



# SARTELL PLANNING COMMISSION AGENDA

Monday, April 7, 2025

Sartell City Hall

6:00 PM

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- 1. Agenda Review and Adoption**
- 2. Approval of Minutes of Previous Meeting**
  - a. Regular Meeting Minutes March 3, 2025
- 3. New Business**
  - a. Variance – TTT housing, LLC
  - b. Preliminary and Final Plat – Vantage Point
  - c. TIF – District No. 5-7
- 4. Old Business**
- 5. Other Business**
  - a. Project Updates
  - b. Planning Commission Updates
  - c. Open Discussion
- 6. Adjourn**



# SARTELL PLANNING COMMISSION MINUTES

Monday, March 3, 2025

Sartell City Hall

6:00 PM

Pursuant to due call and notice thereof, a Planning Commission meeting was held on March 3, 2025, at 6:00 p.m. at Sartell City Hall.

**MEMBERS PRESENT:** David Wall, Shawn Pierce, Kelly Thompson, Christine Huston, Colin Anderson

**MEMBERS ABSENT:** None

**OTHERS PRESENT:** Kari Haakonson, Community & Economic Development Director, Jill Hollenkamp, Development Specialist, Tony Kruger, Kristina Leppanen, Teddy Flemming and Drew Becker

Anderson called the meeting to order at 6:00 p.m.

## 1. AGENDA REVIEW AND ADOPTION

The agenda was approved as presented. A motion was made by Huston and seconded by Pierce. Motion carried unanimously.

## 2. APPROVAL OF MINUTES

A motion was made by Thompson and seconded by Huston, to approve the meeting minutes from February 3, 2025. Motion carried unanimously, with Wall abstaining.

## 3. NEW BUSINESS

- A. Preliminary and Final Plat – Koenig Park. Kari presented the Preliminary and Final Plat for the Koenig Park property, located near Watab Creek on the southeast portion of the City-owned park. The property owners are requesting to split the parcel, which is just over six (6) acres in size, into one lot and one outlot. As part of future subdivision of the property, the City will require dedication of right-of-way to connect Terry Lane through to 1st Street North. This connection is necessary from a public safety standpoint to ensure adequate emergency access and is included in the 2025 West Side Reconstruction Project, which is scheduled to begin in the spring of 2025. A motion to recommend approval of the Preliminary and Final Plat was made by Huston and seconded by Wall. Motion carried unanimously.
- B. Preliminary and Final – Northern Meadows Plat 2. Kari discussed the proposed Preliminary and Final Plat for Northern Meadows Plat 2. The request involves combining an existing home and shed into a single lot. Staff recommend approval to bring the property into zoning compliance and allow the sale of the home and shed as one conforming lot. Platting is required under the City's Title 11 Subdivision Ordinance. A motion to recommend approval of the Preliminary and Final Plat was made by Thompson and seconded by Huston. Motion carried unanimously.

## 4. OLD BUSINESS None

## 5. OTHER BUSINESS

- a. Project updates
  - a. 2026 Comprehensive Plan Updates – RFP will go out for request in the fall or early 2026.

b. TTT Housing Variance – This will be brought back to Planning Commission for another site with the same variance request as in 2024.

b. Planning Commission Updates

a. Joint Park Commission Meeting, we are looking for a date that works best for both commissions.

c. Open Discussion

## **6. ADJOURN**

Motion made by Huston and seconded by Anderson to adjourn the meeting. Motion carried unanimously. Adjourned at 7:29 pm.

Minutes by Jill Hollenkamp – Development Specialist



## City of Sartell CITY COUNCIL STAFF MEMO

### AGENDA ITEM INFORMATION:

<b>Item #:</b>	03a	<b>Required Signature:</b> <input checked="" type="checkbox"/> (Check if signature is needed on item)
<b>Date:</b>	April 7, 2025	
<b>Agenda Section:</b>	Community Linkage	
<b>Item Title:</b>	Variance – TTT Housing, LLC.	<b>Decision Type:</b> <input type="checkbox"/> Monitoring <input checked="" type="checkbox"/> Decision Making <input type="checkbox"/> Incidental
<b>Policy Quadrant &amp; Provision:</b>	2.0 Executive Limitations: Provisions 2.9 Planned and Purposeful Development	

<b>Lead Department and Staff Contact:</b>	Community & Economic Development – Kari Haakonson
<b>Attachments:</b>	Resolution, Site Plan & Supporting Documents

### SUMMARY STATEMENT:

**Please provide a brief description of your item:** Under 2.9 Planned and Purposeful Development, the City shall not cause or allow the growth and development of the City to be spontaneous or lack purpose or strategy. 2.9.1. Title 10, Chapter 17, Variance and Appeals establishes the variance criteria and required procedures which include required information, public hearing, proper notice, voting by City Council, official orders, and appeal procedures. The applicant is requesting a variance to provide limited relief from the zoning requirements in this case where strict application of the particular requirement (covered parking) will create practical difficulties due to circumstances unique to the individual property under consideration.

### RECOMMENDATIONS & PRIOR COUNCIL ACTION:

#### Previous Council review or action:

- Council held a public hearing on June 10, 2024, for a rezone and variance request submitted by TTT Housing, the item was tabled until the June 24, 2025, meeting.
- Council reviewed the rezone request on June 24, 2025, and denied the rezone which ultimately led to the variance request not being discussed since the rezone did not pass.
- The variance request submitted in 2024 and 2025 is for the same zoning relief – covered parking for multifamily housing. However, the location is different and does not require a rezone.

#### Commission or Board Recommendation:

- The Planning Commission reviewed and recommended approval of the similar 2024 variance request 3-1, with one member absent.

- The Planning Commission will review and provide recommendation of the submitted variance request on April 7, 2025.

**Staff Recommendation:** Staff recommend approval of the variance request as proposed, due to the current housing shortage along with the demand for multi-family housing at all levels of income.

#### COMPONENTS OF RECOMMENDATION:

**Financial impact:** There are no financial impacts from the initial variance request; however, future development fees and building permit fees will be generated as part of this approval according to the current fee schedule.

**Context & Historical Information:** The Applicant is proposing to construct a 48-unit multi-family apartment complex with the following unit breakdown: one bedroom units – 12, two bedroom units – 22, three bedroom units – 10, and four bedroom units – 4. The applicant has requested a variance to provide 100% on-site surface parking in lieu of the 40% covered or underground/building parking as stated within the Title 10 Zoning Ordinance. Local financial participation is a scoring criterion that can provide a competitive advantage for the applicant when applying for funding through the Minnesota Housing Financing Agency (MHFA). By approving the variance, which would allow only surface parking for its residents and visitors, ultimately reduces building costs, the Applicant's score with the MHFA would increase.

Findings of fact are located within the resolution. It is important to understand that lifetime housing is a goal identified within the 2016 Comprehensive Plan. If the Applicant secures the funding they are seeking, they will be able to provide affordable housing in the City of Sartell for at least 50 years (restriction on the property). There are conditions outlines within the resolution stating that the development shall be generally constructed as presented in the submitted site plan. If there would be significant changes proposed, Council would review and approve the revised site plan. Also, all other R-3 Multi-Family Residential District requirement shall be met. If additional variances are requested, we would be required to follow the standard procedure as outlined within our Ordinance.

The property will need to be final platted which is required to be reviewed by the Planning Commission and Council, this will be submitted if the variance request is approved. The Applicant also intends to submit a request for the Statewide Affordable Housing aid which helps counties, Tribal Nations, and Greater Minnesota local government develop and preserve affordable housing. The amount that the City receives for 2025 to disperse is \$39,376, this application will only be submitted if the variance is approved.

**Relevant Data & Trends:** The Housing market is experiencing significant challenges nationwide, both homeownership and rental costs outpacing income growth. In Minnesota, housing supply has not kept pace with the demand, contributing to the referenced affordability issues. The Minnesota Housing Partnership reports that median home prices have increased by over 50% in the past decade, while median household incomes have risen at a much slower rate. Additionally, construction costs continue to escalate due to labor shortages, material costs, and regulatory hurdles, further limiting the housing production.

At the same time, there has been a demographic and economic shift in housing preferences. Millennials, and Gen Z, now the largest groups entering the housing market, are increasingly choosing

multi-family living over traditional single-family homes. A combination of affordability concerns, changing lifestyle preferences, and a desire for more walkable, amenity rich environments have fulfilled this trend. The National Association of Realtors indicates that younger buyers and renters are prioritizing flexibility and reduced maintenance costs/responsibilities.

Rising home prices have also driven demand for more affordable housing options. According to the Urban Land Institute, multi-family housing has outpaced single-family housing in new construction over the past few years, reflecting both financial necessity and shifting customer demand. This trend is particularly notable in suburban communities like Sartell, where higher density developments are becoming more viable housing solutions.

At the policy level, state and national trends indicate a shift toward reducing regulatory barriers to housing development. The State of Minnesota, alongside several other states, have introduced legislation aimed at reducing or eliminating minimum parking requirements (except for ADA compliant spaces) to encourage more efficient land uses. Should this legislation pass, the City will need to amend its zoning ordinances accordingly.

Further, state-led zoning reform efforts are pushing for increased housing density across all zoning classifications, allowing for greater flexibility in single-family, accessory dwelling units (ADU's) and multi-family developments. If enacted, these preemptive zoning measures would require the City to align its ordinances with the state statutes, potentially impacting land-use regulations.

**Factors of Influence:** There are several key factors in this variance request, particularly related to housing availability, economic impacts and City revenues:

- Increased housing options – Approving this variance would support broader housing accessibility by contributing to the diversity of available housing types. As market trends indicate rising demand for multi-family housing units and more affordable housing options, this project aligns with both local and statewide initiatives aimed at expanding housing choices for residents.
- Development fee generation – New residential development contributes directly to the City's economic sustainability through the collection of development impact fees. These fees help fund infrastructure, public services, and amenities, ensuring that growth is supported without placing undue financial burdens on existing taxpayers.
- Building permit revenues – The construction of new housing contributes to building permit fees which are key revenue sources to the City.
- Economic growth and stability – Increasing the housing supply can help attract and retain a diverse population, supporting workforce development and local businesses. More residents translate into greater demands for goods, services, and amenities, reinforcing Sartell's long-term economic health.
- Alignment with state and regional trends – As Minnesota continues to push for regulatory changes that promote higher-density housing and reduced parking minimums, this variance request is consistent with emerging state policies. Proactively supporting such developments

positions the City to remain adaptable to potential legislative changes while fostering sustainable growth.

#### **PERSPECTIVES ON RECOMMENDATIONS (IF APPLICABLE):**

**Administration:** Awareness of the submitted variance request, outside of the zoning implications, support from a City perspective on the fee generations and promoting economic sustainability, recommends approval.

**Engagement & Experiences:** Awareness of the project and future involvement from an engagement and Experiences perspective when welcoming new residents and/or coordinating public notices.

**Finance & Operations:** Awareness of the submitted variance, recommends approval from a fee generation standpoint to meet our goals outlined within our budget.

**Community & Economic Development:** Facilitation and heavy involvement of this project from the initial concept meetings through submittal. Staff worked with the Applicant from 2024 on picking a location that would not require a rezone request on top of a variance request. Our department supports this request as it fulfills our housing need while supporting economic stability from a broad City perspective, recommends approval.

**Public Works/Engineering:** Awareness of the submittal, involvement will occur when the formal site and building plans are submittal to ensure alignment with our City Ordinances and City Standards for developments, recommends approval.

**Public Safety:** Awareness of the project submitted, further involvement will occur when the building is in the construction phase as well as when rental compliance will occur. Public Safety has positioned themselves in manner which enables them to complete the necessary inspections in a timely manner while meeting the City Ordinances and policies, recommends approval.

**External:** The Applicant and current property owner have been working on a location in the City that is zoned appropriately for multi-family housing for over a year. Due to the complexity of the application with the MFHA, this is the only other property that is zoned R-3 that would meet the requirements that they need to score high enough to be eligible for funding. The Applicant is aware of the process for platting the property and acknowledges the procedures required.

#### **COUNCIL ACTION(S) NEEDED:**

**Council Action Item:** Motion and 2<sup>nd</sup> to approve the variance request for 100% on-site surface parking in lieu of 40% covered or underground/building parking.

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION FOR A VARIANCE**

**WHEREAS**, TTT Housing, LLC. (the “Applicant”) has applied for a Variance for a property located near the intersection of 15<sup>th</sup> Street South and Pinecone Road South described within **Exhibit A** (“Property”), which is owned by Ferche Family Limited Partnership; and

**WHEREAS**, the Property is currently zoned R-3 Multi-Family Residential District; and

**WHEREAS**, the Applicant seeks a variance for the Property to provide 100% of the on-site surface parking in lieu of the 40% covered or underground/under-building parking as required by current ordinance, Title 10, Chapter 10, Section 4-C; and

**WHEREAS**, the Applicant is proposing to submit this proposed housing project for financing through the 2025 Multifamily Consolidated Request for Proposals/2026 Housing Tax Credits Round 1 through Minnesota Housing Finance Agency due in July 2025 (“Competitive Round”); and

**WHEREAS**, local financial participation is a scoring criterion that can provide a competitive advantage for the Applicant. By approving the Variance, which allows only surface parking and thus reduces the project costs, the Applicant’s score would increase related to the local financial participation category within the Competitive Round; and

**WHEREAS**, The Planning Commission met on April 7, 2025, and reviewed the request for the Variance and recommended to approve the Variance; and

**WHEREAS**, the City Council met on April 14, 2025, and, after properly mailed and published notice, conducted the Public Hearing on the Variance request.

**NOW THEREFORE, THE SARTELL CITY COUNCIL ADOPTS THE FOLLOWING FINDINGS OF FACT:**

1. The Variance is in harmony with the general purposes and intent of the City’s Zoning Ordinance. The Property is currently zoned R-3 Multi-Family Residential, which allows for surface parking as part of multi-family residential developments. In addition, within the 2016 Comprehensive Plan, a goal is to “Ensure lifetime housing”. If selected through the Competitive Round, the Project will be restricted to affordable rental levels for 50 years with a land use restriction agreement, which will provide affordable housing in the City of Sartell for at least 50 years. This Variance would increase the opportunity to be selected within the Competitive Round and thus, increase the chances of this Project being built to ensure lifetime housing for current and future residents at affordable rental levels.
2. The request is consistent with the City of Sartell’s 2016 Comprehensive Plan because the Property is currently zoned R-3 Multi-Family Residential District and located within developed R-3 Multi-Family Residential areas.

3. The Applicant proposes to use the Property appropriately, as it is permitted within the R-3 Multi-Family Residential District. The Applicant is proposing a 3-story, 48 unit, low-and-moderate income residential development.
4. The plight of the landowner is due to circumstances unique to the Property, not created by the landowner. The proposed development was designed in a manner which maximizes the Property. This Variance would also show local participation thus, scoring would increase within the Competitive Round for the Applicant.
5. The Variance, if granted, will not alter the essential character of the locality. The surrounding properties are already developed following the R-3 Multi-Family Residential District Standards, vacant zoned R-3 Multi-Family District property, vacant zoned R-1 Single Family Residential, or vacant zoned B-2 General Business District property.
6. Economic considerations alone do not constitute practical difficulties. The Applicant is not solely requesting this Variance for surface parking from a financial perspective. As part of the Variance, if approved it would provide increased scoring, which shows local support for the type of housing project proposed.
7. If granting a Variance, the Board of Adjustments may impose conditions to ensure compliance to protect adjacent properties. See below conditions.

The Council establishes the following as conditions of approval of the Variance:

**CONDITIONS:**

- A. Site Plan: The development shall be generally constructed as presented and approved by the Sartell City Council as shown in **Exhibit B**, unless modifications are needed during the site and building plan approval process. If significant changes are required as part of those approval processes, the Sartell City Council shall review and approve the revised site plan.
- B. R-3 Multi Family Residential District Requirements: All other R-3 Multi-Family Residential District requirements shall be met outside of what is approved for this variance. If additional variances are required or requested, standard procedures will be followed.

**BASED UPON THE ABOVE FINDINGS OF FACTS, THE STANDARDS APPLIED IDENTICALLY TO THE VARIANCE REQUEST, BE IT HEREBY FURTHER RESOLVED:**

The variance to provide 100% of the on-site surface parking in lieu of the 40% covered or underground/under-building parking as required by current ordinance, Title 10, Chapter 10, Section 4-C, is hereby approved for the Property located near the intersection of 15<sup>th</sup> Street South and Pinecone Road South in Sartell, Minnesota.

Adopted by the Sartell City Council on this 14<sup>th</sup> day of April 2025.

**CITY OF SARTELL:**

By: \_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Administrator

SEAL:

**THIS INSTRUMENT DRAFTED BY:**

City of Sartell  
125 Pinecone Road North  
Sartell, MN 56377  
(320) 253-2171

**EXHIBIT A**  
**Legal Description**

Portions of PID: 92.56569.0212 and 92.56569.0245, to be platted at a later date.

**EXHIBIT B**  
**Site Plan**









# Variance

Print

Del

**Submitted by:** TTT Housing, LLC (none)

**Submitted On:** 2025-02-20 16:26:02

**Submission IP:** 66.191.64.18 (172.31.26.16)  
proxy-IP (raw-IP)

**Status:** Payment Required

**Priority:** Normal

**Assigned To:** Kari Haakonson

**Due Date:** Open

## Attachments

- [Site Plan.pdf](#) - 2025-02-20 04:26:05 pm
- [Legal Description.pdf](#) - 2025-02-20 04:26:03 pm

# Variances

**Fee: \$375**

*Variances shall be submitted no less than twelve (12) days prior to the next Planning Commission meeting!*

**\* Application Date**

02/20/2025

Format: MM/DD/YYYY

**\* Applicant First Name**

TTT Housing, LLC

**\* Applicant Last Name**

(none)

**Phone**

320-202-3100

**\* Email**

development@sandcompanies.com

**\* Address**

366 10th Ave S

**\* City**

Waite Park

**\* State**

MN

**\* Zip Code**

56387

**Fee Owner (If different than the applicant)**

Ferche Family Limited Partnership

**Project/Development Name**

**\* Property Identification Number (PID)**

Third Rapids Apartments

Portions of 92.56569.0212 & 92.56569.0245 (to be platted)

**\* Project Location**

The site is located directly adjacent to The Lodge at Pine Lakes Apartments. It is along 15th St S, near Pine Cone Road South.

**\* Legal Description of Property (attach as a word document)**

**\* Site Plan**

Choose File No file chosen

Choose File No file chosen

The Legal Description of Property (attach as a word document) field is required

The Site Plan field is required

Please submit a site plan for the property.

**\* Purpose of Variance**

The variance is to provide 100% on-site surface parking in lieu of 50% covered parking. The Applicant is proposing submitting this housing project for financing through the Minnesota Housing Finance Agency competitive funding. With this, local financial participation is a scoring criterion that can provide competitive advantage. The Applicant is requesting that the City provide a variance to allow only surface parking and that the reduction of project specific costs that would have been incurred but for the variance would be part of the local financial participation of the project.

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## VARIANCES

### PLEASE READ THE VARIANCE CRITERIA CAREFULLY

*The Variance process is intended to provide limited relief from the strict requirements of the Zoning Ordinance in those cases where strict application of a particular requirement will create practical difficulties due to circumstances unique to the individual property under consideration. It is not intended that variances be granted to allow a use not permitted by the zoning district, not to merely remove inconveniences or financial burdens that the Zoning Regulations may impose on property owners in general. Variances are intended to address extraordinary, exceptional, or unique situations that were not caused by the applicant's act or omission. The zoning appeals process for review of decisions of the Zoning Administrator is intended to provide appropriate checks and balances on administrative authority.*

***Electronic version of the Site Plan is required for submittal, paper copies may be requested.***

VARIANCES: A variance shall only be permitted if all of the following facts and considerations exist:

1. That the Variance, if granted, will be in harmony with the general purpose and intent of the Zoning Ordinance.
2. That the Variance, if granted, will be consistent with the Comprehensive Plan.
3. When the Applicant establishes that there are **practical difficulties** in complying with the Zoning Ordinance. Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems. "Practical Difficulties," as used in connection with the granting of the Variance means that:
  - a. The property owner proposes to use the property in a reasonable manner not permitted in the Zoning Ordinance;
  - b. The plight of the landowner is due circumstances unique to the property not created by the landowner; and
  - c. The Variance, if granted, will not alter the essential character of the locality.

ECONOMIC CONSIDERATION: Economic considerations alone do not constitute practical difficulties

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# VARIANCE PROCEDURE

*The City of Sartell strongly recommends that you review the Title 10 - Zoning Regulations and Title 11 - Subdivision Regulations prior to the submittal of a Variance.*

**REQUIRED INFORMATION:** The City may, at their option, require all or part of the following information prior to the public hearing on a Variance request, in which cases where the application is incomplete, the Zoning Administrator shall notify the applicant within fifteen (15) days of the date of submission:

1. Description of the site (legal description).
2. Site plan drawn at scale showing parcel and building dimensions.
3. Location of all buildings and their square footage.
4. Curb cuts, driveways, access roads, parking spaces, off-street loading areas and sidewalks.
5. Landscaping and screening plans.
6. Drainage plan.
7. Sanitary sewer and water plans with estimated use per day.
8. Soil type.
9. Any additional information reasonably required by City Staff, Planning Commission or City Council.

**PUBLIC HEARING NOTICE:** The City Council upon receipt of an application for a Variance, and upon receiving the recommendation of the Planning Commission, shall set a time and place for a Public Hearing.

***The Notice of Public Hearing shall be mailed at least ten (10) days prior to each property owner within three hundred fifty feet (350) of the parcel included in the request. Notice of Public Hearing will also be posted in the official paper at least ten (10) days prior to such hearing.***

**APPEALS:** all decisions by the City Council in granting or denying a Variance shall be final except that any aggrieved person(s), or any department, board or commission shall have the right to appeal, within thirty (30) days after receipt of notice of the Council's decision.

**LAPSE OF VARIANCE:** A Variance, when not used, shall expire after ninety (90) days following the date of issuance unless written application for time extension is received and granted by the City Council prior to such expiration date.

. . .

This application must be signed by all owners of the subject property or an explanation given why this is not the case.

We, the undersigned, have read and understand the above.

**\* E-Signature of Applicant**

Megan S. Carr, President of Manager of Manager

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"I understand that I am signing the Variance Application and I agree to all the terms and conditions of the form."

**E-Signature of Owner(s)**

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If different than the applicant.



## City of Sartell CITY COUNCIL STAFF MEMO

### AGENDA ITEM INFORMATION:

<b>Item #:</b>	03b	<b>Required Signature:</b> <input checked="" type="checkbox"/> (Check if signature is needed on item)
<b>Date:</b>	April 7, 2025	
<b>Agenda Section:</b>	Community Linkage	
<b>Item Title:</b>	Preliminary & Final Plat – Vantage Point	<b>Decision Type:</b> <input type="checkbox"/> Monitoring <input checked="" type="checkbox"/> Decision Making <input type="checkbox"/> Incidental
<b>Policy Quadrant &amp; Provision:</b>	2.0 Executive Limitations: Provisions 2.9 Planned and Purposeful Development	

<b>Lead Department and Staff Contact:</b>	Community & Economic Development – Kari Haakonson
<b>Attachments:</b>	Plats, Resolution & Supporting Documents

### SUMMARY STATEMENT:

**Please provide a brief description of your item:** Under 2.9 Planned and Purposeful Development, the City shall not cause or allow the growth and development of the City to be spontaneous or lack purpose or strategy. 2.9.1 Development Related Ordinances - highlights the necessity for ordinances with are related to planned and purposeful development, Preliminary & Final Plat Approval is outlined within Title 11 Subdivision Ordinances which requires Planning Commission recommendation, a public hearing, and ultimately Council approval to ensure that the proposed development meets our current standards and ordinances in place. This item accomplishes those outlined requirements set forth within our Ordinances.

### RECOMMENDATIONS & PRIOR COUNCIL ACTION:

**Previous Council review or action:** None.

**Commission or Board Recommendation:** The Planning Commission will review the preliminary and final plat for Vanatage Point on April 7, 2025.

**Staff Recommendation:** Staff recommend approval of the Preliminary and Final Plat for Vantage Point, contingent upon addressing remaining staff comments.

### COMPONENTS OF RECOMMENDATION:

**Financial impact:** The financial impacts of this approval equate to trunk water, sewer, storm and park dedication fees for Lot 1, Block 1, according to our current fee schedule. Future phases of Vantage Point would require development fees to be paid prior to releasing the plat for recording as outlined within our Subdivision Ordinances.

**Context & Historical Information:** The applicant has been engaged with City staff since 2021, exploring development opportunities for the Vantage Point property. Over the past several years, staff have provided guidance on land use planning, infrastructure requirements, and economic development tools to support a feasible project. The property was included in the Orderly Annexation agreement, which facilitated its annexation into the City in 2025. The annexation positioned the site for development by incorporating it into our service area, ensuring access to City utilities and overall development process. Following the recent annexation and recent development interest, the property owner has submitted the preliminary and final plat applications, marking the first step toward the formal site development. City staff have played an active role in educating and assisting the property owner throughout this process, addressing key considerations such as: deferred assessments, right-of-way acquisition, development fees, tax abatement or TIF, and site plan approval processes. This approach has positioned the property for successful development while aligning with the City's comprehensive plan and economic growth strategies.

Final Plat Contents:

8.45 total acres

Lot 1: 3.66 acres

Outlot A: 3.77 acres

Outlot B: 0.49 acres

Right-of-way: 0.53 acres

**Relevant Data & Trends:** The City completed a hotel market study in 2022, which identified a demand for an additional hotel within the community. The study highlighted Sartell's growing visitor base as a key driver for increased lodging demand. Since the study's completion, City staff have engaged with multiple developers expressing interest in bringing another hotel to Sartell. Most recently, Vantage Point has submitted plans with the intent of constructing a hotel in Sartell. This proposal reflects continued developer confidence in the local market and supports broader economic development efforts, including the growth of the Central Minnesota Healthcare Hub and other key industries in Sartell.

**Factors of Influence:** City staff have worked diligently with the property owner for multiple years to facilitate the development of this site. Throughout this process, staff have provided guidance on potential land uses, zoning regulations, and the necessary steps for full site development. These efforts have ensured that the property owner is well-informed about our Comprehensive Plan, infrastructure availability, and market demand. At this stage, the property owner has successfully secured a planned use for the site and is not at a point where platting is required to advance the overall development. The completion of this step will allow the project to proceed through final approvals enabling construction, which aligns with the City's growth objectives and goals. Additional factors influencing this development include:

- Infrastructure readiness – the site has the necessary utilities and roadways to support the proposed development. Amber Avenue will need to be fully constructed with the development and the City's future plans to realign LeSauk Drive is shown as an Outlot – further outlots will need to be provided to accommodate the re-alignment.
- Market demand – the hotel study identified the need for additional lodging options in Sartell, reinforcing the feasibility of this project.

- Economic impact – a new hotel will enhance the City's tax base, create jobs, lodging tax revenue, and support nearby businesses.

#### **PERSPECTIVES ON RECOMMENDATIONS (IF APPLICABLE):**

**Administration:** Awareness of the submitted project and applicable review process and procedures, recommend approval of the preliminary and final plat.

**Engagement & Experiences:** Awareness of the project and future involvement from an engagement perspective.

**Finance & Operations:** Awareness of the project as well as the collection of trunk and park dedication fees which are budgeted for on an annual basis, recommends approval.

**Community & Economic Development:** Facilitation and heavy involvement of this project from the initial concept meetings through submittal. Staff have been coordinating this development to ensure efficiency and success from a community & economic development perspective that meets the City's and applicants goals, recommends approval contingent upon addressing staff comments.

**Public Works/Engineering:** The plats have been reviewed, further comments will be submitted during the formal site plan approval process, recommends approval of the plats.

**Public Safety:** Public safety has reviewed the plats, will provide further comments during the site plan approval process from a police and fire perspective, no concerns at this time, recommends approval.

**External:** The applicant has spent a significant amount of time and private investment to get to the point of the plat submittal. The applicant understands the overall development process and future requirements that the property must meet – this has been communicated formally.

#### **COUNCIL ACTION(S) NEEDED:**

**Council Action Item:** Motion and 2<sup>nd</sup> to approve the Preliminary and Final plat for Vantage Point, contingent upon addressing staff comments.

RESOLUTION NO. \_\_\_\_\_

**RESOLUTION APPROVING PRELIMINARY AND FINAL PLAT  
VANTAGE POINT**

**WHEREAS**, Douglas Boser (“Applicant”) have submitted an application for Preliminary and Final Plat of VANTAGE POINT, legally described as shown in in **Exhibit A**; and

**WHEREAS**, the property is located within a B-2 General Business District; and

**WHEREAS**, the proposed preliminary and final plat as submitted by the Applicant have been reviewed by City staff and engineering shown in **Exhibit B**; and

**WHEREAS**, a public hearing was held on the proposed Preliminary Plat of VANTAGE POINT on April 14, 2025, at which time all persons wishing to be heard regarding the matter were given an opportunity to be heard; and

**WHEREAS**, a Final Plat for VANTAGE POINT indicates that no significant changes within that portion of the preliminary plat, is included in the final plat.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SARTELL, MINNESOTA** that it does hereby approve the Preliminary and Final Plat of VANTAGE POINT, and that the request satisfies requirements set forth in the City’s Subdivision Ordinance, specifically 11.3.7-J relating the findings required for the preliminary plat approval.

**FINDINGS OF FACT:**

1. The proposed preliminary plat conforms to the requirements of this Title and the applicable zoning district regulations.
2. The proposed subdivision or parcel development or redevelopment is consistent with the City’s Comprehensive plan and any other adopted land use studies and is compatible with the platting or approved preliminary plat on adjoining lands.
3. The proposed plat does not constitute a ‘premature subdivision’ under section 11.7.1-D of this Title.
4. The physical characteristics of this site, including but not limited to topography, vegetation, wetlands, ground water elevations, susceptibility to erosion and siltation, susceptibility to flooding, water storage and retention, are such that the site is suitable for the type of development or use proposed.
5. The design, development, redevelopment, or improvement of the proposed subdivision or parcel complies with the applicable plans of Stearns County and the State of Minnesota.
6. The design, development, redevelopment, or improvement of the proposed subdivision or parcel is not likely to cause environmental damage or health problems.
7. The completion of the proposed development or redevelopment of the subdivision or parcel can be achieved in a timely manner so as not to cause an undue economic burden upon the City for maintenance, repayment of bonds or similar burden.

8. That permits applicable to the site/project as required by local, state, and federal law have been applied for and/or have been approved. The Applicant is required to prove compliance with all local, state, and federal law. The City and/or its assigns may determine whether an application for approval is sufficient or if approval of a permit application is acceptable.
9. The final plat shows no significant changes within the preliminary plat and all submission requirements have been satisfied.
10. The final plat conforms to all applicable requirements as defined within Title 11 Subdivision Regulations.

**FURTHER BE IT RESOLVED** that the preliminary and final plat for VANTAGE POINT be approved with the following conditions:

- A. COMM/IND: Site plans must be submitted and approved which conform to typical B-2 (General Business District) standards for development, in addition to the site design standards for those projects. If any variances are required, the standard process as outlined within Title 10 Ordinance shall be followed.
- B. That all comments by zoning, engineering, police, and/or fire (**Exhibit B**) must be resolved to the satisfaction of the City to be evidenced by written notice to proceed issued by the City.
- C. That the developer/owner will be required to obtain a NPDES Phase II (Construction Site) permit from the MPCA prior to the start of construction, if applicable.
- D. This development is subject to storm trunk (\$21,359), water (\$6,237.70), sanitary (\$6,237.70), and park dedication fees (\$8,757.19) for Lot 1, Block 1 only.
- E. Once Outlot A is further developed, fees will be due upon final platting, at the current rate, as defined within the most recent approved fee schedule.
- F. All PFA's (Future Assessments) shall be paid and/or satisfied prior to releasing the plat for recording. The PFA's are as follows: Allina DRF Improvements: \$101,695.75, Silvercrest \$29,620.70, and Keenland Village \$9,377.30. The Keenland Village assessment will be satisfied with the construction of the remaining portion of Amber Avenue.

**ADOPTED BY THE SARTELL CITY COUNCIL THIS 14<sup>th</sup> DAY OF APRIL 2025.**

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Administrator

CITY SEAL:

**THIS INSTRUMENT DRAFTED BY:**  
City of Sartell  
125 Pinecone Road North  
Sartell, MN 56377  
(320) 253-2171

**EXHIBIT A**  
**Legal Description**

All that portion of Lot 20, Auditor's Subdivision No. 2, Section 34, Township 125 Range 28, lying northwesterly of the former right of way of State Trunk Highway 15, the northwesterly line of said former right of way of State Trunk Highway 15 being the same as the northwesterly line of LeSauk Drive;

EXCEPTING THEREFROM the following parcel:

That part of Lot 20, Auditor's Subdivision No. 2, Stearns County, Minnesota, according to the plat thereof described as follows: Beginning at the intersection of the North line of said Lot 20, with the northwesterly right of way line of LeSauk Drive (frontage road) thence South 89 degrees 45 minutes 32 seconds west on an assumed bearing along the north line of said Lot 20, a distance of 167.05 feet; thence southeasterly a distance of 75.64 feet along a non-tangential curve concave to the northeast, having a radius of 133.00 feet and a central angle of 32 degrees 35 minutes 04 seconds, the chord of said curve bears south 41 degrees 46 minutes 18 seconds east; thence south 58 degrees 03 minutes 50 seconds east, tangent to said curve, a distance of 68.14 feet, more or less to the intersection with said northwesterly right of way line; thence northeasterly a distance of 109.94 feet along said northwesterly right of way line and along a non-tangential curve concave to the southeast having a radius of 1482.39 feet and a central angle of 04 degrees 14 minutes 57 seconds the chord of the last described curve bears north 32 degrees 47 minutes 07 seconds east, to the point of beginning.

**EXHIBIT B**  
**Staff Comments**



## PRELIMINARY & FINAL PLAT REVIEW

### VANTAGE POINT

<b>Applicant Information</b>	Douglas Boser – Inventure Properties
<b>Existing Zoning</b>	B-2 General Business District once annexed
<b>Surrounding Zoning</b>	B-2 General Business District & B-3 Medical/Professional District
<b>Future Land Use</b>	B-2 General Business District
<b>Lot Size</b>	8.45 Total Acres: Lot 1: 3.66 acres Outlot A: 3.77 acres Outlot B: 0.49 acres Road ROW: 0.53 acres
<b>Review Based on:</b>	Preliminary Plat, dated 03/25/2025
	Final Plat, dated 03/25/2025

	Required Setbacks	Provided
<b>Minimum Lot Width</b>	100 Feet	Exceeds
<b>Front Yard Setback</b>	30 Feet	Review during site plan
<b>Side Yard Setback</b>	15 Feet	Review during site plan
<b>Rear Yard Setback</b>	30 Feet	Review during site plan
<b>Maximum Impervious Surface</b>	75%	Review during site plan
<b>Minimum Lot Size</b>	.75 acres / 32,670 square feet	Exceeds

### Planning Commission and City Council Comments

- The Planning Commission will review the preliminary and final plat on April 7, 2025. Staff are recommending approval contingent upon addressing staff comments.
- The Council will hold the required public hearing and review the preliminary and final plat on April 14, 2025.

### Engineering & Public Works Comments

#### Plat Review Comments:

1. There are no specific comments regarding the final plat.
2. The proposed development shown on the preliminary plat is concept only. Specific site design reviews will be completed during the official site plan review process for each lot.

3. Provided below are items that have been previously identified as needing to be addressed during the site plan design and review process. This is not a comprehensive list. Site design will need to meet federal, state and local design standards and requirements.
  - a. The location of driveways will need to align with the future roadways and driveways.
  - b. Amber Avenue will need to be constructed to a full roadway width.
  - c. Stormwater management will be provided on a lot-by-lot basis. Any current or future shared stormwater will need to be located within a drainage and utility easement and be RCP.

### Fire Comments

- Comments will be provided during the official site plan reviews for each individual submittal.

### Planning and Zoning Comments

- Development fees are required to be paid prior to releasing the plat to the Records Office for Lot 1, Block 1 only. Additional development fees will be due once Outlot A is final platted, according to the current approved fee schedule.
- Stearns County does not need to review this plat as the plat abuts all city roadways.
- Site plan reviews will need to be submitted for each individual project prior to beginning any work on the property – further, Outlot A must be platted prior to site or building permits.
- Building Permits will be required to be submitted prior to starting any work.
- Drainage and utility easements will need to be provided for stormwater facilities, this to be addressed during the site plan review and approval.
- All future assessments (PFA's) shall be paid and/or satisfied prior to releasing the plat for recording, unless otherwise approved by the Council. The PFA's are as follows: Allina DRF Improvements: \$101,695.75, Silvercrest \$29,620.70, and Keenland Village \$9,377.30. The Keenland Village assessment will be satisfied with the construction of the remaining portion of Amber Avenue.
- PID will change to a Sartell PID once the county records the orderly annexation resolution. The plat will be recorded after the annexation is finalized and recorded.

# VANTAGE POINT

## LEGAL DESCRIPTION

All that portion of Lot 20, Auditor's Subdivision No. 2, Section 34, Township 125 Range 28, lying northwesterly of the former right of way of State Trunk Highway 15, the northwesterly line of said former right of way of State Trunk Highway 15 being the same as the northwesterly line of LeSauk Drive;

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## PROJECT INFORMATION

Existing Property Site Address: Unassigned

Current Zoning = Urban Expansion (to be zoned B-2/B-3 when annexed into the City of Sartell)

Part of current County Tax Parcel ID = 17.09237.0000

Amber Avenue South, Dehler Drive, Evergreen Drive, and Lesauk Drive are classified as Local Roads.

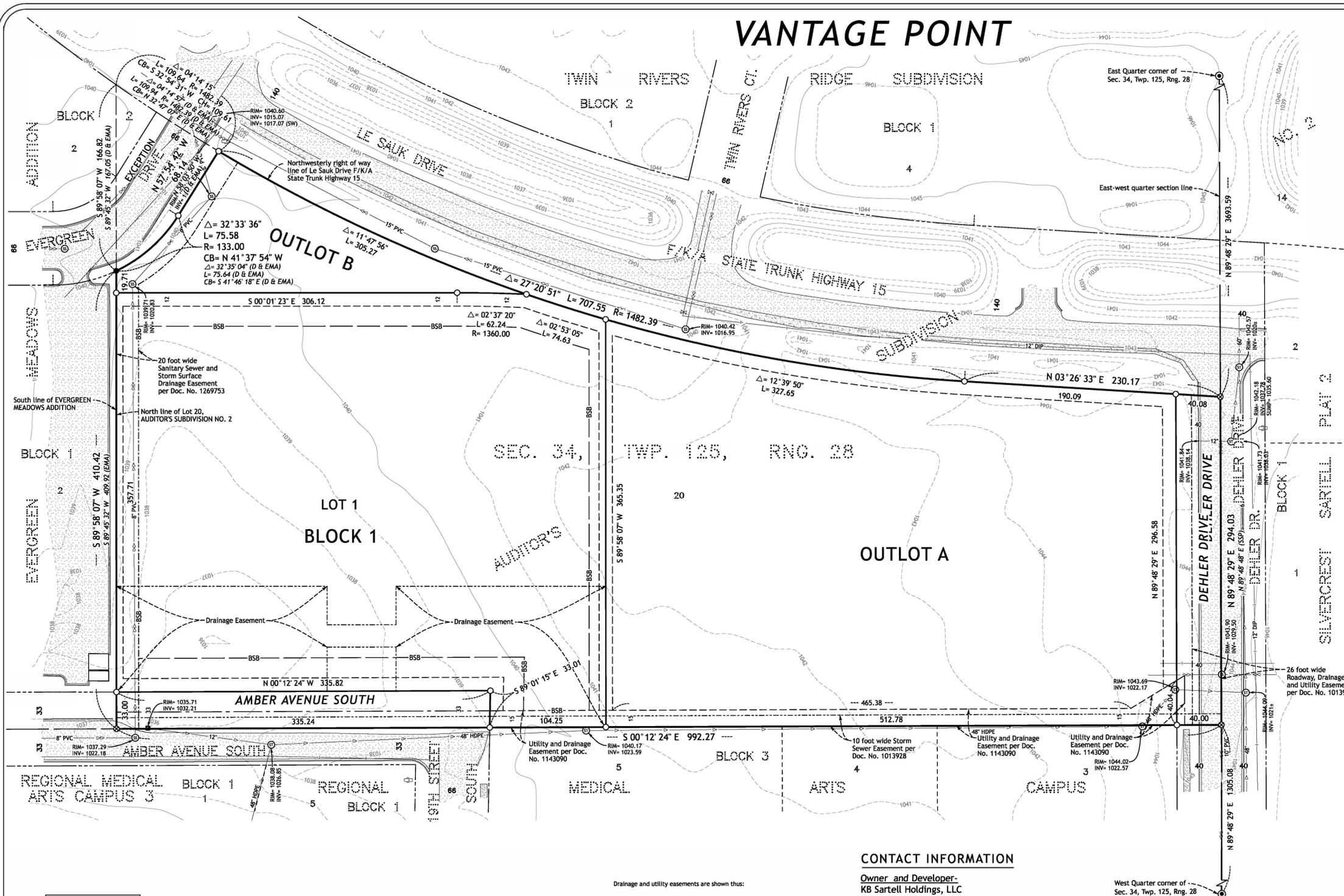
## BUILDING SETBACKS (B-2/B-3)

Principal Structures:  
 Front yard = 30 feet  
 Side yard = 15 feet  
 Rear yard = 30 feet

Topographic features shown hereon are from a field survey completed on 2/7/2025 and LIDAR Mapping by the State of Minnesota.

Access to property will be provided via a new driveways to Amber Avenue South and Lesauk Drive.

Existing ground cover is primarily trees, field grass, and small brush.



**PLAT AREAS (+/-)**

ENTIRE PLAT = 8.45 Ac.

BLOCK 1 -  
 LOT 1 = 3.66 Ac.

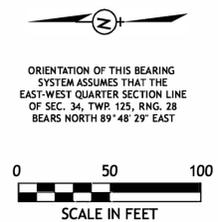
OUTLOT A = 3.77 Ac.

OUTLOT B = 0.49 Ac.

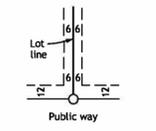
ROAD R/W = 0.53 Ac.

### PROPERTY BOUNDARY MONUMENT LEGEND

- SET IRON PIPE WITH CAP STAMPED "DELEO 40341"
- FOUND IRON MONUMENT
- ⊗ SET MAGNETIC "PK" NAIL
- ⊙ GOVERNMENT SECTION CORNER MONUMENT
- (D) DIMENSION PER DEED OF RECORD
- (EMA) DIMENSION PER PLAT OF EVERGREEN MEADOWS ADDITION
- (SSP) DIMENSION PER PLAT OF SILVERCREST SARTELL PLAT 2



Drainage and utility easements are shown thus:



### CONTACT INFORMATION

**Owner and Developer:**  
 KB Sartell Holdings, LLC  
 Attn: Douglas J. Boser  
 3501 1st Street South  
 St. Cloud, MN 56301  
 Phone: 320-980-2300

**Land Surveyor:**  
 Sam DeLeo  
 Kramer Leas DeLeo, P.C.  
 13 North 11th Ave.  
 St. Cloud, MN 56303  
 Phone: 320-259-1266

NO.	REVISIONS SINCE INITIAL DATE OF 3/24/2025	DATE
1	ADDED DRAINAGE EASEMENT TO LOT 1	3/25/2025

**KLD**  
 KRAMER LEAS DELEO  
 SURVEYING • ENGINEERING • PLANNING  
 BRAINERD ST. CLOUD

1120 Industrial Park Road  
 Brainerd, MN 56401  
 218-206-0333

13 North 11th Avenue  
 St. Cloud, MN 56303  
 320-259-1266

I HEREBY CERTIFY THAT THIS PLAN, SURVEY, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: *Samuel J. DeLeo* 3/25/2025  
 Samuel J. DeLeo, MN License No. 40341 Date

PROJECT NO. INVEP2501

Preliminary Plat (Existing Conditions)

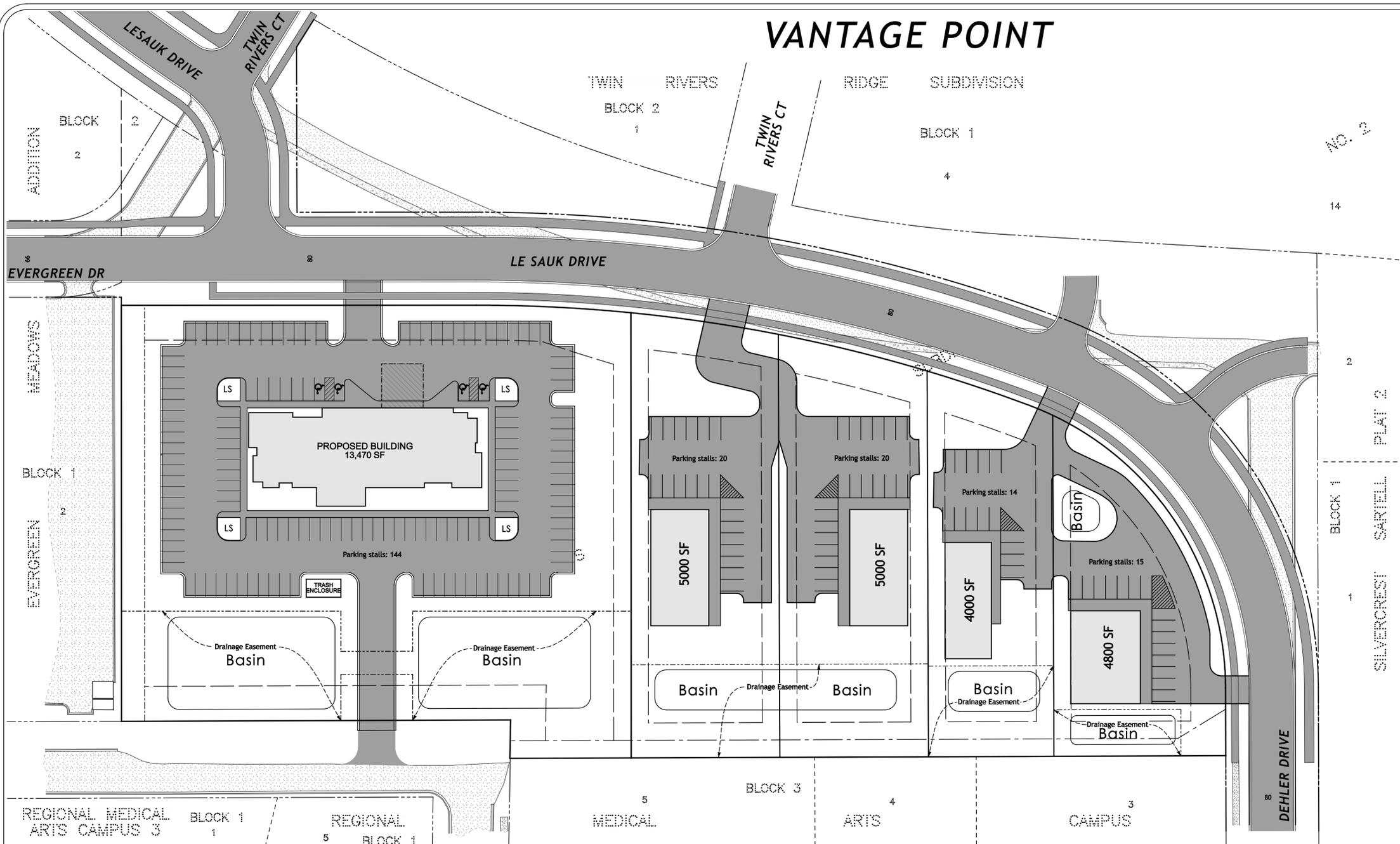
## VANTAGE POINT

For PID: 17.09237.0000  
 Le Sauk Township, County of Stearns, State of Minnesota  
 Located in Section 34, Township 125 North, Range 28 West

**MAPPING LEGEND**

STORM SEWER MANHOLE	⊕	BURIED ELECTRIC LINE	— P-BUR —
SANITARY SEWER MANHOLE	⊙	BURIED TELEPHONE LINE	— T-BUR —
ELECTRIC MANHOLE	⊗	BURIED FIBER OPTIC LINE	— F70-BUR —
CATCH BASIN	⊠	BURIED GAS LINE	— G —
CULVERT APRON	⊡	OVERHEAD POWER LINE	— OHP —
WELL	⊕	WATER LINE	— W —
HYDRANT	⊕	STORM SEWER PIPE	— S —
WATER VALVE	⊕	SANITARY SEWER PIPE	— SS —
UTILITY HANDHOLE	⊕	CONC. CURB & GUTTER	— CG —
LIGHT POLE	⊕	PROPERTY LINE	— PL —
UTILITY POLE	⊕	CONTROLLED ACCESS	— CA —
UTILITY POLE ANCHOR	⊕	CHAINLINK FENCE	— XC —
UTILITY PEDESTAL	⊕	WOOD FENCE	— WF —
UTILITY METER	⊕	BARB WIRE FENCE	— BW —
TANK	⊕	WOVEN WIRE FENCE	— WW —
SEWER CLEANOUT	⊕	TREELINE	— TL —
LIFT STATION	⊕	WETLAND	— WL —
SOIL BORING	⊕	CONTOUR (MAJOR)	— 1025 —
SURFACE DRAINAGE ARROW	➔	CONTOUR (MINOR)	— 1026 —
TREE (DECIDUOUS)	⊕	BUILDING SETBACK	— BSB —
TREE (EVERGREEN)	⊕	SOILS TYPE BOUNDARY	— D67A D67B —

# VANTAGE POINT



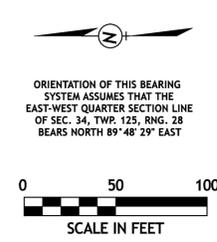
**Narrative for Conceptual Layout**

The improvements shown hereon are conceptual. The intent is to show that an office building of reasonable size and the required parking spaces for such a building will fit on each lot while allowing space for stormwater treatment on each lot. It must be understood that the actual proposed improvements for each lot will likely vary from that shown on this concept drawing.

The configuration of LeSauk Drive as shown was provided by the City of Sartell. This configuration represents the anticipated realignment and reconstruction of Le Sauk Drive, which is not part of this proposed plat.

Refer to the conceptual grading and utility plan submitted as part of this preliminary plat for more information regarding the conceptual storm water drainage and utility service connections to these lots.

It is intended that once definitive proposed improvements for each lot are known that a full set of civil engineered plans will be submitted to the City as are required for the site plan approval process on a lot by lot basis.



NO.	REVISIONS SINCE INITIAL DATE OF 3/24/2025	DATE
1	ADDED DRAINAGE EASEMENT TO LOT 1	3/25/2025



**KRAMER LEAS DELEO**  
SURVEYING • ENGINEERING • PLANNING  
BRAINEERD ST. CLOUD

1120 Industrial Park Road  
Brainerd, MN 56401  
218-828-0333

13 North 11th Avenue  
St. Cloud, MN 56303  
320-259-1290

I HEREBY CERTIFY THAT THIS PLAN, SURVEY, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

Signature: *Samuel J. DeLeo* 3/25/2025  
Samuel J. DeLeo, MN License No. 40341 Date

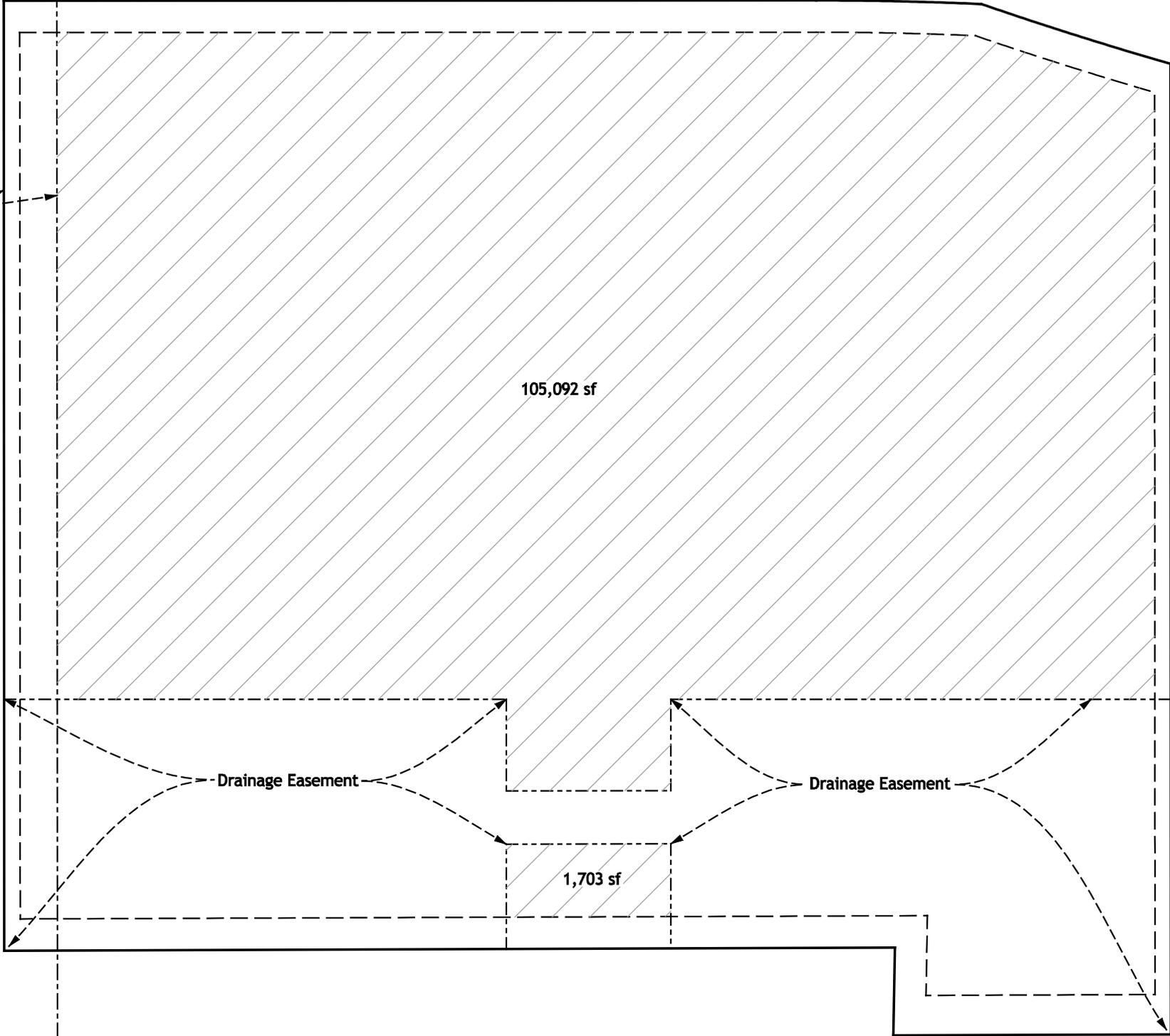
PROJECT NO. INVEP2501

Preliminary Plat (Concept Realignment Lesauk Dr.)

## VANTAGE POINT

For PID: 17.09237.0000  
Le Sauk Township, County of Stearns, State of Minnesota  
Located in Section 34, Township 125 North, Range 28 West

20 foot wide  
Sanitary Sewer and  
Storm Surface  
Drainage Easement  
per Doc. No. 1269753



105,092 sf

Drainage Easement

Drainage Easement

1,703 sf

Request has been successfully updated.

# Preliminary Plat

Print

Del

**Submitted by:** Douglas Boser

**Submitted On:** 2025-03-24 14:42:58

**Submission IP:** 64.32.36.81 (172.31.29.67)  
proxy-IP (raw-IP)

**Status:** Accepted

**Priority:** Normal

**Assigned To:** Kari Haakonson

**Due Date:** Open

## Attachments

- [Legal Description.Vantage Point.docx](#) - 2025-03-24 02:42:59 pm
- [Plat Prelim 2025.03.24 22x34.pdf](#) - 2025-03-24 02:43:01 pm

# Preliminary Plat Application

## Fees:

**Residential:** \$800.00 + \$35.00 per lot for the first 80 lots; plus \$90.00 Stearns County Fee, if located within Benton County plus \$600; plus \$20.00 per lot each lot over 80

**Commercial:** \$800.00 + \$200.00 per lot for the first 10 lots; plus \$90.00 Stearns County fee, if located within Benton County plus \$600; plus \$50.00 per lot each lot over 10

***This fee covers original review and second review. If additional plat draft reviews are required, supplemental fees to cover City Staff and Engineering time will be charged to the applicant.***

## \* Application Date

03/24/2025

Format: MM/DD/YYYY

## \* Applicant First Name

Douglas

## \* Applicant Last Name

Boser

## Phone

3209802300

## \* Email

dboser@inventureproperties.com

## \* Address

3105 1st Street South

## \* City

Sartell

## \* State

Minnesota

## \* Zip Code

56301

**Fee Owner (If different than the applicant)**

KB Sartell Holdings LLC

**\* Project/Development Name**

Vantage Point

**Property Identification Number (PID)**

17.09237.0000

**\* Legal Description of Property (attach as a word document)**

No file chosen

The Legal Description of Property (attach as a word document) field is required

**\* Preliminary Plat**

No file chosen

The Preliminary Plat field is required

**PROCEDURE FOR PRELIMINARY PLAT APPROVAL**

To facilitate the handling of plats and to establish a definite procedure for the consideration of the problems involved in preparing and recording a plat, the following procedure is approved by the governing body and includes a concept plan, build out plan, preliminary plat and final plat as defined below.

**Prior to the development or any parcel within the City, all properties with meets and bounds legal description must follow the City's concept plan and preliminary and final platting procedures.**

**One (1) large-scale copy and one electronic copy of the Preliminary Plat and Supportive Information is required to be submitted with the Preliminary Plat Application.**

PRELIMINARY PLAT DATA REQUIREMENTS: The preliminary plat shall contain, but not limited to the following data. The Community Development Director or his/her designee may exempt an applicant from the submission of data which is not considered relevant to the application.

*A. Proposed Conditions:*

1. The proposed name of the subdivision; names shall not duplicate or be alike in pronunciation to the name of any plat theretofore recorded in Stearns/Benton County. If the plat is not for a subdivision, the proposed name is not required. Platting is required to obtain a street address.
2. Location of boundary lines in relation to a known section, quarter section or quarter-quarter section lines comprising a legal description of the property.
3. Name, Address, phone number and where applicable license number of the record owner(s), any agent having control of the land, the applicant, land surveyor, engineer and designer of the plan.
4. Graphic scale of one (1) inch to one hundred (100) feet, except as specifically approved by the Planning and Community Development Director or his/her designee.
5. North point and key map of the area, showing well-known geographical points for orientation including streets within a one-half (1/2) mile radius.
6. Date of preparation.
7. The legal description of the land contained within the subdivision including the total acreage of the proposed subdivision. The legal description shall also be provided in an electronic form (word document) at the time of the application.
8. An indication as to which lands are registered torrens property or abstract property. If land is registered property, a registered land survey shall be required.
9. A list of any liens or encumbrances.
10. Elevation benchmarks used for the topographic survey and datum on which they are based.
11. Reference to the coordinate system use for the survey.
12. Results of site evaluation, including percolation tests and soil borings.

*B. Existing Conditions:*

1. Boundary lines to include bearings, distances, curve data, and total acreage of proposed plat, clearly indicated.
2. Existing zoning classifications for land in and abutting the subdivision.
3. Total area of the proposed plat.
4. Location, right-of-way width and names of existing or platted streets or other public ways, parks and other public lands, permanent buildings and structures, easements and section, corporate and school district lines within the plan, to a distance of one hundred fifty

(150) feet beyond the plat.

5. Location, size, and elevations of existing sewers, water mains, culverts or other underground facilities within the preliminary plat area and to a distance of one hundred fifty (150) feet beyond. Such data as top grades and locations of catch basins, manholes, elevations, invert elevations, hydrants and the street pavement width and type also shall be shown.
6. Boundary lines of adjoining un-subdivided or subdivided land, within one hundred fifty (150) feet of the plat, identified by name and ownership, including all contiguous land owned or controlled by the applicant.
7. Topographic data, including contours at vertical intervals of not more than one (1) foot shown on a contour/topographic map. Watercourses, marshes, wooded areas, rock outcrops, power transmission poles and lines, and other significant features also shall be shown. U. S. G. S. datum shall be used for all topographic mapping.
8. Base flood elevations, the regulatory flood protection, and boundaries of floodway and flood fringe areas, if known, taking into consideration the Flood Insurance Study and Flood Insurance Rate Map.
9. A statement certifying the environmental condition of the site including the presence of any hazardous substance as defined in Minnesota Statutes 115B.02, Subd. 8. Such statement may be required to be based upon an environmental assessment of the site by an environmental engineering firm acceptable to the City.
10. Geotechnical data prepared by a qualified soils engineer showing surface and subsurface soils and groundwater elevations in sufficient detail to show the site to be suitable for the development proposed.
11. A vicinity map at, at least 4" x 4" in size on the full size plans, to the Planning Commission showing the relationship of the proposed subdivision to adjacent properties, roads, right-of-ways, and other property and subdivision within three hundred-fifty feet (350) of the proposed subdivision, and the relation of the plat to the surrounding zoning districts.
12. All existing survey monuments that have been found.
13. Areas in the plat which have been designated as shoreland, delineated wetlands and/or floodplains by the Department of Natural Resources, including the high water level of all wetlands.

*C. Proposed Design Features:*

1. Layout of proposed streets showing the right-of-way widths, centerline gradients, roadway widths, typical cross-sections, and proposed names of streets in conformance with City of Sartell street identification policies. The name of any street heretofore used in the City or its vicinity shall not be used unless the proposed street is a logical extension of an already named street, in which event the same name shall be used.
2. Locations and widths of proposed alleys and pedestrian ways.
3. A utility plan shall be prepared and signed by a licensed engineer showing the Locations and size of proposed street lighting, storm sewer, sanitary sewer lines, water mains, culverts and other stormwater facilities or underground facilities within the subject property and to a distance of one hundred fifty (150) feet beyond the outside boundary of the proposed plat. Data such as grades, invert elevations and location of catch basins, manholes and hydrants shall also be shown. If the development is proposed in a Large Lot Residential zone and utilizes well and septic, applicant will provide such other information as the City deems necessary, including but not limited to identification of a primary and secondary septic site for each lot, well study reports, and fire protection well/hydrant plans.
4. Alignment and profile of proposed streets, storm sewer, sanitary sewer lines and water mains.
5. Location, dimension and purpose of all easements.
6. Layout, numbers, lot areas and preliminary dimensions of lots and blocks, and outlots. The total number of proposed lots, their minimum, maximum and average size in square footage.
7. Minimum front and side street building setback lines.
8. When lots are located on a curve, the width of the lot at the building setback line.
9. Building pads intended for construction, including the type of structure and low floor, low opening and garage floor elevations and driveway slope percentage.
10. Areas, other than streets, alleys, bikeways, pedestrian ways and utility easements, intended to be dedicated or reserved for public use, including the size of such an area or areas in acres.
11. The proposed location and sizing of public water system mains and service connections.
12. The proposed location and routing of public sewer mains and service connections
13. Preliminary grading plan prepared and signed by a licensed engineer with minimum one (1) foot contours which shall include the proposed grading and drainage of the site: prior to, during and post-construction. The preliminary grading plan shall include, but not be limited to, the illustration of provisions for erosion control, hydrology calculations and drainage. Also to be stipulated are the garage floor, first floor, lowest opening and lowest floor elevations of all structures. The grading plan must meet the following criteria:
  - a. Any new development (preliminary or final) or redevelopment will maintain minimum building openings three (3') feet above the calculated high water elevation. However, this three (3') foot freeboard requirement can be lowered to two (2') feet if the following can be demonstrated.
    - i. That within the two foot (2') freeboard area, stormwater storage is available which is equal to or exceeds 50% of the stormwater storage currently available in the basin below the calculated high water level.
    - ii. That a 25% obstruction of the basin outlet over a 24-hour period would not result in more than one foot (1') of additional bounce in the basin.
    - iii. An adequate overflow route from the basin is available that will provide assurance that one foot (1') freeboard will be maintained for the proposed low building opening.
  - b. Require setting minimum basement floor elevations to an elevation that meets one of the following criteria:
    - iv. The basement floor shall be four feet (4') above the currently observed groundwater elevations in the area (FHA policy).
    - v. The basement floor shall be one foot (1') foot above the known historic high groundwater elevations in the area. Historic high groundwater elevations can be derived from any reasonable sources, including piezometer data, soil boring data and

percolation testing logs.

vi. The basement floor shall be one (1) foot above the 100-year high-water elevation for the area and the basement floor will be one (1') foot above the highest anticipated groundwater elevation that could result from high surface water elevations elevating groundwater elevations in the area during a 100-year critical duration rainfall event. The impact of the high surface water elevations on groundwater elevations in the vicinity of the structure can take into consideration the site's distance from wetlands, floodplains and stormwater ponds, the soil type, the normal water elevation surface depressions in the area, the static groundwater table and the historic water elevations in the area.

14. The location, size and proposed improvements for proposed parks, playgrounds and public open spaces; churches or school sites or other special uses of land to be considered for dedication to public use or to be reserved by deed of covenant for the use of all property owners in the subdivision and any conditions of such dedication or reservation.
15. Proposed pedestrian ways, sidewalks, trails, drainage easements and utility easements.
16. Drainage calculations for 2, 10 and 100-year storm events and 10-day snow melt events in a HydroCad format.
17. Proposed plan for surface water management, ponding, drainage and flood control, including normal water level and high water level of all ponds and watercourses.
18. Emergency overflow elevations and overland overflow routes.
19. In addition to the paper copy submittals, all information shall be submitted in electronic format to allow the city to review it electronically. All drawings shall be provided in AutoCAD or MicroStation format and a scalable PDF format.
20. The items listed in this section shall be in conformance with all other applicable sections of this Ordinance and the Sartell Zoning Ordinance (Title 10).

***D. Supplementary Information:* Any or all of the supplementary information requirements set forth in this subsection shall be submitted when deemed necessary by the City staff, consultants, advisory bodies and/or the City Council to adequately address the application and site in question.**

1. If the developer is contemplating financing under Mn. Stat. Chapter 429, an official request to the City Council for the uses of said financing and the Council's approval of the drafting of a feasibility report.
2. A build-out plan as defined by the City and/or its assigns.
3. Proposed protective covenants or private restrictions.
4. Proposed phasing/staging plan for any project involving more than one construction season which sets forth the chronological order of construction and relates the proposed uses and structures to the construction of various service facilities and gives estimated completion dates.
5. A listing of all required federal, state and City permits and status of applications. This includes a wetland permit if there are proposed impacts to wetlands on the property being platted.
6. A plat overlay on an aerial photo, illustrating the relationship of the proposed subdivision to the surrounding area.
7. An analysis prepared by a qualified person identifying tree coverage in the proposed subdivision in terms of type, weakness, maturity, potential hazard, infestation, vigor, density and spacing. A vegetation preservation and protection plan that shows those trees proposed to be removed, those to remain, the types and locations of trees and other vegetation that are to be planted may also be required.
8. Statement of the proposed use of lots stating type of buildings with number of proposed dwelling units or type of business or industry, so as to reveal the effect of the development on traffic, fire hazards, and congestion of population. The City may require the applicant to have formal traffic or other studies performed to the City's satisfaction which show the effect of the proposed development on traffic, fire hazards, congestion, or other matters of public concern.
9. If any zoning changes are contemplated, the proposed zoning plan for the areas, including dimensions, shall be shown. Such proposed zoning plan shall be for information only and shall not vest any rights in the applicant.
10. A plan for soil erosion and sediment control both during construction and after development has been completed. The plan shall include gradients of waterways, design of velocity and erosion control measures, design of sediment control measures, and landscaping of the erosion and sediment control system. Such plans are to be in accordance with the technical standards and specifications of the Soil Conservation Service, as provided by Stearns/Benton County Soil and Water Conservation District Office.
11. An environmental review shall be submitted if the City, City consultants or other groups or agencies determine that one is required by law or if it is determined that a discretionary review is appropriate.
12. Applications, statements and supporting documentation and plans for rezoning, variances, conditional use permits or planned unit development approvals being sought for the subdivision.
13. Such other applicable information as may be required by the City.

. . .

**NOTE: PRELIMINARY AND FINAL PLAT APPROVAL IS ALSO SUBJECT TO PARK DEDICATION REQUIREMENTS, SEWER AND WATER ACCESS CHARGES AND SEWER, WATER AND STORM TRUNK FEES.**

*PARK DEDICATION REQUIREMENTS (To be paid at final plat approval):*

Single Family Home - 1,150 square foot per unit or \$978.00 per unit (Payment in Lieu)

Multi-Family Developments - 1,150 square foot per unit or \$978.00 per unit (Payment in Lieu)

Commerical Developments - 5% land or \$1.64 per square foot (Payment in Lieu)

If the preliminary plat is not approved by the City Council, the reasons for such action shall be recorded in the proceedings and transmitted to the applicant.

***Sartell strongly recommends that you review the Title 10 - Zoning Regulations and Title 11 - Subdivision Regulations prior to the submittal of the Preliminary Plat. Also, also discussing with the adjacent property owners before a formal application is recommended.***

. . .

This application must be signed by all owners of the subject property or an explanation given why this is not the case.

We, the undersigned, have read and understand the above.

**\* E-Signature of Applicant**

Douglas J. Boser

---

"I understand that I am signing the Preliminary Plat Application and I agree to all the terms and conditions of the form."

**E-Signature of Owner(s)**

---

If different than the applicant.

# VANTAGE POINT

KNOW ALL PERSONS BY THESE PRESENTS:

That KB SARTELL HOLDINGS, LLC, a Minnesota limited liability company, owner of the following described property situated in the City of Sartell, County of Stearns, State of Minnesota to wit:

All that portion of Lot 20, Auditor's Subdivision No. 2, Section 34, Township 125 Range 28, lying northwesterly of the former right of way of State Trunk Highway 15, the northwesterly line of said former right of way of State Trunk Highway 15 being the same as the northwesterly line of LeSauk Drive;

EXCEPTING THEREFROM the following parcel:

That part of Lot 20, Auditor's Subdivision No. 2, Stearns County, Minnesota, according to the plat thereof described as follows: Beginning at the intersection of the North line of said Lot 20, with the northwesterly right of way line of LeSauk Drive (frontage road) thence South 89 degrees 45 minutes 32 seconds west on an assumed bearing along the north line of said Lot 20, a distance of 167.05 feet; thence southeasterly a distance of 75.64 feet along a non-tangential curve concave to the northeast, having a radius of 133.00 feet and a central angle of 32 degrees 35 minutes 04 seconds, the chord of said curve bears south 41 degrees 46 minutes 18 seconds east; thence south 58 degrees 03 minutes 50 seconds east, tangent to said curve, a distance of 68.14 feet, more or less to the intersection with said northwesterly right of way line; thence northeasterly a distance of 109.94 feet along said northwesterly right of way line and along a non-tangential curve concave to the southeast having a radius of 1482.39 feet and a central angle of 04 degrees 14 minutes 57 seconds the chord of the last described curve bears north 32 degrees 47 minutes 07 seconds east, to the point of beginning.

Has caused the same to be surveyed and platted as VANTAGE POINT and does hereby dedicate to the public for public use forever the public ways and drainage and utility easements as created by this plat.

In witness whereof said KB SARTELL HOLDINGS, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Douglas J. Boser  
Position 1

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by Douglas J. Boser, Position 1, of KB SARTELL HOLDINGS, LLC, a Minnesota limited liability company, on behalf of the company.

(Notary Signature) \_\_\_\_\_ (Notary Printed Name)

Notary Public \_\_\_\_\_ County, Minnesota

My commission expires \_\_\_\_\_

CITY OF SARTELL

This plat of VANTAGE POINT was approved and accepted by the City of Sartell, Minnesota, at a regular meeting thereof held this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

CITY COUNCIL OF SARTELL, MINNESOTA:

By \_\_\_\_\_, Mayor

By \_\_\_\_\_, Administrator

STEARNS COUNTY

I hereby certify that in accordance with Minnesota Statutes, Section 505.021 Subd. 11, this plat has been examined this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Stearns County Surveyor,  
Minnesota License Number \_\_\_\_\_

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Stearns County Auditor / Treasurer

Deputy Auditor / Treasurer

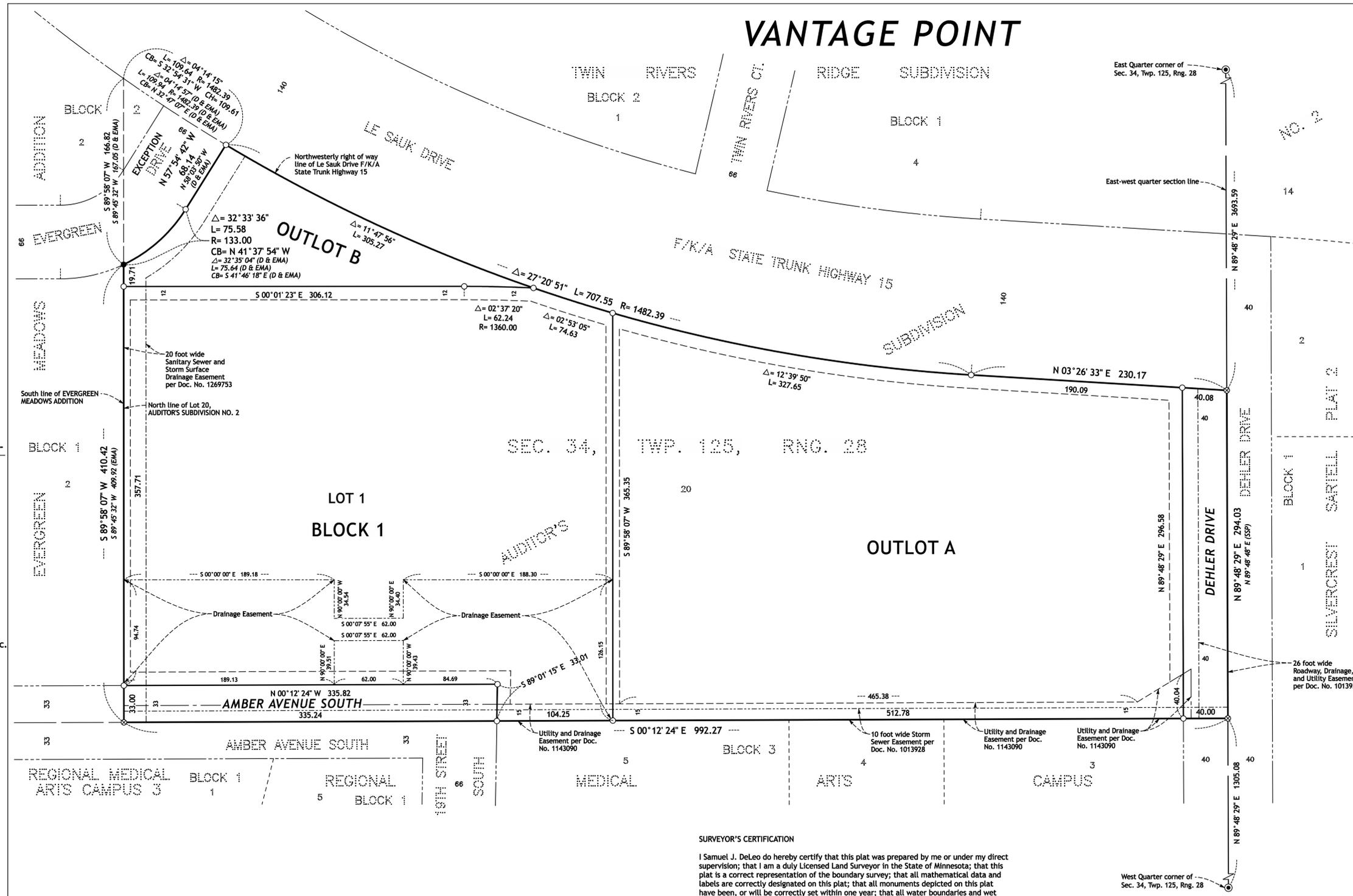
Tax Parcel Number: \_\_\_\_\_

I hereby certify that this instrument was filed for record in the Office of the County Recorder in and for Stearns County, Minnesota on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., as Document No. \_\_\_\_\_ in Plat Cabinet \_\_\_\_\_ No. \_\_\_\_\_.

Stearns County Recorder

Deputy Recorder

3/25/2025  
**DRAFT**



PLAT AREAS +/-  
ENTIRE PLAT = 8.45 Ac.  
BLOCK 1 -  
LOT 1 = 3.66 Ac.  
OUTLOT A = 3.77 Ac.  
OUTLOT B = 0.49 Ac.  
ROAD R/W = 0.53 Ac.

**SURVEYOR'S CERTIFICATION**  
I Samuel J. DeLeo do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

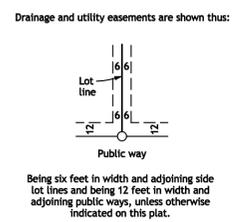
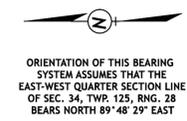
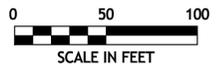
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Samuel J. DeLeo, Licensed Land Surveyor  
Minnesota License Number 40341

STATE OF MINNESOTA  
COUNTY OF STEARNS  
The foregoing Surveyor's Certification was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by Samuel J. DeLeo, Licensed Land Surveyor, Minnesota License Number 40341.

Sidney Theis  
Notary Public Stearns County, Minnesota  
My commission expires January 31, 2027

- PROPERTY BOUNDARY MONUMENT LEGEND**
- SET IRON PIPE WITH CAP STAMPED "DELEO 40341"
  - FOUND IRON MONUMENT
  - ⊗ SET MAGNETIC "PK" NAIL
  - ⊙ GOVERNMENT SECTION CORNER MONUMENT
  - (D) DIMENSION PER DEED OF RECORD
  - (EMA) DIMENSION PER PLAT OF EVERGREEN MEADOWS ADDITION
  - (SSP) DIMENSION PER PLAT OF SILVERCREST SARTELL PLAT 2



Request has been successfully updated.

# Final Plat

Print

Del

**Submitted by:** Douglas Boser

**Submitted On:** 2025-03-24 15:29:31

**Submission IP:** 64.32.36.81 (172.31.71.138)  
proxy-IP (raw-IP)

**Status:** Accepted

**Priority:** Normal

**Assigned To:** Kari Haakonson

**Due Date:** Open

## Attachments

- [Legal Description.Vantage Point.docx](#) - 2025-03-24 03:29:32 pm
- [Plat Final draft 2025.03.21 22x34.pdf](#) - 2025-03-24 03:29:33 pm

# Final Plat Application

**Fee: \$600**

**\* Application Date**

03/24/2025

Format: MM/DD/YYYY

**\* Applicant First Name**

Douglas

**\* Applicant Last Name**

Boser

**Phone**

3209802300

**\* Email**

dboser@inventureproperties.com

**\* Address**

3105 1st Street South

**\* City**

Sartell

**\* State**

Minnesota

**\* Zip Code**

56301

**Fee Owner (If different than the applicant)**

KB Sartell Holdings LLC

**\* Project/Development Name**

Vantage Point

**Property Identification Number (PID)**

17.09237.0000

## Project Location

---

### \* Legal Description of Property (attach as a word document)

Choose File No file chosen

The Legal Description of Property (attach as a word document) field is required

### \* Final Plat

Choose File No file chosen

The Final Plat field is required

. . .

## PROCEDURE FOR FINAL PLAT APPROVAL

A Final Plat is a drawing representing the proposed subdivision or land or parcel development, or redevelopment within the City and serves as the document for recording purposes, as required by the County Recorder's Office. Once a Preliminary Plat has been approved by the City Council, the developer may submit a request for Final Plat approval. In certain cases the City may allow a Final Plat to be submitted concurrent with a request for Preliminary Plat approval.

*The Final Plat application shall be submitted three (3) weeks prior to the next Planning Commission meeting!*

**Prior to the development or any parcel within the City, all properties with meets and bounds legal description must follow the City's concept plan and Preliminary and Final platting procedures.**

***One (1) large-scale copy and one electronic copy of the Final Plat and Supportive Information is required to be submitted with the Final Plat Application.***

### FINAL PLAT PROCESS:

1. When the City has agreed to install improvements in a development, the developer may be required to furnish a financial statement satisfactory to the City indicating the developer's ability to develop the plat.
2. The final plat shall be considered as being officially submitted only when all of the information requirements are complied with and the appropriate fees paid. If the Planning and Community Development Director or his/her designee determines the application is incomplete, the applicant shall be notified of all deficiencies in the application, in writing within fifteen **(15)** calendar days of receipt of the application. The Council shall approve or disapprove the final plat within sixty **(60)** days following the receipt of a completed application, unless an extension of the review period has been approved.
3. Prior to recoding of the Final Plat, the applicant shall have executed a Development Agreement with the City, which controls the installation of all required improvements and assures compliance with all conditions of approval. Said agreement will require all improvements and approval conditions to comply with approved engineering standards and applicable regulations.

. . .

## RECORDING OF THE FINAL PLAT

Upon receiving an approved Final Plat, the designated representatives of the City shall sign the plat, and the applicant, as a condition of approval, shall record the approved and signed Final Plat with the County Recorder within one hundred and eighty days (180) unless otherwise determined and indicated within the Development Agreement.

**The final plat shall not be released by the City for recording with the County Recorder's Office until the following have been completed:**

1. The recording of signatures upon the plat.
2. The recoding of signatures upon the Developer's Agreement.
3. The submittal of necessary financial guarantees and development fees to the City.

4. The provisions of easements or deeds as may be required by the City for trailways, ponding, parks, utilities or similar purposes.

**Recording of the Final Plat and supporting documents. At the discretion of City Staff, it shall be the responsibility of the City to file the plat and supporting documents with the County Recorder's Office. The developer will be responsible for all recording related costs.**

The applicant shall, within thirty (30) days of recording, furnish the City with one (1) MyLar of the Final Plat and one electronic copy, showing evidence of the recording.

. . .

FINAL PLAT DATA REQUIREMENTS: *As required by Section 11-3-9 of the Subdivision Regulations, the applicant shall submit a Final Plat together with any necessary supplementary information. The Final Plat, prepared for recording purposes, shall be prepared in accordance with provisions of Minnesota State Statutes and Stearns/Benton County regulations, and such final plat or accompanying submittals shall contain the following information:*

1. Name of the subdivision, which shall not duplicate or too closely approximate the name of any existing plat theretofore recorded in the City of Sartell or its vicinity and which shall be subject to City Council approval, or the address of the developed parcel.
2. Location by section, township, range, county and state, and including descriptive boundaries of the subdivision.
3. The location of monuments shall be shown and described on the final plat. Locations of such monuments shall be shown in reference to existing official monuments on the nearest established street lines, including true angles and distances to such reference points or monuments. The applicant shall provide coordinating data on all subdivision monumentation in a format approved by the City Engineer.
4. Location of lots, outlots, streets, public highways, alleys, and parks and other features, with accurate dimensions in feet and decimals of feet, with the length of radii and/or arcs of all curves, and with all other information necessary to reproduce the plat on the ground shall be shown. Dimensions shall be shown from all angle points of curve to lot lines.
5. Lots shall be numbered clearly, blocks are to be numbered, with numbers shown clearly in the center of the block.
6. A drawing or listing of total square footage per lot, acreage per block, square footage or acreage of each land use proposed (where applicable) and total acres in the plat.
7. The exact locations, widths and names of all streets to be dedicated.
8. Location, purpose and width of all easements to be dedicated.
9. Name, address and phone number of surveyor making the plat.
10. Scale of the plat to be one inch to one hundred feet (1"=100'—the scale to be shown graphically on a bar scale), date and north arrow.
11. A current abstract of title or a registered property certificate along with any unrecorded documents that are subject to review and approval by the City Council.
12. Copies of any protective or restrictive covenants affecting the subdivision or any part thereof.
13. Statement dedicating all easements as follows: Easements for installation and maintenance of utilities and drainage facilities are reserved over, under and along the designated areas marked "drainage and utility easements".
14. Statement dedicating all streets, alleys and other public areas not previously dedicated as follows: Streets, alleys and other public areas shown on this plat and not heretofore dedicated to public use hereby so dedicated.
15. Other data: Such other information that shall be required by the City following final plat approval, including but not limited to:
  - a. A signed Development Agreement approved by the City which includes provisions for a financial guarantee of cash escrow or letter of credit, as provided for in Section 11.6.16 of this Ordinance.
  - b. A complete set of construction plans and specifications to construct the required public improvements and to make the subdivision suitable for development, which conform to the City requirements (11-3-8-C). These documents will be prepared by the City for projects following the publicly financed public improvement process.
  - c. A certified Mylar copy of the plat evidencing filing of the plat with the County within sixty (60) days after approval by the City. No building permits shall be approved for construction of any structure on any lot in said plat until the City has received evidence of the plat being recorded by Stearns/Benton County.
  - d. Three complete sets of 11" x 17" reproducible as-built construction drawings for any public improvements constructed in the subdivision shall be furnished to the City for the City files and City Engineer, within one hundred and twenty (120) days after the construction is complete and approved by the City. In addition one digital GIS formatted copy and one scanned copy for imaging shall be submitted to the City.
  - e. Upon adoption and filing of a final plat, the City shall prepare a street address map and distribute it to the applicant, utility companies, police department, ambulance, fire department, post office and County.

**Space for the certificate of approval and review to be filled in by the signatures of the Mayor and City Administrator in the following form:**

FOR APPROVAL OF THE CITY OF SARTELL:

*This plat of (name of plat) was approved and accepted by the City of Sartell, Minnesota, at a regular meeting thereof held this \_\_\_\_\_ day of \_\_\_\_\_, . \_\_\_\_\_.*

CITY COUNCIL OF SARTELL, MINNESOTA

By \_\_\_\_\_, Mayor

By \_\_\_\_\_, Administrator

. . .

**NOTE: FINAL APPROVAL IS ALSO SUBJECT TO PARK DEDICATION REQUIREMENTS, SEWER AND WATER ACCESS CHARGES (SAC&WAC) AND STORMWATER TRUNK FEES**

*For estimates on SAC&WAC and building permit fees submit a request for estimates which can be found by clicking [here](#).*

*For estimates on Trunk fees contact the City at 320-258-7312. Trunk fees are due prior to recording of the Final Plat.*

Water Trunk Charge: \$2,546 per acre

Sewer Trunk Charge: \$2,546 per acre

Storm Trunk Charge:

\$0.100 per square foot - Single Family Residential

\$0.134 per square foot - Multi Family Residential

\$0.200 per square foot - Commerical/Industrial

*PARK DEDICATION REQUIREMENTS (To be paid at final plat approval):*

Single Family Home - 1,150 square foot per unit or \$978.00 per unit (Payment in Lieu)

Multi-Family Developments - 1,150 square foot per unit or \$978.00 per unit (Payment in Lieu)

Commerical Developments - 5% land or \$1.64 per square foot (Payment in Lieu)

. . .

***The City of Sartell strongly recommends that you review the Title 10 - Zoning Regulations and Title 11 - Subdivision Regulations prior to the submittal of the Final Plat.***

This application must be signed by all owners of the subject property or an explanation given why this is not the case.

We, the undersigned, have read and understand the above.

**\* E-Signature of Applicant**

Douglas J. Boser

\_\_\_\_\_  
"I understand that I am signing the Final Plat Application and I agree to all the terms and conditions of the form."

**E-Signature of Owner(s)**

\_\_\_\_\_  
If different than the applicant.

PLANNING AND ZONING COMMISSION  
CITY OF SARTELL, MINNESOTA

RESOLUTION NO. \_\_\_\_\_

RESOLUTION OF THE PLANNING AND ZONING COMMISSION FINDING THE  
MODIFICATION TO THE DEVELOPMENT PROGRAM FOR DEVELOPMENT  
DISTRICT NO. 5 AND THE TAX INCREMENT FINANCING PLAN FOR TAX  
INCREMENT FINANCING DISTRICT NO. 5-7 CONFORM TO THE GENERAL PLAN  
FOR THE DEVELOPMENT AND REDEVELOPMENT OF THE CITY

WHEREAS, the City of Sartell, Minnesota (the “City”) has heretofore prepared a Development Program for Development District No. 5 (the “Development Program”), which Program was approved by the Planning and Zoning Commission pursuant to Minnesota Statutes, Section 469.126; and

WHEREAS, the City proposes to establish Tax Increment Financing District No. 5-7 (the “TIF District”) within Development District No. 5; and

WHEREAS, the City has prepared a Modification to the Development Program (the “Development Program Modification”) and has prepared a Tax Increment Financing Plan (the “TIF Plan”) for the TIF District and has submitted the Development Program Modification and the TIF Plan to the to the City Planning and Zoning Commission pursuant to Minnesota Statutes Section 469.126 and Section 469.175, Subd. 3, and

WHEREAS, the Planning and Zoning Commission has reviewed said Development Program Modification and TIF Plan to determine its conformity to the general plan for the development or redevelopment of the City as described in the comprehensive plan for the City; and

WHEREAS, the Planning and Zoning Commission is in agreement with the Development Program Modification and the TIF Plan.

NOW, THEREFORE, BE IT RESOLVED by the Planning and Zoning Commission of the City of Sartell, Minnesota that the proposed Development Program Modification and the TIF Plan conform to the general plan for the development or redevelopment of the City as a whole and the Commission recommends the Development Program Modification and the TIF Plan to the City Council of the City of Sartell for its approval.

Adopted by the Planning and Zoning Commission of the City of Sartell, this 7<sup>th</sup> day of April, 2025.

\_\_\_\_\_  
Chair  
Planning and Zoning Commission of the  
City of Sartell, Minnesota