



**TOWN OF SCITUATE
195 DANIELSON PIKE
P.O. BOX 328
N. SCITUATE, RI 02857**

INVITATION TO BID

The Town of Scituate is currently accepting bids for:
TOPSOIL EXCAVATION FOR NEW POLICE STATION
1315 CHOPMIST HILL ROAD, SCITUATE, RHODE ISLAND

Sealed bids will be received in the Office of the Town Clerk, Town of Scituate, Scituate Town Hall, 195 Danielson Pike, Scituate, Rhode Island, until 3 p.m. on Monday, May 14, 2018 at which time they will be publicly opened and read aloud in the Town Council Chambers, Town Hall, 195 Danielson Pike, Scituate, Rhode Island.

The bid envelope should be clearly marked in the lower left-hand corner "TOPSOIL EXCAVATION FOR NEW POLICE STATION".

The scope of work includes the following:

- A. Excavate and temporarily stockpile topsoil from all areas within project limits of where the area is to be further excavated or regraded; an approximate area of 60,000 square feet; an approximate volume of 2,200 cubic yards. Bidder shall provide a unit cost, in price per cubic yard, for additional topsoil excavation should the actual volume exceed 2,200 cubic yards. This unit cost will also be used to establish a credit amount should the actual volume be less than 2,200 cubic yards. The project limits are as shown on the *Site Plans for a Proposed Municipal Police Station, Town of Scituate, Rhode Island*, prepared by Joe Casali Engineering, Inc., dated April 26, 2018, a copy of which are attached. Additional copies are available at the Building Official's Office, 195 Danielson Pike, Scituate, Rhode Island for review.
- B. Load dump truck(s) with stockpiled materials.

Provide unit cost schedule of values and overall fixed fee value (not to exceed).

The Awarding Authority reserves the right to waive irregularities and to reject any or all bids, wholly or in part, to waive any informalities or defects in any or all bids and to make awards deemed in the best interest of the Town of Scituate.

Certificates of liability insurance acceptable to the Owner shall be filed with the Owner prior to commencement of the Work. These certificates and the insurance policies shall contain a provision that coverages afforded under these policies will not be canceled or allowed to expire until at least 30 days' prior written notice has been given to the Owner.

Attention is called to the fact that not less than the prevailing wage rates shall be paid on this Project. Attention is also called to the requirements relating to Workmen's Compensation and Equal Employment Opportunities.

Any individuals requiring interpreter services for the hearing impaired should call the Town Clerk no less than seventy-two (72) hours in advance of the bid opening.

SITE PLANS FOR A PROPOSED MUNICIPAL

POLICE STATION

TOWN OF SCITUATE, RHODE ISLAND

1315 CHOPMIST HILL ROAD
SCITUATE, RHODE ISLAND
AP 35, LOT 10

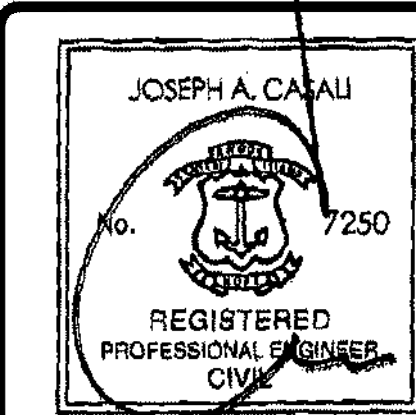
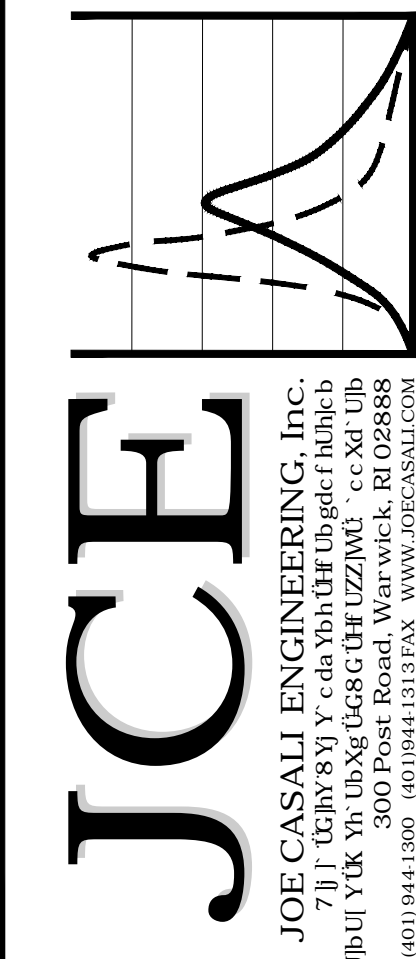
ZONING DISTRICT: RURAL RESIDENTIAL (RR120)

FILINGS:

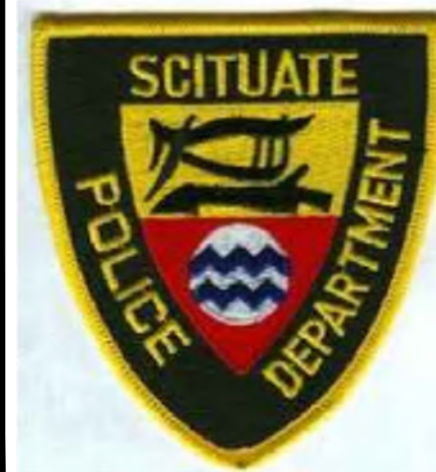
RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT OFFICE OF WATER RESOURCES - PRELIMINARY DETERMINATION
TOWN OF SCITUATE FIRE DEPARTMENT

APPROVALS:

RHODE ISLAND DEPARTMENT OF TRANSPORTATION - PHYSICAL ALTERATION PERMIT (PERMIT NO. 180322)



**PROPOSED SCITUATE
POLICE STATION**
1315 CHOPMIST HILL ROAD
SCITUATE, RHODE ISLAND
AP 35, LOT 10



REVISIONS:	
NO.	DATE DESCRIPTION

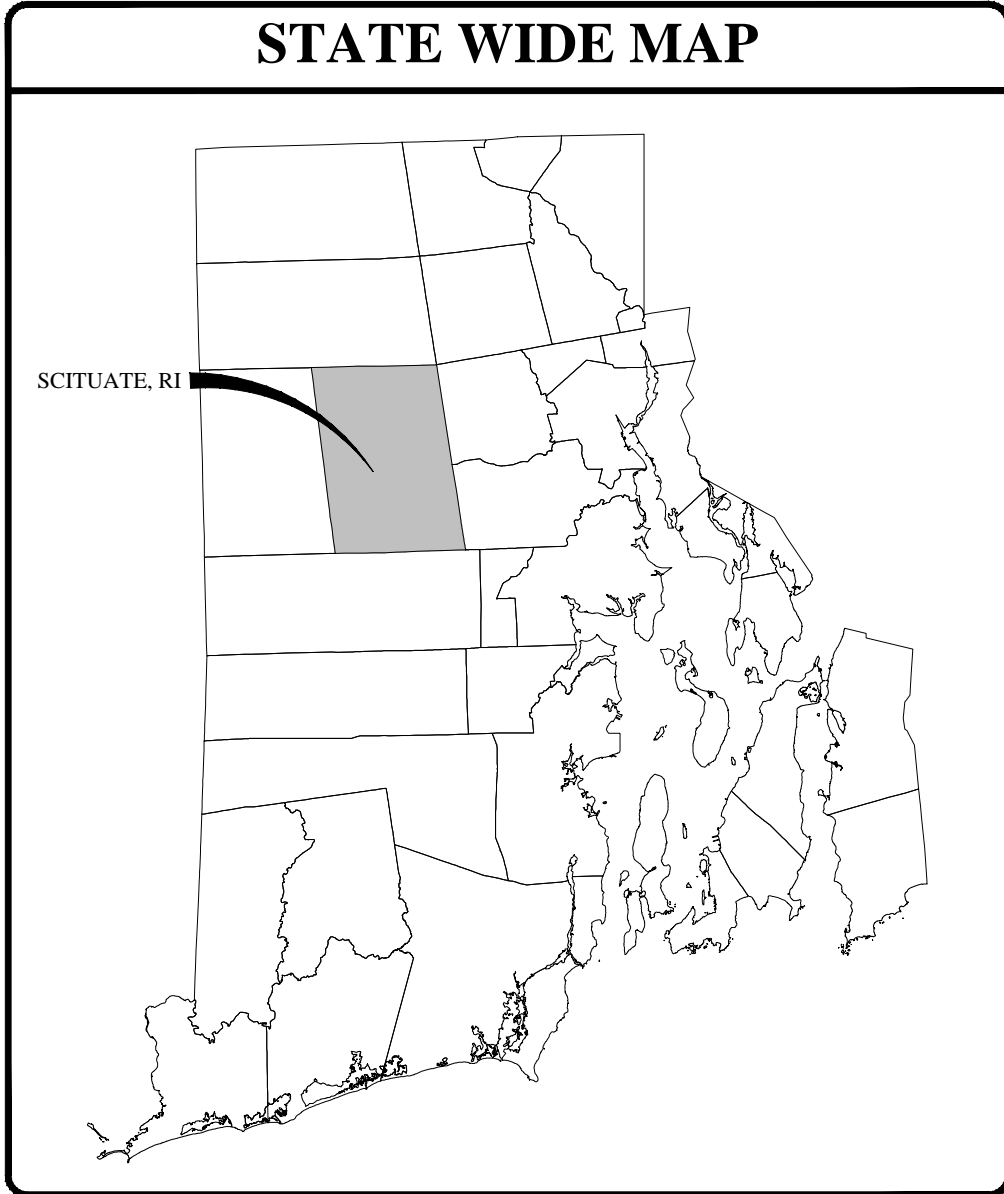
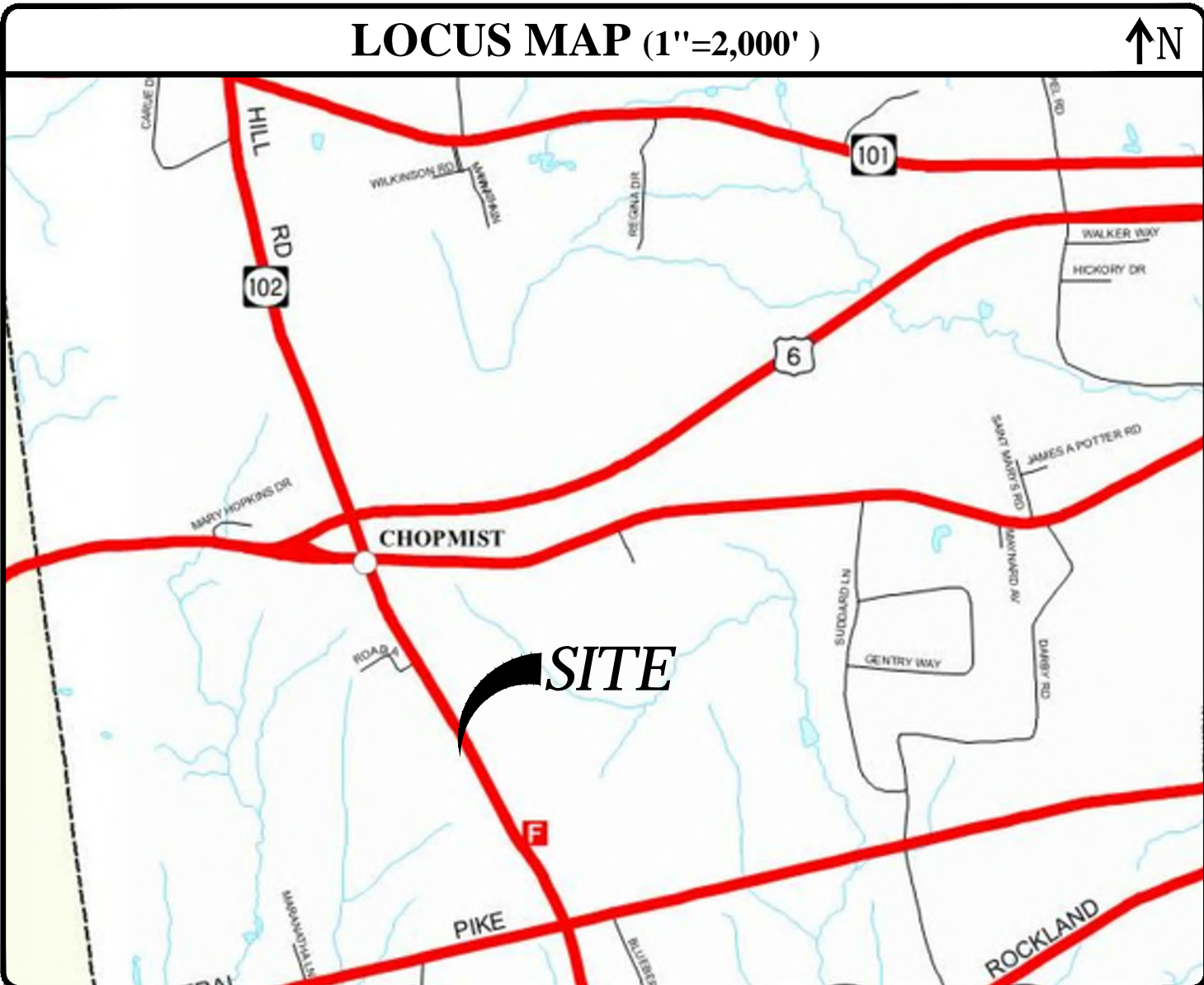
DESIGNED BY:	DRD
DRAWN BY:	SD/SEP
CHECKED BY:	DRD
DATE:	APRIL 2018
PROJECT NO:	07-109c

PRELIMINARY, NOT FOR
CONSTRUCTION

COVER
SHEET

SHEET
1 OF 9

PROJECT TEAM			
OWNER/ APPLICANT:	TOWN OF SCITUATE 195 DANIELSON PIKE PO BOX 328 SCITUATE, RI 02857 PHONE: 401-647-2822	WETLAND BIOLOGIST:	NATURAL RESOURCE SERVICES 180 TINKHAM LANE PO BOX 311 HARRISVILLE, RI 02830 PHONE: (401) 568-7490
ARCHITECT/ STRUCTURAL ENGINEER:	RICHARD CARDARELLI, AIA 51 SOCKANOSSET CROSS ROAD CRANSTON, RI 02920 PHONE: (401) 461-0030	ELECTRICAL ENGINEER:	MCCLANAGHAN ASSOCIATES, INC. 178 TREASURE ROAD NARRAGANSETT, RI 02882 PHONE: 401-524-3457
CIVIL ENGINEER:	JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 PHONE: 401-944-1300 FAX: 401-944-1313 JOECASALI.COM		
LAND SURVEYOR:	FOSTER SURVEY 8 NORTH ROAD FOSTER, RI 02825 PHONE: 401-647-9240		



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4	SITE & UTILITY PLAN
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8	DETAILS I
9	DETAILS II
REFERENCE PLAN:	
SHEET 1 OF 1	SURVEY PLAN, PREPARED BY FOSTER SURVEY, DATED FEBRUARY 26, 2018

Q:\07-108 Town of Scituate\07-108a Engineer\Town Planner\RTQ\Town of Scituate Police Station\Police Station\CDs\WORKING\SET 101.dwg Apr 27, 2018 12:09pm

GENERAL NOTES:

1. CLASS I LIMITED CONTENT BOUNDARY SURVEY AND CLASS III TOPOGRAPHIC SURVEY COMPLETED BY FOSTER SURVEY, 8 NORTH ROAD, FOSTER RI IN FEBRUARY 2018.
2. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
3. THIS SITE LIES IN ZONE X (AREAS OUTSIDE THE 500-YEAR FLOOD PLAIN), AS SHOWN ON THE FIRM MAP FOR THE TOWN OF SCITUATE, RI, MAP NUMBER 44007C0280G, EFFECTIVE DATE MARCH 2, 2009.
4. SOILS EXISTING ON THE SITE ARE WOODBRIDGE FINE SANDY LOAM (WoB), RIDGEBURY, LEICESTER, AND WHITMAN SOILS (Rd), AND PAXTON FINE SANDY LOAM (PdB).
5. SOIL EVALUATIONS PERFORMED BY JOE CASALI ENGINEERING, INC. ON AUGUST 21, 2017.
6. FRESHWATER WETLANDS CLASSIFICATION PERFORMED BY NATURAL RESOURCE SERVICES, INC. IN FEBRUARY 2018.

SITE NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
2. STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
3. ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR OR A RHODE ISLAND REGISTERED PROFESSIONAL ENGINEER.
5. ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
6. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING.
7. WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE TOWN AT NO ADDITIONAL COST TO THE OWNER.
8. ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR TOWN.
9. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
10. THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
11. ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
12. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK.
13. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
14. ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
16. REFER TO PLUMBING PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
17. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2004 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

MISCELLANEOUS UTILITY NOTES:

1. PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THEIR OPERATIONS.
3. THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR CITY.
4. EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.

LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR TOWN RIGHT-OF-WAY.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. 1988 EDITION, INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA.
5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE RIDOT SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

DRAINAGE SYSTEM NOTES:

1. THE PROPOSED DRAINAGE LINES SHALL BE ADS N-12 HPDE PIPE OR AN APPROVED EQUAL, UNLESS OTHERWISE SPECIFIED HERE WITHIN.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. THE SILT FENCE / HAY BALE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
2. THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
3. ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) OUTLET PROTECTION (STAKED HAYBALE OR STAKED HAYBALE WITH SILT FENCE) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
4. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
5. ALL SILT FENCE, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
7. THE SILT FENCE/HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SILT FENCE/HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE RESIDENT ENGINEER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
9. ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1993 AMENDED 2014.

LOAMING & SEEDING

SEEDING ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH SECTION L.02 SEEDING OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2010 EDITION (WITH LATEST ADDENDA), AND SHALL ALSO CONFORM TO THE FOLLOWING:

1. AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS AND AREAS LABELED AS 'LOAM AND SEED' ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. SCARIFY THE SUBGRADE TO A DEPTH OF 12" WITH THE TEETH OF A BACKHOE OR A POWER RAKE TO RESULT IN AN UNCOMPACTED SUBSOIL. 6" OF GOOD QUALITY TOPSOIL IS TO BE APPLIED AND RAKED TO FINISHED GRADE.
2. THE TOPSOIL IS TO BE GOOD QUALITY LOAM, FERTILE AND FREE OF WEEDS, STICKS AND STONES OVER 3/4" IN SIZE AND OTHERWISE COMPLYING WITH SECTION M.18.01 OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2010 EDITION (WITH LATEST ADDENDA).
3. PRIOR TO SEEDING OR SODDING, FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 1-2" OF THE PLANTING SOIL. APPLY AT A RATE OF 8 LBS. PER 1000 SQUARE FEET.
4. APPLY LIME AT A RATE OF ONE TON PER ACRE AND UNIFORMLY INCORPORATE INTO THE TOP 1-2" OF TOPSOIL.
5. SEEDING
AFTER THE SEED BED IS PREPARED, SEED IS TO BE BROADCAST EVENLY OVER THE SURFACE AND WORKED INTO THE TOP 1" OF SOIL. SEED SHALL BE APPROVED URI #2 OR APPROVED EQUAL. APPLY AT A RATE OF 4-5 LBS. PER 1000 SQUARE FEET OR AS OTHERWISE DIRECTED BY THE MANUFACTURER.

URI #2 IMPROVED SEED MIX, % BY WEIGHT:

40% CREEPING RED FESCUE
20% IMPROVED PERENNIAL RYEGRASS
20% IMPROVED KENTUCKY BLUEGRASS
20% KENTUCKY BLUEGRASS

RECOMMENDED SEEDING DATES ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15. AT THE CONTRACTORS DISCRETION, SEED MAY BE APPLIED BY HYDROSEEDING RATHER THAN THE METHOD DESCRIBED ABOVE.

BMP MAINTENANCE SCHEDULE:

1. ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
 - A. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS ALL PIPES, INTAKE AND DISCHARGE STRUCTURES, CATCH BASIN SUMPS, AND MANHOLES.
 - B. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL EVENT OCCURS.
2. UPON COMPLETION OF THE PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION AND CLEANING OF THE DRAINAGE SYSTEM AND ALL ASSOCIATED STRUCTURES.
3. ALL INSTALLATION, CLEANING, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL FOLLOW AT LEAST THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION MINIMUM STANDARDS, SECTION 212 AND SECTION 708. WHERE APPROPRIATE, PROCEDURES REGARDING THE DRAINAGE INSTALLATION, CLEANING, INSPECTION, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL BE FOLLOWED AS OUTLINED IN THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" (RIDEM/RICRMC, 2010).
4. AFTER CONSTRUCTION, STORMWATER BMPS SHALL BE INSPECTED AND MAINTAINED BY THE OWNER AS FOLLOWS:

ROOF DRAIN LEADERS

- PERFORM ROUTINE ROOF INSPECTIONS QUARTERLY.
- KEEP ROOFS CLEAN AND FREE OF DEBRIS.
- KEEP ROOF DRAINAGE SYSTEMS CLEAR.

SAND FILTER SYSTEM

- DURING THE SIX MONTHS IMMEDIATELY AFTER CONSTRUCTION, THE SAND FILTER SHALL BE INSPECTED AFTER THE FIRST TWO RAINFALL EVENTS OF AT LEAST 1.0 INCH TO ENSURE THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER INSPECTIONS SHALL BE CONDUCTED ON AN ANNUAL BASIS AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL TO 2 INCHES.
- SILT AND SEDIMENT SHALL BE REMOVED FROM THE FILTER BED WHEN THE ACCUMULATION EXCEEDS ONE INCH. WHEN THE FILTERING CAPACITY OF THE SAND FILTER DIMINISHES SUBSTANTIALLY (I.E. WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTANCE MANNER AT AN APPROVED AND PERMITTED LOCATION.

INFILTRATION BASIN

- DURING THE SIX MONTHS IMMEDIATELY AFTER CONSTRUCTION, THE INFILTRATION BASIN SHALL BE INSPECTED AFTER THE FIRST TWO RAINFALL EVENTS OF AT LEAST 1.0 INCH TO ENSURE THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER INSPECTIONS SHALL BE CONDUCTED ON AN ANNUAL BASIS AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL TO 2 INCHES.
- SILT AND SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE ACCUMULATION EXCEEDS SIX INCHES, OR WHEN WATER PONDS ON THE SURFACE OF THE THE DETENTION BASIN FOR MORE THAN 48 HOURS.
- SOIL EROSION GULLIES SHALL BE REPAIRED WHEN THEY OCCUR.
- THE OUTLET DEVICES SHALL BE CLEANED/REPAIRED WHEN NECESSARY.
- TRASH AND DEBRIS SHALL BE REMOVED WHEN NECESSARY.
- THE LOW FLOW ORIFICE GRATE SHALL BE INSPECTED AFTER MAJOR STORM EVENTS EXCEEDING 2 INCHES OF RAIN. ANY TRASH OR DEBRIS SHALL BE REMOVED IMMEDIATELY.
- THE OUTFLOW WEIR SHOULD BE INSPECTED ANNUALLY TO ENSURE THAT IT IS FUNCTIONING PROPERLY.

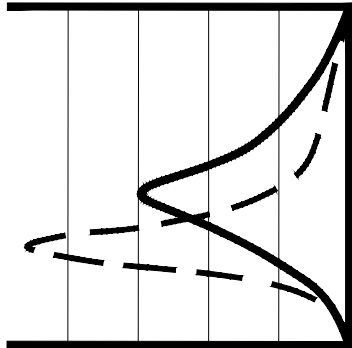
SEQUENCE & STAGING OF PROPOSED CONSTRUCTION ACTIVITIES:

THIS IS A GENERAL SEQUENCE AND STAGING OF CONSTRUCTION ACTIVITIES. A DETAILED SEQUENCE WITH TIME LINES SHALL BE ESTABLISHED BY THE CONTRACTOR IN COORDINATION WITH THE OWNER, ENGINEER AND SITE CONTRACTORS PRIOR TO THE START OF CONSTRUCTION.

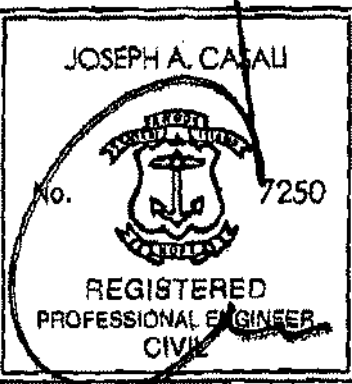
1. SURVEY AND STAKE THE PROPOSED DRAINAGE BMPS (SEDIMENT FOREBAY, INFILTRATION BASIN, TREE FILTERS AND GRASS SWALES), ROADWAY CENTERLINE, WATER LINE, OWTS LOCATIONS AND LIMIT OF DISTURBANCE. THE CONTRACTOR SHALL NOT COMPACT THE AREAS OF THE DRAINAGE BMPS DURING CONSTRUCTION OPERATIONS. CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE TO PROTECT BMPS.
2. PLACE SEDIMENTATION BARRIERS (HAY BALES OR SILT FENCE) AS SHOWN ON THE PLANS AND AS STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
3. BEGIN SITE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING ETC.) TOPSOIL IS TO STRIPPED AND STOCKPILED WITHIN DISTURBANCE LIMITS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIERS. STOCKPILES TO BE COVERED OR TEMPORARILY SEEDED.
4. EXCAVATE AND CONSTRUCT STORMWATER MANAGEMENT AREAS AS SHOWN ON PLAN. DIVERT ALL THE RUNOFF FROM DISTURBED AREAS TO THE PROPOSED STORMWATER STORAGE AREA. DIVERT ALL THE RUNOFF FROM DISTURBED AREAS TO THE PROPOSED STORMWATER STORAGE AREA.
5. INSTALL UTILITIES AND DRAINAGE INCLUDING DRAINAGE PIPE. IMMEDIATELY PLACE THE RIP-RAP AT THE DISCHARGE POINTS. SEED ALL DISTURBED AREAS.
6. BEGIN BUILDING CONSTRUCTION.
7. BEGIN PAVEMENT AND PROPOSED GRADING. BRING ROADWAY TO SUBBASE GRADE WITH GRAVEL. SEED ALL DISTURBED AREAS.
8. FINISH PAVEMENT CONSTRUCTION.
9. MAINTAIN SEDIMENT AND EROSIONS CONTROLS WHILE BUILDING ARE CONSTRUCTED.
10. FINISH LANDSCAPING AND PERMANENT STABILIZATION.
11. INSPECT AND REPAIR ALL DRAINAGE STRUCTURES INCLUDING DISCHARGE POINTS. REMOVE ANY DEBRIS (LEAVES, TREE LIMBS, BOULDERS, ETC.) FROM DRAINAGE INLETS AND OUTLETS. FLUSH ALL SEDIMENTS FROM DRAINAGE PIPES AND APPLY TOPSOIL TO PONDS.
12. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE VEGETATION HAS BEEN ESTABLISHED TO ALL DISTURBED AREAS.

LEGEND

- EXISTING PROPERTY LINE
- ABUTTING PROPERTY LINE
- - - - - BUILDING SETBACK LINE
- WETLAND EDGE
- △ WF WETLAND FLAG
- - - - - 50' PERIMETER WETLAND
- 100 ——— EXISTING CONTOUR
- 100 ——— PROPOSED CONTOUR
- ○ ○ ○ EXISTING STONE WALL
- ——— IRON PIN
- ——— DRILL HOLE
- ——— CONCRETE BOUND
- ——— GUARD RAIL
- +— DRAIN LINE
- ⊙ ——— DRAINAGE MANHOLE
- ⊞ ——— CATCH BASIN
- ——— UTILITY POLE
- OVERHEAD WIRES
- UNDERGROUND ELECTRIC
- WATER LINE
- ⊙ ——— WATER SHUT OFF VALVE
- ⊙ ——— WELL
- SEWER
- ⊙ ——— SMH
- N/F ——— NOW OR FORMERLY
- ~~~~~ TREELINE
- 100 ——— LIMIT OF DISTURBANCE
- TH-1 SOIL EVALUATION
- ⬮-101 SOIL BORING



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PROPOSED SCITUATE

POLICE STATION

1315 CHOPMIST HILL ROAD

SCITUATE, RHODE ISLAND

AP 35, LOT 10



REVISIONS:

NO. DATE DESCRIPTION

DESIGNED BY: DRD

DRAWN BY: SD/SEP

CHECKED BY: DRD

DATE: APRIL 2018

PROJECT NO: 07-109c

PRELIMINARY, NOT FOR CONSTRUCTION

GENERAL NOTES & LEGEND

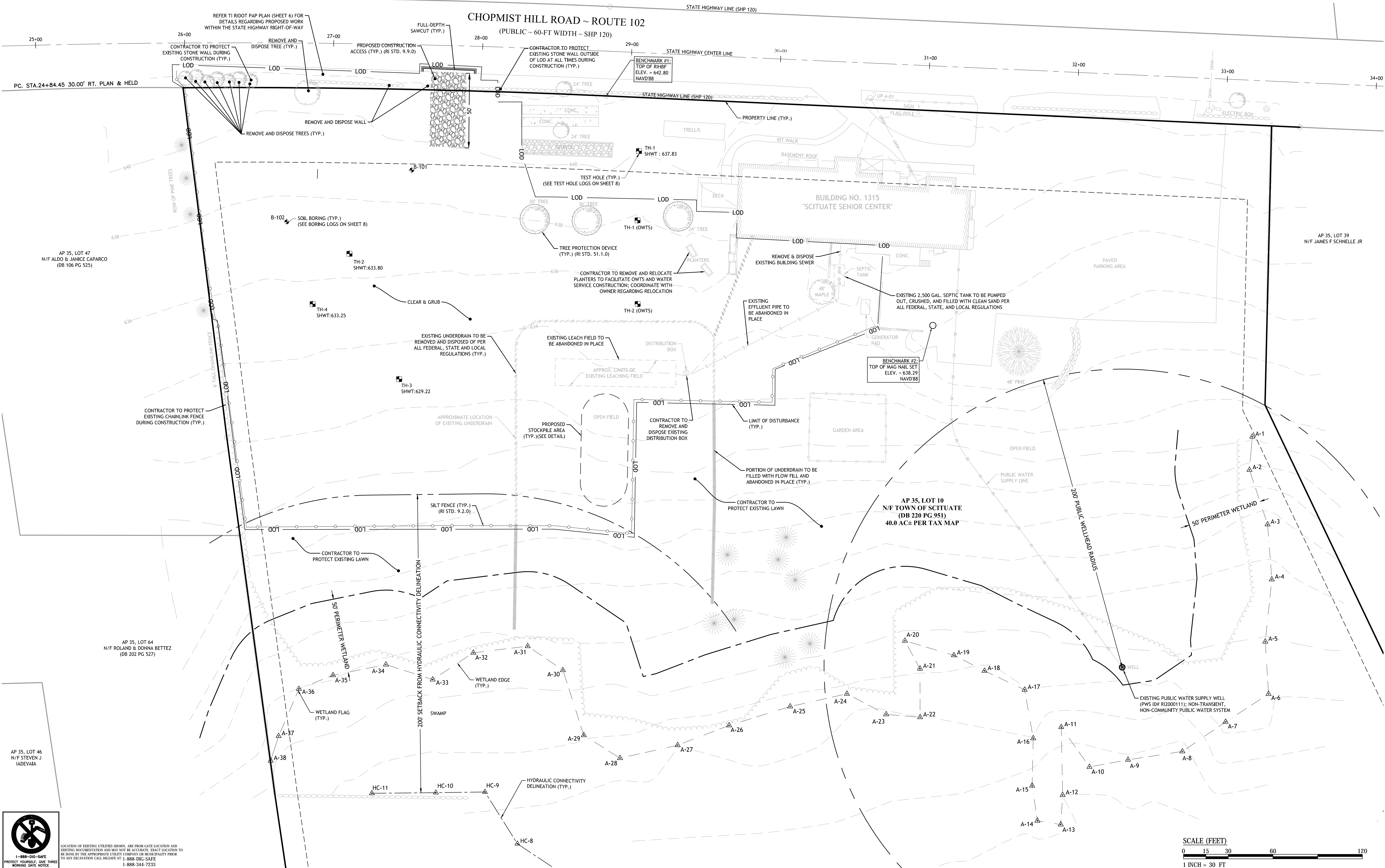
**SHEET
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ZONING CRITERIA	REQUIRED
ZONING DISTRICT	RR-120
MINIMUM LOT SIZE	120,000 SF
MINIMUM LOT WIDTH	300 FT
MINIMUM FRONT YARD DEPTH	50 FT
MINIMUM SIDE YARD DEPTH ⁽¹⁾	15 FT
MINIMUM REAR YARD DEPTH	60 FT
MAXIMUM BUILDING COVERAGE	15%
MAXIMUM BUILDING HEIGHT ⁽¹⁾	30 FT

NOTES:
1. OTHER PERMITTED USE DIMENSIONAL REGULATION

SOIL EVALUATION TEST PIT DATA		
	SURFACE EL.	SHWT / EL.
TH-1	640.00	26' / 637.83
TH-2	636.30	30' / 633.80
TH-3	631.55	28' / 629.22
TH-4	635.35	25' / 633.25

SOIL EVALUATION TEST PIT DATA (OWTS) WITNESSED BY RIDEM ON 11/14/17		
	SURFACE EL.	SHWT / EL.
TH-1	638.00	26' / 637.83
TH-2	635.00	30' / 633.80



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JOSEPH A. CASALI
7250
REGISTERED PROFESSIONAL ENGINEER
CIVIL
4.16.18

**PROPOSED SCITUATE
POLICE STATION**
1315 CHOPMIST HILL ROAD
SCITUATE, RHODE ISLAND
AP 35, LOT 10



REVISIONS:		
NO.	DATE	DESCRIPTION

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DATE:	APRIL 2018
PROJECT NO:	07-109c

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**SITE
PREPARATION
PLAN**

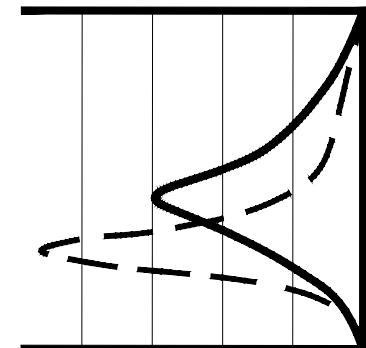
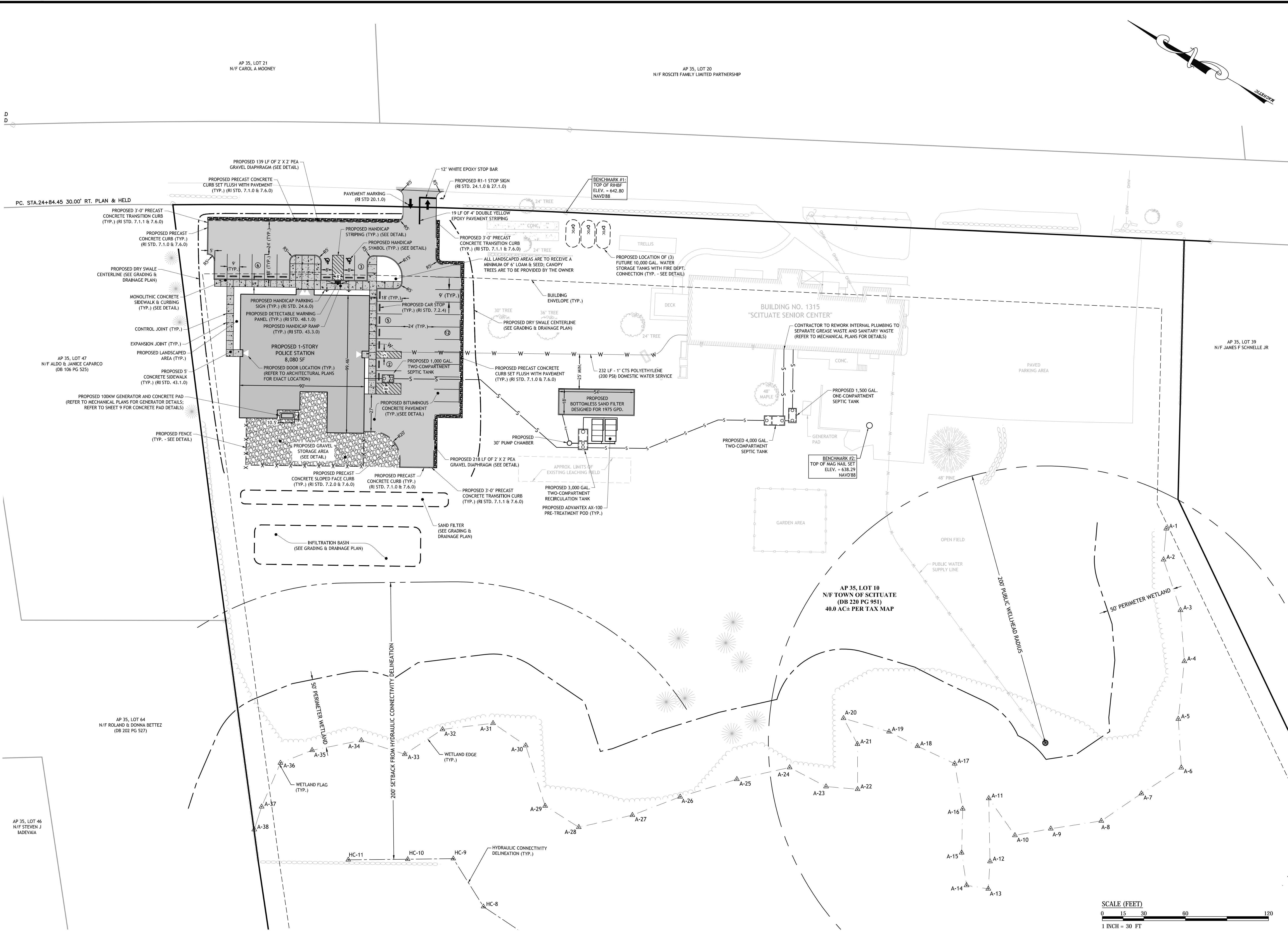
**SHEET
3 OF 9**

Q:\07-109 Town of Scituate\07-109 Police Station\ACAD\Police Station\07-109 Police Station.dwg Apr-27-2018 12:40pm

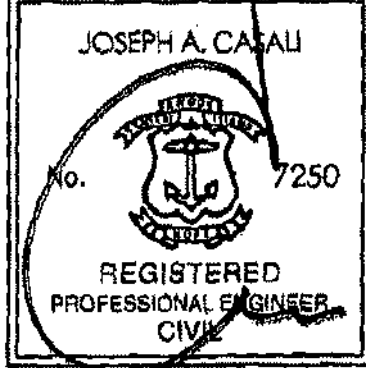


LOCATION OF EXISTING UTILITIES SHOWN ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL LOCATE AT 1-800-DIG-SAFE 1-888-344-7233

Q:\07-108 Town of Scituate\07-108 Engineer\Town Planner\RTQ Town of Scituate Engineer Files\Police Station\ACAD\Police Station CIBs (WORKING SET)3.dwg Apr-27-2018 12:40pm



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**PROPOSED SCITUATE
POLICE STATION**
1315 CHOPMIST HILL ROAD
SCITUATE, RHODE ISLAND
AP 35, LOT 10



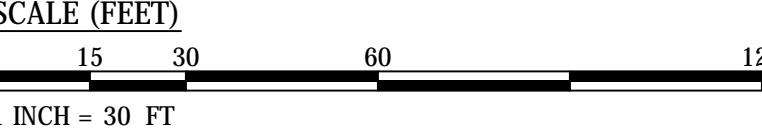
REVISIONS:		
NO.	DATE	DESCRIPTION

DESIGNED BY: DRD
DRAWN BY: SD/SEP
CHECKED BY: DRD
DATE: APRIL 2018
PROJECT NO: 07-109c

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**SITE AND
UTILITY PLAN**

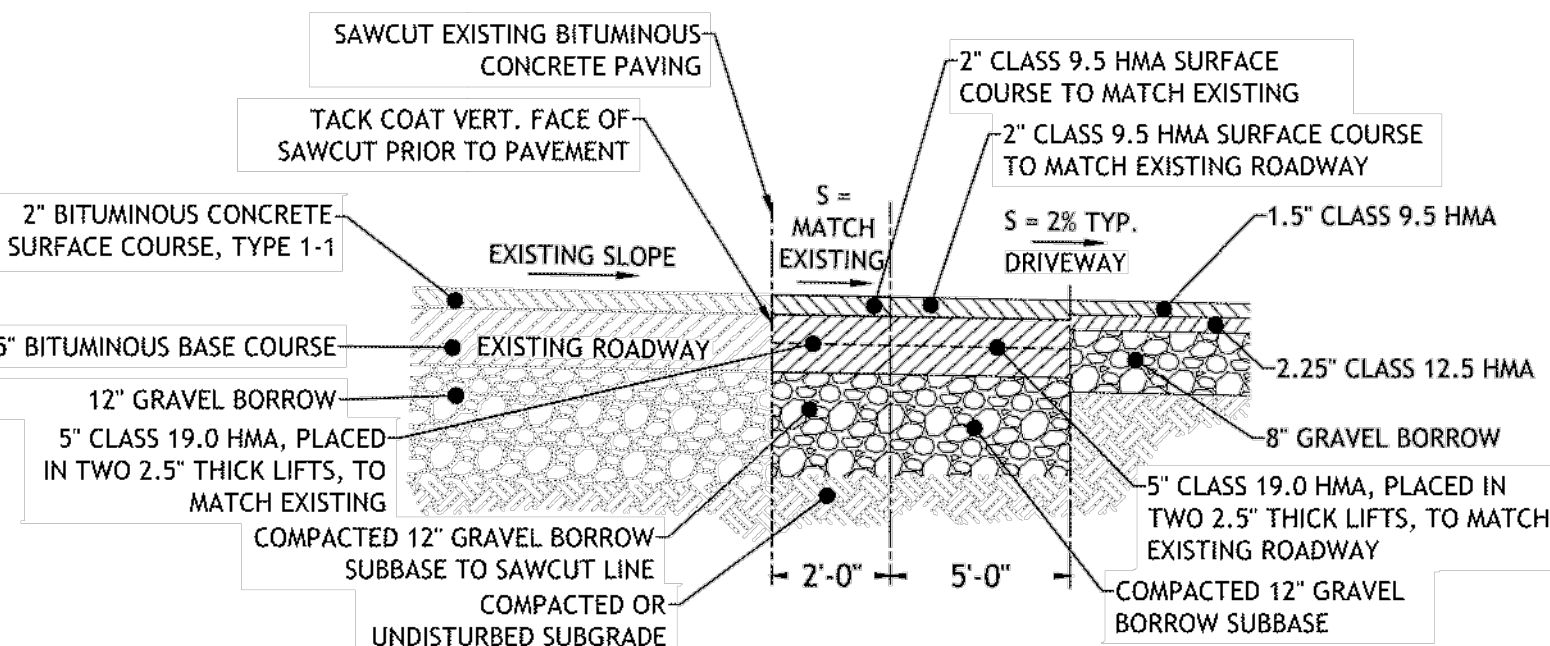
**SHEET
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RIDOT PHYSICAL ALTERATION PERMIT (PAP) PLAN FOR A PROPOSED
POLICE STATION

**1315 CHOPMIST HILL ROAD
SCITUATE, RHODE ISLAND
AP 35, LOT 10**

- NOTES:**
- ALL WORK WITHIN THE STATE'S RIGHT-OF-WAY (ROW) SHALL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED AUGUST 2013 AND STANDARD DETAILS, JUNE 15, 1988, AS AMENDED BY REVISION.
 - UTILITY WORK SHOWN AS REFERENCE. THIS WORK NEEDS TO BE PERMITTED THROUGH A UTILITY PHYSICAL ALTERATION PERMIT (PUP) WITH RIDOT'S DIVISION OF MAINTENANCE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - CONTRACTOR TO PROVIDE TEMPORARY EROSION CONTROLS TO PROTECT THE STATE ROW DURING THE DEMOLITION OF EXISTING DRIVEWAY AND CONSTRUCTION OF NEW DRIVEWAY.



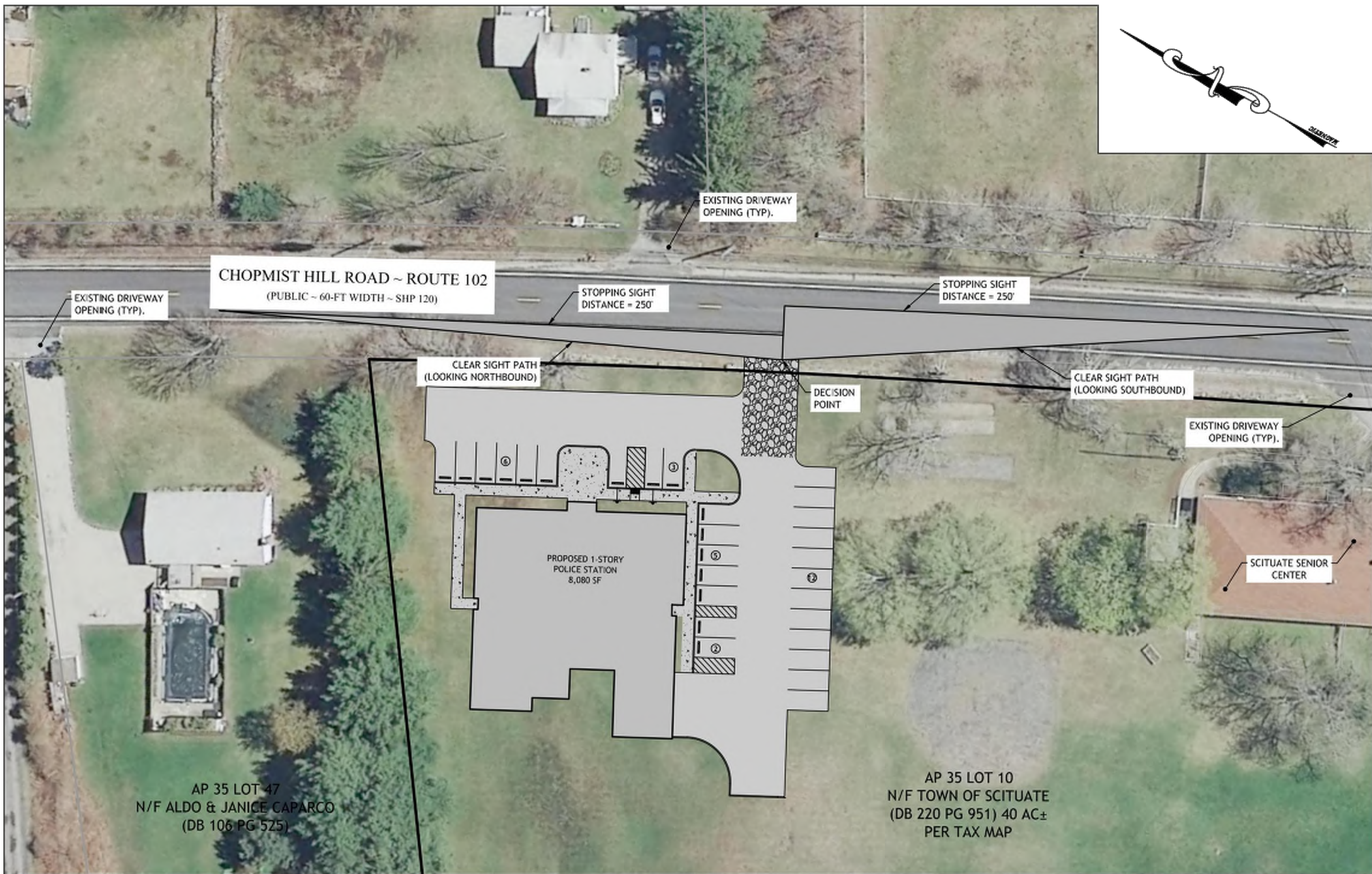
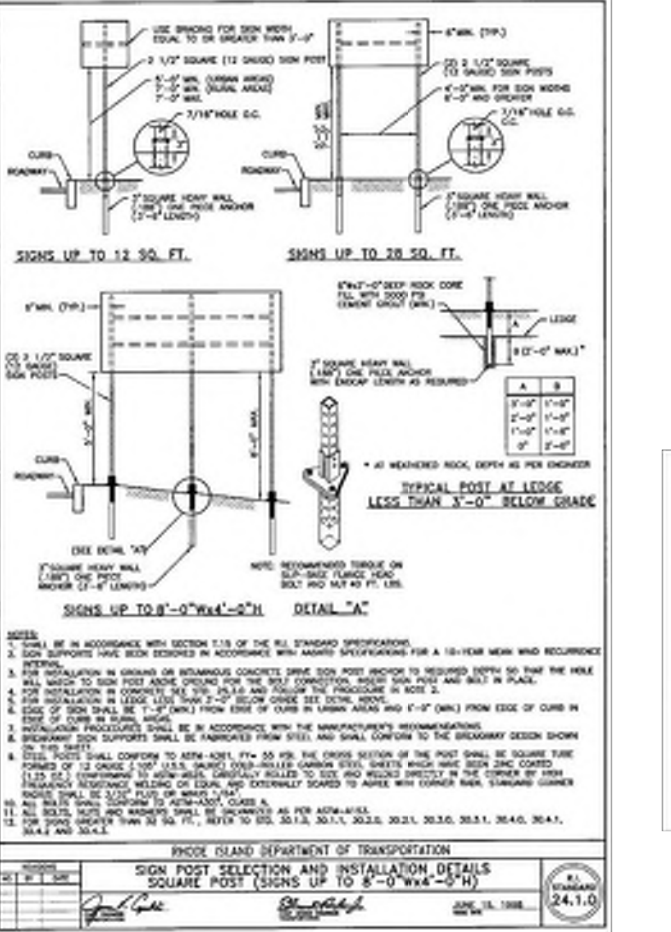
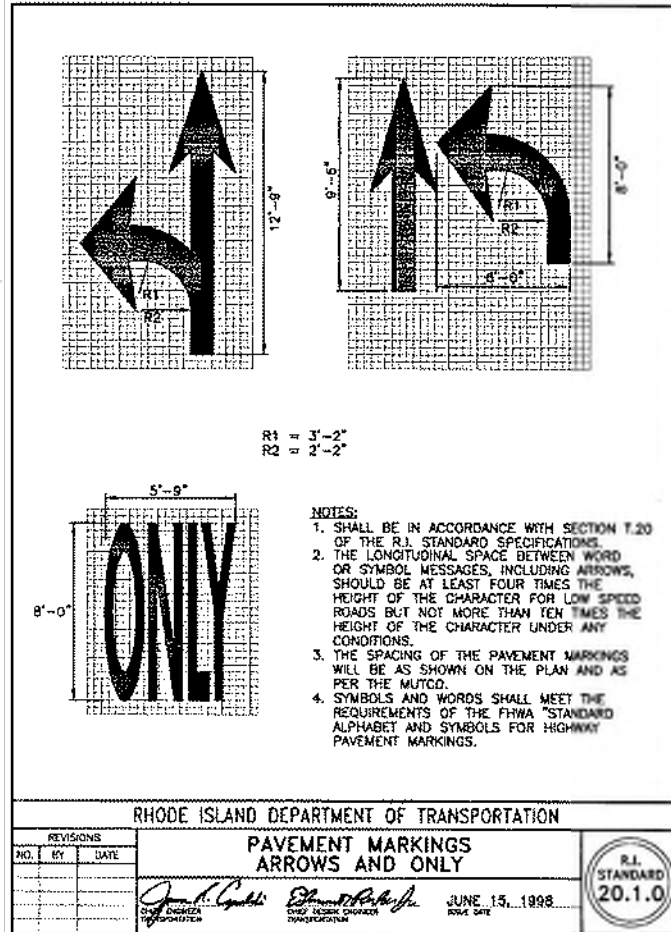
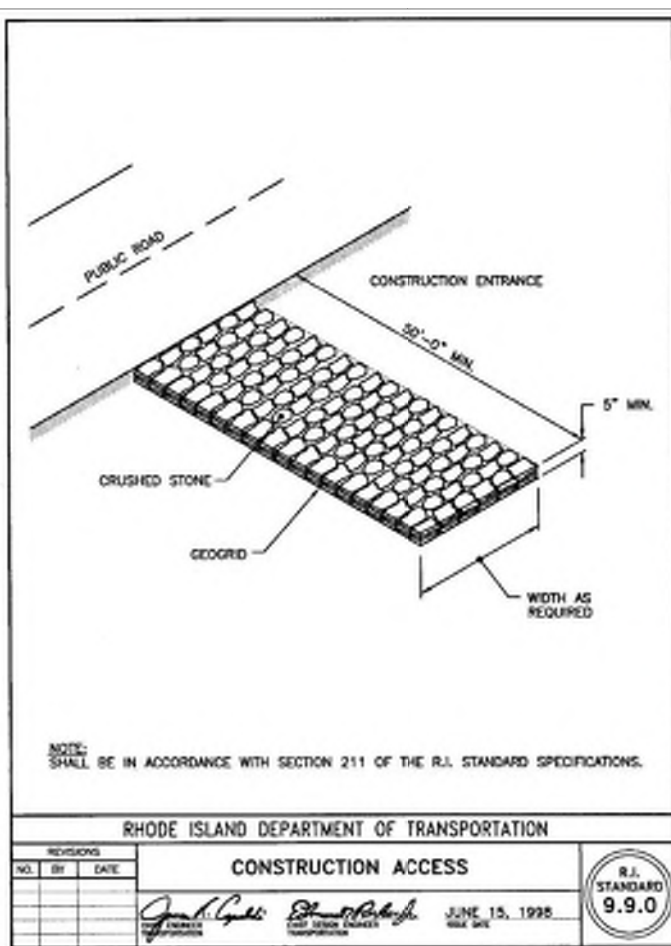
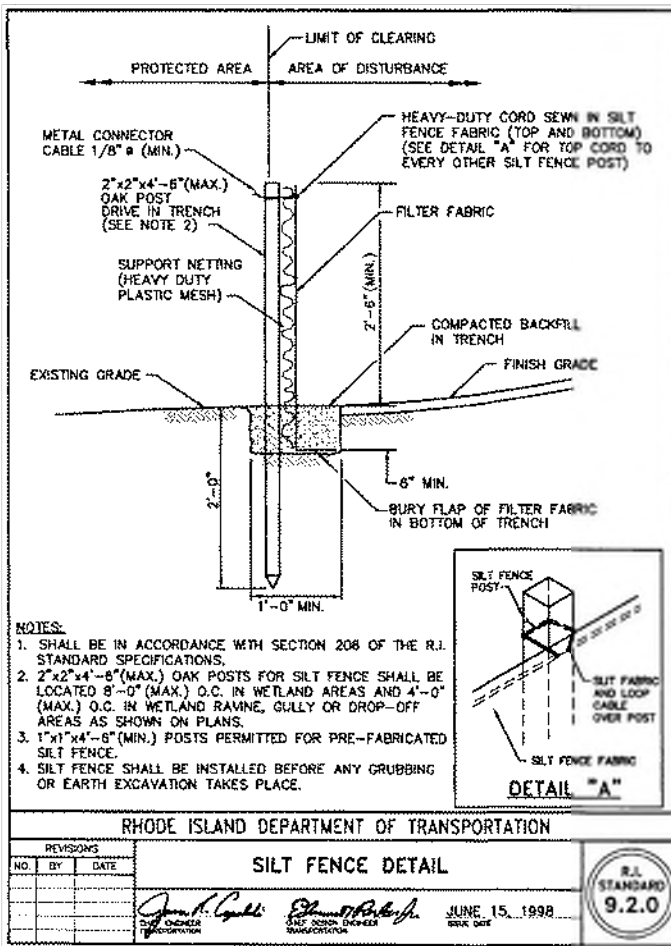
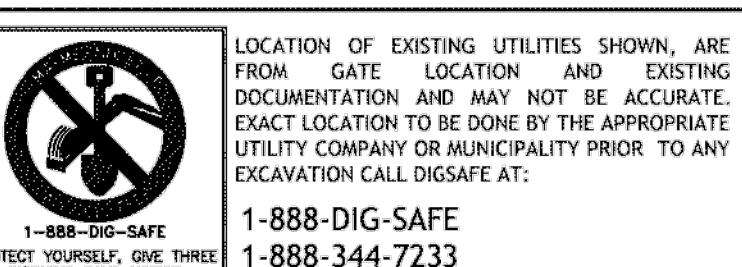
- NOTES:**
- MINIMUM COMPACTION FOR GRAVEL SUB-BASE OR SUBGRADE: 95% MODIFIED PROCTOR.
 - NO WORK SHOULD BE DONE OUTSIDE OF THE PROJECT SITE. PAVEMENT SHOULD MATCH WHERE NOTED ON THE SITE PLANS.
 - WHEN MATCHING EXISTING PAVEMENT, THE LONGITUDINAL CUT AND MATCH SECTION SHOULD NOT EXCEED PAST THE SHOULDER STRIPING.

ROW SAWCUT AND MATCH DETAIL
NOT TO SCALE

RHODE ISLAND STANDARDS

- DT REMOVE AND DISPOSE TREE
- DW REMOVE AND DISPOSE WALL
- PW PROTECT WALL
- LS LOAM & SEED
- 4DY 4" EPOXY RESIN PAVEMENT MARKINGS - WHITE
- 12W 12" EPOXY RESIN PAVEMENT MARKINGS - WHITE
- 9.2.0 SILT FENCE
- 9.9.0 CONSTRUCTION ACCESS
- 20.1.0 PAVEMENT MARKINGS
- 24.1.0 SIGN POST MOUNTING DETAIL
- 27.1.0 REGULATORY SIGN
- R1-1 STOP SIGN

- PVMT A PROPOSED DRIVEWAY ENTRANCE STRUCTURE:**
- 1.5" CLASS 9.5 HMA
 - 2.25" CLASS 12.5 HMA
 - 8.0" GRAVEL BORROW SUBBASE COURSE (RIDOT M.01.09 TYPE 1) PLACED AND COMPACTED IN 8-INCH THICK (MAX.) LOOSE LIFTS
- PVMT B EXISTING STATE ROADWAY PAVEMENT STRUCTURE PER CONTRACT NO. 9103:**
- 2.0" BITUMINOUS CONCRETE SURFACE COURSE, TYPE 1-1
 - 5.0" BITUMINOUS CONCRETE BASE COURSE (2-2 1/2" LIFTS)
 - 12" (MIN.) GRAVEL BORROW SUB-BASE COURSE



OVERALL LOCUS MAP AND SITE DISTANCE PLAN
SCALE: 1" = 40'

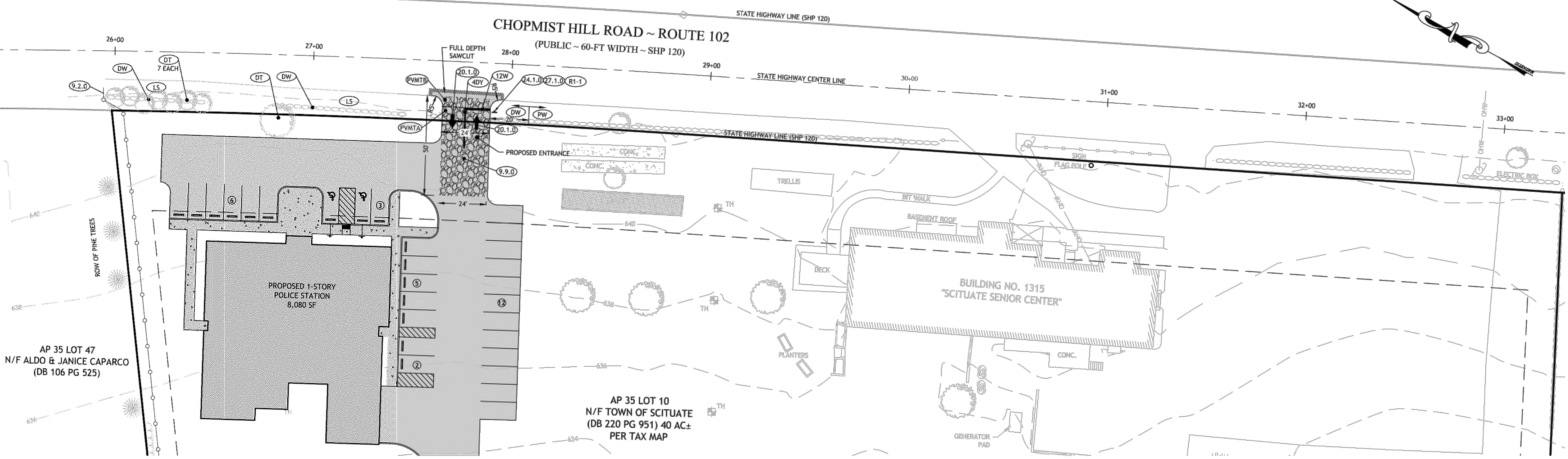
SIGN NUMBER		* R1-1	
LEGEND		STOP	
COLOR	BACKGROUND	RED	
SIGN DIMENSION	COPY	WHITE	
	WIDTH	24" 30" 36" 48"	
	HEIGHT	24" 30" 36" 48"	

DRAINAGE STATEMENT:
THE PROPOSED DRAINAGE PATTERNS WILL MIMIC THOSE OF THE EXISTING CONDITIONS WITH ALL STORMWATER SHEET FLOWING SOUTHWEST THROUGH THE SITE TOWARD EXISTING FRESHWATER WETLANDS. THERE WILL BE NO INCREASE IN STORMWATER RUNOFF RATES OR VOLUMES TO THE STATE HIGHWAY RIGHT-OF-WAY.

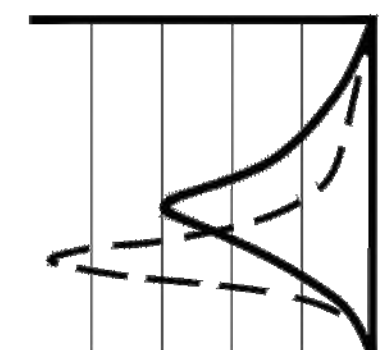
POSTED SPEED LIMIT ON CHOPMIST HILL ROAD: 35 MPH
AASHTO STOPPING SIGHT DISTANCE (SSD) REQUIREMENTS:

SPEED	DISTANCE
25	155 FT.
30	200 FT.
35	250 FT.
55	495 FT.

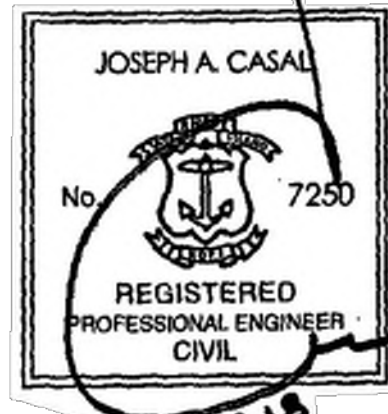
NOTE: SITE MEETS REQUIREMENTS FOR THE POSTED SPEED LIMIT ON CHOPMIST HILL ROAD BASED ON AASHTO REQUIREMENTS. THE AVAILABLE SIGHT DISTANCES AT THE PROPOSED DRIVEWAY LOCATION ON CHOPMIST HILL ROAD ARE IN EXCESS OF 250 FEET TO THE NORTH AND SOUTH. THESE VALUES ARE GREATER THAN AASHTO'S RECOMMENDED MINIMUM SIGHT DISTANCE OF 250 FEET BASED ON THE POSTED SPEED LIMIT OF 35 MPH AND THE 30 TO 45 MPH SPEEDS OBSERVED ALONG THIS SECTION OF CHOPMIST HILL ROAD.



CHOPMIST HILL ROAD STATE RIGHT-OF-WAY PLAN
SCALE: 1" = 30'



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**PROPOSED SCITUATE
POLICE STATION**
1315 CHOPMIST HILL ROAD
SCITUATE, RHODE ISLAND
AP 35, LOT 10



REVISIONS:
NO. DATE DESCRIPTION
1 3.28.2018 RIDOT COMMENTS

DESIGNED BY: DRD
DRAWN BY: NHH
CHECKED BY: DRD
DATE: MARCH 2018
PROJECT NO: 07-109c

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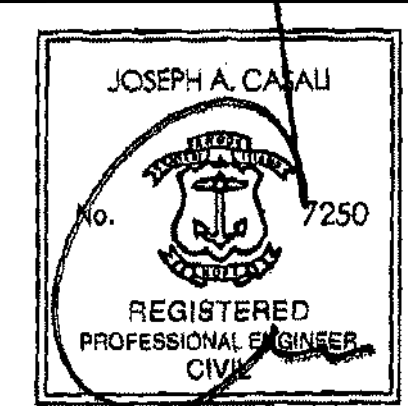
RIDOT PAP PLAN

**SHEET
6 OF 9**

JCE

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JOSEPH A. CASALI
No. 7250
1997
DESIGN AWARD



***PROPOSED SCITUATE
POLICE STATION***
1315 CHOPMIST HILL ROAD
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AP 35, LOT 10



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DETAILS II

SHEET
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