

# FAQ : LD 2003 Residential Dwelling Allowance

The Yarmouth Zoning Ordinance (Chapter 701) will have a new section, Article II. EE - "Dwelling Unit Allowances," that explains the configuration and number of **additional Dwelling Units (DUs)** allowed (depending on the location of the property, the dimensions of the lot, how many units exist already) as of January 1, 2024. Application of this section depends upon whether the lot is inside or outside of the Growth Area, which is determined based on existing infrastructure and the town's goals for land use established in the Comprehensive Plan.

New units can be a combination of attached , within  a structure, or detached  .

## Permitting Process

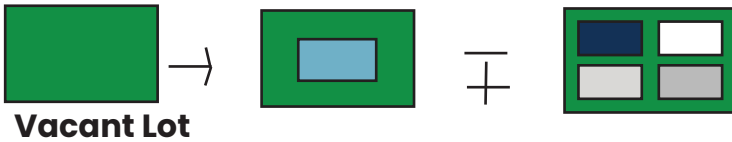
The law allows municipalities to establish a permitting process for the additional dwelling units. As of 01/01/24, any development utilizing the Dwelling Unit Allowances will be considered a Minor Development under Site Plan Review (Chapter 702). Site plan applications for Minor Developments are reviewed by Town staff; please see Article I. F.2 for details on the application and review process. The Director of Planning and Development may refer a Minor Development to the Planning Board for approval when warranted. Compliance is still required with Chapter 601, Subdivision, the provisions of Chapter 701, Article IV.R. Shoreland District, and Chapter 702, Site Plan Review.

## Character Based Development Code (CBDC)

Where the CBDC (Chapter 703) is applicable, along Route 1 and the Village Center, there is no designated minimum lot area, rather, there are standards for Lot Coverage within each Special or Character District. As such, the Residential Dwelling Allowance does not apply and a project would simply need to meet the requirements of the CBDC.

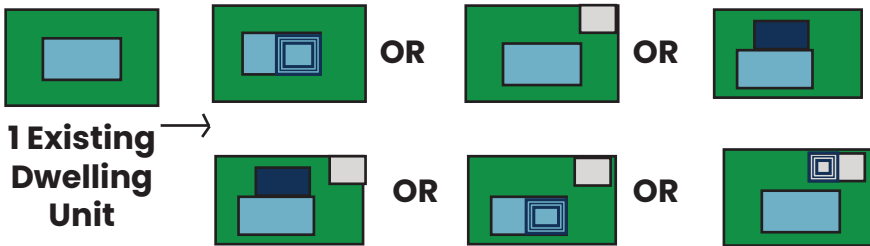
## INSIDE GROWTH AREA

The info-graphics below illustrate the basic information on what property owners may do inside the Growth Area while meeting lot and setback dimensional standards, and water and wastewater standards. This does not preempt homeowner association requirements or other deed restrictions.



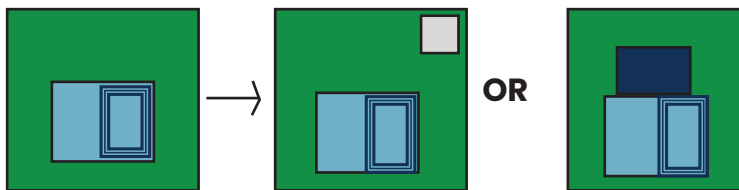
### ALLOWANCES

- \* Max +4 DUs
- \* Any configuration
- \* No minimum



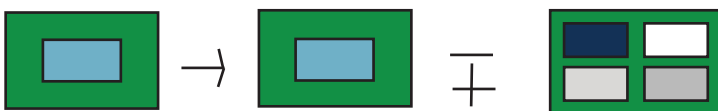
### ALLOWANCES

- \* Max +2 DUs
- \* Minimum lot area only = first and second additional units are allowed without any additional land
- \* No more than two structures containing dwelling units are allowed



### ALLOWANCES

- \* Max +1 DU
- \* Minimum lot area only = additional unit allowed without any additional land
- \* No more than two structures containing dwelling units are allowed
- \* Not applicable for lots that contain or add an ADU after 01/01/24 (aka no "double dipping")



### ALLOWANCES

- \* Max +4 DUs
- \* Any configuration
- \* Lot must have at least the minimum lot area for 1 dwelling unit

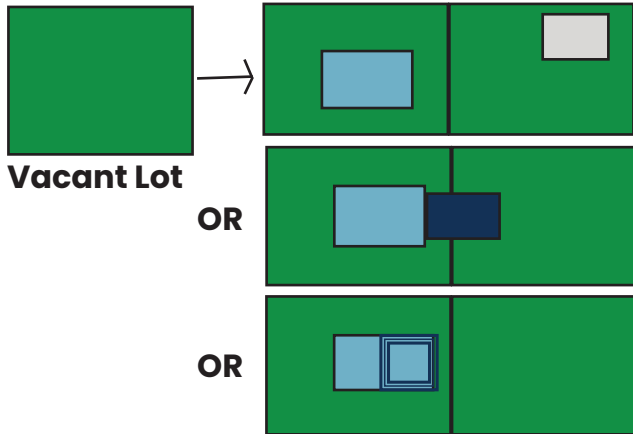
**3 or More Existing Dwelling Units**



**NO ALLOWANCES**

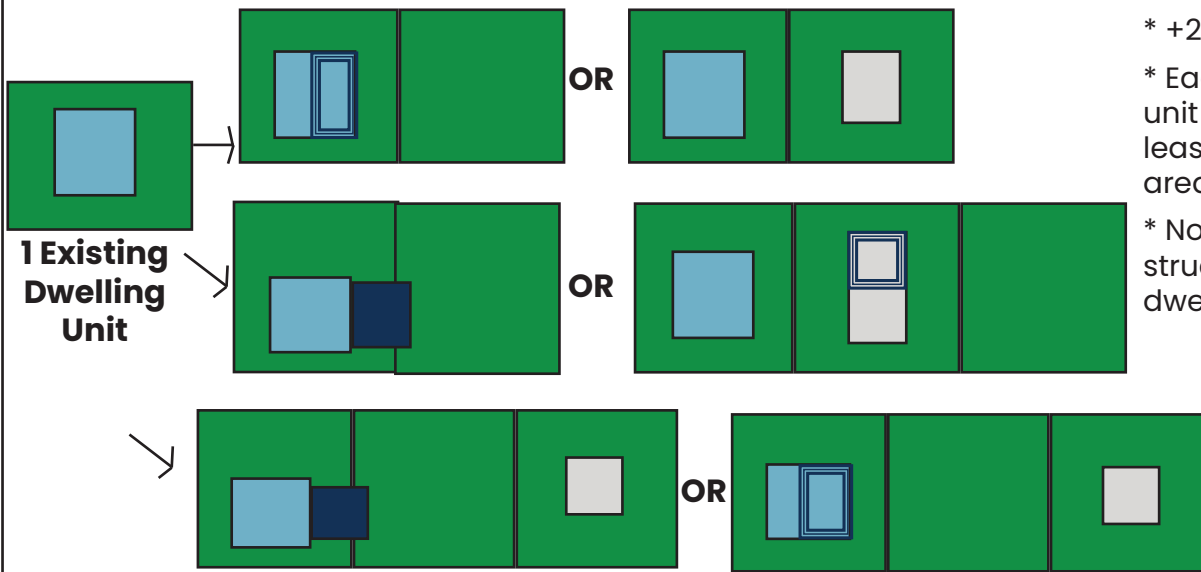
# OUTSIDE GROWTH AREA

The info-graphics below illustrate the basic information on what property owners may do outside the Growth Area while meeting lot and setback dimensional standards, and water and wastewater standards. This does not preempt homeowner association requirements or other deed restrictions.



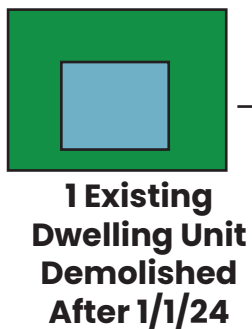
## ALLOWANCES

- \* +2 DUs Max
- \* Each additional dwelling unit must have at least the minimum lot area per dwelling unit
- \* The two dwelling units may be in one structure or two separate structures



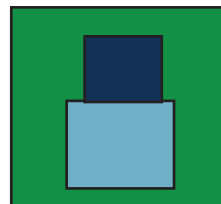
## ALLOWANCES

- \* +2 DUs Max
- \* Each additional dwelling unit must also have at least the minimum lot area per dwelling unit
- \* No more than two structures containing dwelling units are allowed



## ALLOWANCE

\* Follows the same criteria as a vacant lot



**2 or More Existing Dwelling Units**

**No Additional Units Allowed**