
November 16, 2022

Yarmouth Planning Board
Department of Planning and Development
200 Main Street,
Yarmouth, ME 04096

Preliminary Site Plan and Subdivision Review Applications

90 Main Street Project Yarmouth, Maine

Preliminary 2



Two Great Falls Plaza
Auburn, Maine 04210

T 207 784 2941
F 207 784 3856

November 16, 2022

Yarmouth Planning Board
Department of Planning and Development
200 Main Street,
Yarmouth, ME 04096

Yarmouth Planning Board,

The enclosed package for Preliminary Review 2 is a revision to the "90 Main Street Project: Preliminary Site Plans and Subdivision Review Applications" (Last Revision: September 14, 2022). The modifications are in further refinement in response to comments at the last three meeting by the Planning Department, the Planning Board, and Yarmouth residents. This second Preliminary Review meeting is taking place after a Planning Board site visit on November 2, 2022, where the proposed building corners and driveway were staked out. We look forward to reviewing the revised package with the board.

DESCRIPTION OF MODIFICATIONS

This enclosed package will focus on the modifications and supplemental information, rather than resubmitting all the documents from the original submission. Please reference three booklets titled 90 Main Street Project: Preliminary and Conceptual Site Plans and Subdivision Review Applications" (Original: April 13, 2022 & Revision: June 15, 2022, Revision: September 14, 2022)

The project site is located at 90 Main Street and composed of two parcels (Tax Map 32-7 & 32-11) in the Village Center District (CD4) and consists of two proposed Residential Houses (Single Detached Dwellings) to the rear of an existing Mixed Use building (Live/Work and Attached Dwelling). We are including adjacent 82-84 Main St (Tax Map 32-6), as requested by the board since it is contiguous property owned by the applicant. Please note that there is no modification to this property proposed as part of this application, the site plan has been updated to reflect the plan approved as a separate application (May 25, 2022).

Added or Modified Exhibits:

- Exhibit 18 – Modified Site Plan Review Criteria, included only modified sections.
- Exhibit 20 – Added list of waivers based on previous review document and meeting.
- Exhibit 25 – Modified Architectural C102 Site Plan and Added Landscape Site Plans L101.
- Exhibit 27 – Modified elevations, plans, and rendering of proposed buildings reflecting comments.
- Exhibit 28 – Modified Civil Engineering drawings reflecting comments.
- Exhibit 29 – Project Inspiration and Reference Photographs as requested by the Planning Board.
- Exhibit 30 – Added Preliminary Plan Requirements per 601 Subdivision - Article II.
- Exhibit 31 – Added Article 5.N. Private Lot Landscaping Standards – Analysis.

Items to be addressed:

- The sidewalk in front of 90 Main Street, referenced as Off-Site Improvements as per Site Plan H.14, has been discussed with the city and we await their recommendation on how to proceed.
- Tree Species Selection – We reached out to the Tree Warden, who would like to see the revised plan before making a recommendation.
- Emergency Access as it relates to Existing Trees – We await the results of internal city discussions on this matter and will adjust the Final Submission based on that decision. In the meantime, we are depicting the preferred preservation of trees.
- A street name for the proposed Throughfare has been submitted to the city and we will incorporate once we get preliminary approval.
- A Construction Management Plan shall be included in the Final Submission.
- Revised draft HOA and Condo Association Documents will be submitted in the Final Submission.

This project is aligned with the Yarmouth Comprehensive Plan by providing additional residential units to the Village Center while complimenting and supporting the existing Mixed Use building on Main Street. We believe that the revisions to the site plan and development of the architectural and civil drawings are responsive to the requests by the Planning Board and neighbors' comments and look forward to meeting to review. Thank you for your time in reviewing this application.

Sincerely,



Adam R. Lemire, AIA
Maine Licensed Architect

Exhibit 14 (Original 4/13/2022, Revised 9/14/2022)

“Attach as Exhibit #14 a complete stormwater management plan, including drainage calculations for pre- and post-development for 2 yr. and 25 yr. storm events, a drainage plan, and an assessment of any pollutants in the stormwater runoff, that meets the requirements of Chapter 702, Review Criteria re Stormwater Management.”

See attached: Post-Construction Stormwater Inspection & Maintenance Plan (3 Pages)



A C O R N

ENGINEERING, INC.

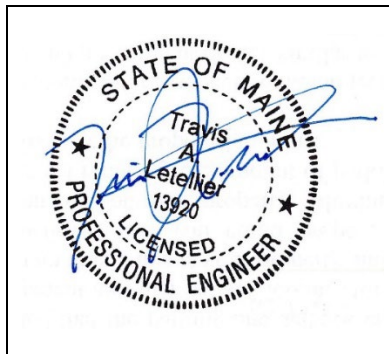
POST CONSTRUCTION - STORMWATER INSPECTION & MAINTENANCE PLAN

Prepared For:

**Platz Associates
90 Main Street Project
90 Main Street
Yarmouth, Maine 04096**

Prepared By:

**Acorn Engineering, Inc.
500 Washington Ave.
Portland, Maine 04103**



November 2022

RESPONSIBLE PARTY

The owner and/or their successor shall be responsible for contracting with a qualified stormwater professional to implement the Inspection and Maintenance Plan. The qualified stormwater professional shall maintain a stormwater log (report) summarizing inspections, maintenance, and corrective action taken.

The following is an example of a qualified stormwater professional that the owner may contract through.

Organization: Acorn Engineering, Inc.
Attn: Will Savage, PE
Portland, Maine

Phone: (207) 775-2655

Qualifications:

- Maine Professional Engineering License #11419
- Maine DEP - Certified in Maintenance & Inspection of Stormwater BMP's
Cert #14
- Certified Erosion, Sediment and Storm Water Inspector (CESSWI) Cert #0293
- Certified Professional in Erosion and Sediment Control (CPESC) Cert. #4620

The inspection and maintenance criteria are based upon the Maine DEP - Stormwater Management for Maine, Volume III: BMPs Technical Design Manual. Refer to the Grading and Drainage Plan for the location of the BMPs.

PURPOSE

This Inspection and Maintenance Plan has been individually tailored to this parcel's stormwater infrastructure, site characteristics, and their respective opportunities and limitations related to reducing the pollutant load on the receiving watershed. The maintenance of a parcel's impervious surfaces and stormwater infrastructure is critical to extending the long-term performance and effectiveness of Best Management Practices (BMPs). The Inspection and Maintenance Plan represents the parcel's minimum activities to meet the permit requirements. The parcel shall still be subject to any applicable Civil Site Plans, Permit Applications, Erosion and Sedimentation Control Plans Reports, Stormwater Management Plans, Inspection and Maintenance Manuals, and all Municipal, State, and Federal rules.



OPERATION AND MAINTENANCE ACTIVITY

Sweeping:

Annual sweeping of the driveways and parking areas following the snow melt for accumulated winter sand, if necessary. Appropriately dispose of all collected material.

Dry Well:

Dry wells shall be inspected to confirm that the structure is operating properly.

- Inspect the presence of accumulated sediment or debris any sediment shall be removed. The equipment shall meet the following minimum specifications; power jet and water source for washing down the storm drain, vacuum attachment for catch basin cleaning, and a liquid handling method to dewater the material.
- Sediment shall be removed when accumulation is within 6 inches of the outfall pipe invert. Legally dispose of accumulated sediment and debris from the bottom of the basin, inlet grates, and inflow channels to the basin.
- If the basin outlet is designed with a hood to trap floatable materials (e.g. Snout), check to ensure watertight seal is working.
- Appropriately dispose of all collected material.

Landscaped and Vegetated Areas:

Inspect all landscaped and or vegetated slopes and embankments on an annual basis. Vegetated areas with bare areas or sparse growth (<90% coverage) shall be revegetated. Mulch shall be applied to landscaped areas, as necessary. Dead or decaying landscaping (ground cover, shrubs, trees etc.) shall be replanted in accordance with the contract documents.

INSPECTION AND MAINTENANCE TABLE

| Inspection and Maintenance Frequency | Spring or Yearly | Summer | Fall | As Necessary |
|---|-------------------------|---------------|-------------|---------------------|
| Sweeping | X | | | X |
| Dry Wells | | | X | X |
| Landscaped/Vegetated Areas | X | X | | X |



Exhibit 18 (Original 4/13/2022, Revised 9/14/2022 and 11/16/2022)

“Attach as Exhibit #18 a written statement that explains how the project complies with the site plan review criteria and with specific performance standards required in the zoning district, if applicable. If applicable, please note how the proposal specifically complies with the separate components of the Route One Corridor Design Guidelines.”

“3. Parking and Vehicle Circulation: The proposed plan provides for adequate parking and vehicle circulation. The amount of dedicated parking provided onsite or within a reasonable walking distance from the site meets the requirements of ARTICLE II.H of the Zoning Ordinance (Off Street Parking and Loading), the size of the parking spaces, vehicle aisle dimensions and access points are in conformance with the Technical Standards of Section J of this document.”

Access to the site is proposed to be the equivalent to the existing access with improvements to meet current ordinances and life safety requirements. Utilizing existing curb cut entrance at Main St. and a similar configuration at Portland street.

Parking was calculated using the CBDC Chapter 703 – Table 5.K.1 Parking Requirements. The total site plan provides ten (10) total which is between the minimum seven (7) and maximum fourteen (14). [Minimum 1 per dwelling unit X5 is (5) + 2 per 1000sf Office (2) = (7) and Maximum 2 per dwelling unit X5 is 10 + 4 per 1000sf Office (4) = (14)] There will be one ADA/Van spot that will be appropriately marked and include a code-compliant sign. There are also two parking spaces in front of the residential units that are designed to be accessible, but will not be signed or striped.

“6. Fire Safety: The proposed development is located and designed in such a way as to provide adequate access and response time for emergency vehicles or mitigates inadequate access or response time by providing adequate fire safety features such as but not limited to fire lanes, smoke and fire alarms and sprinkler systems, as part of the proposed development.”

The two new proposed buildings will meet current local, state, and federal life safety code standards and provide adequate egress, interconnected smoke detectors, Gas Detectors, Carbon Monoxide detectors, required House Numbers, and will be fully sprinklered per NFPA 13D. Emergency access in relation to existing site trees has been discussed with the fire chief, the city, and the planning board. We are presenting the preferred arrangement and we await further findings on how to proceed.

"7. Buffering: The proposal provides for adequate on-site buffering in the vicinity of property boundaries, when required by this subsection. On-site buffering is required wherever commercial, industrial or mixed use developments are proposed adjacent to or across a street from residential districts or agricultural uses, where multi-family buildings are to be located adjacent to single family uses or districts, and when required by ARTICLE IV.S.3 of the Yarmouth Zoning Ordinance (Mobile Home Park Performance Standards). Buffer areas shall consist of an area ranging from a minimum of five feet to a maximum of twentyfive feet in width, adjacent to the property boundary, in which no paving, parking or structures may be located. The Planning Board may allow a buffer area of less width when site conditions, such as natural features, vegetation, topography, or site improvements, such as additional landscaping, berming, fencing or low walls, make a lesser area adequate to achieve the purposes of this Section. Landscaping and screening, such as plantings, fences or hedges, are to be located in buffer areas to minimize the adverse impacts on neighboring properties from parking and vehicle circulation areas, outdoor storage areas, exterior lighting and buildings."

Areas abutting the Medium Density Residential District shall be screened adjacent to parking areas were reduced based on a request by the neighboring property owners. The attached Landscape Plan provides additional details that may be reviewed.

"9. Lighting: The proposal shall provide exterior lighting sufficient for the safety and welfare of the general public while not creating an unsafe situation or nuisance to neighboring properties or motorists traveling nearby roadways."

The project proposes exterior lighting fixtures to provide adequate lighting for safely navigating the site. All exterior fixtures shall be dark sky compliant and shielded / directed so as not to shine across neighboring property lines. New down light sconces are proposed for entrances at the interior of the property. See attached lighting cut sheets and fixture locations on C102 Proposed Site Plan. We request a waiver for a photometric plan given the limited need for lighting at the residential building entrances. See Exhibit 20 for waiver requests.

Cylinders

Wall Mounted • Wet Location Listed PROGRESS LED



Description:

Sleek, 3" LED cylindrical wall lantern with up/downlight in elegant Graphite finish.. Die-cast aluminum wall brackets and heavy-duty aluminum framing. Fade and chip-resistant. UL listed for wet locations. Can be used indoor or outdoor.

Specifications:

- Clear glass lens
- 3" LED wall mount up/downlight cylinder
- This sleek, contemporary cylinder is ideal for indoor or outdoor applications
- A Graphite finish complements a variety of exteriors
- Warm white, 3000K, color temperature, 90 CRI
- 1766 lumens, 73 lumens per watt (delivered)
- Die Cast Aluminum construction with durable powder coated finish
- Dimmable to 10% brightness with many Forward Phase (Triac) and Reverse Phase (ELV) dimmers
- Energy Star Qualified
- Meets California T24 JA8-2016.
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" recessed outlet box: 4.378 in W., 4.378 in ht., 0.86 in depth
- Mounting strap for outlet box included
- 6 in of wire supplied

Performance:

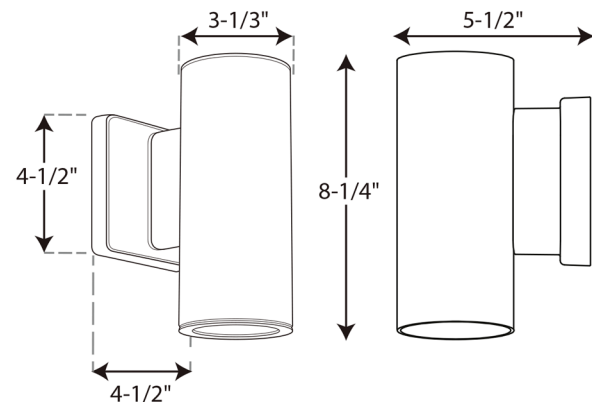
| | |
|------------------------|------------------------------------|
| Number of Modules | 2 |
| Input Power | 12 W |
| Input Voltage | 120 V |
| Input Frequency | 60 Hz |
| Lumens/LPW (Delivered) | 1,766/73 (LM-79) |
| CCT | 3000 K |
| CRI | 90 CRI |
| Life (hours) | 50000 (L70/TM-21) |
| EMI/RFI | FCC Title 47, Part 15, Class B |
| Max. Operating Temp | 40 °C |
| Warranty | 5-year Limited Warranty |
| Labels | CSA Wet Location Listed |
| | ENERGY STAR® qualified |
| | Meets California Title 24 JA8-2016 |

P563001-143-30K



Dimensions:

Width: 4-1/2 in
Height: 8-1/4 in
Depth: 5-1/2 in
H/CTR: 5 in

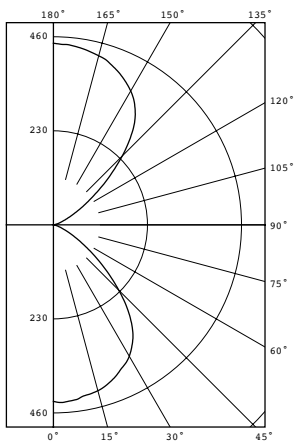


Photometrics:

| | |
|---|--------------------------------|
| ELECTRICAL DATA | P563001-143-30K |
| Input Voltage | 120 V |
| Input Frequency | 60 Hz |
| Input Current | 0.202 A |
| THD | <20% |
| EMI/RFI | FCC Title 47, Part 15, Class B |
| Operating Temperature | -10 °C |
| Dimming | Yes* |
| Over-voltage, over-current, short-circuit protected | |
| *See Dimming Notes for more information | |

P563001-143-30K

P563001-143-30K
 LED Light Engine: 3000 K 90 CRI
 System Wattage: 24
 Fixture delivered lumens: 1766
 Fixture Efficacy: 73
 Spacing Criteria: 1.26



CANDELA DISTRIBUTION

| DEG | CANDELA | LUMENS |
|-----|---------|--------|
| 0 | 432 | |
| 5 | 433 | 41 |
| 15 | 420 | 118 |
| 25 | 390 | 180 |
| 35 | 339 | 210 |
| 45 | 226 | 174 |
| 55 | 105 | 96 |
| 65 | 35 | 36 |
| 75 | 9 | 10 |
| 85 | 1 | 1 |
| 90 | 0 | |
| 95 | 1 | 1 |
| 105 | 10 | 12 |
| 115 | 38 | 40 |
| 125 | 112 | 102 |
| 135 | 238 | 182 |
| 145 | 348 | 216 |
| 155 | 399 | 184 |
| 165 | 428 | 121 |
| 175 | 442 | 42 |
| 180 | 444 | |

ZONAL LUMEN SUMMARY

| ZONE | LUMENS | %FIXT |
|--------|--------|-------|
| 0-30 | 340 | 19.2 |
| 0-40 | 550 | 31.1 |
| 0-60 | 819 | 46.4 |
| 0-90 | 866 | 49.0 |
| 90-120 | 53 | 3.0 |
| 90-130 | 155 | 8.8 |
| 90-150 | 553 | 31.3 |
| 90-180 | 900 | 51.0 |
| 0-180 | 1766 | 100.0 |

Test 17.02588 Test Date 09/22/17

Dimming Notes:

P563001-143-30K is designed to be compatible with many Triac/Forward Phase ELV/Reverse Phase controls.

The following is a partial list of known compatible dimmer controls.

Dimming Controls:

Lutron_Diva DVELV-300P

Lutron_Caseta Wireless

Leviton_SureSlide 6672

Lutron_Ariadni AYCL-153P

Lutron_Toggler TGCL-153PH-WH

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.

Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.

P563001-143-30K

Cylinders

Wall Mounted • Wet Location Listed PROGRESS LED



Description:

Sleek, cylindrical forms in elegant finish selections. Die-cast aluminum wall brackets and heavy-duty aluminum framing. Fade and chip-resistant. CSA listed for wet locations. Can be used indoor or outdoor. Ideal for residential and commercial applications.

Specifications:

- Clear glass lens
- 3" LED wall mount downlight cylinder
- This sleek, contemporary cylinder is ideal for indoor or outdoor applications
- An Antique Bronze finish complements a variety of exteriors
- Warm white, 3000K, color temperature, 90 CRI
- 905 lumens, 75 lumens per watt (delivered)
- Die Cast Aluminum construction with durable powder coated finish
- Dimmable to 10% brightness with many Forward Phase (Triac) and Reverse Phase (ELV) dimmers
- Energy Star Qualified
- Meets California T24 JA8-2016.
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" recessed outlet box: 4.4375 in W., 4.4375 in ht., 1.015 in depth
- Mounting strap for outlet box included
- 6 in of wire supplied

Performance:

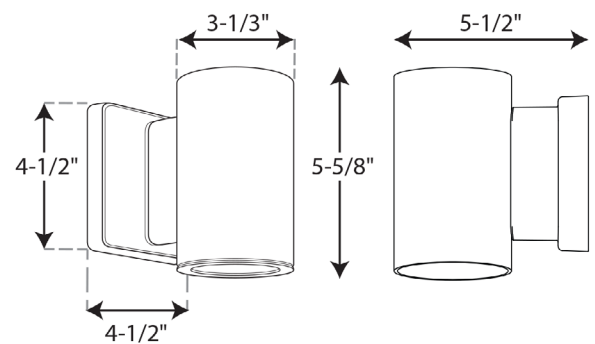
| | |
|------------------------|------------------------------------|
| Number of Modules | 1 |
| Input Power | 12 W |
| Input Voltage | 120 V |
| Input Frequency | 60 Hz |
| Lumens/LPW (Delivered) | 905/75 (LM-79) |
| CCT | 3000 K |
| CRI | 90 CRI |
| Life (hours) | 50000 (L70/TM-21) |
| EMI/RFI | FCC Title 47, Part 15, Class B |
| Max. Operating Temp | 40 °C |
| Warranty | 5-year Limited Warranty |
| Labels | CSA Wet Location Listed |
| | ENERGY STAR® qualified |
| | Meets California Title 24 JA8-2016 |

P563000-020-30K



Dimensions:

Width: 4-1/2 in
Height: 5-5/8 in
Depth: 5-1/2 in
H/CTR: 3 in

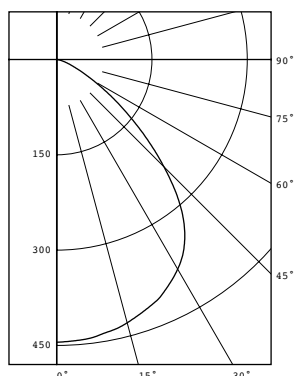


Photometrics:

| | |
|---|--------------------------------|
| ELECTRICAL DATA | P563000-020-30K |
| Input Voltage | 120 V |
| Input Frequency | 60 Hz |
| Input Current | 0.103 A |
| THD | <20% |
| EMI/RFI | FCC Title 47, Part 15, Class B |
| Operating Temperature | -10 °C |
| Dimming | Yes* |
| Over-voltage, over-current, short-circuit protected | |
| *See Dimming Notes for more information | |

P563000-020-30K

LED Light Engine: 3000 K 90 CRI
 System Wattage: 12
 Fixture delivered lumens: 905
 Fixture Efficacy: 75
 Spacing Criteria: 1.3



CANDELA DISTRIBUTION

| DEG | CANDELA | LUMENS |
|-----|---------|--------|
| 0 | 445 | |
| 5 | 443 | 42 |
| 15 | 429 | 121 |
| 25 | 402 | 185 |
| 35 | 351 | 218 |
| 45 | 239 | 183 |
| 55 | 114 | 103 |
| 65 | 38 | 40 |
| 75 | 10 | 12 |
| 85 | 1 | 1 |
| 90 | 0 | |

ZONAL LUMEN SUMMARY

| ZONE | LUMENS | %FIXT |
|--------|--------|-------|
| 0-30 | 348 | 38.5 |
| 0-40 | 566 | 62.5 |
| 0-60 | 853 | 94.2 |
| 0-90 | 905 | 100.0 |
| 90-180 | 0 | 0.0 |
| 0-180 | 905 | 100.0 |

Dimming Notes:

P563000-020-30K is designed to be compatible with many Triac/Forward Phase ELV/Reverse Phase controls.

The following is a partial list of known compatible dimmer controls.

Dimming Controls:

Lutron_Diva DVELV-300P

Lutron_Caseta Wireless

Leviton_SureSlide 6672

Lutron_Ariadni AYCL-153P

Lutron_Toggler TGCL-153PH-WH

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation.

Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.

P563000-020-30K

Exhibit 20 (Original 4/13/2022, Revised 9/14/2022 and 11/16/2022)

“Attach as Exhibit #20 all requests for waivers including an explanation of the undue hardship or special design requirements, which are the basis for the requests.”

Waivers Requested:

1. Alley “Rear” Definition

- a. We request that the Alley type be allowed as it is the most appropriate designation for the site. While it provides frontage and therefore is not strictly the “located to the rear” per CBDC Definition section for “Alley”, it provides access to “rear” of the larger parcel and is generally fitting with the definition. It also requires less waivers than the next best designation, Lane. As the Thoroughfare is acting as a driveway, the Alley is the most closely aligned typology offered by the Ordinance. See our Thoroughfare Analysis on the following pages.

2. Dead-End Thoroughfare to avoid through-street between Main and Portland

- a. We request that the Thoroughfare be allowed to be a dead-end as the original site plan design, that connected Main and Portland, was not supported by the planning board and the two-driveway concept was deemed more appropriate for the context.

3. Right of Way Width maximum increase

- a. We request that the Right of Way maximum of 24 feet be relaxed to allow for a special circumstance of our thoroughfare, to allow for the ROW or Driveway Lot to contain the parking for the residential single family homes. This was discussed with the Planning Department and it was agreed that it would be cleaner to keep the parking in the ROW or Driveway Lot rather than the individual building lots. This is further supported by the arrangement of the subdivision as a condominium association where the driveways and parking are maintained by the owners association rather than the individual units.

4. Location and Screening of (4) Residential Parking Spaces within the Frontage

- a. We request that the (4) Residential Parking Spaces be allowed in the Frontage on the Thoroughfare. This is necessary due to site constraints that requires parking to be adjacent to the Thoroughfare. As the Thoroughfare is being practically used as a driveway screening between the Thoroughfare and frontage is not possible. Planting screening between 18 Portland Street and the Thoroughfare has been provided based on discussion with the neighboring property owners and we are open to further refinement.

5. Height of the First Floor less than 2’-6” for Accessibility

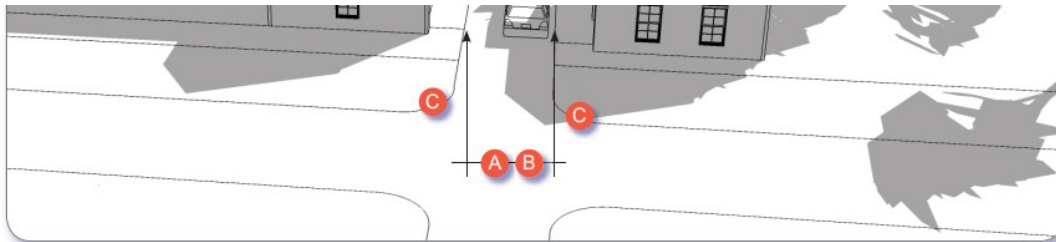
- a. We request the requirement that the first floor be 2’-6” above adjacent grade per CBDC 5.M.1.f. be waived because we are providing accessible access to the two single-family homes.

Alley:

Definition

Alley: a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. See Table 6.E.2 (Thoroughfare Assemblies and Standards).

- Table 6.E.2A



| THOROUGHFARE TYPE | ALLEY |
|--------------------|--|
| Right of Way | 24 ft max A |
| Pavement | 12-16 ft B |
| Movement | Yield Movement |
| ASSEMBLIES | |
| Traffic Lanes | n/a |
| Traffic Lane Width | n/a |
| Bikeway Type | Shared use |
| Parking Lanes | none |
| Parking Lane Width | n/a |

| PLANTER | |
|----------------|--|
| Planter Type | none |
| Planter Width | n/a |
| Landscape Type | none |
| Species | n/a |
| WALKWAY | |
| Walkway Type | Shared Use |
| Walkway Width | n/a |
| CURB | |
| Curb Radius | Taper C |
| Curb Type | Inverted Crown |
| LIGHTING | |
| none required | |

- Due to special circumstances with lot configuration the layout of this development resembles, by inspection, a rear access with a reduced cross-sectional width. While this alley does not provide rear lot access it does provide parking access along with utility easements serving the two new residential units. There is no mention of rear or front access in the Thoroughfare Standards, section 6.E.2.a.i:
 - Thoroughfares shall be intended for use by vehicular and non-vehicular traffic and to provide access to Lots and Open Spaces.*
- The project provides access to three properties and has no opportunity to be lengthened in the future to provide access to more units. The Alley designation appears more suited to this type of access configuration than a Lane.
- No lighting is required for this type of access. This is more akin to a driveway than a public ROW which fits better for this development than a fully lit public ROW.

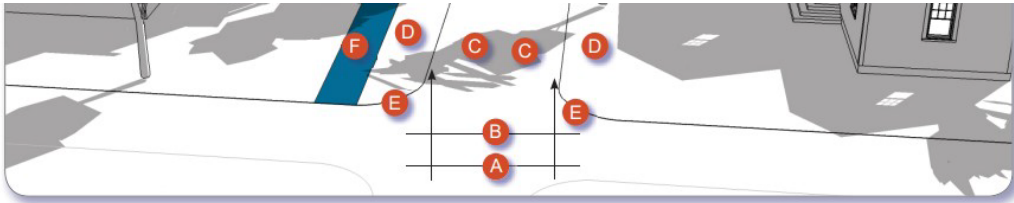
Waivers Necessary

- Right-of-Way Width: Maximum width allowed from Table 6.E.2A is 24 feet. The proposed Alley will require a ROW width of 53.25 feet.
- Dead End: The proposed Alley will require a waiver to allow a dead end to accommodate special site conditions.

Lane:

Definition: None provided within code.

- Table 6.E.2C



| THOROUGHFARE TYPE | LANE | |
|--------------------|-----------------------|---|
| Right of Way | 24 - 50 ft | A |
| Pavement | 14 - 20 ft | B |
| Movement | Yield / Slow Movement | |
| ASSEMBLIES | | |
| Traffic Lanes | 2 lanes | |
| Traffic Lane Width | 7 - 10 ft | C |
| Parking Lanes | none | |
| Parking Lane Width | n/a | |
| Bikeway Type | Shared Use Lane | |

| PLANTER | | |
|----------------|----------------------------|---|
| Planter | Continuous | D |
| Planter Width | 6 - 16 ft | |
| Landscape Type | Irregular, Trees Clustered | |
| Species | See Table 6.E.4 | |
| WALKWAY | | |
| Walkway Type | Sidewalk, 1 side | |
| Walkway Width | 6 ft min | F |
| CURB | | |
| Curb Radius | 5 ft | E |
| Curb Type | Open Swale | |
| LIGHTING | See Table 6.E.5 | |

- By Inspection a “Lane” appears to be a more suited for neighborhood type of access road with a planter area, lighting and offset sidewalk required.
- A 20-foot-wide pavement section would be required for a lane, 14 feet minimum traffic pavement with a 6-foot-wide pedestrian sidewalk. While this section would fit within the proposed access way it adds unnecessary impervious cover to the site increasing stormwater runoff and reducing the green space on the property.
- Lighting requirements could create glare and unnecessary light pollution.

Waivers Necessary

- Right-of-Way Width: Maximum width allowed from Table 6.E.2C is 50 feet. The proposed Lane will require a ROW width of 53.25 feet
- Dead End: The proposed Alley will require a waiver to allow a dead end to accommodate special site conditions.
- Planter: a required planter strip of 6 to 16 feet in width would need to be waived for a Lane to fit within the existing accessway to this development.
- Lighting: Likely need a waiver from lighting to prevent unnecessary glare to the existing neighboring property.

Exhibit 25 (Original 4/13/2022, Revised 9/14/2022 and 11/16/2022)

Architectural and Landscape Site Plans:

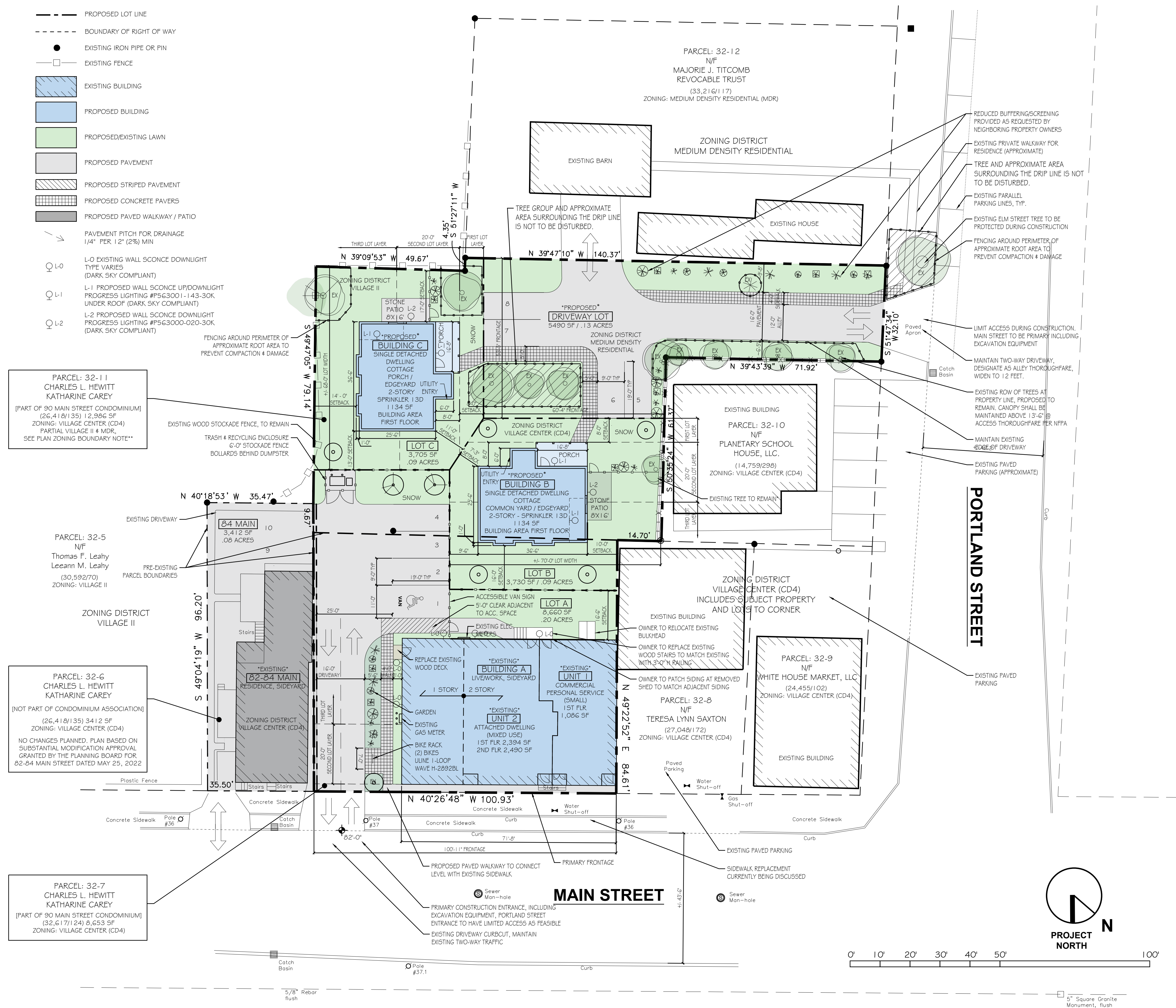
C102 – Proposed Preliminary Site Plan (Original 4/13/2022, Revised 6/15/2022, 9/14/2022, & 11/16/2022)

Updated plan to reflect “Substantial Modification approval granted by the Planning Board for 82-84 Main Street dated May 25, 2022”

L101 – Proposed Landscape Plan (Original 11/16/2022)

Plan added to give more detail to previously submitted information. We are leaving the trees that we wish to save in for the moment while the item of the emergency access is being discussed internally with the city. The proposed trees were shifted to account for the revised stormwater lines. We contacted the Tree Warden about tree species and he indicated that he and the Tree Committee will review the revised plan and make a recommendation. See Exhibit 31 for a Narrative Review of Article 5.N. Landscaping Standards.

| | |
|--|---|
|  | PROJECT SITE PROPERTY LINE |
|  | PARCEL PROPERTY LINE |
|  | ZONING DISTRICT BOUNDARY |
|  | PROPOSED LOT LINE |
|  | BOUNDARY OF RIGHT OF WAY |
|  | EXISTING IRON PIPE OR PIN |
|  | EXISTING FENCE |
|  | EXISTING BUILDING |
|  | PROPOSED BUILDING |
|  | PROPOSED/EXISTING LAWN |
|  | PROPOSED PAVEMENT |
|  | PROPOSED STRIPED PAVEMENT |
|  | PROPOSED CONCRETE PAVERS |
|  | PROPOSED PAVED WALKWAY / PATIO |
|  | PAVEMENT PITCH FOR DRAINAGE 1/4" PER 12" (2%) MIN |
|  L-0 | L-0 EXISTING WALL SCIENCE DOWNLIGHT TYPE VARIES (DARK SKY COMPLIANT) |
|  L-1 | L-1 PROPOSED WALL SCIENCE UP/DOWN PROGRESS LIGHTING #P563001-143; UNDER ROOF (DARK SKY COMPLIANT) |
|  L-2 | L-2 PROPOSED WALL SCIENCE DOWN PROGRESS LIGHTING #P563000-020 (DARK SKY COMPLIANT) |



THE AFFECTED PARCEL IS 90 MAIN STREET (TAX MAP 32-7) AND PORTLAND STREET (TAX MAP 32-11).

DEED REFERENCES ARE MADE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS

FLOOD ZONE CLASSIFICATION: PROPERTY DOES NOT LAY WITHIN A DESIGNATED FLOOD HAZARD ZONE

THERE ARE NO WETLANDS ON THE SUBJECT PROPERTY AS SHOWN.

ALL DIMENSIONAL INFORMATION SHALL DEFER TO CIVIL DRAWINGS IN EXHIBIT 28.

1. Property is located in the VILLAGE CENTER (CD4) - See Full Analysis on C101

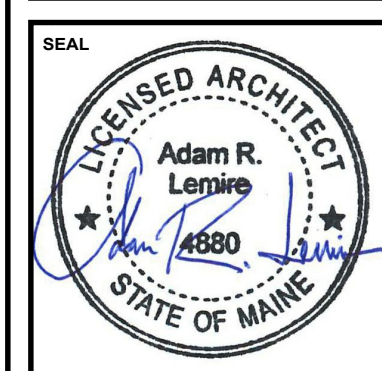
2. Parcel Area: Parcel 32-7 (Main St) 8,653 square feet(sf) or +/- .20 acres
Parcel 32-11 (Portland St) 12,986 square feet(sf) or +/- .30 acres
Parcel 32-6 (No Modification) 3,412 square feet(sf) or +/- .08 acres

PLATZ ASSOCIATES
Architects - Engineers
Construction Managers
Tel 207-784-2941
Fax 207-784-3856
Two Great Falls Plaza, Auburn, Maine 04210

Proposed Site Plan for:

90 MAIN STREET PROJECT
90 Main Street Yarmouth, ME

Charles L. Hewitt & Katharine Carey
88 Main Street Yarmouth, Maine 04096



| | | |
|----------------|----------------|------------|
| ORIGINAL DATE: | | |
| 04-13-2022 | | |
| DRAWING ISSUE | | |
| No. | DESCRIPTION | DATE |
| | CONCEPTUAL | 04-13-2022 |
| 1 | AMENDMENT #1 | 06-15-2022 |
| 2 | PRELIMINARY | 09-14-2022 |
| 3 | PRELIMINARY #2 | 11-16-2022 |
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No drawing shall be recognized as a construction document unless it bears a blue inked registration seal

JOB NO. 202141

| | |
|------------------------|------------------------|
| DRAWN BY ARL | CHECKED BY - |
|------------------------|------------------------|

SHEET TITLE
**PROPOSED SITE
PLAN - AMENDED**

SHEET

C102

| | | | |
|----------|---------------------------------------|----------|--------------|
| 1 | PROPOSED PRELIMINARY SITE PLAN | - | NOTES |
| | SCALE : 1:200 | | N.T.S. |

| | |
|---|---|
|  | PROJECT SITE PROPERTY LINE |
|  | PARCEL PROPERTY LINE |
|  | ZONING DISTRICT BOUNDARY |
|  | PROPOSED LOT LINE |
|  | BOUNDARY OF RIGHT OF WAY |
|  | EXISTING IRON PIPE OR PIN |
|  | EXISTING FENCE |
|  | EXISTING BUILDING |
|  | PROPOSED BUILDING |
|  | PROPOSED/EXISTING LAWN |
|  | PROPOSED PAVEMENT |
|  | PROPOSED STRIPED PAVEMENT |
|  | PROPOSED CONCRETE PAVERS |
|  | PROPOSED PAVED WALKWAY / PATIO |
|  | PAVEMENT PITCH FOR DRAINAGE 1/4" PER 1 2" (2%) MIN |


 PROPOSED SHRUB - YELLOWROOT
 SLENDER DEUTZIA
 5 GALLON MIN CONTAINER
 18" TO 24" CLEAR MIN TO PAVEMENT


 PROPOSED SHRUB - SLENDER DEUTZIA
 5 GALLON MIN CONTAINER
 18" TO 24" CLEAR MIN TO PAVEMENT


 PROPOSED SHRUB - BOTTLEBRUSH BUCKEY
 5 GALLON MIN CONTAINER
 18" TO 24" CLEAR MIN TO PAVEMENT

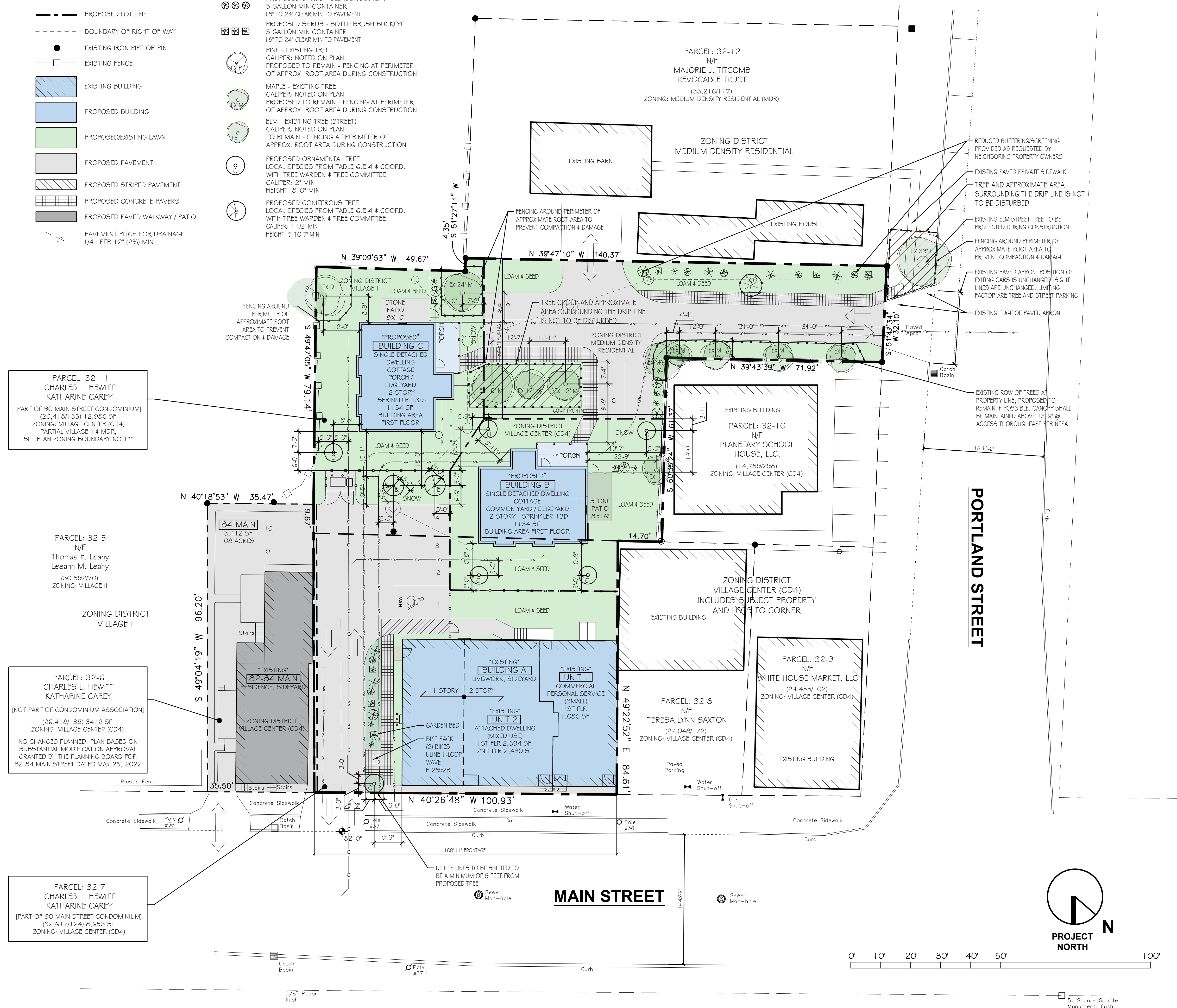

 PINE - EXISTING TREE
 CALIPER: NOTED ON PLAN
 TO REMAIN - FENCING AT PERIMETER
 OF APPROX. ROOT AREA DURING CONSTRUCTION


 MAPLE - EXISTING TREE
 CALIPER: NOTED ON PLAN
 TO REMAIN - FENCING AT PERIMETER
 OF APPROX. ROOT AREA DURING CONSTRUCTION


 ELM - EXISTING TREE (STREET)
 CALIPER: NOTED ON PLAN
 TO REMAIN - FENCING AT PERIMETER OF
 APPROX. ROOT AREA DURING CONSTRUCTION


 PROPOSED ORNAMENTAL TREE
 LOCAL SPECIES FROM TABLE G.E.E.4 & COORD.
 WITH TREE WARDEN & TREE COMMITTEE
 CALIPER: 2" MIN
 HEIGHT: 8'-0" MIN


 PROPOSED CONIFEROUS TREE
 LOCAL SPECIES FROM TABLE G.E.E.4 & COORD.
 WITH TREE WARDEN & TREE COMMITTEE
 CALIPER: 1 1/2" MIN
 HEIGHT: 5' TO 7' MIN



1. TREE SIZE AT INSTALLATION, REQUIRED TREES SHALL BE A MINIMUM HEIGHT OF EIGHT (8) FEET AND TWO (2) INCHES IN CALIPER AT CHEST HEIGHT (DECIDUOUS SPECIES).
2. SHRUBS. AT INSTALLATION, SHRUBS SHALL BE A FIVE (5) GALLON CONTAINER MINIMUM. SHRUBS SHALL BE 18 TO 24 INCHES MINIMUM CLEAR FROM ANY SIDEWALKS OR PAVEMENT EDGE AT THE LOT LINE.
3. ALL PLANTS SHALL MEET THE MINIMUM CONTAINER SIZE, GLASS AND OTHER REQUIREMENTS OUTLINED IN THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60-2004) BY ALMA OR OTHER LOCAL NURSERY ASSOCIATION STANDARDS. SEE CIVIL DRAWINGS FOR TREE PLANTING DETAILS
4. MITIGATION OF WIND EROSION, WIND EROSION SHALL BE MITIGATED AND CONTROLLED THROUGH DUST ABATEMENT AND SIMILAR PRACTICES DURING THE PERIOD OF SITE WORK AND CONSTRUCTION
5. CONDITION OF PLANTS. PLANTS SHALL HAVE NORMAL, WELL-DEVELOPED BRANCHES AND VIGOROUS ROOT SYSTEMS.
6. COMPACTED SOILS. LANDSCAPE SOILS THAT HAVE BEEN COMPACTED DURING CONSTRUCTION ACTIVITIES SHALL BE LOOSEENED AND AERATED TO A DEPTH OF AT LEAST SIX (6) INCHES BEFORE PLANTING.
7. TEMPORARY SPRAY IRRIGATION. TEMPORARY SPRAY IRRIGATION SYSTEMS MAY BE USED TO ESTABLISH SEEDED AREAS FOR GRASS AND GROUNDCOVER.
8. MAINTENANCE, EXCEPT IN AREAS OF NATURALLY OCCURRING VEGETATION AND UNDERGROWTH, LANDSCAPED AREAS SHALL BE MAINTAINED BY THE OWNER AS FOLLOWS:
9. ALL GRASS AND VEGETATION SHALL BE LIGHTLY FERTILIZED TO AVOID FERTILIZER POLLUTION TO GROUNDWATER, STREAMS AND PONDS;
10. NO DISTURBED GROUND SHALL BE LEFT EXPOSED. TURFGRASS AND OTHER APPROVED AND APPROPRIATE GROUNDCOVERS OR MULCH SHALL COVER ALL NON-PAVED AND NON-BUILT DEVELOPED AREAS;
11. ALL SCREENING AND FENCING SHALL BE KEPT IN GOOD CONDITION AT ALL TIMES;
12. TURFGRASS LAWNS SHALL BE KEPT PROPERLY MOWED AND EDGED, PLANTS SHALL BE KEPT PROPERLY PRUNED AND DISEASE-FREE, AND PLANTING BEDS SHALL BE KEPT MULCHED, GROOMED AND WEEDED; AND
13. ANY NEW REQUIRED PLANTING(S) WHICH ARE SIGNIFICANTLY DAMAGED, REMOVED, INFESTED, DISEASE RIDDEN, OR DEAD SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST.
14. PLANTED TREES. ANY PLANTED TREES SHALL BE SPECIES APPROPRIATE FOR THE AREA AND SHALL BE SELECTED FROM THE TOWN OF YARMOUTH CBDC TABLE 6.E.4.
15. PRESERVATION OF ROOT ZONES. THE ROOT ZONES OF EXISTING TREES AND VEGETATION TO BE PRESERVED SHALL BE PRESERVED AND PROTECTED FROM CLEARING, COMPACTON OR CONSTRUCTION ACTIVITIES AND SHALL BE ENCLOSED BY A TEMPORARY PROTECTIVE FENCE.
16. NOXIOUS OR INVASIVE SPECIES. NO NOXIOUS OR INVASIVE PLANT SPECIES IDENTIFIED ON THE PROHIBITED PLANT LIST PER THE TOWN OF YARMOUTH CBDC.
17. REMEDIATION OF COMPACTION. ALL LANDSCAPE AREAS COMPACTED DURING CONSTRUCTION ACTIVITIES SHALL BE TILLED AND RECONDITIONED TO PROVIDE AN ARABLE TOPSOIL LAYER THAT CAN SUPPORT THE LONG TERM HEALTH AND VITALITY OF THE LANDSCAPING.
18. NO PLANT FROM THE PROHIBITED PLANT LIST CBDC TABLE 5.N.KK. SHALL BE USED.

| | |
|---|--------------|
| - | NOTES |
| | N.T.S. |

SHEET

L101

Exhibit 27 (Original 9/14/2022 Revised 11/16/2022)

See attached elevations, plans, and rendering of the proposed buildings:

A201 – Proposed Building B Architectural Elevations

A202 – Proposed Building C Architectural Elevations

A203 – Supplemental Elevation Info

SHEET – 3D Rendering from Perspective of North West corner of 18 Portland Street's house, looking North West at eye level.

The second floor was raise from 9 foot to 10 foot to respond to the Ordinance and Planning Department comment on page 17 of their review. The lap siding on the elevations was adjusted for a more realistic spacing of 5 ½" exposure. See below for additional modifications.

Historic Preservation Committee Recommendations:

The Historic Preservation Committee provided recommendations based on its review of new construction in the Lower Village Historic District and offered the following recommendations:

Show wider trim (5/4 x 4 minimum) at the doors and windows, including a historic sill;

Modified, see elevations.

Look at dividing the arched attic windows (as labeled on the East and the West Elevations of buildings B and C -the orientation of building C is incorrect on the elevation drawing, it should be north and south) so that they look like the 2/1 double hung windows below, i.e. a divided lite top sash and a single lite bottom sash. This could be done with simulated divided lites on a casement or fixed window. Or consider circular windows, 2/2;

Modified, see elevations.

Look at separating the two windows in the stairway with a paneled band;

We looked at this a few different way and found that there is not enough space to separate the windows without making further modifications that are detrimental to the plan, elevation, and/or window proportions. In addition, we do not believe that it improves the façade and feel that a unified window with a 4" horizontal break is the most aesthetically pleasing and appropriate arrangement.

Make all of the sliding doors look more like the hinged in-swing French door on the balcony;

Modified, see elevations.

The entrance door should have three lites across the top;

Modified, see elevations.

Review the balcony railing and finish, building wall-mounted lights, and any bollard/pole lights;

Modified notes to give detail to the railings and added locations of wall-mounted lights. No bollard/pole lights are proposed.

Consider removing the small windows in the small dormers.

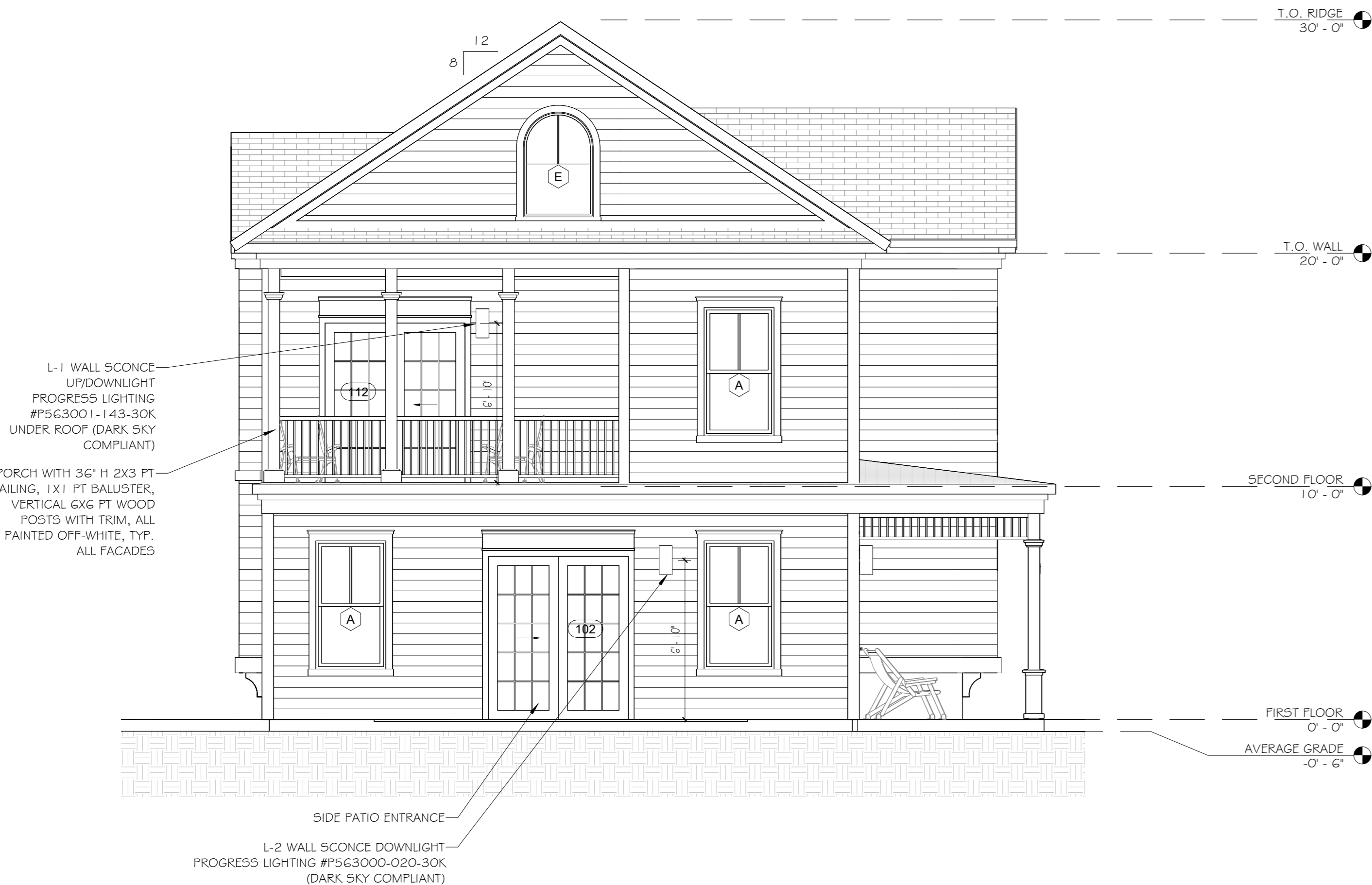
We tried this and found that the dormer felt blank and less appealing on the façade.



4 NORTH ELEVATION
A201 SCALE: 1/4" = 1'-0"



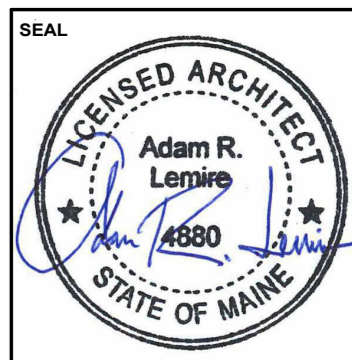
3 EAST ELEVATION
A201 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A201 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION - FRONTAGE MAIN FACADE
A201 SCALE: 1/4" = 1'-0"



| | | |
|------------------------------|----------------|------------|
| ORIGINAL DATE: 09/14/2022 | | |
| DRAWING ISSUE | | |
| No. | DESCRIPTION | DATE |
| | PRELIMINARY #1 | 09/14/2022 |
| | PRELIMINARY #2 | 11/16/2022 |
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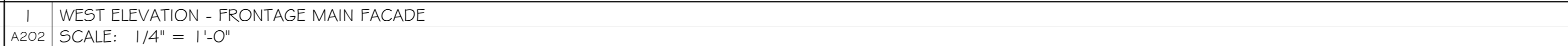
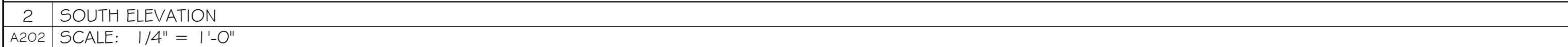
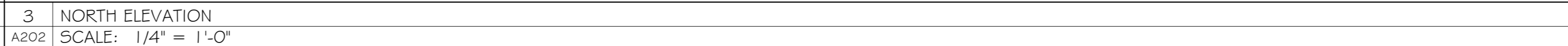
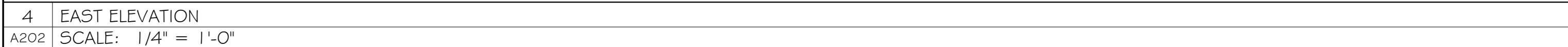
JOB NO.
201919

DRAWN BY
ARL

CHECKED BY
-

SHEET TITLE
BUILDING B
EXTERIOR
ELEVATIONS

SHEET
A201



Proposed Design of:

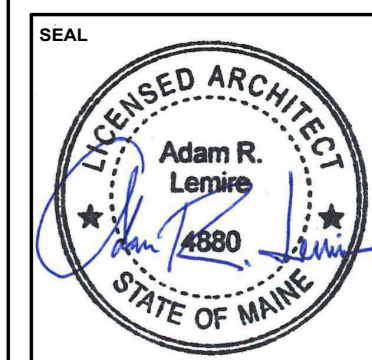
Proposed Design of:

90 Main Street Project

Building C
Yarmouth, Maine

PLATZ ASSOCIATES
*Architects - Engineers
 Construction Managers*

Tel 207-784-2941
 Fax 207-784-3856



ORIGINAL DATE:
09/14/2022

[illegible]

JOB NO. 201919

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| DRAWN BY ARL | CHECKED BY - |
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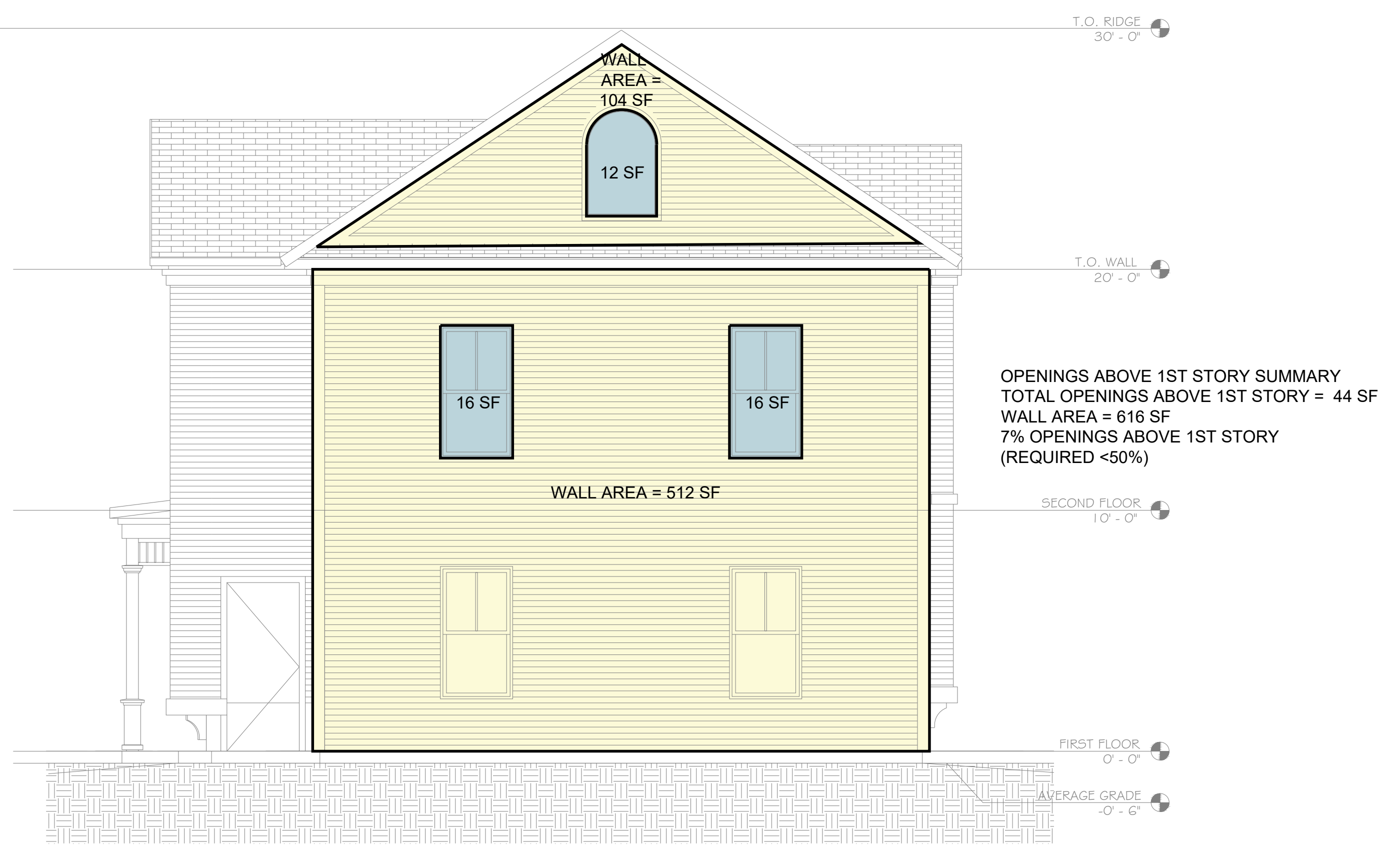
SHEET TITLE
BUILDING C
EXTERIOR
ELEVATIONS

SHEET

A202



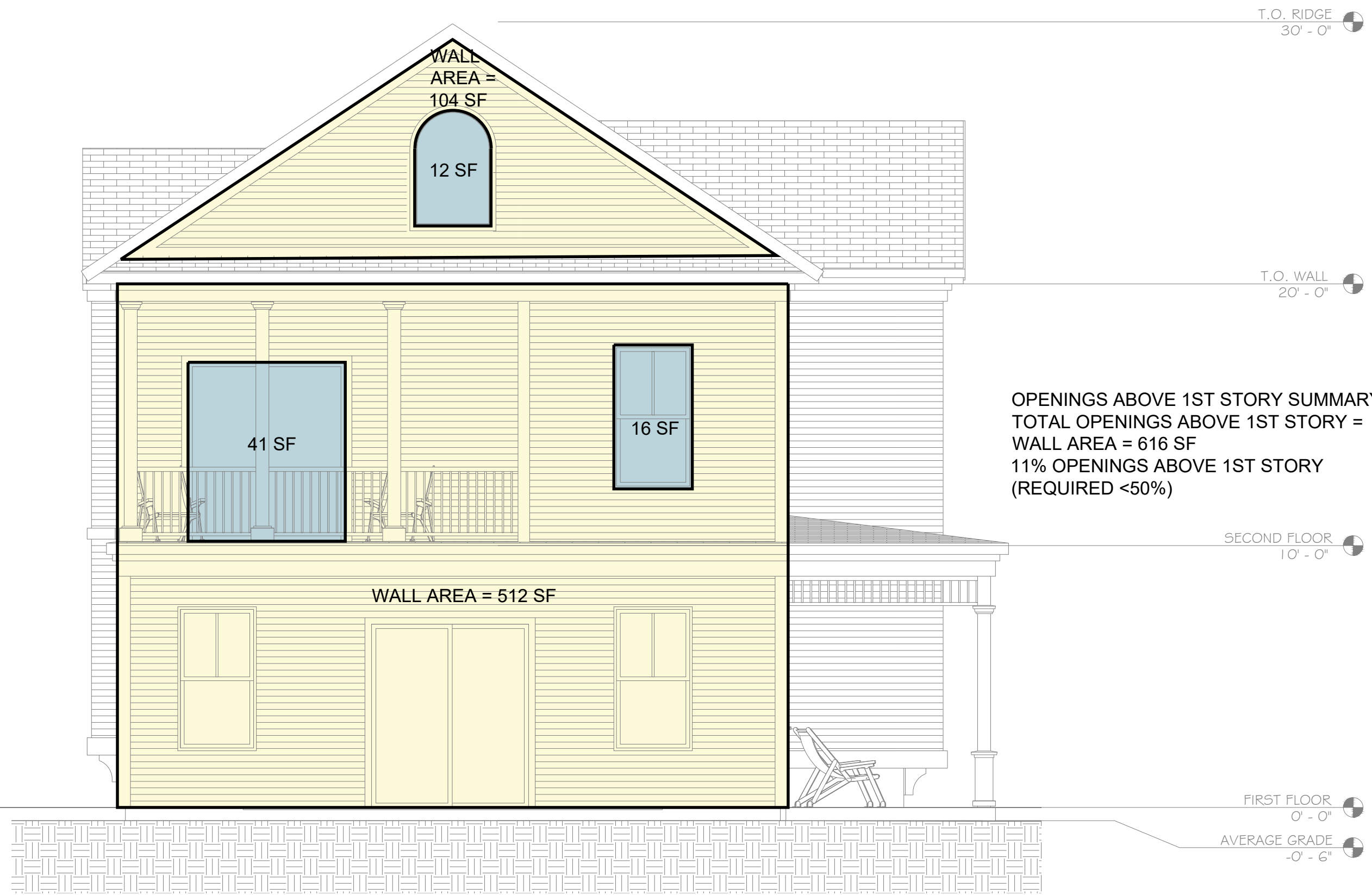
OPENINGS ABOVE 1ST STORY SUMMARY
TOTAL OPENINGS ABOVE 1ST STORY = 72 SF
WALL AREA = 764 SF
9% OPENINGS ABOVE 1ST STORY
(REQUIRED <50%)



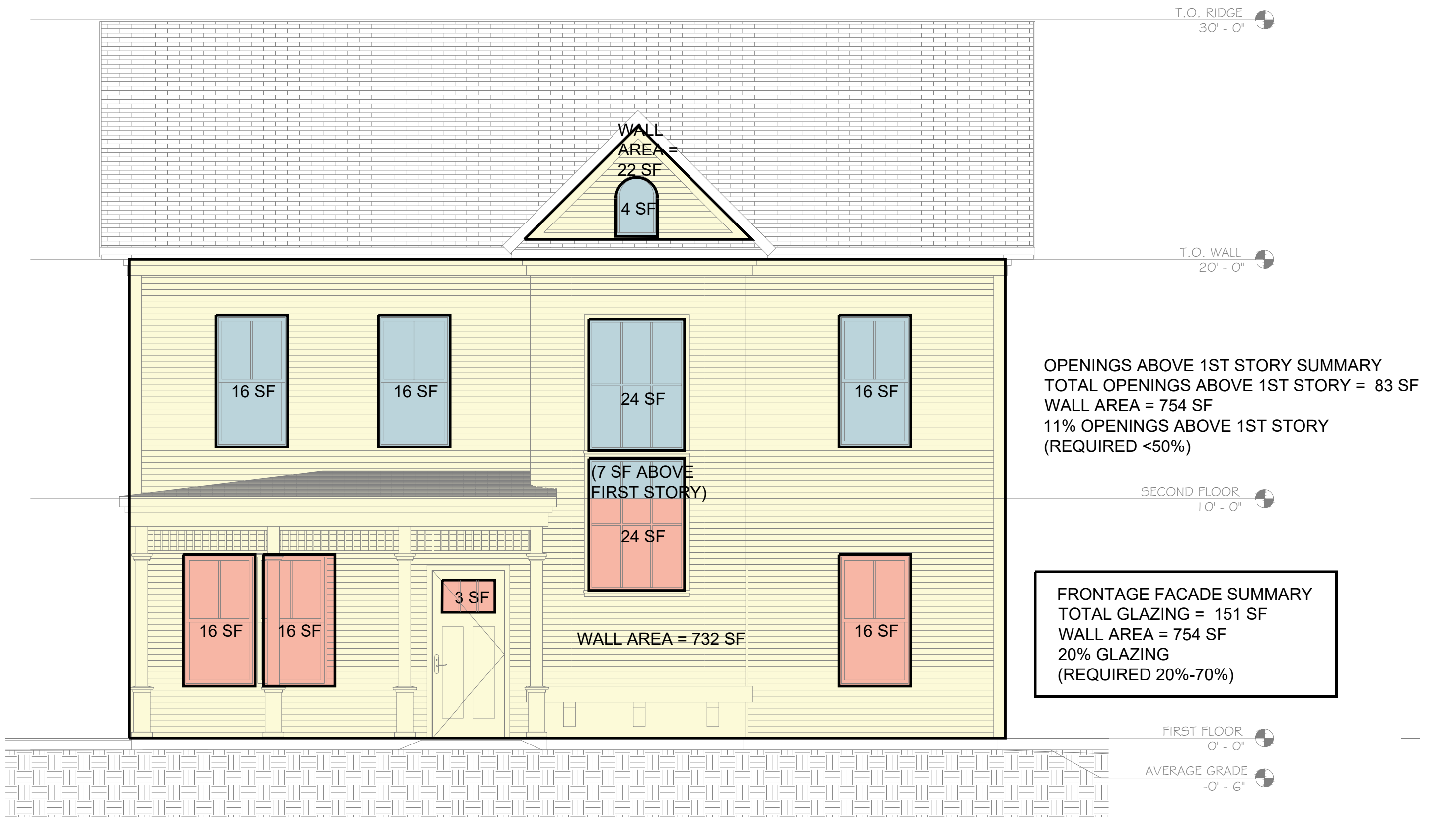
OPENINGS ABOVE 1ST STORY SUMMARY
TOTAL OPENINGS ABOVE 1ST STORY = 44 SF
WALL AREA = 616 SF
7% OPENINGS ABOVE 1ST STORY
(REQUIRED <50%)

4 REAR ELEVATION
A201 SCALE: 1/4" = 1'-0"

3 SIDE ELEVATION
A201 SCALE: 1/4" = 1'-0"



OPENINGS ABOVE 1ST STORY SUMMARY
TOTAL OPENINGS ABOVE 1ST STORY = 69 SF
WALL AREA = 616 SF
11% OPENINGS ABOVE 1ST STORY
(REQUIRED <50%)



OPENINGS ABOVE 1ST STORY SUMMARY
TOTAL OPENINGS ABOVE 1ST STORY = 83 SF
WALL AREA = 754 SF
11% OPENINGS ABOVE 1ST STORY
(REQUIRED <50%)

FRONTAGE FACADE SUMMARY
TOTAL GLAZING = 151 SF
WALL AREA = 754 SF
20% GLAZING
(REQUIRED 20%-70%)

2 PATIO SIDE ELEVATION
A201 SCALE: 1/4" = 1'-0"

1 FRONTAGE MAIN ELEVATION
A201 SCALE: 1/4" = 1'-0"



Exhibit 28 (Original 9/14/2022 Revised 11/16/2022)

See attached Survey of Existing Conditions:

EX – Existing Conditions Plan – By Wayne Wood & Co Dated 8/22/22

See attached revised Civil Engineering documents:

C-10 – Utility Plan

C-20 – Utility Plan

C-30 – Grading, Drainage and Erosion Control Plan

C-40 – Site Details – 1

TT – Turn Templates

PLAN REFERENCES

1. "Plan of Property ~ 18 Portland Street ~ Yarmouth, Maine made for: Peter Titcomb" dated March 16, 2010 by Titcomb Associates.
2. "Plan of Standard Boundary Survey ~ Old Schoolhouse No 3 made for: Dr. Christine Northrup" dated 7/29/1999 by Royal River Survey Co.

NOTES

1. Owners of record are as shown on the individual lots of this survey by deeds recorded in the Cumberland County Registry of Deeds as indicated.
2. All bearings are referenced to Magnetic North of the Year 1999 per the plan in Plan Reference #2 and are calculated from angles of an actual on the ground survey.
3. The subject parcels are shown on the Town of Yarmouth Tax Map #32(B) as Lot #7 and Lot #11.
4. This 2 rod passage way is mentioned in the deeds to the said Titcomb "as now used". This surveyor did not find this reference in the Vining chain of title.
5. Elevations shown hereon are referenced to an assumed datum.

LEGEND

- Iron Pipe or Pin Found as Noted
- Granite Monument Found as Noted
- ⊙ Drill Hole Found as Noted
- ⊕ Hardwood Tree as Noted
- ⊘ Utility Pole
- ⊞ Water Shut-off
- ⊞ Gas Shut-off
- Catch Basin
- ⊙ Sewer Man-hole
- ▨ Existing Building
- N/F Now or Formerly of
- (26,418/135) Deed Book and Page Reference



Plan of Land/Existing Conditions

On
Main Street & Portland Street
In
Yarmouth, Maine
For
Kate Carey
88 Main St. ~ Yarmouth, ME 04096

WAYNE T. WOOD & CO.

Gray, Maine 04039

Drawn By: KLW/WTW

Scale: 1" = 20'

Checked By: WTW

Field Crew: WW/JW/BR

(207)657-3330

Date

August 2022

Job No.

220093



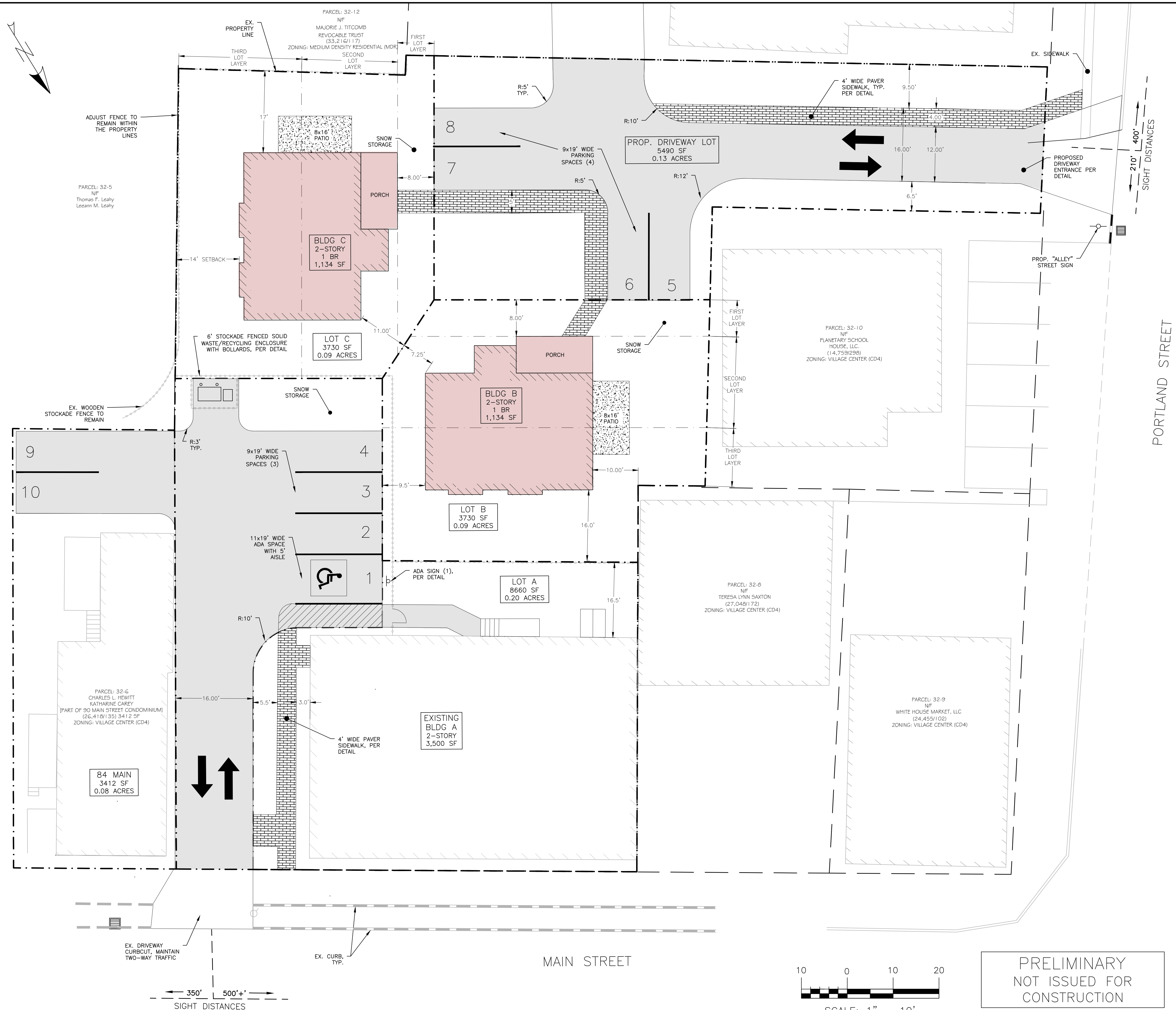
1. ALL BRICK SIDEWALK AND VERTICAL GRANITE CURB TO BE REPLACED SHALL BE REBUILT TO TOWN OF YARMOUTH STANDARD.
2. ALL PAVEMENT STRIPING AND MARKINGS SHALL COMPLY TO THE TOWN OF YARMOUTH STANDARDS.
3. ANY ASPHALT TO BE REMOVED SHALL BE STRIPPED AND PROPERLY DISPOSED OF OFFSITE.
4. CURB TO BE REMOVED, STOCKPILED AND RESET IN ACCORDANCE WITH DETAIL. BROKEN CURB SHALL BE PROPERLY DISPOSED OF AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
5. ALL RAMPS TO CONFORM TO ADA GUIDELINES. SLOPE SHALL NOT EXCEED 1 INCH PER FOOT.
6. ALL SITE SIGNAGE TO COMPLY WITH MUTCD STANDARDS. CONTRACTOR TO COORDINATE AND INSTALL.
7. FOLLOWING COMPLETION OF CONSTRUCTION, THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND MANAGEMENT OF DRIVEWAYS, SITE LIGHTING, TRASH REMOVAL AND SNOW REMOVAL.

| SPACE AND BULK STANDARDS – LOT B | | |
|----------------------------------|--------------|---------------------------|
| VILLAGE CENTER (CD4) ZONE | REQUIRED | PROVIDED |
| MINIMUM LOT AREA | NONE | 3,730 SF |
| MAX LOT COVERAGE | 85% | 36% (1,326 SF / 3,730 SF) |
| FRONT YARD SETBACK | 0–16' | 9.50' |
| MIN. SIDE YARD SETBACK | 0' | 8.00' |
| REAR YARD SETBACK | 15' | 16.00' |
| LOT WIDTH | 18'–120' | 70' |
| FRONTAGE BUILDOUT | 40%–100% | 60% (36' / 60') |
| PARKING | 1–2 PER UNIT | 2 PROVIDED |


| SPACE AND BULK STANDARDS – LOT C | | |
|----------------------------------|--------------|---------------------------|
| VILLAGE CENTER (CD4) ZONE | REQUIRED | PROVIDED |
| MINIMUM LOT AREA | NONE | 3,730 SF |
| MAX LOT COVERAGE | 85% | 36% (1,326 SF / 3,730 SF) |
| FRONT YARD SETBACK | 0–16' | 8.00' |
| MIN. SIDE YARD SETBACK | 0' | 11.00' |
| REAR YARD SETBACK | 15' | 14.00' |
| LOT WIDTH | 18'–120' | 68' |
| FRONTAGE BUILDOUT | 40%–100% | 51% (36' / 70') |
| PARKING | 1–2 PER UNIT | 2 PROVIDED |

| SPACE AND BULK STANDARDS – LOT A – EXISTING | | |
|---|---------------------------------------|---------------------------|
| VILLAGE CENTER (CD4) ZONE | REQUIRED | PROVIDED |
| MINIMUM LOT AREA | NONE | 8,660 SF |
| MAX LOT COVERAGE | 85% | 78% (6,790 SF / 8,660 SF) |
| FRONT YARD SETBACK | 0–16' | 3.00' |
| MIN. SIDE YARD SETBACK | 0' | 0' |
| REAR YARD SETBACK | 15' | 20.00' |
| LOT WIDTH | 18'–120' | 100' |
| FRONTAGE BUILDOUT | 40%–100% | 71% (72' / 100') |
| PARKING | 1–2 PER UNIT | 2 PROVIDED |
| PARKING | 2 SPACES PER 1000 SQ. FT. RETAIL AREA | 2 PROVIDED |

| SPACE AND BULK STANDARD – 82–84 MAIN STREET EXISTING | | |
|--|--------------|---------------------------|
| VILLAGE CENTER (CD4) ZONE | REQUIRED | PROVIDED |
| MINIMUM LOT AREA | NONE | 3,390 SF |
| MAX LOT COVERAGE | 85% | 47% (1,753 SF / 3,730 SF) |
| FRONT YARD SETBACK | 0–16' | 3.00' |
| MIN. SIDE YARD SETBACK | 0' | 0' |
| REAR YARD SETBACK | 15' | 14.00' |
| LOT WIDTH | 18'–120' | 35' |
| FRONTAGE BUILDOUT | 40%–100% | 69% (24' / 35') |
| PARKING | 1–2 PER UNIT | 1 PROVIDED |

[illegible]

| | |
|---------------|----------------------------------|
| DRAWING NAME: | SITE PLAN |
| PROJECT NAME: | 90 MAIN STREET PROJECT |
| CLIENT: | PLATZ ASSOCIATES YARMOUTH, ME |



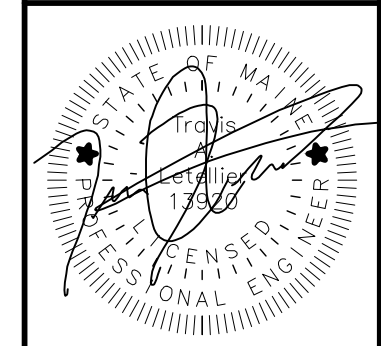
A C C O R N
ENGINEERING, INC.

THE PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM ACCOR ENGINEERING, INC. ANY ALTERATIONS AUTHORIZED BY THE ARCHITECT SHALL BE INDICATED BY A CIRCLE, CROSS, OR OTHER MARK, WITHOUT LIABILITY TO ACCOR ENGINEERING, INC. SOLE RISK AND RESPONSIBILITY OF THE USER.

ACCOR ENGINEERING, INC.
PO BOX 3372, PORTLAND, MAINE
(207) 775-2655

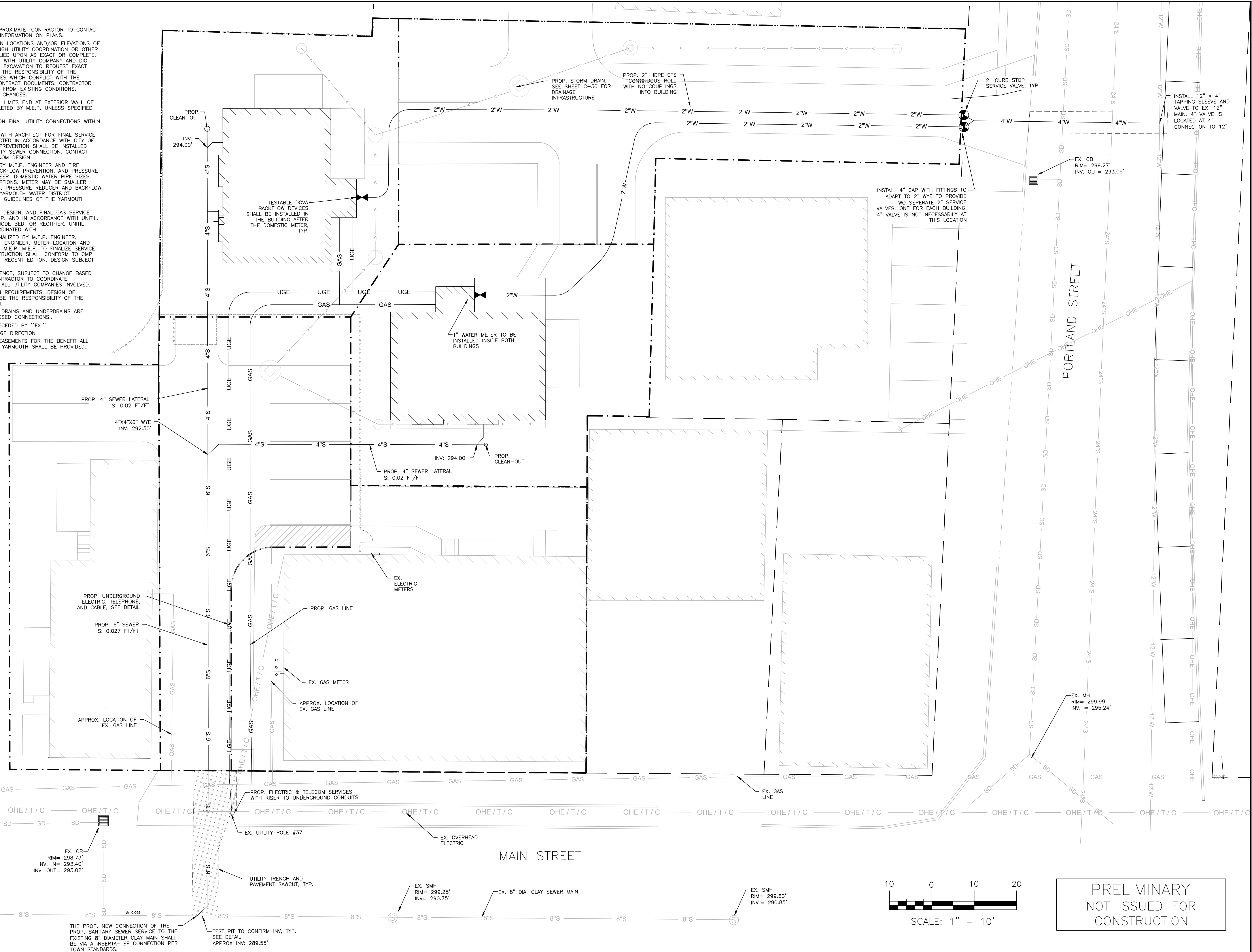
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| FILE: | 1178_CIVIL |
| JN: | 1178 |
| SCALE: | AS NOTED |
| DESIGNED BY: | TAL |
| DRAWN BY: | AWG |
| CHECKED BY: | WHS |

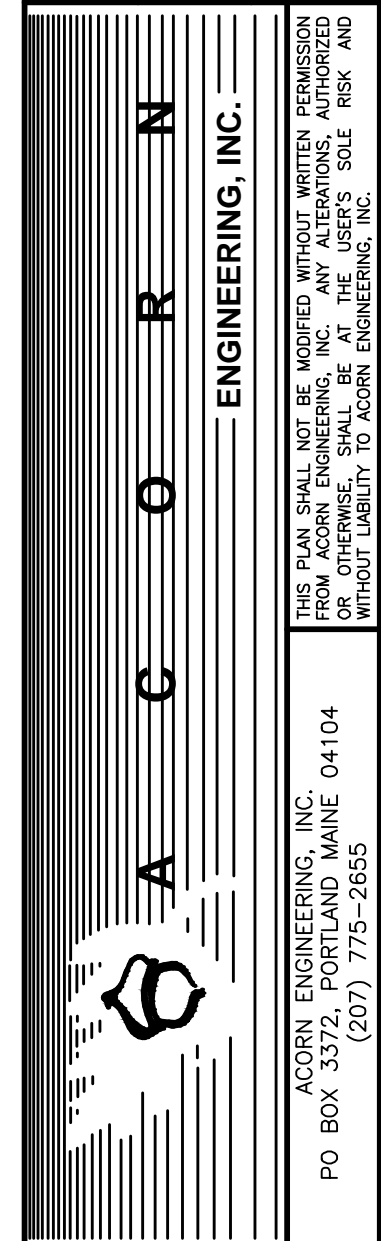


DRAWING NO.
C-10

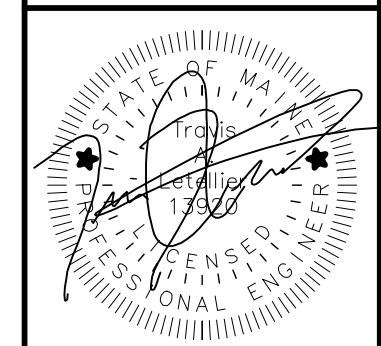
1. LOCATION OF PROPOSED CONNECTIONS ARE APPROXIMATE. CONTRACTOR TO CONTACT UTILITY ENGINEER IF FIELD INFORMATION VARIES FROM INFORMATION ON PLANS.
2. CONTRACTOR IS TO BE CAUTIONED THAT CERTAIN LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES HAVE BEEN PROVIDED THROUGH UTILITY COORDINATION OR OTHER OBSERVATIONS. INFORMATION IS TO BE USED UPON AND NOT AS EXACT OR COMPLETE INFORMATION TO FIELD VERIFY AND COORDINATE WITH UTILITY COMPANY AND DIG SAFE NO LESS THAN 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT TO-NOTIFICATION OF ALL UTILITIES OF ALL DEPT'S. CONTRACTOR SHALL BE RESPONSIBLE OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS INDICATED IN THE CONTRACT DOCUMENTS. CONTRACTOR TO NOTIFY ENGINEER OF ANY UTILITIES NOT SHOWN ON PLANS, EXISTING CONDITIONS, INCLUDING UTILITY INFORMATION, PRIOR TO ANY CHANGES.
3. FOR ALL UTILITIES, ACORN ENGINEERING DESIGN LIMITS END AT EXTERIOR WALL OF BUILDING. METERING OF UTILITIES TO BE COMPLETED BY M.E.P. UNLESS SPECIFIED OTHERWISE.
4. CONTRACTOR TO COORDINATE WITH ARCHITECT ON FINAL UTILITY CONNECTIONS WITHIN THE BUILDING.
5. SEWER UTILITIES: CONTRACTOR TO COORDINATE WITH ARCHITECT FOR FINAL SERVICE CONNECTION. SEWER UTILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF YARMOUTH STANDARD OF PRACTICE. CONTRACTOR TO BE RESPONSIBLE FOR EXCAVATION AND WITHIN THE PROPERTY LINES FOR EACH CITY SEWER CONNECTION. CONTRACTOR ENGINEER IF INVERT FIELD CONDITIONS VARY FROM DESIGN.
6. WATER UTILITIES: FINAL PIPE SIZING PROVIDED BY M.E.P. ENGINEER AND FIRE PROTECTION DESIGNER. WATER METERING, WATER PRESSURE SIZING, AND PRESSURE REDUCERS TO BE COMPLETED BY M.E.P. ENGINEER. DOMESTIC WATER PIPE SIZES WILL DETERMINE THE FINAL WATER METERING OPTIONS. METER MAY BE SMALLER THAN PROPOSED WATER MAIN. WATER METERING, SEWERAGE REDUCER AND BACKFLOW PREVENTER TO BE ACCORDANCE WITH CITY OF YARMOUTH WATER METERING STANDARDS. CONTRACTOR TO FOLLOW METERING GUIDELINES OF THE YARMOUTH WATER DISTRICT AND CITY OF YARMOUTH.
7. GAS UTILITIES: PROJECT GAS LAYOUT, GAS UTILITY DESIGN, AND FINAL GAS SERVICE CONNECTION TO BE DETERMINED AND COMPLETED BY M.E.P. AND IN ACCORDANCE WITH UNTIL. WHEN EXCAVATION OCCURS NEAR THE MAIN, ANODE BED, OR RECTIFIER, UNTIL DAMAGE CONTROL DEPARTMENT SHALL BE COORDINATED WITH.
8. ELECTRIC UTILITIES: ELECTRIC DESIGN TO BE FINALIZED BY M.E.P. ENGINEER. CONTRACTOR TO BE RESPONSIBLE FOR THE FINAL ELECTRICAL METER LOCATION AND TRANSFORMER SIZE, IF NECESSARY DEFINED BY M.E.P. M.P. TO FINALIZE SERVICE CONNECTION TO BUILDING. ALL ELECTRIC CONSTRUCTION SHALL CONFORM TO CMP JUNE 2007 EDITION OF STANDARD REQUIREMENTS, MOST RECENT EDITION, DESIGN SUBJECT TO FINAL APPROVAL FROM CMP.
9. SECONDARY CONDUIT RUNS SHOWN FOR REFERENCE. SUBJECT TO CHANGE BASED UPON FIELD CONDITIONS AND MEP DESIGN. CONTRACTOR TO COORDINATE WITH ENGINEER OF UNDERGROUND UTILITIES WITH ALL UTILITY COMPANIES INVOLVED.
10. REFER TO STRUCTURAL PLANS FOR FOUNDATION REQUIREMENTS. DESIGN OF TEMPORARY SOIL RESTRAINT MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR IF NECESSARY FOR CONSTRUCTION.
11. CONTRACTOR SHALL ENSURE THAT FOUNDATION DRAINS AND UNDERDRAINS ARE COMPLETED WITH POSITIVE DRAINAGE TO PROPOSED DRAINAGE CONNECTIONS.
12. ALL SPOT GRADES ARE PROPOSED UNLESS PRECEDED BY "EX."
13. REFER TO FLOWLINES FOR STORMWATER DRAINAGE DIRECTION.
14. ACCESS, DRAINAGE, UTILITY AND MAINTENANCE EASEMENTS FOR THE BENEFIT ALL LOTS IN THE DEVELOPMENT AND THE TOWN OF YARMOUTH SHALL BE PROVIDED.

[illegible]

| | |
|---------------|----------------------------------|
| DRAWING NAME: | UTILITY PLAN |
| PROJECT NAME: | 90 MAIN STREET PROJECT |
| CLIENT: | PLATZ ASSOCIATES YARMOUTH, ME |



| | |
|--------------|------------|
| FILE: | 1178_CIVIL |
| JN: | 1178 |
| SCALE: | AS NOTED |
| DESIGNED BY: | TAL |
| DRAWN BY: | AWG |
| CHECKED BY: | WHS |



DRAWING NO.
C-20

1. LOCATION OF PROPOSED CONNECTIONS ARE APPROXIMATE. CONTRACTOR TO CONTACT ENGINEER IF FIELD INFORMATION VARIES FROM INFORMATION ON PLANS.
2. CONTRACTOR IS TO BE CAUTIONED THAT CERTAIN LOCATIONS AND/OR ELEVATIONS OF EXISTING UTILITIES HAVE BEEN PROVIDED THROUGH UTILITY COORDINATION OR OTHER OBSERVATIONS. INFORMATION IS NOT TO BE RELIED UPON AS EXACT OR COMPLETE. CONTRACTOR TO FIELD VERIFY AND COORDINATE WITH UTILITY COMPANY AND DIG SAFE NO LESS THAN 72 HOURS PRIOR TO ANY EXCAVATION. TO REQUEST EXACT FIELD LOCATION OF ALL UTILITIES, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS INDICATED IN THE CONTRACT DOCUMENTS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES FROM EXISTING CONDITIONS, INCLUDING UTILITY INFORMATION, PRIOR TO ANY CHANGES.
3. FOR ALL UTILITIES, ACOERN ENGINEERING DESIGN LIMITS END AT EXTERIOR WALL OF BUILDING. METERING OF UTILITIES TO BE COMPLETED BY M.E.P. UNLESS SPECIFIED OTHERWISE.
4. CONTRACTOR TO COORDINATE WITH ARCHITECT ON FINAL UTILITY CONNECTIONS WITHIN THE BUILDING.
5. SEWER UTILITIES: CONTRACTOR TO COORDINATE WITH ARCHITECT FOR FINAL SERVICE CONNECTION. SEWER UTILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF PORTLAND TECHNICAL STANDARDS. VALVE FOR BACKFLOW PREVENTION SHALL BE PROVIDED. CONTRACTOR TO VERIFY WITH THE EACITY CITY SEWER CONNECTION. CONTRACT ENGINEER IF INVERT FIELD CONDITIONS VARY FROM DESIGN.
6. WATER UTILITIES: FINAL PIPE SIZING PROVIDED BY M.E.P. ENGINEER AND FIRE PROTECTION DESIGNER. INTERNAL METERING, BACKFLOW PREVENTION, AND METER REDUCERS TO BE PROVIDED BY M.E.P. ENGINEER. DOMESTIC WATER PIPE SIZES WILL DETERMINE THE FINAL WATER METERING OPTIONS. METER MAY BE SMALLER THAN PROPOSED WATER MAIN. WATER METERING, PRESSURE LOSS, AND BACKFLOW PREVENTION SHALL BE PROVIDED BY M.E.P. ENGINEER WITH THE PORTLAND WATER DISTRICT STANDARDS. CONTRACTOR TO FOLLOW METERING GUIDELINES OF THE PORTLAND WATER DISTRICT AND CITY OF PORTLAND.
7. GAS UTILITIES: PROJECT GAS LOAD, GAS UTILITY DESIGN, AND FINAL GAS SERVICE LOCATION AND METERS TO BE DEFINED BY M.E.P. AND IN ACCORDANCE WITH THE CITY OF PORTLAND GAS STANDARDS. CONTRACTOR TO PROVIDE A RECIFIER, UNTO, DAMAGE CONTROL DEPARTMENT SHALL BE COORDINATED WITH.
8. ELECTRICAL UTILITIES: ELECTRIC DESIGN TO BE FINALIZED BY M.E.P. ENGINEER. ELECTRICAL LOADS TO BE DETERMINED BY M.E.P. ENGINEER. METER LOCATION AND SERVICE CONNECTIONS TO BE DETERMINED BY M.E.P. ENGINEER. CONTRACTOR TO COORDINATE WITH THE CITY OF PORTLAND AND THE PORTLAND ELECTRICITY DIVISION TO FINALIZE SERVICE CONNECTION TO BUILDING. ALL ELECTRIC CONSTRUCTION SHALL CONFORM TO CMP GUIDEBOOK OF STANDARD REQUIREMENTS, MOST RECENT EDITION. DESIGN SUBJECT TO FINAL APPROVAL FROM CMP.
9. SECONDARY CONDUIT RUNS SHOWN FOR REFERENCE, SUBJECT TO CHANGE BASED ON FIELD CONDITIONS. CONTRACTOR TO COORDINATE WITH THE CITY OF PORTLAND TO COORDINATE INSTALLATION OF UNDERGROUND UTILITIES WITH ALL UTILITY COMPANIES INVOLVED.
10. REFER TO STRUCTURAL PLANS FOR FOUNDATION REQUIREMENTS. DESIGN OF FOUNDATION AND SOIL RESTRAINT MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR IF NECESSARY FOR CONSTRUCTION.
11. CONTRACTOR SHALL ENSURE THAT FOUNDATION DRAINS AND UNDERDRAINS ARE PROTECTED WITH POSITIVE OUTLET TO PROPOSED CONNECTIONS..
12. ALL SPOT GRASSES ARE PROPOSED UNLESS PRECEDED BY "EX."
13. REFER TO FLOWLINES FOR STORMWATER DRAINAGE DIRECTION



PRELIMINARY
NOT ISSUED FOR
CONSTRUCTION

[illegible]

GRADING, DRAINAGE AND EROSION PLAN

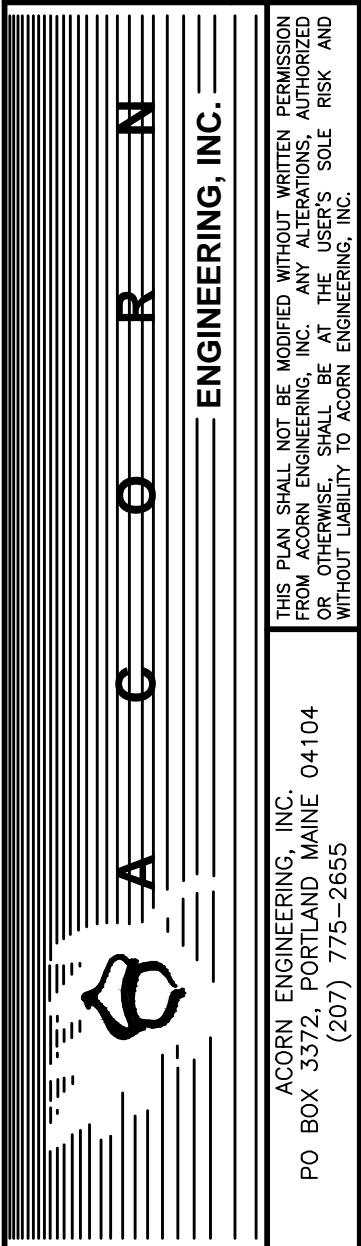
90 MAIN STREET PROJECT

PLATZ ASSOCIATES

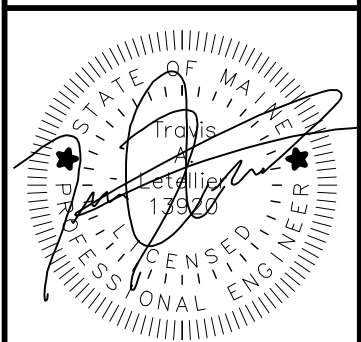
DRAWING NAME

SUBJECT NAME:

CLIENT:

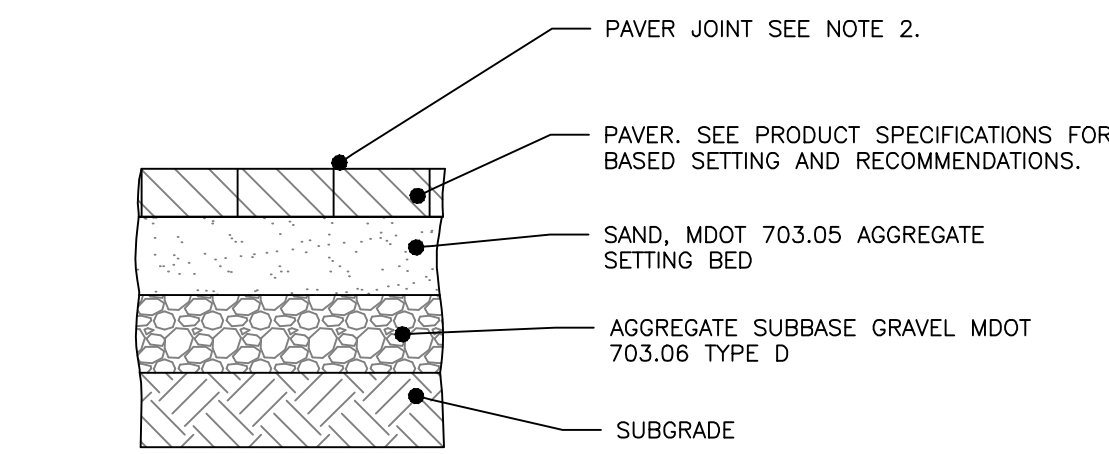


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| FILE: | 1178_CIVIL |
| JN: | 1178 |
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| DESIGNED BY: | TAL |
| DRAWN BY: | AWG |
| CHECKED BY: | WHS |



DRAWING NO.

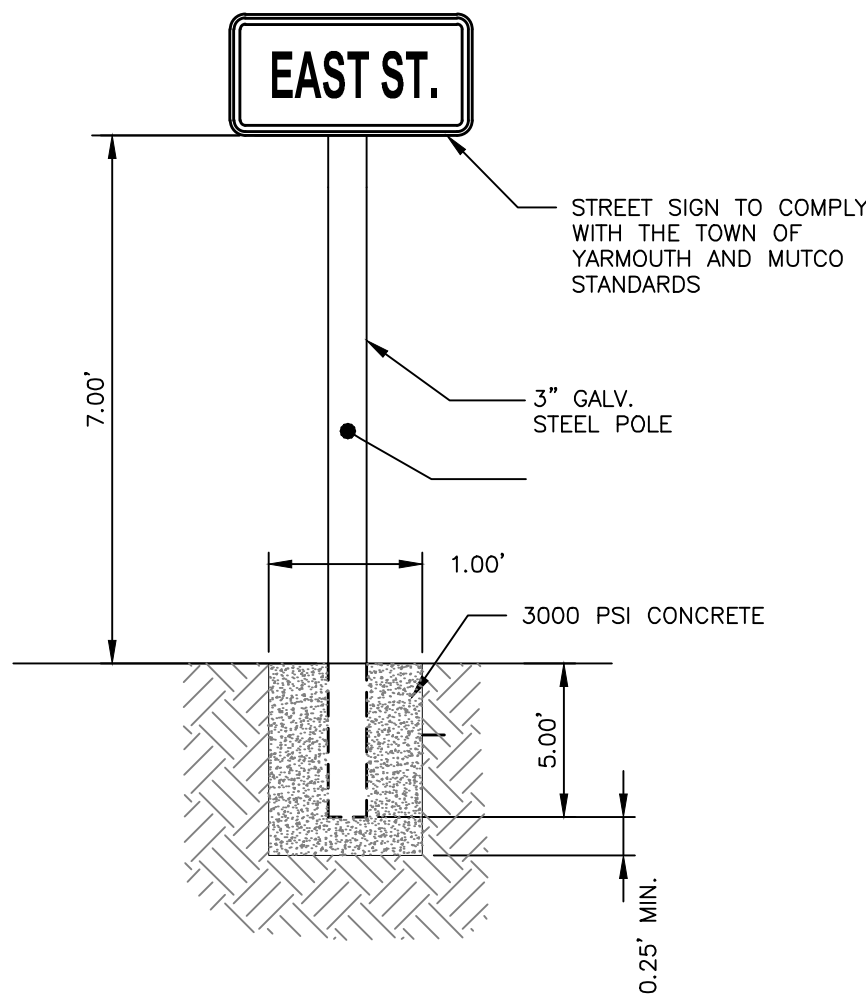
C-30



- NOTE:
1. COMPACT AGGREGATE MATERIALS AND SUBGRADE TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557
 2. PAVEMENT JOINTS SHALL BE FILLED WITH ALLIANCE GATOR XP POLY - SAND OR APPROVED EQUAL.
 3. CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT FOR CONCRETE PAVEMENT PRODUCT, INSTALLATION PATTERN AND JOINT SAND COLOR.

| THICKNESS OF LAYERS | |
|---------------------|---|
| STANDARD | LAYERS |
| 2-3/8" | CONCRETE PAVEMENT |
| 4" | SAND MDOT 703.05 AGGREGATE |
| 15" | AGGREGATE SUBBASE GRAVEL MDOT 703.06 TYPE D |

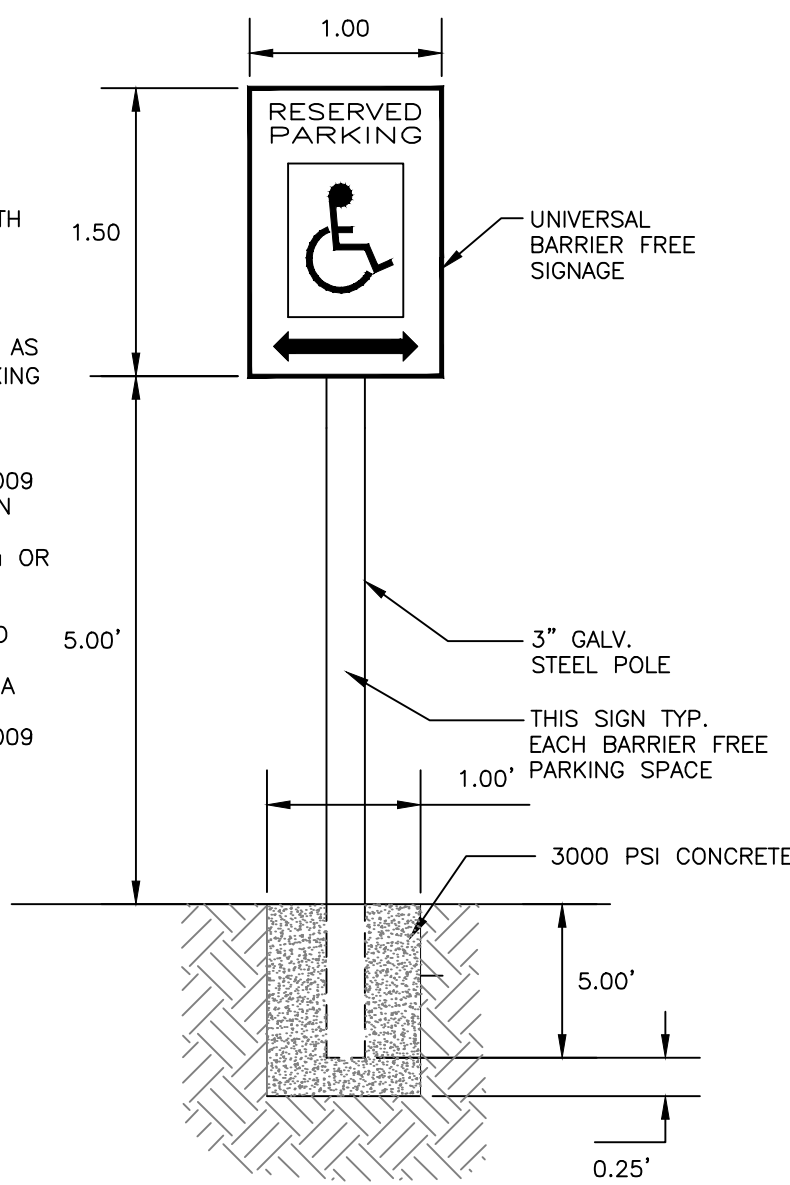
PAVER SIDEWALK PROFILE
NOT TO SCALE



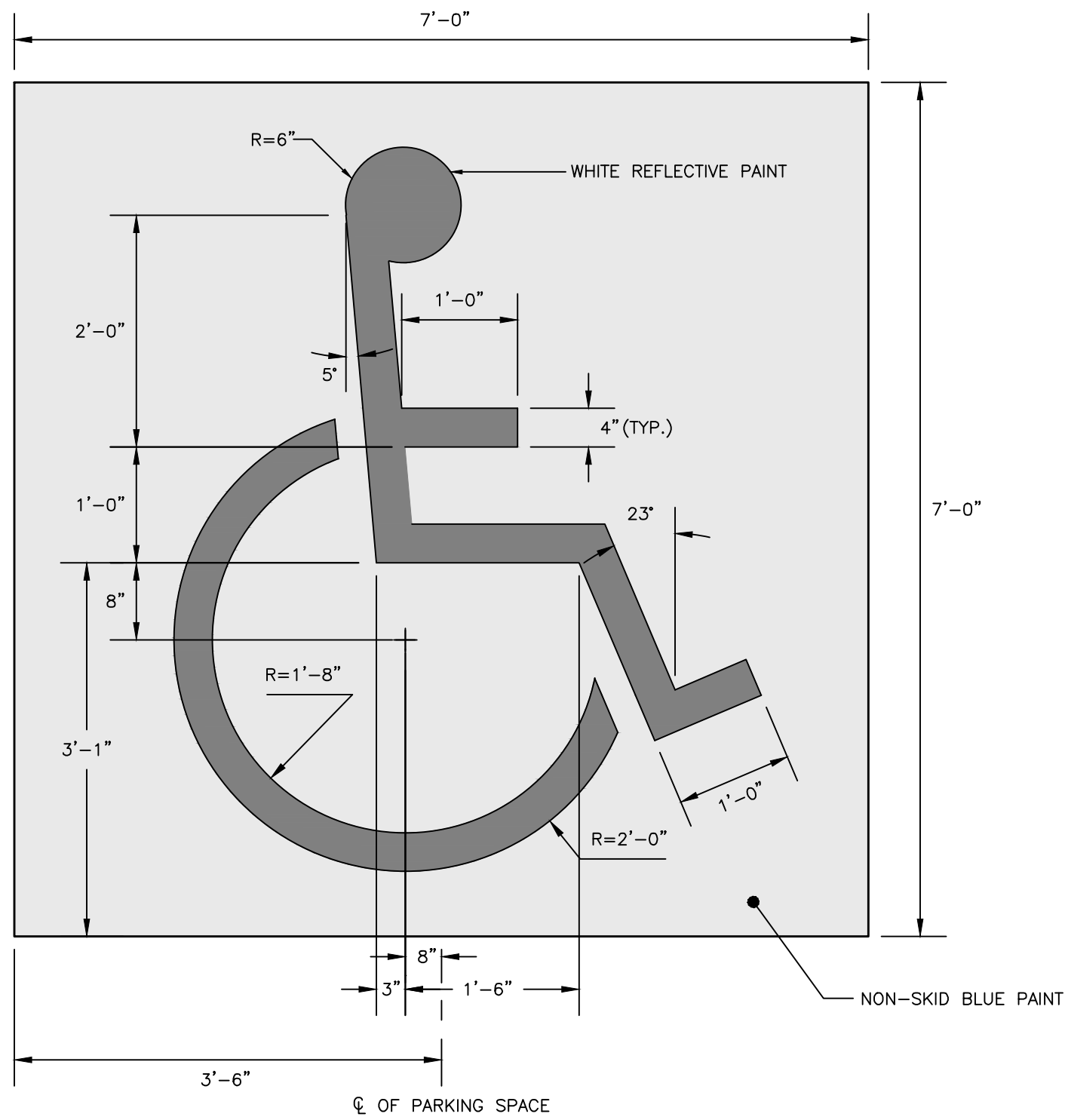
STREET SIGN DETAIL
NOT TO SCALE

NOTES:

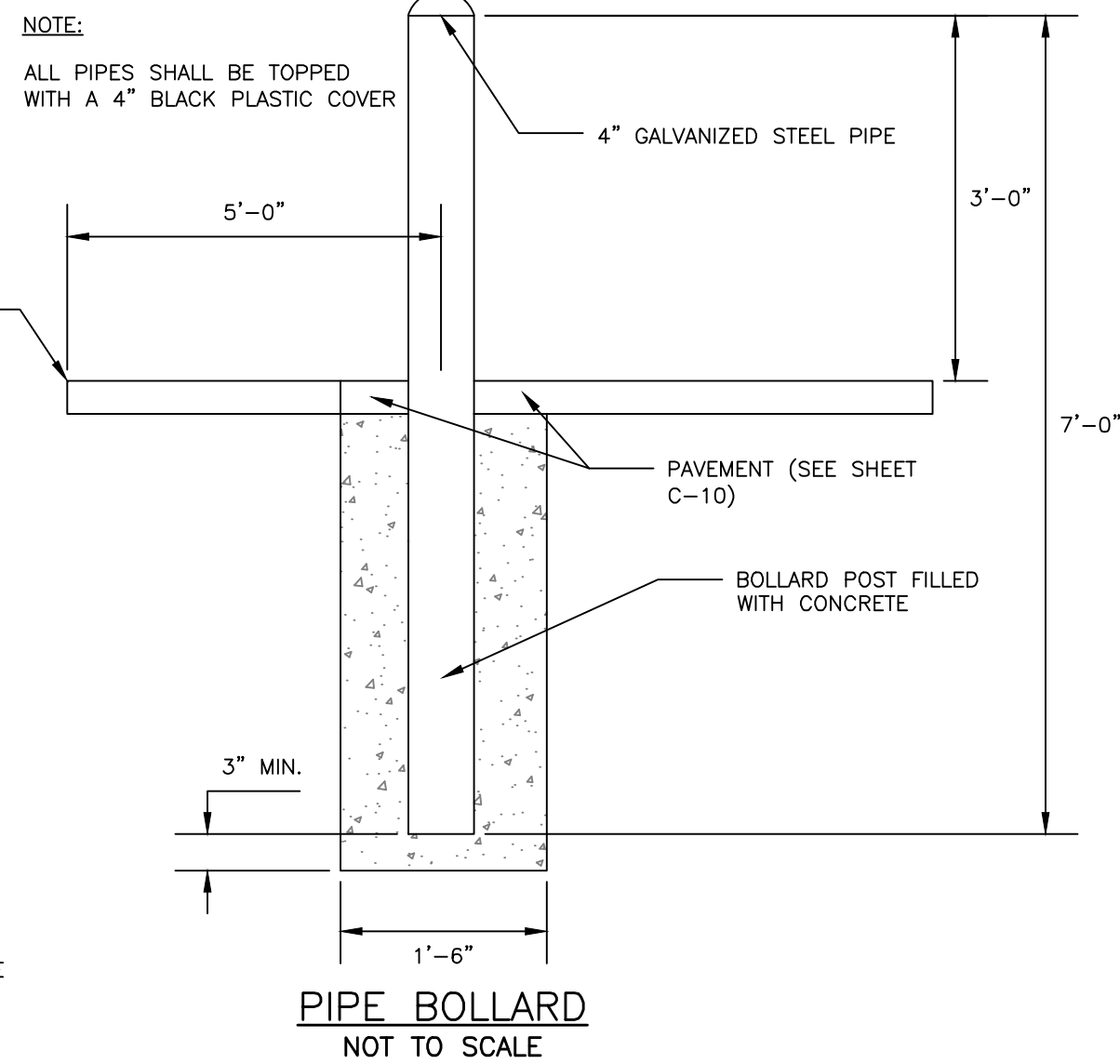
1. ALL ASPECTS OF RESERVED PARKING SIGN CONSTRUCTION SHALL BE IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 OR MOST RECENT EDITION.
2. SIGN SHALL BE CONSTRUCTED AS SIGN R7-8 UNDER THE "PARKING AND STANDING SIGNS AND PLAQUES" (R7 SERIES) WITHIN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 OR MOST RECENT EDITION. VAN ACCESSIBILITY SHALL BE CONSTRUCTED AS SIGN R7-8a OR R7-8b.
3. SIGN POST CONSTRUCTION AND MOUNTING SHALL BE IN ACCORDANCE WITH CHAPTER 2A OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 OR MOST RECENT EDITION.



BARRIER FREE PARKING SIGN
NOT TO SCALE



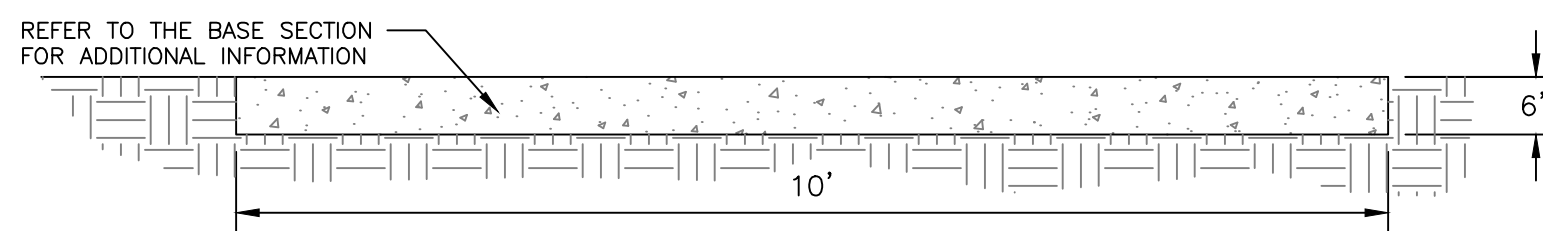
INTERNATIONAL BARRIER FREE SYMBOL
NOT TO SCALE



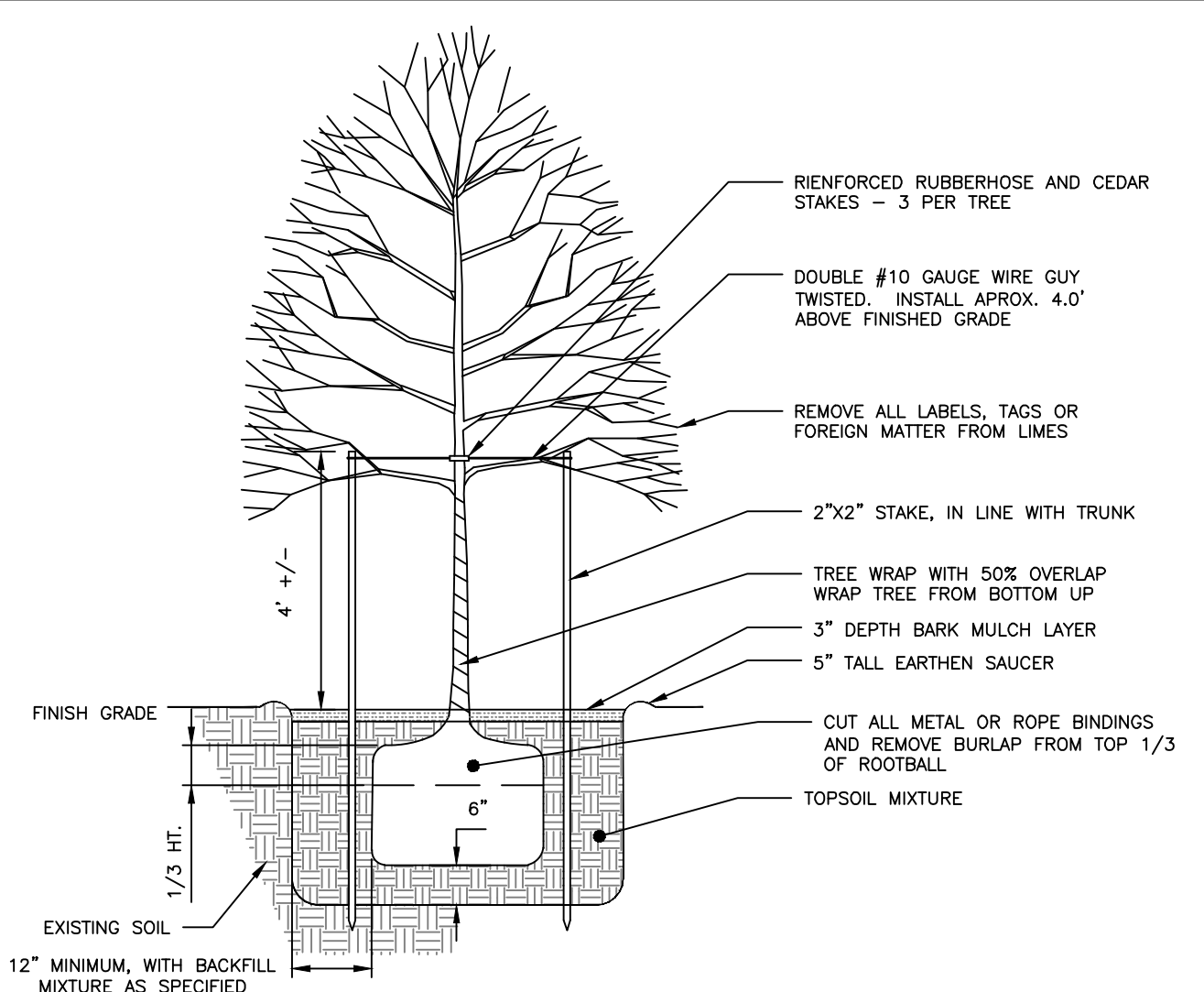
PIPE BOLLARD
NOT TO SCALE

NOTES:

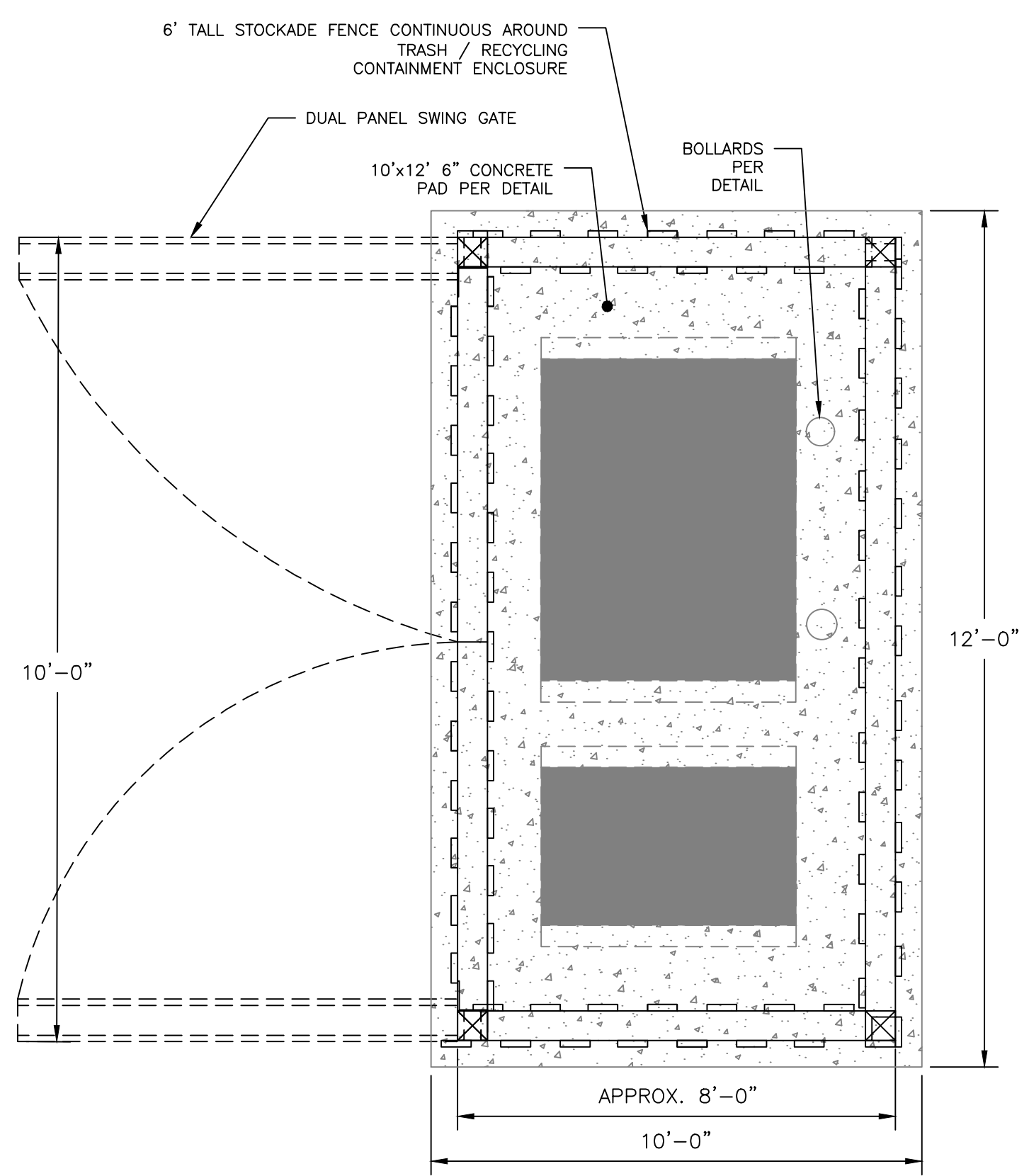
1. THE CONCRETE PAD SHALL BE 10'X3.25'X6" IN SIZE.
2. COMPACT SUBGRADE TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557.
3. FINISH WITH A STIFF, COARSE, FIBER BROOM.



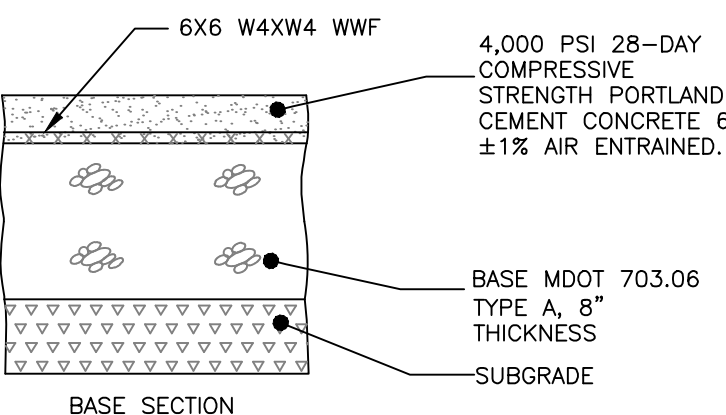
CONCRETE PAD DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE



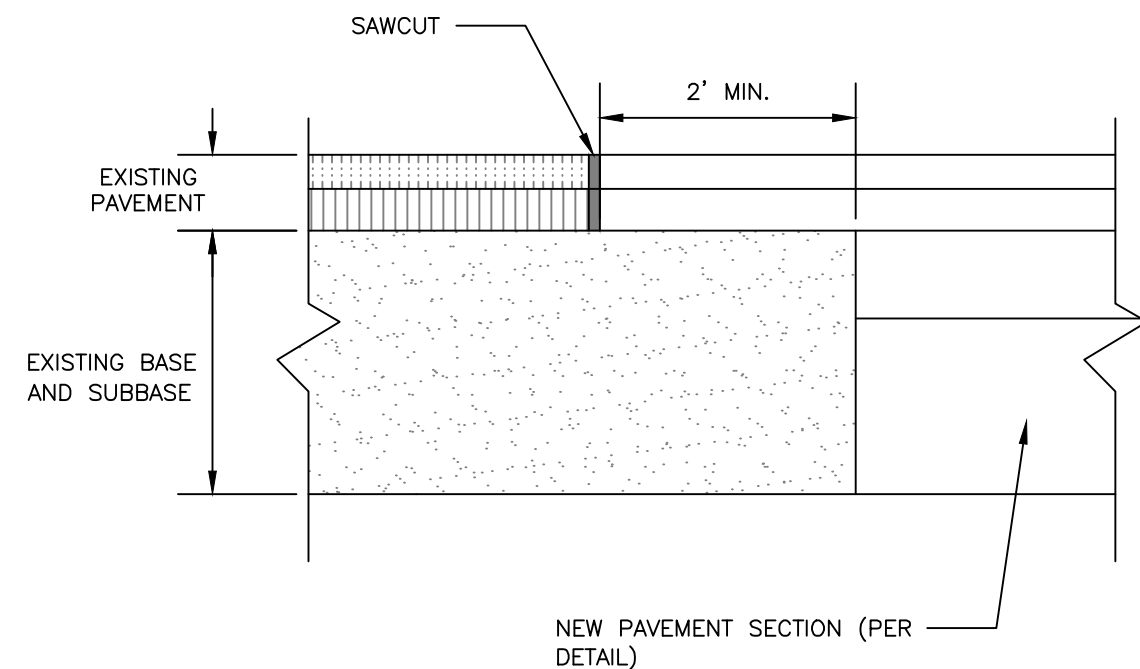
TRASH ENCLOSURE DETAIL
NOT TO SCALE



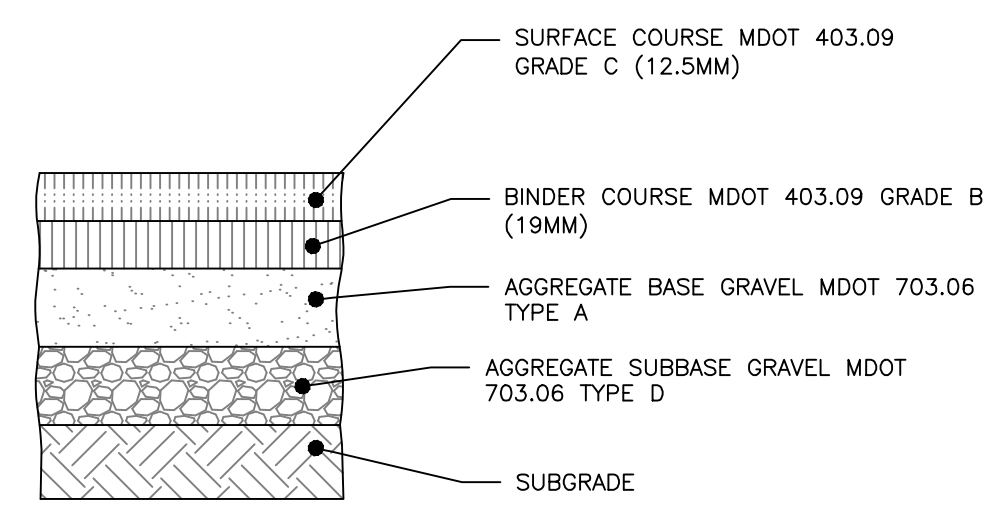
REFER TO THE BASE SECTION FOR ADDITIONAL INFORMATION

NOTES:

1. SAWCUT EXISTING PAVEMENT AND REMOVE 2' STRIP OF EXISTING PAVEMENT. CREATE UNIFORM AND RIGID BUTT JOINT AND APPLY BITUMINOUS TACK COAT AT AN APPLICATION RATE OF 0.10 TO 0.14 GALLONS PER SQUARE YARD PRIOR TO PLACEMENT OF NEW BITUMINOUS PAVEMENT.
2. THE NEW PAVEMENT SECTION SHALL MEET THE CITY OF YARMOUTH BITUMINOUS PAVEMENT SECTION DETAIL AT A MINIMUM OR THE EXISTING PAVEMENT AND AGGREGATE BASE AND SUBBASE DEPTH WHICHEVER IS GREATER.



PAVEMENT SAWCUT DETAIL
NOT TO SCALE

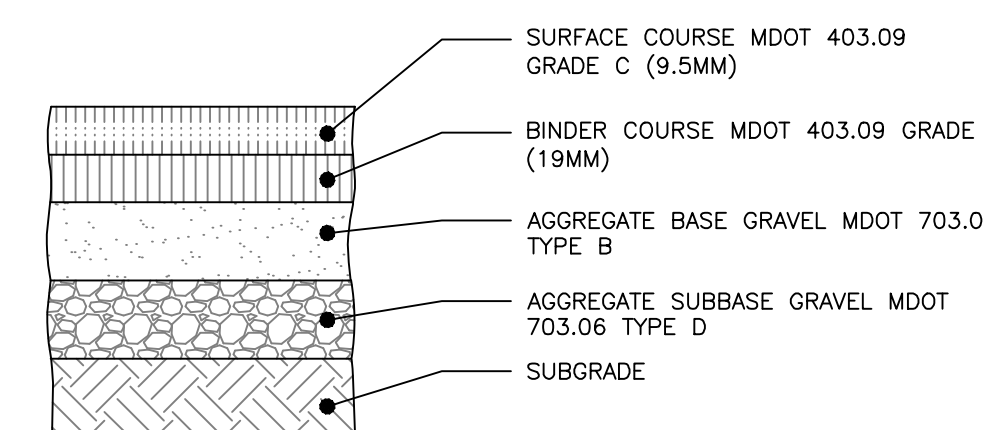


NOTES:

1. COMPACT SUBGRADE TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557
2. SURFACE AND AGGREGATE MATERIALS SHALL MEET THE CITY OF PORTLAND STANDARDS IN ADDITION TO MDOT STANDARDS.

| THICKNESS OF LAYERS | |
|---------------------|---|
| STANDARD | LAYERS |
| 1 1/2" | SURFACE COURSE MDOT 403.09 GRADE C (12.5mm) |
| 2 1/2" | BINDER COURSE MDOT 403.09 GRADE B (19mm) |
| 3" | AGGREGATE BASE GRAVEL MDOT 703.06 TYPE A |
| 18" | AGGREGATE SUBBASE GRAVEL MDOT 703.06 TYPE D |

TOWN OF YARMOUTH COLLECTOR STREET BITUMINOUS PAVEMENT PROFILE
NOT TO SCALE



NOTES:

1. COMPACT SUBGRADE TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557
2. SURFACE AND AGGREGATE MATERIALS SHALL MEET THE CITY OF PORTLAND STANDARDS IN ADDITION TO MDOT STANDARDS.

| THICKNESS OF LAYERS | |
|---------------------|---|
| STANDARD | LAYERS |
| 1-1/2" | SURFACE COURSE MDOT 403.09 GRADE C (9.5mm) |
| 2" | BINDER COURSE MDOT 403.09 GRADE B (19mm) |
| 3" | AGGREGATE BASE GRAVEL MDOT 703.06 TYPE B |
| 15" | AGGREGATE SUBBASE GRAVEL MDOT 703.06 TYPE D |

PRIVATE BITUMINOUS PAVEMENT PROFILE
NOT TO SCALE

PERMIT LEVEL
NOT ISSUED FOR
CONSTRUCTION

ISSUED FOR
SITES PLAN REVIEW
COMMENT RESPONSE

BY
DATE
10/2/22
11/14/22

SITE DETAILS - 1

90 MAIN STREET PROJECT

PLATZ ASSOCIATES
YARMOUTH, ME

DRAWING NO.
C-40

FILE:
1178_CIVIL

JN:
1178

SCALE:
AS NOTED

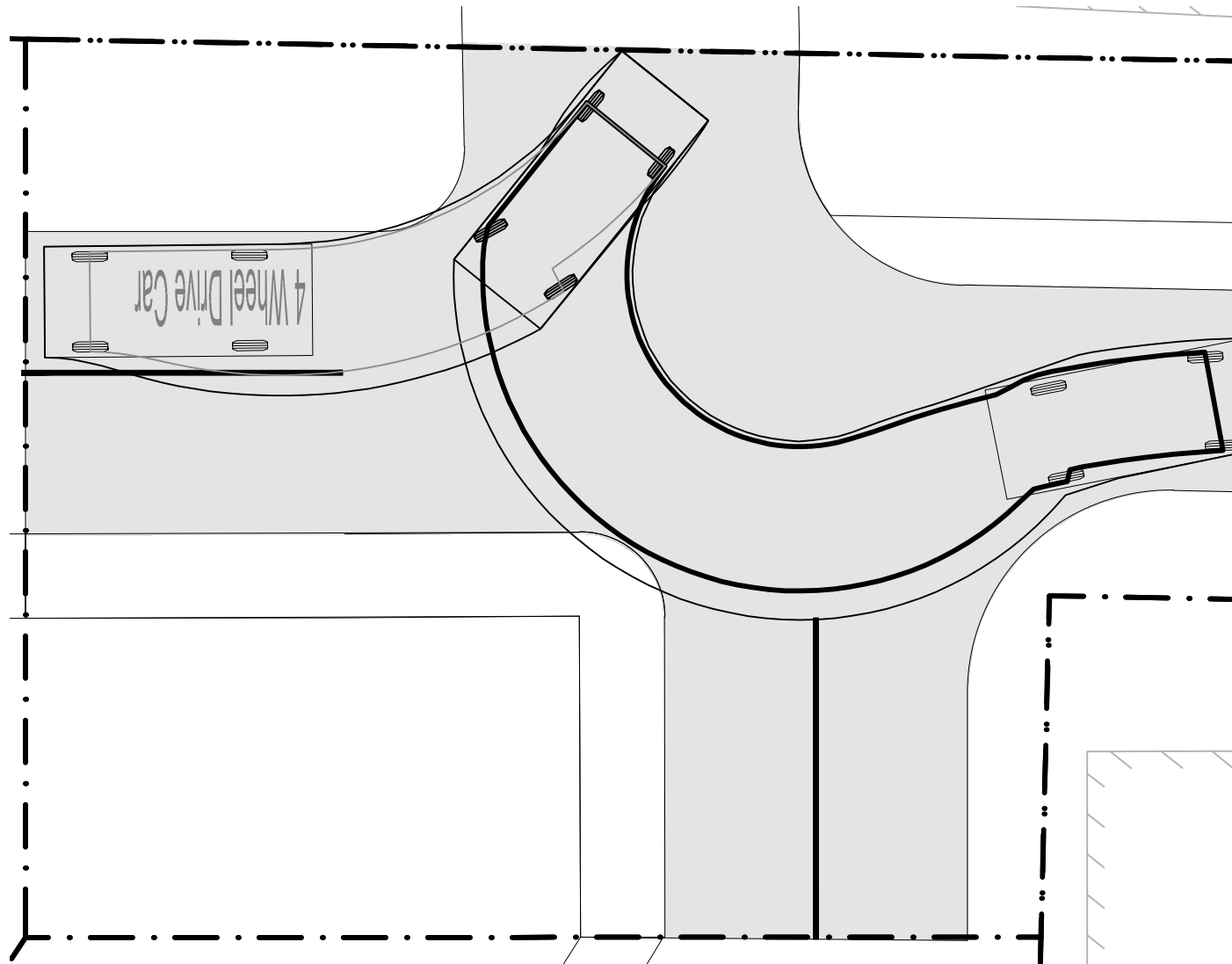
DESIGNED BY:
SUL

DRAWN BY:
AWG

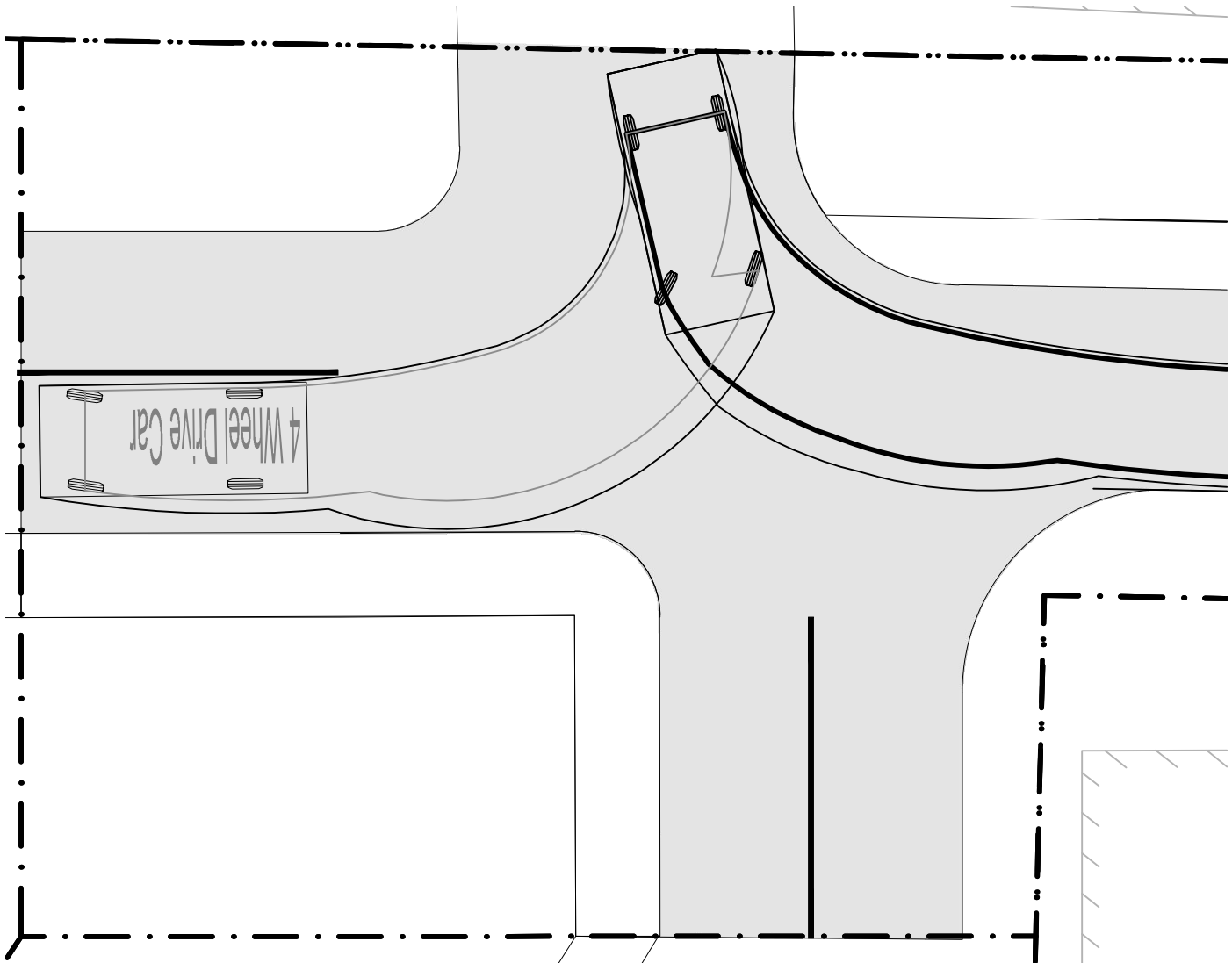
CHECKED BY:
WHS

ACORN ENGINEERING, INC.

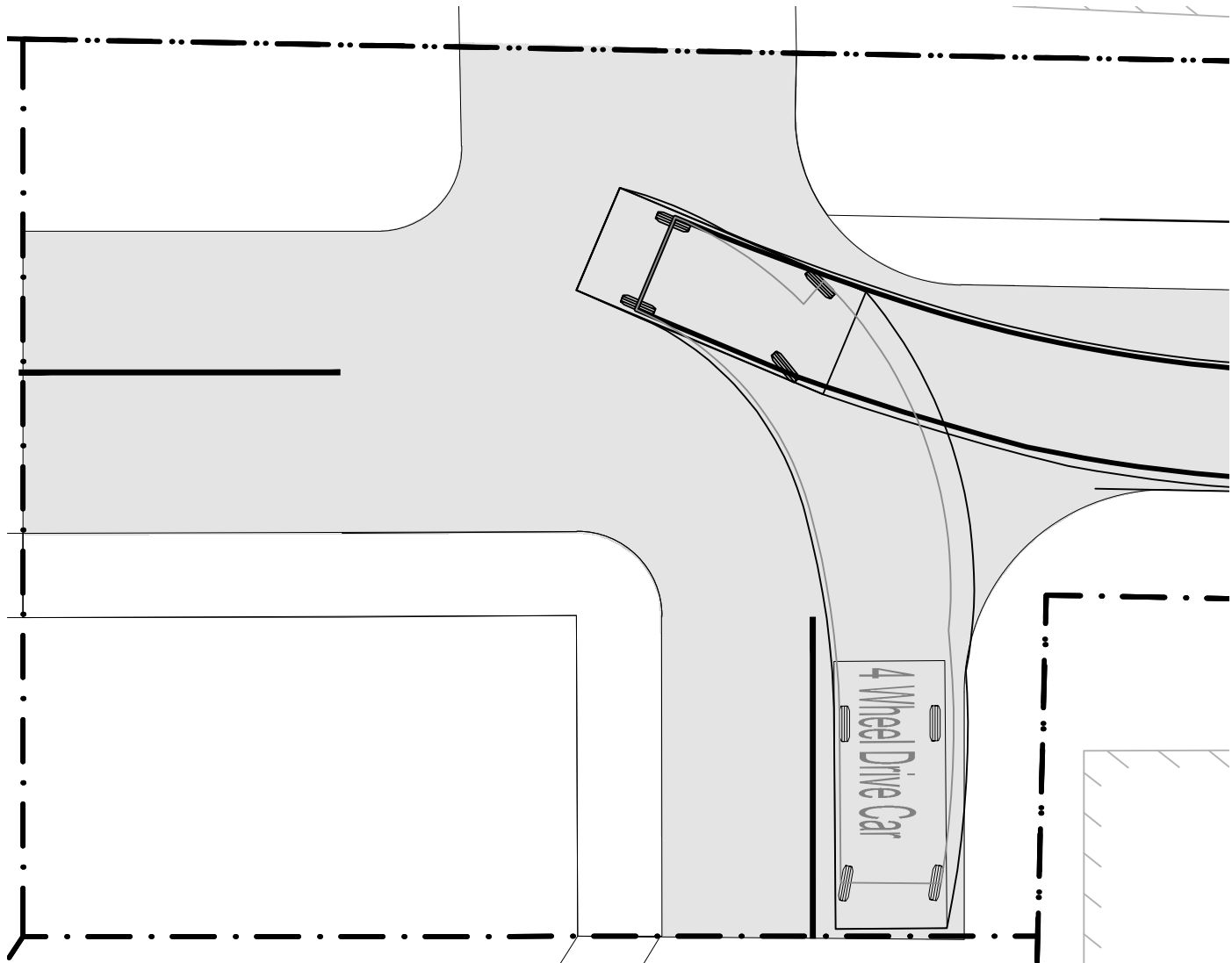
ACORN ENGINEERING, INC.
PO BOX 3372, PORTLAND MAINE 04104
(207) 775-2655



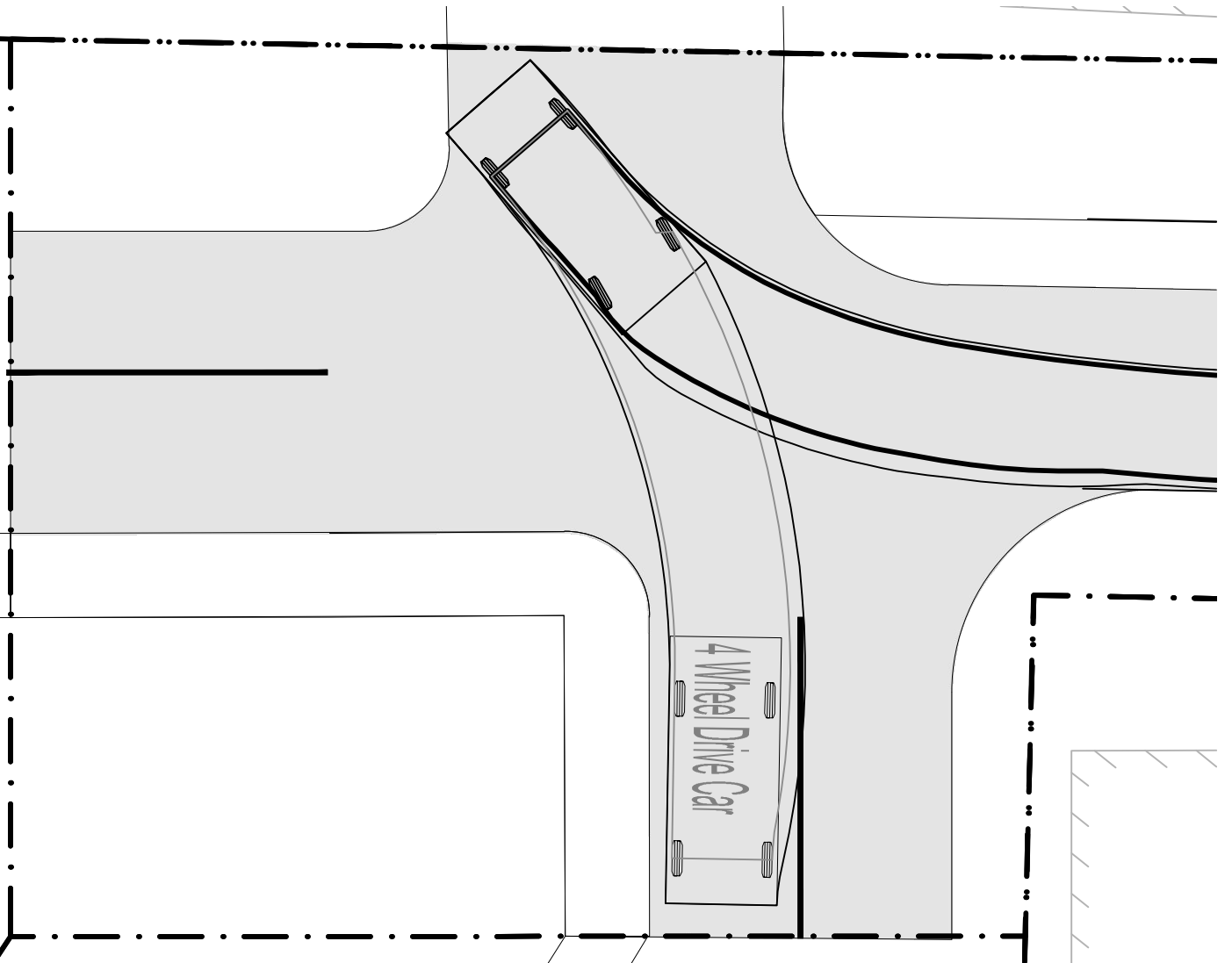
BUILDING C – SPOT 1
SCALE: 1"=10'



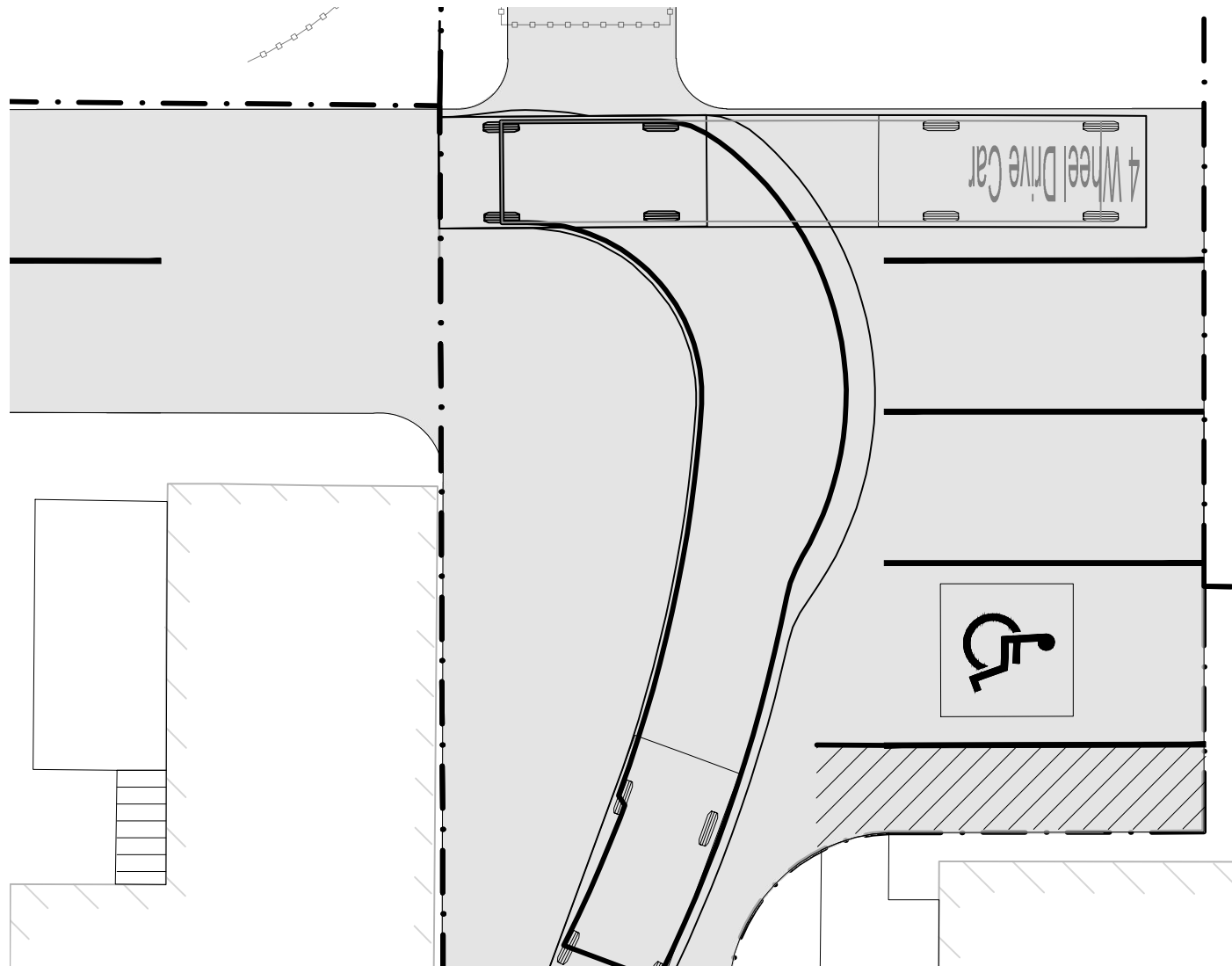
BUILDING C – SPOT 2
SCALE: 1"=10'



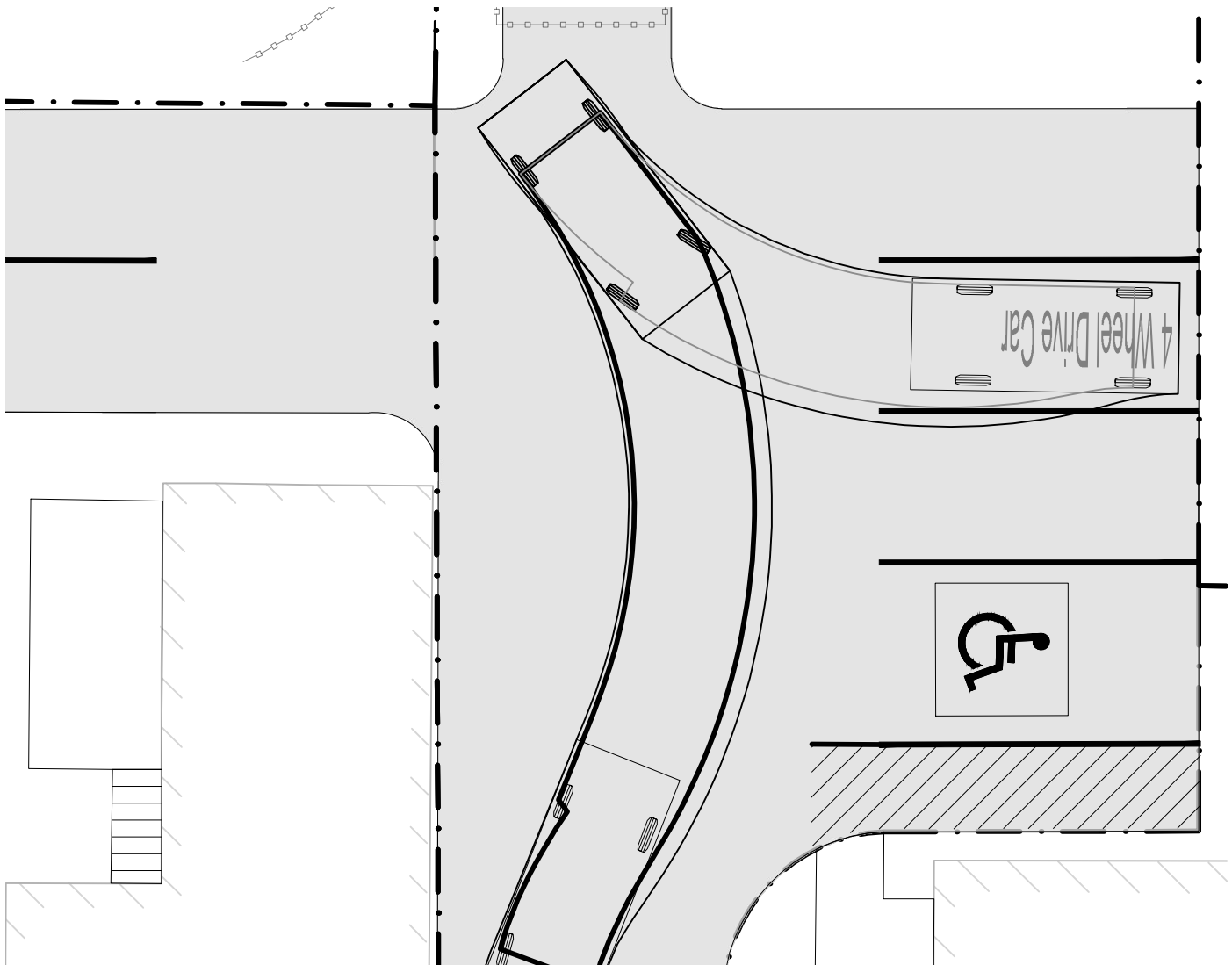
BUILDING B – SPOT 1
SCALE: 1"=10'



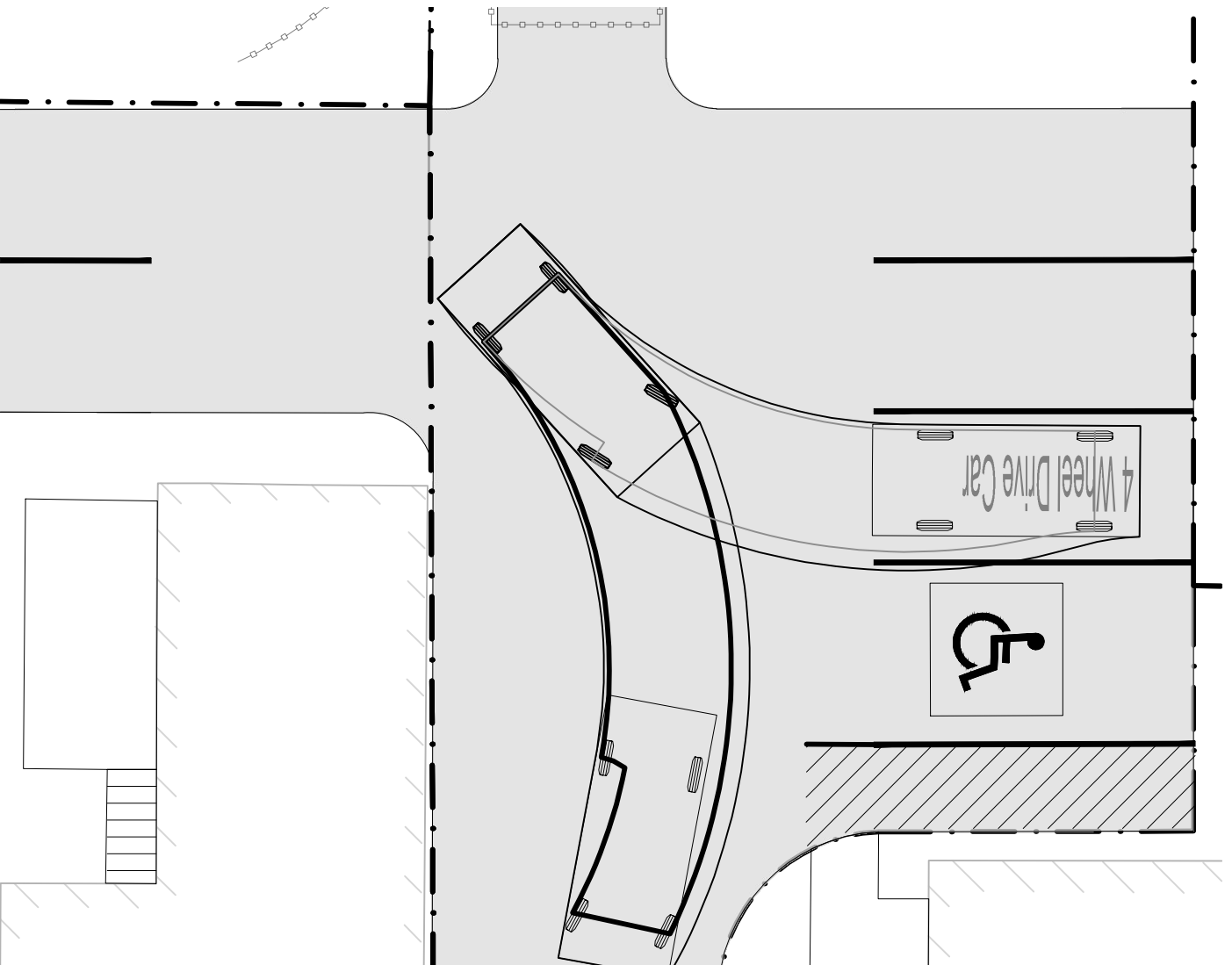
BUILDING B – SPOT 2
SCALE: 1"=10'



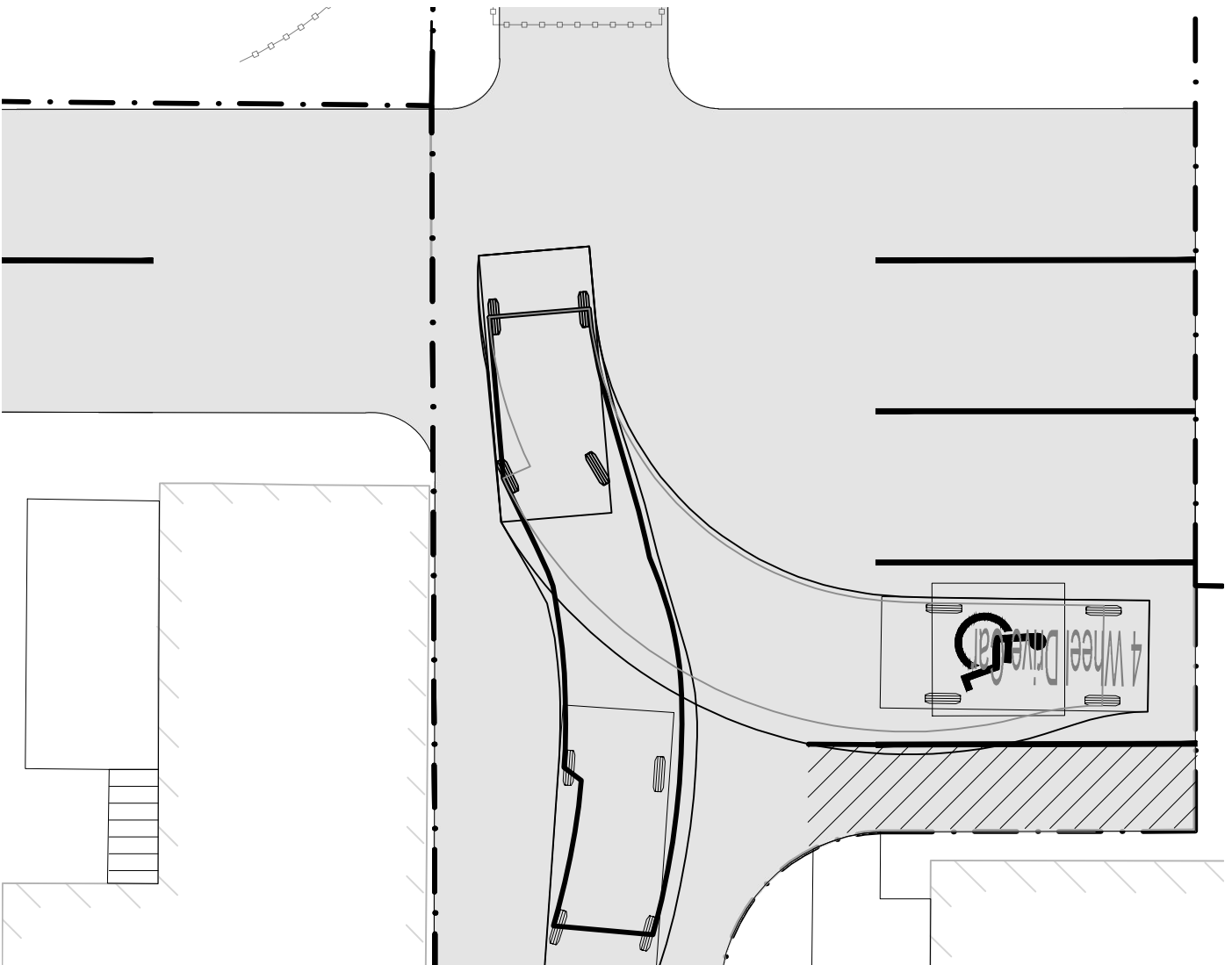
EX BUILDING – SPOT 1
SCALE: 1"=10'



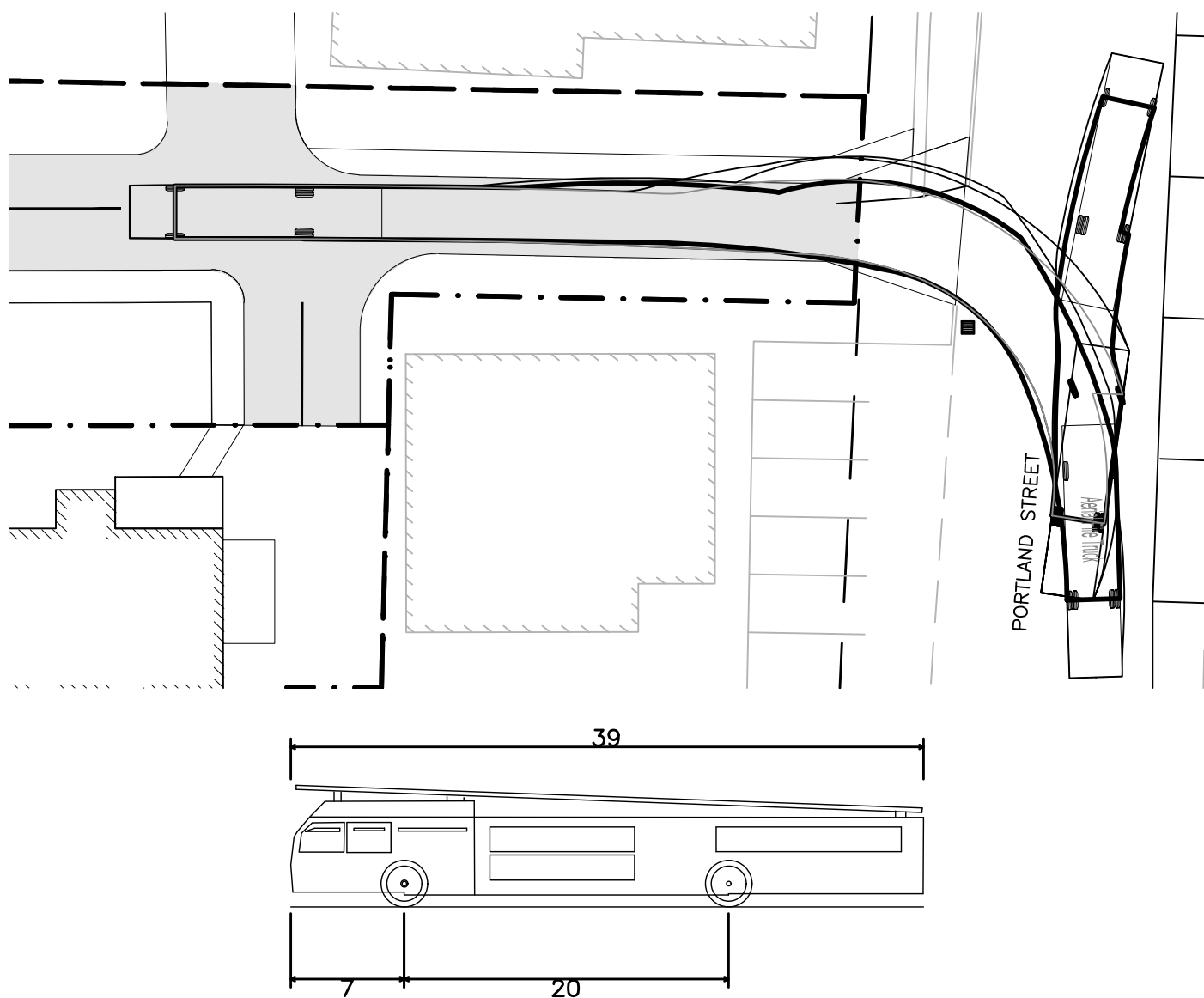
EX BUILDING – SPOT 2
SCALE: 1"=10'



EX BUILDING – SPOT 3
SCALE: 1"=10'

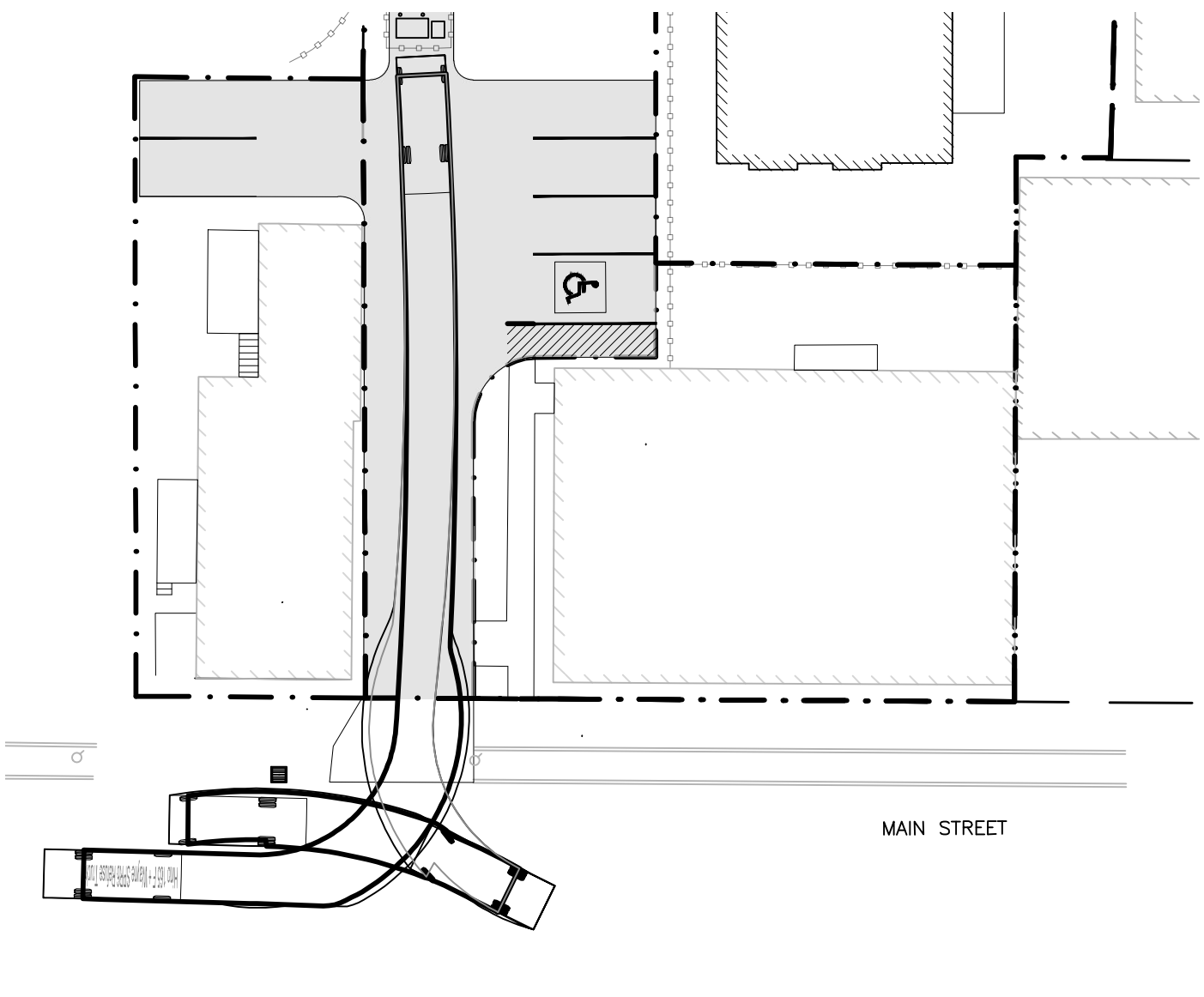


EX BUILDING – SPOT 4
SCALE: 1"=10'



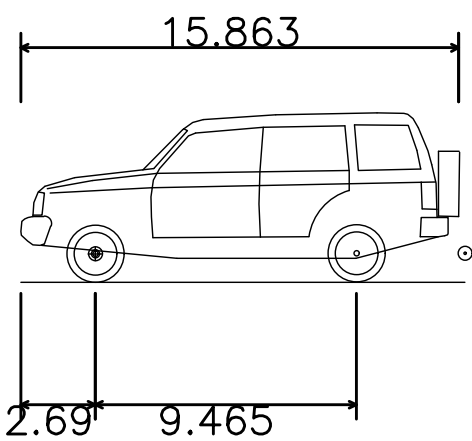
Aerial Fire Truck
Overall Length 39.000ft
Overall Width 8.167ft
Overall Body Height 7.500ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°

FIRE TRUCK ACCESS DIAGRAM
NTS



Hino 165 F + Wayne SPR6 Refuse Truck
Overall Length 21.217ft
Overall Width 7.533ft
Overall Body Height 10.399ft
Min Body Ground Clearance 1.229ft
Track Width 7.533ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 20.300ft

GARBAGE TRUCK ACCESS DIAGRAM
NTS



4 Wheel Drive Car
Overall Length 16.093ft
Overall Width 6.591ft
Overall Body Height 6.146ft
Min Body Ground Clearance 0.877ft
Max Track Width 5.961ft
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 18.783ft

| LEGEND | |
|---------------------------|-----|
| PROPERTY LINE | --- |
| EDGE OF PAVEMENT/SIDEWALK | --- |
| PAVEMENT | |
| EXISTING BUILDING | |
| PROPOSED BUILDING | |

PRELIMINARY
NOT ISSUED FOR
CONSTRUCTION

ISSUED FOR
DATE
SITE PLAN REVIEW
TAL
9/13/22
COMMENT RESPONSE
TAL
11/14/22

SITE TURN TEMPLATES

90 MAIN STREET PROJECT

PLATZ ASSOCIATES
YARMOUTH, ME

DRAWING NO.
TURN
TEMPLATES

FILE: 1178_CIVIL
JN: 1178
SCALE: AS NOTED
DESIGNED BY: TAL
DRAWN BY: AWG
CHECKED BY: WHS

ACORN ENGINEERING, INC.
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PO BOX 3372, PORTLAND MAINE 04104
(207) 775-2655

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(207) 775-2655

Exhibit 29 (Original 11/16/2022)

Project Inspiration and Reference Photographs as requested by the planning board.

The proposed single family homes were designed to fit within the character of the neighborhood in scale, massing, detailing, and style. The downtown district of Yarmouth encompasses a wide range of details, materials, and styles of buildings. Even the buildings immediately surrounding the project site as pictured here are characteristic diverse. The CBDC provides ample requirements that do not allow for new buildings to fall outside of general conformance with the neighborhood. In addition, the historic committee has reviewed the proposed plans, elevations, and 3d renderings, and offered small tweaks to the windows and doors, which we incorporated the majority of in the latest submission. While certain design choices, including the rounded corners on the bay windows and stair, might fall outside of a generic model building, there is ample precedent throughout Yarmouth's historic district of buildings that meet some general conformance while displaying details unique to that building (ex. 12 Portland's curved brackets). You will find walking the streets of Yarmouth a diverse set of solutions to window arrangements, trim detailing, overhang depth, entrance location, building height, etc. The proposed buildings meet the standard of fitting within the context of neighborhood and existing building stock.



Curved corner reference: 23 Dennis Street, Gardiner, Maine



95 Main Street: This building is the most similar in to the proposed single family homes. Two stories, double-hung windows, arched window at upper floor, front porch, two-story extension with pitched roof, bay window, etc. We are not recreating this building, but rather it is a relevant example.



90 Main Street: Shares horizontal band at the mid-level and double hung windows.



82-84 Main Street: Shares horizontal band at the mid-level / bottom of roof at gable, similar building scale.



94 Main Street:



96 Main Street:



12 Portland Street:



18 Portland Street:



34 Portland Street:



76 Main Street:

Exhibit 30 (Original 11/16/2022)

Preliminary Plan Requirements per 601 Subdivision - Article II:

B. Preliminary Plan: *The Preliminary Plan shall be submitted with three full size plan sets and ten reduced plan sets at 11" X 17" on one or more maps or drawings which shall be printed or reproduced on paper, plus an electronic (PDF) version of all plans and submissions. The number and format of copies may be revised from time to time as determined by the Director of Planning & Development, which shall be noted on the subdivision application if different from above. Such plans shall show all dimensions in feet or decimals of a foot, drawn to a scale of 1 inch equals not more than one hundred feet, showing or accompanied by the following information:*

1. Location Map: The Preliminary Plan shall be accompanied by a Location Map drawn at a scale of not over six hundred feet to the inch to show the relation of the proposed subdivision to the adjacent properties and to the general surrounding area. The Preliminary Plan shall show all the area within one thousand feet of any property line of the proposed subdivision. Within such area, the Location Map shall show:

See C101 & C102 & C103 and Civil Engineering Drawings C-01 to C-42

a. All existing subdivisions and approximate tract lines of acreage parcels together with the names of the record owners of all adjacent parcels of land, those directly abutting or directly across any street adjoining the proposed subdivision.

See C101 & C102 & C103 and Civil Engineering Drawings C-01 to C-42

b. Locations, widths and names of existing, filed or proposed streets, easements, and building lines pertaining to the proposed subdivision and to the adjacent properties.

See C101 & C102 & C103

c. The boundaries and designations of zoning districts, parks and other public spaces.

See C101 & C102 & C103

2. Proposed subdivision name or identifying title and the name of the municipality.

90 Main Street Project – Yarmouth, Maine.

3. Name and address of record owner, subdivider and designer of Preliminary Plan.

Owner: Charles L. Hewitt & Katharine Carey, 88 Main Street, Yarmouth, Maine 04096

Architect: Adam Lemire, Platz Associates, Two Great Falls Plaza, Auburn Maine 04210

4. Number of acres within the proposed subdivision, location of existing and proposed property lines, existing easements, buildings, watercourses and other essential existing physical features.

See Civil Engineering Drawings C-01 to C-42

5. The names of all subdivisions immediately adjacent the names of owners of record of adjacent acreage.

See Sheet C-102.

6. The provisions of the Zoning Ordinance applicable to the area to be subdivided and any zoning district boundaries affecting the subdivision.

7. The location and size of any existing sewers and water mains, culverts and drains on the property to be subdivided.

See Civil Engineering Drawings C-01 to C-42

8. Location, names and present widths of existing and proposed streets, highways, easements, building lines, alleys, parks and other public open spaces.

See Sheet C-102.

9. The width and location of any streets within the area to be subdivided, and the width, location, grades, and street profiles of all streets or other public ways proposed by the subdivider.

See Sheet C-102.

10. Contour lines at intervals of two feet or at such intervals as the Planning Board may require, based on United States Geological Survey datum.

Previously submitted on Sheet C-30 in the September 14, 2022 submission Preliminary Site Plan and Subdivision Review.

11. A soils report identifying the soils boundaries and names in the proposed development with the soils information superimposed upon the plot plan in accord with the USDA Soil Conservation Service National Cooperative Soil Classification.

Previously submitted in the September 14, 2022 submission Preliminary Site Plan and Subdivision Review.

12. Typical cross sections of the proposed grading for roadways and sidewalks.

See Civil Engineering Drawings C-01 to C-42

13. Date, true north point and graphic scale.

See C101 & C102 & C103.

14. Deed description map of survey of tract boundary made and certified by a registered land surveyor, tied into established reference points.

See Existing Conditions Plan – By Wayne Wood & Co Dated 8/22/22

15. Connection with existing water supply or alternative means of providing water supply to the proposed subdivision meeting the requirements of Article V.T.

See Civil Engineering Drawings C-01 to C-42

16. Connection with existing sanitary sewerage system or alternative means of treatment and disposal proposed meeting the requirements of Article V.U.

See Civil Engineering Drawings C-01 to C-42

17. If a private sewage disposal system is proposed, the location and results of tests to ascertain subsurface soils and ground water conditions meeting the requirements of Article V.U.

See Civil Engineering Drawings C-01 to C-42

18. Provisions for collecting and discharging storm drainage, in the form of a drainage plan.

See Civil Engineering Drawings C-01 to C-42

19. Preliminary designs of culverts which may be required.

See Civil Engineering Drawings C-01 to C-42

20. The proposed lot lines with dimensions, lot area, lot numbers, zoning setback lines and suggested locations of buildings.

Submitted, see C101 & C102 & C103

21. The location of temporary markers adequate to enable the Board to locate readily and appraise the basic layout in the field.

Stakes were set by the project's civil engineer for a site visit by the Planning Board on November 2, 2022.

22. All parcels of land proposed to be dedicated to public use and the conditions of such dedication.

No parcels of land are proposed to be dedicated to public use.

23. The location of all natural features or site elements to be preserved.

No significant natural features are present – site elements to be preserved are indicated on C101, C102, C103 & L101.

24. A grading plan may be required for any or all lots as determined by the Planning Board.

A grading plan was provided on Civil Drawing C-30.

25. Preliminary layout of any bridges required.

No bridges are proposed.

26. Landscape Plan showing vegetation to be preserved and planted.

Submitted, see Landscape Plan L101.

Exhibit 31 (Original 11/16/2022)

Article 5.N. Private Lot Landscaping Standards - Analysis

2. These standards apply to all Development undergoing Building and Lot Plan and Development Plan review. They shall be advisory with respect to ongoing landscape treatments on private property not subject to such review, except for placement dimensions and the prohibited plant list of Article 5.N.1.kk, below.

- a. Impermeable surface, when taken with the Lot area covered by Buildings and Structures, shall be confined to the ratio of Lot Coverage specified in Tables 5.F.2A-5.F.2C (Character District Standards).*

Standard met.

- b. Placement of Plant Materials. The spacing and placement of plants shall be adequate and appropriate for the typical size, shape and habit of the plant species at maturity.*

Standard met, additional comments will be received by Tree Warden and Tree committee upon review.

- c. Placement of Trees. Without limitation to Article 5.N.1.b above, proposed Trees shall be centered horizontally and minimally:*
 - i. Three (3) feet from walkways, curbs and other impervious surfaces or pavement when planted in a continuous bed;*
 - ii. Five (5) feet from street lights, underground utilities, utility meters and service lines, fences, walls and other ground level obstructions;*
 - iii. Six (6) feet from porch eaves, and awnings and similar overhead obstructions associated with the ground level of Buildings; and*
 - iv. Eight (8) feet from balconies, verandas, Building eaves and cornices, and similar overhead obstructions associated with the upper stories of Buildings.*

Standards met, noted on Sheet L101.

- d. Tree Size. At installation, required trees shall be a minimum height of eight (8) feet and two (2) inches in caliper at chest height (deciduous species).*

Noted on Sheet L101.

- e. Shrubs. At installation, shrubs shall be a five (5) gallon container minimum. Shrubs shall be 18 to 24 inches minimum clear from any sidewalk or pavement edge at the Lot line.*

Noted on Sheet L101.

- f. Hazardous Landscape. Ground vegetation or Shrub plantings with spines, thorns or needles that may present hazards to pedestrians, bicyclists or vehicles are prohibited in the first two (2) feet of the First Lot Layer.*

No Hazardous Plants are planned within the first two feet of the First Lot Layer.

- g. Bare / Exposed Ground. All bare or exposed ground on the site and/or in landscaped areas shall be covered with live plant materials and/or mulch, with the following exceptions:*

- i. Naturally occurring dunes, creek beds, rock outcroppings or similar landscape features typically lacking in vegetation.*
- ii. Agricultural fields seasonally tilled for cultivation.*
- iii. Hiking trails and/or traces.*
- iv. Clay or sand surfaces associated with recreation fields and facilities.*
- v. Pea stone or crushed rock in Building drip edge and utility enclosures.*
- vi. Boulders and native stones used as accents in planting beds.*

No Bare / Exposed Ground is planned, all areas have plants or are constructed.

- h. Artificial Plants / Turf. Artificial plants or artificial turf are prohibited, excluding active recreation sports fields that are typically subject to intense use and soil compaction which inhibits the establishment of turfgrass, and where paving or grass paving systems will not suffice given the purpose and level of use of the area.*

No Artificial Plants / Turf are planned.

- i. Water Features. Constructed water features such as fountains, streams and ponds that operate with water recirculation systems shall be designed to prevent seepage and leaks.*

No Water Features are planned.

- j. Buffers / Screens. Parking Areas, Parking Lots, Loading Areas, drive-through facilities, storage, dumpsters, tanks and other similar or unsightly site features shall be screened from view from any Frontage or from neighboring properties by Buildings, by a Streetscreen or by landscaping; provided that this shall not be required for any portion of a Parking Area, Parking Lot or Loading Area that is in alignment with the Driveway providing access thereto.*

Standard met, noted on Sheet L101, C101 and Civil Drawings. Dumpsters are screened with a fence, additional planting is provided along property lines without pre-existing buffers. The property owners of 18 Portland requested a reduction in plantings along the boundary, this may be adjusted based on further comment.

- k. Plant Materials. Except as otherwise required by Article 5.N.1 above, all plant materials shall meet with the minimum container size, class and other requirements outlined in American Standards for Nursery Stock (ANSI Z60.1-2004) published by the American Nursery and Landscape Association (ANLA) or other local Nursery Association Standards. Use of only native plants is strongly encouraged. See list of approved public plant material, Table 6.E.4.*

Noted on Sheet L101.

- l. Mitigation of Wind Erosion. Wind erosion shall be mitigated and controlled through dust abatement and similar practices during the period of site work and construction.*

Noted on Sheet L101.

- m. Compacted Soils. Landscape soils that have been compacted during construction activities shall be loosened and aerated to a depth of at least six (6) inches before planting.*

Noted on Sheet L101.

- n. Condition of Plants. Plants shall have normal, well-developed branches and vigorous root systems.*

Noted on Sheet L101.

- o. *Temporary Spray Irrigation. Temporary spray irrigation systems may be used to establish seeded areas for grass and groundcover.*

Noted on Sheet L101.

- p. *p. Maintenance. Except in areas of naturally occurring vegetation and undergrowth, landscaped areas shall be maintained by the Owner as follows:*
- i. *All grass and vegetation shall be lightly fertilized to avoid fertilizer pollution to groundwater, streams and ponds;*
 - ii. *No disturbed ground shall be left exposed. Turfgrass and other approved and appropriate groundcovers or mulch shall cover all non-paved and non-built developed areas;*
 - iii. *All screening and fencing shall be kept in good condition at all times;*
 - iv. *Turfgrass lawns shall be kept properly mowed and edged, plants shall be kept properly pruned and disease-free, and planting beds shall be kept mulched, groomed and weeded; and*
 - v. *Any planting(s) required under this Article 5.N, which are significantly damaged, removed, infested, disease ridden, or dead shall be replaced within one year or by the next planting season, whichever occurs first.*

Noted on Sheet L101.

- q. *Planted Trees. Any planted trees shall be species appropriate for the area and shall be selected from the Publid Planting List on Table 6.E.4, below.*

Trees were previously selected from the approved list on Table 6.E.4, it has been brought to our attention the Tree Committee and Tree Warden do not agree with the choices from the list of acceptable plants and have offered to make suggestions after reviewing the latest submitted plan.

- r. *Paving. The First Lot Layer may not be paved, with the exception of Driveways as specified in Article 5.L and Shopfront Frontages as provided in Section 5.M.6.h.*

The First Lot Layer only contains a section of concrete paver walkway.

- s. *Trees Required. A minimum of one tree shall be planted within the First Lot Layer for each 30 feet of Frontage Line or portion thereof.*

At the Main Street Frontage there is one tree proposed next to the driveway entrance. There is not enough room between the existing building and lot line for additional trees the remainder of the frontage. Two trees were added along the Lot B's Frontage Line for the 60'-4" Frontage. Two mature existing trees exist along the 58'-5" Frontage of Lot C. It is not feasible to add more trees along Lot C's Frontage.

- t. *Lawns are allowed.*

Lawns are provided at areas that are not built on, paved, or landscaped in another way.

- u. *Minimum Landscaped Area. The minimum required landscape area shall be thirty (30) percent of the First Lot Layer of the Principal Frontage and the Secondary Frontage, and not less than*

twenty (20) percent landscaped area for the entire site except where the lot coverage maximum exceeds 80%.

Max Lot Coverage maximum exceeds 80% - is 85%. Does not apply, though meets this standard throughout except at 90 Main Existing building Frontage for First Lot Layer.

- v. *Preservation of Existing Trees & Vegetation. Preservation of on-site existing trees and vegetation is encouraged and may be used to fulfill the landscape requirements. On plans submitted for approval, groups of trees and individual trees to be preserved shall be identified with lines and shading that clearly distinguishes these areas from other information appearing on the documents. The plans shall indicate in bold text that the group of trees or the individual tree and the area surrounding the drip line is not to be disturbed.*

Existing Trees and Vegetation have been proposed to be preserved to the greatest feasible degree given the site constraints. There is still some discussion in regards to the emergency access and the row of trees along the proposed Throughfare at by Portland Street and

- w. *Preservation of Root Zones. The root zones of existing Trees and vegetation to be preserved shall be preserved and protected from clearing, compaction or construction activities and shall be enclosed by a temporary protective fence.*

Temporary protective fences are noted on L101.

- x. *Natural / Naturalized Areas. Natural or naturalized areas shall not require irrigation.*

No specific irrigation is proposed.

- y. *Noxious or invasive species. No noxious or invasive plant species identified on the Prohibited Plant List in Article 5.N.1.kk below shall be installed and all plants of such species shall be removed.*

- z. **No noxious or invasive species is proposed.**

- aa. *Existing Vegetation. The size and limits of existing vegetation shall be indicated on the Landscape Plan portion of the Building and Lot or Development Plan.*

Existing Trees diameters at chest height are indicated on L101.

- bb. *Significant or Legacy Trees. Priority shall be given to preserving and protecting significant trees or Legacy Trees that provide screening, buffering, wildlife habitat and/or linkages to wildlife habitat, or that are important due to their size, species, or prominence, all as recommended by the Town Tree Warden.*

The trees identified by the Tree Warden as Significant or Legacy Trees are being protected during construction by required fences.

- cc. *Open & Civic Space. Open spaces and Civic Space shall remain fenced and protected during all Adjacent site work and construction activities unless alterations to them are otherwise specified by the plans.*

There are no Open or Civic Spaces proposed.

- dd. *Remediation of Compaction. All landscape areas compacted during construction activities shall be tilled and reconditioned to provide an arable topsoil layer that can support the long term health and vitality of the landscaping.*

Noted on L101

ee. *Parking Areas / Parking Lots. Parking Areas and Parking Lots that contain more than nine spaces shall conform to the following:*

Not Applicable. No parking lot contains more than nine spaces.

ff. *Missing from Ordinance.*

gg. *Protection from Vehicular Damage: All Landscaping required pursuant to this Article 5.N Adjacent to the paved portion of any Parking Area, Parking Lot, Loading Area, Driveway or Thoroughfare shall be located in a manner to protect the vegetation from vehicular damage. Without limiting the foregoing, all trees within tree islands or along the perimeter of the Parking Area or Parking Lot shall be separated from Parking Area or Parking Lot paved surfaces by at least three (3') feet.*

All landscaping is spaced 3'-0" center minimum from paved surfaces.

hh. *Sight Distance: No plant material required under these provisions shall result in view obstruction such that necessary sight distance is restricted to such extent as to interfere with the safe movement of vehicles and pedestrians within the Lot or entering or exiting the lot.*

No new plant material will create a view obstruction for a sight distance.

ii. *Pedestrian Walkway: In addition to any walkway or sidewalk around such Parking Area or Parking Lot, each Parking Area or Parking Lot that exceeds sixty (60) spaces shall have at least one pedestrian walkway through the lot of a minimum width of five (5) feet that is paved differently from the parking spaces with respect to texture, material, style, and/or color.*

Not Applicable, no parking lot exceeds 60 spaces.

jj. *Porous or Permeable Paving: Porous or permeable paving materials are encouraged in order to increase storm water infiltration on site.*

See Civil Engineering drawings for stormwater management information.

kk. *Prohibited Plant List*

No Plant from the Prohibited Plant list shall be used.