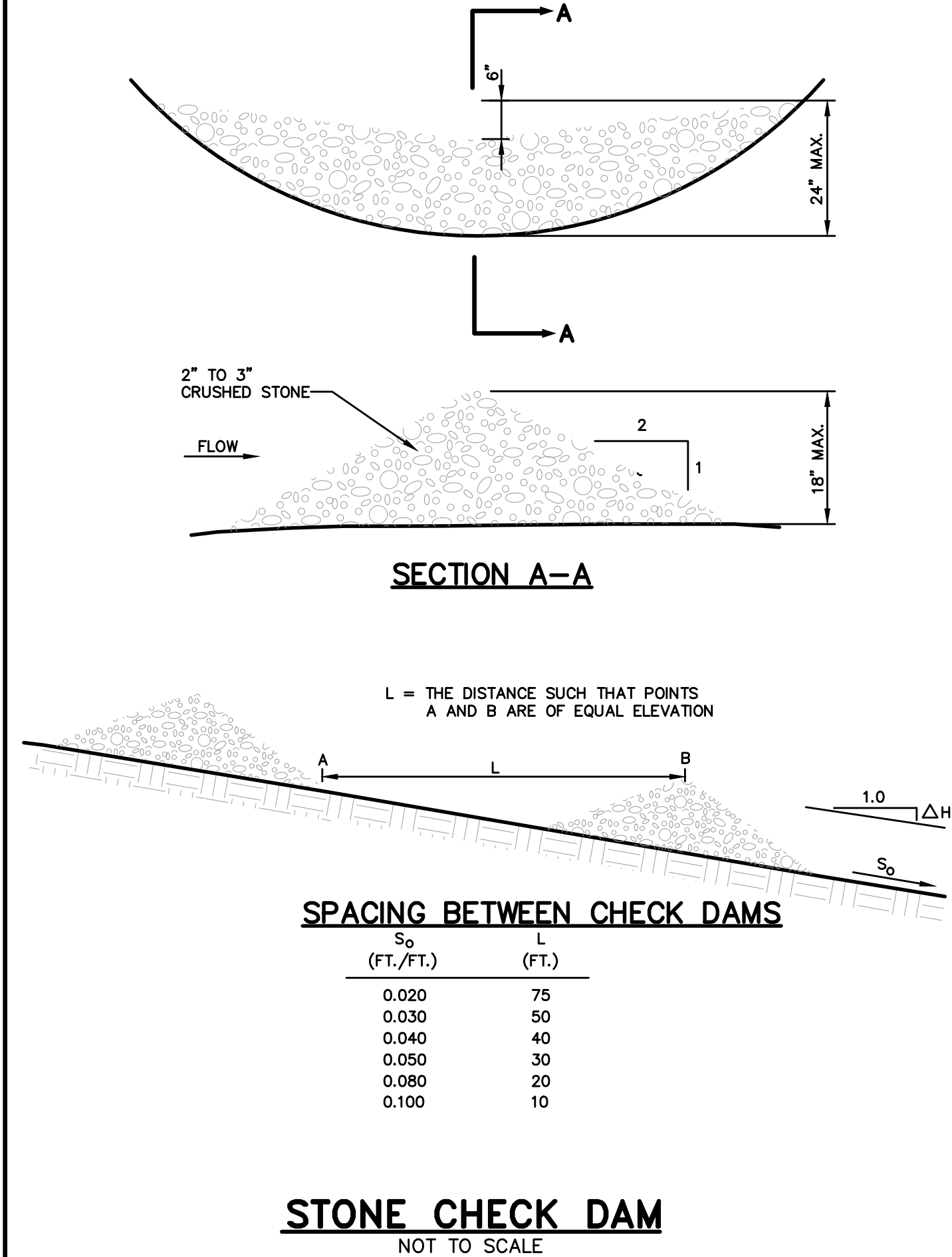
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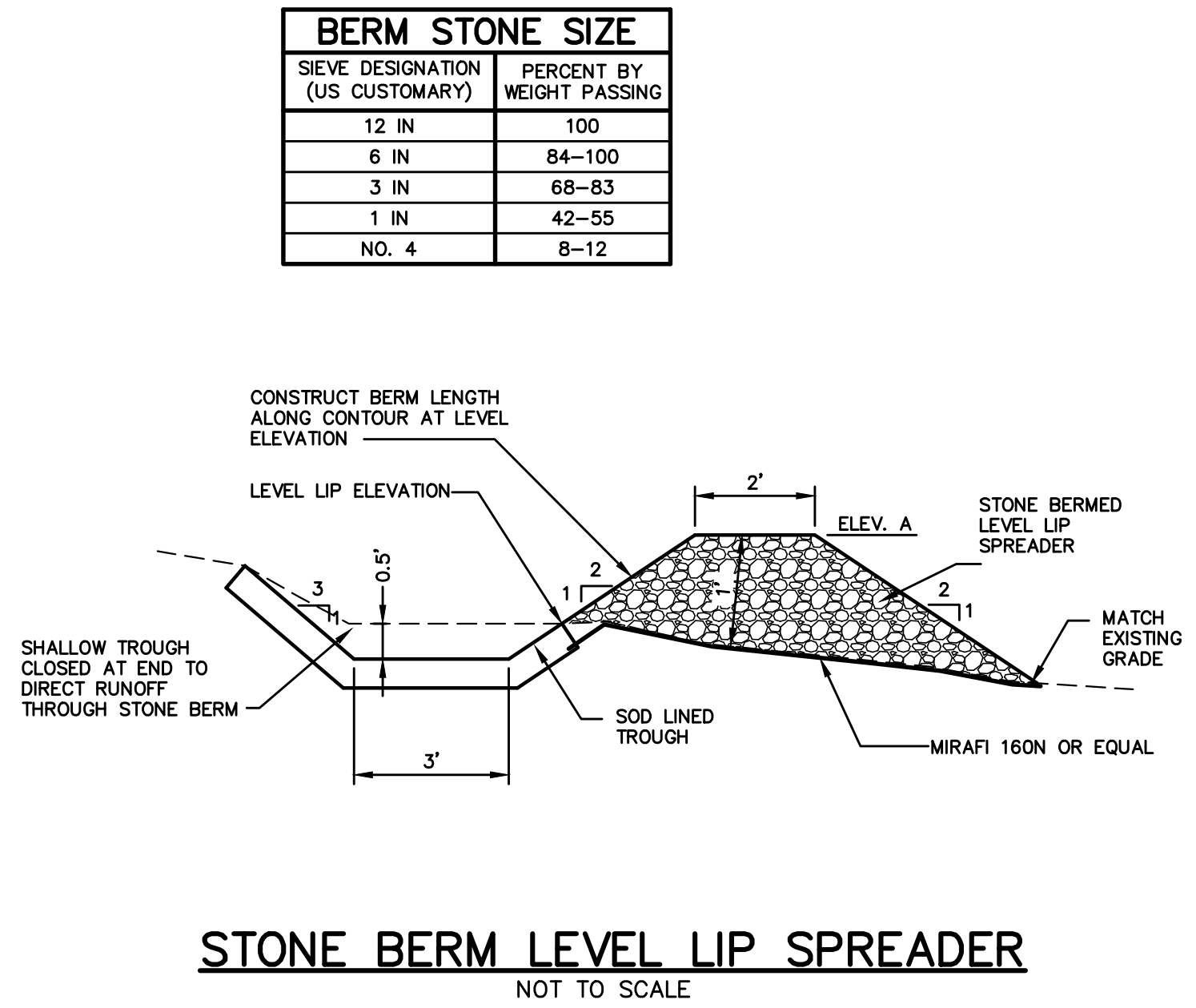
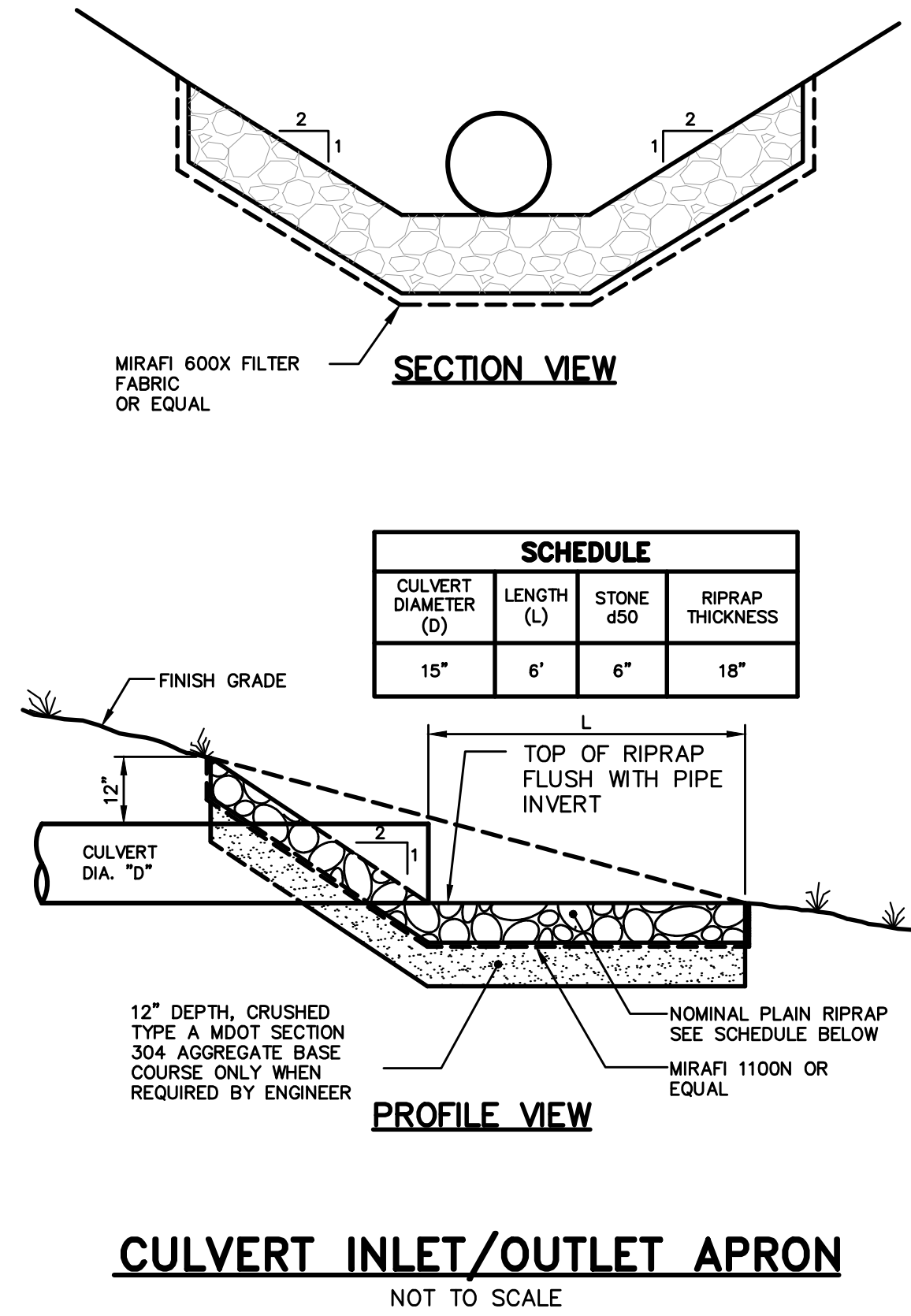
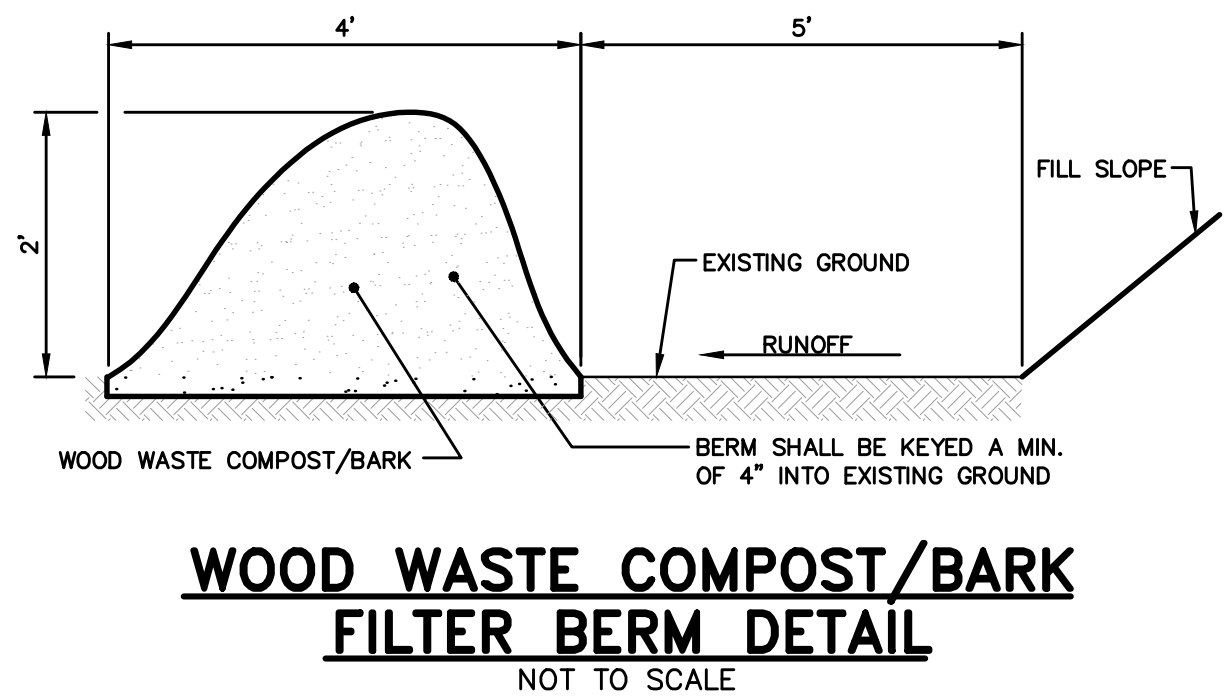
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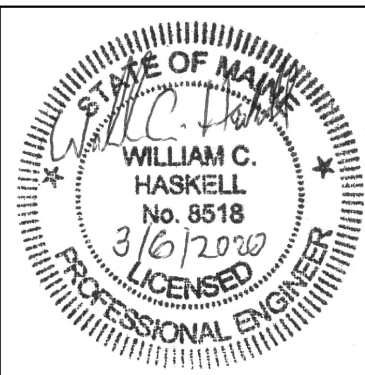
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- NOTES:**
- THE WOOD WASTE COMPOST/BARK MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - MOISTURE CONTENT - 30-60%.
 - PH - 5.0 - 8.0.
 - SCREEN SIZE - 100% LESS THAN 3", MAX. 70% LESS THAN 1".
 - NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION.
 - NO STONES LARGER THAN 2" IN DIAMETER.
 - SILTS, CLAYS OR SUGAR SANDS ARE NOT ACCEPTABLE IN THE MIX.
 - THE COMPOST BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.
 - THE WOOD WASTE COMPOST/BARK FILTER BERM MAY BE USED IN LIEU OF SILTATION FENCE, AT THE TOE OF SHALLOW SLOPES, ON FROZEN GROUND, LEDGE OUT CROPS, VERY ROOTED FORESTED AREA OR AT THE EDGE OF GRAVEL PARKING AREAS.
 - BERMS SHALL REMAIN IN PLACE UNTIL UPSTREAM AREA IS COMPLETED OR 70% CATCH OF VEGETATION IS ATTAINED. BERMS SHALL BE REMOVED BY SPREADING SUCH THAT NATIVE EARTH CAN BE SEEN BELOW.
 - WOODWASTE COMPOST BARK FILTER SHALL NOT BE USED IN WETLAND AREAS.



BERM STONE SIZE	
SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING
12 IN	100
6 IN	84-100
3 IN	68-83
1 IN	42-55
NO. 4	8-12



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