

MARINA MASTER PLAN

FOR ST. PETERSBURG MUNICIPAL MARINA CITY OF ST. PETERSBURG, FLORIDA

CITY PROJECT NUMBER 16087-119

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TABLE OF CONTENTS

DOCUMENT VERIFICATION 2

DISCLAIMER AND ACKNOWLEDGEMENT ii

1. EXECUTIVE SUMMARY 1-1

 1.1 CoSP Municipal Marinas..... 1-1

 1.2 Oceanographic Conditions 1-2

 1.3 Market Summary..... 1-2

 1.4 Master Plan Program 1-3

 1.5 Opinion of Probable Cost 1-3

2. MISSION STATEMENT 2-1

 2.1 Public Input 2-1

 2.2 Statement..... 2-1

3. EXISTING MARINA MARKET 3-1

 3.1 Market Area 3-1

 3.2 Market Characteristics 3-2

 3.3 Market Size..... 3-3

 3.4 Slip Size..... 3-4

 3.5 Occupancy 3-4

 3.6 Dock Style 3-5

 3.7 Amenities..... 3-6

 3.8 Pricing 3-7

4. MARINA MARKET TRENDS 4-1

 4.1 Boating Trends..... 4-1

 4.2 Economic Factors 4-3

 4.3 Boating Demographics 4-4

5. PUBLIC OUTREACH 5-1

 5.1 Introduction..... 5-1

 5.2 Public Meeting..... 5-1

 5.3 Stakeholder Meeting 5-6

6. PROJECTED SLIP DEMAND 6-1

 6.1 Existing Underserved Population 6-1

 6.2 Population Growth 6-3

 6.3 Tourism..... 6-3



6.4	Commercial	6-4	10.1	North Basin.....	10-1
6.5	Summary	6-4	10.2	Central Basin.....	10-1
7.	EXISTING MARINA CONDITIONS	7-1	10.3	South Basin.....	10-1
7.1	Oceanographic Conditions	7-1	10.4	Uplands.....	10-1
7.2	Marina Facility Assessment.....	7-7	10.5	Construction Sequence	10-2
8.	MARINA PROGRAM	8-1	11.	OPINION OF PROBABLE CONSTRUCTION COSTS	11-1
8.1	Docks	8-1	11.1	Alternative 1 – All Floating Docks.....	11-1
8.2	Utilities	8-5	11.2	Alternative 2 – All Fixed Docks	11-2
8.3	Ancillary Amenities.....	8-8	11.3	Alternative 3 – Mixed Fixed and Floating Docks	11-2
9.	MASTER PLAN	9-1	11.4	Breakwaters.....	11-3
9.1	Schematic Master Plan.....	9-1	12.	REFERENCES	12-1
9.2	Marina Slip Layouts.....	9-3	Appendix A – REGIONAL MARINAS		A-1
9.3	Marina Uplands.....	9-9	Appendix B – OPINION OF PROBABLE CONSTRUCTION COST		B-2
10.	PHASING PLAN	10-1			

LIST OF FIGURES

Figure 1-1:	St. Petersburg Municipal Marina Location Map	1-1	Figure 3-2:	Marinas in Tampa Bay Area.....	3-2
Figure 3-1:	Tampa Bay Geographic Marina Market Region	3-1	Figure 3-3:	Tourism Attractions.....	3-3

Figure 3-4: Marina Markets in Tampa Bay 3-3	Figure 6-5: Florida Tourism Projection 6-4
Figure 4-1: U.S. Boat Registration Trends (total and >26')..... 4-1	Figure 7-1: St. Petersburg Area Bathymetry..... 7-1
Figure 4-2: U.S. Boat Registration Trends (total and >40')..... 4-2	Figure 7-2: Predicted and Observed Tide Elevation 7-2
Figure 4-3: Tampa Bay Region Boat Registration Trends (all boats) 4-2	Figure 7-3: Wind Rose..... 7-3
Figure 4-4: Tampa Bay Region Boat Registration Trends (>26') 4-2	Figure 7-4: Hurricane Tracks..... 7-5
Figure 4-5: Tampa Bay Region Boat Registration Trends (>40') 4-3	Figure 7-5: Variation of rainfall at the project site. 7-5
Figure 4-6: Real GDP Growth and U.S. Registered Boat % Growth4-3	Figure 7-6: Mean Sea Level Trend [ft.] at St. Petersburg NOAA Tidal Station. 7-6
Figure 4-7: Oil Price Fluctuations and U.S. Registered Boat Growth 4-4	Figure 7-7: Relative Sea Level Change Projections for Tampa Bay7-7
Figure 4-8: Participation in Recreational Boating Activities – U.S.4-5	Figure 8-1: Beam vs. LOA..... 8-2
Figure 5-1: Community Engagement Survey (front) 5-2	Figure 8-2: Draft vs. LOA..... 8-5
Figure 5-2: Community Engagement Survey (back) 5-2	Figure 9-1: Schematic Plan 9-2
Figure 5-3: Stakeholders Meetings Survey..... 5-7	Figure 9-2: Master Plan North Basin..... 9-4
Figure 6-1: Tampa Bay Boat Ownership 6-2	Figure 9-3: Master Plan Central Basin 9-6
Figure 6-2: Tampa Bay Boats Per Capita 6-2	Figure 9-4: Master Plan South Basin..... 9-8
Figure 6-3: Tampa Bay Regional Population Projection 6-3	Figure 9-5: Master Plan Uplands 9-10
Figure 6-4: Florida Population Projection by Age..... 6-3	

LIST OF TABLES

Table 3-1:	Comparable Marinas	3-4	Table 8-1:	Recommended Slip Mix.....	8-1
Table 3-2:	Comparable Marinas Slip Count.....	3-4	Table 8-2:	Beam vs. LOA.....	8-3
Table 3-3:	Dock Configurations	3-5	Table 8-3:	Recommended Double Slip Width	8-3
Table 3-4:	Available Amenities	3-6	Table 8-4:	Recommended Single Slip Width	8-4
Table 3-5:	Wet Slip Lease Price	3-7	Table 8-5:	Recommended Fairway Width	8-4
Table 4-1:	Length of Boat Operated Most Often by Age – U.S.	4-5	Table 8-6:	Draft vs. LOA.....	8-5
Table 4-2:	Tampa Bay Age Demographics.....	4-5	Table 8-7:	Typical Power Requirements.....	8-6
Table 5-1:	Summary of Meetings	5-1	Table 9-1:	North Basin Commercial Slips	9-3
Table 6-1:	Projected Additional Wet Slip Demand.....	6-4	Table 9-2:	North Basin Mooring Anchor Sizes.....	9-3
Table 7-1:	Tidal Datum Elevations Relative to MLLW	7-2	Table 9-3:	Central Basin Slip Mix.....	9-5
Table 7-2:	Wind Speed (1-Min Average) Recurrence Intervals	7-3	Table 9-4:	South Basin Slip Mix	9-7
Table 7-3:	Wave Characteristics Using 10 mps Wind Speed....	7-4	Table 11-1:	Alternative 1 OPC	11-1
Table 7-4:	Hurricanes by Category	7-4	Table 11-2:	Alternative 2 OPC	11-2
Table 7-5:	Predicted Storm Surge Elevations.....	7-5	Table 11-3:	Alternative 3 OPC	11-2
Table 7-6:	Global SLR Scenarios (Source: NOAA)	7-6	Table 11-4:	Breakwaters OPC.....	11-3
Table 7-7:	Relative Sea Level Change for Tampa Bay.....	7-7			

1. EXECUTIVE SUMMARY

As the global boating market continues to evolve with increasing numbers of larger, wider boats, the City of St. Petersburg Municipal Marina, designed and constructed in the 1960’s, requires modernization to continue to effectively serve the boating population. The City of St. Petersburg (City) retained Moffatt & Nichol (M&N) to identify existing and future regional boating needs and to develop a master plan to meet these needs at the Municipal Marina. This master plan report details the

existing and projected future boating market and presents a master slip layout that guides the marina through the next phase of its development.

Trends identified in the St. Petersburg regional boating market demand, vessel class and size, slip pricing, support facilities, and marina amenities are used to develop programming and a phased master plan for the Municipal Marina. Specific goals of the master plan, outlined by the City, include identifying means to improve activity along the marina waterfront, especially along 2nd Avenue, better linking downtown and Beach Drive to the Municipal Pier, short term transient boat slips to provide access to the Pier and downtown areas, inclusion of berthing options for megayachts, and long-term development options that are economically sustainable.

1.1 COSP MUNICIPAL MARINA

The St. Petersburg Municipal Marina, shown in Figure 1-1, consists of approximately 660 boat slips in the Central and South Basins and a 13-slip mooring field in the North Basin. The Central Basin also includes the 104 slip St. Petersburg Yacht Club and the North Basin is home to the 74 slip Vinoy Marina.

Adjacent to the marina is the City of St. Petersburg Pier, a tourism and recreation venue with restaurants, attractions, and shops. Demen’s Landing Park, which includes public parking and green space, is located between the Central and South Basins. Vinoy Park, comprised of additional green space, is adjacent to the North Basin. West of the marina basin are Straub Park and a series of restaurants and shops along Beach Drive.

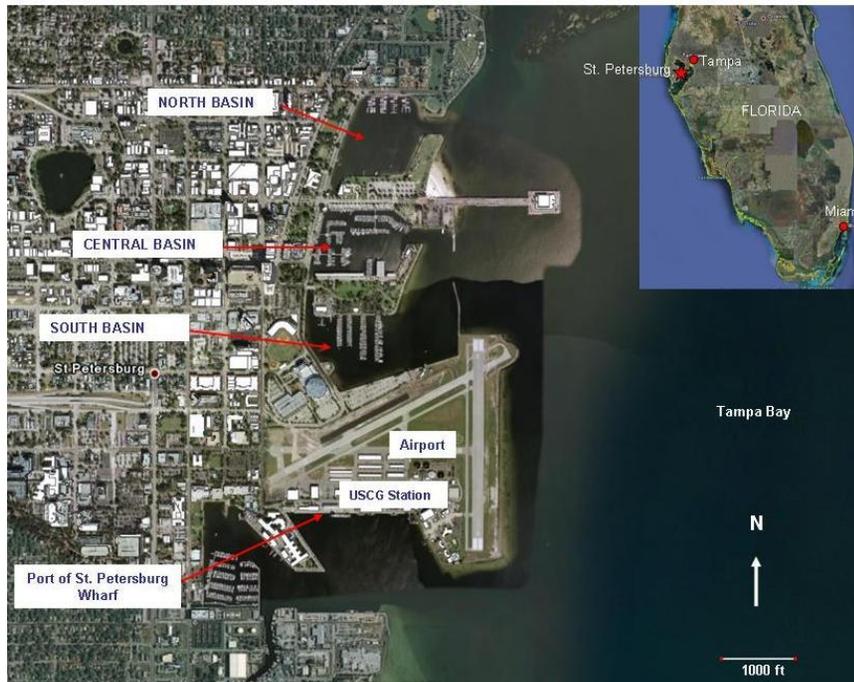


Figure 1-1: St. Petersburg Municipal Marina Location Map

The Municipal Marina shares Demens Landing with the St. Petersburg Sailing Center. The center is world renowned for training sailors and offers programs for children and adults learning to sail. The sailing center struggles with onsite parking, especially during regattas and similar activities, and in water space for their growing fleet of sailboats. The sailing center also utilizes the existing open areas near the marina entrance and near the sailing center docks for training, especially during rougher sea conditions when access to the bay is limited.

The Municipal Marina primarily serves year-round local (Tampa Bay) residents and seasonal boaters, along with some commercial users (charters, brokers). The marina also has capacity for approximately 100 live-aboard residents. Dockside amenities at the marina include electricity, potable water, cable, and internet while landside amenities include restrooms, showers, laundry, and a ships store. Additionally, the marina provides a fuel dock and in-slip sewage pump-out services via a pump-out boat.

1.2 OCEANOGRAPHIC CONDITIONS

The Municipal Marina is located on the west coast of Tampa Bay in an area that is exposed to waves propagating across Tampa Bay. The eastern, seaward face of the Central and South Basins are protected by rock breakwaters that attenuate waves approaching the marina basin; however, the navigation entrance to the marina is through a wide gap between the breakwaters that allows waves to reach the entrance channel to the Central Basin as well as Pier 5 in the south basin, under some conditions. Similarly, the North Basin entrance is open and does not prevent waves from the east entering the basin, resulting in significant wave agitation in the northern half of the basin and reflected wave agitation in the southern half.

During a storm surge event, likely associated with a tropical storm, the marina basins are subject to water levels that exceed the surrounding land elevations. During these conditions the fixed docks and dock utilities may be submerged and boats remaining in the basin could be subject to increased wave activity.

1.3 MARKET SUMMARY

The Tampa Bay marina market, defined for this study as the area from northern Manatee County through Pinellas County and including the Tampa Bay coastline of Hillsborough County, is comprised of over 100 marinas and dry storage facilities offering berthing to the public. In addition to these marinas are numerous private yacht clubs and private residential docks.

Analysis of the market shows steady growth in the number of boats over 40 ft long offset by recent decreases in the number of boats less than 40 ft long. The overall market is projected to recover to historic trend levels and support 1,450 to 1,800 additional wet slips by the year 2030.

Boat dimension statistics show that many manufacturers are producing vessels with wider beams. These boats are often too wide for the existing boat slips, requiring some boats to use wider slips intended for longer boats. In addition, power demand for boats using shore power is increasing as smaller boats include more amenities.

Economic trends suggest that marina occupancy is somewhat insulated from recession as most large boats (>35 ft) are difficult to trailer and store on land. However, fuel prices have a significant impact on use and purchases of boats. When fuel prices rise, existing boat owners tend to maintain their boat slip lease as a place to store the boat while reducing expenditures on ancillary services – repairs, fuel, provisioning - as a way to control costs.

Monthly leases in the market range from \$6.20/ft/month at Gulfport Municipal Marina to \$28.00/ft/month at the Vinoy Resort Marina. In the Municipal Marina, monthly rates span from \$4.40/ft/month for a quay wall slip for vessel up to 22' to \$14.25 for long term leases and up to \$22.10/ft/month for a transient slip. Market wide daily lease rates range from \$1.40/ft/day to \$5.00/ft/day. The St. Petersburg Municipal Marina daily lease rates range from \$1.95 to \$2.02/ft/day.

Slip lease prices within the market are driven by location and amenities. Proximity to boating destinations and attractions, good security, and in-slip pumpout are several factors that generate higher lease prices.

1.4 MASTER PLAN PROGRAM

Due to the aging infrastructure of the existing marina, the master plan includes phased replacement of the existing fixed concrete docks in the Central Basin and South Basin with new fixed or floating concrete docks in modified layouts to improve efficiency and reflect the current mix of boats in the market. The new layouts include wider slips and industry standard fairways and turning basins.

The Central Basin master plan is configured with the layout resulting in the number of slips changing from 383 to 373 plus 14 courtesy slips. The slip layout includes an independent set of commercial docks along Bayshore Drive and increased transient boat capacity. The transient docks are configured for docking multiple smaller boats or a megayacht if present. The master plan maintains some covered slips in the central basin that can command premium lease rates.

The South Basin master plan includes replacing the existing Piers 1 through 4 with new, wider, fixed or floating docks designed to accommodate beamier boats and upgrading power to support additional demand. The number of slips reduces from 273 to 248 long term slips

plus 11 courtesy berths. The total number of slips throughout the marina reduces from 656 to 646.

The North Basin master plan includes development of commercial berths along the south wall of the basin in support of ferries, water taxis, charters, dinner cruises, and other commercial vessels. This location provides high visibility from 2nd Avenue and access to public parking to support these businesses. The plan also includes an exhibition dock along Spa Beach Park to host visiting tall ships and other similar vessels.

The upland master plan includes reconfiguration of parking to increase the number of available parking stalls. Boaters will be supported by new facilities throughout the marina including updated facilities located in the Boater's Lounge (former marina management office).

The master plan includes modifications to the Central and South Basin entrance jetties/breakwaters. Additional "wings" for the jetties/breakwaters at the marina entrances (Central and North Basins) are necessary to facilitate new transient berthing as well as to further protect the docks and boats throughout the marina.

1.5 OPINION OF PROBABLE COST

The following table represents the opinion of probable construction cost for each basin area based on dock type. The costs are presented as a range to reflect the level of design and available information.

Description	NORTH YACHT BASIN			CENTRAL YACHT BASIN			SOUTH YACHT BASIN			COST ESTIMATE SUMMARY TOTALS		
	All Floating Docks	All Fixed Docks	Mixed Fixed & Floating Docks	All Floating Docks	All Fixed Docks	Mixed Fixed & Floating Docks ^(1,)	All Floating Docks	All Fixed docks	Mixed Fixed & Floating Docks	All Floating Docks	All Fixed Docks	Mixed Fixed & Floating Docks ^(1,)
Commercial & Exhibition Docks ^(2,)	\$1,250,000	\$1,750,000	\$1,250,000							\$1,250,000	\$1,750,000	\$1,250,000
North Docks				\$11,000,000	\$13,900,000	\$11,000,000				\$11,000,000	\$13,900,000	\$11,000,000
Central Docks				\$9,850,000	\$9,500,000	\$9,500,000				\$9,850,000	\$9,500,000	\$9,500,000
Piers 1-4 & New Pier 5 Fingers ^(3,)							\$9,500,000	\$12,000,000	\$9,500,000	\$9,500,000	\$12,000,000	\$9,500,000
South Courtesy Docks							\$500,000	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000
<i>Docks Subtotal</i>										\$32,100,000	\$37,650,000	\$31,750,000
New Building Structures Allowance				\$1,350,000	\$1,350,000	\$1,350,000				\$1,350,000	\$1,350,000	\$1,350,000
Existing Building Upgrades Allowance							\$500,000	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000
Civil Works (Paving, Sidewalks, Fences, Gates)	\$300,000	\$300,000	\$300,000	\$2,000,000	\$2,000,000	\$2,000,000	\$500,000	\$500,000	\$500,000	\$2,800,000	\$2,800,000	\$2,800,000
<i>Buildings and Civil Works Subtotal</i>										\$4,650,000	\$4,650,000	\$4,650,000
Bulkheads	\$1,375,000	\$1,375,000	\$1,375,000	\$3,150,000	\$3,150,000	\$3,150,000	\$125,000	\$125,000	\$125,000	\$4,650,000	\$4,650,000	\$4,650,000
Breakwaters	\$2,250,000	\$2,250,000	\$2,250,000	\$4,200,000	\$4,200,000	\$4,200,000				\$6,450,000	\$6,450,000	\$6,450,000
Sub-Total	\$5,175,000	\$5,675,000	\$5,175,000	\$31,550,000	\$34,100,000	\$31,200,000	\$11,125,000	\$13,625,000	\$11,125,000	\$47,850,000	\$53,400,000	\$47,500,000
Indirect Costs (10%)	\$517,500	\$567,500	\$517,500	\$3,155,000	\$3,410,000	\$3,120,000	\$1,112,500	\$1,362,500	\$1,112,500	\$4,785,000	\$5,340,000	\$4,750,000
Contingency (30%)	\$1,552,500	\$1,702,500	\$1,552,500	\$9,465,000	\$10,230,000	\$9,360,000	\$3,337,500	\$4,087,500	\$3,337,500	\$14,355,000	\$16,020,000	\$14,250,000
Total	\$7,245,000	\$7,945,000	\$7,245,000	\$44,170,000	\$47,740,000	\$43,680,000	\$15,575,000	\$19,075,000	\$15,575,000	\$66,990,000	\$74,760,000	\$66,500,000
Plus 30%	\$9,418,500	\$10,328,500	\$9,418,500	\$57,421,000	\$62,062,000	\$56,784,000	\$20,247,500	\$24,797,500	\$20,247,500	\$87,087,000	\$97,188,000	\$86,450,000
Minus 20%	\$5,796,000	\$6,356,000	\$5,796,000	\$35,336,000	\$38,192,000	\$34,944,000	\$12,460,000	\$15,260,000	\$12,460,000	\$53,592,000	\$59,808,000	\$53,200,000

2. MISSION STATEMENT

The marina’s mission statement helps define the principles and values that the marina strives to incorporate in the master plan.

2.1 PUBLIC INPUT

The following terms were used during public meetings and interactions to describe the Municipal Marina

- Jewel of Downtown
- Everyman marina
- Community Marina
- Front door to the City
- Accessible waterfront
- Accessible to all
- Protect the Environment
- Encourage and teach the next generation of boaters
- Welcome visitors to the City
- Secure for boaters and marina residents

2.2 STATEMENT

The Municipal Marina is a world-renowned destination located in the heart of Downtown St. Petersburg, facilitating water access for residents and visitors while providing a stunning visual backdrop from the City. The marina’s mission is to be accessible to all while also serving as a world-class marina for yachtsmen. Keys to this mission are:

- Public open areas wherever practical
- Secure, modern facilities for boaters and marina residents
- Respect and protection for the environmental
- Encouragement and support for teaching the next generation of boaters

3. EXISTING MARINA MARKET

Cataloguing the existing regional marina market provides insight into market capacity and local boating trends. The Tampa Bay marina market consists of public and private marinas and private yacht clubs. The existing market analysis is used to evaluate the current marina slip demand and to project future demand in the market region.

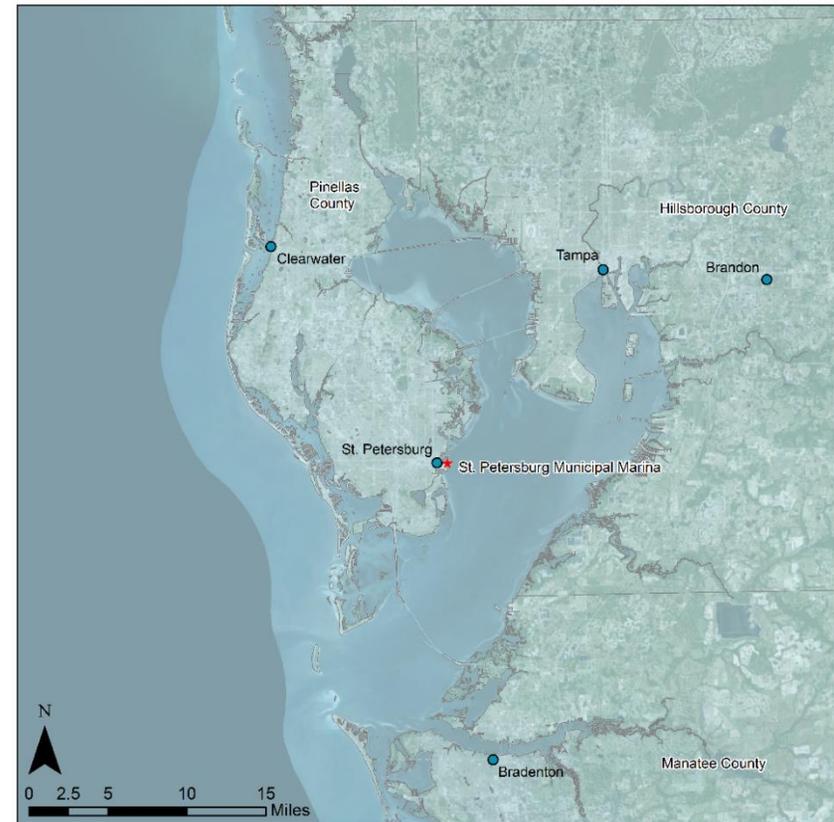
3.1 MARKET AREA

The Tampa Bay regional marina market includes the areas encompassing Tampa Bay, St. Joseph Sound, Boca Ciega Bay, Manatee River and the Gulf of Mexico along Pinellas, Hillsborough, and Manatee County (Figure 3-1). This overall market area is subdivided geographically into two sub-market areas as follows: 1) Tampa Bay, representing the marinas with boating activity mainly focused in the bay; and 2) the Gulf-Intracoastal market area generally representing the marinas along the Gulf of Mexico/Intracoastal and the adjoining water bodies (St. Joseph Sound and Boca Ciega Bay mainly).

Marinas located in the northern Pinellas and Sarasota County are considered too far from the subject marina to directly compete or represent market conditions and are not included in this analysis.

Market area geographic boundaries are generally defined by the distance that local boaters are willing to travel to use a marina facility. The geographic area helps identify the competing and comparable marinas within that area.

Studies indicated that typical day boaters are willing to travel by car up to one hour from home to use their boat and weekend boaters will travel



Source: M&N GIS

Figure 3-1: Tampa Bay Geographic Marina Market Region

much farther – up to 5 or 6 hours. Surveys support these limits, confirming the geographic marina market region centered on the City of St. Petersburg encompasses boaters and marinas around Tampa Bay (Figure 3-2). Marinas within this geographic area compete for the

regional boating population. Boaters living or working outside of a one hour driving radius are not expected to comprise a significant portion of the long-term berthing users within the market. However, transient boaters are expected to visit from outside of this market area, adding to the local boating population.

targeted boat owner demographic. Different demographic types include marinas supporting long term slip leases, liveaboard residents, yacht clubs, and tourism boaters. Analysis shows approximately 112 marinas and boating facilities (Figure 3-2) in the market area including private marinas, residential marinas, municipal marinas, and yacht clubs.

3.2 MARKET CHARACTERISTICS

Boating in Tampa Bay occurs year round with two distinct seasons; 1) the summer boating season catering to residents and regional boaters and lasting from May through November, and 2) the winter season catering to residents along with “snow birds” and tourists from colder climate states visiting for longer periods of time and lasting from approximately December through April. The summer boating season generally corresponds to the hurricane season. Due to insurance requirements, many of larger boats and megayachts leave the market area during these months.

Regional boating activities generally include sailing, cruising, and fishing along with other water sports. St. Petersburg also attracts transient boaters from outside of the market for sailing races and regattas as well as general tourism, with cruisers visiting the sites throughout region, some of which are shown in Figure 3-3. The majority of marinas in the Tampa Bay market do not specifically reserve transient slips but allow short-term leasing to transient boaters if space is available. Exceptions are usually limited to marinas that have applied for and received grant funds to construct docks that are restricted to transient use to encourage boating (Boating Infrastructure Grant Program).

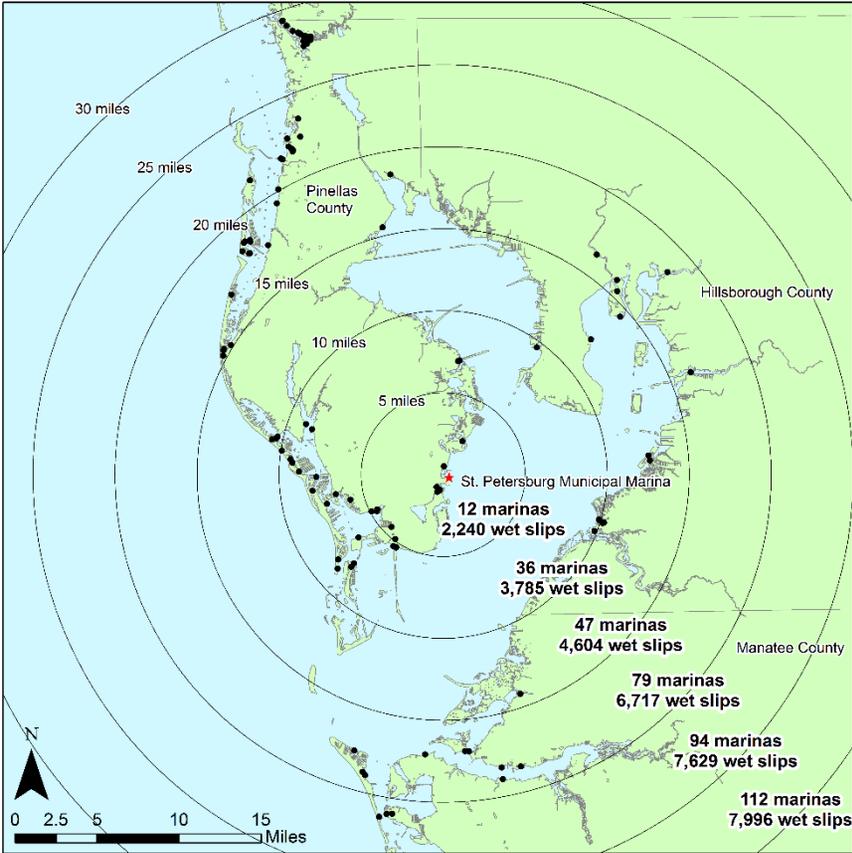


Figure 3-2: Marinas in Tampa Bay Area

Marina market areas are also defined based on marina type as distinguished by the type of associated upland development and the

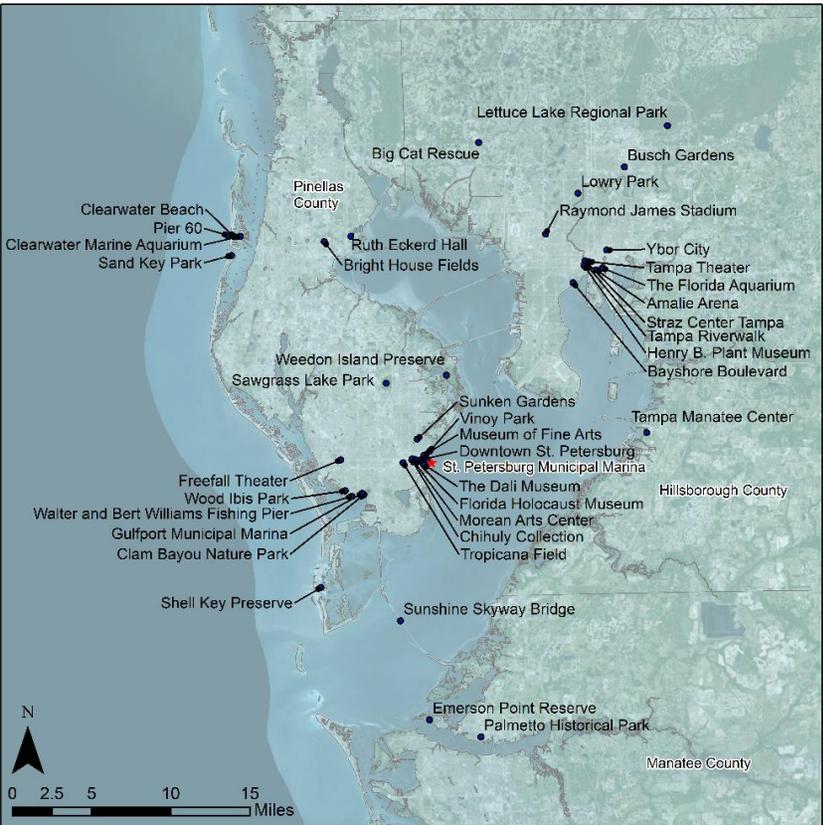


Figure 3-3: Tourism Attractions

3.3 MARKET SIZE

The Tampa Bay marina market is comprised of approximately 112 marinas representing approximately 8,000 wet slips and 6,500 dry storage slips ranging in size from 20 ft. to 60 ft. in length with “T-head” slips and side-tie areas for larger boats up to 225 ft. Private residential docks and upland boat storage facilities lacking waterfront access (trailer boat storage) are not included in these slip counts. Data

concerning these facilities were collected via site visits, phone calls and internet web sites.

The 112 identified marinas within the Tampa Bay and the Gulf-Intracoastal marina submarkets are shown in Figure 3-4. Figure 3-2 shows the number of marinas and wet slips within different distances from St. Petersburg.



Figure 3-4: Marina Markets in Tampa Bay

Of the 100+ boating facilities in the marina market, 8 are identified as competing or comparable to the CoSP Municipal Marina based on marina type, location, and amenities. These marinas comprise more than a quarter of the slips in the market outside of the CoSP Municipal Marina. The 8 comparable marinas are numbered in Figure 3-4 and are listed in Table 3-1.

The marinas in the Tampa Bay market represent 26% of the marinas in the region but they host 37% of the available wet slips. The average marina in the Tampa Bay Market has 101 wet slips, while marinas in the Gulf-Intracoastal Market average 59 wet slips.

The CoSP Marina is the largest marina (most slips) in the region.

Table 3-1: Comparable Marinas

No.	Marina Name	Wet Slips
0	St. Petersburg Municipal Marina	660
Tampa Bay Marina Market		
1	Vinoy Resort Marina	74
2	The Harborage Marina at Bayboro	340
3	Westshore Yacht Club	149
Gulf-Intracoastal Marina Market		
4	Clearwater Municipal Marina*	259
5	Madeira Beach Municipal Marina	93
6	Gulfport Municipal Marina	250
7	Pasadena Marina	125
8	Maximo Marina	300

*The slip count for the Clearwater Municipal Marina includes the Beach Marina and the Harbor Marina

3.4 SLIP SIZE

The number and size of slips for comparable marinas in the market area, grouped by sub-area, is shown in Table 3-2. The typical slip size in the CoSP Marina is 36.9 ft. while the other marinas in Tampa Bay average 49.9 ft. and in the Gulf-Intracoastal marina sub market it is 38.6 ft.

For the comparable marinas, slips in the market are generally less than 60 ft. (94%) with most (76%) located in the Tampa Bay submarket.

The highest percentage of slips in the Tampa Bay market are in the 40 to 49 ft. range followed by the 30 to 39 ft. range. The highest percentage of slips in the Gulf-Intracoastal sub-market are 30 to 39 ft. followed by 40 to 49 ft.

Table 3-2: Comparable Marinas Slip Count

No.	Marina Name	Wet Slips	Percentage of slips by length [ft.]						Side Tie [ft.]
			<20	20-29	30-39	40-49	50-59	>60	
0	St. Petersburg Municipal Marina	660	0	235	163	198	43	21	-
Tampa Bay Marina Market									
1	Vinoy Resort Marina	74	0	3	11	60	5	7	-
2	The Harborage Marina at Bayboro	340	0	0	126	104	34	14	1670
3	Westshore Yacht Club	149	0	0	0	12	86	42	720
Gulf-Intracoastal Marina Market									
4	Clearwater Municipal Marina	259	0	11	51	102	77	18	0
5	Madeira Beach Municipal Marina	93	0	46	47	0	0	0	220
6	Gulfport Municipal Marina	250	0	16	129	105	0	0	330
7	Pasadena Marina	125	0	52	42	27	4	0	120
8	Maximo Marina	300	0	54	67	54	113	12	380

*The slip count for the Clearwater Municipal Marina includes the Beach Marina and the Harbor Marina

3.5 OCCUPANCY

Marina slips throughout the Tampa Bay and Gulf-Intracoastal submarkets area are generally more than 90% occupied and some marinas currently have waitlists for slips greater than 30ft.

For the CoSP Municipal Marina, there are currently 212 boats waiting for a slip with a maximum anticipated waiting time of 36 months. The most requested slips are the Type B slips (up to 44ft), with 60 registered boats on the waitlist followed by the Type A slips (up to 55ft) with 41 and the Type C (up to 34ft) with 27 registered boats waiting for a slip. The marina currently has about 20 vacant slips that, depending on the size, can be filled from the waiting list. The available slips vary in size from 28 to 55 ft with some of the sizes not having any boats on the waiting list

Covered SY slips (up to 37ft) have a typical waiting period of 1 month while the pier-end slips are currently at 36 months. Most of the boat owners on the waiting list are non-residents of the City of St. Petersburg (58%).

3.6 DOCK STYLE

Marina docks may be either fixed or floating structures and can be constructed of a variety of materials including wood, concrete, metal, and composite materials. The type of dock is selected based on environmental conditions and owner preferences. Environmental factors that influence dock type include water level fluctuation, water depth, wave climate, and currents. Boater preferences, cost, and durability also may be considered.

In areas where water levels fluctuate more than 3 feet, floating docks are preferred as they provide a constant 1 to 2 foot deck elevation above the water surface, facilitating boat access.

Among the comparable marinas, the slips are a mixture of both fixed and floating (60% and 40% respectively) with concrete being the most common material. The most common dock configuration is double slip floating concrete docks with 4 of the 10 comparable marinas having this

type (Harborage Marina, Westshore Yacht Club, Clearwater Harbor Marina and Maximo Marina).

All the comparable marinas include docks configured as “double loaded” slips with two boats between each set of finger piers. Side-tie docks are common for staging at fuel areas and boat launches and ramps. Half of the comparable marinas have slips with full length finger docks. Shorter fingers save construction cost but many boaters prefer the full length finger for easier boat access and docking. Table 3-3 summarizes the frequency of docks by type, material, and style in the market.

Table 3-3: Dock Configurations

Dock Type	
Fixed	6
Floating	4
Deck Material	
Wood	3
Concrete	7
Composite	-
Aluminum	-
Dock Style	
Single	-
Double	10
Alongside	-

Current yacht construction trends show that many vessels are being built with wider beams. Yacht builders are increasing the usable square footage on vessels by increasing widths up to 25% without increasing the length proportionally.

Most of the existing slips in the market are older and are not designed to accommodate the modern vessels using the slips. Boaters report requiring slips significantly longer than their boat to provide sufficient width.

3.7 AMENITIES

Seasonal slip users and transient boaters generally have different levels of need for marina amenities. The amenities that marinas provide influences the type of boater that frequents the facility.

Typical marina amenities that appeal to all boaters include electricity (shore power), potable water, sewage pump-out, and internet available at the slips. Amenities also typically include landside facilities such as parking and restrooms. Transient and liveaboard boaters also desire showers and laundry services as well as transportation options, restaurants, and even hotels for time away from their boat.

Table 3-4 shows the frequency of availability for amenities in the market. Ice, potable water, showers and shore power are provided by around 70% of the marinas. The predominant marina slip in the market area is for boats less than 40 ft, and power is provided accordingly with 30 amp power available at most slips, with some marinas offering 50 amp power and only a couple of marinas offering 100 amps. The 50 and 100 amp services are offered only at a few slips.

Fuel is offered at more than half of all marinas. Fuel sales generate additional revenue for the marina and is convenient for boaters to refuel at their home marina. Smaller boats with outboard motors (<40 ft) generally use gas while larger vessels require diesel fuel.

In addition to water and power, most marinas offer ice machines and showers facilities. Showers and laundry facilities are typically found in transient and liveaboard marinas where boaters are more likely to stay overnight on their boats.

Sanitary pump-outs are becoming a more prevalent amenity at marinas and benefit the marine environment by decreasing the number of vessels that illegally empty waste into open water or the marina basins. Half of the marinas in Tampa Bay offer this amenity.

Internet, laundry facilities, telephone and satellite or cable TV are non-essential amenities that are used mainly by boaters staying overnight on their boats. Less than half of the marinas in the market do not offer these amenities.

Regarding upland amenities for boaters, less more than half of

the marinas are connected to an onsite restaurant and just under half of them are connected to a bar – a popular stop for boaters at the end of the day. Finally, 39 marinas in Tampa Bay have a swimming pool and 37 include a hotel. These amenities are generally available in the vicinity of marinas in the more urban areas.

Parking in close proximity to the marinas does not appear to be an issue in the market area.

Table 3-4: Available Amenities

Amenity	% of Marinas
Ice Machine	75%
Potable Water	74%
Showers	72%
Electric	68%
Restaurant	64%
Gas	55%
Sanitary Pumpout	50%
Laundry Facilities	50%
Internet	46%
Diesel	46%
Bar	45%
Shopping	41%
Pool	35%
Hotel	34%
TV/Cable	31%
Telephone	28%
Water Sports	13%

3.8 PRICING

Slip lease prices within the market correlate with location and amenities offered. Proximity to boating destinations and attractions, good security, and newer facilities are several factors that generate higher lease prices. The ranges of daily and monthly rates are shown by market area in Table 3-5 all converted to price per foot per day or month.

The majority of slips leased in the Tampa Bay market area are leased monthly. Some marinas offer discounts for longer term commitments. Rates typically vary by length of slip and in some cases by width of slip.

Wet slip leases exhibit a wide range of prices. In the Municipal Marina, monthly rates span from \$4.40/ft/month for a quay wall slip for vessel up to 22' to \$14.25 for long term leases and \$22.10/ft/month for a transient slip.

Monthly leases range from \$6.20/ft/month at Gulfport Municipal Marina to \$28.00/ft/month at the Vinoy Resort Marina. Market wide daily lease rates range from \$1.40/ft/day to \$5.00/ft/day. The St. Petersburg Municipal Marina daily lease rates range from \$1.95 to \$2.02.

In 2009 and 2010, dockmasters reported lower long term slip lease occupancy and lower transient dockage revenue due to the recession and resulting economic conditions. Boaters chose to not use their boats as a means to save money. Revenue from long term slip leases for larger boats (>35 feet) remained steadier during the down economy due to the

difficulty in moving and storing these larger boats out of the water. In some marinas the number of liveaboards increased during the 2008 recession as in some cases, liveaboards can be a cheaper option when compared to conventional housing.

Marinas generally kept slip lease prices steady until recent years when the economy sufficiently stabilized and rates were increased. Marina operators also reported that ancillary revenue from items such as gas, dry goods and repairs generally decreased during the recession but returned to pre-recession levels in recent years.

Table 3-5: Wet Slip Lease Price

No.	Marina Name	Rate	
		/ft/day	/ft/mo
0	St. Petersburg Municipal Marina	\$1.95 - \$2.02	\$4.40 - \$14.25
Tampa Bay Marina Market			
1	Vinoy Resort Marina	\$2.75 - \$3.50	\$23.00 - \$28.00
2	The Harborage Marina at Bayboro	\$2.15 - \$5.00	\$17.00 - \$18.00
3	Westshore Yacht Club	\$3.00	\$10.00
Gulf-Intracoastal Marina Market			
4	Clearwater Municipal Marina	\$2.00	\$8.5 - \$15.00
5	Madeira Beach Municipal Marina	\$1.40	\$9.00 - \$11.00
6	Gulfport Municipal Marina	-	\$6.20 - \$9.80
7	Pasadena Marina	-	\$15.71
8	Maximo Marina	\$1.55	\$8.00

4. MARINA MARKET TRENDS

Trends in the U.S. boating market as well as correlations between boat ownership and major economic indicators provide guidance on potential marina market growth. The potential marina market includes the number and size of slips expected to be supported by the market in the future.

Trends include:

- National boat registration trends
- State boat registration trends
- GDP and fuel price trends
- Demographic trends

These trends are further analyzed in the following.

4.1 BOATING TRENDS

Boats in the U.S. are registered and licensed by the U.S. Coast Guard or the state of residence. The number of registered boats directly relates to boat ownership and boat use which affects marina slip demand.

Analysis of U.S. boat registration statistics, shown in Figure 4-1, indicates that overall flat trend in the 2000's was followed by a declining trend after 2008. This decline is attributed to economic instability in the U.S. combined with rising fuel prices.

In contrast to the recent flat or downward trend in overall boat registrations, the data also shows overall growth in the number of boats greater than 26 ft. and 40 ft. (Figure 4-1 and Figure 4-2). These trends are consistent with boat slip demand throughout the U.S. as reported by dockmasters and industry analysts who indicate that smaller slips are

currently vacant or are last to be filled while wait lists exist in many marinas for larger (>40 ft) slips.

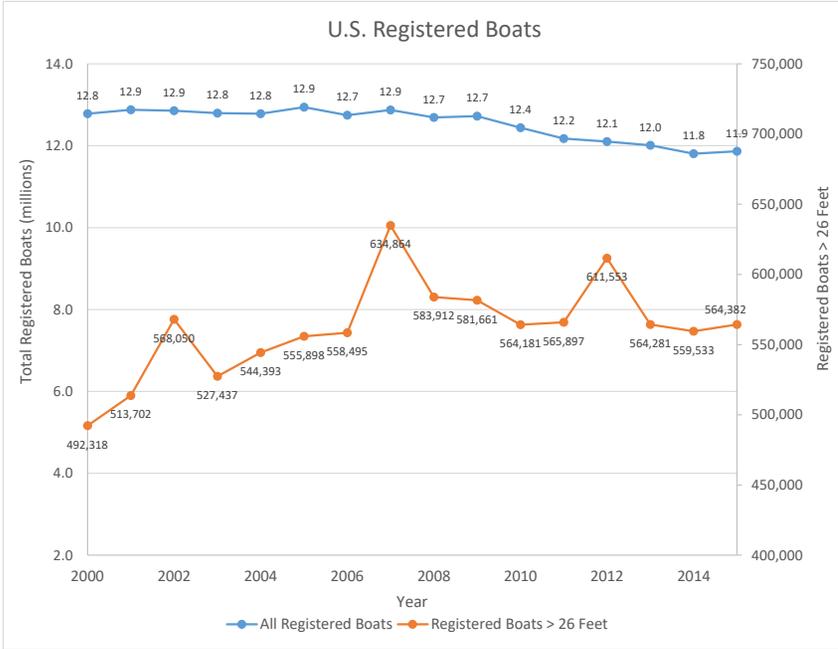


Figure 4-1: U.S. Boat Registration Trends (total and >26')

Boat registrations in Tampa Bay (Figure 4-3) followed trends similar to the national trends with total boat registrations remaining constant from 2000-2008 and falling after that year due to the economic crisis. Boat registrations remained constant during years 2013 and 2014 and raised in 2015. Despite this raise, total boat registrations are below year 2000 levels.

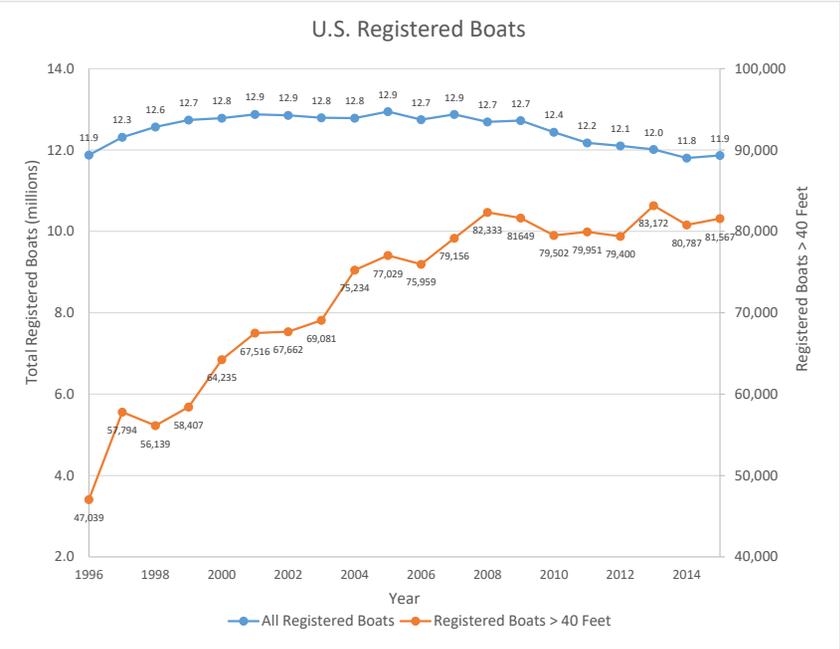


Figure 4-2: U.S. Boat Registration Trends (total and >40')

When looking at boat registrations in the Tampa Bay region for boats over 26 and 40 feet, 2000-2008 is a period of time with a steady increase in the number of registrations that is followed by a drop in registrations from 2008 to 2013. Last two years, the number of registration has increased to levels equivalent to those before the 2008 recession. This trend is expected to continue as the national and the Florida economy continue to recover.

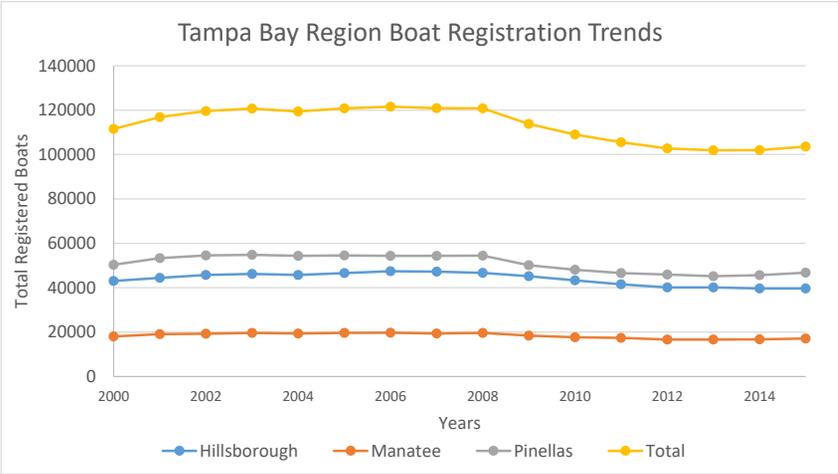


Figure 4-3: Tampa Bay Region Boat Registration Trends (all boats)

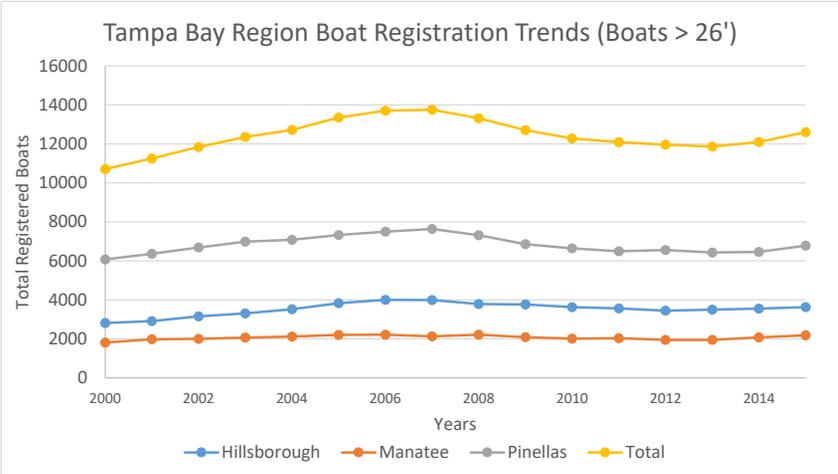


Figure 4-4: Tampa Bay Region Boat Registration Trends (>26')

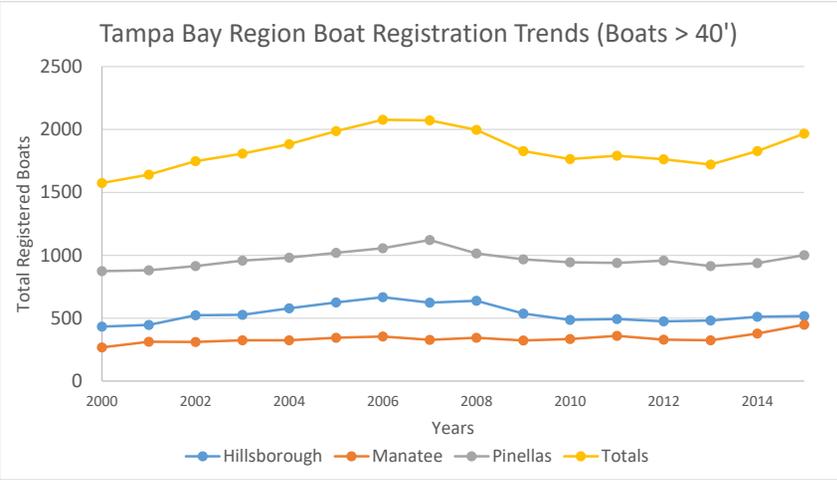


Figure 4-5: Tampa Bay Region Boat Registration Trends (>40')

4.2 ECONOMIC FACTORS

The trends in boat registration are related to the overall national and regional economy. For example, real gross domestic product (GDP) and household income typically influences the amount of disposable income available. Lower GDP leads to lower purchasing power. Figure 4-6 shows the rate of change in national boat registrations vs. the rate of change in GDP. Analysis shows that boat registrations slowed significantly during and immediately following recessions or steep declines in GDP (2001 and, 2008).

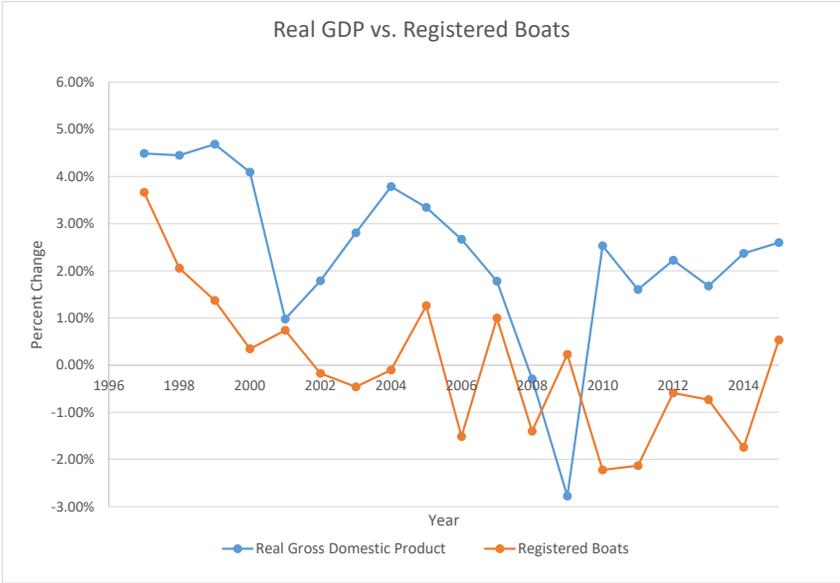


Figure 4-6: Real GDP Growth and U.S. Registered Boat % Growth

Marinas are generally the last sector in the boating industry to see effects from economic volatility and are typically the first to recover. During recent economic slow-downs, many boats remained in use, although they exhibited a decrease in duration and frequency of boating trips during this time (Ross, 2011).

“...the last four recessions suggest that marinas are the last sector in the boating business to go into recession and the first to come out. ... in the first year of a recession a marina operator typically sees few changes - maybe shorter boat trips and owners staying on their boats at the docks more; in the second year, a 10 to 15 percent slip vacancy occurs, along with a decline in fuel sales, more repair work, fewer boats to fill slips that become vacant, staff reductions and shorter work weeks; in Years 2 to 3, boats

move to better marinas because they no longer have a waiting list and the better marinas fill their slips and upgrade their facilities; and in Years 3 to 4, almost all marinas recover, with more than 95 percent of them surviving without a change of ownership and waiting lists fill up again.” (Ross, 2011)

Most boats are trailerable, the majority of which are not stored in marina wet slips. Wet slips are typically occupied by larger vessels that are not as easily trailered and are limited in landside storage options. These vessels typically remain in a wet slip during the boating season regardless of the amount of use.

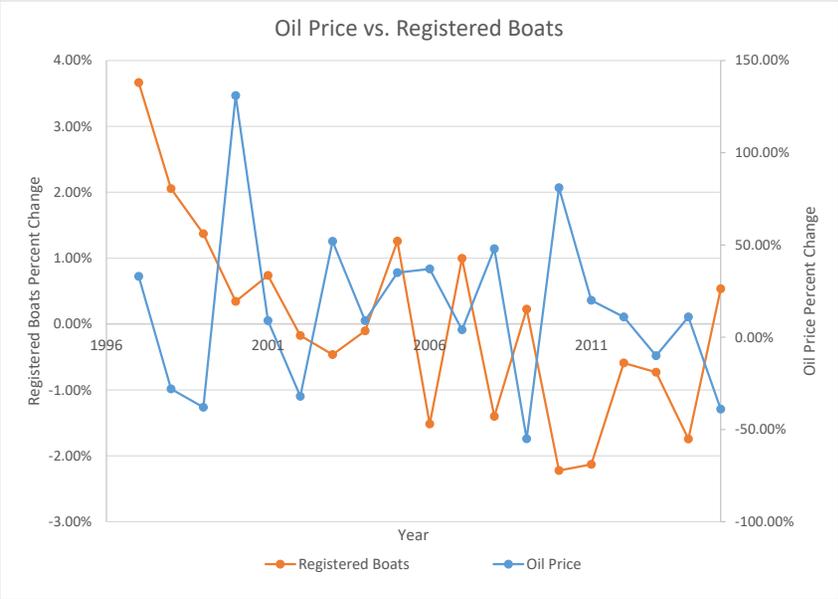


Figure 4-7: Oil Price Fluctuations and U.S. Registered Boat Growth

4.3 BOATING DEMOGRAPHICS

NMMA demographics data shows American boat owners are largely “middle-class”.

- Nearly 95 percent of registered mechanically propelled boats on the water in 2015 were 26 feet or less, meaning they were affordable, entry-level, trailerable boats, not large yachts.
- Three out of four current boat owners have an average household income under \$100,000.
- More than 69 percent of boat owners are married.

These demographic data support the conclusion that the primary age group for larger boats and wet slip demand is 40 to 70 years old. Boating and slip demand are projected to grow in popularity as the “baby boom” generation ages.

Boating use as reported by a USCG boater survey (USCG, 2012) is shown in Figure 4-8 - note that more than one activity may be reported by each user resulting in a cumulative that exceeds 100%. The data shows that boats are mainly used for fishing and cruising with additional activities that include water sports – swimming, waterskiing, tubing – and sailing.

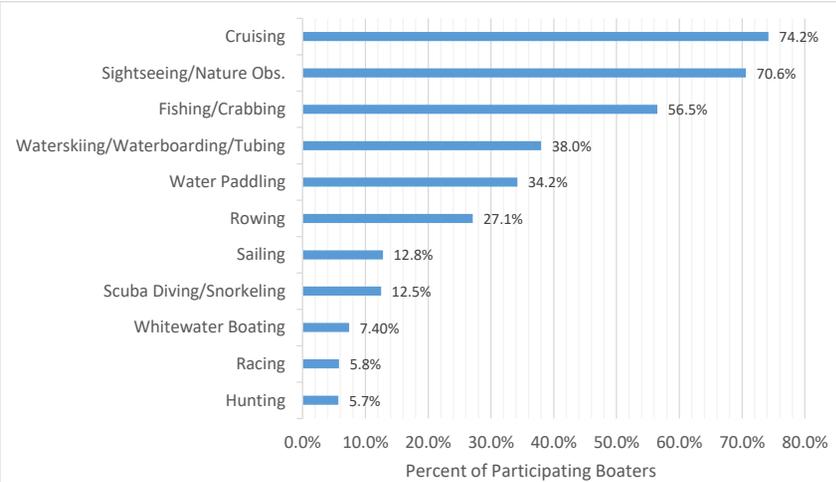


Figure 4-8: Participation in Recreational Boating Activities – U.S.

In the United States, the age of the average boater has been declining in recent years. Boating participants were more likely to be male (59%), younger than age 50 (74%) and have a household income of \$25,000–\$75,000.

Table 4-1 shows the length of boat operated (owned) by age group for the U.S. The percentage of boats larger than 25 feet – boats generally requiring a wet slip - increases for each increasing age group up to age 60.

Age demographics for Tampa Bay, shown in Table 4-2 indicate a relatively young population with 58.6% of the population in the primary boating demographic between ages 18 and 64.

Table 4-1: Length of Boat Operated Most Often by Age – U.S.

	Age of Operator					
	20 to 29	30 to 39	40 to 49	50 to 59	60 to 69	70 +
Under 16 feet	64.4%	49.1%	39.9%	32.0%	29.5%	34.2%
16 to 20 feet	23.7%	33.2%	37.7%	40.2%	41.3%	43.3%
20 to 25 feet	7.0%	10.6%	13.3%	14.8%	15.3%	11.8%
26 to 39 feet	3.3%	5.1%	6.9%	9.4%	9.2%	8.2%
40 to 65 feet	1.3%	1.5%	1.8%	3.3%	3.6%	2.2%
Over 65 feet	0.3%	0.4	0.4%	0.3%	1.1%	0.3%
Total	100%	100%	100%	100%	100%	100%

Table 4-2: Tampa Bay Age Demographics

Age	Total	%
0 to 17 years	852,600	22.0%
18 to 34 years	757,808	19.6%
35 to 54 years	1,066,684	27.3%
55 to 64 years	447,581	11.6%
65 years and over	750,138	19.4%

5. PUBLIC OUTREACH

5.1 INTRODUCTION

One public meeting and a series of stakeholder meetings were held at the City of St. Petersburg from December 2016 to February 2017. These meetings aimed to gather input for the Marina Masterplan from different groups in the city.

A summary of the meetings details is provided on Table 5-1.

Table 5-1: Summary of Meetings

Meeting Name	Location	Date	Audience
Public Meeting 1	Sunshine Center	December 6, 2016	90+
Tampa Bay Marina Industries Association	St. Petersburg Yacht Club	January 24, 2017	30+
CofSP Municipal Marina Commercial Users	Port of St. Petersburg	January 27, 2017	5
St. Petersburg Yacht Club	St. Petersburg Yacht Club	February 1, 2017	11
CoSP Liveaboard Users	Sunshine Center	February 8, 2017	4

The public meeting included a presentation and a discussion during which attendees could share their opinions. Additionally a community engagement survey was handed to attendees at the beginning of the public meeting. This survey (Figure 5-1 and Figure 5-2) was also available at the Municipal Marina as well as at the marina website and could be completed and mailed/faxed to the Consulting team.

The stakeholder meetings had a presentation focusing on 5 questions that the attendees were asked to respond to during the presentation. A written survey (Figure 5-3) was also provided with the same questions.

5.2 PUBLIC MEETING

The input from the public meeting was captured by a community engagement survey. These surveys were distributed at the public meeting and aimed to gather information from the general public in an efficient and reliable way.

A total of 55 surveys were obtained from the general public (32 were obtained at the public meeting, 8 were mailed, 4 were faxed and 11 were returned to the Municipal Marina).

The community engagement survey consisted of 4 questions and a general comments section (Figure 5-1). The information provided by the first part of the survey (questions 1 and 2) was intended to gauge boater presence among the attendees as well as their preferences as the main marina users.

Question 3 and 4 were directed to the boating and the non-boating community and asked about what’s best about the Municipal Marina area and ways to improve it. The responses to these questions are summarized below.

Question 1: How do you currently enjoy the Municipal Marina area (check all that apply)?

Answer Choices	Responses
Boater	52
Sailboat	39
Motorboat	19
User of the Public Spaces	21
Liveaboard	
Yes	17
No	33
Don't regularly use the marina	2

Boat Sizes	Responses
10' to 19'	4
20' to 29'	15
30' to 39'	22
40' to 49'	14
50' to 59'	0
>60'	1
TOTAL	56

Question 2: If you are a boater what type and where do you currently keep your boat?

Answer Choices	Responses
Boat Type	52
Sailboat	38
Motorboat	17
Trailer/Driveaway	16
High and Dry	2
Marina	43
SPMM	34
Harborage Marina	3
SPYC	2
Summerwind	1
Island Gypsy Café	1
DIYC	1
Endeavour Marine	1
Waterfront Home	3
Lift	1

Question 2a: What is your usual boating area?

Responses	Number of Responses
Tampa Bay	47
Gulf of Mexico	22
Intercostal	7
Florida Keys	3
Caribbean	2
Cuba	
Fort Myers	
Boca Ciega	1
Chesapeake Bay	
Newport (RI)	
TOTAL	82

Question 2c: Do you use the facilities at the municipal marina?

Responses	Number of Responses
Yes	45
No	8
Suggestions	10
Include diesel	
Improve pumpout	
Internet	
Monitor spills	1
Improve fuel dock accessibility	
Clean docks more often	
TOTAL	64

Question 2b: What is your usual boating activity?

Responses	Number of Responses
Sailing	20
Leisure	13
Cruising	10
Day trips	9
Racing	7
Fishing	6
Overnight	2
Kayak	
Water skiing	
Wakeboarding	1
Site surveys	
Liveaboard	
TOTAL	68

Question 2d: What type of power does your boat use?

Responses	Number of Responses
Voltage	43
120V	36
208V	0
240V	5
Other	2
Amps	49
30A	27
50A	21
100A	1

Question 2e: If you use the marina boat ramp, what changes would you like to see to the facility?

Responses	Number of Responses
Parking	
Debris Cleaning	1
Relocation	
Re-build docks	

Question 2f: What additional boater services/amenities would you like to see in St. Petersburg?

Responses	Number of Responses
Additional transient docks	6
Wifi on the Marina	
Pool	5
Floating docks	4
More Pumpout Stations	
Upgrade Showers	
Kayak facilities	2
Upgrade restrooms	
More waterfront restaurants	
Anchoring basin	
Overnight anchor	
Upgrade washer/dryer	
Weather forecasting system	
Boat maintenance area	
Improve accessibility	
Wider/longer slips	1
Cable TV	
Lifts	
Dock cleaning	
Electronic card system for security access	
TOTAL	45

Question 2g: Do you occupy a covered slip? How much extra would you pay for use of a covered slip per month?

Responses	Number of Responses
Yes	9
No	45
Price per month	11
\$0	5
\$50	1
\$150	2
\$250	1
\$300	2

Question 2g: Do you plan to purchase a larger boat in the future?

Responses	Number of Responses
Yes	10
No	36
Which size?	9
10' to 19'	0
20' to 29'	0
30' to 39'	6
40' to 49'	2
50' to 59'	0
>60'	1

Question 3: What do you like about the Municipal Marina area?

Responses	Number of Responses
Downtown location	19
Appealing waterfront	6
Easy access	5
Affordable rates	4
Green areas	4
Parking adequacy	3
Basin protection	3
Security	2
Sailing center	2
Covered slips	2
Public access	1
Amenities	1
Ease of cocking	
Staff	
TOTAL	55

Question 4: How would you improve the Municipal Marina?

Responses	Number of Responses
More transient docking	7
Include floating docks	
Upgrade showers and toilets	6
Require boat maintenance and remove derelict boats	
Increase security	5
Breakwater protection	
More events	4
Add kayak storage	
Improve marina and green areas maintenance	3
Wider/longer finger piers	
Parking adequacy	2
More liveboards	
Update electrical equipment	1
More covered slips	
Pool	
Allow downtown anchoring	
Improve water quality	
Include solar panels	
Include electrical cars chargers	
Improving washing/drying machine	
TOTAL	55

5.3 STAKEHOLDER MEETINGS

Four meetings with different stakeholders groups were hosted between January 24th and February 8th (Table 5-1). During each meeting a presentation focusing on 5 topics was given and attendees were asked to provide their opinion on each of these issues. A survey (Figure 5-3) with the same questions raised by the presentation was also provided at the beginning of each meeting.

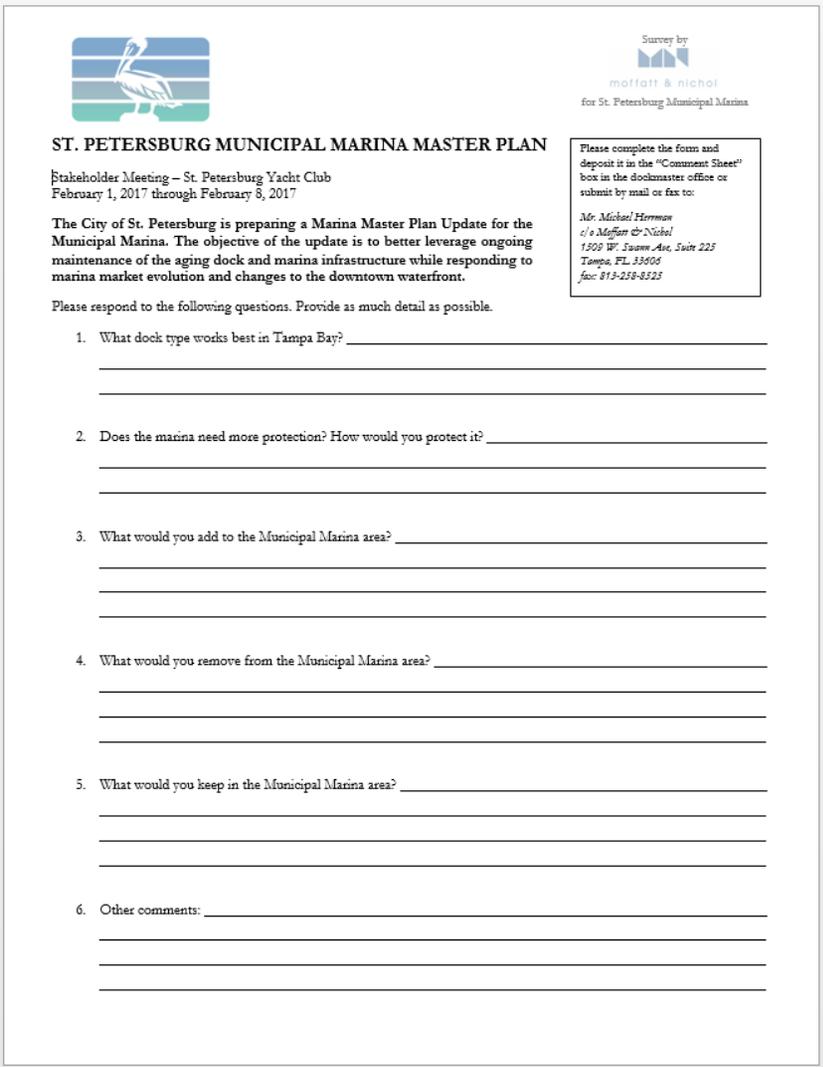


Figure 5-3: Stakeholders Meetings Survey

The first two questions in the presentation asked about specific information concerning the dock type and the marina protection

respectively. Questions 3 through 5 asked about items to add/remove/keep at the Marina. The responses to these questions are summarized below.

5.3.1 DOCK STYLE

Tampa Bay Marina Industries Association (TBMIA)

- Floating docks are generally preferred over fixed docks, especially if permitting, constructability and costs are similar to fixed docks
- A mixed/hybrid solution with different docks typologies (fixed and floating docks) could also be a solution. Floating docks users could be charge a premium fee
- The marina should consider including boat lifts and charging premiums as many other marinas in the market do
- Single slips would be ideal, but double slips are a more realistic option

SPMM Commercial Users

- Concrete floating docks are preferred as a safer alternative for non-boaters and handicapped users
- Floating docks can perform adequately or even better than fixed docks if correctly designed (during Sandy storm at Liberty Landing Marina in NJ, boats on floating docks didn't suffer any damage as opposed to land-stored vessels)
- A mixed solution (floating docks for high-traffic uses: transient and commercial; and fixed docks for liveaboards and more experienced boaters) is also seen as adequate. Full-length finger slips are preferred

St. Petersburg Yacht Club (SPYC)

- When asked, 2 attendees preferred fixed docks as floating docks are perceived to be more expensive to build and less durable
- Floating docks would increase accessibility, comfort and aesthetics at the marina. Concrete docks are preferred over timber docks
- If floating docks are installed, will the slip rates raise cause the loss of slip owners?
- A mixed solution could be adopted to answer different groups' needs

St. Petersburg Liveboard Users

- Floating docks are believed to be more convenient than fixed docks but survivability of floating docks can be an issue and they are also perceived as being more expensive in the long term

5.3.2 MARINA WAVE PROTECTION

Tampa Bay Marina Industries Association (TBMIA)

- Basin protection is required for the Vinoy basin and is important for the Central Basin
- A breakwater option is generally preferred over a set of artificial reefs
- Water protection should never interfere with water quality in the basins

SPMM Commercial Users

- The commercial slips are adequately protected and no additional measurements are required
- Including a reef system to protect the basins may negatively affect some commercial slip owners

St. Petersburg Yacht Club (SPYC)

- The SPYC members agreed upon the fact that the Club's slips are well protected and wave agitation is not really an issue
- The open entrance area between the Central and the South basin (area generally used by non-experienced sailors to learn) should be more protected. This could be achieved narrowing the existing entrance to 150-200 feet approximately or by building a detached breakwater

St. Petersburg Liveboard Users

- Basin is adequately protected and only during the 5-days a year a storm occurs, the South basin experiences some wave agitation

5.3.3 WHAT TO ADD TO THE MARINA

Tampa Bay Marina Industries Association (TBMIA)

- More hourly transient docks and portable/removable slips for special events
- More waterfront dining
- Available parking (290 parking spaces for 600 slips) seems adequate except during event days (including Saturday Farmers Market). Parking should be increased at Demens Landing

SPMM Commercial Users

- Improve water quality at the location of the commercial slips
- Increase the size of the commercial slips
- Improve electric system as utilities are down too often in summer due to storms
- Include cameras to increase security
- Increase the number of parking spots reserved for commercial slips owners
- Add more public access and bring the public closing to the water

St. Petersburg Yacht Club (SPYC)

- The Sailing Center needs more parking on Demens Landing. During events and weekends parking really becomes an issue for the Sailing Center members who sometimes are not able to park on Demens Landing
- Megayachts are welcome, but their location, geometry and utilities requirements need to be carefully addressed by designers. If these vessels are finally included in the slip layout, they should be located on the North Basin

St. Petersburg Liveboard Users

- Movable/sliding slips could be used to include a more-flexible slip mix
- Laundry facilities need to be updated
- Add security to liveboard areas
- Improve water quality and increase water circulation
- Add commercial slips to the Vinoy basin

- Megayachts can be added to the slip mix. Since Harborage Marina recently expanded to be able to accommodate megayachts and currently has 10 mega-yachts slips, a megayacht market may exist in Tampa Bay

5.3.1 WHAT TO REMOVE FROM THE MARINA

Tampa Bay Marina Industries Association (TBMIA)

- The Marina should be more active requiring boat owners to maintain vessel standards and not allowing boats that do not leave the slip. This is a difficult subject to enforce, but it remains a problem. There are many boats listed for sale that are actually a listing for the slip

SPMM Commercial Users

- Remove fences to bring the public closer to the bulkhead, but do not allow general public in the commercial slips area. Create a water gap and keep advertisement

St. Petersburg Yacht Club (SPYC)

- Water quality is an issue for the marina to the extent that the Sailing Center currently has 3 slips that cannot be used because of the presence of debris (they accumulate under the bridge during low tides). It is believed that opening the channels would improve the water circulation
- Remove abandoned/damaged boats from the marina

St. Petersburg Liveaboard Users

- Current chain-link fencing is not an appropriate solution. People can climb the fences and have an easy access to docks. The Marina should adopt a card key system
- For the North docks, water separation is enough and no additional fencing is required
- Derelict boats should be removed from the marina

5.3.1 WHAT TO KEEP IN THE MARINA

Tampa Bay Marina Industries Association (TBMIA)

- Keep fuel dock and ship store
- Keep transient slips, specially short-term or hourly slip that allow downtown access

SPMM Commercial Users

- Pay especial attention to project phasing to ensure that businesses can continue their activities during the marina construction

St. Petersburg Yacht Club (SPYC)

- Keep the existing shoreline configuration on the seaward side of Demens Landing and do not add new slips. Including new vessels in that area would require dredging, would greatly reduce the sailing area currently available for the Sailing Center and would aesthetically impact the St. Petersburg skyline from the water
- Covered slips should be kept as they protect against sun and bird guano, but a higher fee should be charged to those users willing to use them

St. Petersburg Liveaboard Users

- Keep covered slips but switch to a cheaper option (lighter structure)
- Marina amenities are adequate but restrooms and showers require an upgrade
- Parking for liveaboards only is encouraged and having a drop-off area does not seem an adequate solution to the parking needs

6. PROJECTED SLIP DEMAND

The market capacity is determined by identifying typical slip takers projected to use boat slips within the market and associated trends in the populations of the slip takers. Slip takers in the Tampa Bay market area include:

- Long-term leasing recreational boaters
- Transient leasing recreational boaters
- Commercial boaters

The projected demand for wet slips is evaluated by identifying and analyzing market drivers. Identified market drivers for the Tampa Bay marina market include:

- Underserved Existing Boaters
- Population Growth
- Tourists

Growth or decline of these factors is correlated to demand for additional wet slips in the market.

6.1 EXISTING UNDERSERVED POPULATION

Marina markets that have already reached a marina slip saturation point leave a portion of the existing boating population underserved. There are boaters that seek a slip but find that an insufficient number of slips are available. An underserved market results in boaters trailering their boat, keeping their boat further outside of the region, or prevents a potential boater from purchasing a boat. The extent of the underserved

population may be determined by evaluating marina slip wait lists and evaluating trends in historic population growth and boat registrations.

6.1.1 BOAT REGISTRATIONS

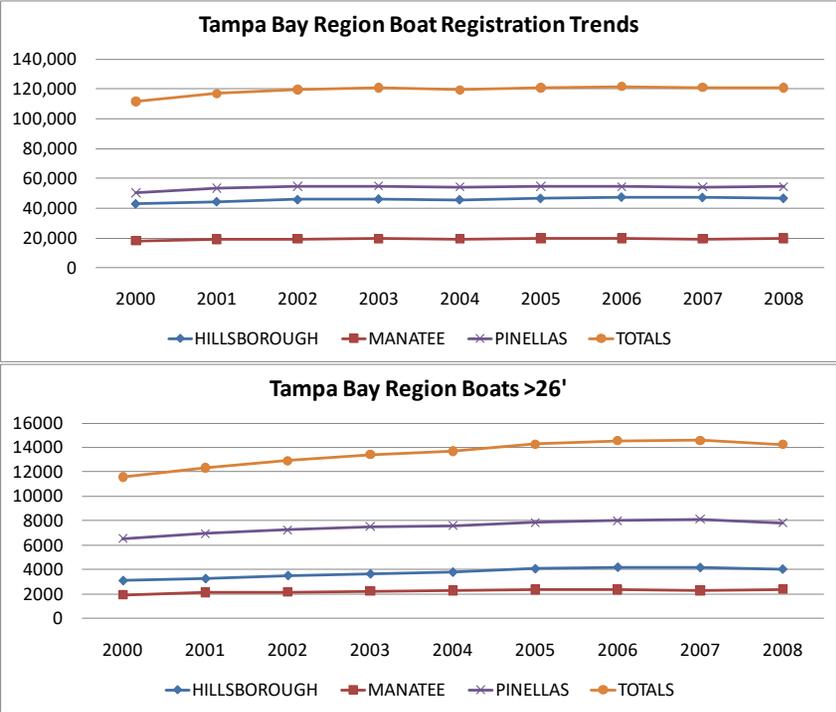
The existing boating population in Tampa Bay is reflected in boat registration numbers for Pinellas, Manatee, and Hillsborough Counties. When the number of slips required to satisfy the demand of these boaters exceeds the number of available slips, slip occupancy rates go up and wait lists form at marinas while, conversely, when the number of available slips exceeds the demand, wait lists disappear and occupancy levels decrease.

Considering the range of slip sizes available in the market, most of the 7,200 available public slips are greater than 20 feet in length. Based on boat registration data, the number of registered boats in the Tampa Bay region, many of which are trailered and do not require a boat slip, is on the order of 121,000 while boats larger than 26 feet is on the order of 14,000 boats or 11% of the total number of boats in the region. Up to half of the boats over 26 feet are projected to need a wet slip.

These boat ownership trends may be combined with historical population estimates to determine the number of boats per capita. Figure 6-2 shows the number of boats per capita for Hillsborough, Pinellas, and Manatee Counties from 2000 through 2007. The data shows higher rates of boat ownership in Pinellas and Manatee Counties on the order of 6 to 7 boats per 100 people. Hillsborough County is closer to 4 boats per 100 people. The overall number of boats per capita for the

combined counties (Tampa Bay Region) is on the order of 5 per 100 people.

All three counties show a decrease in boats per capita starting in 2003 from 5.5 boats per 100 to 5.2 boats per 100 in 2008 which may be due to

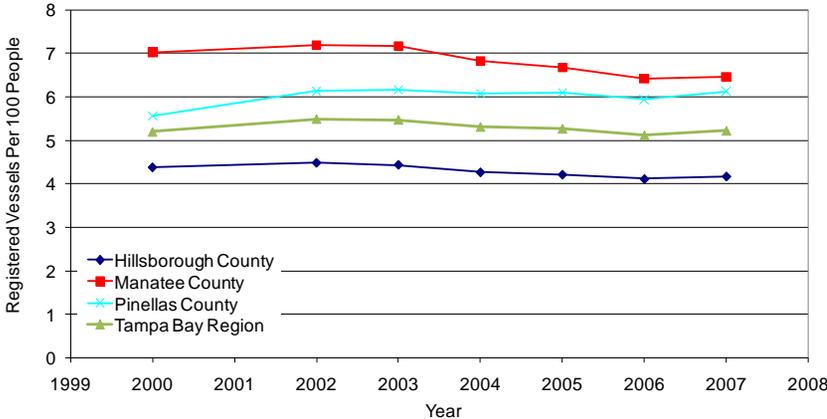


Source: FDOT, Moffatt & Nichol

Figure 6-1: Tampa Bay Boat Ownership

economic factors or may reflect a lack of available boating boat slips and high ownerships costs hampering boat ownership. Long term trends are expected to return to the 2003 levels meaning approximately 6,500 to 7,500 additional boats could return to the region based on 2008 population levels of 2.33 million people for the Tampa Bay region.

Further analysis of these boating trends shows a 14% increase boats greater than 16 feet from 2000 to 2008 with a 23% increase for boats greater than 40 feet over that same period. This suggests an increased demand for boat slips greater than 40 feet.



Source: U.S. Census, Moffatt & Nichol

Figure 6-2: Tampa Bay Boats Per Capita

Based on demand returning to the long term number of boats per capita and a resulting addition of 6,500 boats back into the market with 10 to 20% of them needing wet slips, the projected underserved demand is approximately 300 to 400 slips.

6.1.2 WAIT LISTS

In spring 2017 there were 212 boats waiting for a slip at the marina. These vessels range in size from 34 ft up to 44 ft. There are some slip vacancies for smaller (20 ft) slips.

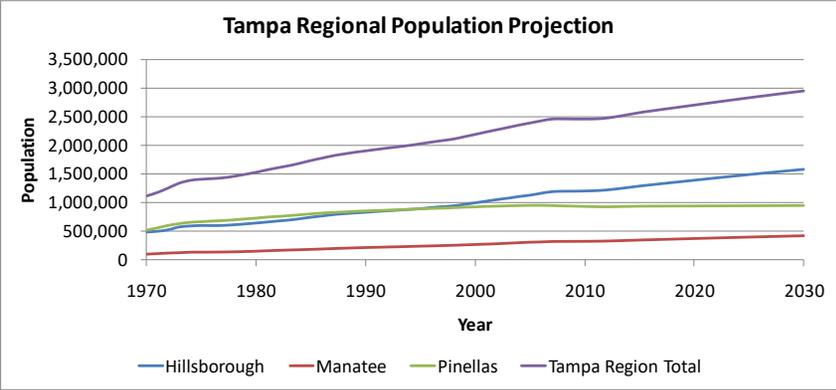
This wait list translates directly to slip demand. Some boaters will find an alternate location to berth their boat and may no longer be interested



when offered a slip. Other potential boaters will be discouraged from purchasing a boat or entering the market if the wait list is too long, suggesting the demand may be higher than 212 people.

6.2 POPULATION GROWTH

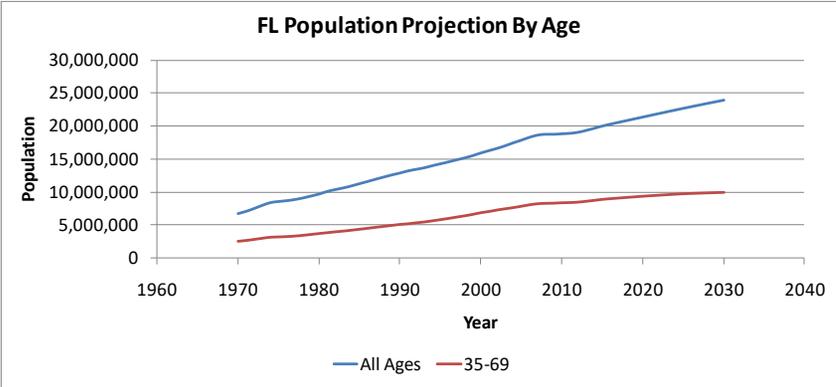
The population of the Tampa Bay region, after a short term period of stagnation in 2009 through 2011, is expected to increase by 20% from 2.5 million to 3 million people by the year 2030 as shown in Figure 6-3.



Source: U.S. Census, Moffatt & Nichol

Figure 6-3: Tampa Bay Regional Population Projection

Statewide population is projected to grow at a similar rate as the Tampa Bay region. The increase in people aged 35 to 69, considered within the primary boating age demographic, shows a similar growth rate.



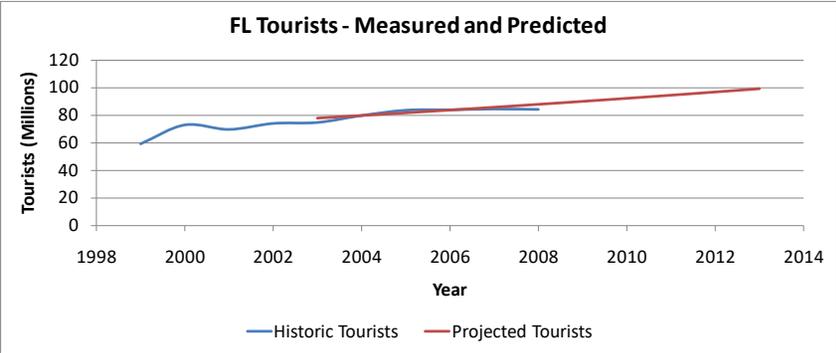
Source: U.S. Census, Moffatt & Nichol

Figure 6-4: Florida Population Projection by Age

Assuming that the number of boaters will increase proportionally to the population and that the number of existing slips represents the current population, the number of new slips needed by 2025 is projected to be on the order of 700 to 800 slips (10% increase).

6.3 TOURISM

The number of tourists visiting Florida, based on historic tourism rates, is projected to continue to grow 25% from 2010 to 2020 or at a rate of approximately 2.5% per year. The number of boating tourists (transient boats) is projected to increase proportionally.



Source: VisitFlorida.org, Moffatt & Nichol

Figure 6-5: Florida Tourism Projection

Assuming approximately 10% of the existing slips are used by boat tourists, the number of slips needed is projected to increase by 25% by 2020 or 180 to 200 additional slips.

6.4 COMMERCIAL

Commercial slip takers include commercial fishing vessels, charters, brokerages and sales, educational programs, and organizations and clubs. Commercial slip takers tend to grow at rates similar to population and general boat use but are also more affected by economic factors than typical recreational boaters. Applying a projected growth rate ranging from 10% to 25% and assuming that existing charters occupy on the order of 10% of slips in the market results in projected growth of 70 to 200 slips.

6.5 SUMMARY

Recreational and commercial boating has been impacted by the economic recession conditions beginning in 2008 resulting in decreases in boat ownership and boat use leading to concurrent reductions in marina wet slip demand. Based on economic, population, and tourism projections, the boating and wet slips demand is expected to recover and exhibit continued growth, especially in the 26ft to 40ft boat segment.

The following table summarizes the projected market demand growth for wet slips.

Table 6-1: Projected Additional Wet Slip Demand

Market Driver	Projected Growth
Underserved Existing Population	500 - 600
Population Growth	700 - 800
Tourism	180 - 200
Commercial	70 - 200
Total	1,450 – 1,800

7. EXISTING MARINA CONDITIONS

7.1 OCEANOGRAPHIC CONDITIONS

Oceanographic conditions affecting the Municipal Marina are summarized from existing publicly-available data as well as data compiled from previous Moffatt and Nichol (M&N) projects in the vicinity. Data includes bathymetry, water levels, statistics for wind, wave, rain, and extreme events such as hurricanes and associated storm surges.

7.1.1 BATHYMETRY

Bathymetric data for the project area was obtained from the National Oceanic and Atmospheric Administration’s (NOAA) Navigation Chart No-11412 and 11416 for Tampa Bay. The water depths, shown in Figure 7-1, are in feet relative to mean lower low water (MLLW).

Water depths within the North Basin range from 9 to 12 feet with the water depths outside the basin increasing gradually to more than 20 feet at the access channel to the northeast. The limiting water depth within the Central and South Basins are approximately 12 feet and 9 feet, respectively. The marked entrance channel depth for both basins is 10 ft.

7.1.2 TIDES

Tidal information was obtained from the National Oceanic and Atmospheric Administration (NOAA) Station 8726520 located at St. Petersburg (Latitude 27° 45.6’ N; Longitude 82° 37.6’ W) near the USCG station shown in Figure 7-2. Table 7-1 gives a summary of tidal datum

elevations at Station 8726520 based on 19 years of measurements from 1983 to 2001.

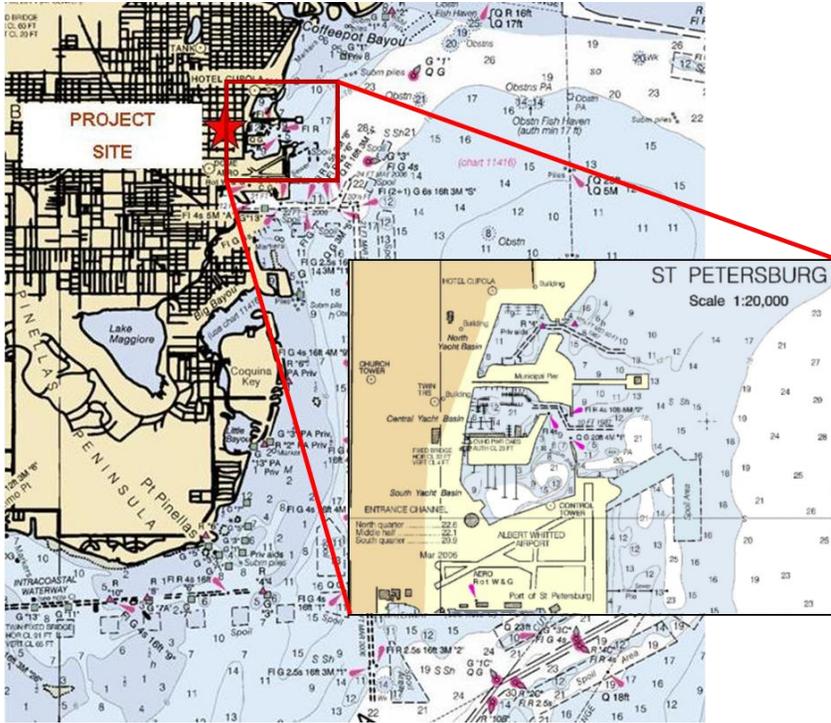


Figure 7-1: St. Petersburg Area Bathymetry

Tides in the Tampa Bay region are “mixed” meaning that the water levels may exhibit one high and low tide (diurnal) or two high and two low tides (semi-diurnal) in any given day. Tide data indicates that mean and diurnal tide ranges are 1.60 ft and 2.26 ft, respectively. Analysis of the daily tidal excursions shows that some daily tide ranges may approach 3 ft. This pattern is especially prevalent in the summer months.

Table 7-1: Tidal Datum Elevations Relative to MLLW

Tidal Datum	Feet (MLLW)
Highest Observed Water Level (08/31/1985) (Hurricane Elena)	6.26
Mean Higher High water (MHHW)	2.26
Mean High Water (MHW)	1.98
Mean Sea Level (MSL)	1.20
National Geodetic Vertical Datum (NGVD)	0.58
Mean Low Water Level (MLW)	0.38
Mean Lower Low Water (MLLW)	0.00
Lowest Observed Water Level (01/16/1972)	-2.47

Analysis of the tidal constituents for the Station 8726520 indicates that semi-diurnal behavior is predominant at the project site. The predicted and measured tidal elevations at Station 8726520 are shown in Figure 7-2 for a representative time period from September 20-22, 2009 representing a semi-diurnal pattern.

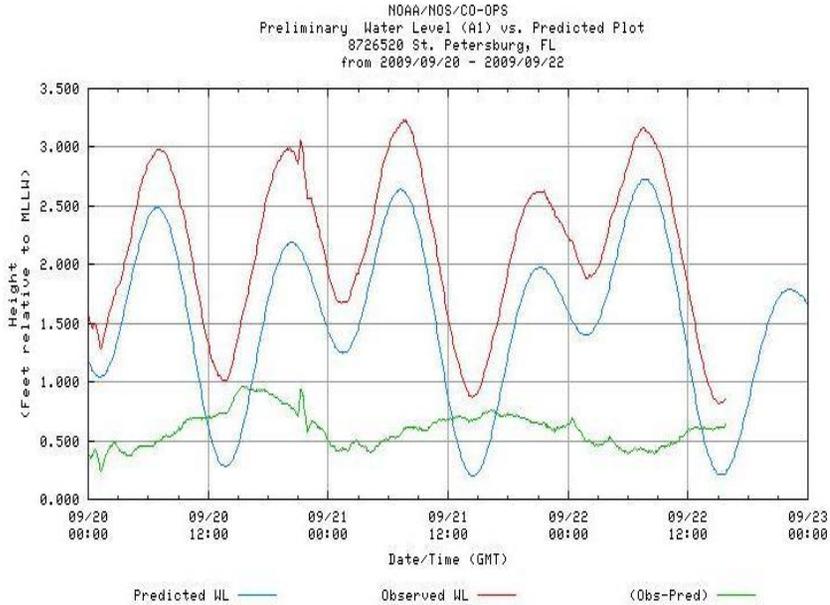


Figure 7-2: Predicted and Observed Tide Elevation

7.1.3 WIND

Available data sources were reviewed to establish the operational and extreme wind statistics at the project site. Operational conditions represent the typical climate at the site and are considered for breakwater configuration and facility navigation layout while extreme wind statistics are used for the design of the marine structures. Wind measurement at NOAA Station 8726520 and the FEMA database (FEMA, 2005) were used to develop the wind statistics for this site.

OPERATIONAL WIND STATISTICS

Wind measurements at the St. Petersburg USCG NOAA Station 8726520 for the period 1991-2006 were used to develop the wind rose shown in Figure 7-3. The wind directions shown in the wind rose represent the directions from which the wind is blowing. Analysis of the wind measurements indicate that while the wind direction tends to be variable, prevailing winds are from north to east sector with northerly dominance in the winter and easterly during the summer. During the summer months, the prevailing winds shift to the west late in the day. The combined percentage of occurrences of wind from north to east sector constitutes approximately 38.2 % of the observations. The wind speed is typically less than 10 meters per second (22 miles per hour).

EXTREME WIND STATISTICS

Predicted extreme wind statistics for the project area are available from the FEMA wind-hazard database (FEMA, 2005) for various recurrence intervals. The 10, 25, 50, and 100 year recurrence intervals for the project vicinity are shown in Table 7-2.

Recurrence Interval, T_r (years)	Wind Speed (mph)
10	55
25	72
50	84
100	96

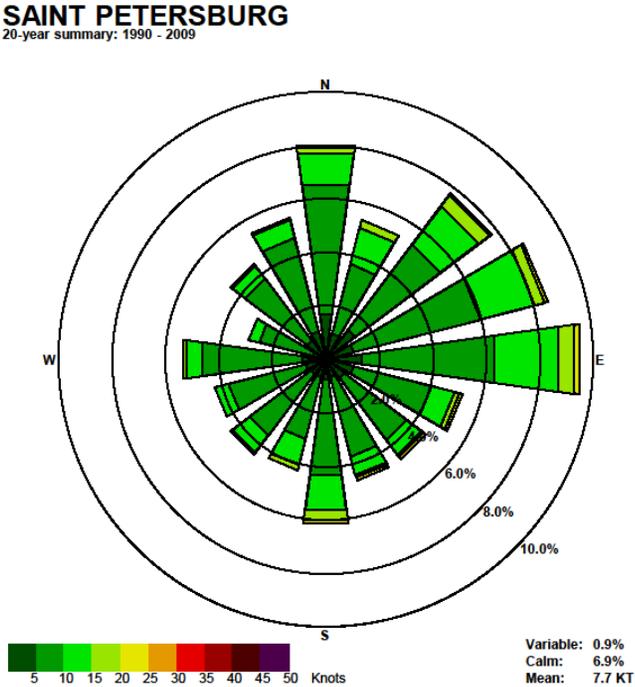


Figure 7-3: Wind Rose

The recurrence intervals indicate the likelihood of occurrence of winds equal to the indicated speed and may occur from any direction. For example, the 100-year wind has a probability of occurrence of 1/100 or 1% for any given year while the 50-year wind has a probability of occurrence of 1/50 or 2% for any given year. These wind speeds represent the one-minute averaged wind in miles per hour. The data indicates that the 100-year recurrence-interval wind speed at the project site is on the order of 96 miles per hour.

7.1.4 WAVE CLIMATE

Waves consist of: a) swells generated over a long distance and characterized by long wave periods or b) local waves generated closer to the project site and characterized by shorter wave periods. The location of the marina on the west side of Tampa Bay limits the site’s exposure to long period swells from the Gulf of Mexico. Locally generated wind waves are the primary wave condition at site.

The wave climate in the vicinity of the marina is estimated using wave hindcasting based on wind fetch. The distance over which wind blows, or fetch, is directly related to the resulting wave height. At the project site, the fetch length over the Tampa Bay varies between 7 to 12 miles depending on the direction. The hindcast results shown in Table 7-3 represent significant wave characteristics calculated at the entrance of the St. Petersburg Municipal Marina basins for a 10 meter-per-second (22 mile-per-hour) wind speed from northeast, east and southeast directions. This represents the upper limit of the typical operational wave condition.

Table 7-3: Wave Characteristics Using 10 mps Wind Speed

Direction	Fetch Length (mile)	H _s (feet)	T _p (seconds)
NE	7	0.6	2.0
E	12	1.0	2.5
SE	8	0.7	2.0

The results of the wave hindcast indicate that the significant wave height, H_s, is 1.0 feet or less with a wave period, T_p, between 2 to 2.5 seconds for the operational conditions. Wave heights within the basins will vary due to the presence of the entrance structures and perimeter protection

within the basins. Wave conditions for design of the marina entrance and structures may be further refined using a numerical model.

7.1.5 HURRICANES

The Tampa Bay region, from 1920 through present, has had 32 hurricanes passing within 65 miles. The number of hurricanes for each category of the Saffir-Simpson scale is shown in Table 7-4. Figure 7-4 shows the paths of the recorded hurricanes classified by their strength on the Saffir-Simpson scale. The most recent hurricane that impacted the project area was Hurricane Dennis in July 2005 which was a Category IV storm at its peak. The winds generated waves on Tampa Bay that resulting in 4 to 5 ft waves in the North Basin, causing significant damage to the Vinoy Marina floating docks.

Table 7-4: Hurricanes by Category

Category	Number of Hurricanes
Category I:	12
Category II:	6
Category III:	11
Category IV:	3

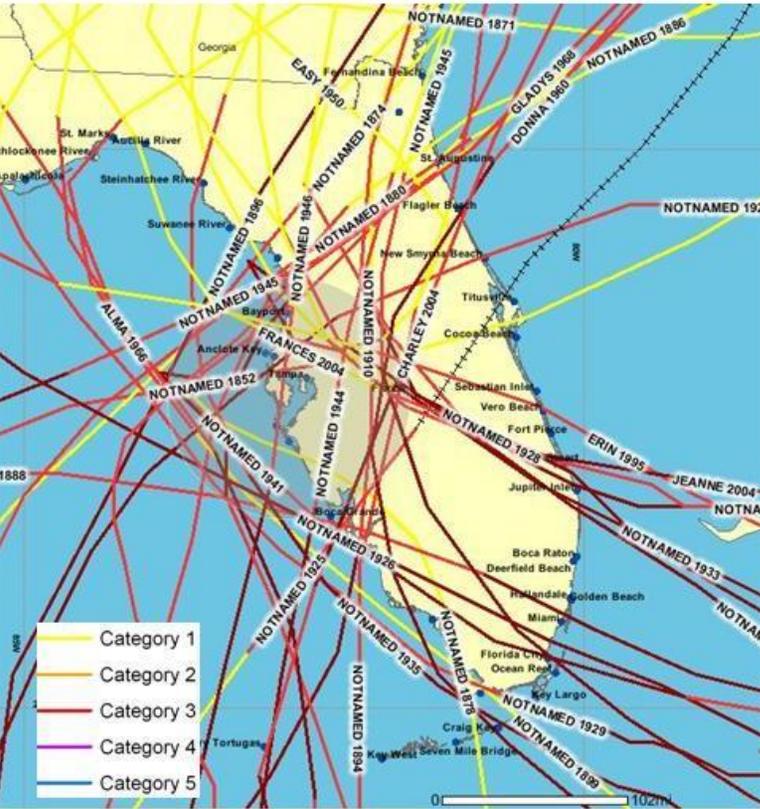


Figure 7-4: Hurricane Tracks

7.1.6 STORM SURGE

Storm surge is the rise of seawater level during storms caused primarily by combined effects of pressure drop and wind stress and should be included in the planning and design of the proposed facilities. The Pinellas County FEMA Flood Insurance Study (FEMA 2009) map indicates that the still water elevations due to storm surge in the project vicinity,

shown in Table 7-5, are on the order of 8.6 feet relative to mean sea level during the 100-year storm.

Table 7-5: Predicted Storm Surge Elevations

Return Period (years)	Water Elevation (feet above MSL)
10	4.4
50	7.3
100	8.6

7.1.7 RAINFALL

Rainfall data for Pinellas County, compiled by Southwest Florida Water Management District over the period of 1915 to 2009, is shown in Figure 7-5. The data indicates that the project area receives the highest rainfall during the period from June to September, with average monthly rainfall amounts of 6 to 8 inches and a maximum monthly rainfall of 24 inches in June. Yearly average rainfall is estimated at 51 to 52 inches or 4.3 inches per month.

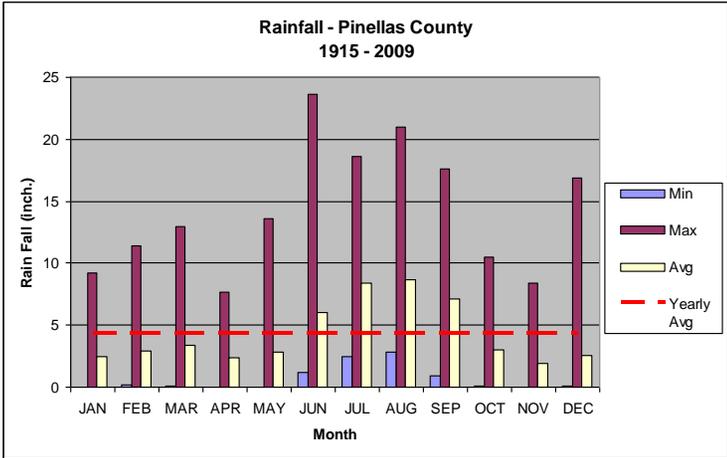


Figure 7-5: Variation of rainfall at the project site.

7.1.8 SEA LEVEL RISE

Sea Level Rise (SLR) is the increase in global mean sea level as a consequence of the increase in the volume of water in the oceans. There are multiple factors that contribute to sea level rise including ocean water expansion as a consequence of global climate change, exchange of the water stored on land by glaciers and ice sheets with ocean water, subsidence in rivers or delta regions, and changes in ocean circulation. Global mean sea level, as recorded by tide gauges, has been rising at a rate of approximately 1.7 mm/yr since the 1900’s. Satellite measurements, beginning in the mid 1990s, suggest an increased rate of 3.2 mm/yr.

The dominant contributors to global SLR have been ocean warming and ice sheet loss. Currently, the greatest source of uncertainty is the understanding and quantification of ice sheet loss, primarily from Antarctica and Greenland. Four different scenarios of global SLR are usually considered based on different estimates of ocean warming and ice sheet loss.

Table 7-6: Global SLR Scenarios (Source: NOAA)

Global SLR Scenarios	SLR by 2100* [ft]
Lowest	0.7
Intermediate-Low	1.6
Intermediate-High	3.9
Highest	6.6

**Using mean sea level in 1992 as starting point*

While these scenarios represent global trends, local effects cause variation in local SLR. Tampa Bay is experiencing a sea level rise trend of 2.4 mm/year. Other regions such as the Galveston Area or Louisiana have

higher rates of SLR (6.89 and 9.65 mm/year respectively) due to local effects such as ground subsidence.

Sea level trends can be observed in NOAA’s long term tidal station records. These stations have been recording water levels since as early as the 1940’s. Figure 7-6 shows the mean sea level trend at the NOAA tidal station in St. Petersburg, FL which has been recording water levels since 1947.

According to the station readings, mean sea level can vary considerably from year to year, but in the long term it shows an increasing rate on the order of 2.66±0.25 mm/yr. The data shows that mean sea level at this location has increased approximately 0.7 feet since 1947.

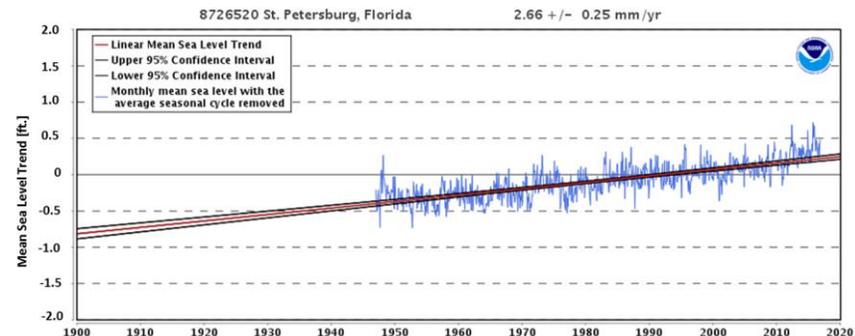


Figure 7-6: Mean Sea Level Trend [ft.] at St. Petersburg NOAA Tidal Station.

For estimates on future conditions, different agencies such as NOAA and USACE provide guidance on local sea level rise based on the local tidal conditions and the four scenarios for the global sea level rise developed by NOAA. Figure 7-7 shows the Relative Sea Level Rise Change (RSLC) curves for different scenarios. The four NOAA scenarios and three USACE scenarios use 1992 as the reference start year. The low NOAA and

USACE scenarios are a linear extrapolation of the historic trend. The intermediate-low, intermediate-high and high, represent possible acceleration in MSL change rate.

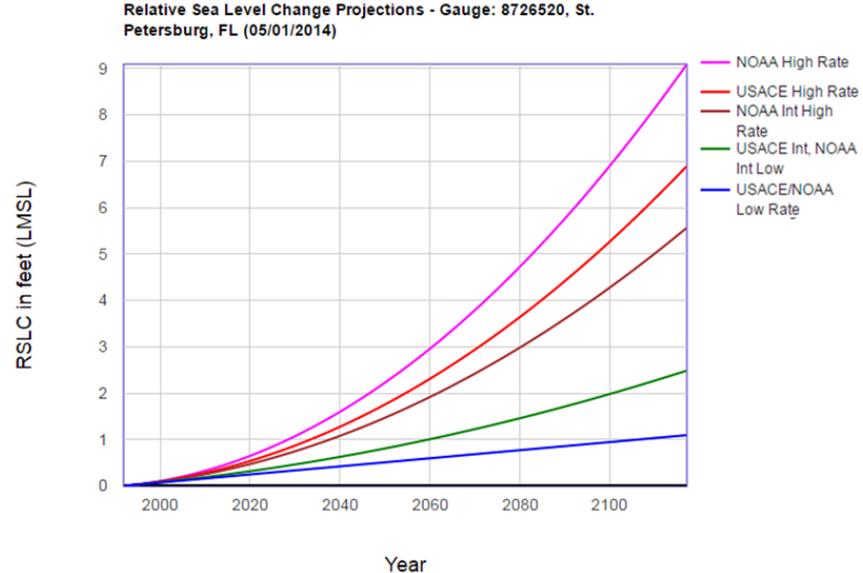


Figure 7-7: Relative Sea Level Change Projections for Tampa Bay

To represent this non-linear trajectory of SLR in these scenarios, NRC and USACE developed a quadratic equation that fits several parameters. This equation is then fit using local data to improve local predictions. Table 7-7 provides the values corresponding to the current year as well as for year 50 and 100 from the current date. All the values are referenced to the Mean Sea Level value of 1992. Table 7-7 shows how the values vary considerably, especially by year 2117 when the expected RSLC ranges from 1.1 to 9.1 feet.

Table 7-7: Relative Sea Level Change for Tampa Bay
Relative Sea Level Change
[feet over Local Mean Sea Level at 1992]

Year	NOAA Low/ USACE Low	NOAA Int. Low/ USACE Int.	NOAA Int. High	USACE High	NOAA High
1992	0	0	0	0	0
2017	0.2	0.3	0.4	0.5	0.5
2067	0.7	1.2	2.3	2.7	3.5
2117	1.1	2.5	5.6	6.9	9.1

A key result of the data presented in Table 7-7 is that there appears to have been 0.2 to 0.5 feet of sea level rise since 1992. The range of values reflects the variability of the historic data and range of linear interpretations of the data that are possible.

7.2 MARINA FACILITY ASSESSMENT

The City of St. Petersburg (City) Municipal Marina marine infrastructure is showing signs of advanced deterioration and is reaching the end of the expected service life. The marina bulkheads were constructed in the 1910’s and 1920’s with much of this original construction still in service. The central basin docks were constructed in late 1960’s and Piers 1 to 4 of the south basin docks were constructed in the early 1970’s making the docks 40 to 50 years old.

At the City’s request, Moffatt & Nichol (M&N) completed an above-water condition assessment of the St. Petersburg Municipal Marina in 2001 and again in 2014. The investigation included structures and associated utilities for the docks, bulkheads, quaywalls, canopy structures, and dock house foundations. Following the 2001 inspection, a repair program was

initiated that was completed in 2007 resulting in the replacement of 71 main walkway spans and 75 finger piers throughout the marina with additional repairs to the majority of the south dock finger piers.

A condition assessment report was issued to the City of St. Petersburg (City) following the 2014 inspection summarizing the results of the investigations and the overall condition of the marina facility. The report provided recommendations to replace a total of 19 finger pier and 10 main walkway deck spans. Other recommendations included concrete spall repairs, replacement of degraded timber fender elements, miscellaneous electrical repairs, and steel sheet pile rehabilitation/replacement.

In 2016 the City implemented a Marina inspection program to conduct annual above-water inspections of the Marina infrastructure. The first annual inspection commenced in November 2016 and was completed January 2017.

The structural elements associated with the dock structures included concrete decks, pile caps, and piles (above water) and the structural elements associated with the bulkhead/quaywall structures included steel and concrete sheet piles, concrete bulkhead cap, and sidewalks/slabs adjacent to the bulkhead structures. The utility components included electrical installations in dock houses, switchgear, dock pedestals, lighting, exposed electrical conduits, potable water system, fire water and extinguishers for the above mentioned areas.

7.2.1 STRUCTURES

During the field investigation, the dock facilities were observed to be operational with a high percentage of occupancy. The general condition

of the structures varied from *good* to *critical* condition, depending on the structure's age and quality of maintenance repairs. The docks are a combination of original, repaired, and replaced concrete elements.

The majority of docks have been in service for up to 50 years and have undergone several generations of repair efforts. The deck spans and finger piers spans replaced in 2007 are in *good* condition overall. However, the original structures have reached the end of their service life and degradation has begun to accelerate. The previous concrete deck repairs have delaminated and corrosion continues along the reinforcing steel.

The inspection team assigned condition ratings to each of the structures inspected on a six-point scale from *good* to *critical* condition. Repairs were recommended for all structures determined to be in *poor*, *serious*, or *critical* condition.

The estimated construction cost for repairing the structures determined to be in *serious* and *critical* condition ranges from \$1.2M to \$1.8M. Repairs to the structures in *poor* condition are anticipated to cost an additional \$350,000 to \$550,000 for the South Basin and \$750,000 to \$1.1M for the Central Basin.

7.2.2 UTILITIES

The majority of the electrical equipment was installed in the mid 1990's except for the equipment for Pier 5 which was constructed in 2008. The marina electrical distribution system (switchboards and pedestals) is in *fair* condition overall and has a remaining life expectancy of 5 to 10 years. Routine and preventative maintenance are recommended throughout

the marina to improve the life expectancy of the electrical components. Repair/maintenance is estimated to cost around \$75,000.

Marina staff has indicated the existing power supply at Piers 4 and 5 in the South Basin has caused unintentional voltage drops (brownouts) and is insufficient for the larger boat electrical systems. The industry standard for boats between 45-ft and 60-ft in length is single phase 120Y/240V power (with one or two 50A/240V receptacles) and an optional single phase 30A/120V receptacle(s), suggesting the existing 208Y/120V system is underpowered both in amps available and voltage available to each slip.

Upgrading the electrical system to single phase 120Y/240V power would require a new transformer, switchboard, and wire feeds to the pedestals. The budgetary planning cost for upgrading the larger slips at Piers 4 and 5 to 120Y/240V single phase power is estimated to be \$500,000. This budgetary cost does not include any Duke Energy fees associated with the upgrade and may vary significantly depending on the quantity of circuits upgraded at the dock. Reducing the pedestal quantity per circuit and/or adding additional circuit breakers, conduit, and wire would be a short term and cost effective solution to reduce or eliminate the voltage drops.

The existing marina electrical system does not comply with the latest electrical codes. Any upgrades or substantial modifications to the electrical system including changes in voltage or the addition of services will need to comply with current National Electric Code requirements, including Article 555 (Marinas and Boatyards) which now requires ground fault protection to minimize the risk of stray currents in the water.

LIGHTING

Lighting at the marina is provided by a variety of sources including: poles, bollards, flood lights, lights at pedestals, and wall packs. The variation results in a well-lit marina for security purposes, but does not create comfortable light levels for patrons. The lighting appears to be in working order, but a majority of equipment is showing its age with yellowing Lexan lenses and the presence of incandescent lamps. A row of modern LED street lights have been added to the adjacent park (city owned), creating problematic blinding spots for patrons sailing into, and moored at, marina slips in the southern part of the Central basin.

COAXIAL CABLE AND HUB BOXES

Coaxial cable and hub boxes were installed throughout the marina and distributed to pedestals. In several locations, the cables were installed without adequate support from the hubs to individual pedestal areas and are hanging in the water. This was specifically noted as a typical condition beneath the South Docks. In general, the system appears to be functioning properly for patrons who desire this service. Many patrons use satellite to receive their cable/internet service and wireless internet appears to have been added to the marina.

WATER

Water is primarily supplied to the slips by hose bibs in pedestals; however, several docks had ball valves with a larger water supply available. These were randomly checked and appear to be functioning correctly. A significant number of hoses are connected to the hose bibs which is further evidence of functionality.

FIRE

Fire hose reels and extinguishers are located on docks throughout marinas in stainless steel cabinets with hydrants located on land adjacent to the docks. In general, these were found to be in *satisfactory* condition and extinguishers appeared to be in good standing with current inspection dates.

7.2.3 SECURITY

A general observation is that dock gates throughout the Marina require a key to exit. In an emergency, tenants or visitors may be blocked from safely exiting the dock due to lack of an available key. This is a hazardous situation may need to be addressed.

8. MARINA PROGRAM

The following marina program is for the CoSP Municipal Marina and is based on the market assessment. The marina program outlines recommendations for the docks at the marina (number, mix, type, etc), utilities, and amenities.

8.1 DOCKS

The marina dock program includes the number of slips, size of slips, and type of slips.

8.1.1 NUMBER

The existing marina has 660 slips and is near full occupancy with wait lists for certain size slips. The market analysis shows additional demand for 1,450 to 1,800 slips in the market over the next 10 to 15 years.

The municipal marina should target maintaining the existing 660 slips to preserve current entitlements. Additional slips could be added to satisfy the additional demand as space allows.

8.1.2 SLIP MIX

The current occupancy and wait list supports reducing the number of small slips (<30ft) in lieu of larger slips (>40ft). The proposed marina slip mix reflects current market conditions plus consideration of future trends towards wider and longer boats. While there are many more boats shorter than 30 ft in the market than boats longer than 30 ft, the number of slips for these smaller boats is reduced. This lower number of smaller slips reflects the ability to trailer and ramp launch these smaller vessels

and the concurrent need for larger boats to have a slip because they cannot be trailered easily as well as the increased revenue potential for larger slips. Some smaller slips are included to encourage new boaters entering the market and to encourage a diversity of boating activity.

Table 8-1 shows the recommended slip mix for the Municipal marina. The actual percentage of slips in the new marina will depend on the marina layout which will reflect spatial considerations including the total number of slips that the marina area has the capacity to accommodate.

Table 8-1: Recommended Slip Mix

Slip Size	Existing Regional Mix	Existing Marina	Recommended % Slips in Marina	# Slips*
<30 ft	4%	40.1%	2% – 5%	10 – 25
30 ft – 40 ft	46%	22.5%	35% – 40%	245 – 280
40 ft – 50 ft	32%	21.3%	30% – 40%	245 – 280
>50 ft and Side Tie	18%	16.1%	20% – 25%	140 – 175

*Based on 700 slips total

8.1.3 DOCK TYPE

Dock type can be fixed or floating. The types further can be divided into different materials including concrete, timber, and metal.

Properly designed floating docks will provide security during elevated water level events by allowing the boats and docks to rise with the water levels, reducing damage to boats and infrastructure. In addition, boaters are becoming more accustomed to floating docks which are perceived to be “state-of-the-art”. The docks should be designed for the storm surge, waves, and wind forces during hurricane conditions with boats remaining at the docks.

Floating docks require additional cost for maintenance over the life of the structure and are more susceptible to damage during storm events.

The Program for the St. Petersburg Municipal Marina is to primarily consider floating docks while including some fixed docks and covered docks. Floating docks will be used for the courtesy docks at the marina entrance and for docks along 2nd Avenue NE based on aesthetics. Depending on the sustainability of these docks, additional floating docks may be considered for other areas of the marina.

8.1.4 DOCK DIMENSIONS

Docks need to be sized for modern boats with consideration of future trends. Boats are being constructed with wider beams and more appurtenances (bowsprit, swim platform, etc). Figure 8-1 shows data for various boat models – both sailboat and motor boat. The marina should be designed to accommodate a minimum of the 90th percentile of the boats shown.

Slips may be configured with varying widths to allow for some wider boats. Catamarans are becoming increasingly popular and should be considered in the slip dimensions.

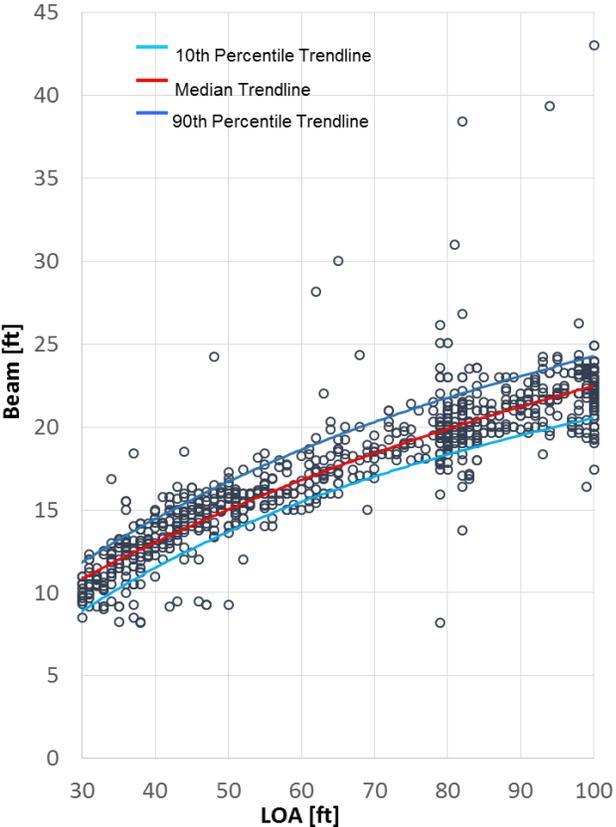


Figure 8-1: Beam vs. LOA

Table 8-2 shows the beam vs. LOA from the figure above for various boat lengths.

Table 8-2: Beam vs. LOA

Boat Length [ft]	90th Percentile Beam [ft]
30	11.8
40	14.4
50	16.6
60	18.5
70	20.1
80	21.4
90	22.5
100	23.5

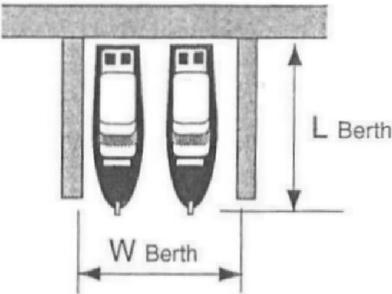


Table 8-3: Recommended Double Slip Width

Boat Length [ft]	Dimensions for W _{Double}	
	Recommended [ft]	Minimum [ft]
20.0	21.0	20.0
30.0	29.0	27.0
40.0	37.0	34.0
50.0	41.0	38.0
60.0	47.0	44.0
80.0	55.0	52.0
100.0	60.0	56.0

The slip width should be designed to accommodate the vessel beam plus room for maneuvering and fendering. Slips that are too wide can make securing the lines and accessing the boat difficult and requires extra cost for additional dock area. Table 8-3 shows recommended widths for double slips while Table 8-4 shows widths for single slips.

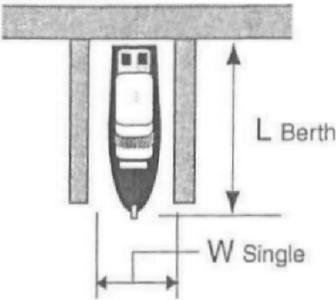


Table 8-4: Recommended Single Slip Width

Boat Length [ft]	Dimensions for W _{Single}	
	Recommended [ft]	Minimum [ft]
20.0	10.0	10.0
30.0	14.0	13.5
40.0	18.0	16.0
50.0	20.0	18.0
60.0	23.0	20.0
80.0	28.0	26.0
100.0	30.0	28.0

Fairways are the navigation lanes between boat slips. Fairway widths should be set based on the length of the longest boat expected to use the fairway. Typical marina design allows for a width that is 1.5 times the

length of the longest boat to use the fairway. This allows the boat to turn around in the fairway. Fairways as large as 2.0 times the length or as narrow as 1.3 times the length are also found depending upon type of boat, wind directions, and other considerations. Table 8-5 lists recommended fairway widths for various slip lengths.

Table 8-5: Recommended Fairway Width

Boat Length [ft]	Fairway	
	Recommended [ft]	Minimum [ft]
20.0	30.0	26
30.0	45.0	39.0
40.0	60.0	52.0
50.0	75.0	65.0
60.0	90.0	78.0
80.0	120.0	104.0
100.0	150.0	130.0

8.1.5 WATER DEPTH

Figure 8-2 shows the draft vs. length overall (LOA) for a broad range of motor and sailboats. Supporting boats up to 75 ft requires a water depth of 6.5 ft (90th percentile) plus 3 ft clear. Larger boats, especially sailboats, have a significant range of potential drafts and require much deeper water.

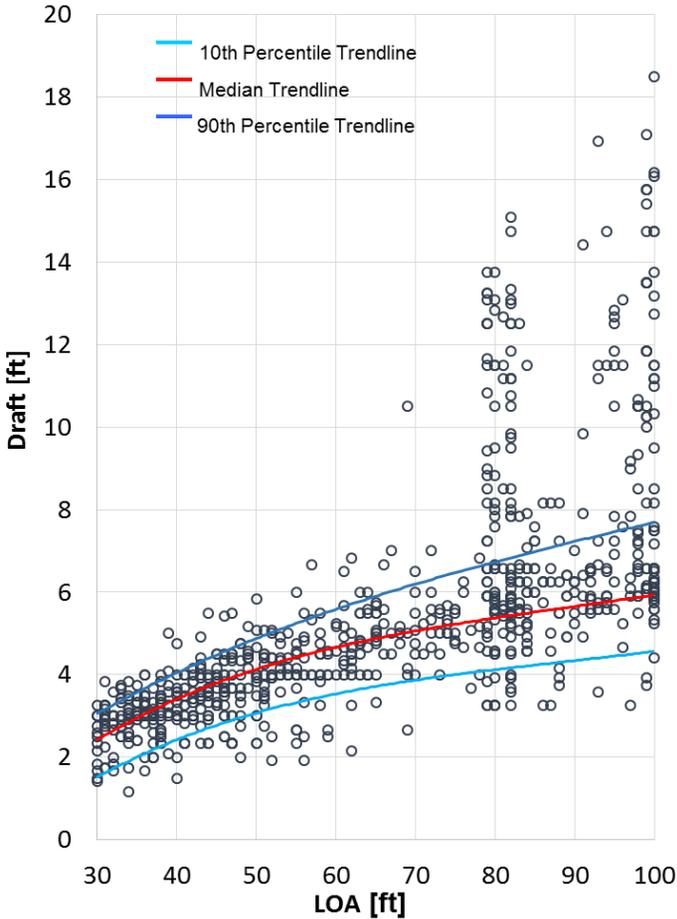


Figure 8-2: Draft vs. LOA

Table 8-6 shows the 90th percentile draft vs. LOA for various boat lengths.

Boat Length [ft]	90% Percentile Draft [ft]	Target Dredge Depth (ft)
30	3.0	6.0
40	4.0	7.0
50	4.7	7.7
60	5.4	8.4
70	5.9	8.9
80	6.3	9.3
90	6.7	9.7
100	7.0	10.0

The recommended dredge depth at the marina entrance is 9.0 ft. The marina depth can become shallower further into the marina where there are smaller boats. The minimum recommended draft is 7.0 ft.

8.2 UTILITIES

The following summarizes utilities expected at a modern marina. Basic amenities described here are required to attract and retain boaters in the market. These expected utilities are power, water, wi-fi, security, and parking. Other amenities like showers and laundry are important for attracting transient boaters.

8.2.1 POTABLE WATER

Vessels with onboard water supplies will need to be replenished and augmented while berthed. Additionally, owners will want to clean their boat following use. All dockside water should be a regulated, potable system capable of filling storage tanks without damage to boat plumbing. Consideration should also be given to accommodating external water purification, conditioning, and filtration systems carried by many yachts. If it is not incorporated into the main plumbing, this system may require a location on the dock adjacent to the water supply. The existing public water utility is anticipated to supply a sufficient source of potable water service to the marina. Branch connections could be made from a main line to service the berths in the marina. Water demand has been estimated to be approximately 25 gallons of water per slip per day during peak demand (Tobiasson, 2000) for vessels less than 100 feet. For vessels larger than 100 feet, the demand is estimated at 50 gallons a day.

8.2.2 ELECTRIC

The number of onboard amenities has increased the electrical demand of modern boats. While many large yachts now have the capability of providing their own electrical service, land-based service is preferred to the noise of running generators full time on each yacht while at berth. Electric services should range from 30 to 100 amps with special provisions made for multiple or three-phase hookups for the largest yachts. Typical vessel electrical requirements per boat are estimated as follows:

Table 8-7: Typical Power Requirements

Slip Size	Recommended Power Configuration
30' - 50'	Two 30 amp 120/240V single phase
50' - 70'	Two 50 amp 120/240V single phase
70' - 80'	Two 50 amp 120/240V single phase One 100 amp 208V 3 phase
80' - 150'	Two 100 amp 120/240V single phase Two 100 amp 208V 3 phase One 200 amp 480V 3 phase

8.2.3 SANITARY

Sanitary systems are designed to be either centralized or located at each slip. A centralized system is less expensive to install, can be easily staffed with marina employees, and is less prone to maintenance issues caused by improper use by boat owners. Service at each slip facilitates proper disposal of wastes by eliminating waiting lines. Some owners will discharge out at sea or in the marina rather than wait in line or return at a later time to a pumpout facility. The provision of clean, well-outfitted, well lighted, and accessible shoreside sanitary facilities reduces the stress on the onboard systems and discourages the use of on-board sewage flow through devices.

Depending on the dock layout it is recommended that one pumpout be provided for each dock. The sewage may be pumped into an on-site holding tank from which it is discharged into the municipal sanitary sewer system. The pumpout should be centrally located and easily accessible. Typically pumpouts are located nearby to fuel dispensing operations. In-slip pumpout facilities provide an added level of service.

To prevent accidental discharges, trained staff should be available to assist boaters with pumpout operations.

8.2.4 SOLID WASTE COLLECTION

Trash floating in the marina is unsightly and must be removed by staff, creating a maintenance issue. Yachters should be encouraged to properly dispose of trash by providing multiple large, covered, convenient trash receptacles. Covered receptacles prevent birds and rodents from accessing and spreading collected trash.

8.2.5 INTERNET/TELEPHONE/TV (CABLE OR SATELLITE)

The increased desire for and expectation of amenities such as telephone, cable television, and high-speed internet access has risen for marinas in recent decades. The availability and use of cellular phones and satellite TV service has also increased to meet this demand. When planning communications infrastructure, the continued rapid growth in new technologies and quick obsolescence of existing technologies must be considered.

Direct telephone wiring to each slip, while providing standard telephone service, also requires the installation of additional equipment to handle the various lines as well as knowledgeable staff to activate and deactivate the lines as necessary. With the increase in Internet Telephony and alternate service providers, direct telephone wiring to each slip is no longer required. Telephone service may be provided through cable television service or using Voice-Over-IP (VOIP) technology with wireless internet services. These technologies also require that the staff have a minimal level of proficiency with the system to provide service to the boat owners.

While many medium length yachts in the United States have portable satellite television dishes temporarily mounted on the dock boxes or railings and larger vessels often have these dishes permanently mounted on their decks for reception anywhere in the world, cable television hookups at each slip may be desirable. One option that is gaining popularity in modern marinas is to have a central satellite television hub in an administrative building that is subsequently linked to individual yachts with a use fee associated with the service.

Wireless services may be provided with minimal infrastructure requirements but may require more expensive equipment and a technically proficient staff to maintain. Wired service connections may be incorporated into electrical pedestals and may have higher initial and maintenance costs.

8.2.6 FIRE PROTECTION

Modern marinas require that fire-fighting equipment be capable of combating fires quickly and effectively, while preventing the fire from spreading to other vessels within the marina. The most common types of fires in marinas are those fueled by flammable liquids, such as diesel, oil, or gasoline. The possibility of the fire spreading to other vessels along the water surface must be considered, especially when combating such a fire with water, which may push the fire along the water's surface. For this reason, large dry chemical fire extinguishers to suppress Class B (fuel), as well as Class A (wood/paper) and Class C (electrical) fire, should be readily available at key locations throughout the marina. This equipment should be provided in tandem with a centralized high volume water system.

8.2.7 SERVICE DISTRIBUTION

Marina utility power pedestals may be utilized to provide yachts with a single source for water, telephone, cable television, and electrical hookups while also providing low-glare lighting and racks for cables and hoses. These units are also designed for easy accessibility to wires and connections while being serviced or repaired. It is suggested that these units be provided at each individual dock. Low-glare / low-level lighting should be provided throughout the marina to provide an atmosphere of safety as well as increase the aesthetic appeal of the marina.

8.3 ANCILLARY AMENITIES

8.3.1 SECURITY

Boat owners want to know that while their boat is in the marina, it will be safe from thievery and vandalism. Security measures implemented for the marina should be visible to act as a deterrent while not being intimidating or obtrusive to marina patrons. Security measures may include security staff augmented by video surveillance, monitored vessel access alarm systems, and the creation of secure areas using physical barriers such as fences and gates. Marina security should also include the use of appropriate lighting along walkways and public areas throughout the marina.

Limited access docking configurations provide a means to limit access to berthing areas through the installation of a security gate at each access point that may be controlled with access codes or key cards combined with the physical separation of a marginal dock from the bulkhead.

8.3.2 RESTROOMS AND SHOWERS

Not all boats contain onboard restrooms or shower facilities and many passengers and crews are encouraged to use landside facilities when berthed. Restroom and shower facilities are expected to be clean, private, and plentiful.

New restroom structures will likely have to be on floating platforms or elevated such that the finished floor is above the FEMA 100 year flood level. An elevated building may require elevators to allow ADA access.

8.3.3 LAUNDRY

Laundry facilities serve transient boaters as well as those looking to weekend on their boat. Facilities should be clean and plentiful in a well-lighted location. Laundry facilities are typically co-located with restrooms and showers and need to abide by building code for flood plain construction.

8.3.4 ENVIRONMENT

Rules should be clearly posted to minimize the amount of noise generated by boat operations and marina guests. Boat no-wake zones should be strictly enforced for the comfort of the guests as well as the protection of the environment. Provision of absorbent pads may be considered for keeping contaminants in boat bilges out of the marina and facilities for used engine oil disposal may be desirable for use by yachts on longer stays. Maintenance of vessels while at berth should be kept at a minimum or not allowed.

8.3.5 ACCESS

Access ramps and similar provisions must be considered for the disabled and physically challenged.

9. MARINA MASTER PLAN

9.1 SCHEMATIC MASTER PLAN

A schematic master plan was developed to identify dock uses and appropriate locations for each group of users in the marina. Identified dock uses include.

- Recreational Boater
 - Daily Boaters
 - Seasonal Boaters
 - Yearly Boaters
- Liveaboards
- Commercial
 - Sailing Schools
 - Fishing Charters
 - Cruise/Tour Charters
 - Brokerage
 - Water Taxi
 - Misc
- Organizations
 - SPYC
 - Sailing Center
 - USF

Taking into account the different users in the marina, areas that best support each type of dock use were identified as shown in Figure 9-1. Commercial users, for example, are placed in high visibility areas near 2nd Avenue.

9.1.1 NORTH BASIN

The North Basin schematic master plan shows the existing mooring field area with new commercial docks along the south wall of the basin that would serve ferries, water taxis, dinner cruises, etc. An exhibition berth to support tall ships or special exhibitions is also shown. The existing Vinoy Marina is located at the north portion of the basin.

The commercial slips are geared toward passenger pick-up and drop-off as this area is easy to access from land and water. The North Basin reportedly experiences wave agitation through the entrance and into the basin during wave events from the east, requiring enhanced wave protection to make the basin more usable for the marina and mooring field.

9.1.2 CENTRAL BASIN

The Central Basin is comprised of a north and south area. The north area along 2nd Avenue is targeted for boat users that potentially desire proximity to activities associated with the Pier and Beach Ave restaurants and shops. These users include short-term transient boaters, long term and liveaboard users, brokers, charters, and other commercial slips. These users also generate more activity in the marina that will attract pedestrians down 2nd Avenue towards the Pier.

The southern portion of the Central Basin includes slips mostly for long-term slip takers. These slips have access to existing surface parking and restroom facilities on Demen's Landing. There are also some covered slips available for boaters.

9.1.3 SOUTH BASIN

The South Basin docks are accessed via Demen’s Landing. This area is well suited to accommodate long term users that may desire more privacy (year round lease holders and liveaboards). These docks are close to the existing marina building which may be remodeled to include updated restrooms and laundry facilities.

The South Basin master plan also includes some courtesy docks in the vicinity of the Mahaffey Theater. The open space outside of the south basin docks is an important training area used by the Sailing Center. This area is also used for annual in-water boat shows.

9.1.4 BREAKWATERS

The schematic plan shows expansion of the breakwaters at the entrance of the North, and Central/South Basins. These breakwaters are needed to attenuate incoming waves to better protect boats and docks.

9.1.5 UPLAND

The location of the marina manager office and the ship store provides a great view of vessels entering the marina and consolidates operations into one centralized location that boat owners can identify and access easily. The existing marina building may be modified to provide an upgraded lounge area and additional restrooms, showers, and laundry facilities.

Reconstructed comfort station/dock houses will be needed to serve the Central Docks. These buildings will likely need to be elevated to meet building code requirements for flood zone construction.

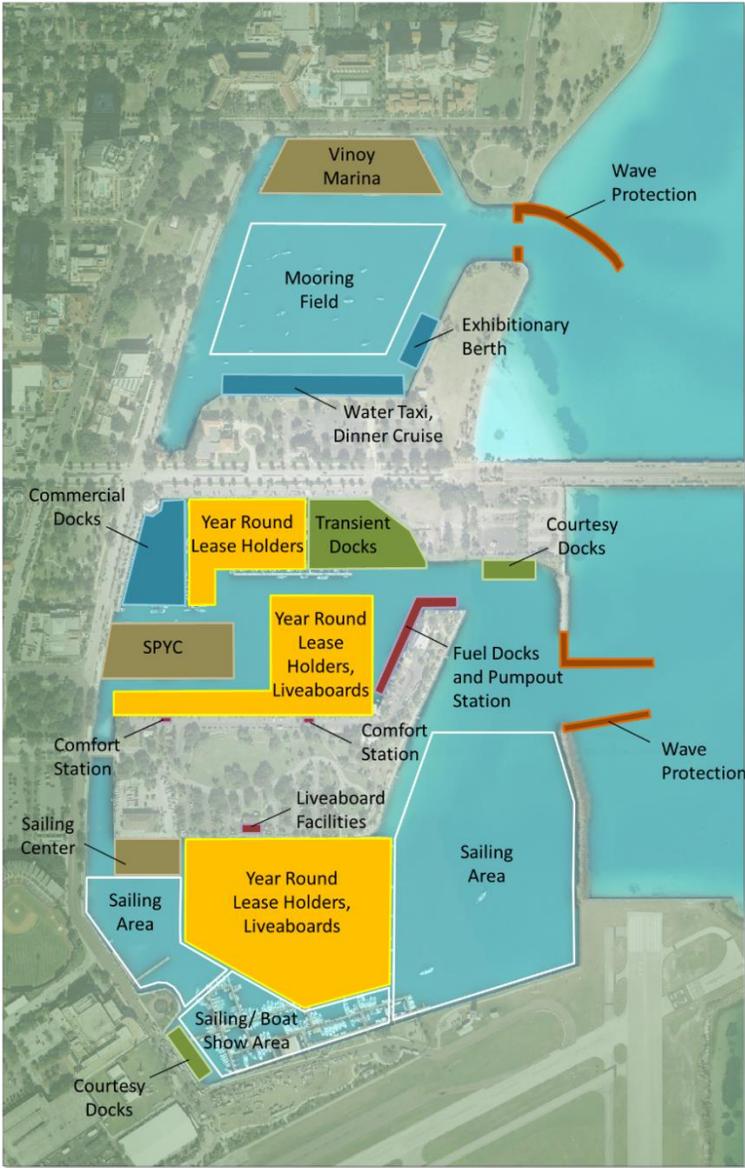


Figure 9-1: Schematic Plan

9.2 MARINA SLIP LAYOUTS

The following sections outline the proposed dock layouts for the marina.

9.2.1 NORTH BASIN

The proposed North Basin masterplan (Figure 9-2) includes new commercial berths and an exhibition dock. The commercial docks are envisioned as floating platforms accessed from land by a gangway. The platforms should be long enough to offer access to the different access points a vessel may have and wide enough to allow for an easy maneuverability of passengers and small cargo carts. The masterplan also includes a dedicated exhibition dock on the East side of the basin to be used by singular ships.

Table 9-1: North Basin Commercial Slips

Slip Size [ft]	Commercial Docks	
	Total Count	%
100	2	40.0%
120	3	60.0%
Total	5	100.0%

The commercial slips will be flexible to allow a wide range of commercial vessels. The commercial slips are intended for passenger loading and unloading. Vessels servicing

– refueling, cleaning, restocking – is expected to occur at an alternate location. To preserve views from downtown, overnight berthing and leaving vessels untended at berth will not be permitted. Vessels will be encouraged to utilize alternate facilities for overnight berthing including the City of St. Petersburg Port.

The exhibition dock will include a minimal platform for passenger access along with mooring structures (dolphins) to allow overnight berthing of

exhibition vessels. This dock is intended for museum quality vessels that allow tours to the general public and exhibit cultural significance.

To facilitate navigation through the mooring field and to eliminate dinghies having to cross in front of the commercial traffic, the plan includes relocating the dinghy dock to the west and positioning the two commercial docks to the east.

Table 9-2: North Basin Mooring Anchor Sizes

Mooring Anchor Size [ft]	Existing		Proposed	
	Total Count	%	Total Count	%
30	1	12.5%	2	13.3%
40	3	37.5%	8	53.3%
50	2	25.0%	3	20.0%
60	2	25.0%	2	13.3%
Total	8	100.0%	15	100.0%

The North Basin is exposed to wave conditions from the Northeast through the Southeast directions across the bay and the reflective character of the basin enhances wave agitation. Wave protection is recommended to reduce agitation and improve wave conditions in the basin. A breakwater or similar structure is proposed for the basin entrance to interrupt waves prior to entering the basin.

The breakwater is needed to safely board passengers in a variety of weather conditions. The breakwater is also expected to improve boater experience in the mooring field as well as the Vinoy Marina.

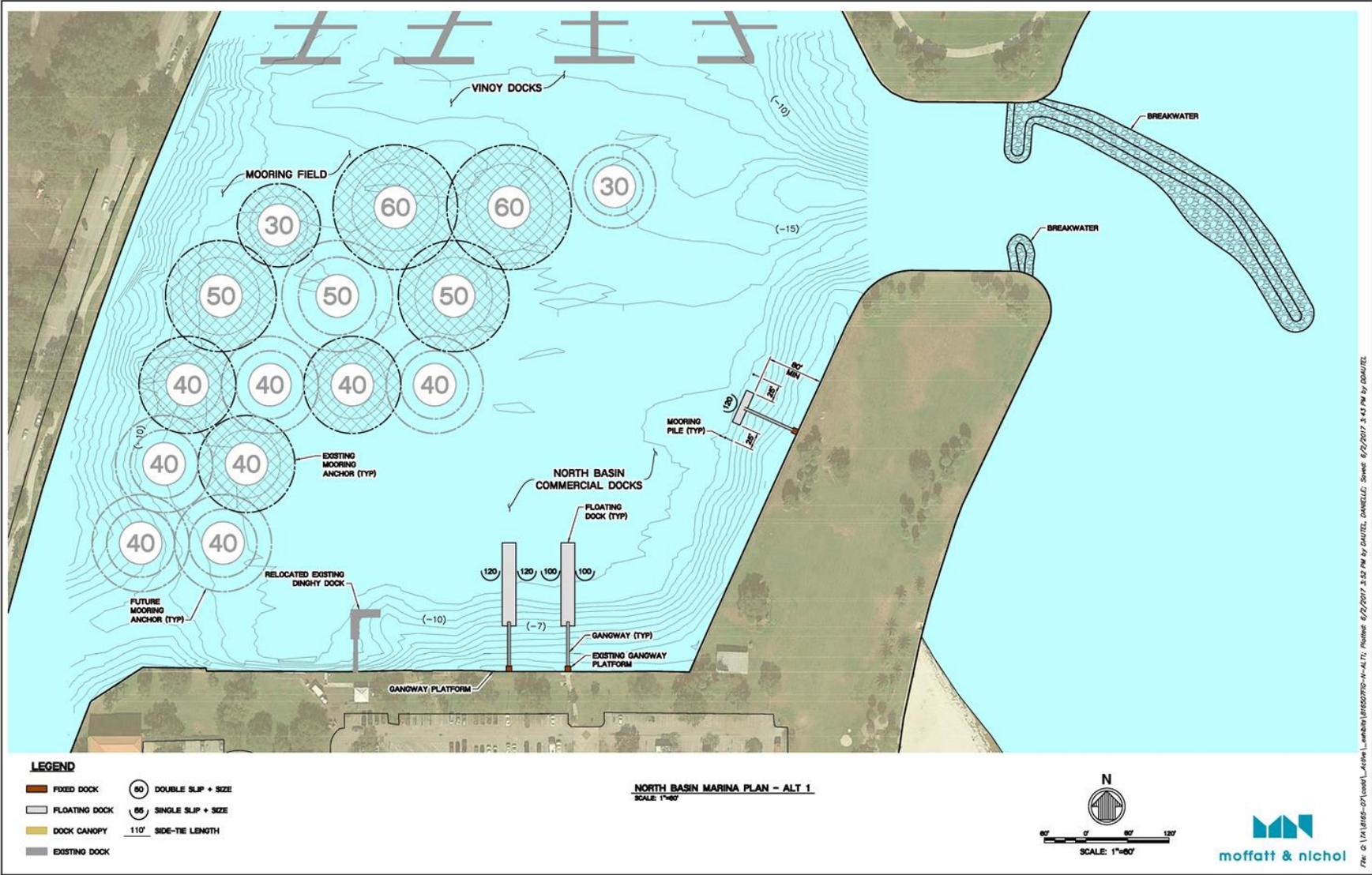


Figure 9-2: Master Plan North Basin

9.2.1 CENTRAL BASIN

The Central Basin master plan (Figure 9-3) includes a combination of fixed and floating docks to appeal to a broad array of users. Floating docks are shown for the North Docks and fixed docks for the Central Docks.

Floating docks are recommended for ease of access to support the commercial docks and transient docks. The north side of the Central basin will tie-in with the Downtown Masterplan and the Pier Approach designs and floating docks are aesthetically preferred due to their modern look and the ability to omit fencing, other than gates at the dock access points, and still maintain marina security. Fixed docks were preferred by many of the existing marina users representing the year-round lease users as well as the liveaboards. Fixed docks work well with the proposed layout for the Central Docks.

In addition to the fixed Central Docks, the master plan also includes maintaining the existing covered docks. New covered slips are not permitted due to impacts to marine habitat. The area of the existing covered slips may be “grandfathered” into the new marina. These slips will likely command a premium lease price.



The covers should be high tension fabric similar to the system used at the Tampa Riverwalk (see image). The design should be sufficient to withstand hurricane force winds.

The proposed marina layout includes 144 slips in the North Docks, 19 commercial slips, 45 transient slips, 165 docks in Central Docks and 14 courtesy docks. Table 9-3 shows the proposed slip mix for the Central Basin, where a relatively wide distribution of slip sizes is achieved.

The Masterplan for the Central Basin also includes a comfort station and North Dock house on 2nd Ave, an extension to the existing fuel dock with a pumpout station, 6 covered docks for public service vessels, and a comfort station to be used by the liveaboards on the south side.

The proposed comfort stations are expected to be elevated to meet building code requirements for construction in a flood zone. The overwater area, including the square footage of roof and area of wall, may not exceed the area in the existing buildings due to Pinellas County ordinances against overwater buildings.

Table 9-3: Central Basin Slip Mix

Slip Size [ft]	Existing		Proposed	
	Total Count	%	Total Count	%
20	84	20.4%	8	2.1%
30	145	35.3%	72	18.6%
35	0	0.0%	83	21.4%
40	151	36.7%	109	28.2%
45	0	0.0%	1	0.3%
50	4	1.0%	77	19.9%
60	13	3.2%	25	6.5%
65		0.0%	1	0.3%
Side Tie	14	3.4%	11	2.8%
Total	411	100.0%	387	100.0%

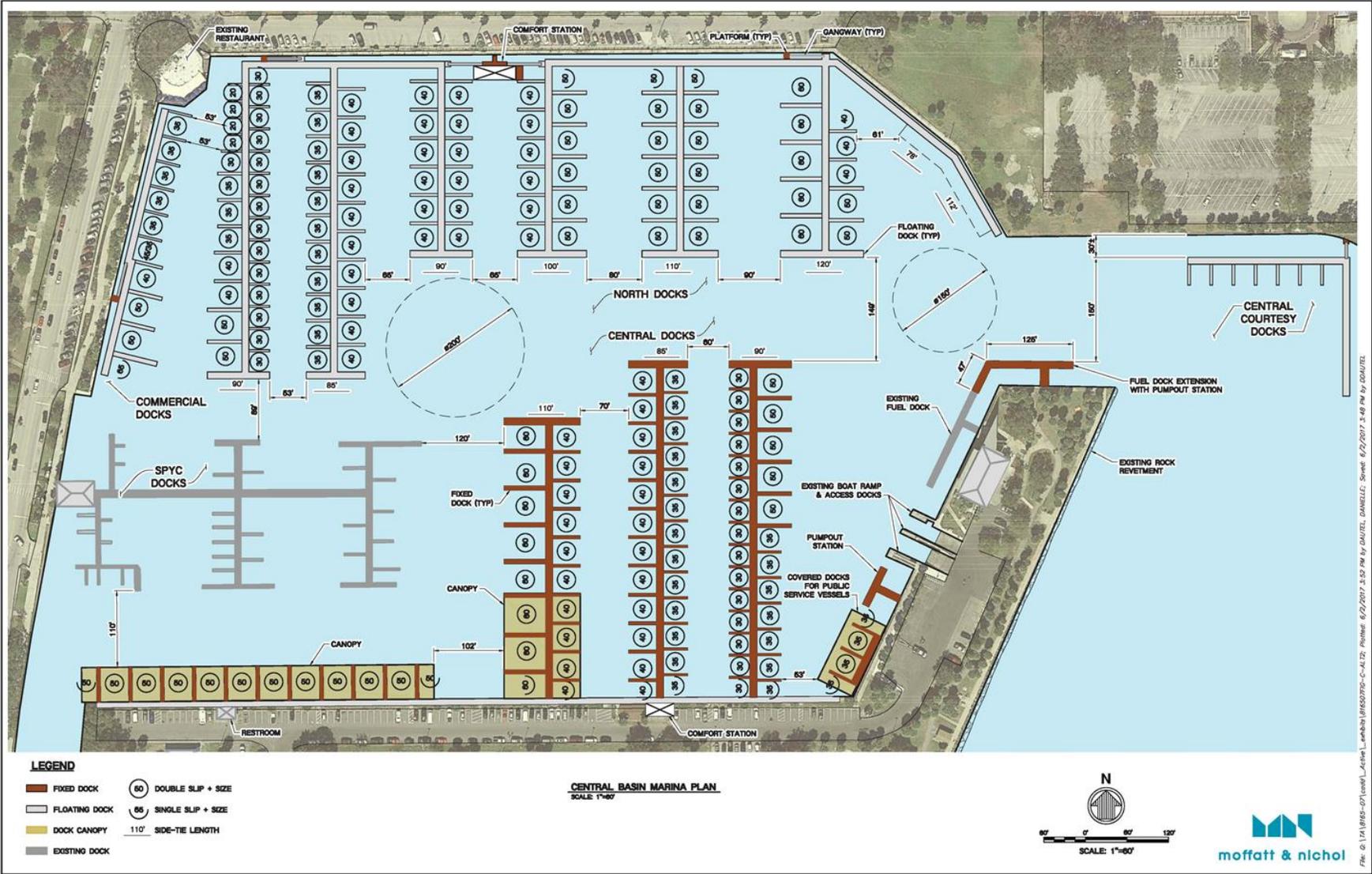


Figure 9-3: Master Plan Central Basin

9.2.1 SOUTH BASIN

The South Basin master plan includes replacing existing piers 1 to 4 with new piers that reflect the proposed slip mix and current vessel dimensions. Existing open areas will be maintained for use by the general public including the Sailing Center and the St. Petersburg Boat Show.

Pier 5 will be modified to accommodate larger vessels along the east face of the pier. The proposed slip mix (Table 9-4) includes 11 new courtesy docks on the southwest side to accommodate transient boaters.

The South Basin master plan (Figure 9-4) includes floating docks for piers 1 to 4. The floating docks will help provide access for a wide variety of boats using the marina and will help attenuate wave energy within the marina. Pier 5 will remain a fixed dock but requires upgraded power to serve the larger ships.

A navigation channel of 180-190 feet between the Sailing Center and the protected sailing area was included to provide an easy access to boaters and inexperienced sailors

To better serve the South Basin marina community, the Masterplan calls for updates to the parking area and updates to the comfort station with improved liveaboard facilities (showers, lockers, lounge area).

Table 9-4: South Basin Slip Mix

Slip Size [ft]	South Basin			
	Existing		Proposed	
	Total Count	%	Total Count	%
20	0	0.0%	11	4.2%
30	124	44.4%	32	12.4%
35	0	0.0%	36	13.9%
40	20	7.2%	62	23.9%
45	0	0.0%	27	10.4%
50	83	29.7%	40	15.4%
55	0	0.0%	6	2.3%
60	25	9.0%	6	2.3%
65	22	7.9%	30	11.6%
70	0	0.0%	0	0.0%
80	0	0.0%	4	1.5%
>100	0	0.0%	0	0.0%
Side Tie	5	1.8%	5	1.9%
Total	279	100.0%	259	100.0%

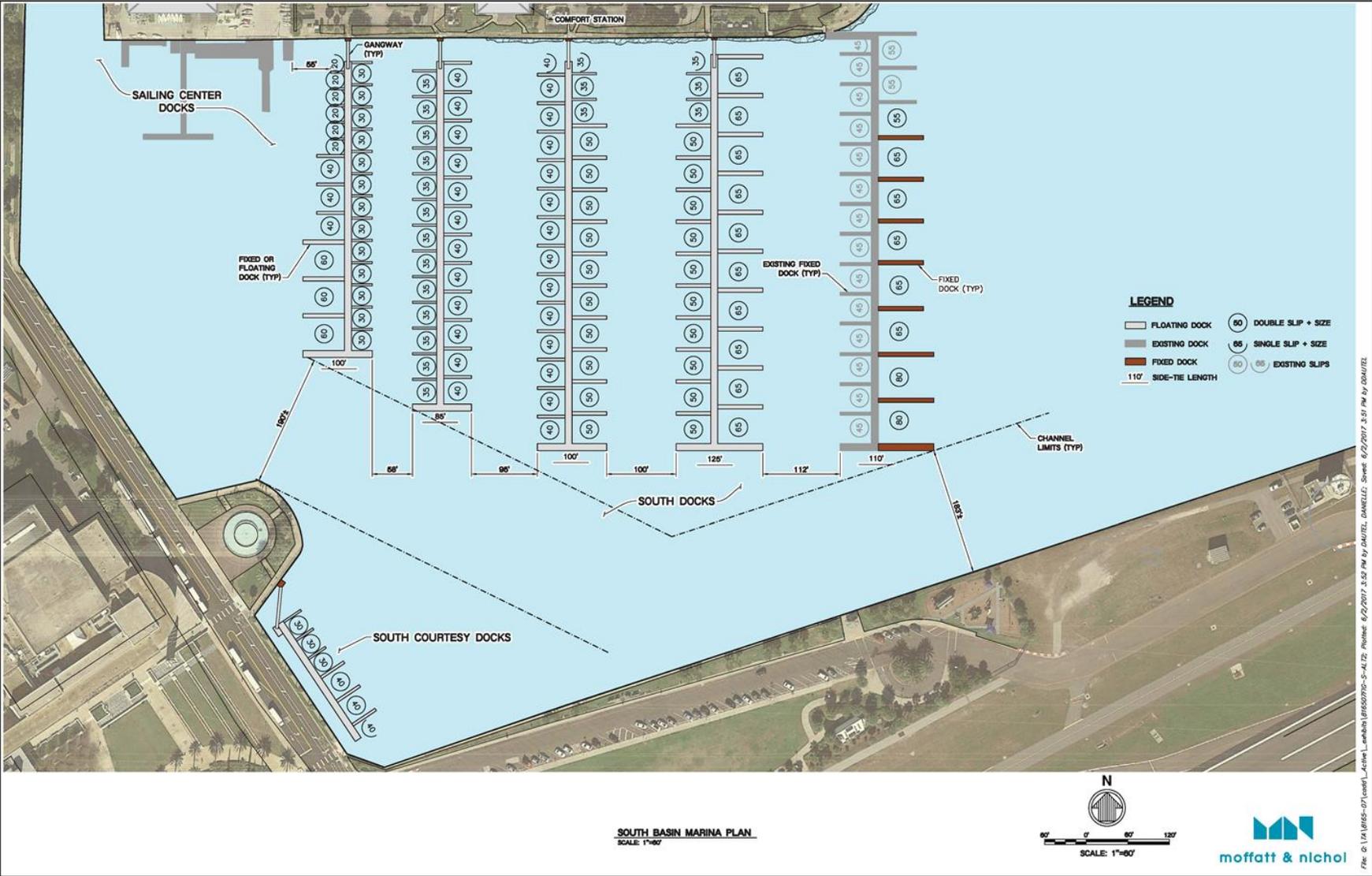


Figure 9-4: Master Plan South Basin

9.3 MARINA UPLANDS

The marina’s upland assets primarily consist of parking for marina users, the marina store and manager’s office, and the boaters lounge. The marina shares Demens Landing with the St. Petersburg Sailing Center and Demens Landing Park.

9.3.1 SHIP’S STORE AND MARINA MASTER’S OFFICE

The ship’s store and marina master office is the heart of marina operations. The building was recently renovated to include a retail space and marina administration offices. The building is sufficiently sized for the current marina activities.

9.3.2 BOATER’S LOUNGE

The boater’s lounge, located in the former marina manager office on Demen’s Landing, is used by boaters for various activities including:

- Restrooms/Showers/Laundry
- Mailboxes
- Lockers
- Lounge area

The facilities should be upgraded to improve aesthetics and functionality.

9.3.3 RESTROOMS/SHOWERS/LAUNDRY

Additional restrooms and showers should be constructed to serve the central docks in the central basin. This facilities should be within the fenced security perimeter for the safety of the residents. The buildings

will likely be elevated to meet building code requirements for construction in a flood zone.

9.3.4 PARKING

There are currently 95 parking stalls and 123 parking stalls available for marina patrons in the central and south basin areas. Lease holders are given the opportunity to purchase parking stickers that allow parking in the marina lots and adjoining City lots.

Reconfiguring the main parking lot and rotating the parking along the north access road allows for an additional 67 parking stalls for a total of 142 and 143.

9.3.5 SECURITY/FENCING

Marina security is critical to establishing a world class facility. Marinas should feel open and public while simultaneously protecting the boats residing in the marina. The marina configuration can aid in securing the marina through the use of over water gaps and limited connections to land.

The following outlines the proposed security and fencing for the marina perimeter:

- North Basin along 2nd Ave and Spa Park – gates at dock access points
- Central Basin along 2nd Ave – gates at dock access points
- Central Basin along Bayshore – gate at commercial dock access point

- Central Basin on Demens Landing – fence along marina perimeter including shower/restroom facilities
- South Basin on Demens Landing – gates at dock access points

The above list shows that gates can be used at most locations with no fence along the marina perimeter to obstruct view.

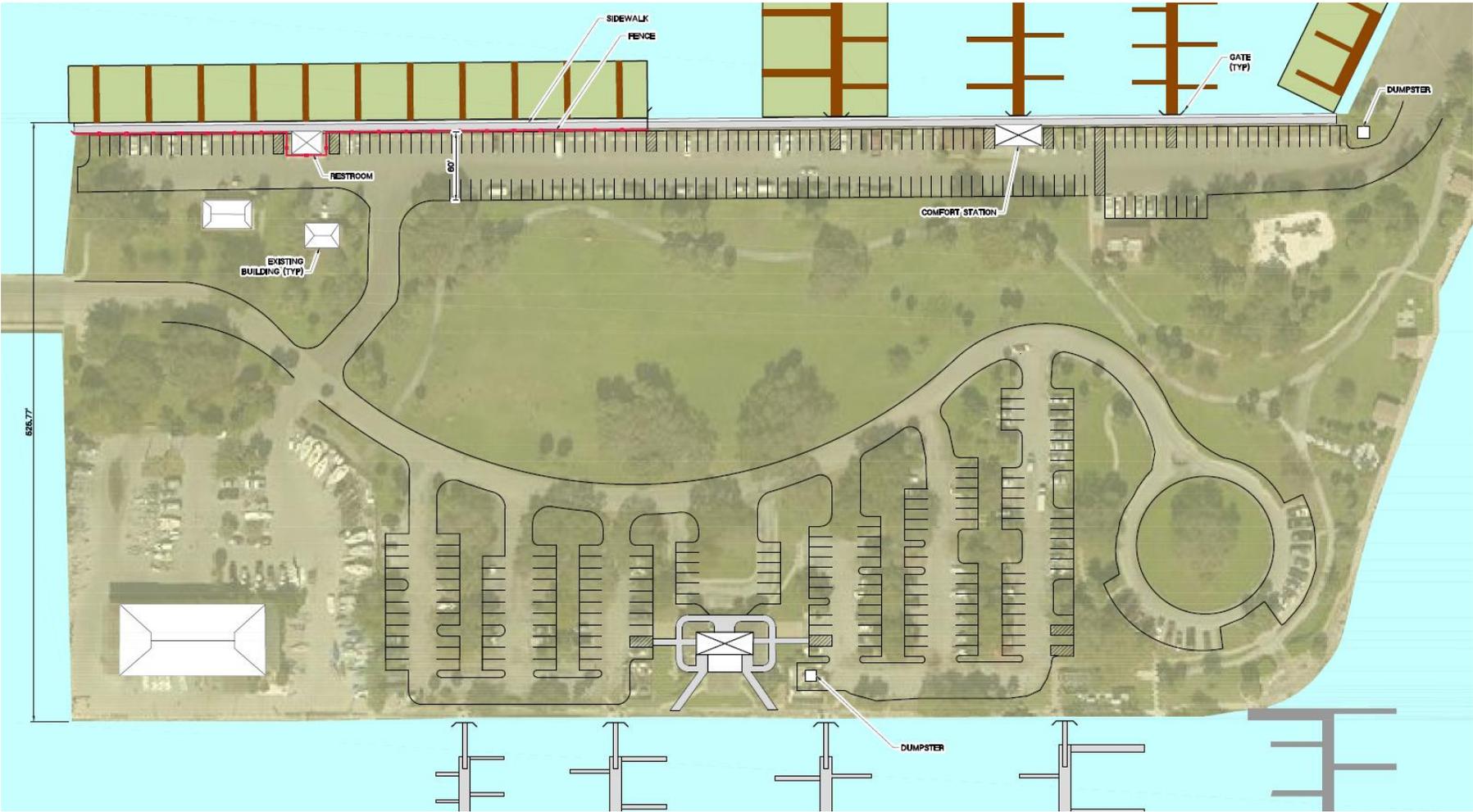


Figure 9-5: Master Plan Uplands

10. PHASING PLAN

Constructing the master plan for the Municipal Marina is expected to occur over several phases. The phases should be developed based upon the following considerations:

- Minimizing displacement of existing boaters - maintain or increase the number of boat slips and the size of those boat slips with each phase, if possible
- Existing dock geometry – renovate docks that are underutilized first
- Dock condition – replace docks requiring the most maintenance
- Flexibility – add flexibility to the dock layout and slip mix to accommodate unforeseen changes in the market

10.1 NORTH BASIN

Docks in the North Basin should be designed to be flexible based on the expected range of commercial users of the docks. One pier may be built initially to accommodate multiple users with a second pier constructed when demand warrants. Vessels are expected to overnight berth elsewhere, using the docks for passenger loading and unloading only.

The exhibition dock may be constructed in coordination with the pier approach or other planning in the area that will provide access and utilities to the dock area.

10.2 CENTRAL BASIN

The central basin docks are older than the south basin docks. The older docks, along with the ongoing planning and development of the pier approach along 2nd Avenue, makes replacing the Central Basin docks a higher priority.

Marina bulkhead work should be completed prior to dock construction to minimize construction access issues and damage to the docks.

The central basin north wall is expected to be raised to meet the adjacent upland grade. The wall may also require resealing of joints to limit sediment loss/voids.

The central basin south bulkhead shows signs of lateral translation. The wall structural system is unclear due to the wall's age. Construction of a new bulkhead seaward of the existing bulkhead is recommended.

10.3 SOUTH BASIN

The south basin configuration allows for implementation of the master plan in several phases. The docks may be replaced one pier at a time or all at once. This flexibility allows some management of boats to move throughout the marina to avoid displacing existing occupants while the docks are constructed.

10.4 UPLANDS

Development of the upland facilities are somewhat independent of the development of the basin. Upland development includes reconfiguring

parking to provide additional capacity and upgrades to the boater facilities on Demens Landing.

10.5 CONSTRUCTION SEQUENCE

The following summarizes the recommended sequence of completion for the various components. This list is based on constructability (e.g. replace/repair bulkhead prior to installing new docks in the same area), dock age, and environmental considerations.

Recommended Sequence:

1. Central Basin North Bulkhead Modification
2. North Docks (Central Basin)
3. Central Basin South Bulkhead Replacement
4. Central Docks (Central Basin)
5. Reconfigure Demen's Landing Parking
6. Central Basin Breakwater Modifications
7. North Basin Breakwater Modifications
8. North Basin Docks
9. South Basin Bulkhead Repairs
10. South Basin Piers 1-4

11. OPINION OF PROBABLE CONSTRUCTION COSTS

Construction cost estimates have been developed based on historical and current data using in-house sources, information from previous studies as well as budget price quotations solicited from local suppliers and contractors. Costs provided are in present day dollars and do not account for inflation or escalation.

A contingency amount has been included to cover undefined items, due to the level of engineering carried out at this time. The contingency is not a reflection of the accuracy of the estimates but covers items of work which will have to be performed, and elements of costs which will be incurred, but which are not explicitly detailed or described due to the level of investigation, engineering and estimating completed today. The estimate, including the contingency, is considered accurate to +30% / - 20%.

The costs do not include a detailed material take-off; quantities are based on parametric estimates (square feet of dock, linear feet of bulkhead, etc).

11.1 ALTERNATIVE 1 – ALL FLOATING DOCKS

Table 11-1: Alternative 1 OPC

Description	TOTAL	
North Basin	\$1,250,000	
Floating Commercial and Exhibition Docks	\$1,250,000	
Central Basin	\$22,200,000	
Floating North Docks	\$11,000,000	
Floating Central Docks	\$9,850,000	
Building Structures Allowance	\$1,350,000	
South Basin	\$10,500,000	
Floating Piers 1-4; New Fingers Pier 5	\$9,500,000	
Floating South Courtesy Docks	\$500,000	
Building Upgrade Allowance	\$500,000	
Civil Works (Paving, Sidewalks, Gates/Fences)	\$2,800,000	
Bulkheads	\$4,650,000	
North Basin Bulkhead Repair/Replacement	\$1,375,000	
Central Basin Bulkhead Repair/Replacement	\$3,150,000	
South Basin Cap Repairs	\$125,000	
Subtotal	\$41,400,000	
Indirect Costs (Permitting, Engineering, Design)	\$4,140,000	
Contingency (30%)	\$12,420,000	
Total	\$57,960,000	
Class 3 Estimate		
Plus 30 Percent	\$17,388,000	\$75,348,000
Minus 20 Percent	(\$11,592,000)	\$46,368,000

11.2 ALTERNATIVE 2 – ALL FIXED DOCKS

Table 11-2: Alternative 2 OPC

Description	TOTAL
North Basin	\$1,750,000
Fixed Concrete Commercial and Exhibition Docks	\$1,750,000
Central Basin	\$24,750,000
Fixed Concrete North Docks	\$13,900,000
Fixed Concrete Central Docks	\$9,500,000
Building Structures Allowance	\$1,350,000
South Basin	\$13,000,000
Fixed Concrete Piers 1-4; New Fingers Pier 5	\$12,000,000
Fixed Concrete South Courtesy Docks	\$500,000
Building Upgrade Allowance	\$500,000
Civil Works (Paving, Sidewalks, Gates/Fences)	\$2,800,000
Bulkheads	\$4,650,000
North Basin Bulkhead Repair/Replacement	\$1,375,000
Central Basin Bulkhead Repair/Replacement	\$3,150,000
South Basin Cap Repairs	\$125,000
Subtotal	\$46,950,000
Indirect Costs (Permitting, Engineering, Design)	\$4,695,000
Contingency (30%)	\$14,085,000
Total	\$65,730,000
Class 3 Estimate	
Plus 30 Percent	\$19,719,000 \$85,449,000
Minus 20 Percent	(\$13,146,000) \$52,584,000

11.3 ALTERNATIVE 3 – MIXED FIXED AND FLOATING DOCKS

Table 11-3: Alternative 3 OPC

Description	TOTAL
North Basin	\$1,250,000
Floating Commercial and Exhibition Docks	\$1,250,000
Central Basin	\$21,850,000
Floating North Docks	\$11,000,000
Fixed Central Docks	\$9,500,000
Building Structures Allowance	\$1,350,000
South Basin	\$10,500,000
Floating Piers 1-4; New Fingers Pier 5	\$9,500,000
Floating South Courtesy Docks	\$500,000
Building Upgrade Allowance	\$500,000
Civil Works (Paving, Sidewalks, Gates/Fences)	\$2,800,000
Bulkheads	\$4,650,000
North Basin Bulkhead Repair/Replacement	\$1,375,000
Central Basin Bulkhead Repair/Replacement	\$3,150,000
South Basin Cap Repairs	\$125,000
Subtotal	\$41,050,000
Indirect Costs (Permitting, Engineering, Design)	\$4,105,000
Contingency (30%)	\$12,315,000
Total	\$57,470,000
Class 3 Estimate	
Plus 30 Percent	\$17,241,000 \$74,711,000
Minus 20 Percent	(\$11,494,000) \$45,976,000

11.4 BREAKWATERS

Table 11-4: Breakwaters OPC

Description		TOTAL
North Basin		\$2,250,000
Central Basin		\$4,200,000
Subtotal		\$6,450,000
Indirect Costs (Permitting, Engineering, Design)		\$645,000
Contingency (30%)		\$1,935,000
Total		\$9,030,000
Class 3 Estimate		
Plus 30 Percent	\$2,709,000	\$11,739,000
Minus 20 Percent	(\$1,806,000)	\$7,224,000

12. REFERENCES

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APPENDIX A – REGIONAL MARINAS

Belle Harbour Marina

Address 307 Anclote Road Tarpon Springs, FL United States		<u>Marina Description</u>								
Contact Person										
Telephone	727-943-8489	Latitude	28.159169	Web Page						
Fax		Longitude	-82.762443	Market	US - Florida - Panhandle, Dunedin to Carrabelle					
<u>Slip Information</u>				<u>Wet Slips</u>		<u>Occupancy</u>		<u>Upland Amenities</u>		
Dock Style	Fixed	Max Slip Length		Wet Slips	20	Busy Season		Hotel	N	
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	N	
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	N	
			<u>Slip Sizes</u>	Weekly (Low)		Wet Off Occupancy		Bar	N	
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	Y
			20'-29'	8	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	Y
			30'-39'	12	Monthly (High)		<u>Miscellaneous</u>		Shower	Y
			40'-49'	0	Yearly (Low) /mo		Moorings		Ice	Y
			50'-59'	0	Yearly (High) /mo		Mooring Rate /mo		Water Sports	N
			60'-69'	0	<u>Liveaboards</u>		Boat Ramp		Security	Passive N Guard N Video N
			70'-79'	0	Liveaboards Allowed		Environment		<u>WaterSide Amenities</u>	
			80'-89'	0	Daily Liveboard Rate		<u>Electric</u>		Water	Y
			90'-99'	0	Weekly Liveboard Rate		1 Phase		Telephone	N
			100'-109'	0	Monthly Liveboard Rate		3 Phase		TV/Cable	N
110'-119'	0	Yrly Liveboard Rate /mo		Rates	Meter	/kwh	/Day	/Mo	Internet Access	N
120'-129'	0			30A					<u>Fuel/Pumpout</u>	
130'-139'	0	<u>Dry Slips</u>		50A					Gas	Y
140'-149'	0	Dry Slips		100A					Diesel	Y
150'-159'	0	Daily		<u>Associated_Events</u>				Pumpout	Y	/use
160'-199'	0	Weekly						<u>Transient</u>		
200'+	0	Monthly (Low)						Port Of Entry		N
Side Tie LF		Monthly (High)						Transient Berths		
Side Tie #		Yearly (Low) /mo						Crews Quarters		N
<u>Comments</u>		Yearly (High) /mo								

Belle Harbour Marina

Caladesi Island State Park Marina

Address #1 Causeway Blvd. Dunedin, FL 34698 United States		Marina Description								
Contact Person										
Telephone 727-469-5918	Latitude 28.031992	Web Page	http://www.floridastateparks.org/caladesiisland/default.cfm							
Fax	Longitude -82.819618	Market	US - Florida - Panhandle, Dunedin to Carrabelle							
Slip Information		Wet Slips			Occupancy			Upland Amenities		
Dock Style Floating	Max Slip Length 44	Wet Slips 108	Busy Season			Hotel N				
Dock Material Concrete	Min Slip Length	Daily (Low) \$1.00	Off Season			Restaurant N				
Slip Style Double	Approach Depth	Daily (High) \$2.00	Wet Peak Occupancy			Shopping N				
Slip Sizes		Weekly (Low)	Wet Off Occupancy			Bar N				
		Weekly (High)	Dry Peak Occupancy			Pool N				
		Monthly (Low)	Dry Off Occupancy			Laundry Facilities N				
		Monthly (High)	Miscellaneous			Shower Y				
		Yearly (Low) /mo	Moorings 0			Ice Y				
		Yearly (High) /mo	Mooring Rate /mo			Water Sports N				
		Liveaboards		Boat Ramp			Security Passive Y Guard N Video N			
		Liveaboards Allowed		Environment			WaterSide Amenities			
		Daily Liveaboard Rate /ft		Electric			Water Y			
		Weekly Liveaboard Rate /ft		1 Phase Y		3 Phase N		Telephone N		
Monthly Liveaboard Rate /ft		Rates	Meter	/kwh	/Day	/Mo	TV/Cable N			
Yrly Liveaboard Rate /mo /ft		30A					Internet Access Y			
Dry Slips		50A			Fuel/Pumpout					
		100A			Gas N					
					Diesel N					
Comments		Associated Events			Pumpout N /use					
					Transient					
					Port Of Entry		N			
					Transient Berths					
					Crews Quarters		N			
		Under 20' 0	Daily							
		20'-29' 96	Weekly							
		30'-39' 12	Monthly (Low)							
		40'-49' 0	Monthly (High)							
		50'-59' 0	Yearly (Low) /mo							
		60'-69' 0	Yearly (High) /mo							
		70'-79' 0								
		80'-89' 0								
		90'-99' 0								
		100'-109' 0								
		110'-119' 0								
		120'-129' 0								
		130'-139' 0								
		140'-149' 0								
		150'-159' 0								
		160'-199' 0								
		200'+ 0								
		Side Tie LF	Yearly (Low) /mo							
		Side Tie #	Yearly (High) /mo							

Caladesi Island State Park Marina

Dunedin Municipal Marina

Address				Marina Description											
51 Main St. Dunedin, FL United States															
Contact Person Bill Frantz															
Telephone 727-298-3030		Latitude 28.011546		Web Page http://www.dunedingov.com/home.aspx?page=departments/LeisureServices/marina&title=Ma											
Fax		Longitude -82.792857		Market US - Florida - Panhandle, Dunedin to Carrabelle											
Slip Information				Wet Slips				Occupancy				Upland Amenities			
Dock Style Fixed		Max Slip Length 70		Wet Slips 194		Busy Season				Hotel N					
Dock Material Timber		Min Slip Length 20		Daily (Low) \$0.90		Off Season				Restaurant Y					
Slip Style Double		Approach Depth		Daily (High) \$1.50		Wet Peak Occupancy 95%		Shopping N		Bar N					
				Slip Sizes		Weekly (Low)		Wet Off Occupancy		Pool N					
				Under 20' 0		Weekly (High)		Dry Peak Occupancy		Laundry Facilities N					
				20'-29' 117		Monthly (Low) \$4.26		Dry Off Occupancy		Shower N					
				30'-39' 63		Monthly (High) \$5.44		Miscellaneous							
				40'-49' 13		Yearly (Low) /mo \$4.26		Moorings 0		Ice Y		Water Sports N			
				50'-59' 1		Yearly (High) /mo \$5.44		Mooring Rate /mo		Security Passive Y Guard N Video N		WaterSide Amenities			
				60'-69' 0		Liveaboards				Boat Ramp 1		Water Y			
				70'-79' 0		Liveaboards Allowed		Environment Clean Marina		Electric					
				80'-89' 0		Daily Liveaboard Rate /ft		1 Phase Y		3 Phase		Telephone N			
				90'-99' 0		Weekly Liveaboard Rate /ft		Rates		Meter /kWh /Day /Mo		TV/Cable N			
100'-109' 0		Monthly Liveaboard Rate /ft		30A				Internet Access Y							
110'-119' 0		Yrly Liveaboard Rate /mo /ft		Dry Slips		50A		Fuel/Pumpout							
120'-129' 0		Dry Slips 0		Daily		100A		Gas Y							
130'-139' 0		Weekly		Associated_Events				Diesel N							
140'-149' 0		Monthly (Low)		Pumpout Y /use		Transient									
150'-159' 0		Monthly (High)		Port Of Entry N		Transient Berths 9									
160'-199' 0		Yearly (Low) /mo		Crews Quarters N											
200'+		Yearly (High) /mo													
Side Tie LF															
Side Tie #															
Comments															
Non-resident rate is double															

Dunedin Municipal Marina

George's Marina

Address 139 Shore Drive Palm Harbor, FL 34683 United States		<u>Marina Description</u>									
Contact Person											
Telephone	(727) 784-3798	Latitude	28.061528	Web Page							
Fax		Longitude	-82.780498	Market	US - Florida - Panhandle, Dunedin to Carrabelle						
<u>Slip Information</u>				<u>Wet Slips</u>		<u>Occupancy</u>		<u>Upland Amenities</u>			
Dock Style	Fixed	Max Slip Length		Wet Slips	10	Busy Season		Hotel	N		
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y		
Slip Style	Single	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	N		
			<u>Slip Sizes</u>	Weekly (Low)		Wet Off Occupancy		Bar	Y		
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N	
			20'-29'	1	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	N	
			30'-39'	9	Monthly (High)		<u>Miscellaneous</u>				
			40'-49'	0	Yearly (Low) /mo		Moorings		Shower	Y	
			50'-59'	0	Yearly (High) /mo		Mooring Rate /mo		Ice	Y	
			60'-69'	0	<u>Liveaboards</u>		Boat Ramp		Y	Water Sports	N
			70'-79'	0	Liveaboards Allowed		Environment			Security	Passive Guard Video
			80'-89'	0	Daily Liveaboard Rate		<u>Electric</u>		<u>WaterSide Amenities</u>		
			90'-99'	0	Weekly Liveaboard Rate		1 Phase		N	Water	Y
			100'-109'	0	Monthly Liveaboard Rate		3 Phase			Telephone	Y
110'-119'	0	Yrly Liveaboard Rate /mo		Rates	Meter	/kWh	/Day	/Mo	TV/Cable	N	
120'-129'	0			30A					Internet Access	Y	
130'-139'	0	<u>Dry Slips</u>		50A					<u>Fuel/Pumpout</u>		
140'-149'	0	Dry Slips		100A					Gas	Y	
150'-159'	0	Daily		<u>Associated_Events</u>						Diesel	Y
160'-199'	0	Weekly								Pumpout	Y /use
200'+	0	Monthly (Low)								<u>Transient</u>	
Side Tie LF		Monthly (High)								Port Of Entry	N
Side Tie #		Yearly (Low) /mo								Transient Berths	
<u>Comments</u>		Yearly (High) /mo								Crews Quarters	N

George's Marina

Home Port Marina

Address 605 Orange St. S Palm Harbor, FL 34683 United States		Marina Description											
		*Slip sizes do not yet include Docks G & J (aerial location unknown at this time) nor any of the dry slips.											
Contact Person		Telephone 727-784-1443		Latitude 28.059466		Web Page http://www.homeportmarina.com/index.html							
		Fax 727-771-6144		Longitude -82.777216		Market US - Florida - Panhandle, Dunedin to Carrabelle							
Slip Information				Wet Slips				Occupancy		Upland Amenities			
Dock Style Floating		Max Slip Length 42		Wet Slips 190		Busy Season		Hotel Y					
Dock Material Timber		Min Slip Length		Daily (Low)		Off Season		Restaurant Y					
Slip Style Double		Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping Y					
		Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar Y					
		Under 20' 0		Weekly (High)		Dry Peak Occupancy		Pool Y					
		20'-29' 34		Monthly (Low) \$11.48		Dry Off Occupancy		Laundry Facilities Y					
		30'-39' 133		Monthly (High) \$18.65		Miscellaneous				Shower Y			
		40'-49' 22		Yearly (Low) /mo \$11.48		Moorings		Ice Y					
		50'-59' 0		Yearly (High) /mo \$18.65		Mooring Rate /mo		Water Sports N					
		60'-69' 1		Liveaboards				Boat Ramp		Security Passive Y Guard Video N			
		70'-79' 0		Liveaboards Allowed		Environment		WaterSide Amenities					
		80'-89' 0		Daily Liveaboard Rate /ft		Electric				Water Y			
		90'-99' 0		Weekly Liveaboard Rate /ft		1 Phase Y		3 Phase N		Telephone N			
100'-109' 0		Monthly Liveaboard Rate /ft		Rates		Meter /kWh /Day		/Mo		TV/Cable Y			
110'-119' 0		Yrly Liveaboard Rate /mo /ft		30A						Internet Access Y			
120'-129' 0		Dry Slips				50A		Fuel/Pumpout					
130'-139' 0		Dry Slips 350		100A						Gas Y			
140'-149' 0		Daily		Associated Events									
150'-159' 0		Weekly											
160'-199' 0		Monthly (Low) \$10.60											
200'+ 0		Monthly (High) \$11.91											
Side Tie LF		Yearly (Low) /mo \$10.60											
Side Tie #		Yearly (High) /mo \$11.91											
Comments													
Wet slip prices are from April 2007. Dry slip prices are from Jan. 2008. 7% sales tax not included. See website for more detailed costs.													

Home Port Marina

Island Harbor Marina

Address 707 Orange St. Palm Harbor, FL 34683 United States		Marina Description													
Contact Person		Web Page	http://islandharbormarinapalmharbor.com/												
Telephone	727-784-3014	Latitude	28.058421	Market	US - Florida - Panhandle, Dunedin to Carrabelle										
Fax		Longitude	-82.77632												
Slip Information				Wet Slips				Occupancy		Upland Amenities					
Dock Style	Fixed	Max Slip Length		Wet Slips	44	Busy Season		Hotel	N						
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	N						
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	N						
			Slip Sizes	Weekly (Low)		Wet Off Occupancy		Bar	N						
			Under 20'	38	Weekly (High)		Dry Peak Occupancy		Pool	N					
			20'-29'	6	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	N					
			30'-39'	0	Monthly (High)		Miscellaneous		Shower	Y					
			40'-49'	0	Yearly (Low) /mo		Moorings		Ice	Y					
			50'-59'	0	Yearly (High) /mo		Mooring Rate /mo		Water Sports	N					
			60'-69'	0	Liveaboards		Boat Ramp		Security	Passive Guard Video					
			70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities						
			80'-89'	0	Daily Liveaboard Rate		/ft		Electric		Water	Y			
			90'-99'	0	Weekly Liveaboard Rate		/ft		1 Phase		3 Phase		Telephone	N	
			100'-109'	0	Monthly Liveaboard Rate		/ft		Rates	Meter	/kWh	/Day	/Mo	TV/Cable	N
110'-119'	0	Yrly Liveaboard Rate /mo		/ft		30A					Internet Access	N			
120'-129'	0	Dry Slips				50A					Fuel/Pumpout				
130'-139'	0	Dry Slips		175	100A						Gas				
140'-149'	0	Daily			Associated Events										
150'-159'	0	Weekly													
160'-199'	0	Monthly (Low)		\$10.30											
200'+	0	Monthly (High)		\$13.27											
Side Tie LF			Yearly (Low) /mo												
Side Tie #			Yearly (High) /mo												
Comments															
								Pumpout	N	/use					
								Transient							
								Port Of Entry	N						
								Transient Berths							
								Crews Quarters		N					

Island Harbor Marina

Mar Marina

Address 761 Anclote Rd Tarpon Springs, FL 34689 United States		Marina Description										
Contact Person		Telephone 727-939-1589		Latitude 28.163704		Web Page						
		Fax		Longitude -82.775299		Market		US - Florida - Panhandle, Dunedin to Carrabelle				
Slip Information				Wet Slips			Occupancy		Upland Amenities			
Dock Style	Fixed	Max Slip Length		Wet Slips	13	Busy Season	Year-Round		Hotel	N		
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season			Restaurant	N		
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy			Shopping	N		
			Slip Sizes	Weekly (Low)		Wet Off Occupancy			Bar	N		
			Under 20'	0	Weekly (High)				Pool	N		
			20'-29'	0	Monthly (Low)		Miscellaneous		Laundry Facilities			
			30'-39'	13	Monthly (High)		Moorings	0		Shower	Y	
			40'-49'	0	Yearly (Low) /mo		Mooring Rate /mo			Ice		
			50'-59'	0	Yearly (High) /mo		Liveaboards		Water Sports	N		
			60'-69'	0	Liveaboards Allowed		Boat Ramp			Security	Passive Guard Video	
			70'-79'	0	Daily Liveaboard Rate	/ft	Environment			WaterSide Amenities		
			80'-89'	0	Weekly Liveaboard Rate	/ft	Electric		Water	Y		
			90'-99'	0	Monthly Liveaboard Rate	/ft	1 Phase	Y	3 Phase		Telephone	N
			100'-109'	0	Yrly Liveaboard Rate /mo	/ft	Rates	Meter	/kwh	/Day	/Mo	TV/Cable
110'-119'	0			30A					Internet Access	Y		
120'-129'	0	Dry Slips			50A					Fuel/Pumpout		
130'-139'	0	Dry Slips	0	100A					Gas	Y		
140'-149'	0	Daily		Associated Events				Diesel	Y			
150'-159'	0	Weekly						Pumpout	N	/use		
160'-199'	0	Monthly (Low)						Transient				
200'+	0	Monthly (High)						Port Of Entry		N		
Side Tie LF		Yearly (Low) /mo						Transient Berths				
Side Tie #		Yearly (High) /mo						Crews Quarters		N		
Comments												

Mar Marina

Marino's Marina

Marino's Marina			
Address 297 Bayshore Drive Palm Harbor, FL 34683 United States		Marina Description	
Contact Person Telephone 727-784-0143 Latitude 28.068541 Fax 727-784-5243 Longitude -82.781731		Web Page http://marinosmarina.com/ Market US - Florida - Panhandle, Dunedin to Carrabelle	
Slip Information		Wet Slips	
Dock Style	Fixed	Max Slip Length	32
Dock Material	Timber	Min Slip Length	
Slip Style	Double	Approach Depth	
		Slip Sizes	
		Under 20'	0
		20'-29'	37
		30'-39'	14
		40'-49'	1
		50'-59'	0
		60'-69'	0
		70'-79'	0
		80'-89'	0
		90'-99'	0
		100'-109'	0
		110'-119'	0
		120'-129'	0
		130'-139'	0
		140'-149'	0
Comments		Dry Slips	
		Dry Slips	0
		Daily	
		Weekly	
		Monthly (Low)	
		Monthly (High)	
		Yearly (Low) /mo	
		Yearly (High) /mo	
		Side Tie LF	
		Side Tie #	

Marino's Marina

Marker 1 Marina

Address 343 Causeway Blvd Dunedin, FL 34698-1706 United States		Marina Description						
Contact Person		Web Page	http://www.marker1.com/HOME/					
Telephone 727-733-9324	Latitude 28.050251	Market	US - Florida - Panhandle, Dunedin to Carrabelle					
Fax	Longitude -82.786664							
Slip Information		Wet Slips		Occupancy		Upland Amenities		
Dock Style Fixed	Max Slip Length 75	Wet Slips 144	Busy Season	Hotel N				
Dock Material Concrete	Min Slip Length	Daily (Low) \$1.50	Off Season	Restaurant Y				
Slip Style Double	Approach Depth	Daily (High) \$1.50	Wet Peak Occupancy	Shopping N				
	Slip Sizes		Weekly (Low)	Wet Off Occupancy		Bar N		
	Under 20'	0	Weekly (High)	Dry Peak Occupancy		Pool Y		
	20'-29'	0	Monthly (Low) \$15.00	Dry Off Occupancy		Laundry Facilities Y		
	30'-39'	86	Monthly (High) \$19.00	Miscellaneous		Shower Y		
	40'-49'	46	Yearly (Low) /mo \$15.00	Moorings 0	Ice Y			
	50'-59'	0	Yearly (High) /mo \$19.00	Mooring Rate /mo	Water Sports N			
	60'-69'	12	Liveaboards		Boat Ramp	Security Passive Y Guard N Video N		
	70'-79'	0	Liveaboards Allowed	Environment	WaterSide Amenities			
	80'-89'	0	Daily Liveaboard Rate /ft	Electric		Water Y		
	90'-99'	0	Weekly Liveaboard Rate /ft	1 Phase Y	3 Phase	Telephone N		
	100'-109'	0	Monthly Liveaboard Rate /ft	Rates	Meter /kWh	/Day	/Mo	TV/Cable Y
	110'-119'	0	Yrly Liveaboard Rate /mo /ft	30A				Internet Access Y
	120'-129'	0	Dry Slips		50A			Fuel/Pumpout
	130'-139'	0	Dry Slips 220	100A				Gas Y
	140'-149'	0	Daily	Associated_Events		Diesel Y		
150'-159'	0	Weekly			Pumpout Y /use			
160'-199'	0	Monthly (Low)			Transient			
200'+	0	Monthly (High)			Port Of Entry	N		
Side Tie LF		Yearly (Low) /mo			Transient Berths			
Side Tie #		Yearly (High) /mo			Crews Quarters	N		
Comments								

Marker 1 Marina

Marker 25 Marina

Address 1155 Anclote Rd Tarpon Springs, FL 34689 United States		<u>Marina Description</u>										
Contact Person												
Telephone	727-934-4474	Latitude	28.168516	Web Page								
Fax		Longitude	-82.781385	Market	US - Florida - Panhandle, Dunedin to Carrabelle							
<u>Slip Information</u>				<u>Wet Slips</u>			<u>Occupancy</u>			<u>Upland Amenities</u>		
Dock Style	Fixed	Max Slip Length		Wet Slips	12	Busy Season			Hotel	Y		
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season			Restaurant	Y		
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy			Shopping	Y		
			<u>Slip Sizes</u>	Weekly (Low)		Wet Off Occupancy			Bar	Y		
			Under 20'	0	Weekly (High)		Dry Peak Occupancy			Pool	Y	
			20'-29'	0	Monthly (Low)	\$8.00	Dry Off Occupancy			Laundry Facilities	Y	
			30'-39'	0	Monthly (High)	\$10.00	<u>Miscellaneous</u>			Shower	Y	
			40'-49'	7	Yearly (Low) /mo		Moorings			Ice	Y	
			50'-59'	0	Yearly (High) /mo		Mooring Rate /mo			Water Sports	N	
			60'-69'	0	<u>Liveaboards</u>		Boat Ramp	2	Security Passive N Guard N Video N			
			70'-79'	0	Liveaboards Allowed		<u>Environment</u>			<u>WaterSide Amenities</u>		
			80'-89'	0	Daily Liveaboard Rate		<u>Electric</u>			Water	Y	
			90'-99'	0	Weekly Liveaboard Rate		1 Phase			Telephone	N	
			100'-109'	0	Monthly Liveaboard Rate		3 Phase			TV/Cable	N	
110'-119'	0	Yrly Liveaboard Rate /mo		Rates	Meter	/kWh	/Day	/Mo	Internet Access	N		
120'-129'	0	<u>Dry Slips</u>			30A	N						
130'-139'	0	Dry Slips	0	50A	N				<u>Fuel/Pumpout</u>			
140'-149'	0	Daily		100A	N				Gas	Y		
150'-159'	0	Weekly		<u>Associated_Events</u>			Diesel	Y				
160'-199'	0	Monthly (Low)					Pumpout	N	/use			
200'+	0	Monthly (High)					<u>Transient</u>		Port Of Entry		N	
Side Tie LF		Yearly (Low) /mo					Transient Berths					
Side Tie #		Yearly (High) /mo		Crews Quarters				N				
<u>Comments</u>												
Wet Slips \$250 - \$300 per Month												
Dry Storage \$80.00 per Month												
Lifts (2 available) \$275 per Month												

Marker 25 Marina

Ozona Shores Marina

Ozona Shores Marina																													
Address 137 Shore Drive Palm Harbor, FL 34683 United States		Marina Description																											
Contact Person Telephone 727-784-1690 Latitude 28.061538 Fax Longitude -82.779962		Web Page Market US - Florida - Panhandle, Dunedin to Carrabelle																											
Slip Information		Wet Slips	Occupancy	Upland Amenities																									
Dock Style Fixed Max Slip Length Dock Material Timber Min Slip Length Slip Style Approach Depth	Wet Slips 0 Daily (Low) Daily (High) Weekly (Low) Weekly (High) Monthly (Low) Monthly (High) Yearly (Low) /mo Yearly (High) /mo		Busy Season Off Season Wet Peak Occupancy Wet Off Occupancy Dry Peak Occupancy Dry Off Occupancy Miscellaneous Moorings 0 Mooring Rate /mo Boat Ramp N Environment	Hotel N Restaurant N Shopping N Bar N Pool N Laundry Facilities N Shower N Ice N Water Sports N Security Passive Y Guard N Video N																									
		Slip Sizes		Liveaboards																									
		Under 20' 0 20'-29' 4 30'-39' 4 40'-49' 0 50'-59' 0 60'-69' 0 70'-79' 0 80'-89' 0 90'-99' 0 100'-109' 0 110'-119' 0 120'-129' 0 130'-139' 0 140'-149' 0 150'-159' 0 160'-199' 0 200'+ 0 Side Tie LF Side Tie #	Liveaboards Allowed Daily Liveaboard Rate /ft Weekly Liveaboard Rate /ft Monthly Liveaboard Rate /ft Yrly Liveaboard Rate /mo /ft Dry Slips Dry Slips 45 Daily Weekly Monthly (Low) Monthly (High) Yearly (Low) /mo Yearly (High) /mo		Boat Ramp N Electric <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2">1 Phase</th> <th colspan="2">3 Phase</th> </tr> <tr> <td>N</td> <td></td> <td></td> <td></td> </tr> <tr> <th>Rates</th> <th>Meter</th> <th>/kWh</th> <th>/Day</th> </tr> <tr> <td>30A</td> <td></td> <td></td> <td></td> </tr> <tr> <th colspan="4">50A</th> </tr> <tr> <th colspan="4">100A</th> </tr> </table>	1 Phase		3 Phase		N				Rates	Meter	/kWh	/Day	30A				50A				100A			
		1 Phase		3 Phase																									
		N																											
		Rates	Meter	/kWh	/Day																								
		30A																											
		50A																											
		100A																											
		Comments		Associated Events		WaterSide Amenities																							
						Water N Telephone N TV/Cable N Internet Access N Fuel/Pumpout Gas N Diesel N Pumpout N /use Transient Port Of Entry N Transient Berths Crews Quarters N																							

Ozona Shores Marina

Port Tarpon Marina

Address 531 Anclote Rd. Tarpon Springs, FL 34689 United States		Marina Description										
Contact Person												
Telephone	727-937-2200	Latitude	28.162243	Web Page	http://www.porttarponmarina.com/							
Fax		Longitude	-82.769992	Market	US - Florida - Panhandle, Dunedin to Carrabelle							
Slip Information				Wet Slips				Occupancy		Upland Amenities		
Dock Style	Fixed	Max Slip Length	65	Wet Slips	60	Busy Season		Hotel		N		
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant		Y		
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping		N		
			Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar	N		
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N		
			20'-29'	0	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	N		
			30'-39'	21	Monthly (High)		Miscellaneous					
			40'-49'	18	Yearly (Low) /mo		Moorings		0	Ice	Y	
			50'-59'	3	Yearly (High) /mo		Mooring Rate /mo			Water Sports	N	
			60'-69'	0	Liveaboards		Boat Ramp		1	Security	Passive Y Guard N Video N	
			70'-79'	0	Liveaboards Allowed		Environment			WaterSide Amenities		
			80'-89'	0	Daily Liveaboard Rate		Electric		Water		Y	
			90'-99'	0	Weekly Liveaboard Rate		1 Phase		Y	Telephone		N
			100'-109'	0	Monthly Liveaboard Rate		3 Phase			TV/Cable		N
110'-119'	0	Yrly Liveaboard Rate /mo		Rates			Internet Access		N			
120'-129'	0			30A			Fuel/Pumpout					
130'-139'	0	Dry Slips		50A			Gas		Y			
140'-149'	0	Dry Slips		400	100A			Diesel		Y		
150'-159'	0	Daily			Associated_Events				Pumpout		N	/use
160'-199'	0	Weekly							Transient			
160'-199'	0	Monthly (Low)		\$6.00					Port Of Entry		N	
200'+	0	Monthly (High)							Transient Berths			
		Side Tie LF			Yearly (Low) /mo		\$6.00		Crews Quarters		N	
		Side Tie #			Yearly (High) /mo							
Comments												

Port Tarpon Marina

Sail Harbor Marina (FL)

Address 507 Anclote Rd Tarpon Springs, FL 34689 United States		Marina Description												
Contact Person		Telephone 727-945-1056		Latitude 28.161043		Web Page								
Fax		Longitude -82.767671		Market		US - Florida - Panhandle, Dunedin to Carrabelle								
Slip Information				Wet Slips		Occupancy		Upland Amenities						
Dock Style	Fixed	Max Slip Length	50	Wet Slips	48	Busy Season		Hotel	N					
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	N					
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	N					
				Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar	N			
				Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool		N		
				20'-29'	0	Monthly (Low)		Dry Off Occupancy		Laundry Facilities		N		
				30'-39'	0	Monthly (High)		Miscellaneous				Shower	N	
				40'-49'	22	Yearly (Low) /mo		Moorings		Ice		N		
				50'-59'	0	Yearly (High) /mo		Mooring Rate /mo		Water Sports		N		
				60'-69'	0	Liveaboards		Boat Ramp		Security		Passive N Guard N Video N		
				70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities				
				80'-89'	0	Daily Liveaboard Rate		/ft	Electric			Water	N	
				90'-99'	0	Weekly Liveaboard Rate		/ft	1 Phase	N	3 Phase	Telephone	N	
100'-109'	0	Monthly Liveaboard Rate		/ft	Rates	Meter	/kWh	/Day	/Mo	TV/Cable	N			
110'-119'	0	Yrly Liveaboard Rate /mo		/ft	30A			Internet Access	N					
120'-129'	0	Dry Slips			50A			Fuel/Pumpout						
130'-139'	0	Dry Slips		0	100A			Gas	N					
140'-149'	0	Daily			Associated Events					Diesel	N			
150'-159'	0	Weekly								Pumpout	N /use			
160'-199'	0	Monthly (Low)								Transient			Port Of Entry	N
200'+	0	Monthly (High)								Transient Berths				
		Side Tie LF			Yearly (Low) /mo			Crews Quarters		N				
		Side Tie #			Yearly (High) /mo									
Comments														

Sail Harbor Marina (FL)

Tarpon Springs City Marina

Address 100 Dodecanese Blvd. Tarpon Springs, FL 34689 United States		<u>Marina Description</u>								
Contact Person										
Telephone	727-937-9165	Latitude	28.155703	Web Page	http://www.ci.tarpon-springs.fl.us/marina.htm					
Fax		Longitude	-82.757842	Market	US - Florida - Panhandle, Dunedin to Carrabelle					
<u>Slip Information</u>			<u>Wet Slips</u>			<u>Occupancy</u>			<u>Upland Amenities</u>	
Dock Style	Fixed	Max Slip Length		Wet Slips	21	Busy Season			Hotel	N
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season			Restaurant	Y
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy			Shopping	Y
						Wet Off Occupancy			Bar	Y
						Dry Peak Occupancy			Pool	N
						Dry Off Occupancy			Laundry Facilities	N
						<u>Miscellaneous</u>			Shower	Y
						Moorings 0			Ice	Y
						Mooring Rate /mo			Water Sports	N
						Boat Ramp			Security	Passive Guard Video
						Environment			<u>WaterSide Amenities</u>	
						<u>Electric</u>			Water	Y
						1 Phase Y 3 Phase			Telephone	N
						Rates Meter /kWh /Day /Mo			TV/Cable	N
						30A			Internet Access	N
						50A			<u>Fuel/Pumpout</u>	
						100A			Gas	N
						<u>Associated_Events</u>			Diesel	N
									Pumpout	N /use
									<u>Transient</u>	
									Port Of Entry	N
									Transient Berths	
									Crews Quarters	N

Tarpon Springs City Marina

Turtle Cove Marina (FL)

Address 601 Roosevelt Blvd Tarpon Springs, FL United States		Marina Description									
Contact Person											
Telephone	727-934-2202	Latitude	28.15226	Web Page	http://turtlecove-marina.com/						
Fax		Longitude	-82.761378	Market	US - Florida - Panhandle, Dunedin to Carrabelle						
Slip Information			Wet Slips		Occupancy			Upland Amenities			
Dock Style	Floating	Max Slip Length		Wet Slips	56	Busy Season		Hotel	N		
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y		
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y		
			Slip Sizes		Weekly (Low)		Wet Off Occupancy	Bar	Y		
			Under 20'	0	Weekly (High)		Dry Peak Occupancy	Pool	Y		
			20'-29'	17	Monthly (Low)	\$12.00	Dry Off Occupancy	Laundry Facilities	N		
			30'-39'	36	Monthly (High)		Miscellaneous		Shower	Y	
			40'-49'	3	Yearly (Low) /mo	\$12.00	Moorings	0	Ice	Y	
			50'-59'	0	Yearly (High) /mo		Mooring Rate /mo		Water Sports	Y	
			60'-69'	0	Liveaboards		Boat Ramp		Security	Passive Y Guard N Video Y	
			70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities		
			80'-89'	0	Daily Liveboard Rate	/ft	Electric			Water	Y
			90'-99'	0	Weekly Liveboard Rate	/ft	1 Phase	Y	3 Phase		Telephone
100'-109'	0	Monthly Liveboard Rate	/ft	Rates	Meter	/kWh	/Day	/Mo	TV/Cable	Y	
110'-119'	0	Yrly Liveboard Rate /mo	/ft	30A					Internet Access	Y	
120'-129'	0	Dry Slips		50A					Fuel/Pumpout		
130'-139'	0	Dry Slips	229	100A					Gas	Y	
140'-149'	0	Daily		Associated_Events			Diesel	Y			
150'-159'	0	Weekly					Pumpout	Y	/use		
160'-199'	0	Monthly (Low)					Transient				
200'+	0	Monthly (High)					Port Of Entry		N		
Side Tie LF		Yearly (Low) /mo		Transient Berths							
Side Tie #		Yearly (High) /mo		Crews Quarters		N					
Comments											

Turtle Cove Marina (FL)

Apollo Beach Marina

Address 1335 Apollo Beach Blvd Ruskin, FL 33572 United States		Marina Description							
Contact Person		Telephone 813-645-0720		Latitude 27.784784		Web Page			
Fax		Longitude -82.424501		Market		US - Florida - West, Anna Maria Island to Clearwater			
Slip Information				Wet Slips		Occupancy		Upland Amenities	
Dock Style Fixed		Max Slip Length		Wet Slips 15		Busy Season		Hotel N	
Dock Material Timber		Min Slip Length		Daily (Low)		Off Season		Restaurant N	
Slip Style Double		Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping N	
		Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar N	
		Under 20' 0		Weekly (High)		Dry Peak Occupancy		Pool Y	
		20'-29' 0		Monthly (Low)		Dry Off Occupancy		Laundry Facilities Y	
		30'-39' 13		Monthly (High)		Miscellaneous		Shower Y	
		40'-49' 2		Yearly (Low) /mo		Moorings 0		Ice Y	
		50'-59' 0		Yearly (High) /mo		Mooring Rate /mo		Water Sports N	
		60'-69' 0		Liveaboards		Boat Ramp		Security Passive Guard Video	
		70'-79' 0		Liveaboards Allowed		Environment		WaterSide Amenities	
		80'-89' 0		Daily Liveaboard Rate /ft		Electric		Water Y	
		90'-99' 0		Weekly Liveaboard Rate /ft		1 Phase Y		Telephone Y	
100'-109' 0		Monthly Liveaboard Rate /ft		3 Phase		TV/Cable Y			
110'-119' 0		Yrly Liveaboard Rate /mo /ft		Rates		Internet Access N			
120'-129' 0		Dry Slips		50A		Fuel/Pumpout			
130'-139' 0		Dry Slips		100A		Gas Y			
140'-149' 0		Daily		Associated_Events		Diesel Y			
150'-159' 0		Weekly				Pumpout Y /use			
160'-199' 0		Monthly (Low)				Transient		Port Of Entry N	
200'+		Monthly (High)				Transient Berths			
Comments		Side Tie LF		Yearly (Low) /mo		Crews Quarters			
		Side Tie #		Yearly (High) /mo					

Apollo Beach Marina

Barefoot Bay Resort and Marina

Address 401 E. Shore Dr. Clearwater Beach, FL 33767 United States		<u>Marina Description</u>								
Contact Person		Telephone 727-447-3316		Latitude 27.978037		Web Page http://www.barefootbayresort.com/				
Fax 727-447-1016		Longitude -82.825121		Market US - Florida - West, Anna Maria Island to Clearwater						
<u>Slip Information</u>				<u>Wet Slips</u>		<u>Occupancy</u>		<u>Upland Amenities</u>		
Dock Style	Fixed	Max Slip Length		Wet Slips	24	Busy Season		Hotel	Y	
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y	
Slip Style		Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y	
			<u>Slip Sizes</u>	Weekly (Low)		Wet Off Occupancy		Bar	N	
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	Y
			20'-29'	0	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	Y
			30'-39'	24	Monthly (High)		<u>Miscellaneous</u>		Shower	Y
			40'-49'	0	Yearly (Low) /mo		Moorings	0	Ice	N
			50'-59'	0	Yearly (High) /mo		Mooring Rate /mo		Water Sports	N
			60'-69'	0	<u>Liveaboards</u>		Boat Ramp		Security	Passive Y Guard Y Video N
			70'-79'	0	Liveaboards Allowed		Environment		<u>WaterSide Amenities</u>	
			80'-89'	0	Daily Liveaboard Rate	/ft	<u>Electric</u>		Water	N
			90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase	N	3 Phase	N
			100'-109'	0	Monthly Liveaboard Rate	/ft	Rates	Meter	/kwh	/Day
110'-119'	0	Yrly Liveaboard Rate /mo	/ft	30A						
120'-129'	0	<u>Dry Slips</u>		50A						
130'-139'	0	Dry Slips	0	100A						
140'-149'	0	Daily		<u>Associated_Events</u>		Gas	N			
150'-159'	0	Weekly				Diesel	N			
160'-199'	0	Monthly (Low)				Pumpout	N	/use		
200'+	0	Monthly (High)				<u>Transient</u>		Port Of Entry	N	
Side Tie LF		Yearly (Low) /mo				Transient Berths				
Side Tie #		Yearly (High) /mo				Crews Quarters	N			
<u>Comments</u>										

Barefoot Bay Resort and Marina

Bay Pines Marina

Address 5000 92nd St N St. Petersburg, FL 33708 United States		Marina Description											
Contact Person													
Telephone	727-392-4922	Latitude	27.816024	Web Page	http://www.baypinesmarina.com/								
Fax		Longitude	-82.765868	Market	US - Florida - West, Anna Maria Island to Clearwater								
Slip Information				Wet Slips		Occupancy				Upland Amenities			
Dock Style	Fixed	Max Slip Length	50	Wet Slips	60	Busy Season				Hotel	N		
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season				Restaurant	N		
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy				Shopping	Y		
			Slip Sizes	Weekly (Low)		Wet Off Occupancy				Bar	N		
			Under 20'	0	Weekly (High)		Dry Peak Occupancy				Pool	N	
			20'-29'	15	Monthly (Low)	\$8.00	Dry Off Occupancy				Laundry Facilities	Y	
			30'-39'	27	Monthly (High)	\$8.00	Miscellaneous				Shower	Y	
			40'-49'	32	Yearly (Low) /mo	\$8.00	Moorings				0	Ice	Y
			50'-59'	0	Yearly (High) /mo	\$8.00	Mooring Rate /mo					Water Sports	N
			60'-69'	0	Liveaboards		Boat Ramp				Security Passive Y Guard N Video N		
			70'-79'	0	Liveaboards Allowed		Environment Clean Marina				WaterSide Amenities		
			80'-89'	0	Daily Liveaboard Rate		/ft	Electric				Water	N
			90'-99'	0	Weekly Liveaboard Rate		/ft	1 Phase	N	3 Phase	N	Telephone	Y
			100'-109'	0	Monthly Liveaboard Rate		/ft	Rates	Meter	/kWh	/Day	/Mo	TV/Cable
110'-119'	0	Yrly Liveaboard Rate /mo		/ft	30A					Internet Access	Y		
120'-129'	0	Dry Slips			50A					Fuel/Pumpout			
130'-139'	0	Dry Slips		300	100A					Gas	Y		
140'-149'	0	Daily			Associated_Events				Diesel	N			
150'-159'	0	Weekly							Pumpout	Y /use			
160'-199'	0	Monthly (Low)		\$10.70					Transient				
200'+	0	Monthly (High)		\$11.24					Port Of Entry	N			
Side Tie LF		Yearly (Low) /mo		\$10.70					Transient Berths				
Side Tie #		Yearly (High) /mo		\$11.24					Crews Quarters	N			
Comments													
Website last updated 2012.													

Bay Pines Marina

Bayshore Marina (Tampa)

Address 312 Bayshore Blvd. Tampa, FL 33606 United States		Marina Description							
Contact Person		Telephone 813-259-1604		Latitude 27.940374		Web Page http://tampaf1.gov/dept_parks_and_recreation/information_resources/marinas/index.asp		Market US - Florida - West, Anna Maria Island to Clearwater	
Fax		Longitude -82.459723							
Slip Information				Wet Slips		Occupancy		Upland Amenities	
Dock Style Fixed		Max Slip Length		Wet Slips 0		Busy Season		Hotel N	
Dock Material Concrete		Min Slip Length		Daily (Low)		Off Season		Restaurant N	
Slip Style Double		Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping N	
		Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar N	
		Under 20' 0		Weekly (High)		Dry Peak Occupancy		Pool N	
		20'-29' 0		Monthly (Low)		Dry Off Occupancy		Laundry Facilities N	
		30'-39' 18		Monthly (High)		Miscellaneous		Shower N	
		40'-49' 19		Yearly (Low) /mo		Moorings 0		Ice N	
		50'-59' 0		Yearly (High) /mo		Mooring Rate /mo		Water Sports N	
		60'-69' 0		Liveaboards		Boat Ramp 0		Security Passive N Guard N Video N	
		70'-79' 0		Liveaboards Allowed		Environment		WaterSide Amenities	
		80'-89' 0		Daily Liveaboard Rate /ft		Electric		Water N	
		90'-99' 0		Weekly Liveaboard Rate /ft		1 Phase Y		Telephone N	
100'-109' 0		Monthly Liveaboard Rate /ft		3 Phase		TV/Cable N			
110'-119' 0		Yrly Liveaboard Rate /mo /ft		Rates		Internet Access N			
120'-129' 0		Dry Slips		50A		Fuel/Pumpout			
130'-139' 0		Dry Slips 0		100A		Gas N			
140'-149' 0		Daily		Associated Events		Diesel N			
150'-159' 0		Weekly				Pumpout N /use			
160'-199' 0		Monthly (Low)				Transient			
200'+ 0		Monthly (High)				Port Of Entry N			
Side Tie LF		Yearly (Low) /mo				Transient Berths			
Side Tie #		Yearly (High) /mo		Crews Quarters N					
Comments									
DEMOLISHED									

Bayshore Marina (Tampa)

Belleair Beach Marina

Address 3505 Gulf Boulevard Belleair Beach, FL 33786 United States		Marina Description											
		Wet slip rates for nonresidents are \$10.00 per foot/month.											
Contact Person		Web Page http://www.cityofbelleairbeach.com/index.php/marina											
Telephone 727-595-4646	Latitude 27.936065	Market US - Florida - West, Anna Maria Island to Clearwater											
Fax 727-593-1409	Longitude -82.839905												
Slip Information				Wet Slips				Occupancy		Upland Amenities			
Dock Style	Fixed	Max Slip Length	50	Wet Slips	20	Busy Season		Hotel	N				
Dock Material	Timber	Min Slip Length	9	Daily (Low)		Off Season		Restaurant	N				
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	N				
			Weekly (Low)			Wet Off Occupancy		Bar	N				
			Weekly (High)			Dry Peak Occupancy		Pool	N				
			Monthly (Low)		\$7.00	Dry Off Occupancy		Laundry Facilities	N				
			Monthly (High)		\$7.00	Miscellaneous		Shower	N				
			Yearly (Low) /mo		\$7.00	Moorings 0		Ice	N				
			Yearly (High) /mo		\$7.00	Mooring Rate /mo		Water Sports	N				
			Liveaboards			Boat Ramp		Security	Passive N Guard N Video N				
			Liveaboards Allowed			Environment		WaterSide Amenities					
			Daily Liveaboard Rate		/ft	Electric			Water	Y			
			Weekly Liveaboard Rate		/ft	1 Phase	Y	3 Phase	Telephone	N			
			Monthly Liveaboard Rate		/ft	Rates	Meter	/kWh	/Day	/Mo	TV/Cable	N	
			Yrly Liveaboard Rate /mo		/ft	30A			Internet Access	N			
			Dry Slips			50A			Fuel/Pumpout				
			Dry Slips		0	100A			Gas	N			
			Daily			Associated_Events			Diesel	N			
			Weekly						Pumpout	N /use			
			Monthly (Low)						Transient				
			Monthly (High)						Port Of Entry	N			
			Yearly (Low) /mo						Transient Berths				
			Yearly (High) /mo						Crews Quarters	N			
Comments			Side Tie LF										
			Side Tie #										



Belleair Beach Marina

Blind Pass Marina

Blind Pass Marina																			
Address 9555 Blind Pass Road St. Petersburg Beach, FL 33706 United States		Marina Description																	
Contact Person Telephone 727-360-4281 Latitude 27.756956 Fax Longitude -82.760014		Web Page http://www.blindpassmarina.com/ Market US - Florida - West, Anna Maria Island to Clearwater																	
Slip Information		Wet Slips																	
Dock Style Fixed Max Slip Length Dock Material Timber Min Slip Length Slip Style Double Approach Depth	Wet Slips 110 Daily (Low) Daily (High) Weekly (Low) Weekly (High) Monthly (Low) \$9.00 Monthly (High) \$9.00 Yearly (Low) /mo \$9.00 Yearly (High) /mo \$9.00		Occupancy Busy Season Off Season Wet Peak Occupancy Wet Off Occupancy Dry Peak Occupancy Dry Off Occupancy																
Slip Sizes		Upland Amenities																	
		Hotel N Restaurant Y Shopping Y Bar N Pool N Laundry Facilities Y Shower Y Ice Y Water Sports N Security Passive Y Guard Y Video N																	
Comments		Miscellaneous																	
\$160 fee for liveaboards		Moorings 0 Mooring Rate /mo Boat Ramp Environment																	
Liveaboards		Electric																	
Liveaboards Allowed Daily Liveaboard Rate /ft Weekly Liveaboard Rate /ft Monthly Liveaboard Rate /ft Yrly Liveaboard Rate /mo /ft		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center; background-color: #e0e0e0;">1 Phase</td> <td colspan="2" style="text-align: center; background-color: #e0e0e0;">3 Phase</td> </tr> <tr> <td style="text-align: center;">Y</td> <td style="text-align: center;">N</td> <td style="text-align: center;">Y</td> <td style="text-align: center;">N</td> </tr> <tr> <td style="text-align: center; background-color: #e0e0e0;">Rates</td> <td style="text-align: center; background-color: #e0e0e0;">Meter</td> <td style="text-align: center; background-color: #e0e0e0;">/kWh</td> <td style="text-align: center; background-color: #e0e0e0;">/Day</td> </tr> <tr> <td style="text-align: center;">30A</td> <td></td> <td></td> <td></td> </tr> </table>		1 Phase		3 Phase		Y	N	Y	N	Rates	Meter	/kWh	/Day	30A			
1 Phase		3 Phase																	
Y	N	Y	N																
Rates	Meter	/kWh	/Day																
30A																			
Dry Slips		WaterSide Amenities																	
Dry Slips 0 Daily Weekly Monthly (Low) Monthly (High) Yearly (Low) /mo Yearly (High) /mo		Water Y Telephone Y TV/Cable Y Internet Access Y Fuel/Pumpout Gas Y Diesel N Pumpout Y /use																	
Associated Events		Transient																	
Side Tie LF		Port Of Entry																	
Side Tie #		Transient Berths																	
		Crews Quarters																	

Blind Pass Marina

Bradenton Beach Marina

Address 402 Church Ave. Bradenton Beach, FL 34217 United States		Marina Description											
Contact Person		Telephone 941-778-2288		Latitude 27.46808		Web Page http://www.bradentonbeachmarina.com/							
		Fax 941-778-2763		Longitude -82.697225		Market US - Florida - West, Anna Maria Island to Clearwater							
Slip Information				Wet Slips		Occupancy		Upland Amenities					
Dock Style	Fixed	Max Slip Length	65	Wet Slips	45	Busy Season		Hotel	N				
Dock Material	Concrete	Min Slip Length		Daily (Low)		Off Season		Restaurant	N				
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	N				
				Slip Sizes		Weekly (Low)		Bar		N			
				Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N		
				20'-29'	16	Monthly (Low)	\$11.00	Dry Off Occupancy		Laundry Facilities	Y		
				30'-39'	22	Monthly (High)	\$11.00	Miscellaneous		Shower	Y		
				40'-49'	0	Yearly (Low) /mo	\$11.00	Moorings	0	Ice	Y		
				50'-59'	0	Yearly (High) /mo	\$11.00	Mooring Rate /mo		Water Sports	N		
				60'-69'	7	Liveaboards		Boat Ramp		Security Passive Y Guard N Video N			
				70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities			
				80'-89'	0	Daily Liveaboard Rate	/ft	Electric		Water	Y		
				90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase	Y	3 Phase		Telephone	Y
100'-109'	0	Monthly Liveaboard Rate	/ft	Rates	Meter	/kwh	/Day	/Mo	TV/Cable	Y			
110'-119'	0	Yrly Liveaboard Rate /mo	/ft	30A					Internet Access	Y			
120'-129'	0	Dry Slips		50A					Fuel/Pumpout				
130'-139'	0	Dry Slips		100A					Gas	Y			
140'-149'	0	Daily		Associated_Events				Diesel	Y				
150'-159'	0	Weekly						Pumpout	Y	/use			
160'-199'	0	Monthly (Low)						Transient				Port Of Entry	
200'+	0	Monthly (High)										Transient Berths	
		Side Tie LF		Yearly (Low) /mo				Crews Quarters		N			
		Side Tie #		Yearly (High) /mo									
Comments													

Bradenton Beach Marina

Catchers Marina

Address 5501 Marina Dr Holmes Beach, FL 34217-1515 United States		Marina Description											
Contact Person													
Telephone	941-778-1977	Latitude	27.507891	Web Page									
Fax		Longitude	-82.71323	Market	US - Florida - West, Anna Maria Island to Clearwater								
Slip Information				Wet Slips		Occupancy		Upland Amenities					
Dock Style	Fixed	Max Slip Length		Wet Slips	60	Busy Season		Hotel	N				
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y				
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y				
			Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar	Y			
			Under 20'	18	Weekly (High)		Dry Peak Occupancy		Pool	N			
			20'-29'	22	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	N			
			30'-39'	20	Monthly (High)		Miscellaneous						
			40'-49'	0	Yearly (Low) /mo		Moorings		0	Ice	Y		
			50'-59'	0	Yearly (High) /mo		Mooring Rate /mo			Water Sports	N		
			60'-69'	0	Liveaboards				Boat Ramp		Security	Passive N Guard N Video N	
			70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities				
			80'-89'	0	Daily Liveaboard Rate	/ft	Electric				Water	Y	
			90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase	Y	3 Phase	N	Telephone	N	
			100'-109'	0	Monthly Liveaboard Rate	/ft	Rates	Meter	/kWh	/Day	/Mo	TV/Cable	N
110'-119'	0	Yrly Liveaboard Rate /mo	/ft	30A					Internet Access	N			
120'-129'	0	Dry Slips				50A				Fuel/Pumpout			
130'-139'	0	Dry Slips		100A					Gas	N			
140'-149'	0	Daily		Associated_Events				Diesel	N				
150'-159'	0	Weekly						Pumpout	N	/use			
160'-199'	0	Monthly (Low)						Transient				Port Of Entry	
200'+	0	Monthly (High)										Transient Berths	
Side Tie LF		Yearly (Low) /mo										Crews Quarters	
Side Tie #		Yearly (High) /mo											
Comments													

Catchers Marina

Chart House Marina

Address		850 Bayway Blvd. Clearwater Beach, FL 33767 United States		Marina Description				
Contact Person				Web Page	http://www.charhousesuites.com/			
Telephone	727-449-8007	Latitude	27.967517	Market	US - Florida - West, Anna Maria Island to Clearwater			
Fax	727-443-6081	Longitude	-82.820355					
Slip Information		Wet Slips		Occupancy		Upland Amenities		
Dock Style	Fixed	Max Slip Length	40	Wet Slips	26	Busy Season	Hotel Y	
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season	Restaurant N	
Slip Style		Approach Depth		Daily (High)		Wet Peak Occupancy	Shopping N	
		Slip Sizes		Weekly (Low)		Wet Off Occupancy	Bar N	
		Under 20'	0	Weekly (High)		Dry Peak Occupancy	Pool Y	
		20'-29'	0	Monthly (Low)		Dry Off Occupancy	Laundry Facilities Y	
		30'-39'	14	Monthly (High)		Miscellaneous		Shower Y
		40'-49'	41	Yearly (Low) /mo		Moorings	Ice Y	Water Sports N
		50'-59'	4	Yearly (High) /mo		Mooring Rate /mo	Security Passive Y Guard Y Video N	WaterSide Amenities
		60'-69'	5	Liveaboards		Boat Ramp		
		70'-79'	0	Liveaboards Allowed		Environment		
		80'-89'	0	Daily Liveaboard Rate	/ft	Electric		Water Y
		90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase	Y	3 Phase
100'-109'	0	Monthly Liveaboard Rate	/ft	Rates	Meter	/kWh	/Day	
110'-119'	0	Yrly Liveaboard Rate /mo	/ft	30A				
120'-129'	0	Dry Slips		50A				
130'-139'	0	Dry Slips	0	100A				
140'-149'	0	Daily		Associated Events				
150'-159'	0	Weekly						
160'-199'	0	Monthly (Low)						
200'+	0	Monthly (High)						
Side Tie LF		Yearly (Low) /mo						
Side Tie #		Yearly (High) /mo						
Comments								
						Port Of Entry	N	
						Transient Berths		
						Crews Quarters	N	

Chart House Marina

Clearwater Beach Marina

Address 25 Causeway Blvd Clearwater, FL 33767 United States		Marina Description								
		For non-residents: wet slips \$10.33 per foot per month								
Contact Person		Telephone 727-462-6954		Latitude 27.976667		Web Page http://www.clearwater-fl.com/gov/depts/marine_aviation/ma_facilities/Marina/index.asp				
Fax (727) 462-6957		Longitude -82.826323		Market US - Florida - West, Anna Maria Island to Clearwater						
Slip Information				Wet Slips		Occupancy		Upland Amenities		
Dock Style	Fixed	Max Slip Length	125	Wet Slips	207	Busy Season		Hotel	Y	
Dock Material	Concrete	Min Slip Length		Daily (Low)	\$2.00	Off Season		Restaurant	Y	
Slip Style		Approach Depth		Daily (High)	\$2.00	Wet Peak Occupancy		Shopping	Y	
			Slip Sizes	Weekly (Low)	\$10.00	Wet Off Occupancy		Bar	Y	
			Under 20'	0	Weekly (High)	\$10.00	Dry Peak Occupancy		Pool	N
			20'-29'	20	Monthly (Low)	\$8.51	Dry Off Occupancy		Laundry Facilities	Y
			30'-39'	79	Monthly (High)	\$15.00	Miscellaneous		Shower	Y
			40'-49'	50	Yearly (Low) /mo	\$8.51	Moorings		Ice	Y
			50'-59'	36	Yearly (High) /mo	\$10.33	Mooring Rate /mo		Water Sports	N
			60'-69'	4	Liveaboards		Boat Ramp		Security	Passive Y Guard N Video N
			70'-79'	19	Liveaboards Allowed		Environment Clean Marina		WaterSide Amenities	
			80'-89'	0	Daily Liveaboard Rate /ft		Electric		Water	Y Metered
			90'-99'	0	Weekly Liveaboard Rate /ft		1 Phase	Y	3 Phase	
			100'-109'	2	Monthly Liveaboard Rate /ft		Rates	Meter	/kWh	/Day
110'-119'	0	Yrly Liveaboard Rate /mo /ft		30A						
120'-129'	0	Dry Slips		50A						
130'-139'	0	Dry Slips 0		100A						
140'-149'	0	Daily		Associated Events						
150'-159'	0	Weekly								
160'-199'	0	Monthly (Low)								
200'+	0	Monthly (High)								
Side Tie LF		Yearly (Low) /mo								
Side Tie #		Yearly (High) /mo								
Comments										
Commercial slips are also available.										
								Transient		
						Port Of Entry		N		
						Transient Berths		22		
						Crews Quarters		N		

Clearwater Beach Marina

Clearwater Harbor Marina

Address				Marina Description																					
Clearwater, FL																									
United States																									
Contact Person																									
Telephone		Latitude		27.966382		Web Page																			
Fax		Longitude		-82.805334		Market		US - Florida - West, Anna Maria Island to Clearwater																	
Slip Information				Wet Slips				Occupancy				Upland Amenities													
Dock Style		Floating		Max Slip Length		Wet Slips		126		Busy Season				Hotel				N							
Dock Material		Concrete		Min Slip Length		Daily (Low)		\$9.45		Off Season				Restaurant				N							
Slip Style		Double		Approach Depth		Daily (High)		\$11.03		Wet Peak Occupancy				Shopping				N							
				Slip Sizes		Weekly (Low)		Wet Off Occupancy				Bar				N									
				Under 20'		0		Weekly (High)		Dry Peak Occupancy				Pool				N							
				20'-29'		0		Monthly (Low)		Dry Off Occupancy				Laundry Facilities				Y							
				30'-39'		16		Monthly (High)		Miscellaneous				Shower				Y							
				40'-49'		49		Yearly (Low) /mo		Moorings				Ice				Y							
				50'-59'		61		Yearly (High) /mo		Mooring Rate /mo				Water Sports											
				60'-69'		0		Liveaboards		Boat Ramp				Security				Passive Guard Video							
				70'-79'		0		Liveaboards Allowed		Environment				WaterSide Amenities											
				80'-89'		0		Daily Liveaboard Rate		/ft		Electric				Water				Y					
				90'-99'		0		Weekly Liveaboard Rate		/ft		1 Phase		Y		3 Phase		Y		Telephone				N	
100'-109'		0		Monthly Liveaboard Rate		/ft		Rates		Meter		/kWh		/Day		/Mo		TV/Cable				Y			
110'-119'		0		Yrly Liveaboard Rate /mo		/ft		30A		Y								Internet Access				Y			
Comments				Dry Slips				50A		Y								Fuel/Pumpout							
				120'-129'		0		Dry Slips		100A		Y								Gas				N	
				130'-139'		0		Daily		Associated_Events				Diesel				N							
				140'-149'		0		Weekly						Pumpout				Y		/use					
				150'-159'		0		Monthly (Low)						Transient											
				160'-199'		0		Monthly (High)						Port Of Entry				Transient Berths		24					
200'+		0		Yearly (Low) /mo										Crews Quarters											
Side Tie LF				Yearly (High) /mo																					
Side Tie #																									

Clearwater Harbor Marina

Cuts Edge Marina

Address 4000 10th Street West Palmetto, FL 34221-5801 United States		Marina Description										
Contact Person												
Telephone	Latitude	27.525118	Web Page	http://www.cutsedgemarina.com/								
Fax	Longitude	-82.606981	Market	US - Florida - West, Anna Maria Island to Clearwater								
Slip Information			Wet Slips			Occupancy			Upland Amenities			
Dock Style	Fixed	Max Slip Length	Wet Slips	35	Busy Season			Hotel	N			
Dock Material	Timber	Min Slip Length	Daily (Low)		Off Season			Restaurant	N			
Slip Style		Approach Depth	Daily (High)		Wet Peak Occupancy			Shopping	N			
			Weekly (Low)		Wet Off Occupancy			Bar	N			
			Weekly (High)		Dry Peak Occupancy			Pool	N			
			Monthly (Low)		Dry Off Occupancy			Laundry Facilities	N			
			Monthly (High)		Miscellaneous			Shower	N			
			Yearly (Low) /mo		Moorings	0		Ice	Y			
			Yearly (High) /mo		Mooring Rate /mo			Water Sports	N			
			Liveaboards			Boat Ramp				Security	Passive Y Guard Y Video N	
			Liveaboards Allowed			Environment				WaterSide Amenities		
			Daily Liveaboard Rate	/ft		Electric			Water	Y		
			Weekly Liveaboard Rate	/ft		1 Phase	Y	3 Phase	N	Telephone	N	
Monthly Liveaboard Rate	/ft		Rates	Meter	/kWh	/Day	/Mo	TV/Cable	N			
Yrly Liveaboard Rate /mo	/ft		30A					Internet Access	N			
120'-129'	0		Dry Slips			50A				Fuel/Pumpout		
130'-139'	0		Dry Slips	100A					Gas	N		
140'-149'	0		Daily	Associated_Events								
150'-159'	0	Weekly										
160'-199'	0	Monthly (Low)	\$10.00									
200'+	0	Monthly (High)	\$10.00									
Side Tie LF		Yearly (Low) /mo	\$10.00	Pumpout	N			Transient				
Side Tie #		Yearly (High) /mo	\$10.00	Port Of Entry			Transient Berths					
Comments				Crews Quarters			N					

Cuts Edge Marina

Davis Island Yacht Club

Address 1315 Severn Ave. Tampa, FL 33606 United States		<u>Marina Description</u>										
Contact Person		Telephone 813-251-1158		Latitude 27.907778		Web Page http://www.diy.org/						
Fax 813-251-2641		Longitude -82.450936		Market US - Florida - West, Anna Maria Island to Clearwater								
<u>Slip Information</u>				<u>Wet Slips</u>		<u>Occupancy</u>		<u>Upland Amenities</u>				
Dock Style	Fixed	Max Slip Length	55	Wet Slips	114	Busy Season		Hotel	N			
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y			
Slip Style		Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	N			
			<u>Slip Sizes</u>	Weekly (Low)		Wet Off Occupancy		Bar	Y			
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	Y		
			20'-29'	1	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	Y		
			30'-39'	69	Monthly (High)		<u>Miscellaneous</u>		Shower	Y		
			40'-49'	31	Yearly (Low) /mo		Moorings		Ice	Y		
			50'-59'	13	Yearly (High) /mo		Mooring Rate /mo		Water Sports	N		
			60'-69'	0	<u>Liveaboards</u>		Boat Ramp		Security	Passive Guard Video Y		
			70'-79'	0	Liveaboards Allowed		Environment		<u>WaterSide Amenities</u>			
			80'-89'	0	Daily Liveaboard Rate		<u>Electric</u>		Water	Y		
			90'-99'	0	Weekly Liveaboard Rate		1 Phase		Telephone	Y		
			100'-109'	0	Monthly Liveaboard Rate		3 Phase		TV/Cable	N		
110'-119'	0	Yrly Liveaboard Rate /mo		Rates	Meter	/kWh	/Day	/Mo	Internet Access	Y		
120'-129'	0			30A					<u>Fuel/Pumpout</u>			
130'-139'	0			<u>Dry Slips</u>		50A			Gas	Y		
140'-149'	0			Dry Slips		100A			Diesel	Y		
150'-159'	0			Daily		<u>Associated_Events</u>				Pumpout	Y	/use
160'-199'	0			Weekly						<u>Transient</u>		
200'+	0			Monthly (Low)						Port Of Entry	N	
Side Tie LF				Monthly (High)						Transient Berths	10	
Side Tie #				Yearly (Low) /mo						Crews Quarters	N	
<u>Comments</u>				Yearly (High) /mo								

Davis Island Yacht Club

Galati Yacht Basin Anna Maria

Address 900 South Bay Blvd PO Box 862 Anna Maria, FL 34216 United States		Marina Description														
Contact Person																
Telephone	(941) 778-0755	Latitude	27.526745	Web Page	http://www.galatiyachts.com/anna_maria.htm											
Fax	(941) 778-3084	Longitude	-82.721222	Market	US - Florida - West, Anna Maria Island to Clearwater											
Slip Information				Wet Slips				Occupancy		Upland Amenities						
Dock Style	Fixed	Max Slip Length		Wet Slips	59	Busy Season		Hotel		N						
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant		Y						
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping		N						
No Image Available.			Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar	N						
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N						
			20'-29'	0	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	N						
			30'-39'	0	Monthly (High)		Miscellaneous				Shower	N				
			40'-49'	8	Yearly (Low) /mo		Moorings		Mooring Rate /mo		Ice	Y				
			50'-59'	0	Yearly (High) /mo		Boat Ramp		Environment		Water Sports	N				
			60'-69'	51	Liveaboards				Boat Ramp		Security Passive Y Guard N Video N					
			70'-79'	0	Liveaboards Allowed				Environment		WaterSide Amenities					
			80'-89'	0	Daily Liveaboard Rate		/ft	Electric				Water	N			
			90'-99'	0	Weekly Liveaboard Rate		/ft	1 Phase	N	3 Phase	N	Telephone	N			
			100'-109'	0	Monthly Liveaboard Rate		/ft	Rates	Meter	/kWh	/Day	/Mo	TV/Cable	N		
			110'-119'	0	Yrly Liveaboard Rate /mo		/ft	30A					Internet Access	N		
			120'-129'	0	Dry Slips				50A					Fuel/Pumpout		
			130'-139'	0	Dry Slips				100A					Gas	Y	
140'-149'	0	Daily				Associated_Events				Diesel	Y					
150'-159'	0	Weekly								Pumpout	N	/use				
160'-199'	0	Monthly (Low)								Transient				Port Of Entry		
200'+	0	Monthly (High)												Transient Berths		
Side Tie LF		Yearly (Low) /mo												Crews Quarters		N
Side Tie #		Yearly (High) /mo														
Comments																

Galati Yacht Basin Anna Maria

Gandy Bridge Marina

Address 13050 Gandy Blvd St. Petersburg, FL 33702 United States		Marina Description									
Contact Person		Telephone (727) 577-1403		Latitude 27.870684		Web Page					
Fax		Longitude -82.611842		Market		US - Florida - West, Anna Maria Island to Clearwater					
Slip Information				Wet Slips		Occupancy		Upland Amenities			
Dock Style	Fixed	Max Slip Length		Wet Slips	28	Busy Season		Hotel	N		
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	N		
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y		
				Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar	N
				Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N
				20'-29'	8	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	Y
				30'-39'	17	Monthly (High)		Miscellaneous		Shower	Y
				40'-49'	3	Yearly (Low) /mo		Moorings		Ice	Y
				50'-59'	0	Yearly (High) /mo		Mooring Rate /mo		Water Sports	N
				60'-69'	0	Liveaboards		Boat Ramp		Security Passive Y Guard N Video N	
				70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities	
				80'-89'	0	Daily Liveaboard Rate	/ft	Electric		Water	Y
				90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase	Y	3 Phase	
100'-109'	0	Monthly Liveaboard Rate	/ft	Rates	Meter	/kwh	/Day	/Mo	TV/Cable	N	
110'-119'	0	Yrly Liveaboard Rate /mo	/ft	30A					Internet Access	N	
120'-129'	0	Dry Slips		50A					Fuel/Pumpout		
130'-139'	0	Dry Slips	0	100A					Gas	Y	
140'-149'	0	Daily		Associated_Events				Diesel	N		
150'-159'	0	Weekly						Pumpout	Y	/use	
160'-199'	0	Monthly (Low)						Transient			
200'+	0	Monthly (High)						Port Of Entry	N		
Side Tie LF		Yearly (Low) /mo						Transient Berths	11		
Side Tie #		Yearly (High) /mo						Crews Quarters	N		
Comments											

Gandy Bridge Marina

Gulfport Municipal Marina

Address 4630 29th Avenue South Gulfport, FL 33711 United States		Marina Description							
Contact Person									
Telephone	727-893-1071	Latitude	27.739805	Web Page	http://mygulfport.us/marina/				
Fax		Longitude	-82.695724	Market	US - Florida - West, Anna Maria Island to Clearwater				
Slip Information				Wet Slips		Occupancy		Upland Amenities	
Dock Style	Fixed	Max Slip Length	45	Wet Slips	250	Busy Season		Hotel	Y
Dock Material	Concrete	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y
Slip Style		Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y
	Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar	Y	
	Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N	
	20'-29'	16	Monthly (Low)	\$5.75	Dry Off Occupancy		Laundry Facilities	N	
	30'-39'	129	Monthly (High)	\$9.50	Miscellaneous		Shower	Y	
	40'-49'	105	Yearly (Low) /mo	\$5.75	Moorings	0	Ice	Y	
	50'-59'	0	Yearly (High) /mo	\$9.50	Mooring Rate /mo		Water Sports	N	
	60'-69'	0	Liveaboards		Boat Ramp	2	Security	Passive Y Guard N Video N	
	70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities		
	80'-89'	0	Daily Liveaboard Rate		Electric		Water	Y	
	90'-99'	0	Weekly Liveaboard Rate		1 Phase	Y	3 Phase		
	100'-109'	0	Monthly Liveaboard Rate		Rates	Meter	/kwh	/Day	
	110'-119'	0	Yrly Liveaboard Rate /mo		30A				
	120'-129'	0	Dry Slips		50A				
	130'-139'	0	Dry Slips	0	100A				
	140'-149'	0	Daily		Associated Events				Gas
150'-159'	0	Weekly						Diesel	Y
160'-199'	0	Monthly (Low)						Pumpout	Y /use
200'+	0	Monthly (High)						Transient	
Side Tie LF		Yearly (Low) /mo						Port Of Entry	N
Side Tie #		Yearly (High) /mo						Transient Berths	6
Comments								Crews Quarters	N
\$3.00 meter reading fee (not included). Higher rates for non-residents (see website). Rates last updated Oct. 2007. 7% sales tax is excluded.									

Gulfport Municipal Marina

Holmes Beach Marina

Address 5347 Gulf Drive, Unit 6 Holmes Beach, FL 34217 United States		Marina Description								
Contact Person		Telephone 941-778-2255		Latitude 27.505022		Web Page				
Fax 941 778-2256		Longitude -82.710714		Market US - Florida - West, Anna Maria Island to Clearwater						
Slip Information				Wet Slips		Occupancy		Upland Amenities		
Dock Style	Fixed	Max Slip Length		Wet Slips	11	Busy Season		Hotel	N	
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	N	
Slip Style		Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	N	
			Slip Sizes	Weekly (Low)		Wet Off Occupancy		Bar	N	
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N
			20'-29'	0	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	N
			30'-39'	0	Monthly (High)		Miscellaneous		Shower	N
			40'-49'	0	Yearly (Low) /mo		Moorings	0	Ice	N
			50'-59'	0	Yearly (High) /mo		Mooring Rate /mo		Water Sports	N
			60'-69'	0	Liveaboards		Boat Ramp		Security	Passive N Guard N Video N
			70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities	
			80'-89'	0	Daily Liveaboard Rate	/ft	Electric		Water	N
			90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase	N	3 Phase	N
			100'-109'	0	Monthly Liveaboard Rate	/ft	Rates	Meter	/kwh	/Day
110'-119'	0	Yrly Liveaboard Rate /mo	/ft	30A						
120'-129'	0	Dry Slips		50A						
130'-139'	0	Dry Slips	0	100A						
140'-149'	0	Daily		Associated_Events		Fuel/Pumpout				
150'-159'	0	Weekly				Gas	N			
160'-199'	0	Monthly (Low)				Diesel	N			
200'+	0	Monthly (High)				Pumpout	N	/use		
Side Tie LF		Yearly (Low) /mo		Transient		Port Of Entry				
Side Tie #		Yearly (High) /mo				Transient Berths				
Comments						Crews Quarters	N			

Holmes Beach Marina

Hubbard's Marina (John's Pass Boardwalk)

Address 150 John's Pass Boardwalk Madeira Beach, FL 33708 United States		<u>Marina Description</u>								
Contact Person										
Telephone	727-393-1947	Latitude	27.784985	Web Page	http://www.hubbardsmarina.com					
Fax		Longitude	-82.781555	Market	US - Florida - West, Anna Maria Island to Clearwater					
<u>Slip Information</u>				<u>Wet Slips</u>		<u>Occupancy</u>		<u>Upland Amenities</u>		
Dock Style	Fixed	Max Slip Length		Wet Slips	4	Busy Season		Hotel	N	
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y	
Slip Style		Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y	
			<u>Slip Sizes</u>		Weekly (Low)			Bar	Y	
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N
			20'-29'	0	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	N
			30'-39'	2	Monthly (High)		<u>Miscellaneous</u>		Shower	N
			40'-49'	0	Yearly (Low) /mo		Moorings		Ice	Y
			50'-59'	0	Yearly (High) /mo		Mooring Rate /mo		Water Sports	Y
			60'-69'	2	<u>Liveaboards</u>		Boat Ramp		Security	Passive Guard Video
			70'-79'	0	Liveaboards Allowed		Environment		<u>WaterSide Amenities</u>	
			80'-89'	0	Daily Liveaboard Rate	/ft	<u>Electric</u>		Water	N
			90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase	N	3 Phase	
			100'-109'	0	Monthly Liveaboard Rate	/ft	Rates	Meter	/kWh	/Day
110'-119'	0	Yrly Liveaboard Rate /mo	/ft	30A						
120'-129'	0	<u>Dry Slips</u>		50A						
130'-139'	0	Dry Slips	0	100A						
140'-149'	0	Daily		<u>Associated_Events</u>						
150'-159'	0	Weekly								
160'-199'	0	Monthly (Low)								
200'+	0	Monthly (High)								
Side Tie LF		Yearly (Low) /mo								
Side Tie #		Yearly (High) /mo								
<u>Comments</u>								Fuel/Pumpout		
								Gas	N	
								Diesel	N	
								Pumpout	N /use	
								<u>Transient</u>		
								Port Of Entry	N	
								Transient Berths		
								Crews Quarters	N	

Hubbard's Marina (John's Pass Boardwalk)

John's Pass Marina Inc.

John's Pass Marina Inc.										
Address 12795 Kingfish Dr. Treasure Island, FL 33706 United States		<u>Marina Description</u>								
Contact Person Telephone 727-360-8907 Latitude 27.782031 Fax Longitude -82.780157		Web Page http://gojohnspassmarina.com/ Market US - Florida - West, Anna Maria Island to Clearwater								
<u>Slip Information</u>		<u>Wet Slips</u>	<u>Occupancy</u>	<u>Upland Amenities</u>						
Dock Style	Fixed	Max Slip Length	100	Wet Slips	34	Busy Season		Hotel	Y	
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y	
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y	
		<u>Slip Sizes</u>		Weekly (Low)		Wet Off Occupancy		Bar	Y	
		Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N	
		20'-29'	2	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	Y	
		30'-39'	8	Monthly (High)		<u>Miscellaneous</u>		Shower	Y	
		40'-49'	0	Yearly (Low) /mo		Moorings		Ice	Y	
		50'-59'	0	Yearly (High) /mo		Mooring Rate /mo		Water Sports	N	
		60'-69'	0	<u>Liveaboards</u>		Boat Ramp	1	Security	Passive Guard Video	
		70'-79'	0	Liveaboards Allowed		<u>Environment</u>		<u>WaterSide Amenities</u>		
		80'-89'	0	Daily Liveaboard Rate		<u>Electric</u>		Water	Y	
		90'-99'	0	Weekly Liveaboard Rate		1 Phase		Telephone	Y	
100'-109'	0	Monthly Liveaboard Rate		3 Phase		TV/Cable	N			
110'-119'	0	Yrly Liveaboard Rate /mo		Rates	Meter	/kwh	/Day	/Mo	Internet Access	Y
120'-129'	0	<u>Dry Slips</u>		30A					<u>Fuel/Pumpout</u>	
130'-139'	0	Dry Slips		50A					Gas	N
140'-149'	0	Daily		100A					Diesel	
150'-159'	0	Weekly		<u>Associated_Events</u>		Pumpout	Y		/use	
160'-199'	0	Monthly (Low)				<u>Transient</u>				
200'+	0	Monthly (High)				Port Of Entry		N		
Side Tie LF	550	Yearly (Low) /mo				Transient Berths				
Side Tie #		Yearly (High) /mo			Crews Quarters					
<u>Comments</u>										

John's Pass Marina Inc.

Land's End Marina

Address 1220 Apollo Beach Blvd. Apollo Beach, FL 33572 United States		<u>Marina Description</u>								
Contact Person										
Telephone	813-645-5594	Latitude	27.780223	Web Page	http://landsendmarina.com/					
Fax	813-645-0760	Longitude	-82.423221	Market	US - Florida - West, Anna Maria Island to Clearwater					
<u>Slip Information</u>				<u>Wet Slips</u>		<u>Occupancy</u>		<u>Upland Amenities</u>		
Dock Style	Fixed	Max Slip Length	100	Wet Slips	42	Busy Season		Hotel	Y	
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y	
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y	
			<u>Slip Sizes</u>	Weekly (Low)		Wet Off Occupancy		Bar	Y	
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N
			20'-29'	40	Monthly (Low)	\$11.00	Dry Off Occupancy		Laundry Facilities	
			30'-39'	0	Monthly (High)	\$11.00	<u>Miscellaneous</u>			
			40'-49'	2	Yearly (Low) /mo	\$11.00	Moorings		Shower	Y
			50'-59'	0	Yearly (High) /mo	\$11.00	Mooring Rate /mo		Ice	Y
			60'-69'	0	<u>Liveaboards</u>		Boat Ramp		Water Sports	
			70'-79'	0	Liveaboards Allowed		Environment		Security	Passive Guard Video Y
			80'-89'	0	Daily Liveaboard Rate		<u>Electric</u>		<u>WaterSide Amenities</u>	
			90'-99'	0	Weekly Liveaboard Rate		1 Phase		Water	Y
			100'-109'	0	Monthly Liveaboard Rate		Rates	Meter	/kwh	/Day
110'-119'	0	Yrly Liveaboard Rate /mo		30A				TV/Cable		
120'-129'	0	<u>Dry Slips</u>		50A				Internet Access		
130'-139'	0	Dry Slips	100	100A				<u>Fuel/Pumpout</u>		
140'-149'	0	Daily		<u>Associated Events</u>				Gas	Y	
150'-159'	0	Weekly						Diesel	Y	
160'-199'	0	Monthly (Low)	\$11.00					Pumpout	Y /use	
200'+	0	Monthly (High)						<u>Transient</u>		
Side Tie LF	320	Yearly (Low) /mo						Port Of Entry	N	
Side Tie #		Yearly (High) /mo						Transient Berths		
<u>Comments</u>										
In addition to the rental agreement, one would also have to provide \$300,000 liability insurance, 1 month security deposit, and first month's payment. Prices exclude 7% sales tax. Water & Electric are an additional \$15.00.										

Land's End Marina

Lighthouse Point Marina (St. Petersburg)

Address 8610 Bay Pines Blvd St. Petersburg, FL 33709 United States				Marina Description											
Contact Person				Web Page http://www.lighthousepointmarina.net/index.html											
Telephone 727-384-3625		Latitude 27.811315		Market US - Florida - West, Anna Maria Island to Clearwater											
Fax 727-345-9563		Longitude -82.75998													
Slip Information				Wet Slips				Occupancy				Upland Amenities			
Dock Style Fixed		Max Slip Length 50		Wet Slips 69		Busy Season				Hotel N					
Dock Material Timber		Min Slip Length		Daily (Low) \$2.25		Off Season				Restaurant Y					
Slip Style Double		Approach Depth		Daily (High)		Wet Peak Occupancy				Shopping Y					
				Slip Sizes				Weekly (Low)				Wet Off Occupancy			
				Under 20'		0		Weekly (High)				Dry Peak Occupancy			
				20'-29'		25		Monthly (Low)				Dry Off Occupancy			
				30'-39'		37		Monthly (High)				Miscellaneous			
				40'-49'		7		Yearly (Low) /mo				Moorings			
				50'-59'		0		Yearly (High) /mo				Mooring Rate /mo			
				60'-69'		0		Liveaboards				Boat Ramp			
				70'-79'		0		Liveaboards Allowed				Environment			
				80'-89'		0		Daily Liveaboard Rate /ft				Electric			
				90'-99'		0		Weekly Liveaboard Rate /ft				1 Phase Y		3 Phase	
100'-109'		0		Monthly Liveaboard Rate /ft				Rates		Meter /kWh /Day /Mo		Telephone N			
110'-119'		0		Yrly Liveaboard Rate /mo /ft				30A Y				TV/Cable N			
120'-129'		0		Dry Slips				50A Y				Internet Access Y			
130'-139'		0		Dry Slips 200		100A N						Fuel/Pumpout			
140'-149'		0		Daily				Associated_Events				Gas Y			
150'-159'		0		Weekly								Diesel			
160'-199'		0		Monthly (Low)								Pumpout Y /use			
200'+		0		Monthly (High)								Transient			
Comments				Side Tie LF Yearly (Low) /mo				Port Of Entry N				Transient Berths			
				Side Tie # Yearly (High) /mo				Crews Quarters N							

Lighthouse Point Marina (St. Petersburg)

Loggerhead Club and Marina

Address				Marina Description											
5821 32nd Way S Saint Petersburg, FL 33712 United States															
Contact Person															
Telephone		(727) 867-2600		Latitude		27.713592		Web Page		loggerheadstpete.com					
Fax		727-867-2622		Longitude		-82.678167		Market		US - Florida - West, Anna Maria Island to Clearwater					
Slip Information				Wet Slips				Occupancy		Upland Amenities					
Dock Style		Fixed		Max Slip Length		60		Wet Slips		143					
Dock Material		Concrete		Min Slip Length				Daily (Low)		\$1.50					
Slip Style		Double		Approach Depth				Daily (High)		\$1.50					
				Slip Sizes		Weekly (Low)		Wet Peak Occupancy		Hotel		N			
				Under 20'		0		Weekly (High)		Wet Off Occupancy		Restaurant		Y	
				20'-29'		19		Monthly (Low)		\$12.00		Shopping		Y	
				30'-39'		64		Monthly (High)		\$14.00		Bar		Y	
				40'-49'		60		Yearly (Low) /mo		\$10.00		Pool		Y	
				50'-59'		0		Yearly (High) /mo		\$15.00		Laundry Facilities		Y	
				60'-69'		0		Liveaboards				Shower		Y	
				70'-79'		0		Liveaboards Allowed				Ice		Y	
				80'-89'		0		Daily Liveaboard Rate		/ft		Miscellaneous			
				90'-99'		0		Weekly Liveaboard Rate		/ft		Moorings			
				100'-109'		0		Monthly Liveaboard Rate		/ft		Mooring Rate /mo			
				110'-119'		0		Yrly Liveaboard Rate /mo		/ft		Boat Ramp		Security Passive Guard Video	
				120'-129'		0		Dry Slips				Environment Clean Marina		WaterSide Amenities	
				130'-139'		0		Dry Slips		327		Electric		Water Y	
				140'-149'		0		Daily		\$1.50		1 Phase Y		Telephone Y	
150'-159'		0		Weekly				3 Phase		TV/Cable Y					
160'-199'		0		Monthly (Low)		\$14.00		Rates		Internet Access Y					
200'+		0		Monthly (High)		\$17.50		Meter							
Side Tie LF				Yearly (Low) /mo		\$11.00		/kWh							
Side Tie #				Yearly (High) /mo		\$14.50		/Day							
Comments								/Mo							
Part of a chain of Loggerhead marinas located throughout Florida.								30A							
Current rates effective July 1, 2009.								\$10.50		\$40.00					
								\$10.50		\$60.00					
								100A							
								Associated_Events							
										Fuel/Pumpout					
										Gas High Speed					
										Diesel High Speed					
										Pumpout Y /use					
										Transient					
										Port Of Entry N					
										Transient Berths 0					
										Crews Quarters N					

Loggerhead Club and Marina

Madeira Beach Municipal Marina

Address 503 150th Avenue Madeira Beach, FL 33708 United States		Marina Description														
Contact Person		Telephone 727-399-2631		Latitude 27.80392		Web Page http://madeirabeachmarina.com/										
Fax 727-399-6857		Longitude -82.795524		Market US - Florida - West, Anna Maria Island to Clearwater												
Slip Information				Wet Slips				Occupancy		Upland Amenities						
Dock Style	Fixed	Max Slip Length	75	Wet Slips	93	Busy Season		Hotel		Y						
Dock Material	Timber	Min Slip Length		Daily (Low)	\$1.40	Off Season		Restaurant		Y						
Slip Style	Double	Approach Depth		Daily (High)	\$1.40	Wet Peak Occupancy		Shopping		Y						
			Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar		N					
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool		N					
			20'-29'	46	Monthly (Low)		\$10.80	Dry Off Occupancy		Laundry Facilities		Y				
			30'-39'	47	Monthly (High)		\$11.50	Miscellaneous								
			40'-49'	0	Yearly (Low) /mo		\$10.80	Moorings		Shower		Y				
			50'-59'	0	Yearly (High) /mo		\$11.50	Mooring Rate /mo		Ice		Y				
			60'-69'	0	Liveaboards		Boat Ramp		3		Water Sports		N			
			70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities							
			80'-89'	0	Daily Liveaboard Rate		/ft		Electric		Water		Y Metered			
			90'-99'	0	Weekly Liveaboard Rate		/ft		1 Phase		Y		Telephone		N	
			100'-109'	0	Monthly Liveaboard Rate		/ft		3 Phase		N		TV/Cable		N	
110'-119'	0	Yrly Liveaboard Rate /mo		/ft		Rates		Meter /kwH /Day /Mo		Internet Access		N				
120'-129'	0	Dry Slips		50A		30A				Fuel/Pumpout						
130'-139'	0	Dry Slips		100A						Gas		Y				
140'-149'	0	Daily		\$0.75		Associated Events										
150'-159'	0	Weekly								Diesel		Y				
160'-199'	0	Monthly (Low)		\$6.25						Pumpout		Y \$0.00 /use				
200'+	0	Monthly (High)		\$6.25						Transient						
Side Tie LF		Yearly (Low) /mo		\$6.25						Port Of Entry		N				
Side Tie #		Yearly (High) /mo		\$6.25						Transient Berths		4				
Comments																
Dry Storage: \$140.00 Flat Fee Plus Tax / Month. Transient dry storage \$15.00 per day.																

Madeira Beach Municipal Marina

Magnuson Hotel Marina Cove

Magnuson Hotel Marina Cove			
Address 6800 Sunshine Skyway Lane St. Petersburg, FL 33711 United States		Marina Description	
Contact Person Telephone 727-867-1151 Latitude 27.706065 Fax 727-864-4494 Longitude -82.677331		Web Page http://www.marinacoveresort.com/st-petersburg-private-beach-hotel.aspx Market US - Florida - West, Anna Maria Island to Clearwater	
Slip Information		Wet Slips	
Dock Style	Fixed	Max Slip Length	32
Dock Material	Timber	Min Slip Length	
Slip Style	Double	Approach Depth	
		Slip Sizes	
		Under 20'	0
		20'-29'	12
		30'-39'	16
		40'-49'	4
		50'-59'	0
		60'-69'	0
		70'-79'	0
		80'-89'	0
		90'-99'	0
100'-109'	0		
110'-119'	0		
120'-129'	0		
130'-139'	0		
140'-149'	0		
150'-159'	0		
160'-199'	0		
200'+	0		
Side Tie LF			
Side Tie #			
Comments		Dry Slips	
Formerly Holiday Inn Sunspree Resort		Dry Slips	0
		Daily	
		Weekly	
		Monthly (Low)	
		Monthly (High)	
		Yearly (Low) /mo	
		Yearly (High) /mo	
		Liveaboards	
		Liveaboards Allowed	
		Daily Liveaboard Rate	/ft
		Weekly Liveaboard Rate	/ft
		Monthly Liveaboard Rate	/ft
		Yrly Liveaboard Rate /mo	/ft
		Electric	
		1 Phase	N
		3 Phase	
		Rates	Meter / kwH / Day / Mo
		30A	
		50A	
		100A	
		Associated Events	
		Miscellaneous	
		Moorings	
		Mooring Rate /mo	
		Boat Ramp	
		Environment	
		WaterSide Amenities	
		Water	N
		Telephone	Y
		TV/Cable	Y
		Internet Access	Y
		Fuel/Pumpout	
		Gas	Y
		Diesel	Y
		Pumpout	Y /use
		Transient	
		Port Of Entry	N
		Transient Berths	7
		Crews Quarters	N

Magnuson Hotel Marina Cove

Mariner's Cove Marina

Address 5018 31st Ave S Gulfport, FL 33707 United States		Marina Description									
Contact Person		Telephone 727-321-5792		Latitude 27.738247		Web Page http://www.marinerscovemarina.com/		Market US - Florida - West, Anna Maria Island to Clearwater			
Fax		Longitude -82.701494									
Slip Information				Wet Slips		Occupancy		Upland Amenities			
Dock Style	Fixed	Max Slip Length	42	Wet Slips	0	Busy Season		Hotel	N		
Dock Material	Concrete	Min Slip Length		Daily (Low)		Off Season		Restaurant	N		
Slip Style		Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	N		
				Slip Sizes		Weekly (Low)		Bar		N	
				Under 20'	0	Weekly (High)		Wet Off Occupancy		Pool	N
				20'-29'	0	Monthly (Low)		Dry Peak Occupancy		Laundry Facilities	N
				30'-39'	0	Monthly (High)		Dry Off Occupancy		Shower	N
				40'-49'	0	Yearly (Low) /mo		Miscellaneous		Ice	Y
				50'-59'	0	Yearly (High) /mo		Moorings		Water Sports	N
				60'-69'	0	Liveaboards		Mooring Rate /mo		Security	Passive Y Guard N Video N
				70'-79'	0	Liveaboards Allowed		Boat Ramp		WaterSide Amenities	
				80'-89'	0	Daily Liveaboard Rate		Electric		Water	N
				90'-99'	0	Weekly Liveaboard Rate		1 Phase		Telephone	N
100'-109'	0	Monthly Liveaboard Rate		3 Phase		TV/Cable	N				
110'-119'	0	Yrly Liveaboard Rate /mo		Rates	Meter	/kWh	/Day	/Mo	Internet Access	N	
120'-129'	0	Dry Slips		30A					Fuel/Pumpout		
130'-139'	0	Dry Slips	200	50A					Gas	Y	
140'-149'	0	Daily		Associated_Events				Diesel			
150'-159'	0	Weekly						Pumpout	Y	/use	
160'-199'	0	Monthly (Low)						Transient			
200'+	0	Monthly (High)						Port Of Entry		N	
Side Tie LF	250	Yearly (Low) /mo						Transient Berths			
Side Tie #		Yearly (High) /mo						Crews Quarters		N	
Comments											

Mariner's Cove Marina

Marjorie Park Yacht Basin

Address		115 Columbia Drive Tampa, FL 33606 United States		Marina Description							
Contact Person				If you are a non-city resident, a \$1.00/ft fee will be added.							
Telephone	813-259-1604	Latitude	27.930529	Web Page	http://www.tampagov.net/parks-and-recreation/programs/parks-and-facilities/marinas						
Fax		Longitude	-82.453926	Market	US - Florida - West, Anna Maria Island to Clearwater						
Slip Information				Wet Slips		Occupancy		Upland Amenities			
Dock Style	Floating	Max Slip Length	50	Wet Slips	51	Busy Season	All	Hotel	N		
Dock Material	Concrete	Min Slip Length		Daily (Low)	\$1.00	Off Season	None	Restaurant	Y		
Slip Style	Double	Approach Depth		Daily (High)	\$2.00	Wet Peak Occupancy		Shopping	Y		
				Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar	N
				Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N
				20'-29'	0	Monthly (Low)	\$10.50	Dry Off Occupancy		Laundry Facilities	Y
				30'-39'	40	Monthly (High)	\$13.00	Miscellaneous		Shower	Y
				40'-49'	0	Yearly (Low) /mo	\$10.50	Moorings	0	Ice	Y
				50'-59'	4	Yearly (High) /mo	\$13.00	Mooring Rate /mo		Water Sports	N
				60'-69'	0	Liveaboards		Boat Ramp	0	Security	Passive Y Guard N Video N
				70'-79'	0	Liveaboards Allowed		Environment	Clean Marina	WaterSide Amenities	
				80'-89'	0	Daily Liveaboard Rate	/ft	Electric		Water	Y
				90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase	Y	3 Phase	
100'-109'	0	Monthly Liveaboard Rate	/ft	Rates	Meter	/kWh	/Day	/Mo			
110'-119'	0	Yrly Liveaboard Rate /mo	/ft	30A			\$5.00				
120'-129'	0	Dry Slips		50A			\$10.00				
130'-139'	0	Dry Slips	0	100A							
140'-149'	0	Daily		Associated Events				Gas	Y		
150'-159'	0	Weekly						Diesel			
160'-199'	0	Monthly (Low)						Pumpout	Y		/use
200'+	0	Monthly (High)						Transient			
Side Tie LF		Yearly (Low) /mo		Port Of Entry			N				
Side Tie #		Yearly (High) /mo		Transient Berths							
Comments								Crews Quarters	N		

Marjorie Park Yacht Basin

Maximo Marina

Address 4801 37th Street S. St. Petersburg, FL 33711 United States		Marina Description										
Contact Person		Telephone 727-867-1102		Latitude 27.724437		Web Page http://www.maximomarina.com/						
Fax 727-867-8087		Longitude -82.681769		Market US - Florida - West, Anna Maria Island to Clearwater								
Slip Information				Wet Slips		Occupancy		Upland Amenities				
Dock Style	Fixed	Max Slip Length	68	Wet Slips	300	Busy Season		Hotel	Y			
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y			
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y			
			Slip Sizes	Weekly (Low)		Wet Off Occupancy		Bar	N			
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N		
			20'-29'	54	Monthly (Low)	\$8.00	Dry Off Occupancy		Laundry Facilities	Y		
			30'-39'	67	Monthly (High)	\$8.00	Miscellaneous				Shower	Y
			40'-49'	54	Yearly (Low) /mo	\$8.00	Moorings					
			50'-59'	113	Yearly (High) /mo	\$8.00	Mooring Rate /mo					
			60'-69'	12	Liveaboards		Boat Ramp					
			70'-79'	0	Liveaboards Allowed		Environment					
			80'-89'	0	Daily Liveaboard Rate		Electric					
			90'-99'	0	Weekly Liveaboard Rate		1 Phase		Y	3 Phase		Water Y Metered
			100'-109'	0	Monthly Liveaboard Rate		Rates	Meter	/kWh	/Day	/Mo	Telephone N
110'-119'	0	Yrly Liveaboard Rate /mo		30A					TV/Cable N			
120'-129'	0	Dry Slips		50A					Internet Access N			
130'-139'	0	Dry Slips	175	100A					Fuel/Pumpout			
140'-149'	0	Daily		Associated Events								
150'-159'	0	Weekly										
160'-199'	0	Monthly (Low)										
200'+	0	Monthly (High)										
Side Tie LF		Yearly (Low) /mo										
Side Tie #		Yearly (High) /mo										
Comments												
Covered slips.												
								Transient				
								Port Of Entry	N			
								Transient Berths				
								Crews Quarters	N			

Maximo Marina

O'Neill's Marina

Address 6701 34th St S St. Petersburg, FL 33711 United States		Marina Description									
Contact Person											
Telephone	727-867-2585	Latitude	27.707143	Web Page	http://www.oneillsmarina.com/						
Fax	727-867-1958	Longitude	-82.680083	Market	US - Florida - West, Anna Maria Island to Clearwater						
Slip Information				Wet Slips		Occupancy		Upland Amenities			
Dock Style	Fixed	Max Slip Length		Wet Slips	110	Busy Season		Hotel	Y		
Dock Material	Timber	Min Slip Length		Daily (Low)	\$1.00	Off Season		Restaurant	Y		
Slip Style	Double	Approach Depth		Daily (High)	\$1.00	Wet Peak Occupancy		Shopping	Y		
				Slip Sizes		Weekly (Low)		Wet Off Occupancy	Bar	N	
				Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	N
				20'-29'	70	Monthly (Low)		Dry Off Occupancy		Laundry Facilities	Y
				30'-39'	40	Monthly (High)		Miscellaneous		Shower	Y
				40'-49'	0	Yearly (Low) /mo		Moorings	0	Ice	Y
				50'-59'	0	Yearly (High) /mo		Mooring Rate /mo		Water Sports	N
				60'-69'	0	Liveaboards		Boat Ramp	1	Security	Passive Y Guard N Video N
				70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities	
				80'-89'	0	Daily Liveaboard Rate	/ft	Electric		Water	Y
				90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase	Y	3 Phase	
100'-109'	0	Monthly Liveaboard Rate	/ft	Rates	Meter	/kWh	/Day	/Mo			
110'-119'	0	Yrly Liveaboard Rate /mo	/ft	30A							
120'-129'	0	Dry Slips		50A							
130'-139'	0	Dry Slips	150	100A							
140'-149'	0	Daily		Associated_Events							
150'-159'	0	Weekly				Fuel/Pumpout					
160'-199'	0	Monthly (Low)				Gas	Y				
200'+	0	Monthly (High)				Diesel	Y				
Side Tie LF		Yearly (Low) /mo		Pumpout	N	/use					
Side Tie #		Yearly (High) /mo		Transient		Port Of Entry	N				
Comments Dry storage (on a trailer): \$150.00 Short term (on a trailer): \$20.00 per day. Excludes 7% sales tax. All rates as of May 2007.						Transient Berths					
						Crews Quarters	N				

O'Neill's Marina

Palm View Marina

Address				Marina Description																	
6817 Bayshore Road Palmetto, FL 34221 United States																					
Contact Person																					
Telephone		(941)729-8384		Latitude		27.575489		Web Page		http://palmviewmarina.com/											
Fax		(941)729-8479		Longitude		-82.555236		Market		US - Florida - West, Anna Maria Island to Clearwater											
Slip Information				Wet Slips				Occupancy				Upland Amenities									
Dock Style		Fixed		Max Slip Length		26		Wet Slips		24		Busy Season		Hotel		N					
Dock Material		Timber		Min Slip Length				Daily (Low)				Off Season		Restaurant		N					
Slip Style		Double		Approach Depth				Daily (High)				Wet Peak Occupancy		Shopping		N					
				Slip Sizes																	
				Under 20'		0		Weekly (Low)				Wet Off Occupancy		Bar		N					
				20'-29'		22		Weekly (High)				Dry Peak Occupancy		Pool		N					
				30'-39'		2		Monthly (Low)				Dry Off Occupancy		Laundry Facilities		N					
				40'-49'		0		Monthly (High)				Miscellaneous				Shower		N			
				50'-59'		0		Yearly (Low) /mo				Moorings		0		Ice		Y			
				60'-69'		0		Yearly (High) /mo				Moorings Rate /mo				Water Sports		N			
				70'-79'		0		Liveaboards				Boat Ramp						Security		Passive Guard Video	
				80'-89'		0		Liveaboards Allowed		Y		Environment				WaterSide Amenities					
				90'-99'		0		Daily Liveaboard Rate		/ft		Electric				Water		Y			
				100'-109'		0		Weekly Liveaboard Rate		/ft		1 Phase		Y		3 Phase		N		Telephone	
110'-119'		0		Monthly Liveaboard Rate		/ft		Rates		Meter		/kWh		/Day		/Mo		TV/Cable		N	
120'-129'		0		Yrly Liveaboard Rate /mo		/ft		30A										Internet Access		N	
130'-139'		0		Dry Slips				50A										Fuel/Pumpout			
140'-149'		0		Dry Slips		0		100A										Gas		N	
150'-159'		0		Daily				Associated Events				Diesel		N		Pumpout		N /use			
160'-199'		0		Weekly								Transient									
200'+		0		Monthly (Low)								Port Of Entry		N							
Side Tie LF				Monthly (High)								Transient Berths									
Side Tie #				Yearly (Low) /mo								Crews Quarters		N							
Side Tie #				Yearly (High) /mo																	
Comments																					

Palm View Marina

Palmarina

Palmarina					
Address 425 S 50th St Tampa, FL 33619-3651 United States		Marina Description			
Contact Person Telephone (813) 247-1250 Latitude 27.946824 Fax Longitude -82.403293		Web Page http://www.palmarina.net/Index.html Market US - Florida - West, Anna Maria Island to Clearwater			
Slip Information		Wet Slips			
Dock Style Fixed Max Slip Length Dock Material Timber Min Slip Length Slip Style Approach Depth	Wet Slips 10 Daily (Low) Daily (High) Weekly (Low) Weekly (High) Monthly (Low) Monthly (High) Yearly (Low) /mo Yearly (High) /mo		Occupancy Busy Season Off Season Wet Peak Occupancy Wet Off Occupancy Dry Peak Occupancy Dry Off Occupancy		
No Image Available.		Upland Amenities			
		Slip Sizes			
		Under 20' 0	Weekly (Low)	Miscellaneous	
		20'-29' 1	Weekly (High)	Moorings 0	
		30'-39' 6	Monthly (Low)	Mooring Rate /mo	
		40'-49' 2	Monthly (High)	Boat Ramp	
		50'-59' 1	Yearly (Low) /mo	Environment	
		60'-69' 0	Yearly (High) /mo	WaterSide Amenities	
		70'-79' 0	Liveaboards	Electric	
		80'-89' 0	Liveaboards Allowed	1 Phase N 3 Phase	
		90'-99' 0	Daily Liveaboard Rate /ft	Rates Meter /kWh /Day /Mo	
		100'-109' 0	Weekly Liveaboard Rate /ft	30A	
		110'-119' 0	Monthly Liveaboard Rate /ft	50A	
		120'-129' 0	Yrly Liveaboard Rate /mo	100A	
		Comments		Dry Slips	
possibly closed Formerly Palm River Marina		Dry Slips			
		Associated Events			
		130'-139' 0	Daily	Fuel/Pumpout	
		140'-149' 0	Weekly	Gas N	
		150'-159' 0	Monthly (Low)	Diesel N	
160'-199' 0	Monthly (High)	Pumpout N /use			
Side Tie LF	Yearly (Low) /mo	Transient			
Side Tie #	Yearly (High) /mo	Port Of Entry N			
		Transient Berths			
		Crews Quarters N			

Palmarina

Pasadena Marina

Address 1740 Harbor Place South Pasadena, FL 33707 United States		Marina Description													
Contact Person		Telephone 727-343-4500		Latitude 27.753614		Web Page http://www.pasadenamarina.com/									
Fax 727-343-1100		Longitude -82.736813		Market US - Florida - West, Anna Maria Island to Clearwater											
Slip Information				Wet Slips		Occupancy		Upland Amenities							
Dock Style	Fixed	Max Slip Length	60	Wet Slips	125	Busy Season		Hotel	Y						
Dock Material	Timber	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y						
Slip Style	Double	Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y						
				Slip Sizes		Weekly (Low)		Bar							
				Under 20'	0	Weekly (High)		Wet Off Occupancy		Pool					
				20'-29'	52	Monthly (Low)		Dry Peak Occupancy		Laundry Facilities					
				30'-39'	42	Monthly (High)		\$15.71	Miscellaneous		Shower				
				40'-49'	27	Yearly (Low) /mo			Moorings		Ice				
				50'-59'	4	Yearly (High) /mo		\$15.71	Mooring Rate /mo		Water Sports				
				60'-69'	0	Liveaboards		Boat Ramp		Security		Passive Y Guard Video			
				70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities					
				80'-89'	0	Daily Liveaboard Rate		/ft	Electric			Water	Y		
				90'-99'	0	Weekly Liveaboard Rate		/ft	1 Phase		Y	Telephone			
100'-109'	0	Monthly Liveaboard Rate		/ft	Rates	Meter	/kWh	/Day	/Mo						
110'-119'	0	Yrly Liveaboard Rate /mo		/ft	30A										
120'-129'	0	Dry Slips		50A				Fuel/Pumpout							
130'-139'	0	Dry Slips		0	100A				Gas	Y					
140'-149'	0	Daily		Associated Events						Diesel	Y				
150'-159'	0	Weekly								Pumpout	Y /use				
160'-199'	0	Monthly (Low)								Transient			Port Of Entry		N
200'+	0	Monthly (High)								Transient Berths				5	
Side Tie LF		Yearly (Low) /mo		Crews Quarters				N							
Side Tie #		Yearly (High) /mo													
Comments															
Some slips covered															

Pasadena Marina

Pass-A-Grille Marina

Pass-A-Grille Marina																								
Address 1901 Pass A Grille Way St. Petersburg, FL 33706 United States		Marina Description																						
Contact Person Telephone 727-360-0100 Latitude 27.696126 Fax 727-360-0250 Longitude -82.735237		Web Page http://www.passagrillamarina.com/contact.htm Market US - Florida - West, Anna Maria Island to Clearwater																						
Slip Information		Wet Slips	Occupancy	Upland Amenities																				
Dock Style Floating Max Slip Length Dock Material Timber Min Slip Length Slip Style Approach Depth	Wet Slips 20 Daily (Low) Daily (High) Weekly (Low) Weekly (High) Monthly (Low) Monthly (High) Yearly (Low) /mo Yearly (High) /mo		Busy Season Off Season Wet Peak Occupancy Wet Off Occupancy Dry Peak Occupancy Dry Off Occupancy	Hotel N Restaurant Y Shopping Y Bar Y Pool N Laundry Facilities Y Shower Y Ice Y Water Sports N Security Passive Guard Video Y																				
		Slip Sizes	Miscellaneous																					
		Under 20' 0 20'-29' 10 30'-39' 0 40'-49' 6 50'-59' 0 60'-69' 0 70'-79' 0 80'-89' 0 90'-99' 0 100'-109' 0 110'-119' 0 120'-129' 0 130'-139' 0 140'-149' 0 150'-159' 0 160'-199' 0 200'+ 0 Side Tie LF 80 Side Tie #	Moorings Mooring Rate /mo Boat Ramp Environment Electric <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">1 Phase</td> <td style="text-align: center;">Y</td> <td style="text-align: center;">3 Phase</td> <td></td> </tr> <tr> <td style="text-align: center;">Rates</td> <td style="text-align: center;">Meter</td> <td style="text-align: center;">/kWh</td> <td style="text-align: center;">/Day /Mo</td> </tr> <tr> <td style="text-align: center;">30A</td> <td></td> <td></td> <td></td> </tr> <tr> <td style="text-align: center;">50A</td> <td></td> <td></td> <td></td> </tr> <tr> <td style="text-align: center;">100A</td> <td></td> <td></td> <td></td> </tr> </table>		1 Phase	Y	3 Phase		Rates	Meter	/kWh	/Day /Mo	30A				50A				100A			
		1 Phase	Y	3 Phase																				
		Rates	Meter	/kWh	/Day /Mo																			
		30A																						
		50A																						
		100A																						
		Liveaboards		WaterSide Amenities																				
		Liveaboards Allowed Daily Liveaboard Rate /ft Weekly Liveaboard Rate /ft Monthly Liveaboard Rate /ft Yrly Liveaboard Rate /mo /ft		Water Y Telephone N TV/Cable N Internet Access N																				
		Dry Slips		Fuel/Pumpout																				
Dry Slips 120 Daily Weekly Monthly (Low) Monthly (High) Yearly (Low) /mo Yearly (High) /mo		Gas Y Diesel Y Pumpout N /use																						
Comments		Associated_Events																						
Dealer and service yard with long and short-term leases.		Transient Port Of Entry N Transient Berths Crews Quarters N																						

Pass-A-Grille Marina

Regatta Pointe Marina

Address 1005 Riverside Drive Palmetto, FL 34221 United States		<u>Marina Description</u>										
Contact Person		Web Page	regattapointemarina.com									
Telephone	(941) 729-6021	Latitude	27.510507		Market	US - Florida - West, Anna Maria Island to Clearwater						
Fax		Longitude	-82.574472									
<u>Slip Information</u>			<u>Wet Slips</u>			<u>Occupancy</u>			<u>Upland Amenities</u>			
Dock Style	Fixed	Max Slip Length	Wet Slips	350	Busy Season			Hotel	N			
Dock Material	Timber	Min Slip Length	Daily (Low)	\$1.50	Off Season			Restaurant	Y			
Slip Style	Double	Approach Depth	Daily (High)	\$1.50	Wet Peak Occupancy			Shopping	N			
			Weekly (Low)	\$6.00	Wet Off Occupancy			Bar	N			
			Weekly (High)	\$6.00	Dry Peak Occupancy			Pool	Y			
			Monthly (Low)	\$16.00	Dry Off Occupancy			Laundry Facilities	Y			
			Monthly (High)	\$14.00	<u>Miscellaneous</u>			Shower	Y			
			Yearly (Low) /mo	\$10.00	Moorings			0	Ice	Y		
			Yearly (High) /mo	\$12.00	Moorings Rate /mo				Water Sports	N		
			<u>Liveaboards</u>			Boat Ramp			N	Security	Passive Y Guard Video	
			Liveaboards Allowed			Environment			Clean Marina	<u>WaterSide Amenities</u>		
			Daily Liveboard Rate			<u>Electric</u>			Water Y Metered			
			Weekly Liveboard Rate			1 Phase Y 3 Phase			Telephone Y			
			Monthly Liveboard Rate			Rates Meter /kWh /Day /Mo			TV/Cable Y			
Yrly Liveboard Rate /mo 150/ft			30A			\$0.01	Internet Access Y					
			<u>Dry Slips</u>			50A			<u>Fuel/Pumpout</u>			
			Dry Slips			0	100A			Gas Y		
			Daily			<u>Associated_Events</u>						
			Weekly								Diesel Y	
			Monthly (Low)								Pumpout Y \$0.00 /use	
			Monthly (High)								<u>Transient</u>	
			Yearly (Low) /mo								Port Of Entry	N
			Yearly (High) /mo								Transient Berths	
			Side Tie LF								Crews Quarters	N
			Side Tie #									
<u>Comments</u>												
\$40/month slip amenity fee												

Regatta Pointe Marina

Riviera Dunes Marina

Address 102 Riviera Dunes Way Palmetto, FL 34221-7116 United States		Marina Description												
Contact Person		Telephone (941) 723-9595		Latitude 27.51136		Web Page http://www.rdmarina.com/		Market US - Florida - West, Anna Maria Island to Clearwater						
Fax		Longitude -82.55407												
Slip Information				Wet Slips				Occupancy		Upland Amenities				
Dock Style	Floating	Max Slip Length	120	Wet Slips	219	Busy Season		Hotel		N				
Dock Material	Concrete	Min Slip Length		Daily (Low)	\$2.25	Off Season		Restaurant		Y				
Slip Style	Double	Approach Depth	7	Daily (High)	\$2.25	Wet Peak Occupancy		Shopping		N				
				Slip Sizes		Weekly (Low)	\$1.00	Wet Off Occupancy		Bar		Y		
				Under 20'	0	Weekly (High)	\$1.00	Dry Peak Occupancy		Pool		Y		
				20'-29'	0	Monthly (Low)	\$18.00	Dry Off Occupancy		Laundry Facilities		Y		
				30'-39'	77	Monthly (High)	\$18.00	Miscellaneous				Shower		Y
				40'-49'	48	Yearly (Low) /mo	\$15.50	Moorings		Ice		Y		
				50'-59'	82	Yearly (High) /mo	\$15.50	Mooring Rate /mo		Water Sports		N		
				60'-69'	4	Liveaboards		Boat Ramp		Security		Passive Y Guard Y Video		
				70'-79'	8	Liveaboards Allowed		Environment		WaterSide Amenities				
				80'-89'	0	Daily Liveaboard Rate	/ft	Electric				Water	Y	Metered
				90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase		Y	3 Phase		Telephone	
100'-109'	0	Monthly Liveaboard Rate	/ft	Rates	Meter	/kWh	/Day	/Mo	TV/Cable		Y			
110'-119'	0	Yrly Liveaboard Rate /mo	/ft	30A			\$5.00		Internet Access		Y			
120'-129'	0	Dry Slips		50A			\$5.00		Fuel/Pumpout					
130'-139'	0	Dry Slips		100A			\$5.00		Gas		Y			
140'-149'	0	Daily		Associated_Events				Diesel		Y				
150'-159'	0	Weekly						Pumpout		Y	\$5.00 /use			
160'-199'	0	Monthly (Low)						Transient				Port Of Entry		
200'+	0	Monthly (High)						Transient Berths						
Side Tie LF		Yearly (Low) /mo		Crews Quarters				N						
Side Tie #		Yearly (High) /mo												
Comments														
Electricity metered for monthly and annual leases														

Riviera Dunes Marina

Safety Harbor Municipal Marina

Address				Marina Description																					
110 Veterans Memorial Ln Safety Harbor, FL 34695 United States																									
Contact Person																									
Telephone		727-724-1572		Latitude		27.989266		Web Page		http://www.cityofsafetyharbor.com															
Fax				Longitude		-82.687435		Market		US - Florida - West, Anna Maria Island to Clearwater															
Slip Information				Wet Slips				Occupancy				Upland Amenities													
Dock Style		Fixed		Max Slip Length				Wet Slips		44		Busy Season				Hotel		Y							
Dock Material		Timber		Min Slip Length				Daily (Low)				Off Season				Restaurant		N							
Slip Style				Approach Depth				Daily (High)				Wet Peak Occupancy				Shopping		N							
				Slip Sizes				Weekly (Low)				Wet Off Occupancy				Bar		N							
				Under 20'		0		Weekly (High)				Dry Peak Occupancy				Pool		N							
				20'-29'		38		Monthly (Low)				Dry Off Occupancy				Laundry Facilities		N							
				30'-39'		6		Monthly (High)				Miscellaneous				Shower		N							
				40'-49'		0		Yearly (Low) /mo				Moorings				Ice		N							
				50'-59'		0		Yearly (High) /mo				Mooring Rate /mo				Water Sports		N							
				60'-69'		0		Liveaboards				Boat Ramp		2		Security		Passive N Guard N Video							
				70'-79'		0		Liveaboards Allowed				Environment		Clean Marina		WaterSide Amenities									
				80'-89'		0		Daily Liveaboard Rate		/ft		Electric				Water		N							
				90'-99'		0		Weekly Liveaboard Rate		/ft		1 Phase		N		3 Phase				Telephone		N			
				100'-109'		0		Monthly Liveaboard Rate		/ft		Rates		/Meter		/kWh		/Day		/Mo		TV/Cable		N	
				110'-119'		0		Yrly Liveaboard Rate /mo		/ft		30A										Internet Access		N	
				120'-129'		0		Dry Slips				50A										Fuel/Pumpout			
				130'-139'		0		Dry Slips		0		100A										Gas		Y	
				140'-149'		0		Daily				Associated Events				Diesel		Y							
150'-159'		0		Weekly								Pumpout		Y		/use									
160'-199'		0		Monthly (Low)								Transient													
200'+		0		Monthly (High)								Port Of Entry				N									
Side Tie LF				Yearly (Low) /mo								Transient Berths													
Side Tie #				Yearly (High) /mo								Crews Quarters						N							
Comments																									
All slips are full w/wait list as of 8/7/09 website comment.																									

Safety Harbor Municipal Marina

Salt Creek Marina

Address 107 15th Ave SE St. Petersburg, FL 33701 United States		<u>Marina Description</u>					
Contact Person							
Telephone 727-821-5482	Latitude 27.755878	Web Page http://saltcreekboatworks.com/					
Fax	Longitude -82.63372	Market US - Florida - West, Anna Maria Island to Clearwater					
<u>Slip Information</u>		<u>Wet Slips</u>		<u>Occupancy</u>		<u>Upland Amenities</u>	
Dock Style Fixed	Max Slip Length	Wet Slips 9	Busy Season		Hotel N		
Dock Material Timber	Min Slip Length	Daily (Low)	Off Season		Restaurant N		
Slip Style Double	Approach Depth	Daily (High)	Wet Peak Occupancy		Shopping N		
<u>Slip Sizes</u>		Weekly (Low)	Wet Off Occupancy		Bar N		
		Weekly (High)	Dry Peak Occupancy		Pool N		
		Monthly (Low)	Dry Off Occupancy		Laundry Facilities N		
		Monthly (High)	<u>Miscellaneous</u>		Shower N		
		Yearly (Low) /mo	Moorings		Ice		
		Yearly (High) /mo	Mooring Rate /mo		Water Sports N		
		<u>Liveaboards</u>		Boat Ramp		Security Passive Guard Video	
		Liveaboards Allowed		Environment		<u>WaterSide Amenities</u>	
		Daily Liveaboard Rate /ft		<u>Electric</u>		Water N	
		Weekly Liveaboard Rate /ft		1 Phase N		Telephone	
Monthly Liveaboard Rate /ft		3 Phase		TV/Cable			
Yrly Liveaboard Rate /mo /ft		Rates 30A	Meter	/kWh	/Day	/Mo	
<u>Dry Slips</u>		50A		Internet Access Y			
		100A		<u>Fuel/Pumpout</u>			
		<u>Associated_Events</u>		Gas N			
<u>Comments</u>		Daily		Diesel N			
		Weekly		Pumpout N /use			
		Monthly (Low)		<u>Transient</u>			
		Monthly (High)		Port Of Entry N			
		Yearly (Low) /mo		Transient Berths			
Yearly (High) /mo		Crews Quarters N					



Salt Creek Marina

Shell Point Marina

Address				Marina Description											
3340 W Shell Point Rd Ruskin, FL 33570 United States															
Contact Person Tim Dickson															
Telephone 813-645-1313		Latitude 27.718604		Web Page http://www.shellpointmarina.com/											
Fax 813-645-6060		Longitude -82.47932		Market US - Florida - West, Anna Maria Island to Clearwater											
Slip Information				Wet Slips				Occupancy				Upland Amenities			
Dock Style Fixed		Max Slip Length 60		Wet Slips 40		Busy Season				Hotel N					
Dock Material Timber		Min Slip Length		Daily (Low) \$1.00		Off Season				Restaurant N					
Slip Style		Approach Depth		Daily (High) \$1.00		Wet Peak Occupancy				Shopping N					
		Slip Sizes		Weekly (Low)		Wet Off Occupancy				Bar N					
		Under 20' 0		Weekly (High)		Dry Peak Occupancy				Pool N					
		20'-29' 17		Monthly (Low) \$10.00		Dry Off Occupancy				Laundry Facilities Y					
		30'-39' 17		Monthly (High) \$10.00		Miscellaneous									
		40'-49' 5		Yearly (Low) /mo \$9.00		Moorings				Shower Y					
		50'-59' 1		Yearly (High) /mo \$9.00		Mooring Rate /mo				Ice Y					
		60'-69' 0		Liveaboards								Water Sports Y			
		70'-79' 0		Liveaboards Allowed				Boat Ramp				Security Passive Guard Video			
		80'-89' 0		Daily Liveaboard Rate /ft				Environment				WaterSide Amenities			
		90'-99' 0		Weekly Liveaboard Rate /ft				Electric				Water Y			
		100'-109' 0		Monthly Liveaboard Rate /ft				1 Phase Y		3 Phase		Telephone N			
110'-119' 0		Yrly Liveaboard Rate /mo /ft				Rates		Meter /kWh /Day /Mo		TV/Cable N					
120'-129' 0		Dry Slips				30A				Internet Access N					
130'-139' 0		Dry Slips				50A				Fuel/Pumpout					
140'-149' 0		Daily \$1.00		Associated Events				Gas Y							
150'-159' 0		Weekly						Diesel Y							
160'-199' 0		Monthly (Low) \$10.00						Pumpout Y \$25.00 /use							
200'+		Monthly (High)						Transient							
Side Tie LF		Yearly (Low) /mo \$9.00						Port Of Entry		N					
Side Tie #		Yearly (High) /mo						Transient Berths		2					
Comments								Crews Quarters		N					
\$9.00 per foot per month with a 6 month lease for both wet/dry slips.															
Website last updated 2006.															

Shell Point Marina

St. Petersburg Municipal Marina

Address 300 2nd Ave SE St. Petersburg, FL 33701 United States		<u>Marina Description</u>									
Contact Person											
Telephone	727-893-7329	Latitude	27.7701	Web Page	http://www.stpete.org/marina.htm						
Fax		Longitude	-82.629828	Market	US - Florida - West, Anna Maria Island to Clearwater						
<u>Slip Information</u>				<u>Wet Slips</u>				<u>Occupancy</u>		<u>Upland Amenities</u>	
Dock Style	Fixed	Max Slip Length	100	Wet Slips	660	Busy Season		Hotel	Y		
Dock Material	Concrete	Min Slip Length		Daily (Low)	\$1.85	Off Season		Restaurant	Y		
Slip Style		Approach Depth		Daily (High)	\$2.02	Wet Peak Occupancy		Shopping	Y		
			<u>Slip Sizes</u>		Weekly (Low)	\$6.74	Wet Off Occupancy		Bar	Y	
			Under 20'	0	Weekly (High)	\$7.66	Dry Peak Occupancy		Pool	N	
			20'-29'	235	Monthly (Low)	\$9.40	Dry Off Occupancy		Laundry Facilities	Y	
			30'-39'	163	Monthly (High)	\$9.80	<u>Miscellaneous</u>		Shower	Y	
			40'-49'	198	Yearly (Low) /mo	\$9.40	Moorings		Ice	Y	
			50'-59'	43	Yearly (High) /mo	\$9.80	Mooring Rate /mo		Water Sports	Y	
			60'-69'	21	<u>Liveaboards</u>		Boat Ramp	2	Security	Passive Y Guard Video	
			70'-79'	0	Liveaboards Allowed		Environment		<u>WaterSide Amenities</u>		
			80'-89'	0	Daily Liveaboard Rate		<u>Electric</u>		Water	Y	
			90'-99'	0	Weekly Liveaboard Rate		1 Phase	Y	3 Phase		
			100'-109'	0	Monthly Liveaboard Rate		Rates	Meter	/kWh	/Day	/Mo
110'-119'	0	Yrly Liveaboard Rate /mo		177.06/ft	30A				TV/Cable	Y	
120'-129'	0	<u>Dry Slips</u>		50A					Internet Access	Y	
130'-139'	0	Dry Slips	0	100A			\$20.00		<u>Fuel/Pumpout</u>		
140'-149'	0	Daily		<u>Associated_Events</u>				Gas	Y		
150'-159'	0	Weekly						Diesel	Y		
160'-199'	0	Monthly (Low)						Pumpout	Y	\$5.00 /use	
200'+	0	Monthly (High)						<u>Transient</u>			
Side Tie LF		Yearly (Low) /mo						Port Of Entry	N		
Side Tie #		Yearly (High) /mo						Transient Berths	10		
<u>Comments</u>											
Prices do not include 7% sales tax.											
Fees vary for non-residents, see website.											

St. Petersburg Municipal Marina

St. Petersburg Yacht Club

Address 11 Central Avenue St. Petersburg, FL 33701 United States		Marina Description										
Contact Person												
Telephone	727-822-3227	Latitude	27.771543	Web Page	http://www.spyc.org/Club/Scripts/Home/home.asp							
Fax		Longitude	-82.631827	Market	US - Florida - West, Anna Maria Island to Clearwater							
Slip Information				Wet Slips		Occupancy			Upland Amenities			
Dock Style	Fixed	Max Slip Length	150	Wet Slips	66	Busy Season			Hotel	N		
Dock Material	Concrete	Min Slip Length		Daily (Low)	\$1.00	Off Season			Restaurant	Y		
Slip Style		Approach Depth	10	Daily (High)	\$1.50	Wet Peak Occupancy			Shopping	Y		
				Slip Sizes		Weekly (Low)			Bar	Y		
				Under 20'	0	Weekly (High)			Pool	Y		
				20'-29'	7	Monthly (Low)			Laundry Facilities	Y		
				30'-39'	26	Monthly (High)			Shower	Y		
				40'-49'	20	Yearly (Low) /mo			Ice	Y		
				50'-59'	5	Yearly (High) /mo			Water Sports	Y		
				60'-69'	6	Liveaboards			Security	Passive Y Guard N Video N		
				70'-79'	2	Liveaboards Allowed			WaterSide Amenities			
				80'-89'	0	Daily Liveaboard Rate			Electric		Water	Y
				90'-99'	0	Weekly Liveaboard Rate			1 Phase		Telephone	Y
100'-109'	0	Monthly Liveaboard Rate			3 Phase		TV/Cable	Y				
110'-119'	0	Yrly Liveaboard Rate /mo			Rates	Meter	/kwh	/Day	/Mo	Internet Access	Y	
120'-129'	0	Dry Slips			30A			\$5.00		Fuel/Pumpout		
130'-139'	0	Dry Slips			0	50A		\$8.00		Gas	Y	
140'-149'	0	Daily				100A		\$16.00		Diesel	Y	
150'-159'	0	Weekly			Associated_Events							
160'-199'	0	Monthly (Low)										
200'+	0	Monthly (High)										
Side Tie LF		Yearly (Low) /mo										
Side Tie #		Yearly (High) /mo			Transient		Port Of Entry		N			
Comments						Transient Berths		13				
						Crews Quarters		N				

St. Petersburg Yacht Club

Tampa Bayside Marina (Tampa Harbor Yacht Club)

Address 5200 West Tyson Ave. Tampa, FL 33611 United States		Marina Description In July 2006 Yacht Clubs of America bought the Tampa Bayside Marina.							
Contact Person Telephone 813-831-5757 Latitude 27.885503 Fax Longitude -82.534141		Web Page	Market US - Florida - West, Anna Maria Island to Clearwater						
Slip Information		Wet Slips		Occupancy		Upland Amenities			
Dock Style	Floating	Max Slip Length	40	Wet Slips	Busy Season		Hotel Y		
Dock Material	Concrete	Min Slip Length		Daily (Low)	Off Season		Restaurant Y		
Slip Style		Approach Depth		Daily (High)	Wet Peak Occupancy		Shopping Y		
		Slip Sizes		Weekly (Low)	Wet Off Occupancy		Bar Y		
		Under 20'		Weekly (High)	Dry Peak Occupancy		Pool N		
		20'-29'		Monthly (Low)	Dry Off Occupancy		Laundry Facilities N		
		30'-39'		Monthly (High)	Miscellaneous				Shower Y
		40'-49'		Yearly (Low) /mo	Moorings		Ice Y	Water Sports N	
		50'-59'		Yearly (High) /mo	Mooring Rate /mo		Security Passive Y Guard N Video N		
		60'-69'		Liveaboards		Boat Ramp		WaterSide Amenities	
		70'-79'		Liveaboards Allowed		Environment		Water Y	
		80'-89'		Daily Liveaboard Rate	/ft	Electric		Telephone N	
		90'-99'		Weekly Liveaboard Rate	/ft	1 Phase Y	3 Phase	TV/Cable N	
100'-109'		Monthly Liveaboard Rate	/ft	Rates	Meter /kwh	/Day	/Mo		
110'-119'		Yrly Liveaboard Rate /mo	/ft	30A					
120'-129'		Dry Slips		50A					
130'-139'		Dry Slips		100A					
140'-149'		Daily		Associated Events				Gas Y	
150'-159'		Weekly						Diesel Y	
160'-199'		Monthly (Low)						Pumpout Y /use	
200'+		Monthly (High)						Transient	
Side Tie LF		Yearly (Low) /mo		Port Of Entry		N			
Side Tie #		Yearly (High) /mo		Transient Berths					
Comments Wet slips available long term, Boat maintenance, Ship Store, Rattlesnake restaurant, Fish Cleaning Station						Crews Quarters N			

Tampa Bayside Marina (Tampa Harbor Yacht Club)

Tampa Waterside Marriott Hotel and Marina

Address 700 S Florida Ave Tampa, FL 33602 United States		<u>Marina Description</u>					
Contact Person		Web Page	http://marriott.com/property/propertypage/TPAMC				
Telephone	813-221-4900	Latitude	27.940437	Market	US - Florida - West, Anna Maria Island to Clearwater		
Fax	813-204-6342	Longitude	-82.453844				
<u>Slip Information</u>		<u>Wet Slips</u>		<u>Occupancy</u>		<u>Upland Amenities</u>	
Dock Style	Floating	Max Slip Length	Wet Slips	32	Busy Season	Hotel Y	
Dock Material	Concrete	Min Slip Length	Daily (Low)	\$2.00	Off Season	Restaurant Y	
Slip Style		Approach Depth	Daily (High)	\$2.00	Wet Peak Occupancy	Shopping Y	
		<u>Slip Sizes</u>	Weekly (Low)		Wet Off Occupancy	Bar Y	
		Under 20'	0	Weekly (High)		Dry Peak Occupancy	Pool Y
		20'-29'	3	Monthly (Low)		Dry Off Occupancy	Laundry Facilities N
		30'-39'	12	Monthly (High)		<u>Miscellaneous</u>	
		40'-49'	16	Yearly (Low) /mo		Moorings	Shower N
		50'-59'	1	Yearly (High) /mo		Mooring Rate /mo	Ice N
		60'-69'	0	<u>Liveaboards</u>		Boat Ramp	Water Sports N
		70'-79'	0	Liveaboards Allowed		Environment	Security Passive N Guard Y Video
		80'-89'	0	Daily Liveaboard Rate	/ft	<u>Electric</u>	
		90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase	Y
100'-109'	0	Monthly Liveaboard Rate	/ft	Rates	Meter	/kWh	
110'-119'	0	Yrly Liveaboard Rate /mo	/ft	/Day	/Mo	TV/Cable N	
120'-129'	0	<u>Dry Slips</u>		30A		Internet Access N	
130'-139'	0	Dry Slips		50A		<u>Fuel/Pumpout</u>	
140'-149'	0	Daily		100A		Gas N	
150'-159'	0	Weekly		<u>Associated_Events</u>			
160'-199'	0	Monthly (Low)				Diesel N	
200'+	0	Monthly (High)				Pumpout N /use	
Side Tie LF		Yearly (Low) /mo				<u>Transient</u>	
Side Tie #		Yearly (High) /mo				Port Of Entry	N
<u>Comments</u>						Transient Berths	
						Crews Quarters	N

Tampa Waterside Marriott Hotel and Marina

Tampa Yacht and Country Club

Address				Marina Description											
5320 Interbay Blvd Tampa, FL 33611 United States															
Contact Person Dockmaster Capt. Marshall Santi															
Telephone 813-831-1611		Latitude 27.888063		Web Page http://www.tampayacht.com/public/home/index.cfm											
Fax 813-831-8665		Longitude -82.480644		Market US - Florida - West, Anna Maria Island to Clearwater											
Slip Information				Wet Slips				Occupancy				Upland Amenities			
Dock Style Fixed		Max Slip Length 65		Wet Slips 74				Busy Season				Hotel N			
Dock Material Timber		Min Slip Length		Daily (Low)				Off Season				Restaurant Y			
Slip Style		Approach Depth		Daily (High)				Wet Peak Occupancy				Shopping N			
		Slip Sizes		Weekly (Low)				Wet Off Occupancy				Bar Y			
		Under 20'		Weekly (High)				Dry Peak Occupancy				Pool Y			
		20'-29'		Monthly (Low)				Dry Off Occupancy				Laundry Facilities Y			
		30'-39'		Monthly (High)				Miscellaneous				Shower Y			
		40'-49'		Yearly (Low) /mo				Moorings				Ice Y			
		50'-59'		Yearly (High) /mo				Mooring Rate /mo				Water Sports Y			
		60'-69'		Liveaboards				Boat Ramp				Security Passive Y Guard Y Video N			
		70'-79'		Liveaboards Allowed				Environment				WaterSide Amenities			
		80'-89'		Daily Liveaboard Rate /ft		Electric				Water Y					
		90'-99'		Weekly Liveaboard Rate /ft		1 Phase Y		3 Phase		Telephone N					
		100'-109'		Monthly Liveaboard Rate /ft		Rates		Meter /kWh /Day		/Mo		TV/Cable N			
110'-119'		Yrly Liveaboard Rate /mo /ft		30A						Internet Access Y					
120'-129'		Dry Slips				50A						Fuel/Pumpout			
130'-139'		Dry Slips 70		100A						Gas Y					
140'-149'		Daily		Associated Events								Diesel Y			
150'-159'		Weekly										Pumpout Y /use			
160'-199'		Monthly (Low)										Transient			
200'+		Monthly (High)										Port Of Entry		N	
Side Tie LF		Yearly (Low) /mo										Transient Berths		5	
Side Tie #		Yearly (High) /mo										Crews Quarters		N	
Comments															

Tampa Yacht and Country Club

The Harborage Marina at Bayboro

Address 1500 Second Street St. Petersburg, FL 33701 United States		<u>Marina Description</u>										
Contact Person												
Telephone	727-821-6347	Latitude	27.759165	Web Page	http://www.harboragemarina.com/default.aspx							
Fax	727-896-6227	Longitude	-82.636281	Market	US - Florida - West, Anna Maria Island to Clearwater							
<u>Slip Information</u>				<u>Wet Slips</u>		<u>Occupancy</u>		<u>Upland Amenities</u>				
Dock Style	Floating	Max Slip Length	100	Wet Slips	300	Busy Season		Hotel	Y			
Dock Material	Concrete	Min Slip Length		Daily (Low)	\$2.15	Off Season		Restaurant	Y			
Slip Style		Approach Depth		Daily (High)	\$2.15	Wet Peak Occupancy		Shopping	Y			
			<u>Slip Sizes</u>		Weekly (Low)		Wet Off Occupancy		Bar	Y		
			Under 20'	0	Weekly (High)		Dry Peak Occupancy		Pool	Y		
			20'-29'	42	Monthly (Low)		\$17.00	Dry Off Occupancy		Laundry Facilities	Y	
			30'-39'	177	Monthly (High)		\$18.00	<u>Miscellaneous</u>				
			40'-49'	70	Yearly (Low) /mo		\$17.00	Moorings		Shower	Y	
			50'-59'	7	Yearly (High) /mo		\$18.00	Mooring Rate /mo		Ice	Y	
			60'-69'	4	<u>Liveaboards</u>				Boat Ramp		Water Sports	Y
			70'-79'	0	Liveaboards Allowed			Environment		Security	Passive Y Guard Video	
			80'-89'	0	Daily Liveaboard Rate		/ft	<u>Electric</u>		<u>WaterSide Amenities</u>		
			90'-99'	0	Weekly Liveaboard Rate		/ft	1 Phase		Water	Y	
100'-109'	0	Monthly Liveaboard Rate		200/ft	Y	3 Phase		Telephone	Y			
110'-119'	0	Yrly Liveaboard Rate /mo		200/ft	Rates	Meter	/kwh	/Day	/Mo			
120'-129'	0	<u>Dry Slips</u>				30A				TV/Cable	Y	
130'-139'	0	Dry Slips		400	50A					Internet Access	Y	
140'-149'	0	Daily			100A					<u>Fuel/Pumpout</u>		
150'-159'	0	Weekly			<u>Associated_Events</u>							
160'-199'	0	Monthly (Low)			Gas		Y					
200'+	0	Monthly (High)			Diesel		Y					
Side Tie LF		Yearly (Low) /mo			Pumpout		Y	/use				
Side Tie #		Yearly (High) /mo			<u>Transient</u>							
<u>Comments</u>										Port Of Entry	N	
Managed by Marinas International Board of County Commissioners approval to add up to 16 Megayacht slips										Transient Berths	15	
										Crews Quarters	N	

The Harborage Marina at Bayboro

Tierra Verde Marina

Address 100 Pinellas Bayway S Tierra Verde, FL 33715 United States		Marina Description											
Contact Person		Telephone 727-866-0255		Latitude 27.692412		Web Page http://tierraverdemarinafl.com/index.php							
Fax 727-864-2896		Longitude -82.71951		Market US - Florida - West, Anna Maria Island to Clearwater									
Slip Information				Wet Slips		Occupancy		Upland Amenities					
Dock Style	Floating	Max Slip Length	60	Wet Slips	88	Busy Season		Hotel	Y				
Dock Material	Concrete	Min Slip Length		Daily (Low)		Off Season		Restaurant	Y				
Slip Style		Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y				
	Slip Sizes		Weekly (Low)		Wet Off Occupancy		Bar	Y					
	Under 20'	20	Weekly (High)		Dry Peak Occupancy		Pool	N					
	20'-29'	32	Monthly (Low)	\$16.00	Dry Off Occupancy		Laundry Facilities	N					
	30'-39'	0	Monthly (High)	\$16.00	Miscellaneous								
	40'-49'	36	Yearly (Low) /mo	\$14.00	Moorings		Shower	Y					
	50'-59'	0	Yearly (High) /mo	\$14.00	Mooring Rate /mo		Ice	Y					
	60'-69'	0	Liveaboards		Boat Ramp		Water Sports	Y					
	70'-79'	0	Liveaboards Allowed		Environment		Security	Passive Guard Video					
	80'-89'	0	Daily Liveaboard Rate		Electric		WaterSide Amenities						
	90'-99'	0	Weekly Liveaboard Rate		1 Phase		Water	Y					
	100'-109'	0	Monthly Liveaboard Rate		Rates	Meter	3 Phase	Telephone	N				
	110'-119'	0	Yrly Liveaboard Rate /mo		/kW/h	/Day	/Mo	TV/Cable	N				
	120'-129'	0	Dry Slips		30A			Internet Access	Y				
	130'-139'	0	Dry Slips		50A			Fuel/Pumpout					
	140'-149'	0	Daily		100A			Gas	Y				
150'-159'	0	Weekly		Associated Events				Diesel	Y				
160'-199'	0	Monthly (Low)						Pumpout	Y /use				
200'+	0	Monthly (High)						Transient				Port Of Entry	N
Side Tie LF		Yearly (Low) /mo						Transient Berths				10	
Side Tie #		Yearly (High) /mo		Crews Quarters				N					
Comments													
See website for rates of wet slips with lifts. Does not include sales tax. Rates pretain to 2009.													

Tierra Verde Marina

Tierra Verde Resort Marina

Address 200 Madonna Blvd. Tierra Verde, FL 33715 United States		Marina Description									
Contact Person		Telephone 727-866-1487, 727-867-0400		Latitude 27.689258	Web Page http://www.tvresortmarina.com/						
Fax 727-867-9331		Longitude -82.722361		Market US - Florida - West, Anna Maria Island to Clearwater							
Slip Information				Wet Slips		Occupancy		Upland Amenities			
Dock Style	Fixed	Max Slip Length	130	Wet Slips	114	Busy Season		Hotel	Y		
Dock Material	Timber	Min Slip Length		Daily (Low)	\$2.00	Off Season		Restaurant	Y		
Slip Style		Approach Depth		Daily (High)		Wet Peak Occupancy		Shopping	Y		
				Slip Sizes		Weekly (Low)		Bar	Y		
				Under 20'	0	Weekly (High)		Wet Off Occupancy		Pool	Y
				20'-29'	15	Monthly (Low)	\$13.00	Dry Peak Occupancy		Laundry Facilities	Y
				30'-39'	15	Monthly (High)	\$13.00	Dry Off Occupancy		Shower	Y
				40'-49'	24	Yearly (Low) /mo	\$13.00	Miscellaneous		Ice	Y
				50'-59'	60	Yearly (High) /mo	\$13.00	Moorings	0	Water Sports	Y
				60'-69'	0	Liveaboards		Boat Ramp		Security	Passive Guard Video Y
				70'-79'	0	Liveaboards Allowed		Environment		WaterSide Amenities	
				80'-89'	0	Daily Liveaboard Rate		Electric		Water	Y
				90'-99'	0	Weekly Liveaboard Rate		1 Phase	Y	3 Phase	
100'-109'	0	Monthly Liveaboard Rate		Rates	Meter	/kwh	/Day	/Mo			
110'-119'	0	Yrly Liveaboard Rate /mo		30A							
120'-129'	0	Dry Slips		50A							
130'-139'	0	Dry Slips	150	100A							
140'-149'	0	Daily		Associated Events							
150'-159'	0	Weekly									
160'-199'	0	Monthly (Low)									
200'+	0	Monthly (High)									
Side Tie LF		Yearly (Low) /mo		Fuel/Pumpout		Gas	Y				
Side Tie #		Yearly (High) /mo				Diesel	Y				
Comments Rates include TV Cable, water, and pump-out. Rate last updated in 2006.						Pumpout		Y	/use		
				Transient					Port Of Entry		N
									Transient Berths		20
									Crews Quarters		N

Tierra Verde Resort Marina

Twin Dolphin Marina

Address 1000 1st Ave. West Bradenton, Florida 34205-7852 United States		Marina Description									
Contact Person		Telephone 941-747-8300		Latitude 27.50019		Web Page http://twindolphinmarina.com/TDM/					
Fax 941-745-2831		Longitude -82.573648		Market US - Florida - West, Anna Maria Island to Clearwater							
Slip Information				Wet Slips		Occupancy		Upland Amenities			
Dock Style	Fixed	Max Slip Length		Wet Slips	225	Busy Season		Hotel	N		
Dock Material	Concrete	Min Slip Length		Daily (Low)	\$1.50	Off Season		Restaurant	Y		
Slip Style		Approach Depth		Daily (High)	\$1.50	Wet Peak Occupancy		Shopping	N		
			Slip Sizes	Weekly (Low)	\$6.00	Wet Off Occupancy		Bar	Y		
			Under 20'	0	Weekly (High)	\$6.00	Dry Peak Occupancy		Pool	Y	
			20'-29'	31	Monthly (Low)	\$16.00	Dry Off Occupancy		Laundry Facilities	Y	
			30'-39'	100	Monthly (High)	\$16.00	Miscellaneous		Shower	Y	
			40'-49'	72	Yearly (Low) /mo	\$11.00	Moorings 0		Ice	Y	
			50'-59'	10	Yearly (High) /mo	\$13.00	Mooring Rate /mo		Water Sports	N	
			60'-69'	10	Liveaboards		Boat Ramp N		Security Passive Y Guard Video		
			70'-79'	1	Liveaboards Allowed		Environment		WaterSide Amenities		
			80'-89'	1	Daily Liveaboard Rate /ft		Electric				Water Y Metered
			90'-99'	0	Weekly Liveaboard Rate /ft		1 Phase		3 Phase	N	Telephone Y
			100'-109'	0	Monthly Liveaboard Rate /ft		Rates	Meter	/kWh	/Day	/Mo
			110'-119'	0	Yrly Liveaboard Rate /mo 100/ft		30A			\$6.00	\$38.00
120'-129'	0	Dry Slips		50A			\$10.00	\$58.00			
130'-139'	0	Dry Slips		100A							
140'-149'	0	Daily		Associated Events				Gas Y			
150'-159'	0	Weekly						Diesel Y			
160'-199'	0	Monthly (Low)						Pumpout Y /use			
200'+	0	Monthly (High)						Transient			
Side Tie LF		Yearly (Low) /mo						Port Of Entry			
Side Tie #		Yearly (High) /mo						Transient Berths			
Comments									Crews Quarters N		
Electric included in Annual lease Liveaboard fee is per person \$50 dock fee covers trash, water, etc. In slip pump out											

Twin Dolphin Marina

Village Marina at Little Harbor (Bahia Del Sol)

Address 502 Bahia Beach Blvd Ruskin, FL 33570 United States		<u>Marina Description</u>							
Contact Person		Telephone 813-645-0884	Latitude 27.727259	Web Page	http://www.tampadiving.com/sections/boating/marinas.asp?city=&id=97&track=&name=Bahia				
Fax		Longitude -82.474385	Market	US - Florida - West, Anna Maria Island to Clearwater					
<u>Slip Information</u>			<u>Wet Slips</u>		<u>Occupancy</u>		<u>Upland Amenities</u>		
Dock Style	Fixed	Max Slip Length	Wet Slips	80	Busy Season		Hotel Y		
Dock Material	Timber	Min Slip Length	Daily (Low)		Off Season		Restaurant Y		
Slip Style		Approach Depth	Daily (High)		Wet Peak Occupancy		Shopping N		
			<u>Slip Sizes</u>		Wet Off Occupancy		Bar Y		
			Under 20'	0	Weekly (Low)		Pool Y		
			20'-29'	0	Weekly (High)		Dry Peak Occupancy	Laundry Facilities Y	
			30'-39'	71	Monthly (Low)		Dry Off Occupancy	Shower Y	
			40'-49'	0	Monthly (High)		<u>Miscellaneous</u>		Ice Y
			50'-59'	31	Yearly (Low) /mo		Moorings	Water Sports	
			60'-69'	0	Yearly (High) /mo		Mooring Rate /mo	Security Passive Guard Video	
			70'-79'	0	<u>Liveaboards</u>		Boat Ramp		<u>WaterSide Amenities</u>
			80'-89'	5	Liveaboards Allowed		Environment		Water Y
			90'-99'	0	Daily Liveaboard Rate /ft		<u>Electric</u>		Telephone Y
100'-109'	0	Weekly Liveaboard Rate /ft		1 Phase	Y	3 Phase	TV/Cable N		
110'-119'	0	Monthly Liveaboard Rate /ft		Rates	Meter	/kW/h	Internet Access Y		
120'-129'	0	Yrly Liveaboard Rate /mo /ft		30A					
130'-139'	0	<u>Dry Slips</u>		50A			<u>Fuel/Pumpout</u>		
140'-149'	0	Dry Slips		100A			Gas Y		
150'-159'	0	Daily		<u>Associated Events</u>			Diesel		
160'-199'	0	Weekly					Pumpout Y /use		
200'+	0	Monthly (Low)					<u>Transient</u>		Port Of Entry N
Side Tie LF		Monthly (High)					Transient Berths		
Side Tie #		Yearly (Low) /mo		Crews Quarters					
<u>Comments</u>			Yearly (High) /mo						

Village Marina at Little Harbor (Bahia Del Sol)

Vinoy Resort Marina

Address 501 5th Ave NE St. Petersburg, FL 33701 United States		Marina Description							
Contact Person		Telephone 727-894-1000		Latitude 27.777425		Web Page http://www.vinoyclub.com/marina.html			
Fax 727-896-2818		Longitude -82.628905		Market US - Florida - West, Anna Maria Island to Clearwater					
Slip Information				Wet Slips		Occupancy		Upland Amenities	
Dock Style	Fixed	Max Slip Length	120	Wet Slips	74	Busy Season		Hotel	Y
Dock Material	Concrete	Min Slip Length		Daily (Low)	\$2.00	Off Season		Restaurant	Y
Slip Style		Approach Depth		Daily (High)	\$3.25	Wet Peak Occupancy		Shopping	Y
				Slip Sizes		Weekly (Low)		Bar	Y
				Under 20'	0	Weekly (High)		Pool	Y
				20'-29'	3	Monthly (Low)		Laundry Facilities	Y
				30'-39'	11	Monthly (High)		Shower	Y
				40'-49'	60	Yearly (Low) /mo		Ice	Y
				50'-59'	5	Yearly (High) /mo		Water Sports	N
				60'-69'	3	Liveaboards		Security	Passive Y Guard Video N
				70'-79'	4	Liveaboards Allowed		WaterSide Amenities	
				80'-89'	0	Daily Liveaboard Rate		Electric	
				90'-99'	0	Weekly Liveaboard Rate		1 Phase Y 3 Phase Y	
				100'-109'	0	Monthly Liveaboard Rate		Rates Meter /kWh /Day /Mo	
				110'-119'	0	Yrly Liveaboard Rate /mo		30A	
				120'-129'	0	Dry Slips		50A	
				130'-139'	0	Dry Slips		100A	
				140'-149'	0	Daily		Associated_Events	
150'-159'	0	Weekly		Fuel/Pumpout					
160'-199'	0	Monthly (Low)		Gas N					
200'+	0	Monthly (High)		Diesel N					
Side Tie LF		Yearly (Low) /mo		Pumpout N /use					
Side Tie #		Yearly (High) /mo		Transient					
Comments						Port Of Entry		N	
						Transient Berths		15	
						Crews Quarters		Y	

Vinoy Resort Marina

Westshore Yacht Club

Address		6001 South Westshore Blvd Tampa, FL 33616 United States		Marina Description							
Contact Person				Web Page	http://westshoreyachtclub.wcicomunities.com/experience/marina						
Telephone		Latitude	27.881	Market	US - Florida - West, Anna Maria Island to Clearwater						
Fax		Longitude	-82.533								
Slip Information			Wet Slips		Occupancy		Upland Amenities				
Dock Style	Floating	Max Slip Length		Wet Slips	149	Busy Season	Hotel	N			
Dock Material	Concrete	Min Slip Length		Daily (Low)		Off Season	Restaurant	Y			
Slip Style		Approach Depth		Daily (High)		Wet Peak Occupancy	Shopping	N			
No Image Available.			Slip Sizes		Weekly (Low)		Wet Off Occupancy	Bar	Y		
			Under 20'	0	Weekly (High)		Dry Peak Occupancy	Pool	Y		
			20'-29'	0	Monthly (Low)	\$8.00	Dry Off Occupancy		Laundry Facilities	Y	
			30'-39'	0	Monthly (High)	\$8.00	Miscellaneous		Shower	Y	
			40'-49'	12	Yearly (Low) /mo	\$8.00	Moorings	0	Ice	Y	
			50'-59'	86	Yearly (High) /mo	\$8.00	Mooring Rate /mo		Water Sports	N	
			60'-69'	32	Liveaboards		Boat Ramp		Security	Passive Y Guard Y Video Y	
			70'-79'	0	Liveaboards Allowed		Environment	Clean Marina	WaterSide Amenities		
			80'-89'	7	Daily Liveaboard Rate	/ft	Electric		Water	Y	
			90'-99'	0	Weekly Liveaboard Rate	/ft	1 Phase	Y	3 Phase		
			100'-109'	3	Monthly Liveaboard Rate	/ft	Rates	Meter	/kwh	/Day	/Mo
			110'-119'	0	Yrly Liveaboard Rate /mo	/ft	30A				
			120'-129'	0	Dry Slips		50A				
			130'-139'	0	Dry Slips	0	100A				
			140'-149'	0	Daily		Associated_Events		Gas	N	
150'-159'	0	Weekly				Diesel	N				
160'-199'	0	Monthly (Low)				Pumpout	Y	/use			
200'+	0	Monthly (High)				Transient		Port Of Entry	N		
Side Tie LF		Yearly (Low) /mo				Transient Berths					
Side Tie #		Yearly (High) /mo				Crews Quarters	N				
Comments											

Westshore Yacht Club

APPENDIX B – OPINION OF PROBABLE CONSTRUCTION COST



**City of St. Petersburg Municipal Marina Master Plan
Budgetary Opinion of Probable Construction Cost
North Basin Alternative 1: Floating Piers**

Date prepared: August 22, 2017
M&N Job Number: 8165-07

Item	Description	Quantity	Unit	Unit Price	Subtotal	TOTAL
1	North Basin Commerical Docks					\$1,230,000
	Floating Concrete Docks	5400	SF	\$125.00	\$ 675,000	
	Dock Utilities	1	LS	\$300,000.00	\$ 300,000	
	Pile Supported Gangway Platform	3	EA	\$25,000.00	\$ 75,000	
	4' Wide ADA Aluminium Gangway	240	LF	\$400.00	\$ 96,000	
	Mooring Piles	4	EA	\$8,500.00	\$ 34,000	
	Dinghy Dock Relocation	1	EA	\$50,000.00	\$ 50,000	
2	Bulkhead Structures					\$1,375,000
	Bulkhead Repair/Replacement	1100	LF	\$1,250.00	\$ 1,375,000	
3	Civil Works					\$300,000
	Security Gates	3	EA	\$15,000.00	\$ 45,000	
	Walkways and Signage	1	LS	\$255,000.00	\$ 255,000	
4	Mobilization					\$200,000
		1	LS		\$ 200,000	
5	Indirect Costs					\$310,500
	Permitting, Engineering, & Design	10%			\$ 310,500	
	Subtotal					\$3,416,000
6	Contingency	30%				\$1,024,800.0
	Total					\$4,440,000
7	Class 3 Estimate					
	Plus 30 Percent	30%			\$1,332,000	\$5,772,000
	Minus 20 Percent	-20%			(\$888,000)	\$3,552,000

Notes: Estimate based on site photographs and aerial images
Estimate class based on AACE No. 56R-08

When reviewing the above estimated costs it is important to note the following:

- The costs have been developed based on historical and current data using in-house sources, information from previous studies as well as budget price quotations solicited from local suppliers and contractors. Costs provided are in present day dollars and do not account for inflation or escalation.
- A contingency amount has been included to cover undefined items, due to the level of engineering carried out at this time. The contingency is not a reflection of the accuracy of the estimates but covers items of work which will have to be performed, and elements of costs which will be incurred, but which are not explicitly detailed or described due to the level of investigation, engineering and estimating completed today. The estimate, including the contingency, is considered accurate to +30% / - 20%.
- This cost estimate is an 'Opinion of Probable construction Cost' made by a consultant. In providing opinions of construction cost, it is recognized that neither the client nor the consultant has control over the cost of labor, equipment, materials, or the contractor's means and methods of determining constructibility, pricing, or schedule. This opinion of construction cost is based on the consultant's reasonable professional judgement and experience and does not constitute a warranty, expressed or implied, that contractor's bids or negotiated prices for the work will not vary from the client's.



**City of St. Petersburg Municipal Marina Master Plan
Budgetary Opinion of Probable Construction Cost
North Basin Alternative 1: Fixed Piers**

Date prepared: August 22, 2017
M&N Job Number: 8165-07

Item	Description	Quantity	Unit	Unit Price	Subtotal	TOTAL
1	North Basin Commerical Docks					\$1,749,000
	Fixed Concrete Docks	7800	SF	\$175.00	\$ 1,365,000	
	Dock Utilities	1	LS	\$300,000.00	\$ 300,000	
	Pile Supported Gangway Platform	0	EA	\$25,000.00	\$ -	
	4' Wide ADA Aluminium Gangway	0	LF	\$400.00	\$ -	
	Mooring Piles	4	EA	\$8,500.00	\$ 34,000	
	Dinghy Dock Relocation	1	EA	\$50,000.00	\$ 50,000	
2	Bulkhead Structures					\$1,375,000
	Bulkhead Repair/Replacement	1100	LF	\$1,250.00	\$ 1,375,000	
3	Civil Works					\$300,000
	Security Gates	3	EA	\$15,000.00	\$ 45,000	
	Walkways and Signage	1	LS	\$255,000.00	\$ 255,000	
4	Mobilization					\$200,000
		1	LS		\$ 200,000	
5	Indirect Costs					\$362,400
	Permitting, Engineering, & Design	10%			\$ 362,400	
	Subtotal					\$3,986,000
6	Contingency	30%				\$1,195,800.0
	Total					\$5,180,000
7	Class 3 Estimate					
	Plus 30 Percent	30%			\$1,554,000	\$6,734,000
	Minus 20 Percent	-20%			(\$1,036,000)	\$4,144,000

Notes: Estimate based on site photographs and aerial images
Estimate class based on AACE No. 56R-08

When reviewing the above estimated costs it is important to note the following:

- The costs have been developed based on historical and current data using in-house sources, information from previous studies as well as budget price quotations solicited from local suppliers and contractors. Costs provided are in present day dollars and do not account for inflation or escalation.
- A contingency amount has been included to cover undefined items, due to the level of engineering carried out at this time. The contingency is not a reflection of the accuracy of the estimates but covers items of work which will have to be performed, and elements of costs which will be incurred, but which are not explicitly detailed or described due to the level of investigation, engineering and estimating completed today. The estimate, including the contingency, is considered accurate to +30% / - 20%.
- This cost estimate is an 'Opinion of Probable construction Cost' made by a consultant. In providing opinions of construction cost, it is recognized that neither the client nor the consultant has control over the cost of labor, equipment, materials, or the contractor's means and methods of determining constructibility, pricing, or schedule. This opinion of construction cost is based on the consultant's reasonable professional judgement and experience and does not constitute a warranty, expressed or implied, that contractor's bids or negotiated prices for the work will not vary from the client's.



**City of St. Petersburg Municipal Marina Master Plan
Budgetary Opinion of Probable Construction Cost
Central Basin Alternative 1: Floating Docks**

Date prepared: August 22, 2017
M&N Job Number: 8165-07

Item	Description	Quantity	Unit	Unit Price	Subtotal	TOTAL
1	North Docks					\$10,802,937
	Floating Concrete Docks	57381	SF	\$125.00	\$ 7,172,593	
	Dock Utilities	57381	SF	\$60.00	\$ 3,442,844	
	Pile Supported Gangway Platform	4	EA	\$25,000.00	\$ 100,000	
	4' Wide ADA Aluminium Gangway	250	LF	\$350.00	\$ 87,500	
1	Central Docks					\$9,847,765
	Floating Concrete Docks	39030	SF	\$125.00	\$ 4,878,713	
	Fixed Fuel & Pumpout Docks	1856	SF	\$175.00	\$ 324,800	
	Dock Utilities	40886	SF	\$60.00	\$ 2,453,142	
	Fabric Canopy for Covered Docks	45980	SF	\$44.50	\$ 2,046,110	
	Pile Supported Gangway Platform	3	EA	\$25,000.00	\$ 75,000	
	4' Wide ADA Aluminium Gangway	200	LF	\$350.00	\$ 70,000	
2	Bulkhead Structures					\$3,132,500
	Bulkhead Replacement @ Central Docks	1100	LF	\$2,100.00	\$ 2,310,000	
	Bulkhead Cap Repair @ North Docks	875	LF	\$800.00	\$ 700,000	
	Bulkhead Cap Repair @ West Docks	350	LF	\$350.00	\$ 122,500	
3	Building Structures Allowance (Includes Utilities)					\$1,350,000
	Pile Supported North Dock House	1	Allowance	\$850,000.00	\$ 850,000	
	Central Docks Dock House	1	Allowance	\$300,000.00	\$ 300,000	
	Central Docks Restroom @ Covered Docks	1	Allowance	\$200,000.00	\$ 200,000	
4	Civil Works					\$2,003,000
	Asphalt Pavement and Restriping	10000	SY	\$160.00	\$ 1,600,000	
	Sidewalk	800	SY	\$60.00	\$ 48,000	
	Central Docks Security Fence	500	LF	\$100.00	\$ 50,000	
	Security Gates w/Electronic Keycard Access	7	EA	\$15,000.00	\$ 105,000	
	Landscaping	1	LS	\$200,000.00	\$ 200,000	
5	Mobilization					\$800,000
		1	LS		\$ 800,000	
6	Indirect Costs					\$2,793,620
	Permitting, Engineering, & Design	10%			\$ 2,793,620	
	Subtotal					\$30,730,000
7	Contingency	20%				\$6,146,000.0
	Total					\$36,880,000
8	Class 3 Estimate					
	Plus 30 Percent	30%			\$11,064,000	\$47,944,000
	Minus 20 Percent	-20%			(\$7,376,000)	\$29,504,000

Notes: Estimate based on site photographs and aerial images
Estimate class based on AACE No. 56R-08

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**City of St. Petersburg Municipal Marina Master Plan
Budgetary Opinion of Probable Construction Cost
Central Basin Alternative 2: Fixed Docks**

Date prepared: August 22, 2017
M&N Job Number: 8165-07

Item	Description	Quantity	Unit	Unit Price	Subtotal	TOTAL
1	North Docks					\$13,901,497
	Fixed Concrete Docks	57381	SF	\$179.00	\$ 10,271,152	
	Dock Utilities	57381	SF	\$60.00	\$ 3,442,844	
	Pile Supported Gangway Platform	4	EA	\$25,000.00	\$ 100,000	
	4' Wide ADA Aluminium Gangway	250	LF	\$350.00	\$ 87,500	
1	Central Docks					\$9,332,340
	Fixed Concrete Docks	30030	SF	\$175.00	\$ 5,255,198	
	Fixed Fuel & Pumpout Docks	1856	SF	\$175.00	\$ 324,800	
	Dock Utilities	31886	SF	\$60.00	\$ 1,913,142	
	Fabric Canopy for Covered Docks	45980	SF	\$40.00	\$ 1,839,200	
2	Bulkhead Structures					\$3,132,500
	Bulkhead Replacement @ Central Docks	1100	LF	\$2,100.00	\$ 2,310,000	
	Bulkhead Cap Repair @ North Docks	875	LF	\$800.00	\$ 700,000	
	Bulkhead Cap Repair @ West Docks	350	LF	\$350.00	\$ 122,500	
3	Building Structures Allowance (Includes Utilities)					\$1,350,000
	Pile Supported North Dock House	1	Allowance	\$850,000.00	\$ 850,000	
	Central Docks Dock House	1	Allowance	\$300,000.00	\$ 300,000	
	Central Docks Restroom @ Covered Docks	1	Allowance	\$200,000.00	\$ 200,000	
4	Civil Works					\$2,003,000
	Asphalt Pavement and Restriping	10000	SY	\$160.00	\$ 1,600,000	
	Sidewalk	800	SY	\$60.00	\$ 48,000	
	Central Docks Security Fence	500	LF	\$100.00	\$ 50,000	
	Security Gates w/Electronic Keycard Access	7	EA	\$15,000.00	\$ 105,000	
	Landscaping	1	LS	\$200,000.00	\$ 200,000	
5	Mobilization					\$800,000
		1	LS		\$ 800,000	
6	Indirect Costs					\$3,051,934
	Permitting, Engineering, & Design	10%			\$ 3,051,934	
	Subtotal					\$33,570,000
7	Contingency	20%				\$6,714,000.00
	Total					\$40,280,000
8	Class 3 Estimate					
	Plus 30 Percent	30%			\$12,084,000	\$52,364,000
	Minus 20 Percent	-20%			(\$8,056,000)	\$32,224,000

Notes: Estimate based on site photographs and aerial images
Estimate class based on AACE No. 56R-08

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**City of St. Petersburg Municipal Marina Master Plan
Budgetary Opinion of Probable Construction Cost
Central Basin Alternative 3: Fixed & Floating Docks**

Date prepared: August 22, 2017
M&N Job Number: 8165-07

Item	Description	Quantity	Unit	Unit Price	Subtotal	TOTAL
1	North Docks					\$10,802,937
	Floating Concrete Docks	57381	SF	\$125.00	\$ 7,172,593	
	Dock Utilities	57381	SF	\$60.00	\$ 3,442,844	
	Pile Supported Gangway Platform	4	EA	\$25,000.00	\$ 100,000	
	4' Wide ADA Aluminium Gangway	250	LF	\$350.00	\$ 87,500	
1	Central Docks					\$9,332,340
	Fixed Concrete Docks	30030	SF	\$175.00	\$ 5,255,198	
	Fixed Fuel & Pumpout Docks	1856	SF	\$175.00	\$ 324,800	
	Dock Utilities	31886	SF	\$60.00	\$ 1,913,142	
	Fabric Canopy for Covered Docks	45980	SF	\$40.00	\$ 1,839,200	
2	Bulkhead Structures					\$3,132,500
	Bulkhead Replacement @ Central Docks	1100	LF	\$2,100.00	\$ 2,310,000	
	Bulkhead Cap Repair @ North Docks	875	LF	\$800.00	\$ 700,000	
	Bulkhead Cap Repair @ West Docks	350	LF	\$350.00	\$ 122,500	
3	Building Structures Allowance (Includes Utilities)					\$1,350,000
	Pile Supported North Dock House	1	Allowance	\$850,000.00	\$ 850,000	
	Central Docks Dock House	1	Allowance	\$300,000.00	\$ 300,000	
	Central Docks Restroom @ Covered Docks	1	Allowance	\$200,000.00	\$ 200,000	
4	Civil Works					\$2,003,000
	Asphalt Pavement and Restriping	10000	SY	\$160.00	\$ 1,600,000	
	Sidewalk	800	SY	\$60.00	\$ 48,000	
	Central Docks Security Fence	500	LF	\$100.00	\$ 50,000	
	Security Gates w/Electronic Keycard Access	7	EA	\$15,000.00	\$ 105,000	
	Landscaping	1	LS	\$200,000.00	\$ 200,000	
5	Mobilization					\$800,000
		1	LS		\$ 800,000	
6	Indirect Costs					\$2,742,078
	Permitting, Engineering, & Design	10%			\$ 2,742,078	
	Subtotal					\$30,160,000
7	Contingency	20%				\$6,032,000.00
	Total					\$36,190,000
8	Class 3 Estimate					
	Plus 30 Percent	30%			\$10,857,000	\$47,047,000
	Minus 20 Percent	-20%			(\$7,238,000)	\$28,952,000

Notes: Estimate based on site photographs and aerial images
Estimate class based on AACE No. 56R-08

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**City of St. Petersburg Municipal Marina Master Plan
Budgetary Opinion of Probable Construction Cost
South Basin Alternative 1: Floating Docks**

Date prepared: August 22, 2017
M&N Job Number: 8165-07

Item	Description	Quantity	Unit	Unit Price	Subtotal	TOTAL
1	South Docks					\$9,478,250
	Floating Concrete Docks	42010	SF	\$125.00	\$ 5,251,250	
	Fixed Concrete Docks (Pier 5)	6460	SF	\$180.00	\$ 1,162,800	
	Dock Utilities	48470	SF	\$60.00	\$ 2,908,200	
	Pile Supported Gangway Platform	4	EA	\$25,000.00	\$ 100,000	
	4' Wide ADA Aluminium Gangway	160	LF	\$350.00	\$ 56,000	
2	South Courtesy Docks					\$502,250
	Floating Concrete Docks	2450	SF	\$125.00	\$ 306,250	
	Dock Utilities	1	LS	\$150,000.00	\$ 150,000	
	Pile Supported Gangway Platform	1	EA	\$25,000.00	\$ 25,000	
	4' Wide ADA Aluminium Gangway	60	LF	\$350.00	\$ 21,000	
3	Bulkhead Structures					\$125,000
	Cap and Tie-Back Repair	250	LF	\$500.00	\$ 125,000	
4	Building Structures Allowance (Includes Utilities)					\$500,000
	Comfort Station	1	Allowance	\$500,000.00	\$ 500,000	
5	Civil Works					\$493,222
	Asphalt Pavement and Restriping	2600	SY	\$160.00	\$ 416,000	
	Sidewalk	56	SY	\$40.00	\$ 2,222	
	Security Gates w/Electronic Keycard Access	5	EA	\$15,000.00	\$ 75,000	
6	Mobilization					\$800,000
		1	LS		\$ 800,000	
7	Indirect Costs					\$1,189,872
	Permitting, Engineering, & Design	10%			\$ 1,189,872	
	Subtotal					\$13,089,000
8	Contingency	20%				\$2,617,800.0
	Total					\$15,710,000
9	Class 3 Estimate					
	Plus 30 Percent	30%			\$4,713,000	\$20,423,000
	Minus 20 Percent	-20%			(\$3,142,000)	\$12,568,000

Notes: Estimate based on site photographs and aerial images
Estimate class based on AACE No. 56R-08

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- This cost estimate is an 'Opinion of Probable construction Cost' made by a consultant. In providing opinions of construction cost, it is recognized that neither the client nor the consultant has control over the cost of labor, equipment, materials, or the contractor's means and methods of determining constructibility, pricing, or schedule. This opinion of construction cost is based on the consultant's reasonable professional judgement and experience and does not constitute a warranty, expressed or implied, that contractor's bids or negotiated prices for the work will not vary from the client's.



**City of St. Petersburg Municipal Marina Master Plan
Budgetary Opinion of Probable Construction Cost
South Basin Alternative 2: Fixed Docks**

Date prepared: August 22, 2017
M&N Job Number: 8165-07

Item	Description	Quantity	Unit	Unit Price	Subtotal	TOTAL
1	South Docks					\$11,660,700
	Fixed Concrete Docks	49620	SF	\$175.00	\$ 8,683,500	
	Dock Utilities	49620	SF	\$60.00	\$ 2,977,200	
2	South Courtesy Docks					\$502,250
	Floating Concrete Docks	2450	SF	\$125.00	\$ 306,250	
	Dock Utilities	1	LS	\$150,000.00	\$ 150,000	
	Pile Supported Gangway Platform	1	EA	\$25,000.00	\$ 25,000	
	4' Wide ADA Aluminium Gangway	60	LF	\$350.00	\$ 21,000	
3	Bulkhead Structures					\$125,000
	Cap and Tie-Back Repair	250	LF	\$500.00	\$ 125,000	
4	Building Structures Allowance (Includes Utilities)					\$500,000
	Comfort Station	1	Allowance	\$500,000.00	\$ 500,000	
5	Civil Works					\$493,222
	Asphalt Pavement and Restriping	2600	SY	\$160.00	\$ 416,000	
	Sidewalk	56	SY	\$40.00	\$ 2,222	
	Security Gates w/Electronic Keycard Access	5	EA	\$15,000.00	\$ 75,000	
6	Mobilization					\$800,000
		1	LS		\$ 800,000	
7	Indirect Costs					\$1,408,117
	Permitting, Engineering, & Design	10%			\$ 1,408,117	
	Subtotal					\$15,489,000
8	Contingency	20%				\$3,097,800.0
	Total					\$18,590,000
9	Class 3 Estimate					
	Plus 30 Percent	30%			\$5,577,000	\$24,167,000
	Minus 20 Percent	-20%			(\$3,718,000)	\$14,872,000

Notes: Estimate based on site photographs and aerial images
Estimate class based on AACE No. 56R-08

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