



AGENDA

REGULAR MEETINGS OF THE SANTA FE SPRINGS PUBLIC FINANCING AUTHORITY WATER UTILITY AUTHORITY HOUSING SUCCESSOR SUCCESSOR AGENCY AND CITY COUNCIL

September 5, 2023
6:00 P.M.

Annette Rodriguez, Councilmember
William K. Rounds, Councilmember
Joe Angel Zamora, Councilmember
Jay Sarno, Mayor Pro Tem
Juanita Martin, Mayor

Council Chambers
11710 Telegraph Road
Santa Fe Springs, CA 90670

You may attend the City Council meeting telephonically or electronically using the following means:

Electronically using Zoom: Go to Zoom.us and click on "Join A Meeting" or use the following link:

<https://zoom.us/j/521620472?pwd=U3cyK1RuKzY1ekVGZFdKQXNZVzh4Zz09>

Zoom Meeting ID: 521620472

Password: 659847

Public Comment: The public is encouraged to address City Council on any matter listed on the agenda or on any other matter within its jurisdiction. If you wish to address the City Council, please use the "Raise Hand" function via Zoom once the Mayor opens Public Comment during the meeting. You may also submit comments in writing by sending them to the City Clerk's Office at cityclerk@santafesprings.org. All written comments received by 12:00 p.m. the day of the City Council Meeting will be distributed to the City Council and made a part of the official record of the meeting. Written comments will not be read at the meeting, only the name of the person submitting the comment will be announced.

Pursuant to provisions of the Brown Act, no action may be taken on a matter unless it is listed on the agenda, or unless certain emergency or special circumstances exist. The City Council may direct staff to investigate and/or schedule certain matters for consideration at a future City Council meeting.

Americans with Disabilities Act: In compliance with the ADA, if you need special assistance to participate in a City meeting or other services offered by this City, please contact the City Clerk's Office. Notification of at least 48 hours prior to the meeting or time when services are needed will assist the City staff in assuring that reasonable arrangements can be made to provide accessibility to the meeting or service.

SB 1439: Effective January 1, 2023, City Council Members are subject to SB 1439 and cannot participate in certain decisions for a year after accepting campaign contributions of more than \$250 from an interested person. The Council Member would need to disclose the donation and abstain from voting.

Please Note: Staff reports, and supplemental attachments, are available for inspection at the office of the City Clerk, City Hall, 11710 E. Telegraph Road during regular business hours 7:30 a.m.-5:30 p.m., Monday-Thursday and every other Friday. Telephone: (562) 868-0511.

1. CALL TO ORDER

2. ROLL CALL

Annette Rodriguez, Councilmember
William K. Rounds, Councilmember
Joe Angel Zamora, Councilmember
Jay Sarno, Mayor Pro Tem
Juanita Martin, Mayor

3. INVOCATION

4. PLEDGE OF ALLEGIANCE

5. INTRODUCTIONS

PRESENTATIONS

6. Recognition of Donors for Back to School Backpack Program

7. Recap of 2023 Summer Concert Series

8. Presentation from the Greater Los Angeles Area Council Boy Scouts of America

9. PUBLIC COMMENTS *This is the time when comments may be made by members of the public on matters within the jurisdiction of the City Council, on agenda and non-agenda items. The time limit for each speaker is three minutes unless otherwise specified by the Mayor.*

10. STAFF COMMUNICATIONS ON ITEMS OF COMMUNITY INTEREST

PUBLIC FINANCING AUTHORITY

CONSENT AGENDA

Consent Agenda items are considered routine matters which may be enacted by one motion and vote. Any item may be removed from the Consent Agenda and considered separately by the Public Financing Authority.

11. Minutes of the August 15, 2023 Public Financing Authority Meetings

Recommendation: It is recommended that the Public Financing Authority:

1. Approve the minutes as submitted.

12. Monthly Report on the Status of Debt Instruments Issued through the City of Santa Fe Springs Public Financing Authority (PFA)

Recommendation: It is recommended that the Public Financing Authority:

1. Receive and file the report.

WATER UTILITY AUTHORITY

CONSENT AGENDA

Consent Agenda items are considered routine matters which may be enacted by one motion and vote. Any item may be removed from the Consent Agenda and considered separately by the Water Utility Authority.

13. [Minutes of the August 15, 2023 Water Utility Authority Meetings](#)

Recommendation: It is recommended that the Water Utility Authority:

1. Approve the minutes as submitted.

14. [Monthly Report on the Status of Debt Instruments Issued through the City of Santa Fe Springs Water Utility Authority \(WUA\)](#)

Recommendation: It is recommended that the Water Utility Authority:

1. Receive and file the report.

15. [Status Update of Water-Related Capital Improvement Projects](#)

Recommendation: It is recommended that the Water Utility Authority:

1. Receive and file the report.

HOUSING SUCCESSOR

CONSENT AGENDA

Consent Agenda items are considered routine matters which may be enacted by one motion and vote. Any item may be removed from the Consent Agenda and considered separately by the Housing Successor.

16. [Minutes of the August 1 and 15, 2023 Housing Successor Meetings](#)

Recommendation: It is recommended that the Housing Successor:

1. Approve the minutes as submitted.

SUCCESSOR AGENCY

CONSENT AGENDA

Consent Agenda items are considered routine matters which may be enacted by one motion and vote. Any item may be removed from the Consent Agenda and considered separately by the Successor Agency.

17. [Minutes of the August 1 and 15, 2023 Successor Agency Meetings](#)

Recommendation: It is recommended that the Successor Agency:

1. Approve the minutes as submitted.

CITY COUNCIL

CONSENT AGENDA

Consent Agenda items are considered routine matters which may be enacted by one motion and vote. Any item may be removed from the Consent Agenda and considered separately by the City Council.

18. [Minutes of the August 1 and 15, 2023 Regular City Council Meetings](#)

Recommendation: It is recommended that the City Council:

1. Approve the minutes as submitted.

19. [Donation of Used Fire Equipment to Navajoa Fire Department](#)

Recommendation: It is recommended that the City Council:

1. Authorize the donation of a used 2005 Ford F250 Stake Bed truck and used firefighting equipment to the City of Navajoa Fire Department.
2. Take such additional, related action that may be desirable.

20. [Approval of the Fire Administrative Office Remodel Project, Fire Station No. 1](#)

Recommendation: It is recommended that the City Council:

1. Authorize the purchase and installation of DeskMakers furniture from Tangram Interiors (Attachment A) for \$102,020.79; and
2. Appropriate an additional \$66,520.79 from the General Fund to include the fire chief's office and bathroom; and
3. Award a contract (Attachment B) for \$65,700 to Southland Custom Restorations for laminate wood paneling wall removal, drywall installation, bathroom remodeling; and
4. Award a contract (Attachment C) for \$27,500 to Pacific Painting for wallpaper removal, retexture, and painting.

21. [Waive Second Reading and Adopt Ordinance Nos. 1131 and 1132, Approving Targeted Zoning Ordinance Updates, Including an Updated Zoning Map, to Ensure that the City's Zoning Ordinance and Zoning Map are Aligned with the City's 2040 General Plan](#)

Recommendation: It is recommended that the City Council:

1. Waive the Second Reading and Adopt Ordinance No. 1131, approving several targeted Zoning Ordinance updates to ensure consistency between the City's Zoning Ordinance and the City's 2040 General Plan; and
2. Waive the Second Reading and Adopt Ordinance No. 1132, approving an updated Zoning Map to ensure consistency between the City's Zoning Map and the 2040 General Plan land use map; and

3. Find and determine that the Targeted Zoning Ordinance Update project, including an updated Zoning Map, is within the scope and analysis of the original Program Environmental Impact Report (*State Clearinghouse Number: 2021050193*) prepared for the 2040 General Plan and Target Zoning Ordinance Updates. The project does not expand the proposed uses, increase intensity, or diverge from original Program EIR conclusions; therefore, no further environmental review is necessary; and
4. Take such additional, related action that may be desirable.

22. [Adopt Resolution No. 9883 – Authorizing a Joint Application and Participation in the HomeKey Program with TWC Housing LLC](#)

Recommendation: It is recommended that the City Council:

1. Adopt Resolution No. 9883 authorizing joint application and participation in the Homekey program with TWC Housing LLC (“ Co-Applicant”); and
2. Authorize Luz Constanza Pachon as the Co-Applicant Chief Executive Officer to execute any and all documents on behalf of Co-Applicant for participation in the Homekey Program; and
3. Take such additional, related action that may be desirable.

23. [Citywide Street Sweeping Agreement – Amendment One](#)

Recommendation: It is recommended that the City Council:

1. Approve Citywide Street Sweeping Agreement - Amendment One, and
2. Authorize the Mayor to enter into Citywide Street Sweeping Agreement - Amendment One with Nationwide Environmental Services (NES).

24. [Little Lake Park Parking Lot Improvements – Award of Contract](#)

Recommendation: It is recommended that the City Council:

1. Appropriate an additional \$154,000 from the Utility Users Tax (UUT) Capital Improvements Fund to the Little Lake Park Parking Lot Improvements (PW 200101);
2. Accept the bids; and
3. Award a contract to L.M.T. Enterprises Inc. dba Tyner Paving Co. of Alhambra, California in the amount of \$848,147.90.

PUBLIC HEARING

25. [Public Hearing for the approval of Alcohol Sales Conditional Use Permit Case No. 85 and Adoption of Resolution No. 9882 – an Alcohol Sales Conditional Use Permit request to allow the operation and maintenance of the storage and distribution of an alcoholic beverage use](#)

Recommendation: It is recommended that the City Council:

1. Open Public Hearing and receive the written and oral report and any comments from the public regarding Alcohol Sales Conditional Use Permit (ASCUP) Case No. 85, and thereafter, close the Public Hearing; and
2. Find that the applicant's ASCUP request meets the criteria set forth in §§155.628 and 155.716 of the City's Zoning Ordinance, for the granting of a Conditional Use Permit; and
3. Approve Alcohol Sales Conditional Use Permit Case No. 85, subject to the conditions of approval as contained within Resolution No. 9882; and
4. Adopt Resolution No. 9882, which incorporates the City Council's findings and actions regarding this matter.

OLD BUSINESS - NONE

NEW BUSINESS

26. [Traffic Study – Pioneer Boulevard at Houghton Avenue-Whiteland Street](#)

Recommendation: It is recommended that the City Council:

1. Consider the installation of Stop signs with flashing LEDs and advance flashing yellow beacons prior to the intersection of Pioneer Boulevard and Houghton Avenue-Whiteland Street;
2. Replace the existing standard Stop signs at Pioneer Boulevard/Orr and Day Road and Pioneer Boulevard 380' south of Terradell Street with flashing LED Stop signs;
3. Add the Pioneer Boulevard and Houghton Avenue-Whiteland Street improvement project to the Capital Improvement Plan;
4. Appropriate \$120,000 from the Utility Users Tax (UUT) Capital Improvement Fund to fund the Pioneer Boulevard and Houghton Avenue-Whiteland Street improvement project.

27. [Aquatic Center Improvement Project Update and Strategy to Open in Summer 2024](#)

Recommendation: It is recommended that the City Council:

1. Approve staff proceeding with 2024 summer opening of the pool (Phase 1A) while concurrently completing the amenities (Phase 1B) for 2024 Fall completion.

28. APPOINTMENTS TO BOARDS, COMMITTEES, COMMISSIONS

29. COUNCIL COMMENTS/ AB1234 COUNCIL CONFERENCE REPORTING

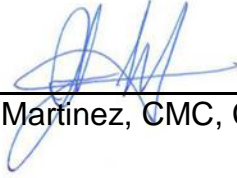
30. ADJOURNMENT

City of Santa Fe Springs

Regular Meetings

September 5, 2023

I, Janet Martinez, City Clerk for the City of Santa Fe Springs, do hereby certify under penalty of perjury under the laws of the State of California, that the foregoing agenda was posted at the following locations; City's website at www.santafesprings.org; Santa Fe Springs City Hall, 11710 Telegraph Road; Santa Fe Springs City Library, 11700 Telegraph Road; and the Town Center Plaza (Kiosk), 11740 Telegraph Road, not less than 72 hours prior to the meeting.



Janet Martinez, CMC, City Clerk

08-31-23

Date Posted

FOR ITEM NO. 11
PLEASE SEE ITEM NO. 18



CITY OF SANTA FE SPRINGS

PUBLIC FINANCING AUTHORITY AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members

FROM: René Bobadilla, P.E., City Manager

BY: Travis Hickey, Director of Finance & Administrative Services

**SUBJECT: MONTHLY REPORT ON THE STATUS OF DEBT INSTRUMENTS
ISSUED THROUGH THE CITY OF SANTA FE SPRINGS PUBLIC
FINANCING AUTHORITY (PFA)**

DATE: September 5, 2023

RECOMMENDATION(S):

It is recommended that the Public Financing Authority:

- 1) Receive and file the report.

FISCAL IMPACT

None.

BACKGROUND/DISCUSSION

The Santa Fe Springs Public Financing Authority (PFA) is a City entity that has periodically issued debt for the benefit of the Santa Fe Springs community. The following is a brief status report on the debt instruments currently outstanding that were issued through the PFA.

Consolidated Redevelopment Project 2006-A Tax Allocation Bonds

Financing proceeds available for appropriation at 8/31/2023

None

Outstanding principal at 8/31/2023

\$37,857,128

Bond Repayment

The former Community Development Commission (CDC) issued a number of tax allocation bonds before it was dissolved by State law effective February 1, 2012 which are administered by the City acting as Successor Agency under the oversight of the

Monthly Report on the Status of Debt Instruments Issued through the City of Santa Fe Springs Public Financing Authority (PFA)

Page 2 of 3

appointed Oversight Board. The Successor Agency no longer receives tax increment. Instead, distributions from the Redevelopment Property Tax Trust Fund (RPTTF) are received based on approved obligations. It is anticipated that sufficient allocations from the RPTTF will continue to be made to the Successor Agency to meet ongoing debt service obligations.

Unspent Bond Proceeds

Under an approved Bond Expenditure Agreement, unspent bond proceeds of the former CDC in the amount of approximately \$19 million were transferred to the City in July 2014. The funds are to be spent in accordance with the original bond documents. The unspent proceeds continue to be a source of funding within the City's capital improvement program (CIP).

2016 Bond Refunding

In July 2016, the Successor Agency issued its 2016 Tax Allocation Refunding Bonds, which paid off several bond issuances of the former CDC. The bonds were originally issued through the Public Financing Authority and included the 2001 Series A, 2002 Series A, 2003 Series A, the current interest portion of the 2006 Series A, and 2006 Series B bond issuances.

2017 Bond Refunding

In December 2017, the Successor Agency issued its 2017 Tax Allocation Refunding Bonds, which paid off the 2007 Tax Allocation Bonds of the former CDC. The 2007 Bonds were originally issued through the Public Financing Authority.

ANALYSIS

The report is presented for informational purposes only.

ENVIRONMENTAL

N/A

SUMMARY/NEXT STEPS

The Successor Agency will continue to request sufficient distributions from the RPTTF to make required bond payments through maturity on September 1, 2028.

ATTACHMENT(S):

None.

**Monthly Report on the Status of Debt Instruments Issued through the City of Santa
Fe Springs Public Financing Authority (PFA)**

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<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>

FOR ITEM NO. 13
PLEASE SEE ITEM NO. 18



CITY OF SANTA FE SPRINGS

WATER UTILITY AUTHORITY AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members

FROM: René Bobadilla, P.E., City Manager

BY: Travis Hickey, Director of Finance & Administrative Services

**SUBJECT: MONTHLY REPORT ON THE STATUS OF DEBT INSTRUMENTS
ISSUED THROUGH THE CITY OF SANTA FE SPRINGS WATER UTILITY
AUTHORITY (WUA)**

DATE: September 5, 2023

RECOMMENDATION(S):

It is recommended that the Water Utility Authority:

- 1) Receive and file the report.

FISCAL IMPACT

None.

BACKGROUND/DISCUSSION

The Santa Fe Springs Water Utility Authority (WUA) is a City entity that has issued debt for the benefit of the Santa Fe Springs community. The following is a brief status report on the debt instruments currently outstanding that were issued through the WUA.

Water Revenue Bonds, 2013

Financing proceeds available for appropriation at 8/31/2023	None
Outstanding principal at 8/31/2023	\$6,890,000

Water Revenue Bonds, 2018

Financing proceeds available for appropriation at 8/31/2023	None
Outstanding principal at 8/31/2023	\$610,000

WATER UTILITY AUTHORITY AGENDA REPORT – MEETING OF AUGUST 15, 2023
Monthly Report on the Status of Debt Instruments Issued through the City of Santa Fe Springs Water Utility Authority (WUA)
Page 2 of 3

In May 2013 the Water Utility Authority issued the 2013 Water Revenue Bonds in the amount of \$6,890,000. The bonds refunded the existing 2003 Water Revenue Bonds (issued through the Public Financing Authority) and provided additional funds for water improvement projects in the amount of \$2,134,339. The funds were restricted for use on water system improvements. In August 2013 the Water Utility Authority Board appropriated the proceeds for the Equipping Water Well No. 12 Project and all proceeds were since used on this project.

In January 2018 the Water Utility Authority issued the 2018 Water Revenue Bonds in the amount of \$1,800,000. The bonds refunded the existing 2005 Water Revenue Bonds (issued through the Public Financing Authority). No additional funds were raised through the issuance of the 2018 Water Revenue Bonds.

The WUA was formed in June of 2009. Water revenue bonds issued prior to this date were issued through the City of Santa Fe Springs Public Financing Authority.

ANALYSIS

The report is presented for informational purposes only.

ENVIRONMENTAL

N/A

SUMMARY/NEXT STEPS

The WUA budget includes sufficient appropriations and adequate revenues are expected to be collected to meet the debt service obligations associated with the 2013 and 2018 Water Revenue Bonds.

ATTACHMENT(S):

None.

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>



CITY OF SANTA FE SPRINGS

WATER UTILITY AUTHORITY AGENDA STAFF REPORT

TO: Honorable Chair and Board Members
FROM: René Bobadilla, P.E., Executive Director
BY: Yvette Kirrin, Interim Director
SUBJECT: STATUS UPDATE OF WATER-RELATED CAPITAL IMPROVEMENT PROJECTS
DATE: September 5, 2023

RECOMMENDATION:

It is recommended that the Water Utility Authority:

1. Receive and file the report.

FISCAL IMPACT

N/A

BACKGROUND

This report is for informational purposes only. The following is a listing of current active water projects.

ANALYSIS

N/A

ENVIRONMENTAL

N/A

DISCUSSION

Water Utility SCADA Programming And Maintenance Update

Status Update of Water-Related Capital Improvement Projects

Page 2 of 2

The Water Utility's Supervisory Control And Data Acquisition (SCADA) software and system components are vital in operating and monitoring the drinking water system pressure, imported water connections, and the City's five underpass pump stations. SCADA allows staff to remotely monitor and make changes to specific system parameters.

The City has received one proposal to bring in a qualified firm to assist the Water Utility Authority in meeting its normal SCADA operational and maintenance needs; staff is considering rejecting the single proposal and rewriting the RFQ before re-advertising it to ensure the City is able to select a firm that is not only well qualified, but will also be able to meet the City's current and future needs.

Water Well No. 2 Status Update

On July 20, 2021, the City Council approved awarding the contract to General Pump Company Inc. to assess Water Well No. 2. The contractor completed the initial assessment and has submitted to the City their final report, which confirmed one contaminant, and provided two scenarios for treatment. As part of the Water Utilities seven year Capital Improvement Program to bring City-owned water wells into service, this project moves the City closer to becoming less dependent on imported water supplies.

The City has received one proposal for the engineering design of a temporary water treatment system for Water Well No. 2; Water Utility staff is currently engaging with the engineering firm to get questions answered and determine if the proposal will meet the City's needs.

Water Well No. 12 Status Update

Drilled and constructed in August of 2012, the water produced by Water Well No. 12 has not met State and Federal drinking water standards due to various contaminants. The well has been evaluated several times over the last several years with no decision to implement treatment.

The Request for Proposal to assess Water Well No. 12 and prepare technical specifications to aid in the design of a treatment system is currently advertised.

SUMMARY/NEXT STEPS

N/A

ATTACHMENTS:

None.

ITEM STATUS:

APPROVED: ☐

DENIED: ☐

TABLED: ☐

DIRECTION GIVEN: ☐

FOR ITEM NO. 16
PLEASE SEE ITEM NO. 18

FOR ITEM NO. 17
PLEASE SEE ITEM NO. 18



CITY OF SANTA FE SPRINGS
CITY COUNCIL AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members

FROM: René Bobadilla, P.E., City Manager

BY: Janet Martinez, City Clerk

SUBJECT: MINUTES OF THE AUGUST 1, AND 15, 2023 REGULAR AND SPECIAL CITY COUNCIL MEETINGS

DATE: August 30, 2023

RECOMMENDATION(S):

It is recommended that the City Council:

- 1) Approve the minutes as submitted.

FISCAL IMPACT

N/A

BACKGROUND

Staff has prepared minutes for the following meeting:

- Special City Council Meeting of August 1, 2023.
- Regular City Council Meeting of August 1, 2023.
- Special City Council Meeting of August 15, 2023.
- Regular City Council Meeting of August 15, 2023.

ANALYSIS

N/A

ENVIRONMENTAL

N/A

DISCUSSION

N/A

SUMMARY/NEXT STEPS

N/A

ATTACHMENT(S):

- A. August 1, 2023 Special Meeting Minutes
- B. August 1, 2023 Regular Meeting Minutes
- C. August 15, 2023 Special Meeting Minutes
- D. August 15, 2023 Regular Meeting Minutes

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>



APPROVED:

MINUTES OF THE SPECIAL MEETINGS OF THE CITY COUNCIL

August 1, 2023

1. **CALL TO ORDER**

Mayor Martin called the meeting to order at 5:00 p.m.

2. **ROLL CALL**

Members present: Councilmembers: Rodriguez, Rounds, Mayor Pro Tem Sarno, and Mayor Martin.

Members absent: Council Member Zamora

3. **PUBLIC COMMENTS**

There was no one wishing to speak during public comments.

CITY COUNCIL

4. **CLOSED SESSION**

CONFERENCE WITH LABOR NEGOTIATORS

(Pursuant to California Government Code Section 54957.6)

Agency Designated Representatives: City Manager.

Employee Organizations: Santa Fe Springs City Employees' Association

Mayor Martin recessed the meeting at 5:01 p.m.

Mayor Martin convened the meeting at 5:21 p.m.

5. **CLOSED SESSION REPORT**

City Attorney, Ivy M. Tsai provided a closed session report: No reportable action was taken.

6. **ADJOURNMENT**

Mayor Martin adjourned the meeting at 5:21 p.m.

Juanita Martin
Mayor

ATTEST:

Janet Martinez
City Clerk

Date



APPROVED:

MINUTES OF THE REGULAR MEETINGS OF THE CITY COUNCIL

August 1, 2023

1. **CALL TO ORDER**

Mayor Martin called the meeting to order at 6:00 p.m.

2. **ROLL CALL**

Members present: Councilmembers/Directors: Rodriguez, Rounds, Mayor Pro Tem/Vice Chair Sarno and Mayor/Chair Martin.

Members absent: Councilmember Zamora

3. **INVOCATION**

Invocation was led by City Manager, René Bobadilla.

4. **PLEDGE OF ALLEGIANCE**

Kerry Cobos led the pledge of allegiance.

5. **INTRODUCTIONS**

Kathie Fink, Chamber of Commerce CEO was introduced.

6. **PRESENTATIONS - NONE**

7. **PUBLIC COMMENTS**

The following citizens spoke during public comments: Lee Squire and Bruce Crow.

8. **STAFF COMMUNICATIONS ON ITEMS OF COMMUNITY INTEREST**

City Manager called on the following staff:

Director of Community Services, Maricela Balderas provided information on the "Back to School Backpack Program". She also spoke on the mariachi concert scheduled for Friday at Heritage Park.

Director of Police Services, Dino Torres provided information on the upcoming National Night Out this Saturday, August 5, 2023.

Municipal Services Manager, Kevin Periman provided a Capital Improvements Project Update and promote the upcoming Relay for Life Fundraiser Carnival.

Mayor Martin spoke on the Whittier Police Officer that was shot yesterday and asked to keep him in everyone's prayers.

HOUSING SUCCESSOR

There were no items discussed under the Housing Successor agenda.

SUCCESSOR AGENCY

There were no items discussed under the Successor Agency agenda.

CITY COUNCIL

9. CONSENT AGENDA

Consent Agenda items are considered routine matters which may be enacted by one motion and vote. Any item may be removed from the Consent Agenda and considered separately by the City Council.

a. Fire Station Headquarters Roof Replacement – Award of Contract

Recommendation:

- Accept the bids; and
- Award a contract to Rite-Way Roof Corporation of Fontana, California, in the amount of \$608,392.00.

b. City Clerk's Office Renovation – Award of Contract

Recommendation:

- Appropriate additional funds in the amount of \$355,000 from the Utility Users Tax Capital Improvement Fund to the City Clerk's Office Renovation (PW 220020)
- Accept the bids; and
- Award a contract CTG Construction, Inc., of Wilmington, California, in the amount of \$225,000.00.

c. Purchase of a C30XB Trenching Machine and S3CA Trailer from Ditch Witch West by Piggybacking off of Sourcewell Cooperative Contract #110421-CMW

Recommendation:

- Award an order for a trenching machine and trailer to Ditch Witch West by piggybacking off of Sourcewell cooperative contract #110421-CMW; and
- Authorize the Director of Purchasing Services to issue a Purchase Order in the amount of \$27,007.49 for this purchase.

d. Appropriate Funding and Authorize Essential Emergency Worker Pay for Eligible Santa Fe Springs Firefighter Suppression Staff, Who Worked During the COVID-19 Pandemic

Recommendation:

- Approve Essential Emergency Worker Pay for eligible fire suppression staff, who worked during the COVID-19 pandemic.
- Appropriate \$436,000 from the General Fund unappropriated reserves for the payment of the Essential Emergency Workers Pay.

e. Approval of Side Letter #2 (MOU Contract Extension) to the 2021-2024 Memorandum of Understanding Between the City of Santa Fe Springs and the Santa Fe Springs Employees Association (SFSEA)

Recommendation:

- Approve side letter #2 (MOU Contract Extension) to the 2021-2024 Memorandum of Understanding between the City of Santa Fe Springs and the Santa Fe Springs Employees Association (SFSEA).

It was moved by Council Member Rounds, seconded by Council Member Rodriguez to approve the consent calendar, by the following vote:

Ayes: Rodríguez, Rounds, Sarno and Martin

Nays: None

Absent: Zamora

Recused: None

PUBLIC HEARING

10. Alcohol Sales Conditional Use Permit (CUP) Case No. 82

Request for approval of Alcohol Sales Conditional Use Permit Case No. 82 to allow an alcohol beverage sales use for on-site consumption in association with an existing Japanese restaurant operating under the name of Crazy Tokyo located at 11532 Telegraph Road, within the Community Commercial-Planned Development (C-4-PD), Zone and within the Consolidated Redevelopment Project Area, and the Telegraph Corridor. (Alina Chung Rhie for Crazy Tokyo)

Recommendation:

- Open the Public Hearing; and
- Receive any comments from the public wishing to speak on this matter, and thereafter close the Public Hearing; and
- Find that the applicant's ASCUP request meets the criteria set forth in §155.628 and §155.716 of the City's Zoning Ordinance, for the granting of a Conditional Use Permit; and
- Approve Alcohol Sales Conditional Use Permit Case No. 82, subject to the conditions of approval as contained within Resolution No. 9877; and
- Adopt Resolution No. 9877, which incorporates the City Council's findings and actions regarding this matter.

Mayor Martin opened the public hearing at: 6:12 p.m.

Bruce Crow spoke during public comment.

Mayor Martin closed the public hearing at: 6:16 p.m.

It was moved by Mayor Pro Tem Sarno, seconded by Council Member Rounds, to approve Alcohol Sales Conditional Use Permit Case No. 82, subject to the conditions of approval as contained within Resolution No. 9877, and adopt Resolution No. 9877, which incorporates the City Council's findings and actions regarding this matter, by the following vote:

Ayes: Rodríguez, Rounds, Sarno and Martin

Nays: None

Absent: Zamora

Recused: None

PUBLIC HEARING

11. Alcohol Sales Conditional Use Permit (CUP) Case No. 83

Request for approval of Alcohol Sales Conditional Use Permit Case No. 83 to allow the operation and maintenance of an alcoholic beverage use involving the warehousing and distribution of alcoholic beverages at BWS Group, Inc. located at 9526 Ann Street, within the Heavy Manufacturing (M-2). (BWS Group)

Recommendation:

- Open the Public Hearing; and
- Receive any comments from the public wishing to speak on this matter, and thereafter close the Public Hearing; and
- Find that the applicant's ASCUP request meets the criteria set forth in §155.628 and §155.716 of the City's Zoning Ordinance, for the granting of a Conditional Use Permit; and
- Approve Alcohol Sales Conditional Use Permit Case No. 83, subject to the conditions of approval as contained within Resolution No. 9878; and
- Adopt Resolution No. 9878, which incorporates the City Council's findings and actions regarding this matter.

Mayor Martin opened the public hearing at: 6:16 p.m.

There were no public comments.

Mayor Martin closed the public hearing at: 6:17 p.m.

It was moved by Councilmember Rodriguez, seconded by Mayor Pro Tem Sarno, to approve Alcohol Sales Conditional Use Permit Case No. 83, subject to the conditions of approval as contained within Resolution No. 9878, and adopt Resolution No. 9878, which incorporates the City Council's findings and actions regarding this matter, by the following vote:

Ayes: Rodríguez, Rounds, Sarno and Martin

Nays: None

Absent: Zamora

Recused: None

PUBLIC HEARING

12. Alcohol Sales Conditional Use Permit (CUP) Case No. 84

Request for approval of Alcohol Sales Conditional Use Permit Case No. 84 to allow the operation and maintenance of an alcoholic beverage use involving the warehousing of alcoholic beverages at 21st Century Spirits, LLC, located at 12145 Mora Drive, within the Heavy Manufacturing (M-2). (21st Century Spirits, LLC)

Recommendation:

- Open the Public Hearing; and
- Receive any comments from the public wishing to speak on this matter, and thereafter close the Public Hearing; and
- Find that the applicant's ASCUP request meets the criteria set forth in §155.628 and §155.716 of the City's Zoning Ordinance, for the granting of a Conditional Use Permit; and
- Approve Alcohol Sales Conditional Use Permit Case No. 84, subject to the conditions of approval as contained within Resolution No. 9879; and

- Adopt Resolution No. 9879, which incorporates the City Council's findings and actions regarding this matter.

Mayor Martin opened the public hearing at: 6:17 p.m.

There were no public comments.

Mayor Martin closed the public hearing at: 6:17 p.m.

It was moved by Councilmember Rounds, seconded by Mayor Pro Tem Sarno, to approve Alcohol Sales Conditional Use Permit Case No. 84, subject to the conditions of approval as contained within Resolution No. 9879, and adopt Resolution No. 9879, which incorporates the City Council's findings and actions regarding this matter, by the following vote:

Ayes: Rodríguez, Rounds, Sarno and Martin

Nays: None

Absent: Zamora

Recused: None

OLD BUSINESS

13. Approval of 2024 SFS Art Fest Proposed Event Fees Recommended by the Heritage Arts Advisory Committee (HAAC)

Recommendation:

- Provide staff direction on the 2024 SFS Art Fest proposed event fees recommended by the Heritage Arts Advisory Committee (HAAC).

Family and Human Services Manager, Ed Ramirez provided a brief overview presentation on the history of the changes done with the fees and the event changes. He provided the rates that were initially charged. He also went over the discounts and the revenue after each event.

Mayor Pro Tem Sarno expressed that he would like to have both parents, students or performers get in for free as opposed to only one. He would like to have the city only charge \$10 total after fees. He would like staff to consider discounts for seniors.

City Manager, René Bobadilla asked if Council would agree with a 20 percent discount for seniors.

Councilmember Rodriguez expressed she does not like the processing fees is also advocating for a discount. She also inquired about City employees and seniors obtaining discounts.

Heritage Arts Advisory Committee Member, Gabriel Jimenez provided feedback.

Mayor Martin agreed with a \$10.00 flat fee and suggested employees attend for free. Parents 2 tickets, 20% discount for seniors (55 and over). No processing fee. Councilmember Rounds recommended 50 free tickets for the Chamber of Commerce.

Councilmember Rounds stated that the fees are for the City to recuperate some of the costs for Art Fest. He expressed his gratitude to the Heritage Arts Committee.

Direction was given to charge a \$10.00 flat fee, free admission for City employees, one free ticket per parent (limit 2) for each participating student or performers, and a 20 percent discount for seniors and no processing fee to be charged.

It was moved by Councilmember Rodriguez, seconded by Councilmember Rounds, to charge a \$10.00 flat fee, free admission for City employees, one free ticket per parent (limit 2) for each participating student or performer, and a 20 percent discount for seniors and no processing fee to be charged, by the following vote:

Ayes: Rodríguez, Rounds, Sarno and Martin
Nays: None
Absent: Zamora
Recused: None

NEW BUSINESS

14. Request to Appoint two (2) Council Members to Serve on an Ad-Hoc Subcommittee to Discuss traffic concerns with the Little Lake School District

Recommendation:

- Appoint two (2) Council Members to serve on an ad-hoc subcommittee to discuss traffic concerns at Little Lake School District schools.

City Clerk, Janet Martinez provided a brief summary on how the item was brought forward to this meeting.

Mayor Martin appointed the Mayor and Mayor Pro Tem to serve on an ad-hoc subcommittee to address the traffic concerns surrounding Little Lake City School District Schools. The subcommittee will provide information once they have met with the school district.

It was moved by Mayor Pro Tem Sarno, seconded by Councilmember Rounds, to appoint the Mayor and Mayor Pro Tem to serve on an ad-hoc subcommittee to discuss traffic concerns at Little Lake School District Schools, by the following vote:

Ayes: Rodríguez, Rounds, Sarno and Martin
Nays: None
Absent: Zamora
Recused: None

15. Request Direction on Excused Absences from Advisory Committee Members and Commissioners

Recommendation:

- Receive direction from Council on how to proceed with future requests on excused absences from Advisory Committee Members and Commissioners.

City Clerk, Janet Martinez provided a brief presentation on Item No. 15.

There was as council consensus to leave the by-laws as-is and not make any changes to the by-laws.

16. Appropriation of funds from City's Art in Public Places fund for City's Art Education Grant Program for Fiscal Year 2023-2024

Recommendation:

- Approve the appropriation of funds from the City's Art in Public Places Fund (Activity 10511001-593000)
- Authorize the distribution of monies as recommended by the Heritage Arts Advisory Committee to fund the City's Art Education Grant Program for Fiscal Year 2023-2024.

Family & Human Services Manager, Ed Ramirez provided a brief presentation on Item No. 16.

Mayor Pro Tem Sarno requested to revisit the guidelines and bring them back next year for review. Councilmember Rodriguez expressed her gratitude for all the work that staff has put together and also commended the Heritage Arts Advisory Committee. Councilmember Rounds commended the committee on their diligent work and provided insight on the cost increase.

It was moved by Councilmember Rounds, seconded by Councilmember Rodriguez, to approve the appropriation of funds from the City's Art in Public Places Fund (Activity 10511001-593000), and authorize the distribution of monies as recommended by the Heritage Arts Advisory Committee to fund the City's Art Education Grant Program for Fiscal Year 2023-2024, by the following vote:

Ayes: Rodríguez, Rounds, Sarno and Martin

Nayes: None

Absent: Zamora

Recused: None

17. COUNCIL COMMENTS

Council Member Rodriguez appointed Isabel Cervantes to the Parks and Recreation Advisory Committee and also spoke on the "Grandparent and Me" event that took place last week. She thanked State Senator Bob Archuleta for the generous donation towards the renovation of the Aquatic Center and also highlighted her wedding anniversary.

Mayor Martin spoke about attending the ICA conference.

Mayor Pro Tem Sarno wished a speedy recovery to the injured Whittier Police Department officer and welcomed the new City Manager, René Bobadilla.

Council Member Rounds congratulated Councilmember Rodriguez on her anniversary and also asked to keep the injured officer in their prayers.

18. ADJOURNMENT

Mayor Martin adjourned the meeting at 6:48 p.m. in memory of Eduardo Espinoza and Mike Hagen.

Juanita Martin
Mayor

ATTEST:

Janet Martinez
City Clerk

Date



APPROVED:

MINUTES OF THE SPECIAL MEETINGS OF THE CITY COUNCIL

August 15, 2023

1. **CALL TO ORDER**

Mayor Martin called the meeting to order at 5:32 p.m.

2. **ROLL CALL**

Members present: Councilmembers Rodriguez, Rounds, Zamora, Mayor Pro Tem Sarno, and Mayor Martin.

Members absent: None

3. **PUBLIC COMMENTS**

There was no one wishing to speak during public comments.

CITY COUNCIL

4. **CLOSED SESSION**

CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION

(Pursuant to California Government Code Section 54956.9(d)(1))

Name of Case: City of Santa Fe Springs v. Elm Properties Group, LLC, Case No. 21NWCV00011.

Mayor Martin recessed the meeting at 5:32 p.m.

Mayor Martin convened the meeting at 5:47 p.m.

5. **CLOSED SESSION REPORT**

City Attorney, Ivy M. Tsai provided a closed session report: There was no reportable action.

6. **ADJOURNMENT**

Mayor Martin adjourned the meeting at 5:47 p.m.

Juanita Martin
Mayor

ATTEST:

Janet Martinez
City Clerk

Date



APPROVED:

MINUTES OF THE REGULAR MEETINGS OF THE CITY COUNCIL

August 15, 2023

1. **CALL TO ORDER**

Mayor Martin called the meeting to order at 6:00 p.m.

2. **ROLL CALL**

Members present: Councilmembers/Directors: Rodriguez, Rounds, Zamora, Mayor Pro Tem/Vice Chair Sarno, and Mayor/Chair Martin.

Members absent: None.

3. **INVOCATION**

Invocation was led by Mayor Pro Tem Sarno.

4. **PLEDGE OF ALLEGIANCE**

Youth Leadership Advisory Committee Member Valerie Bojorquez led the pledge of allegiance.

5. **INTRODUCTIONS**

The following Santa Fe Springs Chamber of Commerce members were introduced: Lisa Boyajian, co-owner of Ansa Insurance Services, and Ross Gile, owner of DigiCal Web Designs. Embroidery Goods, Inc. was also introduced.

PRESENTATIONS

6. Proclamation – Proclaiming August 21, 2023 as “National Senior Citizens Day” in Santa Fe Springs

7. **PUBLIC COMMENTS**

The following spoke under public comment: Lee Squire, Bruce Crow, and Christal Hardman from Republic Services.

8. **STAFF COMMUNICATIONS ON ITEMS OF COMMUNITY INTEREST**

Director of Community Services, Maricela Balderas promoted the following upcoming events: 1. Pioneer Living Day, 2. Art Walk, and 3. Fiestas Patrias.

PUBLIC FINANCING AUTHORITY

CONSENT AGENDA

Consent Agenda items are considered routine matters which may be enacted by one motion and vote. Any item may be removed from the Consent Agenda and considered separately by the Public Financing Authority.

9. Minutes of the July 18, 2023 Public Financing Authority Meetings

Recommendation: It is recommended that the Public Financing Authority:

1. Approve the minutes as submitted.

10. Monthly Report on the Status of Debt Instruments Issued through the City of Santa Fe Springs Public Financing Authority (PFA)

Recommendation: It is recommended that the Public Financing Authority:

1. Receive and file the report.

It was moved by Councilmember Zamora, seconded by Councilmember Rodriguez, to approve Item Nos. 9 and 10, by the following vote:

Ayes: Rodríguez, Rounds, Zamora, Sarno and Martin

Nays: None

Absent: None

Recused: None

WATER UTILITY AUTHORITY

CONSENT AGENDA

Consent Agenda items are considered routine matters which may be enacted by one motion and vote. Any item may be removed from the Consent Agenda and considered separately by the Water Utility Authority.

11. Minutes of the July 18 ,2023 Water Utility Authority Meetings

Recommendation: It is recommended that the Water Utility Authority:

1. Approve the minutes as submitted.

12. Monthly Report on the Status of Debt Instruments Issued through the City of Santa Fe Springs Water Utility Authority (WUA)

Recommendation: It is recommended that the Water Utility Authority:

1. Receive and file the report.

13. Status Update of Water-Related Capital Improvement Projects

Recommendation: It is recommended that the Water Utility Authority:

1. Receive and file the report.

14. Water Production System Operator Services – Amendment to Professional Services Agreement with waterTalent LLC to add Task Order No. 002

Recommendation: It is recommended that the Water Utility Authority:

1. Authorize the Chairperson to execute the First Amendment to the Professional Services Agreement with waterTalent LLC to add temporary Water Production System Operator services.
2. Approve an additional \$90,000 to be added to the Professional Services Agreement with waterTalent LLC for a total not to exceed amount of \$180,000 to fill temporary staffing needs.

It was moved by Councilmember Rounds, seconded by Mayor Pro Tem Sarno, to approve Item Nos. 11 through 14, by the following vote:

Ayes: Rodríguez, Rounds, Zamora, Sarno and Martin

Nays: None

Absent: None

Recused: None

HOUSING SUCCESSOR

CONSENT AGENDA

Consent Agenda items are considered routine matters which may be enacted by one motion and vote. Any item may be removed from the Consent Agenda and considered separately by the Housing Successor.

15. Minutes of the July 18, 2023 Housing Successor Meetings

Recommendation: It is recommended that the Housing Successor:

- Approve the minutes as submitted.

It was moved by Councilmember Rodriguez, seconded by Councilmember Zamora to approve the minutes as submitted, by the following vote:

Ayes: Rodríguez, Rounds, Zamora, Sarno and Martin

Nays: None

Absent: None

Recused: None

SUCCESSOR AGENCY

CONSENT AGENDA

Consent Agenda items are considered routine matters which may be enacted by one motion and vote. Any item may be removed from the Consent Agenda and considered separately by the Successor Agency.

16. Minutes of the July 18, 2023 Successor Agency Meetings

Recommendation: It is recommended that the Successor Agency:

1. Approve the minutes as submitted.

It was moved by Mayor Pro Tem Sarno, seconded by Councilmember Rounds, to approve the minutes as submitted, by the following vote:

Ayes: Rodríguez, Rounds, Zamora, Sarno and Martin

Nays: None

Absent: None

Recused: None

CITY COUNCIL

CONSENT AGENDA

Consent Agenda items are considered routine matters which may be enacted by one motion and vote. Any item may be removed from the Consent Agenda and considered separately by the City Council.

17. Minutes of the July 18, 2023 Regular City Council Meeting

Recommendation: It is recommended that the City Council:

1. Approve the minutes as submitted.

18. Treasurer's Report of Investments for the Quarter Ended June 30, 2023

Recommendation: It is recommended that the City Council:

1. Receive and file the report.

19. Adopt Resolution No. 9881 Approving Changes to the Salary Schedule and Approval of Related Personnel

Recommendation: It is recommended that the City Council:

1. Adopt Resolution No. 9881 changes to the City's Fiscal Year 2023-2024 Salary schedule;
2. Approve title changes and specification changes for the following positions: Deputy Fire Marshall and Library Information Desk Assistant (Hourly).
3. Approve title changes and specification changes for Building Permit Clerk II to Building Permit Technician II and Computer Specialist I, II, III to Computer Specialist.
4. Adopt classification specifications for the following new positions: Assistant City Manager, Administrative Battalion Chief, Fire Marshall, Fire Equipment Mechanic, Assistant Director of Finance, Finance Analyst, Revenue & Budget Manager, Senior Account Clerk, Economic Development Director, Economic Development Manager, Building Permit Technician I, Senior Planner, Senior Code Enforcement Inspector, Electrician Supervisor, Assistant Director of Public Works, and Water Quality & Backflow/Cross Connection Specialist.

20. Los Nietos Park Parking Lot Improvements – Final Payment

Recommendation: It is recommended that the City Council:

1. Approve the Final Payment to L.M.T. Enterprises, Inc. dba Tyner Paving Company of Alhambra, California for \$88,652.46 (Less 5% Retention) for the subject project.

21. Approval of Parcel Map No. 082986 – 10712 Laurel Avenue

Recommendation: It is recommended that the City Council:

1. Approve Parcel Map No. 082986;
2. Find that Parcel Map No. 082986 together with the provisions for its design and improvement, is consistent with the City's General Plans;
3. Authorize the City Engineer and the City Clerk to sign the Parcel Map No. 082986; and
4. Take such additional, related action that may be desirable.

It was moved by Councilmember Rodriguez, seconded by Councilmember Rounds, to approve the consent agenda, by the following vote:

Ayes: Rodríguez, Rounds, Zamora, Sarno and Martin

Nays: None

Absent: None

Recused: None

PUBLIC HEARING

22. Public Hearing to Consider the Targeted Zoning Ordinance Updates, Including An Updated Zoning Map, To Ensure that the City's Zoning Ordinance And Zoning Map Are Aligned With The City's 2040 General Plan

Recommendation: It is recommended that the City Council:

1. Open the Public Hearing and receive the written and oral staff report and any comments from the public regarding the proposed Targeted Zoning Ordinance Update, updated Zoning Map and related Environmental Documents, and thereafter, close the Public Hearing; and
2. Find and determine that the proposed Targeted Zoning Ordinance Update project, including an updated Zoning Map, are consistent with the goals, policies and program of the City's 2040 General Plan; and
3. Find and determine that the Targeted Zoning Ordinance Update project, including an updated Zoning Map, is within the scope and analysis of the original Program Environmental Impact Report (*State Clearinghouse Number: 2021050193*) prepared for the 2040 General Plan and Target Zoning Ordinance Updates. The project does not expand the proposed uses, increase intensity, or diverge from original Program EIR conclusions; therefore, no further environmental review is necessary; and
4. Waive Further Reading and Introduce Ordinance No. 1131 by title, adopting several targeted Zoning Ordinance updates to ensure consistency between the City's Zoning Ordinance and the City's 2040 General Plan; and
5. Waive Further Reading and Introduce Ordinance No. 1132 by title, adopting an updated Zoning Map to ensure consistency between the City's Zoning Map and the 2040 General Plan land use map; and
6. Take such additional, related action that may be desirable.

Assistant Director of Planning, Cuong Nguyen provided a brief presentation on Item No. 22. He then introduced MIG to continue the presentation.

Jose Rodriguez, Project Manager from MIG demonstrated a PowerPoint presentation related to the zone changes. He covered the following: public comments received from Planning Commission meeting, zone maps, parking standards, list of public meetings covering the targeting zoning update, new mixed-use zones, multiple-family zone districts, draft-zoning map, parking standards revisions, and tandem parking for multiple-unit dwellings.

Mayor Pro Tem Sarno inquired if required parking applies to ADUs (accessory dwelling units). Mr. Rodriguez noted that ADU's do not have to meet those requirements if they are within a half mile of a public transit stop.

Mr. Rodriguez continued the presentation and covered the following subjects: Nonconforming Provisions, Environmental Review, Planning Commission Public Hearing Comments, and Clarifications.

Councilmember Rodriguez inquired whether approved non-conforming provisions would be removed if the company were sold. Mr. Rodriguez answered that neither the sale nor the change of tenants would affect the non-conforming status, as it stays with the land.

Mayor Martin opened the public hearing at 6:39 p.m.

There was one written comment received by the submission deadline from Ron Gabriel, President for Gabriel Container Company related to the opposition of having the zone change to the location of the business.

Roy Walter appeared in person to speak during public comments.

David Mlynarski spoke via Zoom.

Mayor Martin closed the public hearing at 6:47 p.m.

Assistant Director of Planning, Cuong Nguyen provided clarification on the concerns expressed on the zone change near Gabriel Container Company.

It was moved by Councilmember Rounds, seconded by Mayor Pro Tem Sarno, to approve as staff recommended, by the following vote:

Ayes: Rodríguez, Rounds, Zamora, Sarno and Martin

Nays: None

Absent: None

Recused: None

OLD BUSINESS - NONE

NEW BUSINESS - NONE

23. APPOINTMENTS TO BOARDS, COMMITTEES, COMMISSIONS

Councilmember Rodriguez appointed Mikaela Oliva to the Youth Leadership Advisory Committee.

Mayor Martin appointed Alan Duque to the Youth Leadership Advisory Committee.

Councilmember Rounds appointed John Mora to the Heritage Arts Advisory Committee.

24. COUNCIL COMMENTS/AB1234 COUNCIL CONFERENCE REPORTING

Councilmember Rodriguez thanked staff for their help on all the fundraisers benefiting Relay for Life. She also thanked the Women's Club on the fashion show and thanked the senior community for their engagement.

Councilmember Rounds spoke about all the great fundraisers the City is promoting to benefit Relay for Life. He also spoke about attending the annual Chamber Workshop.

Councilmember Zamora extends his thoughts and prayers to the residents of Maui. He

spoke about the GO SFS and My SFS Apps and certain improvements he would like to see implemented on them. He also spoke about attending the In-Service Training for City staff.

Mayor Martin requested an update on the former Bank of America location and a status update on the Sonic Drive-In Restaurant. Assistant Director Nguyen provided an update on both locations. She also reported on attending the annual Chamber Workshop. Lastly, she asked for more information to be available for organics recycling for both the residents and the businesses.

25. ADJOURNMENT

Mayor Martin adjourned the meeting at 6:58 p.m. in memory of those that lost their lives in Maui.

Juanita Martin
Mayor

ATTEST:

Janet Martinez
City Clerk

Date



CITY OF SANTA FE SPRINGS
CITY COUNCIL AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members
FROM: René Bobadilla, P.E., City Manager
BY: Chad Van Meeteren, Director of Fire-Rescue
SUBJECT: DONATION OF USED FIRE EQUIPMENT TO NAVAJOA FIRE DEPARTMENT
DATE: September 5, 2023

RECOMMENDATION(S):

It is recommended that the City Council:

- 1) Authorize the donation of a used 2005 Ford F250 Stake Bed truck and used firefighting equipment to the City of Navajoa Fire Department.
- 2) Take such additional, related action that may be desirable.

FISCAL IMPACT

The City of Navajoa will pay for all costs to transport the vehicle and firefighting equipment.

BACKGROUND

The Department of Fire Rescue has a surplus 2005 Ford F250 Stake Bed (Unit 826). The City Council authorized the replacement of this vehicle with grant funds at the September 12, 2022, City Council meeting. The vehicle is approximately 18 years of age, out of service, and has no valuable life for Fire-Rescue operations.

Unit	Year	Dept.	Make/Model	VIN#	Mileage
826	2005	Fire	Ford/F250	1FTSW2058EB32464	52,278*

Donation of Used Fire Equipment to Navajoa Fire Department

Page 2 of 3

*The mileage appears low because the vehicle is a specialty unit dispatched only by request. At each incident, the vehicle can operate between 2-10 hours, which the odometer does not record.

In addition to the vehicle, the Department of Fire-Rescue has a surplus of miscellaneous used fire equipment replaced over the last year with grant funds. While this equipment has been replaced with newer technology equipment in Santa Fe Springs, it still has a valuable life for fighting fires and performing rescues. This equipment is needed in Navajoa to meet the call volume demands of their growing community. The list of equipment and tools is; gas powered positive pressure fans, electric-powered positive pressure fans, 2.5" adjustable fog nozzles, 1.5" adjustable fog nozzles, auto lock-out kits, urban search and rescue tools, gas-powered generators with floodlights, and ladders.

ANALYSIS

N/A

ENVIRONMENTAL

N/A

DISCUSSION

In discussions with our Sister City, Navajoa, they stated there is a need for any Fire related vehicle and firefighting equipment for their 1600 square-mile community of over 150,000. The vehicle has an enclosed bed that can be utilized to carry equipment for various emergencies from medical emergencies, similar to our Urban Search and Rescue support vehicle, or could be used for heavy rescue equipment, environmental cleanup, or any other purpose the Department of Navajoa sees fit. It has a service lift gate on the back for lifting heavy equipment and latches shut for equipment storage.

SUMMARY/NEXT STEPS

Upon the approval of the City Council of the recommended action, the Department of Fire-Rescue staff will coordinate the pick-up of the vehicle and equipment with the City of Navajoa Fire Department personnel.

ATTACHMENT(S):

None

Donation of Used Fire Equipment to Navajoa Fire Department

Page 3 of 3

ITEM STATUS:

APPROVED: ☐

DENIED: ☐

TABLED: ☐

DIRECTION GIVEN: ☐



CITY OF SANTA FE SPRINGS

CITY COUNCIL AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members

FROM: René Bobadilla, P.E., City Manager

BY: Fire Chief Chad Van Meeteren

SUBJECT: **APPROVAL OF THE FIRE ADMINISTRATIVE OFFICE REMODEL PROJECT, FIRE STATION NO. 1**

DATE: September 5, 2023

RECOMMENDATION(S):

It is recommended that the City Council:

- 1) Authorize the purchase and installation of DeskMakers furniture from Tangram Interiors (Attachment A) for \$102,020.79; and
- 2) Appropriate an additional \$66,520.79 from the General Fund to include the fire chief's office and bathroom; and
- 3) Award a contract (Attachment B) for \$65,700 to Southland Custom Restorations for laminate wood paneling wall removal, drywall installation, bathroom remodeling; and
- 4) Award a contract (Attachment C) for \$27,500 to Pacific Painting for wallpaper removal, retexture, and painting.

FISCAL IMPACT

The approved fiscal year 2023-24 budget includes \$128,700 for this remodel project. Staff requests an appropriation of \$66,520.79 from the General Fund to have the fire chief's office and bathroom to fully update the Fire Administrative Offices.

BACKGROUND

The City Council approved \$94,200 in the fiscal year 2023-24 budget for workstation cubicle replacements in the Fire Administrative office work areas. The City Council also approved \$34,500 in the fiscal year 2023-24 budget for the wallpaper removal, retexturing, and painting in the Fire Administrative office area. The project's original

Approval of the Fire Administrative Office Remodel Project, Fire Station No. 1

Page 2 of 3

scope did not include updating the fire chief's office. Staff is requesting additional funds for \$65,700 to have the Fire Chief's office in the project's scope. The proposed furniture purchase includes seven (7) workstations for fire prevention and environmental inspectors, three (3) administrative assistance work/transaction stations, three (3) internship hoteling workstations, and three (3) office space workstations including the Fire Chiefs office. All workstations will have a height-adjustable work surface to meet ADA compliance.

ANALYSIS

N/A

ENVIRONMENTAL

N/A

DISCUSSION

The Fire Chief's office was not included in the original request as it was seen to be in a condition that did not require repair/replacement of the wood laminate walls and bathroom. However, heavy rains this year exposed many roof leaks (the roof has recently been approved for replacement as a CIP project) that have caused a faster-than-expected deterioration of the laminate walls. This has expedited the need for the walls to be removed and replaced with drywall that is easier and less expensive to replace in the future as needed. There is also believed to be a leak in the wall/floor of the bathroom that will require the tile to be removed. The tile is believed to be original to the 1972 building and cannot be matched. Therefore, a total replacement is recommended.

SUMMARY/NEXT STEPS

Staff recommends that the City Council approve the Fire Administrative Office Remodel Project.

Upon approval of the City Council of the recommended action, City staff will coordinate with the listed vendors to complete the project.

ATTACHMENT(S):

- A. Attachment A – Tangram Interiors Quote
- B. Attachment B – Southland Custom Restorations Quote
- C. Attachment C – Pacific Painting Quote

ITEM STATUS:

APPROVED: ☐

DENIED: ☐

TABLED: ☐

DIRECTION GIVEN: ☐



9200 SORENSEN AVENUE
SANTA FE SPRINGS, CA 90670
TEL: 562.365.5000
FAX: 562.777.9742
WWW.TANGRAMINTERIORS.COM

Quote: 654333

Quote Date: 08/18/23

mm/dd/yy

Project: 648216

Customer: SAN016

Terms: CPO#/NET 30 DAYS

Contact: Peyton Romo

NEWPORT BEACH 949.955.6700 | BAKERSFIELD 661.397.5300 | FRESNO 559.275.4111 | DALLAS 214.902.7200

Quote To

Accounts Payable
City Of Sante Fe Springs
11710 TELEGRAPH RD
SANTA FE SPRINGS CA 90670-3658

Ship To

Michael Kozicki
Santa Fe Springs Fire - Rescue
11300 GREENSTONE AVE
SANTA FE SPRINGS CA 90670-4619

Phone: +1 (562) 868-0511
ap@santafesprings.org

Phone: +1 (562) 504-8215

Sales Location SANTA FE SPRINGS SALES

Quote valid for 30 days

- Your signature and a 50% deposit is required prior to processing your order.

- Client is responsible for proper care and cleaning of products. Please consult your Tangram representative for further information on appropriate cleaning procedures. Products whose materiality or appearance is affected by improper use of cleaning agents will not be covered by manufacturer warranty.

- Contact with any questions:

Peyton Romo

Sales

promo@tangraminteriors.com

(562) 365-5000

- Thank you for the opportunity to provide this quote

Description	Quantity	Unit Price	Extended Price
1 NOTE - FINISHES - ALL PRICES SHOWN HERE REFLECT DM STANDARD TFL FINISHES, STANDARD PULLS AND GRADE 1 /C.O.M. FABRIC. DESKMAKERS	1	N/C	N/C
ADMIN ASSISTANT			
2 HV-WS01-3066-T1-A1 - Hover rectangular worksurface 30W x 66L. TFL with PVC edge. **NO STIFFENER BAR** . Grommet: _____ TFL Glacier White DESKMAKERS	1	210.33	210.33
3 HV-WS01-2448-T1-A1 - Hover rectangular worksurface 24W x 48L. TFL with PVC edge. **NO STIFFENER BAR** TFL Glacier White DESKMAKERS	1	159.83	159.83
4 HV-PSSE-4286-T - Hover Partition Trough End Section for single sided benches.	1	583.13	583.13

Accepted by _____ Title _____ Date _____



9200 SORENSEN AVENUE
SANTA FE SPRINGS, CA 90670
TEL: 562.365.5000
FAX: 562.777.9742
WWW.TANGRAMINTERIORS.COM

Quote: 654333
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NEWPORT BEACH 949.955.6700 | BAKERSFIELD 661.397.5300 | FRESNO 559.275.4111 | DALLAS 214.902.7200

Description	Quantity	Unit Price	Extended Price
4 8-7/8"W x 86"L x 42"H. Partition panel: 42"H. Cutouts in top: centered. One intermediate legs with (1) metal bracket per leg. TFL. *Must Specify end panel. * TFL California Walnut DESKMAKERS			
5 HV-EPL2-2934-L-T - Hover End Panel Support for single sided benches, Left Model. 33-1/2"W. Without glide: 29-1/8"H. End Panel abutts End or Spanning trough sections. Edgebanded all four sides. Grain to run horizontal. TFL California Walnut DESKMAKERS	1	156.32	156.32
6 HV-EXP2-4234-R-T - Hoverr End Panel Support for single sided benches, Right Model. 33-1/2"W. Without glide: 42"H. End Panel abutts End or Spanning trough sections. Edgebanded all four sides. Grain to run horizontal. TFL California Walnut DESKMAKERS	1	184.42	184.42
7 TX-WS01-2436-T1-A1 - Rectangular Worksurface 24x36. TFL Glacier White DESKMAKERS	2	115.49	230.98
8 TX-RPST-14-SV - 2.5-Inch Square, 28" High Worksurface Support Leg. Non-shared version. DESKMAKERS	4	75.53	302.12
9 AC-BRKT-FLAT - Worksurface Connecting Flat Bracket. Includes 8 wood #12 screws. DESKMAKERS	2	11.41	22.82
10 SS-LFDB-1929-A1 - 19Dx72Wx29H Double-Wide Lateral Lock, Pulls: _____. PVC Edge. Multi TFL DESKMAKERS	1	1,222.90	1,222.90
11 SS-LF2D-1932-A1 - 19Dx32Wx29H Two-Drawer 32" Lateral File Cabinet Lock, Unit has anti-tip safety mechanism. Pulls:.... PVC Edge Multi TFL DESKMAKERS	1	576.54	576.54
12 OV-SPCL - Overture Special [OV-LMCT-1269-T] Reception 1-1/8" transaction counter, add-on to transaction heightshells. 12D x ***87-1/8"W***. TFL with PVC edge. TO BE INSTALLED IN _____. (If installed in FACTORY please paste note into description of desk. If installed in FIELD please ship with necessary hardware.) TFL California Walnut DESKMAKERS	1	142.27	142.27
13 OP-CUT1 - One Cut -- **length only* for worksurfaces for casegoods desks, returns, bridges, and credenzas *only*	1	59.28	59.28

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Description	Quantity	Unit Price	Extended Price
13 DESKMAKERS			
14 AC-BRKT-L - Worksurface Support L-Bracket. Includes wood screws. ***BLACK BRACKETS*** DESKMAKERS	6	14.05	84.30
15 EEAWST - Tackboards Width: 88.00000 Height: 22.00000 Tackboard Finish: Buzz2 5G57 - ROUGE Scalloped: No Scallop STEELCASE	1	349.51	349.51
Sub Total			4,284.75
SANTA FE SPRINGS, CITY OF			42.84
LOS ANGELES, COUNTY OF			149.98
CALIFORNIA, STATE OF			257.10
Total			4,734.67
PO-2 & PO-3			
16 HV-WS08-4878-L-T1-A1 - Hover 90 Degree Extended Corner worksurface, Left Model. 48W(24"d) x 78L(30"d), 12" radius inside corner. TLF with PVC edge. **NO STIFFENER BAR** TFL Glacier White DESKMAKERS	2	554.14	1,108.28
17 TX-LMOD-1878-T - 18" High Hanging Modesty Panel -- TFL. 18H x 78W. 3/4" material. Panel is edge-banded on all four sides. Ships with 2, 3, 4 10" Long L brackets depending on length of panel. TFL California Walnut DESKMAKERS	2	185.29	370.58
18 AS-BRDG-2436-R-T1-A1 - Ascend Bridge, Right Model, 36"W x 24"D x 29"H, 12" deep half end panel, Full height modesty, Grommet, Al edge, Standard TFL Multi TFL DESKMAKERS	2	307.81	615.62
19 SS-SPC5-2460-R-A1 - 24Dx60Wx29H Single Ped Credenza File-File Right Full Modesty Panel, Grommet, Lock, Pulls: _____ PVC Edge Multi TFL DESKMAKERS	2	644.60	1,289.20
20 SS-LF2D-2429-A1 - 24Dx36Wx29H Two-Drawer 36" Lateral File Cabinet Lock, Unit has anti-tip safety mechanism. Pulls:....PVC Edge Multi TFL DESKMAKERS	2	644.17	1,288.34
21 SS-BCSE-3672-A1 - 12Dx36Wx72H Bookcase -- 12" Deep 1-1/8" End Panels. 1-1/8" shelves. PVC Edge.	4	483.88	1,935.52

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Description		Quantity	Unit Price	Extended Price
21	TFL California Walnut DESKMAKERS			
Sub Total				6,607.54
SANTA FE SPRINGS, CITY OF				66.08
LOS ANGELES, COUNTY OF				231.28
CALIFORNIA, STATE OF				396.45
Total				7,301.35
FIRE MARSHALL				
22	HV-WS08-4272-L-T1-A1 - Hover 90 Degree Extended Corner worksurface, Left Model. 42W(24"d) x 72L(30"d), 12" radius inside... coner TLF with PVC edge. **No STIFFENER BAR** TFL Glacier White DESKMAKERS	2	437.35	874.70
23	HV-WS08-4272-R-T1-A1 - Hover 90 Degree Extended Corner worksurface, Right Model. 42W(24"d) x 72L(30"d), 12" radius inside corner. TFL with PVC edge. NO STIFFENER BAR** TFL Glacier White DESKMAKERS	1	437.35	437.35
24	SS-TOPO-2430-A1 - 24X30W Top Only (Worksurface) - Rectangular 1-1/8" PVC Edge TFL Glacier White DESKMAKERS	3	115.04	345.12
25	AC-BRKT-FLAT - Worksurface Connecting Flat Bracket. Includes 8 wood #12 screws. DESKMAKERS	6	11.41	68.46
26	SS-MBBF-1622 - 22Dx16Wx21H Mobile Box-File Pedestal, Lock, Pulls_____ Multi TFL DESKMAKERS	3	496.63	1,489.89
27	SS-TOPO-3672-A1 - 36x72W Top Only (Worksurface) - Rectangluar 1-1/8" PVC Edge. Stiffener bar not included. Surface may warp on spans 48 inches or lonber. See price list to add stiffener bar. TFL Glacier White DESKMAKERS	1	212.09	212.09
28	TS4LSHPG - Leg-Standing height adjustable, Post, 27 3/8H to 44H application LEGS: 4799 PLATINUM METALLIC CAST OPT: *OPT:OPTIONAL ON LEGS LEVELERS: STD:LEVELERS STEELCASE Tag For pf648216-STC PARTS ONLY AHL	4	158.97	635.88



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Description	Quantity	Unit Price	Extended Price
29 SS-LF2D-1929-A1 - 19Dx36Wx29H Lateral File Cabinet Lock, Unit has anti-tip safety mechanism. Pulls: PVC edge. Multi TFL DESKMAKERS	2	611.67	1,223.34
30 PS-OS1B-3665-T1 - AVALON Grade 1 Bar Height Open Parsons Shell. 36W x 65-1/4L x 41 1/2H. All 1 1/8" thick material, top over end panel constructions. Standard TFL with 2MM PVC edge. *Please note: Parson Table will ship assembled. ** Multi TFL DESKMAKERS	1	799.60	799.60
31 PS-G2ST-1232-T1 - AVALON Grade 2 Partial Height Stretcher Pair. 12H x 31 7/16L. 1-1/8 thick material, Standard TFL, 2MM PVC edge. TFL California Walnut DESKMAKERS	1	144.46	144.46
32 PS-DSTC-1832-41-T1 - AVALON Storage Cabinet Insert. For use with Bar Height Tables. 18Dx32Wx41H. 2 hinged doors, 1 adjustable shelf. Standard TFL Pulls: TFL California Walnut DESKMAKERS	2	533.95	1,067.90
33 SS-BCS5-3660-A1 - 24Dx36Wx60H Bookcases -- 24" Deep Top 23" Deep 3/4" Thick Side Panels. 1-1/8" shelves. PVC Edge. TFL California Walnut DESKMAKERS	1	616.50	616.50
34 PSPS - SARTO Screen; Desk mount-Privacy only  Size Option: Modular Height: 35.50000 Width: 30.00000 Screen Type: Side Screen Surface Finish: Buzz2 5G57 - ROUGE Bracket Finish: Textured Paint 7360 - MERLE STEELCASE Tag For pf648216-STC PARTS ONLY PS/35.5/29	1	399.94	399.94
35 PSPS - SARTO Screen; Desk mount-Privacy only  Size Option: Modular Height: 35.50000 Width: 36.00000 Screen Type: Rear Screen Surface Finish: Buzz2 5G57 - ROUGE Bracket Finish: Textured Paint 7360 - MERLE STEELCASE	1	416.28	416.28


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Description		Quantity	Unit Price	Extended Price
36	PSPS - SARTO Screen; Desk mount-Privacy only  Size Option: Modular Height: 35.50000 Width: 72.00000 Screen Type: Rear Screen Surface Finish: Buzz2 5G57 - ROUGE Bracket Finish: Textured Paint 7360 - MERLE STEELCASE Tag For pf648216-STC PARTS ONLY PS/35.5/66	2	523.08	1,046.16
Sub Total				9,777.67
SANTA FE SPRINGS, CITY OF				97.77
LOS ANGELES, COUNTY OF				342.22
CALIFORNIA, STATE OF				586.67
Total				10,804.33
RECEPTION				
37	HV-WS01-3078-T1-A1 - Hover rectangular worksurface 30W x 78L. TFL with PVC edge. **NO STIFFENER BAR**. TFL Glacier White DESKMAKERS	1	266.09	266.09
38	TX-WS01-2466-T1-A1 - Rectangular Worksurface 24x66. TFL. Includes metal stiffener bar. TFL Glacier White DESKMAKERS	1	202.86	202.86
39	TX-RPST-14-SLV - 2.5-Inch Square, 28" High Worksurface Support Leg. Non-shared version. DESKMAKERS	4	75.53	302.12
40	TX-SPW2-6048 - End Spine Wall Panel 60W x 48H. Dowel holes one side only. TFL California Walnut DESKMAKERS	1	385.09	385.09
41	HV-PNLS-TF - Hover Spine Wall Panel Support Foot. Silver DESKMAKERS	1	86.50	86.50
42	TX-SPW1-3648 - Center Spine Wall Panel 36W x 48H. Dowel holes left & right edges. TFL California Walnut DESKMAKERS	1	274.44	274.44
43	TX-SPW2-3648 - End Spine Wall Panel 36W x 48H. Dowel holes one side only. TFL California Walnut DESKMAKERS	2	263.90	527.80

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Description	Quantity	Unit Price	Extended Price
44 TX-SPW2-4848 - End Spine Wall Panel 48W x 48H. Dowel holes one side only. TFL California Walnut DESKMAKERS	2	326.69	653.38
45 OP-ENGN-01 - Additional *one-time* engineering and/or program fee for the below custom item DESKMAKERS	1	342.05	342.05
46 SS-SPCL - (x2) SS-LF3D-1942-A1 ; (x1) SS-TOPO-1972 (Common Top) 19Dx36Wx42H Three-Drawer Lateral File Cabinet Anti-Tip Safety Mechanism, Lock, Pulls: _____. PVC Edge. 19Dx72W Common Top (Worksurface) -- Rectangular 1-1/8" PVC Edge. TFL California Walnut DESKMAKERS	1	2,277.18	2,277.18
47 CA-TP12-2496-T1-A1 - Rectangular Locker/Cubby Top for 12" wide units. 96" x 24"D. Standard TFL. A1 2mm PVC edge. Includes installation screws. TFL Glacier White DESKMAKERS	1	233.17	233.17
48 SS-PDLF-1832 - 18Dx32Wx28H Lateral File Surface-Supporting Pedestal Adjustable Glides, Lock, Pulls: _____. Multi TFL DESKMAKERS	2	571.71	1,143.42
49 SS-PDSC-SPCL - SS-PDSC-1832 18Dx32Wx28H Storage Cabinet Surface-Supporting Pedestal Adjustable Glides, Pulls: _____. ***NO DOORS*** Multi TFL DESKMAKERS	1	510.23	510.23
50 OP-DOOR-NO - Option for NO doors on Storage Cabinet/ Overhead (Pilot Holes Visible) DESKMAKERS	1	75.09	75.09
51 SS-MAIL-3236-A1 - 15Dx32Wx36H Bookcase Hutch with Mail Slots. 1-1/8" top and shelves; 3/4" end panels. PVC Edge. TFL Glacier White DESKMAKERS	3	702.13	2,106.39
52 AC-BRKT-L - Worksurface Support L-Bracket. Includes wood screws. DESKMAKERS	9	14.05	126.45
53 AC-PPL2-1836-G - 18H X 36L Spine-Mounted Privacy Panel. Two Brushed Silver Mounting Clips. 3/8" Acid-Etched Glass. DESKMAKERS	2	389.04	778.08
54 AC-PPL2-1848-G - 18H X 48L Spine-Mounted Privacy Panel. Two	2	440.86	881.72

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Description		Quantity	Unit Price	Extended Price
54	Brushed Silver Mounting Clips. 3/8" Acid-Etched Glass DESKMAKERS			
Sub Total				11,172.06
SANTA FE SPRINGS, CITY OF				111.70
LOS ANGELES, COUNTY OF				391.05
CALIFORNIA, STATE OF				670.33
Total				12,345.14
RECEPTION ENTRY				
55	HV-WS01-3060-T1-A1 - Hover rectangular worksurface 30W x 60L. TFL with PVC edge. **NO STIFFENER BAR** TFL Glacier White DESKMAKERS	1	209.88	209.88
56	TX-WS01-2484-T1-A1 - Rectangular Worksurface 24x84. TFL. Includes metal stiffener bar. TFL Glacier White DESKMAKERS	1	244.58	244.58
57	SS-PDLF-2236 - 22Dx36Wx28H Lateral File Surface-Supporting Pedestal Adjustable Glides, Lock, Pulls: _____. TFL California Walnut DESKMAKERS	1	598.05	598.05
58	TX-RPST-14-SLV - 2.5-Inch Square, 28" High Worksurface Support Leg. Non - Shared version. DESKMAKERS	2	75.53	151.06
Sub Total				1,203.57
SANTA FE SPRINGS, CITY OF				12.04
LOS ANGELES, COUNTY OF				42.13
CALIFORNIA, STATE OF				72.20
Total				1,329.94
OPEN AREA WORKSTATIONS				
59	HV-WS01-3084-T1-A1 - Hover rectangular worksurface 30W x 84L. TFL with PVC edge. **NO STIFFENER BAR**. TFL Glacier White DESKMAKERS	4	266.97	1,067.88
60	SS-LF2D-2429-A1 - 24D x36Wx29H Two-Drawer 36" Lateral File Cabinet Lock, Unit has anti-tip safety mechanism. Pulls: _____. PVC Edge.. Multi TFL DESKMAKERS	4	644.17	2,576.68
61	SS-LF3D-2442-A1 - 24Dx36Wx42H Three-Drawer Lateral File Cabinet Anti-Tip Safety Mechanism, Lock, Pulls: _____. PVC Edge	2	1,105.22	2,210.44



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Description		Quantity	Unit Price	Extended Price
61	Multi TFL DESKMAKERS			
62	SS-LF3D-1932-A1 - 19Dx32Wx42H Three-Drawer 32" Lateral File Cabinet Lock, Unit has anti-tip safety mechanism. Pulls: PVC Edge Multi TFL DESKMAKERS	1	1,012.13	1,012.13
63	SS-SCFW-SPCL-A1 - SS-SCFW-1932-A1 19Dx***32W***x42H Two-Door Storage Cabinet Full Width Adjustable Shelves, Pulls: _____ PVC Edge Multi TFL DESKMAKERS	2	655.14	1,310.28
64	PSPS - SARTO Screen; Desk mount-Privacy only  Size Option: Modular Height: 35.50000 Width: 84.00000 Screen Type: Rear Screen Surface Finish: Buzz2 5G57 - ROUGE Bracket Finish: Textured Paint 7360 - MERLE STEELCASE Tag For pf648216-STC PARTS ONLY PS/35.5/60	4	675.09	2,700.36
65	PSPS - SARTO Screen; Desk mount-Privacy only  Size Option: Modular Height: 35.50000 Width: 30.00000 Screen Type: Rear Screen Surface Finish: Buzz2 5G57 - ROUGE Bracket Finish: Textured Paint 7360 - MERLE STEELCASE Tag For pf648216-STC PARTS ONLY PS/35.5/66	4	399.94	1,599.76
Sub Total				12,477.53
SANTA FE SPRINGS, CITY OF				124.77
LOS ANGELES, COUNTY OF				436.71
CALIFORNIA, STATE OF				748.66
Total				13,787.67
HOTEL STATIONS				
66	TX-WS01-2460-T1-A1 - Rectangular Worksurface 24x60. TFL. Includes metal stiffener bar. Grommet: _____ Location: _____ TFL Glacier White	3	199.35	598.05



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Description		Quantity	Unit Price	Extended Price
66	DESKMAKERS			
67	TX-RPST-14-SLV - 2.5-Inch Square, 28" High Worksurface Support Leg. Non Shared version. DESKMAKERS	12	75.53	906.36
68	PSPS - SARTO Screen; Desk mount-Privacy only  Size Option: Modular Height: 35.50000 Width: 60.00000 Screen Type: Rear Screen Surface Finish: Buzz2 5G57 - ROUGE Bracket Finish: Textured Paint 7360 - MERLE STEELCASE Tag For pf648216-STC PARTS ONLY PS/35.5/48	3	486.03	1,458.09
69	PSPS - SARTO Screen; Desk mount-Privacy only  Size Option: Modular Height: 35.50000 Width: 24.00000 Screen Type: Rear Screen Surface Finish: Buzz2 5G57 - ROUGE Bracket Finish: Textured Paint 7360 - MERLE STEELCASE Tag For pf648216-STC PARTS ONLY PS/35.5/66	4	381.95	1,527.80
Sub Total				4,490.30
SANTA FE SPRINGS, CITY OF				44.90
LOS ANGELES, COUNTY OF				157.18
CALIFORNIA, STATE OF				269.42
Total				4,961.80
RECTANGLE DESK UNITS P-1, WS-1, WS-5, TO WS-10 *HEIGHT ADJUSTABLE BASE*				
70	ML-2STG-2472-SLV - Hover Boost Height Adjustable Base, 2-Segment Column Quick Install, 24" Footbase, 41" to 68" Frame Length. Silver DESKMAKERS	6	472.53	2,835.18
71	ML-2LEG-EXKT-SLV - Extension Kit for use with 2 Leg Hover Boost or Reach Base to allow it to support tops up to 84" long.	5	178.46	892.30

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Description	Quantity	Unit Price	Extended Price
71 DESKMAKERS			
Sub Total			3,727.48
SANTA FE SPRINGS, CITY OF			37.27
LOS ANGELES, COUNTY OF			130.46
CALIFORNIA, STATE OF			223.65
Total			4,118.86
ANGLED DESK UNITS PO-1, PO-2, PO-3 & WS-2 TO WS-4 and FIRE CHIEF ROOM ***HEIGHT ADJUSTABLE BASE***			
72 ML-3LEG-24-Q-SLV - Hover Reach, 3-LEG 3-SEGMENT COLUMN QUICK INSTALL, (2x) 24" FEET and extends up to 90" table,3-box (Ref: KDDX20211101-1). SILVER DESKMAKERS	7	955.38	6,687.66
73 ML-2LEG-EXKT-SLV - Extension Kit for use with 2 Leg Hover Boost or Reach Base to allow it to support tops up to 84" long DESKMAKERS	3	185.60	556.80
Sub Total			7,244.46
SANTA FE SPRINGS, CITY OF			72.45
LOS ANGELES, COUNTY OF			253.56
CALIFORNIA, STATE OF			434.67
Total			8,005.14
FIRE CHIEF			
74 SS-CSTM-A1 3 - 30-36Dx96Wx29H Fantop Desk Shell. Full Modesty. PVC Edge. ***WITH HALF SUPPORT PANEL ON CENTER*** Mutli TFL DESKMAKERS	1	1,154.36	1,154.36
75 OP-ENGN-01 - Additional *one-time* engineering and/or programming fee for the above Custom item. DESKMAKERS	1	342.05	342.05
76 HV-WS07-SPCL-R-T - HV-WS07-4260-R-T1-A1 Hover 90 Degree Extended Corner worksurface, Right Model. 42W(24"d) x ***60L*** (24"d), 12" radius inside corner. TFL with PVC edge. **NO STIFFENER BAR** TFL Glacier White DESKMAKERS	1	447.69	447.69
77 OP-CUT1 - One Cut -- *length only* for worksurfaces for casegoods desks,	1	69.23	69.23


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Description	Quantity	Unit Price	Extended Price
77 returns, bridges, and credenzas *only* DESKMAKERS			
78 AS-RTSH-2454-L-T1-A1 - Ascend Return Shell, Left Model, 54"W x 24"D x 29"H, 12" deep half end panel, 3/4 height modesty, Grommet, A1 edge, Standard TFL Multi TFL DESKMAKERS	1	486.15	486.15
79 SS-PDLF-2236 - 22Dx36Wx28H Lateral File Surface-Supporting Pedestal Adjustable Glides, Lock, Pulls: _____ TFL California Walnut DESKMAKERS	1	698.46	698.46
80 SS-PDBF-2216 - 22Dx16Wx28H Box-Box-File Surface-Supporting Pedestal Adjustable Glides, Lock, Pulls: _____. TFL California Walnut DESKMAKERS	1	546.67	546.67
81 SS-HUDV-5442-A1 - 15Dx54Wx42H Hutch Four 16" High Doors PVC Edge. TFL California Walnut. DESKMAKERS	1	814.87	814.87
82 EEAWST - Tackboards Width: 42.00000 Height: 42.00000 Tackboard Finish: Buzz2 5G57 - ROUGE Scalloped: No Scallop STEELCASE	1	240.38	240.38
Sub Total			4,799.86
SANTA FE SPRINGS, CITY OF			47.99
LOS ANGELES, COUNTY OF			168.01
CALIFORNIA, STATE OF			287.98
Total			5,303.84
Desktop Power / Cable Management			
83 DSPower - Powerstrip-Desktop  Power Configuration: 2 Power, 1 USB A, 1 USB C 10W Power Finish: Plastic - PG1 6009 - ARCTIC WHITE	16	398.29	6,372.64


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Description		Quantity	Unit Price	Extended Price
83	Power Mount: C-Clamp Utility Power: 2 Utility, 1 Female Plug, Tray Power Plug Type: STANDARD NEMA 5-15 3-PRONG Power Cord: 8' Standard Cord Cord Color: White PVC: With PVC STEELCASE			
84	 DSTRAYLG - Tray-Cable Management, Smart straps, 30W STEELCASE	16	70.83	1,133.28
Sub Total				7,505.92
SANTA FE SPRINGS, CITY OF				75.06
LOS ANGELES, COUNTY OF				262.70
CALIFORNIA, STATE OF				450.36
Total				8,294.04
85	Fee to receive, deliver and install. Work performed during normal business hours. Prevailing Wage labor. Stair carry not included. (FEE)	1	19,035.30	19,035.30
Quotation Totals				
Sub Total				92,326.44
SANTA FE SPRINGS, CITY OF				923.23
LOS ANGELES, COUNTY OF				3,231.52
CALIFORNIA, STATE OF				5,539.60
Grand Total				102,020.79

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End of Quotation

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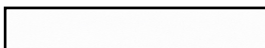


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Quote: 654333
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NEWPORT BEACH 949.955.6700 | BAKERSFIELD 661.397.5300 | FRESNO 559.275.4111 | DALLAS 214.902.7200

Finish Summary

Product Type	Finish Group Description	Finish Description	Finish
Panel	Surface Finish	5G57 - ROUGE	
	Tackboard Finish	5G57 - ROUGE	
	Bracket Finish	7360 - MERLE	
Support or Bracket	LEGS	PLATINUM METALLIC	
Electrical	Power Finish	6009 - ARCTIC WHITE	

Select Images are provided as a preliminary color and type representation and should not be used for final color and product selection. Due to individual computer/monitor/printer settings: color, texture, pattern, size and feature rendering may vary from the actual sample. For accuracy, order and view an actual sample.

Accepted by _____ Title _____ Date _____



Contractors State License Board # 745562
Classification- B General Building Contractor
1909 West Balboa Blvd. Newport Beach, Ca.
92663

CUSTOMER: Santa Fe Springs Fire Department

ATTENTION: FIRE CHIEF CHAD VAN MEETERAN

JOB ADDRESS: 11300 Greenstone Santa Fe Springs, Ca. 90670

FIRE STATION REMODEL CONTRACT

CONTRACTOR TO PROVIDE, LABOR, MATERIAL, LICENSE, INSURANCE AND SUPERVISION OF A TENANT IMPROVEMENT REMODEL AT HEADQUARTERS FIRE STATION TO CONSIST OF THE FOLLOWING SPECIFICATIONS:

SCOPE OF REMODEL: RESTROOM REMODEL AND RELOCATION WITH NEW FIXTURES AND CUSTOM CARPENTRY FOR NEW DOORS AND CLOSET DOORS ENCLOSURES.

FIRE CHIEF OFFICE RESTROOM

1. Demo entire restroom, fixtures, finishes, floor and walls for new layout
2. Sewer camera drains for relocation of toilet and new shower
3. Saw cut and demo with trenches for new waste lay out
4. Install, tie in waste and vent to existing for new locations and flow test
5. Patch concrete, framing and walls as needed

6. Frame new shower stall walls with backing and damn and new exterior wall
7. Electrical for lighting and new bath exhaust rough and finish install and trim
8. Plumbing rough and finish for shower, toilet and vanity with commercial grade fixtures
9. Hot mop and waterproof shower stall
10. Float or backer shower stall floor to ceiling with niche
11. Install contractor grade tile with 2 selections of commercial tile TBD
12. Install contractor grade tile floor with tile base material TBD
13. Shower door with trim color to match fixtures
14. Provide and install commercial grade vanity, sink, mirror and bath hardware
15. Install and trim Solid core smooth door to restroom with hardware
16. Drywall all new walls and float existing for smooth finish
17. All pickup work and debris haul off for all trades

FIRE CHIEF OFFICE CARPENTRY AND REMODEL

1. Demo all existing paneled walls and trim, closet doors for 2 closets including kitchenette Trifold door system.
2. Framing and backing for drywall and trim on all walls
3. Insulation of any open wall cavities
4. Fur out walls as needed for closet door transition
5. Minor electrical repairs if needed
6. Hang drywall and float walls with Medium Orangepeel finish (All painting excluded)
7. Install and trim 3 solid core 8ft smooth paint grade finish Timely doors (no painting)
8. Custom fabrication and Installation of 2 closet doors systems (1 inch slab solid doors are not available) Contractor needs to build frame, door and track system to fit openings With trim and hardware. Texture and special primer on all closet doors one side to blend in with wall transition
9. Vinyl base to match Fire EPD offices
10. Final detail work and all debris haul off for all trades provided

CONTRACT TOTAL-\$65,700

Schedule provided pending Contract acceptance and Purchase order

Thank You, Southland Custom Restorations CSLB #745562B



Estimate

DATE	ESTIMATE NO.
08/24/2023-'(i ')	12275

NAME / ADDRESS
CITY OF SANTA FE SPRINGS ATT: BRENT EASTMAN 11300 GREENSTONE AVE SANTA FE SPINGS ,CA 90670 TEL: 714-388-7850

JOB ADDRESS
11300 GREENSTONE AVE CITY OF SANTA FE SPRINGS, CA 90670 USA

P.O. NO.	TERMS	REP	PROJECT
	DUE UPON COMPLETION	BRIAN	INTERIOR
ITEM	DESCRIPTION		Total
PRICE	*****INTERIOR PAINTING PROPOSAL***** CITY OF SANTA FE SPRINGS FIRE STATION #1 NORTH WING OFFICE AREA : REMOVE WALLPAPERS : BREAK ROOM HALLWAYS BATTALION CHIEF ROOM MANAGER ROOM DEPUTY ROOM RECEPTION AREA		7,500.00
	PREP WALLS WHERE WALLPAPERS WERE REMOVED & TEXTURE CLEAN GLUE OFF FROM WALLS PATCH SAND INSTALL NEW ORANGE PEEL TEXTURE PRIMER COAT FINISH PAINT : OFFICES HALLWAY 4 RESTROOMS		9,500.00
WE APPRECIATE THE OPPORTUNITY TO OFFER OUR PROPOSAL FOR REPAINTING OF YOUR PROPERTY		Total	

AUTHORIZED SIGNATURE :

PACIFIC PAINTING
10015 PIONEER BL.
SANTA FE SPRINGS , CA 90670
Tel:714-816-0200 Fax:714-816-9100
STATE LIC. #737305 HIC
www.pacificcontractor.com

Estimate

DATE	ESTIMATE NO.
08/24/2023-'(')	12275

NAME / ADDRESS
CITY OF SANTA FE SPRINGS ATT: BRENT EASTMAN 11300 GREENSTONE AVE SANTA FE SPINGS ,CA 90670 TEL: 714-388-7850

JOB ADDRESS
11300 GREENSTONE AVE CITY OF SANTA FE SPRINGS, CA 90670 USA

P.O. NO.	TERMS	REP	PROJECT
	DUE UPON COMPLETION	BRIAN	INTERIOR
ITEM	DESCRIPTION	Total	
PRICE	TOP BROWN TRIMS WALLS DOOR FRAMES PAINTED BLOCK WALLS NOTE: DO NOT PAINT NATURAL BLOCK WALLS DO NOT PAINT NATURAL WOOD TRIMS & WALLS COLOR: PER SPEC MATERIAL: DUNN EDWARD PAINT	10,500.00	
WE APPRECIATE THE OPPORTUNITY TO OFFER OUR PROPOSAL FOR REPAINTING OF YOUR PROPERTY		Total	\$27,500.00

AUTHORIZED SIGNATURE : _____



CITY OF SANTA FE SPRINGS

CITY COUNCIL AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members

FROM: René Bobadilla, P.E., City Manager

BY: Cuong Nguyen, Assistant Director of Planning

SUBJECT: **WAIVE SECOND READING AND ADOPT ORDINANCE NOS. 1131 AND 1132, APPROVING TARGETED ZONING ORDINANCE UPDATES, INCLUDING AN UPDATED ZONING MAP, TO ENSURE THAT THE CITY'S ZONING ORDINANCE AND ZONING MAP ARE ALIGNED WITH THE CITY'S 2040 GENERAL PLAN.**

DATE: September 5, 2023

RECOMMENDATION(S):

It is recommended that the City Council:

- 1) Waive the Second Reading and Adopt Ordinance No. 1131, approving several targeted Zoning Ordinance updates to ensure consistency between the City's Zoning Ordinance and the City's 2040 General Plan; and
- 2) Waive the Second Reading and Adopt Ordinance No. 1132, approving an updated Zoning Map to ensure consistency between the City's Zoning Map and the 2040 General Plan land use map; and
- 3) Find and determine that the Targeted Zoning Ordinance Update project, including an updated Zoning Map, is within the scope and analysis of the original Program Environmental Impact Report (*State Clearinghouse Number: 2021050193*) prepared for the 2040 General Plan and Target Zoning Ordinance Updates. The project does not expand the proposed uses, increase intensity, or diverge from original Program EIR conclusions; therefore, no further environmental review is necessary; and
- 4) Take such additional, related action that may be desirable.

FISCAL IMPACT

Adoption of the two proposed ordinances (Ordinance Nos. 1131 and 1132), which implements targeted zoning text amendments to the City's Zoning Ordinance and changes to the zoning map, is not expected to have any immediate fiscal impact. However, future developments, particularly under the four new zone classifications (R-4, MU, MU-TOD, MU-DT), may lead to an increase in sales and property tax revenue in the coming years.

BACKGROUND/DISCUSSION

On August 15, 2023, the City Council held a duly noticed public hearing to review and consider the Targeted Zoning Ordinance Updates (TZOU), including an updated Zoning Map. After evaluating the written and oral reports, along with the public input received prior to and during the City Council meeting, the City Council voted 5-0 in favor of waiving further reading and introducing Ordinance No. 1131 by title, adopting several targeted Zoning Ordinance updates to ensure consistency between the City's Zoning Ordinance and the City's 2040 General Plan, and Ordinance No. 1132 by title, adopting an updated Zoning Map to ensure consistency between the City's Zoning Map and the 2040 General Plan land use map.

On July 25, 2023, the Planning Commission held a duly noticed public hearing to review and consider the Targeted Zoning Ordinance Updates (TZOU), including an updated Zoning Map. After evaluating the written and oral reports, along with public input received prior to and during the Planning Commission meetings on July 10, 2023 and July 25, 2023, the Commissioners, with one member absent, voted 4-0 to approve and adopt Resolution No. 242-2023 recommending that the City Council approve and find that the TZOU project is within the scope and analysis of the original Program Environmental Impact Report (*State Clearinghouse Number: 2021050193*) prepared for the 2040 General Plan and Target Zoning Ordinance Updates (*State Clearinghouse Number: 2021050193*) prepared for the 2040 General Plan and Target Zoning Ordinance Updates.

2040 Comprehensive General Plan Update

The Santa Fe Springs General Plan serves as a long-range vision for the community's growth and provides a legal foundation for all land use decisions. Functioning as the City's "constitution" or blueprint, it establishes goals and policies to guide growth, land development, traffic, circulation, housing, conservation, fiscal sustainability, economic development, environmental justice, and other important topics over the next 20 years.

The City's General Plan was last comprehensively updated in 1993-1994, with only a few amendments since then. In September 2019, the City Council authorized the release of a Request for Proposal (RFP) to comprehensively update the General Plan, implement targeted updates to the Zoning Ordinance, and necessary environmental documents. The contract for this update was awarded to MIG, Inc. on February 13, 2020, initiating the comprehensive update process for the approximately 30-year-old General Plan. On February 8, 2022, after almost two years, the City Council adopted the 2040 General

Plan, including the Environmental Impact Report and Statement of Overriding Considerations.

Targeted Zoning Ordinance Updates

Following the completion of the General Plan update, the General Plan team has been diligently working on the Targeted Zoning Ordinance Update. These updates include various amendments to the existing zoning ordinance to ensure consistency with State Law, coherence with the City's two primary planning documents (The General Plan and Zoning Code), and implementation of the overall character and vision outlined in the 2040 General Plan. Additionally, they aim to comply with State housing law and key implementation measures identified in the 2021-2029 Housing Element.

The draft Targeted Zoning Ordinance Update project encompasses the following key components:

- Establishment of standards for the three new Mixed-Use Zone Districts (MU, MU-TOD, and MU-DT);
- Establishment of standards for the new Multiple-Family/High Density Residential Zone District (R-4);
- Modification of existing standards for the Multiple-Family/Medium Density Residential Zone District (R-3), allowing for a maximum of 25 dwelling units per acre;
- Incorporation of Objective Development Standards into the newly established zones;
- Assessment and revision of multiple-family parking standards and policies to accurately reflect the parking needs of different types of affordable housing, transit-oriented projects, and downtown developments;
- Ensuring compliance with AB 2162 (Supportive Housing Streamlining Act) and AB 101 (Low-Barrier Navigation Centers); and
- Updating the Zoning Map to ensure consistency with the General Plan land use map.

Detailed descriptions of the Targeted Zoning Ordinance Updates, including the changes to the existing Zoning Map, may be found within the July 10, Planning Commission staff report.

ANALYSIS

N/A

ENVIRONMENTAL

The Targeted Zoning Ordinance Update project was part of the environmental analysis conducted for the Santa Fe Springs 2040 General Plan Update. A Notice of Preparation and Program EIR was prepared in coordination with the 2040 General Plan Update. The Program EIR analyzed impacts associated with the implementation of the 2040 General

Plan Update that was prepared pursuant to the requirements of the California Environmental Quality Act (CEQA). The Program EIR (State Clearinghouse No. 2021050193) fully describes the project, existing conditions within the City of Santa Fe Springs, analyzes the potential environmental impacts of implementing the project, and identifies mitigation measures to minimize significant impacts. On February 8, 2022, the City Council adopted Resolution No. 9760 which certified the Final Program Environmental Impact Report (EIR) for the 2040 General Plan Update.

The Targeted Zoning Ordinance Amendment implements the intent, policies, and goals of the 2040 General Plan Update. The impacts associated with the proposed changes are consistent with the scope of those previously analyzed by the certified Program EIR for 2040 General Plan Update and are consistent and conforming to the 2040 General Plan Update. Therefore, the proposed Targeted Zoning Ordinance Amendment project is within the scope of the Program EIR for the 2040 General Plan Update and no further environmental analysis is required pursuant to CEQA Section 15168.

The CEQA Consistency Findings are provided as Attachment C.

DISCUSSION

N/A

SUMMARY

The Targeted Zoning Ordinance Updates, including an updated Zoning Map, implements the General Plan Implementation Plan Program A.1 (*Zoning Revisions Related to Housing Element*), Program A.16 (*Residential Electric Vehicle and Bicycle Parking Requirements*) and the Housing Element Program 11 (*Zoning Code Revisions*) and is necessary to create consistency between the City's 2040 General Plan (inclusive of the 2021-2029 Housing Element) and Zoning Ordinance (inclusive of the Zoning Map). Furthermore, the project is mandated by the State law requiring that the zoning code and zoning districts be consistent with the City's current General Plan. And lastly, the City's Housing Element requires the creation of more housing opportunities to meet the City's Regional Housing Needs Assessment (RHNA) numbers as mandated by the State of California. These changes will provide the foundation zoning for new development opportunities that allow for the redevelopment of older sites, while also providing needed housing and new commercial opportunities which will bring new economic growth to the City.

Staff is therefore recommending that the City Council waive the second reading and adopt both Ordinance No. 1131 to effectuate the proposed Targeted Amendments to the text of the City's Zoning Ordinance and Ordinance No. 1132 to effectuate the proposed changes to the existing Zoning Map; and find that the Targeted Zoning Ordinance Update project, including an updated Zoning Map, is within the scope and analysis of the original Program EIR (*State Clearinghouse Number: 2021050193*) as it does not expand the proposed uses, increase intensity, or result in a change from original Program EIR conclusions and therefore no further environmental review is required.

ATTACHMENT(S):

- A. Ordinance 1131 (Targeted Amendments to City's Zoning Ordinance – Text Adoption)
 - a. Exhibit A – Definitions Text Amendments
 - b. Exhibit B – Establishment of Zones Text Amendments
 - c. Exhibit C – Multi-Family Residential Zone Districts Text Amendments
 - d. Exhibit D – Mixed-Use Zone Districts Text Amendments
 - e. Exhibit E – Required Parking Text Amendments
- B. Ordinance 1132 (Targeted Amendments to City's Zoning Ordinance – Map Adoption)
 - a. Exhibit A – Affected Properties List
 - b. Exhibit B – Updated Zoning Map
- C. CEQA Findings of Consistency

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>

Attachment A – Ordinance No. 1131
Targeted Amendment to the City's Zoning Ordinance – Text Adoption

CITY OF SANTA FE SPRINGS
ORDINANCE NO. 1131

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTA FE
SPRINGS ADOPTING SEVERAL TARGETED ZONING ORDINANCE
UPDATES TO ENSURE CONSISTENCY BETWEEN THE CITY'S
ZONING ORDINANCE AND THE CITY'S 2040 GENERAL PLAN**

WHEREAS, in February 2020, the City Council of the City of Santa Fe Springs initiated a comprehensive update to the General Plan, including the preparation of the Santa Fe Springs 2040 General Plan, Targeted Zoning Ordinance Update, and Program Environmental Impact Report; and

WHEREAS, the 2040 General Plan is a Citywide document that is an integrated and internally consistent statement of the official land use policy for the City of Santa Fe Springs; and

WHEREAS, the Santa Fe Springs 2040 General Plan includes the 2021-2029 Housing Element, which represents the City's effort to fulfill its requirements under State housing element law to meet the mandate that all cities and counties prepare a housing element as part of a comprehensive general plan to meet the plan for new housing growth mandated through the Regional Housing Needs Assessment; and

WHEREAS, the 2021-2029 Housing Element sets forth the housing policies for the City, facilitates the preservation and development of housing, and establishes programs to accommodate the City's share of the regional housing need in Southern California; and

WHEREAS, Program 11 of the Housing Plan contained within the 2021-2029 Housing Element requires the City to amend the Zoning Ordinance to be consistent with the General Plan and to review development standards to address and adjust housing constraints; and

WHEREAS, a Zoning Advisory Group was formed with members representing a range of community interests, including residents, property owners, business owners, and other stakeholders, to advise City staff and the project team during the development of the Zoning Ordinance amendments; and

WHEREAS, the Planning Commission and City Council held study sessions at key milestones to guide the preparation of the Targeted Zoning Ordinance Update; and

WHEREAS, meetings were held with property owners impacted by the proposed zoning code changes and the Chamber of Commerce and Industrial Business Group to engage in a comprehensive discussion concerning the proposed modifications to the Zoning Ordinance; and

WHEREAS, all draft documents and meeting materials were made available to the public through the project website; and

WHEREAS, the City has prepared a targeted update to the City's Zoning Ordinance, as codified in Title 15 of the Santa Fe Springs Municipal Code, which update includes (i) creation of new zones to implement the General Plan and reflect current zoning needs, including Mixed-Use (MU), Mixed-Use Downtown (MU-DT), Mixed-Use Transit Oriented Development (MU-TOD), and Multiple-Family/High Density Residential (R-4), and (ii) modification of the existing standards for Multiple-Family/Medium Density Residential (R-3) to allow for a maximum of 25 dwelling units per acre, and (iii) incorporation of Objective Development Standards into the Mixed-Use and Multiple-Family Zone Districts, and (iv) revision of multiple-family parking standards and policies to accurately reflect the parking needs of different types of housing and mixed-use development; and

WHEREAS, the California Environmental Quality Act (CEQA) requires public agencies and local governments to measure the environmental impacts of development projects or other major land use decisions, and to limit or avoid those impacts if possible; the Targeted Zoning Ordinance Update is considered a project under CEQA; and

WHEREAS, pursuant to CEQA (Cal. Pub. Resources Code, §21000 et seq.), the City, as lead agency, prepared a Program Environmental Impact Report (State Clearinghouse Number 2021050193) for the Santa Fe Springs General Plan and Targeted Zoning Ordinance Update pursuant to the requirements of CEQA; and

WHEREAS, the Program EIR analyzed impacts associated with both the implementation of the 2040 General Plan and the Targeted Zoning Ordinance Update (the "project"); and

WHEREAS, the Program EIR fully described the project, existing conditions within the City of Santa Fe Springs, analyzed the potential environmental impacts of implementing both projects, and identified mitigation measures to minimize significant impacts to a less than significant level; and

WHEREAS, on February 8, 2022, the City Council of the City of Santa Fe Springs adopted Resolution No. 9760, which certified the Final Environmental Impact Report and adopted the Santa Fe Springs 2040 General Plan, including the 2021-2029 Housing Element, and related implementation plan; and

WHEREAS, in accordance with Government Code Section 65091(a)(4) for projects affecting over 1,000 property owners, a one-eighth (1/8th) page notice of the public hearing describing the project, date, time, and location of the hearing was advertised in the Whittier Daily News at least 10 days prior to the hearing date, and a notice was also mailed directly to each owner of property subject to a rezone, and was also posted in Santa Fe Springs City Hall, the City Library, and the City's Town Center kiosk; and

WHEREAS, on July 25, 2023, the Planning Commission of the City of Santa Fe Springs adopted Resolution 242-2023 to recommend that the City Council adopt Ordinance No. 1131 and Ordinance No. 1132; and

WHEREAS, on August 15, 2023, the City Council of the City of Santa Fe Springs considered the Targeted Zoning Ordinance Updates, the staff report, and all testimony, written and spoken, at a duly noticed public hearing.

The City Council of the City of Santa Fe Springs does ordain as follows:

SECTION I. Findings:

1. The above recitals are true and correct and are a substantial part of this Ordinance.
2. The Exhibits attached to this Ordinance are each incorporated by reference and made a part of this Ordinance.
3. The Targeted Zoning Ordinance Update is consistent with the 2040 General Plan and utilizes supplementary land use controls to effectively implement the overall character and vision outlined within the 2040 General Plan.
4. The Targeted Zoning Ordinance Update conforms the Zoning Map to the General Plan land use designations.
5. The Targeted Zoning Ordinance Update meets the requirements as contained in Planning and Zoning Law (Government Code sections 65800-65912).
6. The Targeted Zoning Ordinance Update has been prepared and will be adopted in accordance with the requirements of Planning and Zoning Law (Government Code sections 65853-65860).

SECTION II. The City Council hereby finds with respect to CEQA:

1. The draft Targeted Zoning Ordinance Update has been evaluated under CEQA to determine whether the project scope, circumstances, or information would trigger the need for any supplemental environmental documentation based on new or substantially more severe significant environmental impacts. After a thorough factual evaluation, the City of Santa Fe Springs has determined that no further supplemental environmental review is required because:
 - a. The project does not propose substantial changes to the original project as described in the 2040 General Plan Program EIR, which would require major revisions to the previously adopted Program EIR due to the involvement of new or substantially more severe significant impacts; and
 - b. The project will not involve substantial changes with respect to the circumstances under which the original project was undertaken, which

would require major revisions to the previously adopted Program EIR due to the involvement of new or substantially more severe significant impacts; and

- c. No substantially important new information requiring new analysis of significant effects, mitigation, or alternatives is known that would require major revisions to the previously adopted Program EIR due to the project scope.
2. The Targeted Zoning Ordinance Update implements the intent, policies, and goals of the 2040 General Plan, the impacts associated with the proposed changes are directly in line with the scope of those analyzed by the Program EIR and are found consistent and conforming to the 2040 General Plan, therefore, the proposed amendments to the Zoning Ordinance and Zoning Map are within the scope of the Program EIR for the 2040 General Plan. Future projects may warrant further analysis of their impacts on the environment which are not consistent with the analysis prepared in the Program EIR.
 3. The City Council of the City of Santa Fe Springs finds that no further environmental documentation is required because all potentially significant effects (a) have been adequately analyzed in the previously adopted Program EIR pursuant to applicable standards, and (b) have been avoided pursuant to the previously adopted Program EIR. Therefore, in accordance with CEQA and the CEQA Guidelines (Section 15168(c)), the project elements are within the scope of the previously adopted Program EIR; that EIR continues to be pertinent with considerable information value; and the project elements do not give rise to any new or substantially more severe significant effects, nor do they require any new mitigation measures or alternatives. Accordingly, no new environmental document is required.

SECTION III. Amendments:

1. The Code of Ordinances of the City of Santa Fe Springs, Chapter 155, Section 155.003 (DEFINITIONS), is hereby amended as provided in Exhibit A.
2. The Code of Ordinances of the City of Santa Fe Springs, Chapter 155, Section 155.015 (ESTABLISHMENT OF ZONES), is hereby amended as provided in Exhibit B.
3. The Code of Ordinances of the City of Santa Fe Springs, Chapter 155, is hereby amended to delete Part 4. R-3 MULTIPLE-FAMILY ZONE DISTRICT, Sections 155.090 through 155.110 in its entirety and restated to read in its entirety as provided in Exhibit C.
4. The Code of Ordinances of the City of Santa Fe Springs, Chapter 155, is hereby amended to add Part 6.A. MIXED-USE ZONE DISTRICTS (MU, MU-DT and MU-TOD), Section 155.175 as provided in Exhibit D.

5. The Code of Ordinances of the City of Santa Fe Springs, Chapter 155, is hereby amended to delete Section 155.481 REQUIRED PARKING in its entirety and restated to read in its entirety as provided in Exhibit E.

Section IV. If any section, subsection, subdivision, paragraph, sentence, clause, or phrase in this Ordinance, or any part thereof, is held invalid or unconstitutional, such decision shall not affect the validity of the remaining sections or portions of this Ordinance or of Chapter 155, or any part thereof. The City Council hereby declares that it would have adopted each section, subsection, subdivision, paragraph, sentence, clause, or phrase in this Ordinance irrespective of the fact that any one or more sections, subsections, subdivisions, paragraphs, sentences, clauses, or phrases may be declared invalid or unconstitutional.

Section V. The City Clerk shall certify to the adoption of this Ordinance and shall cause the same to be posted in at least three (3) public places in the City, such posting to be completed not later than fifteen (15) days after passage thereof.

PASSED and ADOPTED this ____ day of _____, 2023, by the following roll call vote:

AYES:

NOES:

ABSENT:

Juanita Martin, Mayor

ATTEST:

Janet Martinez, CMC, City Clerk

Exhibit A – Definitions Text Amendments

Exhibit B – Establishment of Zones Text Amendments

Exhibit C – Multiple-Family Residential Zone Districts Text Amendments

Exhibit D – Mixed-Use Zone Districts Text Amendments

Exhibit E – Required Parking Text Amendments

Exhibit A - Definitions

Key:

Normal Text = Existing unmodified Code language

~~Strikethrough Text~~ = Proposed language to be removed from existing Code

Underline Text = Proposed language to be added to Code

***** = Existing unmodified Code language not included in exhibit for sake of brevity

*Code of Ordinances of the City of Santa Fe Springs Chapter 155, Section 155.003
DEFINITIONS is hereby amended as follows:*

§ 155.003 DEFINITIONS

ANIMAL GROOMING. The commercial provision of bathing and trimming services for dogs, cats, and other household animals permitted by the Municipal Code. Overnight boarding is not included with this use (see "Kennel").

AUTOMATED TELLER MACHINES (ATMS). An unstaffed computerized, self-service machine used by banking customers for financial transactions, including deposits, withdrawals, and fund transfers. These machines may be located at or within banks, or in other locations.

AUTOMOBILE SALES AND RENTAL. A retail establishment selling and/or renting automobiles, trucks and vans, motorcycles, and bicycles (bicycle sales are also included under "Retail Sales - General"). May also include repair shops and the sales of parts and accessories, incidental to vehicle dealerships.

AUTOMOBILE SERVICE, MAJOR. Major repair of automobiles, motorcycles, recreational vehicles, or trucks including light-duty trucks (i.e., gross vehicle weights of less than 10,000 pounds) and heavy-duty trucks (i.e., gross vehicle weights of more than 10,000 pounds). Examples of uses include full-service motor vehicle repair garages; body and fender shops; brake shops; machine shops, painting shops; towing services, and transmission shops.

AUTOMOBILE SERVICE, MINOR. Minor repair of automobiles, motorcycles, recreational vehicles, or light trucks, vans or similar size vehicles (i.e., vehicles that have gross vehicle weights less than 10,000 pounds) including installation of electronic equipment (e.g., alarms, audio equipment, etc.); servicing of cooling and air conditioning, electrical, fuel and exhaust systems; brake adjustments, relining and repairs; oil and air filter replacement; wheel alignment and balancing; tire sales, service, and installation shops; shock absorber replacement; chassis lubrication; smog checks; engine tune-ups; and installation of window film, and similar accessory equipment.

AUTOMOBILE WASHING/DETAILING. Washing, waxing, detailing, or cleaning of automobiles or similar light vehicles, including self-serve washing facilities.

BOARDING HOUSE. A boarding house is a residence or dwelling, other than a motel or hotel, wherein two or more rooms, with or without individual or group cooking facilities, are rented to three or more individuals under separate rental agreements or leases, either written or oral, whether or not an owner, agent or rental manager is in the residence. Meals may also be included. This use type includes convents, monasteries, and student dormitories, but does not include fraternities, sororities, or single-room occupancy uses. Notwithstanding this definition, no single-unit dwelling operated as a group home pursuant to the Community Care Facilities Act, which is otherwise exempt from local Zoning Regulations, shall be considered a boarding house.

BOARDINGHOUSE. A residence or portion thereof, which is used to accommodate, for compensation, boarders or roomers. Rest homes or homes for the aged shall not be included in this definition.

BREWERY, WINERY, OR DISTILLERY. An establishment which produces ales, beers, meads, hard ciders, wine, liquor and/or similar beverages on-site. Breweries may also serve beverages on-site, and sell beverages for off-site consumption in keeping with the regulations of the Alcohol Beverage Control (ABC) and Bureau of Alcohol, Tobacco, and Firearms (ATF).

BUSINESS SUPPORT SERVICES. Establishments providing goods and services to other businesses on a fee or contract basis, including printing and copying, blueprint services, advertising and mailing, equipment rental and leasing, office security, custodial services, photo finishing, model building, taxi, or delivery services with two or fewer fleet vehicles on site.

CHECK CASHING BUSINESS (ALSO “PAYDAY LOAN BUSINESS”). Establishments that, for compensation, engage in the business of cashing checks, warrants, drafts, money orders, or other commercial paper serving the same purpose. This classification also includes the business of deferred deposits, whereby the check casher refrains from depositing a personal check written by a customer until a specific date pursuant to a written agreement as provided in Civil Code 1789.33. Check Cashing Businesses do not include State or Federally chartered banks, savings associations, credit unions, or industrial loan companies. They also do not include retail sellers engaged primarily in the business of selling consumer goods, such as consumables to retail buyers that cash checks or issue money orders incidental to their main purpose or business.

CIGAR LOUNGE OR BAR. Establishment for the retail sale and onsite consumption of cigars and similar products.

~~**CLINIC, DENTAL OR MEDICAL.** A building in which a group of physicians and/or dentists and allied professional assistants are associated for the purpose of carrying on their profession. The clinic may include a dental or medical laboratory. It shall not include in-patient care or operating rooms for major surgery.~~

CLINIC/URGENT CARE. See “Hospitals and Clinics/Urgent Care.”

COCKTAIL LOUNGES AND BARS. Any establishment that sells or serves alcoholic beverages for consumption on the premises and is holding or applying for a public premise license from the State Department of Alcoholic Beverages and in which persons under 21 years of age are restricted from the premises. References to the establishment shall include any immediately adjacent area that is owned, leased, or rented, or controlled by the licensee. Does not include adult entertainment businesses.

COLLEGE (ALSO “UNIVERSITY”). An institution which offers courses of study leading to an associate, bachelors and/or advanced degrees or trades certification. Such institutions are certified by the State of California Board of Higher Education or by a recognized accrediting agency.

COMMERCIAL RECREATION. Facilities providing commercial entertainment, where the activities are primarily by and for participants; spectators are incidental and present on a non-recurring basis. Examples include facilities such as amusement and theme parks, water parks, swimming pools; driving ranges, golf courses, miniature golf courses, riding stables; and indoor facilities such as handball, badminton, racquetball, dance hall and tennis club facilities; ice or roller skating rinks; trampoline and bounce house establishments; bowling alleys; pool and billiards lounges; and electronic game and amusement centers. This classification may include snack bars and other incidental food and beverage services to patrons. Bars or restaurants with alcohol sales shall be treated as a separate use and shall be regulated accordingly, even when operated in conjunction with the entertainment and recreation use.

COMMUNITY GARDENS. A site used for growing plants for food, fiber, herbs, flowers, and others which is shared and maintained by community residents, either as an accessory or principal use of property.

CULTURAL INSTITUTIONS. A nonprofit institution displaying or preserving objects of interest in one or more of the arts or sciences. This use includes libraries, museums, and art galleries. May also include accessory retail uses such as a gift/book shop, restaurant, etc.

DRIVE-THROUGH OR DRIVE-UP ESTABLISHMENTS. An establishment that sells products or provides services to occupants in vehicles, including automated teller machines, drive-in or drive-up windows and drive-through services. Examples include fast food restaurants, banks, and pharmacies. Does not include “click and collect” facilities in which an online order is picked up in a stationary retail business without use of a drive-in service (see “Retail Sales – General”). Does not include drive-in theaters or “Automobile Washing/Detailing.”

DWELLING, SINGLE UNIT (ALSO “DWELLING, SINGLE FAMILY”). A dwelling unit designed for occupancy by one household which is not attached to or located on a lot with commercial uses or other dwelling units, other than an accessory dwelling unit. This definition also includes individual manufactured housing units installed on a foundation system pursuant to Cal. Health and Safety Code § 18551.

DWELLING, SINGLE FAMILY. A building consisting of one dwelling unit which is occupied or intended to be occupied as the permanent home or residence of one family.

DWELLING, MULTI-UNIT. Two or more dwelling units attached or detached on a site or lot, which does not include an accessory dwelling unit. Types of multiple unit dwellings include a duplex, triplex, fourplex, townhouses, common interest subdivisions, apartments, senior housing developments, and multistory apartment buildings. Multiple-unit dwellings may also be combined with nonresidential uses as part of a mixed-use development.

DWELLING, MULTIPLE. ~~A building divided into two or more dwelling units, each of which is occupied or intended to be occupied as the permanent home or residence of one family, and each family living independently of the other.~~

DWELLING, TWO-UNIT. Two primary dwelling units or, if there is already a primary dwelling unit on the lot, the development of a second primary dwelling unit on a legally subdivided lot in accordance with the requirements of Government Code section 65852.21.

EMERGENCY SHELTER, PERMANENT. Housing with minimal supportive services for homeless persons that is limited to occupancy of six months or less by a homeless person. No individual or household may be denied emergency shelter because of an inability to pay. (See Cal. Health and Safety Code § 50801.)

EMERGENCY SHELTER, TEMPORARY LOW BARRIER NAVIGATION CENTER. A Housing First, low-barrier, service-enriched shelter focused on moving people into permanent housing that provides temporary living facilities while case managers connect individuals experiencing homelessness to income, public benefits, health services, shelter, and housing. “Low Barrier” means best practices to reduce barriers to entry, and may include, but is not limited to, the following:

- (1) The presence of partners if it is not a population-specific site, such as for survivors of domestic violence or sexual assault, women, or youth.
- (2) Pets.
- (3) The storage of possessions.
- (4) Privacy, such as partitions around beds in a dormitory setting or in larger rooms containing more than two beds, or private rooms.

EMPLOYEE HOUSING, LARGE. Pursuant to Cal. Health and Safety Code § 17008, employee housing, large means any portion of any housing accommodation, or property upon which a housing accommodation is located, maintained in connection with any work or place where work is being performed, whether or not rent is involved, where such housing provides accommodations for seven or more persons employed by the same business.

EMPLOYEE HOUSING, SMALL. Pursuant to Cal. Health and Safety Code § 17008, employee housing, small mean any portion of any housing accommodation, or property upon which a housing accommodation is located, maintained in connection with any work or place where work is being performed, whether or not rent is involved, where such housing provides accommodations for six or fewer persons employed by the same business.

ENTERTAINMENT VENUE, INDOOR. An establishment offering predominantly spectator uses conducted within an enclosed building. Typical uses include motion picture theaters, civic and private auditoriums, live performance theaters, meeting halls and banquet rooms, and dance halls.

FAMILY DAY CARE HOME, LARGE. A home that provides family day care for 9 to 14 children, inclusive, including children under the age of 10 years who reside at the home, as set forth in California Code, Health and Safety Code - HSC § 1597.465 and as defined in regulations.

~~**DAY CARE, LARGE FAMILY.** A home that provides care for a maximum of 12 children including children under the age of 10 years that reside at the home, and no more than four of the children in the home can be infants, as defined in the California Health and Safety Code and the California Code of Regulations.~~

FAMILY DAY CARE HOME, SMALL. A home that provides family day care for eight or fewer children, including children under the age of 10 years who reside at the home, as set forth in California Code, Health and Safety Code - HSC § 1597.44 and as defined in regulations.

~~**DAY CARE, SMALL FAMILY.** A home that provides day care for up to six children (no more than three of which are infants), or in lieu of the foregoing, a maximum of four infants, including children under the age of 10 years who reside at the home, as defined in the California Health and Safety Code and the California Code of Regulations.~~

FINANCIAL INSTITUTIONS. Financial institutions providing retail banking services. This classification includes only those institutions engaged in the on-site circulation of money, including credit unions, but does not include “Check Cashing Shops and/or Payday Loans” or any facility exchanging valuables for payment. For administration, headquarters, or other offices of banks and credit unions without retail banking services/on-site circulation of money see “Office, Business and Professional.”

GYMNASIUM AND FITNESS CENTERS, LARGE. A full-service fitness center, gymnasium, or health and athletic club which is over 2,500 square feet in size and may include any of the following: sauna, spa, or hot tub facilities; weight rooms; indoor tennis, handball, or racquetball courts; rock climbing wall, boxing ring, cheerleading, aerobic classes and other indoor sports activities; locker rooms, and showers.

GYMNASIUM AND FITNESS CENTERS, SMALL. An indoor facility of 2,500 square feet or less in size where passive or active exercises and related activities are performed using minimal muscle-building equipment or apparatus for the purpose of physical fitness, improved circulation or flexibility, and/or weight control. Examples of uses include Pilates, personal training, dance, yoga, and martial arts studios.

HOSPITALS AND CLINICS/URGENT CARE. State-licensed facilities providing medical, surgical, psychiatric, or emergency medical services to sick or injured persons. This classification includes facilities for inpatient or outpatient treatment, including substance-abuse programs as well as training, research, and administrative services for patients and employees. This classification excludes veterinaries and animal hospitals (see “Animal Hospital”).

HOSPITAL. A facility providing medical, psychiatric, or surgical services for sick or injured persons primarily on an in-patient basis, and including ancillary facilities for outpatient and emergency treatment, diagnostic services, training, research, administration, and services to patients, employees, or visitors.

CLINIC/URGENT CARE. A facility other than a hospital, providing medical, psychiatric, or surgical service for sick or injured persons exclusively on an outpatient basis, including emergency treatment, diagnostic services, administration, and related services to patients who are not lodged overnight. Services may be available without a prior appointment. This classification includes licensed facilities such as blood banks and plasma centers, and emergency medical services offered exclusively on an outpatient basis such as urgent care centers. Typically operates beyond standard medical office hours and may provide emergency treatment. May include educational aspects such as medical instruction and/or training as well as house a lab, radiology, pharmacy, rehabilitation, and other similar services as accessory uses. This classification does not include private medical and dental offices that typically require appointments and are usually smaller scale, see “Office, Medical and Dental.”

HOSPITAL. Any building or portion thereof used for the accommodation and medical care of sick, injured, or infirm persons, and licensed by state law to provide such facilities and services.

HOTEL OR MOTEL. Facilities with guest rooms or suites, including private restroom facilities, no more than two guest beds per room, and provided with or without kitchen facilities, rented to the general public for transient lodging (less than 30 days).

HOTEL. A building designed for or occupied as a temporary abiding place by individuals who are lodged with or without meals, in which there are six or more guest rooms, and in which no provision is made for cooking in more than two individual rooms or suites. Jails, hospitals, asylums, sanitariums, orphanages, prisons, detention homes or similar buildings where human beings are housed or detained under legal restraint are specifically not included.

LABORATORY – MEDICAL, ANALYTICAL, RESEARCH, TESTING. A facility for testing, analysis, and/or research. Examples of this use include medical labs, soils and materials testing labs, and forensic labs. This type of facility is distinguished from industrial research and development (see “Research and Development”) in its orientation more toward testing and analysis than product development or prototyping; an industrial research and development facility may typically include this type of lab. The “medical lab” subset of this land use type is oriented more toward specimen analysis and processing than direct blood drawing and specimen collection from patients (see “Hospitals and Clinics/Urgent Care”) but may also include incidental specimen collection.

LABORATORY. A building or part of a building devoted to the testing and analysis of any product, animal or person, but where no manufacturing is conducted on the premises except for experimental or testing purposes.

LIVE/WORK UNIT. An integrated housing unit and working space, occupied and utilized by a single household in a structure, either single-unit or multiple-unit, and may include only commercial activities and pursuits that are compatible with the character of a residential environment. May be designed or structurally modified to accommodate joint residential occupancy and work activity, and which includes: (1) complete kitchen space and sanitary facilities in compliance with the City building code and (2) working space reserved for and regularly used by one or more occupants of the unit.

MANUFACTURING – LIGHT. A use engaged in the manufacture, predominately from previously prepared materials, of finished products or parts, including processing, fabrication, assembly, and treatment packaging, taking place primarily within enclosed buildings and producing minimal impacts on nearby properties. Includes accessory wholesale and/or direct retail sale to consumers of only those goods produced on-site. Includes accessory office uses associated with the on-site use. Examples of light

industrial uses include, but are not limited to the manufacture of electronic instruments, equipment, and appliances; brewery and alcohol production, pharmaceutical manufacturing; and production apparel manufacturing.

MOBILE HOME. A trailer, transportable in one or more sections, that is certified under the National Manufactured Housing Construction and Safety Standards Act of 1974, which is over eight feet in width and 40 feet in length, with or without a permanent foundation and not including recreational vehicle, commercial coach, or factory-built housing.

MOBILE HOME. The same as "trailer, automobile."

MOBILE HOME PARKS. A parcel of land under one or more ownerships that has been planned and improved for the placement of two or more mobile homes, as the term "mobile home" is defined in Civil Code Section 798.3 or successor provision of the State Mobile home Residency Law, for nontransient use.

~~**MOTEL.** A building or group of two or more detached, semi-detached, or attached buildings containing guest rooms or dwelling units with automobile storage space provided in connection therewith, and designed, intended to be used or used primarily for the accommodation of transient automobile travelers and which are rented by the day or week. **MOTEL** shall include auto cabins, tourist courts, motor courts, motor lodges, and similar designations. An establishment shall be considered a motel if it is required by the California Health and Safety Code to obtain the name and address of the guests, the make, year and license number of the vehicle, and the state in which it is registered.~~

OFFICE, BUSINESS AND PROFESSIONAL (NON-MEDICAL AND DENTAL OFFICE). Offices of firms or organizations providing professional, executive, management, or administrative services, such as accounting, architectural, computer software design, engineering, graphic design, interior design, legal offices, and tax preparation offices, but excluding check cashing businesses and banks and savings and loan associations (see "Financial Institutions").

OFFICE, MEDICAL AND DENTAL. Office use providing consultation, diagnosis, therapeutic, preventive, or corrective treatment services by doctors, dentists, chiropractors, acupuncturists, optometrists, and similar medical professionals, medical and dental laboratories within medical office buildings but excluding clinics or independent research laboratory facilities and hospitals (see "Hospitals and Clinics/Urgent Care"). Incidental medical and/or dental research within the office is considered part of the office use, where it supports the on-site patient services.

PERSONAL SERVICES, GENERAL. Recurrent services of a personal nature. This classification includes barber shops and beauty salons, nail salons seamstresses, tailors, full-service day spas (including those offering massage services provided all persons engaged in the practice of massage are certified pursuant to the Cal. Business and Professions Code Section 4612), dry-cleaning pick-up stores with limited on-site cleaning equipment, shoe repair shops, self-service laundries, locksmiths, video rental stores, photocopying, photo finishing services, and travel agencies mainly intended for the consumer. Does not include establishments defined as “personal services – restricted.”

PERSONAL SERVICES, RESTRICTED. Personal services with characteristics that have the potential to adversely impact surrounding areas, and which may need to be dispersed to minimize their adverse impacts. Examples of these uses include fortune-telling, palm reading, and psychic services; palm and card readers; tanning salons; tattoo and body modification services, and massage parlors.

PRIMARY STREET FRONTAGE. The primary public right-of-way frontage determined as that frontage along the right-of-way with the highest roadway classification, as specified in the Santa Fe Springs General Plan. Lots with a single frontage shall designate that frontage as primary. The primary street frontage is designed for pedestrians, includes wide sidewalks, buildings frontages oriented to the street, windows and entryways oriented to the street, landscaping along sidewalks, and other pedestrian amenities and design elements.

RELIGIOUS ASSEMBLY FACILITIES. Any facility specifically designed and used to accommodate the gathering of persons for the purposes of fellowship, worship, or similar conduct of religious practices and activities. This definition includes functionally related internal facilities (i.e., kitchens, multi-purpose rooms, storage, etc.) and residences for clergy. Other establishments maintained by religious organizations, including full-time educational institutions, hospitals, and other related operations, are classified according to their respective activities.

RESEARCH AND DEVELOPMENT. A facility for scientific research, and the design, development and testing of electrical, electronic, magnetic, optical and computer and telecommunications components in advance of product manufacturing, and the assembly of related products from parts produced off-site, where the manufacturing activity is secondary to the research and development activities. Includes pharmaceutical, chemical and biotechnology research and development. Does not include soils and other materials

testing laboratories (see “Laboratory – Medical, Analytical, Research, Testing”), or blood drawing and specimen collection from patients (see “Hospitals and Clinics/Urgent Care”), or testing of computer software (see “Office”). Includes assembly of related products from parts produced off-site where the manufacturing activity is secondary to the research and development activities.

RESTAURANT. Establishments where food and beverages may be consumed on the premises, taken out, or delivered.

RETAIL SALES – GENERAL. The retail sale or rental of merchandise not specifically listed under another use definition. This classification includes grocery (including department stores, clothing stores, furniture stores, pet supply stores, hardware stores, and businesses retailing the following goods: toys, hobby materials, handcrafted items, jewelry, cameras, photographic supplies and services (including portraiture and retail photo processing), medical supplies and equipment, pharmacies, electronic equipment, sporting goods, kitchen utensils, hardware, appliances, antiques, art galleries, art supplies and services, paint and wallpaper, carpeting and floor covering, office supplies, bicycles, and new automotive parts and accessories (excluding vehicle service and installation). Retail sales may be combined with other services such as office machine, computer, electronics, and similar small-item repairs. Does not include pawn shop, secondhand stores or other establishments defined as “retail sales – restricted.”

RETAIL SALES – RESTRICTED. The retail sale of adult books, videos and merchandise, gun and ammunition stores, pawn shops, consignment stores, secondhand stores, swap meets, and business offering payment for valuable goods such as jewelry and gold.

SCHOOLS, K - 12 – PRIVATE. A private academic educational institution, including boarding schools; elementary, middle/junior, and high schools; military academies; and businesses providing instruction in arts and languages. This definition does not include “Technical Trade, Business or Professional Schools” or non-tuition part-time instruction at religious assembly facilities.

SERVICE/FUELING STATION, AUTOMOBILE. An establishment engaged in the retail sale of vehicle fuels or the retail sale of these fuels in combination with activities, such as providing minor vehicle repair services; selling automotive oils, replacement parts, and accessories; and/or ancillary retail and grocery sales. Does not include body and fender work or "heavy" repair of trucks or other motor vehicles (see “Automobile Service, Major”).

SERVICE STATIONS, AUTOMOBILE. Any building or premises used primarily for the retail sale of gasoline and lubricants, but which may also provide for the incidental servicing of motor vehicles including grease racks, tire repairs, battery charging, hand washing of automobiles, sale of merchandise and supplies related to the servicing of motor vehicles, and minor replacements, but excluding body and fender work, engine overhauling and similar activities. When the dispensing of fuels is incidental to the conduct of a public garage the premises shall be classified as a public garage. **AUTOMOBILE SERVICE STATION** does not include automobile or trailer sales lots, new or used.

SINGLE ROOM OCCUPANCY (SRO): A rooming unit or efficiency living unit located in a building containing six or more such dwellings that are offered for occupancy by residential tenants for at least 30 consecutive days. Kitchen and bathroom facilities may be wholly or partially included in each living space or may be fully shared.

SINGLE ROOM OCCUPANCY (SRO) HOUSING. SROs refer to a residential facility where individual secure rooms are rented to a one or two person household. Rooms are generally 150 to 375 square feet in size and include a sink, closet and toilet, with shower and kitchen facilities typically shared. SRO units are rented to tenants on a weekly or monthly basis.

TECHNICAL TRADE, BUSINESS OR PROFESSIONAL SCHOOLS. Public or private post-secondary schools (other than a community college or four-year college) providing occupational or job skills training for specific occupations, including business and computer schools, management training, and technical training schools. Excludes personal instructional services such as music lessons and tutoring, and schools providing instruction in the use of heavy equipment, such as truck driving schools.

TRANSIT STATION. Passenger stations for vehicular and rail mass transit systems. Includes buses, taxis, and railway.

UTILITY FACILITIES. A structure or improvement built or installed above ground for the purpose of providing utility services, communications services, and materials transfer to more than one lot. Generating plants; electric substations; solid waste collection, including transfer stations and materials recovery facilities; solid waste treatment and disposal; water or wastewater treatment plants; and similar facilities of public agencies or public utilities, including corporation and maintenance yards. Utility facilities with on-site staff include those that have office and/or working space for employees, and/or that require

employees to be located on site for general operation of the facility. Utility facilities with no on-site staff do not include working space for employees, and where on-site staff are required intermittently only for maintenance and/or infrequent monitoring.

Exhibit B - Establishment of Zones

Key:

Normal Text = Existing unmodified Code language

~~Strikethrough Text~~ = Proposed language to be removed from existing Code

Underline Text = Proposed language to be added to Code

Code of Ordinances of the City of Santa Fe Springs Chapter 155, Section 155.015 is hereby amended as follows:

§ 155.015 ESTABLISHMENT OF ZONE DISTRICTS.

In order to provide for the orderly development of the city and for the purpose of carrying out the provisions of this chapter, the city is hereby divided into land use zone districts, hereafter referred to as zones or zone districts, which shall be known by the following zone symbols and designations:

Zone Symbol	Zone Designation
A-1	Light Agricultural
R-1	Single-Family Residential
R-3	Multiple-Family Residential <u>Medium Density Residential</u>
R-4	<u>Multiple-Family/High Density Residential</u>
C-1	Neighborhood Commercial
C-4	Community Commercial
MU	<u>Mixed-Use</u>
MU-DT	<u>Mixed-Use Downtown</u>
MU-TOD	<u>Mixed-Use Transit-Oriented Development</u>
ML	Limited Manufacturing Administration and Research
M-1	Light Manufacturing
M-2	Heavy Manufacturing
PF	Public Use Facilities
BP	Buffer Parking

Superimposed Zones

D	Design <u>Overlay</u> Zone
FOZ	<u>Freeway Overlay Zone</u>
PD	Planned Development <u>Overlay</u> Zone
SP1	<u>Specific Plan Overlay Zone</u>

Exhibit C - Multiple-Family Residential Zone Districts

Code of Ordinances of the City of Santa Fe Springs Chapter 155 is hereby amended to delete Part 4. R-3 MULTIPLE-FAMILY ZONE DISTRICT, Sections 155.090 through 155.110 in its entirety and restated to read in its entirety as follows:

PART 4. MULTIPLE-FAMILY RESIDENTIAL ZONE DISTRICTS (R-3, R-4)

§ 155.090 PURPOSE.

The following zone districts are referred to collectively in this Section as the “multiple-family residential zones.”

- (A) The Multiple-Family/Medium Density Residential (R-3) zone district provides a suitable environment for those wishing to live in attached and detached housing on small lots, apartments, or multiple dwelling units. The intent is to promote pedestrian- and street-oriented design, retain desirable residential characteristics for medium density living, and stabilize and protect existing medium density areas. Detached and attached housing is permitted with a range of density (9.1 to 25 units per acre) with heights of two to four stories and high-quality design to ensure neighborhood quality.
- (B) The Multiple-Family/High Density Residential (R-4) zone district provides a suitable environment for those wishing to live in apartments or multiple dwelling units. The intent is to promote pedestrian- and street-oriented design, retain desirable residential characteristics for high density living, and stabilize and protect existing high-density areas. Multiple dwelling unit developments are permitted with a range of density (25.1 to 40 units per acre) with heights of two to four stories and high-quality design to ensure neighborhood quality.

§ 155.091 USES.

Principally permitted uses and conditional uses are shown in Table 1. Where a “P” is indicated, the use is a principal permitted use in the zone. Where a “CUP” is indicated, the use is permitted in the zone only after a valid conditional use permit has first been issued. Where an “AUP” is indicated, the use requires an administrative use permit from the Director of Planning and Development. Where an “X” is indicated, the use is not allowed.

Table 1: Multiple-Family Residential Allowed Uses and Permit Requirements			
P: Permitted Use X: Use Not Allowed		CUP: Conditional Use Permit AUP: Administrative Use Permit	
Use	Land Use Regulation		Specific Use Regulations
	R-3	R-4	
RESIDENTIAL USES			
Single-Unit Dwelling	X	X	
Multi-Unit Dwellings	P	P	

Two-Unit Dwellings, Duplexes, and Triplexes	P	P	
Accessory Dwelling Unit.	P	P	Permitted only as an accessory use Subject to the regulations in § 155.644
Accessory Uses	P	P	See § 155.092
Boarding House and Single Room Occupancy (SRO)	CUP	CUP	
Employee Housing, Large	P	P	
Employee Housing, Small	P	P	Six or fewer occupants
Manufactured (Mobile) Homes	P	P	Requires permanent foundation
Mobile Home Park	P	P	
Supportive Housing	P	P	Subject to only those restrictions and processing requirements that apply to other residential dwellings of the same type in this district
Transitional Housing	P	P	Subject to only those restrictions and processing requirements that apply to other residential dwellings of the same type in this district
CARE SERVICES AND FACILITIES			
Residential Care, Assisted Living	CUP	CUP	
Community Care Facilities, Large	CUP	CUP	
Community Care Facilities, Small	P	P	Six or fewer occupants
Emergency Shelter, Permanent	X	X	
Emergency Shelter, Temporary Low Barrier Navigation Centers	X	X	
Family Day Care Home, Large	AUP	AUP	Subject to Approval by Director of Planning and Development See Section 155.625; Day Care; Large Family
Family Day Care Home, Small	P	P	
RECREATION, EDUCATION, AND PUBLIC ASSEMBLY USES			
Clubs, lodges, and similar organizations, except those operated for profit	CUP	CUP	See § 155.622 Clubs, Lodges and Similar Organizations
Community Gardens	P	P	
Cultural Institutions	CUP	CUP	May not include storage yards, warehouses, or similar facilities
Recreation, Public	P	P	
Recreation, Private	CUP	CUP	
Quasi-Public Facilities	CUP	CUP	May not include storage yards, warehouses, or similar facilities
Public Facilities	P	P	

Religious Assembly Facilities	CUP	CUP	
Schools, K-12 – Private	CUP	CUP	
Schools, K-12 – Public	P	P	
Business or Professional Schools	CUP	CUP	
Colleges and Universities – Public and Private	CUP	CUP	
RETAIL, COMMERCIAL SERVICE, AND OFFICE			
Office, Business, and Professional (non-medical and Dental Offices)	CUP	CUP	
OTHER USES			
Temporary Uses/Activities	Subject to the approval of the Director of Planning and Development		See Section 155.643 Sales Promotional Uses; Temporary.
Electrical Distribution Substations	CUP	CUP	May not include storage yards, warehouses, or similar facilities
Utility Facilities			
Facilities with On-site Staff	CUP	CUP	
Facilities with No On-site Staff	CUP	CUP	
Wireless Telecommunication Facilities, Satellite Dish Antenna	Subject to Chapter 157 (Wireless Telecommunications Facilities) and as otherwise regulated by this Chapter		

§ 155.092 ACCESSORY USES.

The following accessory uses are permitted in the multiple-family residential use zones:

- (A) Garages, gardening sheds, lath houses, recreation rooms and similar uses customarily incidental to principal permitted uses.
- (B) The provisions of room and board for not more than two persons per dwelling unit, other than members of the household or household employees.
- (C) Private swimming pools.
- (D) Keeping of not more than one adult dog and one adult cat and their litters up to the age of 10 weeks.
- (E) Home occupations in accordance with the provisions of § 155.635.
- (F) Vegetable or flower gardens.
- (G) Yard sales in accordance with the following:
 - (1) A permit shall be required from the Police Services Department to conduct a yard sale in the multiple-family residential zones. Said permit shall be posted conspicuously on the property during the course of the yard sales event.
 - (2) A resident shall be allowed a maximum of three-yard sale events in any calendar year.
 - (3) Each yard sale shall not exceed three consecutive days.
 - (4) Each sale may begin no earlier than 8:00 a.m. and conclude no later than 6:00 p.m.

- (5) One sign, with an area not greater than six square feet, may be posted on the private property where the yard sale occurs; the sign must be removed at the conclusion of the sale each day. No other signs are permitted, including signs on public property.
- (6) The merchandise offered for sale shall be limited to the resident's personal goods. The offering of merchandise acquired for the purpose of resale is prohibited.
- (7) Cottage food operations in accordance with the provisions of § 155.635.1.
- (8) Other uses not explicitly prohibited that, in the opinion of the Director of Planning and Development, are incidental and accessory to multiple-family residential use and meet the intent of the respective zone and this Chapter.

§ 155.093 DEVELOPMENT STANDARDS.

The property development standards that follow shall apply to all lots in the multiple-family residential zones. The property development standards in §§ 155.445 through 155.463 shall also apply.

Table 2: Multiple-Family Residential Zones Development Standards			
Standards	Land Use Regulation		
	R-3	R-4	Comments
Minimum lot area	7,500 sf	20,000 sf	Small-lot subdivisions in R-3 zones may use PD process to create smaller lots
Minimum lot width	60 ft	None	
Minimum lot depth	125 ft	None	
Minimum dwelling size	500 sf per unit	--	Excludes garages and porch areas.
Maximum lot coverage	60%	--	
Open Space	200 sf/unit	150 sf/unit	See § 155.101
Storage	150 cu ft/unit	150 cu ft/unit	
Minimum setback <ul style="list-style-type: none"> - Front - Rear - Interior Side - Corner/Street Side 	15 ft 5 ft 5 ft 10 ft	15 ft 5 ft 5 ft 10 ft	1. Additional 5 ft setback required for each additional 10 ft of building height above height limitation 2. When used for driveway access to serve parking facilities, a side yard shall be not less than 10 feet.
Minimum setbacks for structures abutting a Single-Family Residential (R-1) zone <ul style="list-style-type: none"> - Rear - Interior Side 	20 ft 15 ft	20 ft 15 ft	
Maximum building height (base)	4 stories; 40 ft	4 stories; 55 ft	Increased height allowed with additional setbacks noted above
Maximum building height within 25 feet of a lot line abutting a residential zone (required step-down)	30 ft	30 ft	
Minimum distance between buildings containing dwelling units	20 ft	20 ft	The minimum distance between buildings set forth in

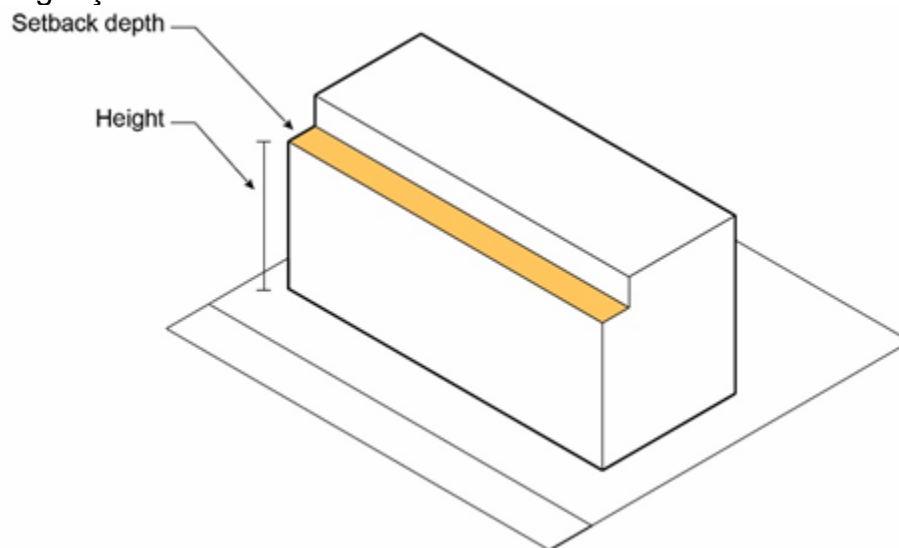
			this subchapter shall be increased by five feet for each 10 feet, or fraction thereof, above the building height limitation of 40 feet.
Maximum density	25 du/ac	40 du/ac	
	See also residential density bonus in §155.625.1		

§ 155.094 SETBACKS

- (A) Setbacks: Buildings shall be set back a minimum of 15 feet from the property line. A minimum of 50 percent of ground-floor building frontage shall be placed at or within 5 feet of the front setback.
- (B) Landscaping: All setbacks shall be landscaped with the exception of driveways and pedestrian paths

§ 155.095 STEPBACKS

- (A) Street stepbacks: On street-facing façades, portions of a building above the second story shall be stepped back a minimum of 5 feet, measured from the building façade.



- (B) Interior/rear stepbacks: On façades abutting R1 zoning districts, the building shall be stepped back above the second story a minimum of 5 feet, measured from the building façade

§ 155.096 PERMITTED FENCES, HEDGES AND WALLS.

Fences, hedges and walls shall be permitted in accordance with the following provisions:

- (A) Fences, hedges and walls in the front yard area shall be limited to three and one-half feet in height.
- (B) Fences, hedges and walls in street side yard areas shall be limited to three and one-half feet in height.
- (C) In all other areas, the height shall be limited to seven feet.
- (D) Fences and walls: Barbed wire, chain-link, and razor wire are prohibited.

§ 155.097 SCREENING OF MECHANICAL EQUIPMENT

- (A) Building walls. Where mechanical equipment is permitted on a building wall that abuts a public street or civic space, it shall be screened from view from the right-of-way or civic space. Standpipes, meters, vaults, and similar equipment need not be screened but shall not be placed on a front elevation when other feasible alternatives exist; such equipment shall be placed on a side or rear elevation or on a secondary street of a corner lot, where feasible.
- (B) Rooftops. Rooftop mechanical units shall be set back setback or screened behind a parapet wall so that they are not visible from any public street, civic space or abutting property.
- (C) Ground-mounted mechanical equipment. Ground-mounted equipment, such as generators, air compressors, trash compactors, and similar equipment, shall be screened with fences or walls constructed of materials similar to those on adjacent buildings. Hedges, trellises, and similar plantings may also be used as screens where there is adequate air circulation and sunlight, and irrigation is provided. The city may require additional setbacks and noise dampening equipment for compatibility with adjacent uses.

§ 155.098 REQUIRED OFF-STREET PARKING AND LOADING AND BICYCLE PARKING

Off-street parking and loading facilities shall be provided in accordance with §§ 155.475 through 155.502 of this Chapter.

(A) Vehicle Access

- (1) Driveways: A maximum of one two-way driveway shall be permitted on sites with less than 200 feet of primary street frontage. A maximum of two two-lane driveways shall be permitted on sites with 200 feet or more of primary street frontage.
 - (a) At least one driveway shall be located on a secondary street or alley, where available.
 - (b) Driveways and associated curb-cuts shall have a maximum width of 26 feet.
 - (c) The minimum distance between driveways on the same lot shall be 50 feet.
 - (d) Controlled entrances to parking (e.g., gates) shall be located at least 20 feet from the property line to allow for a queueing vehicle.

(B) Surface Parking

- (1) Setbacks: Parking shall be set back a minimum of 30 feet from the primary frontage, 10 feet from any secondary frontage, and five feet from any adjacent Residential zoning district.
 - (a) Parking shall be buffered by permitted non-parking uses or a landscaped setback adjacent to the property line, except for vehicle/pedestrian access.
 - (b) Landscaped setbacks shall include hedges or shrubs with a minimum height of three feet at the time of planting that form a continuous visual screen to block vehicle headlights.

- (2) Landscaping: A minimum of five percent of the parking area shall be landscaped and permeable, in addition to any landscaped setbacks. This area shall be distributed throughout the parking area.
 - (3) Trees: A minimum of one shade tree (a 24-inch box tree) for every four vehicle parking spaces shall be planted and evenly distributed throughout the parking area.
- (C) Structured Parking
- (1) Setbacks: Structured parking (including underground) shall be set back a minimum of five feet from any adjacent Residential zoning district.
 - (a) Above ground parking shall be buffered by permitted non-parking uses with a minimum depth of 35 feet adjacent to the street property line, except for vehicle/pedestrian access.
 - (b) Semi-subterranean parking shall not extend beyond the building façade and may not project higher than four feet above sidewalk elevation.
 - (c) Parking areas with controlled entrances, including access gates, shall be located at least 20 feet from the property line to allow for a queueing vehicle.
- (D) Electric Vehicle Charging Stations. Electric vehicle charging stations shall be provided consistent with the standards referenced within CalGreen Code section 4.106.4. In addition, the following standards shall apply:
- (1) Electric vehicle charging stations shall be provided in any area designed for the parking or loading of vehicles.
 - (2) In new parking areas with 20 or more parking spaces, a minimum of one electric vehicle charging station shall be provided for every 10 parking spaces.
- (E) Bicycle parking. Bicycle parking shall be provided consistent with the standards referenced within CalGreen Code section 5.106.4.1. In addition, the following standards shall apply:
- (1) Horizontal storage: Each horizontal bicycle space shall be designed to maintain a minimum of two feet in width and six feet in length, with a minimum of seven feet of vertical clearance.
 - (2) Vertical storage: Each vertical or wall-mounted bicycle space shall be designed to maintain a minimum of three feet six inches in length, with three feet between racks and a minimum of seven feet of vertical clearance.
 - (3) Aisles: Access to bicycle parking spaces shall be at least five feet in width. Bicycle spaces shall be separated from auto parking spaces or drive aisles by a fence, wall, curb, or at least five feet of open area.

§ 155.099 REQUIRED ACCESS.

In addition to § 155.098 (A) above, access to off-street parking facilities shall be provided in accordance with the provisions of §§ 155.488 through 155.490 of this Chapter.

§ 155.100 SIGNS.

No signs shall be permitted in the multiple-family residential zones except in accordance with the following provisions. The provisions of §§ 155.515 through 155.536 regarding signs shall also apply.

- (A) Signs or nameplates not exceeding one square foot in area and displaying only the name and address of the premises and the owner or lessee thereof shall be permitted.
- (B) Each apartment building or development may have one permanent sign not exceeding 20 square feet in area identifying the premises. Such sign shall not extend above the roof of the building.
- (C) Temporary subdivision tract signs and architect's or builder's signs shall be permitted in accordance with the provisions of §§ 155.515 through 155.536.
- (D) "For rent," "for sale," or "for lease" signs, each lot exceeding six square feet in area and not more than two such signs on any one lot or parcel, shall be permitted.
- (E) Signs which move or which have moving parts or flashing lights shall not be permitted in this zone.

§ 155.101 LANDSCAPING AND OUTDOOR OPEN SPACE

The following landscaping and outdoor open space provisions shall apply in the multiple-family residential zones. In addition, the landscaping provisions of §§ 155.545 through 155.559 shall also apply:

- (A) Site Landscaping
 - (1) At least 15 percent of the overall site shall be landscaped.
- (B) Minimum Area
 - (1) Minimum Open Space shall comply with the applicable design standards depending on type of open space. Areas used for parking, loading, or storage shall not be counted towards minimum Open Space.
 - (2) Residential Open Space: Residential projects shall provide a minimum of 15 percent of the residential gross floor area as Private Open Space and five percent of the residential gross floor area as Common Open Space.
- (C) Private Open Space
 - (1) Access: Private Open Space shall abut and have direct access to the associated tenant space.
 - (2) Dimensions: Private Open Space shall have a minimum area of 40 square feet and a minimum dimension of five feet in each direction, with a vertical clearance of at least eight feet.
 - (3) Distribution: Private Open Space shall be outdoors and may be located within a required setback.
- (D) Common Open Space
 - (1) Access: Common Open Space shall be available to all tenants of the building at no cost.
 - (2) Types: Common Open Space shall be provided by at least one of the following and designed to comply with the associated standards:
 - (a) Backyard or courtyard on the ground floor;
 - i. Dimensions: Common Open Space shall have a minimum area of 360 square feet and a minimum dimension of 15 feet in each direction.

- ii. Distribution: Common Open Space shall be outdoors, and a minimum of 80 percent of Common Open Space shall be open to the sky.
 - iii. Landscaping: A minimum of 15 percent of Common Open Space shall be planted area with a minimum dimension of 30 inches in each direction, with a soil depth of at least 18 inches.
 - iv. Trees: A minimum of one 24-inch box tree per project or for every 500 square feet of Common Open Space, whichever is greater, shall be planted within the Common Open Space. At least 50 percent shall be shade trees.
 - v. Hardscape: A maximum of 50 percent of Common Open Space may be paved in standard concrete, with the remainder using enhanced paving such as brick, natural stone, unit concrete pavers, textured/colored concrete, or similar.
 - vi. Water features: A maximum of 10 percent of Common Open Space shall be decorative water features, such as fountains or reflecting pools.
- (b) Roof deck, terrace, or similar on upper floors;
- i. Dimensions: Common Open Space shall have a minimum area of 400 square feet and a minimum dimension of 15 feet in each direction.
 - ii. Distribution: Common Open Space shall be outdoors, and a minimum of 80 percent of Common Open Space shall be open to the sky.
 - iii. Landscaping: A minimum of 15 percent of Common Open Space shall be planted area with a minimum dimension of 30 inches in each direction, with a soil depth of at least 18 inches.
 - iv. Hardscape: A maximum of 50 percent of Common Open Space may be paved in standard concrete, with the remainder using enhanced paving such as brick, natural stone, unit concrete pavers, textured/colored concrete, or similar.
 - v. Water features: A maximum of five percent of Common Open Space shall be decorative water features, such as fountains or reflecting pools.
- (c) Multi-use driveway.
- i. Paving. The entire surface of the driveway shall be comprised of permeable pavers.
 - ii. Landscaped buffer. The driveway shall be lined by a minimum 18-inch-wide planted area, except at garage entries and pedestrian pathways. If the landscaped buffer is adjacent to a wall, it shall include shrubs or vines of at least 24 inches in height.

- (3) Amount: A maximum of 30 percent of Common Open Space shall be indoors (i.e. lounges, fitness centers, and similar). Indoor Common Open Space shall not include spaces primarily used for circulation.

§ 155.102 ACCESSORY BUILDINGS.

The standards in this section apply to development and redevelopment of accessory structures on properties within the multiple-family residential zones, excluding accessory dwelling units.

- (A) Any accessory building located less than 70 feet from the front property line shall have the same minimum side yard as that required for the main building.
- (B) An accessory building shall have a maximum height of 16 feet.
- (C) An accessory building may be located on a side property line which does not border a street when said building complies with all of the following:
 - (1) Is 70 feet or more from the front property line.
 - (2) Has no openings on those sides of the building adjoining a property line and is of one-hour fire-resistant construction on said sides.
 - (3) Has provision for all roof drainage to be taken care of on the subject lot.
- (D) An accessory building which is 70 feet or more from the front property line, but which does not meet the requirements of subdivision (C) of this section, may not be located closer than three feet from the side property line.
- (E) An accessory building having direct vehicular access from an alley shall be located not less than 25 feet from the opposite side of the alley.
- (F) An accessory building may be permitted on the rear property line when said building:
 - (1) Has no openings on the sides adjoining any property line and is of one-hour fire-resistant construction on said sides.
 - (2) Has provision for all roof drainage to be taken care of on the subject property.
- (G) An accessory building which does not comply with the requirements of subdivision (F) of this section shall not be located closer than three feet from the rear property line.
- (H) An accessory building having direct vehicular access from an alley shall be located not less than 25 feet from the opposite side of the alley.
- (I) On a reverse corner lot, an accessory building shall not be located closer than five feet from any rear property line which is also the side property line for the property to its rear.

§ 155.103 PERMITTED ENCROACHMENTS INTO REQUIRED YARDS.

Certain encroachments shall be permitted in required yard areas. The type of encroachments and the distance they may extend into yard areas are set forth in §155.455 (D) and §155.457 (C).

§ 155.104 FRONTAGES

- (A) Ground Floor
 - (1) Entrances: Residential units located adjacent to a street shall have a primary entrance facing the street. Entrances shall have a minimum three-

foot by three-foot covered landing area at the same grade as the interior floor.

- (a) Entrances shall incorporate at least three of the following:
 - i. Recession at least two feet from the building façade;
 - ii. Overhead projection of at least two feet in depth (e.g., porch roof);
 - iii. A sidelight window, adjacent window, or door with a window;
 - iv. At least one stair, up or down, from the pedestrian pathway;
 - v. Paving material, texture, or pattern differentiated from the pedestrian pathway.
- (b) Elevation: Buildings shall have a finished floor between two and four feet above the nearest public sidewalk elevation. On sloping sites, up to 25 percent of units may have finished floors up to 6 feet above the nearest sidewalk.
- (c) Paths: Pedestrian pathways to all primary entrances and common areas shall have a minimum width of three feet, including to lobbies, open space, parking, and refuse collection areas.
 - i. Where located parallel to a driveway, a change of material or pattern shall distinguish pedestrian pathways from vehicular travel lanes.
- (d) Walls and fences: Freestanding walls, fences, and raised planters taller than 30 inches shall be set back a minimum of 18 inches from the property line, separated by planted area.
- (e) Stoops and patios: The side of a patio or stoop (when parallel to a sidewalk) taller than 30 inches shall be set back a minimum of 18 inches from the property line, separated by planted area.

(B) Façades

- (1) Transparency: Street-facing façades shall incorporate glazing for at least 20 percent of the overall façade, including at least 15 percent of the ground level.
- (2) Windows: Windows shall be recessed at least two inches from the face of the façade.
 - (a) Windows shall have a visible transmittance (VT) of 0.5 or higher. Mirrored, tinted or highly reflective glazing is prohibited.
 - (b) Vinyl windows are prohibited
- (3) Materials: A minimum of two materials shall be used on any building façade, in addition to glazing, railings, and trim, and shall correspond to variations in building plane.
 - (a) A primary material shall cover at least 40 percent of any building façade, excluding windows.
- (4) Color: No more than four colors shall be applied to the building façade (one primary color and up to three trim colors), excluding art (e.g. a mural).
- (5) Balconies: Balconies shall project a maximum of four feet from the building façade and shall not be located within 6 feet of any interior property line.
 - (a) Side-loaded townhomes shall incorporate at least one front-facing balcony.

- (6) Roof decks: Roof decks located within 25 feet of a Residential zoning district shall be set back a minimum of 5 feet from the building edge.
 - (a) The sum of all roof decks on a single building shall not exceed 60 percent of the roof area to allow for mechanical equipment including solar panels.
- (7) Lighting: All structures, entrances, parking areas, common open spaces, and pedestrian pathways shall be lit from dusk to dawn.
 - (a) Lighting shall be located to illuminate only the intended area, and a minimum of 90 percent of lighting shall be directed downward.
 - (b) Lighting shall not extend beyond an interior property line, and light sources shall not be visible from adjacent properties.
- (8) Screening: Rooftop equipment, excluding solar photovoltaic, shall be screened from public view.

§ 155.105 ARCHTECTURAL DESIGN STANDARDS

(A) Modulation

- (1) Building length: Buildings shall be no longer than 10 units or 200 feet in length, whichever is less, with a minimum separation of 10 feet between buildings.
- (2) Façade modulation: Street-facing façades over two stories in height shall incorporate at least two of the following:
 - (a) A sloped roof with a pitch greater than 3/12;
 - (b) A flat roof with a minimum two-foot vertical height difference for a minimum of 10 feet in length and depth;
 - (c) A top-level step back of at least two feet for a minimum of 25 percent of the length of the façade;
 - (d) A terrace at least five feet in depth and eight feet in width, open to the sky, at least every 50 feet;
 - (e) Balconies over 20 percent of the elevation;
 - (f) A change in material or texture (excluding windows, doors and railings).
- (3) Façade break: Façade planes adjacent to R1 zoning districts shall not exceed 50 feet in width without a façade break of at least five feet deep and 10 feet wide.

§ 155.106 STREETScape REQUIREMENTS.

- (A) Sidewalks and other pedestrian improvements. All sidewalk construction shall be designed and constructed to meet standard city specifications as approved by the City. On major street frontages, the Director of Planning and Development may condition development approvals on construction of wider sidewalks, pedestrian streetscape furniture, pedestrian-scale lighting, safety enhancements (e.g., bollards) and textured paving surfaces.
- (B) Street trees. Street trees are required on all streets. Street trees shall be selected, planted and maintained in accordance with city specifications for street trees. On major street frontages, if street trees are planted within tree wells, the Director of

Planning and Development may condition development approvals on such wells having city-approved metal grates.

Exhibit D – Mixed-Use Zone Districts

Code of Ordinances of the City of Santa Fe Springs Chapter 155, is hereby amended to add Part 6.A. MIXED-USE ZONE DISTRICTS (MU, MU-DT and MU-TOD), Section 155.175 as follows:

PART 6.A. MIXED-USE ZONE DISTRICTS (MU, MU-DT AND MU-TOD)

§ 155.175.1 PURPOSE.

The following zone districts are referred to collectively in this Chapter as the “mixed-use zones.”

- (A) The Mixed-Use (MU) zone district provides opportunities to create mixed use corridors, such as Telegraph Road. The zone encourages mixed-use development along key frontages, with landscaped street edges designed to protect pedestrians and buildings from automobile and truck traffic. A mix of uses are permitted including multi-family residential (up to 40 units per acre), retail and service commercial, office, dining, and small-scale entertainment.
- (B) The Mixed-Use Downtown (MU-DT) zone district implements the City’s goal to establish a new downtown –one which is envisioned as a mixed-use district surrounding Heritage Park, with a newly created main street setting and vertical/horizontal mixed-use development featuring ground-floor commercial uses and residences above. The district provides opportunities for multi-family residential (up to 40 units per acre), retail and service commercial, office, dining, entertainment, hospitality, lodging restaurants, entertainment venues and public gathering spaces for community events within highly walkable areas with broad pedestrian-friendly sidewalks, trees, landscaping, signage, and art.
- (C) The Mixed-Use Transit-Oriented Development (MU-TOD) zone district is intended for use around the planned Metro L Line station at Washington and Norwalk Boulevards) and the existing Metrolink Norwalk/Santa Fe Springs Station. Transit-oriented communities consist of residential and commercial activity. The standards are intended to help ensure that the physical environment around each station considers the pedestrian scale, with easy walking connections to the station platforms. A mix of uses are permitted including multi-family residential (up to 60 units per acre), retail and service commercial, office, dining, and entertainment.

§ 155.175.2 USES.

Permitted uses and conditional uses are shown in Table 1. Where a “P” is indicated, the use is a principal permitted use in the zone. Where a “CUP” is indicated, the use is permitted in the zone only after a valid conditional use permit has first been issued. Where an “AUP” is indicated, the use requires an administrative use permit from the Director of Planning and Development. Where an “X” is indicated, the use is not allowed.

Table 1: Mixed-Use Allowed Uses and Permit Requirements

P: Permitted Use X: Use Not Allowed	CUP: Conditional Use Permit AUP: Administrative Use Permit
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Uses	Land Use Regulation			Specific Use Regulations
	MU	MU-DT	MU-TOD	
RESIDENTIAL USES				
Single Unit Dwelling	X	X	X	
Multi-Unit Dwellings	P	P	P	
Accessory Dwelling Unit	P	P	P	Subject to the regulations in § 155.644
Boarding House and Single Room Occupancy (SRO)	CUP	CUP	CUP	
Employee Housing, Large	P	P	P	
Employee Housing, Small	P	P	P	
Live/Work Unit	P	P	P	
Supportive Housing	P	P	P	
Transitional Housing	P	P	P	
CARE SERVICES AND FACILITIES				
Community Care Facilities, Large	CUP	CUP	CUP	
Community Care Facilities, Small	P	P	P	
Emergency Shelter, Permanent	P	X	X	Emergency shelter facilities are subject to § 155.629.1
Emergency Shelter, Temporary Low Barrier Navigation Centers	P	P	P	
Family Day Care Home, Large	AUP	AUP	AUP	Subject to Approval by Director of Planning and Development See Section 155.625; Day Care; Large Family Allowed in stand-alone residential uses only.
Family Day Care Home, Small	P	P	P	Allowed in stand-alone residential uses only.
Hospitals and Clinic/Urgent Care: • Clinic/Urgent Care	P/ CUP	P / CUP	P / CUP	CUP required for: blood/plasma donation centers; new clinic/urgent care establishments with more than 10,000 SF of floor area; and hospitals.
Hospital	CUP	X	X	
RECREATION, EDUCATION, AND PUBLIC ASSEMBLY USES				
Commercial Recreation Facilities (Indoor facilities only)	CUP	CUP	CUP	Amusement arcades are subject to § 155.614; Bingo parlors and game rooms are subject to § 155.617; Clubs, lodges and similar organizations are subject to § 155.622.
Community Gardens	P	P	P	
Cultural Institutions	P	P	P	
Entertainment Venue (Indoor facilities only)	P / CUP	P / CUP	P / CUP	CUP is required for new establishments with more than 10,000 SF of floor area or establishments with Live Entertainment (Incidental or Standalone). Adult uses are subject to §155.602.

Gymnasium and Fitness Centers (Large)	P / CUP	P / CUP	P / CUP	CUP required for new establishments with more than 10,000 SF of floor area.
Gymnasium and Fitness Centers (Small)	P	P	P	
Parks and Public Plazas	P	P	P	
Religious Assembly Facilities	P	P	P	
Schools, K-12 – Private	CUP	CUP	CUP	
Schools, K-12 – Public	P	P	P	
Technical Trade, Business or Professional Schools	CUP	CUP	CUP	
Colleges and Universities – Public and Private	CUP	CUP	CUP	
EATING ESTABLISHMENTS				
Breweries, Wineries, or Distilleries,	CUP	CUP	CUP	Subject to § 155.628 -Sale or service of alcoholic beverages.
Cigar Lounges and Bars	P / CUP	P / CUP	P / CUP	Lounges serving alcoholic beverages are subject to § 155.723 Conditional use permits for entertainment and other uses and § 155.628 Sale or service of alcoholic beverages.
Cocktail Lounges and Bars	CUP	CUP	CUP	Subject to § 155.723 Conditional use permits for entertainment and other uses and § 155.628 Sale or service of alcoholic beverages.
Restaurants				
Where the Outdoor Dining area is more than 50% of the overall seating area	CUP	CUP	CUP	
Serving Alcoholic Beverages	CUP	CUP	CUP	Restaurants serving alcoholic beverages are subject to § 155.628 Sale or service of alcoholic beverages.
With Drive-in or Drive-through Facilities	CUP	CUP	CUP	
All Other Restaurants	P	P	P	
RETAIL, COMMERCIAL SERVICE, AND OFFICE				
Automated Teller Machines (ATMs) – Drive-through	CUP	CUP	CUP	
Automated Teller Machines (ATMs) – Standalone	P	P	P	
Business Support Services	P	P	P	
Check Cashing Business and/or Pawn Shop	CUP	X	X	
Financial Institutions and Related Services	P	P	P	
Hotel and/or Motel	CUP	CUP	CUP	
Office, Business, and Professional (non-medical and dental offices)	P	P	P	

Office, Medical or Dental	P	P/CUP	P/CUP	CUP required for medical or dental office developments with more than 10,000 SF of floor area
Personal Services, General	P	P	P	
Personal Services, Restricted	CUP	CUP	CUP	
Retail, General	P/CUP	P/CUP	P/CUP	CUP required for new retail establishments with more than 20,000 SF of floor area or more than 2,000 SF of outdoor sales
Retail, Restricted	CUP	CUP	CUP	
Veterinary Clinic and/or Animal Grooming (Indoor Only)	P	P	P	Outdoor kennels or dog runs are not permitted.
AUTOMOBILE-ORIENTED USES				
Automobile Sales and Rental	X	X	X	
Automobile Washing/Detailing	X	X	X	
Automobile Service, Major	X	X	X	
Automobile Service, Minor	X	X	X	
Drive-in/Drive-through Establishments	CUP	CUP	CUP	
Service/Fueling Station, Automobile	X	X	X	
LIGHT INDUSTRIAL				
Laboratory – Medical, Analytical, Research, Testing (Existing uses only)	CUP	CUP	X	Expansion of existing uses is subject to CUP; new uses are prohibited
Manufacturing – Light (Existing uses only)	CUP	CUP	X	Expansion of existing uses is subject to CUP; new uses are prohibited
Research and Development (Existing uses only)	CUP	CUP	X	Expansion of existing uses is subject to CUP; new uses are prohibited
OTHER USES				
Transit Stations	CUP	CUP	P	
Utility Facilities				
• Facilities with On-site Staff	CUP	CUP	CUP	
• Facilities with No On-site Staff	P	P	P	
Wireless Telecommunication Facilities, Satellite Dish Antenna	Subject to Chapter 157 (Wireless Telecommunications Facilities) and as otherwise regulated by this Section			

§ 155.175.3 ACCESSORY USES.

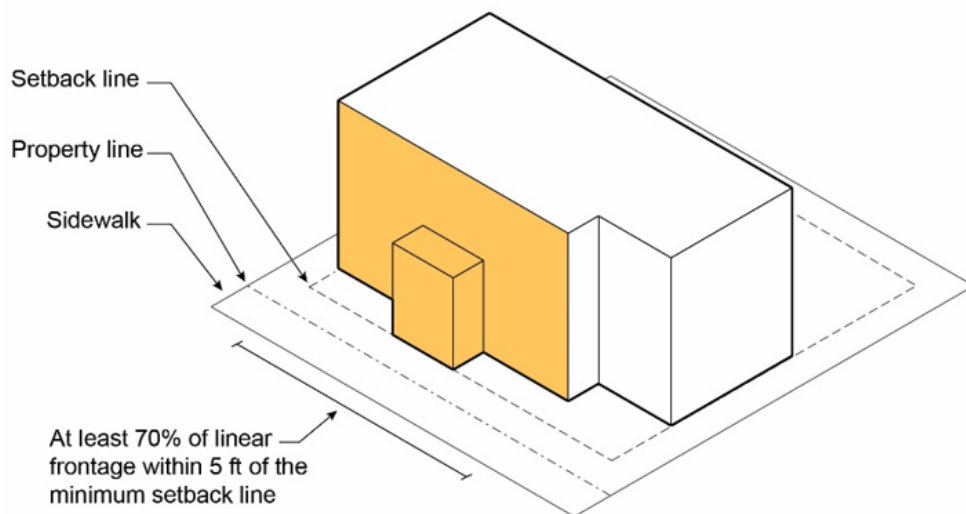
The following accessory uses are permitted in the mixed-use zones: those accessory uses and structures customarily appurtenant to a permitted use, such as incidental storage facilities.

§ 155.175.4 DEVELOPMENT STANDARDS.

Table 2: Mixed-use zones Development Standards			
Standards	Land Use Regulation		
	MU-DT	MU	MU- TOD
Minimum lot area	20,000 sf	20,000 sf	20,000 sf
Minimum lot width	None	None	None
Minimum lot depth	None	None	None
Maximum FAR	3.0	3.0	4.0
Minimum landscape area	10 SF per linear foot of frontage plus 5% of the total parking areas		
Open Space (residential only)	200 sf/unit	200 sf/unit	150 sf/unit
Storage (residential only)	150 cu ft/unit	150 cu ft/unit	150 cu ft/unit
Minimum setback	10 ft. See also § 155.175.5		
Maximum building height (base)	4 stories; 60 ft	6 stories; 80 ft	6 stories; 80 ft
Maximum building height within 25 feet of a lot line abutting a residential zone (required step-down)	See § 155.175.7 Stepbacks		
Maximum density	40 du/ac	40 du/ac	60 du/ac
	See also residential density bonus in §155.625.1		

§ 155.175.5 SETBACKS

(A) Street setbacks: Buildings shall be located within five feet of the minimum setback for at least 70 percent of the building frontage along the primary right-of-way and 50 percent along any secondary right-of-way, excluding alleys.



- (B) Landscaping. A minimum percentage of the setback area shall be landscaped with trees, shrubs, and/or groundcover, either in the form of in-ground landscaping or planters, as follows:

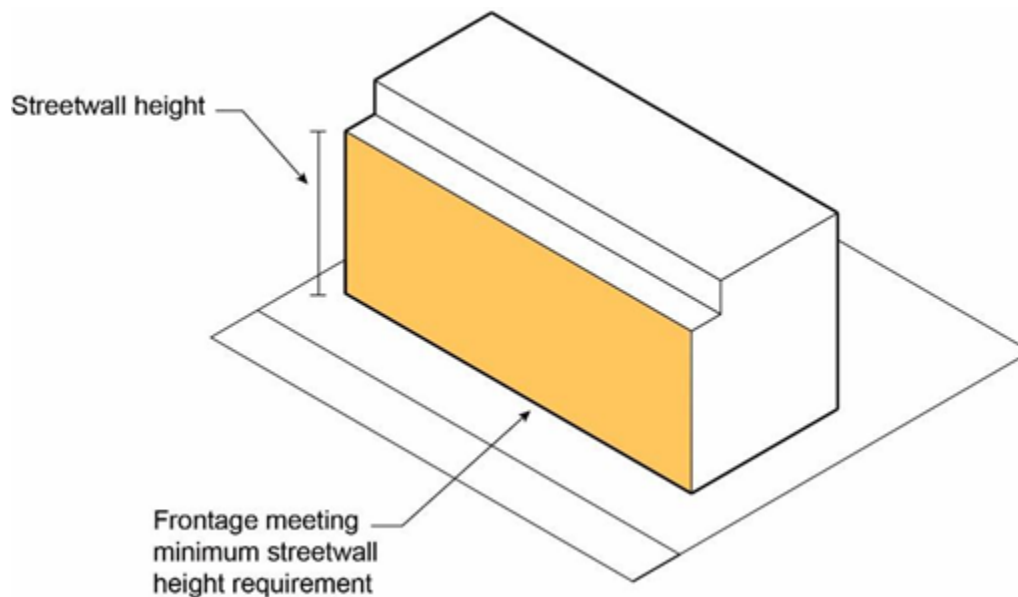
Table 3: Setback Landscaping Requirement	Percentage
Frontages with shared entrances to internal circulation	50%
Frontages with individual residential unit entrances	30%
With a stoop taller than 30 inches	10%
Frontages with commercial tenant entrances	30%
With outdoor dining	10%

- (C) Interior setbacks: Buildings shall be set back a minimum of 15 feet from adjacent residential zoning districts.

§ 155.175.6 STREETWALL

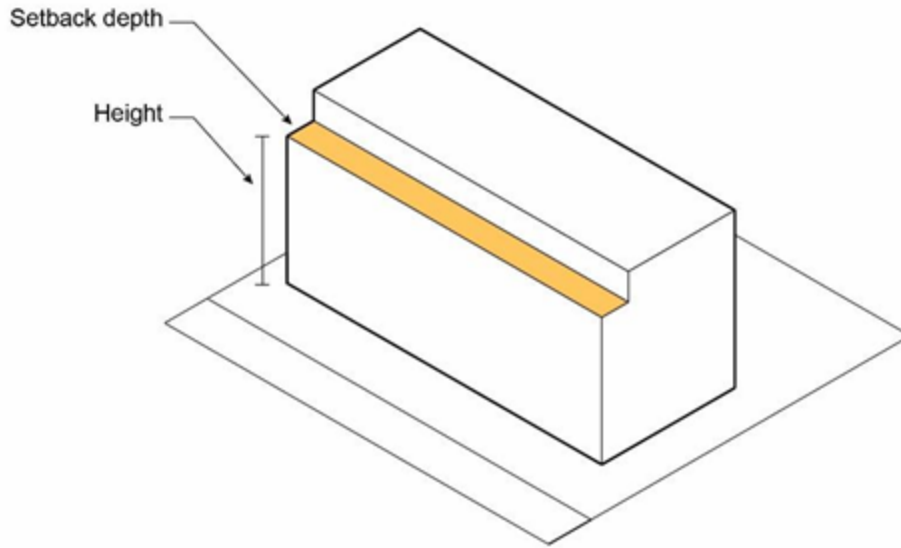
- (A) Streetwall: Street-facing facades shall meet or exceed 25 feet (or two stories in height) for at least 75 percent of building frontage along public rights-of-way, unless the overall building height is lower than two stories.

- (1) Streetwall is defined as any street-facing façade, excluding appurtenances, within five feet of the minimum setback and is not required to be continuous.

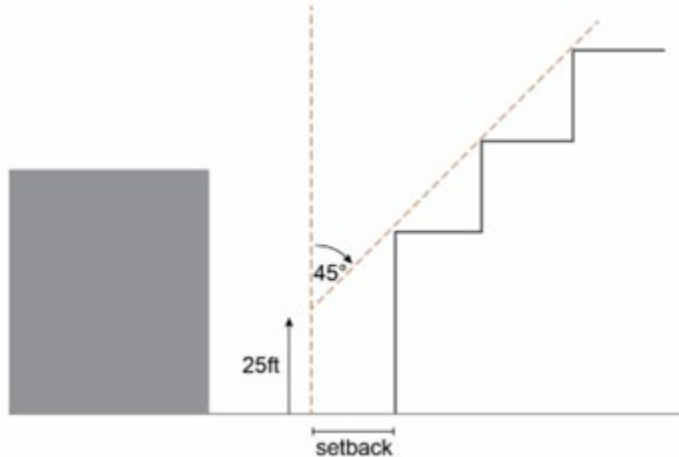


§ 155.175.7 STEPBACKS

- (A) Street stepbacks: Street-facing facades greater than four stories shall be stepped back a minimum of 10 feet from the minimum setback line. Uses allowed within the stepback depth include balconies, terraces, shade structures, and similar open space features.



- (B) Interior/rear stepbacks: Adjacent to Residential zoning districts, buildings shall not be located within a plane sloping upward and inward at a 45-degree angle measured from the vertical, starting 25 feet above the existing grade along the property line. Uses allowed within the stepback include balconies, terraces, shade structures, and similar open space features.



§ 155.175.8 PERMITTED FENCES, HEDGES AND WALLS.

Fences, hedges and walls shall be permitted in accordance with the following provisions:

- (A) Fences, hedges and walls in the front yard area shall be limited to three and one-half feet in height.
- (B) Fences, hedges and walls in street side yard areas shall be limited to three and one-half feet in height.
- (C) In all other areas, the height shall be limited to seven feet.
- (D) Fences and walls: Barbed wire, chain-link, and razor wire are prohibited.

§ 155.175.9 SCREENING OF MECHANICAL EQUIPMENT

- (A) Building walls. Where mechanical equipment is permitted on a building wall that abuts a public street or civic space, it shall be screened from view from the right-

of-way or civic space. Standpipes, meters, vaults, and similar equipment need not be screened but shall not be placed on a front elevation when other feasible alternatives exist; such equipment shall be placed on a side or rear elevation or on a secondary street of a corner lot, where feasible.

- (B) Rooftops. Rooftop mechanical units shall be setback or screened behind a parapet wall so that they are not visible from any public street, civic space or abutting properties.
- (C) Ground-mounted mechanical equipment. Ground-mounted equipment, such as generators, air compressors, trash compactors, and similar equipment, shall be limited to side or rear yards and screened with fences or walls constructed of materials similar to those on adjacent buildings. Hedges, trellises, and similar plantings may also be used as screens where there is adequate air circulation and sunlight, and irrigation is provided. The city may require additional setbacks and noise dampening equipment for compatibility with adjacent uses.

§ 155.175.10 REQUIRED OFF-STREET PARKING AND LOADING AND BICYCLE PARKING

Off-street parking and loading facilities shall be provided in accordance with §§ 155.475 through 155.502 of this chapter except as specified below.

- (A) Off-site parking. To allow flexibility in the location of required parking and to encourage efficient utilization of land, required parking may be located up to 600 feet from the development (as measured along the most direct walking path). Such parking shall be designated, and signage shall be installed indicating that it has been assigned to the remote development. Confirmation of the parking assignment shall be required prior to occupancy of the development.
- (B) Shared parking. Required parking facilities for two or more uses, structures, or parcels of land may be satisfied by the same parking facilities used jointly to the extent that the owners or operators show that the need for parking facilities does not materially overlap (e.g., uses primarily of a daytime versus nighttime nature; weekday uses versus weekend uses) or that one of the sites has an excess supply of parking. The application shall include a parking study demonstrating that this standard has been met. The right of joint use must be evidenced by a recorded deed, lease, contract, or similar written instrument establishing the joint use. Shared parking requests shall be subject to review and approval through the Conditional Use Permit process.
- (C) Electric Vehicle Charging Stations. Electric vehicle charging stations shall be provided consistent with the standards referenced within CalGreen Code section 4.106.4. In addition, the following standards shall apply:
 - (1) Electric vehicle charging stations shall be provided in any area designed for the parking or loading of vehicles.
 - (2) In new parking areas with 20 or more parking spaces, a minimum of one electric vehicle charging station shall be provided for every 10 parking spaces.
- (D) Bicycle Parking. Bicycle parking shall be provided consistent with the standards referenced within CalGreen Code section 5.106.4.1. In addition, the following standards shall apply:

- (1) Horizontal storage: Each horizontal bicycle space shall be designed to maintain a minimum of two feet in width and six feet in length, with a minimum of seven feet of vertical clearance.
- (2) Vertical storage: Each vertical or wall-mounted bicycle space shall be designed to maintain a minimum of three feet six inches in length, with three feet between racks and a minimum of seven feet of vertical clearance.
- (3) Aisles: Access to bicycle parking spaces shall be at least five feet in width. Bicycle spaces shall be separated from auto parking spaces or drive aisles by a fence, wall, curb, or at least five feet of open area.

(E) Vehicle Access

- (1) Driveways: A maximum of one two-way driveway shall be permitted on sites with less than 200 feet of primary street frontage. A maximum of two two-lane driveways shall be permitted on sites with 200 feet or more of primary street frontage.
 - (a) A minimum of one driveway shall be located on a secondary street or alley, where available.
 - (b) Driveways and associated curb-cuts shall have a maximum width of 25 feet.
 - (c) The minimum distance between driveways on the same lot shall be 50 feet.
 - (d) Controlled entrances to parking (e.g., gates) shall be located at least 20 feet from the property line to allow for a queueing vehicle.

(F) Surface Parking

- (1) Setbacks: Parking shall be set back a minimum of 30 feet from the primary frontage, 10 feet from any secondary frontage, and five feet from any adjacent Residential zoning district.
 - (a) Parking shall be buffered by permitted non-parking uses or a landscaped setback adjacent to the property line, except for vehicle/pedestrian access.
 - (b) Landscaped setbacks shall include hedges or shrubs with a minimum height of three feet at the time of planting that form a continuous visual screen to block vehicle headlights.
- (2) Landscaping: A minimum of five percent of the parking area shall be landscaped and permeable, in addition to any landscaped setbacks. This area shall be distributed throughout the parking area.
- (3) Trees: A minimum of one shade tree (minimum 24-inch box tree) for every four vehicle parking spaces shall be planted and evenly distributed throughout the parking area.

(G) Structured Parking

- (1) Setbacks: Structured parking shall be set back a minimum of 15 feet from any adjacent Residential zoning district.
 - (a) Above ground parking shall be buffered by permitted non-parking uses with a minimum depth of 35 feet adjacent to the primary street property line, except for vehicle/pedestrian access.

- (b) Semi-subterranean parking shall not extend beyond the building façade and may not project higher than four feet above sidewalk elevation.
- (c) Parking areas with controlled entrances, including access gates, shall be located at least 20 feet from the property line to allow for a queueing vehicle.

§ 155.175.11 REQUIRED ACCESS.

In addition to 155.175.10 (E) above, access to off-street parking facilities shall be provided in accordance with the provisions of §§ 155.488 through 155.490 of this chapter.

§ 155.175.12 SIGNS.

Signs in the mixed-use zones are subject to the sign standards of the C-4 zone in § 155.169. The provisions of §§ 155.515 through 155.536 regarding signs shall also apply.

§ 155.175.13 LANDSCAPING AND OUTDOOR OPEN SPACE

The following landscaping and outdoor open space provisions shall apply in the mixed-use zones. In addition, the landscaping provisions of §§ 155.545 through 155.559 shall also apply:

- (A) Minimum landscaped area. Where a mixed use adjoins a dedicated street, a minimum area equivalent to 10-square feet for each foot of frontage on said street plus five percent of the total parking areas shall be landscaped and maintained. Landscape areas in required setbacks (see § 155.175.5) or in common outdoor open space (see § 155.175.13.D.3) may be applied towards meeting the minimum amount of required landscaped area.
- (B) Curbs. Concrete curbs shall be installed along the borders of all on-site landscaped areas where said landscaped areas interface with driveways, off-street parking and loading areas and other similar facilities.
- (C) Open Space
 - (1) Minimum Open Space shall comply with the applicable design standards depending on type of open space. Areas used for parking, loading, or storage shall not be counted towards minimum Open Space.
 - (a) Residential Open Space: Projects with a residential component shall provide a minimum of 15 percent of the residential gross floor area as a combination of Common and Private Open Space.
 - (b) Non-residential: Projects with over 40,000 square feet of non-residential gross floor area shall provide a minimum of five percent of the non-residential gross floor area as Common Open Space.
 - (c) Projects located within the MU-TOD zone with over 80,000 square feet of gross floor area, shall provide a minimum of two percent of gross floor area as Public Open Space.
 - (2) Private Open Space
 - (a) Access: Private Open Space shall abut and have direct access to the associated tenant space.
 - (b) Amount: A minimum of 30 percent of the required Residential Open Space shall be Private Open Space.

(c) Dimensions: Private Open Space shall have a minimum area of 40 square feet and a minimum dimension of five feet in each direction.

(d) Distribution: All Private Open Space shall be outdoors and may be located within a required setback or stepback.

(D) Common Open Space

(1) Access: Common Open Space shall be available to all tenants of the building at no cost.

(2) Amount: A minimum of 30 percent of the required Residential Open Space shall be Common Open Space.

(3) Dimensions: Common Open Space shall have a minimum area of 500 square feet and a minimum dimension of 15 feet in each direction.

(4) Distribution:

(a) A minimum of 70 percent of Common Open Space shall be outdoors, and a minimum of 80 percent of outdoor Common Open Space shall be open to the sky.

(b) A maximum of 30 percent of Common Open Space shall be indoors (i.e. lounges, fitness centers, and similar). Indoor Common Open Space shall not include spaces primarily used for circulation.

(5) Landscaping: A minimum of 25 percent of Common Open Space shall be planted area with a minimum dimension of 30 inches in each direction, with a soil depth of at least 18 inches.

(6) Trees: A minimum of one 24-inch box tree per project or for every 500 square feet of outdoor Common Open Space, whichever is greater, shall be planted within the Common Open Space, excluding rooftop decks.

(7) Hardscape: A maximum of 25 percent of Common Open Space may be paved in standard concrete, with the remainder using enhanced paving such as brick, natural stone, unit concrete pavers, textured/colored concrete, or similar.

(8) Water features: A maximum of five percent of Common Open Space shall be decorative water features, such as fountains or reflecting pools.

(E) Public Open Space

(1) Access: Public Open Space shall be accessible to the general public at no cost.

(2) Amount: A maximum of 20 percent of the Public Open Space may be used as outdoor dining for a restaurant, subject to approval by the Director of Planning and Development or designee.

(3) Dimensions: Public Open Space shall have a minimum area of 400 square feet and a minimum dimension of 20 feet in each direction.

(4) Distribution: Public Open Space shall be outdoors, and a minimum of 80 percent of the Public Open Space shall be open to the sky.

(5) Elevation: The first 3,000 square feet of Public Open Space shall be at sidewalk elevation.

- (6) Signage: Public Open Space shall have signage visible from the adjacent sidewalk identifying the space as a publicly-accessible amenity and identify opening hours.
- (7) Landscaping: A minimum of 25 percent of Public Open Space shall be planted area with a minimum dimension of 30 inches in length, width, and depth.
- (8) Trees: A minimum of one 24-inch box tree for every 500 square feet of Public Open Space shall be planted within the Common Open Space area. At least 50 percent shall be shade trees.
- (9) Hardscape: A maximum of 25 percent of Public Open Space may be paved in standard concrete, with the remainder using enhanced paving such as brick, natural stone, unit concrete pavers, textured/colored concrete, or similar.
- (10) Seating: A minimum of one seat per 250 square feet of Public Open Space shall be provided. Benches shall be calculated as 1 seat per 24 linear inches.
- (11) Water features: A maximum of five percent of Public Open Space shall be decorative water features, such as fountains or reflecting pools.

§ 155.175.14 FRONTAGES.

(A) Ground Floor

- (1) Floor Height: Ground floor commercial, non-residential, and residential common spaces shall have a minimum height of 12 feet, measured from finished floor to finished ceiling. Ground floor residential units shall have a minimum height of 8 feet, measured from finished floor to finished ceiling.
- (2) Elevation:
 - (a) The ground floor for commercial shall be located within two feet above or below sidewalk elevation. Primary entrances shall be located at sidewalk elevation.
 - (b) The ground floor for residential shall have a finished floor within two feet to four feet above the nearest sidewalk elevation. On sloping sites, up to 25% of units may have finished floors up to 6 feet above the nearest sidewalk elevation.
- (3) Entrances: Street-facing façades shall provide a minimum of one entrance per 100 feet of frontage that opens directly onto the sidewalk or another public open space.
 - (a) Entrances shall be set back at least 30 inches from the facade or public right-of-way.
 - (b) Primary entrances shall be distinguished by at least one of the following
 - i. Awning/canopy;
 - ii. Overhang/recessed entry;
 - iii. Porch/portico;
 - iv. Trellis.
 - v. Architectural element that creates a well-defined entrance.

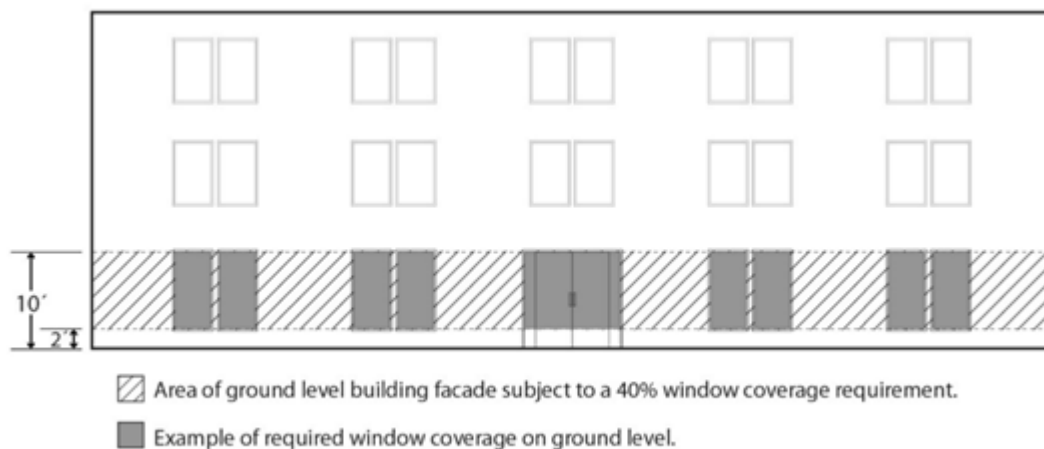
- (4) Transparency: Street-facing façades shall incorporate glazing for a certain percentage of the building frontage between two and ten feet in height from sidewalk elevation. Windows shall provide views into display, lobby, sales, work, or similar active areas.
 - (a) For non-residential and residential common space uses, at least 60 percent of the frontage shall be transparent.
 - (b) For ground floor residential units, at least 15 percent of the frontage shall be transparent.
- (5) Blank walls: Windowless expanses of walls on the ground floor shall not exceed 20 feet in length. Blank walls over 10 feet in length shall be enhanced by one of the following:
 - (a) Pattern, motif, etching, or similar decoration;
 - (b) Landscaping that covers at least 50 percent of the wall area;
 - (c) Trellis or similar projection;
 - (d) Public art approved by review authority.
- (6) Shading: Shade structures shall allow a minimum vertical clearance of eight feet above sidewalk elevation. Shade structures shall not conflict with existing street trees.
- (7) Security devices: Any security devices (i.e. roll-up doors) shall be designed to be fully concealed and hidden from view during business hours.

(B) Façades

- (1) Composition: Street-facing façades shall include at least three of the following:
 - (a) Pattern of modulation or fenestration;
 - (b) Datum lines along the length of the building (e.g., cornice) at least four inches in depth;
 - (c) Repeated projections (e.g., architectural detail, shading) at least four inches in depth;
 - (d) Balconies over 20 percent of the elevation;
 - (e) Screening (e.g., lattices, louvers).
- (2) Transparency: Street-facing façades shall incorporate glazing for at least 30 percent of the façade, including ground floor transparency.
- (3) Windows: Windows shall be recessed at least two inches from the face of the façade.
 - (a) Windows shall have a visible transmittance (VT) of 0.5 or higher. Mirrored, tinted or highly reflective glazing is prohibited.
 - (b) Vinyl windows are prohibited.
- (4) Materials: A minimum of two materials shall be used on any building façade, in addition to glazing, railings, and trim, and shall correspond to variations in building plane.
 - (a) A primary material shall cover at least 40 percent of any building façade, excluding windows.
- (5) Color: No more than four colors shall be applied to the building façade (one primary color and up to three trim colors), excluding art (e.g., a mural).
- (6) Balconies: Balconies shall project a maximum of four feet from the building façade and shall not be located within six feet of any interior property line.

- (a) Side-loaded townhomes shall incorporate at least one front-facing balcony.
- (7) Roof decks: Roof decks located within 25 feet of a Residential zoning district shall be set back a minimum of 5 feet from the building edge.
 - (a) The sum of all roof decks on a single building shall not exceed 60 percent of the roof area to allow for mechanical equipment including solar panels.
- (8) Lighting: All structures, entrances, parking areas, common open spaces, and pedestrian pathways shall be lit from dusk to dawn.
 - (a) Lighting shall be located to illuminate only the intended area, and a minimum of 90 percent of lighting shall be directed downward.
 - (b) Lighting shall not extend beyond an interior property line, and light sources shall not be visible from adjacent properties.
- (9) Rooftop equipment, excluding solar photovoltaic, shall be screened from public view.
- (C) Window Requirements Window area or "glazing" requirements ensure that building facades will be composed of windows that provide views of activity, people, and merchandise, creating an interesting pedestrian experience.
- (D) Minimum window area required for nonresidential buildings.
 - (1) Building facades facing a street must have windows, display areas, or glass doorways for at least 40 percent of the area of the ground level wall area.
 - (2) Building facades facing a primary street must have windows, display areas, or glass doorways for at least 60 percent of the area of the ground level wall area.
 - (3) The ground level wall area is the wall area above two feet and below 10 feet, as measured from the finished grade (see Figure 1).
 - (4) The window and door openings counting toward meeting this transparency requirement shall consist of glass that is relatively clear and non-reflective, with a minimum visible light transmittance of 0.65 and maximum visible light reflectance of 0.20.

Figure 1: Ground Level Wall Area Measured for Window Standards



- (E) Minimum window area required for residential buildings. Building façades that face a primary street frontage must have windows or glass doorways for at least 15 percent of the area of the entire façade (all floors).

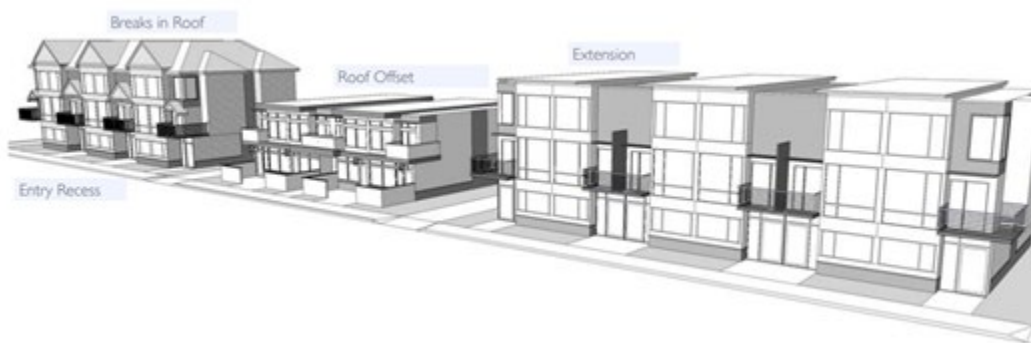
§ 155.175.15 ARCHITECTURAL DESIGN STANDARDS.

The facade articulation standards in subsection 155.175.15(A) provide a clear and objective approach to ensure that residential building facades have variation and depth in the plane of the building in order to create a more interesting and welcoming environment to pedestrians. The additional discretionary standards in subsection 155.175.15(B) apply to nonresidential buildings. The screening standard in subsection 155.175.9 ensures that mechanical equipment is screened or otherwise minimized so that it does not detract from the pedestrian environment.

- (A) The facades of residential buildings or the residential component of mixed-use buildings which are visible from a primary street frontage shall meet the following standards. The design shall incorporate design features such as varying rooflines, offsets, balconies, projections (e.g., overhangs, porches, or similar features), recessed or covered entrances, window reveals, or similar elements that break up otherwise long, uninterrupted elevations. Such elements shall occur at a minimum interval of 20 feet, and each floor shall contain at least two elements from the following options:

- (1) Recess (e.g., porch, courtyard, entrance balcony, or similar feature) that has a minimum depth of four feet;
- (2) Extension (e.g., floor area, porch, entrance, balcony, overhang, or similar feature) that projects a minimum of two feet and runs horizontally for a minimum length of four feet; or
- (3) Offsets or breaks in roof elevation of two feet or greater in height.

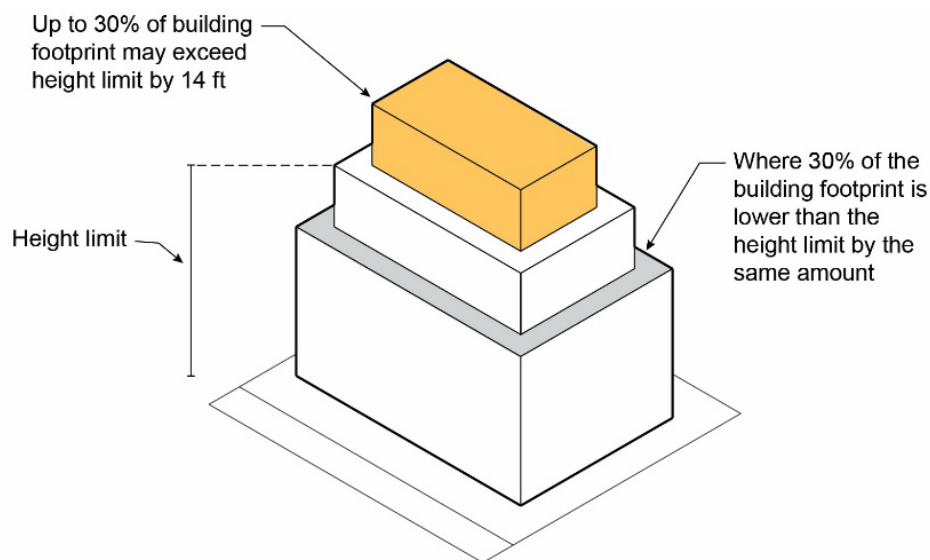
Figure 2: Residential Building Articulation



- (B) The facades of nonresidential buildings or the nonresidential component of mixed-use buildings which are visible from a primary street frontage shall meet the following requirements.

- (1) All buildings must be constructed of durable, maintenance-free materials;
- (2) Various building materials and colors shall be used to create visual interest.

- (3) Architectural treatments shall include variations of mass, height, materials, colors, and textures to maintain a visually appealing appearance;
 - (4) Various types of building cladding shall be used to produce different texture, shade, and shadow effects;
 - (5) All buildings shall feature a dominant (main) color on all elevations. Light colors in the white, cream and tan ranges are preferred;
 - (6) Buildings may use up to three contrasting colors that complement the building's dominant color. Use of more than three contrasting colors is subject to approval by the Director of Planning and Development. Contrasting materials, textures, and colors shall be used to add emphasis to building entrances and to articulate long expanses of building walls;
 - (7) Long, unarticulated facades are prohibited, and walls shall not run for more than 25 feet in one continuous plane without significant enhancements. Enhancement features include entry augmentations, horizontal offsets, change in roofline, unique corner treatment, reveal lines, building offsets, facade pop-outs, off-set bricks, window frames, glass treatments and changes in materials (tile or masonry materials), colors, texture, and finishing. Public art, murals (which does not include signage and advertisements, and which has been approved by the Heritage Arts Advisory Committee), and rich landscaping are also an acceptable option to enhance building facades. Windows and doors are key elements of any structure's form and shall relate to the scale of the elevation on which they appear. Recessed openings help to provide depth and contrast on elevation planes.
- (C) Varied Roof Lines: Buildings may exceed the height limit by up to 14 feet for a maximum of 30 percent of a building's footprint where 30 percent of the building footprint is lower than the height limit by the same amount. This allowance is not applicable within interior/rear stepbacks and may not be used in conjunction with a concession for building height through density bonus.



(D) Modulation

- (1) Façade modulation: Façades shall be modulated with at least three of the following elements:
 - (a) Balconies recessed at least two feet in depth;
 - (b) Vertical pilasters three inches in depth reflecting building structure or architectural style;
 - (c) Horizontal bands, trims, or reveals three inches in depth along multiple levels;
 - (d) A change in material or texture (excluding windows, doors and railings).
- (2) Façade length: Street-facing façades of 150 feet or longer shall include a minimum break of 10 percent of the façade length or 20 feet in width, at least 10 feet deep and open to the sky.
- (3) Corner treatments: Corner-facing facades of 75 feet or longer shall incorporate at least two of the following elements within 50 feet of the building corner along the primary frontage:
 - (a) A building entrance;
 - (b) A change in height of at least four feet for an area 10 feet by 10 feet minimum;
 - (c) A change in façade plane on upper stories of at least two feet in depth;
 - (d) A change of façade material or texture (excluding windows, doors and railings);
 - (e) A public open space or outdoor dining.

§155.175.16 STREETScape REQUIREMENTS.

- (A) Sidewalks and other pedestrian improvements. All sidewalk construction shall be designed and constructed to meet standard city specifications as approved by the City. On primary street frontages, the Director of Planning and Development may condition development approvals on construction of wider sidewalks, pedestrian streetscape furniture, pedestrian-scale lighting, safety enhancements (e.g., bollards) and textured paving surfaces.
- (B) Street trees. Street trees are required on street frontages. Street trees shall be selected, planted and maintained in accordance with city specifications for street trees. On primary street frontages, if street trees are planted within tree wells, the Director of Planning and Development may condition development approvals on such wells having city-approved metal grates.

Exhibit E - Required Parking

Code of Ordinances of the City of Santa Fe Springs Chapter 155, is hereby amended to delete Section 155.481 REQUIRED PARKING in its entirety, and replace as follows:

§ 155.481 REQUIRED PARKING.

Minimum number of required parking spaces. Except as necessary to comply with requirements to provide electric vehicle supply equipment installed in parking spaces or parking spaces that are accessible to persons with disabilities, the following minimum parking standards apply.

- (A) For sites located within one-half mile of a major transit stop as defined in Section 21064.3. of the Public Resources Code, no parking is required, except:
 - (1) Event centers shall provide parking for employees and other workers.
 - (2) Development projects where any portion is designated for use as a hotel, motel, bed and breakfast inn, or other transient lodging (except where a portion of a housing development project is designated for use as a residential hotel, as defined in Section 50519 of the Health and Safety Code) shall provide parking in accordance with the minimum parking requirements of subsection B.
 - (3) Development projects for which, within 30 days of the receipt of a completed application, the City finds that based on a preponderance of the evidence in the record that not imposing or enforcing minimum automobile parking requirements on the development would have a substantially negative impact on any of the following:
 - (a) The City's ability to meet its share of the regional housing need in accordance with Government Code Section 65584 for low- and very low-income households.
 - (b) The City's ability to meet any special housing needs for the elderly or persons with disabilities identified in the analysis required pursuant to paragraph (7) of subdivision (a) of Government Code Section 65583.
 - (c) Existing residential or commercial parking within one-half mile of the housing development project.
 - (4) Subsection (3) above shall not apply for the following projects:
 - (a) Housing development projects that dedicate a minimum of 20 percent of the total number of housing units to very low, low-, or moderate-income households, students, the elderly, or persons with disabilities.
 - (b) Housing development projects that contain fewer than 20 housing units.
 - (c) Housing development projects subject to parking reductions based on the provisions of any other applicable State law.
- (B) For sites located more than one-half mile from a major transit stop the following number of parking spaces shall be the minimum provided for each new use:
 - (1) Residential, Care Services and Facilities, and Mixed-Uses.

Use	Required Number of Parking Spaces
RESIDENTIAL USES	
Accessory Dwelling Unit (ADU)	1 uncovered standard space per unit. These spaces may be provided as tandem parking on a driveway. No spaces required if ADU is located within one-half mile walking distance of public transit or when there is a car share vehicle located within one block of the ADU. When a garage or carport is converted to an accessory dwelling unit, parking spaces for the primary residence shall not be required to be replaced.
Junior Accessory Dwelling Unit (JADU)	No spaces required.
Single Unit Dwelling	2 enclosed garage spaces per unit accessed by a minimum 12-foot wide 20-foot-long driveway.
Multi-Unit Dwellings	2 spaces per unit. A minimum of one space per unit shall be enclosed or covered. A minimum of 1 guest space per 4 units to be provided as easily accessible and distinguishable guest parking in addition to the required parking for each unit. A maximum of 30% of tandem parking spaces, excluding guest spaces, are allowed, and shall be limited to a maximum of 2 cars in depth, in a private garage or private parking area. The tandem 2 cars in depth shall be assigned to one dwelling unit.
Senior Housing	1 covered space per unit, plus an additional 1 space per 4 units for guest parking
Boarding House and Single Room Occupancy (SRO)	1 space per rentable room.
Manufactured (Mobile) Home or Mobile Home Park	2 spaces per unit, (1 of which shall be covered, where at least 2 sides of the carport shall be at a minimum 50% open and unobstructed), plus a minimum of 1 guest spaces per 4 units to be provided as easily accessible and distinguishable guest parking in addition to the required parking for each unit. These spaces may be provided as tandem parking on a driveway.
CARE SERVICES AND FACILITIES	
Special Needs Housing: Supportive Housing, Transitional Housing, and Employee Housing	Special Needs Housing located in a single-unit dwelling or multi-unit dwelling shall be subject to the parking standards for such housing type. For special needs housing configured as group quarters and not within a single unit or multi-unit dwellings (i.e., where bed(s) are provided in individual rooms but kitchen and/or bathroom facilities are shared), 1 space per bed, plus 1 parking space per onsite staff person (during the shift with maximum staffing levels). Parking spaces may be covered or uncovered.
Emergency Shelter, Permanent and Temporary Low Barrier Navigation Centers	1 parking space per 10 beds, plus 1 space per onsite staff person (during the shift with maximum staffing levels).
Residential Care, Assisted Living	1 space per onsite staff person (during the shift with maximum staffing levels), plus 1 guest parking space per 10 beds.
Hotel/Motel Conversion to Permanent Housing	1 parking space for each living or sleeping unit plus 1 space per onsite staff person (during the shift with maximum staffing levels).
MIXED-USE	
Mixed-Use and Live/Work Unit	If 2 or more uses occupy the same building, lot or parcel of land, the total requirements for off-street parking shall be the sum of the requirements of the various uses computed separately.

(2) Agricultural uses.

- (a) Dwellings. Two parking spaces in a garage or carport for each dwelling unit.
- (b) Farms, ranches, and other agricultural uses. TW for each two employees other than seasonal or migrant employees.
- (c) Roadside stands accessory to an agricultural use. Four for each roadside stand.

(3) Commercial uses.

- (a) Automobile sales or rental, boat sales or rental, trailer sales or rental, machinery sales or rental, retail nurseries and other open uses not in a building or structure. One parking space for each 1,000 square feet of area devoted to open display of sales or one space for each two employees, whichever is greater; provided however, that where such area exceeds 10,000 square feet, only one parking space need be provided for each 5,000 square feet of such area in excess of the first 10,000 square feet contained in such area.
- (b) Banks. One parking space for each 200 square feet of floor area.
- (c) Bowling alleys. Five parking spaces for each alley. Additional parking spaces for balance of building calculated according to use.
- (d) Cafes, restaurants, cafeterias, drive- ins, bars, cocktail lounges, nightclubs and other similar places dispensing food or refreshments. One parking space for each 35 square feet of floor area in the public portion of the building, plus one parking space for each two employees on the largest shift. In no event shall less than 10 parking spaces be provided regardless of square feet of floor area or number of employees.
- (e) Dance halls and skating rinks. One parking space for each 35 square feet of floor area used for seating, plus one parking space for each 75 square feet of floor area used for dancing or skating, plus one parking space for each two employees on the largest shift.
- (f) Furniture sales and repair, major household appliance sales and repair. One parking space for each 400 square feet of floor area or one parking space for each two employees, whichever is greater.
- (g) Hotels and motels. One parking space for each living or sleeping unit plus one parking space for each two employees on the largest shift.
- (h) Medical and dental clinics and offices. Five parking spaces for each doctor or dentist plus one for each employee on the largest shift, or one for each 200 square feet of floor area, whichever is greater.

- (i) Mortuary and funeral homes. One for each 35 square feet of floor area used simultaneously for assembly purposes plus one for each vehicle used in connection with the use.
- (j) Professional, business or administrative offices (excluding medical and dental). One parking space for each 300 square feet of floor area in office space or one parking space for each two employees, whichever is greater.
- (k) Plumbing, heating and electrical shops. One parking space for each 400 square feet of floor area or one for each two employees, whichever is greater. Also one for each vehicle used in connection with the use.
- (l) Retail establishments otherwise not enumerated in this section such as drugstores, department stores, repair shops, animal hospitals, business schools, dance studios. One parking space for each 250 square feet of building floor area, except area devoted exclusively to warehousing or storage, or one parking space for each two employees, whichever is greater.
- (m) Theaters, auditoriums, stadiums, sports arenas, gymnasiums. One parking space for each three fixed seats and/or one parking space for every 35 square feet of seating area where there are no fixed seats. Also one parking space for each 250 square feet of floor area not used for seating. In no event shall less than 10 parking spaces be provided for such use regardless of the number of fixed seats, seating area or floor area.
- (n) Take-out restaurants which provide take-out service exclusively. One parking space for each 200 square feet of floor space.

(4) Industrial uses.

- (a) Industrial uses, including incidental office uses.
 1. 0 - 20,000 square feet of gross floor area: one parking space per 500 square feet.
 2. 20,001 - 100,000 square feet of gross floor area: one parking space per 750 square feet.
 3. 100,001 - 200,000 square feet of gross floor area: one parking space per 1,000 square feet.
 4. 200,001 and above square feet of gross floor area: one parking space per 2,000 square feet.
 5. Truck parking shall be required as per § 155.487(F).
- (b) Notwithstanding the above, multi-tenant industrial units or buildings shall provide one space for each 500 square feet of gross floor area for the first 40,000 square feet of gross building area. Additionally, incidental office area exceeding 15% of the gross building area shall require one parking space for each 300 square feet of floor area and one parking space shall be provided for each vehicle used in connection with the use.

(5) Other uses.

- (a) Churches, temples, and other places of religious worship. One parking space for each 35 square feet of floor area used for assembly purposes in the auditorium.
- (b) Clubs, lodges, fraternal organizations, social halls, assembly halls. One parking space for each 35 square feet of floor area used simultaneously for assembly purposes. In no event shall less than 10 parking spaces be provided regardless of the amount of floor area used simultaneously for assembly purposes.
- (c) Colleges and universities. One parking space for each classroom and lecture hall and one parking space for each three students the school is designed to accommodate.
- (d) Business, technical professional, special or trade schools. One parking space for each classroom and lecture hall and one parking space for each one and one-half students the school is designed to accommodate.
- (e) Day care for children, special home; day nursery, children; and nursery school, pre-school children. Parking and loading areas shall be provided in accordance with the provisions of § 155.619; except that in no event shall less than three parking spaces be provided.
- (f) Golf courses. Ten parking spaces for each hole and one for each 35 square feet of building floor area used for public assembly and one parking space for each 250 square feet of building floor area used for other commercial uses.
- (g) Governmental buildings designed for a public use not otherwise enumerated in this division, such as public libraries. One parking space for each 250 square feet of floor area plus one for each two employees on the largest shift.
- (h) Government buildings not frequently visited by the public, such as fire stations. One parking space for each 400 square feet of floor space plus one for each two employees on the largest shift.
- (i) Hospitals and sanitariums. One and three-quarters parking spaces for each patient bed.
- (j) Mini-warehouse. One space for every 10,000 square feet of storage area; plus one covered space for on-site caretaker's unit. Additionally, incidental office area exceeding 10% of the gross building area shall require one parking space for each 300 square feet of floor area and one parking space shall be provided for each vehicle used in connection with the use.
- (k) Public utility facilities including electrical substations, telephone exchanges, maintenance and storage facilities. One parking space for each 500 square feet of office space or work area within a structure or one parking space for each two employees on the largest shift, whichever is greater. Also, one parking space for each vehicle used in connection with the use. No requirements for

facilities which are normally unattended by employees except for occasional maintenance.

- (l) Schools, elementary and junior high schools having an accredited general curriculum. One and one-half parking spaces for each classroom and lecture hall.
- (m) Schools, high schools having an accredited general curriculum. One and one-half parking spaces for each classroom and lecture hall and one parking space for each 10 students the school is designed to accommodate. Additional parking spaces for stadiums shall be provided based on one parking space for each 10 fixed seats.

Attachment B – Ordinance No. 1132
Targeted Amendment to the City's Zoning Ordinance – Map Adoption

CITY OF SANTA FE SPRINGS
ORDINANCE NO. 1132

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SANTA FE
SPRINGS ADOPTING AN UPDATED ZONING MAP TO ENSURE
CONSISTENCY BETWEEN THE CITY'S ZONING ORDINANCE AND
THE CITY'S 2040 GENERAL PLAN**

WHEREAS, in February 2020 the City Council of the City of Santa Fe Springs initiated a comprehensive update to the General Plan, including preparation of the Santa Fe Springs 2040 General Plan, Targeted Zoning Ordinance Update, and Program Environmental Impact Report; and

WHEREAS, the 2040 General Plan is a Citywide document that is an integrated and internally consistent statement of the official land use policy for the City of Santa Fe Springs; and

WHEREAS, the Santa Fe Springs 2040 General Plan includes the 2021-2029 Housing Element, which represents the City's effort to fulfill its requirements under State housing element law to meet the mandate that all cities and counties prepare a housing element as part of a comprehensive general plan to meet the plan for new housing growth mandated through the Regional Housing Needs Assessment; and

WHEREAS, the 2021-2029 Housing Element sets forth the housing policies for the City, facilitates the preservation and development of housing, and establishes programs to accommodate the City's share of the regional housing need in Southern California; and

WHEREAS, Program 11 of the Housing Plan contained within the 2021-2029 Housing Element requires the City to amend the Zoning Ordinance to be consistent with the General Plan and to review development standards to address and adjust housing constraints; and

WHEREAS, a Zoning Advisory Group was formed with members representing a range of community interests, including residents, property owners, business owners, and other stakeholders, to advise City staff and the project team during the development of the Zoning Ordinance amendments; and

WHEREAS, the Planning Commission and City Council held study sessions at key milestones to guide the preparation of the Targeted Zoning Ordinance Update; and

WHEREAS, meetings were held with property owners impacted by the proposed zoning code changes and the Chamber of Commerce and Industrial Business Group to engage in a comprehensive discussion concerning the proposed modifications to the Zoning Ordinance; and

WHEREAS, all draft documents and meeting materials were made available to the public through the project website; and

WHEREAS, the City has prepared a targeted update to the City's Zoning Ordinance, as codified in Title 15 of the Santa Fe Springs Municipal Code, which update includes (i) creation of new zones to implement the General Plan and reflect current zoning needs, including Mixed-Use (MU), Mixed-Use Downtown (MU-DT), Mixed-Use Transit Oriented Development (MU-TOD), and Multiple-Family/High Density Residential (R-4), and (ii) modification of the existing standards for Multiple-Family/Medium Density Residential (R-3) to allow for a maximum of 25 dwelling units per acre, and (iii) incorporation of Objective Development Standards into the Mixed-Use and Multiple-Family Zone Districts, and (iv) revision of multiple-family parking standards and policies to accurately reflect the parking needs of different types of housing and mixed-use development; and

WHEREAS, the California Environmental Quality Act (CEQA) requires public agencies and local governments to measure the environmental impacts of development projects or other major land use decisions, and to limit or avoid those impacts if possible; the Targeted Zoning Ordinance Update is considered a project under CEQA; and

WHEREAS, pursuant to CEQA (Cal. Pub. Resources Code, §21000 et seq.), the City, as lead agency, prepared a Program Environmental Impact Report (State Clearinghouse Number 2021050193) for the Santa Fe Springs General Plan and Targeted Zoning Ordinance Update pursuant to the requirements of CEQA; and

WHEREAS, the Program EIR analyzed impacts associated with the implementation of the 2040 General Plan and Targeted Zoning Ordinance Update (the "project"); and

WHEREAS, the Program EIR fully described the project, existing conditions within the City of Santa Fe Springs, analyzed the potential environmental impacts of implementing both projects, and identified mitigation measures to minimize significant impacts to a less than significant level; and

WHEREAS, on February 8, 2022, the City Council of the City of Santa Fe Springs adopted Resolution No. 9760, which certified the Final Environmental Impact Report and adopted the Santa Fe Springs 2040 General Plan, including the 2021-2029 Housing Element, and related implementation plan; and

WHEREAS, in accordance with Government Code Section 65091(a)(4) for projects affecting over 1,000 property owners, a one-eighth (1/8th) page notice of the public hearing describing the project, date, time, and location of the hearing was advertised in the Whittier Daily News at least 10 days prior to the hearing date, and a notice was also mailed directly to each owner of property subject to a rezone (Exhibit A), and was also posted in Santa Fe Springs City Hall, the City Library, and the City's Town Center kiosk; and

WHEREAS, on July 25, 2023, the Planning Commission of the City of Santa Fe Springs adopted Resolution 242-2023 to recommend that the City Council adopt Ordinance No. 1131 and Ordinance No. 1132; and

WHEREAS, on August 15, 2023, the City Council of the City of Santa Fe Springs considered the Updated Zoning Map, the staff report, and all testimony, written and spoken, at a duly noticed public hearing.

The City Council of the City of Santa Fe Springs does ordain as follows:

SECTION I. Findings:

1. The above recitals are true and correct and are a substantial part of this Ordinance.
2. The Exhibits attached to this Ordinance are each incorporated by reference and made a part of this Ordinance.
3. The Targeted Zoning Ordinance Update conforms the Zoning Map to the General Plan land use designations.

SECTION II. The City Council hereby finds with respect to CEQA:

1. The draft Targeted Zoning Ordinance Update, including an updated Zoning Map, has been evaluated under CEQA to determine whether the project scope, circumstances, or information would trigger the need for any supplemental environmental documentation based on new or substantially more severe significant environmental impacts. After a thorough factual evaluation, the City of Santa Fe Springs has determined that no further supplemental environmental review is required because:
 - a. The project does not propose substantial changes to the original project as described in the 2040 General Plan Program EIR, which would require major revisions to the previously adopted Program EIR due to the involvement of new or substantially more severe significant impacts; and
 - b. The project will not involve substantial changes with respect to the circumstances under which the original project was undertaken, which would require major revisions to the previously adopted Program EIR due to the involvement of new or substantially more severe significant impacts; and
 - c. No substantially important new information requiring new analysis of significant effects, mitigation, or alternatives is known that would require major revisions to the previously adopted Program EIR due to the project scope.
2. The Targeted Zoning Ordinance Update implements the intent, policies, and goals of the 2040 General Plan, the impacts associated with the proposed changes are

directly in line with the scope of those analyzed by the Program EIR and are found consistent and conforming to the 2040 General Plan, therefore, the proposed amendments to the Zoning Ordinance and Zoning Map are within the scope of the Program EIR for the 2040 General Plan. Future projects may warrant further analysis of their impacts on the environment which are not consistent with the analysis prepared in the Program EIR.

3. The City Council of the City of Santa Fe Springs finds that no further environmental documentation is required because all potentially significant effects (a) have been adequately analyzed in the previously adopted Program EIR pursuant to applicable standards, and (b) have been avoided pursuant to the previously adopted Program EIR. Therefore, in accordance with CEQA and the CEQA Guidelines (Section 15168(c)), the project elements are within the scope of the previously adopted Program EIR; that EIR continues to be pertinent with considerable information value; and the project elements do not give rise to any new or substantially more severe significant effects, nor do they require any new mitigation measures or alternatives. Accordingly, no new environmental document is required.

SECTION III. The Code of Ordinances of the City of Santa Fe Springs, Chapter 155, Section 155.004 (OFFICIAL ZONING MAP ADOPTED), is hereby amended as provided in Exhibit B.

Section IV. If any section, subsection, subdivision, paragraph, sentence, clause, or phrase in this Ordinance, or any part thereof, is held invalid or unconstitutional, such decision shall not affect the validity of the remaining sections or portions of this Ordinance or of Chapter 155, or any part thereof. The City Council hereby declares that it would have adopted each section, subsection, subdivision, paragraph, sentence, clause, or phrase in this Ordinance irrespective of the fact that any one or more sections, subsections, subdivisions, paragraphs, sentences, clauses, or phrases may be declared invalid or unconstitutional.

Section V. The City Clerk shall certify to the adoption of this Ordinance and shall cause the same to be posted in at least three (3) public places in the City, such posting to be completed not later than fifteen (15) days after passage thereof.

PASSED and ADOPTED this ____ day of _____, 2023, by the following roll call vote:

AYES:

NOES:

ABSENT:

Juanita Martin, Mayor

ATTEST:

Janet Martinez, CMC, City Clerk

Exhibit A – Affected Properties List

Exhibit B – Updated Zoning Map

Exhibit A - Affected Properties List

APN	Existing Zone	Proposed Zone	Address	City
8005-002-047	ML	MU	9901 ALBURTIS AVE	SANTA FE SPRINGS
8005-002-048	ML	MU	9846 JERSEY AVE	SANTA FE SPRINGS
8005-002-053	ML	MU	11621 TELEGRAPH RD	SANTA FE SPRINGS
8005-002-054	ML-D	MU	9915 ALBURTIS AVE	SANTA FE SPRINGS
8005-002-055	ML-D	MU	11643 TELEGRAPH RD	SANTA FE SPRINGS
8005-002-060	ML-D	MU	11651 TELEGRAPH RD	SANTA FE SPRINGS
8005-008-005	ML	MU	11755 TELEGRAPH RD	SANTA FE SPRINGS
8005-008-005	ML-D	MU	11755 TELEGRAPH RD	SANTA FE SPRINGS
8005-008-035	ML-D	MU	11701 TELEGRAPH RD	SANTA FE SPRINGS
8005-008-036	ML-D	MU	11745 TELEGRAPH RD	SANTA FE SPRINGS
8005-008-037	ML	MU	11721 TELEGRAPH RD	SANTA FE SPRINGS
8005-008-037	ML-D	MU	11721 TELEGRAPH RD	SANTA FE SPRINGS
8005-010-001	ML	MU	11909 TELEGRAPH RD	SANTA FE SPRINGS
8005-010-001	ML-D	MU	11909 TELEGRAPH RD	SANTA FE SPRINGS
8005-010-900	M-L	MU	11921 TELEGRAPH RD	SANTA FE SPRINGS
8005-012-016	M-2	M-1	10241 MATERN PL	SANTA FE SPRINGS
8005-012-017	M-2	M-1	10261 MATERN PL	SANTA FE SPRINGS
8005-012-018	M-2	MU-DT	11949 TELEGRAPH RD	SANTA FE SPRINGS
8005-012-022	M-2	M-1	10240 MATERN PL	SANTA FE SPRINGS
8005-012-023	M-2	M-1	10260 MATERN PL	SANTA FE SPRINGS
8005-012-025	M-2	M-1	N/A	N/A
8005-012-026	M-2	M-1	10135 GEARY AVE	SANTA FE SPRINGS
8005-012-027	M-2	M-1	N/A	N/A
8005-012-028	M-2	MU-DT	12009 TELEGRAPH RD	SANTA FE SPRINGS
8005-012-029	M-2	M-1	N/A	N/A
8005-012-031	M-2	MU-DT	12131 TELEGRAPH RD	SANTA FE SPRINGS
8005-012-041	M-2	MU-DT	10309 NORWALK BLVD	SANTA FE SPRINGS
8005-012-044	M-2	M-1	10240 GEARY AVE	SANTA FE SPRINGS
8005-012-047	M-2	M-1	10137 NORWALK BLVD	SANTA FE SPRINGS
8005-012-902	M-2	MU-DT	12171 TELEGRAPH RD	SANTA FE SPRINGS
8005-015-018	M-2	M-1	10214 NORWALK BLVD	SANTA FE SPRINGS
8005-015-019	M-2	M-1	10230 NORWALK BLVD	SANTA FE SPRINGS
8005-015-020	M-2	M-1	10242 NORWALK BLVD	SANTA FE SPRINGS
8005-015-021	M-2	M-1	10306 NORWALK BLVD	SANTA FE SPRINGS
8005-015-022	M-2	M-1	10316 NORWALK BLVD	SANTA FE SPRINGS
8005-015-028	M-2	MU-DT	12405 TELEGRAPH RD	SANTA FE SPRINGS
8005-015-029	M-2	MU-DT	12317 TELEGRAPH RD	SANTA FE SPRINGS
8005-015-035	M-2	MU-DT	12215 TELEGRAPH RD	SANTA FE SPRINGS
8005-015-040	M-2	M-1	12342 HAWKINS ST	SANTA FE SPRINGS
8005-015-041	M-2	M-1	12328 HAWKINS ST	SANTA FE SPRINGS
8005-015-042	M-2	M-1	12246 HAWKINS ST	SANTA FE SPRINGS
8005-015-043	M-2	M-1	12238 HAWKINS ST	SANTA FE SPRINGS
8005-015-044	M-2	M-1	10233 PALM DR	SANTA FE SPRINGS
8005-015-045	M-2	M-1	10232 PALM DR	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8005-015-047	M-2	M-1	N/A	N/A
8005-015-047	M-2	M-1	N/A	N/A
8005-015-048	M-2	M-1	N/A	N/A
8005-015-048	M-2	M-1	N/A	N/A
8005-015-048	M-2	M-1	N/A	N/A
8005-015-048	M-2	M-1	N/A	N/A
8005-015-907	M-2	MU-DT	N/A	N/A
8005-015-909	M-2	MU-DT	N/A	N/A
8005-015-910	M-2	M-1	N/A	N/A
8007-008-900	C-4	R-3	10051 ORR AND DAY RD	SANTA FE SPRINGS
8008-010-010	R-1	R-3	11422 JOSLIN ST	SANTA FE SPRINGS
8008-010-015	R-1	R-3	10210 ORR AND DAY RD	SANTA FE SPRINGS
8008-010-017	R-1	R-3	10220 ORR AND DAY RD	SANTA FE SPRINGS
8008-016-054	C-1	R-3	11449 FLORENCE AVE	SANTA FE SPRINGS
8009-001-013	M-2	MU-DT	10400 NORWALK BLVD	SANTA FE SPRINGS
8009-007-023	M-2	MU-DT	12070 TELEGRAPH RD	SANTA FE SPRINGS
8009-007-028	M-2	MU-DT	10375 SLUSHER DR	SANTA FE SPRINGS
8009-007-029	M-2	MU-DT	10375 SLUSHER DR	SANTA FE SPRINGS
8009-007-030	M-2	MU-DT	10395 SLUSHER DR	SANTA FE SPRINGS
8009-007-031	M-2	MU-DT	10395 SLUSHER DR	SANTA FE SPRINGS
8009-007-032	M-2	MU-DT	10415 SLUSHER DR	SANTA FE SPRINGS
8009-007-033	M-2	MU-DT	10415 SLUSHER DR	SANTA FE SPRINGS
8009-007-034	M-2	MU-DT	10425 SLUSHER DR	SANTA FE SPRINGS
8009-007-035	M-2	MU-DT	10425 SLUSHER DR	SANTA FE SPRINGS
8009-007-036	M-2	MU-DT	10455 SLUSHER DR	SANTA FE SPRINGS
8009-007-038	M-2	MU-DT	10430 SLUSHER DR	SANTA FE SPRINGS
8009-007-039	M-2	MU-DT	12020 MORA DR	SANTA FE SPRINGS
8009-007-040	M-2	MU-DT	12041 MORA DR	SANTA FE SPRINGS
8009-007-041	M-2	MU-DT	12015 MORA DR	SANTA FE SPRINGS
8009-007-042	M-2	MU-DT	10370 SLUSHER DR	SANTA FE SPRINGS
8009-007-045	M-2	MU-DT	11980 TELEGRAPH RD	SANTA FE SPRINGS
8009-007-046	M-2	MU-DT	11980 TELEGRAPH RD	SANTA FE SPRINGS
8009-007-047	M-2	MU-DT	10355 SLUSHER DR	SANTA FE SPRINGS
8009-007-048	M-2	MU-DT	10355 SLUSHER DR	SANTA FE SPRINGS
8009-007-049	M-2	MU-DT	10349 HERITAGE PARK DR	SANTA FE SPRINGS
8009-007-050	M-2	MU-DT	12016 TELEGRAPH RD	SANTA FE SPRINGS
8009-007-051	M-2	MU-DT	10350 HERITAGE PARK DR	SANTA FE SPRINGS
8009-007-052	M-2	MU-DT	10350 HERITAGE PARK DR	SANTA FE SPRINGS
8009-007-053	M-2	MU-DT	12145 MORA DR	SANTA FE SPRINGS
8009-007-054	M-2	MU-DT	12145 MORA DR	SANTA FE SPRINGS
8009-007-055	M-2	MU-DT	12155 MORA DR	SANTA FE SPRINGS
8009-007-056	M-2	MU-DT	12170 MORA DR	SANTA FE SPRINGS
8009-007-057	M-2	MU-DT	12160 MORA DR	SANTA FE SPRINGS
8009-007-058	M-2	MU-DT	12150 MORA DR	SANTA FE SPRINGS
8009-007-059	M-2	MU-DT	12130 MORA DR	SANTA FE SPRINGS
8009-007-060	M-2	MU-DT	12130 MORA DR	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8009-007-061	M-2	MU-DT	10440 ONTIVEROS PL	SANTA FE SPRINGS
8009-007-064	M-2	MU-DT	12120 TELEGRAPH RD	SANTA FE SPRINGS
8009-007-064	M-2	MU-DT	12120 TELEGRAPH RD	SANTA FE SPRINGS
8009-007-930	M-2	MU-DT	N/A	N/A
8009-013-065	M-2	M-1	12536 CLARK ST	SANTA FE SPRINGS
8009-013-066	M-2	M-1	12520 CLARK ST	SANTA FE SPRINGS
8009-013-067	M-2	M-1	10608 FOREST ST	SANTA FE SPRINGS
8009-013-068	M-2	M-1	10624 FOREST ST	SANTA FE SPRINGS
8009-013-069	M-2	M-1	10636 FOREST ST	SANTA FE SPRINGS
8009-013-070	M-2	M-1	N/A	N/A
8009-013-071	M-2	M-1	N/A	N/A
8009-013-078	M-2	M-1	10609 FOREST ST	SANTA FE SPRINGS
8009-013-083	M-2	M-1	12410 CLARK ST	SANTA FE SPRINGS
8009-013-084	M-2	M-1	10620 SPRINGDALE AVE	SANTA FE SPRINGS
8009-013-085	M-2	M-1	10640 SPRINGDALE AVE	SANTA FE SPRINGS
8009-013-089	M-2	M-1	N/A	N/A
8009-013-090	M-2	M-1	N/A	N/A
8009-013-091	M-2	M-1	N/A	N/A
8009-013-092	M-2	M-1	N/A	N/A
8009-013-093	M-2	M-1	N/A	N/A
8009-013-094	M-2	M-1	N/A	N/A
8009-015-048	M-2	M-1	10715 BLOOMFIELD AVE	SANTA FE SPRINGS
8009-020-008	M-2	M-1	10622 NORWALK BLVD	SANTA FE SPRINGS
8009-020-009	M-2	M-1	10532 NORWALK BLVD	SANTA FE SPRINGS
8009-020-011	M-2	M-1	12380 CLARK ST	SANTA FE SPRINGS
8009-020-012	M-2	M-1	N/A	N/A
8009-020-023	M-2-PD	M-1	12251 FLORENCE AVE	SANTA FE SPRINGS
8009-020-024	M-2	M-1	12250 CLARK ST	SANTA FE SPRINGS
8009-022-001	M-2	C-4	10810 NORWALK BLVD	SANTA FE SPRINGS
8009-022-005	M-2	C-4	10858 NORWALK BLVD	SANTA FE SPRINGS
8009-022-008	M-2	C-4	10918 NORWALK BLVD	SANTA FE SPRINGS
8009-022-039	M-2	C-4	10840 NORWALK BLVD	SANTA FE SPRINGS
8009-022-040	M-2	C-4	10910 NORWALK BLVD	SANTA FE SPRINGS
8009-022-050	BP	C-4	10950 NORWALK BLVD	SANTA FE SPRINGS
8009-022-050	M-2	C-4	10950 NORWALK BLVD	SANTA FE SPRINGS
8009-022-051	M-2	C-4	10924 NORWALK BLVD	SANTA FE SPRINGS
8009-022-060	M-2	C-4	10826 NORWALK BLVD	SANTA FE SPRINGS
8009-022-061	M-2	C-4	10820 NORWALK BLVD	SANTA FE SPRINGS
8009-022-062	M-2	C-4	10850 NORWALK BLVD	SANTA FE SPRINGS
8009-023-011	BP	R-3	12111 LAKELAND RD	SANTA FE SPRINGS
8009-023-011	M-2	R-3	12111 LAKELAND RD	SANTA FE SPRINGS
8009-023-016	M-2	R-3	12060 FLORENCE AVE	SANTA FE SPRINGS
8009-023-023	BP	C-4	10959 NORWALK BLVD	SANTA FE SPRINGS
8009-023-023	M-2	C-4	10959 NORWALK BLVD	SANTA FE SPRINGS
8009-023-024	BP	R-3	12147 LAKELAND RD	SANTA FE SPRINGS
8009-023-024	M-2	R-3	12147 LAKELAND RD	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8009-023-027	M-2	ML	10845 NORWALK BLVD	SANTA FE SPRINGS
8009-023-027	M-2	ML	10845 NORWALK BLVD	SANTA FE SPRINGS
8009-023-027	M-2	ML	10845 NORWALK BLVD	SANTA FE SPRINGS
8009-023-027	M-2	ML	10845 NORWALK BLVD	SANTA FE SPRINGS
8009-023-040	M-2	R-3	12046 FLORENCE AVE	SANTA FE SPRINGS
8009-023-041	M-2	ML	12078 FLORENCE AVE	SANTA FE SPRINGS
8009-023-041	M-2	ML	12078 FLORENCE AVE	SANTA FE SPRINGS
8009-025-007	M-2	M-1	10601 NORWALK BLVD	SANTA FE SPRINGS
8009-025-011	M-2	M-1	10603 NORWALK BLVD	SANTA FE SPRINGS
8009-025-020	M-2	M-1	12030 CLARK ST	SANTA FE SPRINGS
8009-025-023	M-2	M-1	12075 CLARK ST UNIT 103	SANTA FE SPRINGS
8009-025-024	M-2	M-1	12113 CLARK ST	SANTA FE SPRINGS
8009-025-025	M-2	M-1	12135 CLARK ST	SANTA FE SPRINGS
8009-025-028	M-2	M-1	12060 CLARK ST	SANTA FE SPRINGS
8009-025-029	M-2	M-1	12110 CLARK ST	SANTA FE SPRINGS
8009-025-030	M-2	M-1	12122 CLARK ST	SANTA FE SPRINGS
8009-025-031	M-2	M-1	10555 NORWALK BLVD	SANTA FE SPRINGS
8009-025-034	M-2	M-1	12000 CLARK ST	SANTA FE SPRINGS
8009-025-035	M-2	M-1	12055 CLARK ST	SANTA FE SPRINGS
8009-025-038	M-2	M-1	11821 FLORENCE AVE	SANTA FE SPRINGS
8009-025-045	M-2	M-1	10643 NORWALK BLVD	SANTA FE SPRINGS
8009-025-046	M-2	M-1	12075 FLORENCE AVE	SANTA FE SPRINGS
8009-025-053	M-2	M-1	12025 FLORENCE AVE	SANTA FE SPRINGS
8009-025-054	M-2	M-1	12045 FLORENCE AVE	SANTA FE SPRINGS
8009-025-055	M-2	M-1	10707 FULTON WELLS AVE	SANTA FE SPRINGS
8009-025-057	M-2	M-1	11947 FLORENCE AVE NO 1	SANTA FE SPRINGS
8009-025-058	M-2	M-1	11947 FLORENCE AVE	SANTA FE SPRINGS
8009-025-059	M-2	M-1	10513 HATHAWAY DR	SANTA FE SPRINGS
8009-025-060	M-2	M-1	10510 HATHAWAY DR	SANTA FE SPRINGS
8009-025-061	M-2	M-1	10546 HATHAWAY DR	SANTA FE SPRINGS
8009-025-062	M-2	M-1	10702 HATHAWAY DR	SANTA FE SPRINGS
8009-025-063	M-2	M-1	11975 FLORENCE AVE	SANTA FE SPRINGS
8009-025-064	M-2	M-1	11901 FLORENCE AVE	SANTA FE SPRINGS
8009-025-066	M-2	M-1	11901 FLORENCE AVE	SANTA FE SPRINGS
8009-025-067	M-2	M-1	10623 FULTON WELLS AVE	SANTA FE SPRINGS
8009-025-069	M-2	M-1	10628 FULTON WELLS AVE	SANTA FE SPRINGS
8009-025-070	M-2	M-1	10629 NORWALK BLVD	SANTA FE SPRINGS
8009-025-071	M-2	M-1	10747 NORWALK BLVD	SANTA FE SPRINGS
8009-025-071	M-2	M-1	10747 NORWALK BLVD	SANTA FE SPRINGS
8009-025-072	M-2	M-1	10711 NORWALK BLVD	SANTA FE SPRINGS
8011-012-023	M-2	M-1	10910 PAINTER AVE	SANTA FE SPRINGS
8011-012-034	M-2	M-1	10847 LAUREL AVE	SANTA FE SPRINGS
8011-012-040	M-2	M-1	10905 LAUREL AVE	SANTA FE SPRINGS
8011-012-042	M-2	M-1	10920 PAINTER AVE	SANTA FE SPRINGS
8011-012-043	M-2	M-1	10926 PAINTER AVE	SANTA FE SPRINGS
8011-012-044	M-2	M-1	10934 PAINTER AVE	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8011-012-048	M-2	M-1	13205 LAKELAND RD	SANTA FE SPRINGS
8011-012-049	M-2	M-1	13215 LAKELAND RD	SANTA FE SPRINGS
8011-012-050	M-2	M-1	13221 LAKELAND RD	SANTA FE SPRINGS
8011-012-053	M-2	M-1	10841 LAUREL AVE	SANTA FE SPRINGS
8011-012-068	M-2	M-1	10770 PAINTER AVE	SANTA FE SPRINGS
8011-012-069	M-2	M-1	13210 FLORENCE AVE	SANTA FE SPRINGS
8011-012-070	M-2	M-1	10756 PAINTER AVE	SANTA FE SPRINGS
8011-012-073	M-2	M-1	13250 FLORENCE AVE	SANTA FE SPRINGS
8011-012-074	M-2	M-1	10765 LAUREL AVE	SANTA FE SPRINGS
8011-012-076	M-2	M-1	10810 PAINTER AVE	SANTA FE SPRINGS
8011-012-079	M-2	M-1	10900 PAINTER AVE	SANTA FE SPRINGS
8011-018-900	M-2	MU	N/A	N/A
8011-018-901	M-2	MU	N/A	N/A
8011-018-902	M-2	MU	N/A	N/A
8011-018-903	M-2	MU	N/A	N/A
8011-018-904	M-2	MU	N/A	N/A
8011-018-905	M-2	MU	N/A	N/A
8011-018-906	M-2	MU	N/A	N/A
8011-019-911	M-2	MU	N/A	N/A
8011-020-017	M-2	M-1	12645 CLARK ST	SANTA FE SPRINGS
8011-020-034	M-2	M-1	12633 CLARK ST	SANTA FE SPRINGS
8011-020-040	M-2	M-1	12605 CLARK ST	SANTA FE SPRINGS
8016-001-008	PF	R-3	10831 PIONEER BLVD	SANTA FE SPRINGS
8016-001-014	PF	R-3	10831 PIONEER BLVD	SANTA FE SPRINGS
8016-001-015	PF	R-3	10827 PIONEER BLVD	SANTA FE SPRINGS
8017-018-001	PF	R-3	11730 FLORENCE AVE	SANTA FE SPRINGS
8025-001-014	C-4	M-1	11212 NORWALK BLVD	SANTA FE SPRINGS
8025-001-014	M-2	M-1	11212 NORWALK BLVD	SANTA FE SPRINGS
8025-001-015	C-4	M-1	11234 NORWALK BLVD	SANTA FE SPRINGS
8025-001-015	M-2	M-1	11234 NORWALK BLVD	SANTA FE SPRINGS
8025-001-016	BP	M-1	11318 NORWALK BLVD	SANTA FE SPRINGS
8025-001-016	C-4	M-1	11318 NORWALK BLVD	SANTA FE SPRINGS
8025-001-016	M-2	M-1	11318 NORWALK BLVD	SANTA FE SPRINGS
8025-001-019	C-4	M-1	N/A	N/A
8025-002-007	BP	M-1	11120 NORWALK BLVD	SANTA FE SPRINGS
8025-002-007	M-2	M-1	11120 NORWALK BLVD	SANTA FE SPRINGS
8026-001-008	M-2-PD	M-1	11200 GREENSTONE AVE	SANTA FE SPRINGS
8026-001-009	M-2-PD	M-1	11212 GREENSTONE AVE	SANTA FE SPRINGS
8026-001-011	M-2-PD	M-1	11100 GREENSTONE AVE	SANTA FE SPRINGS
8026-001-012	M-2-PD	M-1	11118 GREENSTONE AVE	SANTA FE SPRINGS
8026-001-013	M-2-PD	M-1	11126 GREENSTONE AVE	SANTA FE SPRINGS
8026-001-024	M-2	M-1	12900 LAKELAND RD	SANTA FE SPRINGS
8026-001-025	M-2	M-1	12912 LAKELAND RD	SANTA FE SPRINGS
8026-001-026	M-2	M-1	12924 LAKELAND RD	SANTA FE SPRINGS
8026-001-027	M-2	M-1	12930 LAKELAND RD	SANTA FE SPRINGS
8026-001-028	M-2	M-1	11017 LOCKPORT PL	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8026-001-029	M-2-PD	M-1	11029 LOCKPORT PL	SANTA FE SPRINGS
8026-001-030	M-2-PD	M-1	11037 LOCKPORT PL	SANTA FE SPRINGS
8026-001-031	M-2-PD	M-1	11034 LOCKPORT PL	SANTA FE SPRINGS
8026-001-032	M-2-PD	M-1	11024 LOCKPORT PL	SANTA FE SPRINGS
8026-001-033	M-2	M-1	11018 LOCKPORT PL	SANTA FE SPRINGS
8026-001-034	M-2	M-1	12950 LAKELAND RD	SANTA FE SPRINGS
8026-001-035	M-2	M-1	12958 LAKELAND RD	SANTA FE SPRINGS
8026-002-011	M-1	M-1	11010 SHOEMAKER AVE	SANTA FE SPRINGS
8026-002-014	M-1-PD	M-1	11106 SHOEMAKER AVE	SANTA FE SPRINGS
8026-002-015	M-1-PD	M-1	11122 SHOEMAKER AVE	SANTA FE SPRINGS
8026-002-018	M-1-PD	M-1	N/A	N/A
8026-002-019	M-1-PD	M-1	13057 MEYER RD	SANTA FE SPRINGS
8026-002-020	M-1-PD	M-1	N/A	N/A
8026-002-022	M-1-D	M-1	13132 LAKELAND RD	SANTA FE SPRINGS
8026-002-023	M-1-PD	M-1	13111 MEYER RD	SANTA FE SPRINGS
8026-002-024	M-1-PD	M-1	13117 MEYER RD	SANTA FE SPRINGS
8026-002-026	M-1	M-1	13132 LAKELAND RD	SANTA FE SPRINGS
8026-002-026	M-1	M-1	13132 LAKELAND RD	SANTA FE SPRINGS
8026-002-026	M-1-PD	M-1	13132 LAKELAND RD	SANTA FE SPRINGS
8026-002-026	M-1-PD	M-1	13132 LAKELAND RD	SANTA FE SPRINGS
8026-018-030	M-1	M-1	11688 GREENSTONE AVE	SANTA FE SPRINGS
8026-018-030	M-2	M-1	11688 GREENSTONE AVE	SANTA FE SPRINGS
8026-018-031	M-2	M-1	11720 GREENSTONE AVE	SANTA FE SPRINGS
8026-018-901	M-2	M-1	N/A	N/A
8026-018-902	M-2-PD	M-1	N/A	N/A
8026-018-902	M-2-PD	M-1	N/A	N/A
8026-018-902	M-2-PD	M-1	N/A	N/A
8026-020-005	M-2	M-1	11810 GREENSTONE AVE	SANTA FE SPRINGS
8026-020-006	M-2	M-1	11808 GREENSTONE AVE	SANTA FE SPRINGS
8026-020-009	M-2	M-1	11741 SHOEMAKER AVE	SANTA FE SPRINGS
8026-020-018	M-2	M-1	11731 1/2 SHOEMAKER AVE	SANTA FE SPRINGS
8026-020-019	M-2	M-1	11831 SHOEMAKER AVE	SANTA FE SPRINGS
8026-020-037	M-1	M-1	11813 SHOEMAKER AVE	SANTA FE SPRINGS
8026-020-037	M-2	M-1	11813 SHOEMAKER AVE	SANTA FE SPRINGS
8026-020-039	M-1	M-1	N/A	N/A
8026-020-039	M-2	M-1	N/A	N/A
8026-020-040	M-2	M-1	N/A	N/A
8026-020-042	M-2	M-1	12911 SUNSHINE AVE	SANTA FE SPRINGS
8026-020-047	M-2	M-1	N/A	N/A
8026-020-050	M-2	M-1	11915 SHOEMAKER AVE	SANTA FE SPRINGS
8026-020-051	M-2	M-1	11910 GREENSTONE AVE	SANTA FE SPRINGS
8026-020-053	M-2	M-1	N/A	N/A
8026-020-056	M-2	M-1	12811 SUNSHINE AVE	SANTA FE SPRINGS
8026-020-057	M-2	M-1	12903 SUNSHINE AVE	SANTA FE SPRINGS
8026-020-058	M-2	M-1	12917 SUNSHINE AVE	SANTA FE SPRINGS
8026-020-062	M-2	M-1	12112 GREENSTONE AVE	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8026-020-063	M-2	M-1	12805 SUNSHINE AVE	SANTA FE SPRINGS
8026-020-066	M-1	M-1	12927 SUNSHINE AVE	SANTA FE SPRINGS
8026-020-066	M-2	M-1	12927 SUNSHINE AVE	SANTA FE SPRINGS
8026-020-077	M-1	M-1	12034 GREENSTONE AVE	SANTA FE SPRINGS
8026-020-077	M-2	M-1	12034 GREENSTONE AVE	SANTA FE SPRINGS
8026-020-081	M-2	M-1	11735 SHOEMAKER AVE	SANTA FE SPRINGS
8026-020-087	M-1	M-1	11831 SHOEMAKER AVE	SANTA FE SPRINGS
8026-020-087	M-2	M-1	11831 SHOEMAKER AVE	SANTA FE SPRINGS
8026-041-027	M-2	M-1	12415 SHOEMAKER AVE	SANTA FE SPRINGS
8026-041-028	M-2	M-1	12419 SHOEMAKER AVE	SANTA FE SPRINGS
8026-041-029	M-2	M-1	12427 SHOEMAKER AVE	SANTA FE SPRINGS
8026-041-030	M-2	M-1	12505 SHOEMAKER AVE	SANTA FE SPRINGS
8026-041-031	M-2	M-1	12513 SHOEMAKER AVE	SANTA FE SPRINGS
8026-041-032	M-2	M-1	12521 SHOEMAKER AVE	SANTA FE SPRINGS
8026-041-050	M-2	M-1	12311 SHOEMAKER AVE	SANTA FE SPRINGS
8026-041-051	M-2	M-1	12321 SHOEMAKER AVE	SANTA FE SPRINGS
8026-041-054	M-2	M-1	12959 IMPERIAL HWY	SANTA FE SPRINGS
8026-042-006	BP	MU-TOD	12623 IMPERIAL HWY	SANTA FE SPRINGS
8026-042-006	C-4	MU-TOD	12623 IMPERIAL HWY	SANTA FE SPRINGS
8026-042-007	C-4	MU-TOD	12607 IMPERIAL HWY	SANTA FE SPRINGS
8026-042-008	C-4	MU-TOD	12631 IMPERIAL HWY	SANTA FE SPRINGS
8026-042-009	C-4	MU-TOD	12643 IMPERIAL HWY	SANTA FE SPRINGS
8026-042-010	M-2	MU-TOD	12655 IMPERIAL HWY	SANTA FE SPRINGS
8026-042-014	M-2	MU-TOD	12711 IMPERIAL HWY	SANTA FE SPRINGS
8026-042-017	M-2	MU-TOD	N/A	N/A
8026-042-018	M-2	MU-TOD	12438 BLOOMFIELD AVE	SANTA FE SPRINGS
8026-042-020	M-2	MU-TOD	12420 BLOOMFIELD AVE	SANTA FE SPRINGS
8026-042-022	BP	MU-TOD	12438 BLOOMFIELD AVE	SANTA FE SPRINGS
8026-042-022	M-2	MU-TOD	12438 BLOOMFIELD AVE	SANTA FE SPRINGS
8026-042-803	BP	MU-TOD	N/A	N/A
8026-042-803	BP	MU-TOD	N/A	N/A
8029-003-048	M-1	M-1	13400 TELEGRAPH RD	WHITTIER
8044-001-007	M-2	C-4	13352 IMPERIAL HWY	SANTA FE SPRINGS
8044-001-025	M-2	C-4	13238 IMPERIAL HWY	SANTA FE SPRINGS
8044-001-046	M-2	C-4	13204 IMPERIAL HWY	SANTA FE SPRINGS
8044-001-047	M-2	C-4	13220 IMPERIAL HWY	SANTA FE SPRINGS
8044-002-007	M-2	C-4	13412 IMPERIAL HWY	SANTA FE SPRINGS
8059-003-002	M-1	M-2	14010 CARMENITA RD	SANTA FE SPRINGS
8059-003-003	M-1	M-2	14018 CARMENITA RD	SANTA FE SPRINGS
8059-003-018	M-1	M-2	13451 ROSECRANS AVE	SANTA FE SPRINGS
8059-003-028	M-1	M-2	N/A	N/A
8059-003-029	M-1	M-2	14006 CARMENITA RD	SANTA FE SPRINGS
8059-003-030	M-1	M-2	13443 ROSECRANS AVE	SANTA FE SPRINGS
8059-003-031	M-1	M-2	13443 ROSECRANS AVE	SANTA FE SPRINGS
8059-003-032	M-1	M-2	13463 ROSECRANS AVE	SANTA FE SPRINGS
8059-003-032	M-1	M-2	13463 ROSECRANS AVE	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8059-003-032	M-1	M-2	13463 ROSECRANS AVE	SANTA FE SPRINGS
8059-003-033	M-1	M-2	13461 ROSECRANS AVE	SANTA FE SPRINGS
8059-003-034	M-1	M-2	14024 CARMENITA RD	SANTA FE SPRINGS
8059-003-034	M-1	M-2	14024 CARMENITA RD	SANTA FE SPRINGS
8059-003-034	M-1	M-2	14024 CARMENITA RD	SANTA FE SPRINGS
8059-003-034	M-1	M-2	14024 CARMENITA RD	SANTA FE SPRINGS
8059-003-035	M-1	M-2	13417 ROSECRANS AVE	SANTA FE SPRINGS
8059-003-035	M-1	M-2	13417 ROSECRANS AVE	SANTA FE SPRINGS
8059-003-035	M-1	M-2	13417 ROSECRANS AVE	SANTA FE SPRINGS
8069-006-010	C-4-PD	ML	14317 VALLEY VIEW AVE	SANTA FE SPRINGS
8069-006-017	C-4-PD	ML	14122 ROSECRANS AVE	SANTA FE SPRINGS
8069-006-030	C-4-PD	ML	14114 ROSECRANS AVE	SANTA FE SPRINGS
8069-006-043	C-4-PD	ML	14311 VALLEY VIEW AVE	SANTA FE SPRINGS
8069-006-044	C-4-PD	ML	14150 ROSECRANS AVE	SANTA FE SPRINGS
8069-006-045	C-4-PD	ML	14515 VALLEY VIEW AVE	SANTA FE SPRINGS
8069-006-047	C-4-PD	ML	14156 ROSECRANS AVE	SANTA FE SPRINGS
8167-003-008	M-2	M-1	12943 LOS NIETOS RD	SANTA FE SPRINGS
8167-003-800	M-2	M-1	9816 GREENLEAF AVE	SANTA FE SPRINGS
8167-003-801	M-2	M-1	N/A	N/A
8167-004-024	M-2	M-1	13023 LOS NIETOS RD	SANTA FE SPRINGS
8167-004-025	M-2	M-1	13021 7/8 LOS NIETOS RD	SANTA FE SPRINGS
8167-004-026	M-2	M-1	13015 LOS NIETOS RD	SANTA FE SPRINGS
8167-004-027	M-2	M-1	13017 1/2 LOS NIETOS RD	SANTA FE SPRINGS
8167-004-028	M-2	M-1	13011 LOS NIETOS RD	SANTA FE SPRINGS
8167-004-035	M-2	M-1	12983 LOS NIETOS RD	SANTA FE SPRINGS
8167-004-048	M-2	M-1	12997 LOS NIETOS RD	SANTA FE SPRINGS
8167-005-003	M-2	M-1	13039 LOS NIETOS RD	SANTA FE SPRINGS
8167-005-017	M-2	M-1	13109 LOS NIETOS RD	SANTA FE SPRINGS
8167-005-018	M-2	M-1	10047 PAINTER AVE	SANTA FE SPRINGS
8167-005-019	M-2	M-1	10035 PAINTER AVE	SANTA FE SPRINGS
8167-005-020	M-2	M-1	13112 BARTON RD	WHITTIER
8167-005-021	M-2	M-1	13120 BARTON RD	WHITTIER
8167-005-022	M-2	M-1	13136 BARTON RD	WHITTIER
8167-005-023	M-2	M-1	13142 BARTON RD	WHITTIER
8167-005-025	M-2-PD	M-1	10135 PAINTER AVE	SANTA FE SPRINGS
8167-005-026	M-2	M-1	13045 LOS NIETOS RD	SANTA FE SPRINGS
8167-005-026	M-2	M-1	13045 LOS NIETOS RD	SANTA FE SPRINGS
8167-006-006	M-1	M-1	9825 PAINTER AVE	SANTA FE SPRINGS
8167-006-006	M-1	M-1	9825 PAINTER AVE	SANTA FE SPRINGS
8167-028-028	M-1-PD	M-1	9810 PAINTER AVE	SANTA FE SPRINGS
8167-028-029	M-1-PD	M-1	13281 BARTON CIR	SANTA FE SPRINGS
8167-028-030	M-1-PD	M-1	13273 BARTON CIR	SANTA FE SPRINGS
8167-028-031	M-1-PD	M-1	13265 BARTON CIR	SANTA FE SPRINGS
8167-028-032	M-1-PD	M-1	13257 BARTON CIR	SANTA FE SPRINGS
8167-028-033	M-1-PD	M-1	13249 BARTON CIR	SANTA FE SPRINGS
8167-028-034	M-1-PD	M-1	13241 BARTON CIR	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8167-028-035	M-1-PD	M-1	13233 BARTON CIR	SANTA FE SPRINGS
8167-028-036	M-1-PD	M-1	13225 BARTON CIR	SANTA FE SPRINGS
8167-028-037	M-1-PD	M-1	13217 BARTON CIR	WHITTIER
8167-028-038	M-1-PD	M-1	13209 BARTON CIR	SANTA FE SPRINGS
8167-028-039	M-1-PD	M-1	13201 BARTON CIR	SANTA FE SPRINGS
8167-028-040	M-1-PD	M-1	9920 PAINTER AVE	SANTA FE SPRINGS
8167-028-041	M-1-PD	M-1	13210 BARTON CIR	SANTA FE SPRINGS
8167-028-042	M-1-PD	M-1	13236 BARTON CIR	SANTA FE SPRINGS
8167-028-043	M-1-PD	M-1	13240 BARTON CIR	SANTA FE SPRINGS
8167-028-044	M-1-PD	M-1	13270 BARTON CIR	SANTA FE SPRINGS
8167-028-045	M-1-PD	M-1	9930 PAINTER AVE	SANTA FE SPRINGS
8167-029-003	M-1	M-1	10030 PAINTER AVE	SANTA FE SPRINGS
8167-029-019	M-1	M-1	10016 PAINTER AVE	SANTA FE SPRINGS
8167-029-023	M-1	M-1	10106 PAINTER AVE	SANTA FE SPRINGS
8167-029-026	M-1	M-1	10040 PAINTER AVE	SANTA FE SPRINGS
8167-029-026	M-1	M-1	10040 PAINTER AVE	SANTA FE SPRINGS
8167-037-012	M-2	M-1	9415 GREENLEAF AVE	SANTA FE SPRINGS
8167-037-013	M-2	M-1	12801 ANN ST	SANTA FE SPRINGS
8167-037-014	M-2	M-1	12866 ANN ST	SANTA FE SPRINGS
8167-037-015	M-2	M-1	12866 ANN ST	SANTA FE SPRINGS
8168-001-007	M-2	M-1	8916 NORWALK BLVD	SANTA FE SPRINGS
8168-001-042	M-2	M-1	11650 BURKE ST	SANTA FE SPRINGS
8168-001-043	M-2	M-1	11630 BURKE ST	SANTA FE SPRINGS
8168-001-050	M-2	M-1	8739 DICE RD	SANTA FE SPRINGS
8168-001-051	M-2	M-1	11718 BURKE ST	SANTA FE SPRINGS
8168-001-816	M-2	M-1	N/A	N/A
8168-015-002	M-1	M-1	8317 1/2 SECURA WAY	SANTA FE SPRINGS
8168-015-007	M-1	M-1	8333 SECURA WAY	SANTA FE SPRINGS
8168-015-011	M-1	M-1	8357 SECURA WAY	SANTA FE SPRINGS
8168-015-013	M-1	M-1	8411 SECURA WAY	SANTA FE SPRINGS
8168-015-016	M-1	M-1	11990 RIVERA RD	SANTA FE SPRINGS
8168-015-017	M-1	M-1	8317 SECURA WAY	SANTA FE SPRINGS
8168-015-019	M-1	M-1	8425 SECURA WAY	SANTA FE SPRINGS
8168-015-020	M-1	M-1	8417 SECURA WAY	SANTA FE SPRINGS
8168-015-023	M-1	M-1	8413 SECURA WAY	SANTA FE SPRINGS
8168-015-046	M-1	M-1	8355 SECURA WAY	SANTA FE SPRINGS
8168-015-047	M-1	M-1	8349 SECURA WAY	SANTA FE SPRINGS
8168-015-049	M-1	M-1	12000 RIVERA RD	SANTA FE SPRINGS
8168-015-051	M-1	M-1	8427 SECURA WAY	SANTA FE SPRINGS
8168-015-052	M-1	M-1	12004 1/2 RIVERA RD	SANTA FE SPRINGS
8168-026-004	M-1	M-1	8444 SECURA WAY	SANTA FE SPRINGS
8168-026-005	M-1	M-1	8440 SECURA WAY	SANTA FE SPRINGS
8168-026-006	M-1	M-1	8432 SECURA WAY	SANTA FE SPRINGS
8168-026-007	M-1	M-1	8424 SECURA WAY	SANTA FE SPRINGS
8168-026-008	M-1	M-1	8418 SECURA WAY	SANTA FE SPRINGS
8168-026-009	M-1	M-1	8416 SECURA WAY	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8168-026-010	M-1	M-1	8406 SECURA WAY	SANTA FE SPRINGS
8168-026-011	M-1	M-1	8400 SECURA WAY	SANTA FE SPRINGS
8168-026-012	M-1	M-1	8354 SECURA WAY	SANTA FE SPRINGS
8168-026-013	M-1	M-1	8348 SECURA WAY	SANTA FE SPRINGS
8168-026-014	M-1	M-1	8342 SECURA WAY	SANTA FE SPRINGS
8168-026-015	M-1	M-1	8332 SECURA WAY	SANTA FE SPRINGS
8168-026-016	M-1	M-1	12020 RIVERA RD	SANTA FE SPRINGS
8168-026-017	M-1	M-1	12030 RIVERA RD	SANTA FE SPRINGS
8168-026-026	M-1	M-1	8421 CHETLE AVE	SANTA FE SPRINGS
8168-026-027	M-1	M-1	8433 CHETLE AVE	SANTA FE SPRINGS
8168-026-028	M-1	M-1	8433 CHETLE AVE	SANTA FE SPRINGS
8168-026-029	M-1	M-1	8503 CHETLE AVE	SANTA FE SPRINGS
8168-026-030	M-1	M-1	8509 CHETLE AVE	SANTA FE SPRINGS
8168-026-039	M-1	M-1	8403 CHETLE AVE	SANTA FE SPRINGS
8168-026-040	M-1	M-1	8409 CHETLE AVE	SANTA FE SPRINGS
8168-026-041	M-1	M-1	8333 CHETLE AVE	SANTA FE SPRINGS
8168-026-042	M-1	M-1	8515 CHETLE AVE	SANTA FE SPRINGS
8168-026-043	M-1	M-1	12040 RIVERA RD	SANTA FE SPRINGS
8168-026-044	M-1	M-1	8311 CHETLE AVE	SANTA FE SPRINGS
8168-026-045	M-1	M-1	8533 CHETLE AVE	SANTA FE SPRINGS
8169-001-011	M-1-PD	M-1	12000 WASHINGTON BLVD	SANTA FE SPRINGS
8169-001-012	M-1	M-1	12051 RIVERA RD	SANTA FE SPRINGS
8169-001-013	M-1	M-1	12055 RIVERA RD	SANTA FE SPRINGS
8169-001-013	M-1-PD	M-1	12055 RIVERA RD	SANTA FE SPRINGS
8169-001-016	M-1	M-1	11954 WASHINGTON BLVD	SANTA FE SPRINGS
8169-001-016	M-1	M-1	11954 WASHINGTON BLVD	SANTA FE SPRINGS
8169-002-002	M-1	M-1	N/A	N/A
8169-002-005	M-1	M-1	11934 WASHINGTON BLVD	SANTA FE SPRINGS
8169-002-005	M-1	M-1	11934 WASHINGTON BLVD	SANTA FE SPRINGS
8169-002-008	M-1	M-1	8119 SECURA WAY	SANTA FE SPRINGS
8169-002-009	M-1	M-1	8123 SECURA WAY	SANTA FE SPRINGS
8169-002-011	M-1	M-1	8140 SECURA WAY	SANTA FE SPRINGS
8169-002-014	M-1	M-1	8200 SECURA WAY	SANTA FE SPRINGS
8169-002-015	M-1	M-1	8206 SECURA WAY	SANTA FE SPRINGS
8169-002-016	M-1	M-1	11983 RIVERA RD	SANTA FE SPRINGS
8169-002-022	M-1	M-1	8141 SECURA WAY	SANTA FE SPRINGS
8169-002-023	M-1	M-1	8145 SECURA WAY	SANTA FE SPRINGS
8169-002-025	M-1	M-1	8108 SECURA WAY	SANTA FE SPRINGS
8169-002-026	M-1	M-1	8110 SECURA WAY	SANTA FE SPRINGS
8169-002-027	M-1	M-1	8118 SECURA WAY	SANTA FE SPRINGS
8169-002-028	M-1	M-1	8100 SECURA WAY	SANTA FE SPRINGS
8169-002-029	M-1	M-1	11965 RIVERA RD	SANTA FE SPRINGS
8169-002-030	M-1	M-1	11967 RIVERA RD	SANTA FE SPRINGS
8169-002-031	M-1	M-1	11969 RIVERA RD	SANTA FE SPRINGS
8169-002-032	M-1	M-1	11973 RIVERA RD	SANTA FE SPRINGS
8169-002-033	M-1	M-1	8203 SECURA WAY	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8169-002-034	M-1	M-1	8209 SECURA WAY	SANTA FE SPRINGS
8169-002-035	M-1	M-1	8122 SECURA WAY	SANTA FE SPRINGS
8169-002-036	M-1	M-1	8126 SECURA WAY	SANTA FE SPRINGS
8169-002-043	M-1	M-1	11908 WASHINGTON BLVD	SANTA FE SPRINGS
8169-002-043	M-1	M-1	11908 WASHINGTON BLVD	SANTA FE SPRINGS
8169-002-043	M-1	M-1	11908 WASHINGTON BLVD	SANTA FE SPRINGS
8169-002-043	M-1	M-1	11908 WASHINGTON BLVD	SANTA FE SPRINGS
8169-002-043	M-1	M-1	11908 WASHINGTON BLVD	SANTA FE SPRINGS
8169-002-043	M-1	M-1	11908 WASHINGTON BLVD	SANTA FE SPRINGS
8169-003-005	M-1	M-1	11923 RIVERA RD	SANTA FE SPRINGS
8169-003-006	M-1	M-1	11927 RIVERA RD	SANTA FE SPRINGS
8169-003-007	M-1	M-1	N/A	N/A
8169-003-008	M-1	M-1	11937 RIVERA RD	SANTA FE SPRINGS
8169-003-009	M-1	M-1	11941 RIVERA RD	SANTA FE SPRINGS
8169-003-012	M-1	M-1	11955 RIVERA RD	SANTA FE SPRINGS
8169-003-013	M-1	M-1	11959 RIVERA RD	SANTA FE SPRINGS
8169-003-017	M-1	M-1	8230 SORENSEN AVE	SANTA FE SPRINGS
8169-003-018	M-1	M-1	8224 SORENSEN AVE	SANTA FE SPRINGS
8169-003-019	M-1	M-1	8214 SORENSEN AVE	SANTA FE SPRINGS
8169-003-026	M-1	M-1	8206 1/2 SORENSEN AVE	SANTA FE SPRINGS
8169-003-027	M-1	M-1	8202 SORENSEN AVE	SANTA FE SPRINGS
8169-003-031	M-1	M-1	8212 SORENSEN AVE	SANTA FE SPRINGS
8169-003-032	M-1	M-1	8210 1/2 SORENSEN AVE	SANTA FE SPRINGS
8169-003-033	M-1	M-1	8210 SORENSEN AVE	SANTA FE SPRINGS
8169-003-034	M-1	M-1	8208 SORENSEN AVE	SANTA FE SPRINGS
8169-003-035	M-1	M-1	11919 RIVERA RD	SANTA FE SPRINGS
8169-003-041	M-1	M-1	8308 SORENSEN AVE	SANTA FE SPRINGS
8169-003-042	M-1	M-1	11945 RIVERA RD	SANTA FE SPRINGS
8169-003-043	M-1	C-4	11808 WASHINGTON BLVD	SANTA FE SPRINGS
8169-003-044	M-1	C-4	8028 SORENSEN AVE	SANTA FE SPRINGS
8169-003-045	M-1	M-1	8110 SORENSEN AVE	SANTA FE SPRINGS
8169-004-001	M-1	C-4	N/A	N/A
8169-004-002	M-1	C-4	11668 WASHINGTON BLVD	SANTA FE SPRINGS
8169-004-003	M-1	C-4	11720 WASHINGTON BLVD	SANTA FE SPRINGS
8169-004-004	M-1	C-4	11734 WASHINGTON BLVD	SANTA FE SPRINGS
8169-004-006	M-1	C-4	11746 WASHINGTON BLVD	SANTA FE SPRINGS
8169-004-016	M-1	C-4	11750 WASHINGTON BLVD	SANTA FE SPRINGS
8169-005-001	M-1	C-4	11642 WASHINGTON BLVD	SANTA FE SPRINGS
8169-005-012	M-1	M-1	8140 ALLPORT AVE	SANTA FE SPRINGS
8169-005-014	M-1	M-1	8035 FREESTONE AVE	SANTA FE SPRINGS
8169-005-017	M-1	C-4	11648 WASHINGTON BLVD	SANTA FE SPRINGS
8169-005-018	M-1	C-4	N/A	N/A
8169-005-019	M-1	C-4	11664 WASHINGTON BLVD	SANTA FE SPRINGS
8169-005-020	M-1	C-4	8020 FREESTONE AVE	SANTA FE SPRINGS
8169-005-025	M-1	M-1	8122 1/2 ALLPORT AVE	SANTA FE SPRINGS
8169-005-028	M-1	C-4	8030 FREESTONE AVE	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8169-005-029	M-1	M-1	8038 FREESTONE AVE	SANTA FE SPRINGS
8169-005-030	M-1	M-1	8130 ALLPORT AVE	SANTA FE SPRINGS
8169-005-031	M-1	M-1	8122 ALLPORT AVE	SANTA FE SPRINGS
8169-005-032	M-1	M-1	8112 FREESTONE AVE	SANTA FE SPRINGS
8169-005-033	M-1	M-1	8124 ALLPORT AVE	SANTA FE SPRINGS
8169-005-034	M-1	M-1	8024 ALLPORT AVE	SANTA FE SPRINGS
8169-005-035	M-1	M-1	8036 ALLPORT AVE	SANTA FE SPRINGS
8169-005-036	M-1	M-1	8118 ALLPORT AVE	SANTA FE SPRINGS
8169-007-001	M-1	M-1	8338 ALLPORT AVE	SANTA FE SPRINGS
8169-007-004	M-1	M-1	11751 SLAUSON AVE	SANTA FE SPRINGS
8169-007-011	M-1	M-1	11769 SLAUSON AVE	SANTA FE SPRINGS
8169-007-012	M-1	M-1	11765 SLAUSON AVE	SANTA FE SPRINGS
8169-007-014	M-1	M-1	11775 SLAUSON AVE	SANTA FE SPRINGS
8169-007-015	M-1	M-1	11779 SLAUSON AVE	SANTA FE SPRINGS
8169-007-016	M-1	M-1	8406 ALLPORT AVE	SANTA FE SPRINGS
8169-007-018	M-1	M-1	8406 ALLPORT AVE	SANTA FE SPRINGS
8169-007-019	M-1	M-1	8402 ALLPORT AVE	SANTA FE SPRINGS
8169-007-020	M-1	M-1	8200 ALLPORT AVE	SANTA FE SPRINGS
8169-007-021	M-1	M-1	8222 ALLPORT AVE	SANTA FE SPRINGS
8169-007-022	M-1	M-1	8226 ALLPORT AVE	SANTA FE SPRINGS
8169-007-023	M-1	M-1	8282 ALLPORT AVE	SANTA FE SPRINGS
8169-007-024	M-1	M-1	11807 7/8 SLAUSON AVE	SANTA FE SPRINGS
8169-007-025	M-1	M-1	11807 3/4 SLAUSON AVE	SANTA FE SPRINGS
8169-007-026	M-1	M-1	11807 3/8 SLAUSON AVE	SANTA FE SPRINGS
8169-007-027	M-1	M-1	11807 SLAUSON AVE	SANTA FE SPRINGS
8169-007-028	M-1	M-1	11805 SLAUSON AVE	SANTA FE SPRINGS
8169-007-029	M-1	M-1	11803 SLAUSON AVE	SANTA FE SPRINGS
8169-007-030	M-1	M-1	11801 SLAUSON AVE	SANTA FE SPRINGS
8169-007-031	M-1	M-1	11809 SLAUSON AVE UNIT B	SANTA FE SPRINGS
8169-007-032	M-1	M-1	11809 SLAUSON AVE	SANTA FE SPRINGS
8169-007-033	M-1	M-1	11811 SLAUSON AVE	SANTA FE SPRINGS
8169-007-034	M-1	M-1	11813 SLAUSON AVE	SANTA FE SPRINGS
8169-007-035	M-1	M-1	11815 SLAUSON AVE	SANTA FE SPRINGS
8169-007-036	M-1	M-1	11821 SLAUSON AVE	SANTA FE SPRINGS
8169-007-038	M-1	M-1	8330 ALLPORT AVE	SANTA FE SPRINGS
8169-007-039	M-1	M-1	8312 ALLPORT AVE	SANTA FE SPRINGS
8169-008-002	M-1	M-1	8339 ALLPORT AVE	SANTA FE SPRINGS
8169-008-003	M-1	M-1	8403 ALLPORT AVE	SANTA FE SPRINGS
8169-008-014	M-1	M-1	11705 SLAUSON AVE	SANTA FE SPRINGS
8169-008-015	M-1	M-1	8415 ALLPORT AVE	SANTA FE SPRINGS
8169-008-017	M-1	M-1	8315 ALLPORT AVE	SANTA FE SPRINGS
8169-008-018	M-1	M-1	8319 ALLPORT AVE	SANTA FE SPRINGS
8169-011-014	M-1	M-1	8058 WESTMAN AVE	SANTA FE SPRINGS
8169-011-014	M-1	M-1	8058 WESTMAN AVE	SANTA FE SPRINGS
8169-011-015	M-1	M-1	8050 WESTMAN AVE	SANTA FE SPRINGS
8169-011-015	M-1	M-1	8050 WESTMAN AVE	SANTA FE SPRINGS

APN	Existing Zone	Proposed Zone	Address	City
8169-011-016	M-1	M-1	8040 WESTMAN AVE	SANTA FE SPRINGS
8169-011-016	M-1	M-1	8040 WESTMAN AVE	SANTA FE SPRINGS
8169-011-017	M-1	M-1	8032 WESTMAN AVE	SANTA FE SPRINGS
8169-011-017	M-1	M-1	8032 WESTMAN AVE	SANTA FE SPRINGS
8169-011-018	M-1	M-1	8018 WESTMAN AVE	SANTA FE SPRINGS
8169-011-021	M-1	M-1	8037 ALLPORT AVE	SANTA FE SPRINGS
8169-011-022	M-1	M-1	8101 ALLPORT AVE	SANTA FE SPRINGS
8169-011-023	M-1	M-1	8107 ALLPORT AVE	SANTA FE SPRINGS
8169-011-024	M-1	M-1	8135 ALLPORT AVE	SANTA FE SPRINGS
8169-011-026	M-1	M-1	8205 ALLPORT AVE	SANTA FE SPRINGS
8169-011-027	M-1	M-1	8207 ALLPORT AVE	SANTA FE SPRINGS
8169-011-028	M-1	M-1	8229 ALLPORT AVE	SANTA FE SPRINGS
8169-011-029	M-1	M-1	8231 ALLPORT AVE	SANTA FE SPRINGS
8169-011-030	M-1	M-1	8235 ALLPORT AVE	SANTA FE SPRINGS
8169-011-031	M-1	M-1	8303 ALLPORT AVE	SANTA FE SPRINGS
8169-011-032	M-1	M-1	11540 WASHINGTON BLVD	SANTA FE SPRINGS
8169-011-032	M-1	M-1	11540 WASHINGTON BLVD	SANTA FE SPRINGS
8169-011-038	M-1	M-1	11701 SLAUSON AVE	SANTA FE SPRINGS
8169-011-038	M-1	M-1	11701 SLAUSON AVE	SANTA FE SPRINGS
8169-012-006	C-4	MU	8032 BROADWAY AVE	SANTA FE SPRINGS
8169-012-017	C-4	MU	8044 BROADWAY AVE	SANTA FE SPRINGS
8169-012-018	C-4	MU	8100 BROADWAY AVE	SANTA FE SPRINGS
8169-012-047	C-4	MU	11508 WASHINGTON BLVD	SANTA FE SPRINGS
8169-012-050	C-4	MU	11400 WASHINGTON BLVD	SANTA FE SPRINGS
8169-012-051	C-4	MU	11426 WASHINGTON BLVD	SANTA FE SPRINGS
8169-021-029	M-2	M-1	11700 SLAUSON AVE	SANTA FE SPRINGS
8169-027-046	M-2	M-1	8623 DICE RD	SANTA FE SPRINGS
8169-027-047	M-2	M-1	8535 DICE RD	SANTA FE SPRINGS
8169-027-048	M-2	M-1	8607 DICE RD	SANTA FE SPRINGS
8176-017-005	C-4	MU-TOD	7820 NORWALK BLVD	WHITTIER
8176-017-006	C-4	MU-TOD	7860 NORWALK BLVD	WHITTIER
8176-017-008	C-4	MU-TOD	11125 WASHINGTON BLVD	WHITTIER
8176-017-010	C-4	MU-TOD	7910 NORWALK BLVD	SANTA FE SPRINGS
8176-017-012	C-4	MU-TOD	7916 NORWALK BLVD	SANTA FE SPRINGS
8176-017-013	C-4	MU-TOD	11143 WASHINGTON BLVD	SANTA FE SPRINGS
8176-017-014	C-4	MU-TOD	11139 WASHINGTON BLVD	SANTA FE SPRINGS
8176-017-015	C-4	MU-TOD	11153 WASHINGTON BLVD	SANTA FE SPRINGS
8176-017-016	C-4	MU-TOD	11161 WASHINGTON BLVD	SANTA FE SPRINGS
8176-017-017	C-4	MU-TOD	11213 WASHINGTON BLVD	SANTA FE SPRINGS
8176-017-018	C-4	MU-TOD	11223 WASHINGTON BLVD	SANTA FE SPRINGS
8176-017-019	C-4	MU-TOD	11235 WASHINGTON BLVD	SANTA FE SPRINGS
8176-017-029	C-4	MU-TOD	7932 NORWALK BLVD	WHITTIER
8176-017-030	C-4	MU-TOD	7810 NORWALK BLVD	SANTA FE SPRINGS
8177-031-009	M-2	M-1	8741 PIONEER BLVD	SANTA FE SPRINGS
8177-031-010	M-2	M-1	8807 PIONEER BLVD	SANTA FE SPRINGS
8177-031-013	M-2	M-1	8731 PIONEER BLVD	SANTA FE SPRINGS

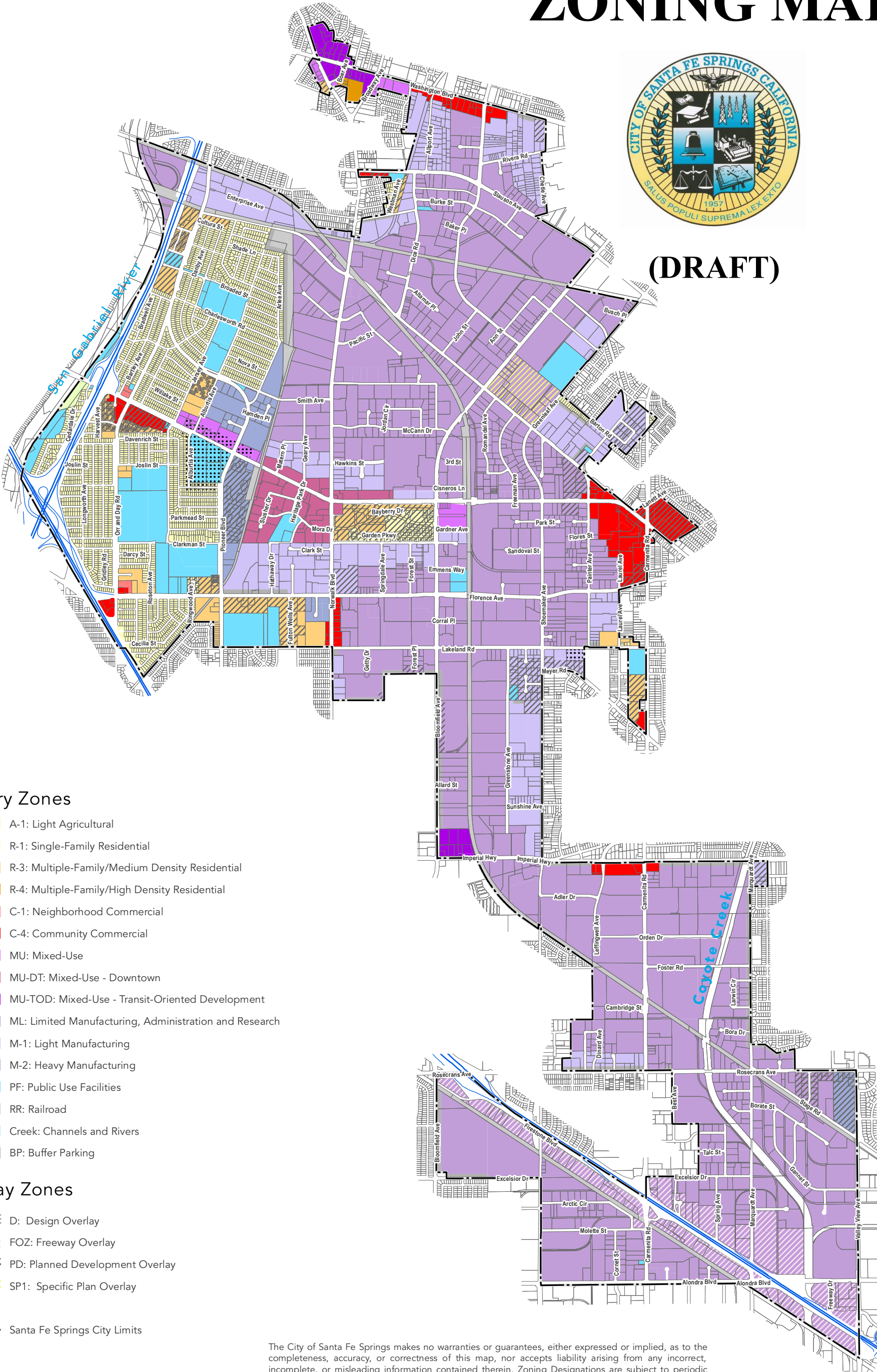
APN	Existing Zone	Proposed Zone	Address	City
8177-031-017	M-2	M-1	N/A	N/A
8177-031-018	M-2	M-1	N/A	N/A
8177-031-019	M-2	M-1	8839 PIONEER BLVD	SANTA FE SPRINGS
8177-031-019	M-2	M-1	8839 PIONEER BLVD	SANTA FE SPRINGS
8177-031-019	M-2	M-1	8839 PIONEER BLVD	SANTA FE SPRINGS
8178-001-015	C-4	MU-TOD	11208 WASHINGTON BLVD	SANTA FE SPRINGS
8178-001-016	C-4	MU-TOD	11230 WASHINGTON BLVD	SANTA FE SPRINGS
8178-001-026	C-4	MU-TOD	11130 WASHINGTON BLVD	SANTA FE SPRINGS
8178-001-027	C-4	MU-TOD	N/A	N/A
8178-001-045	C-4	MU-TOD	11330 WASHINGTON BLVD	SANTA FE SPRINGS
8178-001-049	C-4	MU	8118 NORWALK BLVD	SANTA FE SPRINGS
8178-001-054	C-4	MU-TOD	11236 WASHINGTON BLVD	SANTA FE SPRINGS
8178-001-055	C-4	MU-TOD	8018 BOER AVE	SANTA FE SPRINGS
8178-001-061	C-4	MU-TOD	11302 WASHINGTON BLVD	SANTA FE SPRINGS
8178-004-004	C-4	MU	8039 NORWALK BLVD	SANTA FE SPRINGS
8178-004-005	C-4	MU	8045 NORWALK BLVD	SANTA FE SPRINGS
8178-004-009	C-4	MU	8013 NORWALK BLVD	SANTA FE SPRINGS
8178-004-065	C-4-PD	MU	N/A	N/A
8178-004-068	C-4-PD	MU	11036 WASHINGTON BLVD	WHITTIER
8178-033-050	M-2	M-1	8905 NORWALK BLVD	SANTA FE SPRINGS
8178-033-054	M-2	M-1	11584 PERKINS AVE	SANTA FE SPRINGS
8178-033-055	M-2	M-1	N/A	N/A
8178-033-056	M-2	M-1	11548 PERKINS AVE	SANTA FE SPRINGS
8178-033-057	M-2	M-1	11546 PERKINS AVE	SANTA FE SPRINGS
8178-033-058	M-2	M-1	11544 PERKINS AVE	SANTA FE SPRINGS
8178-033-063	M-2	M-1	11578 PERKINS AVE	SANTA FE SPRINGS
8178-033-063	M-2	M-1	11578 PERKINS AVE	SANTA FE SPRINGS
8178-035-013	M-2	M-1	8830 DECOSTA AVE	SANTA FE SPRINGS
8178-037-003	M-2	M-1	8724 MILLERGROVE DR	SANTA FE SPRINGS
8178-037-004	M-2	M-1	8834 MILLERGROVE DR	SANTA FE SPRINGS
8178-037-012	M-2	M-1	8825 MILLERGROVE DR	SANTA FE SPRINGS
8178-037-014	M-2	M-1	8721 MILLERGROVE DR	SANTA FE SPRINGS
8178-037-017	M-2	M-1	N/A	N/A
8178-037-019	M-2	M-1	8739 MILLERGROVE DR	SANTA FE SPRINGS
8178-037-020	M-2	M-1	8750 PIONEER BLVD	SANTA FE SPRINGS
8178-037-028	M-2	M-1	8844 MILLERGROVE DR	SANTA FE SPRINGS
8178-037-029	M-2	M-1	N/A	N/A
8178-037-030	M-2	M-1	N/A	N/A
8178-037-802	M-2	M-1	N/A	N/A

City of Santa Fe Springs

ZONING MAP



(DRAFT)



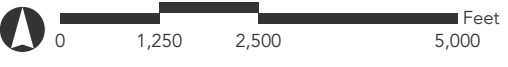
Primary Zones

- A-1: Light Agricultural
- R-1: Single-Family Residential
- R-3: Multiple-Family/Medium Density Residential
- R-4: Multiple-Family/High Density Residential
- C-1: Neighborhood Commercial
- C-4: Community Commercial
- MU: Mixed-Use
- MU-DT: Mixed-Use - Downtown
- MU-TOD: Mixed-Use - Transit-Oriented Development
- ML: Limited Manufacturing, Administration and Research
- M-1: Light Manufacturing
- M-2: Heavy Manufacturing
- PF: Public Use Facilities
- RR: Railroad
- Creek: Channels and Rivers
- BP: Buffer Parking

Overlay Zones

- D: Design Overlay
 - FOZ: Freeway Overlay
 - PD: Planned Development Overlay
 - SP1: Specific Plan Overlay
- Santa Fe Springs City Limits

Source: City of Santa Fe Springs
Revised: July 2023



The City of Santa Fe Springs makes no warranties or guarantees, either expressed or implied, as to the completeness, accuracy, or correctness of this map, nor accepts liability arising from any incorrect, incomplete, or misleading information contained therein. Zoning Designations are subject to periodic changes, which may not be reflected on this map. as such, you are advised to confirm the Zoning designations of any particular parcel prior to proceeding with a land use decision or development project. The City of Santa Fe Springs Planning Department may be contacted at:

City of Santa Fe Springs | Planning Department
11710 Telegraph Road, Santa Fe Springs, CA 90670
Tel: 562-868-0511
Web: <https://www.santafesprings.org>

Attachment C – CEQA Findings of Consistency

California Environmental Quality Act (CEQA)

Finding of Consistency

Project Title:

City of Santa Fe Springs Targeted Zoning Ordinance Update

Project Location – Specific:

City of Santa Fe Springs (citywide)

Project Location – City and County:

City of Santa Fe Springs, County of Los Angeles

Description of Nature, Purpose and Beneficiaries of the Project:

The City of Santa Fe Springs is proposing a Targeted Zoning Ordinance Update to ensure consistency with State Law and to ensure consistency with the Santa Fe Springs 2040 General Plan, adopted on February 8, 2022. The Targeted Zoning Ordinance Update includes development regulations to implement the goals and policies identified in 2040 General Plan, and to meet State housing law and key implementation measures identified in the 2021-2029 Housing Element. The draft Targeted Zoning Ordinance Update project encompasses the following key components:

- Establishment of standards for the three new Mixed-Use Zone Districts (MU, MU-TOD, and MU-DT);
- Establishment of standards for the new Multiple-Family/High Density Residential Zone District (R-4);
- Modification of existing standards for the Multiple-Family/Medium Density Residential Zone District (R-3), allowing for a maximum of 25 dwelling units per acre;
- Incorporation of Objective Development Standards into the newly established zones;
- Assessment and revision of multiple-family parking standards and policies to accurately reflect the parking needs of different types of housing and mixed use development;
- Ensuring compliance with AB 2162 (Supportive Housing Streamlining Act) and AB 101 (Low-Barrier Navigation Centers); and
- Updating the Zoning Map to ensure consistency with the General Plan Land Use Map.

On February 8, 2022, the Santa Fe Springs City Council adopted Resolution No. 9760 which certified the Final Program Environmental Impact Report (Program EIR) for the 2040 General Plan. A Notice of Preparation and Program EIR was prepared in coordination with the 2040 General Plan. The Program EIR analyzed impacts associated with the implementation of the 2040 General Plan that was prepared pursuant to the requirements of CEQA. The Program EIR (State Clearinghouse Number 2021050193) fully describes the project, existing conditions within the City of Santa Fe Springs, analyzes the potential environmental impacts of implementing the project, and identifies mitigation measures to minimize significant impacts to a less than significant level.

The draft Targeted Zoning Ordinance Update project does not expand the proposed uses, increase intensity, or result in a change from the original Program EIR conclusions.

Name of Public Agency Approving the Project:

The Santa Fe Springs City Council

Name of Persons or Agency Carrying Out the Project:

City of Santa Fe Springs

The draft Targeted Zoning Ordinance Update has been evaluated under CEQA to determine whether the project scope, circumstances, or information would trigger the need for any supplemental environmental documentation based on new or substantially more severe significant environmental impacts.

After a thorough factual evaluation, the City of Santa Fe Springs has determined that no further supplemental environmental review is required because:

- (1) The project does not propose substantial changes to the original project as described in the 2040 General Plan Program EIR, which would require major revisions to the previously adopted Program EIR due to the involvement of new or substantially more severe significant impacts;
- (2) The project will not involve substantial changes with respect to the circumstances under which the original project was undertaken, which would require major revisions to the previously-adopted Program EIR due to the involvement of new or substantially more severe significant impacts; and
- (3) No substantially important new information requiring new analysis of significant effects, mitigation, or alternatives is known that would require major revisions to the previously adopted Program EIR due to the project scope.

The draft Targeted Zoning Ordinance Update, including a Zoning Map, implements the intent, policies, and goals of the 2040 General Plan, the impacts associated with the proposed changes are directly in line with within the scope of those analyzed by the Program EIR and are found consistent and conforming to the 2040 General Plan; therefore, the proposed amendments to the Zoning Ordinance and Zoning Map are within the scope of the Program EIR for the 2040 General Plan. Future projects may warrant further analysis of their impacts on the environment which are not found to be consistent with the analysis prepared in the Program EIR.

The City Council of the City of Santa Fe Springs finds that no further environmental documentation is required because all potentially significant effects (a) have been analyzed adequately in the previously adopted Program EIR pursuant to applicable standards, and (b) have been avoided/mitigated pursuant to the previously adopted Program EIR. Therefore, in accordance with CEQA and the CEQA Guidelines (Section 15168(c)), the project elements are within the scope of the previously adopted Program EIR; that EIR continues to be pertinent with considerable information value; and project elements do not give rise to any new or substantially more severe significant effects, nor do they require any new mitigation measures or alternatives. Accordingly, no new environmental document is required.



CITY OF SANTA FE SPRINGS
CITY COUNCIL AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members

FROM: René Bobadilla, P.E., City Manager

BY: Wayne M. Morrell, Director of Planning

SUBJECT: **ADOPT RESOLUTION NO. 9883 AUTHORIZING A JOINT APPLICATION AND PARTICIPATION IN THE HOMEKEY PROGRAM WITH TWC HOUSING LLC.**

DATE: September 5, 2023

RECOMMENDATION(S):

It is recommended that the City Council:

1. Adopt Resolution No. 9883 authorizing joint application and participation in the Homekey program with TWC Housing LLC ("Co-Applicant"); and
2. Authorize Luz Constanza Pachon as the Co-Applicant Chief Executive Officer to execute any and all documents on behalf of Co-Applicant for participation in the Homekey Program; and
3. Take such additional, related action that may be desirable.

FISCAL IMPACT:

Adoption of the proposed resolution, authorizing joint application and participation in the Homekey program with TWC Housing LLC Home is not expected to have any fiscal impact.

BACKGROUND/DISCUSSION:

At the City Council meeting of January 18, 2022, the City adopted Resolution No. 9754: A resolution of the City Council of the City of Santa Fe *Springs Authorizing Joint Application to and Participation in the Homekey Program with TWC Housing LLC for the Lakeland/Laurel Affordable Housing Project*. The State of California through the Department of Housing and Community Development (HCD) has a grant-funding program called Project Homekey. These funds are targeted for projects that provide

services and housing for those experiencing homeless, which is exactly the population TWC serves.

The Homekey program requires a City or County or other public entity to be the applicant, and will allow a non-profit to be a co-applicant. TWC asked the City to sponsor the application with them. TWC would prepare the application and would administer the grant if awarded, so there would be little burden on City staff if the grant is successful. The City is already committed to some oversight of the Project as part of the City-TWC, LLC Grant funding agreement. HCD requires a formal resolution of the City Council approving the Homekey Grant Fund application, and that is the action the City Council took at the January 18, 2022, City Council meeting via Resolution No. 9754.

ENVIRONMENTAL:

There is no potential environmental impacts associated with this action.

ANALYSIS:

When TWC applied for the Homekey grant, they did it under *The Whole Child - Mental Health and Housing Services and The City of Santa Fe Springs*, and were awarded the funds as such. HCD, however, has determined that because the deed of trust was done under *TWC Housing LLC*, and not *The Whole Child - Mental Health and Housing Services*, TWC now need to add *TWC Housing LLC to the award as co-applicant*. This is merely a technicality, but to satisfy HCD, TWC now needs two resolutions: one from The Whole Child - Mental Health & Housing Services and one from the City of Santa Fe Springs authorizing TWC Housing LLC to be named as Co-Applicant in the award. TWC Housing LLC has already executed their resolution with their Board, but now needs a similar resolution from the City. Proposed Resolution No. 9883 would satisfy this requirement.

SUMMARY:

It is recommended that the City Council adopt Resolution No. 9883, authorizing joint application and participation in the Homekey program with TWC Housing LLC; essentially authorizing TWC Housing LLC to be named as Co-Applicant in the award of grant funding.

ATTACHMENT(S):

1. ATTACHMENT A - Resolution No. 9883
2. ATTACHMENT B - Resolution No. 9754 (January 18, 2022)
3. ATTACHMENT C – Staff Report for Resolution 9754

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>

RESOLUTION NO. 9883

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTA FE SPRINGS
AUTHORIZING JOINT APPLICATION AND PARTICIPATION IN THE HOMEKEY
PROGRAM WITH TWC HOUSING LLC**

WHEREAS, the Department of Housing and Community Development ("Department") issued a Notice of Funding Availability ("NOFA"), dated September 9, 2021, for the Homekey Program ("Homekey" or "Program") and the Homekey grant funds, pursuant to Health and Safety Code section 50675.1.3 (Assembly Bill No. 140 (2021-2022 Reg. Sess.), § 20.); and

WHEREAS, TWC Housing LLC ("Co-Applicant") jointly applied for Homekey grant funds with The Whole Child-Mental Health & Housing Services ("Corporation") and the City of Santa Fe Springs ("the City"); therefore, Co-Applicant joined Corporation in the submittal of an application for Homekey funds ("Application") to the Department for review and consideration; and

WHEREAS, the Department is authorized to administer Homekey pursuant to the Multifamily Housing Program (Chapter 6.7 (commencing with Section 50675) of Part 2 of Division 31 of the Health and Safety Code)); and

WHEREAS, Homekey funding allocations are subject to the terms and conditions of the NOFA, the Application, the Department-approved STD 213, Standard Agreement ("Standard Agreement"), and all other legal requirements of the Homekey Program; and

WHEREAS, Co-Applicant as authorized by the City, submitted a joint Application to the Department in response to the NOFA, and jointly applied for Homekey grant funds in a total amount not to exceed \$5,683,408.85; and

WHEREAS, the Application was approved, and Luz Constanza Pachon as the Co-Applicant Chief Executive Officer, entered to, executed, and delivered a Standard Agreement in a total amount not to exceed \$5,683,408.85, any and all other documents required or deemed necessary or appropriate to secure the Homekey funds from the Department and to participate in the Homekey Program, and all amendments thereto (collectively, the "Homekey Documents"); and

WHEREAS, when Co-Applicant applied for and was awarded the grant funds, they did it under *The Whole Child-Mental Health and Housing Services and The City of Santa Fe Springs*; however, the Department has determined that because the deed of trust was done under *TWC Housing LLC*, and not *The Whole Child - Mental Health and Housing Services*, and therefore, TWC now needs to add TWC Housing LLC to the award as a Co-Applicant.

NOW, THEREFORE, the City Council of the City of Santa Fe Springs does hereby resolve as follows:

SECTION 1. The foregoing recitals are true and correct.

SECTION 2. To satisfy the requirements of the Department, TWC Housing LLC is hereby authorized via this Resolution, to be named as Co-Applicant in the award of grant funds.

SECTION 3. Luz Constanza Pachon as the Co-Applicant Chief Executive Officer is hereby authorized to execute any and all documents(s) effectuating such change.

SECTION 4. This resolution shall take effect immediately upon its passage.

APPROVED AND ADOPTED by the City Council of the City of Santa Fe Springs, at a regular meeting held this 5th day of September 2023 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

Juanita Martin, Mayor

ATTEST:

Janet Martinez, CMC, City Clerk

RESOLUTION NO. 9754

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SANTA FE SPRINGS APPROVING AUTHORIZING JOINT APPLICATION TO AND PARTICIPATION IN THE HOMEKEY PROGRAM

WHEREAS:

- A. The Department of Housing and Community Development ("**Department**") has issued a Notice of Funding Availability, dated September 9, 2021 ("**NOFA**"), for the Homekey Program ("**Homekey**" or "**Program**"). The Department has issued the NOFA for Homekey grant funds pursuant to Health and Safety Code section 50675.1.3 (Assem. Bill No. 140 (2021-2022 Reg. Sess.), § 20.).
- B. **The City of Santa Fe Springs ("Co-Applicant")** desires to jointly apply for Homekey grant funds with **THE WHOLE CHILD – MENTAL HEALTH AND HOUSING SERVICES ("Corporation")**. Therefore, Co-Applicant is joining Corporation in the submittal of an application for Homekey funds ("**Application**") to the Department for review and consideration.
- C. The Department is authorized to administer Homekey pursuant to the Multifamily Housing Program (Chapter 6.7 (commencing with Section 50675) of Part 2 of Division 31 of the Health and Safety Code). Homekey funding allocations are subject to the terms and conditions of the NOFA, the Application, the Department-approved STD 213, Standard Agreement ("**Standard Agreement**"), and all other legal requirements of the Homekey Program.

THEREFORE, IT IS RESOLVED THAT:

- 1. Co-Applicant is hereby authorized and directed to submit a joint Application to the Department in response to the NOFA, and to jointly apply for Homekey grant funds in a total amount not to exceed **\$6,000,000**.
- 2. If the Application is approved, Co-Applicant is hereby authorized and directed to enter into, execute, and deliver a Standard Agreement in a total amount not to exceed **\$6,000,000**, any and all other documents required or deemed necessary or appropriate to secure the Homekey funds from the Department and to participate in the Homekey Program, and all amendments thereto (collectively, the "**Homekey Documents**").
- 3. Co-Applicant acknowledges and agrees that it shall be subject to the terms and conditions specified in the Standard Agreement, and that the NOFA and Application will be incorporated in the Standard Agreement by reference and made a part thereof. Any and all

activities, expenditures, information, and timelines represented in the Application are enforceable through the Standard Agreement. Funds are to be used for the allowable expenditures and activities identified in the Standard Agreement.

4. **Raymond R. Cruz, City Manager**, or his or her designee, is authorized to execute the Application and the Homekey Documents on behalf of Co-Applicant for participation in the Homekey Program.

APPROVED and ADOPTED this 18th day of January, 2022 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

Annette Rodriguez, Mayor

Janet Martinez, CMC, City Clerk



City of Santa Fe Springs

City Council Meeting

January 18, 2022

CONSENT AGENDA

Resolution Authorizing Joint Application to and Participating in the Homekey Program with TWC Housing LLC for the Lakeland/Laurel Affordable Housing Project

RECOMMENDATION

- Adopt Resolution No. 9754 – A Resolution of the City Council of the City of Santa Fe Springs Authorizing Joint Application To and Participation in the Homekey Program and Authorize the City Manager to execute the application and all program documents related to the co-application with TWC Housing LLC for the Lakeland/Laurel Affordable Housing Project.

BACKGROUND

The Housing Successor is the owner of four parcels of land located at the northeast and northwest corner of Laurel Avenue and Lakeland Road, in the City of Santa Fe Springs. The City has entered into Purchase and Sale Agreements for this land as well as Grant Agreements and a Loan Agreement for gap funding of project development costs. The Whole Child (TWC, LLC) has analyzed their project budget in relation to current increased cost of construction and has a short fall in funding. The State of California through the Department of Housing and Community Development (HCD) has a grant funding program called Project HomeKey. These funds are targeted for projects that provide services and housing for those experiencing homelessness, which is exactly the population the TWC portion of the project is intended to serve.

DISCUSSION

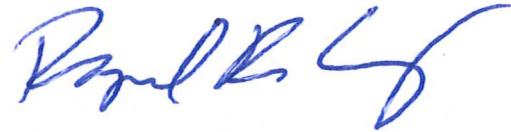
The HomeKey program requires a City or County or other public entity to be the applicant, and will allow a non-profit to be a co-applicant. TWC is asking the City to sponsor this application with them. TWC staff will prepare the application and will administer the grant if awarded, so there will be little burden on City staff if the grant is successful. The City already is committed to some oversight of the Project as part of the City – TWC, LLC Grant funding agreement. HCD requires a formal resolution of the City Council approving the HomeKey Grand Fund application, and that is the action requested of the City Council. Staff recommends approval.

FISCAL IMPACT

Affordable housing projects, especially those serving the needs of very low and extremely low income require significant financial assistance to be successfully constructed and operated. By applying for this grant with The Whole Child as co-applicant, it will provide an opportunity for the project to proceed and close the funding gap to cover escalating construction costs if the project is successful in getting an award of funds.

LEGAL REVIEW

The City Attorney's office has reviewed the standard form resolution approving a joint application provided by, and required by, HCD and approves as to form.



Raymond R. Cruz
City Manager

Attachments:

1. Resolution No. 9754



CITY OF SANTA FE SPRINGS

CITY COUNCIL AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members

FROM: René Bobadilla, P.E., City Manager

BY: Yvette Kirrin, Interim Director of Public Works

SUBJECT: CITYWIDE STREET SWEEPING AGREEMENT – FIRST AMENDMENT

DATE: September 5, 2023

RECOMMENDATION:

It is recommended that the City Council:

- 1) Approve Citywide Street Sweeping Agreement – First Amendment, and
- 2) Authorize the Mayor to enter into Citywide Street Sweeping Agreement – First Amendment with Nationwide Environmental Services (NES).

FISCAL IMPACT

The Public Works Operations and Maintenance Budget includes the cost of the annual Citywide Street and Parking Lot Sweeping Contract. First amendment includes a monthly cost of \$21,744.92, which equates to \$260,939.04 effective beginning August 1, 2023. An additional increase of \$3,750 per month will begin on July 1, 2024, along with an agreed upon COLA annual increase based on the February CPI that begins July 1, 2024 and will continue annually for the length of the agreement. The last increase of \$3,750 per month will begin on July 1, 2025.

BACKGROUND

Nationwide Environmental Services (NES) has provided street sweeping services to the City of Santa Fe Springs since 2014. From a historical perspective, the contract was last bid in June 2012. The bids were all rejected and All American Street Sweeping continued performing street sweeping services until January 19, 2014, when All American Street Sweeping was unable to provide street sweeping services. On January 20, 2014, the City entered into a contract with NES to perform Citywide Street Sweeping Services for a monthly amount of \$10,600 (\$127,200 annually). At the April 13, 2017 Council Meeting,

Citywide Street Sweeping Agreement – First Amendment

Page 2 of 2

NES was awarded a 3 year contract with 2 one-year extensions for a monthly amount of \$12,084 (\$145,008 annually). At the April 23, 2020 Council Meeting, NES was awarded a five year contract for a monthly amount of \$12,494 (\$149,938 annually). The current contract is set to expire June 30, 2025. Under the current agreement NES automatically receives an increase on a yearly basis based on the February LA County CPI.

ANALYSIS

Citywide Street Sweeping is an essential function to maintain health and cleanliness for residents, businesses and visitors alike.

ENVIRONMENTAL

The contract with NES ensures that the City's streets and parking lots are kept clean, and the safety and welfare of the City's residents and businesses are maintained.

DISCUSSION

N/A

SUMMARY/NEXT STEPS

After the Citywide Street Sweeping Agreement has been approved, NES will continue to provide uninterrupted services to the City of Santa Fe Springs for the next seven years.

ATTACHMENT:

A. Attachment A – First Amendment

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>

**FIRST AMENDMENT TO
CITY OF SANTA FE SPRINGS
CITYWIDE STREET AND PARKING LOT SWEEPING SERVICES AGREEMENT
WITH
NATIONWIDE ENVIRONMENTAL SERVICES**

This First Amendment ("First Amendment") to that certain Citywide Street and Parking Lot Sweeping Services between the City of Santa Fe Springs, a California municipal corporation ("City") and Nationwide Environmental Services, a division of Joe's Sweeping, Inc., a California corporation ("Contractor") is entered into and effective as of the 1st of August 2023 ("Effective Date"). The City and the Contractor are sometimes hereinafter referred to jointly as "Parties" and each as a "Party".

RECITALS

- A. The Parties entered into the agreement for street sweeping services for the City of Santa Fe Springs on July 1, 2020, which was effective July 1, 2020, for the purpose of retaining the services of Contractor to provide street sweeping services to the City (hereinafter "Master Agreement").
- B. On or about September 5, 2023, the City Council approved to amend the Master Agreement pursuant to the terms of this First Amendment as set forth herein.
- C. The Master Agreement and the First Amendment are collectively referred to as the "Agreement."
- D. The First Amendment is authorized pursuant to Section 21 of the Master Agreement.
- E. The Parties wish to make certain amendments to the Master Agreement as set forth in this First Amendment that include, among other things, extending the Term, increasing the Monthly Contract Sum, CPI increases, updating hourly wage rates, adding a fuel provision, and tipping fee, and otherwise updating provisions of the Master Agreement as set forth in this First Amendment.

NOW, THEREFORE, in the consideration of the mutual covenants and conditions set forth herein, the Parties desire to amend the Master Agreement as set forth in this First Amendment as follows:

1.0 AMENDMENTS TO AGREEMENT.

1.1 SECTION 1. TERM is hereby amended to read in its entirety as follows:

The term of this Agreement, as Amended by this First Amendment, shall be for a period of seven (7) years commencing on the 1st day of July 2023, and shall remain in effect for a period of seven (7) years, expiring on June 30, 2030 ("Term").

The Term of the Agreement shall be automatically extended for a period of seven (7) years beginning July 1, 2030 ("Extended Term"), in the event the City fails to provide written notice to the Contractor on or before January 1, 2030, of the City's intent not to extend the Term and its intent to terminate the Agreement at the close of business on June 30, 2030. At any time beginning July 1, 2029, through December 31, 2029, the City may also extend the Term of the Agreement by providing written notice to the Contractor of the City's intent to exercise its right to the Extended Term.. The Extended Term of this Agreement shall be on the same terms and conditions as set forth in the Master Agreement, as amended by this First Amendment and any subsequent amendments between the City and the Contractor during the Term.

1.2 SECTION 5. PAYMENT Section A is hereby amended to read in its entirety as follows:

5. PAYMENT.

A. (1) Effective August 1, 2023, the City agrees to pay Contractor for Services satisfactorily performed the monthly amount of \$21,744.92 ("Monthly Contract Sum"). Effective July 1, 2024, City agrees to increase the Monthly Contract Sum by \$3,750.00 plus increases in the Annual Consumer Price Index ("CPI") as set forth in Section 5 A(2); and on July 1, 2025, City agrees to further increase the Monthly Contract Sum by an additional \$3,750.00 monthly plus increases in the CPI as set forth in Section 5 A(2) . Every year thereafter during the Term of this Agreement, including any Extended Term, the Monthly Contract Sum will increase annually by the amount of the increase in CPI as stated below.

(2) Beginning on July 1, 2024, and on each July 1 thereafter during the term of this Agreement, including any Extended Term, the Monthly Contract Sum provided in this Section shall be automatically adjusted, in an amount equal to the greater of the increase in the Consumer Price Index ("CPI"), plus any other increases provided for in Section 5 A(1) of this Agreement, or three percent (3%), whichever is greater. For avoidance of doubt, in the event the CPI increase in any period is less than three percent (3%), Contractor shall be entitled to a minimum 3% increase or a CPI increase whichever is greater (plus any other increases provided for in Section 5 A(1) of this Agreement, if any). The parties agree that the CPI adjustment shall be calculated by using the February Consumer Price Index, for the services provided pursuant to this Agreement for Los Angeles, Riverside, and Orange Counties Metropolitan areas, published by the United States Department of Labor, Bureau of Labor Statistics.

1.3 SECTION 5. PAYMENT is hereby further amended to add the following Section D Fuel Price Adjustment as follows:

5. PAYMENT.

D. Fuel Price Adjustment

Contractor, in providing street sweeping services to City, agrees to utilize compressed natural gas ("CNG") fueled street sweeping vehicles. It is agreed by the parties that a portion of the monthly cost to be paid by City to Contractor for services rendered include the monthly cost of CNG fuel. City and Contractor agree that Contractor is entitled to be reimbursed for the total monthly CNG cost actually incurred by Contractor for providing street sweeping services pursuant to this Agreement in addition to the Monthly Contract Sum.

Should CNG fuel prices increase above \$5.95 ("Base Fuel Price") per gallon in any single month, Contractor's Monthly Contract Sum shall be adjusted monthly to include an amount equal to such increase above the Base Fuel Price amount of the actual average CNG fuel costs per gallon paid by Contractor multiplied by the average Monthly Gallon Amount of 1,077.0 ("Monthly Gallon Amount") gallons.

For the purposes of this section, Contractor shall provide to the City monthly proof of the average price of CNG fuel at Clean Energy stations within the Los Angeles Basin or other similar alternate CNG fuel provider as selected by Contractor.

1.4 SECTION 5. PAYMENT is hereby further amended to add the following Section E Tipping Fee Adjustment as follows:

5. PAYMENT.

E. Tipping Fee Adjustment.

During the Term (including any Extended Term) of this Agreement, should the tipping fees paid by Contractor increase at the Puente Hills Landfill or any other comparable Landfill/MRF from the tipping fee per ton of \$81.73 ("Tipping Fee"), Contractor shall notify City of such increased fees, and the Monthly Contract Sum due to Contractor shall be increased as follows:

Step #1: $(79 \text{ (average monthly tonnage) tons of street sweeping material deposited per month}) \times (\text{Increase in tipping cost per ton}) = \text{Tipping Fee Adjustment}$

Step #2: Add the Tipping Fee Adjustment calculated in step #1 to the Monthly Contract Sum to obtain the new total Monthly Contract Sum including Tipping Fee Adjustment due to Contractor. The Monthly Contract Sum as adjusted for the Tipping Fee Adjustment shall continue to be the Monthly Contract Sum until it is further adjusted as provided for in this Agreement.

For example, should the price of the tipping fees paid by Contractor increase to \$100.00 per ton, Contractor would increase the Monthly Contract Sum as follows: \$18.27 (increase per ton) x 79 (average monthly tonnage) = \$1,443.33 increase per month in the Monthly Contract Sum.

1.5 SECTION 6. SUSPENSION OR TERMINATION OF AGREEMENT WITHOUT CAUSE Section A is hereby amended to read as follows:

6. SUSPENSION OR TERMINATION OF AGREEMENT.

A. The City Council may at any time, for any reason, without cause, suspend or terminate this Agreement, or any portion hereof, by serving upon Contractor at least six months' prior written notice. Upon receipt of said notice, Contractor shall immediately cease all Services under this Agreement, unless the notice provides otherwise. If the City Council suspends or terminates a portion of this Agreement, such suspension or termination shall not make void or invalidate the remainder of this Agreement.

1.6 SECTION 17. ASSIGNMENT is here by amended to read in its entirety to read as follows:

17. ASSIGNMENT.

The experience, knowledge, capability, and reputation of Contractor, its principals, and employees, were a substantial inducement for the City to enter into this Agreement and First Amendment. Therefore, Contractor shall not contract with any other entity or subcontractor to perform in whole or in part the services required hereunder without the express written approval of the City Council. In addition, neither this Agreement nor any interest herein may be assigned or transferred, voluntarily or by operation of law, without the written approval of the City Council, which shall not be unreasonably withheld. Any attempt by the Contractor to assign or transfer this Agreement or any interest herein without the City Council's prior written approval shall be void and of no effect. For the purposes hereof, an assignment shall be deemed to include a change in any person or entity that is controlling shareholder of Contractor, or any merger or dissolution of Contractor. Notwithstanding the above, Contractor may assign or transfer its controlling shareholder interest to a person who is a member of the Samuelian Family by birth or marriage, or to trust for the benefit of a person who is a member of the Samuelian family by birth or marriage, without the prior approval of the City Council.

1.7 EXBHIIT A SCOPE OF SERVICES, SECTIONS J. AND K. are hereby amended in their entirety to read as follows:

EXHIBIT A – SCOPE OF SERVICES.

J. Extra Sweeping – Emergency: There shall be a two-hour maximum response time for emergency sweeping after requested by the Contract Administrator. Emergency sweeping shall be paid at a rate of \$175.00 per hour for actual time spent in the city performing the emergency work. This hourly rate is subject to annual CPI increases as set forth in the Agreement, as amended by this First Amendment.

K. Extra Sweeping – Non-Emergency: Non-emergency sweeping shall take place no later than the same or next business day after requested by the Contract Administrator. Non-emergency sweeping shall be paid at a rate of \$150.00 per hour for actual time spent in the City performing non-emergency work. This hourly rate is subject to annual CPI increases as set forth in the Agreement, as amended by this First Amendment.

1.8 SECTION 28. FORCE MAJEURE is added to the Agreement as follows:**28. FORCE MAJEURE.**

The time period specified for performance of the services rendered under this Agreement, and other time periods set forth in this Amendment, as amended, shall be extended because of any delays due to unforeseeable causes beyond the control and without the fault or negligence of the Contractor, including, but not restricted to, act of God or any public enemy, acts of Government, fires, earthquakes, floods, epidemics, pandemics, quarantine restrictions, riots, strikes, freight embargoes, acts of any governmental agency, terrorist acts, and unusual severe weather if the Contractor shall, within fourteen (14) days of the commencement of such delay, notify the Contract Officer in writing of the causes of the delay.

1.9 SECTION 29. AFFIRMATION OF AGREEMENT, is added to the Agreement, to read in its entirety as follows:

City and Contractor each ratify and reaffirm each and every one of the respective rights and obligations arising under the Agreement, except as expressly amended by this First Amendment. Each party represents and warrants to the other that there have been no written or oral modifications to the Agreement other than as provided in this First Amendment. Each party represents and warrants to the other that the Agreement is currently effective, constituting valid and binding obligations, except as expressly amended by this First Amendment. Except as expressly amended herein, all of the terms and conditions of the Master Agreement, as amended by this First Amendment, shall remain in full force and effect and are ratified by each Party. The First Amendment and the Master Agreement contain the entire Agreement of the Parties with respect to the subject matter hereof, and

supersedes all prior negotiations, understandings, or agreements. The Parties agree that if any provisions of this First Amendment conflict with the Master Agreement, then the provisions of this First Amendment shall prevail.

If any portion of this First Amendment is declared invalid, illegal, or otherwise unenforceable by a court of competent jurisdiction, the remaining provisions shall continue in full force and effect.

Contractor represents and warrants to City that, as of the date of this First Amendment, City is not in default of any material term of the Agreement and that there have been no events that, with the passing of time of the giving of notice, or both, would constitute a material default under the Agreement.

City represents and warrants to Contractor that, as of the date of this First Amendment, Contractor is not in default of any material term of the Agreement and that there have been no events that, with the passing of time of the giving of notice, or both, would constitute a material default under the Agreement.

2. AUTHORITY TO EXECUTE THIS AGREEMENT

The persons executing this First Amendment on behalf of the parties warrants and represents that they have the authority to execute this First Amendment on behalf of said parties and has the authority to bind the parties to the provisions of this First Amendment.

IN WITNESS WHEREOF, the parties hereto have caused this First Amendment to be executed the day and year first above written.

CITY OF SANTA FE SPRINGS

Juanita Martin, Mayor

CONTRACTOR

DocuSigned by:

ani samuelian

Ani Samuelian, President

ATTEST:

Janet Martinez, City Clerk

APPROVED AS TO FORM:

Ivy M. Tsai, City Attorney



CITY OF SANTA FE SPRINGS
CITY COUNCIL AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members

FROM: René Bobadilla, P.E., City Manager

BY: Yvette Kirrin, Interim Director of Public Works

SUBJECT: LITTLE LAKE PARK PARKING LOT IMPROVEMENTS – AWARD OF CONTRACT

DATE: September 5, 2023

RECOMMENDATION:

It is recommended that the City Council:

- 1) Appropriate an additional \$154,000 from the Utility Users Tax (UUT) Capital Improvements Fund to the Little Lake Park Parking Lot Improvements (PW 200101);
- 2) Accept the bids; and
- 3) Award a contract to L.M.T. Enterprises Inc. dba Tyner Paving Co. of Alhambra, California in the amount of \$848,147.90.

FISCAL IMPACT

District Member Ian Calderon of the 57th Assembly District pledged financial assistance in the amount of \$2,520,000 to the City for improvements to existing City parks. On January 23, 2020, the City approved the California Natural Resources Agency to process the collection of grant funding related to the various park improvement projects. Per the grant funding distributions, \$935,000 is allotted to the rehabilitation of the Little Lake Park parking lots.

The Little Lake Park Parking Lot Improvements Project will require an additional appropriation in the amount of \$154,000 from the Utility Users Tax (UUT) Capital Improvement Fund to the Little Lake Park Parking Lot Improvements Project account number (PW200101). Upon the project's completion, the approved California Natural Resources Agency grant Fund will reimburse the City in the amount of \$91,040 for the

CITY COUNCIL AGENDA REPORT – MEETING OF SEPTEMBER 5, 2023

Little Lake Park Parking Lot Improvements – Award of Contract

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design, \$848,147.90 for the construction and \$86,852.10 for the construction contingency. The City's appropriation for the project will cover soft costs, which are not eligible for grant reimbursement, and any additional contingency that exceeds the total grant allotment of \$935,000.

The total estimated project costs are as follows:

Item	Budget
Construction	\$ 848,147.90
Design	\$ 91,040.00
Engineering	\$ 60,000.00
Inspection	\$ 55,000.00
Contingency	\$ 125,000.00
Total Project Cost	\$ 1,179,187.90

Project Funding Sources	Amount
Grant Revenue (Construction)	\$ (848,147.90)
Grant Revenue (Contingency)	\$ (86,852.10)
Grant Revenue (Design)	\$ (91,040.00)
Anticipated Expenditures	\$ 1,179,187.90
Budget Shortfall	\$ (153,147.90)
	\$ (154,000.00)

BACKGROUND

The Little Lake Park Parking Lot Improvements project is located along Pioneer Blvd and Lakeland Road. The project consisted of revitalizing both existing parking lots on the northwest side and southeast side of the park. The scope of work included reconstruction of the existing asphalt pavement, new concrete curbs, sidewalk paths, storm water chambers, bio swales, new landscaping, new LED lighting and the creation of additional parking stalls. The existing park parking lots has 214 regular parking stalls and 9 ADA parking stalls. The proposed improvements would create an additional 30 regular parking stalls, 2 parking stalls for ambulances and 1 ADA compliant parking stall.

On August 16, 2022, the Little Lake Park Parking Lot Improvements project was taken to the City Council for approval for the Award of Contract in the amount of \$1,566,619. Upon discussion with the City Council, the project was deemed too expensive. City Council requested staff to engage in a conversation with the City of Norwalk for a funding contribution. The City of Norwalk declined to participate in funding the project.

At the October 4, 2022 City Council meeting, City Council directed staff to reject all of the bids that were submitted on June 29, 2022, revise the scope of work to stay within the original construction grant amount and re-bid the project.

CITY COUNCIL AGENDA REPORT – MEETING OF SEPTEMBER 5, 2023

Little Lake Park Parking Lot Improvements – Award of Contract

Page 3 of 4

The current project reflects the requested revised scope of work. The scope of work includes pavement rehabilitation within the existing parking lots foot print, drainage improvements, minor curb and sidewalk reconstruction. The proposed improvements will continue to create an additional 29 regular parking stalls, 2 parking stalls for ambulances and 3 ADA compliant parking.

ANALYSIS

Bids were opened on August 2, 2023, and a total of five bids were received. City Staff reviewed the proposals and determined that all bid proposals comply with the project specifications. The low bidder for the project was L.M.T. Enterprises, Inc. dba Tyner Paving Co. of Alhambra, with a bid totaling \$848,147.90. The bid proposal for the following bidders reflects the bid amounts.

Company Name	Publicly Read Bid Amount	Audited Bid
1. LMT Enterprises, In., dba Tyner Paving Co.	\$848,147.90	\$848,147.90
2. Sol Construction, Inc.	\$872,123.00	\$872,648.00 *
3. Deark E&C, Inc.	\$1,188,550.00	\$1,188,550.00
4. All American Asphalt	\$1,256,790.00	\$1,256,790.00
5. Pub Construction, Inc.	\$3,811,848.40	\$4,128,529.70 *

*Mathematical computation summation errors.

The bid proposal submitted by L.M.T. Enterprises, Inc. dba Tyner Paving Co. in the amount of \$848,147.90, is approximately 10% below the Engineer's Estimate of \$950,000.

The Department of Public Works has reviewed the bids and determined the low bid submitted by L.M.T. Enterprises Inc. dba Tyner Paving Co. to be responsive and responsible.

The City Attorney's office has reviewed the contract.

ENVIRONMENTAL

N/A

DISCUSSION

N/A

CITY COUNCIL AGENDA REPORT – MEETING OF SEPTEMBER 5, 2023

Little Lake Park Parking Lot Improvements – Award of Contract

Page 4 of 4

SUMMARY/NEXT STEPS

The Little Lake Park Parking Lot Improvements project will improve the condition of the existing parking lot pavement, enhance traffic circulation, and provide additional parking stalls. The rehabilitated pavement will reduce maintenance costs for the City.

Upon the approval of the City Council of the recommended action, City staff will coordinate with the Project Contractor on the delivery of the project. The recommended actions will also direct City staff to appropriate an additional \$154,000 from the Utility Users Tax (UUT) Capital Improvements Fund to the Little Lake Park Parking Lot Improvements account (PW 200101).

ATTACHMENT(S):

A. Attachment A – Contract Agreement

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>

CITY OF SANTA FE SPRINGS
CONTRACT AGREEMENT
FOR
LITTLE LAKE PARK
PARKING LOT IMPROVEMENTS

IN THE CITY OF SANTA FE SPRINGS

This Contract Agreement is made and entered into the above-stated project this 5th day of September, 2023, BY AND BETWEEN the City of Santa Fe Springs, as AGENCY, and Tyner Paving Company, as CONTRACTOR in the amount of \$848,147.90.

WITNESSETH that AGENCY and CONTRACTOR have mutually agreed as follows:

ARTICLE I

The contract documents for the aforesaid project shall consist of the Notice Inviting Sealed Bids, Instructions to Bidders, Proposal, General Specifications, Standard Specifications, Special Provisions, Plans, and all referenced specifications, details, standard drawings, CDBG contract provisions and forms, and appendices; together with this Contract Agreement and all required bonds, insurance certificates, permits, notices, and affidavits; and also including any and all addenda or supplemental agreements clarifying, or extending the work contemplated as may be required to ensure its completion in an acceptable manner. All of the provisions of said contract documents are made a part hereof as though fully set forth herein.

ARTICLE II

For and in consideration of the payments and agreements to be made and performed by AGENCY, CONTRACTOR agrees to furnish all materials and perform all work required for the above-stated project, and to fulfill all other obligations as set forth in the aforesaid contract documents.

ARTICLE III

CONTRACTOR agrees to receive and accept the prices set forth in the Proposal as full compensation for furnishing all materials, performing all work, and fulfilling all obligations hereunder. Said compensation shall cover all expenses, losses, damages, and consequences arising out of the nature of the work during its progress or prior to its acceptance including those for well and faithfully completing the work and the whole thereof in the manner and time specified in the aforesaid contract documents; and also including those arising from actions of the elements, unforeseen difficulties or obstructions encountered in the prosecution of the work, suspension or discontinuance of the work, and all other unknowns or risks of any description connected with the work.

ARTICLE IV

AGENCY hereby promises and agrees to employ, and does hereby employ, CONTRACTOR to provide the materials, do the work and fulfill the obligations according to the terms and conditions herein contained and referred to, for the prices aforesaid, and hereby contracts to pay the same at the time, in the manner, and upon the conditions set forth in the contract documents. No work or portion of the work shall be paid for until it is approved for payment by the City Engineer. Payment made for completed portions of the work shall not constitute final acceptance of those portions or of the completed project.

ARTICLE V

CONTRACTOR acknowledges the provisions of the State Labor Code requiring every employer to be insured against liability for Worker's Compensation or to undertake self-insurance in accordance with the provisions of that code and certifies compliance with such provisions. Contractor further acknowledges the provisions of the State Labor Code requiring every employer to pay at least the minimum prevailing rate of per diem wages for each craft classification or type of workman needed to execute this contract as determined by the Director of Labor Relations of the State of California. The Contractor is required to pay the higher of either the State or Federal Wages.

ARTICLE VI

Except as to the sole or active negligence or willful misconduct of the AGENCY and notwithstanding the existence of insurance coverage required of CONTRACTOR pursuant to this contract, CONTRACTOR shall save, keep defend, indemnify, hold free and harmless AGENCY, its officers, officials, employees, agents and volunteers from and against any and all damages to property or injuries to or death of any person or persons, and shall defend, indemnify, save and hold harmless AGENCY, its officers, officials, employees, agents and volunteers from any and all claims, demands, suits, actions or proceedings of any kind or nature, including, but not by way of limitation, all civil claims, workers' compensation claims, and all other claims resulting from or

arising out of the acts, errors or omissions of CONTRACTOR, its employees and/or authorized subcontractors, whether intentional or negligent, in the performance of this Agreement.

This indemnification provision is independent of and shall not in any way be limited by the Insurance Requirements of this Agreement. AGENCY approval of the Insurance contracts required by this Agreement does not in any way relieve the CONTRACTOR from liability under this section.

AGENCY shall notify CONTRACTOR of the receipt of any third party claim related to this Agreement within seven (7) business days of receipt. The City is entitled to recover its reasonable costs incurred in providing the notification. (Pubic Contracts Code Section 9201)

ARTICLE VII

AGENCY shall comply with Pub Cont. Code §20104.50 as follows:

20104.50.

(a) (1) It is the intent of the Legislature in enacting this section to require all local governments to pay their contractors on time so that these contractors can meet their own obligations. In requiring prompt payment by all local governments, the Legislature hereby finds and declares that the prompt payment of outstanding receipts is not merely a municipal affair, but is, instead, a matter of statewide concern.

(2) It is the intent of the Legislature in enacting this article to fully occupy the field of public policy relating to the prompt payment of local governments' outstanding receipts. The Legislature finds and declares that all government officials, including those in local government, must set a standard of prompt payment that any business in the private sector which may contract for services should look towards for guidance.

(b) Any local agency which fails to make any progress payment within 30 days after receipt of an undisputed and properly submitted payment request from a contractor on a construction contract shall pay interest to the contractor equivalent to the legal rate set forth in subdivision (a) of Section 685.010 of the Code of Civil Procedure.

(c) Upon receipt of a payment request, each local agency shall act in accordance with both of the following:

(1) Each payment request shall be reviewed by the local agency as soon as practicable after receipt for the purpose of determining that the payment request is a proper payment request.

(2) Any payment request determined not to be a proper payment request suitable for payment shall be returned to the contractor as soon as practicable, but not later than seven days, after receipt. A request returned pursuant to this paragraph shall be accompanied by a document setting forth in writing the reasons why the payment request is not proper.

(d) The number of days available to a local agency to make a payment without incurring interest pursuant to this section shall be reduced by the number of days by which a local agency exceeds the seven-day return requirement set forth in paragraph (2) of subdivision (c).

(e) For purposes of this article:

(1) A “local agency” includes, but is not limited to, a city, including a charter city, a county, and a city and county, and is any public entity subject to this part.

(2) A “progress payment” includes all payments due contractors, except that portion of the final payment designated by the contract as retention earnings.

(3) A payment request shall be considered properly executed if funds are available for payment of the payment request, and payment is not delayed due to an audit inquiry by the financial officer of the local agency.

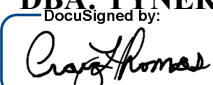
(f) Each local agency shall require that this article, or a summary thereof, be set forth in the terms of any contract subject to this article.

ARTICLE VIII

CONTRACTOR affirms that the signatures, titles and seals set forth hereinafter in execution of this Contract Agreement represent all individuals, firm members, partners, joint venturers, and/or corporate officers having principal interest herein.

IN WITNESS WHEREOF, the parties hereto for themselves, their heirs, executors, administrators, successors, and assigns do hereby agree to the full performance of the covenants herein contained and have caused this Contract Agreement to be executed in triplicate by setting hereunto their name, titles, hands, and seals as of the date noted above.

CONTRACTOR
LMT ENTERPRISES, INC.
DBA: TYNER PAVING COMPANY

By:  DocuSigned by:
7297357C913B45B
CRAIG L. THOMAS, PRESIDENT
919 s. Fremont Ave. #368

ADDRESS
Alhambra, Ca. 91803

THE CITY OF SANTA FE SPRINGS

By: _____
JUANITA MARTIN, MAYOR

ATTEST:

JANET MARTINEZ, CITY CLERK

APPROVED AS TO FORM:

IVY M. TSAI, CITY ATTORNEY



CITY OF SANTA FE SPRINGS

CITY COUNCIL AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members

FROM: René Bobadilla, P.E., City Manager

BY: Dino Torres, Director of Police Service

SUBJECT: PUBLIC HEARING FOR THE APPROVAL OF ALCOHOL SALES
CONDITIONAL USE PERMIT CASE NO. 85 AND ADOPTION OF
RESOLUTION NO. 9882 – AN ALCOHOL SALES CONDITIONAL USE
PERMIT REQUEST TO ALLOW THE OPERATION AND MAINTENANCE
OF THE STORAGE AND DISTRIBUTION OF AN ALCOHOLIC
BEVERAGE USE

DATE: September 5, 2023

RECOMMENDATION(S):

It is recommended that the City Council:

- 1) Open the Public Hearing and receive the written and oral report and any comments from the public regarding Alcohol Sales Conditional Use Permit (ASCUP) Case No. 85, and thereafter, close the Public Hearing; and
- 2) Find that the applicant's ASCUP request meets the criteria set forth in §§155.628 and 155.716 of the City's Zoning Ordinance, for the granting of a Conditional Use Permit; and
- 3) Approve Alcohol Sales Conditional Use Permit Case No. 85, subject to the conditions of approval as contained within Resolution No. 9882; and
- 4) Adopt Resolution No. 9882, which incorporates the City Council's findings and actions regarding this matter.

BACKGROUND/DISCUSSION

The Applicant, Bay Cities Packaging & Design occupies the 6.46-acre property located at 9206 Santa Fe Springs Road within the Heavy Manufacturing (M-2) Zone under a lease agreement with the property owner Oltmans Investment Company.

Alcohol Sales Conditional Use Permit Case No. 85

Page 2 of 20

Bay Cities Packaging & Design is a leading designer and manufacturer of corrugated packaging and store displays for several retail products which includes cosmetics, tools, electronics, food, and special promotional products. In addition to the listed products, Bay Cities Packaging & Design is proposing to package various types of alcoholic beverages at their Santa Fe Springs site. Considering that the new proposed activities will involve on-site storage of alcoholic beverages, the Applicant is required to comply with Ordinance No. 834, Section 155.628 pertaining to alcoholic beverage land uses.

On August 14, 2023, the Planning Commission conducted a public hearing to review and consider ASCUP Case No. 85. After evaluating the written report (Attachment C) and Staff's oral report, the Planning Commission unanimously adopted Resolution No. 244-2023 (Attachment D) which contains a recommendation to the City Council to approve ASCUP Case No. 85 subject to the conditions contained in Resolution No. 9882 (Attachment E).

ENVIRONMENTAL

The Planning Commission has confirmed that this request is a categorically-exempt project pursuant to Section 15301 (Class 1, Existing Facilities) of the California Environmental Quality Act (CEQA); consequently, no other environmental documents are required by law. Additionally, the project site is not listed on the Hazardous Waste and Substance Site List (also known as the Cortese List) and is therefore not subject to the requirements set forth in Government Code Section 65962.5.

LEGAL NOTICE OF PUBLIC HEARING

Legal notice of the Public Hearing for the proposed Alcohol Sales Conditional Use Permit was sent by first class mail to all property owners whose names and addresses appear on the latest County Assessor's Roll within 500 feet of the exterior boundaries of the subject property. The legal notice was also posted in Santa Fe Springs City Hall, the City Library and Town Center on August 22, 2023, as required by the State Zoning and Development Laws and by the City's Zoning Regulations. A Notice was also published in the Whittier Daily Newspaper (Attachment A) on August 22, 2023. Staff will report any inquiries received for this matter at the time of the Council's meeting

SUMMARY/NEXT STEPS

Staff finds that the proposed alcohol beverage activities, if approved, will not be detrimental to persons or property in the immediate vicinity and will not adversely affect the City in general. Moreover, the proposed use is consistent with the warehouse and office activities already present in the general area. Staff believes that the business activities along with the alcohol storage activities will have minimal to no impacts to the general area if the business operates in compliance with the City's Municipal Codes, Conditions of Approval, and with the Regulations imposed by the California Department of Alcoholic Beverage Control (ABC).

Alcohol Sales Conditional Use Permit Case No. 85

Page 3 of 20

ATTACHMENT(S):

- A. Attachment A – Notice of Public Hearing
- B. Attachment B – Location Aerial
- C. Attachment C - Planning Staff Report with Zoning Ordinance Requirements
- D. Attachment D – Approved Planning Resolution No. 244-2023
- E. Attachment E – Resolution No. 9882-2023 with Conditions of Approval

ITEM STATUS:

APPROVED: ☐

DENIED: ☐

TABLED: ☐

DIRECTION GIVEN: ☐

Attachment A

Whittier Daily News

Local. News. Matters.
whittierdailynews.com

Whittier Daily News
181 W. Huntington Drive Suite#209
Monrovia, California 91016
(626) 544-0885

**FILE NO. 0011619446
PROOF OF PUBLICATION
(2015.5 C.C.P.)**


**STATE OF CALIFORNIA
County of Los Angeles County**

I am a citizen of the United States and a resident of the county aforesaid; I am over the age of eighteen years, and not party to or interested in the above-entitled matter. I am the principal clerk of the printer of WHITTIER DAILY NEWS, a newspaper of general circulation for the City of Whittier, by the Superior Court of the County of Los Angeles County, State of California, on the date of October 10, 1960, Case Number 369393. The notice, of which the annexed is a true printed copy, has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to wit:

08/22/2023

I declare under the penalty of perjury that the foregoing is true and correct.

Executed at Monrovia, California
On this 22nd day of August, 2023.



Signature

**CITY OF SANTA FE SPRINGS
NOTICE OF PUBLIC HEARING
ALCOHOL SALES CONDITIONAL USE PERMIT CASE
NO. 85**

NOTICE IS HEREBY GIVEN that the City Council of the City of Santa Fe Springs will hold a Public Hearing on **Tuesday, September 5, 2023, at 6:00 p.m.** to consider Alcohol Sales Conditional Use Permit Case No. 85, a request for approval to allow the operation and maintenance of an alcoholic beverage use involving the storage and distribution of alcohol beverages at Bay Cities Packaging & Design within the Heavy Manufacturing (M-2) Zone.

PROJECT LOCATOR & SITE: The 151,397 square foot warehouse is located at 9206 Santa Fe Springs Road. The property is not listed on the Hazardous Waste and Substance Site List (Cortese List) as set forth in Government Code Section 65962.5.

APPLICANT: Bay Cities Packaging & Design, located at 9206 Santa Fe Springs Road.

Participants may attend the meeting telephonically or electronically using the following means:
Electronically using Zoom
Go to Zoom.us and click on "Join A Meeting" or use the following link:
<https://zoom.us/j/521620472?pwd=U3cyK1RuKzY1eKVGZFdKQXNZVzh4Zz09>

Zoom Meeting ID: 521 620 472
Password: 659847

Telephonically
Dial: 888-475-4499
Meeting ID: 521 620 472

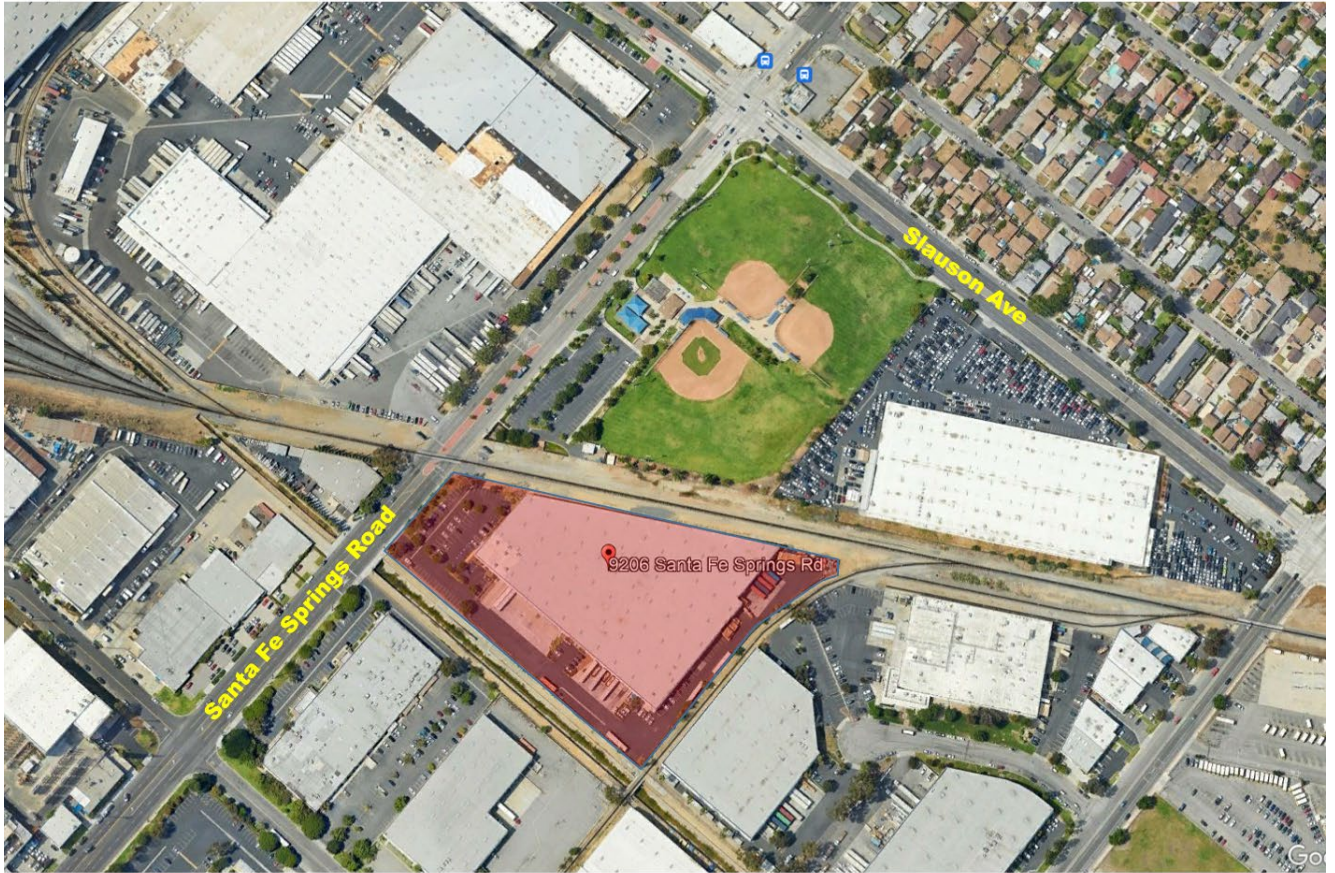
ALL INTERESTED PERSONS are invited to attend the Public Hearing before the City Council and express their opinion on the subject item listed above. It should be noted that if you challenge the aforementioned item in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing, or in written correspondence received prior to the Public Hearing.

PUBLIC COMMENTS may be submitted in writing to the City Clerk at cityclerk@santafesprings.org. Please submit your written comments by 12:00 p.m. on the day of the City Council meeting. You may also contact the City Clerk's Office (562) 868-0511, ext. 7314, if you have any questions regarding this matter.
Whittier Daily News
Published: 8/22/23

Alcohol Sales Conditional Use Permit Case No. 85

Page 5 of 20

Attachment B



LOCATION AERIAL
ALCOHOL SALES CONDITIONAL USE PERMIT CASE NO. 85

Bay Cities
Packaging and Design
9206 Santa Fe Springs Road
Santa Fe Springs, CA 90670

Attachment C



City of Santa Fe Springs

Planning Commission Meeting

August 14, 2023

PUBLIC HEARING

Categorically Exempt - CEQA Guidelines Sections 15301, Class 1

Alcohol Sales Conditional Use Permit (CUP) Case No. 85

Request for approval of Alcohol Sales Conditional Use Permit Case No. 85 to allow the operation and maintenance of an alcoholic beverage use involving the warehousing and distribution of alcoholic beverages at Bay Cities Packaging, located at 9206 Santa Fe Springs Road, within the Heavy Manufacturing (M-2) Zone. (Bay Cities Packaging & Design)

RECOMMENDATIONS

- Open the Public Hearing and receive the staff report and any comments from the public regarding Alcohol Sales Conditional Use Permit (ASCUP) Case No. 85, and thereafter, close the Public Hearing; and
- Find and determine that the proposed project will not be detrimental to persons or properties in the surrounding area or to the City in general, and will be in conformance with the overall purpose and objective of the Zoning Ordinance and consistent with the goals, policies and program of the City's General Plan; and
- Find that the applicant's ASCUP request meets the criteria set forth in §§155.628 and 155.716 of the City's Zoning Ordinance, for the granting of a Conditional Use Permit; and
- Find and determine that pursuant to Section 15301, Class 1 (Existing Facility) of the California Environmental Quality Act (CEQA), the project is Categorically Exempt; and
- Recommend to the City Council the approval of Alcohol Sales Conditional Use Permit Case No. 85, subject to the conditions of approval as contained within Resolution No. 244-2023; and
- Adopt Resolution No. 244-2023, which incorporates the Planning Commission's findings and actions regarding this matter.

GENERAL INFORMATION

A. Applicant: Bay Cities Packaging & Design
9206 Santa Fe Springs Road
Santa Fe Springs, CA 90670

B. Property Owner: Oltmans Investment Co.
P.O. Box 985
Whittier, CA 90601

C. Subject Property: 9206 Santa Fe Springs Road
Santa Fe Springs, CA 90670

D. Existing Zone: Heavy Manufacturing (M-2)

E. General Plan: Industrial

F. ABC License Type: Type 18 Distilled Spirits Wholesaler

G. CEQA Status: Categorically Exempt (Class 1)

H. APN: 8167-001-027

BACKGROUND

The Applicant, Bay Cities Packaging & Design has occupied the 6.46-acre property at 9206 Santa Fe Springs Road since November 1, 2021 under a lease agreement with Oltmans Investment Company. Bay Cities Packaging & Design is a leading designer and manufacturer of corrugated packaging and displays for several retail products which includes cosmetics, tools, electronics, food, and special promotional products. Their display/package products can be seen in stores such as Walmart, Kroger, Target, Costco, and others.

In addition to the listed products, Bay Cities Packaging & Design is proposing to package alcoholic beverages at their Santa Fe Springs site. Because the activities will involve on-site storage of alcoholic beverages, the Applicant is required to comply with Ordinance No. 834 pertaining to alcoholic beverage uses.

City Ordinance No. 834, approved by the City Council on March 10, 1994, added Section 155.628 to the City Code requiring all businesses engaged in the sale, storage or manufacturing of any type of alcoholic beverage to apply for and be granted a valid Alcohol Sales Conditional Use Permit (ASCUP).

In accordance with Section 155.628, the Applicant is requesting approval of Alcohol Sales Conditional Use Permit Case No. 85 to allow the operation and maintenance of an alcoholic beverage storage use. Concurrent with this request, the applicant is also in the preliminary review process of adding the subject location to their valid Type 18 Distilled Spirits Wholesaler License from the State Alcohol Beverage Commission ("ABC"). Staff does not foresee that the ABC License addition will be denied to the Applicant. Nevertheless, should ASCUP Case No. 85 be approved and the ABC license addition be denied, the Applicant will have up to one-year to make alternative arrangements to satisfy ABC's requirements and obtain the necessary licenses,

Alcohol Sales Conditional Use Permit Case No. 85

otherwise this Permit will become null and void pursuant to Section 155.811 of the City Code.

STREETS AND HIGHWAYS

The subject site has street access from Santa Fe Springs Road. Santa Fe Springs Road is designated as a Major-Highway on the Circulation Element of the City's General Plan.

ZONING AND LAND USES

Developed in 1986, the property maintains a 151,397 warehouse tilt-up building with office space to the front and a loading dock to the rear. The property as well as the surrounding properties are within the Heavy Manufacturing (M-2) Zone. The properties surrounding the property are also developed with warehouse industrial buildings and office buildings.

ENVIRONMENTAL DOCUMENTS

Considering that the building and property that the Applicant occupies is fully built and will not have any alterations, Staff finds and determines that this proposed Alcohol Sales Conditional Use Permit request before the Planning Commission is a categorically-exempt project pursuant to Section 15301 (Class 1, Existing Facilities) of the California Environmental Quality Act (CEQA); consequently, no other environmental documents are required by law. Additionally, the project site is not listed on the Hazardous Waste and Substance Site List (also known as the Cortese List) and is therefore not subject to the requirements set forth in Government Code Section 65962.5.

LEGAL NOTICE OF PUBLIC HEARING

This matter was set for Public Hearing in accordance with the requirements of Section 65090 and 65091 of the State Planning, Zoning and Development Laws and the requirements of Sections 155.860 through 155.864 of the City's Municipal Code.

Legal notice of the Public Hearing for the proposed Alcohol Sales Conditional Use Permit was sent by first class mail to all property owners whose names and addresses appear on the latest County Assessor's Roll within 500 feet of the exterior boundaries of the subject property on August 3, 2023. The legal notice was also posted in Santa Fe Springs City Hall, the City Library and Town Center on August 3, 2023, as required by the State Zoning and Development Laws and by the City's Zoning Regulations. A Notice was also published in the Whittier Daily Newspaper on August 3, 2023. Staff will report any inquiries received for this matter at the time of the Commission's meeting.

ZONING ORDINANCE REQUIREMENTS

Section 155.628, regarding the warehousing, sale or service of alcoholic beverages, states the following:

"A Conditional Use Permit shall be required for the establishment, continuation or enlargement of any retail, commercial, wholesale, warehousing or manufacturing business engaged in the sale, storage or manufacture of any type of alcoholic beverage meant for on or off-site consumption. In establishing the requirements for such uses, the City Planning Commission and City Council shall consider, among other criteria, the following":

- a. **Conformance with parking regulations.** *The subject property was built in 1986 in accordance with the City's Development Standards. Upon completion on-site parking spaces were provided and continue to be maintained in compliance with Chapter 155 Section 155.480.*
- b. **Control of vehicle traffic and circulation.** *Unobstructed on-site vehicular circulation is available on the property. One-driveway is provided on Santa Fe Springs Road for ingress and egress; the driveway is shared by the passenger vehicles and the diesel trucks serving the business.*
- c. **Hours and days of operation.** *The applicant has noted that the hours of operation will be conducted Monday through Friday from 8:00 a.m. to 5:00 p.m.*
- d. **Security and/or law enforcement plans.** *A security plan will be required as part of the conditions of approval.*
- e. **Proximity to sensitive and/or incompatible land uses, such as schools, religious facilities, recreational or other public facilities attended or utilized by minors.** *The subject site is located approximately one and a half miles walking distance to St. Paul High School located at 9635 Greenleaf Avenue, and one and a quarter miles walking distance to Whittier Union District's Adult School located at 9401 Painter Avenue. The facility will not be maintaining an on-site retail element at the location and all alcohol beverages will be secured in a locked areas. Consequently, Staff believes that the proposed alcoholic beverage storage use will not have an impact to sensitive used considering its distance and the described on-site activities.*
- f. **Proximity to other alcoholic beverage uses to prevent the incompatible and undesirable concentration of such uses in an area.** *The proposed alcoholic beverage use will not be permitted to have any on-site consumption or on-site retail sales, and the business is not planning on conducting these activities. As a result, staff does not feel that the alcohol beverage warehousing and distribution activities will have a negative impact and/or create or contribute an undesirable concentration of alcoholic beverages sales to the general area.*

- g. Control of noise, including noise mitigation measures.** *All activities will be conducted indoors. Noise control measures or mitigation measures to minimize noise are not foreseen as a requirement at this time. It should be noted that the City Code has in place maximum allowable ambient noise requirements, all land use activities are required to operate under those requirements.*
- h. Control of littering, including litter mitigation measures.** *As part of the Conditions of Approval and pursuant to the City's Property Nuisance Ordinance, the applicant is required to maintain the property free of all trash and debris.*
- i. Property maintenance.** *As part of the conditions of approval, the applicant is required to maintain the property in compliance with the City's Public Nuisance Ordinance. It should be noted that the business contracts with an independent contractor to maintain the grounds on weekly basis.*
- j. Control of public nuisance activities, including, but not limited to, disturbance of the peace, illegal controlled substances activity, public drunkenness, drinking in public, harassment of passersby, gambling, prostitution, sale of stolen goods, public urination, theft, assaults, batteries, acts of vandalism, loitering, curfew violations, sale of alcoholic beverages to a minor, lewd conduct or excessive police incident responses resulting from the use.** *The subject proposed alcohol warehouse and distribution facility is a low-key operation providing packaging services to established businesses. Consequently, Staff does not foresee that the business or its respective activities will generate any of the listed public nuisances. Nevertheless, a compliance review will be conducted within the first year from the approval of this permit, and every five years thereafter. If any of the listed items occur, and if the applicant is unresponsive to address them, staff has the authority to bring this matter back to the Commission with a request to revoke the Permit.*

CALLS FOR SERVICE

Whittier Police calls for service were reviewed for the location. Staff found that the calls for service appear to reflect activities that were not generated as a result of the operation or its on-going activities.

STAFF COMMENTS

Staff finds that the proposed alcohol beverage activities will not have a negative impact to the overall general area and the use is consistent with the warehouse and office activities already present in the general area. Moreover, Staff believes that the business along with the alcohol storage activities will also have minimal impacts to the area if it operates in compliance with the City's Municipal Codes, Conditions of Approval, and with the Regulations imposed by ABC.

Staff is recommending approval of the Alcohol Sales Conditional Use Permit Case No. 85 subject to the conditions of approval set forth herein. Staff is also recommending a compliance review report of this Permit within one year from the approval date by the City Council, and subsequent compliance reviews every five-years thereafter.

CONIDITONS OF APPROVAL

Conditions of Approval are attached to Resolution No. 244-2023 as "Exhibit A".



Dino Torres
Director of Police Services

Attachment(s)

1. Location Map
2. Resolution No. 244-2023

CITY OF SANTA FE SPRINGS
RESOLUTION NO. 244-2023

**A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF SANTA FE SPRINGS REGARDING
ALCOHOL SALES CONDITIONAL USE PERMIT CASE NO. 85**

WHEREAS, a request was filed for an Alcohol Sales Conditional Use Permit Case No. 85 to allow the operation and maintenance of an alcoholic beverage use involving the warehousing and distribution of alcoholic beverages at Bay Cities Packaging, located at 9206 Santa Fe Springs Road, within the Heavy Manufacturing (M-2) Zone; and

WHEREAS, the subject property is identified as Accessor's Parcel Number 8167-001-027, as shown in the latest rolls of the Los Angeles County Office of the Assessor; and

WHEREAS, the property owner is Oltmans Investment Company, LLC; and

WHEREAS, the proposed request is categorically-exempt project pursuant to Section 15301 (Class 1, Existing Facilities) of the California Environmental Quality Act (CEQA); consequently, no other environmental documents are required by law; and

WHEREAS, the City of Santa Fe Springs Department of Police Services on August 3, 2023, published a legal notice in the *Whittier Daily News*, a local paper of general circulation, indicating the date and time of the public hearing, and also mailed said public hearing notice on August 3, 2023, to each property owner within a 500 foot radius of the project site in accordance with state law; and

WHEREAS, the City of Santa Fe Springs Planning Commission has considered the application, the written and oral staff report, the General Plan and Zoning of the subject property, the testimony, written comments, or other materials presented at the Planning Commission Meeting on August 14, 2023, concerning Alcohol Sales Conditional Use Permit Case No. 85.

NOW, THEREFORE, be it RESOLVED that the PLANNING COMMISSION of the CITY OF SANTA FE SPRINGS does hereby RESOLVE, DETERMINE and ORDER AS FOLLOWS:

SECTION I. ENVIRONMENTAL FINDINGS AND DETERMINATION

The request of Alcohol Sales Conditional Use Permit Case No. 85 is considered a project under the California Environmental Quality Act (CEQA) and as a result, the project is subject to the City's environmental review process. Staff finds and determines that because the building is now built and the establishment consists of an approved warehouse and distribution business, this proposed Alcohol Sales Conditional Use Permit request before the Planning Commission is a categorically-exempt project pursuant to Section

Alcohol Sales Conditional Use Permit Case No. 85

Page 14 of 20

15301 (Class 1, Existing Facilities) of the California Environmental Quality Act (CEQA); consequently, no other environmental documents are required by law.

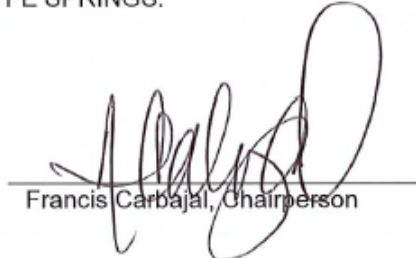
SECTION II. COMMISSION CONSIDERATION

Pursuant to Section 155.628 of the Zoning Regulations, the Planning Commission has considered the criteria in approving Alcohol Sales Conditional Use Permit Case No. 85 and finds that the proposal will not be detrimental to persons or property in the immediate vicinity and will not have an adverse effect on the City in general.

SECTION V. PLANNING COMMISSION ACTION

That the Planning Commission hereby adopt Resolution 244-2023 and to recommend approval of Alcohol Sales Conditional Use Permit Case No. 85 to the City Council, subject to the attached conditions hereby attached as Exhibit A, and find and determine that the proposed project is a categorically-exempt project pursuant to Section 15301 (Class 1, Existing Facilities) of the California Environmental Quality Act (CEQA); consequently, no other environmental documents are required by law.

ADOPTED and APPROVED this 14th day of August 2023 BY THE PLANNING COMMISSION OF THE CITY OF SANTA FE SPRINGS.



Francis Carbajal, Chairperson

ATTEST:



Teresa Cavallo, Planning Secretary

RESOLUTION NO. 9882

**A RESOLUTION OF THE SANTA FE SPRINGS CITY COUNCIL APPROVING
ALCOHOL SALES CONDITIONAL USE PERMIT CASE NO. 85**

WHEREAS, a request was filed for an Alcohol Sales Conditional Use Permit Case No. 85 to allow the operation and maintenance of an alcoholic beverage use involving the warehousing and storage of alcoholic beverages at Bay Cities Packaging & Design, a business located at 90670 Santa Fe Springs, within the Heavy Manufacturing (M-2) Zone; and

WHEREAS, the subject property is identified as Accessor's Parcel Number 8167-001-027, as shown in the latest rolls of the Los Angeles County Office of the Assessor; and

WHEREAS, the property owner is Oltmans Investment, Inc., located at P.O. Box 985, Whittier, CA 90601; and

WHEREAS, the proposed request is categorically-exempt project pursuant to Section 15301 (Class 1, Existing Facilities) of the California Environmental Quality Act (CEQA); consequently, no other environmental documents are required by law; and

WHEREAS, on August 22, 2023, the City of Santa Fe Springs Department of Police Services published a legal notice in the *Whittier Daily News*, a local paper of general circulation, indicating the date and time of the public hearing, and also mailed said public hearing notice to each property owner within a 500 foot radius of the project site in accordance with state law; and

WHEREAS, at their Regular Meeting of August 14, 2023, the City of Santa Fe Springs Planning Commission considered the application, the written and oral staff report, the General Plan designation, and the Zoning designation of the subject property, the testimony by the applicant, and other materials concerning Alcohol Sales Conditional Use Permit Case No. 85; and

WHEREAS, at their Regular Meeting of August 14, 2023, the City of Santa Fe Springs Planning Commission received from the applicant and staff findings as required by Section 155.628 (listed on the accompanying Staff Report) and after their review of said findings determined that the proposed project will have a minimal to no adverse impact on the City or to the public in general; and

Alcohol Sales Conditional Use Permit Case No. 85

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WHEREAS, at their Regular Meeting of August 14, 2023, the City of Santa Fe Springs Planning Commission unanimously voted to recommend to the City Council to approve Alcohol Sales Conditional Use Permit Case No. 85.

NOW, THEREFORE, BE IT RESOLVED THAT THE CITY COUNCIL OF THE CITY OF SANTA FE SPRINGS DOES HEREBY FINDS, DETERMINES, RESOLVES, AND ORDERS AS FOLLOWS:

SECTION 1. The City Council of the City of Santa Fe Springs finds that the facts in this matter are as follows:

1. That the facts in this matter are as stated in the staff report to the Planning Commission, and Planning Commission Resolution No. 244-2023. The staff report provided the following subject matter: the background of the request, the general plan land use designation and zoning of the subject property and the surrounding area, the streets and highways, reference to the environmental document and the public hearing requirements. The referenced staff report and resolution are on file and copies are available upon request.
2. That Alcohol Sales Conditional Use Permit Case No. 85 satisfies the criteria provided in Section 65090-65091 of the State Planning, Zoning and Development Laws as it pertains to Public Hearings.

SECTION 2. The City Council of the City of Santa Fe Springs further finds as follows:

Pursuant to Section 155.628 of the Zoning Regulations, the City Council has considered the criteria in approving Alcohol Sales Conditional Use Permit Case No. 85 and finds that the proposed use will not be detrimental to persons or property in the immediate vicinity and will have minimal to no adverse effect on the City in general.

SECTION 3. Based on the application, the written and oral staff report, the testimony, written comments, the Planning Commission's recommendation for approval, and/or other materials presented at the City Council Meeting and the findings made by the City Council, the City Council hereby adopts Resolution No. 9882 to approve Alcohol Sales Conditional Use Permit Case No. 85, subject to the conditions of approval hereby attached as "Exhibit A".

Alcohol Sales Conditional Use Permit Case No. 85

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APPROVED AND ADOPTED this 5th day of September, 2023 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

By: _____
Juanita Martin, Mayor

ATTEST

Janet Martinez, CMC, City Clerk

Exhibit A

CONDITIONS OF APPROVAL

1. That if the State Alcohol Beverage Commission (ABC) does not grant the applicant's request to add the subject location to an existing Type 18 Distilled Spirits Wholesaler License to 9206 Santa Fe Springs Road, the Applicant will be provided one-year to reapply otherwise this Permit will become null and void.
2. That the building, including any lighting, fences, walls, cabinets, and poles shall be maintained in good repair, free from trash, debris, litter and graffiti and other forms of vandalism. Any damage from any cause shall be repaired within 72 hours of occurrence, weather permitting, to minimize occurrences of dangerous conditions or visual blight. Paint utilized in covering graffiti shall be a color that matches, as closely possible, the color of the existing and/or adjacent surfaces.
3. That the applicant shall be responsible for maintaining control of litter, debris, boxes, pallets and trash on the subject property, and shall implement a daily clean-up program to maintain the leased area clean and orderly.
4. That alcoholic beverages shall not be sold to the general public from the subject site.
5. That it shall be unlawful to maintain on the premises any alcoholic beverages other than the alcohol beverages which the licensee is authorized to store and/or distribute under their Type 18 License (Distilled Spirits Wholesaler).
6. That alcoholic beverages shall be shipped to the Applicant's customer by the use of commercial trucks and/or licensed commercial transportation companies and not by passenger-type vehicles or domestic type vehicles.
7. That the required off-street parking areas shall not be encroached on, reduced or used for outdoor storage of trucks, trailers, equipment or any other related material. Overnight parking of trucks and trailers associated with the business are exempt from this condition.
8. That the applicant and/or his employees shall prohibit the public consumption of alcoholic beverages on the subject property at all times.
9. That this permit is contingent upon the approval by the Department of Police Services of a security plan that, within thirty (30) days of the effective date of this approval, shall be submitted by the applicant and shall address the following for the purpose of minimizing risks to the public health, welfare and safety:

Alcohol Sales Conditional Use Permit Case No. 85

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- (A) A description of crime prevention barriers in place at the subject premises, including, but not limited to, placement of signage, landscaping, ingress and egress controls, security systems and site plan layouts;
 - (B) A description of how the permittee plans to educate employees on their responsibilities, actions required of them with respect to enforcement of laws dealing with the sale of alcohol to minors and the conditions of approval set forth herein;
 - (C) A business policy requiring employees to notify the Police Services Center of any potential violations of the law or this Conditional Use Permit occurring on the subject premises and the procedures for such notifications.
 - (D) The City's Director of Police Services may, at his discretion, require amendments to the Security Plan to assure the protection of the public's health, welfare and safety.
10. That the applicant shall, at all times, maintain in working order an alarm system and/or service that notifies the Whittier Police Department immediately if a breach occurs.
 11. That the owner, corporate officers and managers shall cooperate fully with law enforcement personnel, or their representatives, and shall not obstruct or impede their entrance into the licensed premises while in the course of their official duties.
 12. That in the event the owner(s) intend to sell, lease or sublease the subject business operation or transfer the subject Permit to another party or licensee, the Director of Police Services shall be notified in writing of said intention not less than (60) days prior to signing of the agreement to sell or sublease.
 13. That Alcohol Sales Conditional Use Permit Case No. 85 shall be subject to a compliance review within one year from the date of approval by the City Council, to ensure that the alcohol sales activity are still operating in strict compliance with the original conditions of approval. Thereafter, a compliance review shall be conducted every five years if the Applicant continues to maintain the premises in full compliance with these Conditions and all applicable codes, regulations and state laws.
 14. That all other applicable requirements of the City Zoning Ordinance, Uniform Building Code, Uniform Fire Code, the determinations of the City and State Fire Marshall, the security plan as submitted under Condition No. 9 and all other applicable regulations shall be strictly complied with.
 15. That Alcohol Sales Conditional Use Permit Case No. 85 shall not be valid until approved by the City Council and shall be subject to any other conditions the City Council may deem necessary to impose.

Alcohol Sales Conditional Use Permit Case No. 85

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16. That it is hereby declared to be the intent that if any provision of this Permit is violated or held to be invalid, or if any law, statute or ordinance is violated, the Permit shall be subject to the revocation process pursuant to Sections 155.810-155.814 of the Santa Fe Springs Municipal Code.



CITY OF SANTA FE SPRINGS

CITY COUNCIL AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members

FROM: René Bobadilla, P.E., City Manager

BY: Yvette Kirrin, Interim Director

**SUBJECT: TRAFFIC STUDY – PIONEER BOULEVARD AT HOUGHTON AVENUE-
WHITELAND STREET**

DATE: September 5, 2023

RECOMMENDATION:

It is recommended that the City Council:

- 1) Consider the installation of Stop signs with flashing LEDs and advance flashing yellow beacons prior to the intersection of Pioneer Boulevard and Houghton Avenue-Whiteland Street;
- 2) Replace the existing standard Stop signs at Pioneer Boulevard/Orr and Day Road and Pioneer Boulevard 380' south of Terradell Street with flashing LED Stop signs;
- 3) Add the Pioneer Boulevard and Houghton Avenue-Whiteland Street improvement project to the Capital Improvement Plan;
- 4) Appropriate \$120,000 from the Utility Users Tax (UUT) Capital Improvement Fund to fund the Pioneer Boulevard and Houghton Avenue-Whiteland Street improvement project.

FISCAL IMPACT

The Pioneer Boulevard at Houghton Avenue-Whiteland Street improvement project has a total estimated cost of \$120,000 and can be funded by Utility Users Tax (UUT) Capital Improvement Funds.

BACKGROUND

Pioneer Boulevard is a major arterial highway that generally runs through the City in a north-south orientation with the exception of the section between Arlee Street and Orr and Day Road which has an easterly-westerly orientation. Pioneer Boulevard continues north from Lakeland Road in the City of Norwalk and continues north to Telegraph Road

where it curves northwesterly and continues to Orr and Day Road. Pioneer Boulevard then continues northerly to Rivera Road and then into an unincorporated area of LA County. This report focuses on the segment of Pioneer Boulevard between Orr and Day Road and Jersey Avenue which contains a 2000' radius horizontal curve. The posted speed limit is 35 miles per hour and the 85th percentile or critical speed was found to be 40 miles per hour. Pioneer Boulevard is 84 feet wide curb to curb and is striped for two lanes in each direction which are separated by raised, concrete, landscaped medians. A large-radius horizontal curve exists on the section of Pioneer Boulevard between Orr and Day Road and Jersey Avenue. The adjacent development along Pioneer Boulevard is fronting residential properties with no access or driveways onto Pioneer Boulevard. Access to these properties is via public alleys that run along the rear of the homes. The average daily traffic for Pioneer Boulevard is about 5,500 vehicles, measured on November 4, 2021, and is split such that 45% of the traffic is traveling eastbound while the remaining 55% is traveling westbound. Parking is allowed on both sides for this section of Pioneer Boulevard. There is a ladder-type white crosswalk across the east side of the intersection of Pioneer Boulevard and Houghton Avenue-Whiteland Street. There are pedestrian crossing warning signs and pavement markings in advance of the crosswalk on Pioneer Boulevard.

Houghton Avenue is classified as a residential collector street consisting of one lane in each direction and has a prima-facie speed limit of 25 miles-per-hour. The curb-to-curb width of Houghton Avenue is forty (40) feet. Houghton Avenue is oriented in an easterly-westerly direction. It intersects Pioneer Boulevard and then continues westerly as Whiteland Street south of Pioneer Boulevard. The intersection of Pioneer Boulevard and Houghton Avenue-Whiteland Street is controlled by Stop signs for north-south traffic only.

ANALYSIS

With two reported traffic collisions at this intersection in the past 12 months, there is no apparent demonstrated pattern here. A review of the California Manual of Traffic Control Devices traffic signal guidelines indicated that none of the guidelines are met. However, due to the curvature of Pioneer Boulevard in this area, there is a demonstrated sight distance impairment for westbound Houghton Avenue traffic that prevents motorists from having adequate visibility of northbound traffic on Pioneer Boulevard. Also, this lack of sight distance plus the 40 MPH critical speed prevents westbound Pioneer Boulevard traffic from having time to respond to Houghton Avenue traffic that is either crossing or turning onto Pioneer Boulevard. In a typical situation, parking restrictions could be implemented along the north side of Pioneer Boulevard east of Houghton Avenue, but in this existing condition, the removal of street parking would create a hardship for the residents living in that area east of Houghton Avenue. The majority, if not all of the street parking along Pioneer Boulevard is used by the residents that live in this area. They have no driveway access to their property from Pioneer Boulevard and only have alley access from the rear of their property. If a parking restriction is implemented and since parking is not allowed in the alleys, the residents and any visitors would be forced to find alternate parking areas in the residential areas north and south of Pioneer Boulevard.

ENVIRONMENTAL

The installation of Stop signs on Pioneer Boulevard at Houghton Avenue-Whiteland Street may increase general noise levels due to braking and accelerating of vehicles at the intersection. Also, there may be an increase of air pollution due to vehicles queuing before clearing the intersection.

DISCUSSION

In Part 4 of the 2014 CA MUTCD (Highway Traffic Signals) does make reference to “sight distance restrictions” but sight distance restrictions are not included in any of the specific guidelines but definitely do impact the traffic safety at an intersection. Stop signs are less restrictive traffic control device that impact the safety at an intersection. Stop signs are recommended to be installed for northbound and southbound traffic on Pioneer Boulevard at Houghton Avenue-Whiteland Street based on impaired sight distance considerations.

In addition, in order to maintain the consistency of regulatory signing in this area, it is recommended that Stop signs with flashing LEDs also be installed to replace the existing standard Stop signs at the following locations:

1. Westbound Pioneer Boulevard at Orr and Day Road
2. Northbound Pioneer Boulevard at a Point 380’ south of Terradell Street

The Pioneer Boulevard at Houghton Avenue-Whiteland Street improvement project will enhance the safety of vehicles entering the intersection from Houghton Avenue and Whiteland Street and pedestrians crossing Pioneer Boulevard.

SUMMARY/NEXT STEPS

If approved, all of the necessary materials will be ordered. Contractual services will be arranged and all of the items will be scheduled for installation.

ATTACHMENTS:

- A. Attachment A – Collision Diagram for Intersection
- B. Attachment B – Plan showing Existing Conditions at Intersection
- C. Attachment C – Plan Showing Locations of Stop Signs, Advance Pavement Markings and Flashing Yellow Beacons

ITEM STATUS:

APPROVED: ☐

DENIED: ☐

TABLED: ☐

DIRECTION GIVEN: ☐

COLLISION DIAGRAM

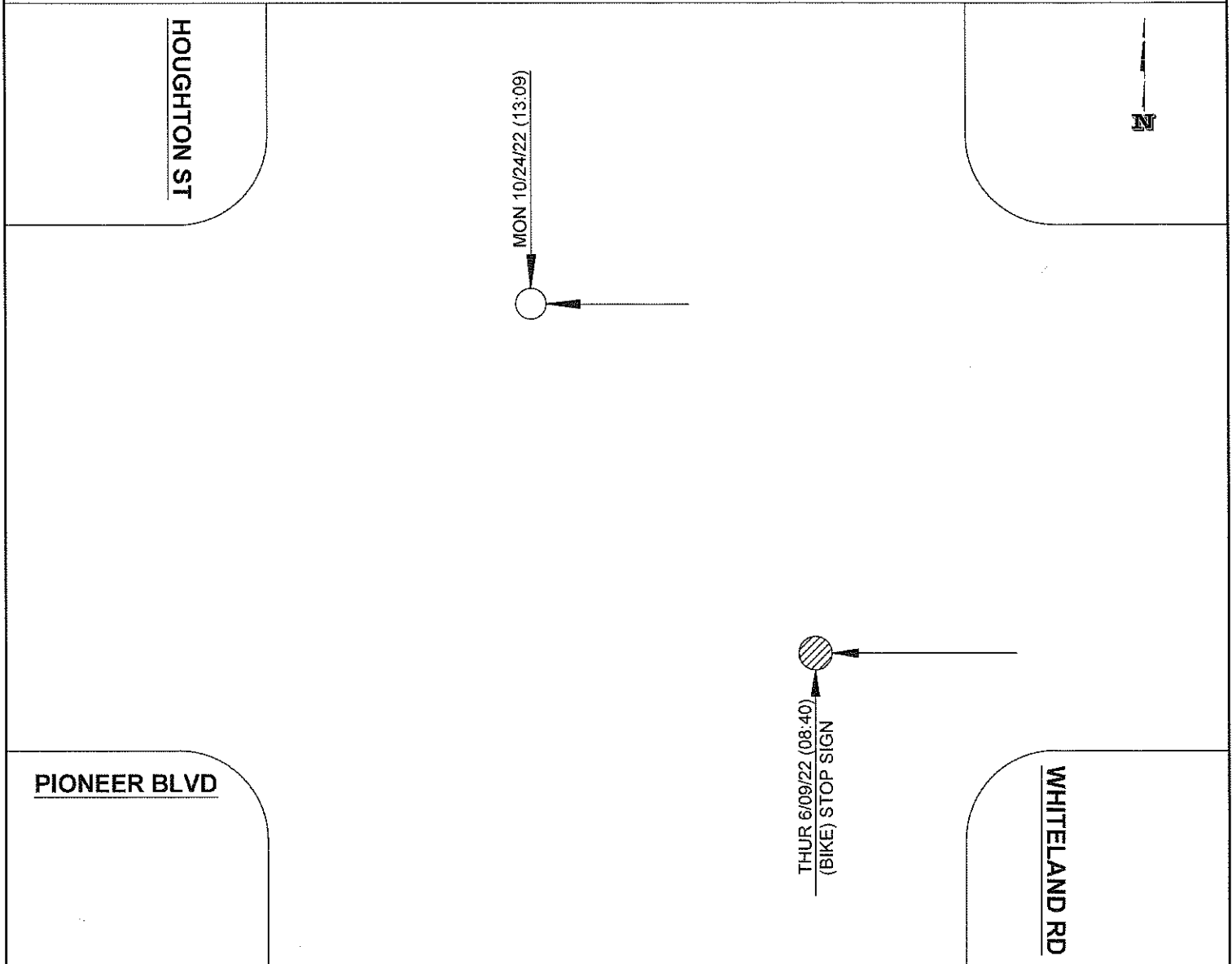
CITY OF SANTA FE SPRINGS

INTERSECTION: PIONEER BLVD/ HOUGHTON AVE & WHITELAND ST

PERIOD: 1 6/1/22 - 7/1/23

PREPARED BY: REDFORD BAYAN

DATE PREPARED: 08/23/23



LEGEND

- PATH OF MOVING MOTOR VEHICLES
- PEDESTRIAN PATH
- FATAL
- INJURY
- REAR-END COLLISION
- PARKED VEHICLE
- FIXED OBJECT
- OVERTURNED
- OUT OF CONTROL
- SIDESWIPE
- HEAD-ON

TYPE	DAY	NIGHT	TOTAL
FATAL	1	-	1
PED. INJURY	-	-	-
OTHER INJURY	1	-	1
PROPERTY DAMAGE ONLY	-	-	-
TOTAL	2	-	2



**PIONEER BOULEVARD/HOUGHTON AVENUE-WHITELAND STREET
EXISTING CONDITIONS**



PROPOSED SIGNING AND PAVEMENT MARKING IMPROVEMENTS AT PIONEER BOULEVARD/HOUGHTON AVENUE-WHITELAND STREET



CITY OF SANTA FE SPRINGS
CITY COUNCIL AGENDA STAFF REPORT

TO: Honorable Mayor and City Council Members
FROM: René Bobadilla, P.E., City Manager
BY: Yvette Kirrin, Interim Director of Public Works
SUBJECT: AQUATIC CENTER IMPROVEMENT PROJECT UPDATE AND STRATEGY TO OPEN IN SUMMER 2024
DATE: September 5, 2023

RECOMMENDATION:

It is recommended that the City Council:

1. Approve staff proceeding with 2024 Summer opening of the pool (Phase 1A) while concurrently completing the amenities (Phase 1B) for 2024 Fall completion.

FISCAL IMPACT

The Aquatic Center Improvement Legacy Project was estimated to cost \$22.2 million. The funds currently available for the project include \$6.6 million in City funds and \$6.4 million in grant funds provided by Senator Bob Archuleta's office. The remaining shortfall for the project is \$9.2 million. Other potential funding sources to fill the gap in funding include additional City funding allocations and/or other grants that have yet to be secured.

The Summer opening of the pool (Phase 1A) plus the amenities described in this report (Phase 1B) are estimated to cost approximately \$7.5 million. As previously mentioned, the City has \$6.6 million earmarked from the CIP FY 2023-24 budget, which could be put toward the project, as well as maximizing the percentage of the \$6.4 million grant fund from Senator Bob Archuleta, on the new amenities, to complete Phase 1.

BACKGROUND

The Aquatic Center has shown signs of deterioration as described in previous council reports. Some of these issues deal with the pool deck settlement and cracking, dilapidated pool pumps, aging equipment, decrepit surge pits and equipment rooms.

The City held several meetings including a Council Study Session(s) and Community Feedback Meetings. The City hired HED Design to develop several concepts and worked towards a preferred Legacy Project. Based on several concepts, the City was moving toward a final project alternative for Council to endorse for final design estimated to cost \$22.2 million. The major features of the project include a new leisure pool, lap pool, splash pad, cabana area, family restrooms, concession stand, outdoor Jacuzzi/spa area, and east deck expansion, various shaded areas, upgraded pool equipment and major pool house renovation. The project would take approximately 2.5 years to design, construct and ultimately open to the public.

Before the City Council could be presented with the preferred Legacy Project, staff became aware of the existence of four previously abandoned oil wells located on the existing City owned parcel, with one specifically found beneath the existing pool.

Staff worked to resolve the abandoned oil well issue. We held several meetings and discussions with petroleum consultants and surveyed the locations of the abandoned oil wells, while determining potential risks with proceeding with construction.

At that point, the project slowed, due to 1) budget constraints, 2) the abandoned oil well issue, and 3) hiring of a new City Manager. Recently, staff was presented with new objectives to open the Aquatic Center for the 2024 Summer session, including the request to a develop short and long term renovation strategy.

ANALYSIS

The short term project (Phase 1) entails two parts including (Phase 1A and Phase 1B).

Phase 1A would resolve issues detailed November 2021 Council Report “Punchlist” i.e. repair deck cracks, resurfacing the existing pools, replace the pool equipment. This would leave the oil well untouched, while continued coordination occurs to resolve how it would be handled as part of the ultimate Legacy Project (Phase 2).

Phase 1B would phase construction of the surrounding new amenities such as new splash pad, Jacuzzi/spa area, new concession stand and cabana shaded areas. Staff has estimated this would take approximately 9 to 12 months with a soft opening of the main pools by early summer 2024 and phase construction of the new amenities which could take an additional 3 months.

The project cost was estimated at \$7.5 million. A portion of the funding from the allocated \$6.6 million CIP FY 2023-24 budget, would be used for the repair portions of Phase 1A, while being supplemented by a portion of \$6.4 million grant provided by Senator Bob Archuleta, to be used towards the new amenities (Phase 1B).

The long term project (Phase 2) entails demolishing the existing main pools, phase construction of one pool while keeping the other pool operational, construction of a new

lazy river pool, new lap pool, additional cabanas, and new east deck and seating and also applying major renovation to the pool house and upgrading the existing pool equipment. From the Legacy Project estimates, this long term goal would take approximately 1 to 2 years and an estimated cost of \$23 million. The funding for this portion of the project will need to be determined.

The total project cost for the short term (Phase 1) and long term (Phase 2) project will be upwards of \$30 million.

ENVIRONMENTAL

The existing abandoned oil well is located underneath the east pool, and is approximately 10,000 feet deep. This oil well never produced any oil, and was abandoned according to current code at the time it was found to not be a viable site. It's our understanding that potential construction within the vicinity of the existing abandoned oil wells could require these oil wells to be re-abandoned up to the current abandonment standards. Additionally, the construction of the Legacy Project would require that the abandoned oil well be readily accessible in case of any leaks and/or any emergencies in order to re-plug it. This includes having no major obstructions or structures being built over it. California Geologic Energy Management Division (CalGEM) is the regulatory agency that has jurisdiction. A re-abandonment would entail demolishing the east pool, testing for leaks and possibly removing the existing oil well plug and installing a new plug. This would result in several months of delay as well as a significant increase in the project cost.

DISCUSSION

None.

SUMMARY/NEXT STEPS

In moving forward with the goal to open the Aquatic Center for the 2024 summer session, staff will continue to address the abandoned oil well issue, determine and finalize the project scope, budget and schedule with the HED Design Team and start to procure long lead items such as pool pumps, heaters, filtration systems and chemical purifiers.

A Contract Change Order (CCO) has been administratively approved to move forward in inventory of equipment and parts, as well as to understand the existing conditions, in the context of what will be repaired, versus what will be replaced, and to confirm the new amenities that will be designed as part of both Phase 1A and Phase 1B. This CCO was required for staff to meet at the existing Aquatic Center to confirm the scope of work to be completed for the 2024 opening.

ATTACHMENTS:

None.

<u>ITEM STATUS:</u>	
APPROVED:	<input type="checkbox"/>
DENIED:	<input type="checkbox"/>
TABLED:	<input type="checkbox"/>
DIRECTION GIVEN:	<input type="checkbox"/>