



## CITY OF ST. PETERSBURG, FLORIDA

PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

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### STAFF REPORT

#### Community Planning and Preservation Commission Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **June 13, 2023, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at [https://www.stpete.org/connect\\_with\\_us/stpete\\_tv.php](https://www.stpete.org/connect_with_us/stpete_tv.php).

*According to Planning & Development Services Department records, Commissioner Lisa Wannemacher and Commissioner Cassie Gardner have a direct or indirect ownership interest in real property located within 1,000 linear feet of real property contained with the application (measured in a straight line between the nearest points on the property lines). All other possible conflicts should be declared upon the announcement of the item.*



**Case No.:** 23-90200019

REQUEST:	Review of a Certificate of Appropriateness application for the replacement of windows and doors throughout the Flori-de-Leon, a local historic landmark
OWNER:	Flori De Leon Apartments Inc
AGENT:	Jeffrey Farnsworth, Chairman of Building Committee
ADDRESS:	130 4 <sup>th</sup> Ave North
LEGAL DESCRIPTION:	FLORI DE LEON APTS CO-OP (COMMON ELEMENTS)
PARCEL ID NO.:	19-31-17-28654-000-0001
LOCAL LANDMARK:	Flori-de-Leon (HPC 94-08)

## Historical Context and Significance

The Flori-de-Leon was listed as a local historic landmark in the St. Petersburg Register of Historic Places in 1994. Constructed between 1926 and 1928, the Flori-de-Leon represents the Mediterranean Revival style, boom-time architecture that was experienced in Florida during the 1920s. It retains much of its original Mediterranean Revival architectural characteristics such as the barrel tile roof, checker-board tile inlays, curvilinear lines, arched colonnade, decorative swirled columns, iron, and the dome and gable corner pieces.

The Flori-de-Leon Cooperative is significant in terms of commerce and tourism as a mid-rise residential tower offering a unique cooperative approach to seasonal/year-round living. The building is also significant for architecture as it retains much of its physical integrity and is a fine example of the formed and poured concrete construction method designed in the Spanish-inspired Mediterranean Revival style of architecture. The Flori-de-Leon is further significant as the collaborative work of architects Lester Avery and Olin Round, and contractor Lovering & Longbotham Company, developers W.J.V. Corporation, James E. Woodhouse, and Warren Webster. In 1994, the Flori-de-Leon was listed in the St. Petersburg Register of Historic Places.



**Figure 1: Historic photograph of the front courtyard of the Flori-de-Leon building.**



## Project Description and Review

### Project Description

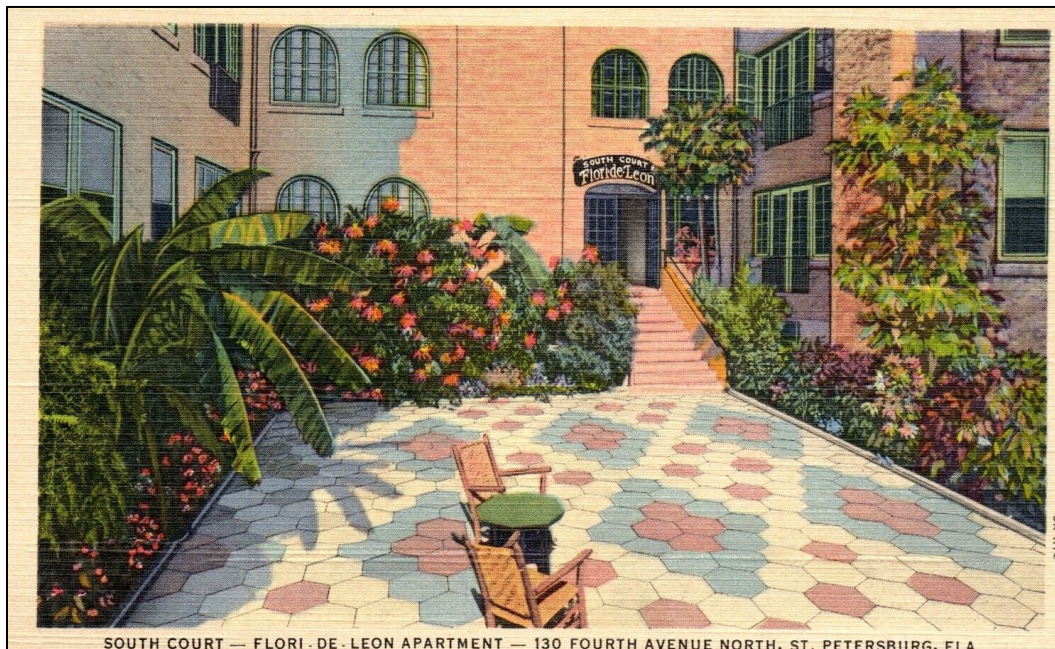
COA application 23-90200019 proposes a masterplan for replacing the windows at the Flori-de-Leon. The application includes a color coded elevations, indicating which portions of the building will utilize casement windows or double hung sash windows. The application also includes the Phase 1 replacements of 68 windows, 11 balconette doors in 14 apartments and two common areas. The applicants are proposing to use PGT WinGuard5500 Series Vinyl windows and doors in a bronze finish.

The applicant is requesting to extend the standard two-year expiration date to 25 years with a 15 year option not renew at HP staff discretion.

Historically, the original windows in the Flori-de-Leon consisted of a combination of eight and ten light, wood casement windows and one-over-one, double-hung sash, wood windows. The central hyphen also notably contained arched casement windows. Balconies were accessed via 15-light, wood French doors that swung inward in order to conserve space on the balconies. However, between 1954 and 1975, most of the original interior and exterior windows and doors were replaced. Many of the original windows and doors were replaced with an assortment of metal windows including awing, jalousie, and single-hung sash (SHS). The French doors were generally replaced with sliding glass doors or a modern glass door. Some of the original openings were partially filled, changing the size of the window, or window air conditioning units were installed.

In 2009, a COA application for the replacement of all the windows and doors on the property was approved with the conditions:

- The wood windows and doors be repaired, rather than replaced;
- The replacement windows were approved to be metal with a bronze finish;
- The balcony doors were approved to be sliding or French doors;
- The replacement windows were to match the historic window configuration and operation; and
- Doors and windows were to have exterior, three-dimensional muntins to replicate the historic configuration.



**Figure 2: Historic postcard of the rear courtyard of the building.**

### General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

**Consistent** The proposal will not substantially affect the integrity of the local historic landmark, but the proposed replacement of the historic windows will lessen the integrity of the property. Since the building is many stories, the windows on the taller floors are less visible. Change in materials from historic wood to bronze vinyl will be less noticeable from the street level.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

**Not Applicable** This is the only structure within the designation boundary.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

**Consistent** The proposal includes mostly the replacement of non-historic windows, which currently do not match the original configuration. While the proposed replacements will restore the original style, design, and configuration of the historic windows, they will not be made of the original material.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

**Information not provided**

5. *Whether the plans may be reasonably carried out by the applicant.*

**Consistent** There is no indication that the applicant cannot carry out the proposal.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

**Not applicable** The building is a local historic landmark.

### Additional Guidelines for Alterations

1. *A local landmark should be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

**Consistent** The subject property is, and will continue to be, a multi-family building.



2. *The distinguishing historic qualities or character of a building, structure, or site and its environment shall be preserved. The removal or alteration of any historic material or distinctive architectural features shall be avoided when reasonable.*

**Mostly  
Consistent**

The proposal does include the removal of some of the historic windows and doors, which are also considered distinctive architectural features. There are only a few remaining original wood windows and doors left, but the units proposing to replace the original wood French doors or windows are located on the higher levels of the building, and therefore aren't as publicly visible to the pedestrian. The applicant has also stated the desire to have impact resistant windows, and given the size of the building, it would be difficult to shutter the windows and balcony doors, particularly those on the higher floors.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings without sufficient documentary evidence, shall not be undertaken.*

**Consistent**

The proposal does not incorporate conjectural features or elements from other properties.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved, as appropriate.*

**Consistent**

The non-original windows to be replaced have not acquired any historic significance.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

**Consistent**

The application proposes to replicate window configurations throughout the building based on prior COA approvals and historic photographs.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, texture, and other visual qualities and, where reasonable, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

**Mostly  
Consistent**

Most of the historic windows have already been replaced in prior decades. The applicant is proposing to replace some of the historic windows and French doors. As discussed above, the applicant has stated that the current historic windows and doors are deteriorated and allow water intrusion into the building. The applicant is proposing to install new windows and doors that will replicate the visual qualities of the original windows and doors.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

**Consistent**

No harsh treatments have been proposed or observed.

8. *Significant archaeological resources affected by a project shall be protected and preserved if designated pursuant to this section. If such resources must be disturbed, mitigation measures shall be undertaken.*

**Not applicable**      The subject property is not located within a known archaeological sensitivity area.

### Additional Guidelines for Window Replacement

The City's historic preservation office, State of Florida Division of Historic Resources, and U.S. Department of Interior Technical Preservation Services can provide additional information relating to window repair and replacement for individual landmark buildings and properties within local historic districts. While preservation and repair of historic windows is often preferable, property owners may replace windows provided that each replacement window meets the following criteria:

1. *Impact resistance. The replacement window and glass shall be impact resistant;*

**Consistent**      The windows will be impact resistant, per information provided in the application.

2. *Energy performance. The replacement window shall be Energy Star qualified for southern climate zones;*

**Consistent**

3. *Depth in wall. The replacement window shall be setback into the wall the same distance as the historic window;*

**Consistent**      The application states that the replacement windows will be installed at the same distance as the historic window.

4. *Frame size, shape and exterior trim. The replacement window shall be the same size and shape as the historic window and opening. Historic openings shall not be altered in size. Existing, exterior trim shall be retained, where practicable;*

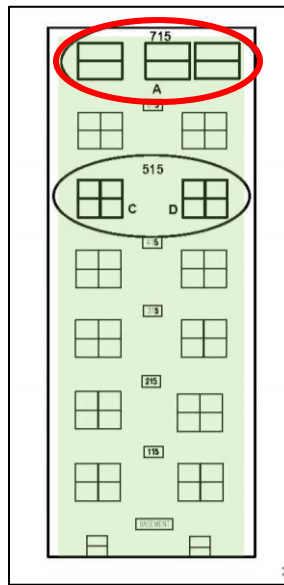
**Consistent**      The applicant is not proposing to change the window openings.

5. *Configuration. The replacement window shall have the same light configuration as the historic window. If the historic window configuration cannot be determined, the replacement window configuration shall be appropriate to the architectural style of the subject building;*

**Consistent**      The applicant is proposing to replicate the historic window configuration. Staff has a few recommendations for a few windows, particularly the windows in the top level. Overall, the building's fenestration patterns tend to be aligned in a vertical column orientation, with a correlation between the openings above and below each other.

On certain elevations of the building, the top floor has a different fenestration pattern and opening size than the floors below. Regarding the rear elevation on the east wing, the windows on the top floor (Unit 715) are shown to be replaced with wide, three one-over-one sash windows. Looking at the fenestration size, staff believes the windows should be paired, sashed windows in the openings, meaning there should be six sash windows that should reflect the same size and proportion of the windows below.





**Figure 3: The windows circled in red are proposed to be replaced with three one-over-one sash windows. Staff finds that paired sash windows in each opening to correspond with the floors below would be more appropriate.**

6. *Proportions. The replacement window shall have the same visual qualities of the historic window, where commercially reasonable:*
- Muntins and mullions. Where provided, muntins and mullions shall have the same dimensions and profile of the historic muntins and mullions.*
  - Stiles. For hung windows, stiles shall align vertically and be the same width at the upper and lower sashes.*
  - Top, meeting and bottom rails, and blind stop. The top, meeting and bottom rails of a hung window, including the corresponding blind stop, shall have the same dimensions and profile of the historic window.*

**Mostly  
Consistent**

The new windows will generally have the same visual qualities of the historic window. Staff has observed that impact vinyl windows, which have become popular replacement windows, have thicker rails and stiles due to the increased structural components of impact windows.

7. *Finish. The finished surface and appearance shall match the historic window, where practicable.*

**Somewhat  
Inconsistent**

The window frames are proposed vinyl, which is a visually modern material. The applicants are proposing vinyl windows with a bronze appearance that has a more matte finish than white vinyl. Given the scale of the building, the material change will be less visually apparent. Staff finds that its more important to restore the original configuration of the windows.

### Summary of Findings, Certificate of Appropriateness Review

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 3 of 3 relevant criteria fully or partially satisfied.
- Additional Guidelines for Alterations: 7 of 7 relevant criteria met or partially met.

- Additional Guidelines for Window Replacement: 6 of 7 relevant criteria met.

### Staff Recommendation

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve with conditions** the Certificate of Appropriateness request for the alteration of the Flori-de-Leon, a local historic landmark, subject to the following:

1. Windows will be installed to be setback within the wall plane and feature a reveal of approximately 3 inches, to match the window reveal on the other extant historic windows on the building.
2. Proposed windows will replicate the historic design and configuration of each window and door, and feature contoured, exterior three-dimensional muntins that match traditional muntin shape and profile.
3. The last three arched, wood windows on the front courtyard shall be repaired, not replaced. Windows are labeled as office windows on Elevation 3.
4. Entrance doors on Elevation 3 and 11 shall be 15-lite French doors with exterior, three-dimensional muntins.
5. Windows on Elevation 9 for Unit 715 shall be 6 double hung, sash windows instead of 3.
6. Any exterior casing, drip edge, and trim shall be preserved and reinstalled after window installation.
7. A historic preservation final inspection is required.
8. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
9. This approval will be valid for five years from the date of this hearing, with an expiration date of June 13, 2028.
10. Requests after the expiration date for window or door replacements could be handled administratively as long as they meet the approved masterplan. Staff has the discretion to send new requests to Commission if the requests propose to replace original features.

Report Prepared By:



06/07/2023

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**Kelly Perkins, Historic Preservationist II**  
Urban Planning and Historic Preservation Division  
Planning and Development Services Department

Date

Report Approved By:



06.08.2023

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**Derek S. Kilborn, Manager**  
Urban Planning and Historic Preservation Division  
Planning and Development Services Department

Date



# Appendix A:

## Application 23-90200019



# AFFIDAVIT TO AUTHORIZE AGENT

***I am (we are) the owner(s) and record title holder(s) of the property noted herein***

Property Owner's Name(s):

Flori De Leon Apartments, Inc.

***"This property constitutes the property for which the following Affordable Housing Site Plan Review request is made***

Property Address: 130 4th Ave N, Saint Petersburg FL 33701

Parcel ID#: 19-31-17-28654

***"The undersigned has(have) appointed and does(do) appoint the following agent(s) to execute any application(s) or other documentation necessary to effectuate such application(s)***

Agent's Name(s): Jeffrey Farnsworth, Chairman, Building Committee

***This affidavit has been executed to induce the City of St. Petersburg, Florida, to consider and act on the above described property***

***I(we), the undersigned authority, hereby certify that the foregoing is true and correct***

Signature (owner): *Giuseppe Tomasetti* Giuseppe Tomasetti, President  
Printed Name

***Sworn to and subscribed on this date***

Identification or personally known: *Personally Known*

Notary Signature: *Sherry A. White* Date: 3/6/23

Commission Expiration (Stamp or date):







# CERTIFICATE OF APPROPRIATENESS

APPLICATION

COA #

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One 4th Street North, St. Petersburg, Florida. Applications can be submitted digitally to [history@stpete.org](mailto:history@stpete.org).

## GENERAL INFORMATION

130 4th Ave N, St. Petersburg FL 33701	19-31-17-28654
Property Address	Parcel Identification No.
Flori De Leon Apartments	Multiple - See Attached
Historic District / Landmark Name	Corresponding Permit Nos.
Flori De Leon Apartments Inc.	727 - 894 - 7971
Owner's Name	Property Owner's Daytime Phone No.
130 4th Ave N, St Petersburg FL 33701	Office@florideleon.org
Owner's Address, City, State, Zip Code	Owner's Email
Jeff Farnsworth, Chairman Building Committee	540-226-2019
Authorized Representative (Name & Title), if applicable	Representative's Daytime Phone No.
130 4th Ave N, Apt 105, St Petersburg FL 33701	nfenterprises.inc@gmail.com
Representative's Address, City, State, Zip Code	Representative's Email

### APPLICATION TYPE (Check applicable)

Addition	<input checked="" type="checkbox"/>	Window Replacement
New Construction	<input checked="" type="checkbox"/>	Door Replacement
Demolition	<input type="checkbox"/>	Roof Replacement
Relocation	<input type="checkbox"/>	Mechanical (e.g. solar)
Other:	<input type="checkbox"/>	

### TYPE OF WORK (Check applicable)

Repair Only	<input type="checkbox"/>
In-Kind Replacement	<input type="checkbox"/>
New Installation	<input type="checkbox"/>
Other:	<input type="checkbox"/>

## AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES:** 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.  
2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner:

*[Signature]*  
President, Flori De Leon Apartments, Inc.

Date: 3/6/23

Signature of Representative:

*[Signature]*  
Chairman, Building Committee

Date: 3/6/23



# CERTIFICATE OF APPROPRIATENESS

APPLICATION

COA #

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department by emailing to [history@stpete.org](mailto:history@stpete.org).

## PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

Building or Site Feature	Photo No.	Proposed Work
Balcony & Juliette Doors	See Elevations with Photos Pages: 9-41	Replace 11 Balcony & Juliette doors with Bronze PGT WinGuard 5500 Series Vinyl Sliding Glass Doors (SGD). Each SGD panel shall have 3 dimensional exterior applied simulated divided 15 light muntin grids. Locations are in the Apartment(s) delineated on the attached 2023 Phase 1 Replacement Schedule, Elevation Drawings & Pictures, Plan Sketches, and PGT Profiles.
Balcony & Juliette Side Windows	See Elevations with Photos Pages: 9-41	Replace 11 Balcony & Juliette side windows with Bronze PGT Winguard 5500 Series Vinyl Casement windows. Each window shall have 3 dimensional external applied simulated divided 8 light muntin grids. Locations are in the Apartment(s) delineated on the attached 2023 Phase 1 Replacement Schedule, Elevation Drawings & Pictures, Plan Sketches, and PGT Profiles.
North Courtyard Facade Casement Windows - Over Main Entries	See Elevations with Photos Pages: 9-41	Replace 2 side by side windows with Bronze PGT WinGuard 5500 Series Vinyl Twin Casement windows. Each window shall have 3 dimensional external applied simulated divided 8 light muntin grids. Location is in the Apartment delineated on the attached 2023 Phase 1 Replacement Schedule, Elevation Drawings & Pictures, Plan Sketches, and PGT Profiles.
Outer East & West Side Windows	See Elevations with Photos Pages: 9-41	Replace 9 windows with Bronze PGT WinGuard 5500 Series Vinyl Twin Casement windows. Each window shall have 3 dimensional external applied simulated divided 8 or 10 light muntin grids. Locations are in the Apartment(s) delineated on the attached 2023 Phase 1 Replacement Schedule, Elevation Drawings & Pictures, Plan Sketches, and PGT Profiles.
All Other Apartment Windows	See Elevations with Photos Pages: 9-41	Replace 46 windows with Bronze PGT WinGuard 5500 Series Vinyl Double Hung Sash standard apartment windows. Locations are in the Apartment(s) delineated on the attached 2023 Phase 1 Replacement Schedule, Elevation Drawings & Pictures, Plan Sketches, and PGT Profiles.
<u>Master Plan COA Approval</u>	See Page 8 & Color Code Elevations	Authorize this plan as an enduring Master Plan Certificate of Appropriateness (COA) approval for any future window/door replacement. Authorize Historic Preservation staff discretion to approve any future replacement of original wood windows/doors, variances and changes in materials provided the replacements align with this COA in appearance and technical specifications.





# CERTIFICATE OF APPROPRIATENESS

## GENERAL INFORMATION

### Purpose

The Historic and Archaeological Preservation Overlay, City Code Section 16.30.070, requires issuance of a Certificate of Appropriateness (COA) prior to any exterior alteration to a locally designated landmark or property within a locally designated historic district. Exterior alterations include, but are not limited to, the following work: changes to walls, roof, or windows; painting unpainted masonry; additions; relocation, and demolition. Building new structures and demolition requests within a historic district, as well as any digging or replacement of plantings on a designated archaeological site also require a COA. The intent of the COA is to ensure that the integrity and character of the individual landmark or historic district is maintained.

### Pre-Application Meeting

Applicants are encouraged to schedule a pre-application meeting with Staff prior to an application being accepted. Staff requests that all pre-application meetings be scheduled at least one (1) week prior to the application deadline. Minor maintenance projects can often be approved at this meeting. Pre-application meetings can be scheduled by calling (727) 892-5470 or (727) 892-5451.

At the meeting, staff will determine if the application is appropriate for administrative approval based upon the COA Approval Matrix as per the regulations in the Historic and Archaeological Preservation Overlay. Administrative approvals do not require a public hearing, unless an appeal is filed with the Urban Planning and Historic Preservation Division. Permits must be obtained within 18 months of approval. Staff shall have the discretion to refer any case to the Community Planning and Preservation Commission ("CPPC").

### Application Submittal

Only complete applications will be accepted. Complete applications must be filed by 2:00 PM on the application deadline date. Per the CPPC's Rules of Procedure, a maximum of twelve (12) applications may be scheduled for any given public hearing. This limit does not apply to applications which are determined by the Urban Planning and Historic Preservation Division to be appropriate for administrative approval. Applications requiring a public hearing are scheduled in the order received.

### Fee Schedule

Commission Review		Staff Review	
Additions	\$ 300.00	General Application	\$ 50.00
Appeal	\$ 250.00	Appeal	\$ 250.00
Alterations and Repair	\$ 300.00		
Demolition (primary building)	\$ 1,000.00		
Demolition (accessory structure)	\$ 500.00		
New Construction	\$ 300.00		
Relocation	\$ 500.00		
<i>After-the-Fact – Twice the initial fee; Revision of previously approved COA - ½ of the original fee</i>			

### Site Plans, Floor Plans, and Elevation Drawings

All applications for the CPPC require a detailed, accurate site plan or survey and elevation drawings. Some applications for the CPPC require floor plans as well. Staff strongly encourages applicants to retain the services of a design professional to prepare the required plans. The City is unable to accept site plans, floor plans, or elevations that are incomplete, illegible, unclear, or do not meet the criteria listed on the "List of Required Submittals." Such determinations are made at the discretion of the City.



# CERTIFICATE OF APPROPRIATENESS

## GENERAL INFORMATION

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### **Community Planning and Preservation Commission Review**

By applying to the CPPC, the applicant grants permission for Staff and members of the CPPC to visit the subject property to evaluate the request. Applicants with special requests related to timing of site visits should advise Staff in writing at the time of application submittal.

### **Legal Notification**

All applications that require CPPC approval shall provide public notification. The applicant will be required to send via the U.S. Postal Service, notification letters to all property owners within 200 linear feet of the subject property. The City will provide one original notification letter, mailing labels, and instructions. These legal notifications must be mailed by the dates noted on the CPPC schedule with verification of mailing returned to staff within seven (7) days of the meeting date.

### **Public Hearing**

Applications appropriate for public hearing will be heard by the CPPC on the dates listed on the CPPC Schedule. The public hearings begin at 2:00 p.m. in the City Council Chambers at City Hall, located at 175 5th Street North. All proceedings are quasi-judicial.

### **CPPC Approvals**

If approved by the CPPC, the applicant must wait to initiate construction until after the ten (10) day appeal period. Permits and inspections are required, when applicable. Permits must be obtained within 18 months from the date of the CPPC decision, unless otherwise directed by the CPPC. After the expiration date, a one-year extension to complete the work in progress may be approved in the manner originally approved if the owner can show why the work has not been completed.

All conditions of approval must be satisfied and approved through inspection by Historic Preservation staff before the final building inspection is approved. Failure to satisfy these requirements will invalidate the approval of the request. Approval of a request by the CPPC or Historic Preservation Division does not grant or imply other variances from the City Code, FEMA regulations, or other applicable codes.

### **FEMA Regulations**

FEMA regulations may affect your ability to proceed with your plans – even if approved by the CPPC. Designated properties may receive variances from local flood hazard requirements when rehabilitating their buildings. Applicants are advised to contact the City's FEMA Coordinator at (727) 893-7283 to determine the impact of FEMA regulations, if any.





# CERTIFICATE OF APPROPRIATENESS

## CHECKLIST, WINDOW REPLACEMENT

- ☐ **Completed COA application**
- ☐ **Application fee - \$50 (same materials) or \$300 (change of materials)**
- ☐ **Floor Plans and Elevations:**
  - To scale, no larger than 11" x 17" paper or digitally submitted
  - Depicts all sides of existing & proposed structure(s)
  - Indicate location of each window replacement
- ☐ **Window Schedule specifying existing windows to be replaced: materials, size, type, finish**
- ☐ **Number Key Photos, Floor Plans, and Elevation to correspond with Window Schedule**
- ☐ **Dimensioned and scaled profile section of new windows**
- ☐ **Manufacturers brochure and catalog photo of proposed replacement**
- ☐ **Written description explaining how the proposed window replacement complies with the following evaluation criteria:**
  1. The replacement window and glass shall be impact resistant.
  2. The replacement window shall be Energy Star qualified for southern climate zones.
  3. The replacement window shall be setback into the wall the same distance as the historic window.
  4. The replacement window shall be the same size and shape as the historic window and opening. Historic openings shall not be altered in size. Existing, exterior trim shall be retained, where practicable.
  5. The replacement window shall have the same light configuration as the historic window. If the historic window configuration cannot be determined, the replacement window configuration shall be appropriate to the architectural style of the subject building;
  6. The replacement window shall have the same visual qualities of the historic window, where commercially reasonable:
    - a. Where provided, muntins and mullions shall have the same dimensions and profile of the historic muntins and mullions.
    - b. For hung windows, stiles shall align vertically and be the same width at the upper and lower sashes.
    - c. The top, meeting and bottom rails of a hung window, including the corresponding blind stop, shall have the same dimensions and profile of the historic window.
  7. The finished surface and appearance shall match the historic window, where practicable.

# Project Description - Evaluation Criteria

Summary: The Flori De Leon Board of Directors seeks Community Planning and Preservation Commission (CPPC) approval of an enduring COA Master Plan as provided here with authorization to Historic Preservation staff to directly approve any window/door replacement project, replacement of original wood windows/doors, and any material changes or variances that are consistent with the historic appearance and style as established in the COA Master Plan. This also includes approval for the Phase 1 Project under this COA Master Plan for the replacement of 68 windows and 11 balcony or Juliette doors in 14 apartments and 2 common areas. The windows/doors have exceeded their useful life and are in various states of degraded or unserviceable condition and not suitable for repair. In January 2023, the Flori De Leon Board of Directors established new window and door standards benchmarked to the PGT WinGuard 5500 Series Vinyl Windows and Doors. Further, the standards were updated in February 2023 to align with the historical preservation standards outlined in the 2009 COA approved by the CPPC. The COA Master Plan extends those standards throughout the entire building. The application includes all the required checklist items plus supplemental information and the following assessment of evaluation criteria is provided:

1. All windows and sliding glass doors (replacement items) are Class C Impact Resistant (Miami)
2. All replacement items are Clear, Argon Filled, Laminated Insulating Glass, Low E Energy Shield Max, Energy Star 123 Rating for the best available energy efficiency and condensation resistance. The selected Vinyl product will have Transferable Manufacturer Warranties which include Lifetime for Frame/Hardware and 26 Years for Glass/Insulation, which is far superior to Aluminum products.
3. Installation shall be set back the same distance as the historic precedent and meet or exceed ASTM E 2112 Standard Practice for Installation of Exterior Windows & Doors. This shall also include a lifetime installation warranty.
4. All openings shall be preserved to the original size and shape. Exterior trim shall be preserved to the maximum extent possible. All wood doors/windows are indicated on the drawings and shall be preserved to the maximum extent possible. However, as was permitted with the 2009 COA approval, select wood windows/doors shall be replaced if they are not historic or are historic but in such deteriorated condition that repair is inadequate to prevent building damage or meet occupant safety and associated building code requirements. The replacement schedule includes replacement of 1 non-historic and 3 historic French doors and 1 historic window as detailed in the enclosed Wood Window/Door Supplement. Historic French doors that are replaced shall be made available for restoration and alternate, interior only, uses elsewhere in the building.
5. All replacement items shall align to the previously conditioned 2009 COA approval standards. All Balcony and Juliette doors shall be 15 light muntins and their immediate side windows shall be single Casements with 8 light muntins. Apartment windows along the outer east and west facing walls of the building shall be 8 or 10 light twin casements depending on location.
6. All muntins will be 3-dimensional exterior applied simulated divided light grids. Wherever a window air conditioning unit is required with a Casement window the window will reduce in size to 6 light muntins. Hung windows are sized to match the historic precedent and shall have uniform vertical stile alignment and equal width sashes.
7. All replacement items shall match the historic bronze exterior appearance which is a special extruded coating applied by the manufacturer during production and which carries a 10 year warranty for sun fade and scratch resistance.

HPC #94-08 Historic Landmark – Flori De Leon Apartments

**MASTER PLAN WINDOW & DOOR STANDARDS (EFFECTIVE JUNE 2023)**

**Aligned To 2009 Certificate of Appropriateness (COA) Approval**

	Location	Window/Door Type	Exterior Applied 3-Dimensional Muntin Grids Required	Comments
	All Balcony & Primary Entry Doors	Sliding Glass Door (SGD) or Outward Opening French Door (French)	Yes 15-Light	No inward opening French doors permitted in order to meet current building code and warranty requirements. Single or Double French.
	All Juliette Doors	Sliding Glass Door (SGD) Only	Yes 15-Light	
	All Balcony & Juliette Side Windows	Casement (C)	Yes 8-Light	Crank operated single casement windows. Reduced size with 6 Light muntin grid above window A/C units.
	North Entry Courtyard Façade Center	Double Hung Sash (DHS) with separate arched top fixed glass panel.	No	One over one (1/1) double hung removable sash & fixed glass arched top above. No arched tops 7 <sup>th</sup> Floor
	North Entry Courtyard Façade Left & Right Sides, Above Main Entries	Twin Casement (C-Twin)	Yes 8-Light	Two matching side by side casement windows (Twin). Each casement cranks open. Left casement hinged left, Right casement hinged right. No sliding casements.
	South Entry Courtyard Façade - All	C-Twin Arched Glass Top	Yes 8-Light Each C 8-Light Arched Top	Twin 8-Light casement windows with 8-Light fixed glass arched top. Reduce size to 6 Light muntin grid over A/C units. No sliding casements permitted.
	Outer East & West Side End Stack Apartments, Lounges, & Penthouses (PH)	C-Twin C- Quad (Select PH)	Yes 10-Light 8-Light (Select)	10-Light in end stack apartments, PH, & Lounges. 8-Light in select smaller window openings.
	Outer East & West Side Apartment Windows – Adjacent End Stack	C-Twin	Yes 8-Light	Applies to stack adjacent to the end stack in each end unit apartments on Floors 1-6.
	Outer East & West Side Hallway Windows	Triple Casement (L/S/R)	Yes 8-Light	Triple Casement – Left side hinged left, center fixed, right side hinged right (L/S/R)
	Penthouse Breezeway & Terrace Doors, & Adjacent Windows	French	Yes 15-Light	1/1 DHS Terrace Windows Awning Breezeway Windows
	All Other Apartment & Common Area Windows	DHS	No	1/1 double hung removable sash. Obscured/translucent glass in bathrooms.

# Elevations & Photos



# Flori De Leon Apartments – Window & Door Replacement Project Phase 1 Summary

**Property Name:** Flori de Leon Apartments

**Property Address:** 130 4<sup>th</sup> Ave N, Saint Petersburg, FL 33701

**Parcel ID:** 19-31-17-28654

## **Building Description:**

Year Built: 1927

Construction Type: Steel reinforced concrete columns, beams and floor slabs with non load bearing terracotta block walls, and stucco exterior finish.

## **Historic Status:**

Registered local historic landmark (HPC #93-08)

Certificate of Appropriateness (COA) required for exterior alterations only.

## **Project Narrative:**

Obtain CPPC approval of an enduring COA Master Plan to enable this and all future projects to replace windows and doors at the Flori De Leon

The Flori De Leon will replace select windows & doors in multiple phases starting with Phase 1 in 2023.

The proposed COA Master Plan and Flori De Leon Board of Directors approved standards for window/door replacements align with the prior 2009 COA approved by the CPPC. This will enable building preservation and improvement using modern materials and products in a manner congruent with its historic style and appearance. This COA Master Plan extends those standards throughout the entire structure and they meet/exceed code (e.g. impact resistant), are highly energy efficient, and optimize useful life at least 25 years, with lifetime product and installer warranties.

**Project Cost: \$225,000**

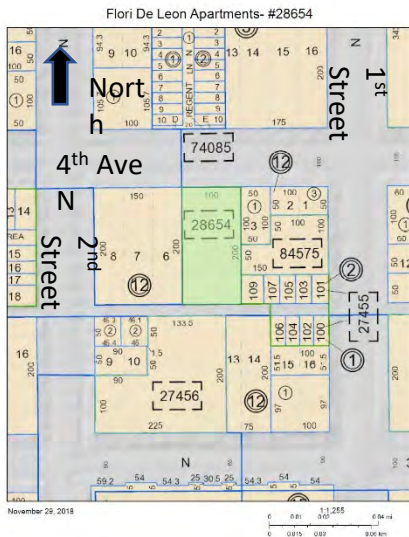
**Owner:** Flori De Leon Apartments, Inc.

Owner Representative: Jeff Farnsworth / 540-226-2019

## **General Contractor:**

Zager Windows, Doors, & Shutters; CBC 1262133

POC: Dan Hosmer 727-798-0810





## Window/Door Replacement Project – Phase 1 (2023)

### S. Courtyard – East

No Balcony/Juliette

- 715

Balcony Units

- 515

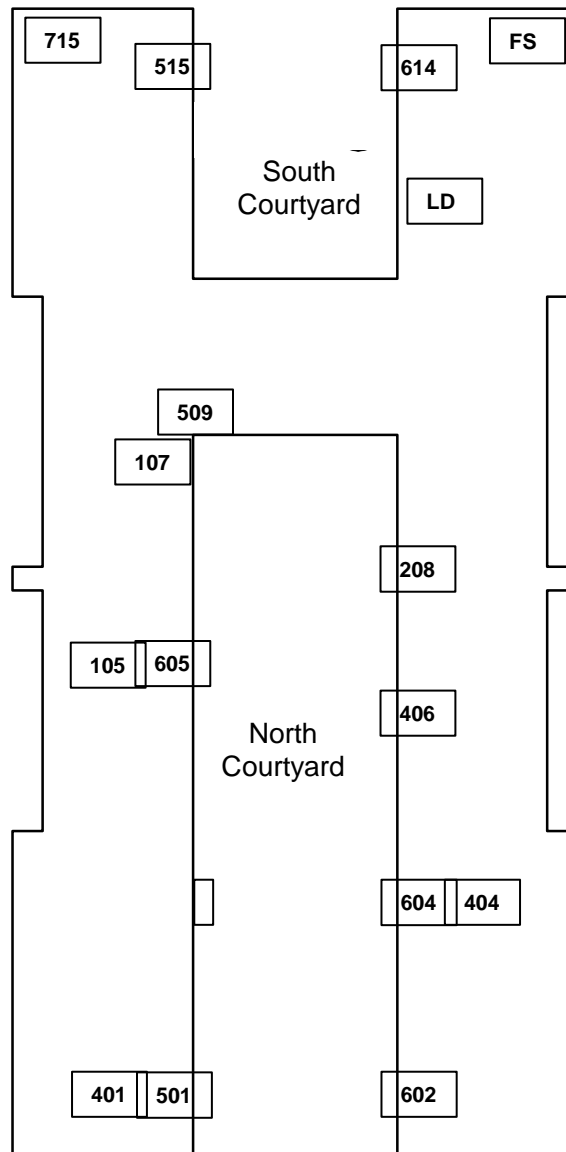
### N. Courtyard - East

Balcony Units

- 401 & 501
- 105 & 605

Juliette Units

- 107 & 509



### S. Courtyard - West

Balcony Units

- 614

Juliette Units

- Lobby Door

Other

- Flori Suite (Basement)

### N. Courtyard - West

Balcony Units

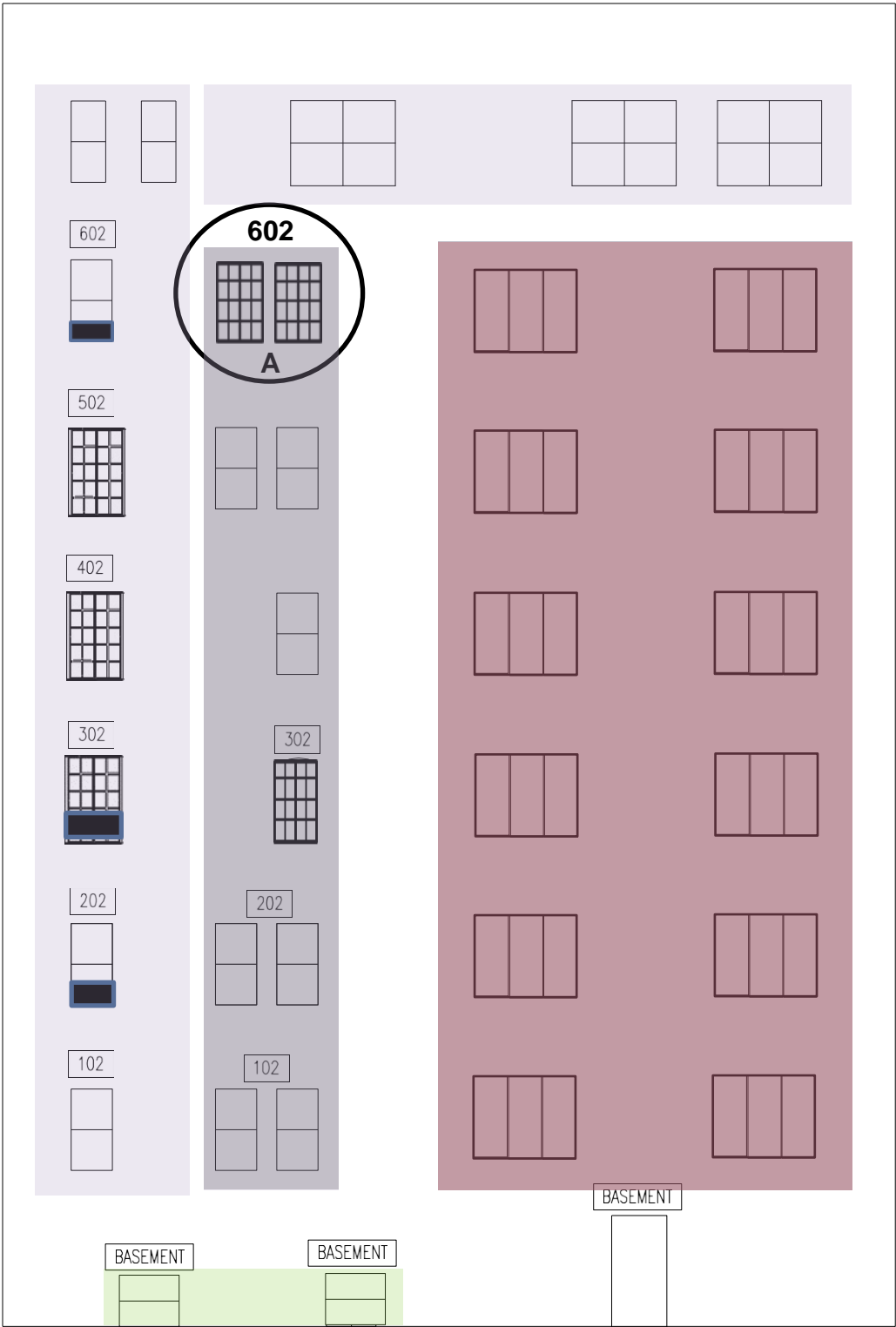
- 602
- 404 & 604
- 406
- 208

## Building Plan & Replacement Distribution

ELEVATION 1 – Outer West Side – NW Corner  
Flori De Leon Apartments

Replacement Schedule:

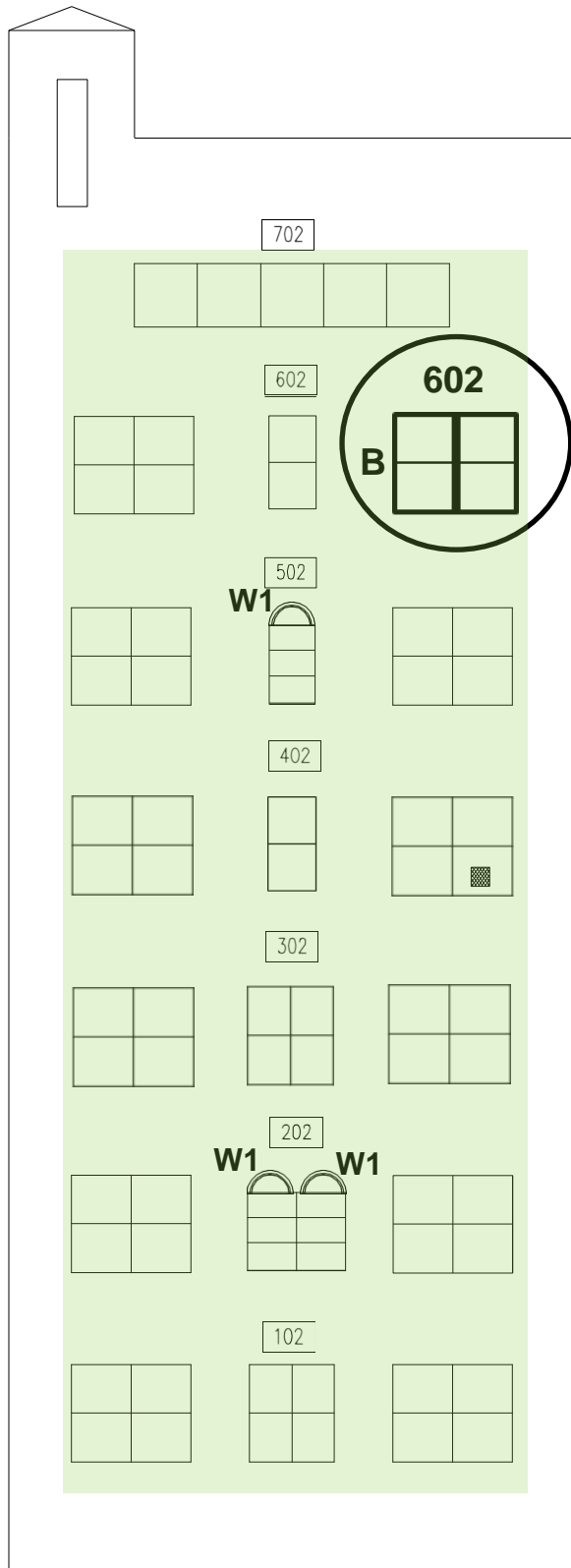
602 A – 2x Twin Casement Windows 35x46



# ELEVATION 2 – North End - West Wing Flori De Leon Apartments

## Replacement Schedule:

602 A – 2x Double Hung Windows 32x56



West →

Not To Scale

Window A/C Unit ■

**W1** Wood Arch – No Change

05/26/2023



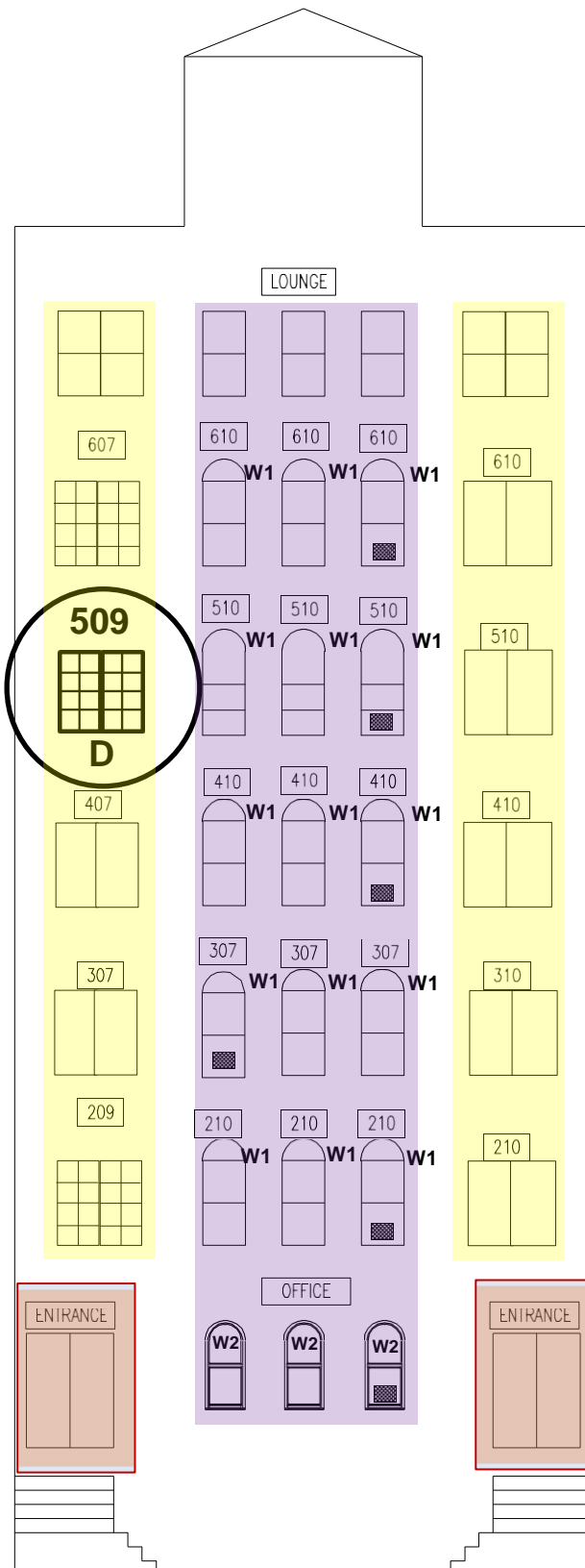
Elevation 1 & 2 Pictures – Outer West Side NW Corner & North End West Wing  
Schedule Items: 206



# ELEVATION 3 – North Courtyard – North Entry Façade Flori De Leon Apartments

## Replacement Schedule:

509 A – 1x Twin Casement Windows 54x51



West →

Not To Scale

Window A/C Unit ■

**W1** Wood Arch - No Change

**W2** Wood Window - No Change

Elevation 3 Pictures – North Courtyard – North Entry Façade  
Schedule Items: 509





# ELEVATION 4 – North Courtyard - West Wing Flori De Leon Apartments

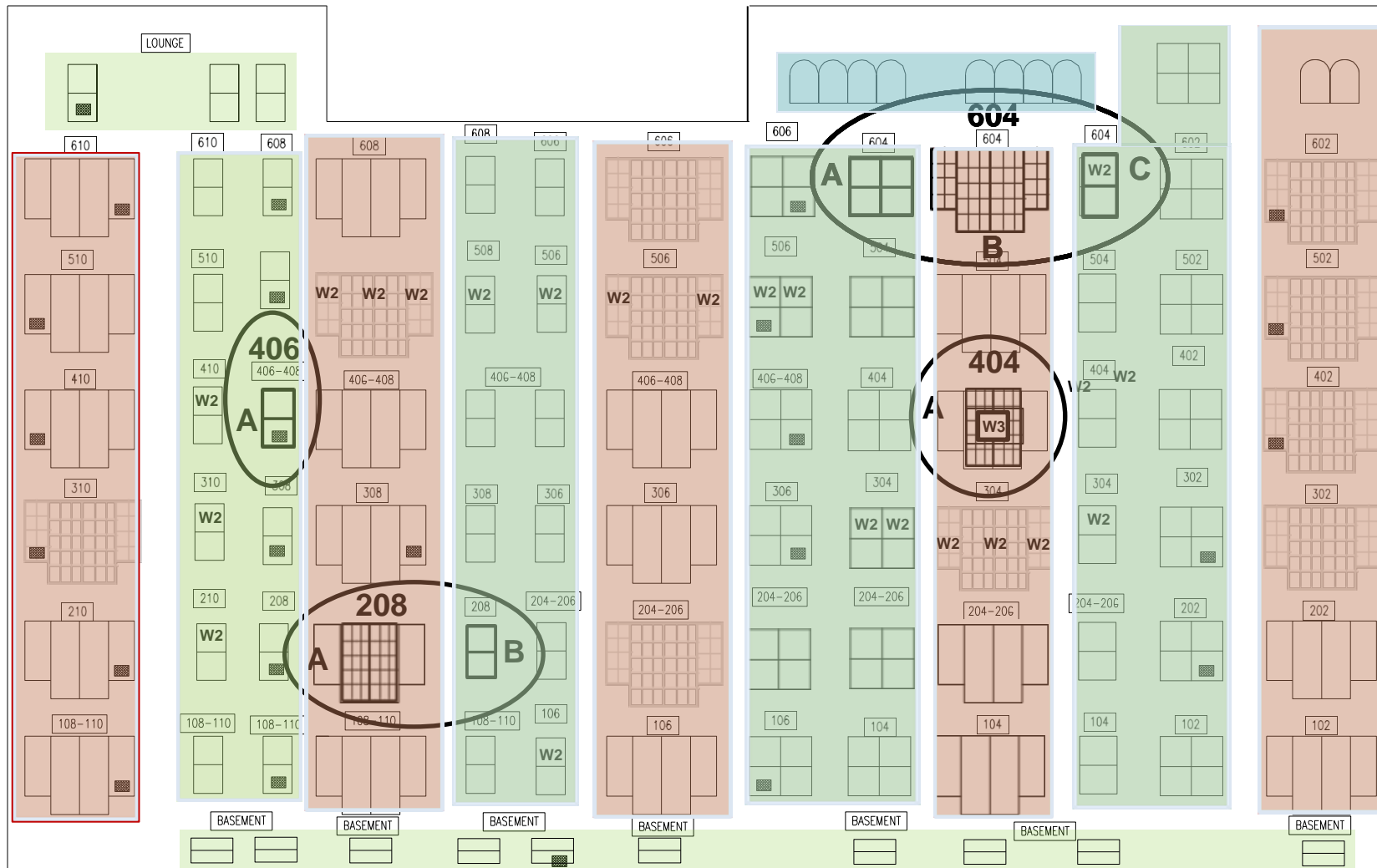
## Replacement Schedule:

208 A – Sliding Glass Door 56x80  
B – DHS 26x42

404 A – Sliding Glass Door 56x81

406 A – Double Hung Sash 32x56

604 A – 2x Double Hung Sash (DHS) 26x56  
B – Sliding Glass Door (SGD) 55x79, 2x Casement 23x53  
C – DHS 28x54



NORTH →

Window A/C Unit ■

Not To Scale

**W2**  
Wood Window/Door – No  
Change

**W3**  
Wood Window/Door  
Likely Original – Replace



## Elevation 4 Pictures – North Courtyard – West Wing Perspective





Elevation 4 Pictures – North Courtyard – West Wing  
Schedule Items: 208, 406





Elevation 4 Pictures – North Courtyard – West Wing  
Schedule Items: 404, 604



# ELEVATION 5 – North Courtyard - East Wing Flori De Leon Apartments

## Replacement Schedule:

105 A – 2x Double Hung Sash (DHS) 27x56  
B – DHS 27x52  
C – Sliding Glass Door (SGD) 56x81, 2x Casement 23x54  
D – 2x DHS 27x56

107 A – 2x DHS 32x56  
B – DHS 26x52  
C – SGD 54x80, 2x Casement 22x53

401 A – SGD 55x79, 2x Casement 25x54  
B – 2x DHS 27x56

501 A – SGD 56x81, Casement 23x52  
B – 2x DHS 26x56

605 A – SGD 56x81

509 A – 2x DHS 32x56  
B – DHS 27x52  
C – SGD 56x81

05/26/2023

21





Elevation 5 Pictures – North Courtyard – East Wing  
Perspective





Elevation 5 Pictures – North Courtyard – East Wing  
Schedule Items: 105

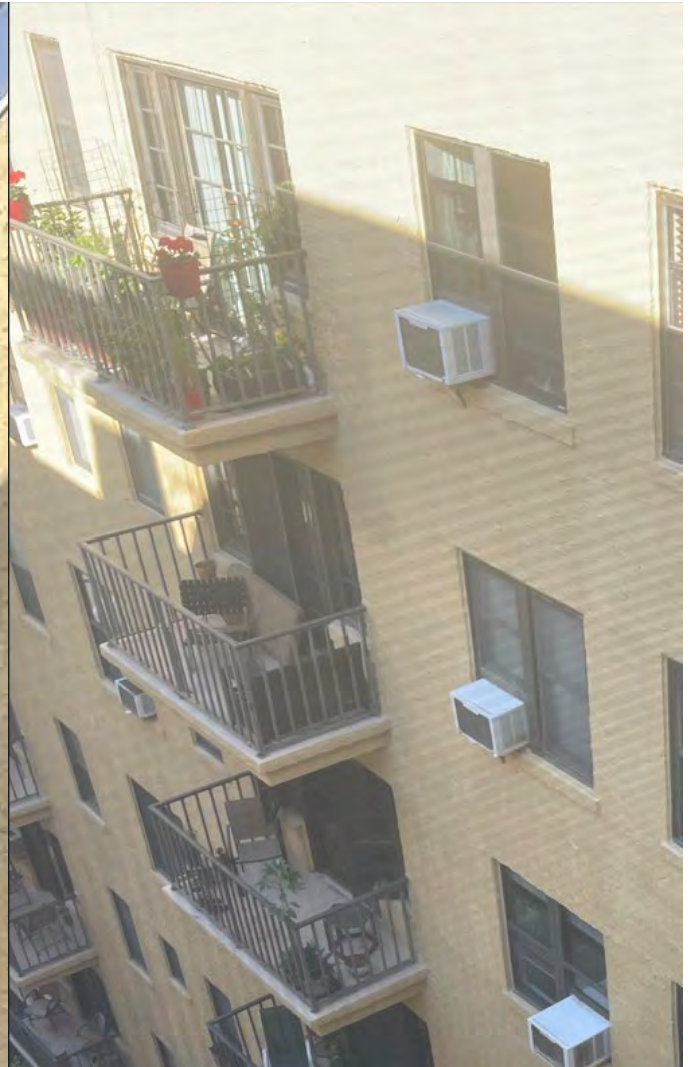


Elevation 5 Pictures – North Courtyard – East Wing  
Schedule Items: 107





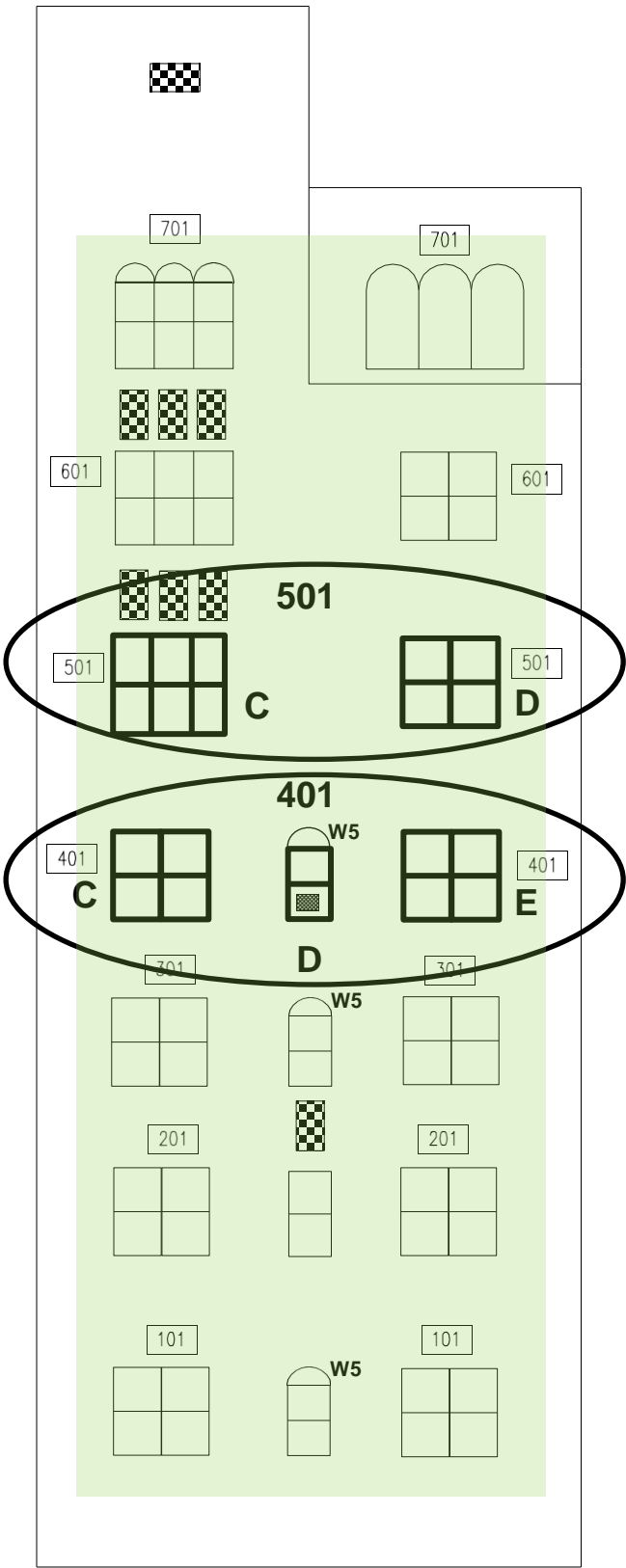
Elevation 5 Pictures – North Courtyard – East Wing  
Schedule Items: 605



ELEVATION 6 – North End - East Wing  
Flori De Leon Apartments

Replacement Schedule:

- 401 C – 2x Double Hung Sash (DHS) 73x62
- D – DHS 25x50
- E – 2x DHS 73x62
- 501 C – 3x DHS 84x58
- D – 2x DHS 73x62



**W5** Wood – Fixed Window 15” Radius Halfmoon – No Change

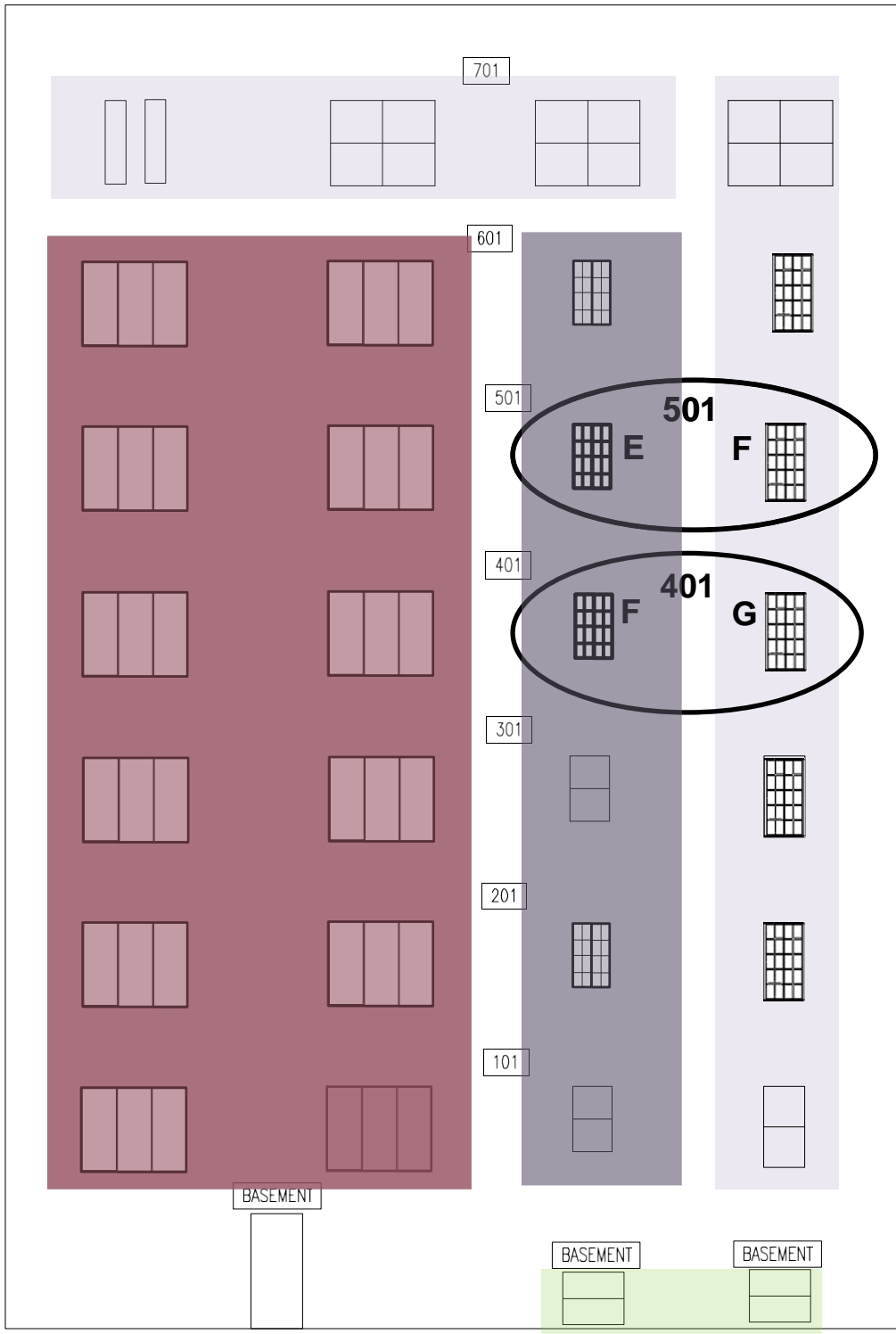


# ELEVATION 7 – Outer East Side – NE Corner Flori De Leon Apartments

## Replacement Schedule:

401 F -- 1x Twin Casement 36x46  
G -- 1x Twin Casement 36x56

501 E -- 1x Twin Casement 36x46  
F -- 1x Twin Casement 36x56

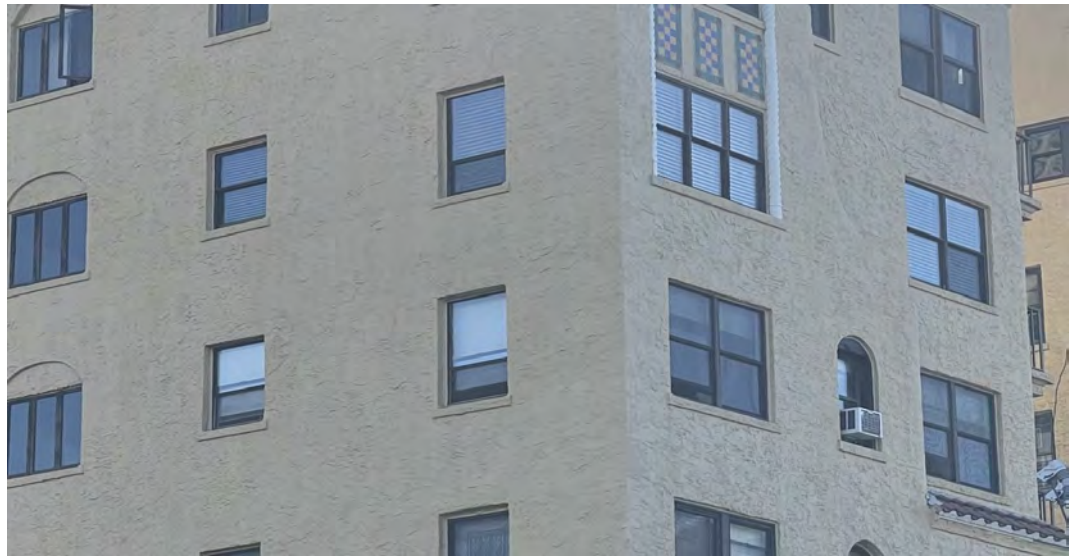


NORTH →

Not To Scale

Window A/C Unit ■

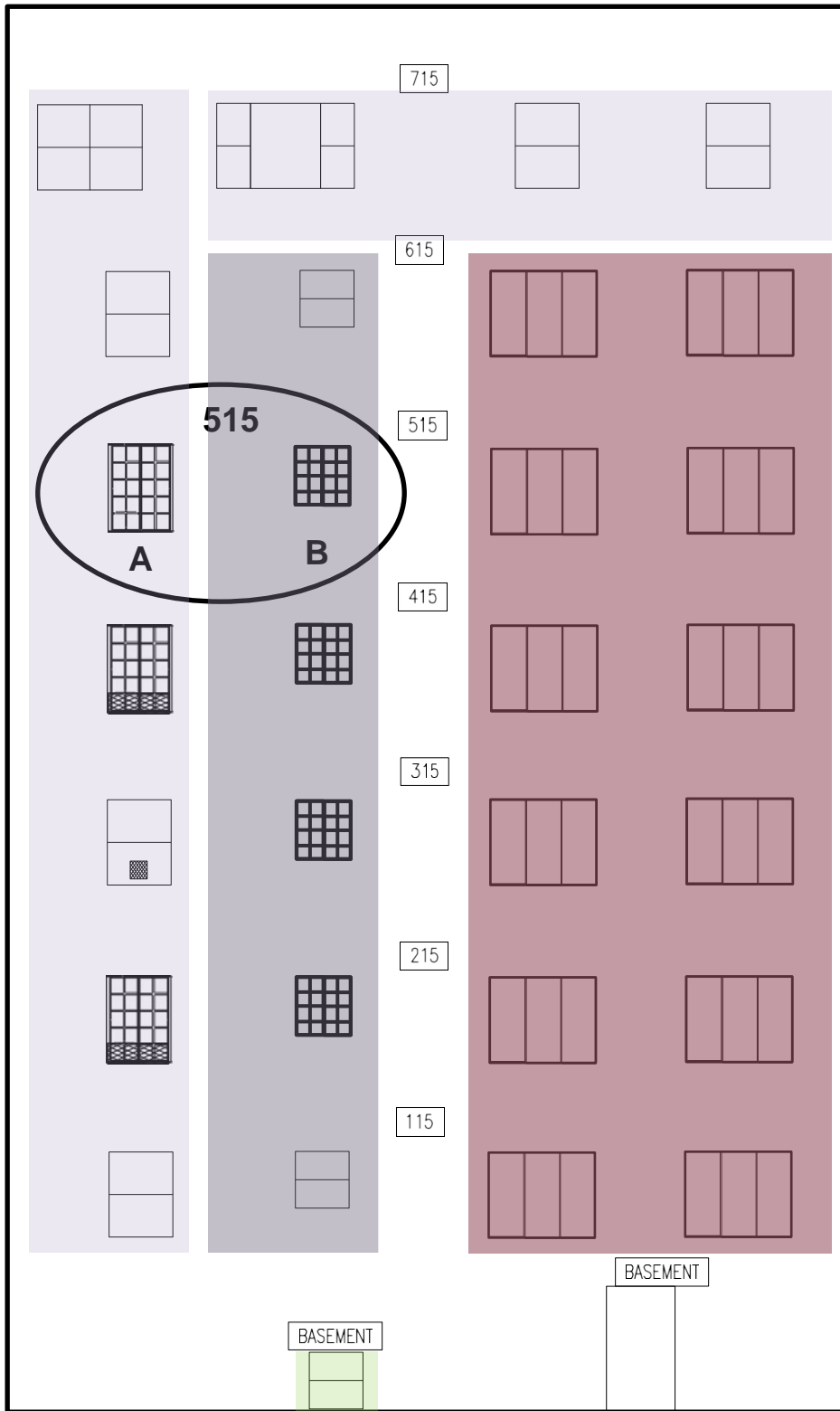
Elevation 5, 6, & 7 Pictures – East Wing / North End / Outer East Side NE Corner  
Schedule Items: 401, 501



# ELEVATION 8 – Outer East Side - SE Corner Flori De Leon Apartments

## Replacement Schedule:

515 A – 1x Twin Casement 34x53  
B – 1x Twin Casement 35x45

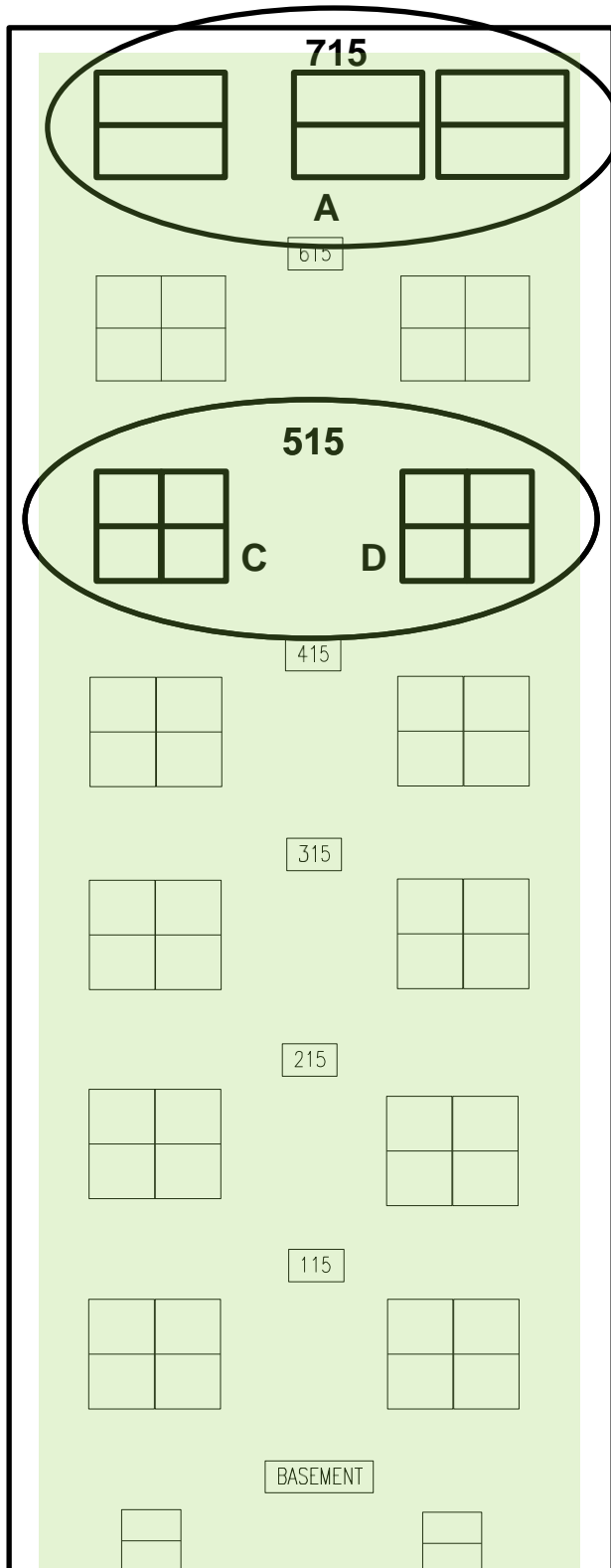


# ELEVATION 9 – South End – East Wing Flori De Leon Apartments

## Replacement Schedule:

515 C – 2x Double Hung Sash (DHS) 55x57  
D – 2x DHS 55x57

715 A – 3x DHS 52x60



EAST →  
Not To Scale  
Window A/C Unit ■

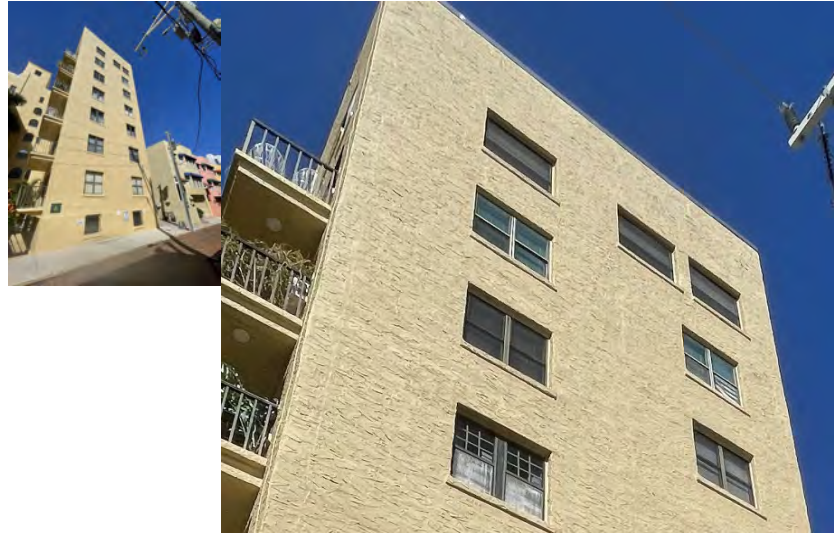
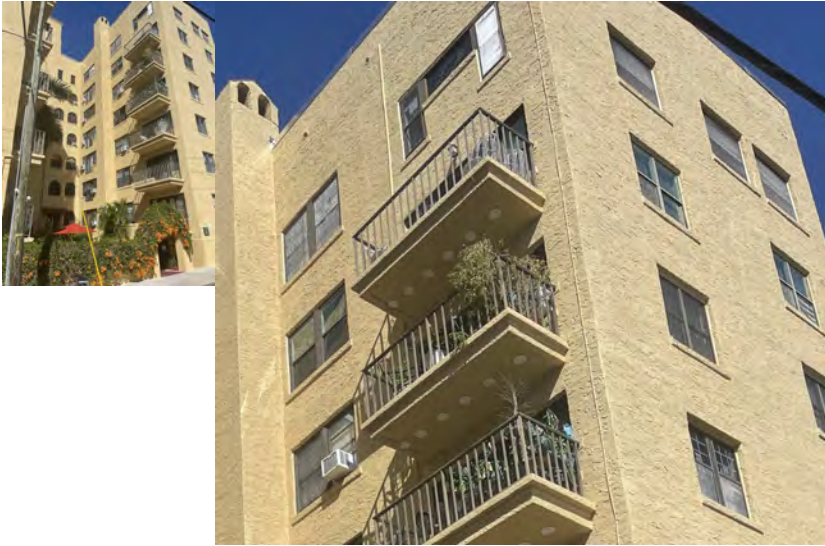




Elevation 8, 9, 10 Pictures – Southwest Corner / South End / South Courtyard East Wing  
Perspective



Elevation 8, 9, 10 Pictures – Southwest Corner / South End / South Courtyard East Wing  
Schedule Items: 515, 715

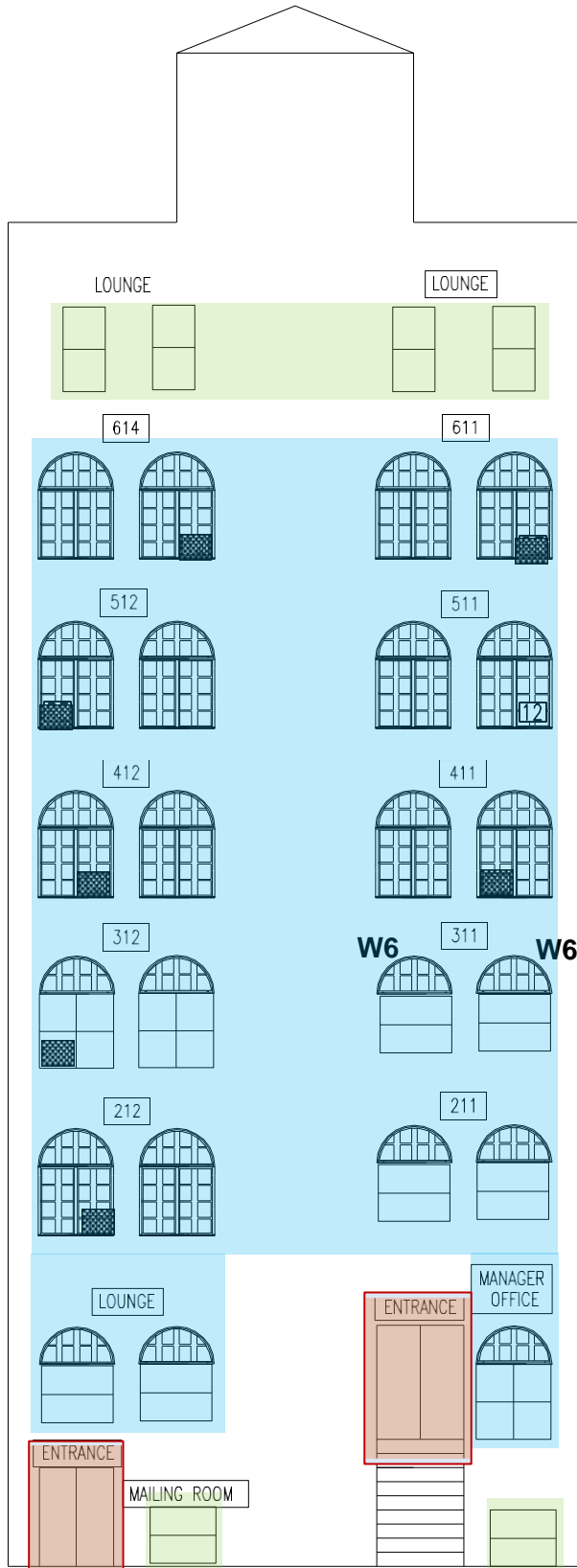




# ELEVATION 11 – South Courtyard– South Entry Facade Flori De Leon Apartments

## Replacement Schedule:

NONE



West ←

Not To Scale

Window A/C Unit

**W6** Wood Arch - 25' Radius Halfmoon – No Change



Elevation 11 Pictures – South Courtyard – South Entry Facade  
Schedule Items: NONE

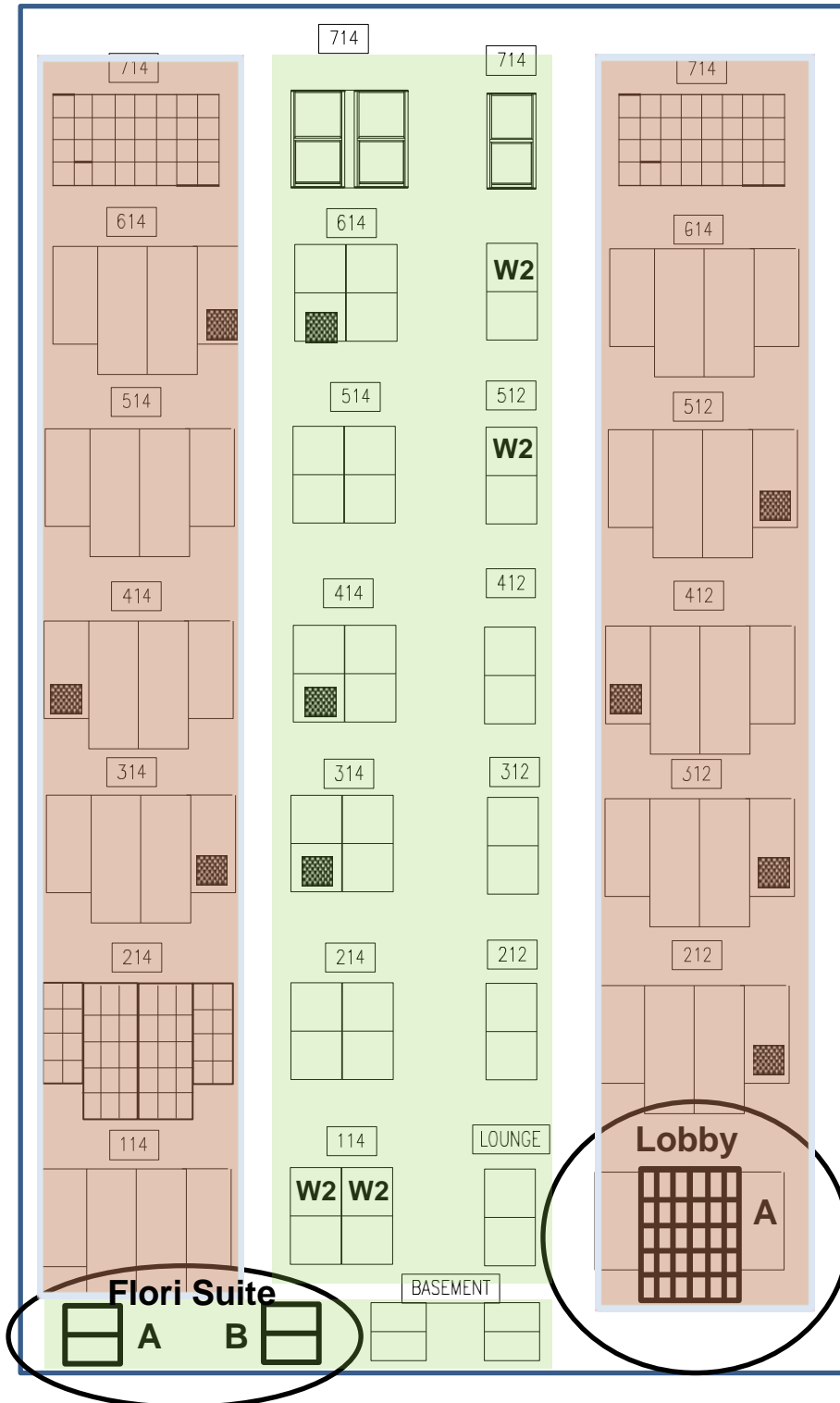


# ELEVATION 12 – South Courtyard – West Wing Flori De Leon Apartments

## Replacement Schedule:

Lobby A – Sliding Glass Door

Flori Suite A – 2x Double Hung Sash



NORTH →

Not To Scale

Window A/C Unit ■

**W3**

Wood Window/Door - Likely Original - Replace

**W2**

Wood Window - No Change



## Elevation 12 Pictures – South Courtyard West Wing Perspective



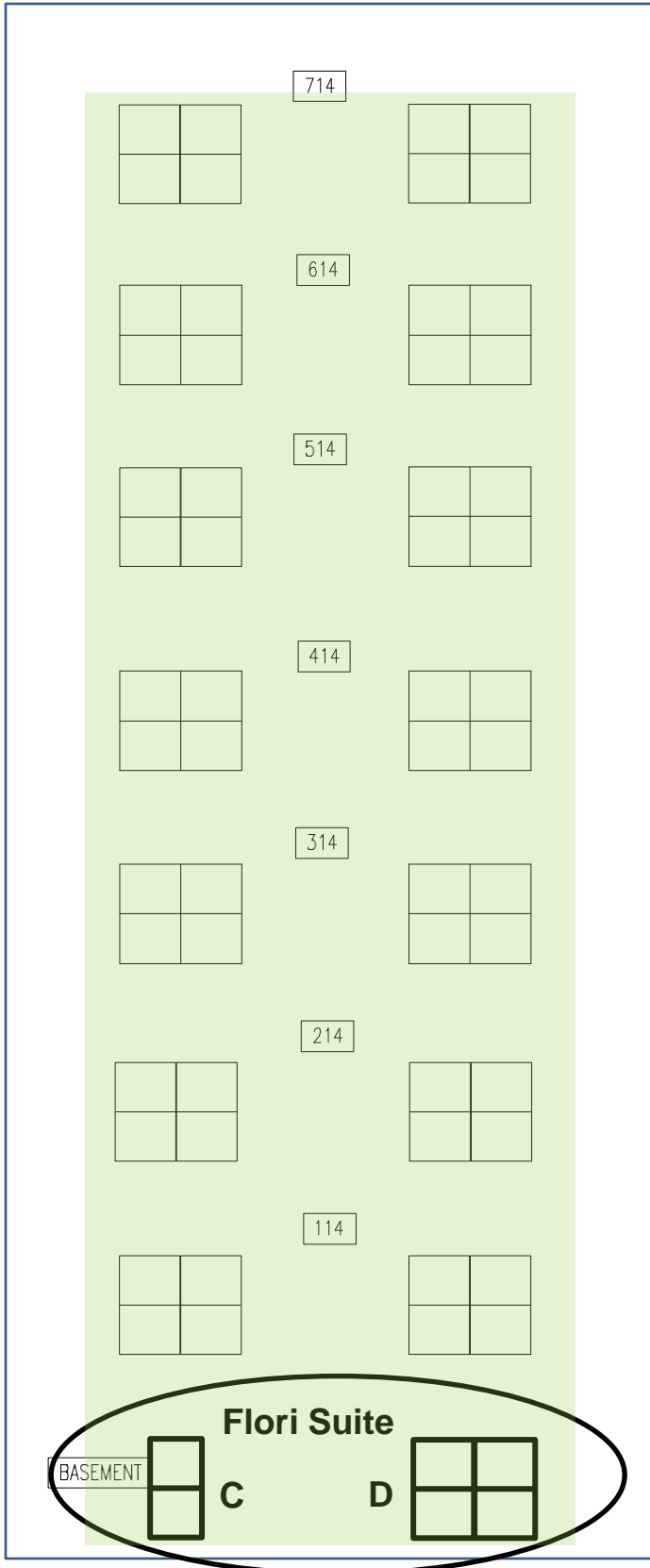
Elevation 12 Pictures – South Courtyard West Wing  
Schedule Items: Flori Suite, Lobby Lounge



# ELEVATION 13 – South End – West Wing Flori De Leon Apartments

## Replacement Schedule:

Flori Suite B – Double Hung Sash (DHS)  
C – DHS



West ←

Not To Scale

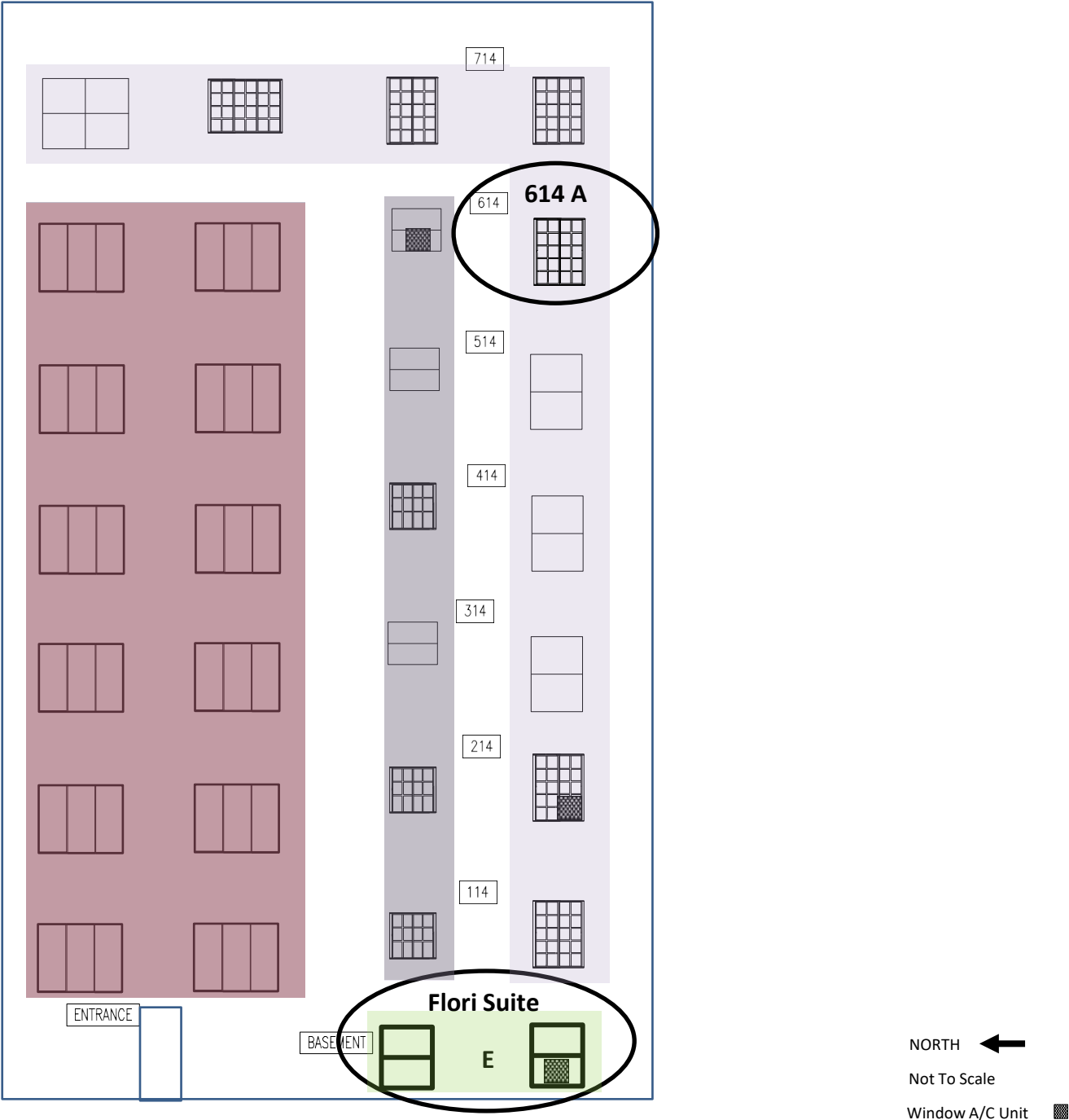
Window A/C Unit ■



ELEVATION 14 – Outer West Side – SW Corner  
Flori De Leon Apartments

Replacement Schedule:

Flori Suite D – Double Hung Sash  
E – DHS



Elevation 13 & 14 Pictures – South End West Wing / Outer West Side SW Corner  
Schedule Items: Flori Suite



**ELEVATION 15 – Outer West Side – Mid Section**  
**Flori De Leon Apartments**



NORTH ←  
Not To Scale



**Photos for ELEVATION 15 – Outer West Side – Mid Section  
Flori De Leon Apartments**





# ELEVATION 16 – Outer East Side – Midsection Flori De Leon Apartments



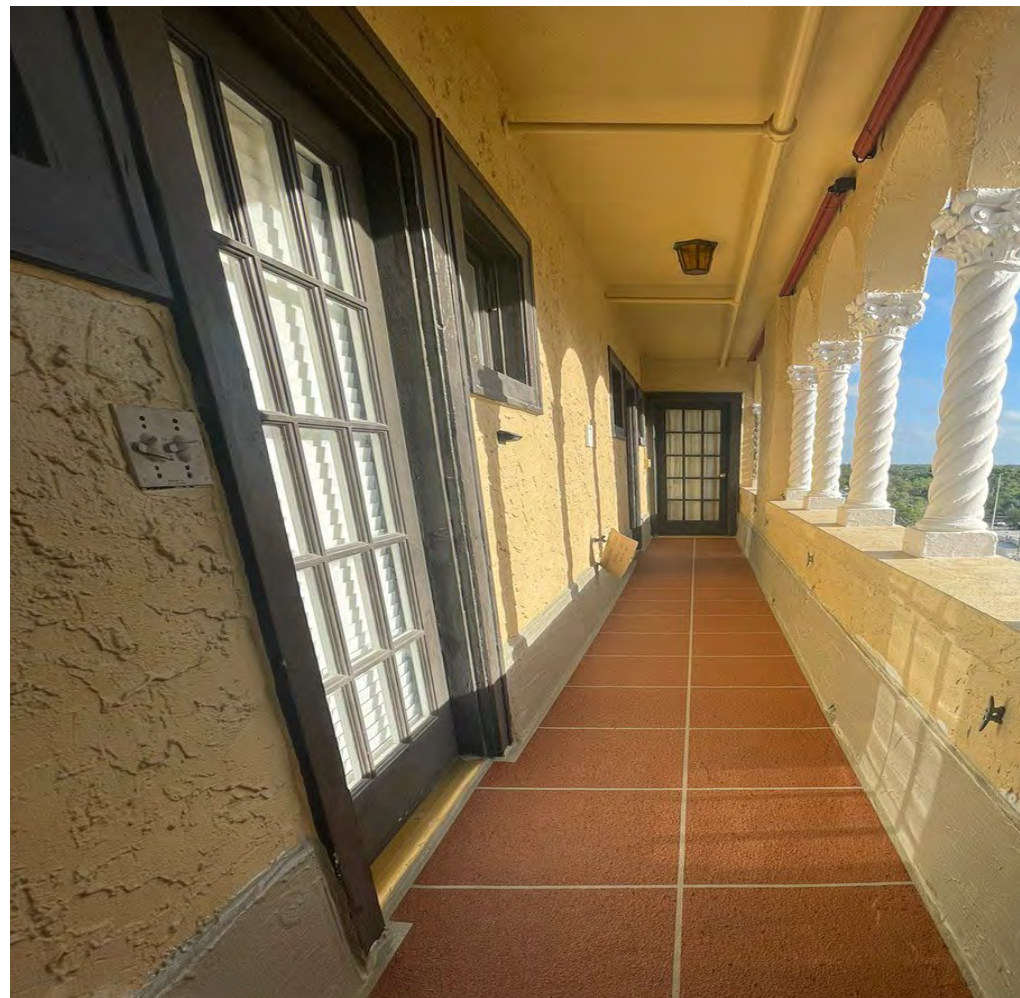
**Photos for ELEVATION 16 – Outer East Side –  
Midsection Flori De Leon Apartments**



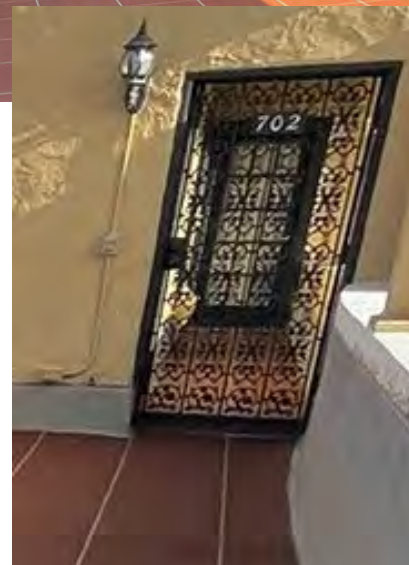
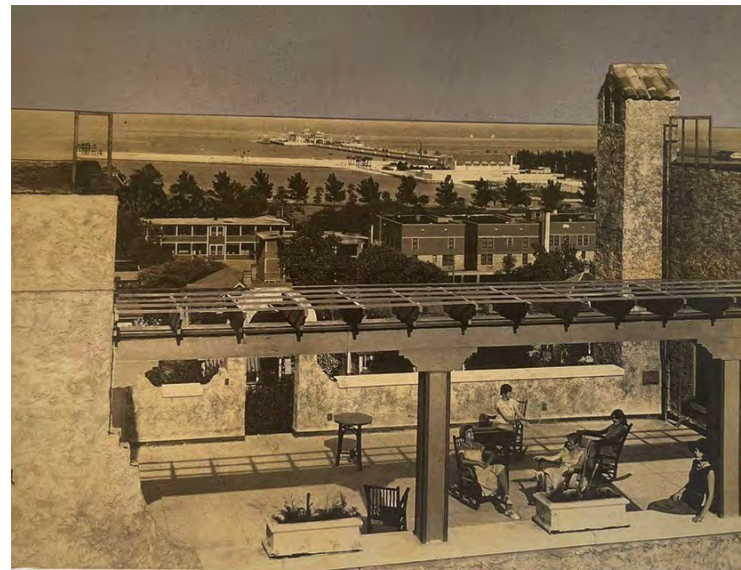


# Penthouse Breezeways & Terrace Entries

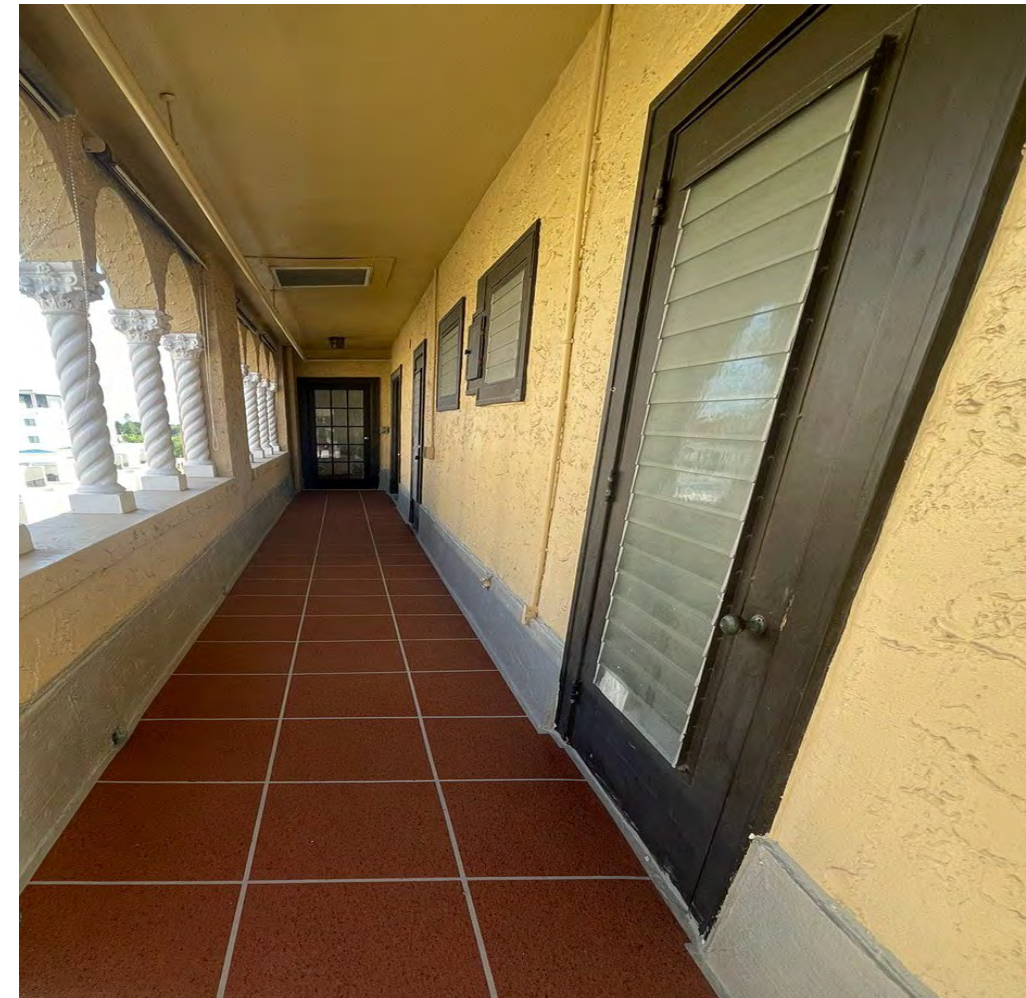
Breezeway Northwest Penthouse (702)



Terrace Transitions  
To  
Lounge & Breezeway



Breezeway Northeast Penthouse (701)





# Replacement Schedule



Flori De Leon -2023 Phase 1 Window & Door Replacement Schedule							
Unit Identifier	Balcony or Juliette Doors	Balcony or Juliette Side Windows	Outer East & West Side Windows	Front Courtyard North Façade Over Entry Doors	Rear Courtyard South Façade	All Other	
	15 Light	8 Light	8 or 10 Light	8 Light	8 Light		
	Sliding Glass Door (SGD) See note 1.	Casement See Note 2.	Casement See Note 3.	Casement See Note 4.	Twin Casement	Double Hung Sash	TOTAL
105	1	2				5	8
107	1	2				3	6
208	1					1	2
401	1	2	2			7	12
404	1						1
406						1	1
501	1	1	2			7	11
509	1			2		3	6
515	1	2	2			4	9
602			2			2	4
604	1	2				3	6
605	1						1
614			1				1
715						3	3
Flori Suite						7	7
Lobby Lounge	1						1
TOTAL	11	11	9	2	0	46	79
Note 1	Inward opening French doors do not meet code and warranty requirements. Replace with Sliding Glass Door (SGD) w 15 Light exterior applied muntins. Aligns with 2009 COA approval.						
Note 2	All Balcony/Juliette side windows shall be Casement w 8 Light exterior applied muntins. Window A/C units shall be installed underneath a reduced size Casement w 6 Light exterior applied muntins. Aligns with 2009 COA approval.						
Note 3	All hallways and end unit apartments with windows on the outer east and west sides of the building shall be Triple or Twin Casements with 8 or 10 Light exterior applied muntins as specified in the COA Master Plan. Aligns with 2009 COA approval.						
Note 4	All windows in the stacks over the main entries in the north courtyard are Twin Casements						

Unit	Loc.	Qty.	Type	Size	Finish	Elev. No.	Comment
105	A	2	Double Hung Sash (DHS)	27x56		5	
	B	1	DHS	27x52	Obscured	5	
	C	2	Casement (C)	23x54	8 Light	5	
	C	1	Sliding Glass Door (SGD)	56x81	15 Light	5	Wood -- Not Original. Circa 1984. Single panel. No muntins. Deteriorated condition. Source of water intrusion. Repair inadequate to need. Replace. Bring to code.
	D	2	DHS	27x56		5	
107	A	2	DHS	32x56		5	
	B	1	DHS	26x52	Obscured	5	
	C	2	C	22x53	8 Light, 6 Light A/C	5	
	C	1	SGD	54x80		5	
208	A	1	SGD	56x80	15 Light	4	
	B	1	DHS	26x42		4	
401	A	2	C	25x54	8 Light	5	
	A	1	SGD	55x79	15 Light	5	
	B	2	DHS	27x56		5	
	C	2	DHS	73x62		6	
	D	1	DHS	25x50		6	Wood Arch above replacement window exterior façade. No change.
	E	2	DHS	73x62		6	
	F	1	C-Twin	36x46	8 Light	7	One pair of twin 8 light casement windows. Each twin hinged at left and right side.
	G	1	C-Twin	35x56	10 Light	7	One pair of twin 10 light casement windows. Each twin hinged at left and right side.
404	A	1	SGD	56x81	15 Light	4	Wood – Likely Original. 15 Light wood muntins. Deteriorated condition. Termite damage. Source of water intrusion. Repair inadequate to need. Replace. Bring to code.
406	A	1	DHS	32x56		4	
501	A	1	SGD	56X81	15 Light	5	Wood – Likely Original. 15 Light wood muntins. Deteriorated condition. Source of water intrusion. Repair inadequate to need. Replace. Bring to code.
	A	1	C	23x52	8 Light	5	
	B	2	DHS	26x56		5	
	C	3	DHS	84x58		6	
	D	2	DHS	73x62		6	
	E	1	C-Twin	36x46	8 Light	7	One pair of twin 8 light casement windows. Each twin hinged at left and right side.
	F	1	C-Twin	36x56	10 Light	7	One pair of twin 10 light casement windows. Each twin hinged at left and right side.

Unit	Loc.	Qty.	Type	Size	Finish	Elev. No.	Comment
509	A	2	DHS	32x56		5	
	B	1	DHS	27x52		5	
	C	1	SGD	56x81		5	Wood – Likely Original. 15 Light wood muntins. Deteriorated condition. Source of water intrusion. Repair inadequate to need. Replace. Bring to code.
	D	1	C-Twin	54x51	8 Light	3	One pair of twin 8 light casement windows. Each twin hinged at left and right side.
515	A	1	C-Twin	34x53	10 Light	8	One pair of twin 10 light casement windows. Each twin hinged at left and right side.
	B	1	C-Twin	35x45	8 Light	8	One pair of twin 8 light casement windows. Each twin hinged at left and right side.
	C	2	DHS	55x57		9	
	D	2	DHS	55x57		9	
	E	2	DHS	32x56		10	
	F	1	C	23x53	8 Light	10	
602	A	2	C-Twin	35x46	8 Light	1	Two pairs of twin 8 light casement windows. Each twin hinged at left and right side.
	B	2	DHS	32x56		2	
604	A	2	DHS	26x56		4	
	B	1	SGD	55x79	15 Light	4	
	B	2	C	23x53	8 Light	4	
	C	1	DHS	28x54		4	Wood – Age Undetermined. Single Panel. Obscured. Deteriorated condition. Source of water intrusion. Repair inadequate to need. Replace. Bring to code.
605	A	1	SGD	56x81	15 Light	5	
614	A	1	C-Twin	34x53	10 Light	14	
715	A	3	DHS	52x60		9	
Flori Suite	A	1	DHS	36x30	Basement	12	
	B	1	DHS	36x37	Basement	12	
	C	1	DHS	36x37	Basement	13	
	D	2	DHS	51x37	Basement	13	
	E	2	DHS	36x37	Basement	14	
Lobby	A	1	SGD	55x79	15 Light	12	Wood – Likely Original. 15 Light wood muntins. Deteriorated condition. Termite damage. Source of water intrusion. Repair inadequate to need. Replace. Bring to code.

# Historic Reference Photos



ELEVATION 11 – South Courtyard– South Entry Facade  
Flori De Leon Apartments





**ELEVATION 3 – North Courtyard – North Entry Façade  
Flori De Leon Apartments**





**ELEVATION 4 & 5 – North Courtyard - West & East Wing  
Flori De Leon Apartments**





ELEVATION 2 & 6 – North End - West & East Wing  
Flori De Leon Apartments



Frigidaire equipment in each apartment.

**Sarasburg Times**  
SARASBURG, FLORIDA, SUNDAY, DECEMBER 11, 1927.

**Flori-De-Leon  
Apartment Section**

**APARTMENTS**

A Few Apartments For Sale  
\$8,300 to \$13,000  
one very exclusive apartment  
at \$21,000

*Inviting You*  
To Attend The Formal Opening For Public Inspection. Monday Evening, Dec. 12th  
7:00 P. M. to 10:00 P. M.  
Special Orchestra Music 8 Furnished Apartments Open for Inspection

**The Court**  
Each apartment has an open porch overlooking the beautiful flower planted patio leading to the entrance of the building.

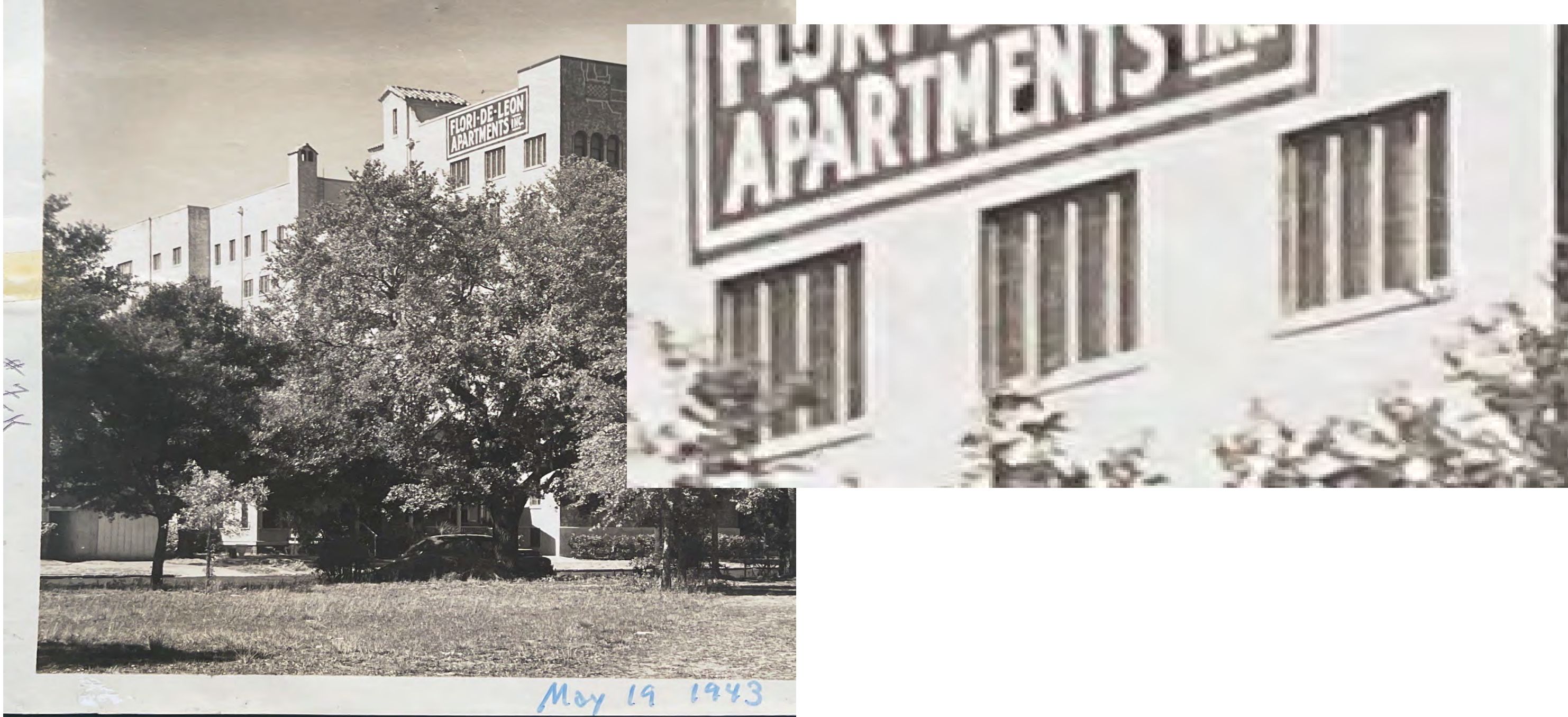


ELEVATION 1, 14 & 15 – Outer West Side – NW Corner, SW Corner, & Mid Section  
Flori De Leon Apartments





ELEVATION 7, 8, & 16 – Outer East Side – NE Corner, SE Corner, & Midsection  
Flori De Leon Apartments





East Side -- "Lou Gehrig" Lounge  
Flori De Leon Apartments

Outer East Side  
10 Light Casements

Hung Sash (1/1)

NORTH

Lounge, 7th floor

Exit To East Terrace  
Double French Door 15-Light

Hung Sash (1/1)

NORTH



**West Side -- "Babe Ruth" Lounge  
Flori De Leon Apartments**





# **COA Application – Wood Window/Door Supplement**

**Flori De Leon Apartments Inc.**

**Window/Door Replacement Project Phase 1 – 2023**

## Apartment 105

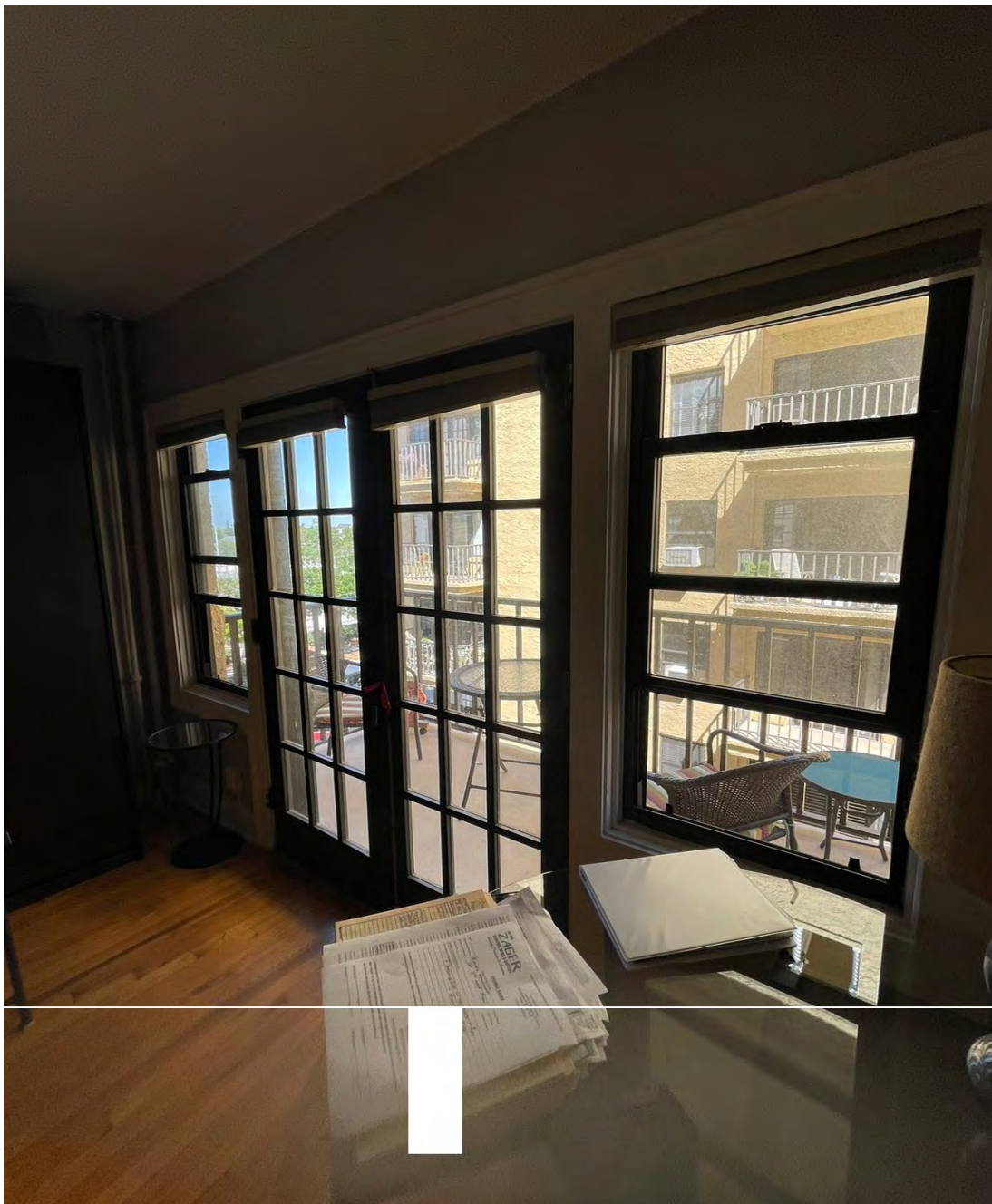
- **Wood French Doors**
- **Age: NOT ORIGINAL** Circa 1984 trademarks; Company established 1977
- **Style:** Non conforming to 2009 COA, single glass panels, no muntins
- **Condition:** Inward opening doors, deteriorated, cannot form weather tight seal, unsafe in high winds, and a recurring source of water intrusion and associated building damage.
- **Action Plan:** Further repair inadequate to need. Replace and bring to current building code with hurricane resistant sliding glass doors (SGD) that align to previously approved 2009 COA standards. Each panel will be 15 light using 3 dimensional exterior applied muntin grids to closely match the original appearance.





## Apartment 404

- **Wood French Doors.**
- **Age:** Undetermined. Likely Original.
- **Style:** Authentic wood muntins with 15 lights, each with single pane glass
- **Condition:** Inward opening doors, previously repaired, deteriorated and termite damaged, cannot form weather tight seal, unsafe in high winds, and a recurring source of water intrusion and associated building damage.
- **Action Plan:** Further repair inadequate to need. Replace and bring to current building code with hurricane resistant sliding glass doors (SGD) that align to previously approved 2009 COA standards. Each panel will be 15 light using 3 dimensional exterior applied muntin grids to closely match the original appearance. Old French doors will be retained and made available for use in alternate interior door locations.



## Apartment 604

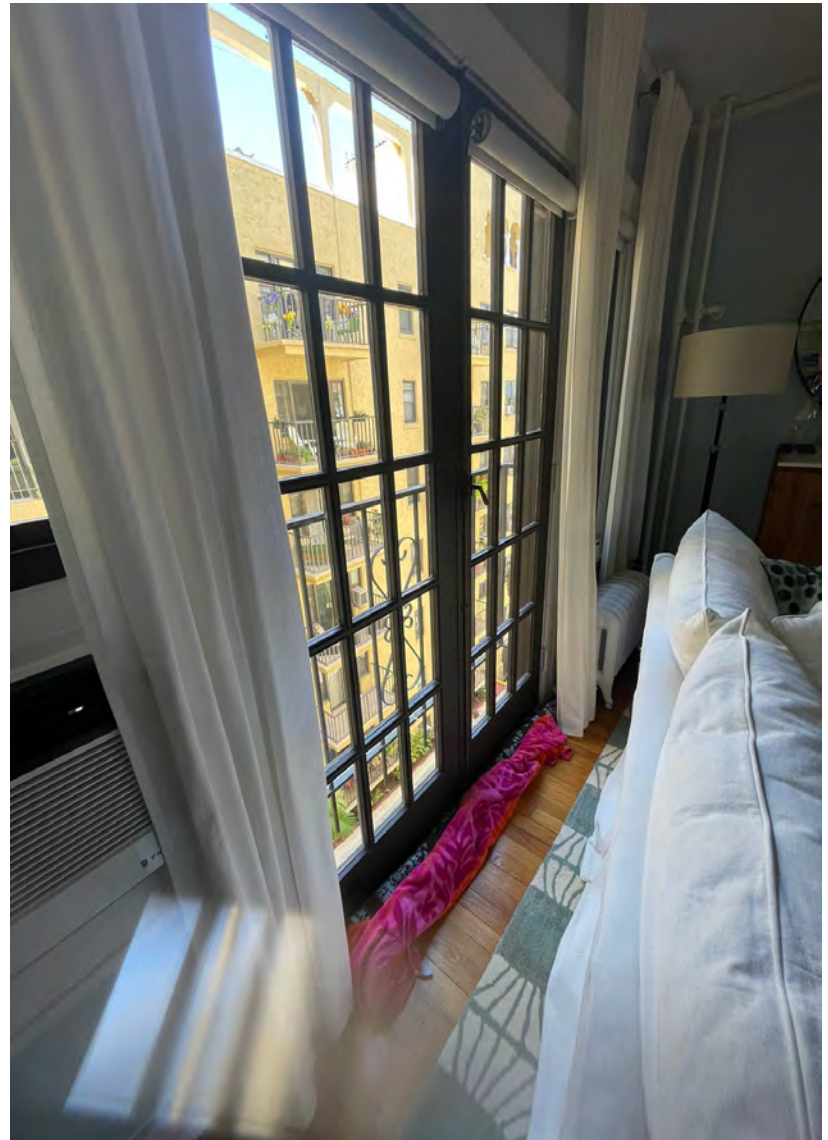
- **Wood Double Hung Window.**
- **Age:** Undetermined. Likely Original.
- **Style:** Authentic wood double hung with counter weight pulley system.
- **Condition:** Deteriorated condition and difficult to operate. Single pane and poor energy efficiency. Previously repaired. No longer forms a water tight seal and is a recurring source of water intrusion and building damage.
- **Action Plan:** Further repair inadequate to need. Replace and bring to current building code with matching double hung window that is hurricane resistant with high energy efficiency and aligns to previously approved 2009 COA standards.





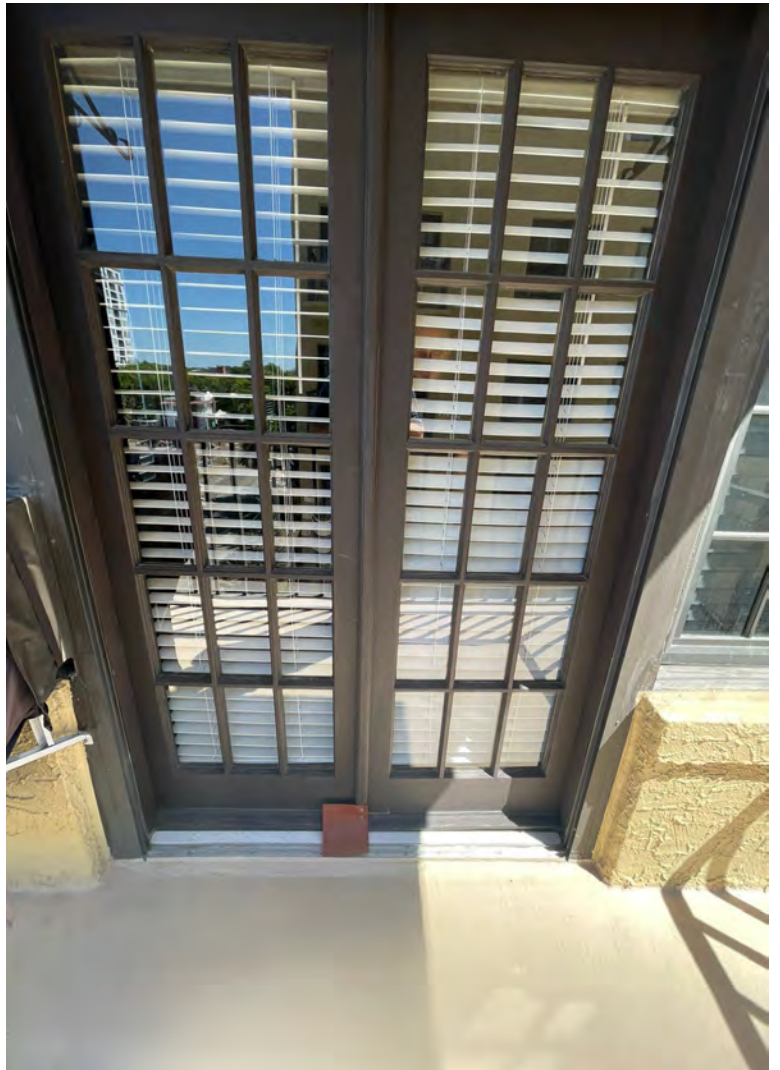
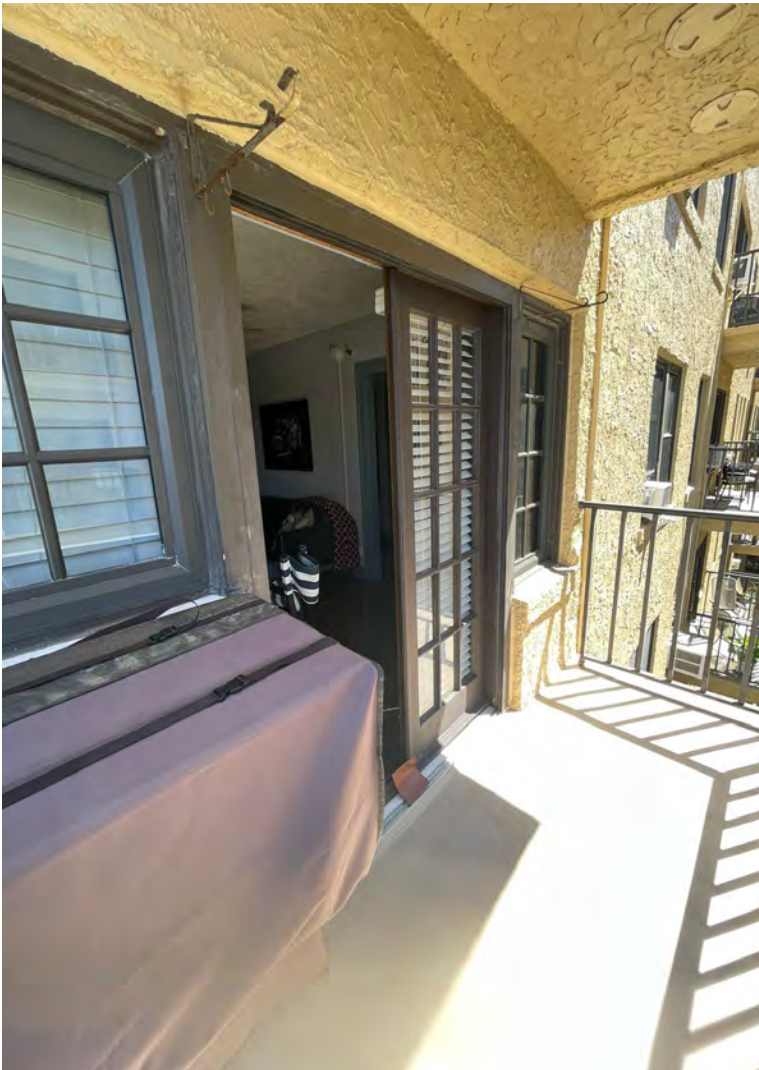
## Apartment 509

- **Wood French Doors.**
- **Age:** Undetermined. Likely Original.
- **Style:** Authentic wood muntins with 15 lights, each with single pane glass
- **Condition:** Inward opening doors, previously repaired, deteriorated and cannot form weather tight seal, unsafe in high winds, and a recurring source of water intrusion and associated building damage.
- **Action Plan:** Further repair inadequate to need. Replace and bring to current building code with hurricane resistant sliding glass doors (SGD) that align to previously approved 2009 COA standards. Each panel will be 15 light using 3 dimensional exterior applied muntin grids to closely match the original appearance. Old French doors will be retained and made available for use in alternate interior door locations.



## Apartment 501

- **Wood French Doors.**
- **Age:** Undetermined. Likely Original.
- **Style:** Authentic wood muntins with 15 lights, each with single pane glass
- **Condition:** Inward opening doors, previously repaired, deteriorated and cannot form weather tight seal, unsafe in high winds, and a recurring source of water intrusion and associated building damage.
- **Action Plan:** Further repair inadequate to need. Replace and bring to current building code with hurricane resistant sliding glass doors (SGD) that align to previously approved 2009 COA standards. Each panel will be 15 light using 3 dimensional exterior applied muntin grids to closely match the original appearance. Old French doors will be retained and made available for use in alternate interior door locations.





Representative Examples  
of  
Exterior Wood Doors  
Used In Alternate Interior Locations











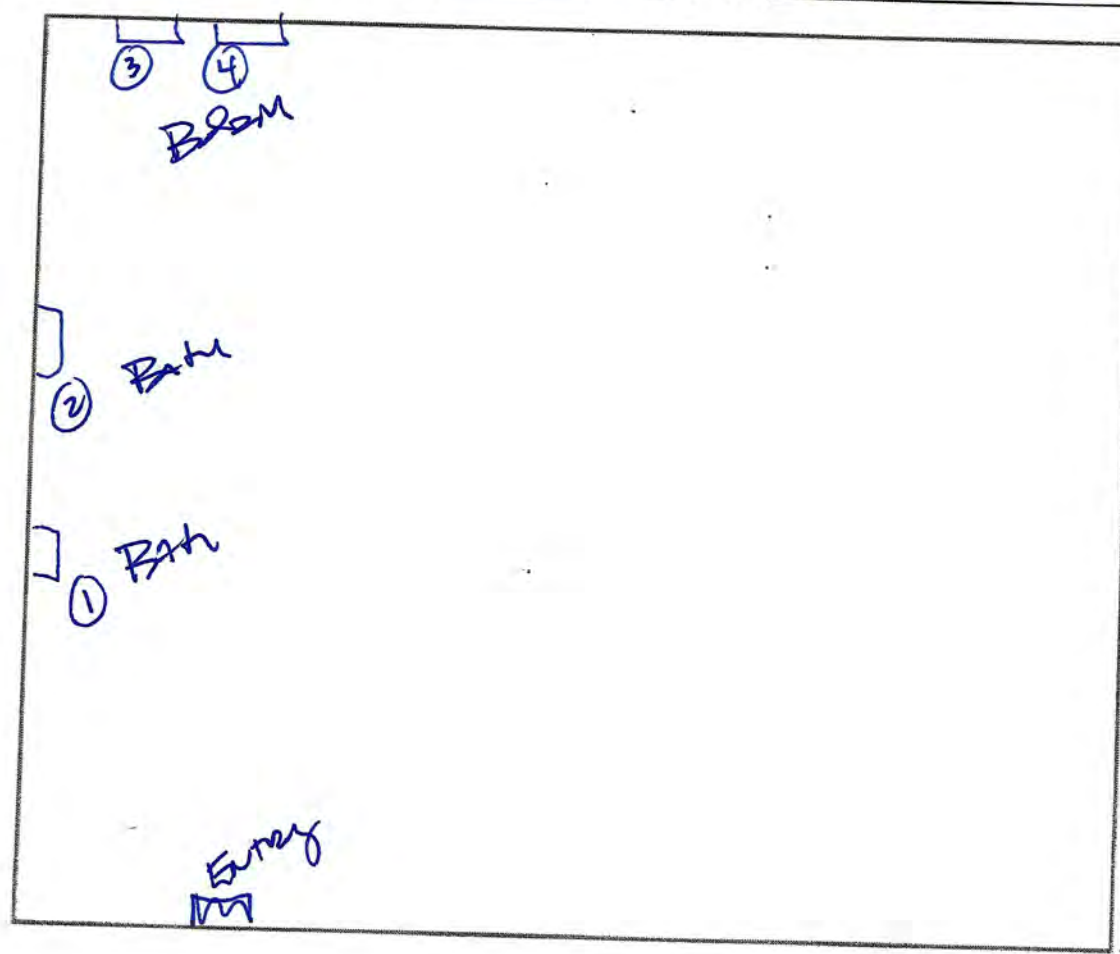


# Floor Plans

# Project Diagram

Job ID \_\_\_\_\_ Customer Despoches Address 130 off m RUEL 602

Sales Rep \_\_\_\_\_

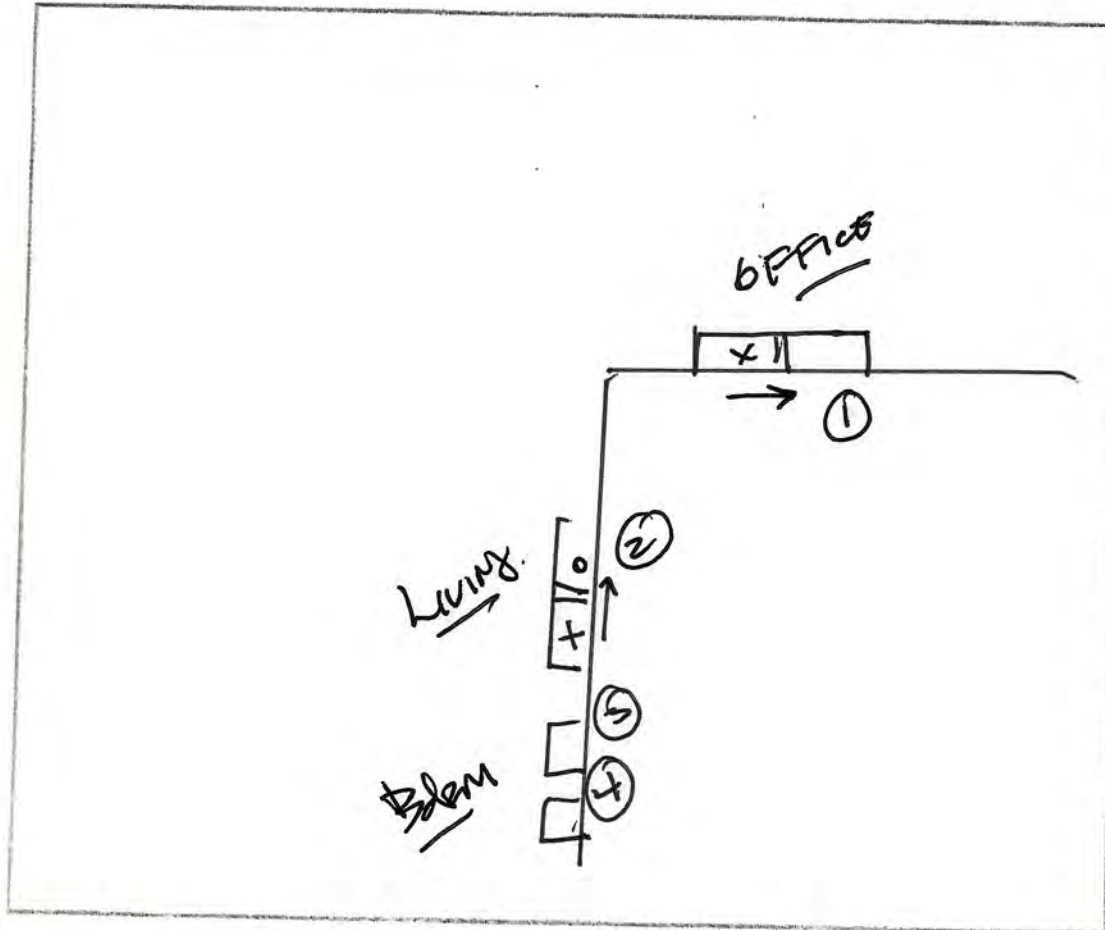


No.	Type	DP	Size
1	<del>35 1/2</del> DA	50	35 1/2 x 46
2	DA		35 1/2 x 46
3	DA		32 1/2 x 54
4	DA		32 1/2 x 56
5			X
6			X
7			X
8			X
9			X
10			X
11			X
12			X
13			X
14			X
15			X
16			X
17			X
18			X
19			X
20			X
21			X
22			X
23			X
24			X
25			X



# Project Diagram

Job ID \_\_\_\_\_ Customer QUINONES Address 130 4th Ave #509 Sales Rep ADOG



No.	Type	DP	Size
1	<del>2x4</del> 2x4	50	<del>55 1/4 x</del>
1	2x4	5	54 3/4 x 51 1/4
2	5x2		55 3/4 x 81
3	DH		26 1/2 x 52 1/4
4	DH		32 1/4 x 56 1/8
5	DH		32 1/4 x 56 1/8
7			x
8			x
9			x
10			x
11			x
12			x
13			x
14			x
15			x
16			x
17			x
18			x
19			x
20			x
21			x
22			x
23			x
24			x
25			x

# Project Diagram

Job ID \_\_\_\_\_

Customer

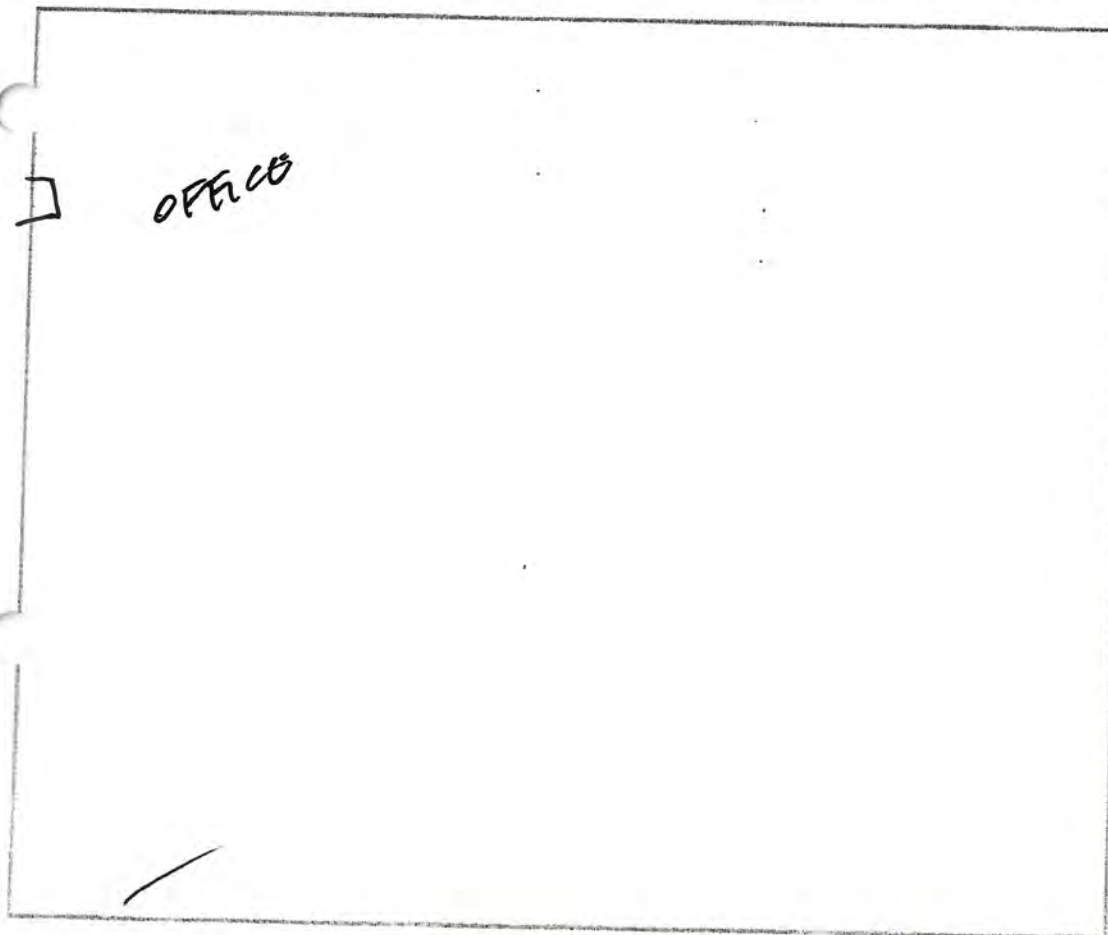
Vana

Address

130 Ntra Ave 406

Sales Rep

DHS



No.	Type	DP	Size
1	DH	53	32 1/4 x 36
2			x
3			x
4			x
5			x
6			x
7			x
8			x
9			x
10			x
11			x
12			x
13			x
14			x
15			x
16			x
17			x
18			x
19			x
20			x
21			x
22			x
23			x
24			x
25			x



# Project Diagram

Job ID

Customer

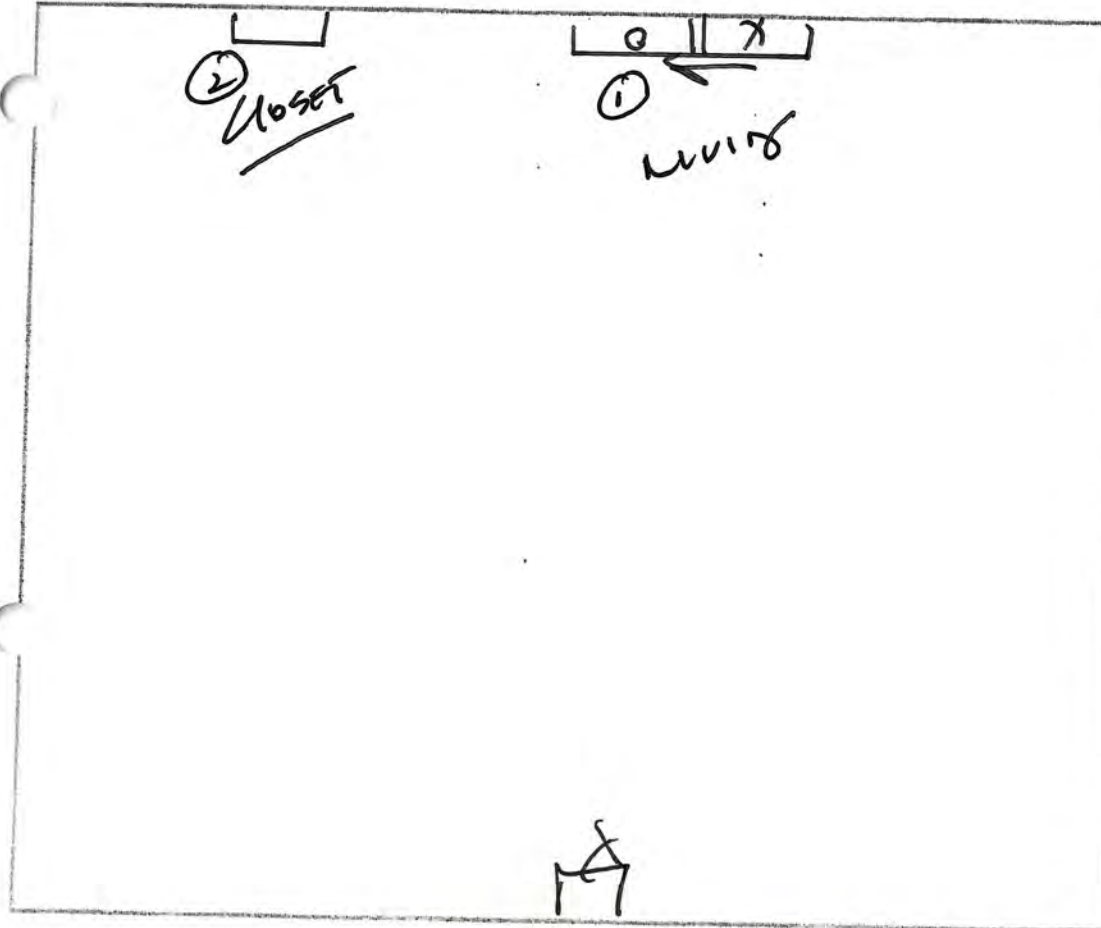
Calhoun

Address

130 4th AVE N # 208

Sales Rep

Datas



No.	Type	DP	Size
1	ESD	50	56 x 80 1/2
2	DA	50	26 1/4 52
3			X
4			X
5			X
6			X
7			X
8			X
9			X
10			X
11			X
12			X
13			X
14			X
15			X
16			X
17			X
18			X
19			X
20			X
21			X
22			X
23			X
24			X
25			X

Job ID

Customer

Brooks

Address

130 4th AVE N # 404

Project Diagram

Sales Rep

DHS



No.	Type	DP	Size
1	Sgd	50	53 x 81
2			X
3			X
4			X
5			X
6			X
7			X
8			X
9			X
10			X
11			X
12			X
13			X
14			X
15			X
16			X
17			X
18			X
19			X
20			X
21			X
22			X
23			X
24			X
25			X



RW

Project Diagram

Job ID \_\_\_\_\_ Customer SHINN Address 130 4th AVE N Sales Rep AKS

604

W  
H

⑥ 27 3/4  
53 5/8 OBS  
CLOSET

⑤ 22 3/4  
53 7/8  
LIVING

④ 54 1/2  
79

③ 22 3/4  
53 3/8

② 26 1/4 X 56  
KITCHEN

①

No.	Type	DF	Size
1	DH	SP	X
2	DH		X
3	PW		X
4	PW		X
5	PW		X
6	DH		X
7			X
8			X
9			X
10			X
11			X
12			X
13			X
14			X
15			X
16			X
17			X
18			X
19			X
20			X
21			X
22			X
23			X
24			X
25			X

Entry

# Project Diagram

Job ID

Customer

FAARSWORTH

Address

130 4th AVE N #105

Sales Rep

DABs.

No.	Type	DP	Size
1	DH		27 1/4 x 56 1/4
2	DH		27 1/4 x 56 1/4
3	DH		23 1/4 x 53 1/2
4	Sgl		56 1/4 x 81
5	DH		23 1/4 x 53 1/2
6	DH		26 1/2 x 51 3/4
7	DH		27 1/4 x 56 1/4
8	DH		27 1/4 x 56 1/4
9			X
10			X
11			X
12			X
13			X
14			X
15			X
16			X
17			X
18			X
19			X
20			X
21			X
22			X
23			X
24			X
25			X

Dimm

Living

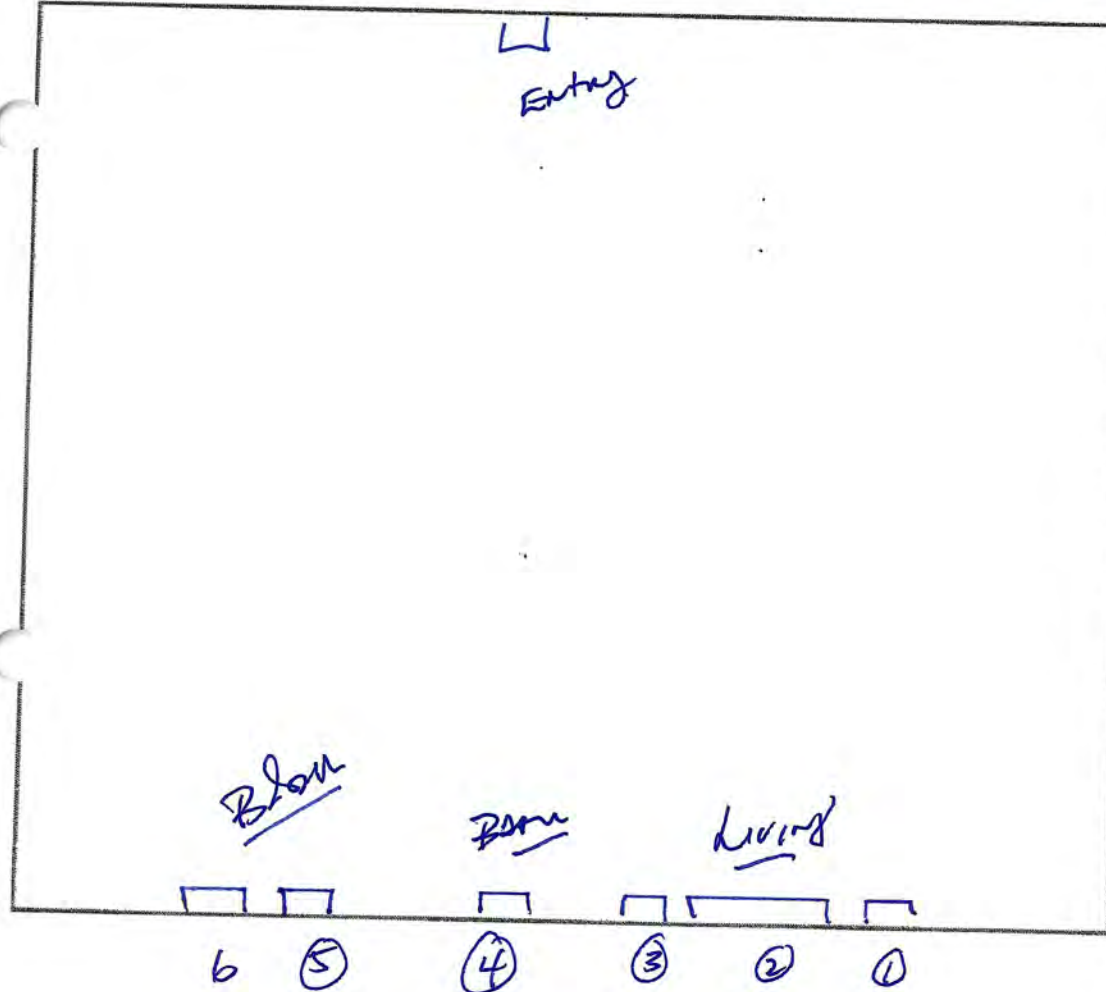
Bedroom

Entry



# Project Diagram

Job ID \_\_\_\_\_ Customer Warren Address 130 4th Ave N. #107 Sales Rep DHS.



No.	Type	DP	Size
1	9 DH	50	22 x 53
2	56 x		54 x 80
3	DH		22 x 53
4	DH		26 x 52
5	DH		32 x 56
6	DH		32 x 56
7			x
8			x
9			x
10			x
11			x
12			x
13			x
14			x
15			x
16			x
17			x
18			x
19			x
20			x
21			x
22			x
23			x
24			x
25			x

Job ID

Customer

Koda

Address

130 4th AVE N # 605

Sales Rep

DHS

Project Diagram



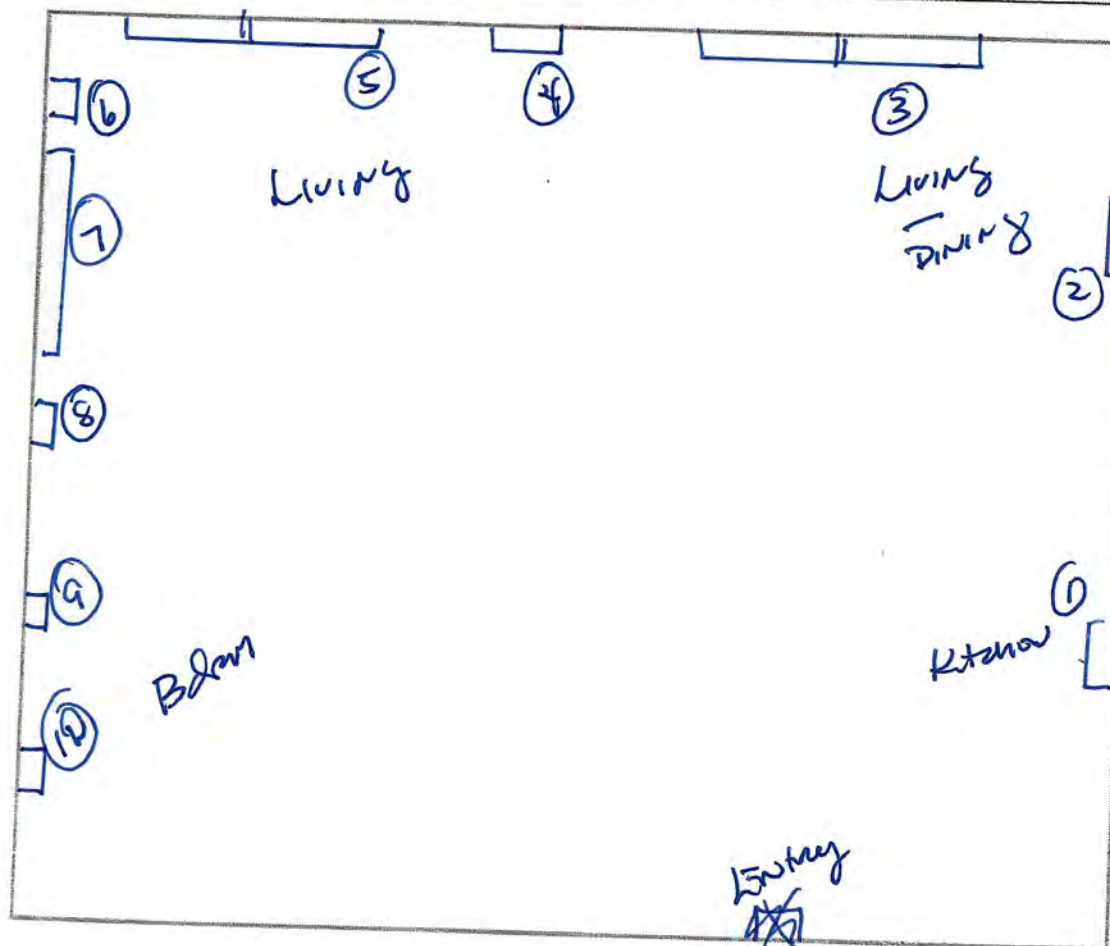
No.	Type	DP	Size
1	Syd	50	53 x 81
2			x
3			x
4			x
5			x
6			x
7			x
8			x
9			x
10			x
11			x
12			x
13			x
14			x
15			x
16			x
17			x
18			x
19			x
20			x
21			x
22			x
23			x
24			x
25			x



# Project Diagram

Job ID \_\_\_\_\_ Customer STONES Address 130 4th AVE N #401

Sales Rep DHOS



No.	Type	DP	Size
1	DH	50	35 1/2 x 45 1/2
2	DH <del>x2</del>		35 5/8 x 56 1/4
3	DH x 2		72 3/4 x 61 5/8
4	DH		25 1/4 x 49 1/2
5	DH x 2		72 3/4 x 61 5/8
6	DH		24 5/8 x 54
7	Sol		54 1/2 x 79 1/4
8	DH		24 5/8 x 54
9	DH		27 x 56 1/4
10	DH		27 x 56 1/4
11			x
12			x
13			x
14			x
15			x
16			x
17			x
18			x
19			x
20			x
21			x
22			x
23			x
24			x
25			x

BORACI

501

## Project Diagram

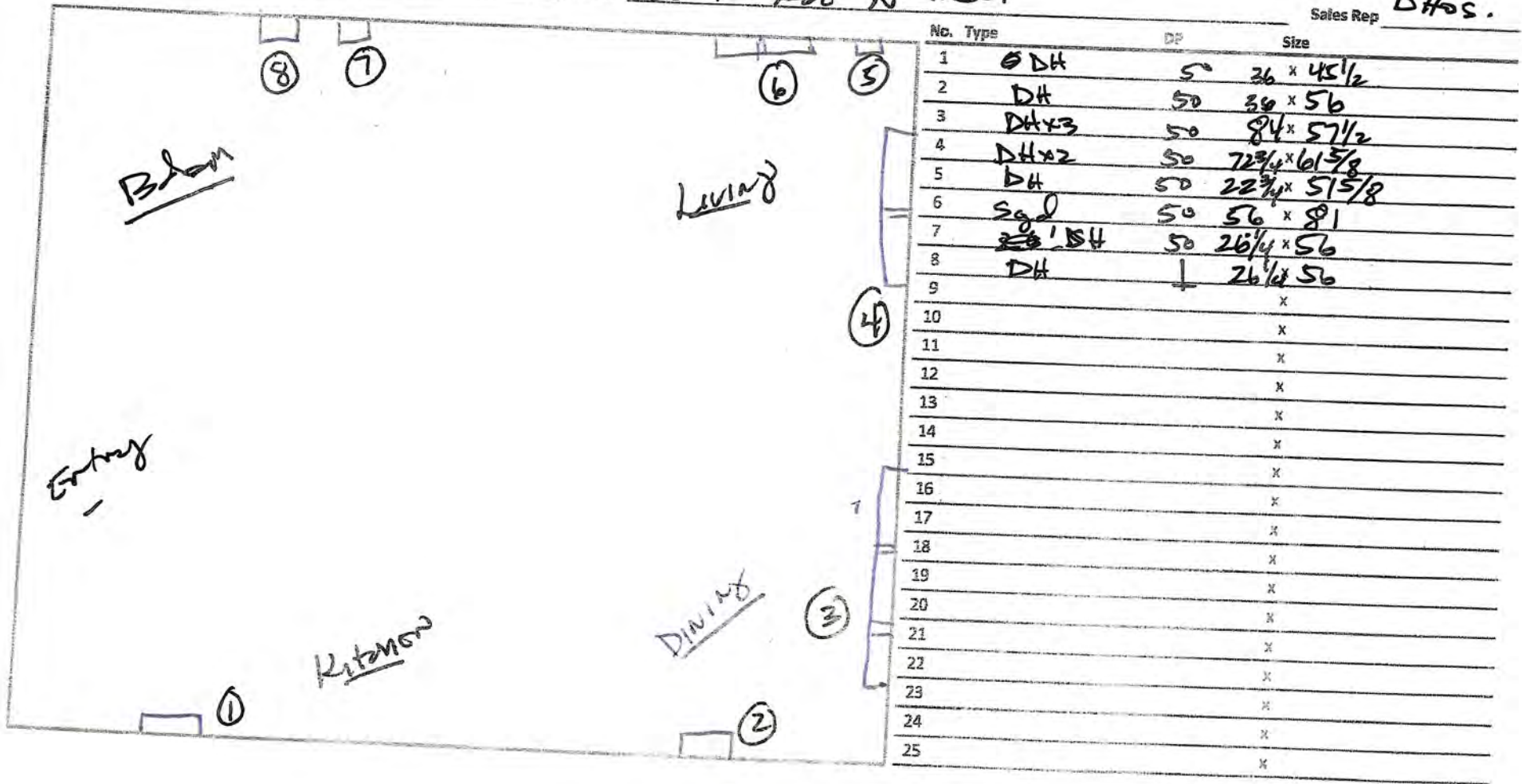
Job ID

Customer

Address 130 4th AVE N #501

Sales Rep

D.H.S.





# Project Diagram

Job ID

Customer

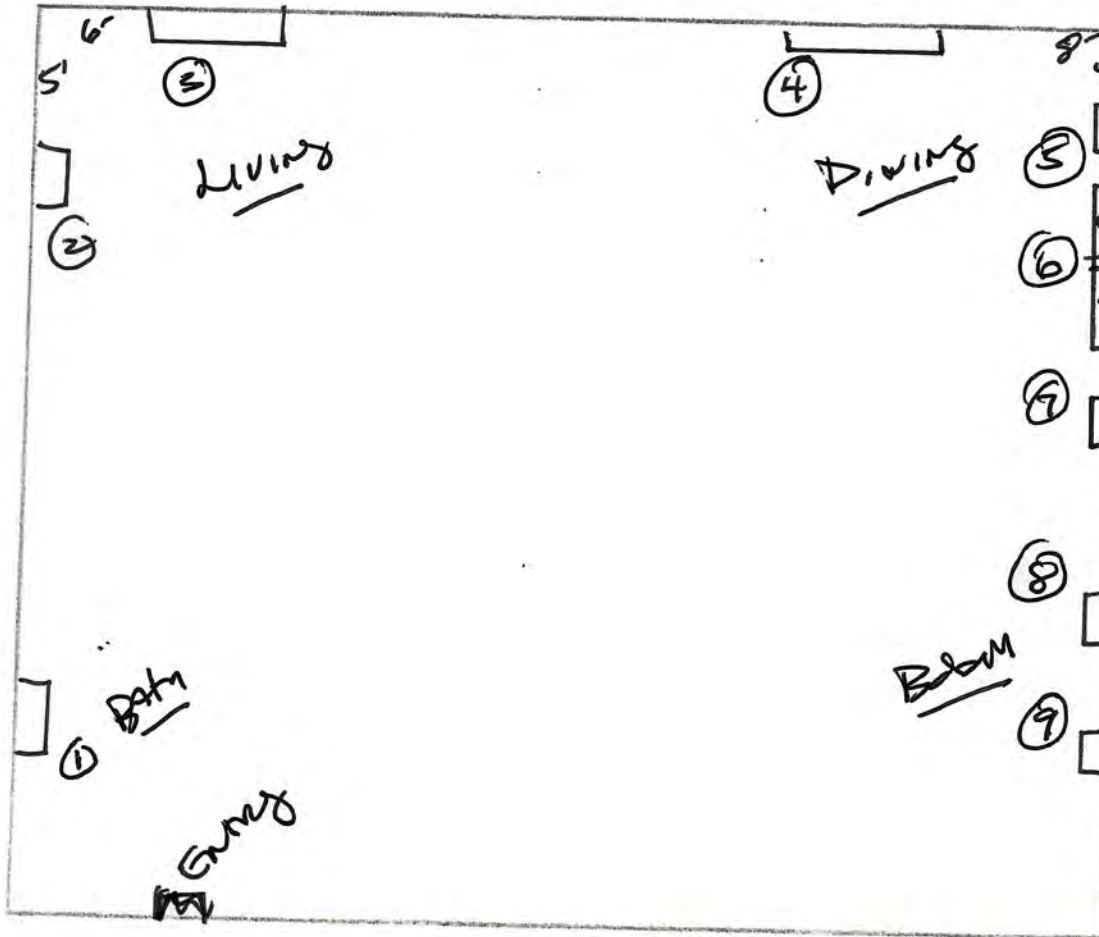
Winfred

Address

130 4th AVE N #515

Sales Rep

DHos.



No.	Type	DP	Size
1	DH	50	35 x 45
2	DH	34 1/4	34 1/8 x 53 1/2
3	DH		54 5/8 x 56 3/4
4	DH		54 5/8 x 56 3/4
5	DH		23 x 53 1/4
6	Sad		55 1/4 x 79
7	DH		23 x 53 1/4
8	DH		32 1/4 x 55 3/4
9	DH		32 1/4 x 55 3/4
10			x
11			x
12			x
13			x
14			x
15			x
16			x
17			x
18			x
19			x
20			x
21			x
22			x
23			x
24			x
25			x

# Window & Door Profiles





1

of 1



Find | Next



Last Modified Date: 05/25/2023 15:39:04

PO#:

Job Name: TYPICAL UNITS - 2023

Job Address:

Quote # 7414990

## RESTORE WDS NO COST

ShipTo: ZAGER WINDOWS

Account#: A21109

2420 20TH AVE N  
ST PETERSBURG, FL 33713-4908  
Phone# Fax#

013029-1

Sales Person: Dan Hosmer


Customer FLORI DE LEON

Account #


130 4th St N  
St Petersburg, FL 33701


Phone# Fax#

Line #	Item Description	Quantity	Line Pricing		
0001 (2.00)	SGD5570 VINYL SGD SERIES 5570	Ordered: 1.00		<u>Sell Price</u>	<u>Ext Price</u>
	<p>Send Unit: COMPLETE NOA Selection: 22-0407.12 Pnl/Trk: 2 Panel / 2 Track Panel Stack: STD Width: 56.0000 Actual Size: 56 X 81 Frame Color: B/W - Bronze Exterior/White Glass: 1-1/16" LIG (3/16 TMP-7/16ARG-7/16 AN/HS Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Style: U.COL.LITES Grid Summary: 3A5D LITES (2V4H BARS) Sill Riser Height: 2.5000 Send Screen Frame with Unit: N Handle Type: RECESS/RECESS Lock/Handle Location: STD Key Lock: N Panel Opr Rlr: STSTEELTM Stainless Steel Tandem Anchor Group: A.SG54.55 Boxing Options: N - None Acc Glass Breakage: N CAR#: 22-0407.12 NegativeDesignPressure: 60.0000 EnergyStar: NONE UF: 0.3100 VT: 0.3700</p>	<p>Certification Type: MIAMI Door Configuration: BYPASS Panel Configuration: XO Size Selection: CUSTOM Height: 81.0000 Calc Track Length: 56.0000 Glass Makeup: LIT307AS7 Glass Family: LI - Laminated Insulating Glass Color: CL - CLEAR Argon Gas: ARGON Interlayer Type: PVB090 Grid Type: SDLT0875 - 7/8" Traditional SDL Add HD Stile for DP Upgrade: N Screen Panel Type: NONE Screen Rail Integrated: N Handle Color: KW - Black Ext/White Int Secondary Lock Type: NONE Keyed Alike: N Panel Fxd Rlr: NYLONTM Nylon Tandem Send frm w/snap on Nail Fin: N Max Energy/Composite Reinf: N Decralite: N PositiveDesignPressure: 38.7000 PANumber: FL251 CondensationResistance: 58.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6200</p>			
Location: TYPE 1 -BALCONY DOOR		Notes: TYPE 1 -BALCONY DOOR			


0002 (31.00)	FD5555 FRENCH DOOR SERIES 5555	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
	Certification Type: MIAMI Assembly Type: XX Size Code: 5470.0000 Assembly Sz: 63 3/4 x 83 3/4 Frame Color: B/W - Bronze Exterior/White Threshold Type: 1.375EXTERIOR Glass Family: LI - Laminated Insulating Does unit need to meet Turtle Code: NO	NOA Selection: 20-0427.05 Size Selection: NOMINAL Actual Size: 63 3/4 X 83 3/4 Opening Size: 64 X 84 Door Swing: OUTSWING Primary Panel: RIGHT Door Glass: 1 3/16" IG (1/8TMP-11/16 AIR-5/16 Glass Color: CL - CLEAR		

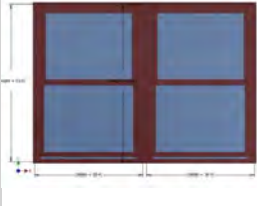
Door Glass Color: CLEAR Argon Gas: NONE Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Summary Door: 3A5D LITES (2V4H BARS) Send Primary Lock: Y Hardware Color: ORBPVD - Oil Rubbed Bronze PVD Keyed Hardware Alike: N Anchor Group: A.FD54.55 Boxing Options: N - None KD: Y CAR#: 20-0427.05 NegativeDesignPressure: 50.0000 EnergyStar: NONE UF: 0.3300 VT: 0.3000	Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Style: STD Inactive Hardware Prep: DUMMY Send Inactive Lock: Y Hardware Style: 800LVR Hinge Color: ORB - Oil Rubbed Bronze 5/8 Add-on Flange: N Acc Glass Breakage: N Decralite: N PositiveDesignPressure: 50.0000 PANumber: FL-253 CondensationResistance: 60.0000 SolarHeatGainCoeff: 0.1400 VTCOG: 0.6200
<b>Location:</b> TYPE 1A - FRENCHDOOR	<b>Notes:</b> TYPE 1A - FRENCHDOOR

0003 (13.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	Sell Price	Ext Price
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: RIGHT Size Ref: ACTUAL Height: 53.0000 Rough Masonry Opening: 25 3/4 X 54 Egress Opening: 12 3/16 X 47 1/4 SQFT 3.9988 Glass Family: LI - Laminated Insulating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Style: STD Grid Summary: 2A4D LITES (1V3H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Width: 24.0000 Actual Size: 24 X 53 Wood Frame Opening: 24 1/4 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300		
<b>Location:</b> TYPE 2 - BALCONY	<b>Notes:</b> TYPE 2 - BALCONY ( NO A/C)			

0004 (14.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	Sell Price	Ext Price
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: RIGHT Size Ref: ACTUAL Height: 38.0000 Rough Masonry Opening: 25 3/4 X 39 Egress Opening: 12 3/16 X 32 1/4 SQFT 2.7293 Glass Family: LI - Laminated Insulating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Style: STD Grid Summary: 2A3D LITES (1V2H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Width: 24.0000 Actual Size: 24 X 38 Wood Frame Opening: 24 1/4 X 38 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300		
<b>Location:</b> TYPE 2A - BALCONY	<b>Notes:</b> TYPE 2A - BALCONY			




0005 (1.00)	DH5560 VINYL DOUBLE HUNG 5560	Ordered: 1.00	Sell Price	Ext Price
	Certification Type: MIAMI Frame Type: .625FLANGE Size Selection: CUSTOM Width: 34 1/2 Actual Size: 34 1/2 X 45 Wood Frame Opening: 34 3/4 X 45 1/4 Frame Color: B/W - Bronze Exterior/White Glass Family: LI - Laminated Insulating Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: OB - OBSCURE Grid Type: NONE - NO Grid Screen Type: 1816K - 1816 Charcoal Screen Configuration: FULL WOCD: Y Upgrade Hardware Finish: N Comfort Lift: Y Lock Quantity: 2.0000 Boxing Options: BS - Box Screen Vent Ht: 21.7344 PositiveDesignPressure: 50.0000 PANumber: FL14705 CondensationResistance: 58.0000 SolarHeatGainCoeff: 0.2000 VTCOG: 0.6300		NOA Selection: 20-0401.06 Vent Configuration: EQUAL Size Ref: ACTUAL Height: 45.0000 Rough Masonry: 36 1/4 X 46 Egress Opening: 29 9/16 X 17 9/16 SQFT (3.5988) Balance Type: CONSTANT Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN) Glass Color: CL - CLEAR Argon Gas: ARGON Privacy Glass Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED Vent Latch: N Lock Type: SWEEP - Sweep Latch Top Sash Comfort Lift: CONTPULLRAIL Lift Rail: N Anchor Group: A.HU54.55 Acc Glass Breakage: N CAR#: 20-0401.06 NegativeDesignPressure: 50.0000 EnergyStar: 123.0000 UF: 0.3000 VT: 0.4500	
	<b>Location:</b> TYPE 3 - 1OVER1 DH		<b>Notes:</b> TYPE 3 - 1OVER1 DOUBLE HUNG SINGLE	

0006 (15.00)	MULTI-PART MULTI-PART UNITS	Ordered: 1.00	Sell Price	Ext Price
	BEGIN MODEL SET 015: ..... Combo Config: TW - Twin Unit 1 (Bottom Left Unit): DH5560 Frame Type: .625FLANGE Width Equal or Width: EQUAL Mull Part Selection: MULL/CVR/CLPS Width: 74.0000 Vertical Mull: 1.25X3.25X.625 Glass Color: CL - Clear		Series: 5500.0000 Factory Mull: N Unit 2: DH5560 Assembly Options: MTCHCOL Send Mull(s): Y Size Selection: ACTUAL Height: 53.0000 Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - Box Screen	
	<b>Location:</b> TYPE 4 - 1OVER1 DH		<b>Notes:</b> TYPE 3 - 1OVER1 DOUBLE HUNG - TWIN	

0006 (16.00)	DH5560 VINYL DOUBLE HUNG 5560	Ordered: 1.00	Sell Price	Ext Price
	Certification Type: MIAMI Frame Type: .625FLANGE Size Selection: CUSTOM Actual Size: 36 3/8 X 53 Wood Frame Opening: 36 5/8 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Family: LI - ating Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED Vent Latch: N Lock Type: SWEEP - Sweep Latch Top Sash Comfort Lift: CONTPULLRAIL Lift Rail: N Anchor Group: A.HU54.55 Acc Glass Breakage: N CAR#: 20-0401.06 NegativeDesignPressure: 50.0000 EnergyStar: 123.0000 UF: 0.3000 VT: 0.4500		NOA Selection: 20-0401.06 Vent Configuration: EQUAL Size Ref: ACTUAL Rough Masonry: 38 1/8 X 54 Egress Opening: 31 7/16 X 21 9/16 SQFT (4.7003) Balance Type: CONSTANT Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN) Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: NONE - NO Grid Screen Type: 1816K - 1816 Charcoal Screen Configuration: FULL WOCD: N Upgrade Hardware Finish: N Comfort Lift: Y Lock Quantity: 2.0000 Boxing Options: BS - Box Screen Vent Ht: 25.7344 PositiveDesignPressure: 50.0000 PANumber: FL14705 CondensationResistance: 58.0000 SolarHeatGainCoeff: 0.2000 VTCOG: 0.6300	
	<b>Location:</b> TYPE 4 - 1OVER1 DH		<b>Notes:</b>	

0006 (17.00)	DH5560 VINYL DOUBLE HUNG 5560	Ordered: 1.00	Sell Price	Ext Price
	Certification Type: MIAMI Frame Type: .625FLANGE Size Selection: CUSTOM Actual Size: 36 3/8 X 53 Wood Frame Opening: 36 5/8 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Family: LI - ating Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED Vent Latch: N Lock Type: SWEEP - Sweep Latch Top Sash Comfort Lift: CONTPULLRAIL Lift Rail: N Anchor Group: A.HU54.55 Acc Glass Breakage: N CAR#: 20-0401.06 NegativeDesignPressure: 50.0000 EnergyStar: 123.0000 UF: 0.3000 VT: 0.4500	NOA Selection: 20-0401.06 Vent Configuration: EQUAL Size Ref: ACTUAL Rough Masonry: 38 1/8 X 54 Egress Opening: 31 7/16 X 21 9/16 SQFT (4.7003 Balance Type: CONSTANT Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: NONE - NO Grid Screen Type: 1816K - 1816 Charcoal Screen Configuration: FULL WOCD: N Upgrade Hardware Finish: N Comfort Lift: Y Lock Quantity: 2.0000 Boxing Options: BS - Box Screen Vent Ht: 25.7344 PositiveDesignPressure: 50.0000 PANumber: FL14705 CondensationResistance: 58.0000 SolarHeatGainCoeff: 0.2000 VTCOG: 0.6300		
Location: TYPE 4 - 1OVER1 DH		Notes:		

0006 (18.00)	MULL MULL BARS	Ordered: 1.00	Sell Price	Ext Price
	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - Box Screen	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM Assembly Options: MTCHCOL END MODEL SET 015: .....		
Location: TYPE 4 - 1OVER1 DH		Notes:		

0007 (19.00)	MULTI-PART MULTI-PART UNITS	Ordered: 1.00	Sell Price	Ext Price
	BEGIN MODEL SET 019: ..... Combo Config: TW - Twin Unit 1 (Bottom Left Unit): CA5540 Frame Type: .625FLANGE Width Equal or Width: EQUAL Mull Part Selection: MULL/CVR/CLPS Width: 36.0000 Vertical Mull: 1.25X3.25X.625 Glass Color: CL - Clear	Series: 5500.0000 Factory Mull: N Unit 2: CA5540 Assembly Options: MTCHCOL Send Mull(s): Y Size Selection: ACTUAL Height: 53.0000 Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - Box Screen		
Location: TYPE 5 - CASEMENT TW		Notes: TYPE 5 - CASEMENT TWIN - 8 LITE		

0007 (20.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	Sell Price	Ext Price
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: LEFT Size Ref: ACTUAL Rough Masonry Opening: 19 1/8 X 54 Egress Opening: 5 9/16 X 47 1/4 SQFT 1.8249 Glass Family: LI - ating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 17 3/8 X 53 Wood Frame Opening: 17 5/8 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Summary: 2A4D LITES (1V3H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03		



PositiveDesignPressure: 65.0000  
 PANumber: FL245  
 CondensationResistance: 59.0000  
 SolarHeatGainCoeff: 0.1700  
 VTCOG: 0.6300

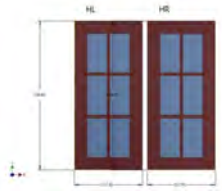
NegativeDesignPressure: 70.0000  
 EnergyStar: 123.0000  
 UF: 0.2800  
 VT: 0.3600

**Location:** TYPE 5 - CASEMENT TW

**Notes:**

0007 (21.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	Sell Price	Ext Price
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: RIGHT Size Ref: ACTUAL Rough Masonry Opening: 19 1/8 X 54 Egress Opening: 5 9/16 X 47 1/4 SQFT 1.8249 Glass Family: LI - ating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300			
	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 17 3/8 X 53 Wood Frame Opening: 17 5/8 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Summary: 2A4D LITES (1V3H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600			
	<b>Location:</b> TYPE 5 - CASEMENT TW	<b>Notes:</b>		

0007 (22.00)	MULL MULL BARS	Ordered: 1.00	Sell Price	Ext Price
	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - BS			
	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM Assembly Options: MTCHCOL END MODEL SET 019: .....			
	<b>Location:</b> TYPE 5 - CASEMENT TW	<b>Notes:</b>		

0008 (23.00)	MULTI-PART MULTI-PART UNITS	Ordered: 1.00	Sell Price	Ext Price
	 BEGIN MODEL SET 023: ..... Combo Config: TW - Twin Unit 1 (Bottom Left Unit): CA5540 Continuous Shape Multi-Part: N Assembly Options: MTCHCOL Send Mull(s): Y Size Selection: ACTUAL Height: 38.0000 Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - Box Screen			
	Series: 5500.0000 Factory Mull: N Unit 2: CA5540 Frame Type: .625FLANGE Width Equal or Width: EQUAL Mull Part Selection: MULL/CVR/CLPS Width: 36.0000 Vertical Mull: 1.25X3.25X.625 Glass Color: CL - Clear			
	<b>Location:</b> TYPE 6 - CASEMENT TW	<b>Notes:</b> TYPE 6 - CASEMENT TWIN - 6 LITE		

0008 (24.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	Sell Price	Ext Price
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: LEFT Size Ref: ACTUAL Rough Masonry Opening: 19 1/8 X 39 Egress Opening: 5 9/16 X 32 1/4 SQFT 1.2456 Glass Family: LI - Laminated Insulating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN			
	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 17 3/8 X 38 Wood Frame Opening: 17 5/8 X 38 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO			

Glass Color: CL - CLEAR  
 Argon Gas: ARGON  
 Grid Type: SDLT0875 - 7/8" Traditional SDL  
 Grid Style: STD  
 Grid Summary: 2A3D LITES (1V2H BARS)  
 Screen Type: 1816K - 1816 Charcoal  
 Hinge Type: WASHABLE  
 Handle Type: NESTING  
 Stainless Steel Package: N  
 Acc Glass Breakage: N  
 CAR#: 20-0402.03  
 NegativeDesignPressure: 70.0000  
 EnergyStar: 123.0000  
 UF: 0.2800  
 VT: 0.3600

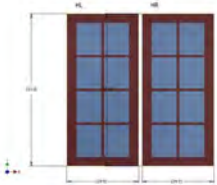
Low E: ENERGY SHIELD MAX  
 Privacy Glass: NONE - NONE  
 Grid Color: B/W  
 Grid Location: UNIT  
 Reinf. Upgrade: NONE - None  
 Screen Frame Type: EXTRUDED  
 WOCD: N  
 Upgrade Hardware Finish: N  
 Boxing Options: BS - Box Screen  
 Decralite: N  
 PositiveDesignPressure: 65.0000  
 PANumber: FL245  
 CondensationResistance: 59.0000  
 SolarHeatGainCoeff: 0.1700  
 VTCOG: 0.6300

Location: TYPE 6 - CASEMENT TW

Notes:

0008 (25.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	Sell Price	Ext Price
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: RIGHT Size Ref: ACTUAL Rough Masonry Opening: 19 1/8 X 39 Egress Opening: 5 9/16 X 32 1/4 SQFT 1.2456 Glass Family: LI - Laminated Insulating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Style: STD Grid Summary: 2A3D LITES (1V2H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600			
	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 17 3/8 X 38 Wood Frame Opening: 17 5/8 X 38 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300			
Location: TYPE 6 - CASEMENT TW		Notes:		

0008 (26.00)	MULL MULL BARS	Ordered: 1.00	Sell Price	Ext Price
	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - BS			
	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM Assembly Options: MTCHCOL END MODEL SET 023: .....			
Location: TYPE 6 - CASEMENT TW		Notes:		

0009 (27.00)	MULTI-PART MULTI-PART UNITS	Ordered: 1.00	Sell Price	Ext Price
	 BEGIN MODEL SET 027: ..... Combo Config: TW - Twin Unit 1 (Bottom Left Unit): CA5540 Continuous Shape Multi-Part: N Assembly Options: MTCHCOL Send Mull(s): Y Size Selection: ACTUAL Height: 53.0000 Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - Box Screen			
	Series: 5500.0000 Factory Mull: N Unit 2: CA5540 Frame Type: .625FLANGE Width Equal or Width: EQUAL Mull Part Selection: MULL/CVR/CLPS Width: 51.0000 Vertical Mull: 1.25X3.25X.625 Glass Color: CL - Clear			
Location: TYPE 8 - CASEMENT TW		Notes: TYPE 8 - CASEMENT TW		

0009	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered:	Sell Price	Ext Price
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(28.00)		1.00		
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: LEFT Size Ref: ACTUAL Rough Masonry Opening: 26 5/8 X 54 Egress Opening: 13 1/16 X 47 1/4 SQFT 4.2859 Glass Family: LI - Laminated Insulating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 24 7/8 X 53 Wood Frame Opening: 25 1/8 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Summary: 2A4D LITES (1V3H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600		
Location: TYPE 8 - CASEMENT TW		Notes:		

0009 (29.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00		<u>Sell Price</u>	<u>Ext Price</u>
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: RIGHT Size Ref: ACTUAL Rough Masonry Opening: 26 5/8 X 54 Egress Opening: 13 1/16 X 47 1/4 SQFT 4.2859 Glass Family: LI - Laminated Insulating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 24 7/8 X 53 Wood Frame Opening: 25 1/8 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Summary: 2A4D LITES (1V3H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600			
Location: TYPE 8 - CASEMENT TW		Notes:			

0009 (30.00)	MULL MULL BARS	Ordered: 1.00		<u>Sell Price</u>	<u>Ext Price</u>
	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - BS	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM Assembly Options: MTCHCOL END MODEL SET 027: .....			
Location: TYPE 8 - CASEMENT TW		Notes:			

0010 (32.00)	MULTI-PART MULTI-PART UNITS	Ordered: 1.00		<u>Sell Price</u>	<u>Ext Price</u>	*
	BEGIN MODEL SET 032: ..... Combo Config: TWCONS - Twin Continuous Stack Unit 1 (Bottom Left Unit): CA5540 Unit 3: AR5520	Series: 5500.0000 Factory Mull: N Unit 2: CA5540 Frame Type: .625FLANGE Width Equal or Width: EQUAL				

Assembly Options: MTCHCOL  
 Send Mull(s): Y  
 Size Selection: ACTUAL  
 Height: 62.0000  
 Horizontal Mull: 1.25X3.25X.625  
 Glass Color: CL - Clear

Mull Part Selection: MULL/CVR/CLPS  
 Width: 52.0000  
 Vertical Mull: 1.25X3.25X.625  
 Frame Color: B/W - Bronze Exterior/White  
 Boxing Options: BS - Box Screen

Location: TYPE 7- TW CASE ARCH

Notes: TYPE 7- TW CASE ARCH

0010 (33.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	Sell Price	Ext Price
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: LEFT Size Ref: ACTUAL Actual Size: 25 3/8 X 33 Wood Frame Opening: 25 5/8 X 33 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Summary: 2A2D LITES (1V1H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: Y Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Height: 33.0000 Rough Masonry Opening: 27 1/8 X 34 Egress Opening: 13 9/16 X 27 1/4 SQFT 2.5664 Glass Family: LI - Laminated Insulating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300		
Location: TYPE 7- TW CASE ARCH		Notes:		

0010 (34.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	Sell Price	Ext Price
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: RIGHT Size Ref: ACTUAL Rough Masonry Opening: 27 1/8 X 34 Egress Opening: 13 9/16 X 27 1/4 SQFT 2.5664 Glass Family: LI - Laminated Insulating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 25 3/8 X 33 Wood Frame Opening: 25 5/8 X 33 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Summary: 2A2D LITES (1V1H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: Y Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600		
Location: TYPE 7- TW CASE ARCH		Notes:		

0010 (35.00)	AR5520 VINYL ARCHITECTURAL 5520	Ordered: 1.00	Sell Price	Ext Price	*
	Certification Type: MIAMI Shape: HC Size Selection: CUSTOM Actual Size: 52 X 26 Wood Frame Opening: 52 1/4 X 26 1/4 Glass Family: LI - Laminated Insulating Interlayer Type: PVB090	NOA Selection: 20-0401.16 Frame Type: .625FLANGE Size Ref: ACTUAL Rough Masonry Opening: 53 3/4 X 27 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5			



Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN  
 Glass Color: CL - CLEAR  
 Argon Gas: ARGON  
 Glass Spacer Type: TB  
 Grid Color: B/W  
 Grid Summary: 4A2D LITES (3V1H BARS)  
 Decalite: N  
 CAR#: 20-0401.16  
 NegativeDesignPressure: 50.0000  
 EnergyStar: 1234.0000  
 UF: 0.2400  
 VT: 0.4700


Does unit need to meet Turtle Code: NO  
 Low E: ENERGY SHIELD MAX  
 Privacy Glass: NONE - NONE  
 Grid Type: SDLT0875 - 7/8" Traditional SDL  
 Grid Style: U.COL.LITES  
 Boxing Options: BS -  
 Acc Glass Breakage: N  
 PositiveDesignPressure: 50.0000  
 PANumber: FL243  
 CondensationResistance: 61.0000  
 SolarHeatGainCoeff: 0.2100  
 VTCOG: 0.6300

Location: TYPE 7- TW CASE ARCH


Notes:

0010 (36.00)	MULL MULL BARS	Ordered: 1.00	Sell Price	Ext Price
	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - Box Screen			
	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM Assembly Options: MTCHCOL			
Location: TYPE 7- TW CASE ARCH		Notes:		

0010 (37.00)	MULL MULL BARS	Ordered: 1.00	Sell Price	Ext Price
	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - Box Screen			
	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM Assembly Options: MTCHCOL END MODEL SET 032: .....			
Location: TYPE 7- TW CASE ARCH		Notes:		

0011 (38.00)	FD5555 FRENCH DOOR SERIES 5555	Ordered: 1.00	Sell Price	Ext Price
	 Certification Type: MIAMI Assembly Type: X Size Code: 2870.0000 Assembly Sz: 33 1/2 x 83 3/4 Frame Color: B/W - Bronze Exterior/White Threshold Type: 1.375EXTERIOR Glass Family: LI - Laminated Insulating Does unit need to meet Turtle Code: NO Door Glass Color: CLEAR Argon Gas: NONE Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Summary Door: 3A5D LITES (2V4H BARS) Hardware Color: ORBPVD - Oil Rubbed Bronze PVD Keyed Hardware Alike: N Anchor Group: A.FD54.55 Boxing Options: N - None KD: Y CAR#: 20-0427.05 NegativeDesignPressure: 50.0000 EnergyStar: NONE UF: 0.3300 VT: 0.3000			
	NOA Selection: 20-0427.05 Size Selection: NOMINAL Actual Size: 33 1/2 X 83 3/4 Opening Size: 33 3/4 X 84 Door Swing: OUTSWING Hinge Side: RIGHT Door Glass: 1 3/16" IG (1/8TMP-11/16 AIR-5/16 Glass Color: CL - CLEAR Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Style: STD Send Primary Lock: Y Hardware Style: 800LVR Hinge Color: ORB - Oil Rubbed Bronze 5/8 Add-on Flange: N Acc Glass Breakage: N Decalite: N PositiveDesignPressure: 50.0000 PANumber: FL-253 CondensationResistance: 60.0000 SolarHeatGainCoeff: 0.1400 VTCOG: 0.6200			
Location: T-8 ENTRY DOORS PH		Notes: T-8 ENTRY DOORS PH		

0012 (47.00)	MULTI-PART MULTI-PART UNITS	Ordered: 1.00	Sell Price	Ext Price
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	<b>BEGIN MODEL SET 019:</b> ..... Combo Config: TW - Twin Unit 1 (Bottom Left Unit): CA5540 Frame Type: .625FLANGE Width Equal or Width: EQUAL Mull Part Selection: MULL/CVR/CLPS Width: 36.0000 Vertical Mull: 1.25X3.25X.625 Glass Color: CL - Clear	Series: 5500.0000 Factory Mull: N Unit 2: CA5540 Assembly Options: MTCHCOL Send Mull(s): Y Size Selection: ACTUAL Height: 53.0000 Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - Box Screen
<b>Location:</b> TYPE 5 - CASEMENT TW	<b>Notes:</b> TYPE 5 - CASEMENT TW	

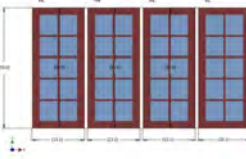
0012 (48.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: LEFT Size Ref: ACTUAL Rough Masonry Opening: 19 1/8 X 54 Egress Opening: 5 9/16 X 47 1/4 SQFT 1.8249 Glass Family: LI - ating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 17 3/8 X 53 Wood Frame Opening: 17 5/8 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Summary: 2A4D LITES (1V3H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600		
<b>Location:</b> TYPE 5 - CASEMENT TW		<b>Notes:</b>		

0012 (49.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: RIGHT Size Ref: ACTUAL Rough Masonry Opening: 19 1/8 X 54 Egress Opening: 5 9/16 X 47 1/4 SQFT 1.8249 Glass Family: LI - ating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 17 3/8 X 53 Wood Frame Opening: 17 5/8 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Summary: 2A4D LITES (1V3H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600		
<b>Location:</b> TYPE 5 - CASEMENT TW		<b>Notes:</b>		

0012 (50.00)	MULL MULL BARS	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM		



Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - BS		Assembly Options: MTCHCOL END MODEL SET 019: .....
<b>Location:</b> TYPE 5 - CASEMENT TW	<b>Notes:</b>	

0013 (51.00)	MULTI-PART MULTI-PART UNITS	Ordered: 1.00	Sell Price	Ext Price
 <p>BEGIN MODEL SET 051: .....            Combo Config: QD - Quad (4-Part)            Unit 1 (Bottom Left Unit): CA5540            Unit 3: CA5540            Frame Type: .625FLANGE            Width Equal or Width: EQUAL            Mull Part Selection: MULL/CVR/CLPS            Width: 96.0000            Vertical Mull: 1.25X3.25X.625            Vertical Mull (3): 1.25X3.25X.625            Glass Color: CL - Clear</p>		Series: 5500.0000 Factory Mull: N Unit 2: CA5540 Unit 4: CA5540 Assembly Options: MTCHCOL Send Mull(s): Y Size Selection: ACTUAL Height: 53.0000 Vertical Mull (2): 1.25X3.25X.625 Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - Box Screen		
<b>Location:</b> TYPE 5A QUAD CASE		<b>Notes:</b> TYPE 5A QUAD CASE		

0013 (52.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	Sell Price	Ext Price
Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: LEFT Size Ref: ACTUAL Rough Masonry Opening: 24 13/16 X 54 Egress Opening: 11 1/4 X 47 1/4 SQFT 3.691 Glass Family: LI - ating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Style: STD Grid Summary: 2A5D LITES (1V4H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600		NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 23 1/16 X 53 Wood Frame Opening: 23 5/16 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300		
<b>Location:</b> TYPE 5A QUAD CASE		<b>Notes:</b>		

0013 (53.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	Sell Price	Ext Price
Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: RIGHT Size Ref: ACTUAL Rough Masonry Opening: 24 13/16 X 54 Egress Opening: 11 1/4 X 47 1/4 SQFT 3.691 Glass Family: LI - ating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Style: STD Grid Summary: 2A5D LITES (1V4H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600		NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 23 1/16 X 53 Wood Frame Opening: 23 5/16 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300		

<b>Location:</b> TYPE 5A QUAD CASE	<b>Notes:</b>
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0013 (54.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: LEFT Size Ref: ACTUAL Rough Masonry Opening: 24 13/16 X 54 Egress Opening: 11 1/4 X 47 1/4 SQFT 3.691 Glass Family: LI - ating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 AIR -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: NONE Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Style: STD Grid Summary: 2A5D LITES (1V4H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: Y Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: NONE UF: 0.4200 VT: 0.4500			
	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 23 1/16 X 53 Wood Frame Opening: 23 5/16 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: NONE Privacy Glass: NONE - NONE Grid Color: B/W Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 45.0000 SolarHeatGainCoeff: 0.4200 VTCOG: 0.8000			

<b>Location:</b> TYPE 5A QUAD CASE	<b>Notes:</b>
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0013 (55.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: LEFT Size Ref: ACTUAL Rough Masonry Opening: 24 13/16 X 54 Egress Opening: 11 1/4 X 47 1/4 SQFT 3.691 Glass Family: LI - ating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 AIR -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: NONE Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Style: STD Grid Summary: 2A5D LITES (1V4H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: Y Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: NONE UF: 0.4200 VT: 0.4500			
	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 23 1/16 X 53 Wood Frame Opening: 23 5/16 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: NONE Privacy Glass: NONE - NONE Grid Color: B/W Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 45.0000 SolarHeatGainCoeff: 0.4200 VTCOG: 0.8000			

<b>Location:</b> TYPE 5A QUAD CASE	<b>Notes:</b>
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0013 (56.00)	MULL MULL BARS	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - BS			
	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM Assembly Options: MTCHCOL			

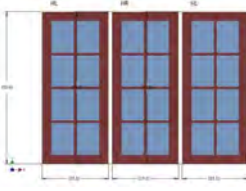
<b>Location:</b> TYPE 5A QUAD CASE	<b>Notes:</b>
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0013 (57.00)	MULL MULL BARS	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
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	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - BS	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM Assembly Options: MTCHCOL
<b>Location:</b> TYPE 5A QUAD CASE		<b>Notes:</b>

<b>0013</b> <b>(58.00)</b>	<b>MULL MULL BARS</b>	<b>Ordered:</b> 1.00	<b>Sell Price</b>	<b>Ext Price</b>
	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - BS	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM Assembly Options: MTCHCOL END MODEL SET 051: .....		
<b>Location:</b> TYPE 5A QUAD CASE		<b>Notes:</b>		

<b>0014</b> <b>(59.00)</b>	<b>MULTI-PART MULTI-PART UNITS</b>	<b>Ordered:</b> 1.00	<b>Sell Price</b>	<b>Ext Price</b>
	BEGIN MODEL SET 059: ..... Combo Config: TR - Triple Unit 1 (Bottom Left Unit): CA5540 Unit 3: CA5540 Assembly Options: MTCHCOL Send Mull(s): Y Size Selection: ACTUAL Height: 53.0000 Vertical Mull (2): 1.25X3.25X.625 Glass Color: CL - Clear	Series: 5500.0000 Factory Mull: N Unit 2: CA5540 Frame Type: .625FLANGE Width Equal or Width: EQUAL Mull Part Selection: MULL/CVR/CLPS Width: 72.0000 Vertical Mull: 1.25X3.25X.625 Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - Box Screen		
<b>Location:</b> TYPE 9 - CASE TRIP		<b>Notes:</b> TYPE 9 - CASE TRIP		

<b>0014</b> <b>(60.00)</b>	<b>CA5540 VINYL WINGUARD CASEMENT 5540</b>	<b>Ordered:</b> 1.00	<b>Sell Price</b>	<b>Ext Price</b>
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: LEFT Size Ref: ACTUAL Rough Masonry Opening: 24 15/16 X 54 Egress Opening: 11 3/8 X 47 1/4 SQFT 3.7255 Glass Family: LI - Laminated Insulating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: ARGON Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOOD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 59.0000 SolarHeatGainCoeff: 0.1700 VTCOG: 0.6300	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 23 3/16 X 53 Wood Frame Opening: 23 7/16 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: ENERGY SHIELD MAX Privacy Glass: NONE - NONE Grid Color: B/W Grid Summary: 2A4D LITES (1V3H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: N Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: 123.0000 UF: 0.2800 VT: 0.3600		
<b>Location:</b> TYPE 9 - CASE TRIP		<b>Notes:</b>		

<b>0014</b> <b>(61.00)</b>	<b>CA5540 VINYL WINGUARD CASEMENT 5540</b>	<b>Ordered:</b> 1.00	<b>Sell Price</b>	<b>Ext Price</b>
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: RIGHT Size Ref: ACTUAL Rough Masonry Opening: 24 15/16 X 54 Egress Opening: 11 3/8 X 47 1/4 SQFT 3.7255 Glass Family: LI - Laminated Insulating Interlayer Type: PVB090	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 23 3/16 X 53 Wood Frame Opening: 23 7/16 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5		

Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN  
 Glass Color: CL - CLEAR  
 Argon Gas: ARGON  
 Grid Type: SDLT0875 - 7/8" Traditional SDL  
 Grid Location: UNIT  
 Reinf. Upgrade: NONE - None  
 Screen Frame Type: EXTRUDED  
 WOCD: N  
 Upgrade Hardware Finish: N  
 Boxing Options: BS - Box Screen  
 Decralite: N  
 PositiveDesignPressure: 65.0000  
 PANumber: FL245  
 CondensationResistance: 59.0000  
 SolarHeatGainCoeff: 0.1700  
 VTCOG: 0.6300

Does unit need to meet Turtle Code: NO  
 Low E: ENERGY SHIELD MAX  
 Privacy Glass: NONE - NONE  
 Grid Color: B/W  
 Grid Summary: 2A4D LITES (1V3H BARS)  
 Screen Type: 1816K - 1816 Charcoal  
 Hinge Type: WASHABLE  
 Handle Type: NESTING  
 Stainless Steel Package: N  
 Acc Glass Breakage: N  
 CAR#: 20-0402.03  
 NegativeDesignPressure: 70.0000  
 EnergyStar: 123.0000  
 UF: 0.2800  
 VT: 0.3600

**Location:** TYPE 9 - CASE TRIP**Notes:**


0014 (62.00)	CA5540 VINYL WINGUARD CASEMENT 5540	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
	Certification Type: MIAMI Frame Type: .625FLANGE Hinge Side: LEFT Size Ref: ACTUAL Rough Masonry Opening: 24 15/16 X 54 Egress Opening: 11 3/8 X 47 1/4 SQFT 3.7255 Glass Family: LI - ating Interlayer Type: PVB090 Glass: 7/8" LIG (1/8 AN - 7/16 AIR -5/16 AN/AN Glass Color: CL - CLEAR Argon Gas: NONE Grid Type: SDLT0875 - 7/8" Traditional SDL Grid Location: UNIT Reinf. Upgrade: NONE - None Screen Frame Type: EXTRUDED WOCD: N Upgrade Hardware Finish: N Boxing Options: BS - Box Screen Decralite: N PositiveDesignPressure: 65.0000 PANumber: FL245 CondensationResistance: 45.0000 SolarHeatGainCoeff: 0.4200 VTCOG: 0.8000			
	NOA Selection: 20-0402.03 Unit Configuration: X Size Selection: CUSTOM Actual Size: 23 3/16 X 53 Wood Frame Opening: 23 7/16 X 53 1/4 Frame Color: B/W - Bronze Exterior/White Glass Type: 1/8" - 5/16" Glass Makeup: LIA207AA5 Does unit need to meet Turtle Code: NO Low E: NONE Privacy Glass: NONE - NONE Grid Color: B/W Grid Summary: 2A4D LITES (1V3H BARS) Screen Type: 1816K - 1816 Charcoal Hinge Type: WASHABLE Handle Type: NESTING Stainless Steel Package: Y Acc Glass Breakage: N CAR#: 20-0402.03 NegativeDesignPressure: 70.0000 EnergyStar: NONE UF: 0.4200 VT: 0.4500			
<b>Location:</b> TYPE 9 - CASE TRIP		<b>Notes:</b>		

0014 (63.00)	MULL MULL BARS	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - Box Screen			
	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM Assembly Options: MTCHCOL			
<b>Location:</b> TYPE 9 - CASE TRIP		<b>Notes:</b>		

0014 (64.00)	MULL MULL BARS	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
	Product Family Series: 5500.0000 NOA Selection: 20-0406.03 Frame Type: .625FLANGE Mull Clip Type: STDCLP/STDCLP Frame Color: B/W - Bronze Exterior/White Boxing Options: BS - BS			
	Certification Type: MIAMI Part Selection: MULL/CVR/CLPS - Mull, Ext/Int Mull Bar Type: 1.25X3.25X.625 Size Selection: CUSTOM Assembly Options: MTCHCOL END MODEL SET 059: .....			
<b>Location:</b> TYPE 9 - CASE TRIP		<b>Notes:</b>		

0015 (65.00)	AW5540 VINYL PROJECTED 5540	Ordered: 1.00	<u>Sell Price</u>	<u>Ext Price</u>
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	<p>           Certification Type: MIAMI            Frame Type: .625FLANGE            Size Selection: CUSTOM            Width: 36.0000            Actual Size: 36 X 24            Wood Frame Opening: 36 1/4 X 24 1/4            Glass Family: LI - Laminated Insulating            Interlayer Type: PVB090            Glass: 7/8" LIG (1/8 AN - 7/16 ARG -5/16 AN/AN            Glass Color: CL - CLEAR            Argon Gas: ARGON            Privacy Glass Location: UNIT            Screen Type: 1816K - 1816 Charcoal            Handle Type: NESTING            Stainless Steel Package: Y            Boxing Options: BS - Box Screen            CAR#: 20-0402.05            NegativeDesignPressure: 50.0000            EnergyStar: 123.0000            UF: 0.2800            VT: 0.4000         </p>	<p>           NOA Selection: 20-0402.05            Unit Configuration: XP            Size Ref: ACTUAL            Height: 24.0000            Rough Masonry Opening: 37 3/4 X 25            Frame Color: B/W - Bronze Exterior/White            Glass Type: 1/8" - 5/16"            Glass Makeup: LIA207AA5            Does unit need to meet Turtle Code: NO            Low E: ENERGY SHIELD MAX            Privacy Glass: OB - OBSCURE            Grid Type: NONE - NO Grid            Screen Frame Type: EXTRUDED            Upgrade Hardware Finish: N            Anchor Group: A.AW54.55            Acc Glass Breakage: N            PositiveDesignPressure: 50.0000            PANumber: FL2766            CondensationResistance: 58.0000            SolarHeatGainCoeff: 0.1800            VTCOG: 0.6300         </p>
Location: TYPE 10 - AWNING	Notes: TYPE 10 - AWNING	

<u>Products Ordered</u>	<u>Total Quantity</u>
SGD5570	1
FD5555	2
CA5540	19
DH5560	3
MULTI-PART	8
MULL	12
AR5520	1
AW5540	1

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2420 20th Ave N.  
 St Pete, FL 33713  
 www.ZagerWDS.com  
 727-447-7474

\* One or more lines on this order have not been completely  
 configured. Product price and configuration are subject to change

# Manufacturer Brochure



# WinGuard®

VINYL  
IMPACT



BUILT WITH CLEAR PURPOSE.

# Exceptional safety and energy efficiency.



Preferred Sliding Glass Door SGD5570

**PGT** WinGuard®  
VINYL

Single Hung SH5500





Picture Window PW5520 and Horizontal Roller HR5510



# Designed to protect your family and your wallet.

## PGT® WINGUARD® VINYL

All windows and doors can provide a view. But at PGT® Custom Windows + Doors, we believe in doing more. That's why our vinyl impact-resistant products protect against the fiercest storms and more while lowering your energy bills. It's also why, for more than 40 years, our purpose has been providing homeowners with custom windows and doors that fit their unique lifestyles.

When you choose PGT® Custom Windows + Doors, you're getting a product we trust in our own homes, so you can have complete peace of mind in yours. That's why we work every day with clear purpose.



# The #1 brand of impact-resistant windows and doors.





## PROTECTION FROM THE EVERYDAY AND THE ONCE IN A LIFETIME.

This product line's exceptional engineering offers peace of mind from storms, stray baseballs, sound pollution, UV rays, and would-be intruders. Heavy-duty frames hold impact-resistant glass, which acts as the primary line of defense against life's most demanding situations.

The top brand of impact-resistant products also saves you time and money. WinGuard® Vinyl's multi-chamber window and door frames reduce heat transmission and help keep your energy bills lower year round. Impact-resistant products also help reduce insurance premiums while increasing the overall value of your home. Plus, you can skip unsightly shutters or plywood that may take hours to install.



Picture Window PW5520 and Double Hung DH5560



09

### PERFORMANCE

WinGuard® Vinyl offers a winning combination of strength, energy efficiency, and beauty.



11

### TESTING

We test our windows and doors relentlessly, so you can enjoy the view in safety and comfort.



13

### CUSTOMIZATION

Your home is as unique as you are. Our windows and doors help reflect your personal style.

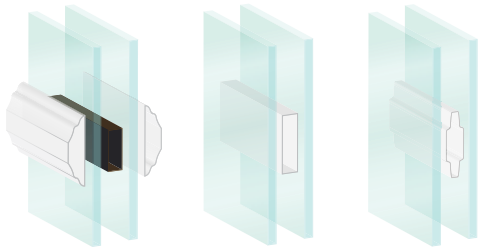


16

### WINGUARD® VINYL FEATURES

WinGuard® Vinyl products come with a full suite of standard features for built-in protection and energy efficiency.





## 19 / GRID STYLES AND PATTERNS

WinGuard® Vinyl products are available with a variety of grid styles and patterns that complement any design requirements.



## 21 / PRODUCT STYLES

Single Hung. Double Hung. Horizontal Roller. Casement. Awning. Picture Window. Sliding Glass Door. French Door.

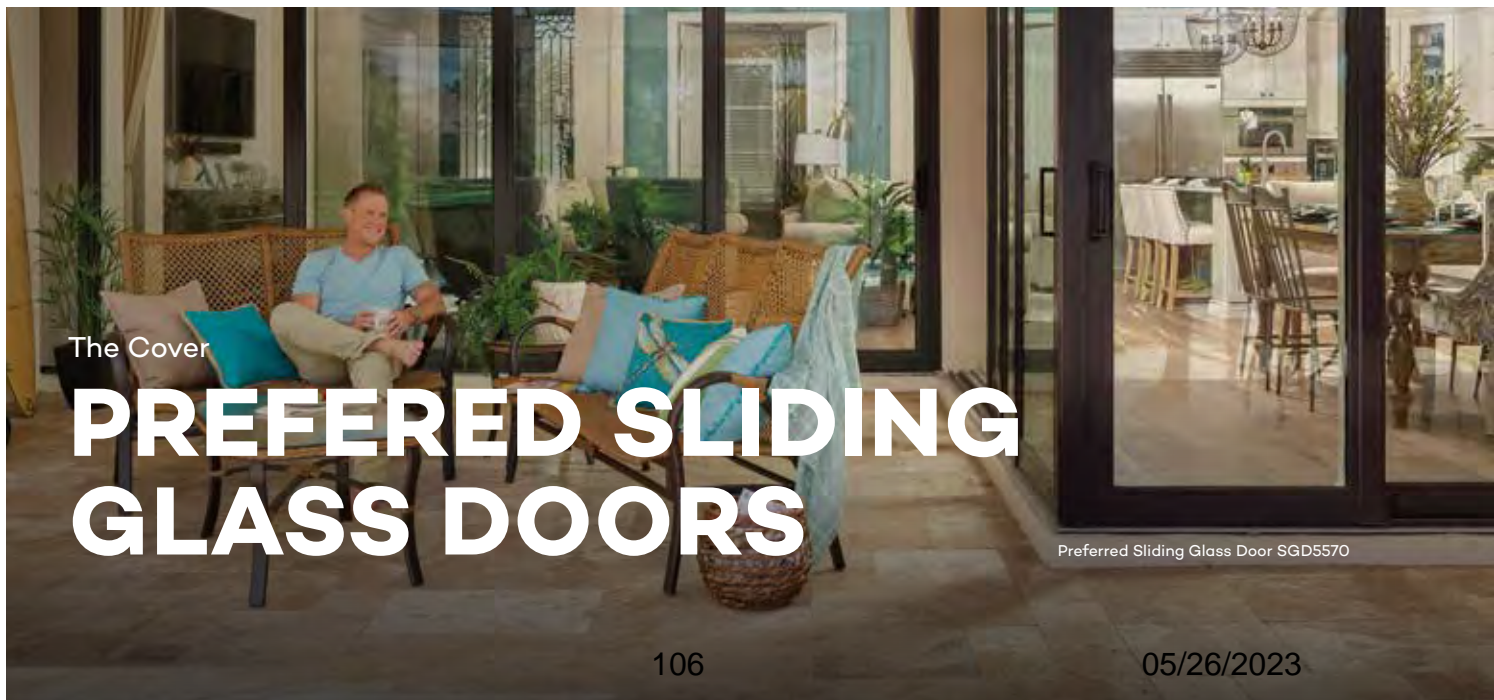
## FOLLOW US



@pgtwindowsdoors

*“The engineering advancements we’ve applied to our WinGuard® product line allow us to offer larger sizes and higher design pressures — as well as our most beautiful profile ever.”*

—KEN VANDERBENT  
LEAD DESIGN ENGINEER



The Cover

# PREFERRED SLIDING GLASS DOORS

Preferred Sliding Glass Door SGD5570



# Security through life's storms.

## EFFORTLESS HURRICANE PROTECTION™

### WHAT MAKES WINGUARD® SO STRONG?

When we talk about WinGuard® Vinyl's strength, we're referring to every component of the product. From the laminated impact-resistant glass and the energy-saving vinyl frame with our patented technology to the high design pressures these products can achieve. Strength is the central element of our design. For you, it means peace of mind, with protection from flying debris carried by hurricane-force winds. It means protecting your home from would-be intruders and damaging UV rays. And it means keeping outside noise where it belongs.

*"The wind gusts [during Hurricane Irma] reached 100 mph, trees were bent 45 degrees, and we didn't hear a thing. It was like we were watching a thunderstorm on TV, and the TV was on mute."*

—DERRICK O., CUSTOMER





### PGT® WINGUARD® VINYL MAKES ENERGY-EFFICIENCY POSSIBLE

Each impact-resistant window and door comes standard with laminated insulating glass—a total of three panes. Two panes are bonded together with a strong, clear interlayer, providing impact resistance. A third pane provides added insulation.

Each window and door also features multi-chambered, vinyl frames and warm-edge spacer technology, contributing to its energy efficiency.

Enjoy further benefits from WinGuard® Vinyl with options to achieve ENERGY STAR® ratings, including:

- High-performance Low-E to deflect solar heat gain and keep unwanted heat outside your home.
- Glass tints can help reduce heat transmitted through windows.
- Argon gas, which helps reflect outside heat to regulate the temperatures inside your home.

*ENERGY STAR® products are independently certified to save energy without sacrificing features or functionality. In order to earn the label, PGT® WinGuard® products are third-party certified based on testing in EPA-recognized laboratories. See the Glossary of Terms for more details on Low-E certifications and testing protocols.*



Preferred Sliding Glass Door SGD5570

TESTING

# Windows and doors put to the test.

OVER FOUR MILLION UNITS INSTALLED  
WITH ZERO REPORTED IMPACT FAILURES.



Following the devastation of Hurricane Andrew in 1992, PGT® collaborated with Florida building officials to develop stricter construction standards, resulting in the Miami-Dade Notice of Acceptance (NOA) — the most stringent building code in the country. As the nation's authority on impact-resistant windows and doors, PGT® Custom Windows + Doors offers vinyl products that have all been issued a Miami-Dade NOA, certifying they meet the highest level of structural integrity. In fact, our company holds the most NOAs in the country.

All PGT® products are continuously tested, certified, approved, and rated by the industry's most respected, accredited organizations. WinGuard® Vinyl certifications, ratings, and testing include:

- Miami-Dade Notice of Acceptance
- AAMA Tested/Keystone Certified
- Florida Product Approval
- International Building Code
- ENERGY STAR®
- National Fenestration Rating Council® (NFRC)
- Texas Department of Insurance
- STC (Sound Transmission Class)
- OITC (Outdoor-Indoor Transmission Class)

*See the Glossary of Terms for more details on each of these certifications and testing protocols.*





WinGuard® products can withstand repeated impact from a 9-lb. 2 x 4 beam traveling at 34 miles per hour, followed by hurricane-force winds. Even if the glass is damaged, it remains securely in its frame, keeping the elements outside.

Additionally, we have our own state-of-the-art testing lab, where we spend hundreds of hours analyzing and evaluating our products. WinGuard® Vinyl windows and doors are designed to meet or exceed the International Building Code standards for:

- Air infiltration
- Deglazing
- Structural integrity
- Residential intruder protection
- Water resistance
- Forced-entry resistance
- Small and large missile impact protection

We go through this testing, not only for your peace of mind but for ours as well. Our job is done only when you and your family are safe behind our products.

**THIS SUPERIOR PERFORMANCE IS ALL BACKED BY ONE OF THE BEST WARRANTIES IN THE INDUSTRY.**

WinGuard® Vinyl products include:

- Lifetime warranty on the frames
- Lifetime warranty on insulating glass component
- 10-year warranty on laminated glass component





Preferred Sliding Glass Door SGD5570 and  
Fixed Lite Architectural Window AR5520



## C U S T O M I Z A T I O N



# The perfect fit for your home.

EVERY WINDOW AND DOOR FOR YOUR PROJECT.

Your style — and your home — is as unique as you. That's why we customize each of our products to fit your exact specifications. From product size and frame colors to style elements and glass performance, all WinGuard® products can be designed for a consistent look that reflects your home's personality.

*See the Glossary of Terms for more details on some of the customizable options..*

**WINGUARD® VINYL CUSTOMIZABLE OPTIONS INCLUDE:**

- Sizes
- Flexible Designs
- Frame colors
- Hardware finishes
- Glass tints
- Grid styles, colors, and patterns
- High-performance Low-E
- Privacy glass
- Sea Turtle Protection Code glass option

# Make it personal.

## Standard Features

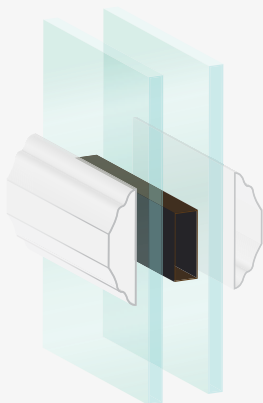
Adding unique value and energy efficiency to your project, WinGuard® Vinyl builds on the exceptional strength and impact-resistant benefits of the WinGuard® Aluminum line and incorporates the energy-efficient components of vinyl and laminated insulating glass. This line is ideal for new construction, remodeling, and replacement projects.

### STANDARD INTERIOR AND EXTERIOR FRAME COLORS



White

## Grid Styles



### TRADITIONAL SIMULATED DIVIDED LITE GRIDS

- 7/8" wide raised ogee applied to exterior and interior with 9/16" wide bronze shadow bar between the glass



### FLAT GRIDS

- 9/16" wide or 13/16" wide flat grids between the glass



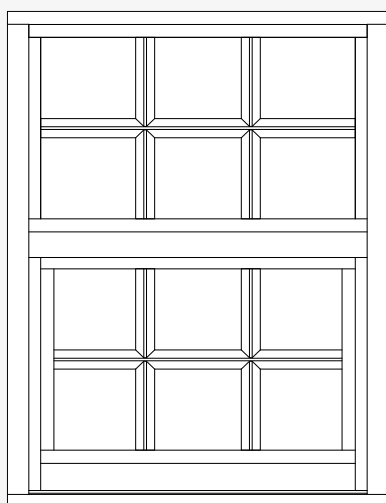
### CONTOURED GRIDS

- 1" wide grid between the glass

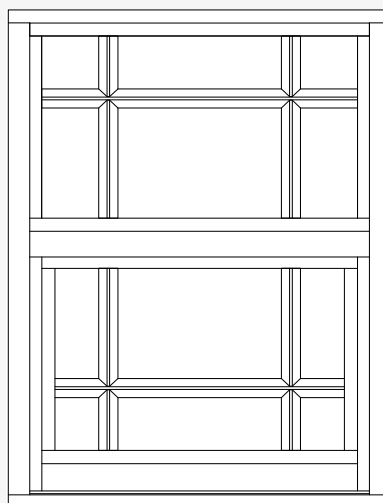


EVERY PGT® PRODUCT COMES WITH ALL THE OPTIONS YOU NEED TO COMPLEMENT THE LOOK AND FEEL OF YOUR HOME.

## Grid Patterns



STANDARD






BRITTANY / PRAIRIE

## Premium Options

### GLASS

- High-performance Low-E
- Heat-strengthened glass
- Privacy glass
- Popular glass tints
- Argon gas

### FRAME COLORS\*

-  Bronze
-  Black
-  Beige

*Custom frame colors are also available. See the Glossary of Terms for more details.*

*\*Black is only available on the exterior for the Preferred French Door FD5555.*

W I N D O W S

# Frame your views.

WITH SAFETY, BEAUTY,  
AND STRENGTH.



Preferred Sliding Glass Door SGD5570







Casement CA5540 and Picture Window PW5540



**SINGLE HUNG**



**DOUBLE HUNG**

## Single Hung (*SH5500*) and Double Hung (*DH5560*)

### FLEXIBLE DESIGN

- Radius Top and Arch Top
- Proview/Oriel, Cottage and custom configurations are also available

### EASY OPENING AND CLOSING

- Various balance systems for large, small and heavy sashes ensures effortless operation
- Constant Force or Spiral balance system
- ComfortLift handles

### REMOVABLE SASH DESIGN

- Clean the exterior part of the window more easily

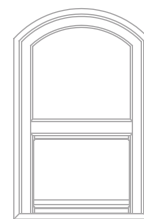
### EXCEPTIONAL STRENGTH

- Welded sash corners create a strong seal
- SecureConnect corner keys ensure optimal performance on any-sized window
- Aluminum interlock enhances strength on larger sizes/design pressures

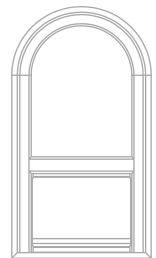
### OPTIONAL HARDWARE

- Vent latch allows fresh air to enter the room without opening the window completely
- Window Opening Control Device delivers a deeper level of safety and security

Single Hung SH5500 and Preferred French Door FD5555



Single Hung  
Radius Top with  
Equal Sash



Single Hung Arch  
Top with Proview/  
Oriel Sash



# Horizontal Roller (HR5510)

## FLEXIBLE DESIGN

- 2- and 3-lite configurations

## EASY OPENING AND CLOSING

- Ball bearing wheel allows for finger-smooth operation

## REMOVABLE SASH DESIGN

- Clean the exterior part of the window more easily

## EXCEPTIONAL STRENGTH

- Welded sash corners create a strong seal
- SecureConnect corner keys ensure optimal performance on any-sized window
- Aluminum interlock enhances strength on larger sizes/design pressures

## OPTIONAL HARDWARE

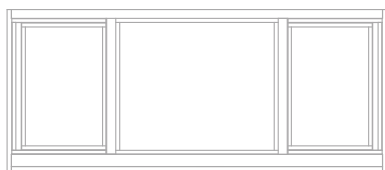
- Vent latch allows fresh air to enter the room without opening the window completely
- Window Opening Control Device delivers a deeper level of safety and security



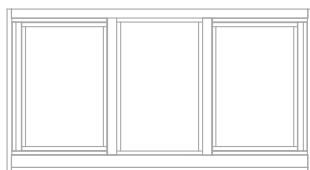
**HORIZONTAL ROLLER  
(2-LITE)**



**HORIZONTAL ROLLER  
(3-LITE)**



Unequal Lite



Equal Lite

Horizontal Roller HR5510





Casement CA5540



## W I N D O W S

## Casement (CA5540)

### MODULAR DESIGN

- Single unit hinged for opening either left or right
- Matching Awning and Fixed Lite Picture Window

### MULTI-POINT LOCKING SYSTEM

- Provides added strength and security

### WASHABLE HINGE

- Allow for easy cleaning from inside your home

### FOLDAWAY HANDLE

- Will not interfere with window treatments

### EXCEPTIONAL STRENGTH

- TrueHold hinge ensures durable sash operation on larger windows



**CASEMENT**

## Awning (AW5540)

### MODULAR DESIGN

- Hinged along the top
- Individual vent units can be mulled vertically or horizontally for custom configurations
- Matching Casement and Fixed Lite Picture Window

### MULTI-POINT LOCKING SYSTEM

- Provides added strength and security

### FOLDAWAY HANDLE

- Will not interfere with window treatments



**AWNING**



PICTURE WINDOW

## Fixed Lite Picture Window/Architectural (PW/AR5520)

### FIXED (NON-OPERABLE) WINDOWS

- Often used as accent windows

### MAXIMIZES THE VIEW

- Fills the room with a substantial amount of light
- Serves as a standalone or companion window

### MODULAR DESIGN

- Available in a variety of architectural shapes and sizes



Half Circle



Eyebrow



Arch



Trapezoid



CASEMENT PICTURE WINDOW

## Fixed Lite Casement Picture Window/Architectural (PW/AR5540)

### FIXED (NON-OPERABLE) WINDOWS

- Often used as accent windows

### MAXIMIZES THE VIEW

- Fills the room with a substantial amount of light
- Serves as a standalone or companion window

### MODULAR DESIGN

- Matching Casement and Awning
- Available in a variety of architectural shapes and sizes



Half Circle



Eyebrow



Arch



Trapezoid






Awning AW5540, Picture Window PW5540,  
and Preferred Sliding Glass Door SGD5570



Preferred Sliding Glass Door SGD5570



## D O O R S



Close the door  
on hurricanes,  
stray golf balls,  
and would-be  
intruders.

*“My sliding glass door is like the  
door to a bank vault. I knew my  
family and all my belongings would  
be safe during the hurricane.*

—DERRICK O., CUSTOMER



Preferred Sliding Glass Door SGD5570  
and Picture Window PW5520



## D O O R S

## Preferred Sliding Glass Door (SGD5570)

### AWARD-WINNING DOOR

- #1 in Quality Patio Doors\*

### EASY OPENING

- Smooth fingertip operation and whisper-quiet

### PANORAMIC VIEWS

- Uninterrupted views and a great source of natural light

### DUAL-POINT LOCKING SYSTEM

- Provides added security by restricting panels from being lifted off the tracks

### OPTIONAL ARCHITECTURAL ENHANCEMENTS

- Raised, curved, or contemporary handles

### OPTIONAL SCREENS

- Standard or heavy-duty



**PREFERRED SLIDING GLASS DOOR**

### STANDARD HARDWARE OPTIONS

Standard raised handle



White



Beige



Pebble Khaki



Black



Oil-rubbed Bronze



Satin Nickel

### PREMIUM HARDWARE OPTIONS

Contemporary handle



White



Black



Satin Nickel

Curved handle



White



Black



Satin Nickel

\*2019 Builder Brand Use Report.



**PREFERRED FRENCH DOOR**

## Preferred French Door (FD5555)

### AWARD-WINNING DOOR

- #1 in Quality Patio Doors\*

### EASY OPENING

- Heavy-duty hinge supports the weight of the door

### MULTI-POINT LOCKING SYSTEM

- Provides added strength and security

### MODULAR DESIGN

- Fill large openings with matching sidelites and transoms that provide additional light

### PREPPED FOR INDUSTRY-STANDARD HARDWARE

- Accommodates an array of handle and deadbolt hardware

### STANDARD HARDWARE OPTIONS

Series 800 handle

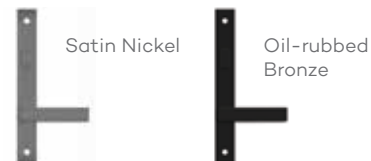


### PREMIUM HARDWARE OPTIONS

Series 100 handle



Contemporary handle



*\*2019 Builder Brand Use Report.*





Preferred French Door FD5555

## GLOSSARY OF TERMS

**ARGON GAS:** A safe, odorless, colorless, non-toxic, non-flammable inert gas that is commonly used in place of air between the glass panes of an insulated Low-E glass unit to reduce temperature transfer.

**CORROSION-RESISTANT:** Refers to how well a substance can withstand damage caused by oxidization or other chemical reactions.

**DESIGN PRESSURE:** Wind load pressure, usually expressed in pounds per square foot (psf). Equal to 2/3 of the Structural Test Load.

**ENERGY STAR®:** An independent U.S. government program that establishes a standard set of guidelines to recognize the energy efficiency of various products. ENERGY STAR® guidelines are used in conjunction with a variety of building materials, including windows and patio doors.

**FLORIDA PRODUCT APPROVAL:** A series of tests performed by a State of Florida approved testing lab to ensure certain building components meet Florida standards.

**FORCED-ENTRY RESISTANCE:** The test methods intended to establish a measure of resistance for window assemblies subjected to attacks, other than by impact.

**IMPACT-RESISTANT:** Shatter-resistant glass. When the glass breaks, the shattered pieces will adhere to the intermediate shatterproof membrane.

**INSULATING GLASS:** Window panes separated by an air or other gas-filled space to reduce heat transfer.

**INTERLAYER:** A shatterproof membrane sandwiched between two panes of glass.

**INTERNATIONAL BUILDING CODE:** A model building code developed by the International Code Council that has been adopted throughout most of the United States.

**LAMINATED GLASS:** Two panes of glass bonded together with a strong, clear interlayer.

**LAMINATED INSULATING GLASS:** Comprised of three panes of glass: two panes bonded together with a strong, clear interlayer and one pane for added insulation.

**LARGE MISSILE IMPACT:** Test used on windows and doors in which a 9-lb 2' x 4' traveling at 50 ft. per second is propelled at a speed of 34 mph into test subject.

**LOW-E (EMISSION) GLASS:** Glass with a transparent, metallic oxide coating applied onto or into a glass surface. The coating typically allows short-wave energy to pass through but reflects long-wave infrared energy, which improves the U-value.

**MIAMI-DADE NOTICE OF ACCEPTANCE:** Protocol for testing windows for impact by large or small missiles.

**MULTI-CHAMBERED FRAME:** Frame member that has multiple core construction to provide strength and insulation.

**NATIONAL FENESTRATION RATING COUNCIL (NFRC):** A non-profit organization that provides energy performance ratings on windows, doors, skylights, and attachment products.

**OUTDOOR-INDOOR TRANSMISSION CLASS (OITC):** An integer rating that provides an estimate of the sound insulation performance of a façade or building element (such as a window or door) between outdoor and indoor spaces. The higher the number, the less sound is transmitted.

**PRIVACY GLASS:** Glass that has been made translucent instead of transparent.

**SEA TURTLE PROTECTION CODE:** Protects sea turtles along the Florida coastline during nesting season by restricting the amount of light permitted through windows and doors.

**SOUND TRANSMISSION CLASS (STC):** An integer rating that provides an estimate of the sound insulation performance of an interior building partition (such as a window or door) between indoor spaces. The higher the number, the less sound is transmitted.

**TEMPERED GLASS:** Treated glass that is strengthened by reheating it to just below the melting point and then suddenly cooling it. When shattered, it breaks into small pieces. Approximately four times stronger than standard annealed glass; is required as safety glazing in patio doors, entrance doors, side lights, and other hazardous locations. It cannot be recut after tempering (annealed: retains thermal stresses caused by quenching).

**TEXAS DEPARTMENT OF INSURANCE (TDI):** A governing organization in Texas that reviews window and door products and approves that such products are tested and certified in accordance with their policies.

**ULTRA-VIOLET (UV):** The invisible rays of the spectrum that are outside of the visible spectrum at its short-wavelength violet end. Ultraviolet rays are found in everyday sunlight and can cause fading of paint finishes, carpets, and fabrics.

**VINYL:** A rigid or flexible material made of polyvinyl chloride material used in window and door frames and glazing.

**WASHABLE HINGES:** Track-type hinges on casement windows that, aside from normal operation, have the ability to slide towards frame center and allow for easy sash cleaning.

**WINDOW OPENING CONTROL DEVICE:** A device that limits the opening of a window sash to a predetermined position. The device includes a release mechanism that shall allow the sash to be fully opened and that automatically resets when a window is fully closed.





Picture Window PW5540 and Casement CA5540



INVENT. BUILD. DELIVER.

A collection of the best brands in windows and doors coming together to invent, build, and deliver the highest-quality and safest products in the fenestration industry.

#### THE PGT INNOVATIONS FAMILY OF BRANDS

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PGTWINDOWS.COM | N. VENICE, FL

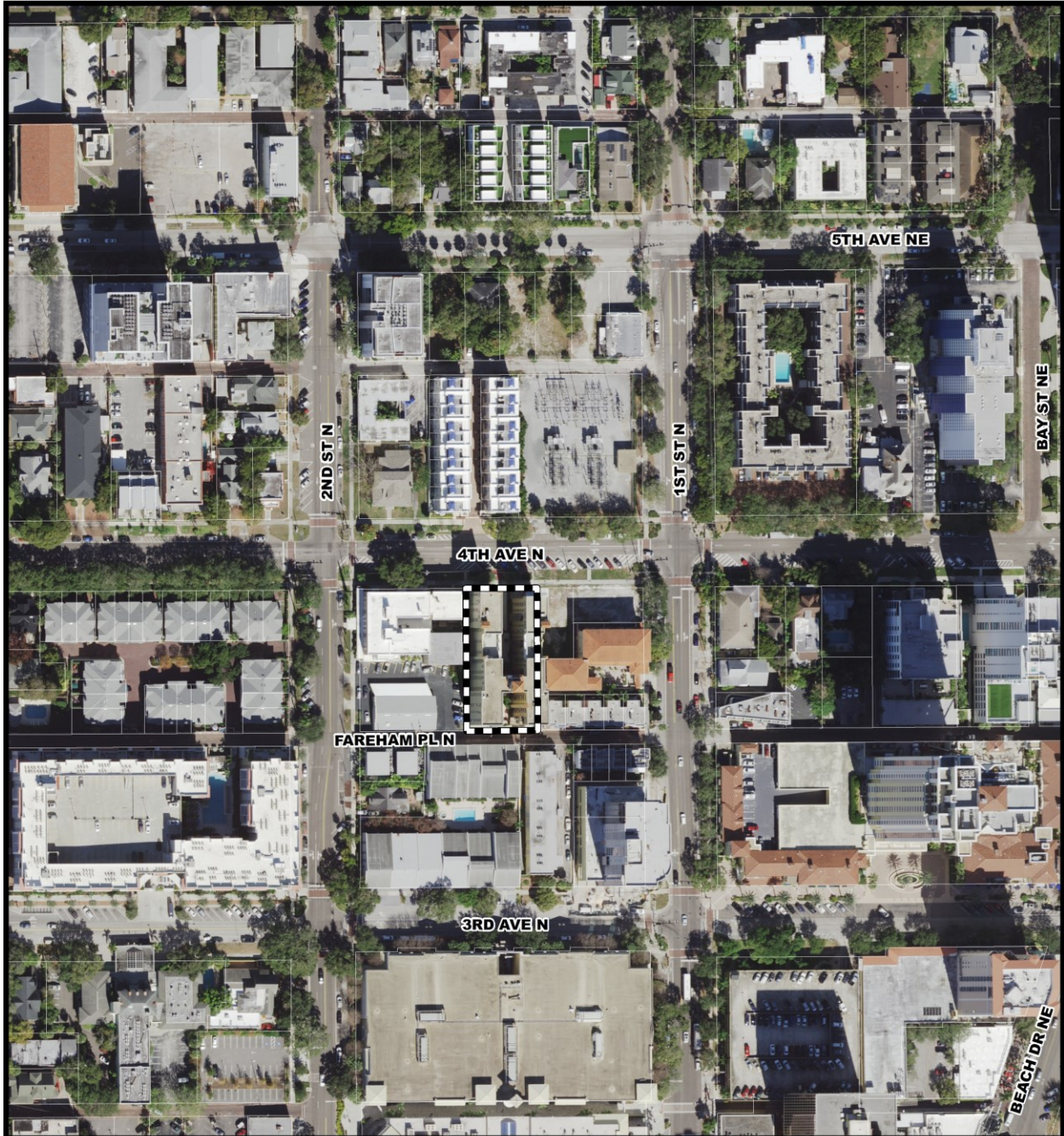
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06/20 MC0100455



# Appendix C:

## Maps of Subject Property



**Community Planning and Preservation Commission**

**130 4th Ave N**

**AREA TO BE APPROVED,**

**SHOWN IN**



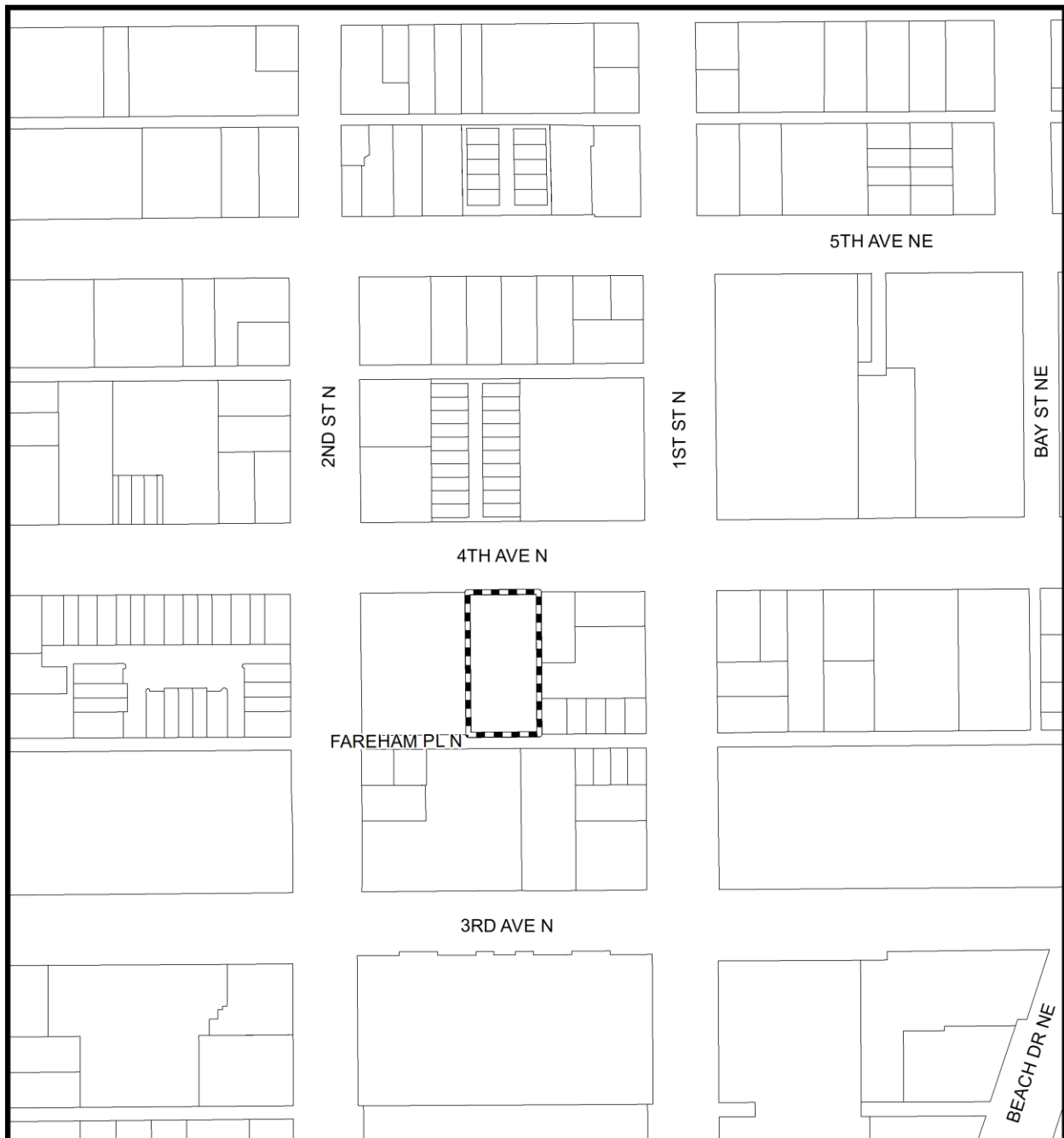
**CASE NUMBER**

**23-90200019**



**SCALE:**  
1" = 200'





**Community Planning and Preservation Commission**

**130 4th Ave N**

**AREA TO BE APPROVED,**

**SHOWN IN**



**CASE NUMBER**

**23-90200019**



SCALE:  
1" = 200'