

UNIFIED DEVELOPMENT CODE

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CHAPTER 1

GENERAL PROVISIONS

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1.01.00 TITLE

This code shall be known as and entitled the "Tift County Unified Development Code" and may be referred to as the "UDC."

1.02.00 AUTHORITY

This UDC is enacted pursuant to the requirements and authority of Article IX, Section 2, Paragraph 4, of the Georgia Constitution and the amendments thereto.

1.03.00 APPLICABILITY

1.03.01 Generally

- A. This UDC shall apply to unincorporated Tift County.
- B. No buildings, structures, or land shall be used or occupied and no building, structure, or part thereof shall be erected, constructed, reconstructed, moved, enlarged, or structurally altered unless in conformity with the regulations of this UDC.
- C. A change of use shall conform to the standards, criteria, requirements, and procedures of this UDC.

1.03.02 Exemptions and Exceptions

The following general conditions or circumstances are exempt from the provisions and requirements of the UDC:

- A. Buildings or structures that are legally under construction on the date of adoption of the UDC;
- B. Buildings or structures for which a building permit has been issued as of the effective date of this UDC, provided that construction commences prior to the expiration of the building permit, and continues until completed;
- C. Development pursuant to an approved development plan or subdivision plat approved prior to the effective date of this UDC; or
- D. The use of property lawfully approved prior to the effective date of this UDC.

1.04.00 PURPOSE AND INTENT

1.04.01 Intent

These regulations are enacted to promote the proper location, height, bulk, number of stories, and size of buildings and other structures, sizes of yards, courts, and the use of other open spaces, density and distribution of population, and the use of buildings,

structures, and land for trade, industry, residence, recreation, agriculture, forestry, conservation, sanitation, protection against floods, and public activities.

1.04.02 Purpose

The purpose of these regulations is to:

- A. Lessen congestion in the streets.
- B. Secure safety from fire, panic, and other dangers.
- C. Promote health and the general welfare.
- D. Provide adequate light and air.
- E. Prevent the overcrowding of land.
- F. Avoid undue concentration of population.
- G. Prevent urban sprawl.
- H. Assure the provision of required streets, utilities, and other facilities and services.
- I. Assure the adequate provision of safe and convenient traffic access and circulation, both vehicular and pedestrian.
- J. Assure the provision of space for recreational, educational, and other public purposes.
- K. Promote desirable living conditions and the sustained stability of neighborhoods.
- L. Protect against blight and decline.
- M. Secure economy in governmental expenditures.
- N. Conserve the value of buildings.
- O. Encourage the most appropriate use of land, buildings, and structures.
- P. Assure that land is developed in conformity with the Comprehensive Plan.

1.05.00 RELATIONSHIP TO THE COMPREHENSIVE PLAN

The Greater Tift County Comprehensive Plan is the official development policy and implementation guide for the County to coordinate and direct physical and economic

development, related public investment, and, to provide reasonable regulations for the development of private property in the interest of public health, safety, and welfare. This UDC is designed to implement all provisions of the Comprehensive Plan for the development and use of land.

1.06.00 MANAGER

The County Manager is the chief administrative official of Tift County. For the purposes of this UDC, the term "Manager" is used to refer to the County Manager. The County Manager is assigned to administer, interpret, and implement the standards, criteria, and procedures of this UDC for the elected body. The County Manager may delegate such responsibilities in writing to County staff as he/she feels appropriate. Throughout this UDC, the term "Manager" is used to indicate the responsibility for specified actions, except where specified actions are reserved or specifically delegated by law to another official. In all instances, "Manager" means the "County Manager, or his/her designee."

1.07.00 DOCUMENTS ADOPTED BY REFERENCE**1.07.01 Greater Tift County Zoning Map**

The Greater Tift County Zoning Map, together with all explanatory matter thereon, is hereby adopted by reference and declared to be a part of this UDC.

1.07.02 City of Tifton-Tift County Thoroughfare Plan

The City of Tifton-Tift County Thoroughfare Plan, together with all explanatory matter thereon, is hereby adopted by reference and declared to be a part of this UDC.

1.07.03 Georgia Storm Water Management Manual

The Georgia Storm water Management Manual (GSMM) is hereby adopted by reference and declared to be a part of this UDC. The GSMM provides the data and requirements to be implemented in Tift County to control storm water runoff and protect water quality.

1.07.04 Building and Construction Codes

Each building and construction code listed in Sections 1.07.04 (A) through (H) is hereby adopted by reference as if set forth in its entirety. The following codes as required by the laws and statutes of the State of Georgia to include any attachments, future editions, and amendments as adopted by the Georgia Department of Community Affairs.

- A. ICC International Building Code with Georgia Amendments.
- B. National Electric Code with Georgia Amendments.
- C. ICC International Fuel Gas Code with Georgia Amendments.
- D. ICC International Mechanical Code with Georgia Amendments.

- E. ICC International Plumbing Code with Georgia Amendments.
- F. ICC International Residential Code with Georgia Amendments.
- G. ICC International Energy Conservation Code with Georgia Amendments.
- H. ICC International Fire Code with Georgia Amendments.
- I. Optional Codes may be individually adopted.

1.07.05 Water Resource Protection Districts

The map depicting groundwater and water resource protection districts in Tift County is hereby adopted by reference and declared to be part of this UDC.

1.07.06 (Reserved)**1.07.07 Technical Standards Manual**

The Technical Standards Manual containing the engineering and design standards for Tift County, GDOT and other agencies is hereby adopted by reference and declared to be part of this UDC as Chapter 7.

1.08.00 RULES OF INTERPRETATION**1.08.01 Generally**

- A. Specific provisions of this UDC shall be followed in lieu of general provisions that may be in conflict with the specific provision.
- B. In the interpretation and application of this UDC all standards, provisions, and requirements shall be liberally construed in favor of the objectives and purposes of Tift County and shall not be construed to limit nor repeal any other powers granted under State statutes.
- C. Where provisions of this UDC conflict with other regulations, the more stringent restrictions shall be applied.

1.08.02 Responsibility for Interpretations

- A. In the event that any question arises concerning the application of regulations, standards, definitions, development criteria, or any other provision of this UDC, the Manager shall be responsible for interpretation. In the interpretation of this UDC, the Manager shall be guided by the Greater Tift County Comprehensive Plan, as appropriate, and applicable State law.
- B. Responsibility for interpretation by the Manager as set forth in this section shall be limited to standards, regulations, and requirements of this UDC, and shall not

be construed to include interpretation of any technical codes adopted by reference in this UDC. Interpretation shall not be construed to override the authority assigned to the Board of Commissioners, or to any other board or committee appointed by the Tift County Commissioners, or official named in other sections or chapters of this UDC.

1.08.03 Rules for Boundary Interpretations

Interpretations regarding boundaries of zoning districts shall be made in accordance with the following:

- A. Boundaries shown as following or approximately following any street shall be construed, as following the centerline of the street.
- B. Boundaries shown as following or approximately following any platted lot line or other property line shall be construed as following such line.
- C. Boundaries shown as following or approximately following the shoreline of a river, stream, lake or other water body shall be construed as following such shoreline.

1.08.04 Rules of Construction

- A. Words used in the present tense include the future tense.
- B. Words used in the singular include the plural, and words used in the plural include the singular.
- C. The masculine gender includes the feminine and the neuter.
- D. The word "person" includes a firm, partnership, company, corporation, or association as well as individuals.
- E. The word "shall" is always mandatory; the word "may" or "should" is permissive.
- F. "Or" may be read "and," may be read "or," if the sense requires it.
- G. The term "written" or "in writing" shall include any representation of words, letters, or figures, whether by printing or otherwise.
- H. The term, "day" means a calendar day.
- I. The term "month" means a calendar month.
- J. The word "week" shall mean seven (7) days.
- K. The word "year" shall mean a calendar year.

1.08.05 Computation of Time

When a number of days is prescribed for the exercise of any privilege or the discharge of any duty, and if the last day falls on Saturday or Sunday, the person having such privilege or duty shall have through the following Monday to exercise the privilege or to discharge the duty. When the last day prescribed for such action falls on a public and legal holiday as provided for in O.C.G.A., section 1-4-1, the person having the privilege or duty shall have through the following day to exercise the privilege or to discharge the duty! however, when the following day is a Saturday or Sunday, the person shall have through the following Monday to exercise the privilege or to discharge the duty.

1.09.00 ACRONYMS AND DEFINITIONS

Words and phrases shall be construed according to the common and approved usage of the language! but technical words and phrases and such others as may have acquired a peculiar and appropriate meaning in law shall be construed and understood according to such meaning. The following terms are specifically defined for purposes of this UDC.

1.09.01 Acronyms

ADA - Americans with Disabilities Act
ASHTO — American Association of State Highway and Transportation Officials
BMP - Best Management Practices
DBH - Diameter at Breast Height
DHR - Department of Human Resources
DNR - Department of Natural Resources
DRI - Development of Regional Impact
EPD - Georgia Environmental Protection Division
FAA - Federal Aviation Administration
FCC - Federal Communications Commission
FEMA — Federal Emergency Management Agency
FHBM - Flood Hazard Boundary Map
FIRM - Flood Insurance Rate Map
GIS - Geographic Information System
GDOT - Georgia Department of Transportation
GSMM - Georgia Stormwater Management Manual
HVAC - Heating, Ventilation, and Air Conditioning
ICC - International Codes Council
ITE - Institute of Transportation Engineers
MSL - Mean Sea Level
NOI - Notice of Intent
NWI — National Wetland Inventory
O.C.G.A. - Official Code of Georgia Annotated
SDRC - Staff Development Review Committee
SGRC - South Georgia Regional Commission
TMA -Henry Tift Myers Airport.
UDC - Unified Development Code
USAGE - United States Army Corps of Engineers
ZBA - Zoning Board of Appeals

1.09.02 Definitions

Abutting. Immediately adjacent or contiguous.

Acceleration/deceleration lanes. Paved exits and entrances off of a major thoroughfare onto private property for the purpose of expediting the free flow of traffic.

Accessory. A use or structure which is incidental and subordinate to the principal use or structure, and which is located on the same lot as the principal use or structure.

Addition to an existing building. Any walled and roofed expansion to the perimeter of a building in which the addition is connected by a common load bearing wall other than a firewall. Any walled and roofed addition which is connected by a firewall or is separated by independent perimeter load bearing walls is new construction.

Adult entertainment establishments. Any commercial establishment, which has as its primary purposes or business the offer for sale of any book, publication, or film which depicts nudity, or sexual conduct or engages in services such as bath houses, wrestling parlors or like activity, including a night club, restaurant, cabaret, lounge, or other establishment which features adult entertainment.

Adult entertainment. Performances by topless and/or bottomless dancers, strippers, or similar entertainers, where such performances are characterized by the display or exposure of specific anatomical areas.

Agriculture. The production, keeping or maintenance, for sale, lease, or personal use, of plants and animals useful to man, including but not limited to forages and sod crops, grains and seed crops! dairy animals and dairy products, poultry and poultry products! livestock, including beef cattle, sheep, swine, horses, ponies, mules, goats, or any mutations or hybrids thereof, including the breeding and grazing of any or all such animals, bees and apiary products, fur animals, trees and forest products, fruits of all kinds, including grapes, nuts and berries, vegetables, nursery, floral, ornamental and greenhouse products. Lands devoted to a soil conservation or forestry management program. Retail selling of products raised on the premises shall be considered a normal accessory activity provided that space adequate for the parking of customer's vehicles shall be provided off the public right-of-way.

Airport definitions

Control zone. Airspace extending upward from the surface of the earth which may include one or more airports and is normally a circular area of five statute miles in radius, with extensions where necessary to include instrument approach and departure paths.

Decision height. The height at which a decision must be made during an IDS instrument approach, to either continue the approach or to execute a missed approach.

Instrument runway. A runway having an existing instrument approach procedure utilizing air navigation facilities or area type navigation equipment! for which an instrument approach procedure has been approved or planned.

Minimum descent altitude. The lowest altitude, expressed in feet above mean sea level, to which descent is authorized on final approach or during circle-to-land maneuvering in execution of a standard instrument approach procedure, where no electronic glide slope is provided.

Minimum enroute altitude. The altitude in effect between radio fixes which ensures acceptable navigational signal coverage and meets obstruction clearance requirements between those fixes.

Runway. A defined area on an airport prepared for landing and takeoff of aircraft along its length.

Visual runway. A runway intended solely for the operation of aircraft using visual approach procedures with no straight-in instrument approach procedure and no instrument designation indicated on an FAA approved airport layout plan, a military service's approved military airport layout plan, or by any planning document submitted to the FAA by a competent authority. (Ord. of 6-2-75, § 5) & 2005

Alley. A public right-of-way, not intended to and shall not provide the primary means of access to abutting property, but used for service access to the rear or side properties otherwise abutting a public street.

Animals. Animals useful to man, including but not limited to. dairy animals! poultry! livestock, including beef cattle, sheep, swine, horses, ponies, mules, goats or any mutation or hybrid thereof, including the breeding and grazing of any or all such animals! bees and small fur animals, except dogs and cats.

Animal Hospital, Veterinary Clinic. An establishment in which a licensed veterinarian provides diagnosis, treatment, or prevention of animal diseases, which may include overnight care limited to convalescence. An animal hospital does not include a kennel or boarding of well animals and is limited to domestic pets.

Appeal. A request for a review of the county's interpretation of any provision of the UDC.

Architect. A qualified person registered and currently licensed or otherwise authorized to practice architecture in the State of Georgia.

Architectural planter. A decorative container within which plantings may be placed.

Basement. The portion of a building having its floor sub-grade (below ground-level) as determined by the International Building Code or International Residential Code.

Best Management Practices (BMPs). A practice or combination of practices, including structural improvements and nonstructural actions, based on sound science and professional judgment, to be the most effective and practicable means of achieving the identified goal.

Boarding or rooming house. A building dedicated to the lodging, with or without meals, of non- transient persons for compensation.

Bond. A written instrument issued or executed by a bonding, surety, or insurance company licensed to do business in the state, guaranteeing that the person bonded shall faithfully fulfill and satisfy all requirements of this UDC, made payable to the County for costs and expenses which result from nonperformance or failure of the person bonded to satisfy the requirements of this UDC.

Breakaway wall. A wall that is not part of the structural support of the building and is intended through its design and construction to collapse under specific lateral loading forces without causing damage to the elevated portion of the building or the supporting foundation system.

Buffer (Waterway). The area of land immediately adjacent to the banks of state waters in its natural state of vegetation, which facilitates the protection of water quality and aquatic habitat.

Buffer area/Buffer strip. A landscaped open area and/or screened area designed to separate incompatible uses.

Building. Any structure built for support, shelter, or enclosure for any occupancy or storage.

Building height. The vertical distance of a building measured from the average elevation of the finished lot grade along the front of the building to the highest point of the building.

Building line. A line beyond which no foundation wall or part of the structure of any building shall project, except as set forth in Chapter 4 of this UDC.

Business entity. Any corporation, partnership, limited partnership firm, enterprise, franchise, association, or trust.

Care home. An orphanage, rest home, nursing home, convalescent home, or similar use established to render domiciliary care, but not including facilities for the care of mental patients, alcoholics, drug addicts and not including nursery schools.

Personal care home. A building or group of buildings, a facility or place in which is provided two (2) or more beds and other facilities and services, including room, meals and personal care for non-family ambulatory adults for compensation.

Family personal care home. A home for adults in a family-type residence, non-institutional in character, which offers care to two (2) through six (6) persons.

Group personal care home. A home for adult persons in a residence or other type building(s), which offers care to seven (7) through fifteen (15) persons.

Congregate personal care home. A home for adults which offer care to sixteen (16) or more persons.

Club, or lodge, private. An incorporated or unincorporated association for civic, social, cultural, religious, fraternal, literary, political, recreational, or like activities, operated for the benefit of its members and not open to the general public.

Comprehensive Plan. The most recent adopted Comprehensive Plan of the elected body of Tift County.

Condominium. A building containing three (3) or more individually owned dwelling units and related, jointly owned common areas as defined by the laws of the State of Georgia.

Conservation easement. An agreement between a landowner and a governmental agency or land trust that permanently protects the land by limiting the amount and type of development that is permissible, while leaving the remainder of the fee interest in private ownership.

Construction. Any activity which either:

1. Is of a type for which an application for a building permit must be made prior to the commencement of any improvements; or
2. Involves soil preparation for and pavement of any vehicle use area; or
3. Constitutes any activity for which a land disturbance permit is required pursuant to Chapter 3 of this UDC.

County. The County of Tift, a political subdivision of the State of Georgia.

Crosswalk. A right-of-way within a block dedicated to public use for pedestrian use only and so designed as to provide access to adjacent streets or lots.

Curb Cut. The providing of ingress and/or egress between property and an abutting public street.

Cut. A portion of land surface or area from which earth has been removed or will be removed by excavation! the depth below the original ground surface to the excavated surface and also known as excavation.

Day care/nursery. An agency, organization, or individual providing daytime care, training, education, treatment or supervision for children under fourteen (14) years of age, where such children are not related by blood, marriage or adoption to an owner or operator of the facility.

Density. The total number of dwelling units divided by the gross site area.

Developed area. The portion of a lot, excluding public rights-of-way, upon which buildings, structures, pavement, landscape materials, and/or their other improvements have been or are to be located.

Development. Any manmade change to improved or unimproved real estate, including, but not limited to, building or other structures, mining, dredging, filling, grading, paving, excavating, drilling operations, or permanent storage of materials.

Diameter at breast height (DBH). A forestry term that takes the thickness measurement of a tree at four and one-half (4.5) feet above the ground.

Drainage structure. A device composed of a virtually non-erodible material such as concrete, steel, plastic, or other such material that conveys water from one place to another by intercepting the flow and carrying it to a release point for stormwater management, drainage control, or flood control purposes.

Dwelling unit. A single unit providing complete independent living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking and sanitation.

Dwelling, manufactured home. A new or used structure, transportable in one or more sections, which, in the traveling mode, when erected on site, is 400 or more square feet and which is built on a permanent chassis and designed to be used as a dwelling unit with or without a permanent foundation when connected to the required utilities and includes the plumbing, heating, air conditioning and electrical systems contained therein, except that such term shall include any structure which meets all the requirements of this paragraph except the size requirements and with respect to which the manufacturer voluntarily files a certification required by the Secretary of Housing and Urban Development and complies with the standards established under the National Manufactured Housing Construction and Safety Standards Act of 1974, 42 U.S.C. Section 5401, seq. For the purpose of the administration of this UDC, the term manufactured home shall not be interpreted to include mobile homes. For the purposes of this definition, singlewide shall be construed as any manufactured or mobile home having a width of between 8 and 16 feet and is transported entirely in one section. These were built on or after June 15, 1976 which are required to have a HUD label attached.

Dwelling, mobile home. A new or used structure, transportable in one or more sections, which, in the traveling mode when erected on site, is 400 or more square feet and which is built on a permanent chassis and designed to be used as a dwelling unit with or without permanent foundation when connected to the required utilities and includes the plumbing, heating, air conditioning and electrical systems contained therein. These were built prior to June 15, 1976 and do not meet current Department of Housing and Urban Development manufactured home codes.

Dwelling, multi-family. A building either designed, constructed, altered, or used for more than two adjoining dwelling units, with each dwelling unit having a fire rated party wall or party floor connecting it to at least one other dwelling unit in the building. This includes apartments, condominiums, or any other type of multi-family structure.

Dwelling, single family attached. One of a series of two or more single family dwelling units built on separate lots attached to another dwelling unit on an adjoining lot by a fire rated common wall.

Dwelling, single family. A detached building used and either designed or constructed for one dwelling unit.

Dwelling, two family, or duplex. A building either designed, constructed, altered, or used for two adjoining dwelling units that are connected by a fire rated common wall and/or if two stories in height by a fire rated common floor.

Easement. A grant by the owner of land for the use of such land by others, including public usage, for a specific purpose or purposes.

Erosion. The process by which land surface is worn away by the action of wind, water, ice, or gravity.

Exterior architectural features. The architectural style, general design and general arrangement of the exterior of a building or other structure, including, but not limited to, the kind or texture of the building material! the type and style of all windows, doors, and signs! and other appurtenant architectural fixtures, features, details or elements relative to the foregoing.

Facade. Any face of a building. The dominant facade of the building is where its principal entrance is located and which may not face the street upon which its legal address is located.

Farm. A bona fide farm is the primary or principal use of land and buildings for the purpose of conducting agricultural activities including, raising, harvesting, or storing of crops; feeding, breeding, or managing livestock or poultry; producing or storing feed for use in the production of livestock; or the production of plants, trees or timber. The term farm includes the residence of the owner or operator of the farm.

Fill. A portion of land surface to which soil or other solid material has been added! the depth above the original ground.

Flood and flooding. A general and temporary condition of partial or complete inundation of normally dry land areas from: (Refer to Flood Damage Prevention Ordinance adopted July 12, 2010, effective date September 29, 2010)

1. The overflow in inland or tidal waters! or
2. The unusual and rapid accumulation or runoff of surface waters from any source.

Area of shallow flooding. A designated AO zone on a community's flood insurance rate map (FIRM) with base flood depths from one (1) to three (3) feet where a clearly defined channel does not exist, where the path of flooding is unpredictable and indeterminate, and where velocity flow may be evident.

Area of special flood hazard. The land in the floodplain within a community subject to a one percent or greater chance of flooding in any given year.

100 Year Flood Plain. The area that will be inundated by a flood event having a 1 percent chance of being equaled or exceeded in any given year. This event is also referred to as the base flood or 100- year flood.

Base Flood elevation. The computed elevation to which the floodwaters are anticipated to rise during a base flood or 100-year flood. Base Flood Elevations (BFEs) are shown on FEMA's Flood Insurance Rate Maps (FIRM).

Elevated building. A non-basement building built to have the lowest floor elevated above the ground level by means of fill, solid foundation perimeter walls, pilings, columns (posts and piers), and shear walls adequately anchored so as not to impair the structural integrity of the building during a flood event.

Existing construction. Pertaining to the regulation of structures as set forth in Section 3.02.00, means any structure for which the start of construction commenced before April 3, 1978.

Existing manufactured home park or subdivision. Pertaining to the regulation of structures as set forth in Section 3.02.00 a manufactured home park or subdivision for which the construction of facilities for servicing the lots on which the manufactured homes are to be affixed (including at a minimum the installation of utilities, the construction of streets, and final site grading or the pouring of concrete pads) was completed before April 3, 1978.

Expansion to an existing manufactured home park or subdivision. The preparation of additional sites by the construction of facilities for servicing the lots on which the manufactured homes are to be affixed, including the installation of utilities, the construction of streets, and either final site grading or the pouring of concrete pads.

Flood hazard boundary map (FHBM). An official map of a community, issued by the federal emergency management agency, where the boundaries of the areas of special flood hazard have been defined ~~as zone A.~~

Flood insurance rate map (FIRM). An official map of a community, on which the Federal Emergency Management Agency has delineated both the areas of special flood hazard and the risk premium zones applicable to the community

Flood insurance study. The official report provided by the federal emergency management agency. The report contains flood profiles, as well as the flood boundary floodway map and the water surface elevation of the base flood.

Floodplain. Any land area susceptible to flooding.

Floodway. The channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than one foot.

New construction. Pertaining to the regulation of structures as set forth in Section 3.02.00, means structures for which the start of construction commenced on or after April 3, 1978.

Floor. The top surface of an enclosed area in a building (including basement), i.e., top of slab in concrete slab construction or top of wood flooring in wood construction. The term "floor" does not include the floor of a garage used solely for parking vehicles.

Floor area, gross. The total number of square feet of floor area in a building determined by horizontal measurements between the exterior faces of walls, excluding basement areas, attic, porches, carports, and garages.

Governing authority. The Tift County Board of Commissioners.

Grade. The point of elevation of the finished surface of the ground immediately surrounding the building or structure.

Finished grade. The final elevation and contour of the ground after cutting or filling and conforming to the proposed design.

Highest adjacent grade. The highest natural elevation of the ground surface, prior to construction, next to the proposed walls of a structure.

Grading. Altering the shape of ground surfaces to a predetermined condition! this includes stripping, cutting, filling, stockpiling and shaping or any combination thereof and shall include the land in its cut or filled condition.

Ground cover. Natural mulch or low growing plants other than deciduous varieties installed for the purpose of providing a continuous cover over the surface of the ground.

Ground elevation. The original elevation of the ground surface prior to cutting or filling.

Hazardous waste. Any solid waste, by reason of its toxic, caustic, corrosive, abrasive, or otherwise injurious properties, which may be detrimental to the health of any person handling or otherwise coming into contact with such material or substance. The U.S. Environmental Protection Agency has developed a list of hazardous wastes based upon corrosively, reactivity and toxicity.

Historic structure. Any structure that is:

1. Listed individually in the National Register of Historic Places (a listing maintained by the United States Department of Interior) or preliminarily determined by the secretary of the interior as meeting the requirements for individual listing on the National Register;
2. Certified or preliminarily determined, by the secretary of the interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the secretary to qualify as a registered historic district.
3. Individually listed on a state inventory of historic places and determined as eligible by states with historic preservation programs which have been approved by the secretary of the interior, or
4. Individually listed on a local inventory of historic places and determined as eligible by communities with historic preservation programs that have been certified either:
 - a. By an approved state program as determined by the secretary of the interior, or
 - b. Directly by the secretary of the interior in states without approved programs.

Home occupation. Any business occupation or profession customarily conducted entirely within a dwelling and carried on by an occupant thereof, which use is clearly incidental and secondary to the use of the dwelling for residential purposes.

Hospital. Any institution receiving in-patients, or a public institution receiving outpatients, and authorized under Georgia law to render medical, surgical, and/or obstetrical care. The term "hospital" shall include a sanitarium for the treatment and care of senile psychotics, drug addiction or alcohol treatment, but shall not include office facilities for the private practice of medicine or dentistry.

Industrialized Building: Any structure or component thereof which is wholly or in substantial part made, fabricated, formed or assembled in manufacturing facilities for installation or assembly and installation on a building site and has been manufactured in

such a manner that all parts or processes cannot be inspected at the installation site without disassembly, damage to, or destruction thereof. OCGA 110-2-1-.01 (Does not apply to manufactured or mobile homes which are constructed under the requirements of the U. S. Department of Housing and Urban Development and bears a HUD insignia of approval)

Junkyard. Use of property for outdoor storage, keeping, abandonment, sale, or resale of junk including scrap metal, rags, paper or other scrap materials, used lumber, salvaged house wrecking, and structural steel materials and equipment, or for the dismantling, demolition, or abandonment of automobiles or other vehicles or machinery or parts thereof

Kennel. means any licensed facility, other than an animal shelter, where animals not owned by the proprietor thereof are sheltered, boarded, fed, held, trained, exercised or similarly maintained in return for a fee or other compensation.

Land disturbing activity. Any activity which may result in soil erosion from water or wind and the movement of sediments into state water or onto-lands within the-state, including, but not limited to, clearing, dredging, grading, excavating, transporting, and filling of land but not including bona fide agricultural practices.

Landscape. The placement of plant material(s) in an area, including trees, shrubs, vines, lawn grasses, ground cover, and other living plant material.

Landscape architect. A design professional registered and currently licensed or otherwise authorized to practice landscape architecture in the State of Georgia, as defined in O.C.G.A. § 43-23-1, providing the services therein defined.

Landscape designer. A person engaged in the design of landscaping for residential and nonresidential sites, but not a licensed profession authorized to practice landscape architecture.

Lot. A parcel of land described by metes and bounds or by reference to a recorded plat of survey in instrument or instruments recorded in the deed records in the office of the Clerk of the County Superior Court, and which is held in a single ownership by one (1) person or in common ownership by more than one (1) person.

Lot of record. A lot which is part of a subdivision recorded in the office of the Clerk of the Superior Court of Tift County, or a parcel described by metes and bounds, the description of which has been so recorded prior to the adoption of this UDC.

Lot width. The distance between the side lot lines, measured along the front yard setback line as established by this UDC, or if no setback line is established, the horizontal distance between the side lot lines measured along the street right-of-way line.

Lot, corner. A lot having frontage on two (2) or more public streets at their intersection.

Lot, through. A lot other than a corner lot, having frontage on more than one (1) street or a corner lot having frontage on three (3) or more streets.

Lumen. A quantitative unit measuring the amount of light emitted by a light source.

Manufactured Housing Park. An area, under single ownership and not subdivided into customary lots planned for individual ownership, containing three or more manufactured homes used as living facilities having a defined space, or an area containing three (3) or more spaces designed or intended for parking of manufactured homes to be used as living facilities for rent or lease.

Mean sea level. The average height of the sea for all stages of the tide. It is used as a reference for establishing various elections within the floodplain. For purposes of this UDC, the term is synonymous with National Geodetic Vertical Datum (NGVD).

National Geodetic Vertical Datum (NGVD) of 1929. A vertical control used as a reference for establishing varying elevations within the floodplain.

North American Vertical Datum (NAVD) of 1988. A vertical control used as a reference for establishing varying elevations within the floodplain.

Natural ground surface. The ground surface in its original state before any grading, excavation or filling.

Nephelometric turbidity units (NTU). Numerical units of measure based upon photometric analytical techniques for measuring the light scattered by finely divided particles of a substance-in suspension. This technique is used to estimate the extent of turbidity in water in which colloiddally dispersed particles are present.

Newspaper or periodical production, sales, and distribution. The operation of newspaper or periodical business including the production, sales, and distribution thereof, including all necessary presswork. Such term includes but is broader than newspaper or periodical publishing.

Newspaper or periodical publishing. This term is narrower in scope than newspaper or periodical production, sales and distribution. The term does not include presswork, sales, or distribution and is limited to the composition, layout, and non-presswork printing of a newspaper or periodical.

Night club (lounge). Places of entertainment open at night, usually serving food and alcoholic beverages, and providing music and space for dancing.

Open space. Undeveloped land suitable for passive recreation, conservation, or fallow land.

Permit. The authorization necessary to carry out construction or a land disturbing activity under the provisions of this UDC.

Person. The term "person" shall include a corporation, firm, partnership, association, organization, trust, and any other group acting as a unit, as well as an individual, including parties of interest.

Planning Commission. As utilized in this UDC, the Planning Commission shall mean the Greater Tift County Planning Commission as duly appointed by the member governments of Tift County, Georgia.

Plat. A map, generally of a subdivision, showing the location, boundaries, and ownership of individual properties.

1. **Plat, preliminary.** The first stage of plat or subdivision plan review, as described Chapter 4 of this UDC.
2. **Plat, final.** The final stage of plat or subdivision plan review, as described in Chapter 4 of this UDC.

Premises. Whenever the term "premises" is used, it shall mean place or places.

Principal building. The building containing or to contain the predominant use of a lot.

Principal use. The primary purpose for which a lot or the main building thereon is designed, arranged, or intended, and for which it is or may be used, occupied, or maintained.

Protective covenant. A private contract existing between the land subdivider or developer and subsequent property owners of a particular defined area limiting design and usage of similarly situated properties. These instruments are generally publicly recorded with a particular land subdivision, and maintenance and enforcement of the contract is between the private parties.

Real property. Any tract or parcel of land and, if developed, any buildings or structures located on the land.

Recreational vehicle. A vehicle which is one or more of the following:

1. Built on a single chassis;
2. Less than four hundred square feet when measured at the largest horizontal projection;
3. Designed to be self-propelled or permanently towable by a light duty truck and
4. Designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use.

Religious facility. A building in which persons regularly assemble for religious worship intended primarily for purposes connected with such worship, or for propagating a particular form of religious belief.

Residence. The term "residence" shall be construed to mean the place adopted by a person as his place of habitation, and to which, whenever he is absent, he has the intention of returning.

River/stream bank. The rising ground, bordering a river or a stream, which serves to confine the water to the natural channel during the normal course of flow.

Roadway drainage structure. A device, such as a bridge, culvert, or ditch, composed of a virtually non-erodible material such as concrete, steel, plastic, or other such material that conveys water under a roadway by intercepting the flow on one side of a traveled way consisting of one or more defined lanes, with or without shoulder areas, and carrying water to a release point on the other side.

School. A facility where persons regularly assemble for the purpose of instruction or education including any playgrounds, stadiums, or other structures and grounds used in conjunction therewith. This shall include but not be limited to public and private schools used for primary, secondary, or post-secondary education.

Sediment. Solid material, both organic and inorganic, that is in suspension, is being transported, or has been moved from its site of origin by air, water, ice, or gravity as a product of erosion.

Sedimentation. The process by which eroded material is transported and deposited by the action of water, wind, ice, or gravity.

Setback. The shortest distance between the defined boundary and the principal building or structure on a lot.

Shopping center. Two (2) or more commercial establishments planned and managed as a single unit.

Shrub. A woody plant normally characterized by persistent wood stems, low stature and branching near its base.

Sidewalk. The term "sidewalk" shall mean any portion of a street between the curb line and the adjacent property line, intended for the use of pedestrians, but shall not include any unimproved areas between the curb line and improved walkways.

Sign. Any surface, fabric, or device bearing lettered, pictorial, or sculptured matter designed to convey information visually and exposed to public view! or any structure (including billboard or poster panel) designed to carry the above visual information.

Abandoned Sign. A sign which no longer serves the purpose for which it was intended and has been in such a state for at least six months. It does not include a change of advertiser.

Advertising device. Any structure or device erected or intended for the purpose of displaying advertising situated upon or attached to real property.

Area of sign. The area within a continuous perimeter enclosing the limits of writing, representation, emblem or any figure of similar character, together with any frame, other material, open space or color forming an integral part of the display or used to differentiate such sign" from the background against which it is placed. The sign area of painted or affixed wall signs when composed of letters only is the sum of the areas of the smallest contiguous rectangles, each

capable of containing one such letter. For double-faced signs, only the largest display face shall be measured in computing the sign area.

Banner. Means a sign, with or without characters, letters, illustrations, or ornamentation, applied to cloth, paper, or fabric of any kind, with only such material for a backing.

Bulletin board. A sign used to announce meetings or programs to be held on the premises of a church, community recreation center, school, auditorium, library, museum, or similar non-commercial places of public assembly.

Bunting. A long, colored strip of cloth or other pliable material used for festive decorations and containing no commercial or non-commercial message, logo, or emblem and must be attached to the structure.

Construction sign. A sign erected and maintained on premises announcing the proposed or existing construction of a building or project.

Directional sign. Any sign located on the premises to direct the public to any parking areas, facility, or service located on the premises, or to direct traffic on the premises.

Elevated sign. A freestanding sign that has at least twelve (12) feet of clearance from ground level up to the bottom edge of the message area of the sign.

Flag. A usually rectangular piece of fabric of distinctive design that is used as a symbol of a government, as a signaling device, or as a decoration.

Freestanding sign. A single sign that stands unconnected to any permanent structures.

Ground sign. A freestanding sign that does not have at least twelve (12) feet of clearance from ground level up to the bottom edge of the message area of the sign.

Identification sign. A sign used to identify only the name of the individual, family, organization, or enterprise occupying the premises.

Illuminated sign, direct. A sign illuminated by an external light source directed primarily toward such sign.

Illuminated sign, indirect. A sign illuminated by an internal light source.

Off-premises sign. A sign that is not located upon the premises of the business or entity indicated or advertised. This includes products advertised in conjunction with a business or entity. In addition, off-premises signs may display noncommercial messages or noncommercial speech.

On-premises sign. A sign, other than a temporary sign, which may identify, advertise or promote a product or service, a person, place, activity, event or idea or any other thing located or obtainable on or at the location where the sign is located! and, in addition, on-premises signs may display noncommercial messages or noncommercial speech.

Point of business sign. A sign which directs attention to a business, profession, or industry located upon the premises where the sign is displayed, to type of products sold, manufactured, or assembled, and/or to service or entertainment offered on said premises, but not a sign pertaining to the preceding if such activity is only minor and incidental to the principal use of the premises.

Political Sign. A sign identifying or urging voter support for a particular election issue, Political party, or candidate for public office.

Portable sign. Any sign:

1. That is capable of being moved or intended to be moved from one location to another. Removal of wheels does not indicate permanence.
2. That is considered a portable sign in the normal course of commerce, even though the sign may be temporarily or permanently affixed to the ground.
3. The design of which indicates it is capable of being moved or intended to be moved from one location to another.
4. That is not permanently affixed to a building or the ground. That is used in such a manner as to be portable.
5. That is attached to, mounted on, painted or drawn on any vehicles, whether motorized or drawn or any moveable sign structure which may be designed for transport, which is placed, parked on or maintained at one particular location for the express purpose and intent of promotion or for conveying an advertising message for a limited time.

Principal identification sign. A permanent sign with the purpose of identifying the business premises or marketing the product or service obtainable on the premises where the sign is located.

Real estate sign. A temporary sign erected by the owner or his agent, advertising the real property upon which the sign is located for rent, lease or sale.

Sign face. The part of a sign that is or can be used for advertising purposes.

Snipe sign. A temporary sign or poster affixed to a tree, fence, telephone pole, public benches, streetlights, public property, or public right-of-way, except government and political signs.

Temporary sign. A sign of a nonpermanent design or construction used to announce the occurrence of a limited duration event or activity.

Wall sign. Any sign that shall be affixed parallel to the wall or painted on the wall of any building in such a manner as to read parallel to the wall on which it is mounted, in such a way that the wall becomes the supporting structure for, or forms the background surface of the sign provided, however, said wall sign shall not project more than 12 inches from the face of the building and shall not project above the top of the wall or beyond the end of the building.

Window sign. A sign installed inside a window and intended to be viewed from outside premises.

Slope. The relationship between a vertical distance and a horizontal distance perpendicular to the horizontal distance at the extremity thereof, e.g., a slope of twenty to one (20/1) expresses the relationship of a horizontal line of twenty units measure (feet, yards, etc.) to a vertical line perpendicular thereto of one unit of the same measure (feet, yards, etc.).

Small tree/understory tree. A self-supporting woody plant of a species which under normal conditions will develop a single or multiple trunks of a caliper diameter of at least two (2) inches at a height of six (6) inches above ground level and a maximum height at normal maturity of twenty-five (25) feet or less.

Stabilization. The process of establishing an enduring soil cover of vegetation by the installation of temporary or permanent structures for the purpose of reducing to a minimum the erosion process and the resultant transport of sediment by wind, water, ice or gravity.

Start of construction. The date the development permit was issued, provided the actual start of construction, repair, reconstruction, or improvement was within 180 days of the permit data. The actual start means the first placement of permanent construction of a structure (including a manufactured home) on a site, such as the pouring of slabs or footings, installation of piles, construction of columns, or any work beyond the stage of excavation or the placement of a manufactured home on a foundation. Permanent construction does not include initial land preparation, such as clearing, grading and filling. For a substantial improvement, the actual start of construction means the first alteration of any wall ceiling, floor, or other structural part of a building, whether or not that alteration affects the external dimensions of the building.

State general permit (stormwater). The National Pollution Discharge Elimination System (NPDES) general permit or permits for stormwater runoff from construction activities as is now in effect or as may be amended or reissued in the future pursuant to the state's authority to implement the same through federal delegation under the Federal Water Pollution Control Act, as amended, 33 U.S.C. § 1251 et seq., and subsection (f) of O.C.G.A. § 12-5-30.

State waters. Any and all rivers, streams, creeks, branches, lakes, reservoirs, ponds, drainage systems, springs, wells, and other bodies of surface or subsurface water, natural or artificial, lying within or forming a part of the boundaries of the state, which are not entirely confined and retained completely upon the property of a single individual, partnership, or corporation.

State. The terms "state" and "the state" shall mean the State of Georgia.

Street. Any and all public or private rights-of-way located which are utilized for public vehicular or pedestrian right-of-way purposes including streets, highways, roads, avenues, parkways, boulevards, alleys, and their approaches.

Arterial Street. A street which is designated as such, on the Major Thoroughfare Plan and which is intended to provide swift and safe movement of traffic through the city and county.

Collector Street. A street which is designated as such on the Major Thoroughfare Plan and which is intended to collect traffic from local streets and direct it safely to arterial streets.

Cul-de-sac. A street having only one (1) end open for access to another street, the other end being terminated by a turnaround.

Local Street. A street used for local circulation in areas providing access to abutting property.

Public Street. Right-of-way dedicated to the city, county, state or federal government or owned by the city, county, state or federal government for public street purposes.

Private Street. Right of way which has not been dedicated to the city, county, state or federal government or owned by the city, county, state or federal government for public street purposes.

Street tree. Any tree or shrub the trunk of which is located within the right-of-way of a street.

Structural erosion and sedimentation control measures or practices. Measures for the stabilization of erodible or sediment producing areas by utilizing the mechanical properties of matter for the purpose of either changing the surface of the land or storing, regulating or disposing of runoff to prevent excessive sediment loss. Examples of structural erosion and sediment control practices are riprap, sediment basins, dikes, level spreaders, grade stabilization structures, sediment traps and land grading, etc. Such measures can be found in the publication Manual for Erosion and Sediment Control in Georgia.

Structure. Anything constructed or erected with a fixed location on or in the ground, or attached to something having a fixed location on the ground.

Substantial damage. Damage of any origin sustained by a structure whereby the cost of restoring the structure to its before damaged condition would equal or exceed fifty percent (50%) of the market value of the structure before the damage occurred.

Substantial improvement. Any combination of repairs, reconstruction, alteration, or improvements to a structure taking place during a five-year period, in which the cumulative cost equals or exceeds fifty percent (50%) of the market value of the structure prior to the improvement. The market value of the-structure is the appraised value of the structure prior to the start of the initial repair or improvement, or in the case of damage, the value of the-structure prior to the damage occurring. For the purposes of this definition, substantial improvement is considered to occur when the first alteration of any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure. The term does not, however, include any project for improvement of a structure required to comply with existing health, sanitary, or safety code specifications which are solely necessary to ensure safe living conditions.

Substantially improved existing manufactured home parks or subdivisions. Any combination of repairs, reconstruction(s), rehabilitation or improvement of the streets, utilities, and pads that equals or exceeds forty percent (40%) of the value of the streets utilities and pads before the repair, reconstruction or improvement commenced.

Telecommunications facilities. The providing or offering for rent, sale, or lease, or in exchange for other value received, of the transmittal of voice, data, image, graphics and video programming information between or among points of wire, cable, fiber optics, laser, microwaves, radio, satellite or similar facilities, including towers and tall structures, with or without benefit of any closed transmission median.

Tourist home. A dwelling in which sleeping accommodations are provided or offered to transient visitors for compensation.

Tree. A self-supporting woody plant of a species which has developed (or which under normal conditions will develop) a single or multiple trunks of a caliper diameter of two (2) inches or more at a height of six (6) inches above ground level and an overall height at maturity of at least twenty (20) feet.

Trout streams. All streams or portions of streams within the watershed as designated by the game and fish division of the state department of natural resources under the provisions of the state water quality control act, O.C.G.A. § 12-5-20 et seq. Streams designated as primary trout waters are defined as water supporting a self-sustaining population of rainbow, brown or brook trout. Streams designated as secondary trout waters are those in which there is no evidence of natural trout reproduction, but are capable of supporting trout throughout the year.

Utility. Public, private water or sewer piping systems, water or sewer pumping stations, electric power lines, fuel pipelines, telephone lines, roads, driveways, bridges, river/lake access facilities, storm water systems and railroads or other utilities identified by a local government.

Variance. A grant of relief from the requirements of this UDC which permits construction in a manner otherwise prohibited by this UDC where specific enforcement would result in unnecessary hardship

Vegetative erosion and sedimentation control measures. Measures for the stabilization of erodible or sediment-producing areas by covering the soil with:

1. Permanent seeding, sprigging, or planting, producing long-term vegetative cover;
2. Temporary seeding, producing short-term vegetative cover, or
3. Sodding, covering areas with a turf of perennial sod-forming grass such practices can be found in the publication Manual for Erosion and Sediment Control in Georgia.

Vehicle use area. Any ground surface area, except public rights-of-way, used by any type of vehicle whether moving or at rest, including, but not limited to, driving, parking, loading, unloading, including vehicular uses under, on, or within buildings.

Vines. Any of a group of woody or herbaceous plants which may climb by twining or which normally requires support to reach mature form.

Visibility triangle. The area of land described as either of the following:

1. The triangular area of property on each side of a driveway formed by the intersection of the driveway and the public right-of-way line and the third side being a line connecting the ends of the two (2) other sides; or

2. The triangular area of property located at a corner formed by the intersection of two (2) or more public rights-of-way with two (2) sides of the triangular area along the abutting public right-of-way lines, measured from their point of intersection, and the third side being a line connecting the ends of the two (2) other sides.

Watercourse. Any natural or artificial stream, river, creek, channel, ditch, canal, conduit, culvert, drain, waterway, gully, ravine, or wash in which water flows either continuously or intermittently and which has a definite channel, bed and banks, and including any area adjacent thereto subject to inundation by reason of overflow or floodwater.

Wetlands. Those areas that are inundated or saturated by surface water or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs, and similar areas. The ecological parameters designating wetlands include hydric soils, hydrological vegetation, and hydrological conditions involving a temporary or permanent source of water to cause soil saturation. For the purposes of this UDC, the 1987 National Wetlands Inventory shall serve to define these potential areas.

Yard, front. That area of a lot lying between the abutting street right-of-way line and the principal building of the lot and extending across the front of a lot from side lot line to side lot line.

Yard, rear. That area of a lot extending across the rear of a lot from side lot line to side lot line and lying between the rear lot line and the principal building on the lot.

Yard, side. That area of a lot between the side lot line and the principal building on the lot extending from the front yard to the rear yard.

CHAPTER 2

ZONING DISTRICTS AND USES

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2.00.00 GENERALLY

The use of buildings, structures, and land in accordance with the Tifton-Tift County Comprehensive Plan shall comply with the use requirements for zoning districts set forth in this chapter. Buildings, structures, or land shall be occupied or used only in conformity with all of the regulations set forth in this UDC for the district in which the buildings, structures, or land are located as well as State and federal codes.

2.01.00 ESTABLISHMENT AND PURPOSE OF ZONING DISTRICTS**2.01.01 Tift County Zoning Map**

- A. The boundaries of each district are shown on a map entitled “Official Zoning Map of Tift County, Georgia”.
- B. The map shall be dated and certified by the Chairman of the Board of Commissioners of Tift County, and County Clerk.
- C. The official copy of the zoning map shall be on file in the office of the Manager, and shall be accurate including maps amendments and the date of approval of such amendments.
- D. The map may be amended according to the procedures set forth in Chapter 10.

2.01.02 Zoning Districts Applicable within Tift County

The following zoning districts are hereby established and shall apply in the unincorporated areas of Tift County.

- A. *AG – Agricultural Use.* The purpose of this district is to allow agricultural uses and uses that support agricultural activities, consistent with the maintenance of the rural countryside, with a minimum lot size of 3 acres. Further, the purpose is to preserve forests and other agricultural lands away from areas of population growth, and where intensive urban uses of land are discouraged. Single-family residential dwellings and HUD approved manufactured homes are permissible.
- B. *R-1 – Single Family Residential.* The purpose of this district is to provide single family residential areas with minimum lot sizes of one (1) acre, (43,560 square feet), said areas being protected from the depreciating effects of small lot development and excessive density and from encroachment of these uses which are incompatible to a desirable residential environment. With Tift County Environmental Health approval, such districts may use individual water supply and private sewage disposal systems. HUD approved manufactured homes are prohibited.
- C. *RR1 – Rural Single-family Residential.* The purpose of this district is to provide areas for single-family dwellings, including HUD approved manufactured homes, and specified accessory structures and uses on lots with at least one (1) acre (43,560 square feet) of area. Such lots may use individual wells and onsite sewage disposal systems according to health department requirements.
- D. *R21 – Medium-density Residential.* The purpose of this district is to provide areas for single-family residential dwellings and specified accessory structures and uses on lots with at least 21,780 square feet of land area. Such lots may use

onsite sewage disposal systems according to health department requirements. HUD approved manufactured homes are prohibited.

- E. *R12 – Medium-density Residential.* The purpose of this district is to provide areas for single-family residential dwellings and specified accessory structures and uses on lots with at least 12,000 square feet of land area. HUD approved manufactured homes are prohibited.
- F. *R8 – Medium to high density Residential.* The purpose of this district is to provide areas for single-family and duplex residential dwellings and specified accessory structures and uses. The minimum lot area is 8,000 square feet. Hud approved manufactured homes are prohibited.
- G. *R8M – Medium to high density Residential.* The purpose of this district is to create an area that in addition to conventional housing, allows HUD approved manufactured housing as a matter of right in a conventional subdivision. Lots in this district must have a minimum of 8,000 square feet. These districts shall be protected from the encroachment of incompatible uses which are detrimental to a sound residential environment. HUD approved manufactured housing parks are allowed subject to standards.
- H. *MR – Multi-family Residential.* The purpose of this district is to provide areas for high density residential development, including single-family, duplex, and multi-family dwellings and specified accessory structures and uses. The minimum lot area is 6,000 square feet.
- I. *RP – Residential/Professional.* The purpose of this district to provide locations for mixed use, limited to residential business, professional offices, educations, and institutional uses. The minimum lot area is 6,000 square feet.
- J. *CC – Community-Commercial.* The purpose of this district is to provide locations for neighborhood scale and community-serving shopping, office, personal service and other commercial development.
- K. *GB – General Business.* The purpose of this district is to provide locations for a range of commercial, office, and service uses to serve City and County residents as well as visitors.
- L. *WLI – Wholesale/Light Industrial.* The purpose of this district is to provide for areas devoted to wholesale activity and light industrial uses, which do not create excessive noise, odor, smoke, and dust.
- M. *HI – Heavy Industrial.* The purpose of this district is to provide locations for intensive manufacturing and industrial activity, which typically creates noise, odor, smoke, dust, or involves the storage or use of hazardous or combustible materials.
- N. *CA – Commercial Adult.* The purpose of this district shall be to provide a reasonable location within the community for the development of adult oriented businesses including adult entertainment establishments. Ref: Chapter 4 – 4.03.20 Adult uses and Adult Establishments.

2.01.03 Rural Planned Development District (RPD)

The purpose of the RPD District is to provide for planned, mixed use development within rural areas. This district is established to encourage creative and resourceful projects that include compatible, interrelated uses and related public facilities unified by a development plan that demonstrates compatibility between the rural planned development and adjacent rural, agricultural, and low-density development. The RPD District is a zoning district and requires approval of a site development plan. Refer to Section 4.06.00 for design requirements applicable to the RPD zoning district.

2.01.04 Urban Area Planned Development District (UPD)

The purpose of the UPD District is to provide for create planned development, which may include mixed use development, and is located within the urban service area of Tift County. These districts are intended to ensure that uses are compatible, interrelated, and are supported by adequate public facilities. A unified site development plan is required for the UPD zoning district. A UPD District proposed in rural areas within the urban service area should also ensure sustainability due to locations that are away from supporting facilities in the urban areas. Refer to Section 4.07.00 for design requirements applicable to the UPD zoning district.

2.02.00 ESTABLISHMENT AND PURPOSE OF OVERLAY DISTRICTS**2.02.01 Generally**

The purpose of overlay districts is to provide a means of modifying the site design requirements that are otherwise applicable to the underlying zoning district(s). Such design requirements are set forth in Chapter 4. When the site design standards for a base zoning district, standards for an overlay district, or supplemental standards are in conflict, the stricter standard applies.

2.02.02 Henry Tift Myers Airport Overlay District (TMA)

The Henry Tift Myers Airport Overlay District's purpose is to establish and ensure development standards and height restrictions which will afford reasonable protection of Henry Tift Myers Airport for the use of commercial, general, and recreational aviation. In order to protect the public health, safety, and welfare, there are hereby created and established certain overlay zones within the TMA Overlay District which include all the land lying beneath the approach and transitional ways related to aviation at the Henry Tift Myers Airport. Each zone has a set of standards for development. Refer to Section 4.02.02 for specific site design standards.

2.02.03 Neighborhood Redevelopment Overlay District (NRO)

The Neighborhood Redevelopment Overlay District's purpose is to encourage the redevelopment and revitalization of those neighborhoods that were originally built with substandard lot, setback, and building dimensions. The design standards are sensitive to the existing conditions of these areas, while protecting the public health, safety, and welfare of the residents of these communities. Refer to Section 4.02.03 for specific site design standards. This district shall be designated by the Tift County Commissioners as needed.

2.03.00 LAND USES PERMITTED IN EACH ZONING DISTRICT**2.03.01 Generally**

The table in Section 2.03.03 identifies those uses that are permissible within each zoning district. Buildings, structures, or land shall be occupied or used only in conformity with all of the regulations set forth herein for the district in which they are located.

2.03.02 How to Read the Table of Uses

- A. Within the table the letter "P" indicates that the land use is permissible, subject to compliance with the standards of the zoning district.
- B. The letter "S" indicates that the land use is permissible, subject to compliance with the standards of the zoning district, and the supplemental standards specified for the use. Supplemental standards are primarily contained in Section 4.03.00. Some standards are also contained in Chapter 5. The section where standards are provided is cited in the table.
- C. A blank cell indicates the land use is prohibited.
- D. Any land use that is not identified in the table is prohibited unless it is found to be substantially similar by the Manager or his/her designee.
 1. A requested use shall be considered substantially similar when the characteristics of the requested use are equivalent in type, intensity, degree, or impact when compared to a use named in the table. Such characteristics include, but are not limited to:
 - a. Typical hours of operation;
 - b. Use of outdoor storage;
 - c. Trip generation rates;
 - d. Generation of noise, light pollution, odor, smoke, electromagnetic interference, or vibration; and
 - e. Customary functions of the use.
 2. The administrative interpretation shall be subject to appeal, as set forth in Section 10.05.00

2.03.03 - Table of Uses.

ZONING DISTRICTS: P: Permissible S: Permissible Subject to Supplemental Standards Blank (-): Prohibited	AG	R1	RR1	R21	R12	R8M	R8	MR	RP	CC	GB	CA	WLI	HI	UPD/RPD
RESIDENTIAL AND SIMILAR USES															
1. Dwellings															
1.1 : Single-Family	P	P	P	P	P	P	P	P	P	S - 5.02.(F)	S - 5.02.(F)	-	S - 5.02.(F)	S - 5.02.(F)	
1.2 : Two-Family	P	-	-	-	-	P	P	P	P	-	-	-	-	-	
1.3 : Multi-Family	-	-	-	-	-	-	-	S - 4.01.04	-	-	-	-	-	-	
1.4 : Manufactured Housing	P	-	P	-	-	P	-	-	-	-	-	-	-	-	
1.5 : Manufactured Housing Parks	-	-	-	-	-	S - 4.03.07	-	-	-	-	-	-	-	-	
1.6 : Security Worker Housing, TC-TA-12-01, 08.13.12	-	-	-	-	-	-	-	-	-	-	S - 5.02.(F)	-	S - 5.02.(F)	S - 5.02.(F)	
2. Institutional															
2.1 : Family Personal Care Homes (2:6 Residents)	S - 4.03.12	-	-	S - 4.03.12	S - 4.03.12	-	S - 4.03.12	S - 4.03.12	S - 4.03.12	-	-	-	-	-	
2.2 : Group Personal Care Homes (7:15 Residents)	S - 4.03.12	-	-	-	-	-	-	S - 4.03.12	-	S - 4.03.12	-	-	-	-	
2.3 : Congregate Care Homes (16 or more)	S - 4.03.12	-	-	-	-	-	-	S - 4.03.12	-	-	-	-	-	-	
2.4 : Nursing Home	-	-	-	-	-	-	-	S - 4.03.10	-	S - 4.03.10	-	-	-	-	
3. Group Quarters															
3.1 : Boarding or Rooming House	S - 4.03.21	-	-	-	-	-	-	S - 4.03.21	-	-	-	-	-	-	
4. Agricultural Uses															
<i>NOTE: Tift County Animal Control Ordinance Also Applies to all Districts</i>															
4.1 : Animal Kennels Boarding	S - 4.03.01	-	-	-	-	-	-	-	-	-	S - 4.03.01	-	S - 4.03.01	S - 4.03.01	
4.2 : Apiculture Facilities	P	-	-	-	-	-	-	-	-	-	-	-	-	-	
4.3 : Intensive Animal Feed Lot Operations (IAFO)	S - 4.03.02	-	-	-	-	-	-	-	-	-	-	-	-	-	
4.3A : Includes Commercial Chicken Houses	S - 4.03.02	-	-	-	-	-	-	-	-	-	-	-	-	-	
4.4 : Crop Dusting Services	P	-	-	-	-	-	-	-	-	-	-	-	P	-	
4.5 : Fish Hatcheries	P	-	-	-	-	-	-	-	-	-	-	-	-	-	
4.6 : Forestry and Silviculture	P	-	-	-	-	-	-	-	-	-	-	-	-	-	
4.7 : Livestock and Fowl Sales	P	-	-	-	-	-	-	-	-	-	-	-	-	P	
4.8 : Commercial & Non Commercial Farms	S - 4.03.02	-	-	-	-	-	-	-	-	-	-	-	-	-	
4.9 : Preserves or Clubs for Hunting or Shooting	S - 4.03.22	-	-	-	-	-	-	-	-	-	-	-	-	-	
4.10 : Shooting Club with Rifle/Pistol Range	S - 4.03.22	-	-	-	-	-	-	-	-	-	-	-	-	-	

As approved in a site development plan.

ZONING DISTRICTS: P: Permissible S: Permissible Subject to Supplemental Standards Blank (-): Prohibited	AG	R1	RR1	R21	R12	R8M	R8	MR	RP	CC	GB	CA	WLI	HI	UPD/RPD
4.11 : Stables	P	-	-	-	-	-	-	-	-	-	-	-	-	-	
4.12 : Farm Worker Housing - Single:Family	S-5.02.02 (G)	-	-	-	-	-	-	-	-	-	-	-	-	-	
4.12A : Farm Worker Housing - Dormitory	S-5.02.02 (G)	-	-	-	-	-	-	-	-	-	-	-	-	-	
4.13: Farm Equipment Sales & Service, TC-ZA-16-02, 04.11.16	S-4.03.29	-	-	-	-	-	-	-	-	-	-	-	-	-	
NON-RESIDENTIAL USES															
5. Non-Residential Uses															
5.1 : Adult Establishments and Uses	-	-	-	-	-	-	-	-	-	-	-	S - 4.03.20	-	-	
5.2 : Agriculture Supplies, Including Feed, Grain, or Fertilizer - Wholesale and Storage Establishments	-	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.3 : Ambulance Service/Rescue Squad Facility - Private for Profit	-	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.4 : Amusement Park	P	-	-	-	-	-	-	-	-	-	P	-	-	-	
5.5 : Animal Grooming Only	-	-	-	-	-	-	-	-	-	P	P	-	P	P	
5.6 : Gasoline Service Station with or without Convenience Store	-	-	-	-	-	-	-	-	-	S - 4.03.09	S - 4.03.09	-	S - 4.03.09	S - 4.03.09	
5.7 : Bait and Tackle Store	-	-	-	-	-	-	-	-	-	P	P	-	P	P	
5.8 : Banks and Financial Institutions	-	-	-	-	-	-	-	-	P	P	P	-	P	P	
5.9 : Broadcast Studio - Radio or TV	-	-	-	-	-	-	-	-	-	S - 4.03.16	S - 4.03.16	-	S - 4.03.16	-	
5.10 : Catering Services	P	-	-	-	-	-	-	-	P	P	P	-	P	-	
5.11 : Cemeteries	S - 4.03.24	-	-	-	-	-	-	-	-	-	S - 4.03.24	-	-	-	
5.12 : Clothing and Dry Goods Stores	-	-	-	-	-	-	-	-	-	P	P	-	P	-	
5.13 : Clubs and Lodges, Private	S - 4.03.19	-	-	-	-	-	-	-	-	S - 4.03.19	S - 4.03.19	-	-	-	
5.14 : College or University - Public	P	P	-	P	P	P	P	P	P	P	P	-	P	-	
5.15 : Convenience Store without Gas Pumps	-	-	-	-	-	-	-	-	-	P	P	-	P	P	
5.16 : Cultural Facilities, Libraries, Museums & Similar	-	-	-	-	-	-	-	-	P	P	P	-	-	-	
5.17 : Daycares, Kindergartens and Nurseries	S - 4.03.08	S - 4.03.08	S - 4.03.08	S - 4.03.08	S - 4.03.08	S - 4.03.08	S - 4.03.08	S - 4.03.08	S - 4.03.08	S - 4.03.08	S - 4.03.08	-	-	-	

As approved in a site development plan.

ZONING DISTRICTS: P: Permissible S: Permissible Subject to Supplemental Standards Blank (-): Prohibited	AG	R1	RR1	R21	R12	R8M	R8	MR	RP	CC	GB	CA	WLI	HI	UPD/RPD
5.18 : Department Stores	-	-	-	-	-	-	-	-	-	P	P	-	P	-	As approved in a site development plan.
5.19 : Dry Cleaning Plant	-	-	-	-	-	-	-	-	-	-	-	-	S - 4.03.11	S - 4.03.11	
5.20 : Essential Public Services such as EMS, Fire, Police, Transmission Lines, Water and Sewer lines, and Lift Stations	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
5.21 : Flower Shop or Florist	-	-	-	-	-	-	-	-	-	P	P	-	P	-	
5.22 : Food and Grocery Stores	-	-	-	-	-	-	-	-	-	P	P	-	P	-	
5.23 : Freezer Locker/Ice Storage	-	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.24 : Freight Express Office	-	-	-	-	-	-	-	-	-	P	P	-	P	P	
5.25 : Freight - Railroad	-	-	-	-	-	-	-	-	-	-	-	-	P	P	
5.26 : Funeral Home	-	-	-	-	-	-	-	-	-	S - 4.03.18	S - 4.03.18	-	-	-	
5.27 : Furniture Upholstery Shop	-	-	-	-	-	-	-	-	-	P	P	-	P	P	
5.28 : Glass Sales and Storage	-	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.29 : Golf Course	S - 4.03.04	S - 4.03.04	S - 4.03.04	S - 4.03.04	S - 4.03.04	-	S - 4.03.04	S - 4.03.04	S - 4.03.04	S - 4.03.04	S - 4.03.04	-	-	-	
5.30 : Greenhouses and Plant Nurseries	P	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.31 : Gunsmith and Sales	P	-	-	-	-	-	-	-	-	P	P	-	-	-	
5.32 : Hardware Store	-	-	-	-	-	-	-	-	-	P	P	-	P	-	
5.33 : Hazardous Combustible Materials such as Asphalt, Coal, Petroleum - Storage and/or Distribution (Including Asphalt Plants) Res. 2023-06, 04.10.23	-	-	-	-	-	-	-	-	-	-	-	-	-	S - 4.03.14	
5.34 : Heavy Equipment Sales	-	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.35 : Heavy Manufacturing, including Uses that Produce Noise, Odor, Dust or Fumes	-	-	-	-	-	-	-	-	-	-	-	-	-	S - 4.03.14	
5.36 : Home Furnishings - Appliance, Hardware & Similar	-	-	-	-	-	-	-	-	-	P	P	-	P	-	
5.37 : Hospital	-	-	-	-	-	-	-	-	-	S - 4.03.10	S - 4.03.10	-	-	-	
5.38 : Junk Yard or Salvage Yard	-	-	-	-	-	-	-	-	-	-	-	-	-	S - 4.03.05	
5.39 : Labortory - Experimental	P	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.40 : Labortory - Medical/Dental	-	-	-	-	-	-	-	-	P	P	P	-	-	-	
5.41 : Landfill, Sanitary or Inert or Incinerator	-	-	-	-	-	-	-	-	-	-	-	-	-	P	

ZONING DISTRICTS: P: Permissible S: Permissible Subject to Supplemental Standards Blank (-): Prohibited	AG	R1	RR1	R21	R12	R8M	R8	MR	RP	CC	GB	CA	WLI	HI	UPD/RPD
5.42 : Laundromat, Laundry Pick-Up Station, Dry Cleaning Pick-Up Station	-	-	-	-	-	-	-	-	-	P	P	-	-	-	As approved in a site development plan.
5.43 : Light Manufacturing, Assembly, Processing or Packaging	-	-	-	-	-	-	-	-	-	-	-	-	P	P	
5.43-1: Concrete Batch Plants (permanent/portable) Res 2023-05, 04.10.23	-	-	-	-	-	-	-	-	-	-	-	-	S - 4.03.28	S - 4.03.28	
5.44 : Locksmith	-	-	-	-	-	-	-	-	-	P	P	-	-	-	
5.45 : Lodging - Hotel or Motel, Arterial Roads Only	-	-	-	-	-	-	-	-	-	P	P	-	-	-	
5.46 : Lumber Yard or Saw Mill	-	-	-	-	-	-	-	-	-	-	-	-	-	P	
5.47 : Medical Clinics or Offices	-	-	-	-	-	-	-	-	P	P	P	-	-	-	
5.48 : Messenger Service (Office)	-	-	-	-	-	-	-	-	P	P	P	-	P	-	
5.49 : Mini-Storage Facility (Self-Storage Facility)	-	-	-	-	-	-	-	-	-	-	S - 4.03.15	-	S - 4.03.15	S - 4.03.15	
5.50 : Mobile and Manufactured Home Sales Lots	-	-	-	-	-	-	-	-	-	-	P	-	P	-	
5.51 : Nightclub or Lounge - Arterial Roads Only	-	-	-	-	-	-	-	-	-	-	P	-	-	-	
5.52 : Office Equipment Sales and Services	-	-	-	-	-	-	-	-	-	P	P	-	-	-	
5.53 : Outdoor Sales, Farmers Markets, Produce Stands, Shubbery	P	-	-	-	-	-	-	-	-	-	P	-	P	-	
5.54 : Parking Lot or Garage - Commercial	-	-	-	-	-	-	-	-	-	P	P	-	-	-	
5.55 : Pawn Shop - Sheriff Dept Approval Required	-	-	-	-	-	-	-	-	-	P	P	-	-	-	
5.56 : Personal Services - Barber and Beauty Shops	-	-	-	-	-	-	-	-	-	P	P	-	-	-	
5.56A : Tattoo or Piercing Establishments, Pool Hall and Internet Café - Arterial Roads Only	-	-	-	-	-	-	-	-	-	-	P	-	-	-	
5.57 : Pest Control Service	-	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.58 : Pharmacy or Drug Stores	-	-	-	-	-	-	-	-	-	P	P	-	P	-	
5.59 : Printing, Binding and Similar Service Store	-	-	-	-	-	-	-	-	-	P	P	-	-	-	

ZONING DISTRICTS: P: Permissible S: Permissible Subject to Supplemental Standards Blank (-): Prohibited	AG	R1	RR1	R21	R12	R8M	R8	MR	RP	CC	GB	CA	WLI	HI	UPD/RPD
5.60 : Printing, Production, Sales and Distribution - Newspapers/Periodicals	-	-	-	-	-	-	-	-	-	P	P	-	P	P	As approved in a site development plan.
5.61 : Publishing Facility (Press)	-	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.62 : Railroad Repair Yard	-	-	-	-	-	-	-	-	-	-	-	-	-	P	
5.63 : Recreation Centers - Public	P	-	-	-	-	-	-	-	-	P	P	-	-	-	
5.64 : Recreation - Commercial	-	-	-	-	-	-	-	-	-	P	P	-	P	-	
5.65 : Recreation - Commercial Intensive (Such as Racetracks)	S - 4.03.23	-	-	-	-	-	-	-	-	-	-	-	S - 4.03.23	-	
5.66 : Religious Facilities and Related Uses	S - 4.03.06	S - 4.03.06	S - 4.03.06	S - 4.03.06	S - 4.03.06	S - 4.03.06	S - 4.03.06	S - 4.03.06	S - 4.03.06	S - 4.03.06	S - 4.03.06	-	S - 4.03.06	-	
5.67 : Repair Shop - Light (Watches, Shoes and Similar)	-	-	-	-	-	-	-	-	P	P	P	-	P	-	
5.68 : Repair Shop - Heavy, Electrical or Appliances	-	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.69 : Restaurants - Drive-In	-	-	-	-	-	-	-	-	-	P	P	-	P	P	
5.70 : Restaurants without Drive-In	-	-	-	-	-	-	-	-	-	P	P	-	P	P	
5.71 : Retail Stores - Specialty (Gift, Jewelry, Antiques) and Similar	-	-	-	-	-	-	-	-	-	P	P	-	-	-	
5.72 : Schools - Public Res No 2024-02, 01.08.24; Res No 2024-12, 11.12.24	P	P	P	P	P	P	P	P	P	P	P	-	P	P	
5.73 : Schools - Private Res No 2024-02, 01.08.24; Res No 2024-12, 11-12-24	S - 4.03.30	-	-	-	-	-	-	-	-	S - 4.03.30	S - 4.03.30	-	S - 4.03.30	-	
5.73A : Shooting Range, Indoor, Res 2026-04, 02.09.26	-	-	-	-	-	-	-	-	-	-	-	-	S - 4.03.31	S - 4.03.31	
5.73B : Solar Farms, Res 2021-06, 09.13.25; Res 2026-04, 02.09.26	S - 4.03A.00	-	-	-	-	-	-	-	-	-	-	-	S - 4.03A.00	S - 4.03A.00	
5.74 : Storage Yard for Contractor Supplies and Materials - Enclosed Fence Required	-	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.75 : Studios - Art, Dance, Music, Photography	-	-	-	-	-	-	-	-	-	P	P	-	-	-	
5.76 : Taxidermist	P	-	-	-	-	-	-	-	-	P	P	-	P	-	
5.77 : Taxi Office	-	-	-	-	-	-	-	-	-	P	P	-	P	-	
5.78 : Telecommunication Tower	S - 5.05.00	-	-	-	-	-	-	-	-	-	S - 5.05.00	-	S - 5.05.00	S - 5.05.00	
5.79 : Terminal or Station - Bus, Railroad or Truck	-	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.80 : Travel Trailer or RV Park	S - 4.03.07	-	-	-	-	-	-	-	-	-	S - 4.03.07	-	-	-	

ZONING DISTRICTS: P: Permissible S: Permissible Subject to Supplemental Standards Blank (-): Prohibited	AG	R1	RR1	R21	R12	R8M	R8	MR	RP	CC	GB	CA	WLI	HI	UPD/RPD
5.81 : Utility Substation	P	-	-	-	-	-	-	-	-	-	P	-	P	P	As approved in a site development plan.
5.82 : Vehicle Parts and Tire Sales	-	-	-	-	-	-	-	-	-	-	P	-	P	P	
5.83 : Vehicle Sales, Repair, Paint, Rebuilding - Includes Utility Trailers/Truck & Trailer Rentals	-	-	-	-	-	-	-	-	-	-	S - 4.03.17	-	S - 4.03.17	S - 4.03.17	
5.84 : Vending Machines - Modular Buildind Ice Machines	-	-	-	-	-	-	-	-	-	P	P	-	P	P	
5.85 : Veterinary Clinic, Animal Hospital	S - 4.03.03	-	-	-	-	-	-	-	-	S - 4.03.03	S - 4.03.03	-	S - 4.03.03	S - 4.03.03	
5.86 : Warehouse or Wholesale Distribution Center without Retail Sales	-	-	-	-	-	-	-	-	-	-	-	-	P	P	
5.87 : Wholesale Sales Center	-	-	-	-	-	-	-	-	-	-	P	-	P	P	

CHAPTER 3

PROTECTION OF NATURAL RESOURCES AND FEATURES

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3.04.00

WETLANDS RESOURCE OVERLAY DISTRICT

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3.00.00 GENERALLY

The provisions set forth in Chapter 3 are intended to protect the natural features and natural resources within the City of Tifton and Tift County, and to implement policies in the Greater Tift County Comprehensive Plan. The natural features and natural resources included in Chapter 3 are soil erosion and sedimentation control, flood damage prevention, water resource districts, and wetlands.

3.01.00 SOIL EROSION AND SEDIMENTATION CONTROL**3.01.01 General Provisions**

- A. Excessive soil erosion and resulting sedimentation can take place during land-disturbing activities. Therefore, plans for those land-disturbing activities which are not exempted by this section shall contain provisions for application of soil erosion and sedimentation control measures and practices. The provisions shall be incorporated into the erosion and sedimentation control plans. Soil erosion and sedimentation control measures and practices shall conform to the minimum requirements of Section 3.01.03 and/or the adopted Soil Erosion and Sedimentation Control Ordinance.
- B. The application of measures and practices shall apply to all features of the site, including street and utility installations, drainage facilities and other temporary and permanent improvements. Measures shall be installed to prevent or control erosion and sedimentation pollution during all stages of any land-disturbing activity.

3.01.02 Exempt Land Disturbing Activities

This Section shall apply to any land-disturbing activity undertaken by any person on any land except for the following:

- A. Surface mining, as the same is defined in O.C.G.A. § 12-4-72, "Mineral Resources and Caves Act.
- B. Granite quarrying and land clearing for such quarrying.
- C. Such minor land-disturbing activities as home gardens and individual home landscaping, repairs, maintenance work, fences, and other related activities which result in minor soil erosion;
- D. The construction of single-family residences, when such construction disturbs less than one (1) acre and is not a part of a larger common plan of development or sale with a planned disturbance of equal to or greater than one (1) acre and in conformance with the following:
 - 1. Shall conform to the minimum requirements as set forth in Section 3.01.03.
- E. Agricultural operations as defined in O.C.G.A. 1-3-3 "definitions" including:
 - 1. Raising, harvesting or storing of products of the field or orchard;
 - 2. Feeding, breeding or managing livestock or poultry;
 - 3. Producing or storing feed for use in the production of livestock, including but not limited to cattle, calves, swine, hogs, goats, sheep, and rabbits or for use in

- the production of poultry, including but not limited to chickens, hens and turkeys; producing plants, trees, fowl, or animals;
4. Production of aqua culture, horticultural, dairy, livestock, poultry, eggs and apiarian products;
 5. Farm buildings and farm ponds.
- F. Forestry land management practices, including harvesting
1. Provided, however, that when such exempt forestry practices cause or result in land-disturbing or other activities otherwise prohibited in a buffer, as established in Section 3.01.03.
- G. Any project carried out under the technical supervision of the Natural Resources Conservation Service of the United States Department of Agriculture.
- H. Any project involving less than one (1) acre of disturbed area provided, however, that this exemption shall not apply to the following:
1. Any land-disturbing activity within a larger common plan of development or sale with a planned disturbance of equal to or greater than one (1) acre or within 200 feet of the bank of any state waters, and for purposes of this paragraph, "state waters" excludes channels and drainage ways which have water in them only during and immediately after rainfall events and intermittent streams which do not have water in them year-round;
 2. If the project is within 200 feet of any such excluded channel or drainage way, must prevent sediment from moving beyond the boundaries of the property on which such project is located;
 3. Nothing contained herein shall prevent the local issuing authority from regulating any such project which is not specifically exempted by this section.
- I. Construction or maintenance projects, or both, undertaken or financed in whole or in part, or both, by
1. The Georgia Department of Transportation (GDOT),
 2. The Georgia Highway Authority, or
 3. The Georgia State Road and Toll way Authority (SRTA); or
 4. Any county or municipality; provided, however that construction or maintenance projects of the GDOT or SRTA which disturb one (1) or more contiguous acres of land shall be subject to provisions of O.C.G.A. § 12-7-7.1; except where GDOT, the Georgia Highway Authority, or SRTA is a secondary permittee for a project located within a larger common plan of development or sale under the state general permit, in which case a copy of a notice of intent under the state general permit shall be submitted to the local issuing authority, the local issuing authority shall enforce compliance with the minimum requirements set forth in O.C.G.A. § 12-7-6 as if a permit had been issued, and violations shall be subject to the same penalties as violations by permit holders.
- J. Any land-disturbing activities conducted by any electric membership corporation or municipal electrical system or any public utility under the regulatory jurisdiction of the Public Service Commission, any utility under the regulatory jurisdiction of the Federal Energy Regulatory Commission, any cable television system as defined in O.C.G.A. § 36-18-1, or any agency or instrumentality of the United States engaged in the generation, transmission, or distribution of power; except where an electric membership

corporation or municipal electrical system or any public utility under the regulatory jurisdiction of the Public Service Commission, any utility under the regulatory jurisdiction of the Federal Energy Regulatory Commission, any cable television system as defined in O.C.G.A. § 36-18-1, or any agency or instrumentality of the United States engaged in the generation, transmission, or distribution of power is a secondary permittee for a project located within a larger common plan of development or sale under the state general permit, in which case the local issuing authority shall enforce compliance with the minimum requirements set forth in O.C.G.A. § 12-7-6 as if a permit had been issued, and violations shall be subject to the same penalties as violations by permit holders; and

- K. Any public water system reservoir.
- L. All other land disturbing activities must comply with the requirements for erosion and sediment control.

3.01.03 Minimum Requirements for Best Management Practices

- A. Best management practices shall be required for all land-disturbing activities.
 - 1. Proper design, installation, and maintenance of best management practices shall constitute a complete defense to any action by the Manager or to any other allegation of noncompliance with subsection (2) below or any substantially similar terms contained in a permit for the discharge of stormwater issued pursuant to subsection (f) of O.C.G.A. § 12-5-30, the "Georgia Water Quality Control Act". As used in this subsection the terms "proper design" and "properly designed" mean designed in accordance with the hydraulic design specifications contained in the Manual for Erosion and Sediment Control in Georgia specified in O.C.G.A. § 12-7-6 subsection (b).
 - 2. A discharge of stormwater runoff from disturbed areas where best management practices have not been properly designed, installed, and maintained shall constitute a separate violation of any land-disturbing permit issued by a local issuing authority or of any state general permit issued by the division pursuant to subsection (f) of O.C.G.A. § 12-5-30, the "Georgia Water Quality Control Act", for each day on which such discharge results in the turbidity of receiving waters being increased by more than twenty-five (25) nephelometric turbidity units for waters supporting warm water fisheries or by more than ten (10) nephelometric turbidity units for waters classified as trout waters. The turbidity of the receiving waters shall be measured in accordance with guidelines to be issued by the director. This paragraph shall not apply to any land disturbance associated with the construction of single-family homes which are not part of a larger common plan of development or sale unless the planned disturbance for such construction is equal to or greater than five (5) acres.
 - 3. Failure to properly design, install, or maintain best management practices shall constitute a violation of any land-disturbing permit issued by a local issuing authority or of any state general permit issued by the division pursuant to subsection (f) of O.C.G.A. § 12-5-30, the "Georgia Water Quality Control Act", for each day on which such failure occurs.
 - 4. The Manager may require, in accordance with adopted regulations, reasonable and prudent monitoring of the turbidity level of receiving waters into which discharges from land disturbing activities occur.

- B. The rules and regulations, ordinances, or resolutions adopted pursuant to this UDC for the purpose of governing land-disturbing activities shall:
1. Require, as a minimum, protections at least as stringent as the state general permit; and
 2. Best Management Practices, including sound conservation and engineering practices to prevent and minimize erosion and resultant sedimentation, which are consistent with, and no less stringent than, those practices contained in the Manual for Erosion and Sediment Control in Georgia published by the Georgia Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted, as well as the following:
 - a. Stripping of vegetation, regarding and other development activities shall be conducted in a manner so as to minimize erosion;
 - b. Cut-fill operations must be kept to a minimum;
 - c. Development plans must conform to topography and soil type so as to create the lowest practical erosion potential;
 - d. Whenever feasible, natural vegetation shall be retained, protected and supplemented;
 - e. The disturbed area and the duration of exposure to erosive elements shall be kept to a practicable minimum;
 - f. Disturbed soil shall be stabilized as quickly as practicable;
 - g. Temporary vegetation or mulching shall be employed to protect exposed critical areas during development;
 - h. Permanent vegetation and structural erosion control practices shall be installed as soon as practicable;
 - i. To the extent necessary, sediment in run-off water must be trapped by the use of debris basins, sediment basins, silt traps, or similar measures until the disturbed area is stabilized. As used in this paragraph, a disturbed area is stabilized when it is brought to a condition of continuous compliance with the requirements of O.C.G.A. § 12-7-1 et seq.;
 - j. Adequate provisions must be provided to minimize damage from surface water to the cut face of excavations or the sloping of fills;
 - k. Cuts and fills may not endanger adjoining property;
 - l. Fills may not encroach upon natural watercourses or constructed channels in a manner so as to adversely affect other property owners;
 - m. Grading equipment must cross flowing streams by means of bridges or culverts except when such methods are not feasible, provided, in any case, that such crossings are kept to a minimum;
 - n. Land-disturbing activity plans for erosion and sedimentation control shall include provisions for treatment or control of any source of sediments and adequate sedimentation control facilities to retain sediments on-site or preclude sedimentation of adjacent waters beyond the levels specified in Section 3.01.03(B)(2).
- C. Buffer requirements
1. Except as provided in Section 3.01.03(C)(3), there is established a twenty-five (25) feet buffer along the banks of all state waters, as measured horizontally from the point where vegetation has been wrested by normal stream flow or wave action, except where the director determines to allow a variance that is at

- least as protective of natural resources and the environment, where otherwise allowed by the director pursuant to O.C.G.A. § 12-2-8, or where a drainage structure or a roadway drainage structure must be constructed, provided that adequate erosion control measures are incorporated in the project plans and specifications, and are implemented; provided, however, the buffers of at least twenty-five (25) feet established pursuant to Part 6, Article 5, Chapter 5, Title 12, the "Georgia Water Quality Control Act", shall remain in force unless a variance is granted by the Manager as provided in this UDC.
2. The following requirements shall apply to any such buffer:
 - a. No land-disturbing activities shall be conducted within a buffer and a buffer shall remain in its natural, undisturbed state of vegetation until all land-disturbing activities on the construction site are completed.
 - b. Once the final stabilization of the site is achieved, a buffer may be thinned or trimmed of vegetation as long as a protective vegetative cover remains to protect water quality and aquatic habitat and a natural canopy is left in sufficient quantity to keep shade on the stream bed;
 - c. Provided, however, that any person constructing a single-family residence, when such residence is constructed by or under contract with the owner for his or her own occupancy, may thin or trim vegetation in a buffer at any time as long as protective vegetative cover remains to protect water quality and aquatic habitat and a natural canopy is left in sufficient quantity to keep shade on the stream bed; and
 - d. The buffer shall not apply to the following land-disturbing activities, provided that they occur at an angle, as measured from the point of crossing, within twenty-five (25) degrees of perpendicular to the stream; cause a width of disturbance of not more than fifty (50) feet within the buffer; and adequate erosion control measures are incorporated into the project plans and specifications and are implemented:
 - i. Stream crossings for water lines; or
 - ii. Stream crossings for sewer lines.
 3. There is established a fifty (50) feet buffer as measured horizontally from the point where vegetation has been wrested by normal stream flow or wave action, along the banks of any state waters classified as "trout streams" pursuant to Article 2, Chapter 5, Title 12, the "Georgia Water Quality Control Act"
 - a. The Georgia Environmental Protection Division may grant a variance from such buffer to allow land-disturbing activity, provided that adequate erosion control measures are incorporated in the project plans and specifications and are implemented. The following requirements shall apply to such buffer:
 - i. No land-disturbing activities shall be conducted within a buffer and a buffer shall remain in its natural, undisturbed, state of vegetation until all land-disturbing activities on the construction site are completed.
 - ii. Once the final stabilization of the site is achieved, a buffer may be thinned or trimmed of vegetation as long as a protective vegetative cover remains to protect water quality and aquatic habitat and a natural canopy is left in sufficient quantity to keep shade on the stream bed.

- iii. Provided, however, that any person constructing a single-family residence, when such residence is constructed by or under contract with the owner for his or her own occupancy, may thin or trim vegetation in a buffer at any time as long as protective vegetative cover remains to protect water quality and aquatic habitat and a natural canopy is left in sufficient quantity to keep shade on the stream bed; and
 - iv. The buffer shall not apply to the following land-disturbing activities, provided that they occur at an angle, as measured from the point of crossing, within twenty-five (25) degrees of perpendicular to the stream; cause a width of disturbance of not more than fifty (50) feet within the buffer; and adequate erosion control measures are incorporated into the project plans and specifications and are implemented:
 - 1. Stream crossings for water lines; or
 - 2. Stream crossings for sewer lines.
- D. Nothing contained in this section shall prevent any local issuing authority from adopting rules and regulations, ordinances, or resolutions which contain stream buffer requirements that exceed the minimum requirements in Section 3.01.03.
- E. The fact that land-disturbing activity for which a permit has been issued results in injury to the property of another shall neither constitute proof of nor create a presumption of a violation of the standards provided for in this section or the terms of the permit.

3.01.04 Application and Permit Process

- A. General
- 1. The property owner, developer and designated planners and engineers shall review the general development plans and detailed plans of the local issuing authority that affect the tract to be developed and the area surrounding it.
 - 2. The property owner, developer and designated planners and engineers shall review the UDC and other ordinances which regulate the development of land within the jurisdictional boundaries of the local issuing authority.
 - 3. All requirements for the review and approval of site development plan, preliminary subdivision plat, or other plans are provided in Chapter 10.
 - 4. The operator and the owner are the only parties who may obtain a land disturbing permit.
- B. Application requirements
- 1. No person shall conduct any land-disturbing activity within the jurisdictional boundaries of the governing authority without first obtaining a permit to perform such activity.
 - 2. The application for a permit shall be submitted to the Manager and, in addition to the requirements of Section 10.02.02, must include:
 - a. Three (3) copies of the applicant's soil erosion and sedimentation control plans with supporting data

- b. Certification stating that the plan preparer or the designee thereof visited the site prior to creation of the plan or that such a visit was not required in accordance with rules and regulations established by the governing authority.
 - 3. Fee payment required
 - a. A fee, in the amount of \$40.00 payable to the issuing authority and \$40.00 payable to the Georgia Department of Natural Resources – Environmental Protection Division (EPD) shall be charged for each one (1) acre or fraction thereof in the project area.
 - b. In addition to the local governing authority permitting fees, fees will also be assessed pursuant to paragraph (5) subsection (a) of O.C.G.A. § 12-5-23, provided that such fees shall not exceed \$80.00 per one (1) acre of land-disturbing activity, and these fees shall be calculated and paid by the primary permittee as defined in the state general permit for each (1) acre of land-disturbing activity included in the planned development or each phase of development.
 - c. All applicable fees shall be paid prior to issuance of the land disturbance permit. In a jurisdiction that is certified pursuant to subsection (a) of O.C.G.A. § 12-7-8 one-half (1/2) of such fees levied shall be submitted to EPD; except that any and all fees due from an entity which is required to give notice pursuant to paragraph (9) or (10) of O.C.G.A. § 12-7-17 shall be submitted in full to EPD, regardless of the existence of a local issuing authority in the jurisdiction.
- C. Period of development permit application review

Permits shall be issued or denied as soon as practicable, but in any event not later than forty-five (45) calendar days after receipt by the issuing authority of a completed application, providing variances and bonding are obtained, where necessary.
 - D. Permit required for each phase

If the tract is to be developed in phases, then a separate permit shall be required for each phase.
 - E. District review of soil and erosion control plan
 - 1. Immediately upon receipt of an application and plan for a permit, the local issuing authority shall refer the application and plan to the district for its review and approval or disapproval concerning the adequacy of the erosion and sedimentation control plan.
 - 2. A district shall approve or disapprove a plan within thirty-five (35) days of receipt.
 - 3. Failure of a district to act within thirty-five (35) days shall be considered an approval of the pending plan.
 - 4. The results of the district review shall be forwarded to the local issuing authority.
 - F. District may delegate review to local issuing authority

Such review will not be required if the local issuing authority and the district have entered into an agreement which allows the local issuing authority to conduct such review and approval of the plan without referring the application and plan to the district.

- G. Development permit contingent on approval of erosion and sedimentation control plan
1. No permit shall be issued by the issuing authority unless the erosion and sedimentation control plan has been approved by the district and the issuing authority has affirmatively determined that the plan is in compliance with this UDC;
 2. Any variances required by Section 3.01.03(C)(2) and (3) are obtained,
 3. Bonding requirements, if necessary are met and;
 4. All ordinances and rules and regulations in effect within the jurisdictional boundaries of the issuing authority are met.
 5. If the permit is denied, the reason for denial shall be furnished to the applicant.
- H. Permit may be denied for previous violations
- If a permit applicant has had two (2) or more violations of previous permits, this UDC, or the Erosion and Sedimentation Act, as amended, within three (3) years prior to the date of filing of the application under consideration, the local issuing authority may deny the permit application.
- I. Bond may be required
1. The local issuing authority may require the permit applicant to post a bond in the form of government security, cash, irrevocable letter of credit, or any combination thereof up to, but not exceeding, \$3,000.00 per one (1) acre or fraction thereof of the proposed land-disturbing activity, prior to issuing the permit.
 2. If the applicant does not comply with the soil erosion and sediment control provisions of the UDC or with the conditions of the permit after issuance, the local issuing authority may call the bond or any part thereof to be forfeited and may use the proceeds to hire a contractor to stabilize the site of the land-disturbing activity and bring it into compliance.
 3. These provisions shall not apply unless there is in effect an ordinance or statute specifically providing for hearing and judicial review of any determination or order of the local issuing authority with respect to alleged permit violations.
- J. Permit may be revoked upon violation
1. The permit may be suspended, revoked or modified by the issuing authority, as to all or any portion of the land affected by the plan, upon finding that the holder or his successor in title is not in compliance with the approved erosion and sedimentation control plan or that the holder or his successor in title is in violation of this UDC.
 2. A holder of a permit shall notify any successor in title to him as to all or any portion of the land affected by the approved plan of the conditions contained in the permit.
- K. Plan requirements
1. Plans must be prepared to meet the minimum requirements as contained in the soil erosion and sediment control provisions of the UDC.
 2. Conformance with the minimum requirements may be attained through the use of design criteria in the current issue of the *Manual for Erosion and Sediment Control in Georgia*, published by the state soil and water conservation commission as a guide; or through the use of more stringent, alternate design criteria which conform to sound conservation and engineering practices.

3. The plan for the land-disturbing activity shall consider the interrelationship of the soil types, geological and hydrological characteristics, topography, watershed, vegetation, proposed permanent structures including roadways, constructed waterways, sediment control and stormwater management facilities, local ordinances and state laws.
4. The information and data required for site plan shall be as provided in Section 10.02.02 of this UDC.
5. Maintenance of all soil erosion and sedimentation control practices, whether temporary or permanent, shall be at all times the responsibility of the property owner.

3.01.05 Inspection and Enforcement

- A. The Manager will periodically inspect the sites of land disturbing activities for which permits have been issued to determine if the activities are being conducted in accordance with the plan and if the measures required in the plan are effective in controlling erosion and sedimentation.
- B. The local issuing authority shall regulate both primary and secondary permittees as such terms are defined in the state general permit.
 1. Primary permittees shall be responsible for installation and maintenance of best management practices where the primary permittee is conducting land-disturbing activities.
 2. Secondary permittees shall be responsible for installation and maintenance of best management practices where the secondary permittee is conducting land-disturbing activities.
- C. If, through inspection, it is deemed that a person engaged in land-disturbing activities as defined herein has failed to comply with the approved plan, with permit conditions, or with the provisions of this section, a written notice to comply shall be served upon that person.
 1. The notice shall set forth the measures necessary to achieve compliance and shall state the time within which such measures must be completed.
 2. If the person engaged in the land-disturbing activity fails to comply within the time specified, he shall be deemed in violation of this section.
- D. The Manager shall have the power to conduct such investigations as it may reasonably deem necessary to carry out duties as prescribed in the soil erosion and sediment control provisions of the UDC, and for this purpose to enter at reasonable times upon any property, public or private, for the purpose of investigation and inspecting the sites of land-disturbing activities.
- E. No person shall refuse entry or access to any authorized representative or agent of the local issuing authority, the commission, the district, or division who requests entry for the purposes of inspection, and who presents appropriate credentials, nor shall any person obstruct, hamper or interfere with any such representative while in the process of carrying out his official duties.

- F. EPD Enforcement Action
1. Upon written request made by the issuing authority, the EPD may determine that the public interest requires initiation of an enforcement action by the EPD.
 2. Such request shall be accompanied by documentation that demonstrates to the EPD's satisfaction that local remedy has been exhausted and that compliance with local ordinances or resolutions has not been achieved.
 3. Where such a determination is made and the issuing authority has failed to secure compliance, the EPD may implement the board's rules and seek compliance under provisions of O.C.G.A. §§ 12-7-12 through 12-7-15. For purposes of this subsection, enforcement actions taken by the division pursuant to O.C.G.A. §§ 12-7-12 through 12-7-15 shall not require prior revocation of certification of the issuing authority.

3.01.06 Penalties

- A. Failure to obtain a permit for land-disturbing activity.
If any person commences any land-disturbing activity requiring a land-disturbing permit as prescribed in this UDC without first obtaining said permit, the person shall be subject to revocation of his business license, work permit or other authorization for the conduct of a business and associated work activities within the jurisdictional boundaries of the local issuing authority.
- B. Stop-work orders
1. For the first and second violations of the provisions of the soil erosion and sediment control provisions of the UDC, the EPD or the local issuing authority shall issue a written warning to the violator.
 - a. The violator shall have five (5) days to correct the violation.
 - b. If the violation is not corrected within five (5) days, the EPD or the local issuing authority shall issue a stop-work order requiring that land-disturbing activities be stopped until necessary corrective action or mitigation has occurred;
 - c. Provided, however, that, if the violation presents an imminent threat to public health or waters of the state or if the land-disturbing activities are conducted without obtaining the necessary permit, the EPD or the local issuing authority shall issue an immediate stop-work order in lieu of a warning;
 2. For a third and each subsequent violation, the EPD or the local issuing authority shall issue an immediate stop-work order; and
 3. All stop-work orders shall be effective immediately upon issuance and shall be in effect until the necessary corrective action or mitigation has occurred.
 4. When a violation in the form of taking action without a permit, failure to maintain a stream buffer, or significant amounts of sediment, as determined by the local issuing authority or by the EPD, have been or are being discharged into state waters and where best management practices have not been properly designed, installed, and maintained, a stop work order shall be issued by the local issuing authority or by the EPD or his or her designee.
 - a. All such stop work orders shall be effective immediately upon issuance and shall be in effect until the necessary corrective action or mitigation has occurred.

- b. Such stop work orders shall apply to all land-disturbing activity on the site with the exception of the installation and maintenance of temporary or permanent erosion and sediment controls.
- C. Bond forfeiture
1. If, through inspection, it is determined that a person engaged in land-disturbing activities has failed to comply with the approved plan, a written notice to comply shall be served upon that person. The notice shall set forth the measures necessary to achieve compliance with the plan and shall state the time within which such measures must be completed.
 2. If the person engaged in the land-disturbing activity fails to comply within the time specified, he shall be deemed in violation of this section and, in addition to other penalties, shall be deemed to have forfeited his performance bond, if required to post one.
 3. The issuing authority may call the bond or any part thereof to be forfeited and may use the proceeds to hire a contractor to stabilize the site of the land-disturbing activity and bring it into compliance.
- D. Monetary penalties
1. Any person who violates any provisions of this section, or any permit condition or limitation established pursuant to this section, or who negligently or intentionally fails or refuses to comply with any final or emergency order of the EPD issued as provided in the soil erosion and sediment control provisions of the UDC shall be liable for a civil penalty not to exceed \$2,500.00 per day.
 2. For the purpose of enforcing the provisions of this section, notwithstanding any provisions in any governing authority provision to the contrary, municipal courts shall be authorized to impose penalty not to exceed \$2,500.00 for each violation.
 3. Each day during which violation or failure or refusal to comply continues shall be a separate violation.

3.01.07 Education and Certification

After December 31, 2006, all persons involved in land development design, review, permitting, construction, monitoring, or inspection or any land-disturbing activity shall meet the education and training certification requirements, dependent on their level of involvement with the process, as developed by the commission in consultation with the division and the stakeholder advisory board created pursuant to O.C.G.A. § 12-7-20.

3.01.08 Administrative Appeal and Judicial Review

- A. Administrative remedies
- The suspension, revocation, modification or grant with condition of a permit by the local issuing authority upon finding that the holder is not in compliance with the approved erosion and sediment control plan; or that the holder is in violation of permit conditions; or that the holder is in violation of any ordinance; shall entitle the person submitting the plan or holding the permit to a hearing before the governing authority within fifteen (15) working days after receipt by the local issuing authority of written notice of appeal.

- B. Judicial review
Any person, aggrieved by a decision or order of the local issuing authority, after exhausting his administrative remedies, shall have the right to appeal denovo to the Superior Court of Tift County.

3.01.09 Liability

- A. Neither the approval of a plan under the provisions of this section, nor the compliance with provisions of this section shall relieve any person from the responsibility for damage to any person or property otherwise imposed by law nor impose any liability upon the local issuing authority or district for damage to any person or property. The fact that a land-disturbing activity for which a permit has been issued results in injury to the property of another shall neither constitute proof of nor create a presumption of a violation of the standards provided for in this section or the terms of the permit.
- B. No provision of this section shall permit any persons to violate the Georgia Erosion and Sedimentation Act of 1975, the Georgia Water Quality Control Act or the rules and regulations promulgated and approved there under or pollute any waters of the state as defined thereby.

3.02.00 FLOOD DAMAGE PREVENTION

3.02.01 Statutory Authorization

State law has delegated the responsibility to local governmental units to adopt regulations designed to promote the public health, safety, and general welfare of its citizenry.

3.02.02 Finding of Fact

- A. The flood hazard areas are subject to periodic inundation which results in loss of life and property, health and safety hazards, disruption of commerce and governmental services, extraordinary public expenditures for flood protection and relief, and impairment of tax base, all of which adversely affect the public health, safety, and general welfare.
- B. These flood losses are caused by the cumulative effect of obstructions in floodplains causing increases in flood heights and velocities, and by the occupancy in flood hazard areas by uses vulnerable to floods or hazardous to other lands which are inadequately elevated, flood proofed, or otherwise unprotected from flood damages.

3.02.03 Statement of Purpose

It is the purpose of this section to promote the public health, safety and general welfare and to minimize public and private losses due to flood conditions in specific areas by provisions designed to:

- A. Restrict or prohibit uses which are dangerous to health, safety and property due to water or erosion hazards, or which result in damaging increases in erosion or in flood heights or velocities;
- B. Require that uses vulnerable to floods, including facilities which serve such uses, be protected against flood damage at the time of initial construction;

- C. Control the alteration of natural floodplains, stream channels, and natural protective barriers which are involved in the accommodation of floodwaters;
- D. Control filling, grading, dredging and other development which may increase erosion or flood damage; and
- E. Prevent or regulate the construction of flood barriers which will unnaturally divert floodwaters or which may increase flood hazards to other lands.

3.02.04 Objectives

The objectives of this section are to:

- A. Protect human life and health;
- B. Minimize expenditure of public money for costly flood control projects;
- C. Minimize the need for rescue and relief efforts associated with flooding and generally undertaken at the expense of the general public;
- D. Minimize prolonged business interruptions;
- E. Minimize damage to public facilities and utilities such as water and gas mains, electric, telephone and sewer lines, streets and bridges located in floodplains;
- F. Help maintain a stable tax base by providing for the sound use and development of flood prone areas in such a manner as to minimize flood blight areas; and

3.02.05 Applicability

This section shall apply to all areas of special flood hazard within the jurisdiction of the Tift County, Georgia.

3.02.06 Basis for Establishing Areas of Special Flood Hazard

- A. The areas of special flood hazard identified by the federal emergency management agency in its flood insurance study (FIS), dated September 29, 2010, with accompanying maps and other supporting data and any revision thereto, are adopted by reference and declared a part of this UDC.
- B. Areas of special flood hazard may also include those areas known to have flooded historically or defined through standard engineering analysis by governmental agencies or private parties but not yet incorporated in a flood insurance study.

3.02.07 Abrogation and Greater Restrictions

This section is not intended to repeal, abrogate, or impair any existing easements, covenants, or deed restrictions. However, where this section and another ordinances conflict or overlap, whichever imposes the more stringent restrictions shall prevail.

3.02.08 Interpretation

In the interpretation and application of this section that all provisions shall be:

- A. Considered as minimum requirements;
- B. Liberally construed in favor of the governing authority; and
- C. Deemed neither to limit nor repeal any other powers granted under state statutes.

3.02.09 Warning and Disclaimer of Liability

- A. The degree of flood protection required by this section is considered reasonable for regulatory purposes and is based on scientific and engineering considerations.
- B. Larger floods can and will occur; flood heights may be increased by manmade or natural causes.
- C. This section does not imply that land outside the areas of special flood hazard or uses permitted within such areas will be free from flooding or flood damages.
- D. This section shall not create liability on the part of the governing authority or by any officer or employee thereof for any flood damages that result from reliance on this section or any administrative decision lawfully made under this section.

3.02.10 Penalties for Violation

- A. Violation of the provisions of this UDC or failure to comply with any of its requirements, including violation of conditions and safeguards established in connection with grants of variance or special exceptions, shall constitute a misdemeanor.
- B. Any person who violates this UDC or fails to comply with any of its requirements shall, upon conviction, be fined not more than \$500.00 or imprisoned for not more than sixty (60) days, or both, and in addition, shall pay all costs and expenses involved in the case.
- C. Each day such violation continues shall be considered a separate offense.
- D. Nothing contained in this UDC shall prevent the governing authority from taking such other lawful action as is necessary to prevent or remedy any violation.

3.02.11 Administrator

The Manager is hereby appointed to administer and implement the provisions of this section.

3.02.12 Permit Procedures

Application for a development permit shall be made to the governing authority as established in Chapter 10 of this UDC.

3.02.13 Construction Stage

- A. For all new construction and substantial improvements, on structures located in the Special Flood Hazard Area (AFHA) the permit holder shall provide to the Manager an as-built certification of the regulatory floor elevation or floodproofing certification after the lowest floor is completed.
- B. Any lowest floor certification made relative to mean sea level shall be prepared by or under the direct supervision of a registered land surveyor or professional engineer and certified by a registered land surveyor or professional engineer.
- C. When floodproofing is utilized for nonresidential structures, such certification shall be prepared by or under the direct supervision of a professional engineer or architect and certified by a professional engineer or architect.
- D. Any work undertaken prior to submission of these certifications shall be at the permit holder's risk.
- E. The Manager shall review the certification data submitted.
- F. Deficiencies detected by such review shall be corrected by the permit holder immediately and prior to further progressive work being allowed to proceed.
- G. Failure to submit certification or failure to make such required corrections shall be cause to issue a stop work order for the project.

3.02.14 Duties and Responsibilities of the Manager

The duties of the Manager shall include, but not be limited to:

- A. Review all development permits to ensure that the permit requirements of the section have been satisfied.
- B. Advise permittee that additional federal or state permits may be required, and if specific federal or state permit requirements are known, require that copies of such permits be provided and maintained on file with development permit.
- C. When base flood elevation data or floodway data have not been provided in accordance with Section 3.02.06, the administrator shall obtain, review and reasonably utilize any base flood elevation and floodway data available from a federal, state or other source.
- D. Notify adjacent communities and the state flood coordinating office prior to any alteration or relocation of a watercourse, and submit evidence of such notification to the federal emergency management agency.
- E. Ensure that maintenance is provided within the altered or relocated portion of such watercourse so that the flood-carrying capacity is not diminished.

- F. Verify and record the actual elevation, in relation to mean sea level of the lowest floor including basement of all new or substantially improved structures, in accordance with Section 3.02.15.
- G. Verify and record the actual elevation in relation to mean sea level to which the new or substantially improved structures have been floodproofed, in accordance with Section 3.02.15.
- H. When floodproofing is utilized for a particular structure, the Manager shall obtain certification from a registered professional engineer or architect, in accordance with Section 3.02.18(B).
- I. Where interpretation is needed as to the exact location of boundaries of the areas of special flood hazard (for example, where there appears to be a conflict between a mapped boundary and actual field conditions) the Manager shall make the necessary interpretation. The person contesting the location of the boundary shall be given reasonable opportunity to appeal the interpretation as provided in this UDC.
- J. All records pertaining to the provisions of this section shall be maintained in the Manager's office and shall be open for public inspection.

3.02.15 General Standards

In all areas of special flood hazard the following provisions are required:

- A. New construction and substantial improvements shall be anchored to prevent flotation, collapse or lateral movement of the structure.
- B. Manufactured homes shall be anchored to prevent flotation, collapse, or lateral movement.
 - 1. Methods of anchoring may include, but are not limited to, use of over-the-top or frame ties to ground anchors.
 - 2. This standard shall be in addition to and consistent with applicable state requirements for resisting wind forces.
- C. New construction and substantial improvements shall be constructed with materials and utility equipment resistant to flood damage.
- D. Electrical, heating, ventilation, plumbing, air conditioning equipment, and other service facilities shall be designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding.
- E. New and replacement water supply systems shall be designed to minimize or eliminate infiltration of floodwaters into the system.
- F. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems and discharges from the systems into floodwaters.

- G. On-site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during flooding.
- H. Any alteration, repair, construction, or improvements to a structure which is in compliance with the provisions of this section, shall meet the requirements of new construction as contained in this section.

3.02.16 Specific Standards for Flood Hazard Reduction

In all areas of special flood hazard where base flood elevation data have been provided, as set forth in Sections 3.02.06 or 3.02.16(C), the provisions of this section are required.

- A. New residential construction and substantial improvements
 - 1. Where base flood elevation data are available, new construction or substantial improvement of any structure or manufactured home shall have the lowest floor, including basement, elevated no lower than twenty-four inches above the base flood elevation.
 - 2. Should solid foundation perimeter walls be used to elevate a structure, openings sufficient to facilitate the unimpeded movements of floodwater shall be provided in accordance with standards of Section 3.02.18(D) regarding elevated buildings.
- B. Nonresidential construction
 - 1. New construction or substantial improvement of any commercial, industrial, or nonresidential structure shall have the lowest floor, including basement, elevated no lower than twenty-four inches above the level of the base flood elevation.
 - 2. Structures located in all A-zones may be flood proofed in lieu of being elevated provided that all areas of the structure below the required elevation are watertight with walls substantially impermeable to the passage of water, and use structural components having the capability of resisting hydrostatic and hydrodynamic loads and the effect of buoyancy.
 - 3. A registered professional engineer or architect shall certify that these standards are satisfied.
- C. Standards for manufactured homes and recreational vehicles Where base flood elevation data are available:
 - 1. All manufactured homes placed or substantially improved on:
 - a. Individual lots or parcels;
 - b. In new or substantially improved manufactured home parks or subdivision;
 - c. In expansions to existing manufactured home parks or subdivision; or
 - d. On a site in an existing manufactured home park or subdivision where a manufactured home has incurred substantial damage as the result of a flood, must have the lowest floor including basement, elevated no lower than three (2) feet above the base flood elevation.
 - 2. Manufactured homes placed or substantially improved in an existing manufactured home park or subdivision may be elevated so that either:
 - a. The lowest floor of the manufactured home is elevated no lower than twenty-four inches above the level of the base flood elevation; or

- b. The manufactured home chassis is elevated and supported by reinforced piers or other foundation elements of at least an equivalent height of no less than twenty-four inches in height above grade.
3. All manufactured homes must be securely anchored to an adequately anchored foundation system to resist flotation, collapse and lateral movement.
4. All recreational vehicles placed on sites must either:
 - a. Be fully licensed and ready for highway use, (a recreational vehicle is ready for highway use if it is licensed, on its wheels or jacking system, attached to the site only by quick disconnect type utilities and security devices, and has no permanently attached structures or additions); or
 - b. The recreational vehicle must meet all the requirements for new construction, including the anchoring and elevation requirements of Section 3.02.17(B).

D. Elevated buildings

New construction or substantial improvements of elevated buildings that include fully enclosed areas formed by foundation and other exterior walls below the base flood elevation shall be designed to preclude finished living space and designed to allow for the entry and exit of floodwaters to automatically equalize hydrostatic flood forces on exterior walls.

1. Designs for complying with this requirement must either be certified by a professional engineer or architect or meet the following minimum criteria:
 - a. Provide a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
 - b. The bottom of all openings shall be no higher than one foot above grade; and
 - c. Openings may be equipped with screens, louvers, valves or other coverings or devices provided they permit the automatic flow of floodwaters in both directions.
2. Electrical, plumbing, and other utility connections are prohibited below the base flood elevation;
3. Access to the enclosed area shall be the minimum necessary to allow for parking of vehicles (garage door) or limited storage of maintenance equipment used in connection with the premises (standard exterior door) or entry to the living area (stairway or elevator); and
4. The interior portion of such enclosed area shall not be partitioned or finished into separate rooms.

E. Floodway

1. Located within areas of special flood hazard established in Section 3.02.06 are areas designated as floodways. Since the floodway is an extremely hazardous area due to the velocity of floodwaters which carry debris, potential projectiles and has erosion potential, the following provisions shall apply:

- a. Prohibit encroachments, including fill, new construction, substantial improvements and other developments unless certification (with supporting technical data) by a registered professional engineer is provided demonstrating that encroachments shall not result in any increase in flood levels during occurrence of the base flood discharge;
 - b. If these provisions are satisfied and certified, all new construction and substantial improvements shall comply with all applicable flood hazard reduction provisions of this section;
 - c. Prohibit the placement of manufactured homes and mobile homes, except in an existing manufactured home or mobile home park or subdivision.
2. A replacement manufactured home may be placed on a lot in an existing manufactured home park or subdivision provided the anchoring standards of Section 3.02.17(B), and the elevation standards of Section 3.02.18(A) are met.

3.02.17 Streams without Established Base Flood Elevations or Floodways

Located within the areas of special flood hazard established in Section 3.02.06, where small streams exist but where no base flood data have been provided or where no floodways have been provided, the following provisions apply:

- A. No encroachments, including fill material or structures shall be located within a distance of the stream bank equal to two (2) times the width of the stream at the top of bank or twenty (20) feet of bank, whichever is greater, unless certification by a registered professional engineer is provided demonstrating that such encroachments shall not result in any increase in flood levels during the occurrence of the base flood discharge.
- B. New construction or substantial improvements of structures shall be elevated or floodproofed to elevations established in accordance with the provisions of this UDC.
- C. In special flood hazard areas without base flood elevation data, new construction and substantial improvements of existing structures shall have the lowest floor of the lowest enclosed area, including basement, elevated no less than three (3) feet above the highest adjacent grade at the building site. Openings sufficient to facilitate the unimpeded movements of floodwaters shall be provided in accordance with standards of Section 3.02.18(D) regarding elevated buildings.

3.02.18 Subdivision Proposals

- A. All subdivision proposals shall be consistent with the need to minimize flood damage.
- B. All subdivision proposals shall have public utilities and facilities such as sewer, gas, electrical and water systems located and constructed to minimize flood damage.
- C. All subdivision proposals shall have adequate drainage provided to reduce exposure to flood hazards.
- D. Base flood elevation data shall be provided for subdivision proposals and other proposed development including manufactured home parks and subdivisions which is greater than the lesser of fifty (50) lots or five (5) acres.

3.02.19 Areas of Shallow Flooding (AO zones)

Located within the areas of special flood hazard established in Section 3.02.06 are areas designated as shallow flooding areas. These areas have special flood hazards associated with base flood depths of one (1) to three (3) feet where a clearly defined channel does not exist and

where the path of flooding is unpredictable and indeterminate; therefore, the following provisions apply:

- A. All new construction and substantial improvements of residential structures shall have the lowest floor, including basement, elevated to the depth number specified on the flood insurance rate map, in feet, above the highest adjacent grade.
- B. If no depth number is specified, the lowest floor, including basement, shall be elevated, at least twenty-four inches above the highest adjacent grade.
- C. All new construction and substantial improvements of nonresidential structures shall:
 - 1. Have the lowest floor, including basement, elevated to the depth number specified on the flood insurance rate map, in feet, above the highest adjacent grade.
 - 2. If no depth number is specified, the lowest floor, including basement shall be elevated at least twenty-four inches above the highest adjacent grade.
 - 3. Together with attendant utility and sanitary facilities be completely floodproofed to or above that level so that any space below that level is watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy.
- D. Drainage paths shall be provided to guide floodwater around and away from any proposed structure.

3.03.00 WATER RESOURCE DISTRICTS**3.03.01 Purpose**

The intent of this section is to establish minimum development standards and criteria which will afford reasonable protection of environmentally sensitive natural resources found throughout the City of Tifton and Tift County. Based on the findings of the 2010 Greater Tift County Comprehensive Plan, it has been determined the wise management of these resources is essential to maintaining the health, safety, general welfare and economic well-being of the public.

3.03.02 Establishment of Water Resource Districts

- A. Tift County's Water Resource Districts shall include the following:
 - 1. Groundwater Recharge Area Districts;
 - 2. River Corridor Protection Districts; and
 - 3. Wetlands Districts.

- B. Boundaries
The boundaries of these Water Resource Districts are shown on a set of maps designated as “Water Resource Districts” and are included as part of the Official Zoning Map, which is on file with the Manager’s office.

3.03.03 Groundwater Recharge Area District

- A. Findings of fact
Recharge areas are vulnerable to urban development activities as well as agricultural activities. Pesticide, herbicides sprayed on crops, animal waste and septic tank effluents contribute to deterioration in the groundwater quality and can threaten the health of residents relying on well water. Development usually means an increase in the amount of land covered with impervious surfaces. Paving land in recharge areas can alter or impair their recharge characteristics thereby decreasing groundwater supplies.
- B. Purpose
The purpose of this district is to establish criteria to protect significant groundwater recharge areas from pollution by spills, discharges, leaks, impoundments, application of chemicals, injections and other development pressures.
- C. District delineation
The groundwater recharge area protection map is delineated according to the Georgia Department of Natural Resources’ “Most Significant Groundwater Recharge Areas of Georgia, Hydrologic Atlas 18 (1989 Edition)” and the Georgia Department of Natural Resources “Groundwater Pollution Susceptibility Map of Georgia, Hydrologic Atlas 20, 1992 Edition”. Standards for this district shall comply with the DNR Rule 391-3- 16-02, Criteria for the Protection of Groundwater Recharge Areas.
- D. Permitted uses
All uses allowed in the underlying zoning districts are permitted in the Groundwater Recharge Area Protection District. The following are additional requirements for specific uses:
1. All above-ground chemical or petroleum storage tanks, having a minimum volume of 660 gallons, shall meet the requirements of U.S. EPA rules for oil pollution prevention, 40 CFR 1121. Such tanks used for agricultural purposes are exempt, provided they comply with all Federal requirements.
 2. New agricultural waste impoundment sites shall be lined if they are within:
 - a. A high pollution susceptibility area;
 - b. A medium pollution susceptibility area and exceed fifteen (15) acre-feet in size; and
 - c. A low pollution susceptibility area and exceed fifty (50) acre-feet in size.
 - d. As a minimum, the liner shall be constructed of compacted clay having a thickness of one (1) foot and a vertical hydraulic conductivity of less than 5×10^{-7} cm/sec or other criteria established by the U.S. Soil Conservation Service.
 3. New homes served by septic tank/drain field systems shall be on lots having the following minimum size limitations as identified on Table MT-I of the Department of Human Resources’ Manual for On-Site Sewage Management Systems (“DHR Table MT-I”):

- a. 150% of the subdivision minimum lot size of DHR Table MT-1 if they are within a high pollution susceptibility area;
 - b. 125% of the subdivision minimum lot size of DHR Table MT-1 if they are within a medium pollution susceptibility area; and
 - c. 110% of the subdivision minimum lot size of DHR Table MT-1 if they are within a low pollution susceptibility area.
4. New manufactured home parks served by septic tank/drain field systems shall have lots or spaces having the following size limitation as identified on Table MT-2 of the Department of Human Resources' (DHR) manual for On- Site Sewage Management Systems ("DHR Table MT-2"):
 - a. 150% of the subdivision minimum lot or space size of DHR Table MT-2 if they are within a high pollution susceptibility area;
 - b. 125% of the subdivision minimum lot or space size of DHR Table MT-2 if they are within a medium pollution susceptibility area; and
 - c. 110% of the subdivision minimum lot size of DHR Table MT-2 if they are within a low pollution susceptibility area.
 - d. Local governments at their option may exempt any lot of record on the date of their adoption of these lot size standards from the minimum lot size requirements.
 5. No construction may proceed on a building or manufactured home to be served by a septic tank unless the Tift County Health Department first approves the proposed septic tank installation as meeting the standards of the DHR Manual and minimum lot size requirements.
 6. New facilities which handle hazardous materials, of the types (listed in Section 312 of the Resource Conservation and Recovery Act of 1976, excluding underground storage tanks) and in amounts (10,000 pounds or more on any one day) shall perform their operations on impervious surfaces and in conformance with any applicable federal spill prevention requirements and any local fire prevention code requirements.
 7. Permanent storm water infiltration basins shall not be constructed in areas having high pollution susceptibility.
 8. Any new wastewater treatment basin shall have an impermeable liner.
 9. All agricultural operations subject to 391-3-6-.21, Georgia DNR Rules for Environmental Planning Criteria.

3.03.04 Alapaha River Corridor Protection District

- A. Description of district
 1. The limits of the Alapaha River Corridor Protection District are hereby defined to be all areas within one hundred (100) feet horizontally of the river, measured from the river bank.
 2. This area shall remain in an undisturbed vegetative buffer.
 3. The 100-foot buffer is measured from the uppermost part of the river bank, usually marked by a break in slope.
 4. Although not within the buffer area, the area between the top of the river bank and the water's edge shall be included in the district.
 5. Because these protective measures allow some latitude with land uses and because the District is not intended to prescribe a specific land use but rather, to define a range of acceptable land uses, the Alapaha Corridor Protection

- District is designed as an overlay district.
6. Within the range of uses which can be located within the District, Section 3.03.04 establishes performance standards which apply to development within the District.
 7. The regulations of the underlying zoning district shall be maintained and not affected, except in the event of conflict or discrepancy between the overlay district and the underlying zoning district. In that case, the more stringent requirements shall be observed.
- B. Intent
1. The intent of the regulations within this Zoning District is to limit the use of the Alapaha River Corridor, in conjunction with other governmental entities along the Alapaha River Corridor, in order to:
 - a. Assure that the section of the river in Tift County will not become polluted and unsuitable as a source for potable water;
 - b. Protect the river corridor by establishing a natural vegetative buffer area bordering the river;
 - c. Preserve those qualities that make the river corridor suitable as a habitat for wildlife;
 - d. Help control erosion and to absorb flood waters.
 2. The further intent of this district is to protect and safeguard the health and welfare of all the citizens of Tift County by providing protection of the section of the river that is or may be used as a future source of drinking water.
- C. Conditions and performance standards
- Within the overlay district, the following conditions and performance standards shall apply, in addition to the regulations of the underlying zoning district on which the overlay district is superimposed.
- D. Permitted uses
1. Allow the building of single-family dwellings, including the usual appurtenances, within the buffer area, subject to the following conditions:
 - a. The dwelling shall be in compliance with all local zoning regulations.
 - b. The dwelling shall be located on a tract of land containing at least two (2) acres. For the purposes of these standards, the size of the tract of land shall not include any area that lies within the protected river (that is, for tracts of land that include portions of a protected river the area between the river banks cannot be counted towards the two (2)-acre minimum size).
 - c. There shall be only one (1) such dwelling on each two (2) acre or larger tract of land.
 - d. A septic tank or tanks serving such a dwelling may be located within the buffer area.
 - e. Septic tank drain fields may be located within the buffer area.
 2. The construction of road and utility crossings shall meet all requirements of the Erosion and Sedimentation Control Act of 1975 and of any applicable local ordinances on soil erosion and sedimentation control.
 3. Timber production and harvesting, subject to the following conditions:
 - a. Forestry activity shall be consistent with best management practices established by the Georgia Forestry Commission; and

- b. Forestry activity shall not impair the drinking quality of the river water as defined by the Federal Clean Water Act, as amended.
 4. Wildlife and fisheries management activities consistent with the purposes of Section 12-2-8 (as amended) of Section I, Chapter 2, Title 12 of the Official Code of Georgia Annotated (O.C.G.A.).
 5. Wastewater treatment
 6. Recreational usage consistent either with the maintenance of a natural vegetative buffer or with river-dependent recreation. (For example, a boat ramp would be consistent with this criterion.)
 7. Natural water quality treatment or purification.
 8. Agricultural production and management, subject to the following conditions:
 - a. Agricultural activity shall be consistent with best management practices established by the Georgia Soil and Water Conservation Commission;
 - b. Agricultural activity shall not impair the drinking quality of the river water as defined by the Federal Clean Water Act, as amended; and
 - c. Agricultural activity shall be consistent with all state and federal laws and all regulations promulgated by the Georgia Department of Agriculture.
 9. Other uses permitted by DNR or under Section 404 of the Clean Water Act.
- E. Prohibited uses
 1. Handling areas for the receiving and storage of hazardous waste shall be prohibited within river corridors.
 2. Except as related to single-family dwellings within the river corridor, septic tanks and septic tank drain fields are prohibited within the 100-foot buffer.
- F. Exemptions

The following are exempt from the River Corridor Protection requirements:

 1. Land uses existing prior to the adoption of the River Corridor Protection Requirements.
 2. Mining activities, if permitted by the DNR pursuant to the Georgia Surface Mining Act of 1968, as amended.
 3. Utilities, (except as discussed above in 3.03.004(D)(2)). If such utilities cannot feasibly be located outside the buffer area, feasibility shall be decided conservatively by the governing authority, provided that:
 - a. The utilities shall be located as far from the riverbank as reasonably possible.
 - b. Installation and maintenance of the utilities shall be such as to protect the integrity of the buffer area as well as is reasonably possible.
 - c. Utilities shall not impair the drinking quality of the river water.
 4. Specific forestry and agricultural activities, except as discussed above.
- G. Restoration of buffer

The natural vegetative buffer shall be restored as quickly as possible following any land-disturbing activity or construction within the river corridor related to the acceptable uses above.
- H. Construction prohibited

Except as noted above, all construction within the buffer area shall be prohibited.

3.04.00 WETLANDS RESOURCE OVERLAY DISTRICT**3.04.01 Intent**

The intent of this section is to establish minimum development standards and criteria which will afford reasonable protection of environmentally sensitive wetland areas found within the City of Tifton and Tift County, Georgia. Based on the findings and recommendations of the 2010 Greater Tift County Comprehensive Plan, and the established Part V Environmental Planning Criteria, it has been determined that the wise management of these wetlands resources is essential to maintaining the health, safety, general welfare and economic well-being of the current and future inhabitants of the City of Tifton and Greater Tift County.

3.04.02 Findings of Fact

- A. The wetlands within the City of Tifton and Tift County are indispensable and fragile nature resources with significant development constraints due to flooding, erosion and soil limitations.
- B. In their natural state wetlands serve man and nature.
- C. They provide habitat areas for fish, wildlife and vegetation, water quality maintenance and pollution control, flood control, natural resource education, scientific study, and recreational opportunities.

3.04.03 Purpose

The purpose of this overlay district is to promote the wise use of wetlands and protect them from alterations which will significantly affect or reduce the primary functions for water quality, floodplain and erosion control, groundwater recharge, aesthetic natural areas and wildlife habitat areas.

3.04.04 District Delineation

- A. These regulations shall apply to all potential wetlands located within the City of Tifton and Tift County, Georgia.
- B. The Wetland District Overlay Map, adopted as part of this UDC, shows the potential location of wetlands, according to the 1987 National Wetlands Inventory, and should be consulted by persons considering activities in or near wetlands before engaging in a regulated activity.
- C. The standards for this district shall comply with Department of Natural Resources Rule 391-3-16-03, Criteria for Wetlands Protection.

3.04.05 Wetland Development Permit Requirements

- A. No activity or use except those identified in Section 3.04.06 shall be allowed within the wetland overlay district without a permit issued by the U.S. Army Corp of Engineers.

- B. If the area proposed for development is located within fifty (50) feet of any potential wetland district boundary, the applicant must document receipt of a nationwide, regional, general or individual permit or a letter of clearance that jurisdictional wetlands are not located on the subject property from the U.S. Army Corps of Engineers under Section 404 of the Clean Water Act before a development permit will be issued by the governing authority.
- C. Any local government action under this UDC does not relieve the landowner from federal or state permitting requirements.

3.04.06 Permitted Uses

The following uses are permitted by right within the wetlands district to the extent they are not prohibited by any other ordinance or law and provided they do not require structures, grading, fill, draining or dredging:

- A. Forestry practices applied in accordance with best management practices approved by the Georgia Forestry Commission.
 - 1. Section 404 does not require permits for normal, ongoing silvicultural activities.
 - 2. However, section 404 does list some required road construction best management practices that must be followed in order to qualify for such an exemption.
- B. Conservation or preservation of soil, water, vegetation, fish or other wildlife, provided the conservation or preservation does not affect waters of the State of Georgia or of the United States in such a way that would require an individual Section 404 permits.
- C. Outdoor passive recreational activities, including fishing, bird watching, hiking, boating, horseback riding and canoeing.
- D. Natural water quality treatment or purification.
- E. Normal agriculture activities including the planting and harvesting of crops and pasturing of livestock. Such activities shall be subject to best management practices approved by the Georgia Department of Agriculture.

3.04.07 Prohibited Uses

The following uses are prohibited in a wetland district:

- A. Receiving areas for toxic or hazardous waste or other contaminants.
- B. Hazardous or sanitary waste landfills.

CHAPTER 4

SITE DESIGN STANDARDS

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4.00.00 GENERALLY

4.00.01 Purpose

The purpose of this chapter is to provide design standards applicable to all development activity in all zoning districts. This chapter also provides design standards applicable in specific situations, such as development within overlay districts or development of specific uses that require supplemental standards to address potential impacts.

4.00.02 Applicability

No buildings, structures, or land shall be used or occupied; and no building, structure, or part thereof shall be erected, constructed, reconstructed, moved, enlarged, or structurally altered unless in conformity with the regulations of this UDC as well as applicable State and federal regulations. These provisions apply within the unincorporated areas of Tift County.

4.01.00 SITE DESIGN STANDARDS FOR BASE ZONING DISTRICTS

4.01.01 Design Standards for Lots (area and width)

- A. Only one (1) principal residential building and its allowable accessory buildings shall hereafter be erected on any one (1) lot in any residential zoning district.
- B. Except as specifically provided in this UDC, no lot existing at the time of adoption of this UDC shall be reduced, divided, or changed so as to produce a lot or tract of land which does not comply with the minimum dimensional or area requirements of this section.
- C. Land which is required, dedicated, and accepted for public use is exempt from the requirement of Section 4.01.01(B).
- D. No building shall be erected on a lot which does not abut an open public street or a private street, meeting current development standards for streets in Tift County.
- E. Lot width shall be measured at the required minimum front setback line, as set forth in Table 4.01.02(F).

[Table 4.01.01 (E) Follows on Next Page]

Table 4.01.01(E). Standards for Lot Area and Width.

ZONING DISTRICT	MINIMUM LOT AREA ¹		MINIMUM GROSS FLOOR AREA PER DWELLING UNIT TC-TA-12-01, 08.13.12	MINIMUM ROAD FRONTAGE (FEET)	MINIMUM LOT WIDTH (FEET) AT SETBACK LINE
		ADDITIONAL AREA FOR MULTIFAMILY	HEATED SQUARE FOOTAGE		
AG	3 acres	N/A	720	210	60
R1	1 acre	N/A	1,500	120	60
RR1	1 acre	N/A	720	120	60
R21	21,780 sf	N/A	1,500	100	30
CA	1 acre	N/A	N/A	60	60
R12	12,000 sf	N/A	1,200	80	30
R8 & R8M	8,000 sf	12,000 sf for duplex	R8 - 800 R8M - 720 R8M/MHP - 400	80	60
MR	6,000 sf	3,000 sf plus 500 sf of green space/recreation area for each unit	800	60	60
RP	6,000 sf	3,000 sf each unit	800	60	60
CC	None	N/A	* 5.02.02F	60	60
GB	None	N/A	* 5.02.02F	60	60
WLI	None	N/A	* 5.02.02F	No minimum ²	60
HI	None	N/A	* 5.02.02F	No minimum ²	60
RPD & UPD	Per approved site development plan.				

¹See Supplemental Standards in Section 4.03.00 for additional lot area requirements for specific uses.

²For purposes of providing access from a public right-of-way, the lot width shall be as required for a driveway as set forth in Chapter 6 plus ten (10) feet on each side of the driveway.

4.01.02 Dimensional Standards for Building Height and Location

- A. Measurement of setbacks
 - 1. Front setbacks shall be measured from the property line of the abutting street to the outermost wall of the building or structure.
 - 2. Side and rear setbacks shall be measured from the property line to the outermost wall of the building or structure.

- B. Encroachments into required setbacks
 - 1. Architectural features, such as cornices, eaves, gutters, steps and fire escapes, may project not more than three (3) feet beyond a required setback line, except where such projections would obstruct driveways which are used or may be used for access of service and/or emergency vehicles.

2. In the case of automobile service stations, motels, and similar uses which serve the motoring public, canopies shall be allowed over a driveway or walkway within the front yard not to extend from the principal building to a point no closer than fifteen (15) feet from the street right-of-way line.
- C. Lots with multiple frontage
1. On a corner lot where the main entrance into a residence is facing a side yard, it shall be permissible for purposes of this UDC to interpret the residence to be fronting on the street other than that street which said entrance faces, and side and rear yard requirements may be provided accordingly. Such determination shall be made by the Manager.
 2. For a corner lot, side yard setback requirements from the right-of-way of abutting streets shall be equal to seventy-five (75) percent of that required for the front yard setback.
 3. For a corner lot, the street with the higher classification shall be considered the front for purposes of this section, regardless of which street the entrance (front door) faces. Setbacks for side and rear yards shall be established according to the standards in the table below for the yards as indicated on the plan or plat.
 4. If a building is constructed on a through lot having frontage on two (2) roads not at an intersection, a setback from each road shall be provided equal to the front yard requirement for the district in which the lot is located.
- D. Maintenance of setbacks
1. No open space or yard established through standards for setbacks shall be encroached upon or reduced in any manner except in conformity to the yard, setback, off-street parking, and accessory buildings standards of this UDC. Shrubbery, driveways, retaining walls, fences, curbs, and planted buffer strips shall not be construed to be an encroachment of yards.
 2. No part of any required yard, other open space, or off-street parking or loading space shall be considered to be part of a required yard, other open space, or off-street parking or loading space for any other building or structure or use.
- E. Building heights
1. Building height is the vertical distance of a building, measured from the average elevation of the finished lot grade along the front of the building to the highest point of the building.
 2. The height limits of these regulations shall not apply to a church spire, belfry, cupola, dome, ornamental tower not intended for human occupancy, monument, water tower, observation tower, transmission tower, chimney, smoke stack, conveyor, flag pole, radio or television tower, mast or aerial, parapet wall not extending more than four (4) feet above the roofline of the building & necessary mechanical equipment.
- F. Building setback and height standards are provided in Table 4.01.02(F).

[Table 4.01.02 (F) to Follow on Next Page]

Table 4.01.02(F). Standards for Building Locations and Heights.¹

ZONING DISTRICT	MINIMUM SETBACKS FROM PROPERTY LINES (FEET) ¹					MAXIMUM BUILDING HEIGHT (FT.) ²
	FRONT			SIDE ^{2/3}	REAR ^{2/3}	
	ARTERIALS	COLLECTOR	LOCAL			
AG	40	40	40	20	40	40
R1	40	40	40	20	40	40
RR1	40	40	40	20	40	40
R21	40	40	30	10	40	40
R12	30	30	30	10	30	35
R8&R8M	30	30	25	10	25	35
MR 3 or more stories	40	40	30	8 20	30	None
RP	30	30	25	10	30	None
CC ²	40	40	40	10	12	40
GB ²	25	35	40	10	12	None
CA	40	N/A	N/A	40	40	35
WLI ²	40	40	30	20	20	None
HI ²	40	40	30	20	40	None
RPD & UPD	Per approved site development plan.					

¹ See Supplemental Standards in Section 4.03.00 for additional setback requirements for specific uses.

² When the proposed building/structure is thirty-five (35) feet or more in height, the setbacks shall be increased one (1) foot for each two (2) feet above thirty-five (35) feet in height.

³ See Building Code for fire rated wall requirements based on setbacks.

4.01.03 Design Standards for Commercial and Professional Condominium Developments

- A. These regulations shall apply to all lands and structures intended to be utilized for either commercial or professional uses where the property owner proposes to apply the condominium development and sales concept.
- B. Uses allowed within each specific commercial or professional development project shall be those uses specifically permissible in the zoning district as set forth in Section 2.03.03 of this UDC.
- C. All building facades, landscaped grounds, and parking areas shall be commonly owned and maintained by a properly constituted owners' association while individual ownership of specific units shall be permissible.

- D. Each individual unit proposed for such a development shall be separated by a fire-resistant wall or floor as required by applicable construction and safety codes, and each unit shall be served by separate utilities.
- E. Parking for such developments, including layout and site design as well as parking space requirements, shall comply with the requirements of Section 6.01.03 of this UDC.
- F. The site design shall demonstrate compliance with lot area, lot dimension, setback, and height standards set forth in this UDC.
- G. Applications for a building permit for all proposed commercial and professional development projects shall comply with the submittal and procedural requirements set forth in Chapter 10. In addition, if the project proposes the subdivision of the tract into various individual lots and common area, a copy of the proposed subdivision plat must be submitted for review with the site development plan.

4.01.04 Design Standards for Multi-family Residential Developments

- A. The regulations as set forth in this section shall apply to all lands and structures intended primarily to provide for owner occupied residential units, including condominiums, single family attached dwelling units (with or without condominium ownership), patio homes, multi-family development, zero lot line, and other similar housing types. Multiple buildings may be allowed on a single lot in these development types. Such projects may be referred to as residential group development projects.
- B. A condominium is defined as a type of residential development which includes individually owned dwelling units in a multi-family structure, combined with joint ownership of common areas of the buildings and grounds.
- C. Single family attached dwellings are a type of residential development which includes a dwelling unit on a subdivided lot individually owned, though attached by a common party wall to another dwelling unit on an adjacent lot. This housing type may also include provisions for joint ownership of common areas of certain buildings and grounds.
- D. Two parking spaces shall be provided for each dwelling unit, in addition to one guest parking space shall be provided for every 5 dwelling units.
- E. Each dwelling unit proposed for such a development shall be separated by a fire-resistant wall and/or floor as required by applicable construction and safety codes, and each dwelling unit shall be served by separate utilities.
- F. In addition to any required yards created by building setbacks, an open space shall be established which includes a minimum of 500 square feet per dwelling unit. The open space shall be left in a natural state, or developed as park or open-air recreation facilities to be part of the common area of the residential development.

- G. If the project proposes the subdivision of the tract into various individual lots and common area, a copy of the subdivision plat shall be submitted with the site development plan application.
- H. Interior lots within a residential group development may be smaller than the minimum lot area and lot width requirements for the applicable zoning district, so long as the required building setbacks are provided. However, perimeter lots, meaning lots adjacent to public streets, shall meet the lot area and setback requirements for the zoning district.
- I. Buildings within the residential group development shall meet the building height standards for the zoning district.

4.02.00 SITE DESIGN STANDARDS FOR SPECIAL AND OVERLAY DISTRICTS

4.02.01 Reserved

4.02.02 Site Design Standards for the Airport Overlay District (TMA)

- A. Airport zoning regulations are important for both the protection of airspace and land use compatibility in relation to the airport. The regulations set forth in this section are intended to prevent encroachment into the runway protection zones and airspace zones of the Henry Tift Myers Airport. Further, these regulations are intended to ensure that structures, such as but not limited to telecommunication towers/cellular antennas, buildings, water tanks, smokestacks, power lines, and cranes, are not erected to encroach into protected space.
- B. The specific purposes of the regulations set forth in this section are:
 - 1. To protect the health, safety, and welfare of persons within the vicinity of the Henry Tift Myers Airport;
 - 2. To provide for the safe and efficient operation of the Henry Tift Myers Airport; and
 - 3. To ensure the safety of flyers using the Henry Tift Myers Airport from hazards to air navigation.
- C. Within the TMA Airport Overlay District, the following zones are established, and are depicted on the City of Tifton and Tift County Zoning Map.
 - 1. Ground zone, which is the area of the airport consisting of the runway and apron features including an area immediately off the runway where air traffic, in normal conditions, is on the ground preparing to taxi, takeoff, land, or be maintained. Aircraft in the ground zone area are typically not engaged in aerial flight.
 - 2. Visual approach zone, which is the zone extending outward from the end of the runway for a distance of 5,000 feet with a terminal width of 2,400 feet used for visual approaches.
 - 3. Utility approach zone, which is the zone extending outward from the end of the visual approach zone for a distance of 10,000 feet with a terminal width of 3,800 feet used for instrument approaches.

- 4. Transitional zone, which is the zone extending from the terminal point of one utility approach zone and running parallel to the ground zone that serves as a gradual transition for height restrictions before entering more restrictive zones and airspace.
 - 5. Transitional buffer zone, which extends from the terminal point of one utility approach zone to another terminal point for either visual or a utility approach zone; the transitional buffer is designed to ensure that airspace around multiple runways no directly in the path of air traffic is developed in such a manner as air traffic is not imperiled due to height or proximity to existing approaches.
- D. The following runways are delineated for the TMA Airport Overlay District:
 - 1. 15/33 Primary Runway;
 - 2. 6/27 Secondary Runway; and
 - 3. 3/21 Auxiliary Runway.
 - E. No use may be made of land or water within any zone established by this section in such a manner as to create electrical interference with navigational signals or radio communication between the airport and aircraft, make it difficult for the pilots to distinguish between airport lights and other lights, result in glare in the eyes of pilots using the airport, impair visibility in the vicinity of the airport, create bird striking hazards, or otherwise in any way endanger or interfere with the landing, takeoff, or maneuvering of aircraft intending to use the airport.
 - F. No structure or building shall be erected, created, installed, or maintained within the transitional and approach zones to exceed the height limit established below.

Table 4.02.02(E). Height Limits in Airport Zones.

Zone	Rise Per Distance	Distance
Ground Zone	0	0
Visual Approach Zone	1"	20"
Utility Approach Zone	1"	34"
Transitional Zone	1"	7"
Transitional Buffer	1"	5"

4.02.03 Site Design Standards for the Neighborhood Redevelopment Overlay District (NRO)

- A. Description

The Neighborhood Redevelopment Overlay District shall include those areas so designated by the Tift County Commissioners.
- B. Purpose

The purposes of this district are:

 - 1. To acknowledge the existing conditions of these areas, while protecting the public health, safety, and welfare of the residents of these neighborhoods.

- 2. To encourage the redevelopment and revitalization of those neighborhoods that were originally designed and built with lot, setback, and building dimensions that differ from current zoning standards.
 - 3. To provide standards that allow specified neighborhoods to retain original design standards and avoid designating each lot or building as nonconforming based on lot dimensions, building setback, or building dimensions.
- C. The following standards shall apply within the Neighborhood Redevelopment Overlay District:
- 1. All development shall conform to the standards of the R-8 and R-8-M zoning district, except as otherwise provided in this section.
 - 2. Principal land uses within the Neighborhood Redevelopment Overlay District shall be limited to single family residential.
 - 3. Within the Neighborhood Redevelopment Overlay District:
 - a. Only one (1) residential building shall be permitted on any single lot;
 - b. Manufactured homes may be permitted in the Neighborhood Redevelopment Overlay District only to replace a nonconforming manufactured home or mobile home existing at the time this UDC is adopted;
 - c. The minimum required lot size otherwise required in the R-8 and R-8-M district shall be waived for lots of record existing at the time this UDC is adopted.
 - d. The minimum required front yard building setback requirements of this UDC may be reduced for a new building in cases where the following circumstances exist:
 - i. One (1) or more existing buildings are located within one hundred (100) feet on either side of the proposed building or dwelling, and
 - ii. The existing building is located within in the same zoning district as the proposed building, and.
 - iii. The existing building has frontage on the same side of the street as the proposed building, and
 - iv. The existing building is located with less than the minimum required front yard building setback as shown on a survey provided by the applicant.
- In such cases, the setback on such lots may be less than the required setback, but not less than the average of the existing setbacks on the aforementioned lots and the required setback, or a distance of twenty (20) feet from the closest edge of the street right-of-way line, whichever is greater, and minimum twenty (20) feet from the rear property line.

4.03.00 SUPPLEMENTAL STANDARDS FOR SPECIFIC USES

4.03.01 Kennels and Animal Boarding Facilities

- A. Keeping animals shall be considered a commercial kennel when one or more of the following conditions exist: (Refer to the adopted Tifton, Tift County, Ty Ty and Omega Animal Control Ordinance)

1. There are ten (10) or more animals, not including fish, reptiles and birds. Such animals are boarded, cared for, bred and raised, or kept for compensation. You must have a license from the State of Georgia Department of Agriculture Animal Protection Section.
2. There are more than ten (10) animals cared for, or kept without compensation or for a hobby such as show dogs or hunting dogs. Shall only be allowed in zoning districts for kennels.
3. Litters of animals not more than six (6) months of age are exempt from the provisions of 4.03.01.A. You may have one (1) litter per year if for compensation you must have a license issued by the State of Georgia Department of Agricultural Animal Protection Section.

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B. Kennels shall meet the design standards set forth in Table 4.03.01(B).

Table 4.03.01(B) Standards for Kennels

DEVELOPMENT FEATURE	STANDARD
Minimum land area	1 acre
Minimum setback from any property line	100 feet
Odor and pests	Management plan required for odor and pest control

4.03.02 Farms/Intensive Agricultural Feed Lot Operations (IAFO)

- A. Commercial farms, including commercial chicken houses, shall meet the design standards in Table 4.03.02(A).
1. A farm shall be considered commercial when the density of animals is more than one (1) animal per 10,000 square feet of fenced area or more than fifty (50) fowl per lot.
 2. Animals shall be kept within a fenced area.

Table 4.03.02(A). Standards for IAFO's

DEVELOPMENT FEATURE	STANDARD
Minimum land area	25 acres
Minimum setback from any property line for buildings housing animals	500 feet
Minimum setback from a residential dwelling on an adjacent parcel	1,500 feet
Maximum number of chicken houses	6.25 acres per chicken house
Maximum dimensions of chicken houses	50 feet x 600 feet

- C. Intensive Animal Feed Lot Operations (IAFO) shall meet and demonstrate compliance with Section 391-3-6-.21 of the Georgia DNR Environmental Planning Rules and meet Best Management Practices as outlined by NRCS.
- D. Retail selling of products raised on the premises shall be considered a permissible activity. Off-street parking shall be provided for customers vehicles.

4.03.03 Animal Hospitals or Veterinary Clinics

All animal hospitals and veterinary clinics shall meet the following standards:

Table 4.03.03. Standards for Animal Hospitals or Veterinary Clinics.

DEVELOPMENT FEATURE	STANDARD
Minimum setback from the property line of any residential zoning district	150 feet
Odor and Noise	Management plan required for odor and noise control

4.03.04 Golf Courses

- A. A golf course may be public or private and may include the following buildings and accessory uses:
 - 1. A clubhouse with or without a pro shop, retail sales of golf supplies and accessories, and a restaurant or snack shop;
 - 2. An equipment building for maintenance, minor repairs, and storage. Storage may include fertilizers, herbicides, or pesticides; and
 - 3. Driving range.
- B. The types of golf courses may be par 3, executive, or regulation.
- C. Lighted golf courses are permissible only when located in the GB, WLI, and HI zoning districts.
- D. The following are site design standards for golf courses:

Table 4.03.04(D). Standards for Golf Courses.

DEVELOPMENT FEATURE	STANDARD
Minimum setback for buildings	As required by the zoning district
Safety netting for driving ranges	Required on the perimeter of the playing area abutting public streets Minimum of 32 feet in height
Outdoor lighting, when permissible, for driving range, tees, greens, and fairways	Directed and shielded to avoid illumination of properties used or zoned for residential purposes.
Loudspeakers or paging systems	Prohibited
Outside storage and loading areas	Fully screened from view from adjacent properties and from the public right-of-way
Golf cart crossings	Shall be plainly marked and located for safety of both the cart users and persons using sidewalks or streets that are crossed.

4.03.05 Junk Yards and Salvage Yards

- A. A junk yard or salvage yard means the use of property for outdoor storage, keeping, abandonment, sale, or resale of junk including scrap metal, rags, paper or other scrap materials, used lumber, salvaged house wrecking, and structural steel materials and equipment, or for the dismantling, demolition, or abandonment of automobiles or other vehicles or machinery or parts thereof.
- B. The site design standards for salvage yards and junk yards are set forth in the following table:

Table 4.03.05(B). Standards for Junk Yards and Salvage Yards.

DEVELOPMENT FEATURE	STANDARD
Minimum area	5 acres
Minimum setback	500 feet from any property line from any residentially zoned property.
Screening required	Solid wall or solid fence in addition to screening requirements applicable to the zoning district minimum eight feet high, maximum ten feet high.
Storage of salvaged or junk materials	Materials shall not exceed the height of the fence or wall. This shall not be construed to prohibit equipment and vehicles used in the salvage operation.
Exterior lighting	Directed and shielded to avoid illumination of adjacent properties

4.03.06 Religious Facilities and Associated Uses

- A. A religious facility is a building or group of buildings where persons assemble for purposes of worship. The principal use of a religious facility is considered worship, which is a form of religious practice, together with its creed and ritual.
- B. Uses and activities other than worship and offices to support the primary facility shall be considered accessory uses and shall be clearly ancillary to the primary use. Such uses and activities shall be limited to:
 - 1. Religious instruction (such as “Sunday School,” Bible school, or similar instruction or study typically associated with the religion);
 - 2. Child or adult day care, subject to the standards set forth in 4.03.06(D); and 4.03.08.
 - 3. Private academic school, subject to the standards set forth in 4.03.06(E);
 - 4. A fellowship hall, with or without a kitchen, subject to the standards of Section 4.03.06(F), (which may be known as a community center, activity hall, or life center);
 - 5. Recreation facilities;
 - 6. Individual meeting spaces; and
 - 7. A parsonage, subject to the standards of Section 4.03.06.
- C. All accessory uses are subject to the following requirements:
 - 1. The accessory use shall be owned and operated only by the owner of the primary use;

2. The facility housing the accessory use shall meet all local, State, or federal standards;
 3. The owner of the primary use shall obtain any licenses required to conduct the accessory use. Any approval of the accessory use shall be contingent upon receipt of all licenses;
 4. Loudspeaker or paging systems shall be located to ensure that they are not a nuisance to adjacent properties;
 5. All exterior lighting shall be directed or shielded to avoid illumination of adjacent properties, as measured at the property line;
- D. Child day care, adult day care, preschool, or child nursery uses are allowable accessory uses subject to applicable state codes and the following standards:
1. The total floor area allocated to the child day care, adult day care, preschool, or nursery uses shall not exceed ten (10) percent of the total floor area on the site. The calculation of total floor area allocated to the uses shall be cumulative and shall include all child day care, adult day care, preschool, nursery facilities, and related mechanical and support facilities.
 2. An off-street drop-off area for persons served by the facility shall be provided. The entrance and vehicle drop off points shall not be located on a street providing primary access to residences, unless such street is classified as a collector or arterial.
- E. Private academic schools are allowable accessory uses subject to applicable state code and the following standards:
1. The total floor area allocated to the school shall not exceed twenty (20) percent of the total floor area on the site. The calculation of total floor area allocated to the school shall include all components of the school: classrooms, school library, school offices, teacher work areas, and the like, including related mechanical and support facilities. This standard shall apply whether the floor area allocated to the school is also used for other purposes when not needed for the school.
 2. The entrance and vehicle drop off points for students shall not be located on a street providing primary access to residences, unless such street is classified as a collector or arterial.
- F. A fellowship hall or multi-purpose building is an allowable accessory use, provided that the total floor area allocated to the fellowship hall, including related mechanical and support facilities, shall not exceed thirty-five (35) percent of the total floor area on the site.
- G. One (1) residential dwelling unit is allowable to serve as a parsonage, subject to the following standards:
1. A minimum lot area, within the parcel developed for religious uses and facilities, to be devoted to the dwelling unit (“parsonage lot”) shall be 8,000 square feet. A larger lot area may be required when the dwelling unit is served by a private well and/or septic system. The parsonage lot shall be used exclusively for the dwelling unit, and shall not include any primary or other accessory use allowable on the site.

2. Two off-street (2) parking spaces shall be provided to serve the parsonage and shall be located within the parsonage lot.
 3. The parsonage lot may contain a residential swimming pool, fully enclosed by a fence, and attached to the dwelling.
- H. A specific parking plan shall be provided. This plan shall identify the principal use and each accessory use proposed on the site. The parking standards for the principal use and each accessory use shall be identified based upon UDC requirements, set forth in Section 6.01.03. The parking plan may propose reduced or shared parking.
- I. For religious facility buildings that exceed 10,000 square feet in total floor area, the minimum setback from any property line that is otherwise required shall increase five (5) feet for each additional 2,000 square feet of floor area, or portion thereof, over 10,000 square feet in floor area.

4.03.07 Manufactured Housing Parks and Recreational Vehicle Parks

Where a development is proposed as a manufactured housing park or recreational vehicle park (called park), the following standards shall apply:

- A. The minimum parcel size for a park shall be five (5) acres.
- B. The units within the park shall be manufactured homes or recreational vehicles, including travel trailers, motor homes, fifth wheel trailers, pop-up trailers, park model trailers, and other similar vehicles. The park may be designed to include only manufactured homes or recreational vehicles or a combination.
- C. A perimeter buffer shall be provided for the park development as follows:
 1. The buffer width shall be a minimum of ten (10) feet.
 2. Landscaping within the buffer shall comply with the standards in Section 4.08.06(b)(1) through (6).
 3. Buffers shall comply with requirements for maintenance as set forth in Section 4.08.03.
- D. Accessory uses and structure may include management headquarters, recreational facilities, buildings for toilets and showers, coin-operated laundry facilities, solid waste facilities, and other uses and structures customarily incidental to park use.
- E. Accessory uses and parking to serve the accessory uses shall not exceed ten (10) percent of the total area of the park. Accessory buildings and use areas shall have an interior setback of ten (10) feet from the boundary of the area established for accessory uses and buildings.
- F. Access to the park shall be by paved public street. Such access shall be on or within 1,000 feet of and accessible to a principal or minor arterial or collector street. Any park with more than 20 units shall have a minimum of two access points.
- G. A twenty (20) foot interior roadway or drive shall be paved, properly drained, and shall serve all lots.

- H. Each lot shall have a properly drained and paved parking space for at least two (2) motor vehicles, designed and built-in compliance with Section 6.01.03 as it pertains to parking spaces.
- I. Each site shall have a connection to water and sewer as required and approved by the Tift County Health Department and/or Tifton Tift County Utilities Department.
- J. The minimum area for each manufactured home or recreational vehicle site (called lot) shall be 5,000 square feet with a minimum lot width of fifty (50) feet where lots are served by both public water and public sewer systems. The minimum lot size shall be as established by the Tift County Board of Health where lots are served by a community water system and/or a septic system. The area devoted to the community water supply facilities shall not be considered part of an individual lot.
- K. Accessory buildings on individual lots shall be set back ten (10) feet from the principle building and lot boundaries, with a limit of one (1) accessory building per lot.
- L. Each lot shall be clearly defined.
- M. Each manufactured home must be installed and anchored as per State of Georgia minimum requirements, properly underpinned or skirted within forty-five (45) days of installation with material comparable to the proposed manufactured home. Each manufactured home shall have a minimum three (3) foot by three (3) foot landing, stairs, and handrails at each ingress and egress door.
- N. At least 200 square feet per lot and not part of the required lot, shall be provided in one (1) or more locations for community playground and recreation purposes. This requirement shall not apply to parks where each lot is served by an individual septic system.
- O. No park shall be occupied by a greater number of manufactured homes or recreational vehicles than that authorized in the approved site development plan. No park shall be enlarged or extended unless a separate site development plan has been submitted and approved. Procedures for submission and review of site development plans are set forth in Chapter 10. Where recreational vehicles are allowed within a park, an application for site development plan shall include demonstration of compliance with State regulations.

4.03.08 Day Care, Kindergarten, and Nurseries

- A. A day care, kindergarten, or nursery is a facility providing care for six (6) or more children who are not related by blood or marriage and are not the legal wards or foster children of the owners or operators of the facility. The facility is intended to provide care, training, education, or supervision of children less than fourteen (14) years of age.
- B. The facility shall provide off-street loading and unloading spaces, separated from the parking area.

- C. There shall be at least 100 square feet of outdoor play area for each child.
- D. The entire play area shall be enclosed by a steel mesh security fence or substantial building material at least four (4) feet in height. Such fence shall be constructed in such a manner as to provide maximum safety to the children.
- E. All facilities regulated in this section shall comply with State regulations and acquire applicable State licenses for operation.

4.03.09 Gasoline Service Stations and/or Convenience Stores

- A. The term “gasoline service station” includes convenience stores with gas pumps, and establishments that provide the following accessory uses in addition to gas pumps: fast food restaurants, drive-through restaurants, groceries, and sundries, supplies for the traveling public, food, and beverages. Freestanding convenience stores without gas pumps are also regulated by this section.
- B. Minor vehicle repair services are allowed. Maintenance services, such as oil changes, are permissible. Major repairs, body repair and paint are specifically prohibited.
- C. Underground storage tanks, if any, shall be designed, located, and monitored in full compliance with State requirements. Evidence of such compliance shall be provided with the site development plan application.
- D. Oil drainage pits and hydraulic lifts, if any, shall be located as follows:
 - 1. Such uses shall be within an enclosed structure.
 - 2. Such uses shall be set back a minimum of fifty (50) feet from any property line.
 - 3. Comply with Tifton Tift County Utility Department regulations.
- E. Drive-through lanes for restaurants associated with the gasoline service station or convenience store shall be located a minimum of 100 feet from any property zoned for residential uses. Distance shall be measured from the outermost edge of the drive-through lane to the property line of the nearest property zoned for residential use.
- F. Dumpsters shall not be located within fifty (50) feet of property zoned for residential use and shall comply with the standards set forth in Section 5.02.05.
- G. All exterior lighting shall be directed and shielded to avoid direct illumination of adjacent properties.
- H. Vehicle parts, supplies, damaged parts, or other materials and supplies shall be stored within an enclosed building.

4.03.10 Hospitals or Nursing Homes

- A. A hospital is any institution receiving in-patients, or a private or public institution receiving out-patients, and authorized under Georgia law to render medical, surgical, and/or obstetrical care, such as examination, diagnosis, treatment, and nursing care.

The term “hospital” shall include a sanitarium for the treatment and care of senile psychotics, drug addiction, or alcohol treatment but shall not include office facilities for the private practice of medicine or dentistry.

- B. The following are site design standards for free standing hospitals and nursing homes:

Table 4.03.10(B). Standards for Free Standing Hospitals and Nursing Homes.

DEVELOPMENT FEATURE	STANDARD
Minimum land area	3 acres
Minimum side and rear yard setback	50 feet
Minimum front yard setback	25 feet in addition to the setback required for the zoning district
Location	Fronting an arterial or collector road
Emergency vehicle entrances	Shall not face residentially zoned properties
Exterior lighting	Directed and shielded to avoid illumination of adjacent properties
Dumpsters	Fully screened Setback a minimum of 50 feet from any property line

- C. Private or Public Hospitals located within or is part of a group of buildings shall follow the setback and minimum land area and setbacks as approved in the site development plan. The above guidelines for emergency vehicle entrances, exterior lighting and dumpsters shall apply.

4.03.11 Dry Cleaning Plants

- A. An application for approval of a site development plan for a dry-cleaning plant shall include documentation of compliance with EPD rules and regulations.

4.03.12 Personal Care Homes

- A. A personal care home is a building or group of buildings in which two (2) or more beds are provided for compensation and facilities and services are provided to non-family ambulatory adults. Facilities and services may include room, meals, and personal care.
 1. A family personal care home is a family-type residence where facilities and services are provided to two (2) to six (6) adults.
 2. A group personal care home is a building where facilities and services are provided to seven (7) to fifteen (15) adults.
 3. A congregate personal care home is a building where facilities and services are provided to sixteen (16) or more adults.
- B. An application to establish a personal care home shall include documentation demonstrating compliance with State rules and regulations.

- C. The following site design standards apply to personal care homes:

Table 4.03.12(B). Standards for Personal Care Homes.

DEVELOPMENT FEATURE	STANDARD
Minimum lot area in the AG zoning district	3 acres
Minimum lot area in R21, R12, R8, R8M, MR, and RP zoning districts	1 acre
Parking location	Side and rear yards

4.03.13 Electrical Substation

- A. All buildings, masts, and other facilities shall be located a minimum of 200 feet from adjacent property lines when the adjacent district is zoned or used for residential development.
- B. A perimeter buffer shall be provided as follows:
1. The buffer width shall be a minimum of twenty (20) feet.
 2. Landscaping within the buffer shall comply with the standards in Section 4.08.06(b)(1) through (6).
 3. Buffers shall comply with requirements for maintenance as set forth in Section 4.08.03.

4.03.14 Heavy Manufacturing Facilities

- A. Heavy manufacturing uses are those which produce noise, odor, dust, fumes, fire hazards, or other similar nuisances.
- B. Heavy manufacturing uses shall be set back not less than 500 feet from all property lines, except when the adjacent property is zoned HI.

4.03.15 Mini-storage or Self-storage Facilities

- A. The following activities or uses are prohibited on the grounds or within the buildings of self-service storage facilities:
1. Wholesale sales;
 2. Retail sales, including garage sales, or other commercial activities;
 3. Manufacturing, fabrication, processing, or other industrial activity;
 4. Service or repair of vehicles, engines, electronic equipment or similar activities;
 5. Rehearsal or practice of musical instruments; and
 6. Residential use.
- B. Notwithstanding the limitations described in Section 4.03.15 above, the following activities may be conducted:
1. Rental of storage bays;
 2. Truck and trailer rental business, limited to a maximum of twenty-five (25) percent of the gross site area;
 3. Sales of boxes or goods related directly to the operation of a self-service storage facility; and

- 4. Sales by the owner or manager of the facility of abandoned items for reclamation of rental costs.
- C. Except as specifically provided in this section, all property stored on the site shall be entirely within enclosed buildings.
- D. Storage of flammable liquids, highly combustible or explosive materials, or hazardous chemicals is prohibited.
- E. As an accessory use, one (1) dwelling unit may be established for security personnel, management personnel, or the facility owner. The dwelling unit may be site built or manufactured housing, which shall be approved as a variance by the Tift County Zoning Board of Appeals.
- F. The following site design requirements shall be met:

Table 4.03.15(F). Site Design Standards for Self-Storage Facilities.

DEVELOPMENT FEATURE	STANDARD
Minimum site area	2.0 acres
Maximum site area	5.0 acres
Access requirements	Major or minor arterial or Collector Road
Dumpsters and trash containers	Fully screened from view from adjacent properties and public right-of-way and in compliance with Section 5.02.05
Outdoor lighting	Shielded and directed to avoid direct illumination of adjacent properties, as measured at the property line
Loudspeakers and paging equipment	Prohibited

- G. The following design standards are required for the self-service storage buildings:

Table 4.03.15(G). Building Design Standards for Self-Storage Facilities.

DEVELOPMENT FEATURE	STANDARD
Building separation (2 or more buildings on the site)	12 feet, but at a minimum shall meet applicable building code and fire code access standards
Overhead access doors	Shall not run parallel to residentially zoned property or public right-of-way
Storage bays: Minimum size Maximum size	4 feet by 4 feet (16 sf) 20 feet by 80 feet (1,600 sf)
Exterior facade	Front façade shall be consistent with materials, and design of buildings in the surrounding area Side and rear facades may have metal exterior walls.

H. Outdoor (open) storage is permissible, subject to the following standards:

Table 4.03.15(H). Standards for Outdoor Storage at Self-service Storage Facilities.

DEVELOPMENT FEATURE	STANDARD
Types of goods to be stored	Limited to recreational vehicles and boats on trailers Dry stacking of boats Abandoned, wrecked, or junked vehicles are prohibited
Maximum area devoted to outdoor storage	25 percent of building area of the site
Screening	Fully screened from adjacent residentially zoned districts, from adjacent office areas, and from public right-of-way Screening may be a solid fence, solid wall, other similar structure, and landscaping buffer.
Fencing required	Minimum of 6 feet in height Maximum of 8 feet in height Decorative wall or fence required, with brick, stone, masonry, wood, or similar material. If chain link, screening and buffer is required. 50.02.05B
Security	Gate, equipped with alarm and keyless opening required

- I. Traffic circulation requirements:
 1. Traffic lane widths shall be established to provide for the adequate circulation, safety, and accessibility of trucks, cars, and individuals who utilize storage in such facilities;
 2. The minimum traffic lane width shall be twenty-four (24) feet;
 3. The maximum traffic lane width shall be forty (40) feet;
 4. Traffic flow patterns, directional signage, and painted land markings with arrows shall also be clearly marked; and
 5. In order to ensure appropriate access and circulation by emergency vehicles and equipment, the turning radii of the aisle ways shall be approved by the governing authority and the local fire inspector at the time of site development plan review.

4.03.16 Radio and Television Broadcast Stations

All towers, masts, aerials and antennas and other apparatus which constitute accessory equipment necessary for the broadcasting of television signals and/or radio signals shall meet the following standards

Table 4.03.16. Standards for Radio and Television Broadcast Stations.

DEVELOPMENT FEATURE	STANDARD
Setback	200 feet from any residential zoning district
Approvals from other agencies as required	FAA approval required for location, construction, lighting, radio frequencies, and height FCC approval for location

4.03.17 Vehicle Sales, Rentals, Repair, Paint, or Rebuilding

- A. Vehicle sales establishments may sell, rent, or lease vehicles, including recreational vehicles, motor vehicles, watercraft, and utility trailers.
- B. The following are the site design standards for vehicle sales establishments.

Table 4.03.17(B). Standards for Vehicle Sales Establishments.

DEVELOPMENT FEATURE	STANDARD
Minimum setback from residential zoning districts	100 feet (Buildings or Structures)
Display and sales areas	Shall be provided with a paved, or stabilized, dust free surface Shall not include any parking spaces required to meet the standards of Section 6.01.03
Mechanical repairs, body work, and paint repairs	Permitted as an accessory use to facilities providing vehicle sales Repairs shall only be conducted within an enclosed building which meets all applicable federal and state and local requirements, including health, safety, and fire protection regulations
Safety barrier	All property lines adjacent to vehicle displays shall have installed a permanent guardrail, fence, parking block, wheel stops, or landscaping to prevent vehicles from accidentally rolling from the display area
Exterior lighting	Shall be directed or shielded to avoid illumination of adjacent properties
Paging systems	Audio amplification systems, including, but not limited to, telephone loudspeakers or paging systems, shall be located to ensure they are not a nuisance on adjacent properties

- C. Only motor vehicles, recreational vehicles, and watercraft that are operable may be sold or leased.
- D. The owner of vehicle sales establishment shall have a plan and for the safe storage of flammable or hazardous materials to be stored or used on the property. The plan shall provide for the prevention, containment, recovery, and mitigation of spilled fuel or other hazardous material. The inventory shall be submitted to the local fire inspector prior to the site development plan approval, listing the type, quantity, and location of these materials. The inventory shall be kept current.
- E. Vehicles, signs, banners, tents, or other items shall not be stored, parked, displayed, or otherwise placed on public rights-of-way at any time.

4.03.18 Funeral Homes

- A. Funeral homes within the CC zoning district shall not include a crematorium.
- B. Off-street waiting space shall be provided for funeral processions.

4.03.19 Clubs, Lodges, Community Centers, or Recreation Centers

- A. The club, lodge, community center, or recreation center (called “center”) shall be located on a collector or arterial street.
- B. When adjacent to residential uses, the building in which the center is located shall be substantially similar in design, appearance, and character to buildings located within a 200-foot radius. Distance shall be measured from all property lines of the lot on which the center is located.
- C. The minimum lot area for a center is 21,780 square feet.
- D. Off street parking for the center shall be provided.
- E. Outdoor recreation facilities may be provided, subject to the following standards:
 - 1. The buffer adjacent to the outdoor recreation area shall be two (2) times the buffer otherwise required pursuant to Section 4.08.06.
 - 2. Exterior lighting shall be directed and shielded to avoid illumination of adjacent properties.

4.03.20 Adult Uses and Adult Entertainment Establishments

- A. An adult use or adult entertainment establishment is any commercial use or establishment that includes an adult bookstore, novelties, adult movie house, or explicit media outlet as regulated by O.C.G.A. § 36-60-3 or an establishment where performances are held which are by topless or bottomless dancers, strippers, or similar entertainers where the performances are characterized by the display or exposure of genitals, buttocks, or female breasts.
- B. An adult use or adult entertainment establishment shall be located on an arterial road.
- C. The lot or parcel on which an adult use or adult entertainment establishment is located shall be a minimum of 1,000 feet from the following:
 - 1. A lot or parcel used or zoned for residential use.
 - 2. A lot or parcel used or zoned for religious facilities.
 - 3. A lot or parcel used or zoned for public or private schools, day care facilities, kindergartens, or child nurseries.
 - 4. A lot or parcel used or zoned for public recreation facilities, public parks, or public playgrounds.
 - 5. A lot or parcel used for adult uses or adult entertainment.
- D. Measurement of distance for compliance with Section 4.03.20 shall be from property lines of the lot on which the adult use or adult entertainment is proposed to the property line of the lot or parcel with the uses listed in Section 4.03.20(B). Distance shall be a straight line from lot line to lot line and shall not follow roads or paths of travel unless such road or path of travel also describes the shortest distance from lot line to lot line.

- E. The minimum lot area for an adult use or adult entertainment establishment is one (1) acre.
- F. The minimum lot width for an adult use or adult entertainment establishment is 150 feet.
- G. Buildings on the lot shall be set back forty (40) feet from all property lines.
- H. Windows shall be maintained in a clear unobstructed manner so as to provide an open and unobstructed view of the entire reception area, lobby, and any ticket or other sales areas.
- I. Parking shall be provided as follows:
 - 1. One (1) space for each 100 square feet of gross floor area, or
 - 2. One (1) space for each three (3) occupants as determined by the occupancy rating from the appropriate code, whichever is greater.

4.03.21 Large Boarding Houses or Rooming Houses

- A. A boarding housing or rooming house shall not exceed ten (10) guest rooms or bedrooms.
- B. Communal areas may be provided for dining, social activities, entertainment, or recreation. Cooking facilities are prohibited in individual guest rooms.
- C. A sign is permissible, but shall be limited to four (4) square feet.
- D. Off-street parking shall be provided. There shall be one (1) space per guest room, plus two (2) additional spaces.

4.03.22 Shooting Club or Range

- A. Outdoor Gun Ranges that are utilized by Law Enforcement and Safety Personnel are essential services areas for the community.
- B. The discharge of firearms shall be conducted only within the range and or bays specifically designated for such use on an approved site plan.
- C. Firing positions shall be separated a minimum of 200 feet from the boundary of the subject property with any adjacent parcel in separate ownership and in addition, firing positions shall be separated a minimum of 500 feet from any permitted residence existing at the time of site plan approval for the proposed shooting range.
- D. An impenetrable backstop, a minimum of 20 feet in height, shall be constructed down range of any authorized range or bay and side berms a minimum of 8 feet in height shall be provided along the sidelines.
- E. The perimeter of the shooting range, including the firearm discharge area and surrounding berms, shall be enclosed by a fence or wall, a minimum of six feet in height to prevent unauthorized access. Warning signs of at least one square foot

each shall be attached to the perimeter fence at the rate of once at every corner and at least one for every 100 lineal feet plus one at each entry gate.

- F. The applicant’s range complex design shall be consistent with the NRA Source Book latest edition for the construction of outdoor shooting ranges. To assure the protection of groundwater from lead and other contaminants associated with the discharge of firearms the range shall comply with USEPA’s Best Management Practices (<http://www.epa.gov/region2/waste/leadshot/>).
- G. The applicant shall demonstrate compliance with all applicable state and local regulations and how safety and noise factors have been addressed through the site plan and other special features of the proposed development.
- H. A shooting range sites are a community asset that once sited and in operation, needs to be protected.

4.03.23 Intensive Commercial Recreation

- A. Intensive commercial recreation includes such uses as tracks for go-carts and similar vehicles, sports fields, miniature golf, climbing walls, pony rides, playgrounds, and other similar outdoor, commercial recreation.
- B. Intensive commercial recreation may include accessory uses, such as snack shops, food stands, gift shops, ice cream stands, and similar uses.
- C. Intensive commercial recreation uses shall comply with the following standards:

Table 4.03.23(C). Standards for Intensive Commercial Recreation.

DEVELOPMENT FEATURE	STANDARD
Minimum land area	2 acres
Minimum setback for buildings	200 feet
Abutting residential zoning districts All other zoning districts	100 feet
Minimum buffer	2 times the buffer specified in Section 4.08.06B
Lighting	Directed and shielded to avoid illumination of any adjacent property
Loudspeakers or paging systems	Installed in a manner not to be a nuisance on adjoining properties.
Outside storage and loading areas	Screened from view from adjacent properties and the public right-of-way

4.03.24 Cemeteries (Human and Pet)

- A. Cemeteries are permitted provided they front on an arterial or collector street.
- B. A cemetery may include one or more of the following: a burial park for earth interments, a mausoleum for vault or crypt interments and a columbarium.

- C. A cemetery may include a chapel when operated in conjunction with and within the boundaries of the cemetery.
- D. Registered cemeteries per State Law must have a minimum size of 10 acres; other cemeteries must have a minimum land area of two acres.
- E. The minimum setbacks for any structures to the front property line must be 40 feet, to the side and rear property lines must be 20 feet and adjacent to any residentially zoned property must be 50 feet.
- F. Must have a 25-foot planted buffer strip around their entire perimeter except for ingress and egress points.

4.03.25 Internet Cafes or Similar Intentioned Uses

- A. No Internet Cafe or Similar Use shall be permitted except as noted below, within one thousand-six hundred (1600) feet, measured by a straight line between the nearest corners of the facilities, of a religious facility, school, or public playground. No application for an Internet Café or Similar Use shall be approved which does not include or have attached thereto a current certificate from a registered surveyor of this state, showing a scale drawing of the premises, and the location at which applicant desires to operate, as well as the straight-line distance in linear feet from the nearest church, public park, school ground, college campus, public library and private dwelling lot of such proposed premises.
- B. Any person whose location or place of business does not meet the distance requirements above, and who is proposing to operate an Internet Cafe may have this distance waived in the following manner:
 - 1. A request for a waiver may be initiated by filing an application in writing with the Zoning Administrator.
 - 2. The Zoning Administrator will schedule a public hearing before the Tift County Commissioners if the application for a waiver meets the following criteria:
 - 3. Service is available only to persons patronizing the establishment for the main purpose of ordering and consuming food.
 - 4. Have permanent kitchen facilities located within the premises in which meals are regularly prepared for service of patrons of the establishment.
- C. A waiver of distance requirements under this section shall be granted only in the event it does not adversely affect community health, safety or general welfare and in connection with that shall be considered the following:
 - 1. The actual location and distance of the proposed establishment with respect to other internet cafes, as well as churches, schools, or public playgrounds.
 - 2. The type and size of the establishment, including bar floor space and seating capacity, capable of seating not fewer than (32) persons simultaneously for the purpose of consuming food, and whether, in view of such type or size, the proposed establishment is likely to create a public nuisance or traffic impediment by drawing crowds or persons milling about outside the building.

- 3. Whether adequate parking and landscaping for the facility is provided so as to meet the applicable requirements of this Code.
- 4. Whether the facility is physically or sufficiently well buffered from all adjacent residentially zoned areas, schools, churches, and public playgrounds.

4.03.26 Portable On-Demand (POD) Storage Units

- A. Before placing a PODS unit on his or her property, a person must submit an application and receive a permit from the County. An insurance certificate providing liability insurance in the amount of \$100,000 provided by the company supplying the POD must accompany the application.
- B. There is a fee of \$25 for a thirty-day permit. Applications can be required from the Zoning Administrator.
- C. Permits will be granted for a period of 30 days. At the expiration of the thirty- day period, applicants may seek to extend their permits for an additional 30 days by seeking an extension for cause from the Zoning Administrator. Extension of a permit will cost \$25 for the additional 30 days granted.
- D. PODS units are prohibited from being placed in the road/street right-of-way or the front yard of a property unless the rear or side yard is inaccessible.
- E. All locations must be off-street. The required parking space(s) shall at all times be maintained if the temporary storage units are placed in parking areas.
- F. The portable storage unit is no larger than eight feet in height by ten feet in width by 20 feet in length.
- G. No more than two portable storage units are approved for any address at any one time.
- H. The Applicant, as well as the Supplier, shall be responsible for ensuring that the Portable Storage Unit is maintained in good condition, free from evidence of deterioration, weathering, discoloration, graffiti, rust, ripping, tearing or other holes or breaks, at all times.
- I. No Portable Storage Unit shall be used to store solid waste, construction debris, demolition debris, recyclable materials, business inventory, commercial goods, goods for property other than at the residential property where the Portable Storage Unit is located (i.e. used for retail sales) or any other illegal or hazardous material.
- J. No Portable Storage Unit shall be occupied as a dwelling or office/business location.

04.03.27 Shipping Containers

- A. Shall only be utilized for storage/utility purposes and shall not be inhabited.

- B. The property owner or tenant shall be responsible for ensuring the shipping container is maintained in good condition, free from evidence of deterioration, weathering, discoloration, graffiti, rust, ripping, tearing or other holes, or breaks, at all times.
- C. There may be areas where shipping containers are not allowed due to restrictive covenants.

4.03.28 Farm Equipment Sales & Service

- A. Shall be located on a four-lane arterial highway
- B. Shall have a minimum of 210 feet of lot width and/or road frontage
- C. Width shall include ingress/egress

TC-ZA-16-02, 04.11.16

4.03.29 Concrete Batch Plants (permanent/portable)

- A. Property lights must be directed to the inside of property
- B. Hours of Operation shall be between 6:00 am and 6:00 pm
- C. Minimum five (5) acre parcels
- D. Must be located on arterial roads

Ord 2023-05, 04.10.23

4.03.30 Private Schools

Private schools shall comply with the supplemental standards set forth in the following table:

Table 4.03.30(A) – Standards for Private Schools

Development Feature	Standard
Minimum site area	3 acres
Minimum lot width	100 feet
Access requirements	Arterial or collector street (paved)
Outdoor recreation areas	Setback a minimum of 75 feet from any property zoned or used for residential purposes. Area shall be fully enclosed by a solid decorative fence, a minimum of four (4) feet in height.
Outdoor lighting	All lighting shall be directed and shielded to avoid illumination of adjacent properties, as measured at the property line.
Outdoor loudspeakers or paging systems	Installed in a manner not to be a nuisance on adjoining properties.
Drop-off and pick-up areas	Designed and located away from residential areas and separated from onsite parking areas.
Private academic schools operating as an accessory use of a qualifying religious facility are subject to the requirements of 4.03.06	

Res No 2024-12, 11.12.24

4.03.31 Shooting Range – Indoor

- A. Shall be located in zoning districts WLI (Wholesale/Light Industrial) and HI (Heavy Industrial)
- B. Property lights shall be directed and shielded to avoid illumination of adjacent properties, as measured at the property line.
- C. Construction of the shooting range shall be in compliance with Federal and State laws and standards.
- D. Noise from the property shall meet the guidelines set forth in the Tift County Code of Ordinances.
- E. Hours of operation shall be between 7:00 am and 10:00 pm daily.

Res No 2026-04, 02.09.26

4.03A.00 RESIDENTIAL AND NON-RESIDENTIAL SOLAR ENERGY SYSTEMS AND SOLAR ENERGY PRODUCTION FACILITIES

4.03A.01 Purpose

To provide definitions relating to solar energy systems and solar energy production facilities, and standards to guide the development of solar energy systems and facilities in order to protect the public health, safety and welfare and avoid significant impacts on resources and adjacent uses.

It is the intent of Tift County to:

1. Encourage the use of existing buildings for the placement of solar energy systems;
2. Encourage the location of solar energy production facilities, to the extent possible, in areas where any potential adverse impacts on the community will be minimized;
3. Encourage the utilization of established public infrastructure for the development of solar energy systems and solar energy production facilities.

4.03A.02 Definitions

Accessory Structure: A detached, permanent or semi-permanent subordinate structure located on the same lot as the principal structure or use.

Accessory Use: A use customarily incidental and subordinate to the primary use of a property and located on the same lot.

Administrative Approval: Zoning approval that the Director of Development Support Services or designee is authorized to grant after administrative review.

Administrative Review: Non-discretionary evaluation of an application by the Director of Development Support Services. This process is not subject to a public hearing.

International Building Code (IBC): A model building code developed by the International Code Council. It has been adopted for use as a base code standard by most jurisdictions in the United States.

International Residential Code (IRC): Part of the International Building Code (IBC), the IRC sets buildings standards for residential structures.

Inverter: A device that converts Direct Current (DC) electricity into usable Alternating Current (AC) electricity for transmission to the power grid.

Mechanical Equipment: All items not listed in these definitions that are directly related to construction and operation of a solar energy system or facility including, but not limited to, onsite transmission lines, pumps, batteries, inverters, mounting brackets, framing, foundations or other structures, etc.

National Electric Code (NEC): A regionally adoptable standard for the safe installation of electrical wiring and equipment. It is developed by the National Fire Protection Association and is typically adopted by states and municipalities, sometimes with amendments, in an effort to standardize their enforcement of safe electrical practices.

Planning Commission: An appointed body that delivers recommendations to the local government regarding land use and development decisions.

Power Grid: An interconnected network for delivering electricity from producers to consumers. In a power grid, generating stations produce electric power, which is then sent through a substation in order to adjust the voltage. The power is then sent from the substation to high-voltage transmission lines. From there, distribution lines provide power to individual consumers. In some cases, customers can receive a payment or credit for surplus electricity that is generated by their solar energy system and fed into the grid.

Setback: The area between the boundary of a land parcel and the part of the land parcel in which primary and accessory buildings may be constructed, as specified in the applicable local government regulations.

Solar Energy: Radiant energy (i.e., light) received from the sun that can be collected by solar panels and converted into electricity in a solar energy system or solar energy production facility.

Solar Energy Production Facility, also known as Solar Farm: A utility-scale facility for the collection and distribution of solar energy. These facilities are generally more than two acres in size and have capacities in excess of one megawatt. These facilities are typically connected to the local utility power grid in order to supply electricity to the grid and power multiple properties.

Solar Energy System: A system for converting solar energy into electricity, typically for on-site consumption.

Solar Energy System, Building-Integrated: A solar energy system that is built into, rather than installed onto, a structure.

Solar Energy System, Building-Mounted: A solar energy system that is added onto an existing structure, with solar panels typically located on the roof. Roof-mounted solar energy systems fall within this category.

Solar Energy System, Ground-Mounted: A solar energy system that is installed on the ground and is not attached or affixed to any structure.

Solar Panel: A device for the direct conversion of sunlight into electric power.

Substation: A set of equipment for converting the high-voltage electricity produced by a power plant or solar energy production facility into a voltage suitable for supply to consumers.

4.03A.03 Applicability

- A. This ordinance shall apply to all solar energy systems and solar energy production facilities (solar farms) installed, constructed, or modified or expanded in such a way that the footprint or height of the system is increased, after the effective date of this Ordinance.
- B. Solar energy systems and solar energy production facilities (solar farms) constructed prior to the effective date of this ordinance shall not be required to meet the requirements of this ordinance.
- C. All solar energy systems and solar energy production facilities (solar farms) shall be designed, erected, and installed in accordance with all applicable local, state, utility, and national codes, regulations, and standards.

4.03A.04 General Requirements for Solar Energy Systems

- A. Solar energy systems may not be connected to any electric utility grid without the approval of the applicable electric utility. Off-grid solar energy systems shall be exempt from this requirement.
- B. If solar storage batteries are included as part of the solar energy system, they must be installed according to all requirements set forth in the National Electric Code and State Fire Code when in operation. When no longer in operation, the batteries shall be disposed of in accordance with all local, state, and federal laws and regulations.
- C. Prior to operation, electrical connections must be inspected by an appropriate electrical inspection person or agency, as determined by the local government.

- D. Unless otherwise specified through a contract or agreement, the property owner of record will be presumed to be the responsible party for owning and maintaining the solar energy system. Decommissioning will be the responsibility of the owner unless otherwise specified.
- E. The design of the solar energy system shall conform to applicable local, state, and national solar codes and standards, and to all local government regulations. All design and installation work shall comply with all applicable provisions in the National Electric Code (NEC), the International Residential Code (IRC), International Commercial Building Code, State Fire Code, and any additional requirements set forth by the local utility (for any grid-connected solar systems) or by the local government.
- F. All applicable building permits shall be secured prior to beginning construction of a solar energy system. No solar energy systems may be installed that cannot be safely supported by the existing roof structure.
- G. All solar energy systems shall comply with the local Floodplain Management Ordinance, as applicable.
- H. Components of solar energy systems are not exempt from height requirements.
- I. Solar energy systems located in historic districts shall not be constructed without prior approval, as applicable, from the appropriate governing body.

4.03A.05 Specific Requirements for Solar Energy Systems

A. Building-Mounted Systems

A building-mounted solar energy system shall be subject to the following regulations:

- 1. No solar energy system shall be mounted or affixed to any freestanding wall or fence.
- 2. A building-mounted, on-roof system shall not extend beyond the edge of the roof.
- 3. Solar panels installed on a building with a sloped roof shall not project vertically more than 4 feet above the roof surface, ridge line, or highest point of the roof.
- 4. Solar panels installed on a building with a flat roof shall not extend more than 4 feet above the highest point of the roofline.

B. Ground-Mounted Systems

A ground-mounted solar energy system shall be subject to the following regulations:

- 1. Ground-mounted components shall not be located in the required setbacks of the underlying zoning district.
- 2. Ground-mounted solar energy systems shall not be located in the floodway.

3. In the case of double frontage lots, ground-mounted components shall observe front yard requirements on both street frontages wherever there are any principal buildings fronting on said streets in the same block or adjacent blocks.
4. The height of ground-mounted solar energy panels shall not exceed sixteen (16) feet above the ground, as measured from the point (on the ground) directly below the panel, when tilted at the highest aspect.
5. The area of solar components and accessory structures in the aggregate shall not exceed the ground floor area of the principal building for residential uses; for commercial uses, the aggregate may not exceed the lot coverage for the underlying zoning district. Areas zoned for agriculture or manufacturing are exempt from this requirement, but must meet the required setbacks of the district. Solar canopies covering permanent parking are exempt from this section but must meet the required setbacks of the district.
6. Mechanical equipment and components of solar systems shall be screened from adjacent residential uses. The screen shall consist of shrubbery, trees, or other non-invasive plant species which provide a visual screen with a mature height of at least 6 feet. In lieu of a planting screen, an opaque fence may be used. The installed screen shall be maintained for the life of the usage of the ground-mounted system.

Maintenance of the screening shall be the responsibility of the owner or operator of the system.

4.03A.06 Requirements for Solar Energy Production Facilities (Solar Farms)

- A. Section 4.03A.04 of this Ordinance shall also apply to Solar Energy Production Facilities.
- B. Solar Energy Production Facilities as a principal use shall be permitted by Special Exception in the following Zoning Districts: AG (Agriculture), WLI (Wholesale Light Industrial), & HI (Heavy Industrial), (not in Residential districts), provided that requirements of this ordinance are met. The Standards for Special Exception Review, per Chapter 4 of the Zoning Ordinance, shall apply. The Tift County Board of Commissioners shall not take final action on the application until it has received a recommendation from the Planning Commission.
- C. The design of the solar energy production facility shall conform to applicable local, state, and national solar codes and standards, and to all local government regulations. All design and installation work shall comply with all applicable provisions in the National Electric Code (NEC), the International Residential Code (IRC), International Commercial Building Code, State Fire Code, and any additional requirements set forth by the local utility (for grid-connected solar energy production facilities) or by the local government.
- D. All applicable building permits shall be secured prior to beginning construction of a solar energy production facility.

- E. Onsite power lines and interconnections shall be placed underground, to the greatest extent possible.
- F. A solar energy production facility connected to the utility grid shall provide evidence from the applicable electric utility acknowledging the solar energy production facility will be interconnected to the utility grid in order to sell electricity to the utility.
- G. Solar energy production facilities shall not be permitted in the floodway. All solar energy production facilities shall comply with the local Floodplain Management Ordinance, and the Tift County Unified Development Code (UDC), as applicable.
- H. Minimum Lot Size: The minimum lot size for a solar energy production facility (solar farm) as a principal use is ten (10) acres.
- I. Setbacks: Solar energy production facilities shall have a minimum setback of the underlying zoning district. Power inverters, transformers, and other related equipment related to the inversion of power shall have a setback of 50 feet from all property lines.
- J. Height of collector: The height of ground-mounted collectors and mounts shall not exceed 20 feet in height. Components of solar energy production facilities are not exempt from height requirements.
- K. Airports: Any solar energy production facility proposed within a 2-mile radius of an airport shall present evidence that they have gone through a review process with the Federal Aviation Administration (FAA). This review from the FAA shall indicate that the proposed facility shall not interfere with the normal operation of aircraft in the area.
- L. Fencing: A security fence of chain link or similar material at a minimum height of 6 feet with a gate and locking mechanism shall enclose the perimeter of the solar energy production facility to deny access to any individuals not authorized to be on the property and for public safety. Signage should be included on the property alerting individuals to the risk from high voltage on the site.
- M. Buffer: Areas that abut residentially zoned or residential uses shall be buffered by at least one of the following:
 - 1. A double row of off-set evergreens absent mature vegetation, installed at a height of five (5) feet achieving opaqueness at time of installation and a minimum height of 10 feet in 5 years.
 - 2. On-site mature vegetation existing at a minimum height of 10 feet and a depth of 75 feet between the on-site security fence and adjacent properties or right-of-way.
 - 3. A single row of evergreens in combination with mature vegetation installed at a height of 5 feet achieving opaqueness and a minimum height of 10 feet in 5 years.
 - 4. The above requirement may be met by existing vegetation subject to administrative approval, as long as sufficient opaqueness and the required height are achieved.

5. Maintenance of the buffer shall be the responsibility of the property owner.
- N. Decommissioning: The application to establish a solar energy production facility must include a decommissioning plan, containing the following:
1. The name, address, telephone number, and e-mail address of the person(s) or entity(ies) responsible for implementing the decommissioning plan;
 2. A statement of conditions that require the decommissioning plan to be implemented;
 3. Identification of all components of the solar energy production facility;
 4. A plan with timeline for removing all components of the solar energy production facility from the property in the event of decommissioning;
 5. A plan for recycling or otherwise reusing all components to the greatest extent practicable.

4.03A.07 Abandonment and Removal

- A. If a ground-mounted solar energy system is removed, any earth disturbance as a result of the removal shall be landscaped in accordance with local regulations.
- B. A solar energy system or solar energy production facility is considered to be abandoned if it has not been in operation for a period of twelve (12) months or for the time period specified in the decommissioning plan. If abandoned, the system or facility shall be repaired by the owner to meet federal, state, and local safety standards, or be removed by the owner within a period of twelve (12) months or within the time period specified in the decommissioning plan. If the owner fails to remove or repair the abandoned system or facility, the local government may pursue a legal action to have the system or facility removed at the owner's expense.
- C. If a solar energy system or facility is removed, all components shall be recycled or reused to the greatest extent practicable.

4.03A.08 Application and Approval

Solar Energy Systems shall be permitted as an accessory use in all Zoning Districts, provided that the requirements of this ordinance are met and Administrative Approval or Approval with Conditions is granted by the Director of the Development Support Services Department. An application for a Solar Energy System as an accessory use shall include the following:

1. A site plan illustrating the location of principal building, accessory structures, and proposed location of solar panels.
2. An elevation sketch illustrating the height and orientation of ground-mounted components, or profile of any roof-mounted solar panels

4.03A.09 Appeals

If the owner of a solar energy system is found to be in violation of the provisions of this Ordinance, appeals should be made in accordance with the established procedures of the Tift County UDC.

4.03A.10 Effectiveness, Interpretation, Severability

- A. This ordinance shall become effective immediately upon its adoption.
- B. All other portions, parts and provisions of the Tift County UDC, as heretofore enacted and amended, shall remain in force and effect.
- C. All Ordinances, or parts of Ordinances, in conflict herewith are repealed.
- D. If any part of this ordinance conflicts with any other applicable federal, state, or local regulation, the more restrictive regulation shall control.
- E. If any section, clause, portion or provision of this ordinance is found unconstitutional, such invalidity shall not affect any other portion of this ordinance.

Ord 2021-06, 09.13.21

4.04.00 CONVENTIONAL SUBDIVISION DESIGN STANDARDS

4.04.01 Purpose

The purpose of this section is to provide design standards for conventional subdivisions. Dividing land for the purpose of recording lots requires that Tift County review plans and designs for such divisions to ensure that the lots are buildable according to the standards of the zoning district and that improvements, when required, are provided and constructed according to County standards.

Further, the purposes of the subdivision design standards are to:

- A. Encourage economically sound and stable land development in Tift County.
- B. Assure the provision of required streets, utilities, and other facilities and services to land developments.
- C. Assure the adequate provision of safe and convenient traffic access and circulation, both vehicular and pedestrian, in land developments.
- D. Assure the provision of needed public open spaces and building sites in land developments through the dedication or reservation of land for recreational, educational, and other public purposes.
- E. Assure that land is developed in conformity with the Greater Tift County Comprehensive Plan.

4.04.02 Applicability

- A. No final plat of a subdivision shall be accepted for review which does not conform with the standards for the zoning district in which the subdivision is located.
- B. The requirements of Section 4.04.00 apply to all divisions of a tract or parcel of land into five (5) or more lots, tracts, or parcels, except as provided in section 4.04.02(C).
- C. Exemptions
The requirements of Section 4.04.00 do not apply in the following situations:
 - 1. When combining or recombining previously platted lots where the resultant lots, tracts, parcels, sites, or plots of land are to equal to the standards of these regulations. However, such lots shall be surveyed and recorded as set forth in Chapter 10.02.05.
 - 2. When a parcel of land is owned by the federal, State, City, or County government.

4.04.03 Specific Exemption for Family Residences in AG (Rural Farm Housing)

The establishment of dwelling units for family members on a parcel zoned AG shall be permissible provided that all of the following standards are met:

- A. The minimum parcel or lot area shall be three (3) acres. The parcel shall meet the width standards set forth in Section 4.01.01(E).
- B. A principal dwelling unit must be established prior to approval of any additional dwelling units.
- C. Up to two (2) additional dwelling units are permissible for family members who are related by blood ties to the owner of the property, such ties extending to the second descending or ascending generation.
- D. Each dwelling unit shall meet the requirements of the Tift County Health Department regarding lot area for a septic system.
- E. Each dwelling units shall have a domestic water supply that meets the requirements of the Tift County Health Department.
- F. Each dwelling unit shall require a building site of one (1) acre and shall meet the setback standards of Section 4.01.02(F) based on the assumed lot lines.
- G. The principal dwelling unit and additional dwelling units shall have direct access to a public right-of-way.
- H. Each dwelling unit shall have an individual power supply, in compliance with utility installation standards.

4.04.03A Rural Farm Homestead

In the A-U (Agricultural Use) zoning district only, provision for a substandard lot may be provided by the Tift County Zoning Board of Appeals as a Variance where the following conditions can be met:

- A. has situated thereon a residence surrounded by a lawn or yard having historically established boundaries; is a minimum of one acre; and
- B. Where such parcel is less than the minimum 3-acre lot size required in the A-U zoning district and shall have a minimum of 210' road frontage; then such property owner shall be entitled to apply for a Variance as a Rural Farm Homestead.
- C. In all such cases, the owner shall provide a plat prepared by a registered land surveyor which must receive approval from the Tift County Board of Health and the Tift County Zoning Administrator prior to recordation in the land records of Tift County.
- D. Each and every lot so established under the Rural Farm Homestead provisions shall meet the county's conventional frontage requirements and access requirements, or the special access allowances for Rural Home Access allowed shall be followed. Any diminution of lot width, side or rear yard requirements requested can only be approved by an accompanying request for variance from the county's adopted AG standards.
- E. Property shall remain in the Agricultural Use (AU) zoning classification.

4.04.03B Rural Home Access

In A-U (Agricultural Use) zoning district only, access to public and/or approved private streets as required by this Ordinance will be construed as sufficient, if available by private road, driveway, and/or non-terminable easement having a minimum width of twenty (20) feet. Such private road and/or easement shall be platted of record prior to issuance of a building permit. If access is by private road, driveway and/or easement which fails to meet Tift County's current development standards for public and private roads, the applicant shall be required (as a precondition to the issuance of a building permit) to execute an acknowledgement that actual access to the property may be inadequate to accommodate public emergency vehicles and a waiver of liability against Tift County regarding sufficiency of access. This code provision may only be approved as a variance, following proper public hearing and approval by the Tift County Zoning Board of Appeals.

4.04.04 General Design Standards

The process for designing a subdivision, designing and constructing improvements, and recording lots for future sale, is a three-step process. The first step is the development of a preliminary plat, which requires approximate scale and dimensions. The second step is the development of an improvement plan. The final step is the preparation of a final plat. The design standards for the subdivision are set forth in this section.

- A. The applicant shall first determine if any environmental and natural resource lands are located on the parcel to be divided. Such lands should be identified and protected as required according to the provisions in Chapter 3 of this UDC.
- B. All subdivisions shall conform to the standards of the zoning district in which the land is located.
- C. When subdivisions are proposed on land intended for commercial or professional condominium development, the preliminary plat shall demonstrate that the lots also comply with requirements in Section 4.01.03.
- D. When subdivisions are proposed on land intended for multi-family development or a combination of single-family and multi-family development, the preliminary plat shall demonstrate that the lots also comply with the standards in Section 4.01.04.
- E. When subdivisions are proposed where lots may be developed for uses subject to supplemental standards, the preliminary plat shall also demonstrate compliance with the standards for applicable uses as set forth in Section 4.03.00.

4.04.05 Specific Design Standards for Lots, Blocks, Access, and Easements

- A. Lots
 - 1. All proposed lots shall comply with lot area, lot width, setbacks for buildings and structures on those lots, as set forth in Sections 4.01.01 and 4.01.02.
 - 2. The lot area may include wetlands provided that the uplands portion of the lot is sufficient in area and dimensions to provide a building site in full compliance with all standards set forth in Sections 4.01.01 and 4.01.02. A lot shall not be created where access is only available by crossing a wetland, unless approved by The USACE. A lot shall not be created if the building site cannot be established in full compliance with the standards of this UDC.
 - 3. Corner property lines at street intersections shall have a minimum of a thirty (30) foot deeded radius or a thirty (30) foot permanent miter easement.
 - 4. Lot elevation. The lot area contained within and contiguous to the building walls and for minimum distance of ten (10) feet measured from all sides of said building shall have a minimum elevation of two (2) feet above the 100-year flood stage of streams or canals in the particular area being developed and in full compliance with the requirements for construction in the flood plain as set forth in Section 3.02.00.for. Structures located in special flood hazard areas (SFHA) and the adopted Flood damage Prevention Ordinance.
- B. Blocks
 - 1. Blocks for nonresidential use shall be of such length and width as may be suitable for their prospective use and shall include adequate land area for off street parking and traffic maneuvering.
 - 2. The depth of residential blocks shall be sufficient to allow two (2) tiers of lots, unless one tier abuts a natural barrier, a manmade barrier, or a property line of the parent tract.
 - 3. The design standards for blocks shall not prevent the creation of blocks of greater width and length, when public use areas such as parks and

playgrounds are included in the project design. In such instances, maintenance agreements are required according to the standards set forth in Chapter 10.

- C. Access. All lots shall abut a street that complies with standards for public streets in Tift County. Such standards are set forth in Chapter 6.
- D. Rights-of-way for pedestrian crosswalks shall be provided when the necessary for direct pedestrian access to schools, shopping centers, and parks. A crosswalk right-of-way shall be as required by state regulations. (MUTCD)
- E. Utilities shall be located according to the standards for utility placement set forth in Chapter 6 and the Technical Standards Manual.
- F. Buffer requirements. The subdivision plat shall demonstrate compliance with buffer standards set forth in Section 4.08.06.

4.04.06 Required Improvements and Design Standards

- A. Design standards for infrastructure, public facilities, and public services are set forth in Chapter 6 and the Technical Standards Manual.
- B. The following improvements are required:
 - 1. Potable water for each lot.
 - 2. Fire hydrants; if public water service is available.
 - 3. Provision for sewage collection, treatment, and/or disposal for each lot.
 - 4. Access to the public thoroughfare system and a system of streets to provide access to each lot.
 - 5. Drainage system; to include retention/detention system. Refer to Technical Standards Manual.
 - 6. Street signs. (MUTCD) Manual of Uniform Traffic Control Devices and Technical Standards Manual.
 - 7. Access to telecommunications for each lot.

4.05.00 CONSERVATION SUBDIVISION DESIGN STANDARDS

4.05.01 Generally

- A. The intent of the conservation subdivision is to provide for flexibility of design in order to promote environmentally sensitive and efficient uses of the land.
- B. The total number of residential dwelling units shall not exceed the number of such units permissible by the zoning district in which the proposed subdivision is located.
- C. All requirements set forth in Section 4.04.00 regarding conventional subdivisions for provision of public improvements and infrastructure shall apply to conservation subdivisions except where specifically modified in this section.
- D. Where there is conflict between the standards and requirements set forth in this section for the conservation subdivision and the standards and requirements in Section 4.04.00 regarding a conventional subdivision, the standards of this section

shall apply. The standards set forth in this section are intended to replace the standards in Section 4.04.00 regarding the design of subdivisions.

- E. No building permits and no public improvements or services shall be authorized or installed for any conservation subdivision until approval has been granted for the subdivision plat. Procedures for application, review, and approval of preliminary and final plats, and acceptance of public improvements, are set forth in Chapter 10.
- F. In addition to other application requirements, an application for CS approval shall include all the following:
 - 1. Site analysis map depicting significant site features, consistent with the requirements of Chapter 3 for the protection of natural resources and environmentally sensitive lands;
 - 2. Plan for management of open space and common facilities; and
 - 3. Legal instrument for permanent protection of designated open space.

4.05.02 Applicability and Purpose

- A. The conservation subdivision design shall be permissible only in the AG zoning district.
- B. The purposes of the conservation subdivisions are to:
 - 1. Promote the preservation of open space in environmentally sensitive areas, provide for open space connectivity, and provide for wildlife habitat and corridors within the region;
 - 2. Preserve in perpetuity unique or sensitive natural resources such as groundwater recharge areas, floodplains, wetlands, streams, woodlands, and wildlife habitat;
 - 3. Preserve important historic and archaeological sites;
 - 4. Permit clustering of houses and structures on less environmentally sensitive soils, which will reduce the amount of infrastructure, including paved surfaces and utility easements, necessary for residential development; and
 - 5. Reduce erosion and sedimentation by minimizing land disturbance and removal of vegetation in residential development.

4.05.03 Design Standards for Conservation Subdivisions

- A. **Minimum requirements for water and sewer**
A conservation subdivision shall have access to, or propose to install, a central sanitary sewer system. As an alternative, a shared drain field may be proposed whereby two (2) or more lots have septic tanks which flow to a drain field in a designated common area or open space. Shared drain fields shall only be allowable when approved by the Tift County Board of Health and/or EPD Environmental Protection Division. A homeowner's or property owner's association shall be required for management and maintenance of the common drain field.
- B. The tract of land to be subdivided may be held in single or multiple ownership. If held in multiple ownership, however, the site shall be developed according to a single development plan. A legal instrument shall be required to designate the authority and responsibility for open space and other common areas.

- C. A conservation subdivision shall meet the following design requirements:
1. Minimum land area of ten (10) acres.
 2. Designation of open space pursuant to Section 4.05.03.D.
 3. Maximum number of dwelling units based on a density of one (1) dwelling unit per three (3) acres.
 4. Clustering of residential development on remaining land after designation of protected open space.
 - a. The minimum building lot is one (1) acre.
 - b. The minimum lot width is 120 feet.
 - c. Setback standards for the R1 zoning district shall be applied to lots in the conservation subdivision. See Section 4.01.02.F.
 5. Location of dwellings and driveways to ensure minimal visual impact and to avoid interruption of views of open fields, pastures, or other agricultural areas.
 6. Limiting impervious surface area to a maximum of three (3) percent within designated open space areas and to a maximum of sixty (60) percent of designated residential development areas (including lots, driveways, and roads).
- D. Open space standards
1. All open space shall be permanently protected through a legal instrument of permanent protection.
 2. The minimum open space requirement shall be fifty (50) percent of the gross tract area or the sum of primary conservation areas (see Section 4.05.03(E)), whichever is greater.
 3. At least fifty (50) percent of the required open space shall be in one (1) contiguous tract.
 4. The open space shall adjoin any neighboring areas of protected open space, other protected areas, and non-protected natural areas that would be candidates for inclusion as part of a future area of protected open space.
 5. Open space shall be directly accessible to the majority of lots within the subdivision. Non-adjoining lots shall be provided with safe, convenient access to the open space through the use of walking trails or unpaved paths.
- E. Designation of open space
1. Primary conservation areas are required to be included within the open space. The following comprise primary conservation areas:
 - a. The 100-year floodplain (see Section 3.02.00);
 - b. Groundwater protection areas (see Section 3.03.00);
 - c. River corridor protection areas (see Section 3.03.00);
 - d. Wetlands that meet the definition used by the U.S. Army Corps of Engineers pursuant to the Clean Water Act (see Section 3.04.00);
 - e. Populations of endangered or threatened species, or habitat for such species; and
 - f. Archaeological sites, cemeteries, and burial grounds.
 2. Secondary conservation areas shall be included within the open space, to the maximum extent feasible, in order to protect the following features:
 - a. Important historic sites;

- b. Existing healthy, native forests of at least one (1) acre contiguous area;
 - c. Other significant natural features and scenic vistas such as ridge lines, peaks, and rock outcroppings, particularly those that can be seen from public roads;
 - d. Prime agricultural lands of at least five (5) acres contiguous area; and
 - e. Existing trails that connect the tract to neighboring areas.
- F. Permitted uses of open space may include the following:
- 1. Conservation of natural, archeological, or historical resources;
 - 2. Meadows, woodlands, wetlands, wildlife corridors, game preserves, or similar conservation-oriented areas;
 - 3. Unpaved walking or bicycle trails or paths;
 - 4. Passive recreation areas, such as open fields;
 - 5. Active recreation areas, such as playgrounds or playing fields which meet the following standards:
 - a. Such areas do not exceed ten (10) percent of the total required open space; and
 - b. Such areas are located outside any primary conservation areas.
 - 6. Agriculture, horticulture, silviculture, or pasture uses, provided that all applicable best management practices are used to minimize environmental impacts, and such activities are not conducted within primary conservation areas;
 - 7. Easements for drainage, access, and underground utility lines; and
- G. Prohibited uses of open space:
- 1. Golf courses;
 - 2. Roads, parking lots, and impervious surfaces except as provided for in Section 4.05.03(C)(6).

4.06.00 STANDARDS FOR RURAL PLANNED DEVELOPMENT DISTRICTS (RPD)

4.06.01 Generally

- A. Tift County hereby establishes two types of planned development districts, the Rural Planned Development District (RPD) and the Urban Planned Development District (UPD). Considerations for all planned developments shall include connectivity, overall integration with the Thoroughfare Plan, utility provision, and environmental protection. Section 4.06.00 sets forth the standards for the PDR district.
- B. The Planned Development District is a zoning district, and is permissible only when approved as a rezoning accompanied by a site development plan that ensures the conservation of the natural environment, more efficient use of land, efficiency in the extension of streets and utilities, and compliance with the standards in Section 4.06.00. Procedures are set forth in Chapter 10.

- C. The Planned Development District is intended to provide flexibility with regard to the internal site planning considerations of a planned development as compared to other zoning districts. A fundamental purpose of the district is to allow the governing body and the developer to agree on the site design standards applicable to the development.

- D. The purposes of the Planned Development Districts are to:
 - 1. Accomplish a more desirable development pattern than would be possible through strict adherence to zoning district standards and subdivision regulations;
 - 2. Allow and encourage creative and flexible projects that include residential, commercial, office, and related public facilities unified by a site development plan;
 - 3. Require a mixture of uses which are compatible both internally and externally through standards for signs, building locations, buffering or other techniques which may be appropriate to a particular development proposal;
 - 4. Encourage flexible and creative concepts of site development planning which meet changing needs, technologies, economic, and consumer preferences;
 - 5. Encourage combining and coordinating of architectural styles, building forms, and building relationships within a rural planned development;
 - 6. Preserve natural amenities of the land by encouraging scenic and functional open areas; and
 - 7. Ensure consistency of the Planned Development District with the Greater Tift County Comprehensive Plan.

- E. **Applicability**
The RPD Rural Planned Development District is permissible within the AG Character Area as depicted on the Greater Tift County Comprehensive Plan and any area that is outside the 20-year Utility Master Plan.

4.06.02 Minimum Standards

- A. The minimum land area for a RPD district is forty (40) acres.

- B. A RPD site development plan shall demonstrate compliance with all standards for resource protection set forth in Chapter 3.

- C. Land uses within the RPD district shall include the following:
 - 1. At least twenty (20) percent of the land area within the RPD shall be open space. The open space shall be internally connected with other uses and accessible to residents of the RPD development.
 - 2. The RPD district shall include neighborhood scale (See Section 4.06.02(D) (10)) personal and shopping services to serve the residents within the development. Not more than ten (10) percent of the land area shall be used for such services.
 - 3. The RPD district shall include civic, community, or recreational areas, such as a public safety auxiliary office, postal station, community center, school site, sites for religious facilities, play grounds, and play fields. Not more than ten (10) percent of the land area shall be used for such areas.
 - 4. Residential uses may include single-family, duplex, or manufactured housing.

5. Home occupations, if proposed, shall comply with the standards set forth in Section 5.01.00.
 6. Normal and customary accessory uses are permissible.
- D. Site design standards
1. The minimum lot area for any use is 21,780 square feet with public water, or larger if required by the Tift County Health Department.
 2. Specific setbacks for front, side, and rear yards shall be clearly depicted on the proposed site development plan. Once approved, the setbacks shall be imposed on all development within the RPD district.
 3. Specific height standards for proposed buildings within the RPD district shall be clearly depicted on the proposed site development plan. Once approved, the setbacks and height standards shall be imposed on all development within the RPD district.
 4. Buffers
 - a. A perimeter buffer for the entire RPD district shall be provided.
 - b. A buffer shall be provided between commercial, office, and personal service uses and adjacent residential uses.
 - c. The minimum buffer is ten (10) feet in width.
 - d. The plants within a buffer shall comply with the standards set forth in Section 4.08.04. Buffers shall include at least four (4) canopy (shade) trees and twenty-five (25) shrubs per 100 linear feet of total perimeter property line. Existing trees and shrubs that meet the standards set forth in Section 4.08.04 may be counted toward this standard.
 5. Landscaping within an RPD district shall comply with the standards set forth in Section 4.08.04.
 6. The internal circulation system shall be connected to the existing street system and shall provide local and collector streets, as appropriate, in compliance with the standards set forth in Chapter 6. The internal circulation system shall include facilities for pedestrians and bicycles, such as sidewalks, pedestrian paths, bicycle lanes, or bicycle paths.
 7. When the RPD contains more than twenty (20) residential units a second entrance shall be provided.
 8. All utilities within a RPD district shall be underground.
 9. Signs within a RPD development shall have a unified design and shall comply with the standards set forth in Section 5.04.00.
 10. Neighborhood scale commercial, office, and personal service uses shall comply with the following standards:
 - a. Buildings shall not exceed 3,000 square feet per building.
 - b. A unified architectural design shall be established.
 - c. Buildings shall not exceed twenty-five (25) feet in height.
 - d. Equipment and service areas shall be screened from view of adjacent residential properties and public rights-of-way.
- E. Compatibility
- The RPD district shall demonstrate compatibility of uses within the district and compatibility of the development with adjacent uses. Compatibility shall be determined by:
1. Development pattern, considering the street system, lot sizes and dimensions, and the overall layout of the development.

2. Scale, dimensions, and location of buildings.
3. Site features, such as parking lots, exterior lighting, and accessory uses such as dumpsters, swimming pools, recreational areas, and community buildings or facilities.

4.06.03 Site Plan Requirements

- A. All land included in the rezoning to a RPD district shall be under single ownership, or if under multiple ownership, a joint application for site development plan and rezoning shall be submitted.
- B. Once approved, the site development plan plat and deed shall be recorded and shall be binding on all owners.
- C. The applicant(s) or owner(s) shall maintain and provide for unified control of the RPD development project until the project is complete.
- D. Responsibility for unified control, if not retained by the owner(s), shall be assigned to an individual or an entity such as a homeowners’ association, provided that proposed homeowners’ association documents are submitted demonstrating that appropriate controls are in place following transfer of management responsibility. Association documents shall be acceptable to the government body, and shall be recorded upon approval.
- E. Proposed legal instruments shall be provided to demonstrate improvement, operation, and maintenance of any common property within a RPD development, including streets, drives, service areas, parking areas, recreational and community facilities, and open space. Approval of a site development plan and rezoning for the RPD district shall include the condition that such legal instruments are properly recorded.

4.07.00 STANDARDS FOR URBAN PLANNED DEVELOPMENT DISTRICTS (UPD)

4.07.01 Generally

- A. Tift County hereby establishes two types of planned development districts, the Rural Planned Development District (RPD) and the Urban Planned Development District (UPD). Considerations for all planned developments shall include connectivity, overall integration with the Thoroughfare Plan, utility provision, and environmental protection. Section 4.07.00 sets forth the standards for the Planned Development District.
- B. The UPD district is a zoning district, and is permissible only when approved as a rezoning accompanied by a site development plan that ensures the conservation of the natural environment, more efficient use of land, efficiency in the extension of streets and utilities, and compliance with the standards in Section 4.07.00. Procedures are set forth in Chapter 10.
- C. The UPD district is intended to provide flexibility with regard to the internal site planning considerations of a planned development as compared to other zoning

districts. A fundamental purpose of the UPD district is to allow the governing body and the developer to agree on the site design standards applicable to the development.

- D. The purposes of the UPD district are to:
1. Accomplish a more desirable development pattern than would be possible through strict adherence to zoning district standards and subdivision regulations;
 2. Allow and encourage creative and flexible projects that may include residential, commercial, office, and related public facilities unified by a development plan;
 3. Allow a mixture of uses which are compatible both internally and externally through standards for signs, building locations, buffering or other techniques which may be appropriate to a particular development proposal;
 4. Encourage flexible and creative concepts of site development planning which meet changing needs, technologies, economic, and consumer preferences;
 5. Encourage combining and coordinating of architectural styles, building forms, and building relationships consistent with the urban location of the UPD;
 6. Preserve natural amenities of the land by encouraging scenic and functional open areas; and
 7. Ensure consistency of the UPD with the Greater Tift County Comprehensive Plan.

F. Applicability

The UPD district is permissible only within the urban service area boundary.

4.07.02 Minimum Standards

- A. The minimum land area for a UPD district is five (5) acres within the unincorporated area of Tift County.
- B. A UPD site development plan shall demonstrate compliance with all standards for resource protection set forth in Chapter 3.
- C. Land uses within the UPD district shall include the following:
1. At least ten (10) percent of the land area within the PDU shall be open space. The open space shall be internally connected with other uses and accessible to residents of the UPD development.
 2. The UPD district may include a single use, such as residential, commercial, office, civic, community, or recreational uses, or any combination of uses.
 3. Residential uses may include single-family, duplex, or multi-family housing.
 4. Home occupations, if proposed, shall comply with the standards set forth in Section 5.01.00.
 5. Normal and customary accessory uses are permissible.

- D. Site design standards
1. The minimum lot area may be 8,000 square feet where public water and sewer are available. Larger lots may be required by the regulations of the Tift County Health Department, if onsite sewage disposal is required.
 2. Specific setbacks for front, side, and rear yards shall be clearly depicted on the proposed site development plan. Once approved, the setbacks shall be imposed on all development within the UPD district.
 3. Specific height standards for proposed buildings within the UPD district shall be clearly depicted on the proposed site development plan. Once approved, the setbacks shall be imposed on all development within the UPD district.
 4. Buffers
 - a. A perimeter buffer for the entire UPD district shall be provided.
 - b. When the UPD contains one use, no internal buffers are required. When mixed uses are proposed, a buffer shall be provided between commercial, office, and personal service uses and adjacent residential uses. When a vertical mix of uses is proposed, no internal buffer is required, however, uses must be compatible and conditions on operations may be imposed.
 - c. The minimum buffer is ten (10) feet in width.
 - d. The plants within a buffer shall comply with the standards set forth in Section 4.08.04. Buffers shall include at least four (4) canopy (shade) trees and twenty-five (25) shrubs per 100 linear feet of total perimeter property line. Existing trees and shrubs that meet the standards set forth in Section 4.08.04 may be counted toward this standard.
 5. Landscaping within an UPD district shall comply with the standards set forth in Section 4.08.04.
 6. The internal circulation system shall be connected to the existing street system and shall provide local and collector streets, as appropriate, in compliance with the standards set forth in Chapter 6. The internal circulation system shall include facilities for pedestrians and bicycles, such as sidewalks, pedestrian paths, bicycle lanes, or bicycle paths. Traffic circulation shall not route commercial traffic through residential areas within or adjacent to the UPD.
 7. When the UPD contains commercial or other nonresidential uses, a traffic study shall be required to identify the transportation impacts and the need for transportation improvements.
 8. When the UPD contains more than twenty (20) residential units a second entrance shall be provided.
 9. When the UPD contains 100 residential units or more, a traffic study shall be required to identify the transportation impacts and the need for transportation improvements.
 10. Signs within a UPD development shall have a unified design and shall comply with the standards set forth in Section 5.04.00.
- E. Compatibility
- The UPD district shall demonstrate compatibility of uses within the district and compatibility of the development with adjacent uses. Compatibility shall be determined by:

1. Development pattern, considering the street system, lot sizes and dimensions, and the overall layout of the development.
2. Scale, dimensions, and location of buildings.
3. Site features, such as parking lots, exterior lighting, and accessory uses such as dumpsters, swimming pools, recreational areas, and community buildings or facilities.

4.07.03 Site Plan Requirements

- A. All land included in the rezoning to an UPD district may be under single ownership, or if under multiple ownership, a joint application for site development plan and rezoning shall be submitted.
- B. Once approved, the site development plan shall be recorded and shall be binding on all owners.
- C. The applicant(s) or owner(s) shall maintain and provide for unified control of the UPD development project until the project is complete.
- D. Responsibility for unified control, if not retained by the owner(s), shall be assigned to an individual or an entity such as a homeowners’ or property owners’ association, provided that the proposed association documents are submitted demonstrating that appropriate controls are in place following transfer of management responsibility. Association documents shall be acceptable to the government body, and shall be recorded upon approval.
- E. Proposed legal instruments shall be provided to demonstrate improvement, operation, and maintenance of any common property within a UPD development, including streets, drives, service areas, parking areas, recreational and community facilities, storm water retention/detention and open space. Approval of a site development plan and rezoning for the UPD district shall include the condition that such legal instruments are properly recorded.

4.08.00 LANDSCAPING, BUFFERS, AND TREE PROTECTION

4.08.01 Purpose

- A. The purpose of this section is to provide requirements for landscaping, buffering of developments, and tree protection within Tift County.
- B. It is the intent of the governing body to reduce the adverse visual, environmental, and aesthetic effects of development in order to:
 1. Minimize the rate of stormwater runoff.
 2. Maximize the capability of groundwater recharge.
 3. Provide shade for the ground surfaces.
 4. Buffering adjacent incompatible land uses.
 5. Improve the appearance of parking areas and vehicular surface areas.

4.08.02 Applicability and Provision of Landscape Plans

- A. The requirements of this section shall apply to all properties to be used, developed, or redeveloped within Tift County, except as may specifically be exempted in Section 4.08.02(C) below.
- B. In order to demonstrate compliance with the requirements of this section, a landscaping plan shall be submitted with applications for development approval for all development subject to these standards. Any landscape plan for a Major Site Plan or a Planned Development shall be prepared and signed by a landscape architect or a landscape designer. Required landscape plans for Minor Site Plans less than 10,000 square feet in landscaping area are exempt from this provision. The requirements and procedures for submittal, review, and approval of all applications are set forth in Chapter 10.
- C. The following types of development are exempt from the requirements to provide a landscaping plan:
 - 1. Single-family and two-family dwellings.
 - 2. Applications for accessory uses or accessory structures where a principal structure or principal use is already established.
 - 3. Applications for temporary uses.
 - 4. Plant or tree nurseries or botanical gardens.
 - 5. Tift County, or authorized agents for the purpose of removal of a tree on publicly owned property or a public right-of-way, provided that such tree is dead or a hazard to the public.
 - 6. Utility companies or their authorized agents for the purpose of removal of a tree that is a substantial hazard to overhead wires or for trimming that is necessary for establishment or maintenance of service.
 - 7. The trimming or pruning of trees or the removal of underbrush.
 - 8. The removal of trees or other landscaping damaged by fire, windstorm, lightning, or other acts of nature, which pose imminent danger to life or property.
 - 9. An existing vehicle use area provided that no change of use or modification of the structure(s) served by the vehicle use area is proposed.
 - 10. Any resurfacing, repair or replacement of any then existing paved vehicle use area unaccompanied by land disturbance of any adjacent surface area.

4.08.03 Maintenance Requirements

- A. All landscaped areas shall be maintained to ensure that plant materials are healthy and thrive. Any diseased or dead plant materials shall be replaced as soon as reasonably possible based on the growing season, but not later than ninety (90) days following identification of the need for replacement.
- B. All landscaped areas shall be provided with an irrigation system or as an alternative, a watering plan shall be included with the landscaping plan, sufficient to ensure that plants are established in a healthy growing condition.

- C. Where an irrigation system is proposed in a landscaped area, the system shall be shown on the landscaping plan. Standards for the irrigation system are set forth in Section 4.08.04.C.
- D. Necessary trimming and maintenance shall be performed to maintain the health of the plant materials, to provide an aesthetically pleasing appearance, and to assure that the landscaped and buffer areas serve the intended purpose.
- E. Where a tree, shrub, or any portion of a tree or shrub overhangs a public right-of-way, Tift County may cause to be removed such tree or shrub or prune the tree or shrub to ensure the following:
 - 1. The tree or shrub shall not obstruct light from any street light.
 - 2. The tree or shrub shall not obstruct a motorist's view of any street intersection.
 - 3. The tree or shrub shall comply with the requirements for a clear visibility triangle as set forth in Section 6.01.05.
 - 4. Damaged or dangerous trees and shrubs shall be removed to ensure safety in the use of the public right-of-way.

4.08.04 General Landscape Standards

The general standards set forth in this section apply to all required landscaped areas, including parking lots, buffers, and interior landscaping.

- A. Minimum specifications for plant materials:
 - 1. All plant material shall be nursery grown, number 1 grade, meet current American Association of Nurseryman Standards, and installed according to accepted planting procedures.
 - 2. Acceptable plant materials are identified in an Appendix to Chapter 4.
 - 3. Shrubs shall be at least eighteen (18) inches in height at the time of installation.
 - 4. All landscaped areas and buffers shall be sodded or covered with ground cover.
 - 5. Ground cover used in lieu of grass shall be planted so as to present a finished appearance and reasonably complete coverage within three (3) months of installation.
 - 6. Retention of and replacement with native and drought tolerant species is preferred. Only plants on the approved plant list in Appendix A shall be installed or equivalent.
 - 7. At least twenty-five (25) percent of the required trees installed in landscaped buffers, landscaped parking areas, and to meet tree planting requirements shall be canopy trees.
 - 8. Existing trees, which are four (4) inches DBH or larger, and shrubs may be counted toward meeting the requirements for landscaped buffers, landscaped parking areas, and tree retention.
 - 9. Canopy trees shall not be installed under or within ten (10) lateral feet of any overhead utility line; over or within five (5) lateral feet any buried utilities; or within a utility easement.
 - 10. All trees and shrubs shall be installed to comply with the requirements for a clear visibility triangle, as set forth in Section 6.01.05.

11. Canopy trees shall not be installed closer than ten (10) feet from a property line.
12. Trees shall not be planted closer than ten (10) feet from a fire hydrant.

B. Requirements for landscaping

The landscaping plan shall demonstrate compliance with the standards of this section. The plan shall show the location, size, description, and specifications of all proposed plant materials.

1. Existing plant materials, other than invasive species, may be counted toward meeting the landscaping requirements set forth in this section.
2. At least ten (10) percent of the total gross land area of a non-residential development site shall be landscaped in addition to any required buffer. The landscaped areas shall be located on the site in such manner as to maximize preservation of existing trees. The landscaped area shall contain trees, shrubs, and vegetation consistent with accepted horticultural practice. Plant materials shall be selected from the list of acceptable plant materials provided in Appendix A to this UDC or equivalent.
3. The choice, location, and irrigation of plant materials shall follow the recommendations of Xeriscape: A Guide to Developing a Water-Wise Landscape, Bulletin 1073, published May 2007, by the Cooperative Extension Service of the University of Georgia College of Agricultural and Environmental Sciences, available online at www.caes.uga.edu/extension.
4. Where there is a conflict between the plant materials listed in Appendix 4 (at the end of Chapter 4) and the plant materials listed in Bulletin 1073, the plants listed in Appendix 4 shall be used.

C. Requirements for irrigation systems

All irrigation systems shall be designed, installed, and maintained in such a manner as not to be a nuisance to adjacent properties and the general public.

1. Irrigation systems shall include moisture sensors and an automatic shut-off feature that is activated during rain events.
2. The water source for the irrigation system shall be the lowest quality water that is available and acceptable for the irrigation system. The first choice is reclaimed water. Where reclaimed water is not available and not expected to become available within six (6) months of the completion of the development project, the following sources may be used, and are listed in priority order:
 1. Stormwater retention pond or lake;
 2. Groundwater from an onsite well; or
 3. Potable water.

4.08.05 Landscape Requirements for Parking Lots

A. Parking lots other than within the Historic District

1. A vehicle use area with 20,000 square feet or less of paved area is not required to provide interior landscaping. However, perimeter landscaping is required as set forth in Section 4.08.05.C.

2. A vehicle use area of more than 20,000 square feet shall provide one (1) or more landscaped areas within the vehicle use area which equals a total of six (6) percent of the vehicle use area. Perimeter landscaping is required as set forth in Section 4.08.05.C.
- B. Standards for interior landscaped areas within all parking lots
1. The interior landscaped area shall contain one (1) tree for each 500 square feet of landscaped area. At least fifty (50) percent of all trees shall be canopy (shade) trees.
 2. Interior landscaped areas may be located within the median of a divided entrance provided that the median is a minimum of ten (10) feet wide.
 3. Interior landscaped areas may be located as landscaped islands at the end of parking tiers or as landscaped strips between parking tiers.
 4. The choice of plant materials and location of trees and shrubs shall comply with the standards set forth in Section 4.08.04.
 5. Vehicle stops or curbing shall be used to ensure that vehicles do not overhang required landscaped areas more than two (2) feet.
 6. Where architectural planters are used, the planting area provided by the planter shall be at least ten (10) square feet for shrubs and twelve (12) square feet for understory trees. Canopy or shade trees shall not be located in planters.
- C. Perimeter landscaping for all parking lots
- A minimum of a ten (10) foot wide strip of land, located between the property line and a parking lot shall be landscaped. Width of sidewalks shall not be included within the ten (10) foot wide front setback perimeter landscape area.

4.08.06 Buffer Requirements

- A. The intent of these requirements is to enhance the visual and aesthetic appearance of Tift County. The purpose of these buffer requirements is to:
1. Provide space definition and landscape continuity within developed areas.
 2. Provide appropriate screening and relief from traffic, noise, heat, glare, odor, and the spread of dust and debris.
 3. Reduce the impact of development on the drainage system and reduce flooding.
 4. Provide for reduction or elimination of incompatibility
 5. Reduce the visual impact of potentially negative aspects of adjacent development.
- B. Location, measurement, and design of buffers between uses
1. Buffers shall be located on the outer perimeter of a lot or parcel, extending to the lot or parcel boundary line. Where a fence or wall is provided, the buffer shall be located on private property between the property line and the fence or wall.
 2. Buffers shall not be located on any portion of an existing, dedicated, or reserved public or private street or right-of-way, and shall not include plantings located within a drainage, utility, or other easement.

3. Buffer width may be averaged as follows. Average width shall be measured at the two (2) end points of the buffer and two (2) additional points which are each approximately one-third (1/3) of the total linear distance from the end point.
4. The plants within a buffer shall comply with the standards set forth in Section 4.08.04. Buffers shall include at least four (4) canopy (shade) trees and twenty-five (25) shrubs per 100 linear feet of total perimeter property line. Existing trees and shrubs that meet the standards set forth in Section 4.08.04 may be counted toward this standard.
5. The land within the buffer shall be maintained as green open space, consisting of sod or ground cover, along with required plantings. An access drive, sidewalk, or pedestrian or bicycle path shall be allowed to cross a buffer.
6. Buffers shall be established and maintained by the owner of the development site.
7. The minimum buffer area for specific zoning districts is set forth in Table 4.08.06(B).

[Table 4.08.06 (B) on Following Page]

Table 4.08.06(B). Buffer Area Standards.

Zoning District of the Proposed Development	Adjacent Zoning District	Minimum Buffer Area
AG	AG	None
AG	R1, RR1, R21, R12, R8, R8M, RP, MR	10 feet
R1, RR1, R21, R12, R8	R1, RR1, R21, R12, R8, R8M	None
RP, MR	R1, RR1, R21, R12, R8, R8M	10 feet
RP	RP	None
MR, CC, GB	R1, RR1, R21, R12, R8, R8M, RP	20 feet plus screening
CC, GB	CC, GB	None
CA	Any / All	50 feet plus screening
WLI, HI	R1, RR1, R21, R12, R8, R8M, RP, MR	30 feet plus screening
WLI, HI	CC, GB,	30 feet
WLI, HI	WLI, HI	None

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- C. Location and design of screening of equipment and other site features
 - 1. Where screening is required for service areas, loading areas, dumpsters and refuse areas, outside storage, or equipment, the standards of this section shall apply.
 - 2. Screening shall consist of a durable masonry wall or fence to provide a visual blind, designed to be compatible with the character of adjoining properties.
 - 3. Such fences and walls shall be at least six (6) feet in height, but no greater than eight (8) feet in height, measured from the ground along the common lot line of the adjoining properties.

4.08.06 Tree Protection

- A. Generally
 - 1. It is the intent of Tift County that existing trees be protected. Trees that are invasive or exotic are not required to be protected. Trees less than four (4) inches DBH are not required to be protected.
 - 2. Developers and builders shall coordinate the location of all utilities with all utility companies in order to prevent root damage within the critical root zones of protected trees, so as to minimize damage to trees in the protected zones.
 - 3. Nothing in this section shall be construed to allow the removal of any tree or vegetation in a required stream buffer, watershed buffer, buffer adjacent to waters of the state, or other undisturbed or planted buffer located for protection of natural resources, except where such removal has been specifically authorized as set forth in this UDC.

B. Exemptions

The following situations are exempt from the provisions of this section.

1. Construction of a single-family home on an existing platted lot. The exemption does not include an exemption from requirements for protective buffers along streams, creeks, and reservoirs as set forth in Chapter 3.
2. The removal of diseased, deceased, infested, or dying trees, or living pine trees or other trees which may pose a danger to an existing or proposed home, or other structure.

C. Protection of Trees During Construction

Trees shall be protected during construction as follows:

1. Protected trees shall be identified prior to the commencement of any land disturbance. Identification may be through the use of flag, ties, or other markings.
2. During construction, a tree protection area must be designated around any trees that are to remain at the end of construction. A physical barrier shall be installed around each protected tree or group of trees. This barrier can consist of a four (4) foot high orange safety fence, wide plastic caution tape, a simple fence made of lumber, or other appropriate methods that can identify the tree protection area.
3. The barrier should be placed at or beyond the drip zone of the tree or group of trees. For trees or groups of trees with a drip zone larger than twenty (20) feet, the protection zone shall be the area twenty (20) feet from the tree or the outermost tree in a group.
4. No person engaged in the construction of any structure(s) or site improvement(s) shall encroach on a protected tree or the identified zone surrounding a protected tree with heavy machinery or the storage of heavy building materials.
5. The protection area shall not be used for stockpiling of soil or building materials, dumping cleaning solvents, or parking vehicles or equipment.

APPENDIX TO CHAPTER 4

Acceptable and Prohibited Landscape Plant Materials

Appendix 4.A. Acceptable Canopy (Large or Shade) Trees

Common Name	Botanical Name
Florida Maple, Southern Sugar Maple	<i>Acer floridanum</i>
Red Maple	<i>Acer rubrum</i>
Sugar Maple	<i>Acer saccharinum</i>
River Birch	<i>Betula nigra</i>
Pecan	<i>Carya illinoensis</i>
Pignut Hickory	<i>Carya glabra</i>
Shagbark Hickory	<i>Carya ovata</i>
Mockernut Hickory	<i>Carya tomentosa</i>
Southern Catalpa	<i>Catalpa bignonioides</i>
Hackberry	<i>Celtis occidentalis</i>
Leyland Cypress	<i>Cupressocyparis leylandii</i>
Persimmon	<i>Diospyros virginiana</i>
American Beech	<i>Fagus grandifolia</i>
Ginko Tree	<i>Ginkgo biloba</i>
Black Walnut	<i>Juglans nigra</i>
American Sweetgum	<i>Liquidambar styraciflua</i>
Yellow Poplar	<i>Liriodendron tulipifera</i>
Southern Magnolia	<i>Magnolia grandiflora</i>
Big Leaf Magnolia	<i>Magnolia macrophylla</i>
Sweetbay Magnolia	<i>Magnolia virginiana</i>
American Hophornbeam	<i>Ostrya virginiana</i>
Sourwood	<i>Oxydendrum arboretum</i>
Slash Pine	<i>Pinus elliotii</i>
Longleaf Pine	<i>Pinus palustris</i>
White Pine	<i>Pinus strobus</i>
Loblolly Pine	<i>Pinus taeda</i>
Chinese Pistachio	<i>Pistacia chinensis</i>
Sycamore	<i>Platanus occidentalis</i>
Sawtooth Oak	<i>Quercus acutissima</i>
Southern Red Oak	<i>Quercus falcata</i>
Georgia Oak	<i>Quercus georgiana</i>
Overcup Oak	<i>Quercus lyrata</i>
Pin Oak	<i>Quercus palustris</i>
Willow Oak	<i>Quercus phellos</i>
Chestnut Oak	<i>Quercus prinus</i>
Shumard Oak	<i>Quercus shumardii</i>
Live Oak	<i>Quercus virginiana</i>
Weeping Willow	<i>Salix babylonica</i>
Corkscrew Willow	<i>Salix contorta</i>
Black Willow	<i>Salix nitra</i>
Sassafras	<i>Sassafras albidum</i>
Common Bald Cypress	<i>Taxodium distichum</i>
Florida Torreya	<i>Torreya taxifolia</i>

Appendix 4.B. Acceptable Small Trees (Understory)

Common Name	Botanical Name
Devil's Walkingstick	<i>Aralia spinosa</i>
Trident Maple	<i>Acer buergeranum</i>
Japanese Maple	<i>Acer palmatum</i>
American Hornbeam (Ironwood)	<i>Carpinus caroliniana</i>
Eastern Redbud	<i>Cercis Canadensis</i>
Fringe Tree	<i>Chionanthus virginicus</i>
Flowering Dogwood	<i>Cornus florida</i>
Georgia Plume	<i>Elliottia racemosa</i>
Loquat	<i>Eriobotrya japonica</i>
Carolina Silverbell	<i>Halesia Carolina</i>
Lusterleaf holly	<i>Ilex latifolia</i>
Savannah Holly	<i>Ilex x attenuata</i>
Dahoon Holly	<i>Ilex cassine</i>
Possumhaw	<i>Ilex decidua</i>
American Holly	<i>Ilex opaca</i>
Crape Myrtle	<i>Lagerstroemia indica</i>
Narrow-leaf Crabapple	<i>Malus angustifolia</i>
Ogeechee Lime	<i>Nyssa ogeche</i>
American Olive	<i>Osmanthus americanus</i>
Cherry, Carolina Laurel	<i>Prunus caroliniana</i>
Cabbage Palm	<i>Sabal palmetto</i>
Sparkleberry	<i>Vaccinium arboreum</i>

Appendix 4.C. Acceptable Shrubs, Large and Small

Common Name	Botanical Name
Abelia	<i>Abelia x grandiflora</i>
Azaleas, hybrids	
Bottlebrush Buckeye	<i>Aesculus parviflora</i>
Groundsel Bush	<i>Baccharis halmifolia</i>
Butterfly Bush	<i>Buddleia davidii</i>
Common Boxwood	<i>Buxus sempervirens</i>
Sweetshrub	<i>Calycanthus floridus</i>
Camellia	<i>Camellia japonica</i>
Sansanqua Camellia	<i>Camellia sansanqua</i>
Button Bush	<i>Cephalanthus occidentalis</i>
Flowering Quince	<i>Chaenomeles speciosa</i>
Hathorns	<i>Crataegus spp.</i>
Sago Palm	<i>Cycas revoluta</i>
Strawberry Bush	<i>Euonymus americanus</i>
Winter Creeper	<i>Euonymus atropurpurea</i>
Border Forsythia	<i>Forsythia x intermedia</i>
Dwarf Fothergilla	<i>Fothergilla gardenii</i>
Creeping Gardenia	<i>Gardenia radicans</i>
Vernal Witchhazel	<i>Hamamllis vernalis</i>
Shrub Althea (Rose of Sharon)	<i>Hibiscus syriacus</i>

Oakleaf Hydrangea	<i>Hydrangea quercifolia</i>
Bigleaf Hydrangea	<i>Hydrangea macrophylla</i>
Star Anise	<i>Illicium parviflorum</i>
Florida Anise	<i>Illicium floridanum</i>
Foster Holly	<i>Ilex x attenuata</i>
Carissa Holly	<i>Ilex cornuta</i>
Inkberry Holly	<i>Ilex glabra</i>
Yaupon Holly	<i>Ilex vomitoria</i>
Virginia Sweetspire	<i>Itea virginica</i>
Showy Jasmine	<i>Jasminum floridum</i>
Winter Jasmine	<i>Jasminum nudiflorum</i>
Parsons Juniper	<i>Juniperus davurica</i>
Plumosa, Andorra Juniper	<i>Juniperus horizontalis</i>
Fetterbrush	<i>Leucothoe populufolia</i>
Star Magnolia	<i>Magnolia stellata</i>
Leatherleaf Mahonia	<i>Mahonia bealei</i>
Southern Waxmyrtle	<i>Myrica cerifera</i>
Fortunes Osmanthus	<i>Osmanthus fortunei</i>
Sweet Mockorange	<i>Philadelphus coronarius</i>
Maidens Blushes	<i>Pinckneya bracteata</i>
Southern Yew	<i>Podocarpus macrophyllus</i>
Hoptree	<i>Ptelea trifoliata</i>
Santa Crus	<i>Pyracantha koidzumii</i>
Firethorn	<i>Pyracantha species</i>
Indian Hawthorne	<i>Raphiolepis indica</i>
Alabama Azalea	<i>Rhododendron alabamense</i>
Florida Azalea	<i>Rhododendron austrinum</i>
Flame Azalea	<i>Rhododendron calendulaceum</i>
Piedmont Azalea	<i>Rhododendron canescens</i>
Dwarf Palmetto	<i>Sabal minor</i>
Saw Palmetto	<i>Serenoa Repens</i>
Bumald Spirea	<i>Spirea x burmalda</i>
Snowmound	<i>Spirea nopponica</i>
Bridalwreath Spirea	<i>Spiraea prunifolia</i>
Thunberg Spirea	<i>Spirea thunbergii</i>
Vanhoutte Spirea	<i>Spiraea vanhouttei</i>
American Snowbell	<i>Styrax americanus</i>
Cleyera	<i>Ternstroemia gymnathera</i>
Arrowwood	<i>Viburnum dentatus</i>
Blackhaw	<i>Viburnum prunifolium</i>
Spanish Bayonet	<i>Yucca aloifolia</i>
Adam's Needle Yucca	<i>Yucca filamentosa</i>
Spanish Dagger	<i>Yucca gloriosa</i>

Appendix 4.D. Acceptable Ground Covers

Common Name	Botanical Name
Columbine Hybrids	<i>Aquilegia spp.</i>
Aaronsbeard, St. Johnswort	<i>Hypericum calycum</i>

Appendix 4.E. Prohibited Plants

Common Name	Botanical Name
Kudzu*	<i>Pueraria Montana</i>
Chinese privet*	<i>Ligustrum sinense</i>
Japanese honeysuckle*	<i>Lonicera japonica</i>
Hydrilla*	<i>Hydrilla verticillata</i>
Chinese tallow tree*	<i>Triadica sebifera</i>
Nepalese browntop*	<i>Microtegium vimineum</i>
Bamboo*	<i>Phyllostachys aurea</i>
Autumn olive (silverberry)*	<i>Elaeagnus umbellate</i>
Chinese wisteria*	<i>Wisteria sinensis</i>
Mimosa*	<i>Albizia julibrissin</i>

* Denotes top ten exotic pest plants in Georgia.

CHAPTER 5

ACCESSORY AND TEMPORARY USES

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5.00.00 GENERALLY

The provisions of Chapter 5 apply to home occupations, accessory uses and structures, and temporary uses. The standards for home occupations are provided in Section 5.01.00. The standards for accessory uses and structures are provided in Section 5.02.00. The standards for temporary uses and structures are provided in Section 5.03.00. Signs may be either accessory structures, or in some situations may be the principle use on a parcel. The standards for signs are provided in Section 5.04.00. Telecommunication towers and antennas may be located on a lot or parcel with a principal use, or may be the principle use on a parcel. The standards for telecommunication towers and antennas are referenced in Section 5.05.00.

5.01.00 HOME OCCUPATIONS**5.01.01 Generally**

- A. A home occupation is permissible in a lawfully established dwelling unit in any zoning district where residential uses are permissible. All home occupations shall meet the standards set forth in Section 5.01.02. Home occupations in the AG zoning districts shall meet the additional standards in Section 5.01.03.

- B. The following and similar uses shall be considered home occupations:
 - 1. Instruction or teaching, such as, but not limited to, academic tutoring, performing arts, or fine arts, provided that no more than two (2) students are instructed at any one (1) time.
 - 2. Professional offices such as, but not limited to, the following: accountant, architect, drafting, insurance agent, manufacturing agent, real estate agent, and tax consultant.
 - 3. Administrative or clerical support services, such as transcription, court reporters, stenographers, notary public, or addressing services.
 - 4. Personal services, such as beauty or barber shop, nail technician, dressmaking or tailoring, provided that the service is limited to one (1) station.
 - 5. Cottage industries, such as cooking, or the creation of intellectual property (books, videos, DVDs, and similar).
 - 6. Studios for artists, photographers (including a darkroom), or artisans, including potters and basket weavers.
 - 7. Light repairs, such as clock repair shop, gunsmith shop, or locksmith.
 - 8. Boarding non-transient guests, limited to four (4) guests at any one time.
 - 9. Day care for six (6) or fewer children.

- C. An interpretation that a use not listed in Section 5.01.01(B) is similar shall be based on the tasks and activities normally associated with the proposed use and the similarity of those tasks and activities with the tasks and activities normally associated with a listed use.

5.01.02 Standards for All Home Occupations

- A. The parcel on which a home occupation is proposed shall conform to all standards of the zoning district in which it is proposed.
- B. Business registrations are required for all home occupations.
- C. Employees of the home occupation shall be limited to the residents of the dwelling.
- D. The home occupation shall be clearly incidental to the residential use of the dwelling.
- E. The use of the dwelling for a home occupation shall not change the residential character of the building.
- F. No internal or external alterations which are inconsistent with the residential use or character of the dwelling shall be permitted.
- G. Products for sale or use in the home occupation shall not be visible from the street.
- H. Only products produced on the premises shall be sold on the premises.
- I. Use of a dwelling for a home occupation shall not exceed twenty-five (25) percent of one (1) floor of the dwelling.
- J. The home occupation shall not constitute a nuisance to the surrounding neighborhood, as evidenced by the use of machinery or equipment that produces noise, smoke, odor, vibration, electrical interference, or other objectionable condition beyond the property line of the lot on which the home occupation is located.
- K. Outside storage of materials used in connection with a home occupation is prohibited.
- L. If the home occupation is proposed to involve the use of an accessory building, such use shall be permissible when it is clearly demonstrated that the accessory building is located, designed, and generally follows the normal and typical patterns of residential accessory buildings. The floor area of accessory building used for a home occupation shall not exceed twenty-five (25) percent of the dwelling.
- M. The total floor area devoted to a home occupation, when combining home occupation use of the dwelling and home occupation use of an accessory building, shall not exceed twenty-five (25) percent of the dwelling.
- N. Vehicles used for the home occupation shall be limited to passenger vehicles.
- O. Only one (1) point of business sign, not exceeding four (4) square feet in size, motionless, non-lighted, and attached to the principal building, shall be permitted, and no advertising signs shall be permitted.

5.01.03 Standards for All Rural Home Occupations

- A. A rural home occupation shall be permissible only on land in the AG zoning district.
- B. Where a rural home occupation is proposed, the following standards shall apply in addition to the standards for all home occupations set forth in Section 5.01.02:
 - 1. Employees of a rural home occupation may be any residents on the parcel and are not limited to the residents in the principal dwelling. Further, there shall be no nonresident employees of a rural home occupation.
 - 2. Permissible home occupations include those identified in Section 5.01.01.B and the following: service-oriented commercial activities associated with agricultural activities, such as taxidermy, farm equipment service excluding onsite vehicle repair, or tree service.
 - 3. In addition to passenger vehicles, two (2) non-passenger vehicles directly associated with the rural home occupation are permissible.

5.02.00 ACCESSORY USES AND STRUCTURES**5.02.01 Generally**

- A. It is the intent of this section to regulate accessory uses and the installation, configuration, and use of accessory structures. Regulation is necessary in order to ensure that accessory uses and structures are compatible with the surrounding neighborhood and are consistent with the character and intent of the zoning district in which the accessory structures are located.
- B. Permissible accessory uses and structures are identified in Table 2.03.04.
- C. Accessory structures shall be on the same lot and subordinate to the principal use or structure.
- D. Accessory buildings shall comply with the following standards:
 - 1. Accessory buildings located in front or side yards on lots zoned for residential use shall meet the front and side setbacks set forth in Table 4.01.02(F).
 - 2. Accessory buildings located in the rear yard on lots zoned for residential use shall be setback at least five (5) feet from the rear property line and eight (8) feet from the side property line.
 - 3. Accessory buildings located on corner lots zoned for residential use shall be setback a distance equal to or greater than seventy-five (75) percent of the required front yard setback for the zoning district, as set forth in Table 4.01.02(F).
 - 4. Accessory buildings located on through lots shall be setback a distance equal to or greater than the required front yard setback for the zoning district, as set forth in Table 4.01.02(F).
 - 5. Accessory buildings on lots with a nonresidential zoning classification shall be located to comply with all front, side, and rear setbacks set forth in Table 4.01.02(F).

6. An accessory building that exceeds eight (8) feet in height shall be separated from the principal building by at least ten (10) feet.
 7. Accessory structures shall not be located on or within any recorded or required easement.
 8. Accessory structures shall be included in all calculations for impervious surface ratio standards and for stormwater management standards.
 9. Accessory structures, other than fences located in compliance with the requirements of Section 5.02.03, shall not be located within any required buffer or landscaping area, parking lot, protected resource area, or stormwater management area.
- E. An accessory building may be permitted on a separately platted lot provided that the following standards are met:
1. The lot on which the accessory building is proposed shall abut the lot on which the principal building is located.
 2. The lot on which the accessory building is proposed and the lot on which the principal building is located shall have the same ownership.
 3. The lot on which the accessory building is located shall comply with the standards for uses within the zoning district.
 4. The accessory building shall be located in compliance with the setback standards for the zoning district, as set forth in Section 4.01.02.
 5. Except as set forth herein (Section 5.02.01.E) the accessory building shall otherwise comply with all standards set forth in Section 5.02.01.

5.02.02 Accessory Dwellings

- A. Accessory dwellings include, but are not limited to, a separate building, basement apartments, garage apartments, caretaker, or other employee quarters.
- B. Accessory dwellings shall be under the same ownership and the property owner shall reside in the principal dwelling.
- C. On lots zoned for residential use, accessory dwellings are permissible which may be according to 5.02.02A.
- D. Accessory dwellings contained within a principal dwelling shall comply with the following standards:
1. Principal dwelling shall have one utility service.
 2. The accessory dwelling may have a separate exterior entrance.
 3. One (1) additional off-street parking space shall be provided to serve the accessory dwelling.
 4. The accessory dwelling shall comply with all building and health code standards.
- E. An accessory dwelling may be located above or attached to a garage, and shall comply with the following standards:
1. There shall be no more than one (1) accessory dwelling unit per lot.
 2. The garage and associated accessory dwelling shall be located only within the side or rear yard.

3. The lot shall comply with the minimum lot area standards set forth in Table 4.01.01. The lot shall be 50% larger than the minimum lot size required for the respective zoning district. The total floor area of the accessory dwelling shall be minimum 400 square feet and shall not exceed 50 % of the floor area of the principal dwelling.
 4. One (1) additional off-street parking space shall be provided to serve the accessory dwelling unit.
- F. An accessory dwelling to provide quarters for caretakers or security personnel are permissible on lots zoned CC, GB, WLI, and HI, subject to the following standards, which shall be approved as a Variance by the Tift County Zoning Board of Appeals according to Section 8.03.00, 8.03.01, 8.03.02, 8.03.03 and 8.03.04.
1. The dwelling shall be occupied only by an employee of the business conducted on the premises.
 2. No more than one (1) dwelling shall be located on the nonresidential parcel.
 3. The portion of the total site (called dwelling lot) devoted to the dwelling shall be at least 8,000 square feet. The portion of the total site devoted to the dwelling shall be identified on the site plan, but shall not be platted as a separate lot.
 4. The location of the dwelling on the dwelling lot shall comply with the setbacks required for the R8 and R8M Zoning District.
 5. The dwelling shall be a HUD approved manufactured home, which shall be a minimum 720 Sq Ft and a maximum of 1200 Sq Ft.
 6. The dwelling shall have water and sewage disposal in full compliance with the requirements of the Tift County Health Department and/or Tifton Tift County Utilities Department.

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- G. Accessory dwellings for agricultural workers are permissible in the AG zoning district, subject to the following standards:
1. The dwellings shall be occupied only by an employee of the agricultural operation conducting business on the premises and the employee's family.
 2. There shall be no more than two (2) such accessory dwellings per twenty-five (25) acres of land.
 3. The dwellings shall meet all applicable rules and regulations regarding agricultural worker housing of the Georgia Department of Labor.
 4. The dwellings shall have water and sewage disposal in full compliance with the requirements of the Tift County Health Department and/or Tifton Tift County Utilities Department.
 5. The dwellings shall be located in compliance with the AG zoning district setbacks and height standards.
 6. Accessory dwellings shall be separated from other dwellings and buildings by at least thirty (30) feet.

5.02.03 Fences and Walls

- A. Location of fences and walls
 1. Fences and walls may be located on or inside property lines.
 2. Setback requirements applicable to buildings shall not prohibit or restrict any necessary retaining wall, below ground foundation, or fence which shall be necessary for the proper development of a site as required by this UDC.
 3. Fences and walls shall be located to avoid interference with the required clear visibility area designated in Section 6.01.05.
 4. Fences and walls shall not obstruct, hinder, or impede the movement of pedestrian and vehicular traffic, and shall not present a nuisance, danger, or hazard to the general public.
 5. Fences shall be constructed with the finished side facing outward.
- B. Height standards
 1. Heights of fences shall be measured from natural ground level at the base of the fence to the topmost part of the fence.
 2. The maximum height of a fence in a side or rear yard is eight 8 feet.
 3. The maximum height of a fence in a front yard is 4 ft except within the clear visibility area designated in Sec 6.01.05, where the maximum height is 3 ft
- C. Specific provisions within the AG zoning district
 1. Barbed wire may be used on fences.
 2. Electric fences are permissible in full compliance with electrical and safety codes.
- D. Specific provisions in WLI and HI zoning districts
Fences required for enclosure of permissible outdoor storage as set forth in Section 5.02.04 shall not exceed ten (10) feet in height.

5.02.04 Outside Storage

- A. The standards set forth in this section apply to any storage of equipment, machinery, or materials other than enclosed within a building.
- B. Outside storage involving machinery and equipment, service areas for vehicles in need of major service or repair, materials for construction or distribution is permissible only in the GB, WLI, and HI zoning districts.
- C. The provisions of this section shall not be construed to prohibit the outdoor storage of non-commercial lawn equipment in residential areas.
- D. Outside storage shall be located within a rear yard or side yard.
- E. Outside storage shall be fully concealed with a solid fence, not to exceed ten (10) feet in height.
- F. Outside storage of parts and materials, service areas, refuse, or work activity areas shall be maintained in a neat and orderly manner.

- G. Outdoor storage shall not be located within any required buffer area, stormwater management area, or easement.

5.02.05 Dumpsters

- A. Dumpsters shall be screened with a solid masonry wall, or hardy plank or wood fence. The fence shall be a minimum of six (6) feet and a maximum of eight (8) feet in height. If a fence is used, the finished side shall face outward.
- B. Double-staggered shrubs shall be installed around the perimeter of the wall or fence to form a continuous hedge. Plant materials shall meet the specifications set forth in Section 4.08.04(A), and shall be maintained as required in Section 4.08.03.
- C. A gate shall be provided for access.
- D. Whenever possible, dumpsters shall not be visible from the public right-of-way.
- E. Dumpsters shall be located on a concrete surface of sufficient size to accommodate the dumpster.
 - 1. Dumpsters for food service establishments shall be provided with a drain and a grease trap in compliance with Tift County Health Department and Tifton Tift County Utilities Department regulations.
 - 2. Tempered water supply is required for cleaning.
- F. The dumpster location shall be easily accessible for pick-up.
- G. Dumpsters shall be located to the rear or side of the principal building. A location in the front of the principal building shall be permissible only where side and rear yard locations cannot provide adequate access for pick-up.
- H. Dumpsters shall not be located within any required buffer area, required landscaped area, required parking lot landscaping, or stormwater management area.
- I. All dumpsters shall be properly maintained and shall comply with all requirements for safety, sanitation, and nuisances.

5.02.06 Animals – Noncommercial

- A. Livestock includes horses, cows, goats, sheep, ponies, donkeys, chickens, and other domestic livestock animal.
- B. All livestock shall be contained within a fenced enclosure. The enclosure shall be setback at least 100 feet from all property lines except in AG and where the abutting zoning district is AG.
- C. Feed lots or confined feeding operations (CAFO's) are expressly prohibited.

5.02.07 Swimming Pools

Swimming pools shall be enclosed by a steel mesh security fence, masonry wall, or other building material providing equal or better access control. The fence or wall shall be a minimum of four (4) feet in height. Minimum setbacks for swimming pools shall be eight (8) feet side yard and five (5) feet rear yard in residential zoning districts.

5.03.00 TEMPORARY STRUCTURES AND USES**5.03.01 Temporary Structures and Uses During Construction**

A temporary building or use in connection with a construction project shall be permitted during the construction period. The following standards shall be met by temporary uses established during construction:

- A. A building permit shall be required.
- B. Temporary offices may be located on a construction site to be used for administrative functions during construction. Temporary construction offices may have the name of the construction company printed on one (1) permanently affixed sign on the outside of the building. Such sign shall be a maximum of four (4) feet by eight (8) feet. In addition, the proposed construction building shall meet tie-down requirements for mobile structures. Construction buildings, equipment, machinery, and materials shall be removed within thirty (30) days of completion of the construction site for which they are permitted.
- C. On-site outdoor storage of equipment and construction materials shall be allowed during the period of construction.
- D. Portable toilet facilities shall be provided.
- E. Construction and demolition debris dumpsters are allowed and are not required to be screened.
- F. A temporary office shall be allowable, which may be used for sales functions or sales offices, allowing for the sale, resale, or marketing of dwellings, structures, or property within the development in which it is located, or adjacent developments under the same control. Where such office is open to the public, ADA compliance is required.
- G. On-site temporary use of structures and equipment for the building of roads, public utilities, and government projects shall be allowed.

5.03.02 Temporary Dwellings During Construction

A temporary dwelling may be permitted during the construction period for a single-family house on a platted lot. Any such temporary dwelling shall comply with the following standards:

- A. The temporary dwelling may be a manufactured house in the AG, RR1 & R8M Districts
- B. The temporary dwelling shall not be installed more than one (1) month prior to the commencement of construction of the principal permanent dwelling.
- C. A temporary use permit for the temporary dwelling shall not be issued prior to the issuance of a valid building permit for construction of the principal permanent dwelling.
- D. The temporary use permit for the temporary dwelling shall be valid for a period not to exceed of six (6) months. Any renewal of the temporary use permit shall require specific action by the Manager/designee.
- E. The temporary dwelling, if it is a manufactured home, shall be removed from the property no later than thirty (30) days from the issuance of the Certificate of Occupancy for the primary, permanent dwelling.

5.03.03 Special Events and Seasonal Sales

- A. Special events include carnivals, fairs, festivals, parades, large parties, seasonal sales, tent meetings, or other periodic events of a temporary nature. Such events are typically outdoors.
- B. Special events may:
 - 1. Be located in any zoning district, provided the special event is approved by staff,
 - 2. On any property used for civic purposes, or
 - 3. On any property used as a religious facility.
- C. The following standards apply to carnivals, fairs, festivals, tent meetings, parades, large parties and similar events and activities:
 - 1. A Special Event permit is required to be acquired from the County Clerk which shall be approved by staff.
 - 2. The applicant shall ensure the provision of adequate sanitation facilities, sewage disposal, garbage and refuse disposal, potable water supply, and food service during the special event.
 - 3. The area devoted to the special event shall not be located on any required setbacks, buffers, parking spaces, parking lot aisles, driveways, fire lanes, or other traffic circulation areas.
 - 4. The site shall have floodlighting for the special event and parking areas, if any activities are to be offered during darkness. Lighting shall be shielded and directed to avoid direct illumination of adjacent properties as measured at the property line.
 - 5. The site shall have adequate parking facilities. Parking may be on-site or off-site. Where off-site parking is provided, there shall be adequate plans for transporting or conducting patrons from the off-site parking facilities to the special event area.

6. The applicant shall provide adequate traffic control and security in and around the special event area during hours of operation.
 7. All stages, booths, tents, scaffoldings, or structures of any nature on, under, or within which persons may congregate, shall conform to applicable building, health, and other construction codes. A sign-off from the applicable department heads and/or designees is required prior to approval from the County.
- D. The following standards apply to seasonal sales:
1. A temporary use permit is required.
 2. The area devoted to seasonal sales shall not be located on any required buffers, parking lot aisles, driveways, fire lanes, or other traffic circulation areas.
 3. Goods, tents, equipment, or materials used for the seasonal sales activity shall not be located within any right-of-way.
 4. Parking spaces shall be provided to support the seasonal sales activity.
 5. The applicant shall ensure the provision of adequate garbage and refuse disposal.
 6. The applicant shall demonstrate conformance with all applicable building, health, and other federal, State, or local laws.

5.03.04 Model Homes and Sales Offices

- A. Model homes are permissible only in conjunction with a new residential development during the period of construction of site improvements and new homes.
- B. One (1) or more model homes may be established in a residential development, including planned developments, subject to the following standards:
1. A model home shall be located on a platted lot meeting all standards of this UDC. The number of model home units shall not exceed five (5) percent of the number of homes or lots permissible in the residential development. Fractions shall be rounded to the nearest whole number.
 2. A model home shall be located to meet all site design standards of this UDC, except for the modifications specifically enumerated herein.
 3. A model home may include a sales office. Where a sales office is provided open to the public, ADA compliance is required.
- C. The model home shall be discontinued as a model unit and sales office when ninety (90) percent homes in the residential development have been built. The model home site shall be redesigned to comply with all site design requirements applicable to the residential development. Such redesign includes, at a minimum, removal of parking in excess of that associated with a single-family home; removal of any signs; and removal of any exterior lighting associated with the model home and sales office.

5.04.00 SIGNS**5.04.01 Purpose**

The purpose of this section is to ensure adequate means of communication through signage while maintaining the attractive visual appearance within the County. These standards are designed to:

- A. Establish a set of standards for the fabrication, placement, and use of signs.
- B. Establish locations and setbacks for signage which are designed to protect motorists from visual distractions, obstructions, and hazards.
- C. Aid and assist in the promotion of business and industry by providing regulations which allow and encourage creativity, effectiveness, and flexibility in the design and use of signs.
- D. Protect and enhance the character of certain areas within the County by conforming the size and location of signs to the scale of a development.
- E. Protect and maintain the visual integrity of roadway corridors within the County by establishing a maximum amount of signage on any one (1) site to reduce visual clutter;
- F. Restrict sign regulation to time, place, and manner, without limitations on content, so long as the material displayed avoids content commonly judged by the community to be immoral, indecent, or obscene;
- G. Enhance the appearance of the physical environment by requiring that signage be designed as an integral architectural feature of the site and structure to which such signage is intended to identify, and sited in a manner which is sensitive to the existing environment.

5.04.02 Construction Standards for all Signs

- A. All signs shall be erected, constructed, and maintained in accordance with the provisions of this section.
- B. It shall be unlawful for any person to erect, construct, alter, or relocate any sign within the County without having first obtained a permit, except as provided for in this section.
 - 1. Work which may be performed by a property owner or lessee:
 - a. Painting the face of any freestanding or wall sign; and
 - b. Erection of any temporary sign permissible as set forth in this UDC.
- C. Work which shall be performed by a licensed sign contractor, general contractor, building or electrical contractor:
 - 1. Construction, installation, erection, or electrical connection of any sign that is illuminated;

2. Construction, installation, or erection of any freestanding sign over twelve (12) feet in height, which may require wind load calculations by a design professional.
 3. Construction, installation, or erection of any projecting sign as set forth in this UDC.
- D. All signs shall meet the standards for visibility at intersections as set forth in Section 6.01.05.
- E. Signs shall be designed by and the drawings certified by an engineer licensed in the State of Georgia if deemed necessary by the Manager/designee to protect the safety and welfare of the residents.
- F. Inspection of signs
The Manager may inspect at any time each sign or other advertising structure regulated by this UDC for the purposes of ascertaining whether the structure is safe, in need of repair or maintenance, not in conformance with the approved permit, or otherwise in violation of the provisions of this UDC.
- G. Unsafe signs and signs violating this UDC
If it is determined that any sign or other advertising structure regulated herein is unsafe or unsecure, or has been constructed or erected or is being maintained in violation of the provisions of this UDC, the Manager/designee shall give written notice to the owner of such structure. If the owner fails to remove or alter the structure to comply with the standards set forth herein within the time prescribed in the notice, such sign or other advertising structure may be removed to comply with the UDC by the governing authority at the expense of the owner of the property upon which it is located. The Manager may cause any sign or other advertising structure that presents an immediate peril to persons or property to be removed without notice.
- H. Maintenance of signs
The owner of any sign as defined and regulated by this UDC shall be required to properly maintain such sign. For a sign to be properly maintained, the sign, together with its framework, braces, angles or other supports shall be in a safe condition, properly secured, supported and braced, and shall be able to withstand weather conditions and loads as required by the building codes. Maintenance shall include painting and parts replacement.

5.04.03 Prohibited Signs

- A. Any sign, permanent or temporary, located on public right-of-way, except small political campaign signs located on the back slope of a ditch or right of way and except as otherwise authorized in this UDC.
- B. Any sign that obstructs the vision between pedestrians and vehicles using the public right-of-way, including, but not restricted to, those not meeting intersection visibility requirements set forth in Section 6.01.05.

- C. Abandoned signs, which advertise an activity, business, product or service no longer conducted or available. This does not include a change in business and/or owner that may utilize the same structure.
- D. Bench signs.
- E. No sign or illumination shall be used, constructed, maintained or located at any location where it may interfere with or obstruct the view of an authorized traffic control device.
- F. Signs used, constructed, maintained, or located where, by reason of position, shape, wording or color, they may be confused with any authorized traffic control device or emergency vehicle device or markings. Signs that contain words and traffic control symbols so as to interfere with, mislead, or confuse motorists, such as “stop,” “look,” “caution,” “danger,” or “slow.”
- G. Signs, other than changeable copy signs, with lights or illuminations that flash, move, rotate, scintillate, blink, flicker, or vary in intensity or color except for changeable text signs.
- H. No sign that interferes with such utilities as water mains and hydrants, sanitary sewerage, gas, electricity, and communications equipment or lines, nor interfere with natural or manmade stormwater drainage facilities.
- I. Off-premises signs unless otherwise specifically authorized in this UDC.
- J. Signs which produce noise or sounds capable of being heard, even though the sounds produced are not understandable sounds. This provision does not prohibit radio transmissions used in conjunction with any sign.
- K. Signs not in good repair, specifically including any sign which is in a state of disassembly or any sign which has its internal lighting exposed to view.
- L. Snipe signs, which includes signs attached to utility poles, trees, rocks, or other natural object.
- M. Signs that are of such intensity or brilliance as to cause glare or impair the vision of any motorist, cyclist, or pedestrian using or entering a public way, or that are a hazard or a nuisance to occupants of any property because of glare or other characteristics.
- N. Signs that are painted, pasted, or printed on any curbstone, flagstone, pavement, or any portion of any sidewalk or street, except house numbers and traffic control signs.
- O. Signs that interfere with safe and free ingress and egress of any door, emergency exit, fire escape, emergency exit, standpipe, driveway, street, or roadway.

- P. Signs which conflict with the maximum height requirements imposed by the Federal Aviation Administration or other applicable federal agency charged with imposing maximum height limits in the interest of aviation safety.
- Q. Signs mounted on any portion of a roof.
- R. Signs erected on public property, with the exception of signs erected by public authority for public purposes.
- S. Portable temporary signs. (Removal of wheels and tires does not constitute a permanent sign).
- T. Any other signs that are not specifically permitted or exempted by this UDC.

5.04.04 Exempt Signs

The following other types of signs are exempted from formal permitting but must be in conformance with all other requirements of this UDC and all other applicable codes and regulations:

- A. Legal notices and official instruments.
- B. Decorative flags, banners, bunting and temporary directional signs for County sanctioned celebrations, events, conventions, and commemorations when specifically authorized by the County for a prescribed period of time.
- C. Holiday lights and decorations displayed at times when such lights and decorations are generally considered appropriate.
- D. Public warning signs to indicate the dangers of swimming, animals, or similar hazards.
- E. Memorial signs or tablets, names of buildings, and dates of erection when cut into any masonry surface or when constructed of bronze or other noncombustible materials.
- F. Signs carried by a person.
- G. Signs incorporated on machinery and equipment at the manufacturers or distributor's level, and which only identify or advertise the product or service dispensed by the machine or equipment. This includes signs customarily affixed to vending machines, newspaper racks, telephone booths, and gasoline pumps.
- H. Traffic control signs erected on public or private property which meet Georgia Department of Transportation standards and contain no commercial message of any kind. Signs located on private property shall not exceed four (4) square feet.

- I. Regulatory, statutory, traffic control, or directional signs erected on public property by or with permission of State of Georgia, the United States, the City of Tifton or Tift County.
- J. Political campaign signs on Tift County public rights of way which are maximum four (4) square feet and placed on the back slope of the ditch or right of way.

5.04.05 Provisionally Exempt Signs

Signs identified in this section may be placed without a permit, provided that such signs comply with the standards in Table 5.04.05.

[Table 5.04.05 Standards for Provisionally Exempt Signs to Follow on Next Page]

Table 5.04.05. Standards for Provisionally Exempt Signs. SF = Square Feet

Type of Sign	Standards
Directional signs or symbols including entrance, exit, caution, slow, or no trespassing	<ul style="list-style-type: none"> • Three (3) sf or less in area, and • Located on a parcel of private property, and • Pertains to directions within or regarding the parcel
Establishment identification signs, including address information	<ul style="list-style-type: none"> • Ten (10) sf or less in area, and • Sign must be attached to building wall or window
Directory signs	<ul style="list-style-type: none"> • Twenty-four (24) sf or less in area, and • Limited to one (1) directory sign per building, and • Contains no commercial messages, and • Attached to the building wall
Occupant or owner identification signs at the entrance drive of residences, estates and farms	<ul style="list-style-type: none"> • Three (3) sf or less in area
Informational bulletin boards for public, charitable, educational or religious institutions	<ul style="list-style-type: none"> • Thirty-two (32) sf or less in area, and • Located on the premises of said institution, and • Located at least ten (10) feet from any property line when said institution is located in or adjacent to a residential zoning district
Menu boards or price lists for drive-through facilities	<ul style="list-style-type: none"> • Maximum of two (2) such boards, and • Maximum area of twenty- four (24) sf or less, and • Located adjacent to and oriented toward the drive-through area
Real estate signs (Including multiple listing strips, sale pending, and sold signs)	<ul style="list-style-type: none"> • Six (6) sf or less in area in residential districts, or • Thirty-two (32) sf or less in all other zoning districts, and • Sign is not illuminated, and • One (1) sign per street frontage, and • Located on property for sale or rent, and • Shall be removed when ownership or occupancy has changed or the property is no longer for sale, rent, or lease
Construction signs	<ul style="list-style-type: none"> • Thirty- two (32) square feet or less in area in residential districts, or • Thirty-two (32) square feet or less in all other zoning districts, and • No more than eight (8) feet in height • Located at least ten (10) feet from all property lines • Located on property where a valid building permit has been issued and has not expired • Must be removed when a certificate of occupancy for any building or structure on the premise is issued

Yard or garage sale signs, and directional signs for yard or garage sales	<ul style="list-style-type: none"> • Three (3) sf or less in area, and • Limited to one (1) per parcel, and • Limited to the period of the sale, and • Directional signs to yard sales may not be located within the public right-of-way. These signs must be located on private property with the consent of the property owner.
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5.04.06 General Sign Standards

- A. In general, commercial and industrial owners are encouraged to develop the public identity of their operations through high-quality and innovative structural design. Signs should adhere to the architectural motifs set forth by the building but should not be relied upon as the sole means of identification.
- B. Unless exempted by this ordinance, all signs shall be constructed of wood, masonry, glass, vinyl, plastic and/or high-grade metal.
- C. Signs shall follow specific guidelines concerning height, (if located near TMA), materials, and size.
- D. Signs, except off-premise signs, shall serve only to identify and market the business, structure, activity, or parcel at its location of business.
- E. Freestanding monument or pedestal signs shall be minimum ten (10) feet from the right of way.
- F. The signing for new businesses within existing projects shall comply with the provisions of this UDC.
- G. All permanent signs must comply with all requirements of the State of Georgia as expressed in O.C.G.A. § 32-6-51, Signage on Public Roads, together with all other applicable local and state laws as amended from time to time, as well as the provisions of this section, whichever are more restrictive.
- H. **Changeable copy**
Unless otherwise specified by this section, any sign herein allowed may use manual, automatic, or electrically or mechanically activated changeable copy. No permit is required to change copy on a legally permitted sign.
- I. **Measurement**
1. a sign is composed of letters or pictures attached directly to a façade, wall, window, door, awning, monument sign, or freestanding sign, and the letters or pictures are not enclosed by a border or trimming, the sign area shall be the area within the smallest rectangle, parallelogram, triangle, circle, semicircle, or a combination of any of these geometric shapes, the sides of which touch the extreme points of the letters or pictures as a whole.

2. Where a sign is composed of letters or pictures enclosed by a border or trimming, the sign area shall be the area within the border or trim.
 3. In cases where material is displayed in a random or unconnected manner without organized relationship of the components, each such component shall be considered a single sign.
 4. The area of a freestanding sign shall include the area of the outside frame, but not of the supporting structure.
- J. Number of signs
1. The number of signs shall be the number of structures with a sign face.
 2. For double-faced signs, only one (1) display face shall be measured in computing sign area when the sign faces are parallel, or where the interior angle formed by the faces is sixty (60) degrees or less and attached to a common structure. If the two (2) faces of a double-faced sign are of unequal area, the larger of the two (2) faces shall be the area used for calculations.
- K. Wall signs
1. The allowable area of a wall sign shall be calculated as a percentage of the signable area.
 2. The signable area is the area of the façade of the building up to the roofline, not including windows, doors, or major architectural features.
- L. Window signs
1. Window signs which advertise temporary sales and special promotions for activities, services, goods, or products available within the building are permitted.
 2. The allowable area of a window sign shall be limited to fifty (50) percent of the total window area of a façade.
- M. Sign height
1. The height of a sign is the vertical distance from the finished grade to the highest point of the sign.
 2. Where a sign is placed on a berm, the height shall be measured from the grade at the base of the berm to the highest point of the sign.
- N. Permissible permanent on-site signs
1. Permanent on-site signs shall be limited to the following sign types: Freestanding signs, which may be ground, monument, or pole signs; and wall signs.
 2. The number and types of permanent on-site signs shall comply with the standards in Table 5.04.06 (N) (2).

[Table 5.04.06(N)(2). Number and Types of Permanent On-Site Signs to follow on next page]

Table 5.04.06(N)(2). Number and Types of Permanent On-Site Signs.

Sign Type: Zoning District:	Freestanding	Wall
MR	1	1 per building
RPD	1	1 per building
UPD	1	1 per building
RP	1	1 per business
AG	1	1 per business
CC	1 per street frontage	1 per business
GB	1 per street frontage	1 per business
WLI	1	1 per business
HI	1	1 per business

Home Occupation 52.01.02 = 4 sf attached to building

TC-TA-12-01, 08.13.12

- Permanent on-site signs shall comply with the design standards set forth in Table 5.04.06 (N) (3).

Table 5.04.06(N)(3). Design Standards for Permanent On-Site Signs.

Zoning Districts	Maximum Sign Face Size	Maximum Height Freestanding	Maximum Area Wall Signs
MR	50 sq ft	25 ft	10% of wall
RPD	50 sq ft	25 ft	10% of wall
UPD	50 sq ft	25 ft	10% of wall
RP	20 sq ft	25 ft	10% of wall
AG	32 sq ft	12 ft	10% of wall
CC	80 sq ft	35 ft	30% of wall
GB	300 sq ft	35 ft or 70 ft within 660 ft of I-75	30% of wall
WLI	300 sq ft	35 ft or 70 ft within 660 ft of I-75	10% of wall
HI	300 sq ft	35 ft or 70 ft within 660 ft of I-75	10% of wall

TA-12-01, 08.13.12

- O. Setbacks for Signs
1. Temporary, accessory, and principal use signs shall be at least ten (10) from any right-of-way line if such sign is a ground sign.
 2. The roadside edge of an elevated sign may abut the edge of the right-of-way if such placement, as determined by the governing authority, does not present a safety hazard, and shall be minimum twelve (12) feet to the bottom edge of the sign.
 3. Temporary, accessory, and principal use signs shall be at least ten (10) feet from any other structure.
- P. In shopping centers incorporating three (3) or more establishments, the center may be identified by a freestanding ground sign meeting the standards set forth in this section.
1. The area of the sign may be increased above the standard set forth for freestanding signs in Table 5.04.06(N)(3) an additional five (5) square feet for each independently operated establishment in the center, to a maximum sign face area of 1,000 square feet.
 2. Shopping centers with street frontage of 400 feet or more may have an additional freestanding sign for each 400 feet of frontage. Any additional freestanding signs shall not exceed 300 square feet in sign face area.
 3. One (1) wall sign is permissible for each establishment in a shopping center. The total area of all wall signs in the center shall not exceed thirty (30) percent of the total wall area as described in Section 5.04.06(K). Allocation of that total area to the individual establishments shall be the responsibility of the owner/operator of the center.
- Q. Illumination
1. No sign shall give off light, which glares, blinds, or has any other adverse effect on traffic or adjacent properties.
 2. The light from an illuminated sign shall be established in such a way that adjacent properties and roadways are not adversely affected and that no direct light is cast upon adjacent properties and roadways.
 3. To reduce energy use, all sign illumination systems should incorporate contemporary energy saving techniques and materials. These could include, but are not limited to, solar panels, high-efficiency fixtures, reflective materials, etc.
 4. All monument signs which incorporate lighting shall have underground utility service.
 5. Commercial signs in residential districts shall not be illuminated.

5.04.07 Special Limitations

- A. Political Signs
1. All political signs must meet all requirements of O.C.G.A. § 21-2-3, together with all other applicable state laws, as amended from time to time, as well as the other provisions of this section, whichever are more restrictive.

2. Unless specifically allowed pursuant to state law, the sign shall not be displayed earlier than thirty (30) days prior to the commencement of the qualifying period immediately prior to the election it concerns nor shall the sign be displayed earlier than thirty (30) days prior to the call for election immediately prior to the referendum it concerns.
 3. The sign must be removed no later than seven (7) days following the date of the primary election, run-off election, general election, or referendum it concerns, unless the candidate remains a viable candidate for the office sought and there are subsequent elections in the same election cycle subject to the existing qualifying period. The owner of the property on which the sign is located and/or the candidate will be responsible for removing the sign.
 4. The sign shall not be located, in whole or in part, on any public lands or public right-of-way, except political campaign signs which do not exceed four (4) square feet may be located on the back slope of the ditch or right of way and shall not be attached to any sign or utility pole or structure, rock, or any form of vegetation.
 5. Except for signs used for off-premise advertising (billboards), signs shall not exceed six (6) square feet in area in all residential districts and twenty-four (24) square feet in all non-residential districts.
 6. The governing authority shall, without notice, immediately remove or cause to be removed any and all political signs in violation of this ordinance.
 - a. Signs may be reclaimed within three (3) business days of removal.
 - b. Unclaimed signs may be disposed of after three (3) business days without liability to the governing authority or its employees, agents or officers.
 7. All political signs must also meet corresponding sign type regulations for the zoning district in which the sign is located.
- B. Temporary Signs
1. It shall be unlawful to display any temporary sign without a permit or otherwise in violation of this ordinance.
 2. The temporary permit shall be acquired prior to the display of any temporary sign or advertising device.
 - a. The permit shall specify the first and last day of the period not to exceed thirty (30) days in which display of the temporary sign or advertising device is permitted.
 - b. Display of the temporary sign or advertising device shall be allowed beginning at 12:01 a.m. on the first day specified on the permit.
 - c. The permit shall expire at 11:59 p.m. on the last day specified on the permit.
 - d. Refer to D. 5 below.
- C. Portable signs and advertising devices
1. It shall be unlawful to display any portable sign or advertising device without a permit
 2. Each occupant or tenant of a single commercial or industrial lot may display one (1) temporary on-premise portable sign.

3. Portable signs and advertising devices shall not be allowed in residential districts.
 4. The following types of signs or advertising devices may be used upon the issuance of a temporary permit:
 - a. Air and gas filled (inflatable) devices,
 - b. Banners,
 - c. Balloons,
 - d. Streamers, or
 - e. Searchlights and similar devices.
 5. Each occupant or tenant shall be allowed thirty (30) calendar days per calendar year in which to legally display a temporary on-premises portable sign and/or advertising device.
- D. Semi-permanent directional signs.
1. Signs which convey directions to a specific place under construction or to specific real estate for sale or to a noncommercial event, and are not intended to be permanent but rather are intended to provide direction to a place or event for a limited period of time shall be allowed in all zoning districts.
 - a. It shall be unlawful to display any semi-permanent directional signs without a permit.
 - b. Semi-permanent directional signs shall be mounted on single or double poles of sufficient strength to safely support the sign.
 - c. Applicants for semi-permanent directional signs are encouraged to share the sign with more than one (1) user in an attempt to reduce visual clutter.
 - d. Semi-permanent directional signs shall not be affixed in any manner to trees, natural objects, street light poles, utility poles or structures, federal, state, county signs or poles, or other permanent sign structures.
 - e. Semi-permanent directional signs used to convey directions to a non-commercial event or a specific place under construction shall be removed within ten (10) days after the event is over or the project is completed.
 - f. Semi-permanent directional signs providing direction to a subdivision or other real estate for sale shall be removed within ten (10) days after the closing of the sale of that property or the closing of the last lot of the subdivision.
 - g. No mounting materials may remain in the ground after the sign has been removed.
- E. Temporary-local directional signs.
- Temporary local directional signs are short-term signs which convey directions to specific place or civic event and shall be allowed in all signage districts.
1. Temporary local directional signs do not require a permit or a permit fee.
 2. Temporary local directional signs may be single or double faced.
 3. Each face may be up to four (4) square feet.
 4. Temporary local directional signs shall not exceed three (3) feet in height and shall be mounted on an independent single or double pole device.

5. Temporary local directional signs shall not be affixed in any manner to trees, natural objections, utility poles or structures, federal, state, county signs or poles, or other permanent signs or sign structures.
 6. Temporary local directional signs shall be made of wood, metal, plastic, or other durable and waterproof material. No such sign shall be made of paper.
- F. Abandoned on-site signs
1. Any sign face now or hereafter existing which no longer advertises a bona fide business conducted or a product sold shall be deemed abandoned and shall be removed by the owner of the building or structure upon which such sign face may be found.
 2. Any sign that is located on property that becomes vacant and unoccupied, pertains to a business which does not maintain a current and valid occupational license, or pertains to a time, event, or purpose which no longer applies, shall be deemed to have been abandoned.
 3. Any sign damaged or destroyed to the extent of fifty (50) percent or more of the replacement cost is considered an abandoned sign.
 4. An abandoned sign shall be removed not later than thirty (30) days after the abandonment occurs. Where the structure supporting the abandoned sign does not comply with the requirements of all applicable building and construction codes and the requirements of this UDC, the entire structure shall be removed.
 5. A sign structure which supported an abandoned sign and which complies with all applicable building and construction codes and the requirements of this UDC shall be allowed to remain in place.
 6. An abandoned sign shall be subject to code enforcement action.

05.04.08 Off Premises Signs (Billboards)

- A. Generally
- This section shall apply to off premises signs, also referred to as billboards, within Tift County.
1. Off-premises signs shall only be permitted in the following zoning districts:
 - a. General Business (GB)
 - b. Heavy Industrial (HI)
 - c. Wholesale light industrial (WLI)
 2. Off-premises signs shall only be permitted in the following locations: Subject to the locations for billboards along federal and state highway corridors, and shall be allowed as a matter of right in the following zoning districts; GB, WLI and HI.
 3. Off-premises signs shall not be permitted in the Tift County except as specifically designated above.
 4. No portion of the billboard shall be located within one-hundred fifty (150) feet of any residential dwelling, church, school, park or publicly owned building.

- B. All off-premises signs must comply with all requirements of the State of Georgia and the Georgia Outdoor Advertising Act (O.C.G.A. 32-6-70 et seq., as amended from time to time), as well as the provisions of this section, whichever are more restrictive.
- C. Along Interstate 75 Rights of Way
1. All existing conforming signs with conforming permits adjacent to I-75 will retain their conforming status and will be governed by the same rules as Georgia DOT Rules and Regulations of Outdoor Advertising.
 2. No new sign shall be erected unless it is in compliance with the regulations of this section and Ga.DOT Rules and Regulations of Outdoor Advertising. Signs shall be constructed of durable materials, maintained in good condition, and not permitted to become dilapidated.
 3. The outside measurement of all new (Billboard) signs shall not exceed twelve hundred (1200) square feet, with or without trim, except that existing factory manufactured metal signs, are considered to be conforming with respect to size requirements until such time as the sign is moved, enlarged, raised or otherwise physically altered with respect to dimensions or changes from its present configuration or sign type;
 4. Only one (1) sign shall be allowed to face the same direction per location. This allows either a back-to-back sign or a "V" formation sign, but prohibits two (2) signs (side-by-side or stacked atop one another) facing the same direction.
 5. Sign locations shall be no less than 500 feet apart measuring from the two (2) closest points on the same side of the right-of-way.
 6. Sign structures shall be no less than ten (10) feet from any property or right-of-way line.
 7. Extrusions beyond the face of the sign, excluding aprons, are prohibited.
 8. These signs shall be within an area zoned GB, WLI and HI and as specified in state law.
 9. Nonconforming signs along Interstate 75
 - a. A nonconforming sign shall not be replaced by another nonconforming sign except that the substitution or interchange of poster panels, painted boards, or demountable materials on nonconforming signs shall be permitted.
 - b. Minor repairs and maintenance of nonconforming signs such as repainting, electrical repairs, neon tubing repairs shall be permitted. However, no structural repairs or changes in the size or shape of a sign shall be permitted except to make the sign comply with the requirements of this UDC.
 - c. New point of business signs related to legally established nonconforming uses may be erected provided they comply with the sign regulations applicable to the use in the most restrictive district in which the use is permitted.
- D. Along State Routes 82, 41, 125 and 319 only in areas zoned GB, WLI and HI.
1. No new sign shall be erected unless it is in compliance with the regulations of this section. Signs shall be constructed of durable materials, maintained in good condition, and not permitted to become dilapidated.

2. The outside measurement of all new signs shall not exceed 300 square feet in sign face area, with or without trim, except that existing factory manufactured metal signs, are considered to be conforming with respect to size requirements until such time as the sign is moved, enlarged, raised or otherwise physically altered with respect to dimensions or changes from its present configuration or sign type;
3. Only one (1) sign shall be allowed to face the same direction per location. This allows either a back-to-back sign or a "V" formation sign, but prohibits two (2) signs (side-by-side or stacked atop one another) facing the same direction.
4. Sign locations shall be no less than 500 feet apart measuring from the two (2) closest points on the same side of the right-of-way.
5. Sign structures shall be no less than ten (10) feet from any property or right-of-way line.
6. Extrusions beyond the face of the sign, excluding aprons, are prohibited.

5.05.00 TELECOMMUNICATION TOWERS AND ANTENNAS

- A. Telecommunication towers and antennas provided that:
 1. All structures are setback from property lines & right of way lines the required distance for that district plus one foot for every two feet above the height requirements of that district.
 2. Towers or Tall structures for telecommunication services will not be permitted within 500 feet of each other measured from base of tower to base of tower.

CHAPTER 6

INFRASTRUCTURE IMPROVEMENTS

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6.00.00 GENERALLY

The purpose of this chapter is to establish standards and requirements for the provision of infrastructure by all development. This chapter contains requirements for the transportation system, set forth in Section 6.01.00, including access, streets, off-street parking, and clear visibility at intersections. Tift County Board of Health requirements are set forth in Section 6.02.00. Requirements for utilities are set forth in Section 6.03.00, including potable water and sanitary sewer. Requirements for drainage and stormwater management are set forth in Section 6.04.00. See also, Chapter 7 for interior paved driveways/roads, and stormwater management, design standards.

6.01.00 TRANSPORTATION AND PARKING FACILITIES**6.01.01 Access and Driveway Design Requirements****A. Requirements for curb cuts**

Within any zoning district where the lowering or cutting away of any curbs or the placement of asphalt and/or driveway pipe on non-curbed sections for the purpose of ingress and egress is required to the property, such curb cuts or asphalt width shall be subject to permitting and the following provisions:

1. The location, design, and construction of driveway connections shall comply with the Technical Standards Manual, Chapter 7.
2. Residential curb cuts (excluding multi-family development, and manufactured housing park development):
 - a. No more than two (2) combined entrances and exits shall be allowed on any parcel of property, the frontage of which is less than 200 feet on any one (1) street. Additional entrances or exits for parcels having a frontage in excess of 200 feet shall be permitted at the rate of one (1) entrance/exit for each additional 100 feet on Tift County maintained roads/streets.
 - b. At street intersections, no curb cuts shall be located within twenty-five (25) feet of the intersection of two (2) curb lines or such lines extended; or within twenty-five (25) feet of the intersection of two (2) right-of-way lines or such lines extended, whichever is more restrictive. On principal or minor arterials or collector streets, no driveway shall be within seventy (70) feet of the intersection of two (2) curb lines or curb lines extended.
 - c. The distance between any two (2) curb cuts on the same side of the street shall be not less than ten (10) feet. Said distance shall be measured between the point of tangency of the curb return radii and the established curb.
 - d. All driveways shall be constructed so as to have at least five (5) feet from any property line at the right of way, except that a curb return may flare to a point where such property line extends with the right of way line.
 - e. The maximum width of any residential driveway shall not exceed twenty-four (24) feet measured at the right-of-way line.
 - f. The sum of the two (2) curb return radii for any curb cut shall not exceed fifteen (15) feet.

3. Commercial, industrial, manufactured housing park, and multi-family curbcuts
 - a. Existing lots of record less than 150 feet frontage shall be allowed one (1) combined entrance/exit not to exceed twenty-four (24) feet at right-of-way line.
 - b. No more than two (2) combined entrances or exits shall be allowed any parcel or frontage which is less than 300 feet on any one (1) street. Additional entrances or exits for parcels of property having a frontage in excess of 300 feet shall be permitted at the rate of one (1) entrance-exit for each additional 150 feet.
 - c. At street intersections, no curb cuts shall be located within seventy (70) feet of the intersection of two (2) curb lines.
 - d. Maximum width of any driveway shall not exceed forty (40) feet measured at the right-of-way line; minimum two-way shall be twenty-four (24) feet at right-of-way line with a maximum of twelve and a half (12.5) foot radius. If the driveway provides primary access for heavy truck traffic, the maximum driveway width may be increased upon approval of the SDRC. No (2) two driveways on the same property shall be closer than twenty-five (25) feet.
 - e. The sum of the two (2) curb return radii for any one (1) curb cut shall not be less than twenty-five (25) feet, nor greater than forty (40) feet.
- B. Defunct driveways shall be removed
 1. When development on sites where existing curb cuts are abandoned and access is no longer afforded due to parking lots, buildings or other permitted structures, the driveway shall be removed, the sidewalk (if existing) shall be replaced, the curb and gutter shall be replaced, fill dirt backfilled to its natural state.
 2. Where the development was served by a piped driveway to a dirt or paved street, said pipe shall be removed, asphalt removed and the shoulders and ditch regraded to its natural pre-existing state.
- C. Joint access driveways and cross access easements
Joint access driveways and cross access easements shall be designed according to the following provisions:
 1. Adjacent commercial or office properties shall provide a cross access drive and pedestrian access to allow circulation between sites through a system of joint use driveways and cross access easements as shown in Figure 6.1. The design of the joint or cross access area shall incorporate the following:
 - a. Continuous service drive or cross access corridor extending the entire length of each block served to provide for driveway separation;
 - b. Stub-outs and other design features to make it visually obvious that the abutting properties may be tied in to provide cross-access via a service drive; and
 - c. Sufficient separation between side street access to the property and the major road to ensure safety.
 2. In order to ensure continuous availability of access to all properties, all property owners shall:
 - a. Record an easement with the deed allowing cross access to and from other properties served by the joint use driveways and cross access or service drive;

- b. Record an agreement with the deed that remaining access rights along the thoroughfare. Pre-existing driveways shall be closed and eliminated after construction of the joint-use driveways; and
- c. Record a joint maintenance agreement with the deed defining maintenance responsibilities of property owners.

6.01.02 Streets and Rights-of-Way

- A. The location, arrangement, extent, width, and grade of all streets shall conform to the City of Tifton-Tift County Thoroughfare Plan, and shall be considered in relation to existing and planned streets, topographical conditions, public safety and convenience, and proposed use of land to be served by the streets. The layout of a subdivision shall conform to the requirements and design principles described in this UDC.
- B. The location, design, and construction of all streets shall comply with the Tift County Technical Standards Manual, Chapter 7 of the UDC and the Georgia Department of Transportation (GDOT) standards for streets.
- C. The location, design, and construction of all traffic control devices, signage and other markings shall comply with the Manual of Uniform Traffic Control Devices (MUTCD).
- D. Streets signs designating the approved name of each street shall be placed in accordance with the standards established by the governing authority.
- E. Access (also see Section 6.01.01(A))
 1. Except as provided in Section 6.01.02(E)(3) and 6.01.02(F) below, each lot within a subdivision shall abut a paved public street which is or shall be maintained by Tift County with a minimum right-of-way width of sixty (60) feet.
 2. Where the subdivision does not immediately adjoin a public street, the subdivider shall provide a paved public street from the subdivision to an existing paved public street.
 3. A subdivision with twenty (20) or more lots shall provide two (2) access points. Where access is by a private street, the following additional standards shall be met.
 - a. The private street shall comply with the standards in Section 6.01.02(E) and (F).
 - b. If gated, the gate shall be a breakaway design and construction to ensure emergency access.
 4. A driveway connecting the public street with adjoining property is the responsibility of the property owner. Prior to installation, any needed drainage pipe under the driveway shall be approved by the Tift County Road Department.
 5. Alleys or fire lanes may be provided at the rear of lots in residential subdivisions. Alleys or fire lanes shall be provided at the rear of lots in commercial and industrial developments according to applicable codes.
- F. Private roads
 1. The development of a subdivision on private roadways may be permitted subject to the provisions of this section.

- a. Subdivisions which utilize private streets shall be approved by the Board of Commissioners.
 - b. The developer of a subdivision which utilizes private streets shall establish a responsible association with the authority to and shall maintain the private streets.
 - c. Private streets shall be approved for development only when they are eligible for categorization as a local street.
 - d. Private streets shall be designed and constructed to comply with the Tift County Technical Standards Manual and the Georgia Department of Transportation (GDOT) standards for public streets and shall conform to the City of Tifton-Tift County Thoroughfare Plan.
 - e. Private streets shall be designed so as to prohibit through traffic.
 - f. To allow for installation of utilities, there shall be a utility easement required which shall be indicated on the subdivision plat.
 - g. Prior to the issuance of building permits for lots within the development, the developer shall file with the Manager a “Release of Maintenance Agreement,” acknowledging that the governing authority shall have no responsibility for present or future maintenance of the private streets.
 - h. A blue street sign indicating that the street is a private street shall be erected at the intersection of each public street and the private street.
 - i. Subdivisions developed with private streets may erect a security gate at the entrance to the subdivision, provided that the security gate is equipped with a pass key system or an emergency alarm activated gate to provide access for emergency vehicles.
- G. Design standards
1. Alignment and Continuation. Streets within a subdivision shall be so arranged as to provide for the alignment and continuation of existing public streets.
 2. Cul-de-sacs
 - a. Permanent cul-de-sacs shall be limited in length so that each cul-de-sac serves as street access for no more than twenty-five (25) lots.
 - b. Cul-de-sacs shall terminate in a circular turnaround having a right-of-way of not less than 100 feet.
 - c. Paving within the turnaround shall have an outside diameter of not less than eighty (80) feet.
 3. Permanent dead-end streets and dead-end alleys shall be prohibited.
 4. Permanent half streets and half alleys shall be prohibited.
 5. Intersections.
 - a. The center line of no more than two (2) streets shall intersect at any one (1) point.
 - b. No street shall intersect another street at less than eighty (80) degrees and shall as nearly as possible intersect at ninety (90) degrees.
 6. The right-of-way radius at street intersections shall be no less than twenty (20) feet except on major arterial streets, where GDOT standards shall apply.
 7. Horizontal and Vertical Alignment of Streets
 - a. New streets shall be designed to meet all minimum requirements for the appropriate classification as listed in the most recent edition of the City of Tifton-Tift County Thoroughfare Plan “Road Classifications” table.

- b. The classification will be determined by the estimated traffic volume for each street and the land use of lots adjacent to the street. Traffic volumes shall be estimated in accordance with the latest edition of Trip Generation published by the Institute of Transportation Engineers (ITE).
 - c. New streets shall have horizontal alignment, vertical alignment, and superelevation designed in accordance with the latest edition of the American Association of State Highway and Transportation Officials (ASHTO), Geometric Design of Highways and Streets.
8. Right-of-way Extension
- a. Where the proposed subdivision has twenty-five (25) lots or more and abuts undeveloped properties, street rights-of-way shall be extended by dedication to the boundary of the proposed subdivision as necessary such that every subdivision and prospective subdivision will have at least two (2) points of ingress onto and egress from the public road system either upon completion of construction of the proposed subdivision or when both proposed subdivision and the undeveloped property are developed.
 - b. Undeveloped properties are unimproved lands without prior plans or plats submitted to or recorded with the governing authority where such plans or plats are for the purpose of allowing a higher and better use of the property than allowed in its unimproved state.
9. Street jogs at intersections shall be not less than 150 feet between centerline offsets.
10. Street Right-of-way and Pavement Width
- a. Street rights-of-way shall be measured between lot lines.
 - b. Street rights-of-way and pavement widths shall meet the minimum requirements as listed in the latest edition of the City of Tifton-Tift County Thoroughfare Plan “Road Classifications” table and Tift County Technical Standards Manual.
 - c. If the subdivision boundary line lies adjacent to the right-of-way line of an existing street of less than the minimum right-of-way width, a minimum of one-half (1/2) the required extra right-of-way shall be dedicated.
11. Medians
- a. When a new development is proposed with a median in a street, the subdivider must make provisions for future maintenance of the grassing and landscaping within the median. Prior to issuance of building permits for lots within the development, the developer shall file with the Manager a “Release of Maintenance Agreement,” acknowledging that the governing authority shall have no responsibility for present or future maintenance of the medians.
 - b. Median in a street with curb and gutter
 - i. Additional right-of-way will be required to provide a shoulder of at least ten (10) feet width measured from back of curb to right-of-way.
 - ii. Utility easements will be required beyond the right-of-way for the installation of utilities. The width of such easements will be as required by the governing authority engineer after review of the Preliminary Plat and preliminary construction plans of the subject subdivision.

- c. Median in a street with rural ditches: Additional right-of-way will be required as needed to provide the shoulder, front slope, ditch bottom, and back slope widths as required in the latest edition of the City of Tifton-Tift County Thoroughfare Plan “Road Classifications” table and Tift County Technical Standards Manual, Table 53A.
 12. Street names. The subdivider shall provide on the subdivision plat the approved name or number of all streets within the subdivision. Street names and addresses shall be approved by Tift County 911.
 - a. Streets and roads that are obviously in alignment with and are extensions of existing previously named or numbered streets shall bear that name.
 - b. The names of all new streets within the subdivision shall be subject to the review and approval of the SDRC, which also shall be approved by Tift County 911.
 - c. New street names shall not duplicate or closely resemble the names of streets already in existence within Tift County.
- H. Street and right-of-way classification map
1. The Southern Georgia Regional Commission (SGRC) will prepare a street and right-of-way classification map, which map depicts all streets in Tift County showing the designations of streets.
 2. This map will be accompanied by Table 5.3.A in the Tift County Technical Standards Manual, Chapter 7 of the UDC to establish the widths of the following;
 - a. Minimum required right-of-way,
 - b. Minimum required pavement or asphalt widths, and
 - c. Minimum required curb and gutter widths. Table 5.7 TSM
 3. This map shall be kept up to date by the committee and a copy of such map shall be maintained at all times by the Manager.
- I. Prerequisites to acceptance of street dedication
1. The developer will be responsible for 100 percent of the costs of all materials to establish and construct a street upon rights-of-way dedicated to the County, to include paving, stormwater drainage, and, where applicable, curb and gutter.
 2. The developer will be responsible for 100 percent of the costs of all materials to install water and sewer utilities and service within the new street.
 3. Warranty of street work required
 - a. The developer must provide an agreement acceptable to the County that all work will be done in accordance with County specifications and that such developer will warrant to the County all work for a period of two (2) years from the date that Tift County approves and accepts, subject to the aforesaid warranty.
 - b. The developer must provide testing and inspection of the construction of all streets certified by a third-party independent laboratory. The costs of this third-party testing shall be the responsibility of the developer.

- c. At the expiration of two (2) years from such acceptance date, the paved street and all subject utilities will become the maintenance responsibility of the County. The developer will correct, at his expense, any defects that arise or occur or become manifest within the two-year warranty period.

6.01.03 Parking Standards and Design

A. Parking space requirements

1. Except as provided in this section, no application for a building permit shall be approved unless there is included with the plan for such building, improvements, or use, a development plan showing the required space reserved for off-street parking and loading. Occupancy shall not be allowed unless the required off-street parking and loading facilities have been provided in accordance with those shown on the approved plan.
2. These regulations shall apply in all zoning districts.
3. Minimum off-street vehicular parking spaces shall be provided at the time of the construction of the principal building or at the time of the conversion of a building having a previously existing use, to a more intensive use of the same property.
4. When an addition is made to a building containing less than the required parking or loading requirements, off-street parking shall be provided for the entire building, based upon the standards in this section.
5. No addition to an existing building shall be constructed which reduces the number of spaces, area, or usability of an existing parking lot or loadingspace, unless such building and its addition conform with the regulations for parking and loading contained herein.
6. Requirements for off-street parking for uses not specifically mentioned in this section shall be the same as required for the use most similar to the one sought.
7. Number of parking spaces
In order to assure a proper and uniform development of public parking areas throughout the area of jurisdiction of this UDC, to relieve traffic congestion on the streets, and to minimize any detrimental effects on adjacent properties, off-street parking space shall be provided and maintained as called for in Table 6.01.03(A).
8. Calculation of required parking
 - a. Where floor area determines the amount of off-street parking required, the floor area of a building shall be the sum of the gross horizontal areas (excluding storage areas) of every floor of the building, using exterior wall dimensions.
 - b. For places of public assembly, the number of seats shall be the maximum occupancy load established for the building by the applicable code.

[Table 6.01.03(A). Parking Space Requirements. Follows on Next Page]

Table 6.01.03(A). Parking Space Requirements.

Type of Use or Activity	Minimum Number of Spaces
Assembly places (religious facilities, funeral homes, schools, theaters, auditoriums, arenas, civic centers, and facilities with an auditorium, sanctuary, or gathering place, whether fixed seats or open area)	1 space per 4 seats or occupant load and classification per applicable code *
Business and commercial activities, including retail sales, shopping centers, and business activities not otherwise specified	1 space per 200 sf of gross floor area
Clubs and lodges (including fraternities, sororities, and other social or civic membership organizations)	1 space per each 2 employees, plus 1 space for each 4 seats in the largest assembly area *
Day care, childcare centers and kindergarten	1 space per employee on the largest shift
Gasoline service stations	1 space per employee on the largest shift, plus 2 spaces per repair bay
Hospitals, nursing homes, rest homes, convalescent homes, assisted care facilities, and other similar facilities and other medical facilities providing overnight accommodations	1 space per each 3 beds, plus 1 space for each employee on the largest shift
Indoor recreational activities, including bowling alley, YMCA and similar uses	1 space per 150 sf of gross floor area * (Excluding storage areas)
Lodging accommodations, without restaurants or lounges	1 space per sleeping room, plus 1 space for each employee on the largest shift
Lodging accommodations, with restaurants or lounges	1 space per sleeping room, plus parking required for the restaurant or lounge, plus 1 space for each employee on the largest shift
Libraries and museums	1 space per each 500 sf of gross floor area. (Excluding storage areas)
Manufacturing, warehousing and industrial uses	2 spaces for each 3 employees on the largest shift, plus 1 space for each company vehicle operating from the premises
Medical offices and clinics	1 space per 200 sf of gross floor area. (Excluding storage areas)
Mortuary and funeral homes	1 space for each 4 seats in the chapel, plus 1 space for each 3 employees *
Multi-family dwellings	2 spaces per dwelling unit
Offices (general, professional, or government)	1 space per 300 sf of gross floor area, plus 1 space for each 2 employees. (Excluding storage areas)
Public parks and outdoor recreation facilities	1 space per 1,000 sf feet of active use area
Restaurants, eating, drinking, or entertainment establishments (without drive-in facilities)	1 space per 2 seats, plus 1 space for each 2 employees on the largest shift

Schools and educational uses; Elementary, middle and junior high schools	2 spaces for each classroom, office and kitchen
Schools and educational uses; High schools, trade schools, private colleges and universities	5 spaces for each classroom, plus 1 space for each staff member
Single-family dwellings	1 space per unit
Wholesale and agricultural sales	1 space for each employee on the largest shift, plus sufficient spaces to accommodate vehicles used in the conduct of business

**Parking spaces for assembly occupancies may be calculated by # of seats or square footage per applicable code.*

- B. Parking space requirements (number of spaces) may be adjusted by the Manager. Adjustments may be granted for a multiple tenant establishment, commercial center, or joint use of two (2) or more adjacent or adjoining uses. The property owner shall provide the following information to support a request for reduction or waiver of otherwise required parking.
 - 1. The site development plan shall show that there is one (1) or more paved driveway connections between the parking areas of the developments involved. The number, location(s), and design specifications of said driveway(s) shall be acceptable to the governing authority.
 - 2. A parking plan shall be provided to document the proposed number of parking spaces. The plan shall include an estimate of the number of spaces required and the source of the estimate. Acceptable sources include studies such as conducted by the Urban Land Institute or the Institute of Transportation Engineers. Parking data for similar uses may be included, provided that the similar uses are documented as similar in density, scale, bulk, area, type of activity, hours of operation, and location. The governing authority shall retain the sole authority to accept the parking data as appropriate for the proposed use.
 - 3. A cross-access and cross-parking agreement, in recordable form acceptable to the governing authority, shall be executed by the owners of developments involved. Said agreement shall guarantee the joint use of a specified number of parking spaces.

- C. Parking space requirements may be reduced, waived by the Manager, or shared parking may be approved, based upon the availability of an off-site and non-contiguous parking facility or parking lot. The property owner shall provide the following information to support a request for reduction or waiver of otherwise required parking.
 - 1. The availability of the off-site parking lot shall be guaranteed in perpetuity, by virtue of common ownership with the primary site, recorded easements, or other binding agreements acceptable to the governing authority.
 - 2. The off-site parking lot shall meet all development standards set forth in this UDC.

- D. Parking lot design requirements
Off-street parking lots, individual parking spaces, loading areas, and loading stalls shall be designed to conform to the following criteria and standards.

1. All multiple-family, commercial, and industrial uses shall provide a paved, dust-free surface.
2. All such areas shall be at all times maintained at the expense of the owners thereof in a clean, orderly, and dust-free condition to the extent it does not create a nuisance.
3. All off-street parking and loading areas shall be well maintained. Parking lots and loading areas shall be free of potholes, debris, weeds, broken curbs, and broken wheel stops.
4. All off-street parking, loading, and service areas shall be drained so as to prevent damage to abutting properties and/or public streets.
5. All parking areas shall be arranged for convenient access and safety of pedestrians and vehicles.
6. All parking areas shall provide barriers when located at the perimeter of the lot to prevent encroachment onto adjacent property.
7. All off-street parking, loading, and service areas shall be separated from walkways, sidewalks, and streets by curbing or other suitable protective device. Loading stalls shall not hinder movement of pedestrians or vehicles over a street, sidewalk, or alley, or to and from an off-street parking area.
8. Off-street parking and loading areas that are to be used at night shall include proper illumination for the safety of pedestrians, vehicles, and for security purposes. Lighting shall be located and shielded to avoid direct illumination of adjacent properties.
9. Individual spaces and internal aisles shall be designed according to the standards below:
 - a. Parking space dimensions shall be a minimum width of nine (9) feet and length of twenty (20) feet.
 - b. The number, design, and location of parking spaces provided to ensure handicapped access shall comply with the Georgia Accessibility Code standards for accessible design.
 - c. There shall be provided adequate interior driveways to connect each parking space with a public right-of-way.

Table 6.01.03(D). Parking Lot Design

Required Width of Interior Driveways and Aisles (feet)	Parking Design (degree of angle)
24	90°
18	60°
12	45°
12	Parallel
12	One-way traffic
24	Two-way traffic

10. Pavement markings and signs
Each off-street parking space shall be clearly marked, and pavement directional arrows or signs shall be provided wherever necessary. Markers, directional arrows, and signs shall be properly maintained so as to ensure their maximum efficiency.

- E. Loading space requirements
 - 1. Industrial, wholesale, institutional, and commercial operations shall provide loading spaces as follows:
 - a. Commercial centers, commercial uses, hotels, hospitals, and institutional uses with less than 10,000 square feet of gross floor area shall provide one (1) off-street loading space.
 - b. Commercial centers, commercial uses, hotels, hospitals, and institutional uses with 10,000 square feet or more of gross floor area shall provide one (1) space for the first 10,000 square feet of gross floor area, plus one (1) space for each additional 20,000 square feet, or fraction thereof.
 - c. Industrial uses shall provide one (1) space for each 10,000 square feet of gross floor area.
 - 2. Elementary, middle and junior high schools, day care centers, and childcare centers shall provide safe and convenient drop off areas for students. The drop off area is intended to allow a student to enter or exit a vehicle directly to a sidewalk abutting the entrance to the school or day care center.
 - 3. Off-street loading spaces shall be designed and constructed so that all maneuvering for loading and unloading can take place entirely within the property lines of the premises. Loading spaces shall be provided so as not to interfere with the free, normal movement of vehicles and pedestrians on public rights-of-way.
 - 4. Off-street loading spaces shall meet the following design requirements:
 - a. Loading spaces shall not block streets, alleys, or sidewalks. Loading spaces shall not impair the movement of vehicles or pedestrians on streets, alleys, or sidewalks.
 - b. Every loading space shall meet the following minimum dimensions:

Length	30 feet
Width	12 feet
Height clearance	14 feet

6.01.04 Drive-Through Facilities and Stacking Lanes

- A. All uses and facilities providing drive-up or drive-through service shall provide stacking lanes in compliance with the standards of this section.
- B. Restaurants with drive-up or drive-through facilities shall provide a minimum stacking space to accommodate eight (8) vehicles. A by-pass lane shall be required.
- C. Banks and financial institutions shall provide stacking spaces according to Table 6.01.04(C). A by-pass lane shall be provided.

Table 6.01.04(C). Stacking Lane Requirements for Banks and Financial Institutions.

Number of Drive-Through Lanes	Total Number of Vehicles Accommodated
1	6
2	10
Each additional lane	2 additional vehicles accommodated

- D. Stacking lanes shall not be located within a designated delivery area or area designated for loading spaces.

6.01.05 Visibility at Intersections

- A. In order to provide a clear view of intersecting rights-of-way and/or private driveways, there shall be a triangular area of clear visibility formed by the two (2) intersecting rights-of-way, driveways, or combination thereof.
- B. The horizontal dimensions of sight areas are defined as triangular areas formed by the intersecting right-of-way lines and a straight line joining the right-of-way lines twenty (20) feet from the point of intersection of the right-of-way lines.
- C. The vertical dimensions of sight areas are defined as that vertical space between the heights of three (3) feet and twelve (12) feet in elevation above the nearest edge of the street pavement of a paved street or above the nearest edge of the riding surface of an unpaved street.
- D. Within the clear visibility triangle-area no fence, wall, sign, structure, slope or embankment, parked vehicle, hedge, foliage or other planting, and other object or structure shall be placed, erected, or maintained which will obstruct visibility. (See Figure 6.2).
- E. Streetlights and street name signposts shall be permitted, provided that illuminating fixtures or nameplates are not within the prescribed clear space.

6.02.00 BOARD OF HEALTH REQUIREMENTS

6.02.01 Purpose

The purpose of this section is to ensure that private water supply wells, private septic tanks, and on-site sewage disposal systems are located and installed in a manner that protects the general health and safety of the citizens of Tift County.

6.02.02 Jurisdiction

- A. The Tift County Health Department and, if applicable Georgia Environmental Protection Division (EPD), shall have jurisdiction for protecting the health of the community for developments that propose the installation of private wells, or on-site sewage disposal systems.
- B. The Tift County Health Department shall review proposed development for the suitability of soils, minimum lot size, and minimum lot width for the location and installation of private wells, private septic tanks, or on-site sewage disposal systems.
- C. Administrative procedures and permit procedures, including the role of the Tift County Health Department in the review of proposed development, are provided in Chapter 10.

6.02.03 Soil Suitability Criteria

In determining the suitability of soils for the installation of private wells, or on-site sewage disposal systems, the Health Department shall use the following sources:

- A. Preliminary review of soil suitability shall be based on the Tift County Soils Map.
- B. The Health Department will require a level 3 soil evaluation of the proposed development site by a registered soil scientist to determine the suitability of soils. Soil borings may be required at up to two (2) stages of the development review process:
 - 1. During the development review process by the Health Department.
 - 2. At the time of the application for a building permit by the applicant of the building permit.

6.02.04 Water Supply, Sanitary Sewage, and Septic Systems

- A. No building permit shall be issued by the Manager/designee without the approval of the Tift County Health Department for the proposed private wells, and/or on-site sewage disposal systems.
- B. Community or shared sewage disposal systems with a capacity of greater than 10,000 gallons per day shall require approval from the Georgia EPD.
- C. Where topography, soil characteristics, drainage, groundwater or other physical conditions preclude safe on-site water supplies and/or sewage disposal systems, the developer shall furnish to the Georgia EPD, plans and specifications for a public water supply and/or public sewage disposal system for the development.

6.03.00 REQUIREMENTS REGARDING POTABLE WATER, SANITARY SEWER, AND OTHER UTILITIES**6.03.01 Generally**

- A. All developments shall include adequate provision for utility infrastructure in full compliance with federal, state and standards of Section 6.03.00 to include Tift County Technical Standards Manual, Chapter 7.
- B. A certificate of occupancy shall not be issued for structures in a subdivision or a development until Health Department approval has been received and all necessary utilities have been installed in full compliance with the design, construction, and placement standards set forth in Section 6.03.00.
- C. All construction drawings shall be prepared and sealed by a professional engineer registered in the State of Georgia.
- D. All engineering plans and specifications shall be reviewed and approved by the governing authority prior to the developer submitting plans and specifications to any other governmental agencies.

6.03.02 Requirements for All Utilities

- A. New connections to the existing Tifton and Tift County Utility Systems are subject to all standards, specifications, codes, and ordinances as they pertain to water and sewer systems and/or facilities.
- B. The location, design, and construction of utilities shall comply with the Tift County Technical Standards Manual, Chapter 7.
- C. All construction and installation shall be performed by a utility contractor licensed by the state and local governing authority.
- D. The developer shall construct and convey to the governing authority, free and clear of all encumbrances and at no cost to the City or County, the extension to the utility systems and the complete water and/or sewer system on the subject property prior to recording of the final plat.
- E. Following conveyance to the governing authority by the developer, the extension and any additions, repairs and replacements thereto shall at all times remain the sole, complete and exclusive property of and under the control of the governing authority. The developer shall have no right or claim in or to the developer's extension provided, however, that the extension shall be used for providing service to the development.

6.03.03 Potable Water System Requirements

- A. The developer shall be responsible for the design of an adequate system of water supply, treatment, transmission, and distribution facilities for the development.
- B. All potable water systems shall comply with the design and construction standards of the Tifton Tift County Utilities Department.
- C. All development shall be required to connect to a public water system when the governing authority's water system is available within one thousand (1,000) feet. Through extensions, the subdivider shall assure that every lot of the subdivision shall be provided with public water.
- D. The Tifton Tift County Utilities Department may determine that conditions are such that a private water system is acceptable. It is the developer's responsibility to contact the Utility Department for this determination. The Utility Department will advise the developer as to the proper procedures for connecting to the system.
- E. If it is determined that a private water system is permitted, it is the responsibility of the developer to coordinate with the private utility company for approval of the connection. Plans, specifications, and design calculations must be submitted to the Tifton Tift County Utilities Department for approval, whether the system is public or private.
- F. All water systems, public or private, shall be located entirely within rights-of-way or permanent easements dedicated to Tift County.

- G. Hydrants
 - 1. Specifications for the location and depth of the connection of hydrants shall meet the minimum standards contained in the Tift County Technical Standards Manual and the International Fire Code which shall be determined by the Fire Inspector.

6.03.04 Sanitary Sewer System Requirements

- A. The developer shall be responsible for the design of an adequate sewage collection system and/or treatment facilities where necessary.
- B. All wastewater systems shall comply with the design and construction standards of the Tifton Tift County Utilities Department.
- C. All development shall be required to connect to a public sewer system when the governing authority's sanitary sewer system is available within five hundred (500) feet. Through extensions, the subdivider shall assure that every lot of the subdivision shall be provided with public sewer.
- D. The developer is responsible for the coordination of connection to a privately owned system.
- E. All sewer systems, public or private, shall be located entirely within rights-of-way or permanent easements dedicated to Tift County.

6.03.05 Other Utility Requirements

- A. When water, sewer, electrical power, telephone, gas, cable television or other facilities are installed and intended to be owned, operated, or maintained by a public utility or any entity other than the property owner or developer, the ownership of such utility or facility shall be transferred to the service provider.
- B. All lines for electricity, telephone, cable television, streetlights, and gas distribution (exclusive of transformers or enclosures containing electrical equipment, including, but not limited to, switches, meters, or capacitors) may be placed underground within easements or dedicated public rights-of-way.

6.04.00 REQUIREMENTS REGARDING DRAINAGE AND STORMWATER MANAGEMENT. REFERENCE CHAPTER 7 ALSO.

6.04.01 Generally

- A. The purpose of the drainage and stormwater management requirements set forth in this section is to minimize the detrimental effects of stormwater runoff and to provide for mitigation of storm water impacts from new development and redevelopment.
- B. The regulations in this section are intended to:
 - 1. Establish minimum post-development storm water management standards and design criteria for the regulation and control of stormwater runoff quantity and quality;

2. Provide retention/detention of storm water runoff to maintain surface water quality, to ensure percolation, and reduce contamination to surface water and groundwater;
3. Preserve natural lakes, creeks, other water courses, and natural drainage features;
4. Prevent creation of flood hazards due to new development;
5. Encourage the use of nonstructural stormwater management and stormwater better site design practices, such as the preservation of green space and other conservation areas, to the maximum extent practicable;
6. Establish provisions for the long-term responsibility for and maintenance of structural stormwater control facilities and nonstructural stormwater management practices to ensure that they continue to function as designed, are maintained, and pose no threat to public safety.
7. The requirements of this UDC do not supersede those of other State or federal agencies.

6.04.02 Applicability and Exemptions

- A. All proposed development, except as specifically described in this section, shall comply with the standards and criteria set forth in Section 6.04.00, applicable local ordinances, state and federal laws.
- B. No drainage system, whether natural or manmade, shall be altered, designed, constructed, abandoned, restricted or removed without prior written approval of the Engineer and all appropriate State and federal agencies.
- C. The following activities are exempt from the requirements of Section 6.04.00:
 1. An individual single-family residential dwelling unit on a legal lot of record;
 2. Additions or modifications to existing single-family or duplex residential structures;
 3. Maintenance of an existing structure which will not change the peak discharge rate, volume, or pollution load of stormwater runoff from the site on which that structure is located; and
 4. Agricultural or silvicultural land management activities within the AG zoning district.
- D. Storm water design manual
All storm water management plans shall utilize the policy, criteria, technical specifications, and standards in the latest edition of the Georgia Stormwater Management Manual (GSMM) for the proper implementation of the requirements of this section. The manual may be updated and expanded periodically, based on improvements in science, engineering, monitoring and local maintenance experience. All references to the GSMM mean the latest edition as defined on the GSMM website at www.georgiastormwater.com. Updates, errata, and revisions will be provided on the website. Chapter 7 of this document also applies.

6.04.03 Standards for Stormwater Management

- A. “Master Drainage and Stormwater Management Plan,” prepared, signed, and sealed by a registered professional engineer shall be submitted to the SDRC simultaneous with preliminary plat submittal.

1. The developer shall be responsible for the design of an adequate drainage and stormwater management system for the development.
 2. The developer shall provide for adequate drainage for springs or other ground water drainage.
 3. The location, design, and construction of drainage and stormwater management systems shall comply with the Tift County Technical Standards Manual.
 4. The Master Drainage and Stormwater Management Plan shall contain sufficient information to demonstrate that the requirements and criteria in Section 6.04.00 are being complied with and that opportunities are being taken to minimize adverse post-development stormwater runoff impacts from the proposed development.
 5. The plan shall consist of maps, narrative, and supporting hydrologic and hydraulic design calculations for the proposed drainage and stormwater management system.
 6. The plan shall include all of the information required in the stormwater management site plan checklist found in the GSMM.
- B. Design Standards
1. The drainage system for a subdivision, commercial or industrial development shall be designed in accordance with sound engineering principles and procedures such that all parcels included in the subdivision final plat are positively drained.
 2. The drainage system shall be designed to accommodate drainage from adjacent lands which naturally drain to or through the lands being subdivided. This accommodation shall be provided by the construction of interceptor ditches along the entire upstream perimeter of the subdivision.
 3. Further, this accommodation shall provide for the conveyance of the 100-year storm event peak flows through the subdivision in such a way as to prevent flooding of any proposed buildings or to the drainage and road infrastructure.
 4. The drainage and storm water management system shall be designed to not significantly affect the natural drainage onto adjacent lands.
 - a. Significant effects to natural drainage onto adjacent lands include both changes in flow rates and character and location of stormwater runoff, including changes from sheet flow to point discharge.
 - b. The post-developed peak discharge rate must not exceed the pre-developed peak discharge rate for the design storms unless appropriate agreements are obtained by the developer from the owner of such adjacent lands concurring with the proposed drainage design;
 - c. Such agreements must extend to the next natural or man-made drainage feature downstream of the development; and
 - d. Such downstream drainage feature must be capable of conveying the 100-year storm event peak flow rates for the entire drainage basin it serves.
 - e. Unless discharge is into an existing well defined drainage channel, such agreement must be provided.
 - i. Evidence of such concurrence shall be submitted to the County Engineer along with the Master Drainage and Stormwater Management Plan, or
 - ii. A level spreader shall be designed and installed.

5. Drainage facilities for stormwater management, both detention and retention, shall have their storage volumes and principal outlet control structures designed for the storms with return frequencies of two (2) years, five (5) years, ten (10) years, twenty-five (25) years, fifty (50) years, and 100 years.
 - a. All such facilities shall have the emergency overflow structures designed to convey the 100- year storm event peak flows.
 - b. All facilities that impound water on a permanent or temporary basis with water depths greater than two (2) feet must either have side slopes below the 100-year water surface of 4H:1V or flatter, or be enclosed by a fence at least four (4) feet in height.
 - c. Fencing material must prohibit passage of items larger than six (6) inches in diameter, and adequate gates must be installed to allow maintenance.
 6. All drainage systems discharging into any creek, stream, or natural body of water including but not limited to wetlands, as determined by the U.S. Army Corps of Engineers shall, pass through an approved sedimentation or detention pond prior to such discharge.
 7. Drainage facilities associated with streets and roads must be designed:
 - a. To convey stormwater in accordance with the minimum requirements listed in the City of Tifton and Tift County Thoroughfare Plan “Road Classifications” table and Tift County Technical Standards Manual, Chapter 7.
 - b. Such that all lateral and longitudinal storm pipes and drainage structures, including catch basins and drop inlets, are capable of carrying the twenty-five (25) year design storm.
 - c. All cross-drain pipes shall be designed such that all pipes are capable of carrying the fifty (50) year design storm.
- C. Record documents
- Upon completion of construction and prior to approval of the final plat, the subdivider shall provide record documents for all facilities that impound water on a temporary or permanent basis.
1. Drainage facilities including, but not limited to, culverts, rights-of-way, and easements, shall be dedicated to the governing authority, at no expense to the County, and at the option of the County.
 2. The record drawings shall include pipes and outlet control structures, shall show one (1) foot contours, and shall give pipe and structure elevations to the accuracy of 0.01’.
 3. Such record plans shall demonstrate that the construction has been completed in accordance with the approved construction plans, shall be sealed by a professional engineer or registered land surveyor, and shall include the following statement:

ENGINEER'S/SURVEYOR'S CERTIFICATE STATE OF GEORGIA, COUNTY OF TIFT

I, _____, being a registered Professional Engineer/Land Surveyor in the State of Georgia, registration number ____, do hereby certify that the stormwater management system elevations, pipe sizes, structure sizes, dams, and storage volumes for ____ (the project) were constructed in general accordance with the

plans and specifications approved by Tift County, Georgia, and that the stormwater management system will function as designed.

Signed and sealed this __ day of __, 20 ____.

(SEAL)

Signature

4. Ingress and egress easements shall be documented for the stormwater management facilities to ensure access from a public right-of-way to stormwater management facilities requiring regular maintenance and for the purpose of inspection and repair. Upon final inspection and approval, the final plat shall indicate that such easements exist shall be recorded and shall remain in effect even with the transfer of title of the property. Areas required for maintenance shall be cleared of all trees and underbrush which would interfere with maintenance of the facilities.
5. To provide for future access, drainage and utility easements shall be provided within a residential subdivision.
6. Drainage pond structures shall be designated on the final plat of a residential subdivision, unless otherwise approved by the SDRC.
7. All drainage pond structures shall remain in the ownership of the developer until the subdivision reaches eighty percent (80%) build out, which shall then be deeded to the homeowner’s association.
8. All drainage pond structures shall carry a warranty for a minimum of two (2) years after approval by the governing authority.

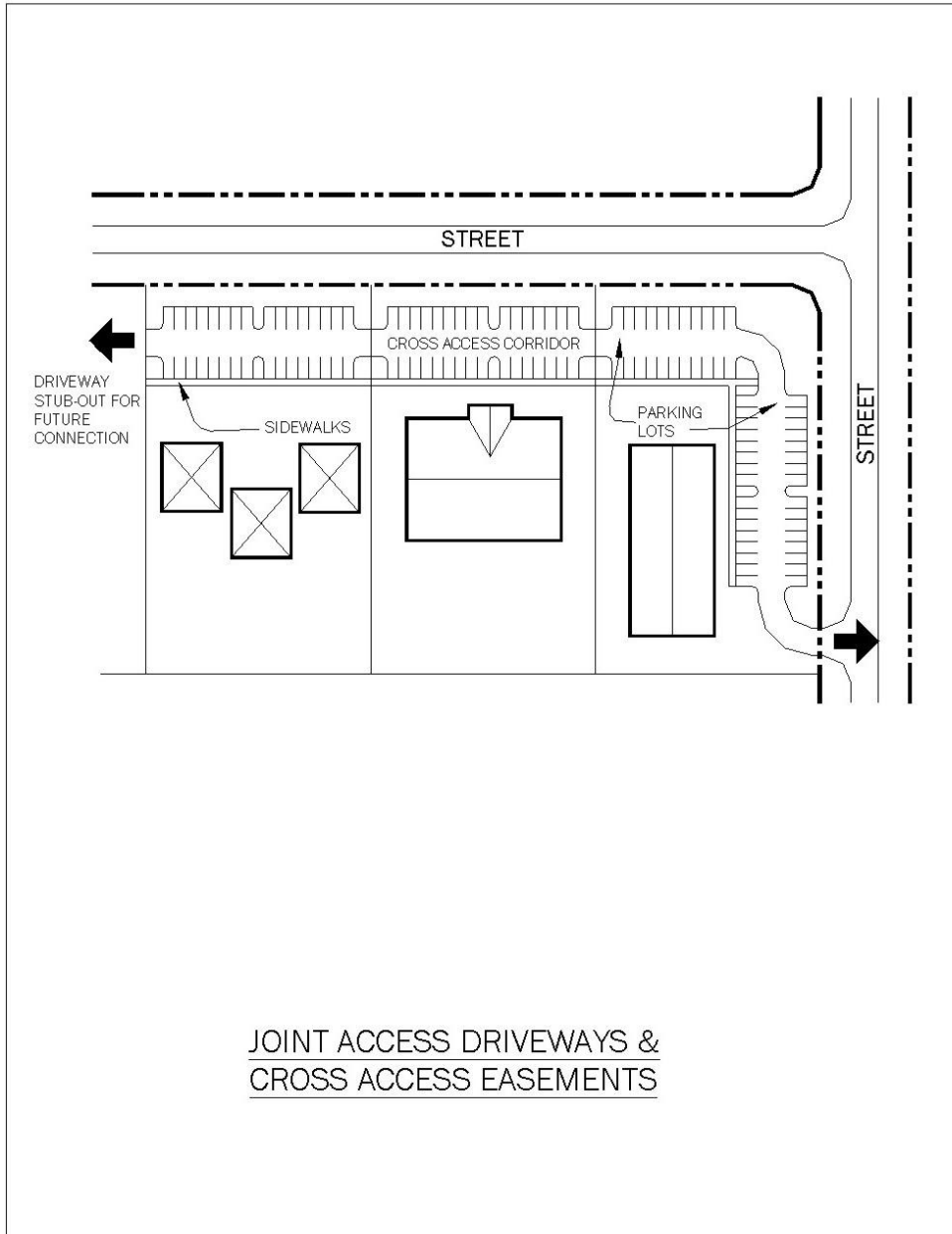


Figure 6.1.

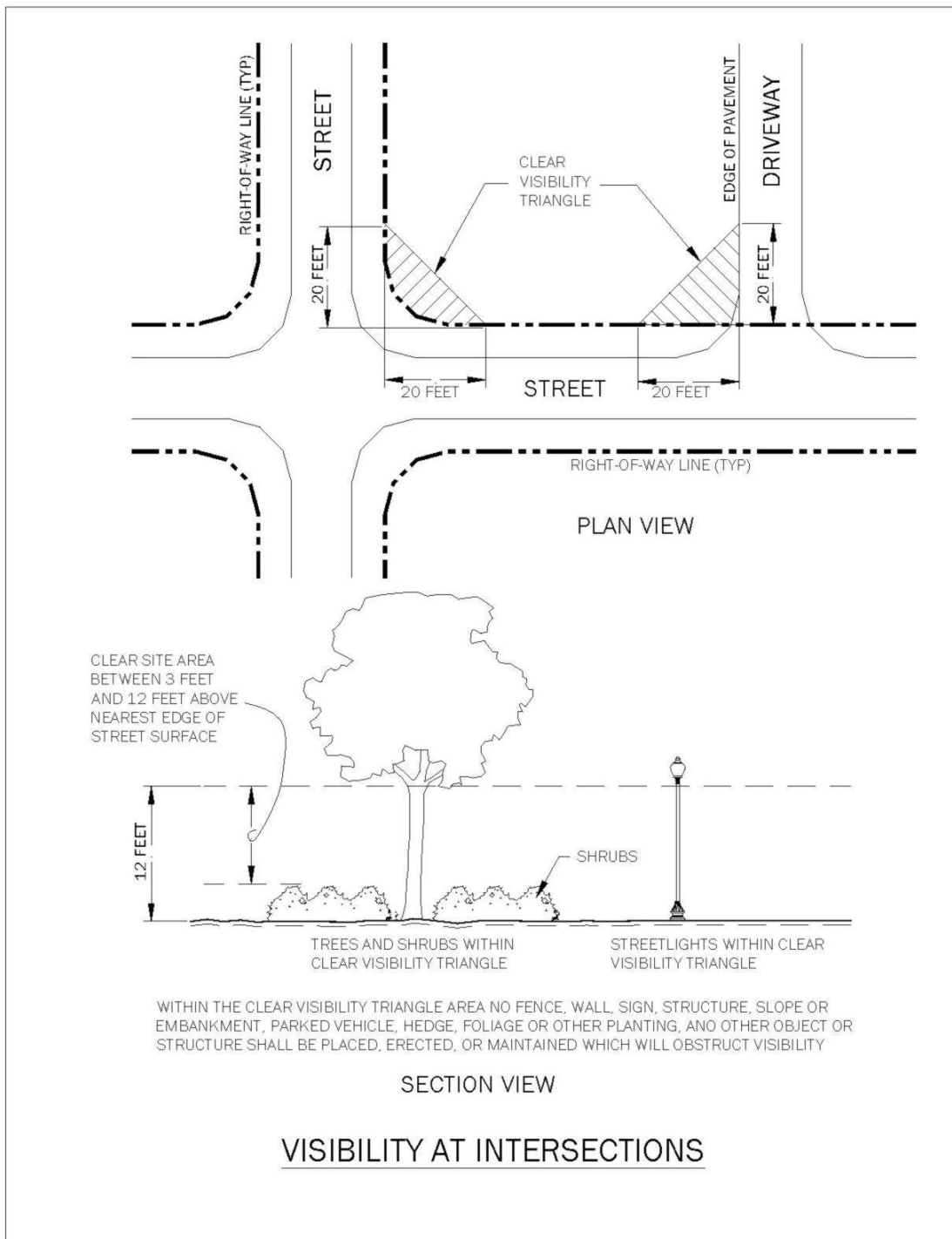


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CHAPTER 7

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7.01.00 INTRODUCTION

The following technical criteria and design standards shall be used as a supplement to the Tift County Unified Land Development Code (ULDC) and all other related Tift County Ordinances. These may include, but are not limited to: the Tift County Subdivision Ordinance, Flood Hazard Reduction Ordinance, Soil Erosion and Sedimentation Ordinance, Utilities Ordinance, Zoning Ordinance, and all other ordinances which regulate the development of all land, public and private, within unincorporated Tift County.

The following technical standards shall be used as the minimum design criteria for development or redevelopment within Tift County. Development and redevelopment include all residential, commercial, industrial or institutional development performed within the County's jurisdiction, as described in Sections 1.1 and 1.2 below. Whenever there is a discrepancy between minimum standards or dimensions required under this Technical Guidance Document and those contained within other Tift County Ordinances or regulations, the most restrictive or the Staff Development Review Committee's (SDRC) interpretation shall apply.

7.01.01 Applicability

This Technical Standards Manual shall be applicable to all land development, including, but not limited to, site plan applications, subdivision applications, and grading applications, unless exempt as outlined below. These standards apply to any new development or redevelopment site that meets one or more of the following criteria:

1. New development that involves the creation of 5,000 square feet or more of impervious cover, or that involves other land development activities of one acre or more.
2. Redevelopment that includes the creation, addition or replacement of 5,000 square feet or more of impervious cover, or that involves other land development activity of one acre or more.
3. Any new development or redevelopment, regardless of size, that is defined by the SDRC to be a hotspot land use. A hotspot is any area located within a drainage basin that is known to have historical drainage issues related to flooding.
4. Land development activities that are smaller than the minimum applicability criteria in items 1 and 2 above if such activities are part of a larger common plan of development, even though multiple, separate and distinct land development activities may take place at different times on different schedules.

7.01.02 Exemptions

The following activities are exempt from these standards:

1. Individual single-family or duplex residential lots that are not part of a subdivision or phased development project.
2. Additions or modifications to existing single-family or duplex residential structures.
3. Agricultural or silvicultural land management activities within areas zoned for those activities, unless located in hotspot areas, as defined in Section 1.1 above.

- 4. Repairs to any storm water management facility or practice deemed necessary by the SDRC or County’s Engineer.

7.02.00 DEFINITIONS

7.02.01 Interpretation of Certain Terms or Words

Except as specifically defined herein, all words in the Technical Standards Manual have the customary dictionary definitions. For the purpose of these standards, certain words or terms used herein are defined as follows:

Words used in the present tense include the future tense. Words used in the singular include the plural, and words used in the plural include the singular. All pronouns used herein shall be deemed to include the masculine, the feminine and non-personal entities.

Whenever reference is made in the Technical Standards to another section of this manual, all parts of that section are deemed to be included in such reference.

The word “shall” is always mandatory.

The word “may” is permissive.

The word “person” includes a firm, association, organization, partnership, trust, company, or corporation as well as an individual.

7.02.02 Definitions

The definitions set forth in the Tifton-Tift County Unified Land Development Code (ULDC) are incorporated herein by reference and shall have the same definitions herein as set forth in the ULDC. Other important definitions include:

Development or Land Development means any land change, including, but not limited to, clearing, digging, grubbing, stripping, removal of vegetation, dredging, grading, excavating, transporting and filling of land, construction, paving and any other installation of impervious cover.

Redevelopment means a land development project on a previously developed site, but excludes ordinary maintenance activities, remodeling of existing buildings, resurfacing of paved areas, and exterior changes or improvements which do not materially increase or concentrate storm water runoff, or cause additional nonpoint source pollution.

Urbanized Area is defined by the map entitled Urbanized Area Map dated June 2012. Stormwater detention facilities for Redevelopment sites within the Urbanized Area shall be designed as required in Section 7.06.07 and shall be provided for the entire site.

TC-TA-12-01, 08.13.12

7.03.00 GENERAL PROVISIONS**7.03.01 Plan Review and Approval**

The development of land within Tift County, Georgia shall require the submittal of plans, plats, or construction drawings as may be required by the ULDC and these Standards to the Tift County Staff Development Review Committee (SDRC). Approval of these documents must be received prior to the initiation of any development activities.

7.03.02 Staff Development Review Committee

As outlined in the ULDC, the Staff Development Review Committee (SDRC) is responsible for the review and approval of development plans to which this Technical Standards Manual applies. All applications for development within unincorporated Tift County must be submitted to the SDRC for review and shall include all required applications, application fees, plats, development and building plans, and reports as necessary. Refer to the ULDC or other applicable ordinances for additional details of submittal requirements.

7.03.03 Responsibility and Liability

Approval of plans, plats, or construction drawings by Tift County shall not imply nor transfer acceptance of responsibility for the application of the principals of engineering, surveying, architecture, landscape architecture, or any other profession, from the professional corporation or individual under whose hand or supervision the plans, plats, or construction drawings were prepared and sealed.

7.03.04 Design Professional

All development plans submitted to the County for review must conform to the applicable standards and specifications established herein by the County, and must be prepared, signed, and sealed by a Georgia registered design professional. The design professional must be a Professional Engineer, Registered Architect, Registered Land Surveyor, Registered Landscape Architect or other qualified design professional licensed by the State of Georgia.

7.03.05 As-Builts for Subdivisions

Before final plat approval or the issuance of a building permit, the Owner of a land development must submit as-built drawings to the County for review and final approval. The owner shall submit one full size (size D – 24"x36") or larger set of drawings and a set of plans in electronic format. As-builts shall include all utilities, roads, storm drainage and detention pond structures, or other information as required by the SDRC. As-builts shall be certified by a registered design professional stating that the all improvements have been built in accordance with the plans and specifications.

7.04.00 REQUIREMENTS**7.04.01 Required Improvements**

Except as otherwise provided by the ULDC, a Developer shall provide, install and pay for the following improvements to serve their development:

- A. Water supply and distribution
- B. Sanitary sewage collection
- C. Sewage disposal systems
- D. Road grading and surfacing
- E. Storm drainage
- F. Road name signs
- G. Electricity
- H. Natural gas (optional)
- I. Traffic control devices

Utilities shall be located where possible in accordance with the proposed utility location detail.

7.04.02 Easements

Easements having a minimum width of twenty (20) feet and located along the side or rear lot line shall be provided as required for utility lines, underground mains, cables and drainage.

Maintenance easements shall be provided when deemed necessary by the SDRC. When a subdivision or land development is traversed by a watercourse, drainage way, channel, or intermittent stream, a stormwater or drainage easement of at least twenty-five (25) feet shall be provided from the top edge of each bank. Such easements may be used as a location for Pedestrian Ways, bikeways and other amenities which do not conflict with the basic maintenance function of such easements.

7.04.03 Permits

As outlined in the UDC, a developer may be required to obtain the following permits from the County for development within Tift County:

- 1. Land Disturbance Activity Permit
- 2. Subdivision Permit
- 3. Building Permit
- 4. Driveway Permit
- 5. Water System Extension Permit
- 6. Sanitary Sewer Extension Permit
- 7. Applicable Zoning Permits
- 8. Applicable Variances

The developer shall consult the SDRC on any other County permits that may be required which are not listed herein.

Nothing in these Technical Standards shall impose any obligation on Tift County to obtain or assist in obtaining permits, approvals, and/or clearances from other local, state or Federal agencies having jurisdiction over elements of a project. It is solely the developer's responsibility to obtain all such required permits, approvals, and/or clearances. The developer shall furnish the County with copies of all such permits, approvals and/or clearances before authorization to proceed with development is requested.

7.05.00 STREET DESIGN STANDARDS AND SPECIFICATIONS

7.05.01 Design Standards

All roads and bridges constructed in Tift County shall be designed in accordance with the latest editions of the American Association of State Highway and Transportation Officials (AASHTO) design guides and specifications as well as Georgia Department of Transportation (GDOT) Standards except as provided in these technical standards.

7.05.02 Street Classification

Six (6) functional classifications are identified by the Tift County Subdivision Ordinance and the Tifton-Tift County Thoroughfare Plan. Any street not indicated on the thoroughfare plan will be classified by the SDRC. The six classification categories are as follows:

- A. *Major Arterial Street:* A street which is designated as such on the Thoroughfare Plan and which is intended to provide, within an identified planning period, swift, safe and convenient traffic movement within and through the county. A major thoroughfare.
- B. *Secondary Arterial Street:* A street which is designated as such on the Thoroughfare Plan and which is intended to provide easy and convenient traffic movement within the county.
- C. *Collector Street:* A street which is designated as such on the Thoroughfare Plan and which is intended to collect traffic from local streets and direct it safely to secondary major streets.
- D. *Dead-end Streets:* A street having only one end open for access to another street, and the other end being abruptly terminated with no turnaround (excludes cul-de- sacs). Future development of dead-end streets is *not* permitted within Tift County.
- E. *Marginal Access Street:* A street generally parallel to and adjacent to an arterial street providing access to abutting properties and protection from through traffic.
- F. *Local Street:* A street used for local circulation in areas providing access to abutting property. Local streets serving residential areas shall be designed to discourage use by through traffic.

7.05.03 Minimum Right-of-Way Widths and Dedication Requirements

The Thoroughfare Plan illustrates the functional classification of streets and the general location of future arterial and collector streets in the County. The right-of-way dedication requirements expressed below shall correspond to the functional classifications illustrated on the Thoroughfare Plan. Should a proposed subdivision adjoin an existing unimproved roadway, the developer shall dedicate additional right-of-way to meet the minimum right-of-way requirement for the applicable functional classification of the adjoining street.

Table 5.3.a – Minimum right-of-way and pavement widths

Functional Classification	Minimum Pavement Width (ft)	Minimum Right-of-Way (ft)
Major Arterial	48	120
Secondary Arterial	48	100
Collector	24	80
Marginal Access	24	70
Local* – Ditch	22	60
Local* – Curb and Gutter	22	40

**Local roadways are also known as rural minor roadways.*

If a median is included as part of the site plan, minimum median width for a divided street shall be at least ten (10) feet measured from back of curb to back of curb.

Right-of-ways should be truncated twenty-five (25) feet at all intersections of rights-of-way and mitered at forty-five (45) degrees to meet intersection rights-of-way. An example of this is shown in the attached detail drawings.

7.05.04 Roadway Sectional Composition

The applicable standard shall be based on functional classification and the predominant zoning through which a street passes. See latest edition of the Georgia Department of Transportation (GDOT) Standard Specifications for the Construction of Roads and Bridges for specifications of referenced asphaltic concrete types. For all street classifications, before asphalt pavement is placed, a bituminous prime shall be applied to the base material in accordance with GDOT specifications. Application rate shall be a minimum of 0.15 gallons and a maximum of 0.20 gallons per square yard.

For typical roadway cross sections with asphalt pavements or concrete pavements, see the attached typical details.

7.05.04.1 Local Streets

- 1 ½" – 12.5 mm Asphalt SuperPave (165 lbs/sq. yd.) top course *or*
1 ½" – 9.5 mm Asphalt SuperPave (165 lbs/sq. yd.) top course
- 6" – Graded aggregate base (GAB) *or*
6" – Soil cement (Soil cement shall be mixed in place)

Base shall be compacted to 98% maximum dry density per standard proctor test ASTM D698.

7.05.04.2 Collector Streets (for residential, office, institutional, and commercial developments)

Asphalt Pavement:

- 1 ½" – 12.5 mm Asphalt SuperPave (165 lbs/sq. yd.) (top course)
- 2" – 19 mm Asphalt SuperPave (220 lbs/sq. yd.) (binder)
- 6" – Graded aggregate base* (GAB) *or*
6" – Soil cement** (Soil cement shall be mixed in place)

Base shall be compacted to 98% maximum dry density per standard proctor test ASTM D698.

** Graded aggregate base may include crushed concrete, lime rock or granite.*

***For soil cement, a mix design by a licensed Geotechnical Engineer in the state of Georgia must be submitted to the SDRC's Engineer for approval.*

Concrete Pavement:

- 7" – Concrete pavement per specifications detailed in Section 7.05.05.5.
- 4" – Graded aggregate base course compacted to 98% maximum dry density per standard proctor test ASTM D698.

7.05.04.3 Arterial Roads (including industrial roads)

Asphalt Pavement:

- 1 ½" – 12.5 mm Asphalt SuperPave (165 lbs/sq. yd.) (top course)
- 2" – 19 mm Asphalt SuperPave (220 lb/sq. yd.) (binder)
- 3" – Asphaltic base 25mm Asphalt Superpave
- 8" – Graded aggregate base* (GAB) *or*
8" – Soil cement** (Soil cement shall be mixed in place)

Base shall be compacted to 98% maximum dry density per standard proctor test ASTM D698.

** Graded aggregate base may include crushed concrete, lime rock or granite.*

***For soil cement, a mix design by a licensed Geotechnical Engineer in the state of Georgia must be submitted to the SDRC's Engineer for approval.*

Concrete Pavement:

- 8" – Concrete pavement per specifications detailed in Section 5.5.5
- 4" – Graded aggregate base course compacted to 98% maximum dry density per standard proctor test ASTM D698.

7.05.04.4 Commercial Development (To include interior driveways & parking areas)

- A. Site Requirements. All interior driveways & off-street parking, except that for one- and two-family dwellings, shall be laid out, constructed, and maintained in accordance with the following requirements:
- B. All such parking areas shall be hard surfaced with concrete or plant bituminous asphalt and shall consist of a graded aggregate base,

leveling and top courses composed of bituminous asphalt mixed in a central mixing plant and placed on a prepared foundation. The interior driveway or parking area shall be maintained in a dust-proof condition and the remainder of the lot shall be so mulched, seeded, sodded, or otherwise protected so that erosion and washing are prevented.

1. It is recommended that base material be compacted to 98% maximum dry density per standard proctor test ASTM D698.
 2. Graded aggregate base may include crushed concrete, lime rock or granite.
- C. Lighting facilities shall be so arranged that light is reflected away from adjacent properties.
- D. The parking lot shall be adequately drained. Sub-drains may be required depending on area and groundwater conditions on site. Refer to Section 7.06. Stormwater Design Standards and Specifications.
- E. A buffer consisting of a dense planting of trees and/or shrubs shall be established on a strip of land not less than eight (8) feet in width along all lot lines of the parking area which abut residential districts.
- F. A substantial bumper rail of wood, metal, or concrete or a raised curb of at least six (6) inches shall be installed on the inside of the buffer.
- G. A raised curb of at least six (6) inches shall be erected along all parking and parking lot areas except for driveway openings, and those lot lines abutting residential districts where the requirements in Section 7.05.04.4 (F) shall prevail.
- H. No off-street parking space or driveway shall be designed or constructed so as to require the backing of vehicles into the right-of-way of a public street.
- I. For parking areas with 21 or more parking spaces, at least five (5) percent of the parking area shall be permanently landscaped, excluding buffers as required in 7.05.04.4 (E)
- J. In addition to requirements set in 5.4.4 (I), a plan for landscaping and traffic circulation shall be submitted to the Planning & Zoning Commission for review and approval for all parking areas with 50 or more parking spaces.

TC-TA-17-05, 02.12.18

7.05.05 Subgrade, Base and Pavement Material and Construction Specifications

7.05.05.1 Testing

All tests and data described below shall be conducted or provided and paid for by the paving contractor or developer. Test results shall be submitted to the SDRC's Engineer for review and/or approval. Testing shall be performed by a licensed Geotechnical Engineer (or his/her authorized representative working under his/her direct supervision) in the State of Georgia who has been prequalified by the GDOT for Area Classes 6.04a or 6.04b and must be approved by the SDRC. A list of GDOT prequalified consultants is available on the GDOT's website.

7.05.05.2 Subgrade

All fill materials proposed for use in roadway construction that could affect the performance of pavements, curbs or utilities should meet the given requirements for structural fill. Structural fill material should be free of organics, deleterious material, debris and rocks greater than six (6) inches. Fill soils should have a plasticity index less than 20, a liquid limit less than 40 and a Standard Proctor (ASTM D698) dry density of at least 100 pcf.

Embankments shall be constructed in eight-to-twelve-inch lifts. Individual lifts shall be compacted using sheep's foot rollers, vibratory compactors, pneumatic tire rollers or other equipment capable of obtaining the required compaction. The surface of the completed subgrade shall be bladed to a smooth and uniform texture. The centerline profiles shall conform to the established elevations with an acceptable tolerance of +/- ½ inch. The acceptable tolerance under a template conforming to the designed cross-section shall be +/- ¼ inch.

Soil density tests shall be performed on roadway fills four (4) feet in height and greater. The compaction tests will be performed to within twelve (12) inches of the final grade of the subgrade. For the fills requiring compaction tests they shall be compacted to ninety-eight (98) percent of maximum dry density per the standard proctor test (ASTM D698, AASHTO T99). One set of compaction tests shall be performed on every other twelve (12) inch lift at one hundred-foot intervals along the roadway fill section. A licensed Geotechnical Engineer in the state of Georgia (or his/her authorized representative working under his/her direct supervision) shall perform the tests. Where the subgrade compaction is determined to be less than the required degree, the developer shall remove, replace, and/or re-compact the section in question, or use other means approved by the Engineering Department, until the density is determined to meet the required limit. Copies of all test results shall be submitted to the SDRC.

The compaction of the top twelve (12) inches of the subgrade shall be inspected by proof rolling. The subgrade shall have sufficient stability to support any and all types of construction equipment used to construct roadway without "pumping" (vertical and/or horizontal displacement of the subgrade). The "proof-roll" compaction inspection of the subgrade shall be by a vehicle with a minimum gross vehicle weight of 24,000 pounds, fully loaded with a minimum of 16 tons (32,000 lbs.) of graded aggregate (54,000 lbs. total weight minimum). The weight of the proof-roll inspection vehicle and the accompanying load shall be shown on a printed "load-out" ticket from a reputable quarry. Representatives of the SDRC shall be present and approve all subgrades. The contractor, at the contractor's expense, shall correct any areas not passing the proof-roll inspection.

The contractor shall be responsible for contacting the SDRC at least three (3) days prior to any proof-roll to schedule an on-site inspection of the proof-roll. Failure to perform all testing and arrange the on-site inspection may lead to a denial of acceptance of the road by the County. It may also lead to additional testing requirements at the contractor's expense.

7.05.05.3 Graded Aggregate Base (GAB)

GAB may include lime rock, crushed concrete base or granite. GAB materials should be tested for GDOT compliance by a licensed Geotechnical Engineer (or their authorized representative working under their direct supervision) in the State of Georgia who shall be approved by the SDRC.

- A. Placement of the base material shall be inspected and approved by the SDRC as specified below. The paving contractor/developer is responsible for requesting such inspections at least three (3) days in advance, and placement of base shall not be done until such inspections have been scheduled.
- B. The compacted base course (graded aggregate or crusher run) shall have sufficient stability to support any and all types of construction equipment used to construct the roadway without “pumping” (vertical and/or horizontal displacement of base due to any number of factors including too much water, not enough compactive effort, etc.), regardless of compaction. The “proof-roll” compaction inspection of the graded aggregate base shall be by a vehicle with a minimum gross vehicle weight of 24,000 lbs., fully loaded with a minimum of 16 tons (32,000 lbs.) of graded aggregate (54,000 lbs. total weight minimum). The weight of the proof-roll inspection vehicle and the accompanying load shall be shown on a printed “load-out” ticket from a reputable quarry. A licensed Geotechnical Engineer in the State of Georgia (or their authorized representative working under their direct supervision) must certify all proof-roll compaction inspections. A representative of the SDRC shall be present for all proof-roll compaction tests of all graded aggregate bases in the unincorporated areas of Tift County. The contractor, at the contractor’s expense, shall correct any areas not passing the proof-roll inspection.
- C. The graded aggregate base thickness, as required in this Technical Standards Manual, shall not be deficient in any area by more than ½ total inches. Any deficient area shall be corrected by adding additional quantities of the same materials and rebuilt to the desired thickness. The contractor, at contractor’s expense, and during the proof-roll compaction inspection process, shall do the measurement. Three holes shall be dug every 1500 feet or one hole per each 500 feet, to confirm the required thickness. At least one hole shall be dug for any areas less than the above footage. A representative of SDRC shall determine the hole locations and confirm the depth of graded aggregate base.

7.05.05.4 Soil Cement

A mix design for soil cement must be designed by a licensed Geotechnical Engineer in the state of Georgia and must be submitted to the Engineering Department for approval. Soil cement should be a minimum of 6” thick. The mix design should include forming pills of the proposed subgrade soils with different amounts of cement to determine an appropriate cement content to be used and to determine if the proposed soil materials are suitable or require blending/replacement. In-place soil-cement shall be cored, and the cores shall be measured for thickness and compression tested to determine if

the required 3000 psi strength is obtained at 7 days. A minimum of 1 core per 500 feet of roadway in alternating lanes should be taken with no less than two (2) cores for each section of roadway. Individual core thicknesses should be no less than ½ inch below the required thickness with an overall average thickness at or above the specified value. Corrective work for cores below the thickness requirements or compressive strength will be required in accordance with GDOT Standard Specifications.

7.05.05.5 Concrete Pavement

- A. Concrete pavement compressive strength shall be four thousand (4,000) psi at twenty-eight (28) days. Concrete test cylinders will be taken from each batch poured for every seven hundred fifty (750) feet of street-paving construction. These shall be tested according to ASTM C31-69 and C39-72 to ascertain the twenty-eight-day compressive strength.
- B. A concrete slump test (ASTM C143-74) will be conducted at the same time that the cylinders are made. The concrete shall not be accepted which has a slump value greater than 2 ½ inches.
- C. Core samples shall be made at intervals of not less than five hundred (500) feet and not more than one thousand (1,000) feet of paving. A core sample report must be approved by the SDRC prior to final plat approval.

7.05.05.6 Asphalt Pavement

- A. Placement of asphalt shall be inspected and approved by the SDRC as specified below. The paving contractor/developer is responsible for requesting such inspections at least three (3) days in advance, and placement of asphalt shall not be done until such inspections have been scheduled.
- B. Core samples shall be taken of the asphalt at intervals of not less than three hundred (300) feet and not more than five hundred (500) feet. Samples shall be taken from the center of the travel lane and samples shall alternate between travel lanes. The thickness of the asphalt shall not be less than ¼" from the plan dimensions. A core sample report must be approved by the SDRC prior to final plat approval.

7.05.05.7 Subdrains (Cross drains)

Subdrains may be required at the SDRC's discretion depending on roadway and groundwater conditions on site. Refer to section 6.17 for technical criteria and design standards concerning subdrains.

7.05.06 Design Speed and Grade

Table 5.6.a – Design Speed and Grade [on next page]

Street Classification	Minimum Grade	Maximum Grade	Maximum Design Speed
All Curb and Gutter Streets	0.5%		45 MPH
Arterial	0.2%	8%	55 MPH
Collector	0.2%	10%	45 MPH
Local	0.2%	10%	35 MPH

7.05.07 Curb and Gutter

Concrete curbs and gutters shall be constructed with Portland Cement Concrete having a twenty-eight (28) day breaking strength of three thousand (3,000) psi. Slip form or machine curb and gutter shall have expansion material minimum of one-half (1/2") inch thick with a maximum spacing of one hundred (100') feet and abut a solid structure where one (1) day's pour abuts a previous day's pour. Construction joints 1/4 - 1/3 the depth of the gutter shall be sawed or tooled at a maximum spacing of ten (10) linear feet. Concrete curb and gutter shall meet GDOT Standard 9032B, modified to eighteen inches (18") for commercial/parking lots and twenty-four inches (24") for all local and collector roadways designed with curb and gutter. When a standard curb is used, it shall be a minimum of six inches (6") (GDOT Std. 9032B Type 2 curb) in height. Curb cuts shall also be in accordance with GDOT Std. 9032B, Details of Recessed Curb. Typical details for curb and gutter, as well as curb cuts, are illustrated in the attached detail drawings. For major arterial roadways, the design must meet all applicable GDOT standards. Design and spacing requirements for curb and gutter are included in section 6.7.1.

7.05.08 Sight Distance and Alignment

All driveways shall be located and streets aligned so as to provide at least the horizontal and vertical sight distances as listed below. All sight distances shall be determined by the methods found in the latest edition of *A Policy on Geometric Design of Highways and Streets* (AASHTO).

7.05.08.1 Horizontal Site Distance

Horizontal sight distance refers to the ability to detect objects in the roadway while negotiating a horizontal curve. The distance is measured from a point at which the height of the driver's eye is 3.50 feet above the roadway to a stationary object having a height of six (6) inches above the roadway.

Table 5.8.a – Minimum Horizontal Site Distance

Street Classification	Minimum Horizontal Site Distance
Arterial	500'
Collector	350'
Local	200'

7.05.08.2 Vertical Site Distance

Vertical site distance refers to the ability to detect an object in the roadway while negotiating the crest of a hill. The distance is measured the same as for horizontal curves.

Table 5.8.b – Minimum Vertical Site Distance

Design Speed	Minimum Vertical Site Distance (ft.)
20 MPH	150
25 MPH	175
30 MPH	200
35 MPH	250
40 MPH	300
45 MPH	400
50 MPH	450
55 MPH	500

7.05.08.3 Minimum Horizontal Radii of Centerline Curvature

Table 5.8.c – Minimum Horizontal Radii

Street Classification	Radii (ft.)
Arterial	As recommended by AASHTO or 350'
Collector	120
Local	120

7.05.08.4 Tangents

Between reverse curves there shall be not less than the following minimum tangents.

Table 5.8.d – Minimum Tangents

Street Classification	Minimum Tangent (ft.)
Arterial	As recommended by AASHTO or 200'
Collector	100
Local	100

7.05.08.5 Super Elevation

The design of arterial and collector roadways may require the super-elevation of the travel surface on horizontal curves, as determined by design speed, in accordance with AASHTO Standards. The design and horizontal alignment for local streets serving residential areas should avoid the use of super-elevation where possible, as required by design speed. In all instances, the maximum super-elevation rates shall be in accordance with AASHTO and GDOT Standards. Under no circumstance is a curved street of any classification to be reverse super-elevated.

7.05.08.6 Intersections

In approaches to intersections, there shall be a leveling of the street at a grade not exceeding two (2) percent for a distance of not less than fifty (50) feet from the nearest right-of-way of the intersecting street (refer to typical details).

7.05.09 Minimum Cul-De-Sac Specifications

- A. Permanent cul-de-sacs shall be limited in length so that each cul-de-sac serves as street access for no more than twenty-five (25) lots.
- B. Cul-de-sacs shall terminate in a circular turnaround having a right-of-way of not less than 100 feet.
- C. Paving within the turnaround shall have an outside diameter of not less than eighty (80) feet.
- D. Islands are prohibited in cul-de-sacs.
- E. For typical cul-de-sac layout, refer to attached details.

7.05.10 Acceleration and Deceleration Lanes

Table 5.10.a – Minimum Deceleration Lane Design

Street Classification	Minimum Deceleration Lane Length
Arterial	200' and 100' taper
Collector	150' and 75' taper
Local	100' and 50' taper

For any driveway or street located on a major thoroughfare, except driveways serving one (1) to five (5) single-family residences, a deceleration lane shall be provided. The minimum length for deceleration lanes at all new street locations shall be as shown above except that either the SDRC or the GDOT district traffic and safety engineer, as applicable, may specify longer or shorter deceleration lanes based on grade, distance from an intersection, design speed, etc. The Georgia DOT will determine the need for and design of acceleration lanes on state routes. The SDRC shall determine the need for

and design specifications for acceleration lanes along county streets. Typical sections for the addition of deceleration and widening sections are included in the attached typical detail drawings.

7.05.11 Turn Lanes

Turn lanes, left and right, shall be designed in accordance with the Manual for Uniform Traffic Control Devices (MUTCD). The developer/contractor shall be responsible for the installation of turn lanes and intersection improvements where a new roadway meets an existing paved roadway within the County. The developer/contractor shall resurface all lanes within the improvement area when turn lanes are required.

7.05.12 Driveways

7.05.12.1 Driveway Dimensions

Residential driveways shall have a maximum width of twenty-four (24) feet measured at the right-of-way line from back of curb to back of curb (or edge of pavement if there is no curb).

Commercial, industrial, Manufactured Home Park and multi-family development driveways shall have a maximum width of forty (40) feet measured at the right-of-way line (back of curb to back of curb or from edge of pavement if there is no curb). For those businesses with frequent or heavy freight traffic, the SDRC will approve driveway widths and radii in excess of forty feet on a case-by-case basis.

Two-way drives will be a minimum of twenty-four feet in width measured at the right-of-way line from back of curb to back of curb.

7.05.12.2 Typical Driveway Details

For typical driveway details, refer to the attached typical details.

07.05.13 Street Resurfacing (If Required)

- A. All work shall be in conformance with the Georgia Department of Transportation *Standard Specifications for Construction of Roads and Bridges*, latest edition.
- B. All weak areas shall be removed and repaired with proper full depth patches. All debris (soil, GAB, and asphalt) shall be removed and disposed of properly.
- C. The surface to be overlaid shall be thoroughly cleaned and all debris removed.
- D. A track coat of asphalt (AC-10 or AC-20) shall be applied to the entire surface to be overlaid.
- E. The overlay thickness shall be 1 - 1 ½" inches of 9.5 mm SuperPave asphalt concrete. For lifts of 1 ½" inches or greater, 12.5 mm SuperPave asphalt concrete shall be used. The maximum lift thickness shall be 2" inches.

- F. Prior to placing the overlay, a leveling course of 4.75 mm SuperPave asphalt concrete shall be used where necessary or as determined by the SDRC or Road Department.
- G. The County will evaluate the existing pavement conditions and determine the overlay thickness using the methods in the Asphalt Institute’s manual, *Asphalt Overlays for Highway and Street Rehabilitation*. For all streets other than residential, actual traffic counts will be obtained and coring, or other acceptable methods of obtaining the actual existing pavement thickness, will be utilized. In no case shall an overlay thickness be less than one (1) inch.
- H. For typical street resurfacing and replacement and saw cuts, refer to the attached typical details.

7.05.14 Street and Traffic Signs

Developers shall be responsible for placing street signs and traffic signs in accordance with these regulations. Signs and posts shall be installed in accordance with the *Manual for Uniform Traffic Control Devices (MUTCD)* and must meet clearance, height above pavement, and all other applicable regulations. All required signs shall be in place prior to the occupancy of any structure and must be inspected and approved by the SDRC prior to the acceptance of a roadway by the County.

Sign posts shall be square tube with break-away support. Signs shall be Telespar (or approved equal) and meet the following criteria:

- Square posts
- 7/16” pre-punched holes on 1” centers
- 14 Gauge
- Steel with Pre-galv Plus coating Corner bolted
- Anchor a minimum of 36” 12-gauge tubing (1” – 2” left exposed above the surface)
- Shall have the following dimensions (or as approved by SDRC):

Table 4.14.a – Street Post Dimensions

	Tube Size (in)	Wall Thickness U.S. Std. Gauge & Inch	Area (in2)	Wt/Ft (lbs.)	l (In4)	s (in3)	r (in)
Post	2 x 2	14 (.083)	.474	1.99	.296	.296	.790
Anchor	2.25 x 2.25	12 (.105)	.695	2.77	.561	.499	.898

7.05.14.1 Street Name Signs

Major street name signs shall be installed above the intersecting local street name sign. All street name signs shall be mounted parallel or nearly parallel to the street and shall be visible on both sides. A street name sign shall be installed for every street at an intersection. Standard street name signs shall be extruded nine (9) inch blanks with six (6) inch letters. County road signs shall be white on green, and private road signs shall be white on blue.

7.05.14.2 Traffic Signs

Traffic control devices to include signs, signals, street markings, etc., shall be installed by the developer. The type and location of traffic control devices shall be determined by the SDRC's Engineer based upon the latest edition of the *Manual on Uniform Traffic Control Devices* (MUTCD), latest edition.

Stop signs shall be installed at every intersection. Stop signs shall be 30-inch unless at an intersection of 45 mph road or greater. In this case, a 36-inch stop sign is required. Speed limit signs shall be 24-inch by 30-inch. All other signs shall be in accordance with the MUTCD.

7.05.15 Striping and Pavement Marking

The contractor shall be responsible for the installation of pavement markings to include, at a minimum, centerline striping, edge of pavement striping, stop bars, raised pavement markers (turtles), words, directional arrows and chevrons (hatches). Additional pavement markings may be required at the SDRC Engineer's discretion. All pavement markings except centerline striping and edge of pavement striping shall be thermoplastic. Stop bars shall be a minimum of twenty-four (24) inches, and words, chevrons, and directional arrow dimensions shall be in accordance with GDOT Standards (see GDOT details t01 through t19).

7.05.16 Utility Locations

In order to promote uniformity in installation and more effective and less damaging maintenance, a uniform system for locating utilities is hereby established. The locations are noted in the typical details. Applicable utilities and their locations shall be noted on subdivision construction plans and as-built drawings. Detection tape for utilities may be required at the discretion of the SDRC.

Detection tape shall be composed of a solid aluminum foil encased in a protective plastic jacket. Tapes shall be color coded in accordance with APWA color codes with the following legends: Water Systems, Safety Precaution Blue, "Caution: Water Line Buried Below". Colors may be solid or striped. Tape shall be permanently printed with no surface printing allowed. Tape width shall be minimum 2-inches when buried less than 10-inches below the surface. Tape width shall be minimum 3-inches when buried greater than 10-inches and less than 20-inches. Detection tape shall be equal to Lineguard Type III Detectable or Allen Systems Detectatape Wire. In addition, prior to backfill of trench the Contractor shall furnish and install 14 gauge coated copper wire. The wire shall be installed along the pipe during the backfill operation. Wire shall be brought up at each hydrant.

7.05.17 Sidewalks (If Applicable)

- A. Sidewalks are required for all developments on parcels which connect to an existing sidewalk system (a neighboring parcel has a pre-existing sidewalk). In this case, the sidewalk will be carried across/through the development, aligning to the existing sidewalk system.
- B. Sidewalks shall be five (5) feet wide and shall be designed in accordance to all applicable American Disabilities Act (ADA) standards.

- C. Sidewalks shall be constructed only on individual lots that have been permitted for construction.
- D. For typical sidewalk cross-sections, refer to the attached typical details.

7.05.18 Landscape Islands / Traffic Dividers (If Applicable)

In order to promote uniformity in the configuration and construction of landscape islands / traffic dividers (“islands/dividers”) within the right-of-way at entrances to residential, commercial, industrial or institutional developments, a uniform standard is hereby established.

- A. Where an island/divider is planned, the right-of-way shall be a minimum eighty (80) feet in width at the connecting public road. The right-of-way shall remain eighty (80) feet in width for a distance of 150 feet at which point the right-of-way will taper to the appropriate right-of-way width as required in Section 7.05.03.
- B. The island/divider shall be delineated with curb and gutter regardless of whether curb and gutter is required in the remainder of the development.
- C. The island/divider shall be at least 100 feet long and shall not be more than sixteen (16) feet in width from the back of curb to back of curb with a sixteen (16) foot travel lane on each side of the island/divider.
- D. No signs or structures shall be allowed in the island/divider. No trees or plants shall be placed in the island/divider that will block a person’s view of oncoming traffic travelling within the connecting roadway. Any object encroaching into the right-of-way or obstructing the view of oncoming traffic shall be removed.

7.06.00 STORMWATER DESIGN STANDARDS AND SPECIFICATIONS

7.06.01 General Requirements

An adequate drainage system, separate and independent of any sanitary sewer system and including any necessary ditches, pipes, culverts, intersectional drains, drop inlets, bridges, etc., shall be provided for the proper drainage of all surface water for all applicable land developments. Sizing and location of all drainage structures shall be the responsibility of a qualified Georgia registered design professional. The County shall require the use of on-site control methods such as retention or detention to mitigate the stormwater and drainage impacts of the proposed land developments. The SDRC shall not approve any preliminary plat of a subdivision that does not make adequate provisions for storm and flood water runoff channels or basins as determined by the SDRC’s Engineer.

No building permit shall be issued for any building within a subdivision or no development permit shall be issued for the development of land, if an adequate system of drainage and stormwater management is not present throughout the land to be developed.

For development or redevelopment projects, on-site control methods, such as retention or detention, shall be provided for the ENTIRE site when,

- A. The amount of impervious surface is 5,000 square feet or more, regardless of whether the impervious surface is new or being replaced.
- B. When the land disturbance activity associated with the proposed development/redevelopment is 1 acre or more.

All new development shall be designed with the standards more fully set forth below. All redevelopment of previously existing facilities shall also be designed as set forth below and to the extent practicable, but shall always result in a net reduction of stormwater runoff. The County shall consider the ENTIRE site controlled when the stormwater runoff of an existing development is reduced by at least 25 (twenty-five) percent.

Res 2025-26, 10.13.25

7.06.02 Method of Design and Capacity

Storm sewers, where required, shall be designed in accordance with the Georgia Stormwater Management Manual (GSMM), latest edition, and the County Stormwater Design Standards as outlined below. Copies of all design computations shall be submitted along with required plans. Drainage improvements shall consider and accommodate, as necessary, potential runoff from the entire upstream drainage area as well as from within the site. The drainage improvements shall be designed to prevent effects on the upstream drainage system and increases in runoff to downstream systems for each of the design storms to the extent practicable.

7.06.03 Runoff Computation

The designer should consult Table 2.1.1-2 in the GSMM when deciding which hydrologic method to utilize. The following general applications should be applied:

- A. For all drainage areas less than 25 acres, the Rational Method shall be used.
- B. For all drainage areas greater than 25 acres, the SCS method or similar Unit Hydrograph Method shall be used. Computer methods with routing capability may also be used.

7.06.04 Design Frequency

- A. The 100-year average return frequency storm shall be used for the design of all onsite storm water conveyance systems.
- B. The 100-year average return frequency storm shall be used for all offsite drainage which enters the site and/or is conveyed through the site by the storm system.
- C. Detention systems shall be designed to meet standards 3, 4 and 5 of the GSMM.

7.06.05 Rainfall Estimation

- A. For the Rational method, Georgia Soil Conservation rainfall intensities shall be used.
- B. For the SCS method, the 24-hour rainfall depths as shown in the TR-55 Manual shall be used.

7.06.06 Runoff Coefficients / Curve Numbers

- A. For the Rational method, standard runoff coefficients shall be used.
- B. For the SCS method, the curve numbers as shown in the TR-55 Manual shall be used.

7.06.07 Pre-Development Site Conditions

- A. For redevelopment sites located within the Urbanized Area, all existing impervious areas shall be treated as unimproved (i.e. forested) in the pre-development analysis and shall apply to the entire site. For new development sites and redevelopment sites not located within the Urbanized Area, existing conditions shall be defined as the conditions of the site at the time of application for a Land Disturbance Permit.

TC-TA-12-01, 08.13.12

7.06.08 Inlet Design**7.06.08.1 Spread Limits**

- A. The maximum allowable spread in the roadway shall be based on the 2-year design storm and shall be limited to no more than six (6) feet of spread in the roadway gutter. Inlets shall be located along the roadway at sufficient intervals to intercept flows before they exceed the maximum spread limit. In no instance shall inlet spacing exceed three hundred (300) feet.
- B. The formulas for gutter flow shall be used to determine the spread in the roadway.
- C. At sag locations, the roadway shall have a minimum of 0.5% longitudinal slope within fifty (50) feet of the level point in the sag. For large flows, flanking inlets may be required on either side of the low point to prevent exceeding the spread limit.

7.06.08.2 Capture Efficiency

- A. For the 10-year design storm, the capture efficiency for inlets on grade shall be no less than 90%, and the capture efficiency for inlets at sump locations shall be 100%.
- B. At sump locations, the capacity of the inlet shall be determined using the weir equation unless precast boxes with special inlets are used, which may be designed with the orifice equation. The minimum curb transition/apron length on either side of the basin shall be six (6) feet for inlets open on three (3) sides.
- C. Inlets shall not be allowed in the radius section at intersections, except where flows are very small, road grades are very flat, or the entire intersection is in a sag condition.
- D. Within a piped drainage system, an adequate number of manholes or inlets shall be constructed to provide for cleaning and maintenance of the stormwater system. In no instance shall spacing exceed three hundred (300) feet between structures.

7.06.08.3 Weir Opening Height

For inlets, the minimum allowable weir opening height shall be four (4) inches and the maximum allowable weir opening height shall be eight (8) inches.

Trash racks shall be used as necessary or as required by the SDRC.

7.06.09 Pipe Design

- A. The Manning equation shall be used for pipe design, assuming pipe flowing full.
- B. The orifice equation shall be used to check the required headwater depths at all catch basins, junction boxes or pipe inlets along the system to predict and prevent surcharge conditions.
- C. Alternatively, a computer model using the Standard Step method or other approved energy-based method may be used to compute the hydraulic profile.
- D. For complex systems, the SDRC may require computation of the hydraulic profile.
- E. Minimum pipe size shall be 15" in diameter when using curb and gutter. A minimum of 18" diameter pipes are required for all ditch sections (i.e. driveway pipes), except for sock drain systems.
- F. The maximum slope for all drainage pipe shall be 10%. In cases where steep slopes are inevitable, the design professional should use concrete anchors or other factory recommended anchor systems. Details shall be provided on the construction plans.
- G. In the case, due to cover restrictions, dual pipes (double barrel) must be used, headwalls will be required. No more than two (2) pipes will be allowed at a crossing if a larger pipe or structure cannot be installed due to cover restrictions.

7.06.10 Detention Ponds

Detention ponds, either dry or with permanent pool, shall be designed in accordance with the GSMM to accommodate Minimum Standards 3, 4, and 5 of the GSMM, including Stream Channel Protection for the 1-year, 24-hr storm event, Overbank Flood Protection for the 2-through 25-year storm events and Extreme Flood Protection for the 100-year storm event. Ponds shall be designed to reduce the post-development peak flows of the 1- through 100-year storm events to the pre-development rates. An emergency spill way shall be provided to accommodate a storm event exceeding the 100-year storm.

Inlet pipes shall be placed so that the invert of the pipe is above the permanent pool elevation. Riprap, or other energy dissipation methods, should be utilized at the end of an outlet to prevent scouring and erosion.

Outlet structures shall be designed to prevent clogging in accordance with the GSMM.

An adequate maintenance access easement of twenty (20) feet must be provided around the entire perimeter of a detention pond. The access easement shall be sloped toward the pond with a slope no less than 1% and no greater than 5%.

The maximum depth of a pond shall be 10 feet.

7.06.10.1 Fences

All detention facilities with water depths greater than four (4) feet must either have side slopes below the 100-year water surface elevation of 4H:1V or flatter, or be enclosed by a fence. Fences shall be a minimum of six feet (6') in height and shall be chain-link or prohibit passage of items larger than (6") inches diameter. In the front yard, the fence height may be reduced to four (4) feet. Barbed wire is prohibited.

At least one access gate shall be provided for the entry of maintenance vehicles. Gates shall be placed to allow for easy access, and to avoid obstacles or destruction of property or other utilities (i.e. trees, power poles and lines, hydrants, sidewalks, other structures, etc.).

TC-TA-12-01, 08.13.12

7.06.11 Outfall Structure Design

Rip-rap shall be installed around the top and sides of all outfall pipes. On steep slopes, the last joint of pipe on a plain end outlet shall be a full eight (8) foot joint. A precast headwall or an approved reinforced concrete headwall is required for all pipe outfalls thirty-six (36") inches and over. Where a drainage outfall is a substantial distance above the bottom of a stream or ditch into which it empties, a junction box with a rip-rapped stub will be required.

7.06.12 Energy Dissipation

- A. Energy dissipation measures shall be installed at all pipe outlets to prevent downstream channel erosion. Rip-rap aprons shall be designed in accordance with *Georgia Stormwater Management Manual* guidelines for Storm Drain Outlet Protection or other approved method.
- B. Precast manhole sections may be adapted for use as energy dissipaters at outfalls. The energy dissipater shall be designed so as not to adversely affect the hydraulic capacity of the system.
- C. Grouted rip-rap may be used in high velocity conditions or where safeguarding of the material is needed. The SDRC may require rip-rap to be grouted on steep slopes and/or high velocity conditions or when stabilization of the rip-rap is needed.

7.06.13 Roadway Culvert Design

- A. Roadway culverts refer to structures installed under the roadway which convey flows from existing creeks, live streams, or drainage channels that originate upstream of the site and carry offsite flows through the site.
- B. The design of all roadway culverts shall comply with GDOT and FEMA guidelines.
- C. The following table shall be used for the design of all roadway culverts.

[Table 6.12a – Culvert design to follow on next page]

Table 6.12.a – Culvert Design

Roadway Designation	Design Storm	Allowable Flooding Depth
Emergency Access Routes	100-Year	6.0 ft. Maximum Gutter Spread
Collector Roads	50-Year	6.0 ft. Maximum Gutter Spread
Local Roads	25-Year	6.0 ft. Lane Width Open
Roads with No Other Outlet	100-Year	6.0 ft. Lane Width Open
Parking Lots	10-Year	Maximum 0.5 ft. Depth
Parking lot detention areas with flood warning signage	100-Year	Maximum 1.5 ft. Depth
Material storage areas/landscape areas with flood warning signage	10-Year	Maximum 2.0 ft. Depth

- D. The permanent impoundment of water on the upstream side of the culvert (i.e., dams) is not permitted.

7.06.14 Open Channel Design

- A. Open channels refer to all overland diversions, existing and proposed, which convey storm flows through the site.
- B. Grassed channels - where steep slopes, highly erosive soils, or other conditions prevent the proper establishment of grass by seeding & mulching, sod or manufactured erosion control mats will be required. Where grassing is required, the work will not be accepted until grass is well established as determined by the SDRC.
- C. For all open channels, which cross or border on building lots, and where the 100- year flow exceeds 50 CFS, the 100-year flood line shall be computed and the lowest floor elevations shall be set at least two (2) feet above the flood elevation.

7.06.15 Pipe Construction Materials

- A. Design Loading - At a minimum, all pipe materials shall be capable of supporting H- 20 loading under minimum cover. All HDPE pipe shall also be of sufficient thickness to meet the design load requirements for the proposed cover height. Greater design loadings shall apply to industrial, commercial, or special situations as appropriate.

- B. Minimum Cover - Two (2) feet minimum cover shall be required for all pipe materials in the right of way, measured from the outside top of the pipe to the finished subgrade at the lowest point. Minimum cover requirements may be reduced based on class of pipe being utilized only if extenuating circumstances exist. In these cases, Class V RCP will be required.
- C. Bedding – Minimum bedding standards for High-Density Polyethylene (HDPE) pipe shall be such that stone bedding (i.e. No. 57 stone) shall be placed to half of the pipe diameter for all depths greater than four feet and/or in accordance with manufacturer’s specifications, whichever is greater.
- D. Storm Drain – All storm drain pipes located under roadways that are accepted by the County for long-term maintenance, shall be constructed of reinforced concrete pipe (RCP – Class 3 or better) meeting Georgia Department of Transportation Standards. All longitudinal storm drain pipes shall be reinforced concrete pipe (RCP – Class 3 or better) or High-Density Polyethylene (HDPE). All pipes shall have a minimum diameter of 15 inches and must be designed and installed with adequate cover in accordance with manufacturer’s specifications. In situations where the SDRC has reason to suspect that a pipe system may have not been installed properly, the SDRC may require at their discretion, video inspections of pipe systems to be provided at the Owner’s expense prior to acceptance of the system.
- E. Side Drains – All side drain pipes (driveway pipes) located within the public right-of-way or dedicated County easements that are accepted by the County for long-term maintenance, shall be constructed of HDPE or reinforced concrete pipe (RCP – Class 3 or better) meeting Georgia Department of Transportation Standards. The minimum diameter of all pipes shall be 18 inches and shall meet the standards set forth in section 6.15.C above.
- F. All other pipe systems not within the public right-of-way shall be constructed of reinforced concrete pipe (RCP – Class 3 or better) or HDPE meeting Georgia Department of Transportation Standards. In the case where HDPE pipe originating from private property is joined to RCP, in the right-of-way, a transition structure, approved by the SDRC, must be provided at the right-of-way line by the Owner.

All pipes must have a minimum diameter of 15 inches and must be designed and installed with adequate cover in accordance with manufacturer’s specifications. The minimum cover for pipes, which run along individual lot property lines in residential developments, shall be increased to three feet to account for the potential for damage due to residential fence construction.

In situations where the SDRC has reason to suspect that a pipe system may have not been installed properly, the SDRC may require at their discretion, video inspections of pipe systems to be provided at the Owner’s expense prior to acceptance of the system.

7.06.16 Inlets and Manhole Construction

- A. Inlets and manholes shall be constructed in accordance with GDOT Standard Specifications.
- B. All structures deeper than four (4) feet must be constructed with steps.
- C. The minimum drop from the edge of the roadway to the throat of the inlet shall be six (6) inches for the standard two foot (2') offset from the road. Greater offsets shall require greater drops to achieve the desired 25% cross-slope for the apron.

7.06.17 Subsurface Drainage (if applicable)

Subdrains may be required at the SDRC's discretion depending on roadway and groundwater conditions on site.

- A. Subdrains shall be constructed in accordance with the manufacturer's recommendations.
- B. Subdrains shall be installed within 2 1/2' of the back of the curb and shall be properly connected to a permanent drainage structure such as a catch basin, or routed to a suitable location off the right-of-way.
- C. All subdrains shall have a minimum of two (2) feet of cover.
- D. Subdrains shall be installed prior to the base course.
- E. Subdrains are required on both sides of the street where mucking out and backfilling have been done, or where the water table is within two (2) feet of the road centerline elevation.
- F. Subdrains must be inspected and approved during installation.

7.06.18 Miscellaneous Drainage Requirements

- A. The required roadway and developed land drainage shall be directed to a drainage channel within the immediate drainage basin provided the receiving channel has existing sufficient capacity or is improved to provide sufficient capacity for conveyance of the outfall flows. Under extenuating circumstances where this is not feasible, the design engineer shall document a good faith effort of the attempts made to provide the required information to the SDRC in compliance with the above provisions.
- B. Damming Structures - No dams or structures serving as dams to impound water, or any portion of such a structure shall be allowed in the right-of-way. This further means that no County road shall pass over such a structure without approval from the appropriate agencies.

- C. Drainage Outfall into a Pond or Lake - Where a drainage outfall discharges into a pond or lake, rip rap shall be placed under and around the end joint as needed and on slopes at the end of the pipe. The outfall invert elevation must be above the normal pool elevation of the lake.
- D. Drainage Outfall into a Stream or Ditch - Where a drainage outlet is a substantial distance above the bottom of a stream or ditch into which it empties, a drop structure (junction box) with a stub or other approved outfall design must be used. In all other instances, the outfall will be required to have rip rap placed under and around the end joint as needed and on slopes at the end of the pipe. All discharge pipes 36" and over shall have a precast headwall or site-built reinforced concrete or masonry headwall.
- E. Stabilization of Open Channels - All open channels used for conveyance of roadway drainage shall be properly stabilized to prevent erosion, and shall require rip rap at all direction changes exceeding 25 degrees or as directed by the SDRC.
- F. Drainage Easements - Drainage easements of the following widths shall be provided and dedicated for maintenance and public use:

Table 6.17.a – Drainage Easements

Pipe Size (inches)	Required Easement Width (feet)
15 – 48	20
48+	20 + total pipe width At the discretion of SDRC
Double pipe systems (greater than 48" width)	

1. For minor ditches with open channel flow, the required easement width shall be determined from the equivalent pipe size required to carry the flow and the easement width (listed above) corresponding to that calculated pipe size.
2. For major ditches or channels, the easement width shall be centered on the ditch or channel and be equal to the maximum top width of the ditch plus twenty (20) feet.

7.06.19 Rip Rap

Stone shall be hard quarry, fieldstone or recycled concrete (see Section 6.20 below) which will withstand exposure to water and weathering. Stone shall vary in size from 6" minimum to 24" maximum, and the gradation shall be such that approximately 60% of the rip-rap is 10" in size. All rip-rap shall be hand placed or satisfactorily machine placed.

7.06.20 Crushed Concrete

Crushed, recycled concrete may be used in place of stone riprap. The concrete shall be clean and free of foreign materials, reinforcing wire and/or steel. Gradation and size shall meet the requirements of traditional riprap.

7.06.21 Location

Drainage facilities shall be located in the road right-of-way where feasible, and shall be constructed in accordance with the GSMM and these standards and specifications. Catch basins shall be located at low points of streets. Where topography or other conditions are such as to make impractical the inclusion of drainage facilities within road rights-of-way, perpetual, unobstructed easements at least twenty (20) feet in width for drainage facilities shall be provided across property outside the road right-of-way and with satisfactory access to the road.

7.06.22 Discharge

Drainage shall be designed so as to avoid concentration of storm drainage water from each lot or land development site to adjacent lots, land development sites, or vacant properties. Storm water shall not be discharged directly to streams, lakes, rivers, tidal waters or any other environmentally sensitive area. It shall be directed toward natural overland drainages. If water must be discharged to a stream, or other water body the water quality flowing into the stream must meet or exceed the water quality in the receiving waters. The water quantity flowing into the stream must be evaluated to ensure the stream channel can accommodate the increased flows and not disrupt or degrade the ecology of the water body.

It shall be County policy that an increase in the elevation of flooding on an adjacent property(s) shall be unacceptable. In situations where flood elevations on an adjacent property will be increased due to development and/or construction of a stormwater management system/facility, the required conveyance level of service may be increased by the SDRC to result in no impact to the adjacent property(s). This requirement may be waived at the SDRC's discretion if the adjacent property owner(s) provides a permanent drainage easement between the two property owners. The easement shall provide that the owner of the impacted property acknowledges that an increase in flood elevations will occur on their property as a result of the proposed development. Additionally, the easement shall include at a minimum a map showing the extent of the pre-development and post-development 100-year floodplains. The easement must be recorded with the County as an attachment to the affected property's land deed and shall be binding on all future property owners.

7.06.23 Grading and Site Drainage

Lots or land development sites shall be laid out so as to provide positive drainage away from all buildings, and drainage for individual lots or land development sites shall be coordinated with the general storm drainage pattern for the area. Buildings and parking lots shall be appropriately drained to prevent damage to abutting properties or public streets. All disturbed or graded ground areas of a building site not used for buildings or open storage areas shall be appropriately stabilized and grassed or covered with plants or landscaping materials.

7.06.24 Stormwater Management Plan Report

All development projects must submit a stormwater management plan report outlining the hydrologic and hydraulic impacts of the site on the stormwater system. At a minimum, this report must include the following sections:

- Certification by a Qualified Registered Design Professional
- Project Narrative
- Existing Conditions Hydrologic Analysis
- Post-Development Hydrologic Analysis
- Stormwater Management System Design
- Downstream Analysis
- Erosion & Sedimentation Control Plan
- Planting Plan (if applicable)
- Operations & Maintenance Plan

The following subsections outline the requirements for each of the elements outlined above.

7.06.24.1 Professional Certification

Each report should begin with the following statement and be signed and sealed by the professional who prepared the report:

“I, (Name of Professional), a Registered (Professional Engineer / Land Surveyor / other qualified design professional) in the State of Georgia, hereby certify that the grading and drainage plans for the project known as (Project Name), lying in Land Lot (), of the () District, located at (address), Tift County, Georgia, and identified on tax map () as parcel (), have been prepared under my supervision, and, state that in my opinion, the construction of said project will not produce storm drainage conditions that will cause damage or adversely affect the surrounding properties. This (Day) day of (Month), (Year).”

7.06.24.2 Project Narrative

A brief narrative should be provided with the report outlining the project.

7.06.24.3 Existing Conditions Hydrologic Analysis

The existing conditions hydrologic analysis should provide the reviewer with a comprehensive evaluation of the site conditions prior to development of the project.

The designer should provide the following information with the Existing Conditions Hydrologic Analysis element of the report:

- A. Existing Conditions Narrative
- A written description of the existing conditions found at the site
 - Analysis of runoff provided by off-site areas upstream of the project site
 - Methodologies, assumptions, site parameters and supporting design calculations used in analyzing the existing conditions site hydrology.

- B. Existing Conditions Map
An existing conditions map should be provided with the report including but not limited to the following:
- Topography (2-ft. or less contour interval) of existing site conditions.
 - Perennial/intermittent streams, wetlands, lakes and other surface water and water resources features.
 - Natural Resources Inventory and Site Fingerprinting data per the procedures outlined in Section 1.0 of the Green Growth Guidelines (as necessary).
 - Drainage basin and sub-basin delineations.
 - Drainage basin and sub-basin delineations for each contributing drainage area upstream of the project site on an appropriate map.
 - Existing stormwater conveyances and structural control facilities.
 - Direction of flow and discharge points from the site including sheet flow areas.
 - Any area of significant depression storage.
 - Federal, State and local buffers and conservation areas.

The map should provide a clear understanding of the drainage patterns present throughout the site as well as drainage onto the site from upstream/adjacent areas.

- C. Existing Conditions Information
Pertinent information should be included in the report in table format that will enable the reviewer to understand how various parameters were applied in existing conditions analysis. Additionally, tables should be included documenting the results of the modeling.
- A table listing the acreage, soil types and land cover characteristics for each sub-basin.
 - A table listing the total acreage, composite curve number and time of concentration for each sub-basin.
 - A table listing the peak runoff rates and total runoff volumes from each sub-basin.
 - A table listing the peak runoff rates and total runoff volumes for each drainage area upstream of the project site.
 - A table listing the peak runoff rates and maximum water surface elevations for all detention facilities studied as part of the existing conditions analysis.
- D. Existing Conditions Model Diagram
A diagram of the hydrologic model for the existing site should be provided with the report showing each flow node.

7.06.24.4 Post-Development Hydrologic Analysis

The proposed conditions hydrologic analysis should provide the reviewer with a comprehensive evaluation of the site conditions following development of the project. The designer should provide the following information with this element of the report:

- A. **Proposed Conditions Narrative**
A written description of the proposed site conditions after construction should be provided. The narrative should describe the pertinent information and assumptions as to how the proposed conditions were analyzed by the designer.
- B. **Proposed Conditions Map**
A proposed conditions map should be provided with the report including but not limited to following:
- Topography (2-ft or less contour interval) of proposed site conditions.
 - Perennial/intermittent streams, wetlands, lakes and other surface water features.
 - Drainage basin delineations showing the location of each drainage sub-basin.
 - Proposed stormwater conveyances and structural control facilities.
 - Direction of flow and discharge points from the site including sheet flow areas.
 - Location and boundaries of proposed natural resources feature protection areas.
 - The map should provide an overview of the various drainage patterns proposed for the site as well as drainage onto the site from upstream areas.
- C. **Proposed Conditions Tables**
Tables should be included in the report that will allow the reviewer to understand how the applicable parameters were developed and utilized in modeling the proposed conditions for the site. Additionally, tables should be included documenting the results of the modeling.
- A table listing the acreage, soil types and land cover characteristics for each sub-basin.
 - A table listing the total acreage, composite curve number and time of concentration for each sub-basin.
 - A table listing the peak runoff rates and total runoff volumes from each sub-basin.
 - A table listing the peak runoff rates and total runoff volumes for each drainage area upstream of the project site.
 - A table listing the peak runoff rates and maximum water surface elevations for all detention facilities studied as part of the proposed conditions analysis.

- D. Proposed Conditions Model Diagram
A diagram of the hydrologic model for the proposed site should be provided with the report showing each flow node.

7.06.25 Stormwater Management System Design

The stormwater management system design should provide the reviewer with a comprehensive description of the proposed stormwater management system components on site. The designer should provide the following information in the report:

7.06.25.1 Stormwater Management System Map

- The stormwater management system map should document the various components of the stormwater runoff system for the site.
- Location of all structural and non-structural stormwater controls
- Location of all existing stormwater controls to remain after development
- Location of all proposed stormwater controls
- Location of all proposed impoundment type controls (i.e. detention ponds, stormwater ponds, stormwater wetlands, etc.)
- Location of all natural resource areas that will be incorporated into the stormwater management plan for the site.
- Location of all conveyance structures
- All impoundment type controls should be labeled with the following information as a minimum: maximum water surface elevations; depth and storage volumes for the design storm(s); and depth of maximum water surface if the design storm event is exceeded (i.e. top of dam) as well as volume calculations.
- All inlets to conveyance structures should be labeled with the following information: maximum design water surface and maximum potential water surface elevations.
- All pipes should be labeled with the following: length, diameter, material of construction and slope.
- Map showing all contributing drainage areas/sub-basin delineations.
- Soils Map, NWI Map (if necessary), USGS Quad Map, and FEMA Map.
- Geotechnical information from the Natural Resources Conservation Service (NRCS) for the site indicating soil types, seasonal high ground water, and percolation rates (if necessary).

7.06.25.2 Narratives

The following narrative information should be provided:

- Narrative describing that the proper structural stormwater controls have been selected for the site conditions.
- Design calculations and elevations for all existing and proposed stormwater conveyance elements including stormwater drains, pipes, culverts, catch basins, channels, swales, areas of overland flow, etc.

- Design calculations and elevations for all structural water quality controls to be utilized for water quality improvement.
- Design calculations showing that the design meets the applicable requirements as set forth herein.
- Type of storm routing software utilized for design (if applicable).

7.06.25.3 Downstream Analysis

The downstream analysis should provide the reader with a comprehensive picture of the downstream areas and their capacity to accommodate stormwater runoff from the proposed development.

- Maps
 - a. Drainage basin delineations showing the point at which the contributing area of the project represents 10% of the total drainage basin area as defined in Section 2.1.9.2 of the Georgia Stormwater Management Manual (latest edition).
 - b. Identify culverts, channels and other structural stormwater controls that the stormwater runoff from the site will eventually pass through prior to the 10% point as identified above.
- Narratives
 - a. Provide a narrative with associated calculations to how the demonstrate was performed and to show that no adverse impacts will occur after construction of the proposed site.

7.06.25.4 Planting Plan

A planting plan should be included in the report for all water quality controls that utilize vegetation as a pollutant removal method.

7.06.25.5 Operations & Maintenance Plan

A narrative of what maintenance tasks will be required for the stormwater controls specified for the site as well as the responsible party(s). The designer should consult the Georgia Stormwater Management Manual (latest edition) for additional insight on this issue.

7.07.00 FINISHED WATER AND DISTRIBUTION SYSTEMS

Water distribution systems shall be designed to sustain EPD's standards for safe drinking water quality. Special consideration should be given to distribution main sizing, providing for design of multidirectional flow, adequate valving for distribution system control, and provisions for adequate flushing. Distribution systems should be designed to maximize turnover and to minimize residence times while delivering acceptable pressures and flows.

7.07.01 Materials

- A. All materials that come into contact with the drinking water during its treatment, storage, transmission or distribution shall not adversely affect drinking water quality and public health and must be certified for conformance with American National Standards Institute/National Sanitation Foundation Standard 61 (ANSI/NSF Standard 61).
- B. The pipe, fittings, valves and fire hydrants selected shall conform with the latest AWWA Standards. In the absence of such standards, pipe meeting applicable ASTM and ANSI criteria and acceptable to the County Engineer may be selected.
- C. Special attention shall be given to selecting pipe materials which will protect against both internal and external corrosion.
- D. Used water mains that meet these standards may be used again after the pipe has been thoroughly cleaned and restored practically to its original condition.
- E. Pipe having mechanical joints or slip-on joints with rubber gaskets shall be used. Lead-tip gaskets shall not be used.
- F. In general, packing and jointing materials used must meet the latest edition of the AWWA Standards. Joints shall conform to AWWA Standard C111.
- G. Ductile iron and cast-iron pipe shall meet the latest edition of ANSI/AWWA Standard C106 or C108 for cast iron pipe and C151 for ductile iron pipe.
- H. Pipe and fittings shall be cement lined in accordance with the latest edition of AWWA Standard C104.
- I. Fittings shall be ductile iron and shall conform to the latest edition of AWWA Standard C110 or C153.
- J. Concrete pipe shall meet the latest edition of AWWA Standard C300.
- K. Any pipe material which is not specifically stated in this section shall be considered on an individual basis.
- L. Fire hydrants shall meet the current AWWA Standard C502.

7.07.01.1 PVC Pipe (2 inch through 60 inch)

- a. PVC pipe meeting the standard set forth in AWWA C-900 (latest edition) shall be acceptable for those working pressures as designated by class. (Note that C-900 refers to 4-inch through 60-inch pipe.)
- b. The pipe shall meet all the requirements set forth in ASTM Standard D 2241, with a minimum pressure class rating of Class 200. The pipe must bear the seal of approval for potable water use and for conformance with NSF Standard 61.
- c. Provisions must be made for contraction and expansion at each joint with flexible ring gaskets made from rubber or other suitable

- material. Gasket materials shall meet the requirements established in ASTM F477.
- d. All fittings such as tees, ells, etc. using welded joints shall be factory welded and shall meet the same specifications as the welded bell section.
 - e. Lubricants shall be non-toxic, shall not promote biological growth, and shall be certified for conformance with NSF Standard 61.
 - f. Solvent cemented joints are not allowed for buried pipes.
 - g. Detection tape shall be placed along all PVC water mains.

7.07.02 System Design

The water distribution system must be designed to meet the requirements of Tift County Unified Development Code (UDC).

7.07.02.1 Minimum Pipe Size

- a. The water distribution system must be designed and the water lines sized to furnish at all times the instantaneous demand flow of water required and to maintain at all times a pressure of twenty (20) pounds per square inch at each service connection in the distribution system under all conditions of flow.
- b. The minimum size of pipe for principal water mains and for water mains where fire hydrants are to be attached shall be 6-inch diameter. Larger size mains will be required if necessary, to allow the withdrawal of the required fire flow while maintaining the minimum residual pressure of 20 psi (140 kPa).
- c. The minimum size water main shall be 2-inch in normal diameter. However, the size of water mains shall be justified by hydraulic analysis, performed by a professional engineer. The 2-inch water mains shall be considered for short cul-de-sacs and permanent dead-ends where future growth is not feasible. (Any departure from minimum requirements shall be justified by the hydraulic analysis and future water use, and can be considered only in special circumstances.)
- d. Generally, not more than 20, or the equivalent of 20, residences shall be connected to a 2-inch diameter water line, unless the main is looped or otherwise supplied from two connections with mains of adequate capacities. A looped 2-inch main shall serve no more than 40 residences, or the equivalent water demand of 40 residences. A 2-inch diameter main shall not exceed 1000 feet in length.
- e. All water mains, including those not designed to provide fire protection, shall be sized after a hydraulic analysis based on flow demands and pressure requirements has been completed.
- f. The system must be designed to maintain a minimum pressure of 20 psi (140 kPa) at ground level, each service connection and at all points in distribution system under all conditions of flow. The normal working pressure in the distribution system should be approximately 60 to 80 psi (410-550 kPa) and shall not be less than 35 psi.
- g. Wide variations in pressure above the minimum requirement of 20 psi may be inherent in the design of a distribution system but

pressures no greater than 100 psi should be delivered to the customer (unless higher pressures are requested). The 100 psi maximum pressures can be met by pressure reducing valves in vicinity of each customer's source line, or by designing the distribution system to limit the maximum pressure.

- h. All assumptions and any flow data used must be clearly documented and submitted with the hydraulic analysis. If actual flow data is not available, theoretical calculations shall be based on all storage facilities half-full and the Hazen-Williams friction factor appropriate for type of pipe being used but in no case greater than 130.
- i. Water mains and distribution systems should be sized to meet instantaneous peak demand flows. When fire protection is to be provided system design should consider the recommendations of Insurance Underwriters organization.

7.07.02.2 Dead Ends

- a. Dead ends should be minimized by making appropriate tie-ins whenever practical.
- b. Where dead-end mains occur, they shall be provided with a fire hydrant, when fire flows are available, or with an acceptable flushing hydrant or blow-off for flushing purposes. The blow-off shall be at least 2 inches in diameter but must be approximately sized to provide flushing velocities of 2.5 feet per second or greater in the water main being flushed.
- c. No flushing device shall be directly connected to any sewer nor be subjected to flooding or plugging.

7.07.03 Valve Air Relief, Meter and Blow-Off Chambers

- A. Sediment accumulations may be removed through a standard fire hydrant. In addition, compressed air and pumping may be used for dewatering mains through hydrants.
- B. At high points in water mains where air can accumulate, provisions shall be made to remove the air by means of hydrants or air relief valves. Automatic air relief valves shall not be used in areas where flooding of the manhole or chamber may occur.
- C. The open end of an air relief pipe from automatic valves shall be extended to at least one (1) foot above grade and provided with a screened, downward-facing elbow. The pipe from a manually operated valve should be extended to the top of the pit.
- D. Wherever possible, chambers, pits or manholes containing valves, blow-offs, meters, or other such appurtenances to a distribution system, shall not be located in areas subject to flowing or in areas of high groundwater. Such chambers or pits should drain to the ground surface, or to absorption pits underground. The chambers, pits and manholes shall not connect directly to any storm drain or sanitary sewer. Blow-offs shall not connect directly to any storm drain or sanitary sewer.

- E. Valves are to be placed at all intersections of water mains. Valves should be located at not more than 500 feet intervals in commercial districts and at not more than one block or 800 feet intervals in other districts. Where systems serve widely scattered customers, the valve spacing should not exceed 4000 feet.
- F. Valves shall meet the current AWWA Standards.

7.07.04 Distribution Storage

The applicable design standards of this document shall be followed for distribution storage.

- A. The purpose of system storage is to have sufficient water available to provide adequate flow and pressure at peak demand as well as to provide for fire flows when needed. For most water systems a satisfactory rule-of-thumb to meet these needs is to provide at least the average 24-hour demand in elevated storage. An engineering study should be performed to determine the system's actual elevated storage capacity needs.
- B. Pressure Variation – System pressure variation on account of changes in level of water in storage structures should be minimized. Elevated storage tanks or large diameter ground tanks located on high ground should be the usual choices. Normally, standpipes should not be considered for distribution storages, unless completely justified. The maximum variation between high and low levels in storage structures providing pressure to a distribution system should not exceed 30 feet. The minimum working pressure in the distribution system should be 20 psi and the normal working pressure should be approximately 70 to 80 psi. When static pressure exceeds 100 psi, pressure reducing devices shall be provided on mains or as part of the meter setting on individual service lines in the distribution system.
- C. Drainage – Storage structures which float on the distribution system should be designed to drain for cleaning or maintenance without necessitating loss of pressure in the distribution system. The drains should discharge to the ground surface with no direct connection to a sewer or storm drain. A nearby fire hydrant may be considered as a drain as long as service is not interrupted, and suitable erosion protection is provided.
- D. Level Controls – Adequate controls shall be provided to maintain levels in distribution system storage structures.
 - 1. Telemeter equipment should be used when pressure-type controls are employed, and any appreciable head loss occurs in the distribution system between the source and the storage structure.
 - 2. Altitude valves or equivalent controls may be required for a second and subsequent structures on the system.
 - 3. Overflow and low-level warnings or alarms should be located at places in the community where they could be under responsible surveillance on a 24-hour basis.

7.07.05 INSTALLATION OF MAINS

- A. Water lines must not be installed in contaminated areas such as sanitary landfill or dump areas.
- B. No water main or pipe shall pass through or come into contact with any part of a sewer or sewer manhole.
- C. A continuous and uniform bedding shall be provided in the trench for all buried pipe.
- D. Backfill material shall be tamped in layers around the pipe and to a sufficient height above the pipe to adequately support and protect pipe.
- E. Thrust restraint shall be provided at all points where hydraulic thrust may develop. This will include providing reaction blocking, tie rods or joints designed to prevent movement to all bends, tees, valves, plugs, hydrants and other points where thrust may develop. Additional restraints may be necessary on fusible pipe at the connection to appurtenances or transitions to different pipe materials to prevent separation of joints. The restraint may be provided in the form of an anchor ring encased in concrete or other methods as approved by the County Engineer.
- F. Whenever a state route or county-maintained road or a railroad is crossed, the agency that has jurisdiction over the road or the railroad must be notified, prior to the installation of the mains. At the crossing, a steel casing with sufficient diameter must be jacked and bored to accommodate the carrier pipe. Any free boring at low traffic county roads must conform to the applicable Tift County UDC requirements.
- G. Installation of water lines and appurtenances along highways, streets and roadways must comply with the applicable regulations of, and permits issued by, the Georgia Department of transportation and Tift County with reference to construction operations, safety, traffic control, road maintenance and repair.
- H. When non-metallic pipe is installed, detection tape or other acceptable means of detection shall be installed.
- I. Any pipe, pipe fittings, plumbing fittings or fixtures, solder, or flux used in the installation or repair of a public water system must meet the new definition of lead-free meaning: (a) not containing more than 0.2 percent lead when used with respect to solder; (b) not more than a weighted average of 0.25 percent lead when used with respect to the wetted surfaces of pipes, pipe fittings, plumbing fittings and fixtures.
- J. If soils are found to be aggressive, the water main shall be protected by encasement in polyethylene, the provision of cathodic protection (in very severe instances), or the use of corrosion resistant water main materials.

7.07.05.1 Rock Excavation

Stones found in the trench shall be removed for a depth of at least six (6) inches below the bottom of the pipe.

7.07.05.2 Cover

All distribution mains shall be provided with sufficient earth and other suitable cover to prevent freezing. This shall be not less than 24 inches measured above the top of pipe.

7.07.05.3 Hydrostatic Tests

- a. Pressure and leakage tests shall be performed in accordance with the latest edition of AWWA Standard C600.
- b. The test pressure of the installed pipe shall be a minimum 1.5 times the working pressure, but not less than 150 psi, whichever is greater.
- c. For DIP: Allowable leakage shall be no greater than as calculated in $L=SD(P)^{1/2}/133,200$ where L is allowable leakage in gallons/hour, S is the length of pipe tested in feet, D is the nominal diameter of the pipe in inches and P is the average test pressure during the leakage test in pounds per square inch (psi gauge).
- d. For PVC: Allowable leakage shall be no greater than as calculated in $L=ND(P)^{1/2}/7,400$ where L is allowable leakage in gallons/hour, N is the number of joints in the length of pipe tested, D is the nominal diameter of the pipe in inches and P is average test pressure during the leakage test in pounds per square inch (psi-gauge).

7.07.05.4 Disinfection of Newly Installed Water Mains

- a. All new water mains shall be disinfected before they are placed in or returned to service.
- b. Disinfection of the new mains and the disposal of the heavily chlorinated water, following disinfection, shall be accomplished in accordance with the latest edition of AWWA Standard C651.
- c. The “tablet” method of disinfection which consists of placing calcium hypochlorite granules or tablets in the water main as it is being installed and then filling the main with potable water when installation is complete is not allowed.
- d. Before the main is chlorinated, it shall be filled to eliminate air pockets and shall be flushed to remove particulates. A flushing velocity of not less than 2.5 feet/second is usually maintained in pipe sizes less than 24 inches in diameter. For larger diameter mains, an alternative to flushing, such as broom-sweeping of the main, is acceptable prior to chlorinating the main.
- e. During disinfection of the water mains, an appropriate cross-connection control device, consistent with the degree of hazard, shall be provided for backflow protection of the active distributions system.
- f. The quality of the water used during the disinfection procedures shall meet the required drinking water standards.
- g. The chlorine solution used for the “continuous feed” method of disinfection of water mains shall have a free chlorine residual concentration not less than 25 mg/L. This heavily chlorinated water shall be retained in the main for at least 24 hours, during which time all valves and hydrants shall be operated to ensure disinfection of the appurtenances. At the end of the 24-hour period, the treated water in all portions of the main shall have a residual of not less than 10

- mg/L free chlorine. Re-chlorinate if required results are not obtained on all samples.
- h. After the applicable retention period, the heavily chlorinated water must not be disposed in a manner that will harm the environment. Neutralizing chemicals, such as Sulfur Dioxide, Sodium Bisulfite, Sodium Sulfite or Sodium Thiosulfate can be used to neutralize the chlorine residual remaining in the water to be wasted.
 - i. Flush all lines until residual is equal to existing system. After final flushing and before the water main is placed into service, water samples shall be collected from the main and tested for microbiological quality in accordance with the Georgia Rules for Safe Drinking Water, Chapter 391-3-5. The laboratory results must show the absence of coliform organisms in the water. Reflush and re-disinfect the lines, as necessary, until satisfactory bacteriological results are obtained.

7.07.05.5 Disinfection When Cutting into or Repairing Existing Mains

- a. All water mains that are depressurized and/or wholly or partially dewatered shall be disinfected in accordance with the current AWWA C651 Standards, including swabbing with hypochlorite solution, flushing, and/or slug chlorination as appropriate.
- b. Bacteriological testing shall be performed after the repairs are complete. However, depending upon the circumstances, the water main may be returned to service prior to completion of testing to minimize the time the customers are out of service.
- c. Leaks or breaks that are repaired with clamping devices while the mains remain full of water under pressure may require no disinfection.

7.07.05.5.1 Amount of Chlorine Necessary for Disinfection

- a. Chlorine required to produce 25 mg/L concentration in 100 feet of pipe by diameter.

Pipe Diameter (inches)	100% Chlorine		1% Chlorine Solution	
	(lbs.)	(g)	(gal)	(L)
4	0.013	5.9	0.16	0.6
6	0.030	13.6	0.36	1.4
8	0.054	24.5	0.65	2.5
10	0.085	38.6	1.02	3.9
12	0.120	54.4	1.44	5.4
16	0.217	98.4	2.60	9.8

Note: 1% chlorine solution may be prepared with sodium hypochlorite (contains 5% to 15% available chlorine) or calcium hypochlorite (contains approximately 65% available chlorine by weight). To prepare 1% chlorine solution using calcium hypochlorite, add one (1) pound (454 grams) of calcium hypochlorite in approximately 8 gallons of water.

- b. Amounts and types of chemicals advised to be used for neutralizing various residual chlorine concentration in 100,000 gallons of water

Residual Chlorine Concentration Mg/L	Chemicals							
	Sulfur Dioxide (SO ₂)		Sodium Bisulfate (NaHSO ₃)		Sodium Sulfite (Na ₂ SO ₃)		Sodium Thiosulfate (Na ₂ S ₂ O ₃ ·5H ₂ O)	
	Lb.	Kg	Lb.	Kg	Lb.	Kg	Lb.	Kg
1	0.8	0.36	1.2	0.54	1.4	0.64	1.2	0.54
2	1.7	0.77	2.5	1.13	2.9	1.32	2.4	1.09
10	8.3	3.76	12.5	5.67	14.6	6.62	12.0	5.44
50	41.7	18.91	62.6	28.39	73.0	33.11	60.0	27.22

7.07.06 Separation of Water Mains (Reclaimed and Potable) and Sewers

7.07.06.0 General

The following factors should be considered in providing adequate separation:

- a. materials and type of joints for water and sewer pipes;
- b. soil conditions;
- c. service and branch connections into the water main and sewer line;
- d. compensating variations in the horizontal and vertical separations;
- e. space for repair and alterations of water and sewer pipes;
- f. off-setting of pipes around manholes; and
- g. water mains and sanitary or storm sewers shall not be laid in the same trench.

7.07.06.1 Parallel Installation

- a. Water mains shall be laid at least ten (10) feet horizontally from any existing or proposed sanitary sewer, storm sewer, septic tank, subsoil treatment system or sewer manhole. The distance shall be measured edge-to-edge.
- b. When local conditions prevent a horizontal separation of 10 feet, the water main may be laid closer to a sewer (on a case-by-case basis) provided the water main is laid in a separate trench or on an undisturbed earth shelf located on one side of the sewer at such an elevation that the bottom of the water main is at least 18 inches above the top of the sewer. It is advised that the sewer be constructed of materials and with joints that are equivalent to water main standards of construction and be pressure tested to assure water-tightness prior to backfilling.

7.07.06.2 Crossings

- a. Water mains crossing house sewers, storm sewers or sanitary sewers shall be laid to provide a minimum vertical separation of at least 18 inches between the bottom of the water main and the top of the

- sewer. At crossings, one full length of water pipe shall be located so both joints will be as far from the sewer as possible. Special structural support for the water and sewer pipes may be required.
- b. When local conditions prevent a vertical separation of 18 inches, the sewer passing over or under water mains shall be constructed of materials and with joints that are equivalent to water main standards of construction and shall be pressure tested to assure water-tightness prior to backfilling.
 - c. When water mains cross under sewers, additional measures shall be taken by providing:
 1. a vertical separation of at least 18 inches between the bottom of the sewer and the top of the water main;
 2. adequate structural support for the sewers to prevent excessive deflection of joints and settling on and breaking the water mains;
 3. that the length of water pipe be centered at the point of crossing so that the joints will be equidistant and as far as possible from the sewer; and
 4. both the sewer and the water main shall be constructed of water pipe materials and subjected to hydrostatic tests, as prescribed in this document. Encasement of the water pipe in concrete shall also be considered.
 - d. Maximum obtainable separation of reclaimed water lines and potable water lines shall be practiced. A minimum horizontal separation of three (3) feet (outside of pipe to outside of pipe) shall be maintained between reclaimed water lines and either potable water mains or sewage collection lines. A minimum of 18 inches shall be provided between the bottom of any potable water supply line and the top of the reuse line.

7.07.07 Surface Water Crossings

Surface water crossings, both over and under water, may present special concerns and should be discussed with the County Engineer before the final plans are prepared.

- A. At above water crossings, the pipe shall be adequately supported and anchored, protected from vandalism, damage and freezing, and accessible for repairs or replacement.
- B. At underwater crossings, a minimum of three (3) feet of cover shall be provided over the pipe.
- C. The installation of ductile iron pipe with restrained push-on joints and encased in concrete, may be considered with the prior approval of the County Engineer. Otherwise, when crossing water courses which are greater than 15 feet in width, only pipes of special construction, having flexible, watertight joints shall be installed.
- D. Valves shall be provided at both ends of water crossings so that the section can be isolated for testing or repair; valves shall be easily accessible and not subject to flooding.

- E. Sampling taps shall be installed at each end of the crossing, and permanent taps shall be made for testing and determining leaks.

7.07.08 Cross Connection

There shall be no physical connection between the distribution system and any pipes, pumps, hydrants, or tanks whereby unsafe water and other contaminating materials may be discharged or drawn into the system.

- A. The approval of the County Clerk shall be obtained for interconnections between potable water supplies.
- B. Neither steam condensate nor cooling water from engine jackets or other heat exchange devices shall be returned to the potable water supply.

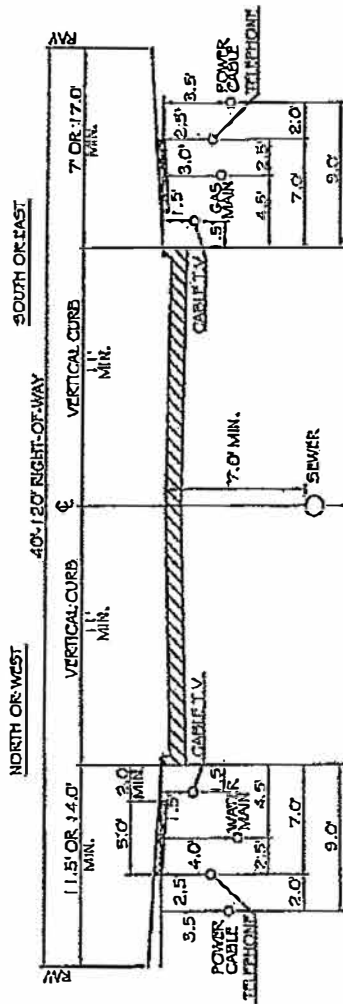
7.07.09 Water Services and Plumbing

- A. Water services and plumbing should conform to relevant local and/or state plumbing codes, or to the Standard Plumbing Code, as applicable within the jurisdiction in which the system is located.
- B. The product that is used for the service line must be listed as being certified for conformance with the NSF Standard 61.
- C. All new and existing services connected to community and non-transient noncommunity water systems shall be individually metered.
- D. Individual booster pump shall not be allowed for any individual residential service from the public water supply mains. Where permitted for other types of service, booster pumps shall be designed in accordance with AWWA standards.

7.07.10 Water Loading Stations

Water loading stations present special problems since the fill line may be used for filling both potable water vessels and other tanks or contaminated vessels. To prevent contamination of both the public supply and potable water vessels being filled, the following principles shall be met in the design of water loading stations:

- A. there shall be no backflow to the public water supply;
- B. the piping arrangement shall prevent contaminant being transferred from hauling vessel to others subsequently using the station; and
- C. hoses shall not be contaminated by contact with the ground.



- NOTES:**
1. BEFORE ANY UTILITIES IS INSTALLED, THE ENTIRE WIDTH OF THE RIGHT-OF-WAY SHALL BE ROUGH GRADED.
 2. IN GENERAL, THE DEEPEST UTILITIES SHOULD BE INSTALLED FIRST TO MINIMIZE ANY POSSIBLE INTERFERENCE WITH LATERALS OR SERVICE LINES.
 3. IN CUL-DE-SAC OR ENDROW TURNAROUNDS, THE DIMENSIONS FROM THE CURB SHALL VARY. HOWEVER, THE STANDARD UTILITY SPACING SHALL BE MAINTAINED.
 4. BACKFILL OF ALL UTILITY TRENCHES CONSTRUCTED IN THE ROADWAY SHOULDER SHALL BE RETURNED TO 90% COMPACTION.
 5. EACH UTILITY SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGE THEY CREATE TO OTHER UTILITY LINES, OR TO THE STREET IMPROVEMENTS WITHIN THE RIGHT-OF-WAY. NO UTILITY SHALL BE RESPONSIBLE FOR DAMAGES TO ANOTHER UTILITY WHICH IS LOCATED OUTSIDE THEIR ASSIGNED SPACE.
 6. ANYONE DIGGING IN THE RIGHT-OF-WAY SHALL CALL THE UTILITIES PROTECTION CENTER AT 811.
 7. ONCE THE ROAD BASE HAS BEEN PLACED, ALL FURTHER INSTALLATION OF UTILITIES UNDER THE ROADWAY SHALL BE DONE OR OTHERWISE COMPLY WITH THE STREET CUT REQUIREMENTS OF GOOT STANDARD 1401.

TYPICAL UTILITY LOCATIONS

CURB AND GUTTER

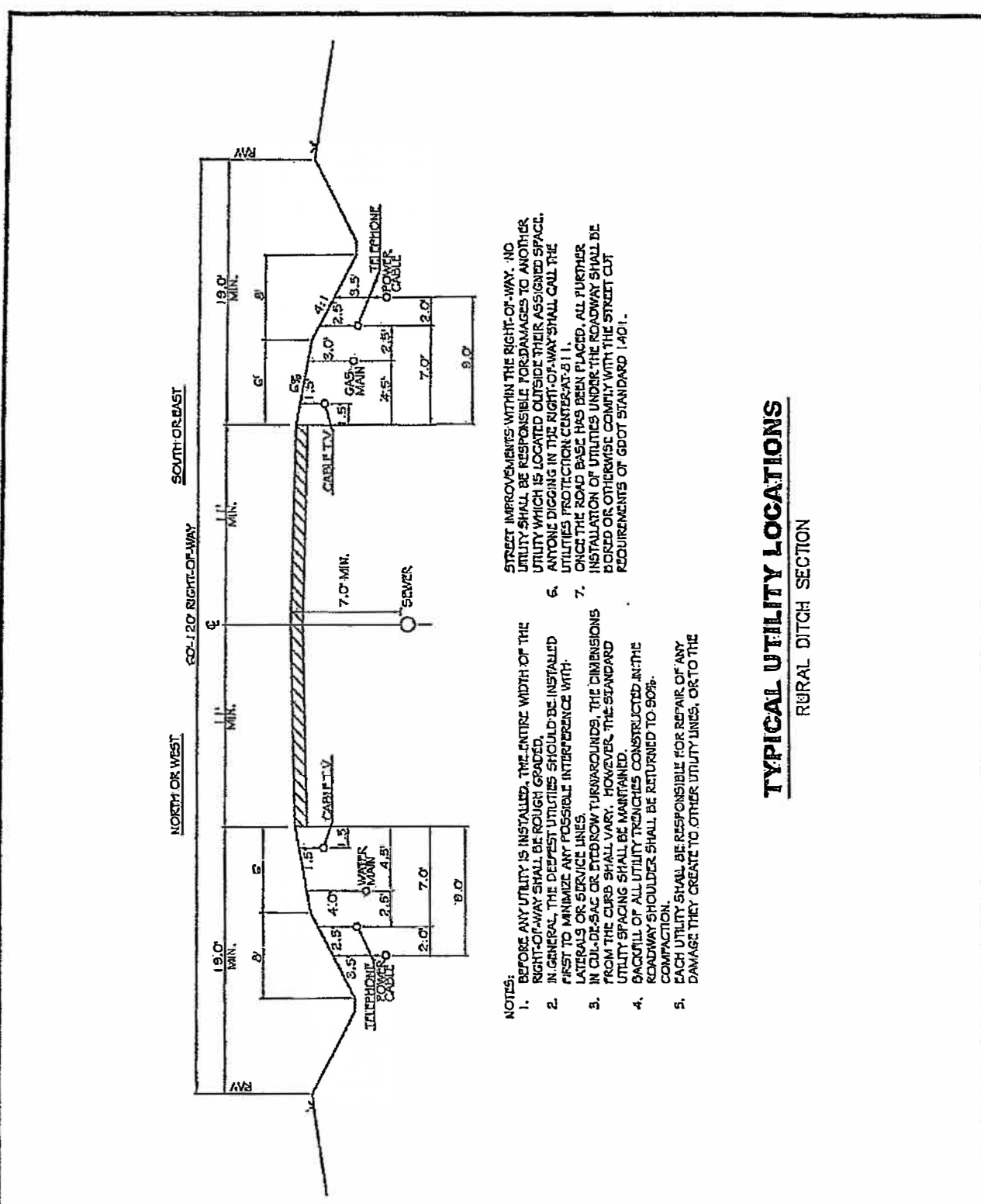


TIFT COUNTY, GEORGIA

STANDARD DETAILS
STREET AND DRAINAGE

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SCALE: N.T.S.

FIG. SD-1



NORTH OR WEST SOUTH OR EAST

60-120 RIGHT-OF-WAY

- NOTES:
1. BEFORE ANY UTILITY IS INSTALLED, THE ENTIRE WIDTH OF THE RIGHT-OF-WAY SHALL BE ROUGH GRADED.
 2. IN GENERAL, THE DEEPEST UTILITIES SHOULD BE INSTALLED FIRST TO MINIMIZE ANY POSSIBLE INTERFERENCE WITH LATERALS OR SERVICE LINES.
 3. IN CURB-SAG OR BYDROW TURNAROUNDS, THE DIMENSIONS FROM THE CURB SHALL VARY. HOWEVER, THE STANDARD UTILITY SPACING SHALL BE MAINTAINED.
 4. BACKFILL OF ALL UTILITY TRENCHES CONSTRUCTED IN THE ROADWAY SHOULDER SHALL BE RETURNED TO 90% COMPACTION.
 5. EACH UTILITY SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGE THEY CREATE TO OTHER UTILITY LINES, OR TO THE STREET IMPROVEMENTS WITHIN THE RIGHT-OF-WAY. NO UTILITY SHALL BE RESPONSIBLE FOR DAMAGES TO ANOTHER UTILITY WHICH IS LOCATED OUTSIDE THEIR ASSIGNED SPACE.
 6. ANYONE DIGGING IN THE RIGHT-OF-WAY SHALL CALL THE UTILITIES PROTECTION CENTER AT 811.
 7. ONCE THE ROAD BASE HAS BEEN PLACED, ALL FURTHER INSTALLATION OF UTILITIES UNDER THE ROADWAY SHALL BE BORED OR OTHERWISE COMPLY WITH THE STREET CUT REQUIREMENTS OF GDOT STANDARD 1401.

TYPICAL UTILITY LOCATIONS

RURAL DITCH SECTION

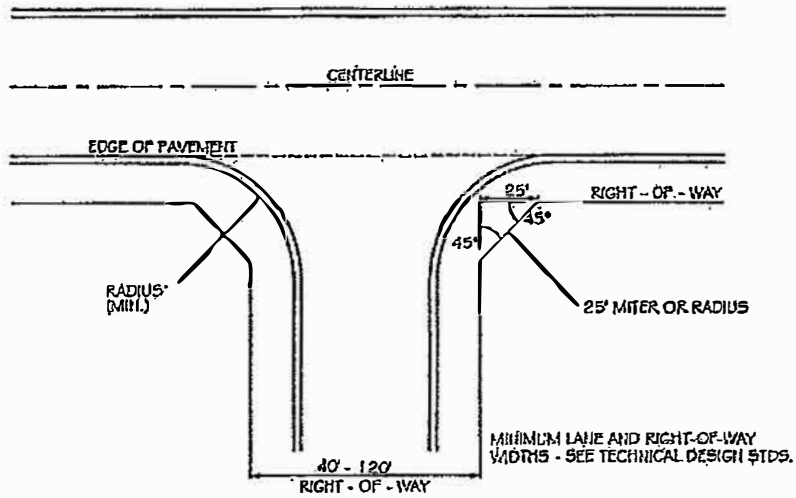


TIFT COUNTY, GEORGIA

STANDARD DETAILS
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SCALE : N.T.S.

FIG. 8D-2



NOTE:

- LARGER RADII FOR RIGHT-OF-WAY OR ROADWAY CONNECTIONS MAY BE REQUIRED FOR STREETS INTERSECTING AT ANGLES LESS THAN 90 DEGREES.

ROAD CLASSIFICATION	RADIUS (MIN.)
RESIDENTIAL	25'
COMMERCIAL	35'
INDUSTRIAL/HEAVY COMMERCIAL	50'

INTERSECTION DETAIL

N.T.S.

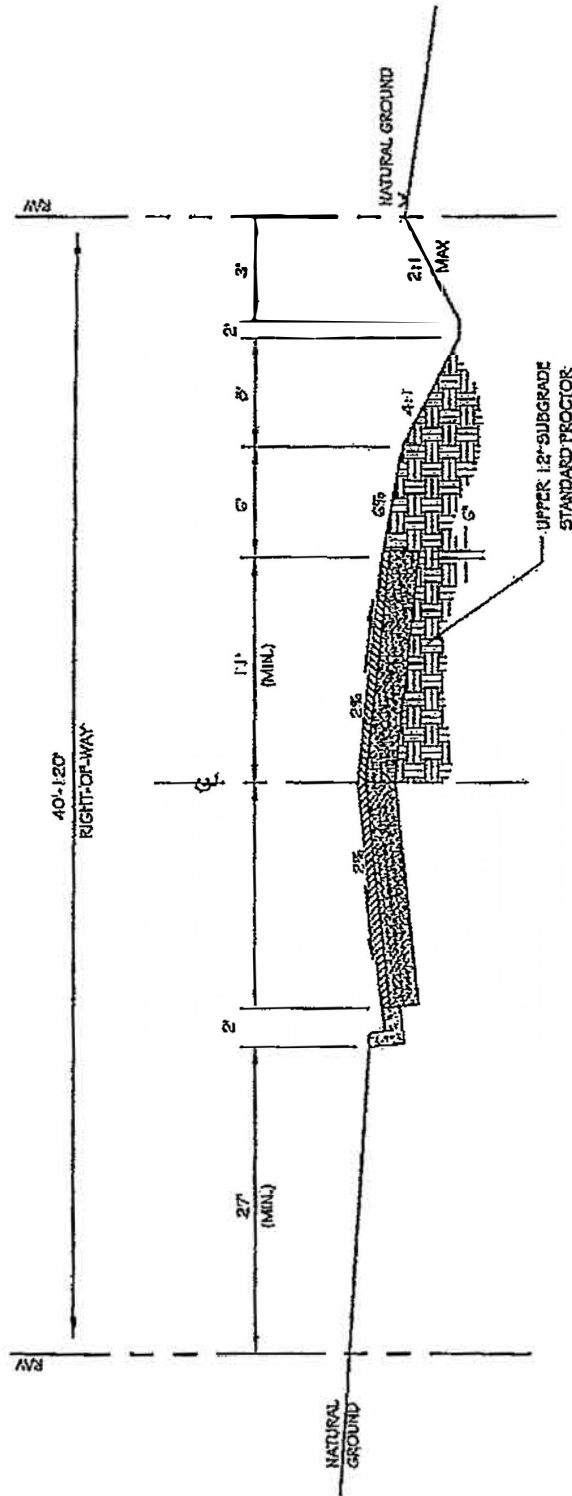


TIFT COUNTY, GEORGIA

**STANDARD DETAILS
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SCALE: N.T.S.

FIG. SD-3



- NOTE:
1. SEE ADDITIONAL TIFT CO. STANDARD DETAILS FOR TYPICAL PAVEMENT SECTION DETAILS.
 2. MINIMUM RW REQUIREMENTS ARE LISTED IN THE TIFT CO. TECHNICAL STANDARDS MANUAL.

TYPICAL ROAD SECTION
NTS

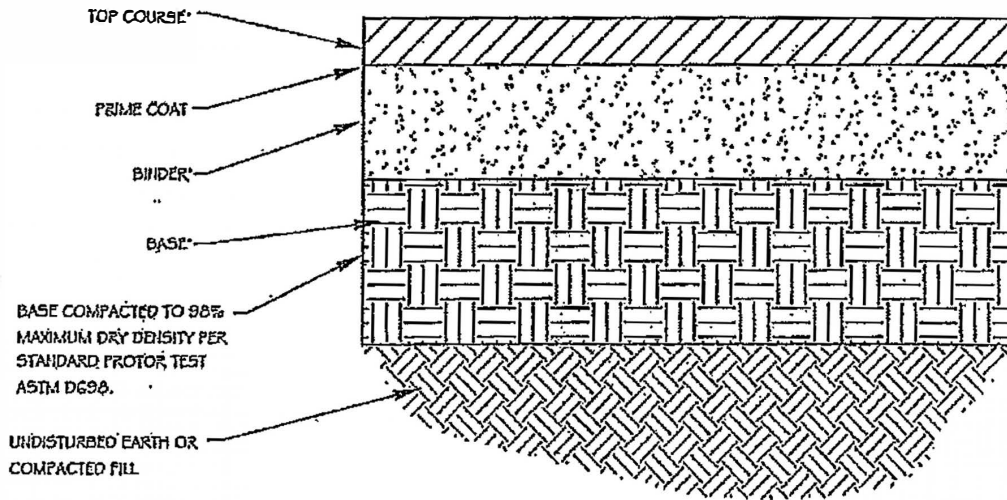


TIFT COUNTY, GEORGIA

STANDARD DETAILS
STREET AND DRAINAGE

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SCALE : N.T.S.

FIG. SD-4



NOTE:
1. SEE TECHNICAL SPECIFICATIONS FOR TOP COURSE,
BINDER AND BASE REQUIREMENTS AND STANDARDS.

TYPICAL ASPHALT PAVEMENT SECTION

N.T.S.

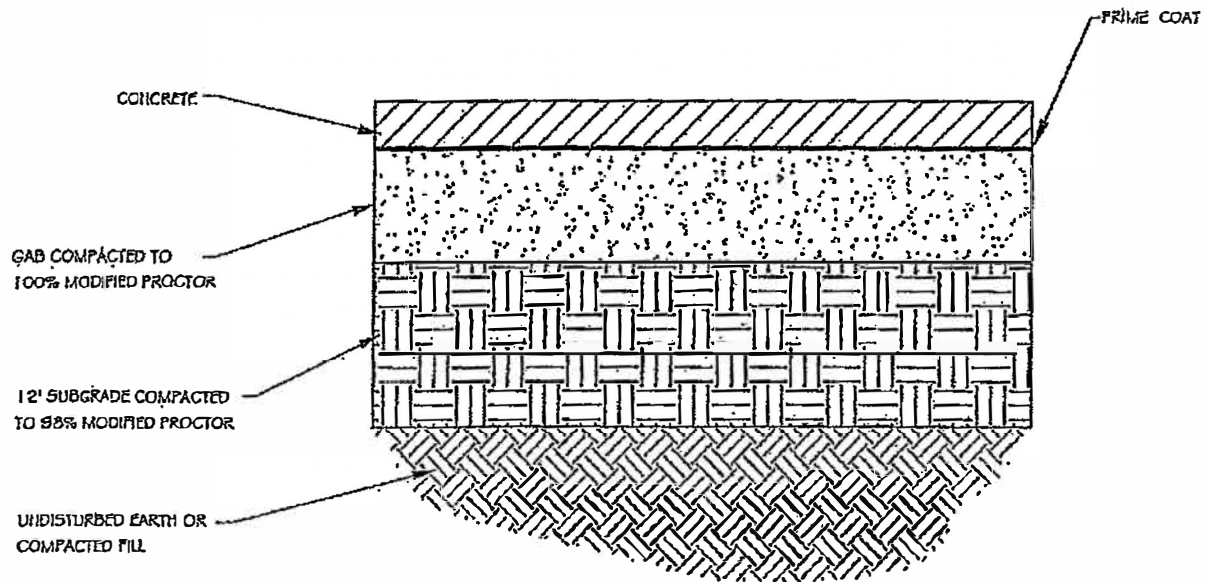


TIFT COUNTY, GEORGIA

**STANDARD DETAILS
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FIG. SD-5



ROAD CLASSIFICATION	GAB	CONCRETE
ARTERIAL/HEAVY DUTY COMMERCIAL DEV.	4'	8'
COLLECTOR/LIGHT DUTY COMMERCIAL DEV.	4'	7'

TYPICAL CONCRETE PAVEMENT SECTION
N.T.S.



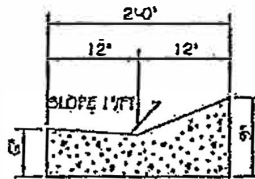
TIFT COUNTY, GEORGIA

**STANDARD DETAILS
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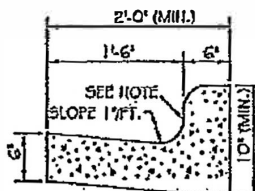
DATE: DECEMBER 2010

SCALE: N.T.S.

FIG. SD-6



**DETAIL - 24" RAISED EDGE
CURB & GUTTER**



**DETAIL - 24" L BACK
CURB & GUTTER**

NOTE: CURB FACE DESIGN SHALL
BE TYPE 1, 2, 3, OR 4 PER GDOT
STD. 9032B.

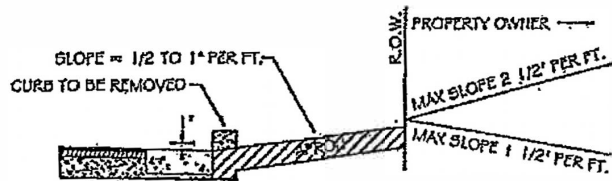


TIFT COUNTY, GEORGIA

**STANDARD DETAILS
STREET AND DRAINAGE**

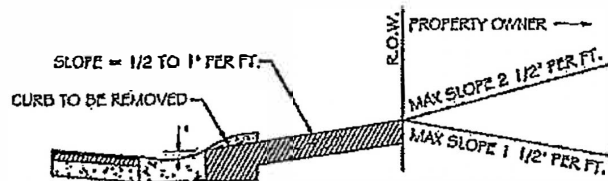
DATE: DECEMBER 2010
SCALE: N.T.S.

FIG. SD-7



L BACK CURB CUT

N.T.S.



ROLLED BACK CURB CUT

N.T.S.

NOTE: APRON TO BE CONSTRUCTED
OF 3000 PSI CONCRETE
4\"/>



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DATE: DECEMBER 2010
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FIG. SD-8

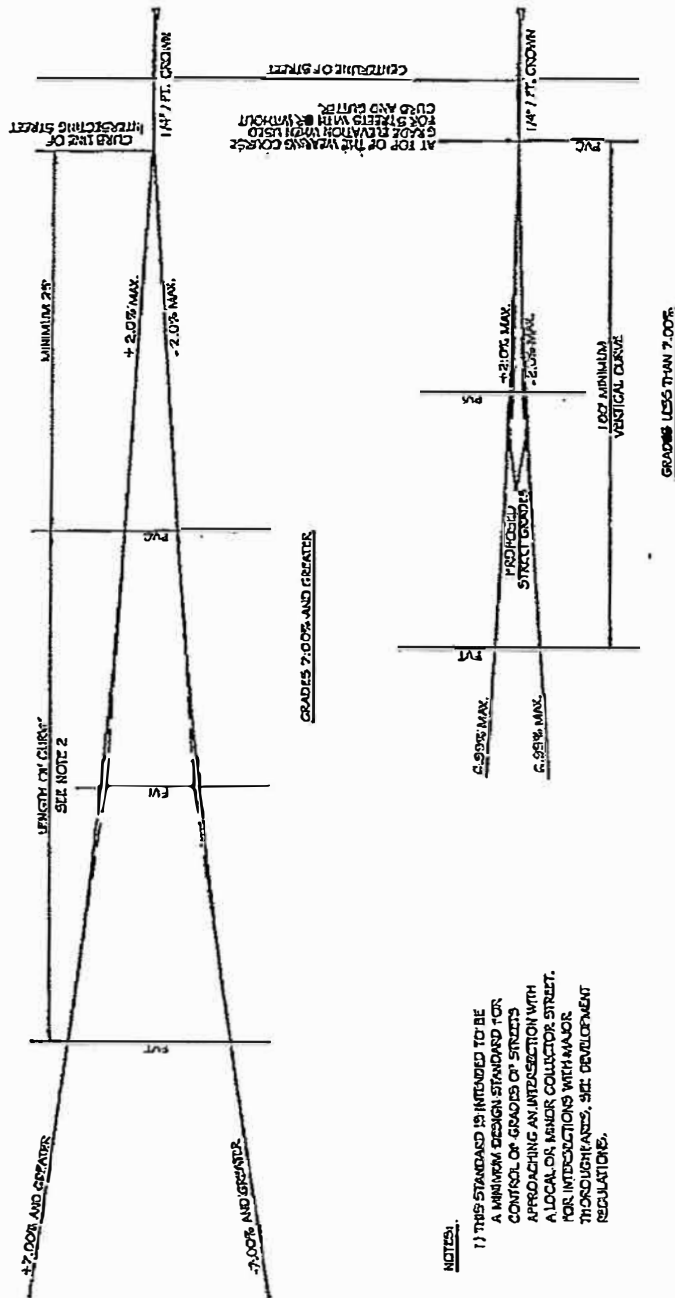


TIFT COUNTY, GEORGIA

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FIG. sp-9



INTERSECTION GRADE DETAIL

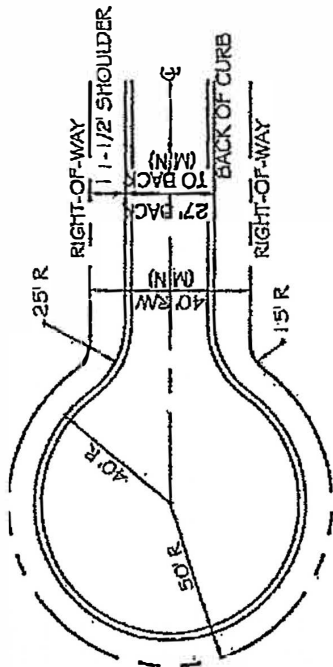
N.T.S.



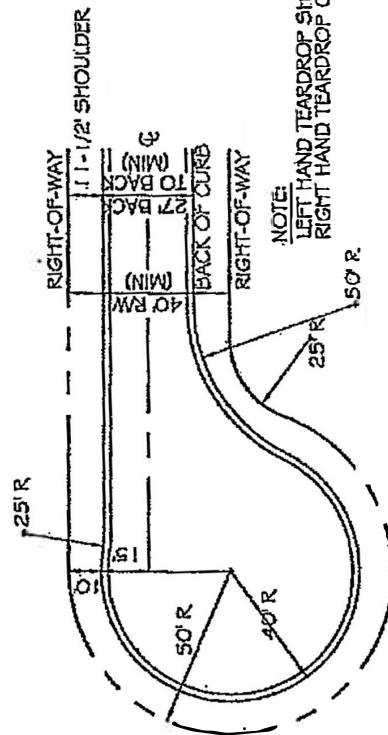
TIFT COUNTY, GEORGIA
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 SCALE: N.T.S.

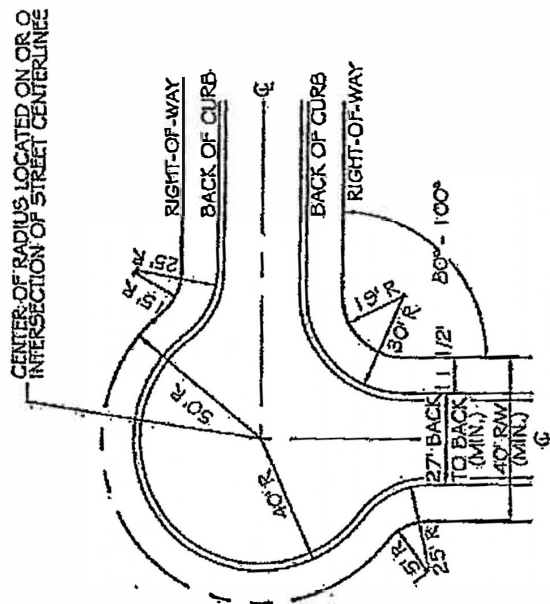
FIG. SD-10



"CENTERED" CUL-DE-SAC TURN-AROUND



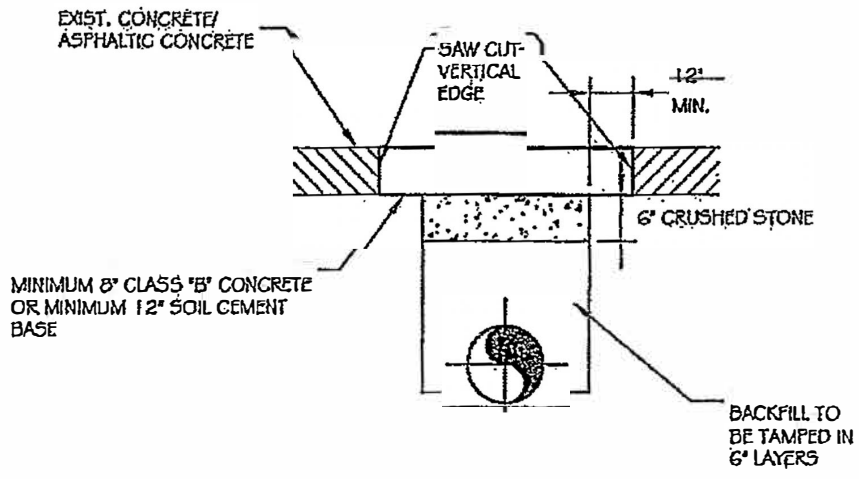
"TEARDROP" CUL-DE-SAC TURN-AROUND



"EYEBROW" TURN-AROUND
 LOCAL RESIDENTIAL STREETS ONLY

NOTE:
 ALL RADII, RIGHT-OF-WAY AND
 PAVEMENT WIDTHS SHOWN ARE
 MINIMUM VALUES

CUL-DE-SAC DETAIL
 NTS



- NOTES:
1. TRENCH DETAIL SHOWN IS GENERAL, SEE GDOT STD. 1030D FOR DETAILS REQUIRED FOR PIPE CULVERT INSTALLATIONS.
 2. TACK COAT REQUIRED WITH ASPHALTIC CONCRETE.
 3. TOP 2" TO BE REPLACED WITH SAME TYPE MATERIAL AS EXISTING SURFACE.

PAVEMENT REPLACEMENT

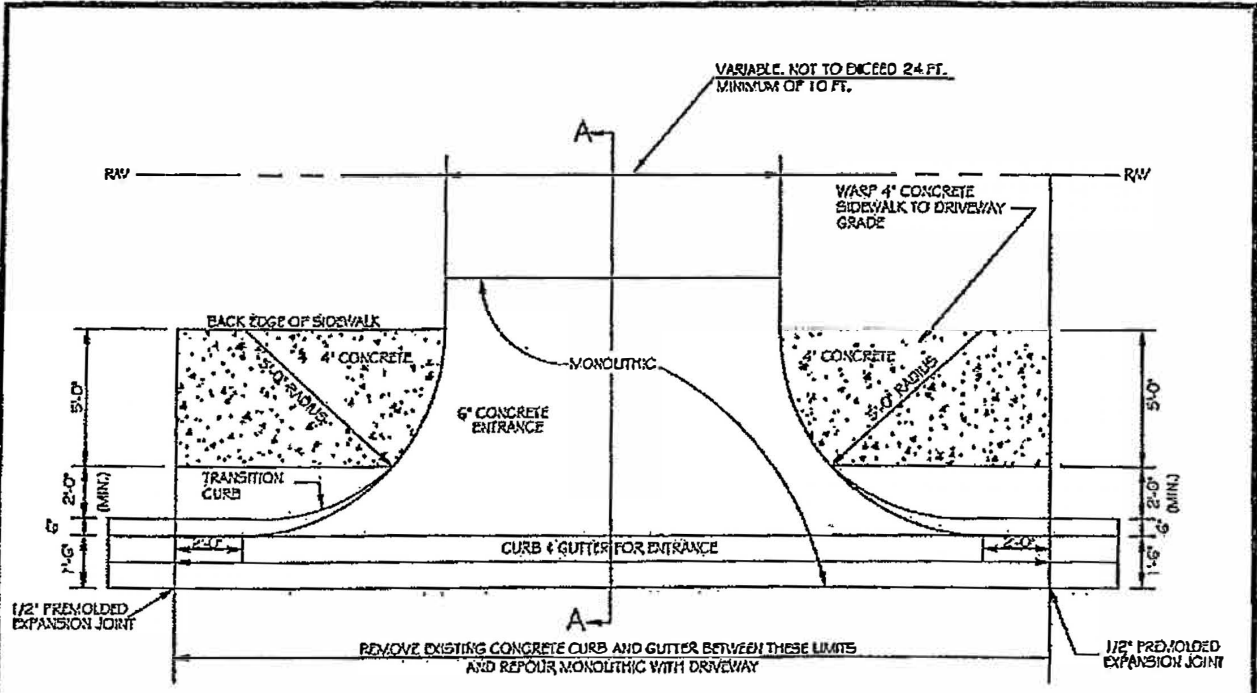


TIFT COUNTY, GEORGIA

**STANDARD DETAILS
STREET AND DRAINAGE**

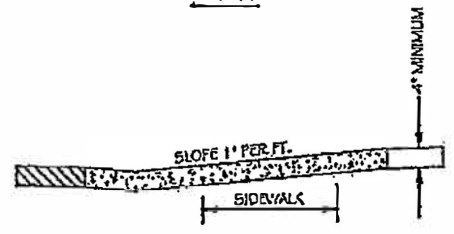
DATE : DECEMBER 2010
SCALE : N.T.S.

FIG. SD-42



ALL CONCRETE SHALL BE 3000 PSI

PLAN



SECTION A-A

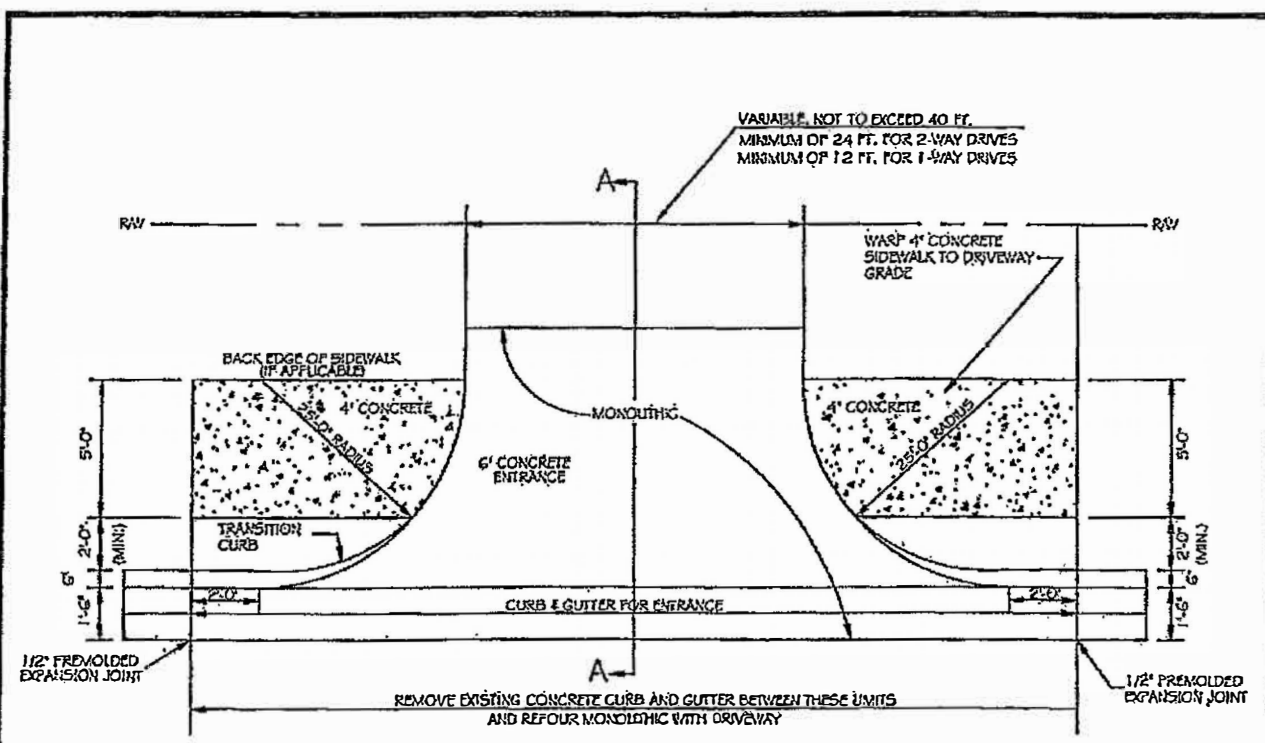
RESIDENTIAL DRIVEWAY
N.T.S.



TIFT COUNTY, GEORGIA

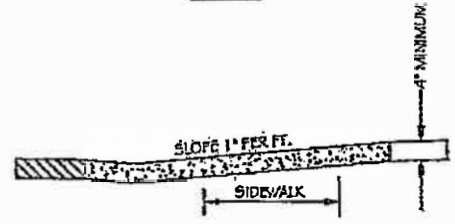
STANDARD DETAILS
STREET AND DRAINAGE

DATE: DECEMBER 2010
SCALE: N.T.S.
FIG. SD-13



ALL CONCRETE SHALL BE 3000 PSI

PLAN



SECTION A-A (IF APPLICABLE)

COMMERCIAL* DRIVEWAY
N.T.S.

* INCLUDES MANUFACTURED HOME PARKS & MULTI-FAMILY DEVELOPMENT

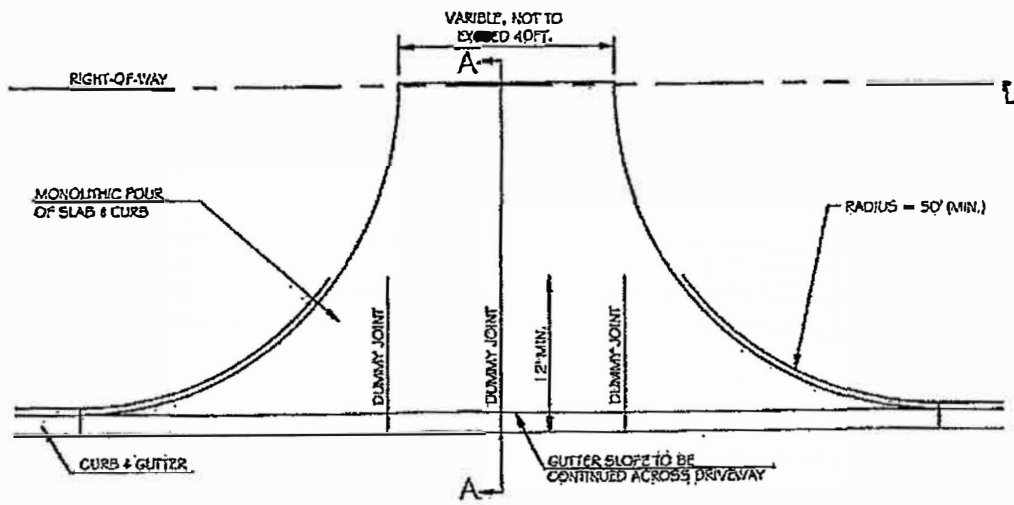


TIFT COUNTY, GEORGIA

**STANDARD DETAILS
STREET AND DRAINAGE**

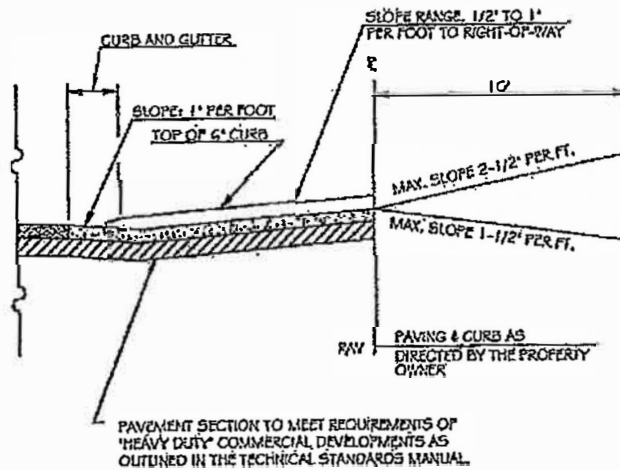
DATE: DECEMBER 2010
SCALE: N.T.S.

FIG. SD-14



ORIGINAL CURB AND GUTTER TO BE REMOVED.
ASPHALT TO BE PATCHED OR CUT AS REQUIRED.

PLAN



SECTION A-A

INDUSTRIAL DRIVEWAY

N.T.S.

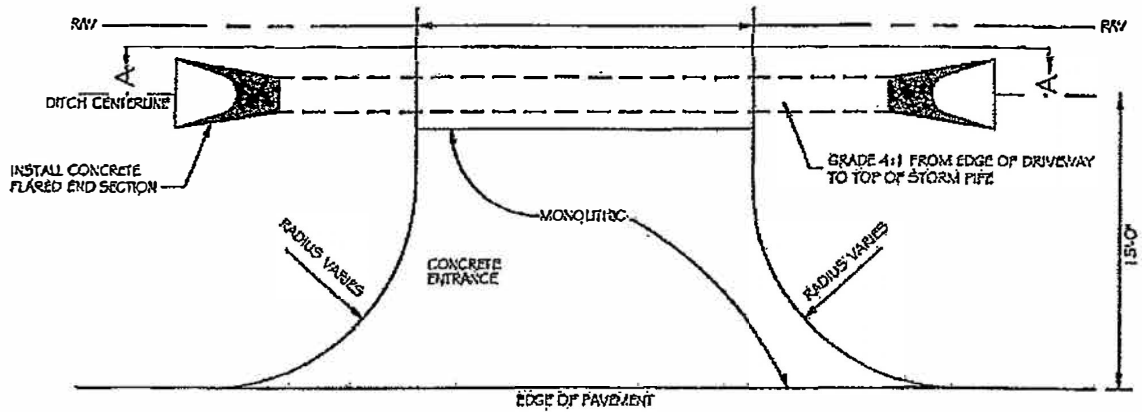


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DATE: DECEMBER 2010
SCALE: N.T.S.

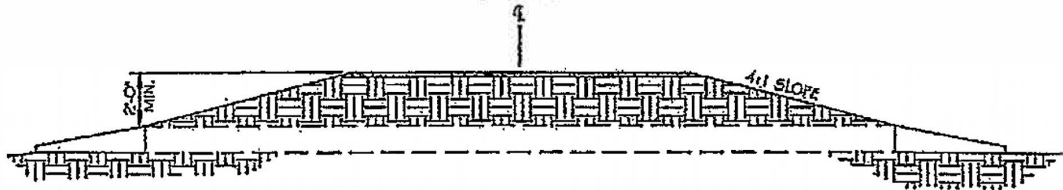
FIG. SD-15



NOTES:

1. ALL CONCRETE SHALL BE 3000 PSI.
2. STORM PIPE MIN. DIAMETER OF 15".
3. CMP PROHIBITED.
4. STORM PIPE LENGTH CALCULATED ON 4:1 SLOPE FROM EDGE OF DRIVEWAY GRADED TO DITCH.
5. SAND CEMENT BAGGED RIPRAP HEADWALLS PROHIBITED.

PLAN



SECTION A-A

DRIVEWAY PIPE

N.T.S.



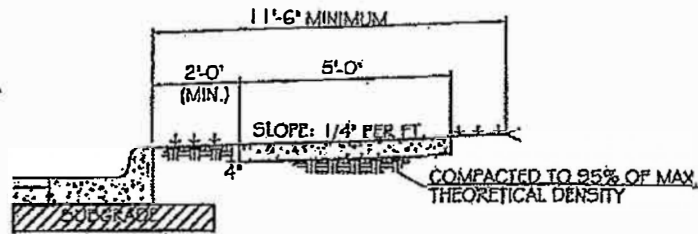
TIFT COUNTY, GEORGIA

**STANDARD DETAILS
STREET AND DRAINAGE**

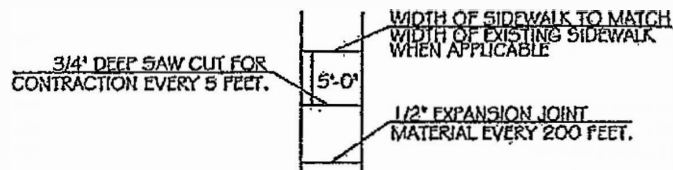
DATE: DECEMBER 2010

SCALE: N.T.S.

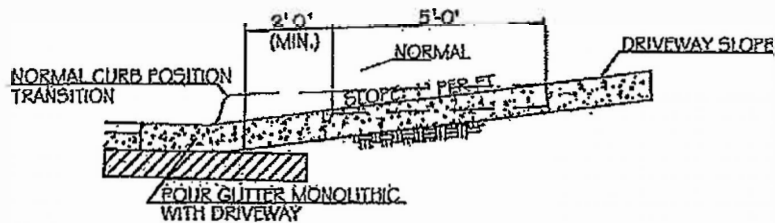
FIG. SD-16



TYPICAL SECTION OF 5' - 0" SIDEWALK



PLAN



SIDEWALK SECTION AT DRIVEWAY

NOTES:

1. SIDEWALK TO BE CONSTRUCTED OF 3000 PSI CONCRETE AT 28 DAYS.
2. SIDEWALK TO BE 4 INCHES (4") THICK (MIN.)
3. 1/2" PREMOULDED EXPANSION JOINT REQUIRED AT ALL DRIVEWAYS, CURBS, ETC.

SIDEWALKS (IF APPLICABLE)

N.T.S.



TIFT COUNTY, GEORGIA

**STANDARD DETAILS
STREET AND DRAINAGE**

**DATE : DECEMBER 2010
SCALE : N.T.S.**

FIG. SD-17

CHAPTER 8

BOARDS AND COMMISSIONS

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8.00.00 GENERALLY

The committees, boards, and commissions described in Chapter 8 are established for the purpose of implementing the provisions of the UDC. The committees, boards, and commissions described in this chapter shall have the powers and duties described necessary to achieve the purpose of this UDC.

8.01.00 STAFF DEVELOPMENT REVIEW COMMITTEE**8.01.01 Established**

The Staff Development Review Committee (SDRC) is hereby established to provide coordinated review and approval or recommendation for approval for several steps in the administration of the UDC.

8.01.02 Membership

- A. The SDRC may consist of the following members, designated by the County Manager.
 - 1. Zoning Administrator;
 - 2. Engineer;
 - 3. Planner;
 - 4. Building Official;
 - 5. Fire Chief or Fire Inspector;
 - 6. Tifton-Tift County Utilities Department;
 - 7. Tift County Director of Public Works;
 - 8. Environmental Health Representative;
 - 9. Henry Tift Meyer Airport Authority.

- B. These positions on the SDRC may be a City or County employee or a consultant under contract to the County or staff of the Southern Georgia Regional Commission under contract to the County.

- C. In addition, the County Manager, or their designees, may serve on the SDRC.

8.01.03 Meetings

The SDRC shall establish a regular meeting schedule.

8.01.04 Rules

- A. The SDRC shall adhere to the provisions of the UDC with regard to the review and approval of site development plans.

- B. The SDRC shall keep a record of its transactions, findings, and determinations, which record shall be a public record.

8.01.05 Duties, Procedures, and Responsibilities

- A. The procedures and duties of the SDRC are established in Section 10.01.04.
- B. The SDRC shall have responsibility for review and preparation of a report for applications to be submitted to the Planning Commission, ZBA, and, as applicable, the Board of Commissioners. See Chapter 10 for requirements for applications for rezoning and development approvals that are subject to SDRC review.
- C. The SDRC shall have the responsibility for recommendations on the following types of applications to be considered by the Tift County Board of Commissioners.
 - 1. Development plans;
 - 2. All subdivision plats;
 - 3. Amendments to development plans and other duties as assigned.

8.02.00 GREATER TIFT COUNTY PLANNING COMMISSION

8.02.01 Established

There is hereby established the Greater Tift County Planning Commission which shall function in accordance with the provisions of this article.

8.02.02 Membership

- A. The Greater Tift County Planning Commission shall consist of seven (7) members. The members shall be appointed as provided below;
 - 1. One (1) member shall be selected for the City of Ty Ty upon approval from the Ty Ty City Council.
 - 2. One (1) member shall be selected for the City of Omega upon approval from the Omega City Council.
 - 3. Five (5) members shall be selected for Tift County upon approval from the Tift County Board of Commissioners.

TC-TA-12-01, 08.13.12

- B. The terms of the members shall be for four (4) years. The Tift County members shall be approved by an affirmative majority vote from the Tift County Board of Commissioners. Said members shall be allowed to succeed themselves at the discretion of the respective governing authority.
- C. The respective governing authority shall have the authority to remove any member for cause on written charges. Three unexcused absences from planning commission meetings may result in removal from the planning commission.
- D. All vacancies in the membership of the planning commission which shall from time to time exist shall be filled for the unexpired term thereof by the respective governing authority which selected the member whose position shall become vacant.

- E. Limitation on service
 - 1. Members of the planning commission shall, notwithstanding their terms of office, serve at the pleasure of the governing authority which selected each such member and each member shall be subject to removal prior to the termination of his term by action of the governing authority which so selected such member.
 - 2. Upon selection and commencement of his term, each member shall serve, subject to death or resignation and subject to removal, until both the selection of and the commencement of the term of his successor.
- F. Members of the planning commission shall receive no compensation for their services except that they may be reimbursed for any out-of-pocket expenses incurred by them in direct connection with the performances of their services and duties subject to approval thereof by the governing authorities or the governing authority of the governmental entity on behalf of which the member shall function in accordance with such requirements as shall be imposed in connection therewith from time to time by resolutions of the governing authorities or of the governing authority of the governmental entity on behalf of which the member shall function.
- G. Members of the planning commission shall attend planning commission training when available and at the expense of Tift County, Ty Ty or Omega, GA, respectively.

TC-TA-12-01, 08.13.12

8.02.03 Quorum

- A. A quorum of the planning commission shall consist of 51% of regular members. Action by the planning commission shall require a majority vote of 51% and shall be binding.
- B. Decisions of the planning commission as to its recommendations on applications for action shall be rendered by majority vote of members who are present at the planning commission meeting.
- C. In the event that a quorum is not present at a planning commission meeting, the matters under consideration shall be handled as follows:
 - 1. Held for consideration at next regularly scheduled meeting of the planning commission to which public notice has been given to those entitled thereto, or, at the applicant`s request, may be forwarded to the Tift County Commissioners without a recommendation.
 - 2. If there is not a quorum at the next regularly scheduled meeting of the planning commission, only after this second attempt, the matter shall be forwarded to the governing authority without a recommendation from the planning commission.

8.02.04 Officers

- A. The planning commission shall select from among its members a chair who shall preside at meetings of the planning commission.

- B. The planning commission shall select from among its members a vice-chair who shall preside at meetings of the planning commission in the absence of the chair or the disqualification of the chair.
- C. Staff Secretary
1. The secretary of the planning commission shall be the zoning administrator or such other person or official as shall from time to time be so designated by the manager acting on behalf of the respective governing authorities.
 2. The staff secretary of the planning commission shall provide administrative assistance to the planning commission relative to matters relating to this UDC. The duties shall include;
 - a. Prepare and conduct all correspondence of the planning commission;
 - b. Receive and file all correspondence to the planning commission;
 - c. Receive and file all applications and filings to and with the planning commission;
 - d. Receive and file all transmittals to the planning commission from the zoning administrator of the governmental entity and other public officials;
 - e. Review and evaluate all applications and filings to and with the planning commission for compliance with the rules and regulations of the planning commission and notify those filing the applications and filings of any noncompliance therewith;
 - f. Schedule meetings of the planning commission in accordance with applicable law, ordinances, resolutions and the rules and regulations of the planning commission. Called meeting shall be at the discretion of the planning commission.
 - g. Prepare and maintain a calendar and docket of proposed rezoning actions before the planning commission;
 - h. Prepare and submit to the members at least forty-eight (48) hours prior to a scheduled hearing an agenda therefore as well as copies of all applications and other filings made in connection with each such proceeding;
 - i. Determine all notices to be given in connection with proceedings before the planning commission and cause such notices to be given to those entitled thereto;
 - j. Attend all meetings and hearings of the planning commission;
 - k. Cause a mechanical record to be made of all meetings and hearings of the planning commission relative to proposed rezoning actions by use of tape recorder or other appropriate device;
 - l. Cause to be retained and maintained a copy or a facsimile of all physical evidence presented in connection with proposed rezoning actions;
 - m. Prepare and maintain minutes of proceedings of the planning commission indicating therein all significant information, matters and facts pertaining thereto including specifically all motions, votes and decisions of the planning commission together with the vote of each member upon each such motion, vote and decision including

- those absent, disqualified or failing to vote thereon together with such other matters as shall be pertinent to the activities of the planning commission;
- n. Cause to be retained and maintained all minutes, records, files and notices of the planning commission;
 - o. With respect to proposed rezoning actions, maintain a written record of the name and address of all persons who shall present any evidence, testimony or opinions, make any statement at a hearing of the planning commission; and
 - p. Perform such other duties as shall be directed from time to time by the planning commission which is approved by the manager.

8.02.05 Meetings

- A. Meetings of the planning commission shall be held from time to time as necessary for the planning commission to perform its duties and responsibilities.
 - 1. Meetings to be scheduled at least once per month on a regularly scheduled day and at a regularly scheduled time and place.
 - 2. Meetings shall also be held upon call by the chair, the vice-chair in the absence or disability of the chair, or by a majority of the members.
 - 3. All meetings of the planning commission shall be open to the public and shall be held in accordance with the requirements of state law relative to open public meetings.
- B. Minutes and records
All minutes, upon approval thereof by the planning commission, and all files, dockets, calendars, physical evidence, notices and records of the planning commission which relate to matters with respect to each governmental entity shall be maintained and made available for public inspection.

8.02.06 Duties and Responsibilities

The planning commission shall:

- A. Function only in an advisory (administrative) capacity to the respective governing authorities.
- B. Subject to the direction, control and instructions of the respective governing authority of each governmental entity, conduct surveys and studies of existing conditions and probable future developments and shall develop plans for physical, social and economic growth which will best promote the public health, safety, morals, convenience, prosperity, general welfare, efficiency and economy in the development of the governmental entity involved and submit the plans to the governing authority of each governmental entity, and
- C. Subject to the direction, control and instructions of the respective governing authority of each governmental entity:

1. Develop and submit to the governing authority of each governmental entity for its consideration a master plan, and amendments thereto, for the development of each governmental entity;
2. Develop and submit to the governing authority of each governmental entity for its consideration recommendations relative to amendments to or revisions of this UDC, including zoning ordinances, zoning maps and regulations for the subdivision of land within the boundaries of each governmental entity;
3. Review proposed amendments to or revisions of the zoning ordinances and zoning maps of each of the respective governmental entities which shall be submitted by others, make findings with respect thereto, and make recommendations to the governing authority of the governmental entity involved with respect to the adoption, rejection, modification or conditional adoption of each such proposed amendment or revision;
4. Develop and submit to the governing authority of each governmental entity for its consideration official maps or plats, and amendments thereto, which designate the exact location of the boundary lines of existing, proposed, extended, widened and narrowed streets, public ways, public open spaces and public buildings and sites together with regulations and amendments thereto for the erection of buildings and other structures to be located therein; and
5. Perform such additional functions and services for and on behalf of the governmental entity as shall be authorized or directed from time to time by the governing authority thereof.

8.02.07 Rules and Regulations

The planning commission shall adopt such rules, policies, procedures and regulations which shall be consistent with the provisions of this UDC, the zoning ordinances of the governmental entities and applicable law.

8.02.08 Authority

- A. The planning commission shall have no authority or power other than as specifically provided from time to time by ordinance or resolution of the governing authorities, and
- B. Without limiting the generality of the foregoing, shall have no authority, right or power to expend any funds, to direct the activities of any employee or official of any of the governmental entities (except solely the secretaries of the commission and then only to the extent specifically authorized in this article) or to contract for or on behalf of either itself or any of the governmental entities.

8.02.09 Legal Assistance

- A. With respect to this UDC on matters relative to Tift County, the county attorney shall act as the legal advisor and representative of the planning commission and shall render such legal assistance as shall be necessary.

- B. With respect to the zoning ordinance and other land development regulations of the City of Omega, the city attorney of the City of Omega shall act as the legal advisor and representative of the planning commission and shall render such legal assistance as shall be necessary.
- C. With respect to the zoning ordinance and other land development regulations of the City of Ty Ty, the city attorney of the City of Ty Ty shall act as the legal advisor and representative of the planning commission and shall render such legal assistance as shall be necessary.

TC-TA-12-01, 08.13.12

8.02.10 Disclosures**A. Financial interest**

- 1. A member of the planning commission who:
 - a. Has a property interest in any real property affected by any proposed action pending before the planning commission;
 - b. Has a financial interest in any business entity which has a property interest in any real property affected by any proposed rezoning action pending before the planning commission; or
 - c. Has a member of the family who has any interest described in either subsection (a) or subsection (b) of this section;

shall at or prior to the initial meeting of the planning commission at which the matter is to be considered (but in no event later than immediately following the announcement of the matter for consideration by the commission) disclose the nature and extent of such interest in writing to the applicant and to the commission.

- 2. All such disclosures shall be entered into the minutes of meetings of the planning commission, shall be matters of public record of both the planning commission and the governmental entity involved, and shall be available for public inspection at any time during normal working hours.

B. Contributions

- 1. When any applicant for any proposed rezoning action has made, within two (2) years immediately preceding the filing of that applicant's application for the rezoning action, gifts having in the aggregate a value of \$250.00 or more to any Tift County elected official, it shall be the duty of the applicant or the attorney representing the applicant to disclose in writing to the planning commission:
 - a. The name of member(s) to whom the gift or gifts were made; and
 - b. An enumeration and description of each gift having a value of \$250.00 or more made by the applicant to each such member during the two (2) years immediately preceding the filing of the application for the zoning change.
- 2. The disclosures required by subsection (1) above shall be filed within ten (10) days after the application for the proposed rezoning action is first filed.

C. Relationships

1. Each member of the planning commission who shall have any business or financial relationship with any applicant or with any owner of any property proposed for rezoning action and who, due to the nature or extent of such relationship or relationships, may not be able to objectively act with respect to the proposed rezoning action shall, at or prior to the initial meeting of the planning commission at which the matter is to be considered (but in no event later than immediately following the announcement of the matter for consideration by the commission), disclose the nature and extent of such relationships to the applicant and to the planning commission.
2. All such disclosures shall be entered into the minutes of the planning commission, shall be matters of public record of both the planning commission and the governmental entity involved and shall be available for public inspection at any time during normal working hours.

D. Disqualification of members.

1. Any member of the planning commission who shall have;
 - a. A property interest, a financial interest, or a member of the family who has either a property interest or financial interest which is subject to disclosure pursuant to the provisions of this article;
 - b. Any relationship which is subject to disclosure pursuant to the provisions of this article;

may disqualify himself from participation in the consideration of the proposed rezoning action in issue or may be disqualified by vote of the planning commission as provided in subsection (2) below.

2. Any other member, the applicant and any other interested person shall each be entitled at the time of the call for consideration of the matter or at any time prior thereto to raise any issue of possible disqualification of any member whereupon, following such consideration as the planning commission shall deem appropriate, the planning commission shall determine by majority vote of those members who are not subject to potential disqualification in connection with the proposed rezoning action whether the member shall be disqualified.

8.03.00 ZONING BOARD OF APPEALS**8.03.01 Established**

There is hereby established an appeals board with the title of "Tift County Zoning Board of Appeals", hereinafter referred to as the "ZBA."

8.03.02 Membership

- A. The ZBA shall consist of five (5) members, all of whom shall be residents of Tift County.
 1. Members shall be selected by the Tift County Board of Commissioners.
 2. The term of office for each member of the ZBA shall be for five (5) years.

3. Any vacancy in the membership shall be filled for the unexpired term in the same manner as the initial appointment.
 4. A quorum shall be 51% of the regular members.
- B. Officers
1. The ZBA shall elect one (1) of its members as Chairman, who shall serve until he is re-elected or his/her successor is elected.
 2. The ZBA shall elect one (1) of its members as Vice-Chairman, who shall serve until he is reelected or his/her successor is elected.
- C. The manager/designee shall function as the secretary to the ZBA.
- D. The members of the ZBA shall receive no compensation for their service except that they may be reimbursed for out-of-pocket expenditures made in connection with their duties.
- E. The members of the ZBA may be removed for cause, upon written charges.
- F. Any member of the ZBA shall be disqualified to act upon a matter before the ZBA with respect to property in which the member has an interest.

8.03.03**Rules**

- A. The ZBA shall have the authority to adopt rules of procedure, or by-laws to govern its operation.
- B. By-laws shall not conflict with the requirements of this UDC. In the event of any conflict between the provisions of this UDC and the by-laws, the provisions of this UDC shall control.
- C. The following topics may be included in the by-laws:
1. The creation of committees;
 2. Code of conduct;
 3. Voting procedures;
 4. Scheduling of meetings;
 5. Order of business;
 6. Preparation of minutes.
- D. Meetings of the ZBA shall be scheduled monthly at a regular place and time. Called meetings shall be at the call of the Chairman and at such other times as said ZBA may determine.

The ZBA Chair shall preside over meetings, the Vice-Chair in the absence or disability of the chair.

All meetings of the ZBA shall be “Public Meetings” and shall be held in accordance with the requirements of state law relative to open public meetings.

- E. The Chairman, or in his/her absence, the Vice- Chair, may administer oaths and compel the attendance of witnesses by subpoena, as otherwise permitted by law.
- F. The ZBA shall keep minutes of its proceedings, showing the vote of each member upon each question, or if absent or failing to vote, indicating such fact, and shall keep records of its examinations and other official actions, all of which shall be immediately filed in the office of the Manager and shall be a public record.
- G. The decisions of the ZBA shall be by majority vote (51%) which shall be recorded into the minutes of the meeting.
- H. No appeal to the ZBA requesting the same relief in regard to the same property shall be received or heard by the ZBA for a period of twelve (12) months following the date of said resolution, except that this limitation shall not affect the right of said ZBA to grant a rehearing as provided in the rules of procedure adopted by said ZBA.

8.03.04 Administrative Procedures

- A. The procedures and duties of the ZBA are established in Chapter 9, Variances and Chapter 10, Appeals.
- B. The ZBA shall have responsibility for final decision on the following types of applications;
 - 1. Extension of nonconforming residential uses;
 - 2. Variances;
 - 3. Appeal of administrative decisions;
 - 4. Rural Farm Homesteads;
 - 5. Security Worker Housing.
- C. The Manager shall provide such technical, administrative, and clerical assistance and office or meeting space as is required by the ZBA to carry out its function under the provisions of these regulations.
- D. All applications submitted for variances and appeals under the provisions of the UDC shall be processed by the Manager/designee which may include a staff recommendation.

8.04.00 TIFT COUNTY AIRPORT AUTHORITY

8.04.01 Established

There is hereby established an airport authority with the title of "Tift County Airport Authority", hereinafter referred to as the "TCAA."

CHAPTER 9

VARIATIONS

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9.00.00 GENERALLY

The purpose of this chapter is to provide mechanisms for obtaining relief from the provisions of this UDC. There are several ways that potential relief from hardship is addressed. Section 9.01.00 addresses relief through requirements regarding nonconforming development. Section 9.02.00 addresses relief through the grant of a variance in a particular situation due to the characteristics of the land to be developed based on the required site design standards. Section 9.03.00 addresses relief through the grant of an administrative waiver in specific situations. Section 9.04.00 addresses relief through recognition of vested rights regarding use and/or design.

9.00.00 NONCONFORMING LOTS, STRUCTURES, AND USES**9.00.01 Generally**

- A. Within the zoning and overlay districts established by this UDC there may exist lots, structures, or uses of land which were lawfully established before this UDC was adopted but which do not comply with the requirements set forth in this UDC.
- B. Any nonconformity created by a change in district boundaries or UDC regulations after the date of passage of this UDC shall also be governed by the provisions of this section.
- C. It is the intent of Section 9.01.00 to allow these nonconformities to continue until they are removed or discontinued. It is further the intent of this section that nonconformities shall not be enlarged upon, expanded or extended, nor be used as grounds for adding structures or uses prohibited elsewhere in the same district.
- D. Nonconforming uses are declared to be incompatible with permitted uses in the district where the nonconforming use is located.
- E. Nothing in Section 9.01.01 shall be construed to prevent the ordinary and routine maintenance and repair of nonconforming structures or structures which contain nonconforming uses provided that:
 - 1. Repairs do not exceed ten (50) percent of the current fair market value of the nonconforming portion of the structure during any period of twelve (12) consecutive months; and
 - 2. The Square footage of the structure is not increased.
- F. A structure damaged or destroyed by any means to an extent of more than seventy- five (75) percent of its fair market value at time of destruction shall be reconstructed only in conformity with the provisions of this UDC.
- G. Fair market value, where required, shall be determined by reference to current statutory provisions pertaining to the valuation of real property for ad valorem tax purposes.
- H. A structure that is damaged to an extent less than seventy-five (75) percent of the fair market value may be restored and occupied as before the damage, provided the following standards are met:

1. Restoration shall be commenced within six (6) calendar months from the date damages were incurred.
 2. If reconstruction is not commenced within six (6) months, the reconstruction and use of the land or structure shall thereafter conform to the provisions of this UDC.
- I. A nonconforming structure or a structure containing a nonconforming use that is declared by the Manager to be physically unsafe or unlawful due to lack of repairs and maintenance shall not thereafter be restored, repaired, or rebuilt except in conformity with the regulations of the zoning district in which it is located.

9.00.02 Nonconforming Lots of Record

Any lot for which a plat or legal description has been recorded in the office of the clerk of the Superior Court of Tift County at the time of passage of this UDC which fails to comply with the dimensional requirements for the district in which it is located shall be recognized as a nonconforming lot of record and may, if vacant, be used for any of the uses permitted within the district by this UDC or, if occupied by a structure containing a conforming use, may have the structure improved, enlarged or extended; provided, that in either case:

- A. Minimum requirements of the district for front, side, and rear yard, height, and floor area shall be complied with.
- B. A lot to be used for duplexes, multifamily dwellings, residential group development projects, or mobile homes, when allowed within the district, only if the lot meets the minimum lot area requirements for those uses in the district.

9.00.03 Nonconforming Uses of Structures

Nonconforming uses consist of structures used, at the time of passage of this UDC, for purposes not permitted in the district in which they are located. In addition to the other requirements of this UDC, nonconforming uses of structures shall be governed by the following restrictions:

- A. An existing nonconforming use of a structure may be changed to another nonconforming use that is similar in its operation and effect on surrounding properties or may be changed to a conforming use.
- B. An existing nonconforming use of a structure shall not be changed to another nonconforming use that generates more automobile or truck traffic, creates more noise, vibration, smoke, dust or fumes, is a more intensive use of structures than the existing nonconforming use, and is in any way a greater nuisance to the adjoining properties than the existing nonconforming use.
- C. A nonconforming use of a structure shall not be extended or enlarged except into portions of the structure which at the time the use became nonconforming were already erected and arranged or designed for such nonconforming use. No structural alterations shall be made in any structure occupied by a nonconforming use, which would in any way increase the floor space, area, or volume of space occupied by the use.

- D. When any nonconforming use of a structure is discontinued for a period in excess of six (6) months, all future use of the structure shall be limited to those uses permitted in that district under the provisions of this UDC. Vacancy and/or nonuse of the building, regardless of the intent of the owner or tenant, shall constitute discontinuance under this provision.

9.00.04 Nonconforming Uses of Land

Nonconforming uses consisting of lots used for storage yards, used car lots, auto wrecking, junk yards, golf driving ranges, miniature golf, mobile home parks and similar open uses where the only buildings on the lot are incidental and accessory to the use of the lot and where such use of the land is not permitted under this UDC in the district in which it is located shall be governed by the following restrictions in addition to the other requirements in this UDC:

- A. When a nonconforming use of land has been changed to a conforming use, it shall not thereafter be used for any nonconforming use.
- B. Nonconforming uses of land shall not be changed to any but conforming uses.
- C. A nonconforming use of land shall not be enlarged to cover more land than was occupied by that use when it became nonconforming.
- D. When any nonconforming use of land is discontinued for a period in excess of six (6) months, any future use of the land shall be limited to those uses permitted in that district under the provisions of this UDC. Vacancy and/or nonuse of the land, regardless of the intent of the owner or tenant, shall constitute discontinuance under this provision.

9.00.05 Termination of Detrimental Nonconforming Structures and Uses

- A. Reserved

9.00.06 Regulation of Nonconforming Signs

- A. The following provisions shall apply to signs which were conforming immediately prior to the adoption of this UDC, but which became nonconforming at the time of adoption of this UDC.
- B. Nonconforming signs may stay in place until one (1) of the following conditions occurs:
 - 1. The sign deteriorates or is damaged to the extent that it becomes a hazard; or
 - 2. The sign has been damaged to such an extent that structural repairs are required to restore the sign. A structural repair is any repair necessary only to maintain the stability and safety of the sign.
- C. Nonconforming signs shall be allowed to continue, except as provided in Section 5.04.00, and as follows:

1. A nonconforming sign shall not be replaced by another nonconforming sign except that the substitution or interchange of poster panels, painted boards, or removable materials on nonconforming signs shall be permitted.
 2. Nonconforming signs shall not be replaced, expanded or enlarged; although activities associated with normal maintenance and repair may be performed without violating this ordinance.
 3. Minor repairs and maintenance of nonconforming signs such as repainting, electrical repairs, neon tubing repairs shall be permitted. However, no changes in the size or shape of a sign shall be permitted except to make the sign comply with the requirements of this UDC.
 4. New on-site signs related to legally established nonconforming uses may be erected provided they comply with the sign regulations applicable to the use in the most restrictive district in which the use is permitted.
 5. A nonconforming sign damaged by fire or other causes to the extent of more than fifty (50) percent of its fair market value shall not be repaired or rebuilt except in compliance with the standards for the type and location of sign.
 6. A nonconforming sign damaged by fire or other causes to the extent of more than fifty (50) percent of its fair market value which is not repaired or rebuilt in compliance with this section shall be removed from the lot, along with all associated debris, and disposed of appropriately, which shall be the owner's responsibility.
- D. Nonconforming signs along interstate highways shall be governed by State law.

9.01.00 VARIANCES

9.01.01 Generally

- A. The Zoning Board of Appeals (ZBA) may authorize upon request in specific cases such variance from the terms of this UDC as will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of the UDC will, in an individual case, result in unnecessary hardship.
- B. A variance shall be authorized only so that the spirit of this UDC shall be observed, public safety and welfare secured, and substantial justice done.
- C. A variance shall not be granted for a use of land or structures that is prohibited by this UDC in the district in question. Such requests shall be filed as requests for rezoning, the authority for such rezoning of property being solely reserved for the governing authority.

9.01.02 Types of Variances

A request for a variance shall be limited to the following dimensional standards: maximum building height; minimum lot width, minimum road frontage; required spacing for driveways; minimum front, side, or rear yard setbacks; or dimensional standards for lot size, # of parking or loading spaces & Rural Farm Homestead.

9.01.03 Requirements for Variances

A variance may be granted upon a finding by the ZBA that all the following conditions have been met:

- A. There are extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape, or topography;
- B. Such conditions are peculiar to the particular piece of property involved;
- C. The application of this UDC to this particular piece of property would create an unnecessary hardship;
- D. Relief, if granted, will not cause substantial detriment to the public good or impair the purposes and intent of this UDC;
- E. A literal interpretation of the provisions of this UDC would deprive the applicant of rights commonly enjoyed by other properties of the zoning district in which the property is located;
- F. Granting the variance requested will not confer upon the property of the applicant any special privileges that are denied to other properties of the zoning district in which the applicant's property is located;
- G. The requested variance will be in harmony with the purpose and intent of this UDC and will not be incompatible with the neighborhood or to the general public welfare;
- H. The special circumstances are not the result of the actions of the applicant;
- I. The variance requested is the minimum variance that will make possible the legal use of the land or structure; and
- J. The variance is not a request to permit a use of land or structures which are not permitted by right in the zoning district involved.

9.01.04 Prohibited Considerations

In exercising the above powers, the ZBA shall not consider the following as grounds for the issuance of a variance:

- A. Any permitted use of land or structures in other districts.
- B. Economic or financial hardship alone shall not be sufficient to support the issuance of a variance.

9.01.05 Procedures for Variances**A. Applications**

1. An application for a variance shall include the information required for all applications, as set forth in Chapter 10.
2. An application for a variance shall include a statement explaining how the variance request conforms to all requirements listed in Section 9.02.03.

B. Review of applications

1. An application for a variance shall be reviewed by the Manager / Designee for compliance with the requirements set forth in Chapter 10.
2. A public hearing shall be scheduled before the ZBA.
3. Notice of the public hearing shall be provided pursuant to the requirements of Chapter 10.
4. The ZBA shall conduct the public hearing in accordance with the procedures set forth in Chapter 10.
5. The ZBA shall approve, deny, or approve with conditions the application for variance, based upon findings regarding conditions set forth in Section 9.02.03.
6. The Manager/ Designee shall send a letter to the applicant when the variance is approved, approved with conditions or denied, by the ZBA.

C. Expiration of variance approval

Any variance authorized by the ZBA, for which construction has not commenced within one (1) year from the date on which the decision of the ZBA becomes final, shall be deemed abandoned and be void and of no further force and effect.

9.01.06 Appeal of ZBA Action

Any person aggrieved by the decision of the Zoning Board of Appeals may appeal to the Tift County Superior Court.

9.02.00 ADMINISTRATIVE VARIANCE**9.02.01 Authority and Limitations**

The Manager/Designee is authorized to reduce specific site design and development standards of this UDC where the intent of the UDC can be achieved and equal performance obtained by granting a variance from the standards. The grant of a variance shall include a recommendation from the SDRC. The authority to grant a variance shall be limited to the following:

- A. A reduction in the minimum front, side, or rear yard setbacks for a single lot, provided the following standards are met:
 1. The reduction is necessary in order to implement landscaping, buffer, and tree protection standards of this UDC; and
 2. The reduction is limited to a maximum of twenty (20) percent of the minimum standard.

- B. A reduction in the parking requirement, provided the following standards are met:
 - 1. The reduction is necessary in order to implement landscaping, buffer, and tree protection standards of this UDC; and
 - 2. The reduction is limited to either one (1) space or two (2) percent of the parking requirement, whichever is more; and
 - 3. The reduction does not limit the availability or location of required handicapped parking.

- C. A reduction in landscaping or buffer requirements, provided the following standards are met:
 - 1. The reduction is necessary due to particular physical conditions of the property, such as the shape of the lot, topography, presence of bodies of water, or other natural features;
 - 2. The reduction is limited to ten (10) percent of the otherwise required width of the buffer; and
 - 3. The reduction is limited to ten (10) percent of the otherwise required plant materials.

- D. A modification to the requirements for sign provisions, provided the following standards are met:
 - 1. The modification is necessary due to particular physical conditions of the property, such as the shape of the lot, topography, presence of bodies of water, or other natural features;
 - 2. The modification is limited to ten (10) percent of the otherwise required sign provisions.

9.02.02 Annual Report Required

An annual report shall be prepared by the Manager and shall summarize the number and type of administrative waivers granted in the previous year. Annual reports shall be forwarded to the Mayor and City Council and the Board of Commissioners.

9.03.00 VESTED RIGHTS

The purpose of this section is to provide a method to recognize vested rights and developments or projects in progress that were authorized prior to the adoption of this UDC.

9.03.01 Time Period and Applicability

- A. Within one (1) year from the original date of adoption of this UDC or the date that an amendment to the UDC is passed affecting vested rights or creating a substantial and unreasonable conflict with a development work-in-progress, the affected party may apply for relief.

- B. Any project that constitutes a public nuisance and/or any project presenting a danger to the public health, safety, and welfare of the residents of Tift County shall not qualify for consideration.

9.03.02 Applications

The affected party shall submit an application which shall include evidence that demonstrates entitlement to vested rights pursuant to applicable State law. The following information shall be provided:

- A. Citation of the specific section(s) of the UDC that affect the development of the property.
- B. Identification of the exact dates that specific ordinances or amendments to the UDC were passed by the Board of Commissioners.
- C. All complete applications provided for under this section shall be submitted not later than the one (1) year anniversary date of the adopted UDC or amendments to the UDC.

9.03.02 Procedures

- A. Complete applications shall be submitted to the Manager.
- B. Requests for a determination of vested rights shall be heard at a public hearing before the Board of Commissioners or City Council, as appropriate.
- C. Public notice shall be provided according to the procedures set forth in Section 10.03.00.

9.03.04 Expiration of Approval

An approval for a work-in-progress shall automatically expire in one (1) year where no additional development activity is evident and/or a building permit has not been obtained. Any further work on the site shall require an application for a development plan in full compliance with the standards and procedures of this UDC.

CHAPTER 10

ADMINISTRATIVE PROVISIONS

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10.00.00 GENERALLY

10.00.01 Purpose

This chapter sets forth the procedures for receiving, reviewing, and rendering decisions on applications for development, including all residential and nonresidential development and planned developments, as well as applications for rezoning, and all types of permits. This chapter also sets forth the requirements for appealing decisions and enforcement. It is the County’s intent that the procedures and requirements set forth in this UDC shall be followed in order to seek approval for any development.

10.00.02 Qualifications for Preparation of Plans

A. NPDES Permitting

All persons involved in land development design, review, permitting, construction, monitoring, or inspection or any land-disturbing activity with regard to NPDES permitting shall meet the education and training certification requirements as developed by the State Soil and Water Conservation Commission pursuant to the Georgia Erosion and Sedimentation Act of 1975, as amended.

B. Professional engineer or consultant required

Should certain design calculations be required to resolve flow problems, possible erosion or drainage problems, or other detailed design problems which might be encountered in the process of preparing the required improvement plan, the Manager shall be authorized to require the services of a professional engineer in the improvement plan design process. Should such services be required, such plans shall reflect the applicable state registration. All professional surveying or engineering service costs shall be the sole responsibility of the applicant.

10.00.03 Approvals Required

A. Subdivision Plat Required

1. Platting Review Required

- a. All plats of subdivision of land within Tift County shall not be recorded in the office of the Clerk of Tift Superior Court unless it has been approved per the provisions of the chapter.
- b. The filing or recording of a plat of a subdivision without the approval of the appropriate reviewing bodies and/or authorities as required by this UDC is declared to be a violation.
- c. No approval shall be required if no subdivision of land is anticipated, no new streets or roads are created or no new utility improvements are required or no new sanitary sewer or approval of a septic tank is required plat.

2. Use of Plat
The transfer of, sale of, agreement to sell, or negotiation to sell land by reference to, exhibition of, or other use of a plat of a subdivision that has not been given final approval by the reviewing bodies and recorded in the office of the clerk of the Superior Court of Tift County is prohibited, and the description by metes and bounds in such an instrument of transfer or other document shall not exempt the transaction from prescribed penalties.
 3. Opening and Improving Public Streets
The governing authorities shall not accept, lay-out, open, improve, grade, pave, or light any street, or lay any utility lines in any street, which has not attained the status of a public street prior to the effective date of this UDC, unless such street corresponds to the street location shown on an approved subdivision plat or the Major Thoroughfare Plan; provided that the governing authority may accept, lay out, open, and improve any street not so platted if it first submits such proposed action to the Planning Commission for its review and comment. Developers of subdivisions will be solely responsible for acquiring all rights-of-ways so that in the event Tift County needs to perform maintenance, rights-of-ways will be in place.
 4. Issuance of Building Permits
A building permit will not be issued for a parcel of land, lot, tract, or building site subject to this UDC unless the parcel is a lot of record for Tift County.
- B. Building Permit Required
A building permit, or a sign permit in case of a sign, is required in advance of the initiation of construction, erection, moving, demolition, or alteration of any building or structure or sign. No building or sign permit shall be issued except in conformity with the provisions of this UDC; however, permits issued before the adoption of this UDC shall remain valid according to the requirements in place at the time of issuance, provided.
- C. Site Development Plan Required
1. A site development plan is required for approval of all single-family residential development, all multi-family residential development, and all non-residential development. Multi-family residential development means any development with three (3) or more dwelling units per building.
 2. The development plan must demonstrate compliance with all design standards required for development in the zoning district in which the use is proposed.
- D. Land Disturbance Permit Required
1. No person shall conduct any land-disturbing activity without first obtaining a permit from the reviewing bodies to perform such activity, see Section 3.01.01.
 2. Maintenance of all soil erosion and sedimentation control practices, whether temporary or permanent, shall be at all times the responsibility of the property owner as well as the developer and any other parties designated for design or development work on the property by the property owner.

- E. Certificate of Occupancy or Completion Required
A certificate of occupancy or completion issued is required in advance of occupancy or use of:
1. A building hereafter erected.
 2. Any building or premises where a change in the type of occupancy classification will occur.
- F. Major Changes to Approved Site Development Plan
Major changes to an approved development plan, as defined below, shall require specific approval of an amended development plan.
1. Altering the amount and velocity of stormwater runoff from the site;
 2. Increasing the amount of impervious surface by more than 10 percent within the development;
 3. Altering the overall density of development; or
 4. Increasing the amount of excavation, fill, or removal of vegetation during construction.
- G. Exempt Situations
The following situations are exempt from the requirement to obtain an approved project development plan prior to the issuance of required permits:
1. Repairs to a facility that is part of a previously approved and permitted development;
 2. Accessory structures, provided applicable permits are obtained;
 3. Farm-related development on a bona fide farm as defined in Section 1.09.02; and
 4. Single-family detached homes constructed within an approved, platted, and recorded subdivision. Single family detached homes on lots of record that are not part of a project development plan are also exempt.

10.00.04 Expiration of Approvals

- A. Land Disturbance Permit
If construction described in a land disturbance permit has not commenced within six (6) months from the date of issuance of the permit, the permit shall expire. If construction described in a land disturbance permit is suspended or abandoned after work has commenced, the permit shall expire six (6) months after the date that work ceased.
- B. Building Permit
Any building permit shall become void if the work involved has not begun within six (6) months after the date of issuance of the permit or if the work or development authorized by such permit is suspended or abandoned for a period of six (6) months after the work of development is commenced; provided that extensions of time and periods not exceeding six (6) months each may be allowed in writing by the Manager.
- C. Preliminary Plats
Preliminary approval grants the developer a maximum time of eighteen (18) months within which he shall submit his improvement plan and final plat for

approval unless a time extension is granted before the expiration of the eighteen (18) month period. If such time extension is granted, it shall be for not more than twelve (12) additional months. Failure to submit improvement plans and final plat within this time period, including extension if any, shall invalidate preliminary plat approval and require resubmission of preliminary plat.

- D. Improvement Plan Approvals
Improvement plan approvals are valid for twenty-four (24) months. If the subdivision is sold prior to completion and final platting, a mandatory review by the SDRC shall be required.
- E. Extensions
The time period for which a permit is valid may be extended for up to six (6) months where an application for such extension is filed and such extension has been granted in writing by the Manager / Designee

10.00.05 Resubmittal of Denied Applications

No application for a zoning change affecting the same parcel of property (under same Tax I.D. and/or under same ownership) or part thereof shall be accepted until the expiration of at least six (6) months immediately following the denial of the rezoning request by the governing authority.

10.00.06 Requirements Regarding Developments of Regional Impact (DRI)

The Georgia Department of Community Affairs (DCA), pursuant to the Georgia Planning Act, has established criteria for the identification of certain large-scale developments, which have the potential to cause land use impacts beyond the boundaries of the respective local government where a project might be proposed. These developments, known as Developments of Regional Impact (DRIs), shall be submitted, based on established DCA standards, procedures, and format, to the Southern Georgia Regional Commission (SGRC) for review and recommendation prior to issuance of any local building or development permit, utility tap, or rezoning, whichever occurs first. As such, these requirements establish an official delay in the local permitting and/or review process to allow for compliance with these requirements.

10.00.07 Fees Required

- A. All applications shall be accompanied by payment of application fees, as set forth in the Tift County Fee Schedule adopted by the Governing Authority. An application shall not be complete until all required fees are paid. Such fees shall include the filing fee, and where notice is required, shall include an additional fee to defray the expense of preparing and mailing such notices.
- B. For land clearing permits, a fee in addition to local permitting fees will be assessed pursuant to Georgia statutes. All applicable fees shall be paid prior to issuance of the land disturbance permit.

10.00.08 Procedures for Conducting Public Hearings

The following rules of procedure shall govern public hearings pertaining to development subject to the provisions of this UDC:

- A. **Public hearing procedure**

All public hearings shall be placed on the appropriate body's agenda under a section entitled "Public Hearings". The Chair or their designee shall officially declare the public hearing open and shall announce that the written public hearing procedures and a copy of Georgia's Conflict of Interest Law are available to the attending public as a handout or are posted for public review. The Manager / Designee shall be responsible for providing a copy of the public hearing procedures and a copy of Georgia's Conflict of Interest Law as handouts and/or postings.
- B. **Announcement of matter for consideration**
 - 1. The Manager or his/her designee shall announce the matter for consideration.
 - 2. The Chair shall then call for acknowledgement of a potential conflict of interest by any members of the body.
- C. **Report of Manager**

The Manager or his/her designee will then report the SDRC recommendation and, if applicable, the recommendation of the Greater Tift County Planning Commission.
- D. **Public hearings records standards**
 - 1. The clerk shall mechanically record the proceedings of all public hearings.
 - 2. If requested by any party, verbatim transcripts of the public hearing can be prepared, but only if requested and purchased in advance by the requesting party, who must arrange at his expense for a certified court reporter to record and transcribe the hearing and furnish the original of the transcript to the appropriate body for its records.
 - 3. The record of the public hearing and all evidence (e.g., maps, drawings, traffic studies, etc.) submitted at the public hearing shall be noted as such and shall become a permanent part of the particular project file.
- E. **Public comments shall be heard in an orderly fashion. Comments and testimony shall be provided in the following order:**
 - 1. The applicant or applicant's agent;
 - 2. Citizens speaking in favor of the proposal or request;
 - 3. Citizens speaking in opposition to the proposal or request; and
 - 4. Rebuttal.
- F. **Any party may appear at the public hearing in person or by agent or by attorney.**
- G. **Each person who appears shall identify himself by name and address; if the person is the applicant, he shall state whether he is the owner of the property or agent for owner.**

- H. Each applicant or other interested party who submits documents at the hearing shall identify each document. Each document submitted shall be made a part of the official record of the hearing.
- I. Time periods for testimony
Where there are a large number of citizens wishing to testify at a given hearing, the Chair may invoke reasonable time limitations on both the proponents and opponents of a request. In such cases, these time limits shall apply to both sides of an issue equally, such minimum time period to be no less than ten (10) minutes per side. The Chair of the body hearing the request or proposal may otherwise limit discussion. The Chair of the body hearing the request or proposal may allow additional time in the Chair’s discretion.
- J. Citizens shall address their comments to the body as a whole. Individual attacks or cross examination of members, County employees or other citizens will be ruled out of order.
- K. The body hearing the request or proposal retains the privilege to ask any questions of the Manager, other staff, or persons who have spoken on the matter.
- L. After all citizen comments have been received, all further discussion of the specific application is reserved for the body hearing the request or proposal. The Chair or his/her designee shall then declare the public hearing closed and no further public comment will be entertained.
- M. The body hearing the request or proposal may table the public hearing where additional information is necessary in order to render a decision. The continuation shall be to a specific time and date. Where an application is remanded to the Planning Commission for consideration of additional conditions, it shall be heard by the Planning Commission on their next available meeting date.
- N. In the case of tabling of a matter, no further public comments will be entertained upon further consideration of the matter.
- O. At the conclusion of the hearing by the body hearing the request or proposal, the Chair shall announce the decision. The Manager or his/her designee shall notify an applicant in writing of the decision. The written notification shall be made a part of the record.

10.01.00 APPLICATION AND DECISION-MAKING REQUIREMENTS

10.01.01 Pre-Application Conference Required

- A. A pre-application conference is a meeting between an applicant and the SDRC for the purposes of:
 - 1. Exchanging information on the potential development of a site;
 - 2. Providing information on permissible uses of the site proposed for development;

3. Providing information to an applicant regarding the design standards set forth in this UDC that are applicable to a potential application;
 4. Providing information to an applicant regarding standards of regional, state, or federal agencies that may be applicable to a potential application;
 5. Determining the need and requirements for supporting plans, documents, and studies;
 6. Providing information to an applicant regarding infrastructure requirements and the construction of required improvements; and
 7. Providing information to an applicant regarding the appropriate procedures and schedules for receiving and reviewing applications and rendering decisions regarding a potential application.
- B. Prior to the submission of an application for a subdivision plat, site development plan, or improvement plan, an applicant shall submit a request for a pre-application conference.
- C. A pre-application conference shall be held not more than two (2) weeks following the date of submission of the request for such conference.
- D. An application must be submitted within six (6) months following the pre-application conference.
- E. The pre-application conference shall include the members of the SDRC.
- F. The SDRC and other affected County agencies will review all data submitted and advise the applicant of significant items which should be considered prior to submittal of their proposal.
- G. It is the intent of County that all requirements be identified during the pre-application conference. However, no person may rely upon any comment concerning a proposed development, or any expression of any nature about the proposal, made by a participant at the pre-application conference, as a representation or implication that the proposal will be ultimately approved or rejected in any form.
- H. A prospective applicant may bring members of his project team, such as, but not limited to, the project engineer, land planner, architect, surveyor, or other person who will assist in the preparation of an application. A prospective applicant may provide an informal sketch plan to aid in the discussion. However, such an informal sketch plan shall not be reviewed in any way for compliance with the standards and requirements of this UDC, and shall be used only as an aid to the conduct of the pre-application conference.

10.01.02 Determination of Completeness

- A. All applications shall be complete before acceptance for review and decision-making. A determination of completeness is a determination that all required documents and plans have been submitted in sufficient number, and that all fees have been paid. A determination of completeness is not a determination of compliance with substantive standards and criteria.
- B. The SDRC shall determine, within ten days of receipt of an application, whether the application is complete.
- C. If the SDRC determines that the application is not complete, the SDRC shall notify to the applicant identifying the deficiencies. The applicant shall have thirty (30) days from the date of notice to correct the deficiencies. Until the applicant corrects the deficiencies, no further action shall be taken for processing the application. If the applicant fails to correct the deficiencies within the thirty (30) day period, the application shall be deemed withdrawn.
- D. If the SDRC determines that the application is complete, the application shall be processed for review and action in accordance with the procedural requirements set forth in this chapter.

10.01.03 Responsibilities for Final Action

The table on the next page identifies the types of applications and the entity that is responsible for the final decision regarding the application.

Table 10.01.03. Types of applications and entity responsible for final decision.

	Staff	SDRC	ZBA	Greater Tift Planning Commission Recommending Body	Board of Commissioners
Site Development Plans SFR: < 4 lots MFR: < 6 units Non-Res: < 6,000 sq ft		X			
Site Development Plan SFR: 5 – 15 lots MFR: 6-24 units Non-Res: 6,000 to 24,999 sq. ft Lodging: < 6 units				X	X
Site Development Plan SFR: > 15 lots MFR: > 25 units Non-Res: > 25,000				X	X
Amendments to Site Development Plans		X			
Administrative Waivers	X				
Rural Farm Housing	X				
Extension of Nonconforming Residential Uses & Rural Farm Homestead			X		
Preliminary Plats, Minor Subdivisions, Exempt Plats, Improvement Plans		X			
Final Subdivision Plats				X	X
Variances Rural Home Access			X		
Appeal of Administrative Decisions			X		
RPD/UPD Development Plan and Rezoning					X
Vested Rights Determination					X
Permits: Building Permits, Land Clearing Permits, Sign Permits, Etc.	X				

SDRC = Staff Development Review Committee

ZBA = Zoning Board of Appeals

10.02.00 SUBMITTAL REQUIREMENTS**10.02.01 Submittal Requirements for All Applications****A. General Requirements**

1. Signature of applicant required.
All applications shall be signed by the applicant, and shall state his name, address, phone numbers and e-mail address if possible
2. The name, address, & phone number of the owners of the land, and required signature of owner if different from applicant. The applicant shall be assigned as agent by the property owner.
3. The community or area in which is located the land proposed to be reclassified and the street name and street number, if any, or if none, the location with respect to the nearby public roads in common use;
4. A property survey containing the legal description, boundaries, land area, and existing improvements located on the site. Where two (2) or more parcels are included within a proposed development, the survey shall include all parcels that are part of the proposed development, including all phases. The survey shall be prepared and sealed by a surveyor registered in the State of Georgia.
5. The area of the land proposed to be reclassified stated in square feet if less than one (1) acre, and in acres if one (1) or more;
6. The present zoning classification for the subject property.
7. Other information to support the application as specified in this chapter and as may be required by the Manager.

B. Campaign contributions

1. If applicant has made, within two (2) years immediately preceding the filing of the applicant's application, campaign contributions aggregating \$250 or more to any member of the governing authority, it shall be the duty of the applicant and the attorney representing the applicant to disclose the following in the application:
 - a. The name of the local government official to whom the campaign contribution or gift was made;
 - b. The dollar amount of each campaign contribution made by the applicant to the local government official during the two (2) years immediately preceding the filing of the application; and
 - c. An enumeration and description of each gift having a value of \$250.00 or more made by the applicant to the local government official during the two (2) years immediately preceding the filing of the application for the zoning amendment.
 - d. In the event that no such gift or contribution were made, the application shall affirmatively so state
2. Such disclosure shall be required to be filed at least ten (5) calendar days prior to the scheduled hearing.

10.02.02 Submittal Requirements for Site Development Plans

- A. Site plan submittal
1. Erosion and sedimentation control plans
Plans must be prepared to meet the minimum requirements as contained in this UDC & the Technical Standards Manual. Conformance with the minimum requirements may be attained through the use of design criteria in the current issue of the Manual for Erosion and Sediment Control in Georgia, published by the state soil and water conservation commission as a guide; or through the use of more stringent, alternate design criteria which conform to sound conservation and engineering practices. The plan for the land-disturbing activity shall consider the interrelationship of the soil types, geological and hydrological characteristics, topography, watershed, vegetation, proposed permanent structures including roadways, constructed waterways, sediment control and stormwater management facilities, local ordinances and state laws.
 2. Data required for site plan
 - a. Notes or narrative to be located on the site plan in general notes or in erosion and sediment control notes.
 - b. Description of existing land use at project site and description of proposed project.
 - c. Name, address, and phone number of the property owner.
 - d. Name and phone number of twenty-four (24) hour local contact responsible for erosion and sedimentation controls and copy of GSWCC card with certification number.
 - e. Size of project, or phase under construction, in acres.
 - f. Activity schedule showing anticipated starting and completion dates for the project.
 - g. Stormwater and sedimentation management systems-storage capacity, hydrologic study, and calculations, including off-site drainage areas.
 - h. Vegetative plan for all temporary and permanent vegetative measures, including species, planting dates, and seeding, fertilizer, lime, and mulching rates. The vegetative plan should show options for year-round seeding.
 - i. Detail drawings for all structural practices. Specifications may follow guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.
 - j. The following maintenance statement shall be included on the plans; "The installation of erosion and sedimentation control measures and practices shall occur prior to or concurrent with land-disturbing activities and shall be maintained at all times. If full implementation of the approved plan does not provide for effective erosion and sediment control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."
 3. Map and plan requirements
Maps, drawings, and supportive computations shall bear the signature/seal of a registered or certified professional in engineering, architecture, landscape architecture, land surveying, or erosion and sedimentation

control. All persons involved in land development design, review, permitting, construction, monitoring, or inspection or any land-disturbing activity shall meet the education and training certification requirements as developed by the commission pursuant to O.C.G.A. § 12-7-20. The certified plans shall contain:

- a. Graphic scale and north point or arrow indicating magnetic north.
- b. Vicinity maps showing location of project and existing streets.
- c. Boundary line survey.
- d. Delineation of disturbed areas within project boundary.
- e. Existing and planned contours, with an interval in accordance with the following:

Table 10.02.02. Map contour intervals.

Map Scale	Ground Slope	Contour Interval, ft.
1 inch = 100 ft. or larger scale	Flat 0--2% Rolling 2--8% Steep 8%+	0.5 or 1 1 or 2 2, 5 or 10

- f. Adjacent areas and feature areas such as streams, lakes, residential areas, etc. which might be affected should be indicated on the plan.
- g. Proposed structures or additions to existing structures and paved areas.
- h. Delineate the twenty-five (25) foot horizontal buffer adjacent to state waters.
- i. Location of erosion and sedimentation control measures and practices using coding symbols from the Manual for Erosion and Sediment Control in Georgia, Chapter 6.
- j. The following flood damage prevention criteria:
 - i. Elevation in relation to mean sea level of the proposed lowest floor, including basement, of all structures;
 - ii. Elevation in relation to mean sea level to which any nonresidential structure will be flood proofed;
 - iii. Certificate from a registered professional engineer or architect that the nonresidential flood proofed structure will meet the flood proofing criteria in Section 3.02.16(D);
 - iv. Description of the extent to which any watercourse will be altered or relocated as a result of proposed development.

10.02.03 Submittal Requirements for Building Permits

- A. Application for building permit
 - 1. All applications for commercial building permits, including single-family residential, agricultural buildings, and accessory uses shall be accompanied by a minimum one (1) site plan and may need as many as five (5) depending on the type of project drawn to scale showing the actual dimensions of the lot to be built upon, the size and location of the lot, the number of dwelling units the building is designed to accommodate, the setback lines of the building on the "permit lot", the various easements on

- the lot and such other information as may be essential for determining whether the provisions of this UDC are being observed. Contact this office for detailed information as to the number of and type of plans required for the various types of building projects.
2. The following is required on the site plan before the site plan is considered by the governing authority and any permits are approved.
 - a. Topography (MSL) existing and proposed;
 - b. Drainage plans;
 - c. Location and size of ingress/egress;
 - d. Water and sewer mains and services, both existing and proposed; and
 - e. Water and sewer services as well as fire hydrants in the lot and the specific meter size and location.
 3. Period of Validity
 - a. Any building permit shall become void if the work involved has not begun within six (6) months after the date of issuance of the permit or if the work or development authorized by such permit is suspended or abandoned for a period of six (6) months after the work of development is commenced; provided that extensions of time and periods not exceeding six (6) months each may be allowed in writing by the Manager or his/her designee.
 - b. Any unapproved deviation from the site plan shall cause the Manager or his/her designee to not issue a certificate of occupancy.
 4. Single family residential, agricultural buildings, and their accessory uses, site plans need not be drawn to scale, but must be accurate as to dimensions of lot and proposed building and all building setbacks must be indicated on the plan.
 5. The applicant for a building permit shall submit a recorded plat with his application which certifies that the lot which he proposes to develop is a lot of record. When the lot in question does not meet the lot width and lot area requirements of this UDC then the applicant shall certify that such lot was a lot of record prior to the adoption of this UDC or is a lot which has been created through governmental taking of property.
 6. Flood damage prevention
Any applications for a building permit which proposes to develop properties which have been duly identified as having a flood hazard potential must provide adequate technical information and comply with all the flood protection provisions in Chapter 3 of this UDC & Tift County Flood Prevention Ordinance.
 7. Wetland permit required
For any application for a building and/or development permit which proposes to develop properties which have been identified as having potential wetlands areas, except those exempted activities listed in Chapter 3, the applicant must document receipt of a nationwide, regional, general or individual permit or a letter of clearance that jurisdictional wetlands are not located on the subject property from the U.S. Army Corps of Engineers under section 404 of the Clean Water Act before any local building and/or development permit will be issued by the governing authority.

8. Sanitation permit required
For any application for a building and/or development permit which proposes the use of on-site, privately provided sewage disposal, a sanitation permit is required to comply with the Tift County Health Department rules and regulations. The application for such sanitation permit shall;
 - a. Show plainly and distinctly the location of the sanitation facility to be constructed, the nature of such facility and the legal owner of the real property upon which the facility is to be constructed.
 - b. Distinctly show that the provisions, rules and regulations for individual sewage disposal systems, are fully and completely adhered to.
 - c. Be supported by a map delineating contour lines at a minimum of two (2) feet intervals.

10.02.04 Submittal Requirements for Sign Permits

- A. Required
Except as specifically excluded from the provisions of this UDC, it shall be unlawful for any person to post, display, substantially change or erect a sign or advertising device without first having obtained a sign permit. A change in only the copy of a sign or advertising device shall not constitute a substantial change.
- B. Application
 1. The Manager / designee shall receive and process applications for the construction of signs, as required by this UDC.
 2. Application for permits to erect, hang, or place a sign shall be submitted on forms as provided by the governing authority.
 3. Each application shall be accompanied by plans showing;
 - a. Area, height, and dimensions of the sign,
 - b. Size of any lettering on the sign,
 - c. Size, character, and the method of illumination, if any,
 - d. Exact location proposed for such sign
 - e. In the case of a projecting sign, the proposed method of fastening said sign to the building structure,
 - f. Vertical distance between such sign and the finished grade,
 - g. Horizontal distance between such sign and the street right-of-way, and
 - h. Upon the request of the Manager / designee, any additional information deemed necessary.
 4. Application fees
The application shall be accompanied by the application fee as established by the governing authority.
 5. Electrical and structural safety
All signs shall be built in compliance with all applicable codes.

10.02.05 Submittal Requirements for Subdivision Plats**A. Preliminary Plats****1. Title block and north arrow**

The plat will show the name of the proposed subdivision, its location, the name, address and registration number of the surveyor preparing the plat and the date of the plat. A north arrow shall be included with a notation referencing the bearings to magnetic north, astronomical north or grid north.

2. General layout

The plat shall show information as to the proposed street layout and widths, layout of lots with a notation as to the minimum size and width of lots and proposed open space if any. Any lands to be dedicated will be clearly identified. The plat shall be drawn to scale. Scale, total acreage of the site and total number of lots created shall be indicated. Lot and block identification and building setback lines shall also be indicated.

3. Topography

The plat shall show existing contour lines dashed and any proposed contour lines solid, both set of lines to be at two (2) foot intervals, mean sea level (M.S.L.). Prominent drainage features such as lakes, depressions, streams, and floodplain areas which could affect the design of the subdivision, shall be shown. Engineering data showing the high-water elevation and how it was established shall be submitted with the plat.

4. Existing features

The plat shall show the locations and names of existing and platted property lines, streets and their rights-of-way, railroads and their rights-of-way, public and private rights-of-ways, sanitary sewer and size, water mains and size, bridges, culverts, storm drainage and size, easements, parks and other public open spaces, land lot and land district lines, city limits lines, and names of adjoining property owners or subdivisions. Groups of trees and wetland areas shall also be indicated.

5. Location map

The plat shall include a small-scale map of sufficient clarity so that the location of the proposed subdivision can be readily determined.

6. Water and sewer

A statement from the subdivider shall be submitted with the preliminary plat which will describe the method by which sanitary sewer and water facilities will be provided.

7. Future tract plan

In cases where a subdivision is to be developed in stages with additional plats being filed with the governing authority at a later date, the filing of the initial plat will be accompanied by a future tract plan, a reasonably accurate plat in sketch form of the entire tract which will show the future street system and topography for the entire tract.

8. Wetlands

Approximate location of wetlands boundaries shall be delineated on the preliminary plat. All preliminary plats delineating wetlands shall have on the face of said preliminary plat the note:

“No fill or work shall be permitted within jurisdictional wetlands without a prior permit from the U.S. Army Corps of Engineers.”

B. Improvement plans

The plans for the required public improvements shall be prepared for the approval by the SDRC prior to the construction and only after approval of the preliminary plat. Such improvement plans shall show the proposed locations, sizes, types, grades and general design features of each facility and shall be based on reliable field data. Improvement plan approvals are valid for twenty- four (24) months. If the subdivision is sold prior to completion and final platting, a mandatory review by the SDRC shall be required. Failure to comply may result in revocation of construction permit.

1. The improvement construction drawing shall be submitted on white background prints. The sheet size shall be a minimum (11) inches by seventeen (17) inches unless another size is approved by the Manager. The drawing shall include the following information:

a. Construction plans

The developer shall provide the plan and profile of each proposed street indicating the existing ground surface elevation and proposed street grade surface elevation including extensions, except where street runs into an existing street. Design shall be in accordance with good engineering practices.

b. Street-typical sections

A typical section of each proposed street shall be submitted, showing the width of pavement and the rights-of-way.

c. Water supply, sanitation systems, Utility systems and storm water drainage.

The plan and profile of proposed water and sanitation, storm drainage or other drainage systems, with grade and sizes indicated are required. Floodplain areas shall be indicated on the plan. Stormwater drainage shall be consistent with applicable ordinances of the governing authority and other applicable governmental agencies. Water and sewer systems shall be approved by the SDRC and all relevant state agencies. The plat shall not be recorded until the developer submits to the Manager all final permits required for the construction of all improvements from other state, local or federal agencies.

d. Utility service agreement

A developer's agreement for utilities service shall be required before final improvement plan approval is granted.

e. Other public improvements

A plan shall be prepared for parks, recreation or other public use areas and improvements if included in the approved preliminary plat.

f. As-built drawings

The designing surveyor or engineer shall submit to the Manager two (2) sets of white background prints of certified as-built drawings prior to recording of the final plat.

C. Final Plats

Filing the final plat with the Manager shall include the following:

1. An application containing:
 - a. The name and address, phone number & e-mail address of the persons developing the subdivision and his agent(s),
 - b. Zoning of the property to be subdivided,
 - c. Whether or not the subdivision will be developed in phases,
 - d. Plans for serving the proposed subdivision with sewer and water facilities,
 - e. A complete list of deviations, if any, from the approved preliminary plat,
 - f. A copy of the agreement for providing the necessary water and sewer facilities,
 - g. A fee to cover the cost of investigation and review of the preliminary plan, construction plans, and the final plat will be charged at time of application, as established in this UDC, and

2. Sheet design

The final plat shall conform to all of the items listed under the preliminary plat and the requirements thereof, as set forth in this UDC and shall be drawn in black ink.

3. The final plat shall be drawn to scale. If necessary, more than one (1) sheet may be used as long as a key map is provided to relate each sheet to the entire platted area.
4. Surveyor certificate

The following certificate shall be entered on the face of the plat. Placement of this certificate may vary as necessary:

I certify that all measurements are correct and were prepared from an actual survey of the property made under my supervision; the field data upon which this plat is based has a closure precision of one (1) foot in ___feet and an angular error of per_angle point, and was adjusted using ___rule; the plat has been calculated for closure and is found to be accurate within one (1) foot in _____feet; monument and pin locations are correctly shown by the symbols_____and the pins are_____(type of metallic material and length).

Signed _____(Seal) (Date) _____
 Surveyor, Georgia Registration No: _____

5. The surveyor must certify whether or not the property is located in a special flood hazard zone and indicate the informational source and zone of the property. If the property is located within a flood hazard zone, then the limits of the zone must be shown.
6. Proposed lots located in any flood zone shall be delineated on the plat and shall require a certificate of elevation to ensure future construction meets applicable ordinances regarding the floodplain.

- 7. Any identified wetlands must be indicated on the final plat, and proof of compliance with any U.S. Army Corp of Engineers requirements for wetlands must be submitted prior to recording of the final plat.
- 8. Owner certificate.
The following certificate shall be entered on the face of the plat. Placement of this certificate may vary as necessary:

We, the undersigned owner(s) of the subdivision, hereby offer to dedicate and/or reserve for public use the rights-of-way, easements and other public areas as designated on this plat.

TABLE INSET:

Owner	Date	Mortgagee	Date

- 9. Approvals. Final plats approved are approved by Tift County Commission. The following spaces shall be provided in the form listed below for approval by all agencies having jurisdiction. Tift County Manager shall sign & date in the specified location on the plat upon approval by the Commission. Placement on plat may vary:

Approved by County Manager, Tift County, Georgia

TABLE INSET:

Date: _____ Signed: _____
County Manager

- 10. Surveying data
The final plat shall contain the location, bearing and length of every street line, lot line and boundary line whether curved or straight. A note will be made on the plat as to whether curved or straight. A note will be made on the plat as to whether curved dimensions are arc or chord distances. Easement lines (and width), land lot and land district lines will be shown.
- 11. The final plat shall also identify each tract within the proposed subdivision by block and lot number.
- 12. All dimensions shall be shown in feet and decimals to the nearest 1/100 of a foot, and all angles shall be shown to the nearest second. The error of closure shall not exceed one in 10,000, or as defined by the technical standards required by O.C.G.A. § 15-6-67, of the Law Governing the Practice of Professional Engineering and Surveying, as amended. The final plat shall have a note listing the following:

Total Acres _____
Total Lots _____

13. Monuments
The final plat shall show the accurate location, material and description of all monuments. A permanent master bench mark shall be established within or adjacent to the site by transfer of levels, not less than third order accuracy, from the nearest approved bench mark of known mean sea level (M.S.L.) elevation showing its location on the final plat and recording its elevation on the final plat to the nearest 1/100 of a foot.
14. Easements
In addition to the requirements for the preliminary plat the final plat shall show the location and width of all public utility easements and drainage easements where required.

10.02.06 Submittal Requirements for Rezoning Applications and Text Amendments

- A. Application for text amendment / rezoning
In the case of a text amendment, the application shall set forth the new text to be added and the existing text to be deleted.
- B. Application for map amendment
An application for a map amendment shall include the following information:
 1. The community or area in which is located the land proposed to be reclassified and the street number, if any, or if none, the location with respect to the nearby public roads in common use;
 2. A plat of the land in question, and a description by metes and bounds, bearings, and distances of the land, or if the boundaries conform to the lot boundaries within a subdivision for which a plat is recorded in the land records of Tift County; then the lot, block, and subdivision designations with appropriate plat reference; or the map and parcel number according to the current tax mapping system of Tift County;
 3. The present zoning classification and the classification proposed for such land;
 4. The name and address of the owners of the land; and the names and addresses of abutting property owners.
 5. The area of the land proposed to be reclassified stated in square feet if less than one (1) acre, and in acres if one (1) or more;
 6. The application number, date of application, and action taken on all prior applications filed for the reclassification of the whole or part of the land proposed to be reclassified.

10.02.07 Submittal Requirements for RPD and UPD Site Plans

In addition to the requirements of Section 10.02.01 (A) and Section 10.02.06, application for rezoning to Rural Planned Development (RPD) and Urban Planned Development (UPD) shall include:

- A. A conceptual development plan which shall demonstrate the ability of the proposed use(s) to be located on the site in compliance with the standards of this UDC. The conceptual development plan shall be of sufficient detail to bind the applicant to the features depicted on the conceptual development plan, and shall contain the following information:
1. Project name.
 2. Vicinity map showing zoning districts and existing land use within 500 feet of the boundaries of the site.
 3. Total area in acres and/or square feet.
 4. Current and proposed zoning classification, together with a summary of the applicable development standards for the proposed zoning district. A planned development shall include drawing notes detailing the proposed standards for site design and development for the RPD or UPD zoning district.
 5. Natural features, including topography at two (2) foot intervals, surface drainage, surface waters, flood plains, watershed areas, ground water recharge areas, general location of wetlands, and the general location of wooded areas.
 6. General soils.
 7. Location with respect to any designated overlay districts.
 8. General location of existing and proposed roads and utility rights-of-way or easements.
 9. Location of existing property lines within the development site, if applicable.
 10. General location of existing and proposed development by type of use.
 11. Proposed residential density and dwelling unit types, if applicable.
 12. Location of proposed open spaces, recreational areas, and public buildings and uses, indicating those areas reserved or dedicated for public use.
 13. General plan for the provision of utilities and infrastructure.
- B. Proposed legal instruments which shall demonstrate improvement, operation, and maintenance of any common property within a PDR or PDU development, including streets, drives, service areas, parking areas, recreational and community facilities, and open space.

10.02.08 Submittal Requirements for Amendments to the Unified Development Code

- A. Applications for amendment of this UDC shall be made in the form of proposals for amendments of the text, standards, and other criteria. Proposals to amend the Zoning Map shall meet the requirements set forth in Section 10.02.06.
- B. In addition to the application requirements set forth in Section 10.02.01(A), the following information shall be provided:
1. Identification of the specific provision proposed for amendment;
 2. The proposed modifications in a strikethrough and underline format;
 3. A detailed explanation of the rationale and justification for the requested amendment; and
 4. A detailed explanation of the potential impacts of the modification on the development of Tift County.

10.02.09 Requirements Regarding Performance Bonds

- A. A maintenance bond, in the amount equal to one hundred and fifteen percent (115%) of the total value of the improvements, shall be required as a guarantee to the governing authority for all materials and workmanship of any minimum improvements installed in a subdivision which shall be submitted to the County Clerk

10.02.10 Specifications for Digital File Submittals

- A. General requirements
1. All drawings shall be geographically referenced to the US State Plane coordinate system, NAD 83, GA West Zone, US Survey Feet.
 2. All features depicted in the drawings shall be surveyed after construction. The governing authority will spot check all coordinates to ensure accuracy. Water system features shall be surveyed at a horizontal accuracy of ≤ 0.5 ft and vertical accuracy of ≤ 0.5 ft. Sewer system features shall be surveyed at a horizontal accuracy of ≤ 0.5 ft and a vertical accuracy of ≤ 0.1 ft.
 3. The following feature geometry types shall be shot directly using the survey instrument:
 - a. All point features (hydrants, valves, sewer manholes, etc.);
 - b. All line features at all endpoints, bends, and turns (pipes, etc.); and
 - c. All polygon features at all corners and bends (project boundaries, lots, rights-of-ways, etc.).
 4. The following feature types are acceptable: *Line*, *Polyline*, *Text*, and *Insert*.
- B. Layering
1. All required layers (as listed in this section) shall contain only the features that are described for that layer. For example, the BOUNDARY_LINE layer shall only contain the boundary line and not such features as north arrows or parcels.
 2. All required layers shall be present in the drawing except for features that do not pertain to a particular project. For example, some commercial projects may not contain sewer taps as part of the construction and should not be included in the drawing.
 3. All layers shall be clearly differentiated from each other. For Example:
 - a. Two (2) layers having the names "WATER_LINE" and "WATER_LINES" shall not exist in the same drawing.
 - b. SEWER_LINE_TEXT and SEWER_TEXT shall not exist in the same drawing.
 4. All text shall appear on separate layers from the layers they annotate. For example, text describing a sewer line shall be on the SEWER_LINE_TEXT layer not the SEWER_LINE layer.
 5. Text leaders shall be placed on the text layer, not the feature layer. For example, the leader for the diameter of a water pipe shall be on the WATER_LINE_TEXT layer, not the WATER_LINE layer. Leaders shall be drawn using *Line* features not *Leaders*.

C. Drawing

1. All layers shall conform to the proper geometry type (line, polygon, text) as indicated in the table below.

Table 10.02.10. Digital file specifications.






Layer Name	Type	Layer Contents	Surveyed
ADDRESS_TEXT	Text	Street postal address number	No
BLOCK_LETTER_TEXT	Text	Indicates the block letter of a subdivision	No
FIRE_HYDRANT	Insert	Fire Hydrants	Yes
FIRE_HYDRANT_TEXT	Text	Text associated with FIRE_HYDRANT layer	No
FLOW_ARROW	Insert	Sewer line flow arrows	No
HORIZONTAL_AND_VERTICAL_CONTROL_POINT	Line	Survey control points (rebar or monuments) with x, y, z coordinates	Yes
HORIZONTAL_AND_VERTICAL_TEXT	Text	Text associated with HORIZONTAL_AND_VERTICAL_CONTROL_POINT	No
LAND_LOT_LINE	Line	Land lot lines.	No
LAND_LOT_LINE_TEXT	Text	Land lot numbers and other text	No
LOT_NUMBER_TEXT	Text	Individual lot numbers.	No
PROJECT_BOUNDARY	Poly	The boundary line of the subdivision or commercial property.	Yes
PROJECT_BOUNDARY_TEXT	Text	Text labels for the project boundary line.	No
PROPERTY_LINE	Poly	Property Lines (parcel lines)	Yes
RAILROAD_LINE	Line	Railroad Lines	Yes
RAILROAD_TEXT	Text	Text associated with RAILROAD	No
ROAD_EDGE_OF_PAVEMENT	Poly	Polygon: Street Edge of Pavement (not back of curb)	Yes
ROAD_TEXT	Text	Road Names	No
SEWER_END-OF-LINE	Insert	End of sewer line	Yes
SEWER_END-OF-LINE_TEXT	Text	Text associated with SEWER_END- OF-LINE	No
SEWER_EXISTING	Line	Sewer lines present before the subdivision was built	Yes
SEWER_EXSITING_TEXT	Text	Text associated with the SEWER_EXISTING layer	No
SEWER_FORCE_MAIN	Line	Sewer force mains	Yes


SEWER_FORCE_MAIN_TEXT	Text	Text associated with the SEWER_FORCE_MAIN	No
SEWER_LINE	Line	Sewer lines built as a part of the subdivision.	Yes
SEWER_LINE_TEXT	Text	Text associated with the SEWER_LINE layer	No
SEWER_MANHOLE	Insert	Sewer Manholes	Yes
SEWER_MANHOLE_TEXT	Text	Text associated with the SEWER_MANHOLE layer	No
SEWER_TAP	Line	Sewer taps	Yes
SEWER_TAP_TEXT	Text	Distance between taps in feet	Yes
UTILITY_EASEMENT	Poly	Utility line easement	Yes
UTILITY_EASEMENT_TEXT	Text	Text associated with Utility Easements	No
WATER_CAP	Insert	Cap at the end of water line.	Yes
WATER_CAP_TEXT	Text	Text associated with WATER_CAP_TEXT	No
WATER_EXISTING	Line	Water lines present before the subdivision was built	Yes
WATER_EXISTING_TEXT	Text	Text associated with WATER_EXISTING	No
WATER_LINE	Line	Water lines	Yes
WATER_LINE_TEXT	Text	Text associated with WATER_LINE	No
WATER_METER	Insert	Customers water meters	Yes
WATER_METER_TEXT	Text	Text associated with WATER_METER	No
WATER_REDUCER	Insert	Water line reducer	Yes
WATER_REDUCER_TEXT	Text	Text associated with WATER_REDUCER	No
WATER_SERVICE	Line	Water service lines	Yes
WATER_SERVICE_TEXT	Text	Text associated with WATER_SERVICE	No
WATER_VALVE	Insert	Water Valves	Yes
WATER_VALVE_TEXT	Text	Text associated with WATER_VALVE	No
WATER_VAULT	Insert	Large meter or fire connection vault	Yes
WATER_VAULT_TEXT	Text	Text associated with WATER_VAULT	No
PUMP_STATION	Poly	Walls of the sewer pump (lift) station	Yes
PUMP_STATION_TEXT	Text	Text associated with PUMP_STATION	No

2. All polygon type features shall be completely closed. To accomplish this, lines may need to be duplicated on more than one (1) layer.
 - a. Subdivision parcels shall be closed figures on their layer (not closed with the subdivision boundary).
 - b. Road edge-of-pavement shall be drawn as closed polygons.
 - c. Where a polygon feature extends beyond the edge of the plan, the property boundary (repeated on the polygon feature's layer) shall be used to close the polygon.
 - d. All edges on polygon features shall be snapped together at the vertices. Gaps in polygon boundaries shall not be accepted.
3. Sewer features
 - a. Sewer lines and sewer taps shall be digitized with proper directionality: lines shall be drawn from the uphill node to the downhill node or flipped after the lines have been digitized.
 - b. All tangents between sewer manholes shall be drawn with a single line.
 - c. All tangents shall be snapped at endpoints intersecting at the exact center of the manhole. No gaps shall exist between tangents.
 - d. Manholes shall be symbolized consistently with a circle centered exactly on the tangent endpoints.
4. Water features
 - a. Water lines shall be digitized with all straight-line pipes consisting of only two (2) points. Straight-line pipes shall begin and end at the following features (nodes): hydrants, valves, meters, pumps, tees, crosses, and valves.
 - b. Curves may be digitized with enough vertices to capture the curve geometry. Curves or arcs may also be used to designate curved pipe.
 - c. All water lines shall be continuous, with pipe endpoints snapped to each other at endpoints (nodes).
 - d. End-of-line caps shall be drawn to differentiate end-of-lines from lines that extend beyond the extent of the drawing. Caps shall be drawn for lines that are to be permanently capped when the project is complete, not for lines that are temporarily capped pending inspection.

Symbolization

Symbols shall be standardized according to examples provided in the GIS template file. The following "point" features shall be symbolized using standard GIS CAD symbols and drawn as inserts:

- Vault 
- Valve 
- Hydrant 
- Manhole 
- Meter 
- End of Line/Cap]

- Reducer 

D. Annotations

1. Any non-standard water and sewer lines shall be annotated as such. Line diameter, material, ownership, etc. that does not conform to standard practice shall be noted in the corresponding annotation layer. For example, standard subdivision sewer lines are 8" in diameter. Any other diameter shall be annotated on the SEWER_LINE_TEXT layer.
2. All addresses and lot numbers shall be number data type (that is, no text or symbols (#, -, ft, _, ", ', etc.)). If the lot does not have a number, this layer shall be blank.

E. File naming and revisions

1. File names shall correspond exactly to the subdivision name and shall be consistent from one (1) version to the next. The file name shall contain the drawing finalized date (in YYMMDD format) as part of the name. There shall be no blank spaces in the name, only underscores. An example file name for the November 10, 2003, final plat for the third phase of the Monarch Village subdivision is: "Monarch_Village_3_111011." Month/Day/Year
2. File finalized dates shall only be updated by the contractor/developer.

F. Deliverable format

All files shall be delivered on single disk media in AutoCAD (release 2005 or higher) DWG format. CDs, 4½" floppies, and Zip disks are all acceptable media. Files shall not be spanned over more than one (1) disk.

10.03.00 NOTICE REQUIREMENTS

10.03.01 Zoning Decisions

A. Posting of property

1. Not less than fifteen (15) or more than forty-five (45) days prior to the date set for the public hearing on any application for a map amendment (other than a map amendment initiated by the Planning Commission or the governing authority), the Manager or his/her designee shall erect a sign on the land proposed to be reclassified.
2. Such sign shall be erected within ten (10) feet of the boundary line of the property which abuts the most traveled public road; and, if no public road abuts thereon, then such sign shall be erected to face in such a manner as may be most readily seen by the public.
3. The sign shall show the application number, the present zoning classification, the proposed zoning classification, the scheduled date, time, and place of public hearing, and the telephone number to call for further information.
4. Removal of sign
Any such sign shall be maintained at all times by the Manager or his/her designee until a decision on the application has been made by the governing authority.

5. Notice to interested parties
A notice shall be given to the applicant and the body conducting the public hearing of the date, time, and place of the public hearing. All application files shall be placed in the custody of the Manager or his/her designee and be open to public inspection during regular office hours.

B. Publication of Notice

1. At least fifteen (15) but not more than forty-five (45) days' notice of the time, place, and purpose of said hearing shall be published in a newspaper of general circulation within Tift County, Georgia.
2. Such notice shall also state the application number and date, and shall contain a summary of the proposed amendment, if a text amendment, and in the case of a map amendment, the location of the property, its area, the name of the owner or their authorized agent, and the present and proposed zoning classification use for the property affected.
3. Advertisement to include disclosure
 - a. Further, such advertisement shall advise the public pursuant to O.C.G.A. 36-67A-3 that any opponent of a proposed rezoning action who has made campaign contributions aggregating \$250.00 or more to a local government official of the local government which will consider the application within two (2) years of the date of the application shall be required to file a disclosure with the governing authority of the respective local government showing:
 - i. The name and official position of the local government official to whom campaign contributions were made; and
 - ii. The dollar amount and description of each campaign contribution made by the opponent to the local government official during the five (5) years immediately preceding the filing of the application for the proposed rezoning action and the date of each contribution.
 - b. Such disclosure shall be required to be filed at least ten (10) calendar days prior to the scheduled hearing.

10.03.02 All Other Decisions

- A. Notice of public hearing shall be given
1. Before making its decision on any appeal, request for a variance, or any other matter within the ZBA's authority, said ZBA shall hold a public hearing thereon.
 2. At least fifteen (15) days' notice of the time and place of such hearing shall be sent to the appellant or petitioner, and to the owners of all properties either adjoining the property with which the hearing is concerned or situated directly across a public right-of-way from said property.
 3. Such notice shall contain the name of the appellant or petitioner, the date, time, and place set for the hearing, and a brief statement of the nature of the hearing.

- B. Public notice in newspaper
The ZBA shall give a public notice of the hearing in a newspaper published and circulated in Tift County and the City of Tifton, Georgia, by advertisement published at least fifteen (15) days prior to the date of the public hearing.

10.04.00 PROCEDURAL REQUIREMENTS

10.04.01 Procedures for Action by the Staff

- 10.04.01.1 Building Permits and Sign permits
 - A. Compliance Review
For permit applications eligible for final approval by County staff, the appropriate staff person shall review the application and all supporting materials to determine compliance of the application with applicable standards and criteria set forth in this UDC and applicable codes.
 - B. Decisions by Staff
The staff shall issue the permit or provide justification for the denial of the permit.
 - C. Appeals
Actions by the staff are subject to the administrative appeals procedure set forth in Section 10.05.00.

- 10.04.01.2 Certificate of Occupancy or Completion
 - A. Certificate of occupancy or completion required
A certificate of occupancy or completion issued by the Building Official or his/her designee is required in advance of occupancy or use of:
 - 1. A building hereafter erected;
 - 2. Any building or premises where a change in the type of occupancy will occur;
 - 3. A manufactured home or mobile home dwelling hereafter sited and connected to utilities.
 - B. Issuance of certificate of occupancy or completion
 - 1. Upon payment of all required fees, the Building Official or his/her designee shall sign and issue a certificate of occupancy or completion if the proposed use of land or buildings is found to conform to the applicable provisions of this UDC, and if the building, as finally constructed, substantially complies with the sketch or plan submitted and approved for the building permit.
 - 2. One (1) copy of all certificates of occupancy or completion issued which contain a statement of the intended use of the applicable property and other pertinent information, signed by the owner or his agent, shall be kept on file in the office of the Manager or his/her designee.
 - C. Denial of certificate of occupancy or completion
 - 1. A certificate of occupancy or completion shall not be issued unless the proposed use of a building or land conforms to the applicable provisions of this UDC and substantially

- complies with the sketches or plans submitted for obtaining the building permit.
- 2. Any unapproved deviation from the site development plan shall cause the Building Official or his/her designee to not issue a certificate of occupancy.
- 3. When a permit is denied, the Manager or his/her designee shall provide in writing his reasons for denying the permit within ten (10) days after said request.
- D. Permits and licenses void when issued in conflict
Any permit or license issued in conflict with the provisions of this UDC shall be null and void.

10.04.01.3 Development Permit

No person shall conduct any land-disturbing activity within the jurisdictional boundaries of the governing authority without first obtaining a permit from the Manager or his/her designee to perform such activity.

- A. Review of regulations
 - 1. The property owner, developer and designated planners and engineers shall review the general development plans and detailed plans of the governing authority that affect the tract to be developed and the area surrounding it.
 - 2. They shall review the zoning regulations, stormwater management regulations, subdivision regulations, flood damage provision regulations, and other provisions of this UDC and other ordinances which regulate the development of land within the jurisdiction.
- B. Erosion and sedimentation control plan required
 - 1. The application for a permit must include the applicant's soil erosion and sedimentation control plan with supporting data, as necessary.
 - 2. Said plans shall include, as a minimum, the data specified in Chapter 3 this UDC.

10.04.01.4 Right-of-Way Utilization Permit – Shall be issued as required. Provide complete letter of scope of project with site drawings (8 1/2" x 11") showing locations and depths of trenches/bores.

10.04.01.5 Temporary Use Permit – Shall be required

10.04.02 Procedures for Action by the Staff Development Review Committee

10.04.02.1 Generally

- A. For applications to be submitted to the Planning Commission, Board of Commissioners, the Staff Development Review Committee (SDRC) shall review the application and all supporting materials and provide a report regarding compliance of the application with applicable standards and criteria within thirty (30) days of receipt of the application. The SDRC shall provide an analysis and recommendation regarding the following:

1. Consistency of the application with the County Comprehensive Plan;
 2. Compliance of the application with the application requirements and development standards set forth in the UDC;
- B. The SDRC shall transmit a copy of the compliance report to the applicant. The applicant shall have thirty (30) days to correct any deficiencies noted in the report and submit revised or additional documents. Upon receipt of the materials provided by the applicant to correct any deficiencies, the SDRC shall prepare a revised compliance report.
 - C. For matters subject to final approval by the SDRC, the compliance report shall be filed with the application as support for approval, approval with conditions, or denial of the application by the SDRC.
 - D. For matters subject to final approval by the ZBA, Panning & Zoning Commission, or Board of Commissioners, the compliance report will be forwarded together with the application and supporting materials for review, recommendation, and final action by the designated entity.
 - E. Actions by the SDRC are subject to the administrative appeals procedure set forth in Section 10.05.00.
 - F. It shall be the responsibility of the SDRC to coordinate the administrative review responsibilities.
- 10.04.02.2 Approval of revisions to a recorded plat
- A. Where located on an existing road or street, the combination of previously platted lots, where the total number of lots does not increase and the resultant lots are equal to the current standards of the governing authority as determined by the SDRC, shall be subject to administrative approval.
 - B. Such plats shall conform fully to the requirements of this UDC.
- 10.04.02.3 Approval of exempt plats
- A. Any plat submitted for recording to the office of the Clerk of Superior Court of Tift County that is not subject to this Section shall comply with O.C.G.A. §15-6-67(d), as amended.
 - B. All plats exempt from the standard review process must be assigned a map and parcel number by the Tift County Board of Tax Assessors if a new lot is being created.
 - C. Resurveys of existing parcels which do not involve a map and parcel change must be verified by the Manager/Designee.
 - D. All exempt plats, which include resurveys of lots of record, exempt re- subdivisions and exemptions by definition must be approved as exempt prior to recording.
 - E. Three (3) original plats must be submitted for approval which may be black line or blue line copies.
 - F. One original plat will be retained by the Manager or his/her designee. Two copies will be stamped, signed and dated to allow recording.

- G. Recorded plats shall be required prior to the issuance of a Development permit.
- 10.04.02.4 Minor Subdivisions & Exempt Subdivisions (See Table 10.01.03)
- A. Where a proposed subdivision involves no public improvements and requires a minimum level of engineering design, the Manager or his/her designee may approve the waiver of the requirements of filing a preliminary plat and may recommend approval of the final plat by the SDRC.
 - B. A plat and application shall be submitted to the Manager or his/her designee which shall conform fully to the requirements of these regulations.
 - C. Where the minor subdivision is located on an existing road or street, the combination or recombination of previously platted lots, where the total number of lots does not increase, and the resultant lots are equal to the current standards of the governing authority as determined by the SDRC, shall also be subject to administrative approval. Such plats shall conform fully to the requirements of this UDC.
- 10.04.02.5 Preliminary Subdivision Plat
- A. Purpose
The purpose of the preliminary plat is to safeguard the subdivider from unnecessary loss of time and expense in preparation of a subdivision plat which does not conform with the specifications of this UDC. The preliminary plat requires accuracy of scale and dimension. Public agencies having jurisdiction will review preliminary plats regarding matters within their jurisdiction. During the review process, the subdivider or his agent may be called upon for consultation.
 - B. Filing
Any person desiring to subdivide land shall file an application as specified in Section 10.02.05 of this UDC.
 - C. Review of preliminary plat
 1. Upon receipt of the filing of the preliminary plat, the Manager or his/her designee shall prepare those materials for presentation to the SDRC.
 2. The SDRC shall review the preliminary plat for technical compliance with the UDC, the Comprehensive Plan, and other ordinances of the governing authority that might impact the proposed land subdivision.
 3. The SDRC shall, with or without modification, approve or disapprove the preliminary plat to the extent that it has jurisdiction.
 4. If the plat is rejected, the respective reviewing agency shall provide a written statement specifying all aspects where the plat fails to comply.
 5. The SDRC shall recommend in writing approval, postponement or disapproval within thirty (30) days of submission.

- D. Approval of preliminary plat
1. Upon approval of the preliminary plat by the SDRC, the developer is authorized to proceed with the preparation of the required improvement plans. No developer shall proceed with any construction or any other work in the proposed subdivision before obtaining approval of the improvement plans in writing.
 2. Preliminary plat approval grants the developer a maximum time of eighteen (18) months within which he shall submit his subdivision improvement plan. A time extension may be granted by the SDRC before the expiration of the eighteen (18) month period. If an extension is granted, it shall be for not more than twelve (12) additional months.
 3. Failure to submit improvement plans within this time period, including extension if any, shall invalidate preliminary plat approval and require resubmission of preliminary plat.
 4. Additionally, if, in the opinion of the SDRC, substantial changes have been made to the approved preliminary plat, the revised plat shall be resubmitted as a new preliminary plat.
- E. Postponement
Action is delayed for specific reasons which shall be noted and transmitted in writing to the developer by the SDRC. Postponed preliminary plans may be reconsidered by the SDRC without re-submittal.
- F. Disapproval
The SDRC shall deny the application for the subdivision if the developer's plans are not in compliance with this UDC. The specific reasons for disapproval shall be stated in writing to allow for correction. For further consideration, the developer must revise and resubmit his plans as though they were a completely new preliminary plat.

10.04.02.6 Subdivision Improvement Plans

- A. General requirements
1. Subdivision plats receive their second official consideration as "improvement plans."
 2. These plans shall be approved by the SDRC who shall certify that the improvement plans are in conformance with this UDC, official specifications of the governing authority, and with the requirements of the approved preliminary plan.
 3. No developer shall proceed with any construction work in the proposed subdivision before obtaining this approval.
- B. Professional engineer or consultant required
Should certain design calculations be required to resolve flow problems, possible erosion or drainage problems, or other detailed design problems which might be encountered in the process of preparing the required improvement plan, the Manager or his/her

designee shall be authorized to require the services of a professional engineer or consultant in the improvement plan design process. Should such services be required, such plans shall reflect the engineer or consultant's state registration.

C. Filing

Any person desiring to subdivide land shall file an application as specified in Section 10.02.05 of this UDC.

D. Approval

Upon approval of the improvement plan by the SDRC, and upon securing all required development permits, the developer is authorized to proceed with construction of the physical improvements in the subdivision, and may proceed with the preparation of the final subdivision plat.

E. Denial

The SDRC shall deny the application for the subdivision improvement plans if the developer's plans are not in compliance with this UDC. The specific reasons for disapproval shall be stated in writing to allow for correction. For further consideration, the developer must revise his plans to conform to the requirements of this UDC, and then submit the revised plans to the SDRC as though they were a completely new set of plans.

10.04.02.7 Final Subdivision Plat

A. Conformance

1. The final plat shall conform with the approved preliminary plat and improvement plan.
2. If desired by the subdivider, he may submit only that portion of the preliminary plat he proposes to record and develop at that time, provided that such portion conforms with all requirements of this UDC.
3. The record plat, also known as the final plat, is to be prepared and sealed by a registered land surveyor licensed in the State of Georgia.
4. No plat of a land subdivision shall be recorded unless the plat conforms to the requirements of the UDC, and the governing authority has formally accepted dedication of any proposed streets and encroachments.

B. Filing

1. Filing the final plat with the Manager or his/her designee shall include those items listed under Section 10.02.05 of this UDC.
2. At the time of filing with the Manager or his/her designee, a certificate of filing shall be furnished to the applicant which will include the time and date of filing.

C. Staff Development Review Committee

1. The SDRC shall review the final plat for technical compliance with the Unified Development Code, the Comprehensive Plan, and other ordinances or regulations that might have an impact on the proposed land subdivision.

2. The SDRC shall recommend in writing, approval, postponement or disapproval.
 3. If the final plat is disapproved, the reasons therefore shall be stated and the subdivider shall be so informed. The SDRC shall have authority to reject the final plat if they find that it does not conform with the approved preliminary plat, the approved improvement plan or with this UDC.
 4. If the plat is rejected, the SDRC shall provide the subdivider with a written statement specifying all the respects in which it does not conform.
- D. Recording a plat
The Tift County Board of Commissioners shall release the plat for recording as follows;
1. Upon satisfactory compliance with this UDC;
 2. After the required bond or guarantee has been posted.
- E. Distribution
The Manager or his/her designee shall distribute the final plat to the departments and agencies of the governing authority, and others as established by the policies of the governing authority.
- F. Map and parcel number assigned
Any plat approved through the subdivision process shall be assigned a map and parcel number by the Tift County Tax Assessors' office.

10.04.02.8 Site Development Plans

- A. The SDRC shall review the site development plan for technical compliance with the Unified Development Code, the Comprehensive Plan, and other ordinances that might have an impact on the proposed development of land.
- B. The SDRC shall recommend in writing, approval, postponement or disapproval.
- C. The SDRC shall not approve the site development plan if the developer's plans are not in compliance with this UDC. The specific reasons for disapproval shall be stated in writing to allow for correction. For further consideration, the developer must revise his plans to conform to the requirements of this UDC, and then submit the revised plans to the SDRC.
- D. No developer shall proceed with any construction work on the proposed development without obtaining approval of the site development plan.

10.04.03 Procedural Requirements for RPD and UPD Applications

Approval of a site conceptual development plan and rezoning for the RPD or UPD district shall include the condition that such legal instruments are properly recorded and shall be binding on the development of the site.

10.04.04 Procedures for Action by the Governing Authority

- A. Generally
 - 1. Within the unincorporated areas of Tift County, the governing authority shall be the Board of Commissioners of Tift County, Georgia
- B. Rezoning Procedures
 - 1. General conditions
 - a. Zoning regulations, including the zoning map, may be amended by the governing authority on their own motion, on petition, or on recommendation of the Planning Commission, but no amendment shall become effective, unless it shall have been proposed by or shall first have been submitted to the Planning Commission for review and recommendation.
 - b. Before enacting an amendment to these regulations, the governing authority shall give public notice and hold a public hearing thereon as set forth in this UDC.
 - 2. Application for amendment
 - a. Applications for amendment of these regulations may be in the form of proposals for amendment of the text of these regulations or proposals for amendment of the zoning maps.
 - b. Applications shall be in the form specified in Section 10.02.00.
 - c. No application for a zoning change affecting the same parcel of property or part thereof shall be accepted by the Manager or his/her designee until the expiration of at least six months immediately following the defeat of the rezoning request by the governing authority.
 - 3. Referral to Planning Commission
 - a. After the routine monthly application acceptance deadline, the Manager or his/her designee shall transmit a copy of the completed application to the Planning Commission, and applicable staff members, for review and recommendation.
 - b. The Planning Commission shall review each application for consistency with the adopted Comprehensive Plan, and the adopted standards for exercise of the zoning powers.
 - c. The Planning Commission shall have thirty (30) days within which to submit a report to the governing authority.
 - d. The SDRC report and Planning Commission recommendations shall then be transmitted to the governing authority.
 - 4. Standards for exercise of zoning powers

In order to promote the public health, safety, and general welfare to Tift County and the residents thereof against the unrestricted use of property, the following standards, and any other factors relevant to balancing the above stated public interest, shall be considered by the governing authority in making any zoning decision:

 - a. The existing land use pattern;
 - b. The possible creation of an isolated district unrelated to adjacent and near districts;
 - c. The existing population density pattern and the possible increase or overtaxing of the load on public facilities;

- d. Whether changed or changing conditions make the passage of the proposed amendment reasonable;
 - e. Whether the proposed change will adversely influence existing conditions in the neighborhood or the community at large;
 - f. Potential impact on the environment, including, but not limited to, drainage, soil erosion, and sedimentation, flooding, air quality, and water quality and quantity;
 - g. The reasonableness of the costs required of the public in providing, improving, increasing or maintaining public utilities, schools, streets and public safety necessities when considering the proposed change;
 - h. Whether the proposed change will be detrimental to the value, improvement, or development of adjacent or nearby property in accordance with existing regulations;
 - i. Whether the proposed change is out of scale with the needs of the neighborhood, area, or Tift County;
 - j. Whether the proposed change will constitute a grant of special privilege to the individual owner as contrasted with the adjacent or nearby neighborhood or with the general public; and
 - k. The extent to which the zoning decision is consistent with the Comprehensive Plan, as duly amended.
 - i. The Comprehensive Plan is established as official policy of the City of Tifton and Tift County.
 - ii. As such, the goals and policies of the Plan, and the resultant Future Land Use Plan, shall serve as the guide under which areas are divided into zoning districts.
5. Additional Restrictions and Standards May Be Required
- a. Provided, that the governing authority may impose or require such additional restrictions and standards as may be necessary to protect the health and safety of workers and residents in the community, and to protect the value and use of property in the general neighborhood; and
 - b. Provided that wherever the governing authority shall find in the case of any permit granted pursuant to the provisions of these regulations that any term, condition or restrictions upon which such permit was granted are not being complied with, said governing authority shall rescind and revoke such permit after giving due notice to all parties concerned and granting full opportunity for a public hearing.
- C. Removal of Recorded Subdivision
- 1. After a subdivision has been recorded, the property owner or his agent may petition the governing authority for permission to remove the subdivision plat from the land records of Tift County.
 - 2. The governing authority may permit such removal providing that no lot in the subdivision has been sold.

3. Upon giving its permission for such removal, the governing authority shall release bonds or cash posted by the property owner pursuant to the provisions of Section 10.02.09.

D. Amendments to UDC text

Action by the governing authority regarding proposed amendments to the UDC text shall be taken at an advertised public hearing, and shall be based on the following information:

1. The SDRC compliance report and recommendation;
2. The recommendation of the Planning Commission;
3. The application and supporting documentation; and
4. Testimony during the public hearing.

10.05.00 APPEALS

10.05.01 Applicability

- A. The ZBA shall hear and decide upon appeals where it is alleged there is error in any order, requirement, decision, or determination made by the Manager or his/her designee in the enforcement of this UDC.
- B. Appeals to the ZBA may be taken by any person aggrieved or by any officer, department, board, or bureau of the governing authority affected by any decision of the Manager or his/her designee. Such appeals shall be filed no later than thirty (30) days after the date of notification of the decision appealed from by filing with the Manager, and with the ZBA, a notice of appeal specifying the grounds thereof. The Manager or his/her designee shall forthwith transmit to the ZBA all the papers constituting the record upon which the action appealed from was taken.
- C. Administrative remedies
 1. The suspension, revocation, modification or grant with condition of a permit by the governing authority upon finding that the holder is not in compliance with this UDC; or that the holder is in violation of permit conditions; or that the holder is in violation of any ordinance; shall entitle the person submitting the plan or holding the permit to a hearing before the ZBA.

10.05.02 Stay of Proceedings

An appeal stays all legal proceedings in furtherance of the action appealed from, unless the Manager or his/her designee certifies to the governing authority after the notice of appeal shall have been filed with him that by reason of facts stated in the certificate a stay would, in his opinion, cause imminent peril to life and property. In such case, proceedings shall not be stayed otherwise than by a restraining order, which may be granted by the ZBA or by a court of record on application, on notice to the Manager or his/her designee, and on due cause shown.

10.05.03 Action on Appeals

- A. Before making its decision on any appeal, request for a variance, or any other matter within the ZBA's authority, the ZBA shall hold a public hearing, in conformance with the provisions and notice requirements of this UDC.
- B. The appellant and any public agency or private individual shall be entitled to present evidence on matters before the ZBA board, and the ZBA may request technical service, advice, data, or factual evidence from the Manager or his/her designee and the governing authority for assistance in reaching decisions.
- C. The ZBA may, in conformity with the provisions of this UDC, reverse or affirm, wholly or partly, or may modify the order, requirement, decision, or determination of the Manager. The board may direct the issuance of a permit. It shall be the duty of the Manager or his/her designee to carry out the decisions of the ZBA.

10.05.04 Appeals to Superior Court

- A. **Appeal from the Governing Authority**
Any party aggrieved by any decision of the Board of Commissioners, the Zoning Board of Appeals, or the Tift County Airport Authority may seek review of such decision by the Tift County Superior Court, as provided by law.

10.06.00 ENFORCEMENT AND PENALTIES

10.06.01 Enforcement

- A. **General Remedies**
In case any building or structure is or is proposed to be erected, constructed, reconstructed, altered, converted, or maintained, or any building, structure, or land is or is proposed to be used in violation of these regulations, the Manager or his/her designee or any adjacent or neighboring property owner or occupant who would be damaged by such violation may, in addition to other remedies, institute injunction, mandamus, or other appropriate action or proceedings to prevent such unlawful erection, construction, reconstruction, alteration, conversion, maintenance, or use, or to correct or abate such violation, or to prevent the occupancy of said building, structure, or land.
- B. **Enforcement Authority**
Upon determination by the Manager or his/her designee that reasonable grounds exist to believe that there exists any violation of any provision of this UDC, the building permit or a landscape plan, the Manager or his/her designee shall be entitled to take any, all or any combination of the following actions, or to cause such actions to be taken, as the Manager or his/her designee in his sole discretion shall determine to be appropriate:
 - 1. Give written notice to the applicant, owner, developer, landscape contractor and/or other appropriate persons of the existence of such violations, the nature and extent of the violations, the actions necessary to correct the violations, and the time limit within which remedial actions must be taken;

2. Suspend or revoke any or all building permits and land disturbance permits issued;
 3. Issue stop work orders in connection with any or all construction, work or other activity then being conducted upon the lot pursuant to any building or construction license, permit, or any land disturbance permit which has been issued;
 4. Declare any bond or security given pursuant to this UDC forfeited in the event of circumstances authorizing the forfeiture following the giving of written notice to the principal and any surety thereon of intention to so do and the failure of the circumstances giving rise thereto to be remedied within sixty (60) days thereafter, to take all actions necessary to collect the proceeds thereof, and to proceed to remedy the circumstances giving rise to the forfeiture upon collection of the proceeds of the bond or security;
 5. Institute proceedings to effectuate remedy of the circumstances giving rise to the violations; and
 6. Take such other actions as are appropriate under the circumstances in order to obtain compliance with the provisions of this UDC consistent with applicable law and available resources of the governing authority.
- C. Stay of enforcement
Filing of an appeal to determination of Manager or his/her designee to the ZBA or filing of an application for rezoning with the governing authority will automatically stay enforcement until the appeal or rezoning question is resolved.
- D. Sign regulations
1. General
If the governing authority believes that a sign is in violation of this UDC, a notice of non-compliance shall be issued to the permit holder if a permit was issued and, if no permit was issued, then to the sign owner if known and, if not known, then to the property owner. The notice of non-compliance shall list the reasons the governing authority believes the sign is in non-compliance. The permit holder or owner, as applicable, of said sign shall have seven (7) days from the receipt of the notice of non-compliance to either:
 - a. Bring the sign into compliance,
 - b. Remove the sign, or
 - c. Come to a written agreement with the Manager or his/her designee as to a specific date in which the sign will be brought into compliance.
 2. Citation issued
In the event the owner does not bring a permanent sign into compliance with the UDC, a citation shall be issued citing the owner for violating the sign provisions of this UDC.
 3. Removal
The Court may order the removal of any permanent sign in violation of this UDC. The cost of removal shall be the responsibility of the sign owner and/or any other party that procured the erection of the sign. Any non-permanent sign not in compliance with this UDC is subject to immediate removal by the governing authority and must be reclaimed within three (3) business days of removal.

- E. Erosion control
 - 1. Notice of violation
 - a. The Manager or his/her designee will periodically inspect the sites of land disturbing activities for which permits have been issued to determine if the activities are being conducted in accordance with the plan and if the measures required in the plan are effective in controlling erosion and sedimentation.
 - b. If, through inspection, it is deemed that a person engaged in land disturbing activities as defined in this UDC has failed to comply with the approved plan, with permit conditions or with the provisions of this UDC, a written notice to comply shall be served upon that person.
 - c. The notice shall set forth the measures necessary to achieve compliance and shall state the time within which such measures must be completed.
 - d. If the person engaged in the land disturbing activity fails to comply with the time specified, he shall be deemed in violation of this UDC.
 - 2. Investigation authority

The Manager or his/her designee shall have the power to conduct such investigations as he may reasonably deem necessary to carry out duties as prescribed in this UDC, and for this purpose to enter at reasonable times upon any property, public or private, for the purpose of investigation and inspecting the sites of land disturbing activities.
 - 3. Access for inspections to be permitted

No person shall refuse entry or access to any authorized representative or agent of the governing authority; who requests entry for the purposes of inspection, and who presents appropriate credentials, nor shall any person obstruct, hamper or interfere with any such representative while in the process of carrying out his official duties.

10.06.02 Penalties

- A. Any person who is convicted of violating a provision of this UDC, or fails to comply therewith or with any of the requirements of this UDC, or who shall erect, construct, alter, demolish or move any building or structure or has erected, constructed, altered, repaired, moved or demolished a building or structure in violation of a detailed statement or drawing submitted and approved under this UDC, shall, upon conviction, be penalized by the imposition of a fine not exceeding \$1000.00 per day and/or imprisonment for a period not greater than sixty (60) days. Violations of the Erosion Sedimentation and Pollution Control Ordinance may be fined up to \$ 2500.00. **AND**
- B. Each day of continued violation shall be considered a separate offense.