

WALSH
ENGINEERING ASSOCIATES, INC.

File: 460

May 28, 2019

Mr. Alex Jaegerman
Town of Yarmouth
200 Main St
Yarmouth, ME 04096

RE: Minor Site Plan Application, Maine Preservation, 233 West Main Street

Dear Alex,

Thank you for meeting us on site, it was a productive meeting. Merry Chapin would like to revise the parking for the Maine Preservation use of the building at 233 West Main Street. Currently the cars park randomly on the grass and pavement making the site somewhat unsightly.

This plan provides revised parking that moves the vehicles away from the street. The 9 spaces will provide adequate parking for Maine Preservation, who would use 3 to 4 spaces and a future apartment that would use 1 or 2 spaces. Visitor parking would use the remainder.

The plan also includes redoing some of the drainage around the building. This is done to bring it up to current standards and have a long lasting system.

We are providing a stone berm buffer system for the treatment of the runoff. This LID technique is in keeping with Best Management Practices.

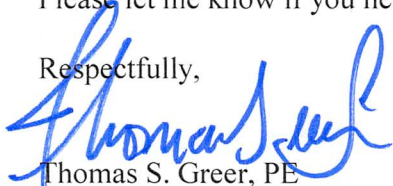
We have provided a deed for the project but many of the items on the application do not apply. The use of the property will remain as it is with the exception of the future residential apartment. The traffic, sewer, water and rubbish removal will remain as is. We do not intend to light the parking lot.

We are keeping the existing vegetation in front of the vehicles and relocating the existing grape arbor to screen the parking from the neighbors. Additional landscaping may be added if the need arises.

No new building will be part of this application. The applicant may construct a small barn feature in the future and knows it requires Planning Board approval. That is noted on the plans. The stormwater system has been designed with this future building included.

Please let me know if you need any additional information. Thank you for your assistance.

Respectfully,



Thomas S. Greer, PE
Walsh Engineering Associates, Inc.

cc: Merry Chapin, File
Enc.

TOWN OF YARMOUTH

Department of Planning and Development
200 Main Street Yarmouth, Maine 04096

(207)846-2401

WWW.YARMOUTH.ME.US

Fax: (207)846-2438

SITE PLAN APPLICATION FORM

☒ Minor ☐ Major

Date: 5/24/19 Zoning District MDR Map 46 Lot 87 Ext

Site Location 233 West Main Street
Property Owner Merrill B. Chapin
Mailing Address 62 Rogers Neck Road, Phippsburg, ME 04562
E-mail Address mchapin23@yahoo.com
Phone Fax

Name of Project Maine Preservation - Parking Area
Existing Use Unpaved Parking
Proposed Use Paved Parking

Amendment to a previously approved site plan? Yes No X
Special exception use? Yes No X

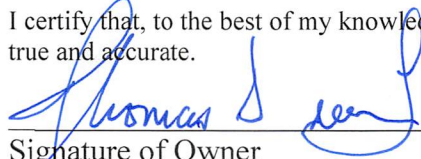
Fee: \$100.00/1000 sq. ft.; up to \$3000.00

The Department of Planning and Development shall send notices to all property owners at a minimum of 500 feet including a description of the proposal. Letters will be at a cost of \$5/letter to the applicant.

The Town will correspond with only one contact person/agent for this project. Please provide the requested information regarding the contact person/agent.

Contact person/agent Walsh Engineering Associates, Inc. - Tom Greer
Mailing Address One Karen Drive, Suite 2A, Westbrook, ME 04092
E-mail Address tgreer@walsh-eng.com
Phone 207-553-9898 Fax 207-692-2273

I certify that, to the best of my knowledge, all information provided in this application form and accompanying materials is true and accurate.



Signature of Owner
(If signed by Owner's agent, provide written documentation of authority to act on behalf of applicant.)

"I authorize appropriate staff within the Yarmouth Planning Department to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to collect facts pertaining to my application."

Thomas Greer, P.E. - Agent
Print or type name and title of signer

1. PROJECT DESCRIPTION

A. In a separate document please describe the overall project objectives and proposed uses of property, including quantity and type of residential units (if any).

B. Project details

1. Name and approval date of subdivision this site is in (if applicable)

Subdivision lot numbers (if applicable) _____

2. Assessor's Map number(s) _____ Lot number(s) _____

3. Existing zone(s) of the site

Medium Density Residential - MDR

Shoreland Overlay District _____ Yes _____ No

Affordable Housing District _____ Yes _____ No

Mobile Home Park Overlay _____ Yes _____ No

4. a. Total land area of site (all contiguous land in same ownership)

b. Total floor area of each proposed building in square feet

No new building

c. Footprint of each proposed building in square feet

d. Height of proposed building(s) _____ feet _____ stories

e. Total number of proposed parking spaces _____

f. Number of proposed handicap parking spaces _____

C. Existing conditions

1. Existing land use _____

2. Total floor area of each existing building in square feet

4,932

3. Footprint of each existing building in square feet

2,110

D. Attach as Exhibit #1 a map such as the Maine Atlas and Gazetteer map (clean photocopies are acceptable). Indicate the location of your project on map.

E. Construction sequence

1. Estimated time of start of project _____

Estimated time of completion of project _____

2. Is this to be a phased project? Yes _____ No _____

3. Attach as Exhibit #2 a construction schedule outlining the anticipated sequence of construction (beginning and completion) for the major aspects of the proposed project, including roads, erosion control and drainage measures, structures, sewer and water lines, other utilities, paving, landscaping.

2. RIGHT, TITLE, OR INTEREST

A. Name and mailing address of record owner of the site

Phone _____ Fax _____

B. Attach as Exhibit #3 evidence of corporate or partnership status, if applicant is not an individual. n/a

- n/a C. Attach as Exhibit #4 evidence of applicant's right, title, or interest in the site. A complete copy of the document must be provided; financial information may be deleted.
- Yes D. Attach as Exhibit #5 a copy of the current owner's existing deed for the site.
- n/a E. Attach as Exhibit #6 summary lists of all existing and all proposed easements or other burdens for this property. More detailed information may be required, depending on the particular circumstances of the site.
- n/a F. If a condominium, homeowners, or property owners association will be established, attach as Exhibit #7 the articles of incorporation, the Declaration of Covenants and Responsibilities, and the proposed by-laws of the organization.

3. FINANCIAL CAPACITY

- A. Estimated cost of the project (including land purchase and development costs)
-
- B. Attach as Exhibit #8 evidence of your financial capacity to complete the proposed development. Submit one or more of the following (please check as appropriate):
- _____ 1. A written statement from the applicant's bank or a certified public accountant who recently has audited the applicant's finances stating that the applicant has cash reserves in the amount of the estimated cost of the project and can devote those reserves to the project.
 - _____ 2. When the applicant will personally finance the development, provide copies of bank statements or other evidence, which will indicate availability of funds, and evidence that the applicant can devote these funds to the project.
 - _____ 3. The most recent corporate annual report showing availability of sufficient funds to finance the development, together with a statement from the applicant that the funds are available and will be used for the proposed project.
 - _____ 4. A letter from a financial institution, governmental agency, or other funding agency, which indicates a timely commitment to provide a specified amount of funds and the uses for which the funds may be utilized.
 - _____ 5. In cases where outside funding is required, but there can be no commitment of money until regulatory approvals are received, a formal letter of "intent to fund upon approval" from a funding institution indicating the amount of funds it is prepared to provide, their specified uses and the conditions on which funds will be made available.

4. TECHNICAL ABILITY

- A. List all projects undertaken by the applicant within the last five years, beginning with the most recent project:
-
-

B. Have done no prior projects _____

- C. Attach as Exhibit #9 a list of all consultants retained for this proposed project, such as engineers, architects, landscape architects, environmental consultants; and those firms or personnel who will be responsible for constructing, operating and maintaining the project.

5. SOLID WASTE

Attach as Exhibit #10 an explanation of the proposed method of collection, removal, and disposal for anticipated solid waste from this project. no change

6. WATER

Attach as Exhibit #11 written confirmation from the Yarmouth Water District that it can supply the proposed development and that the proposed plan has been approved by the District. If the

applicant proposes a private supply, provide evidence that a sufficient and healthful water supply is available for the proposed development. No change

7. TRAFFIC

Attach as Exhibit #12 a written evaluation and demonstration of the adequacy and availability of adjacent streets to serve the proposed project. If you must submit a full traffic study to DEP, provide two (2) copies with this application. (see Ch. 702 H.2.) no change

8. SANITARY SEWERS AND STORM DRAINS

A. Estimated sewage gallons per day for the completed project

Please note that the Town Manager must approve new sanitary sewer connections that are considered sewer extensions.

B. Will this project generate industrial or non-sanitary waste that will enter the public sewer or drains? No ___ Yes ___

If yes, please describe proposed types and amounts:

C. If a subsurface wastewater disposal system is proposed, provide evidence that it conforms to the requirements of the State Plumbing Code.

9. SURFACE DRAINAGE AND-RUNOFF, STORMWATER MANAGEMENT

A. Attach as Exhibit #13 a description of any problems of drainage or topography, or a representation that, in the opinion of the applicant, there are none.

B. Attach as Exhibit #14 a complete stormwater management plan, including drainage calculations for pre- and post-development for 2 yr. and 25 yr. storm events, a drainage plan, and an assessment of any pollutants in the stormwater runoff, that meets the requirements of Chapter 702, Review Criteria re Stormwater Management.

10. EROSION AND SEDIMENTATION CONTROL

A. Attach as Exhibit #15 a written description of erosion and sedimentation control measures to be used during and after construction of the proposed project.

B. Show on a plan the proposed location, type, and detail of erosion control devices, unless this information is included on a site plan drawing.

11. SOILS

A. Attach as Exhibit #16 a medium intensity soils classification report, including description of soils and interpretation of engineering properties. Include geotechnical report, if applicable.

B. Show on a plan the existing soil conditions on the site, unless this information is included on a site plan drawing. Include wetlands delineation and report, if applicable.

12. SITE PLAN ORDINANCE REQUIREMENTS

A. Attach as Exhibit #17 list of approvals needed from other agencies, such as the General Board of Appeals, Army Corps of Engineers, and Maine Department of Environmental Protection.

B. Attach as Exhibit #18 a written statement that explains how the project complies with the site plan review criteria and with specific performance standards required in the zoning district, if applicable. If applicable, please note how the proposal specifically complies with the separate components of the Route One Corridor Design Guidelines.

C. Attach as Exhibit #19 a summary list and a written offer of cession to the Town of all proposed streets, utilities and open space proposed for dedication.

D. Attach as Exhibit #20 all requests for waivers including an explanation of the undue hardship or special design requirements, which are the basis for the requests.

E. Attach as Exhibit #21 a written explanation of all potential nuisances associated with this project and how they will be mitigated, or a representation that, in the opinion of the

applicant, there are none.

13. SITE PLAN DRAWINGS, MAPS

- A. Site plan drawings
 - a. paper no larger than 24" x 36", with all drawings in a set the same size
 - b. bound and folded no larger than 9" x 12", with project name shown on front face of folded plan
 - c. number and date drawings, with space for revision dates
 - d. scale of the drawings shall be between 1"=20' and 1"=50'
 - e. show the entire parcel in single ownership, plus off-site easements
- B. Title block shall include:
 - a. identification of plan as "Site Plan"; "Amended" if applicable
 - b. name and address of project
 - c. name(s) and address(es) of site owner and of applicant
 - d. name and address of plan designer(s)
- C. Location map shall include:
 - a. abutting property within one thousand feet of project boundaries
 - b. outline of proposed project
 - c. zoning district(s) of abutting properties
 - d. at least one street intersection
- D. North arrow and scale.
- E. General plan notes shall include:
 - a. zoning district and list of applicable dimensional regulations comparing the required and proposed
 - b. proposed number of units
 - c. required and proposed number of parking spaces
 - d. total square footage of existing and proposed buildings
 - e. square footage of proposed building footprint
 - f. all requested waivers
 - g. indication if proposed structure is to be sprinklered
 - h. total square footage for each use, if applicable
- F. Name, location, width of existing and proposed streets.
- G. A Boundary Survey, Category 1, Condition 2, showing site boundaries.
- H. Setbacks as required by zoning ordinance; zone line if site is transected by a zone line or if zone line is within 30 feet of the boundaries of the site.
- I. Existing and proposed contours at 2' intervals. Show 1' contours and/or spot elevations if sufficient detail cannot be shown with 2' contours.
- J. Buildings, structures, and signs
 - a. location, dimensions, shape, facade elevations, entrances, materials, colors of exterior of proposed buildings, structures, and signs. (see Ch. 701, II, C, E, F)
 - b. description of all finish surface materials
 - c. location, dimensions, shape of existing buildings
 - d. building's setbacks from property line, if different from required yard setbacks
- K. Names of abutting property owners and locations of buildings and curb cuts on abutting properties.
- L. Locations and dimensions of parking areas, loading and unloading facilities, driveways, fire lanes, access points. Give typical parking space dimensions. (see Ch. 701, II H; Ch. 702, J.1, 2, 3)
- M. Location of all existing and proposed easements and rights-of-way, including identification of who has or will receive the easement.

- N. Location, dimensions, materials of existing and proposed pedestrian access ways.
- O. Location and size of existing and proposed utilities, both on-site and in adjoining public ways. Location of nearest existing hydrant. Include installation details for proposed utilities.
- P. Construction drawings showing plans, profiles, cross-sections, and details of appurtenances for sanitary sewer and storm drainage systems.
- Q. Location, height, wattage, bulb type of exterior and building-mounted lighting. Photometric plan consistent with requirements of site plan and zoning ordinances. (See Ch. 701, II X; Ch. 702, J. 4)
- R. Location and description of existing natural features, such as wetlands, watercourses, marshes, rock outcroppings, stands of trees. Natural features to be preserved must be identified on plan.
- S. Existing and proposed landscaping, fencing, screening. Include fence dimensions, location, material, and a table showing number of plants of each species, common and botanical names. Include planting and preservation details, if applicable. Indicate proposed snow storage area, if applicable. (see Ch. 701, II Y, and Ch. 702 J. 5)
- T. Grades, street profiles, typical cross-section, and specifications of proposed streets and sidewalks. These must meet the standards of Ch. 601, Article IV.
- U. A description of any right-of-way, street, sidewalk, open space, or other area the applicant proposes to designate as public.
- V. Name, registration number, seal, and signature of all registered professionals (engineer, land surveyor, architect, landscape architect, etc.) who prepared the plan.
- W. First floor finished floor elevation(s) for all proposed buildings.
- X. If project is within the RP district, extent of floodway and floodway fringe.
- Y. If project is within Shoreland Overlay District, show required setbacks.

Please be advised to keep in touch with the Director of Planning and Development throughout the process, 846-2401; fax 846-2403. Your responsiveness will help the process to run smoothly.

CONDITIONS OF APPROVAL

The property shown on this plan may be developed and used only as depicted on this approved plan. All elements and features of the plan and all representations made by the applicant concerning the development and use of the property which appear in the record of the Planning Board proceedings are conditions of approval. No change from the conditions of approval is permitted unless an amended plan is first submitted to and approved by the Planning Board.

Surface Water and Groundwater: No owner of a lot, his agents, or successors in interest shall alter the natural course of surface water on any lot in a way which would alter the natural flow of such water across any other parcel, unless such alteration is approved by the owners of all parcels affected. No owner of a lot, his agents, or successors in interest shall use blasting chemicals that generate perhlorates.

To Whom It May Concern,

By this letter, the undersigned authorizes Walsh Engineering Associates, Inc. to act as the agent for the undersigned in the preparation and submission of all Federal, State, and Local City permit applications and relevant documents and correspondence for all necessary permits for the construction on the property at 233 West Main Street, Yarmouth to attend meetings and site visits; to appear before all boards, commissions, and committees, and to provide such other services as are necessary and appropriate in furtherance of the aforementioned project.

Sincerely,

Merrill Chapin (Merry)
Signature

Merrill Chapin property owner
Printed Name and Title

5/24/2019
Date

DEED OF DISTRIBUTION

BY

PERSONAL REPRESENTATIVE

(TESTATE ESTATE)

THIS DEED is made by MERRILL B. CHAPIN, of Phippsburg, County of Sagadahoc, and State of Maine, as Personal Representative of the ESTATE OF ELIZABETH B. MURPHY f/k/a ELIZABETH M. BARKER, Deceased, Grantor, to MERRILL B. CHAPIN a/k/a MERRILL LOUISE CHAPIN, of Phippsburg, County of Sagadahoc, and State of Maine, Grantee.

WHEREAS, the Last Will and Testament of Elizabeth B. Murphy f/k/a Elizabeth M. Barker, Deceased, was duly admitted to the Probate Court of Cumberland County, Portland, Maine, Docket No. 2005-1318;

WHEREAS, Grantor was duly appointed Personal Representative of said Estate and is now qualified and acting in said capacity; and

WHEREAS, the Grantee is determined to be the person entitled to distribution of the hereinafter-described real property, and Grantor is authorized to distribute the same to Grantee;

NOW THEREFORE, Grantor conveys, assigns, transfers and releases to the Grantee the following described real property:

See attached Schedule A.

TOGETHER WITH all tenements, hereditaments and appurtenances thereto belonging, but SUBJECT TO any easements and restrictions of record.

Dated: April 12, 2016

Roger R. Theriault
Witness:


ESTATE OF ELIZABETH B. MURPHY

Merrill B Chapin
By: Merrill B. Chapin
Personal Representative

STATE OF MAINE
SAGADAHOC, SS.

On April 12, 2016, before me, the undersigned, a Notary Public, duly commissioned and qualified for and residing in said County and State, personally appeared

Merrill B. Chapin, as Personal Representative of the Estate of Elizabeth B. Murphy f/k/a Elizabeth M. Barker, Deceased, to me known to be the identical person who executed the foregoing Deed of Distribution and acknowledged the same to be her voluntary act and deed.


Notary Public
Typed/Printed Name: Anne Marie Moore
Commission Expires: 5/19/2022

ANNE MARIE MOORE
Notary Public, Maine
My Commission Expires May 19, 2022

SCHEDULE A

PARCEL I:

A certain lot or parcel of land situated on the southerly side of West Main Street in the Town of Yarmouth, County of Cumberland and State of Maine, bounded and described as follows:

Beginning on the southerly side line of West Main Street at a point one hundred thirty and sixty-seven hundredths (130.67) feet westerly from the northwesterly corner of land conveyed by Elvina L. Merrill to George O. Merrill by deed dated April 14, 1941 and recorded in Cumberland County Registry of Deeds, Book 1631, Page 405; thence running South 83° 55' West by West Main Street two hundred eighty-two and eighty-two hundredths (282.82) feet to an iron at the northeasterly corner of land conveyed by Stephen D. Sawyer and Harold J. Trainor, et al, by deed dated September 23, 1963 and recorded in said Registry of Deeds, Book 2777, Page 238; thence South 22° 20' East by said Trainor land and land formerly of John A. Anderson six hundred forty-three and fifty hundredths (643.50) feet to an iron at the northwesterly corner of land formerly of John White; thence North 66° 03' East by said White land one hundred sixty-eight and seventy-two hundredths (168.72) feet to a point; thence North 11° 55' West parallel with and one hundred thirty (130) feet westerly from said George O. Merrill land five hundred sixty-nine and one hundredths (569.01) feet to the point of beginning.

For source of title reference may be had to Deed of George O. Merrill, et al, to Elizabeth M. Barker, dated April 29, 1961, and recorded in the Cumberland County Registry of Deeds in Book 2600, Page 215, and Warranty Deed of Elizabeth M. Barker to Hubert H. Barker and Elizabeth M. Barker, as joint tenants, dated December 14, 1971, and recorded in the Cumberland County Registry of Deeds in Book 3205, Page 370. Hubert H. Barker having been deceased on October 18, 1978, leaving the said Elizabeth M. Barker as the surviving joint tenant.

PARCEL II:

A certain lot or parcel of land situated on the Southerly side of West Main Street in the Town of Yarmouth, County of Cumberland and State of Maine, being all and the same premises conveyed to Clinton V. Merrill and Judy B. Merrill by deed of Elizabeth M Barker, dated September 21, 1984 and recorded in Cumberland County Registry of Deeds in Book 6570, Page 284, to which deed reference is hereby made for a more particular description.

Excepting, however, so much of said premises as was conveyed by Clinton V. Merrill and Judy B. Merrill to George R. Sylvester and Ramona M. Sylvester, by deed dated August 6, 1985, and recorded in said Registry of Deeds in Book 6867, Page 51, to which deed reference is hereby made for a more particular description.

Also, a certain lot or parcel of land situated Southerly of West Main Street in said Town of Yarmouth, being all and the same premises conveyed to Clinton V. Merrill and Judy B. Merrill by George R. Sylvester and Ramona M. Sylvester, by deed dated August 5, 1985 and recorded in said Registry of Deeds in Book 6867, Page 53, to which deed reference is hereby made for a more particular description.

Also, a certain lot or parcel of land situated on the Southerly side of West Main Street in said Town of Yarmouth, being all and the same premises conveyed to Clinton Vernon Merrill and Judy B. Merrill by Elizabeth Barker Murphy f/k/a Elizabeth M. Barker, by deed dated September 9, 1986 and recorded in said Registry of Deeds in Book 7405, Page 211, to which deed reference is hereby made for a more particular description.

For source of title reference may be had to Warranty Deed of Clinton V. Merrill and Judy B. Merrill to Elizabeth Barker Murphy, dated September 4, 1998, and recorded in the Cumberland County Registry of Deeds in Book 14143, Page 238.

PARCEL III:

A certain lot or parcel of land with the buildings thereon situated on the northwesterly side of West Main Street in the Town of Yarmouth, County of Cumberland and State of Maine bounded and described as follows:

Beginning on the northwesterly side line of West Main Street at the southerly corner of land conveyed by Daniel R. Humphrey, et al to Ammi M. Humphrey by deed dated August 25, 1838 and recorded in the Cumberland County Registry of Deeds in Book 185, Page 30; thence northwesterly by said Humphrey land thirty-one (31) rods more or less to an angle; thence southwesterly by said Humphrey land sixteen (16) rods more or less to the northeasterly side line of land formerly of Thomas Shaw; thence southeasterly by said Shaw land twenty-nine (29) rods to the northwesterly side line of West Main Street; thence northeasterly by West Main Street to the point of beginning.

Being the same premises conveyed to Reuben Merrill by James J. Humphrey, et al by deed dated October 14, 1857 and recorded in said Registry of Deeds in Book 281, Page 567; by Ruth S. Humphrey, et al by deed dated October 9, 1857 and recorded in said Registry of Deeds in Book 283, Page 60 and by Hannah G. Humphrey, Administratrix of the Estate of Daniel R. Humphrey by deed dated November 15, 1858 and recorded in said Registry of Deeds in Book 291, Page 299.

Also a certain lot or parcel of land situated on the northwesterly side of said West Main Street bounded and described as follows:

Beginning on the northwesterly side line of West Main Street at the southerly corner of the land first above described; thence southwesterly by West Main Street five (5) rods to a point; thence northwesterly parallel with said first described parcel twenty-nine (29) rods to a point; thence northeasterly parallel with West Main Street five (5) rods to the westerly corner of said first described parcel; thence southeasterly by said first described parcel twenty-nine (29) rods to the point of beginning.

Being the same premises conveyed to Reuben Merrill by Isaac Sturdivant by deed dated October 31, 1857 and recorded in said Registry of Deeds in Book 283, Page 86.

The interest of Elizabeth Blanchard Merrill Barker Murphy is derived as follows:

One-eighth (1/8) as heir-at-law of Ferdinand B. Merrill deceased intestate;

Three-eighths (3/8) by deed from George O. Merrill, dated April 14, 1941 and recorded in said Registry of Deeds in Book 1637, Page 26;

One-fourth (1/4) by deed from Elizabeth M. Conant dated June 6, 1940 and recorded in said Registry of Deeds in Book 1607, Page 96;

One-fourth (1/4) by devise from Elvina L. Merrill, an abstract of whose Will is recorded in said Registry of Deeds in Book 1890, Page 41.

Received
Recorded Register of Deeds
Apr 25, 2016 11:56:32A
Cumberland County
Nancy A. Lane

Consultants

Thomas S. Greer
Walsh Engineering Associates, Inc.
One Karen Drive, Suite 2A
Westbrook, ME 04092
207-553-9898

Anthony Muench
Landscape Architect
94 Commercial St
Portland, ME 04101
207-761-6621



LEGEND	
	TEMPORARY BENCHMARK
	PROPERTY LINE
	ABUTTING PROPERTY LINE
	BUILDING
	FENCE METAL
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	EDGE OF CONCRETE
	INTERMEDIATE CONTOUR
	INDEX CONTOUR
	OVERHEAD ELECTRIC LINE
	TREELINE
	TREE
	TREE STUMP
	DEMO AREAS
	CLEARING LIMIT

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL AND ANY MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
3. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
4. ALL WORK SHALL BE IN CONFORMANCE WITH ALL UTILITY COMPANIES STANDARDS.
5. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
6. ALL PAVEMENT/CONCRETE CUTS SHALL BE SAW CUT TO RESULT IN CLEAN EDGES. A TACK COAT SHALL BE APPLIED ALONG THE PAVEMENT CUT EDGES AND THE NEW PAVEMENT BUTTED TO IT, UNLESS OTHERWISE DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.
7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING. REFER TO THE WRITTEN EROSION CONTROL PLAN AND DRAWINGS FOR FURTHER EROSION CONTROL GUIDELINES.
8. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNERS REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.

PLAN REFERENCES:

1. TOPOGRAPHIC AND PROPERTY BOUNDARY INFORMATION TAKEN FROM A COMPILATION OF THE FOLLOWING:
 - 1.1. BOUNDARY LINE TAKEN FROM THE TOWN OF YARMOUTH TAX MAP.
 - 1.2. FIELD OBSERVATIONS AND GPS SURVEY BY WALSH ENGINEERING ASSOCIATES, INC. ON SEP. 13, 2018.
 - 1.3. LIDAR TOPOGRAPHY TAKEN FROM THE MAINE GEOBRLARY, LIDAR FOR THE NORTHEAST 2010 2011.

PARCEL INFORMATION:

1. OWNER OF RECORD: MERRILL B. CHAPIN
2. STREET ADDRESS: 62 ROGERS NECK RD
PHIPPSBURG, ME 04562
3. PARCEL SHOWN HEREON IS TOWN OF YARMOUTH
TAX MAP 46, LOT 87.
4. TOTAL AREA OF PARCEL: 3.5 ACRES
5. CURRENT ZONE: MEDIUM DENSITY RESIDENTIAL (MDR)
6. SITE BENCHMARK: MAG NAIL FOUND IN SIDEWALK,
ELEVATION 147.34.

ZONING INFORMATION*: MEDIUM DENSITY RESIDENTIAL - MDR

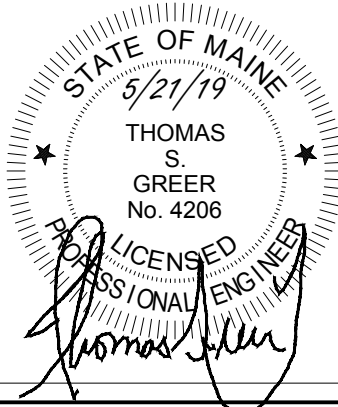
1. LOT AREA: 1 ACRE
2. MINIMUM STREET FRONTAGE: 130
3. FRONT SETBACK: 15
4. SIDE SETBACK: 10
5. REAR SETBACK: 15

*ZONING STANDARDS FROM TOWN OF YARMOUTH ZONING ORDINANCE, DATED JAN. 15, 1998, AMENDED JULY, 26, 2018.

WALSH
ENGINEERING ASSOCIATES, INC.

One Karen Dr., Suite 2A | Westbrook, Maine 04092
ph: 207.553.9898 | www.walsh-eng.com

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MAINE PRESERVATION

233 WEST MAIN STREET
YARMOUTH, MAINE 04096

MERRILL CHAPIN

62 ROGERS NECK ROAD
PHIPPSBURG, MAINE 04562

Rev.	Date	Description	Drawn	Check
1	4/22/19	FINALIZED PLANS	RJS	TSG
2	5/2/19	ADDED ADD'L NOTES	RJS	TSG
3	5/21/19	PER TOWN COMMENTS	RJS	TSG

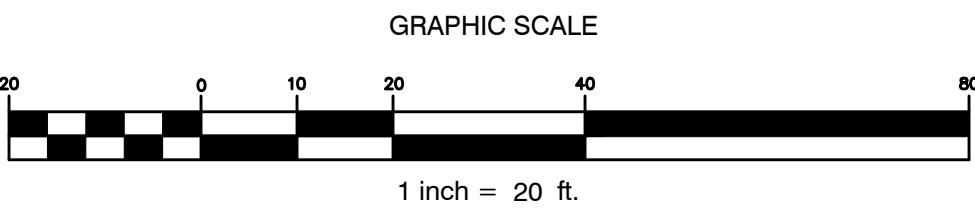
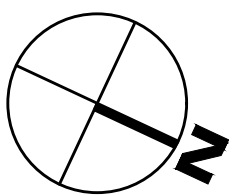
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Existing Conditions & Removals Plan

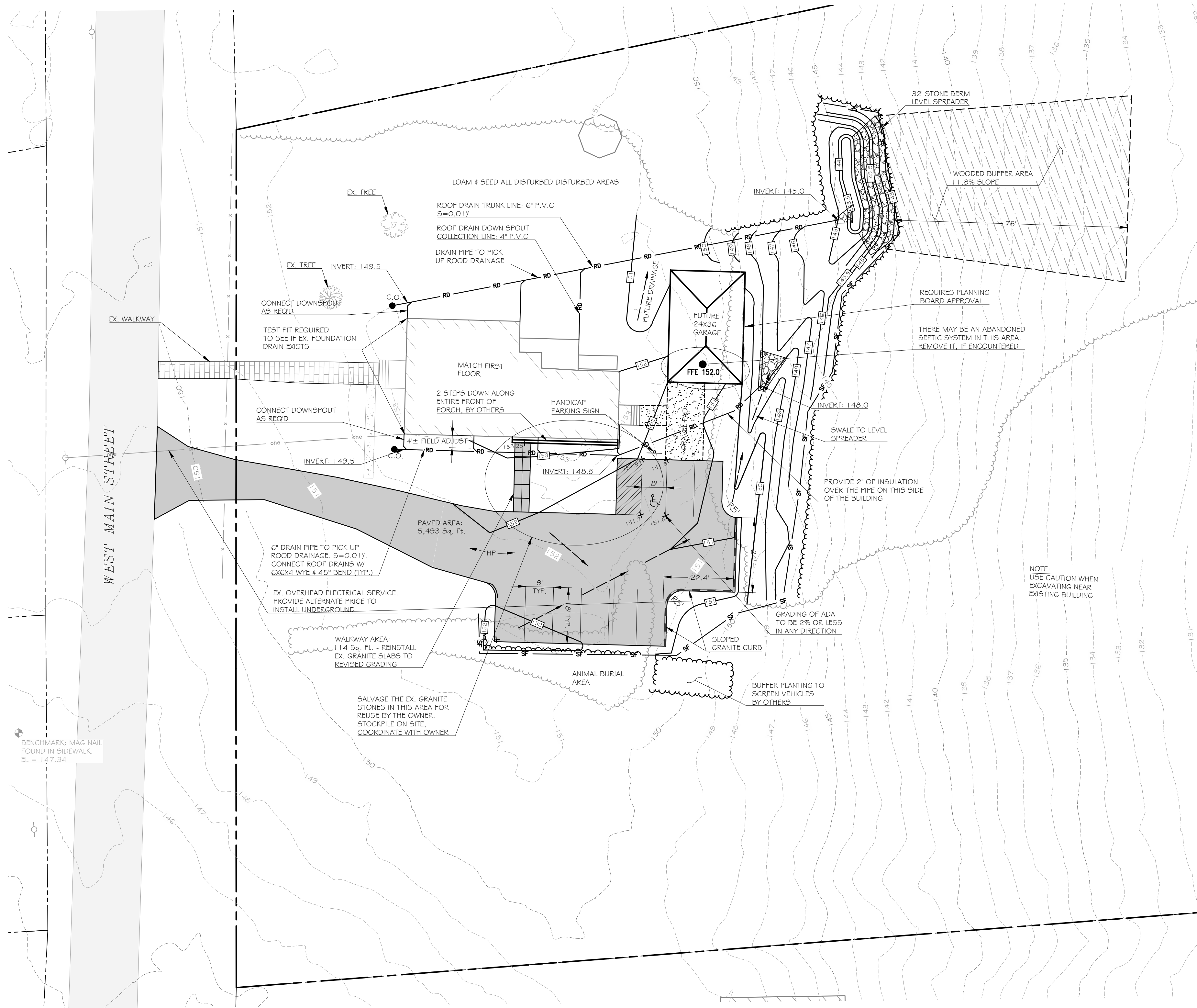
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Plot: 000 - Main Preservation - 233 West Main Street, Yarmouth, Maine 04096 - Sheet 1 of 1 (1/15/19) - 1/15/19 12:28 PM



GRADING, DRAINAGE AND UTILITIES NOTES:

1. PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL VERIFY ALL AFFECTED GRADES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNERS REPRESENTATIVE.
2. ALL AREAS NOT REQUIRING GRADING SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL NOT DISTURB THESE AREAS AND PRESERVE EXISTING VEGETATION.
3. GRADE ALL NEW WORK FOR POSITIVE DRAINAGE AND NO PUDDLING. MATCH EXISTING GRADES SMOOTHLY AND CONTINUOUSLY.
4. DRAINAGE AT TERMINUS OF CURBING SHALL BE RIP-RAPPED UNLESS OTHERWISE SPECIFIED OR NOTED ON THE PLANS, OR AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.
5. OWNER AND PROJECT ENGINEER WILL BE CLOSELY MONITORING FINISH GRADING IN THE FIELD. CONTRACTOR SHALL PERFORM FINISH WORK AS DIRECTED BY THE OWNER OR PROJECT ENGINEER TO ACHIEVE THE FINISH GRADE CONDITIONS SHOWN ON THE PLANS.
6. ALL SITE IMPROVEMENTS INCLUDING UTILITIES MUST CONFORM TO THE TOWN OF YARMOUTH'S TECHNICAL GUIDELINES AND STANDARDS.

STONE BERM LEVEL SPREADER SIZING CALCULATIONS

AREA DRAINING TO LEVEL SPREADER
IMPERVIOUS: 7,092 Sq. Ft. 0.163 Ac.
LANDSCAPE: 7,233 Sq. Ft. 0.166 Ac.

BUFFER FLOW LENGTH: 75 Ft.
BUFFER SLOPE: 1:1.8%
BERM LENGTH PER ACRE OF IMP.: 150 Ft.
BERM LENGTH PER ACRE OF LS.: 24.5 Ft.
REQUIRED: 42 Ft.
REQUIRED: 7 Ft.
REQUIRED BERM LENGTH: 32 Ft.

* SEE TABLE S.5 - BERM AND FLOW PATH LENGTH PER ACRE OF IMPERVIOUS AREA, IN THE MAINE STORMWATER MANAGEMENT DESIGN MANUAL, MARCH 2016.

LEGEND

EL = 100.00	TEMPORARY BENCHMARK
PROPERTY LINE	ABUTTING PROPERTY LINE
BUILDING	FENCE METAL
EDGE OF PAVEMENT	EDGE OF GRAVEL
EDGE OF CONCRETE	GRANITE CURB
OVERHEAD ELECTRIC LINE	INTERMEDIATE CONTOUR
INDEX CONTOUR	SPOT GRADE
FLOW ARROW	FINISHED FLOOR ELEVATION
TREELINE	TREE
ROOFDRAIN	RIPRAP
DRAINAGE BUFFER	HANDICAP SYMBOL
PARKING STRIPING	TRAFFIC/PARKING SIGN
SILT FENCE OR EROSION CONTROL BERM	ROOF DRAIN CLEAN OUT

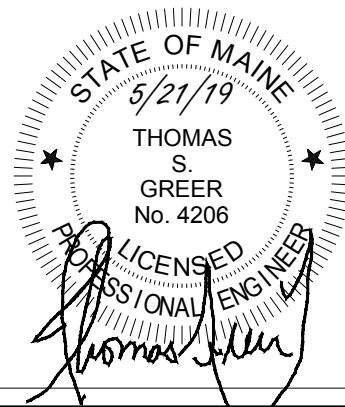
GENERAL NOTES:

1. THE EXISTING BUILDING IS SERVICED BY TOWN WATER AND SEWER. THEY ARE LIKELY UNDER THE DRIVEWAY. PROCEED WITH CAUTION WHEN WORKING IN THAT AREA.
2. THE EXISTING TENANT WILL REQUIRE TEMPORARY PARKING. ACCOMMODATE IT ON THE EXISTING GRASS OR ELSEWHERE. REPAIR AS NECESSARY.

WALSH
ENGINEERING ASSOCIATES, INC.

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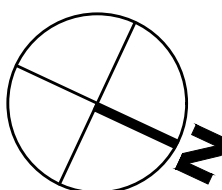
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Site Plan

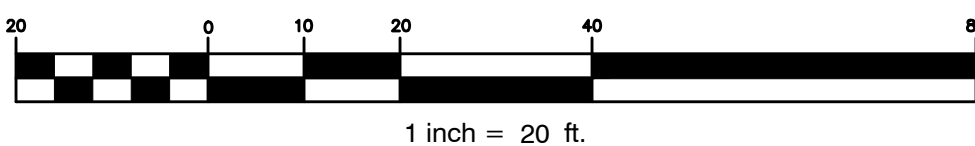
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GRAPHIC SCALE



EROSION AND SEDIMENTATION CONTROL NOTES:

INTRODUCTION

THE FOLLOWING PLAN FOR CONTROLLING SEDIMENTATION AND EROSION IN THIS PROJECT IS BASED ON CONSERVATION PRACTICES FOUND IN THE MAINE EROSION & SEDIMENT CONTROL BMP'S, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2016, OR LATEST EDITION. THE CONTRACTOR WHO IMPLEMENTS THIS PLAN SHALL BE FAMILIAR WITH THIS PUBLICATION AND ADHERE TO IT AND THE PRACTICES PRESENTED HEREIN.

REFERENCE IS MADE TO THE TRANSFER STATION SITE PLAN (C2.0) WITHIN THE PLAN SET, SHOWING THE LOCATIONS AND TYPES OF PROPOSED MEASURES TO BE IMPLEMENTED.

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES

THE FOLLOWING IS A LIST OF GENERAL EROSION CONTROL PRACTICES THAT WILL BE USED TO PREVENT EROSION AND SEDIMENTATION BEFORE, DURING AND AFTER THE CONSTRUCTION OF THIS PROJECT. IN ADDITION, SPECIAL CARE SHALL BE USED AT ALL TIMES TO:

- 1) LIMIT DISTURBANCE AND, HENCE, EROSION
- 2) CORRECT ANY EROSION PROBLEMS IMMEDIATELY
- 3) REGULARLY MONITOR THE IMPLEMENTED PRACTICES, ESPECIALLY AFTER EVERY RAINFALL
- 4) REVEGETATE DISTURBED AREAS AS SOON AS POSSIBLE AFTER CONSTRUCTION
- 5) CONFORM TO ALL REQUIREMENTS/STANDARDS OF THE MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.

SILT FENCE AND/OR SILT/STOCK SEDIMENT BARRIERS

SILT FENCE AND/OR SILT/STOCK SEDIMENT BARRIERS WILL BE INSTALLED ALONG THE DOWNGRADIENT SIDE OF THE PROPOSED GROUND DISTURBANCE AREAS AND STOCKPILE AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES.

CATCH BASIN PROTECTION

CATCH BASIN PROTECTION WILL BE INSTALLED AT THE FIRST DOWNGRADIENT CATCH BASIN IN STREET ADJACENT TO ANY CONSTRUCTION ACTIVITIES.

CONSTRUCTION PHASE

THE FOLLOWING GENERAL PRACTICES WILL BE IMPLEMENTED TO PREVENT EROSION DURING CONSTRUCTION ON THIS PROJECT:

1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. ONCE CONSTRUCTION OF AN AREA IS COMPLETE, FINAL GRADING, LOAMING AND SEEDING SHALL OCCUR IMMEDIATELY (REFER TO "POST CONSTRUCTION REVEGETATION" SECTION). IF DURING FINAL GRADING, LOAMING AND SEEDING CAN NOT OCCUR IMMEDIATELY, IT SHALL BE DONE PRIOR TO ANY STORM EVENT AND WITHIN 14 DAYS OF COMPLETING CONSTRUCTION IN THE AREA. IF FINAL GRADING, LOAMING AND SEEDING CANNOT OCCUR WITHIN 7 DAYS, OR IF THE AREA IS NOT UNDER ACTIVE CONSTRUCTION FOR A PERIOD LONGER THAN 7 DAYS, SEE ITEM NO. 4 BELOW.
2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SILT FENCING SHALL BE INSTALLED ON DOWNGRADIENT PORTIONS OF THE SITE AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION.
3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM EXISTING DRAINAGE AREAS AND WETLANDS. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE:
 - A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
 - B. SEEDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.STOCKPILES SHALL BE EITHER PLACED UPHILL OF AN EXISTING SEDIMENT BARRIER ON THE SITE OR ENCIRCLED BY A HAY BALE OR SILT FENCE BARRIER THE FIRST DAY THAT STOCKPILING COMMENCES.
4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE:
 - A. TREATED WITH STRAW AT A RATE OF 70-90 LBS. PER 1,000 SQUARE FEET FROM 4/16 TO 1/4", OR AT A RATE OF 150-200 LBS. PER 1,000 SQUARE FEET FROM 1/4" TO 4/15".
 - B. SEEDED WITH CONSERVATION MIX OF PERENNIAL RYE GRASS (1.0 LBS/1,000 SQ.FT.) AND MULCHED IMMEDIATELY. FROM 1/4" TO 4/15, FOLLOW THE SEEDING RATES AS OUTLINED BELOW IN SECTION 5 OF THE "POST CONSTRUCTION REVEGETATION" SECTION.
 - C. MONITORED EVERY TWO WEEKS UNTIL SEEDING CAN OCCUR AND REMULCHED AS NEEDED TO PROTECT SLOPES.
5. ALL GRADING WILL BE HELD TO A MAXIMUM 3:1 SLOPE WHERE PRACTICAL. GREATER SLOPES MAY BE USED WHERE THE BANKS ARE PROTECTED WITH SOFT ARMOUR MATTING, EROSION CONTROL MATTING, OR RIPRAP. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY AFTER FINAL GRADING IS COMPLETE. (IT IS UNDERSTOOD THAT IMMEDIATELY MEANS WITHIN 5 DAYS OF THE COMPLETION OF WORK. SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)
6. CONSTRUCTION TRAFFIC WILL BE DIRECTED OVER THE EXISTING SITE ENTRANCE. THE ROAD SHALL BE SWEEP DAILY SHOULD SEDIMENT BE TRACKED ONTO IT.

DEWATERING

ALL DEWATERING DISCHARGE LOCATIONS SHALL BE LOCATED ON RELATIVELY FLAT GROUND AT LEAST 100' FROM STREAMS AND WETLANDS. THE CONTRACTOR SHALL UTILIZE DIRTBAGS, EROSION CONTROL MIX BERMS, OR SIMILAR METHODS FOR FILTRATION OF DEWATERING. THE FLOW FROM DEWATERING PUMPS SHALL BE DISCHARGED TO A SEDIMENTATION BASIN.

POST CONSTRUCTION REVEGETATION

THE FOLLOWING GENERAL PRACTICES WILL BE IMPLEMENTED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING:

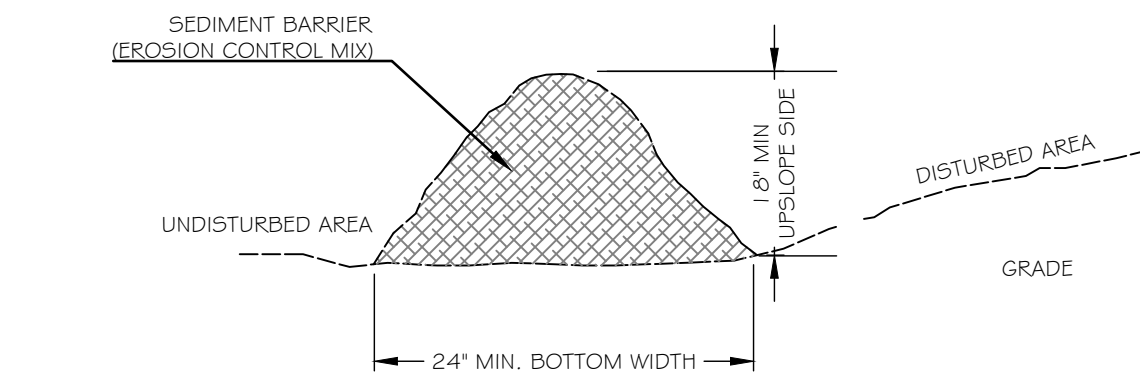
1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE.
2. LAWN AREAS: REFER TO SEED MIXTURES FOR PERMANENT COVER, DRY CONDITIONS MIX, NEW HAMPSHIRE EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION, OR APPROVED EQUAL.
3. MULCH SHALL BE HAY OR STRAW MULCHES THAT ARE DRY AND FREE FROM UNDESIRABLE SEEDS AND COARSE MATERIALS.
 - A. APPLICATION RATE MUST BE 2 BALES (70-90 LBS.) PER 1,000 SQUARE FEET OR 1.5 TO 2 TONS (90-100 BALES) PER ACRE TO COVER 75 TO 90% OF THE GROUND SURFACE.
 - B. DRIVE OVER WITH TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
 - C. BLANKET WITH TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING ON GRADES GREATER THAN 5%.
4. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF ASPHALT, WOOD FIBRE OR PAPER FIBRE AND WATER, WHICH IS SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 1/4" AND 4/15".
5. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN OCTOBER 1ST AND APRIL 15TH. SHOULD SEEDING BE NECESSARY BETWEEN THESE DATES, THE FOLLOWING PROCEDURE SHALL BE FOLLOWED:
 - A. ONLY UNFROZEN LOAM SHALL BE USED.
 - B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
 - C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1,000 S.F.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
 - D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.5 LBS/1,000 S.F.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
 - E. FERTILIZING, SEEDING AND MULCHING SHALL BE DONE ON LOAM THE DAY THE LOAM IS SPREAD.
 - F. HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE. WINTER MULCHING RATES, AS SPECIFIED ABOVE IN SUBSECTION 5.A. OF THE "CONSTRUCTION PHASE" SECTION, SHOULD BE APPLIED DURING THIS PERIOD.
6. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 80% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE DESIGN PROFESSIONAL THAT THE EXISTING CATCH IS INADEQUATE.

MONITORING SCHEDULE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO.

MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL (0.5" OR GREATER), AND AT LEAST ONCE A WEEK, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. SILT FENCE SHALL BE INSPECTED AND REPAIRED. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING.



- NOTES:
1. THE EROSION CONTROL MIX SHALL CONTAIN A WELL GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH.
 2. MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS
 - A. THE ORGANIC CONTENT SHALL BE BETWEEN 80 AND 100% DRY WEIGHT BASIS
 - B. PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN AND A MAXIMUM OF 85% PASSING A 0.75" SCREEN
 - C. THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED
 - D. LARGE PORTIONS OF SILTS, CLAYS, OR FINE SANDS ARE NOT ACCEPTABLE IN THE MIX
 - E. SOLUBLE SALTS CONTENT SHALL BE <4.0 MMHOS/CM
 - F. THE pH SHOULD FALL BETWEEN 5.0 AND 8.0
 3. PLACE BARRIER ALONG A RELATIVELY FLAT CONTOUR. CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES WHERE FINES CAN WASH UNDER THE BARRIER THROUGH GRASS BLADES AND BRANCHES.
 4. PLACEMENT OF BARRIER SHOULD BE:
 - AT TOE OF THE SLOPE.
 - FROZEN GROUND, BEDROCK OR ROOTED FORESTED AREAS.
 - THE EDGE OF GRAVEL AND AREAS UNDER CONSTRUCTION.
 5. BARRIER SHALL NOT BE USED ADJACENT TO WETLANDS
 6. REMOVE SEDIMENT DEPOSITS WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
 7. WHEN BARRIER IS DECOMPOSED, CLOGGED WITH SEDIMENT, ERODED OR INEFFECTIVE, IT MUST BE REPLACED OR REPAIRED. THE BARRIER SHOULD BE RESHAPED AS NECESSARY.

3 SEDIMENT BARRIER (EROSION CONTROL MIX)
C2.0 NOT TO SCALE

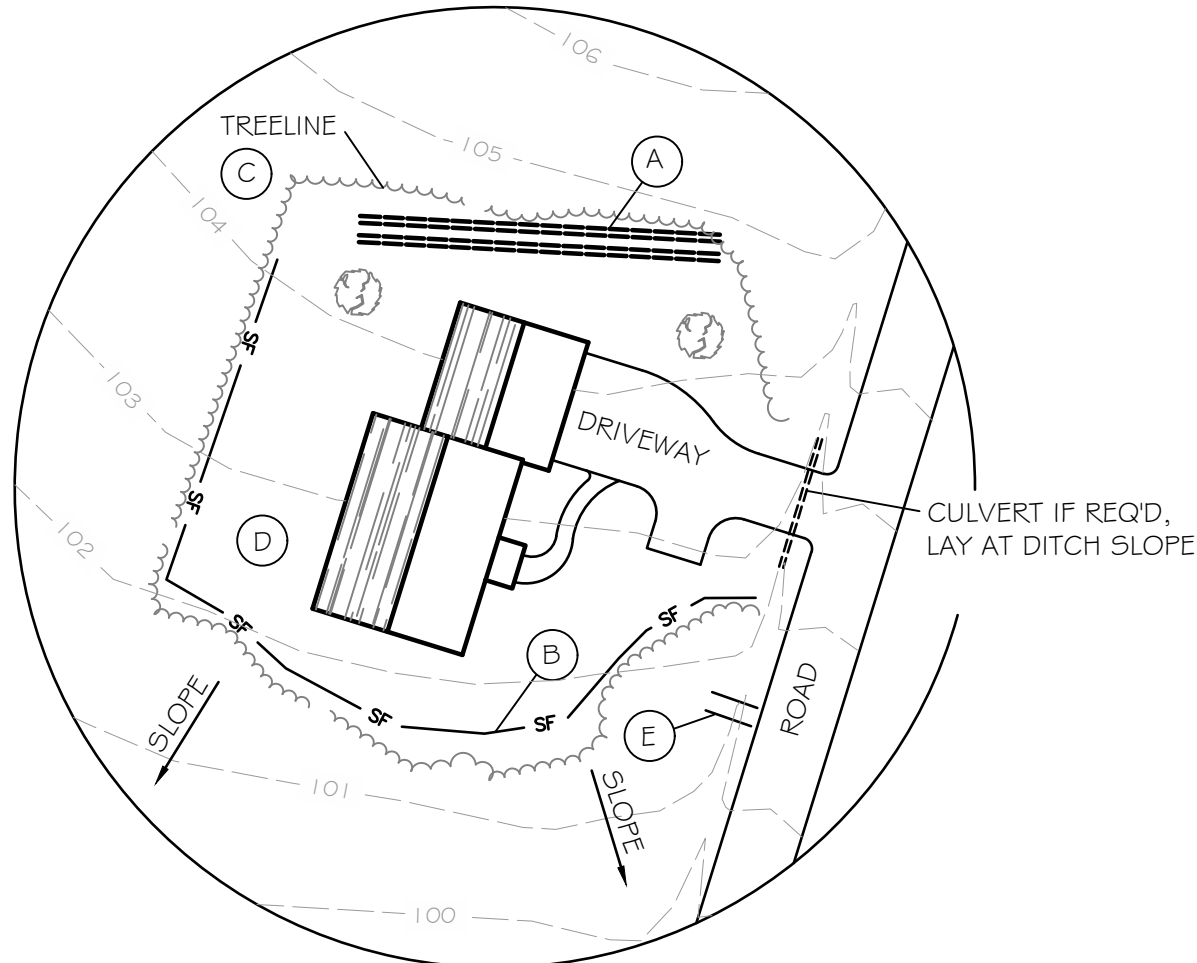
NOTES

THIS SKETCH INDICATES THE INTENT OF THE SOIL EROSION MEASURES. ACTUAL SITE CONDITIONS AND LAYOUTS WILL VARY FROM SITE TO SITE.

BUILDING CONTRACTORS MUST COMPLY WITH THE EROSION CONTROL NOTES SHOWN ON THESE DRAWINGS AND WITH "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES".

- A. CONSTRUCT DIVERSION DITCH TO KEEP UPSLOPE DRAINAGE FROM ENTERING SITE.
- B. INSTALL SILT FENCE BELOW ALL DISTURBED AREAS.
- C. KEEP CLEARING TO A MINIMUM.
- D. RESEED ALL DISTURBED AREAS, SEE SEEDING NOTES.
- E. INSTALL STONE CHECK DAM(S) DOWNSTREAM OF CULVERT AS NECESSARY.

4 TYPICAL BUILDING SITE EROSION CONTROL DETAIL
C2.0 NOT TO SCALE



STANDARDS FOR STABILIZING SITES FOR THE WINTER

THE FOLLOWING STANDARDS AND METHODOLOGIES SHALL BE USED FOR STABILIZING THE SITE DURING THE WINTER CONSTRUCTION PERIOD

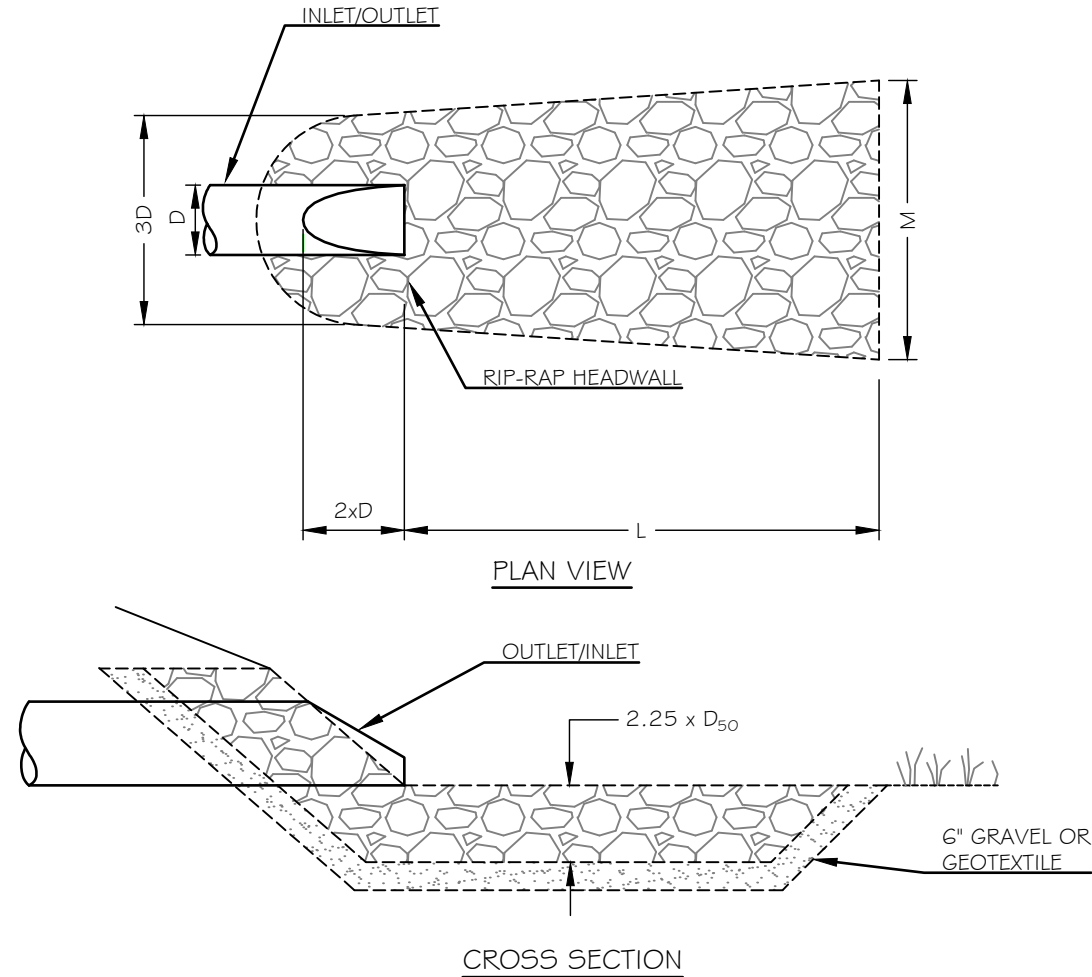
1. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES (ANY AREA HAVING A GRADE GREATER THAN 25%) - THE CONTRACTOR WILL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 15TH. IF THE CONTRACTOR FAILS TO STABILIZE ANY SLOPE TO BE VEGETATED BY SEPTEMBER 15TH, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.
 - A. STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS - BY OCTOBER 1ST THE CONTRACTOR WILL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A RATE OF 3 POUNDS PER 1,000 SQUARE FEET AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED HAY MULCH OVER THE SEEDING. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS.
 - B. STABILIZE THE SLOPE WITH WOOD-WASTE COMPOST - THE CONTRACTOR WILL PLACE A SIX-INCH LAYER OF WOOD-WASTE COMPOST ON THE SLOPE BY NOVEMBER 15TH. THE CONTRACTOR WILL NOT USE WOOD-WASTE COMPOST TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
 - C. STABILIZE THE SLOPE WITH STONE RIPRAP - THE CONTRACTOR WILL PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15TH. THE DEVELOPMENT'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.
2. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS - BY SEPTEMBER 15TH THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON THE SITE. IF THE CONTRACTOR FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE CONTRACTOR WILL TAKE ON OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER.
 - A. STABILIZE THE SOIL WITH TEMPORARY VEGETATION - BY OCTOBER 1ST THE CONTRACTOR WILL SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET. LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1,000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER, 1, THEN THE CONTRACTOR WILL MULCH THE AREA FOR OVER-WINTER PROTECTION AS DESCRIBED IN ITEM III OF THIS STANDARD.
 - B. STABILIZE THE SOIL WITH SOD - THE CONTRACTOR WILL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1ST. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
 - C. STABILIZE THE SOIL WITH MULCH - BY NOVEMBER 15TH THE CONTRACTOR WILL MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 POUNDS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, THE CONTRACTOR WILL ANCHOR THE MULCH WITH NETTING OR OTHER METHOD TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.
3. INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH UNDER FROZEN CONDITIONS.

EROSION CONTROL REMOVAL

AN AREA IS CONSIDERED STABLE IF IT IS PAVED OR IF 80% GROWTH OF PLANTED SEEDS IS ESTABLISHED. ONCE AN AREA IS CONSIDERED STABLE, THE EROSION CONTROL MEASURES CAN BE REMOVED AS FOLLOWS:

1. SILT FENCE/BERM
SILT FENCE SHALL BE DISPOSED OF LEGALLY AND PROPERLY OFF-SITE. ALL SEDIMENT TRAPPED BEHIND THESE CONTROLS SHALL BE DISTRIBUTED TO AN AREA UNDERGOING FINAL GRADING OR REMOVED AND RELOCATED OFF-SITE.
2. CATCH BASIN PROTECTION
CATCH BASIN INLET PROTECTION SHALL BE REMOVED FOLLOWING PERMANENT STABILIZATION OF UPGRADE AREAS. SEDIMENT SHALL BE REMOVED FROM THE SACK AND LEGALLY DISPOSED. SEDIMENT SHALL NOT BE WASHED INTO THE CATCH BASIN.
3. MISCELLANEOUS
ONCE ALL THE TRAPPED SEDIMENTS HAVE BEEN REMOVED FROM THE TEMPORARY SEDIMENTATION DEVICES THE DISTURBED AREAS MUST BE REGRADED IN AN AESTHETIC MANNER TO CONFORM TO THE SURROUNDING TOPOGRAPHY. ONCE GRADED THESE DISTURBED AREAS MUST BE LOAMED (IF NECESSARY), FERTILIZED, SEEDED AND MULCHED IN ACCORDANCE WITH THE RATES PREVIOUSLY STATED.

THE ABOVE EROSION CONTROLS MUST BE REMOVED WITHIN 30 DAYS OF FINAL STABILIZATION OF THE SITE. CONFORMANCE WITH THIS PLAN AND FOLLOWING THESE PRACTICES WILL RESULT IN A PROJECT THAT COMPLIES WITH THE STATE REGULATIONS, AND WILL PROTECT WATER QUALITY IN AREAS DOWNSTREAM FROM THE PROJECT.

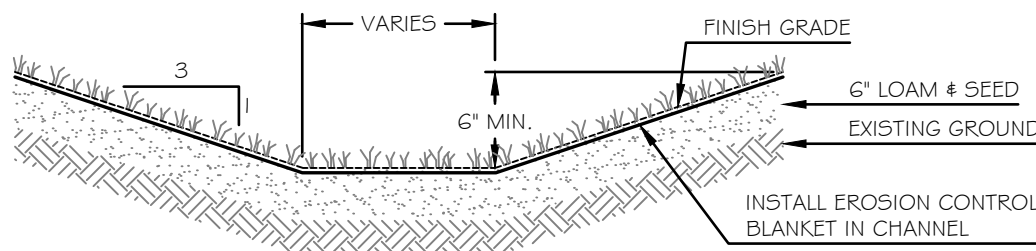


NOTES:

1. USE D50 NOTED ABOVE UNLESS OTHERWISE SPECIFIED ON PLANS.
2. UNDERLAY RIP-RAP WITH 6" OF GRAVEL OR GEOTEXTILE
3. USE WIDTHS NOTED ABOVE OR CONFORM TO NATURAL CHANNEL OR TOPOGRAPHY.
4. FOR APRON LENGTH AT INLET, REFER TO RIP-RAP HEADWALL DETAIL.
5. REFER TO RIP-RAP HEADWALL DETAIL FOR HEADWALL SPECIFICS.

D	L	W	D ₅₀
12'	10'	11'	6"
18'	20'	22'	8"
24'	16'	18'	8"
36'	24'	27'	8"

5 RIP-RAP APRON
C2.0 NOT TO SCALE



NOTE:

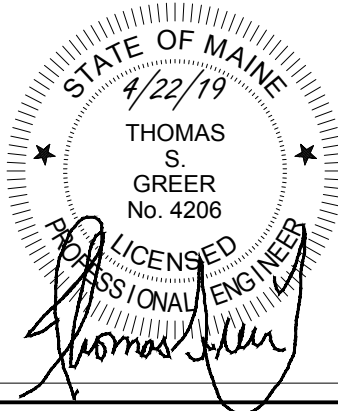
1. EROSION CONTROL BLANKET SHALL BE BIONET S75BN SINGLE NET STRAW BLANKET BY NORTH AMERICAN GREEN OR APPROVED EQUAL.

6 TYPICAL GRASS SWALE SECTION
C2.0 NOT TO SCALE

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MERRILL CHAPIN

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