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**AGENDA**  
**TOWN COUNCIL OF THE TOWN OF TARBORO, NC**  
**REGULAR MEETING HELD AT 7:00 PM, MONDAY, APRIL 13, 2020**  
**IN THE COUNCIL ROOM, TOWN HALL, TARBORO, NC**

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**1. MEETING CALLED TO ORDER BY THE MAYOR**

**PLEASE TURN CELL PHONES OFF**

**2. INVOCATION**

**3. PLEDGE OF ALLEGIANCE**

**4. APPROVAL OF AGENDA BY COUNCIL**

**5. REQUESTS AND PETITIONS OF CITIZENS**

(Five minute time limit per person)

**6. MATTERS SCHEDULED FOR PUBLIC HEARING**

Conditional Use Permit 19-01 - Industrial Parkway - to consider an application from Steve Newcombe to subdivide 14.37 acres into a major subdivision with residential lots on the west side of Industrial Parkway between Westchester Drive and Western Boulevard.

**7. REPORTS OF BOARDS AND COMMISSIONS**

(1) The Planning Director will present the Planning Board Report.

**8. TOWN MANAGERS RECOMMENDATIONS**

**Consent Items**

- (1) Approve minutes of the March 9, 2020 regular meeting and the March 24, 2020 emergency meeting.
- (2) 2019 Tax Levy Memo
- (3) Tax Collector's Report

**Action Items**

- (4) Budget Amendment - Insurance Claims
- (5) Budget Amendment - Refunded Fees
- (6) Bid Award - Fire Pumper
- (7) Utility Easement Agreement - Carolina Telephone and Telegraph, LLC D/B/A CenturyLink
- (8) Appointment - Planning Board
- (9) Appointment - Tarboro-Edgecombe Airport Authority

**9. OTHER REPORTS**

- A. Town Manager
- B. Town Attorney

C. Council Members

**10. ADJOURNMENT**

**TOWN OF TARBORO**

**CONDITIONAL OR SPECIAL USE PERMIT  
BOARD CONSIDERATION WORKSHEET**

Applicant: Steve Newcombe

Property Location: West side of Industrial Parkway between Westchester Drive and Western Boulevard. The acreage is 14.37.

Proposed Use of Property: Major subdivision with residential lots.

**I. COMPLETENESS OF APPLICATION**

- ☐ The application is complete.  
☐ The application is incomplete in the following ways:

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**II. COMPLIANCE WITH ORDINANCE REQUIREMENTS**

- ☐ The application complies with all applicable requirements of the land-use ordinance.  
☐ The application is not in compliance with the following requirements of the land-use ordinance:

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**III. GRANTING THE APPLICATION**

- ☐ The application is granted, subject to the following conditions:  
(1) The applicant shall complete the development strictly in accordance with the plans submitted to and approved by this Board, a copy of which is filed in the office of the Building Inspector.  
(2) If any of the conditions affixed hereto or any part thereof is held invalid or void, then this permit shall be void and of no effect.

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**IV. DENYING THE APPLICATION**

- ☐ The application is denied because it is incomplete for the reasons set forth above in Section I.  
☐ The application is denied because it does not comply with the ordinance requirements set forth above in Section II.  
☐ The application is denied because, if completed as proposed, the development probably:

- ☐ Will materially endanger the public health or safety for the following reasons:

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- ☐ Will substantially injure the value of adjoining or abutting property for the following reasons: \_\_\_\_\_

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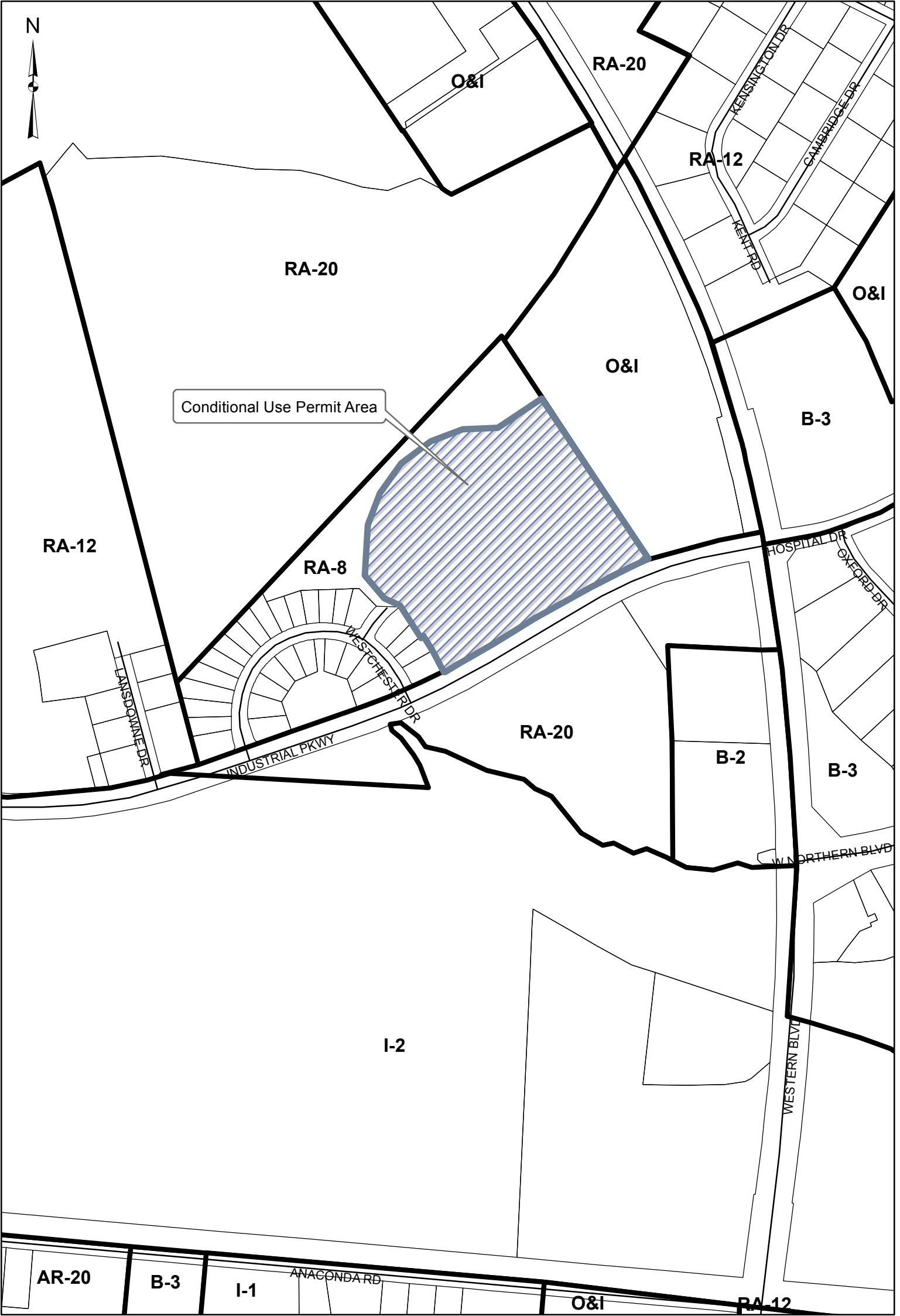
- ☐ Will not be in harmony with the area in which it is to be located for the following reasons: \_\_\_\_\_

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- ☐ Will not be in general conformity with the Land Use Plan, Thoroughfare Plan, or other plans officially adopted by the Town Council for the following reasons: \_\_\_\_\_

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NO.	REVISIONS	DATE

Town Of Tarboro Tarboro, North Carolina		
CONDITIONAL USE PERMIT CAMBRIDGE COMMONS PHASE II & III INDUSTRIAL PARKWAY		
DWN. RER	DATE 3/17/2020	1 of 1
CKD.	APPD.	
SCALE NONE	PLOT	



I, Catherine Grimm, Secretary of the Town of Tarboro's Planning Board and Zoning Commission, in accordance with North Carolina G.S. 160A-384, hereby certify that the attached list of property owners were mailed notices by first class mail of this public hearing scheduled for April 13, 2020 at 7:00 p.m. in the Council Chambers of the Town Hall regarding the request for a conditional use permit to subdivide 14.37 acres into a major subdivision with residential lots on the west side of Industrial Parkway between Westchester Drive and Western Boulevard.

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Catherine Grimm  
Secretary

<b>Parcel ID#</b>	<b>Name</b>	<b>Address</b>
472952218500	First Original Free Will Baptist	3150 Western Blvd Tarboro, NC 27886
472930920700	3MR Limited Partnership	2687 Old Bailey Hwy. Nashville, NC 27856
472941334800	Alice Carpenter	3000 Westchester Drive Tarboro, NC 27886
472941341400	Stalls Margie B. Trustee, et al	3002 Westchester Drive Tarboro, NC 27886
472941253400	Mike Blanton, et al	P.O. Box 1439 Tarboro, NC 27886
472941247900	Alexander Wesley Moore	3004 Westchester Drive Tarboro, NC 27886
472941151900	EJ Poindexter, et al	3100 Westchester Drive Tarboro, NC 27886
472941065100	Jacqueline Thompson- Foscolos	3102 Westchester Drive Tarboro, NC 27886

NORTH CAROLINA

EDGECOMBE COUNTY

TOWN OF TARBORO

CONDITIONAL USE PERMIT GRANTED

On the date(s) listed below, the **TOWN COUNCIL** of the **TOWN OF TARBORO** met and held a public hearing to consider the following application:

<b>APPLICANT:</b> STEVE NEWCOMBE
<b>OWNER:</b> STEVE NEWCOMBE
<b>PROPERTY LOCATION (Street Address):</b> WEST SIDE OF INDUSTRIAL PARKWAY BETWEEN WESTCHESTER DRIVE & WESTERN BOULEVARD
<b>TAX MAP, BLOCK, LOT(S):</b> PARCEL # 4729416901
<b>PROPOSED USE OF PROPERTY:</b> TO SUBDIVIDE 14.37 ACRES INTO A MAJOR SUBDIVISION WITH RESIDENTIAL LOTS
<b>TARBORO LAND USE ORDINANCE USE CATEGORY:</b> RESIDENTIAL DISTRICT (RA-8)
<b>MEETING DATE(S):</b> APRIL 13, 2020

Having heard all the evidence and arguments presented at the hearing, the Council finds that the application is complete, that the application complies with all of the applicable requirements of the Tarboro Unified Development Ordinance (UDO) for the development proposed, and that therefore the application to make use of the above described property for the purpose indicated is hereby approved, subject to all applicable provisions of the UDO and the following conditions:

- 1) The applicant shall complete the development strictly in accordance with the plans submitted to and approved by this Council, a copy of which is filed in the Tarboro Town Hall. Any deviations from or changes in these plans must be pointed out specifically to the administrator in writing and specific written approval obtained as provided in Section 65 of the UDO.
- 2) If any of the conditions affixed hereto or any part thereof shall be held invalid or void, then this permit shall be void and of no effect.

This permit shall automatically expire within two years of the date of issuance if the use has not commenced or less than 10 percent (10%) of total cost of construction has been completed or there has been non-compliance with any other requirements of the Tarboro UDO.

All street construction on those streets proposed for acceptance by the Town of Tarboro shall be certified by an engineer. Engineering certification is the inspection by the developer's engineer of the street's subgrade, base material, asphalt paving, sidewalks and curb and gutter, when used. The developer's engineer shall be responsible for reviewing all compaction tests that are required for streets to be dedicated to the town. The developer's engineer shall certify that all work has been constructed to the town's construction specifications.

If this permit authorizes development on a tract of land in excess of one acre, nothing authorized by the permit may be done until the property owner properly executes and returns to the Town of Tarboro the attached acknowledgment of the issuance of this permit so that the town may have it recorded in the Edgecombe County Registry.

NORTH CAROLINA

EDGECOMBE COUNTY

IN WITNESS WHEREOF, the Town of Tarboro has caused this permit to be issued in its name, and the undersigned being all of the property above described, do hereby accept this Conditional Use Permit, together with all its conditions, as binding upon them and their successors in interest.

THE TOWN OF TARBORO

ATTEST:

\_\_\_\_\_(SEAL) BY \_\_\_\_\_  
Town Clerk Town Manager

I, \_\_\_\_\_, a Notary Public in and for said County and State, do hereby certify that Leslie Lunsford, Town Clerk for the Town of Tarboro, personally came before me this day and being by me duly sworn says each for himself that she knows the corporate seal of the Town of Tarboro and that the seal affixed to the foregoing instrument is the corporate seal of the Town of Tarboro, that Troy R. Lewis, Town Manager of said Town of Tarboro and Leslie Lunsford, Town Clerk for the Town of Tarboro subscribed their names thereto; that the corporate seal of the Town of Tarboro was affixed thereto, all by virtue of a resolution of the Town Council, and that said instrument is the act and deed of the Town of Tarboro.

IN WITNESS THEREOF, I have hereunto set by hand and notarial seal this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_(SEAL)  
Notary Public

My Commission Expires: \_\_\_\_\_

I (We) \_\_\_\_\_, owner(s), do hereby acknowledge receipt of this Conditional Use Permit. The undersigned owner(s) do further acknowledge that no work may be done pursuant to this permit except in accordance with all of its conditions and requirements and that this restriction shall be binding upon them and their successors in interest.

Attest: \_\_\_\_\_  
(Corporate Name)

\_\_\_\_\_(SEAL) BY \_\_\_\_\_  
Secretary President

NORTH CAROLINA  
EDGECOMBE COUNTY

I, \_\_\_\_\_, a Notary Public of \_\_\_\_\_County, N.C. do hereby certify that \_\_\_\_\_ appeared before me this day and being duly sworn says that he knows the common seal of \_\_\_\_\_, and is acquainted with \_\_\_\_\_, who is president of said corporation and he \_\_\_\_\_, who is secretary of said corporation, saw the said president sign the foregoing instrument and that he, \_\_\_\_\_, secretary as aforesaid, affixed said seal of

said instrument and he, the said secretary, signed his name in attestation of execution of said instrument in the presence of said president of said corporation.

Witness my hand and notarial seal, this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires:\_\_\_\_\_

(Not valid until fully executed and recorded)

STATE OF NORTH CAROLINA  
COUNTY OF EDGECOMBE

The foregoing certificate(s) of\_\_\_\_\_ Notary/Notaries  
Public of the designated governmental units (is) (are) certified to be correct.

This the \_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
Register of Deeds

By:\_\_\_\_\_  
Assistant/Deputy Register of Deeds

**PREPARED BY:**  
PLANNING DEPARTMENT  
TOWN OF TARBORO  
500 MAIN STREET  
TARBORO, NORTH CAROLINA 27886



CU- 19-01DATE: 8/30/19

APPLICATION FOR CONDITIONAL USE PERMIT  
PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT  
TOWN OF TARBORO, N.C.

TO THE PLANNING BOARD AND TOWN COUNCIL:

I, the undersigned, do hereby make application to and petition the Planning Board and Town Council to grant a conditional use permit as required in the Land Development Ordinance. In support of this application, the following facts are shown:

The property sought for conditional use is located on the west side of Industrial Pkwy (street/avenue) between Westchester Drive (street/avenue) and Western Blvd (street/avenue). The address is parcel ID: 4729-41-6901 and it is known as lot number(s): \_\_\_\_\_, block number(s): \_\_\_\_\_ of Edgecombe County tax map 4729.18 - 01-Tarboro township. It has a frontage of approx 880 feet and a depth of approx 765 feet, containing 14.37 acres.

The conditional use sought is based on Section(s) 54/79 of the Tarboro Land Development Ordinance. The property in question is located in a RA-8 zoning district and is proposed for the following use:

residential construction, major subdivision  
Planned Residential Development

The following are all individuals, firms or corporations owning property, any portion of which is within one hundred (100) feet of the property involved in this request:

Parcel ID#	Name	Address
472952218500	First Original Free Will Baptist	3150 Western Blvd, Tarboro
472930920700	3MR Limited Partnership	2687 old Bailey Hwy, Nashville, NC 27856
472941334800	Alice Carpenter	3000 Westchester Dr, Tarboro
472941341400	Stalls Margie B Trustee et al	3002 Westchester Dr, Tarboro
472941253400	Mike Blanton et al.	PO Box 1439, Tarboro
472941247900	Alexander Wesley Moore	3004 Westchester Dr, Tarboro
472941151900	ES Poindexter et al.	3100 Westchester Dr, Tarboro
472941065100	Jacqueline Thompson-Foscoles	3102 Westchester Dr., Tarboro

Conditional Use Permit Application



I, certify that all information furnished in this application is accurate to the best of my knowledge.

Petitioner: Steve Newcombe Signature: [Signature]

Mailing Address: PO Box 439, Nashville, NC 27856

\*Property Owner: Steve Newcombe Signature: [Signature]

Mailing Address: PO Box 429, Nashville, NC 27856

Prop. Owner: David Rose Signature: David L. Rose

Mailing Address: 2687 Old Bailey Hwy, Nashville, NC 27856

\*Property owner(s) signature is required before application is accepted.

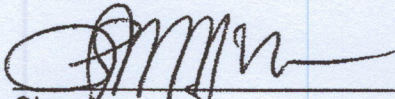
NOTE: IF THE REQUEST IS MADE BY A CORPORATION, THE NAMES AND ADDRESSES OF ALL OFFICERS IN THE CORPORATION MUST BE PROVIDED. A REQUEST FOR "PARALLEL CONDITIONAL USE DISTRICT" MUST ALSO BE ACCOMPANIED BY A LETTER FROM THE OWNER OR AN AUTHORIZED OFFICER OF THE CORPORATION INDICATING THEIR AGREEMENT TO ABIDE BY THE CONDITIONS OF APPROVAL IMPOSED BY THE TOWN COUNCIL.



Legal Description (Metes and Bounds Description):

Attached

Current land use: vacant

  
Signature

8/30/19  
Date

Conditional Use Permit Application



FILED  
EDGEcombe COUNTY NC  
01/23/2004 2:14 PM  
JUDY W. COLE  
Register Of Deeds

*Parula Williams*  
Register/Deputy/Asst-

2005  
Prepared by T. D. Jones, III, Attorney

NORTH CAROLINA

NO TITLE EXAMINATION REQUESTED OR PERFORMED..

EDGEcombe COUNTY

THIS DEED, made this 15<sup>th</sup> day of January, 2004, by 3 MR LIMITED PARTNERSHIP, a NC limited partnership, and CHARLES ALLEN ROSE and wife, SHEREE B. ROSE, GRANTORS, to STEVE A. NEWCOMBE, GRANTEE, whose address is ←  
617 Lonatree Drive, Nashville, NC 27856

WITNESSETH:

THAT FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) and other good and valuable consideration paid to the GRANTORS by the GRANTEE, the receipt of which is hereby acknowledged, the GRANTORS have bargained and sold, and by these presents do bargain, sell and convey to the GRANTEE, his heirs and assigns, a one-half undivided interest in and to that certain lot or parcel of land lying and being situate in No. 1 Township, Edgcombe County, North Carolina, and more particularly described as follows:

CONTAINING 14.38 acres and being more particularly described on Exhibit A hereto.

TO HAVE AND TO HOLD said one-half undivided interest in and to the above lands and all privileges and appurtenances thereto belonging to the GRANTEE, his heirs and assigns, in fee simple forever.

BUT, NEVERTHELESS, expressly subject to all other restrictions, rights of way, easements and permits of record.

AND, the GRANTORS, for themselves, their heirs and assigns, covenant to and with the GRANTEE, his heirs and assigns, that they are seized of said premises in fee and have full right to convey the same in fee simple; that there are no encumbrances thereon except as set forth above, and that they will forever warrant and defend the title to the same against the lawful claims of all persons whomsoever.



## EXHIBIT A

BEGINNING at a point in the northerly right of way of Industrial Parkway (SR 1346), said point being the southeasterly corner of Lot 20 of Cambridge Commons, Phase One, of record in Plat Cabinet 7, Slide 257 & 258, Edgecombe County Registry; thence from said point of beginning N. 29 deg. 56' 11" W. 155.85 feet to a point, cornering; thence S. 51 deg. 54' 41" W. 10.97 feet to a point, cornering; thence N. 33 deg. 28' 42" W. 135.50 feet to a point; thence N. 63 deg. 06' 39" W. 66.09 feet to a point; thence N. 39 deg. 33' 25" W. 117.76 feet to a point; thence N. 02 deg. 18' 30" E. 55.33 feet to a point; thence N. 04 deg. 29' 16" E. 132.65 feet to a point; thence N. 20 deg. 47' 32" E. 132.65 feet to a point; thence N. 37 deg. 05' 48" E. 132.65 feet to a point; thence N. 53 deg. 24' 04" E. 132.65 feet to a point; thence N. 69 deg. 42' 20" E. 132.65 feet to a point; thence N. 86 deg. 00' 36" E. 132.65 feet to a point; thence N. 56 deg. 35' 24" E. 193.50 feet to a point, cornering; thence S. 33 deg. 24' 36" E. 720.93 feet to a point in the northerly right of way of SR 1346, cornering; thence with and along said right of way the following courses and distances: S. 66 deg. 18' 24" W. along the arc of a curve having a radius of 1,482.39 feet a distance of 168.72 feet; thence S. 60 deg. 34' 27" W. 233.48 feet; thence S. 59 deg. 08' 36" W. 202.78 feet; thence S. 59 deg. 39' 21" W. 149.16 feet; thence S. 61 deg. 50' 47" W. along the arc of a curve having a radius of 2,814.79 feet a distance of 119.86 feet to the point of beginning, containing 13.38 acres.

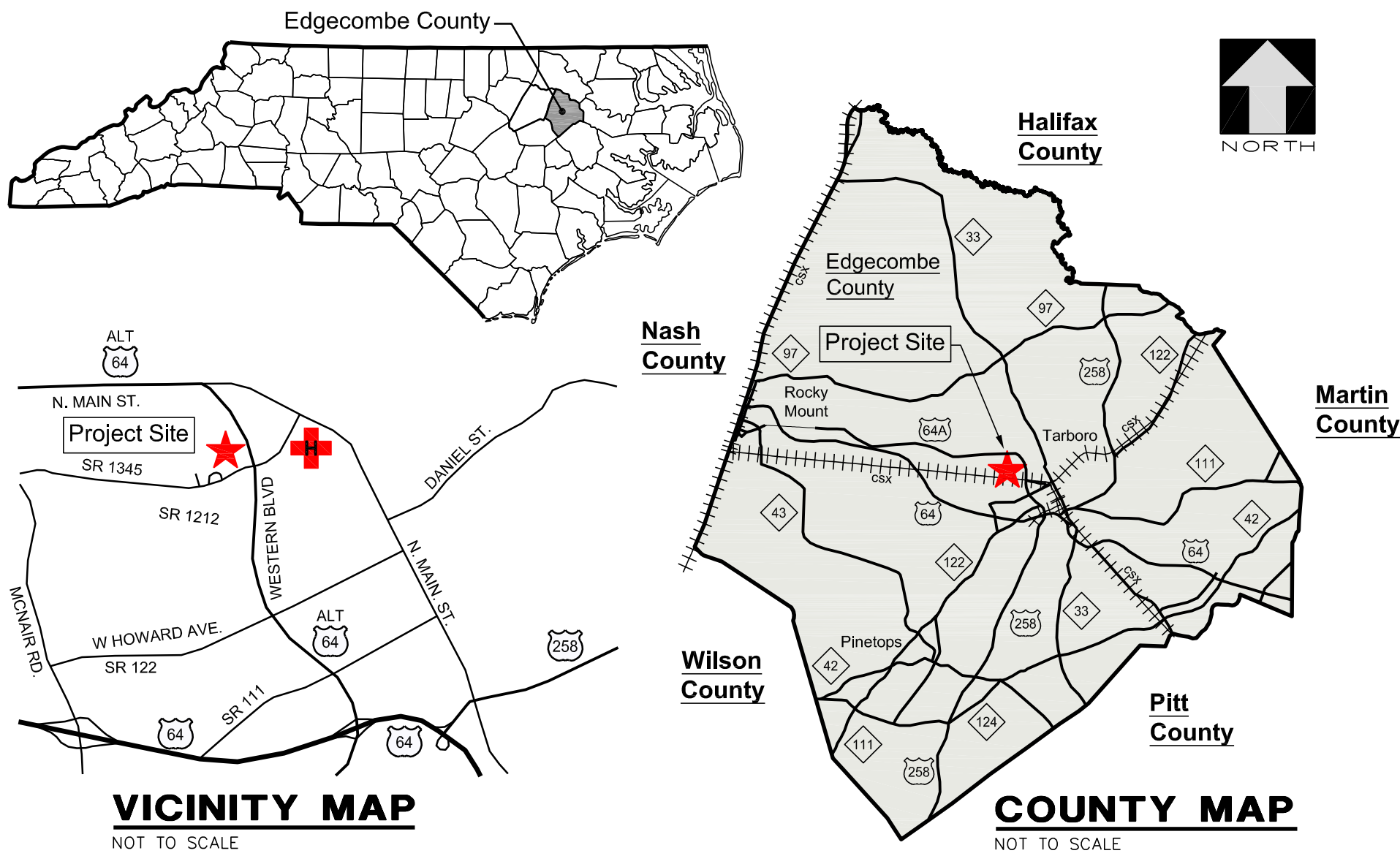
23.00



**GENERAL NOTES**  
Last Revised 1/28/20

- The purpose of this project is the construction of 32 single-family homes in the undeveloped 14-acres at Cambridge Commons subdivision. The Town of Tarboro approved the construction plat for Cambridge Commons Phase II & III in 2005, for a total of 52 units (26 duplex buildings). NCDEQ water and sewer permits were approved, but the phase was not constructed. Phase I was constructed in 2002, with the existing detention pond designed to serve the entire subdivision.
- Location and topographical information partially obtained from an actual field survey performed by Chamblee and Strickland Land Surveyors, March 14, 2001. Reference Datum is Mean Sea Level (MSL). Additional existing site information obtained from Edgecombe County GIS and engineering field survey. Horizontal Datum is NAD '83/2011 NC State Plan Coordinates. Location of property boundaries and easements must be done by a Professional Land Surveyor. This document is not to be used as a Deed of Easement, nor is it to be construed to permit the location, description, establishment or reestablishment of property lines or descriptions of land boundaries for conveyance. Lot dimensions shown are approximate. Contractor to field verify all existing information shown prior to construction and ordering of materials.
- Land disturbance within any existing utility and other easements shall be secured by Owner prior to construction.
- All materials, construction, workmanship shall meet the requirements of the Town of Tarboro Standard Specifications and Details, NCDOT, NCDEQ, NC Building Codes, ADA, as applicable.
- Building Contractor shall be responsible to verify the minimum building setback requirements with the City building inspections office before construction.
- The Contractor shall be responsible for all work zone traffic control. All methods, signs, pavement markings and other traffic control devices shall conform to the Manual on Uniform Traffic Control Devices (MUTCD) and NCDOT standards, and are the Contractor's responsibility.
- Contractor shall comply with all pertinent provisions of the "Manual of Accident Prevention in Construction" issued by AGC of America, Inc., and the Safety and Health Regulations for Construction issued by the U.S. Department of Labor.
- Contractor shall saw-cut to provide smooth transition at tie-in to existing edge of pavement where applicable.
- SOLID WASTE:** Individual trash collection is to be roll out container.
- EXISTING UTILITIES**
  - Prior to construction and ordering of materials, the Contractor shall be responsible for reviewing and verifying all existing site conditions, including elevations and locations of existing drainage structures, pipe inverts, manhole inverts, curb elevations, etc. Any adverse existing conditions affecting work shown shall be brought to the attention of the Engineer for possible clarification or reconciliation.
  - The Contractor shall be responsible for the repair of any pavement or existing utilities that may be damaged due to construction activity. Exercise caution.
  - Existing utility locations shown are approximate and shall be verified in the field by Contractor prior to beginning work. Contractor shall contact the 811 One Call Center at least 72 hours prior to beginning construction.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES WHICH CROSS THE WORK SITE OR WHICH MAY BE AFFECTED BY HIS OPERATIONS.
  - Contractor is responsible for determination or discovery of existing underground storage tanks (UST), septic tanks, abandoned utility lines, graves, cemeteries, debris and unclassified fill that may exist on the site.
  - Contractor shall exercise extreme caution when working under, around, and/or adjacent to existing power lines.
  - Contractor shall video the existing conditions prior to beginning work to protect against unwarranted claims. Construction areas are to be left in a condition equal to or better than previous condition upon completion of work.
- ENVIRONMENTAL**
  - FLOODPLAIN:** No proposed development is within the 100-year or 500-year floodplain, per FEMA FIRM Map 3720-4729-01J, dated 11/03/04. BFE at this location is approximately 70.2'.
  - No wetlands, riparian buffers or protected streams are in the project area.
  - STORMWATER:** Nutrient management and peak attenuation thresholds, inclusive of this phase, have been previously met for this Larger Common Plan of Development. Attenuation and nutrient management were accounted for by the existing stormwater detention facility designed during Phase I.
- EROSION CONTROL:**
  - The disturbed area for this project is greater than 1 acre. Therefore, a formal Sedimentation and Erosion Control Plan and permit is required prior to any grading or construction on the site. Contractor is responsible for containing all erosion and sedimentation within the project limits. Erosion control is under the jurisdiction of NCDEQ. See Erosion Control Narrative, Construction Sequence and Seeding Notes.
- EARTHWORK/DRAINAGE**
  - Refer to Earthwork Notes.
  - All denuded areas to be seeded shall receive 4 inches of topsoil, unless otherwise directed. This topsoil is to be placed and leveled by the Contractor.
  - Storm drainage pipe is to be Class III reinforced concrete meeting ASTM C-76, latest revision.
- CONCRETE:**
  - All concrete is to be minimum 3000 psi at 28 days, unless otherwise noted on the plans.
  - DO NOT POUR ANY CONCRETE BEFORE FORMS ARE INSPECTED AND APPROVED BY THE ENGINEER. Failure to do so may constitute removal of work performed at Contractor's cost until made satisfactory by the Engineer.
  - Contractor shall watch for any potential upgrade depressions adjacent to and behind proposed concrete. Should any be detected, fill to provide positive surface drainage over concrete.
  - All curb and gutter returns shall have a 20' radius, unless shown otherwise.
  - Driveways cuts are to be installed by the Contractor and included in the cost of the curb and gutter. Contractor to coordinate with Owner on exact location.
  - Electric power is to be placed underground, and shall be installed, if possible, PRIOR TO INSTALLATION OF CURB, pavement, and seeding of adjacent area. Coordinate with Town. Do not seed and mulch behind curb until underground electric has been installed. Coordination of electrical placement shall be the sole responsibility of the Contractor.
- HANDICAPPED/ADA:**
  - All handicap ramps and signage, if installed, are to meet "ADA Accessibility Guidelines for Buildings and Facilities" as detailed in Federal Register, Vol 56, No. 144, latest revision. Also refer to North Carolina State Building Code Volume 1-C, "Making Buildings and Facilities Accessible To and Useable by the Physically Handicapped," latest edition.
  - Contractor to provide all handicap signage, surfaces, grades, pavement markings, etc. in accordance with ADA requirements. All signs, pavement markings, and other traffic control devices shall conform to the Manual on Uniform Traffic Control Devices, latest edition as amended, and are the Contractor's responsibility.
- TRAFFIC CONTROL:**
  - All methods, signs, pavement markings and other traffic control devices shall conform to the Manual on Uniform Traffic Control Devices (MUTCD), City and NCDOT standards, and are the Contractor's responsibility.
  - The Contractor shall be responsible for all Work Zone Traffic Control (WZTC), which shall be per NCDOT Specifications. Contractor to coordinate closely with the Town for temporary road closures, if necessary.
  - Contractor will be responsible for providing all pavement markings in his bid. All lines are to be 4" white unless otherwise noted.
  - Contractor shall saw-cut to provide smooth transition at tie-in to existing edge of pavement where applicable.
- GUARANTEE:**
  - The Contractor shall guarantee the quality of his work for a period of twelve (12) months after acceptance. Should the work fail to perform according to these plans and specifications, the Contractor shall be required to conduct corrective actions at no cost to the Owner. Such adequacy shall be left to the discretion of the Engineer.

**NORTH CAROLINA**  
NOT TO SCALE



**VICINITY MAP**  
NOT TO SCALE

**PROJECT CONTACTS**

NAME/ TITLE	ENTITY	PHONE	MAIL/EMAIL
<b>Steve Newcombe</b> Owner Representative	JEEJ Holdings, LLC	252.903.1460	stevewnewcombe@gmail.com
<b>Troy Lewis</b> Town Manager	Town of Tarboro	252.641.4250	TroyLewis@tarboro-nc.com
<b>Catherine Grimm</b> Planning Director	Town of Tarboro	252.641.4249	catherinegrimm@tarboro-nc.com
<b>Alan Davis</b> Building Inspector	Town of Tarboro	252.641.4236	alandavis@tarboro-nc.com
<b>Kimberly Summers</b> Environmental Specialist	NCDEQ Land Quality Erosion Control Inspections	919.791.4200	kimberly.summers@ncdenr.gov
<b>Bobby L. Joyner, PE</b> President	Applan Consulting Engineers	252.972.7703	bjoyner@applanengineers.com
<b>David C. Revoir, PE</b> Project Engineer	Applan Consulting Engineers	252.972.7703	drevoir@applanengineers.com

**INDEX**

CE-1 CONSTRUCTION PLAT  
CE-2 UTILITY PLAN

**SITE INFORMATION**

LOCATION INFORMATION	
Address:	Industrial Parkway
City:	Tarboro
County:	Edgecombe
State:	NC
Tract Acreage (This Phase):	14.37 ac
No. of Lots. (This Phase):	32
Linear Footage of Street	1,516 LF±
Area of Street R/W:	---
Minimum Building Setback:	
Front:	40'
Side:	10'
Rear:	30'
Side Street:	12.5'
Min. Lot Frontage @ MBL	---
Min. Lot S.F.:	---
Zone:	RA-8
Nash County PIN:	4729.4169.0100
Plat Book/ Page:	DB 1706/ PG 439
Latitude/ Longitude:	35.916425, -77.565543

**OWNER INFORMATION**

Owner	JEEJ Holdings, LLC.
	Attn: Steve Newcombe
Contact info:	252-903-1460

**LEGEND (EXISTING SITE)**

-----	Adjacent Property Lines
-----	Building Outline (bldg)
-----	Buffer Easement
-----	Buffer Easement (duke)
-----	Centerline (as Noted)
-----	Chain
=====	Ex. Curb & Gutter
-----	Ex. Contour
x elev	Topographic Elevation
-----	Ditch
-----	Drainage Structures (as Noted)
-----	Easement (esmt)
-----	Floodway Line
-----	500 Yr Flood
-----	100 Yr Flood
-----	Fence (as Noted)
-----	Edge Gravel / Soil
-----	Min. building Setback (mbt)
-----	Paint Stripe
-----	Edge Pavement (ep)
-----	Right-of-way
-----	Right-of-way (duke)
-----	Shrub Limits
-----	Tree/Woods Limits
-----	Train Tracks
-----	Retaining / Wing Wall
-----	Edge Water
-----	Edge Wetlands
-----	Zoning Line
ex mb	ex mail box
ex sign	ex sign (as noted)

**LEGEND (EXISTING UTILITIES)**

-----	CATV
-----	Cable TV
-----	Fence (as Noted)
-----	Fiber Optics Line
-----	Force Main
-----	Gas
-----	O.H. Power
-----	Guy Wire
-----	O.H. Electric
-----	U.G. Electric
-----	San Sewer (As Noted)
-----	Telecommunications
-----	U.g. Telecommunications
-----	Utility (as Noted)
-----	Unknown Utility Line
-----	Water Line
-----	Power Pole
-----	Guy Wire
-----	Light Pole
-----	Utility Pole
-----	Fiber Optic Monument
-----	Telecommunications Pedestal
-----	Fire Hydrant
-----	Water Meter
-----	Water Valve
-----	Post Indicator Valve
-----	Plug With Blocking
-----	Plug
-----	Encasement
-----	Gas Valve
-----	Manhole (As Noted)
-----	Cleanout

**LEGEND (CONSTRUCTION)**

-----	FUTURE OBJECTS (AS NOTED)
-----	CENTERLINE (SEE PLANS)
-----	DITCH
-----	EASEMENT (AS NOTED)
-----	LIMITS OF DISTURBANCE
-----	LIMITS OF DISTURBANCE (ALT.)
-----	PROPERTY LINE (NO SURVEY)
-----	PROPERTY LINE (SURVEYED)
-----	RIGHT-OF-WAY
-----	PAVEMENT STRIPING (AS NOTED)
-----	CENTERLINE (AS NOTED)
-----	CURB & GUTTER
-----	C&G SPILL LIP
-----	CONTOUR (ELEV. AS NOTED)
-----	SPOT ELEVATION
-----	SLOPE
-----	CONCRETE
-----	FLARED END
-----	LIGHT
-----	SIGN
-----	STOP SIGN
-----	STREET NAME SIGN
-----	EDGE WATER BODY
-----	FENCE (AS NOTED)
-----	CAUTION: POWER IN AREA
-----	SPECIAL SURVEY INFO
-----	CAUTION: POISON
-----	PICNIC/PARK AREA
-----	CAUTION: HIGH REPAIR COST
-----	IMPORTANT INFORMATION
-----	CAUTION: / IMPORTANT
-----	CAUTION: GAS IN AREA
-----	DO NOT CUT VEGETATION
-----	REFER TO PHOTO
-----	DO NOT DISTURB

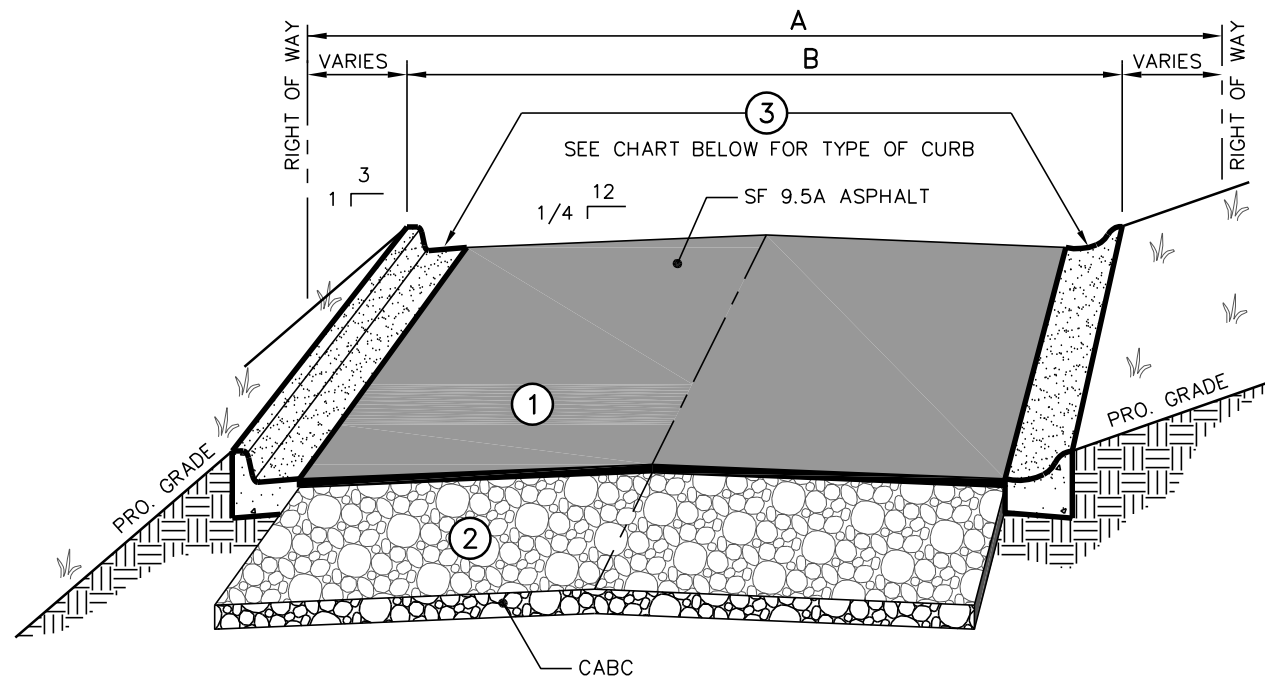
PERMIT APPROVALS:	
SEWER COLLECTION SYSTEM:	DATE: *
NCDEQ PERMIT NO: *	
WATER DISTRIBUTION SYSTEM:	DATE: *
NCDEQ PERMIT NO: *	



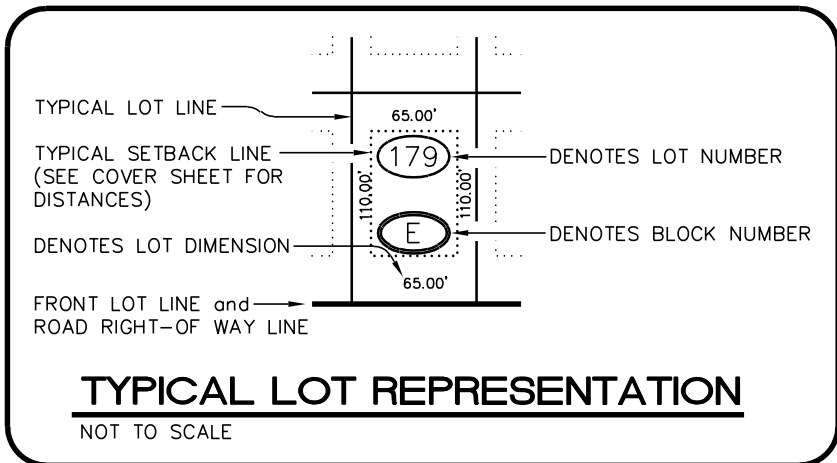
**CONSULTING ENGINEERS, PA**  
**CIVIL, MUNICIPAL & STRUCTURAL ENGINEERS**  
**COMPREHENSIVE ENVIRONMENTAL SERVICES**

REVISIONS				
NO. Δ	DATE:	DESCRIPTION:	BY:	CAD:
1				

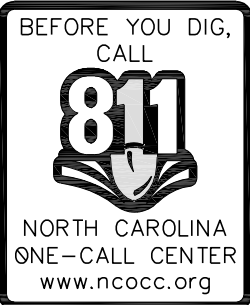
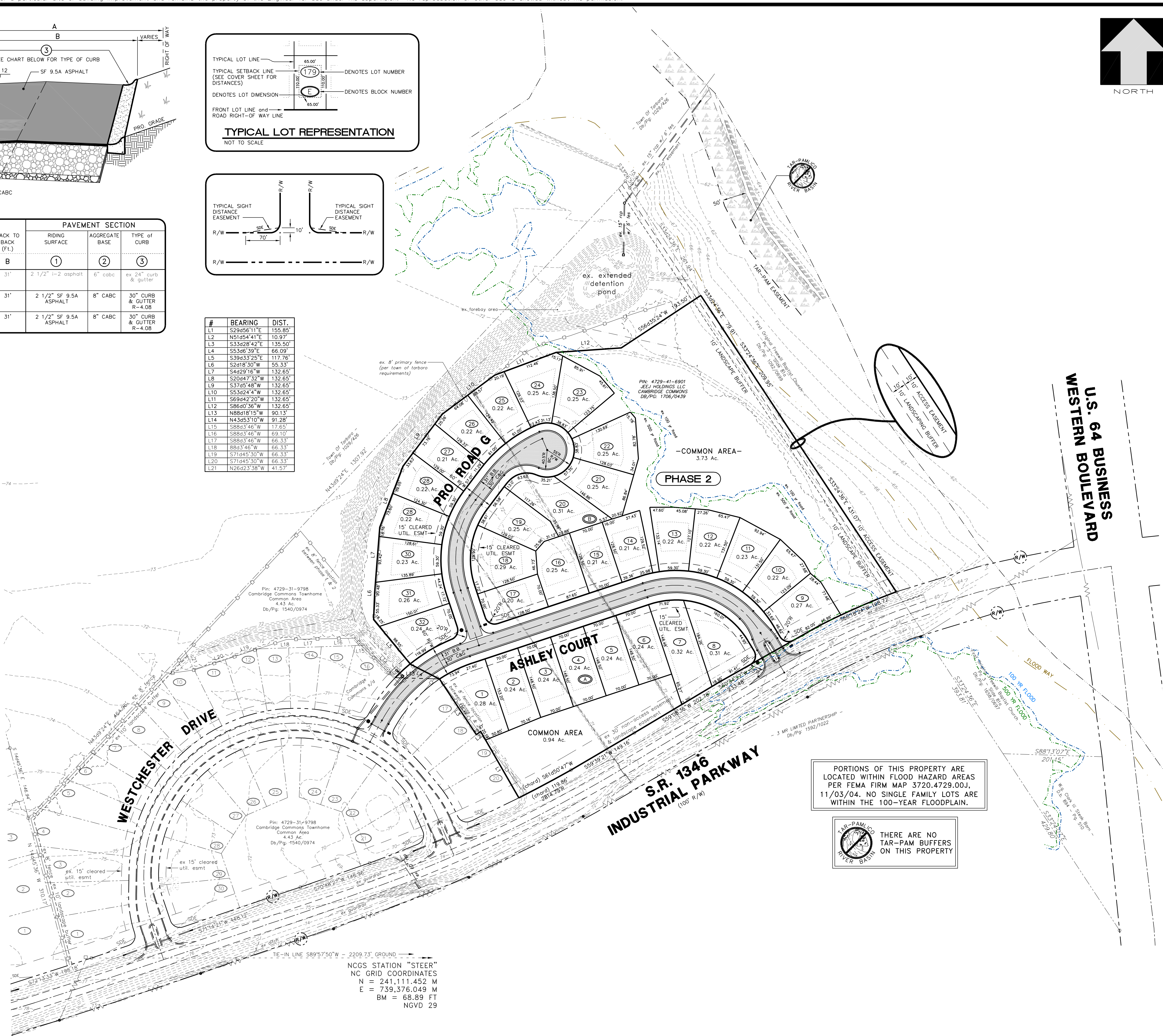




STREET NAME (FROM-TO)	RIGHT-OF-WAY (FL.)	BACK TO BACK (FL.)	PAVEMENT SECTION		
			RIDING SURFACE	AGGREGATE BASE	TYPE OF CURB
Westchester Drive existing	60'	31'	2 1/2" 1-2 asphalt	6" cabc	ex 24" curb & gutter
ASHLEY COURT	60'	31'	2 1/2" SF 9.5A ASPHALT	8" CABC	30" CURB & GUTTER R-4.08
PRO. ROAD G	60'	31'	2 1/2" SF 9.5A ASPHALT	8" CABC	30" CURB & GUTTER R-4.08



#	BEARING	DIST.
L1	S29d56'11"E	135.85'
L2	N51d54'41"E	10.97'
L3	S33d28'42"E	135.50'
L4	S53d6'39"E	66.09'
L5	S39d33'29"E	117.76'
L6	S2d18'30"W	55.33'
L7	S4d29'16"W	132.65'
L8	S20d47'32"W	132.65'
L9	S37d5'48"W	132.65'
L10	S33d24'4"W	132.65'
L11	S69d42'20"W	132.65'
L12	S86d0'36"W	132.65'
L13	N88d18'15"W	90.13'
L14	N43d53'10"W	91.28'
L15	S88d3'46"W	17.65'
L16	S88d3'46"W	69.10'
L17	S88d3'46"W	66.33'
L18	S88d3'46"W	66.33'
L19	S71d45'30"W	66.33'
L20	S71d45'30"W	66.33'
L21	N26d23'38"W	41.57'



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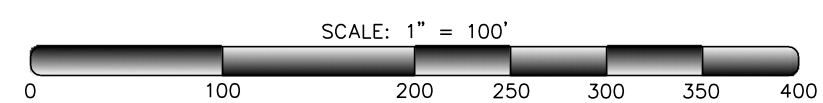
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PORTIONS OF THIS PROPERTY ARE LOCATED WITHIN FLOOD HAZARD AREAS PER FEMA FIRM MAP 3720.4729.00J, 11/03/04. NO SINGLE FAMILY LOTS ARE WITHIN THE 100-YEAR FLOODPLAIN.



PRELIMINARY DWG'S NOT FOR CONSTRUCTION



**CONSTRUCTION PLAT**  
**Cambridge Commons S/D Phase II**  
**Tarboro, North Carolina**

19-076  
D-0000  
CE-1

REVISIONS	DATE	BY	CAD	DESCRIPTION
1	October 2019	Mike Collins	ENG	Revised



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admin@appianengineers.com



*Last Revised 1/27/20*

1. Refer to General Notes.
2. All materials, construction, workmanship shall meet the requirements set forth by the Town of Tarboro, the Town of Tarboro Manual of Standard Specifications and Details, NCDEQ, NCDOT, and the NC Plumbing Code, as well as specifications and conditions on these plans.
3. Upon completion of work all trash, excess materials, temporary structures and equipment are to be removed work area and the area cleaned and restored to the Town's satisfaction. Disturbed areas shall be seeded or otherwise protected to control erosion as specified by the Town and/or Engineer.
4. A Town representative must be present prior to and during any construction within the area of existing water and sewer. No existing sewer lines shall be opened without explicit permission from the Town of Tarboro Water and Sewer department (Danny Robinson, 252.641.4231). INSPECTIONS ARE TO BE HANDLED BY THE TOWN OF TARBORO. Contractor to obtain approval from Town and Engineer prior to commencement of work, trench backfill, placement of manholes, etc.
5. If an existing water or sewerline is damaged during construction, Contractor to repair immediately with DIP Class 350 at his expense per Town Specifications, at no additional cost to the Owner. Contractor shall replace a minimum of 10 feet of sewer or water with DIP Class 350 when drainage pipe is within 18" vertically or 10 ft horizontally.
6. **SUBMITTALS:** At the Town's request, Affidavits of Compliance and shop drawings may be required per Town Specifications.
7. NCDCE water and sewer permit approvals are required prior to construction of utilities.
8. The existing locations and depths shown of the existing sewer manholes, stubs, water valves and water plugs are obtained from the best available data from record drawings. Contractor to field verify prior to ordering of materials and advise Engineer of discrepancy. If no manhole stubs are currently provided, connections to existing manholes must be cored with rubber boot per Town details and specifications.
9. **WATER**
  - a. Products with surfaces intended to be in contact with the drinking water shall be per NSF 61 for potable drinking water.
  - b. C900 PVC waterline shall conform to AWWA C900, O.D. shall conform to DIP; min. pressure class of 150 min. SDR 18, with plain end and elastomeric-gasket bell end. Fittings shall conform to AWWA C110 or C153 and have mechanical joints. Interior shall be lined with cement-mortar with seal coat in accordance with AWWA C104.
  - c. DUCTILE IRON PIPE (DIP) waterline to be pressure Class 350 Ductile Iron Pipe and shall conform to ANSI/AWWA C151/A21.51-91, with mechanical joint pipe conforming to ANSI/AWWA C111/A21.11. Fittings shall be ductile iron in accordance with the requirements of ANSI/AWWA C153/A21.53, ANSI/AWWA C110/A21.10. Pipe and fittings shall have cement mortar lining and seal coating, where applicable, in accordance with ANSI/AWWA C104/A21.4.
  - d. **WATER SERVICES:** Polyethylene (PE) tubing 3/4-inch shall conform to AWWA C901, NSF 14 and 61; PE 4710; with min. 160 psi with SDR-9; direct tap. Meter per Town detail.
  - e. New watermains shall be installed with a minimum cover of 4'-0" unless otherwise approved by Engineer. All waterlines shall be inspected by the Town prior to backfill.
  - f. On waterlines, "Megalog" joint restraints may be used in lieu of concrete blocking at fittings normally required to have concrete blocking. Verify acceptability with Municipality before employing for approval.
  - g. **TESTING:** The Town will conduct bacteriological testing of waterlines, which have successfully passed hydrostatic testing and have been disinfected in conformance with both the Town and AWWA standards. This procedure requires 5 days to complete. To avoid delays, the Contractor shall give adequate notice to the Town for scheduling of work.
  - h. Waterline to be tested and approved by Town prior to connection to existing waterlines.
  - i. **WATER VALVES:** min. rated 200 psi; shall open by CLOCKWISE ROTATION (OPEN RIGHT). Provide an interior protective epoxy coating in accordance with AWWA C550 on ferrous surfaces in contact with the liquid. Equip valves with a suitable means of operation to be approved by the Town. Ends shall be mechanical joint.
10. **FIRE HYDRANTS**
  - a. All fire hydrants shall be set to height per local municipality. Contractor to adjust fire hydrants to required grade, the cost for which is considered incidental to the cost of the fire hydrant.
  - b. Fire hydrants shall conform to AWWA C502 and to the following requirements: Nozzles: Two (2) 1-1/2 inch and One (1) 1-1/2 inch pumpier connections; Main valve diameter: 5-1/4 inch; Nozzle threads: "Tarboro Standard"; Minimum depth of bury: 42-inches; Inlet connection: 6-inch mechanical joint; OPEN CLOCKWISE (OPEN RIGHT); Close with water pressure; O-ring seals; Traffic model with frangible sections near the ground line designed to break on impact. Provide extension for hydrant standpipe as required to set centerline of hydrant nozzle a minimum of 15-inches and a maximum of 24-inches above grade. Exterior color above ground line shall match Tarboro's standard at the time of installation. Hydrants shall be Mueller Super Centurion 250, A-423.
11. **SEWER:**
  - a. Existing or new operable Manholes or Wetwells qualify as "confined" and require compliance with OSHA "Confined Access Entry" requirements. Certified equipment, proper notification and other applicable equipment and/or devices may be necessary to protect workers, after system is operational from hydrogen-sulfide gas build-up or an otherwise oxygen-less environment.
  - b. Solid wall PVC SEWER PIPE (SDR 35) shall comply with ASTM D3034/ ASTM D2241 and with Town Specifications, with integral elastomeric-gasket bell end per ASTM F477.
  - c. DUCTILE IRON PIPE (DIP), where specified, shall comply with AWWA C151/ ANSI A21.51 and ASTM A746, pressure class 350 and shall conform to Town specifications.
    - i. Ductile Iron Sewer Pipe must be easily recognized by brownish red bells and spigots, as well as, exterior stenciling of the words "For Sewer Only".
    - ii. Ductile iron pipe and fittings shall be lined with 40 mils of Protecto 401 Ceramic Epoxy liner or equal. All bells and spigots shall be lined with a minimum of 8 mils of Protecto 401 or approved equal. The liner shall meet the manufacturer's recommendations.
    - iii. Ductile iron pipe for below ground service shall have push-on or mechanical joints, unless otherwise required by the Town and shall conform to AWWA C151.
  - d. **THREE (3) FEET MINIMUM COVER SHALL BE PROVIDED FOR ALL SEWERS UNLESS FERROUS PIPE IS INSTALLED.**
  - e. **SEWER SERVICE PIPE** (4" and 6"), for gravity sewer service laterals and the cleanout stack shall be PVC Sch 40 per ASTM D1785 with solvent cement welded or DUCTILE IRON PIPE (if depth is less than 3 feet), per Town of Tarboro specs. All service connections to new lines shall be made by installing "wyes".
    - i. Contractor/Owner to coordinate sewer tap/services with the Town prior to construction. Location of cleanout to be determined by Owner.
    - ii. Utility/plumbing contractors to coordinate with building contractor on size and slope of sewer service.
    - iii. Minimum grades for 4" and 6" services to be 2.08% and 1.04%, respectively.
  - f. Dewatering of trench shall be incidental to costs of line laid and not a separate pay item.
  - g. Provide 5' horizontal and 18" vertical separation between water and sewer services with water above sewer, or sleeve with pipe material per Table 605.3, 702.2, 702.3 of the NC Plumbing Code.
  - h. **MANHOLES:** Manholes shall be pre-cast concrete or pre-cast concrete sections in conformance with ASTM C478, NCDOT and Town specs. Manhole frame and cover shall be H-20 traffic rated per Town specs and detail S-107. Precast MH shall be pre-approved by NCDOT for use within NCDOT Rights of Way and shall be installed FLUSH WITH NATURAL GROUND, at a minimum of 6 feet from the edge of pavement and shall not be in conflict with any roadway ditch.
  - i. **TESTING:**
    - i. All sewer testing to be coordinated with the Town of Tarboro and will be per Town Specifications. Contractor to provide field test reports in booklet format for low pressure air test, deflection, vacuum tests (manholes), etc., as required by the Town.
    - ii. All new sewer to be tested and approved by Town (including as-built survey) prior to removal of existing sewer, plunging the line, and abandoning in place.
  - j. If required, encasement pipe installed under Town maintained and NCDOT maintained roadways shall be in accordance with NCDOT's "Policies and Procedures for Accommodating Utilities on Highway Rights-of-Way" and Town of Tarboro specifications.



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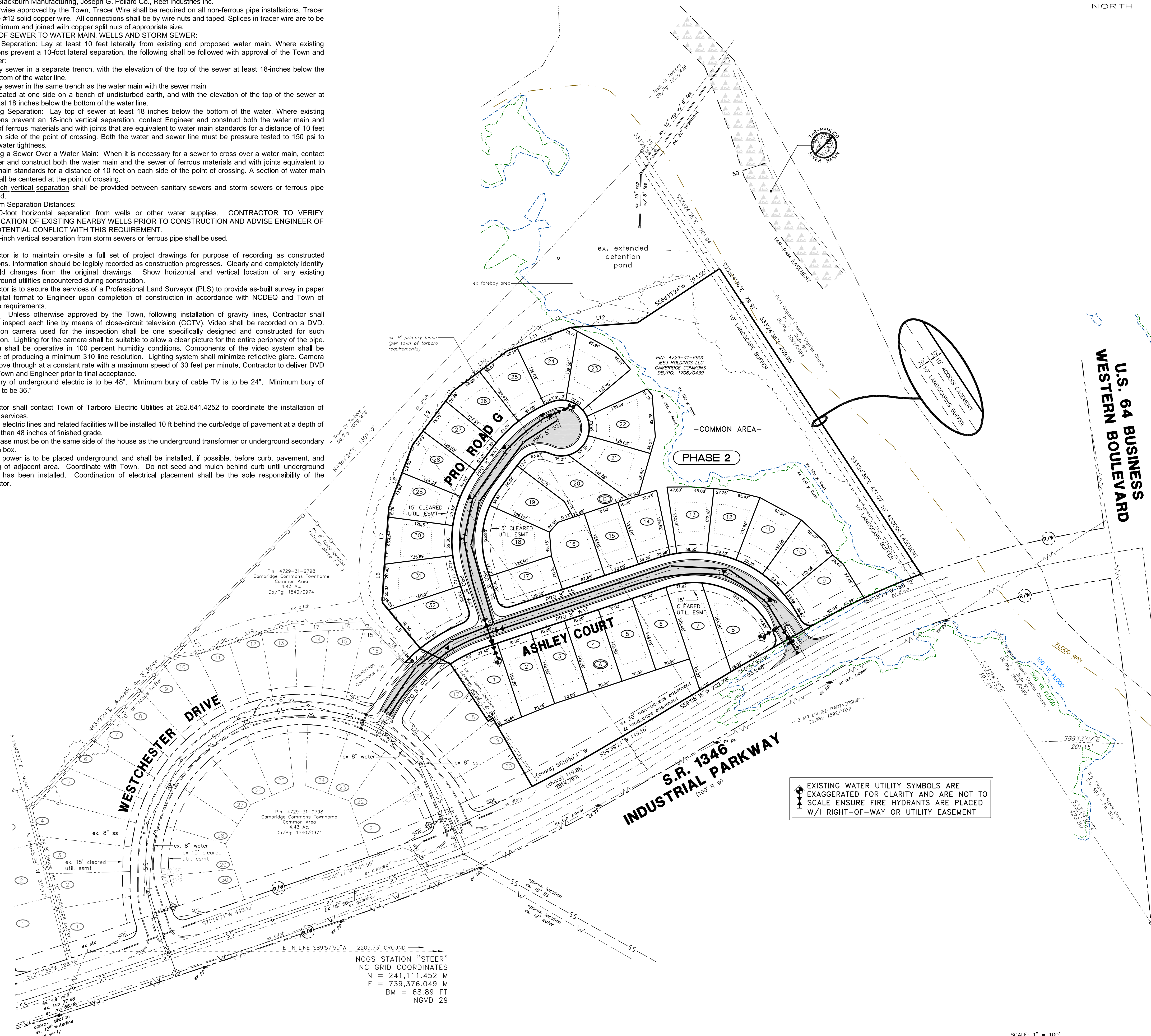
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13. **WARNING AND IDENTIFICATION TAPES:** Per Town specifications, Contractor to install warning/identification tape on all water and sewerlines per Town details W-2.14 and S-1.18. Tape shall be a minimum 3-inch wide polyethylene plastic tape manufactured specifically for identification of buried utilities with means of enabling detection by a metal detector to a minimum depth of 3 feet. Tape shall be color coded and continuously imprinted with warning and identification markings in bold black letters to read "CAUTION - BURIED SEWER/WATER LINE BELOW." Color and printing shall be permanent, unaffected by moisture or soil and shall be green in color. Tape shall be by Blackburn Manufacturing, Joseph G. Pollard Co., Reef Industries Inc.
14. **USE:** Unless otherwise approved by the Town, Tracer Wire shall be required on all non-ferrous pipe installations. Tracer wire shall be #12 bare copper wire. All connections shall be by wire nuts and taped. Splices in tracer wire are to be kept to a minimum and joined with copper spilt nuts of appropriate size.
15. **RELATION OF SEWER TO WATER MAIN, WELLS AND STORM SEWER:**
- a. **Lateral Separation:** Lay at least 10 feet laterally from existing and proposed water main. Where existing conditions prevent a 10-foot lateral separation, the following shall be followed with approval of the Town and Engineer:
- i. Lay sewer in a separate trench, with the elevation of the top of the sewer at least 18-inches below the bottom of the water line.
- ii. Lay sewer in the same trench as the water main with the sewer main
- iii. Located at one side on a bench of undisturbed earth, and with the elevation of the top of the sewer at least 18-inches below the bottom of the water line.
- b. **Crossing Separation:** Lay top of sewer at least 18-inches below the bottom of the water. Where existing conditions prevent an 18-inch vertical separation, contact Engineer and construct both the water main and sewer of ferrous materials and with joints that are equivalent to water main standards for a distance of 10 feet on each side of the point of crossing. Both the water and sewer line must be pressure tested to 150 psi to insure water tightness.
- c. **Crossing a Sewer Over a Water Main:** When it is necessary for a sewer to cross over a water main, contact Engineer and construct both the water main and the sewer of ferrous materials and with joints equivalent to water main standards for a distance of 10 feet on each side of the point of crossing. A section of water main pipe shall be centered at the point of crossing.
- d. **A 24-inch vertical separation** shall be provided between sanitary sewers and storm sewers or ferrous pipe specified.
- e. **Minimum Separation Distances:**
- i. 100-foot horizontal separation from wells or other water supplies. CONTRACTOR TO VERIFY LOCATION OF EXISTING NEARBY WELLS PRIOR TO CONSTRUCTION AND ADVISE ENGINEER OF POTENTIAL CONFLICT WITH THIS REQUIREMENT.
- ii. 24-inch vertical separation from storm sewers or ferrous pipe shall be used.
16. **AS-BUILTS:**
- a. Contractor is to maintain on-site a full set of project drawings for purpose of recording as constructed conditions. Information should be logically recorded as construction progresses. Clearly and completely identify any field changes from the original drawings. Show horizontal and vertical location of any existing underground utilities encountered during construction.
- b. Contractor is to secure the services of a Professional Land Surveyor (PLS) to provide as-built survey in paper and digital format to Engineer upon completion of construction in accordance with NCEQ and Town of Barbore requirements.
- c. **VIDEO:** Unless otherwise approved by the Town, following installation of gravity lines, Contractor shall visually inspect each line by means of close-circuit television (CCTV). Video shall be recorded on a DVD. Television camera used for the inspection shall be one specifically designed and constructed for such inspection. Lighting for the camera shall be suitable to allow a clear picture for the entire periphery of the pipe. Camera shall be operative in 100 percent humidity conditions. Components of the video system shall be capable of producing a minimum 310 line resolution. Lighting system shall minimize reflective glare. Camera shall move through at a constant rate with a maximum speed of 30 feet per minute. Contractor to deliver DVD to the Town and Engineer prior to final acceptance.
17. **Minimum bury of underground electric is to be 48". Minimum bury of cable TV is to be 24". Minimum bury of telephone is to be 36."**
18. **ELECTRIC:**
- a. Contractor shall contact Town of Barbore Electric Utilities at 252.641.4252 to coordinate the installation of electric services.
- b. Primary electric lines and related facilities will be installed 10 ft behind the curb/edge of pavement at a depth of no less than 48 inches of finished grade.
- c. Meter base must be on the same side of the house as the underground transformer or underground secondary junction box.
- d. Electric power is to be placed underground, and shall be installed, if possible, before curb, pavement, and seeding of adjacent area. Coordinate with Town. Do not seed and mulch behind curb until underground electric has been installed. Coordination of electrical placement shall be the sole responsibility of the Contractor.



SCALE: 1" = 100'



A horizontal graphic scale bar with a black and white alternating pattern. It is marked with numbers 0, 100, 200, 250, 300, 350, and 400. The bar is divided into segments: 0-100, 100-200, 200-250, 250-300, 300-350, and 350-400.



HOR. SCALE:	1"=100'	DATE:	October 2019	DESIGN:	Bobby Joyner
VIR. SCALE:	N/A	LAST EDIT:	Mike Gallina	CHECK:	
REVISIONS					
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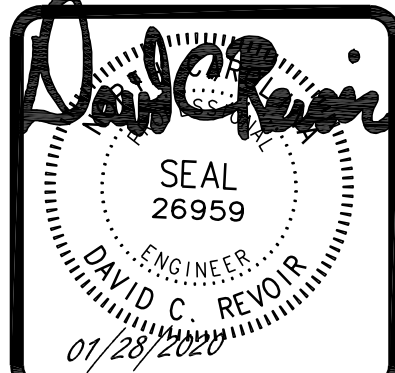


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**PRELIMINARY DWG'S  
NOT FOR CONSTRUCTION**



# UTILITY PLAN

## Cambridge Commons S/D Phase II

### Tarboro, North Carolina

19-076

D-0000

**CE-2**





DATE:	October 2019	DESIGN:	Bobby Joyner
LAST DATE:	N/A	LAST EDIT:	Mike Collins
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Final Drawings  
Review Purposes ONLY



# AERIAL IMAGE BASE Cambridge Commons S/D Phase II Tarboro, North Carolina

19-076  
D-0000  
CE-0



PORTIONS OF THIS PROPERTY ARE  
LOCATED WITHIN FLOOD HAZARD AREAS  
PER FEMA FIRM MAP 3720.4729.00J,  
11/03/04. NO SINGLE FAMILY LOTS ARE  
WITHIN THE 100-YEAR FLOODPLAIN.



THERE ARE NO  
TAR-PAM BUFFERS  
ON THIS PROPERTY



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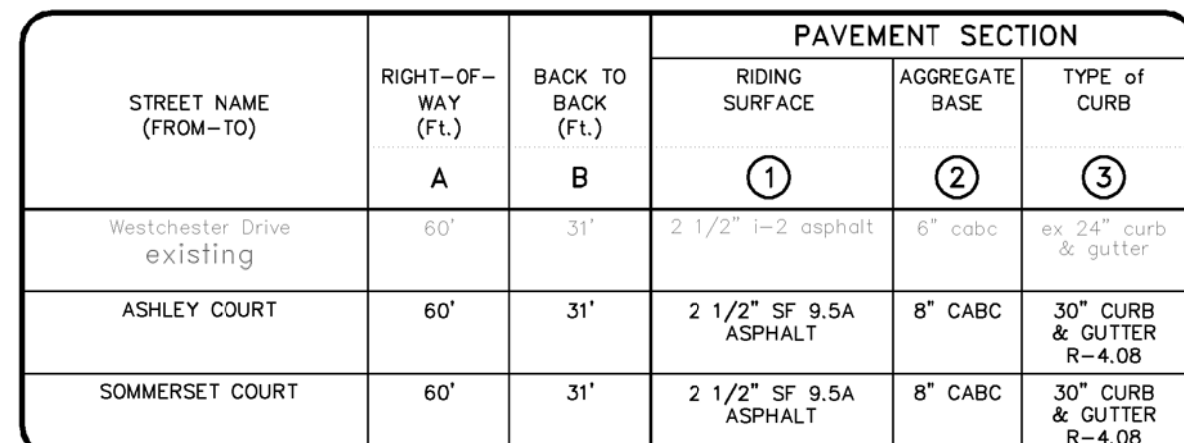
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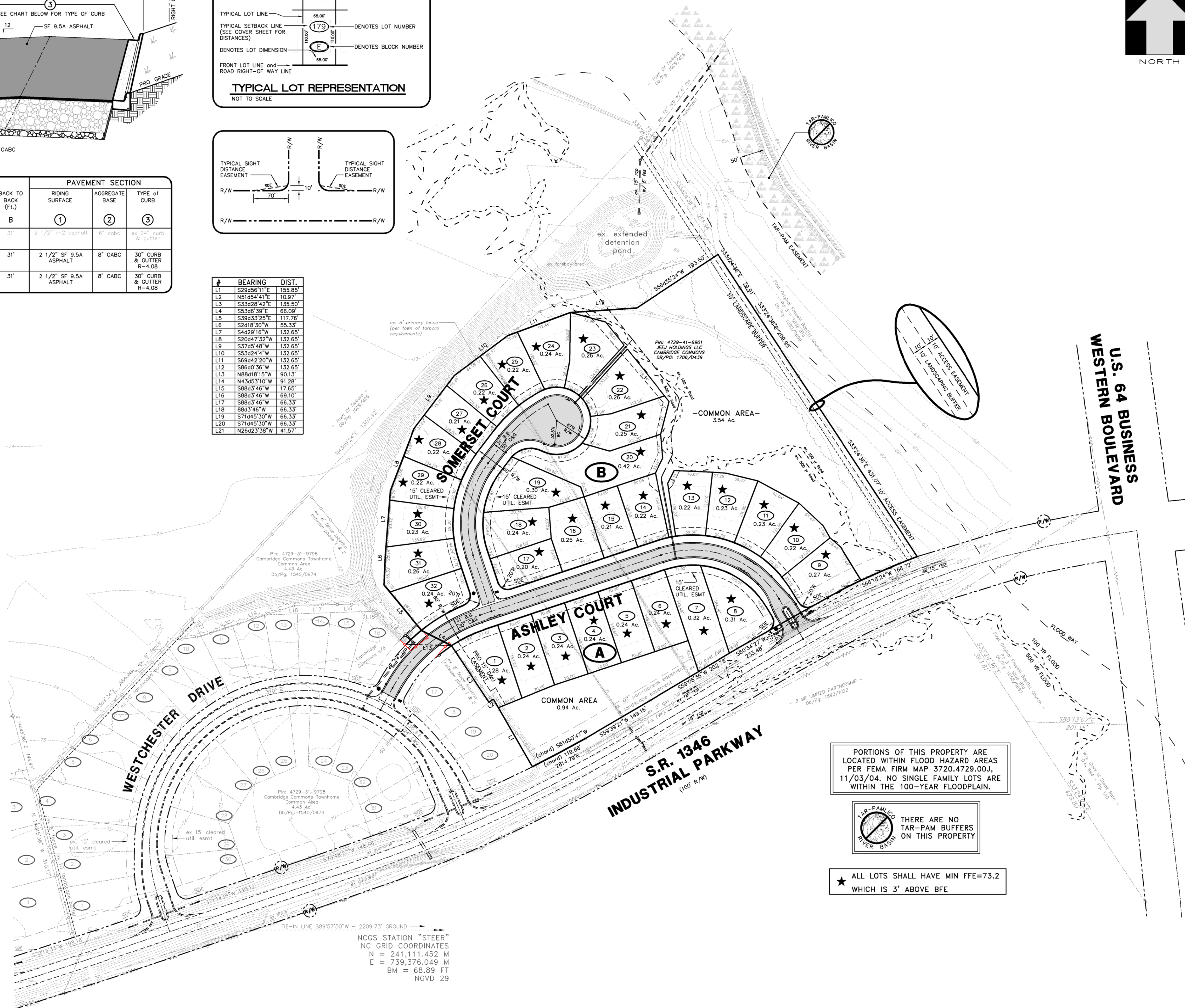
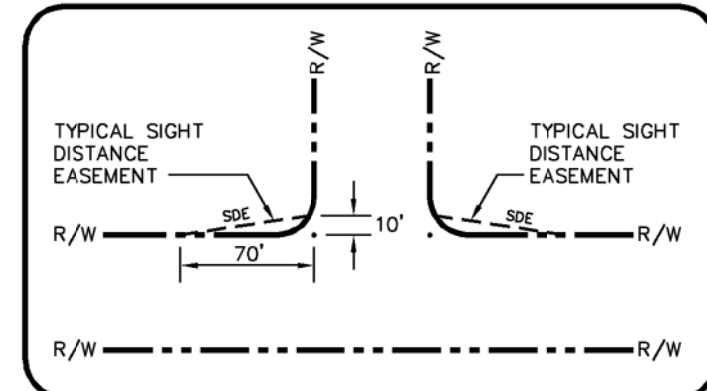
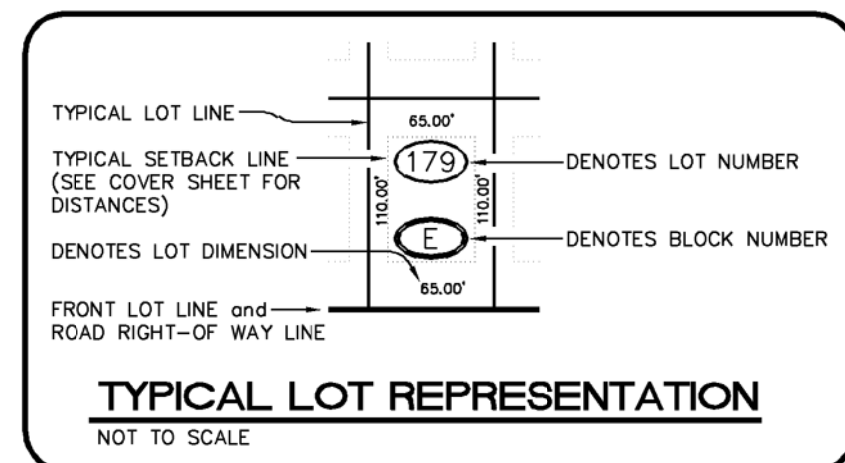


BOUNDARY DESCRIPTION SHOWN  
IS NOT FOR RECORDATION.

**ADA AND LEGAL DISCLAIMER**  
This document is not represented to comply with all requirements contained in the ADA or other laws. Engineers are not licensed to interpret laws or give advice concerning laws, the owner should have this document reviewed by his attorney to determine legal compliance.



#	BEARING	DIST.
L1	S29°56'11"E	155.85'
L2	N51°05'44"E	10.97'
L3	S33°28'42"E	135.50'
L4	S53°36'39"E	66.09'
L5	S33°35'25"E	117.76'
L6	S2°18'30"W	55.33'
L7	S42°29'16"W	132.55'
L8	S34°44'10"W	126.65'
L9	S37°45'48"W	136.65'
L10	S53°24'24"W	132.65'
L11	S69°44'20"W	132.65'
L12	S86°03'36"W	132.65'
L13	N88°18'15"W	90.13'
L14	N43°35'10"W	91.28'
L15	S88°33'46"W	17.65'
L16	S88°33'46"W	69.10'
L17	S88°33'46"W	66.33'
L18	88d°3'46"W	66.33'
L19	S71°44'50"W	66.33'
L20	S71°44'50"W	66.33'
L21	N26°23'38"W	41.57'



PORTIONS OF THIS PROPERTY ARE  
LOCATED WITHIN FLOOD HAZARD AREAS  
PER FEMA FIRM MAP 3720.4729.00J,  
11/03/04. NO SINGLE FAMILY LOTS ARE  
WITHIN THE 100-YEAR FLOODPLAIN.



THERE ARE NO  
TAR-PAM BUFFERS  
ON THIS PROPERTY

ALL LOTS SHALL HAVE MIN FFE=73.2  
WHICH IS 3' ABOVE BFE

HOR. SCALE:	1" = 100'	DATE:	04/07/2020	DRAWN:	David Revor
VER. SCALE:	N/A	LAST EDIT:	Kelly Williams	CHECKED:	-
<b>REVISIONS</b>					
NO.	$\Delta$	DATE:	DESCRIPTION:	BY:	CAD:
$\Delta$		-	-	-	-



CONSULTING ENGINEERS, P.A.  
CIVIL, MUNICIPAL &  
STRUCTURAL ENGINEERS  
BLN = C0562

154 Roundabout Ct.  
P.O. Box 7966  
Rocky Mount, N.C. 27804  
Phone: (252) 972-7703

www.appianengineers.com  
admin@appianengineers.com

Final Drawings  
Review Purposes ONLY



**CONSTRUCTION PLAT for  
Cambridge Commons Subdivision  
(Phase 2)  
Edgecombe County, Tarboro, N.C.**

19-079

D-0000

**CE-1**

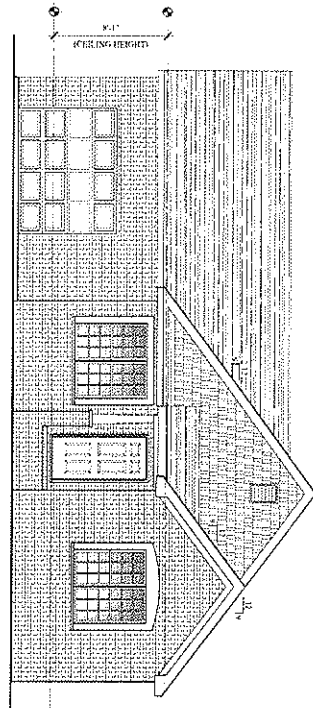






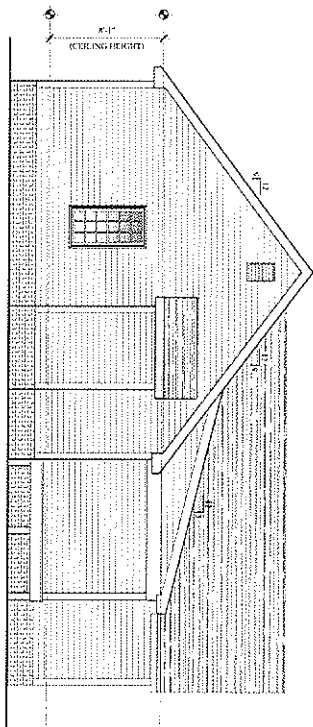
# FRONT ELEVATION

SCALE: 1/4" = 1'-0"



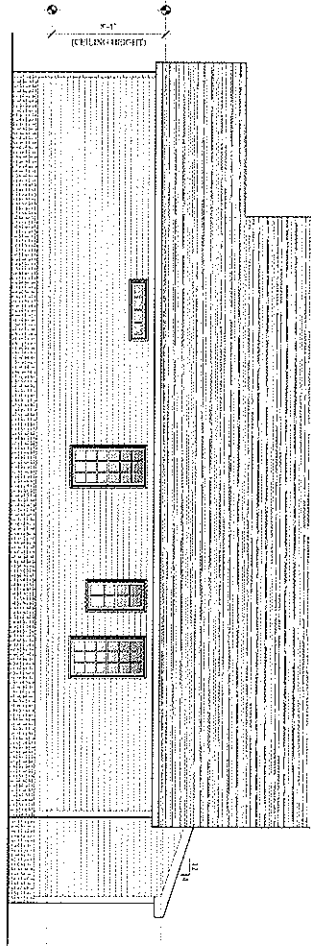
# REAR ELEVATION

SCALE: 1/4" = 1'-0"



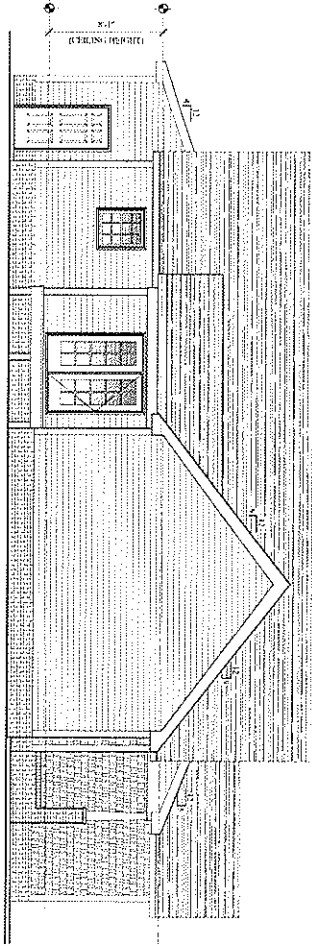
# RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



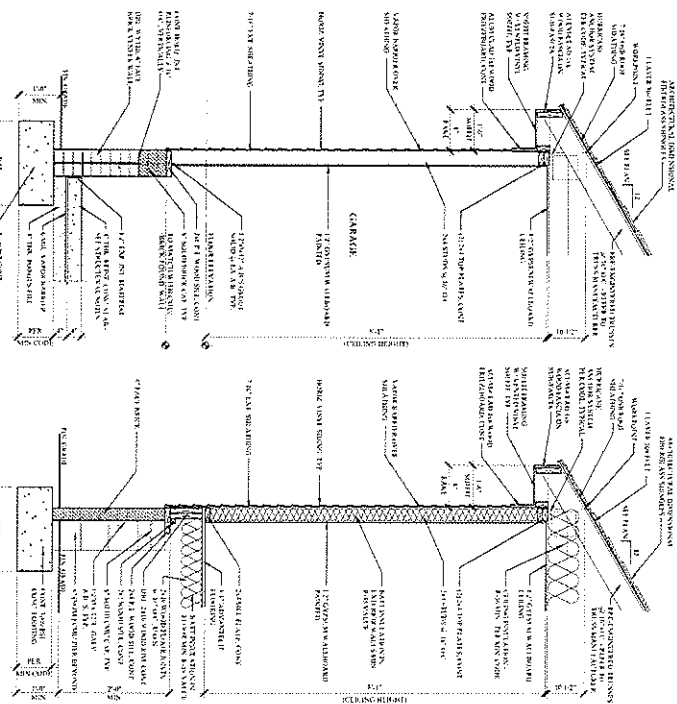
# LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



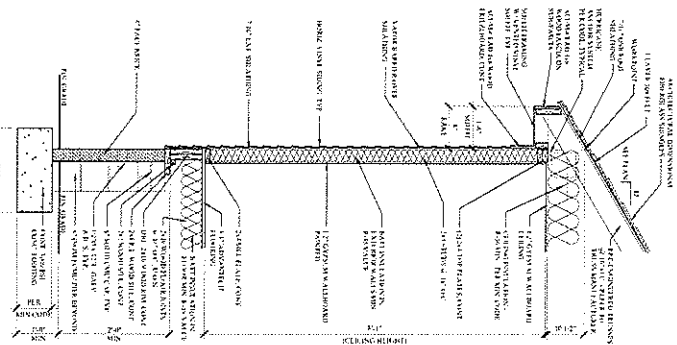
## TYPICAL WALL SECTION

SCALE: 1/4" = 1'-0"



## TYPICAL WALL SECTION

SCALE: 1/4" = 1'-0"



'THE REMINGTON' FRONT-ENTRY GARAGE SPEC HOME FOR  
**FOUR SEASONS CONTRACTORS**  
 NASH COUNTY, NORTH CAROLINA



5	SCALE: 1/4" = 1'-0"
5	ELEVATION

PLANNING BOARD AND ZONING COMMISSION

REPORT TO COUNCIL

APRIL 13, 2020

The Planning Board and Zoning Commission submits the following report to the Town Council for consideration and action in connection with matters reviewed at the Board's March 16, 2020 regular meeting.

I. MATTERS FOR CONSIDERATION

UDO Text Amendment 20-01

The Board met again to review a revised copy of the Unified Development Ordinance submitted by Catherine Grimm, Planning Director.

The Planning Board recommends that Council call for and hold a public hearing to approve the revised copy of the UDO as presented.

Respectfully submitted,

Catherine Grimm  
Secretary

**MINUTES OF A REGULAR MEETING OF THE TOWN COUNCIL OF THE  
TOWN OF TARBORO, HELD AT 7:00 PM ON MONDAY, MARCH 9, 2020 IN THE  
COUNCIL ROOM, TOWN HALL, TARBORO, NORTH CAROLINA**

**MEMBERS PRESENT**

Mayor Pitt  
Councilman Woodard  
Councilman Taylor  
Councilman Burnette  
Councilman Brown  
Councilman Jenkins  
Councilmember Jordan  
Councilmember Bynum  
Councilman Mayo

**MEMBERS ABSENT**

**ALSO PRESENT**

Troy Lewis, Town Manager  
Leslie Lunsford, Town Clerk  
Chad Hinton, Town Attorney

**1. MEETING CALLED TO ORDER BY THE MAYOR**

**2. INVOCATION**

Councilman Taylor.

**3. PLEDGE OF ALLEGIANCE**

**4. APPROVAL OF AGENDA BY COUNCIL**

Agenda approved as presented.

John Jenkins made a motion, which was seconded by Deborah Jordan and Passed, Motion.

**5. REQUESTS AND PETITIONS OF CITIZENS**

None.

**6. REPORTS OF BOARDS AND COMMISSIONS**

- (1) The Planning Director will present the Planning Board Report.

Planning Board and Zoning Commission Report presented by Catherine Grimm,  
Planning Director.

Council called for a public hearing to approve Conditional Use Permit 19-01 - Industrial  
Parkway as presented.

Leo Taylor made a motion, which was seconded by Sabrina Bynum and Passed, Motion.

## **7. TOWN MANAGERS RECOMMENDATIONS**

### **Consent Items**

Consent Items approved as presented.

John Jenkins made a motion, which was seconded by Deborah Jordan and Passed, Motion.

- (1) Approve minutes of February 10, 2020 regular meeting.
- (2) Tax Collector's Report

### **Action Items**

#### **(3) Economic Development and Incentive Agreement - Sara Lee Expansion**

Council adopted the Economic Development and Incentive Agreement to assist in the creation of jobs and investment at Sara Lee Frozen Bakery.

John Jenkins made a motion, which was seconded by Clarence Brown and Passed, Motion.

#### **(4) Award Contract - Auditing Services**

Council awarded the audit contract for the fiscal year 2019-2020 to Flowers & Stanley, LLP at the proposal cost of \$27,500, with the understanding that the additional two years may be subject to negotiation and require future Council approval. The Mayor will be authorized to sign the standard contract for submission to the Local Government Commission.

Clarence Brown made a motion, which was seconded by Othar Woodard and Passed, Motion.

#### **(5) Report of Unpaid Taxes, Liens on Real Property and Tax Lien Advertising**

Council approved the report of the Tax Collector on unpaid 2019 taxes that are liens on real property and ordered the Tax Collector to advertise 2019 taxes that are liens on real property one (1) time as soon as all statutory requirements can be met.

John Jenkins made a motion, which was seconded by Othar Woodard and Passed, Motion.

#### **(6) Appointment for March - Historic District Commission**

Council appointed Eugene Muse to fill the expired term on the Historic District Commission.

Othar Woodard made a motion, which was seconded by Sabrina Bynum and Passed, Motion.

#### **(7) Appointment - Planning Board**

No action required at this time.

#### **(8) Appointment - Tarboro-Edgecombe Airport Authority**

No action required at this time.

## **8. OTHER REPORTS**

A. Town Manager

None.

B. Town Attorney

None.

C. Council Members

Councilman Woodard - commended staff on Council Retreat preparation. He also stated that the Council Retreat went well.

Councilman Taylor - stated that the Council Retreat went well.

Councilman Mayo - thanked the Police Department and officers for joining him throughout his Ward to speak to citizens with concerns. He also invited Council to attend Coffee with the Captain at Tarboro Coffee House on March 13, 2020, 8:00 am to 10:00 am.

Councilmember Jordan - stated that the Council Retreat went well.

Councilman Jenkins - stated that the Council Retreat went well.

Councilmember Bynum - stated that the Council Retreat went well.

Councilman Burnette - stated that the Council Retreat went well.

Councilman Brown - commended staff on Council Retreat preparation. He also stated that the Council Retreat went well.

## **9. ADJOURNMENT**

Meeting adjourned.

Othar Woodard made a motion, which was seconded by Clarence Brown and Passed, Motion.

**MINUTES OF A REGULAR MEETING OF THE TOWN COUNCIL OF THE  
TOWN OF TARBORO, HELD AT 4:00 PM ON TUESDAY, MARCH 24, 2020 IN  
THE COUNCIL ROOM, TOWN HALL, TARBORO, NORTH CAROLINA**

**MEMBERS PRESENT**

Mayor Pitt  
Councilman Woodard  
Councilman Taylor  
Councilman Burnette  
Councilman Brown  
Councilman Jenkins  
Councilmember Jordan  
Councilmember Bynum  
Councilman Mayo

**MEMBERS ABSENT**

**ALSO PRESENT**

Troy Lewis, Town Manager  
Leslie Lunsford, Town Clerk  
Chad Hinton, Town Attorney  
Anne Mann, Finance Director

**1. MEETING CALLED TO ORDER BY THE MAYOR**

**2. TOWN MANAGERS RECOMMENDATIONS**

**(1) COVID-19 Response**

Council approved a resolution that effective upon the Mayor's declaration of the local State of Emergency, the Town Council of the Town of Tarboro hereby suspends disconnections due to non-payment of utility bills, except where necessary or as requested by the customer, and waives late payment and delinquent fees until this order is rescinded by this board. The Town Council further authorizes staff to work with customers to establish a reasonable payment arrangement, not to exceed a six month period to pay arrearages accrued during the State of Emergency. No provision of this resolution shall be construed as relieving a customer of their obligation to pay bills for receipt of any utility service by the Town of Tarboro.

Othar Woodard made a motion, which was seconded by John Jenkins and Passed, Motion.

**3. ADJOURNMENT**

Meeting adjourned.

Clarence Brown made a motion, which was seconded by Leo Taylor and , Motion.





## ***Town of Tarboro, North Carolina Mayor and Council Communication***

**Subject:** 2019 Tax Levy Memo

**Date:** 4/13/2020

**Memo Number:** 20-21

---

The Schedule of 2019 Tax Levy Adjusted as of April 13, 2020, attached hereto, lists the valuation and tax amount of two (2) afterlists and one (1) release. The release has been approved by Edgecombe County Tax Assessor's Office.

It is recommended that Council:

1. Order the Tax Collector be charged with afterlists 60 & 61 in the amount of \$680.11,
2. Enter into the minutes 2019 Tax Levy release number 31 in the amount of \$3.36, and
3. Approve the Schedule of 2019 Tax Levy Adjusted as of April 13, 2020, in the amount of \$3,437,360.25.

### **ATTACHMENTS:**

Description	Upload Date	Type
2019 Tax Levy Memo	4/8/2020	Cover Memo



**TOWN OF TARBORO, NORTH CAROLINA**  
**SCHEDULE OF 2019 TAX LEVY**  
April 13, 2020

**VALUATIONS**

	<u>Real</u>	<u>Personal</u>	<u>Public Service Companies</u>	<u>Dog Tax</u>	<u>GAP</u>	<u>Total</u>
Balance February 10, 2020	584,249,144	210,490,808	39,077,788	0	6,184,072	840,001,812
After list: 60 - 61	0	165,879	0	0	0	165,879
Less Releases: 31	0	(745)	0	0	0	(745)
	<u>                    </u>	<u>                    </u>	<u>                    </u>	<u>                    </u>	<u>                    </u>	<u>                    </u>
Balance as of April 13, 2020	<u>584,249,144</u>	<u>210,655,942</u>	<u>39,077,788</u>	<u>0</u>	<u>6,184,072</u>	<u>840,166,946</u>

**TAX CALCULATIONS**

	<u>Real, Personal, &amp; Pub. Ser. Co.</u>	<u>Late Listing Penalty</u>	<u>Auto Tax</u>	<u>Dog Tax</u>	<u>GAP</u>	<u>Total</u>
Balance February 10, 2020	3,418,652.10	8,777.54	0.00	828.00	8,425.86	3,436,683.50
After list: 60 - 61	680.11	0.00	0.00	0.00	0.00	680.11
Less Releases: 31	(3.05)	(0.31)	0.00	0.00	0.00	(3.36)
	<u>                    </u>	<u>                    </u>	<u>                    </u>	<u>                    </u>	<u>                    </u>	<u>                    </u>
Balance as of April 13, 2020	<u>3,419,329.16</u>	<u>8,777.23</u>	<u>0.00</u>	<u>828.00</u>	<u>8,425.86</u>	<u>3,437,360.25</u>

**ITEMIZED RELEASES**

Rel. No.	<u>Name/Description</u>	<u>Acct. No.</u>	<u>Real, Personal &amp; Pub. Ser. Co.</u>	<u>Late Listing Penalty</u>	<u>Auto Tax</u>	<u>Dog Tax</u>	<u>GAP</u>	<u>Total</u>
*31	Lesdoit Computer Inc	36	3.05	0.31	0.00	0.00	0.00	3.36
			<u>                    </u>	<u>                    </u>	<u>                    </u>	<u>                    </u>	<u>                    </u>	<u>                    </u>
Total Releases			<u>3.05</u>	<u>0.31</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>3.36</u>

\*approved by Finance Officer

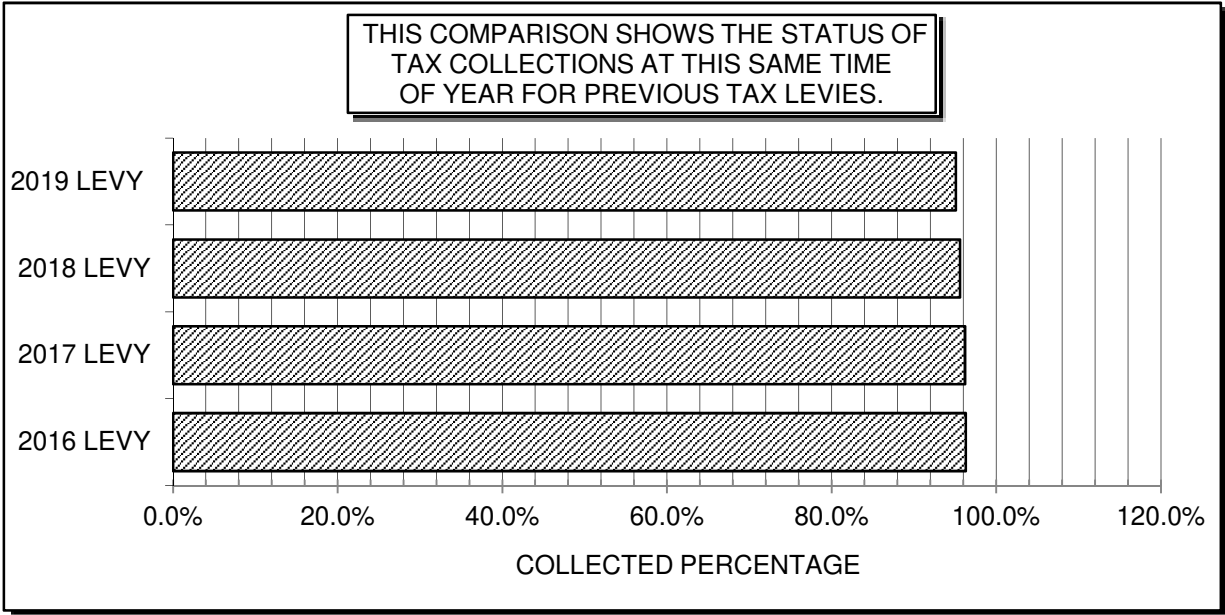
# TOWN OF TARBORO, NORTH CAROLINA

## TAX COLLECTOR'S REPORT

### For the Year Ended March 31, 2020

Levy Year	Current Fiscal Year Charges	COLLECTIONS			
		This Month	Fiscal Year-To-Date	Uncollected Balance	Collected Percentage
2019	3,402,921.30	59,088.83	3,257,706.47	157,455.73	95.10%
2018	118,783.81	2,379.63	72,408.89	46,374.92	98.58%
2017	39,121.34	935.83	12,911.81	26,209.53	99.19%
2016	27,200.68	1,173.43	6,324.47	20,876.21	99.37%
2015	22,038.29	1,213.89	5,773.24	16,265.05	99.52%
2014	15,446.54	843.79	2,700.53	12,746.01	99.62%
2013	11,606.09	684.26	2,068.66	9,537.43	99.73%
2012	10,342.53	516.01	1,883.29	8,459.24	99.76%
2011	6,552.14	516.01	1,221.10	5,331.04	99.85%
2010	4,251.40	453.08	909.38	3,342.02	99.90%
Prior	11,421.38	0.00	4,029.35	7,392.03	-
Subtotal	3,669,685.50	67,804.76	3,367,937.19	156,533.48	
		1,277.64	25,661.50	<== Interest on Taxes	
Net Tax Collections ==>		69,082.40	3,393,598.69		
		0.00	0.00	<== Privilege Licenses	
		0.00	0.00	<== Electronic Gaming	
		0.00	0.00	<== Beer & Wine Licenses	
TOTAL COLLECTED ==>		69,082.40	3,393,598.69		

*prepared by: Leslie M. Lunsford, Collector of Revenue*





## ***Town of Tarboro, North Carolina Mayor and Council Communication***

**Subject:** Budget Amendment - Insurance Claims

**Date:** 4/13/2020

**Memo Number:** 20-22

---

The Police Department has filed several insurance claims during the current fiscal year related to damages sustained from motor vehicle collisions. Payment for these claims have been received and need to be allocated to cover the cost of necessary repairs. A budget amendment is required to do so.

It is recommended that Council adopt the attached budget resolution.

### **ATTACHMENTS:**

Description	Upload Date	Type
Budget Amendment	4/7/2020	Budget Amendment

**BUDGET RESOLUTION**

**TOWN COUNCIL OF THE TOWN OF TARBORO**

**April 13, 2020**

BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF TARBORO, NORTH CAROLINA, that the 2019-2020 Fiscal Year Budget be amended by amending Revenue and Expenditure line items as follows:

<u>Account Number</u>	<u>Account Name</u>	<u>Current Budget</u>		<u>Amount of Change</u>		<u>Revised Budget</u>
<b>REVENUES - GENERAL FUND</b>						
10-3200-0100	REFUNDS & REIMBURSEMENTS	39,103	+	7,634	=	46,737
<b>EXPENDITURES - GENERAL FUND</b>						
10-4310-3100	POLICE - AUTO SUPPLIES	82,321	+	7,634	=	89,955

BE IT FURTHER RESOLVED that the Budget Officer is hereby authorized and directed to implement said budget as amended.



## ***Town of Tarboro, North Carolina Mayor and Council Communication***

**Subject:** Budget Amendment - Refunded Fees

**Date:** 4/13/2020

**Memo Number:** 20-23

---

As Council is aware, the Town previously cancelled a contract with Logics, LLC for implementation of an Enterprise Resources Planning solution. Under the terms of that contract, the permitting portion of the software solution was to be provided by an unaffiliated vendor, Muncity. We have since received a refund of the fees paid to Muncity during the project.

It is recommended that Council adopt the attached budget resolution for the refunded fees.

### **ATTACHMENTS:**

Description	Upload Date	Type
Budget Amendment - Vendor Refund	4/7/2020	Budget Amendment

## BUDGET RESOLUTION

### TOWN COUNCIL OF THE TOWN OF TARBORO

**April 13, 2020**

BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF TARBORO, NORTH CAROLINA, that the 2019-2020 Fiscal Year Budget be amended by amending Revenue and Expenditure line items as follows:

<u>Account Number</u>	<u>Account Name</u>	<u>Current Budget</u>		<u>Amount of Change</u>		<u>Revised Budget</u>
<b>REVENUES - GENERAL FUND</b>						
10-3200-0100	REFUNDS & REIMBURSEMENTS	46,737	+	11,010	=	57,747
<b>EXPENDITURES - GENERAL FUND</b>						
10-4130-7400	Capital Outlay Equipment	30,818	+	11,010	=	41,828

BE IT FURTHER RESOLVED that the Budget Officer is hereby authorized and directed to implement said budget as amended.



## ***Town of Tarboro, North Carolina Mayor and Council Communication***

**Subject:** Bid Award - Fire Pumper

**Date:** 4/13/2020

**Memo Number:** 20-24

---

Staff solicited bids for a top mount custom pumper in January of this year. Minimum specifications were sent to four companies representing four manufacturers; three bids were received. Each of the responding companies is a well established entity whose client base includes North Carolina governments and participates in a group purchasing program. Attached is a summary of their responses.

After careful review of the submitted documentation and a demonstration of the proposed apparatus of each respondent, it was determined that Fire Collections would be the best solution for the Tarboro Fire Department.

It is recommended that the Council award the bid to Fire Connections Incorporated and authorize staff to equip the base model and execute a contract not to exceed \$550,000, as budgeted for FY 2019-2020.

### **ATTACHMENTS:**

Description	Upload Date	Type
Bid Tabulation - Fire Pumper	4/7/2020	Backup Material

**Bid Tabulation Sheet**  
**Project / Equipment : Fire Pumper**

	Manufacturer	Quoted Price*
Company Name		
Select Custom Apparatus Falkland, NC	Spartan / Toyne	\$485,869
Fire Connections Rocky Mount, NC	E-One	\$486,800
CW Williams Rocky Mount, NC	Rosenbauer	\$499,455
Atlantic Emergency Solutions Fayetteville, NC	Pierce	No Response

**Quoted Price\*** - This amount represents the bid amount based on the minimum specifications provided by the Town during the bid process for comparative purposes. Additional equipment will be added in order to best meet the needs of the Department.





## ***Town of Tarboro, North Carolina Mayor and Council Communication***

**Subject:** Utility Easement Agreement - Carolina Telephone and Telegraph, LLC D/B/A CenturyLink

**Date:** 4/13/2020

**Memo Number:** 20-25

---

Carolina Telephone and Telegraph Company, LLC is requesting to enter into an agreement with the Town for Parcel Number 4738-34-7825-00 located at the corner of Trade Street and W. Saint James Street to include the Trade Street side from the entrance of the Roberson-Dupree parking lot to W. Saint James Street and up into the Roberson-Dupree parking lot for 300'. An agreement and a map showing the description is attached.

It is recommended that Council authorize the appropriate Town officials to sign the attached easement and decide if there will be a fee for this agreement.

### **ATTACHMENTS:**

Description	Upload Date	Type
utility easement	4/6/2020	Cover Memo

After recording please return to:  
CenturyLink  
PO Box 688  
Celina, TX 75009

---

Prepared by:  
Omar Amaral  
CenturyLink ROW

**RECORDING INFORMATION ABOVE**

Grantor: TOWN OF TARBORO  
Grantee: CAROLINA TELEPHONE AND TELEGRAPH, LLC d/b/a CENTURYLINK  
Parcel: 4738-34-7825-00

**EASEMENT AGREEMENT**

The undersigned ("Grantor"), for good and valuable consideration, the receipt and sufficiency of which are acknowledged, hereby grants and conveys to **CAROLINA TELEPHONE AND TELEGRAPH, LLC, a public service company d/b/a CenturyLink**, its successors, assigns, lessees, licensees, agents and affiliates ("Grantee"), having an address of 100 CenturyLink Drive, Monroe, Louisiana 71203, Attn: Construction Service, a perpetual, non-exclusive easement ("Easement") to construct, operate, maintain, repair, expand, replace and remove a communication system that Grantee from time to time may require, consisting of but not limited to, cables, wires, conduits, manholes, drains, splicing boxes, vaults, surface location markers, equipment cabinets and associated wooden or concrete pads, aerial lines, poles and cables, and other facilities and structures, including utility service if required to operate such system, facilities and structures (collectively, the "Facilities")

over, under and across the following property located in the County of Edgecombe, State of North Carolina, which Grantor owns ("Easement Tract"):

SEE THE DESCRIPTION SET FORTH ON **EXHIBIT A** ATTACHED TO, AND BY THIS REFERENCE MADE A PART OF, THIS AGREEMENT

Grantor further grants and conveys to Grantee the following incidental rights:

- (1) The right of ingress and egress over and across Grantor's lands to and from the Easement Tract; and
- (2) The right to clear all trees, roots, brush and other obstructions that interfere with Grantee's use and enjoyment of the Easement Tract.

Grantor reserves the right to use and enjoy the Easement Tract so long as Grantor's use does not materially interfere with the rights granted in this Easement Agreement. Grantor will not erect any structure or plant trees or other vegetation within the Easement Tract and will not alter the surface or subsurface of the Easement Tract or the ground immediately adjacent to the Easement Tract by grading or otherwise excavating, without Grantee's written consent.

Grantor warrants that Grantor is the owner of the Easement Tract and will defend title to the Easement Tract against all claims. Grantee will have no responsibility for environmental contamination unless caused by Grantee.

The rights, conditions and provisions of this Easement Agreement will run with the land and will inure to the benefit of and be binding upon Grantor and Grantee and their respective successors and assigns.

Executed by Grantor this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

**TOWN OF TARBORO**

**GRANTOR:**

\_\_\_\_\_, a  
\_\_\_\_\_

By: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_

[illegible]

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2020, by \_\_\_\_\_, as \_\_\_\_\_, of Town of Tarboro.

My commission expires: \_\_\_\_\_

WITNESS my hand and official seal.

Notary Public

(SEAL)

## **EXHIBIT A TO EASEMENT AGREEMENT**

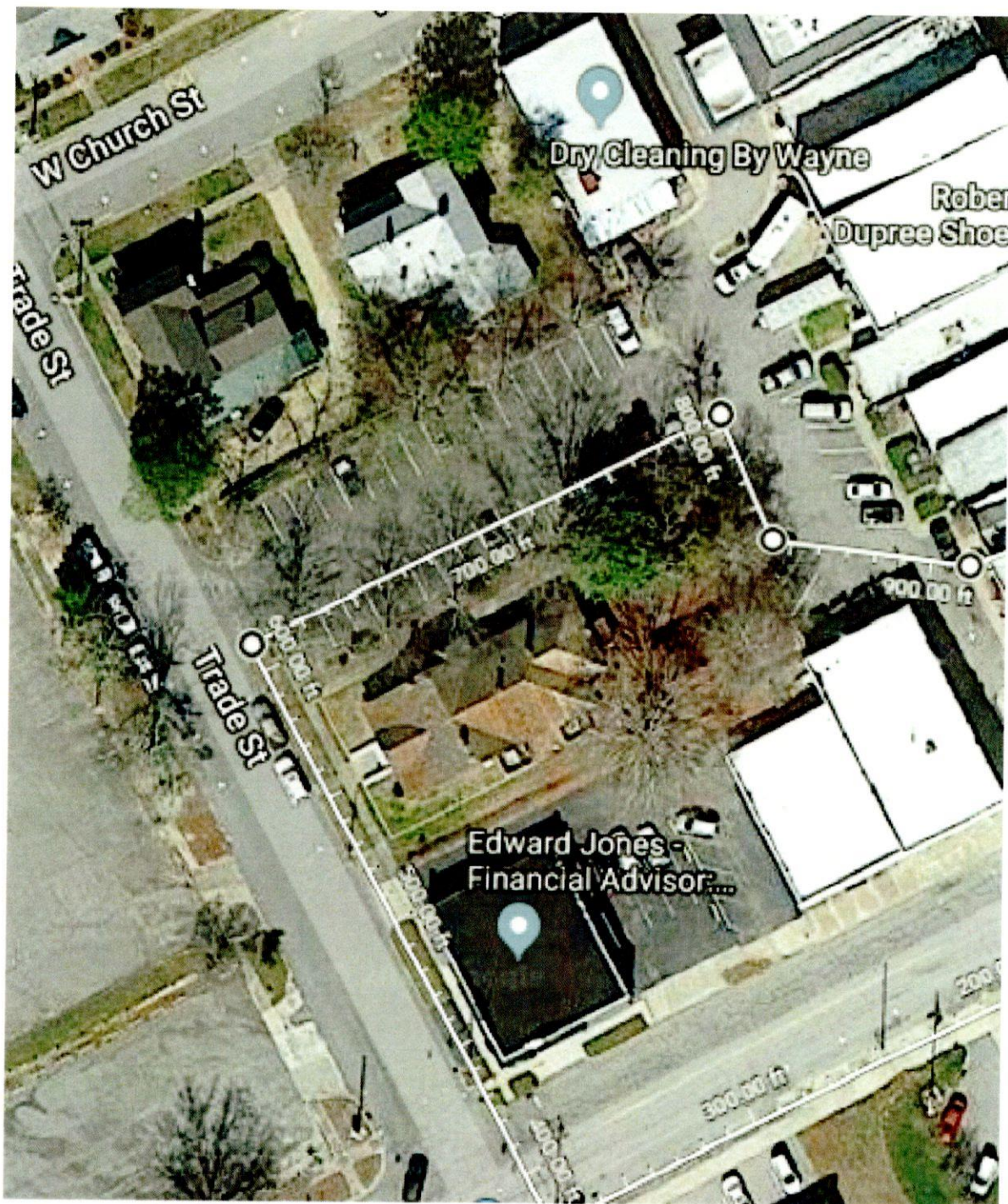
### **Legal Description of Easement Tract**

A five (5) foot wide easement, extending 2.5 feet on each side of the centerline of the cable as installed, the location which has been mutually agreed upon between GRANTOR AND GRANTEE, generally on a tract of land located in the Town of Tarboro, No. 1 Township, Edgecombe County, North Carolina, as the tract is more particularly described in the DEED recorded in Office of the County Clerk of Edgecombe County North Carolina, in Book 967, Page 662.



EXHIBIT A CONTINUED

Sketch or Drawing of Easement Tract





## ***Town of Tarboro, North Carolina Mayor and Council Communication***

**Subject:** Appointment - Planning Board

**Date:** 4/13/2020

**Memo Number:** 20-26

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Scott Fisher has relocated and is no longer able to serve on the Planning Board for Ward 8. David Gammons is interested in serving on the board and his application is attached.

It is recommended that Council appoint an individual to fill the existing vacancy at the April Council meeting.

**ATTACHMENTS:**

Description	Upload Date	Type
David Gammons Application	4/9/2020	Cover Memo





## Town of Tarboro Application for Boards and Commissions

Please print or type the following information:

Name: DAVID GAMMONS Daytime Telephone: 252-567-5560  
Address: 1405 E. CANAL ST Ward: 8 Zip Code: 27886  
Email: DHGAMBO53@GMAIL.COM  
Length of Residence in Tarboro: 60+ YEARS

Please indicate which board, commission, or committee on which you would like to serve:

PLANNING  
Why would you like to serve? WAS APPROACHED BY COUNCILMAN & OTHERS  
TO SERVE. I FEEL LIKE MY INPUT WOULD MAKE A DIFFERENCE  
IN THE GROWTH & DEVELOPMENT OF TARBORO IN A POSITIVE WAY.

Please describe how your education, work experience, and community activities are relevant to your selections:

BUSINESS DEGREE FROM ECU, 20 YEARS TRAVELING EASTERN  
N.C. HAS GIVEN ME INSIGHT ON DEVELOPMENT & GROWTH OF  
SURROUNDING COMMUNITIES.

Community Activities: MEMBER OF HMPC, FORMER ROTARY, JAYCEES &  
KIWANIS CLUB MEMBER

Employment History: 2 YRS. LOAN OFFICER PEOPLES BANK, 12 YRS SALES MGR,  
BRANSON CHEV & BIK CHEV, 20 YRS DIST. SALES MGR SPRINT PUBLISHER & ADVER.

Education: GRADUATE OF EAST CAROLINA UNIVERSITY WITH BSBA

Are you currently a member of any state, federal, or local board, commission, or committee? If so, please list below: N/A

All information contained on this application is subject to public disclosure and will be reviewed by public officials. Attach any additional supporting documentation that is relevant to your qualifications to serve, i.e. resume, bio, etc.

Signature of Applicant: David Gammons Date: 4-9-20

All information contained on this application is subject to public disclosure and will be reviewed by public officials. Attach any additional supporting documentation that is relevant to your qualifications to serve, i.e. resume, bio, etc.

Submit Application by Mail to: Town of Tarboro  
Attn: Town Manager  
P.O. Box 220  
Tarboro, NC 27886

or Fax to: 252-641-4254





***Town of Tarboro, North Carolina  
Mayor and Council Communication***

**Subject:** Appointment - Tarboro-Edgecombe Airport Authority

**Date:** 4/13/2020

**Memo Number:** 20-27

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Scott Fisher has relocated and is no longer able to serve on the Tarboro-Edgecombe Airport Authority. Steve Brittain is interested in serving on this board.

It is recommended that Council appoint an individual to fill the existing vacancy at the April Council meeting.