

City of Rolling Hills INCORPORATED JANUARY 24, 1957

NO. 2 PORTUGUESE BEND ROAD ROLLING HILLS, CA 90274 (310) 377-1521 FAX (310) 377-7288

AGENDA Regular Planning Commission Meeting PLANNING COMMISSION Tuesday, July 20, 2021 CITY OF ROLLING HILLS 6:30 PM

#### **SUPPLEMENTAL AGENDA**

**Executive Order N-29-20** 

This meeting is held pursuant to Executive Order N-29-20 issued by Governor Newsom on March 17, 2020. All Planning Commissioners will participate by teleconference. Public Participation: City Hall will be closed to the public until further notice.

A live audio of the Planning Commission meeting will be available on the City's website (https://www.rolling-hills.org/PC%20Meeting%20Zoom%20Link.pdf).

The meeting agenda is also available on the City's website (https://www.rolling-hills.org/government/agenda/index.php).

Join Zoom Meeting via https://us02web.zoom.us/j/99343882035? pwd=MWZXaG9ISWdud3NpajYwY3dF bllFZz09 Meeting ID: 993 4388 2035 Passcode: 647943

Members of the public may submit comments in real time by emailing the City Clerk's office at cityclerk@cityofrh.net. Your comments will become a part of the official meeting record. You must provide your full name but do not provide any other personal information (i.e., phone numbers, addresses, etc) that you do not want to be published.

#### 1. CALL MEETING TO ORDER

- 2. <u>ROLL CALL</u>
- 3. <u>APPROVAL OF THE AGENDA</u>

#### 4. PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA

#### 5. <u>APPROVAL OF MINUTES</u>

5.A. JUNE 15, 2021 EVENING PLANNING COMMISSION MEETING MINUTES. **RECOMMENDATION: Approve as presented.** 06.15.2021 PC Regular Meeting Action Minutes.P.docx 6. <u>RESOLUTIONS</u> NONE.

#### 7. **PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING** NONE.

#### 8. <u>NEW PUBLIC HEARINGS</u>

- 8.A. ZONING CASE 21-08: REQUEST FOR VARIANCES FOR ENCROACHMENT INTO THE FRONT YARD SETBACK AND STRUCTURES IN THE FRONT YARD; AND SITE PLAN REVIEW FOR GRADING LOCATED AT 3 OUTRIDER ROAD (HOYLER). **RECOMMENDATION:** Approve Resolution No. 2021-10 approving Variances for structures in the front yard and front yard setback and Site Plan Review for grading. 3 outrider A-1 (7.9.21).pdf 3 outrider A-2 (6.21.21) copy.pdf 3 outrider A-3 (7.9.21).pdf 3 outrider A-4 (6.21.21) copy.pdf 3Outrider Complete CIVIL Set 07-09-2021 FINAL.pdf 3 outrider T-1 (7.9.21).pdf 3 Outrider Rd.(ZC 21-08) revised landscaping plans 07.09.21.pdf Development Table - ZC 21-08.pdf 2021-10.PC RESOLUTION 3 Outrider (Hoyler).pdf SUPPLEMENTAL 2021-10.PC RESOLUTION 3 Outrider Hoyler .pdf
- 9. <u>NEW BUSINESS</u>

NONE.

10. OLD BUSINESS

NONE.

#### 11. SCHEDULE FIELD TRIPS

#### 1.8 QUAILRIDGE 2.27 BUGGY WHIP

12. ITEMS FROM STAFF

Discuss in person meeting.

#### 13. ITEMS FROM THE PLANNING COMMISSION

#### 14. ADJOURNMENT

Next meeting: AUGUST 17, 2021 at 7:30 AM field trip Rolling Hills, CA 90274.

#### Notice:

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting due to your disability, please contact the City Clerk at (310) 377-1521 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility and accommodation for your review of this agenda and

attendance at this meeting.

Documents pertaining to an agenda item received after the posting of the agenda are available for review in the City Clerk's office or at the meeting at which the item will be considered.

All of the above resolutions and zoning case items have been determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines unless otherwise stated.



Agenda Item No.: 5.A Mtg. Date: 07/20/2021

#### TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: JANELY SANDOVAL, CITY CLERK

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: JUNE 15, 2021 EVENING PLANNING COMMISSION MEETING MINUTES.

DATE: July 20, 2021

**BACKGROUND:** None.

**DISCUSSION:** None.

FISCAL IMPACT: None.

**RECOMMENDATION:** 

Approve as presented.

#### **ATTACHMENTS:**

06.15.2021 PC Regular Meeting Action Minutes.P.docx

#### SPECIAL MEETING OF THE PLANNING COMMISSION CITY OF ROLLING HILLS 6:30 P.M. TUESDAY, JUNE 15, 2021 VIA TELECONFERENCE

#### 1. CALL MEETING TO ORDER

A special meeting of the Planning Commission of the City of Rolling Hills was called to order by Commissioner Cardenas at 6:40 p.m. on Tuesday, June 15, 2021 via teleconference.

#### 2. ROLL CALL

Present:	Commissioners Cardenas, Cooley, and Douglass
Absent:	Vice Chair Kirkpatrick and Chair Chelf
Staff Present:	Meredith T. Elguira, Planning & Community Services Director
	Brian Byun, Assistant City Attorney
	Stephanie Grant, Code Enforcement Officer and Planner
	Barry Miller, Housing Consultant

#### 3. <u>APPROVAL OF THE AGENDA</u>

**MOTION:** Commissioner Cooley motioned to approve the agenda and Commissioner Douglass seconded the motion.

AYES:	COMMISSIONERS: Cardenas, Cooley, and Douglass.
NOES:	COMMISSIONERS: None.
ABSENT:	COMMISSIONERS: Vice Chair Kirkpatrick and Chair Chelf.
ABSTAIN:	COMMISSIONERS: None.

#### 4. <u>PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA</u>

None.

#### 5. <u>APPROVAL OF MINUTES</u>

#### 5A. MAY 18, 2021 FIELD TRIP PLANNING COMMISSION MEETING MINUTES MAY 18, 2021 EVENING PLANNING COMMISSION MEETING MINUTES JUNE 01, 2021 SPECIAL EVENING PLANNING COMMISSION MEETING MINUTES.

**MOTION:** Commissioner Cooley motioned to approve the minutes and Commissioner Douglass seconded the motion.

AYES:	COMMISSIONERS: Cardenas, Cooley, and Douglass.
NOES:	COMMISSIONERS: None.
ABSENT:	COMMISSIONERS: Vice Chair Kirkpatrick and Chair Chelf.
ABSTAIN:	COMMISSIONERS: None.

#### 6. **<u>RESOLUTIONS</u>**

6A. A RESOLUTION APPROVING CONDITIONAL USE PERMIT FOR A PROPOSED TWO-CAR DETACHED GARAGE; VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE AND FOR GRADING EXPORT; AND SITE PLAN REVIEW FOR GRADING FOR DEVELOPED PROPERTY LOCATED AT 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).

Planning and Community Services Director Meredith Elguira presented item and explained resolution reflects the conditions of approval with necessary amendments.

**MOTION:** Commissioner Cooley moved to approve the Resolution No. 2021-09 as amended and Commissioner Douglass seconded the motion.

AYES:COMMISSIONERS: Cardenas, Cooley, and Douglass.NOES:COMMISSIONERS: None.ABSENT:COMMISSIONERS: Vice Chair Kirkpatrick and Chair Chelf.ABSTAIN:COMMISSIONERS: None.

#### 7. <u>PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING.</u>

None.

#### 8. **<u>NEW PUBLIC HEARINGS</u>**

8A. CONSIDER RESOLUTION 2021-08 APPROVING CONDITIONAL USE PERMIT FOR A 1,516 SQUARE FOOT SPORTS COURT; SITE PLAN REVIEW FOR 256 CUBIC YARDS OF GRADING; AND VARIANCE FOR ENCROACHMENT OF THE SPORTS COURT INTO THE REQUIRED SETBACKS LOCATED 75 SADDLEBACK DRIVE, (LOT 68-2-RH) ROLLING HILLS, CA (KIM).

Code Enforcement Officer Stephanie Grant presented the item and explained the applicant's request. She also brought up questions and comments regarding landscaping and surface materials mentioned during the Field Trip in the morning of June 15, 2021. She stated that conditions of approval were added to the proposed project to address the Commissioners' concerns.

Discussion ensued among the Commissioners.

**MOTION:** Commissioner Cooley moved to approve Resolution No. 2021-08 for the purposed sports court as amended and Commissioner Douglass seconded the motion.

AYES:COMMISSIONERS: Cardenas, Cooley, and Douglass.NOES:COMMISSIONERS: None.ABSENT:COMMISSIONERS: Vice Chair Kirkpatrick and Chair Chelf.ABSTAIN:COMMISSIONERS: None.

#### 8B. CONSIDER RESOLUTION 2021-07 APPROVING CONDITIONAL USE PERMIT FOR A PROPOSED 180 SQUARE-FOOT ATTACHED STUDIO RESULTING IN A MIXED USE STRUCTURE; SITE PLAN REVIEW FOR 71.6 CUBIC YARDS OF GRADING; AND VARIANCE FOR IMPORTING 18 CUBIC YARDS OF GRAVEL FOR THE SUBJECT PROPERTY LOCATED AT 2 SPUR LANE, (LOT 12-B-CH) ROLLING HILLS, CA (RAJEWSKI)

Code Enforcement Officer Grant presented the item and explained the applicant's request. She explained that the proposed project is for the approval of the third phase of the project.

Commissioner Cardenas wanted clarification on the number of the resolution.

Code Enforcement Officer and Planner Grant confirmed that the 2021-05 is the Zoning Number and the resolution pertaining to this item is Resolution No. 2021-07.

Commissioner Cooley wanted clarification on: the size increase of the mixed use structure, reasoning behind approved scope of work, and existing foundation.

Code Enforcement Officer Grant clarified the size of the proposed addition, explained that the proposed project is compliant with the Code with the approval of the requests, and confirmed that the existing foundation will remain.

Discussion ensued among the Commissioners.

**MOTION:** Commissioner Cooley motioned to approve Resolution No. 2021-07 approving a Conditional Use Permit for mixed used, Site Plan Review for 71.6 cubic yards of grading and Variance to legalize importation of gravel and Commissioner Douglass seconded the motion.

AYES:COMMISSIONERS: Cardenas, Cooley, and Douglass.NOES:COMMISSIONERS: None.ABSENT:COMMISSIONERS: Vice Chair Kirkpatrick and Chair Chelf.ABSTAIN:COMMISSIONERS: None.

#### 9. **NEW BUSINESS**

None.

#### 10. OLD BUSINESS

None.

#### 11. SCHEDULED FIELD TRIPS

Planning and Community Services Director Elguira stated that field trips would be announced at a later date when projects have been completed.

#### 12. **ITEMS FROM STAFF**

None.

#### 13. ITEMS FROM PLANNING COMMISSION

None.

#### 14. **ADJOURNMENT**

Hearing no further business before the Planning Commission, Commissioner Cardenas adjourned the meeting at 7:05 PM via teleconference.

Next regular meeting: Tuesday, July 13, 2021 at 6:30 p.m. via City's website's link at: https://www.rolling-hills.org/government/agenda/index.php

Join Zoom Meeting via https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFbll FZz09 Meeting ID: 993 4388 2035 Passcode: 647943

Respectfully submitted,

Janely Sandoval, City Clerk

Approved,

Brad Chelf Chairman



City of Rolling Hills INCORPORATED JANUARY 24, 1957

Agenda Item No.: 8.A Mtg. Date: 07/20/2021

#### TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

#### FROM: MEREDITH ELGUIRA, PLANNING DIRECTOR

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: ZONING CASE 21-08: REQUEST FOR VARIANCES FOR ENCROACHMENT INTO THE FRONT YARD SETBACK AND STRUCTURES IN THE FRONT YARD; AND SITE PLAN REVIEW FOR GRADING LOCATED AT 3 OUTRIDER ROAD (HOYLER).

#### DATE: July 20, 2021

#### BACKGROUND: LOCATION AND LOT DESCRIPTION

#### Zoning and Land Size

The property is zoned RAS-1 and has a net lot area of 47,878 square feet. The lot was developed with a 3,000 square-foot single family residence and a 1,347 square-foot attached garage. There are three existing building pads on site with 20 to 30 plus feet difference in elevation. The existing residence, garage and proposed project area are located on the lowest pad (14,917 square feet) in front of the property, the secondary building pad (2,400 square feet) is located mid-point of property approximately 32 feet higher than the primary pad, and the third pad in on the rear approximately 20 feet above the secondary pad. The equestrian set aside is located on the secondary pad. The existing topography of the entire site limits safe buildable area for a swimming pool.

#### **DISCUSSION:**

#### **REQUEST AND PLANNING COMMISSION ACTION Applicant Request**

The applicant is proposing to build: a 740 square foot swimming pool, 80 square foot spa, trellis, barbecue, deck and 367 of non-exempt cubic yards of grading.

#### Variances

The applicant is requesting Variances for: the proposed swimming pool and spa structures to encroach into the front yard approximately 23 feet and for structures to project in the front yard.

#### Site Plan Review

The applicant is requesting a Site Plan Review (SPR) for the proposed 367 cubic yards of non-exempt grading.

#### Structures in the front yard and in the front yard setback

The subject lot has existing structures in the front yard and in the front yard setback. The previous swimming pool and pool equipment were located in front yard and front yard setback. Similarly, the proposed swimming pool and spa are proposed to be located in the front yard and front yard setback. The proposed swimming pool and spa will encroach into the required front yard setback by approximately 23 feet and five feet, respectively. Applicants are requesting to maintain the proposed uses in approximately the same location to allow them to monitor their children while in the swimming pool. The current house is oriented to open into the front yard, where the proposed amenities are going to be located. There are other locations on site for the proposed uses, however, the other locations are on separate building pads located behind the main house and are on much higher elevations. Locating the proposed uses on a higher elevation, behind the residence, eliminates the line of sight to the pool. There is no other viable and safe location for the pool on the primary pad due to the existing topography of the subject site.

#### Non-exempt grading to fill the demolished pool area

Applicants are requesting to use the excavated dirt from the proposed swimming pool area to use as fill for the previous swimming pool that was demolished. The total grading for the project is 807 cubic yards: 437 CY of cut and 367 CY of fill. The 437 CY of excavation for the swimming pool is exempt and could be exported from the site without relief from the Code. Applicants are proposing to use 367 CY to fill the demolished pool area, use in planters and to flatten the front yard area. The remaining 70 cubic yards will be exported. Maximizing the amount of fill on subject property complies with the goals of the General Plan to balance grading on site. Filling the previous pool's excavated area will restore the grade to the more natural elevation of the pad. The proposed grading will not impact site drainage.

#### **Environmental Review**

The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15304 (Minor Alterations to Land) of the CEQA Guidelines, which exempts minor alterations in the condition of land, including but not limited to grading on land with a slope of less than 10 percent. The grading taking place on the property is on land with a slope of less than 10 percent. The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences.

#### **Public Participation**

No calls or letters were received.

#### 17.38.050 - Required Variance findings.

In granting a variance, the Commission (and Council on appeal) must make the following findings:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone;

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;

D. That in granting the variance, the spirit and intent of this title will be observed;

E. That the variance does not grant special privilege to the applicant;

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities; and

G. That the variance request is consistent with the general plan of the City of Rolling Hills.

#### 17.46.050 - Required Site Plan Review findings.

A. The Commission shall be required to make findings in acting to approve, conditionally approve, or deny a site plan review application.

B. No project which requires site plan review approval shall be approved by the Commission, or by the City Council on appeal, unless the following findings can be made:

1. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance;

2. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot;

3. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences;

4. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls);

5. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area;

6. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course;

7. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas;

8. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles; and

9. The project conforms to the requirements of the California Environmental Quality Act.

C. If all of the above findings cannot be made with regard to the proposed project, or cannot be made even with changes to the project through project conditions imposed by City staff and/or the Planning Commission, the site plan review application shall be denied

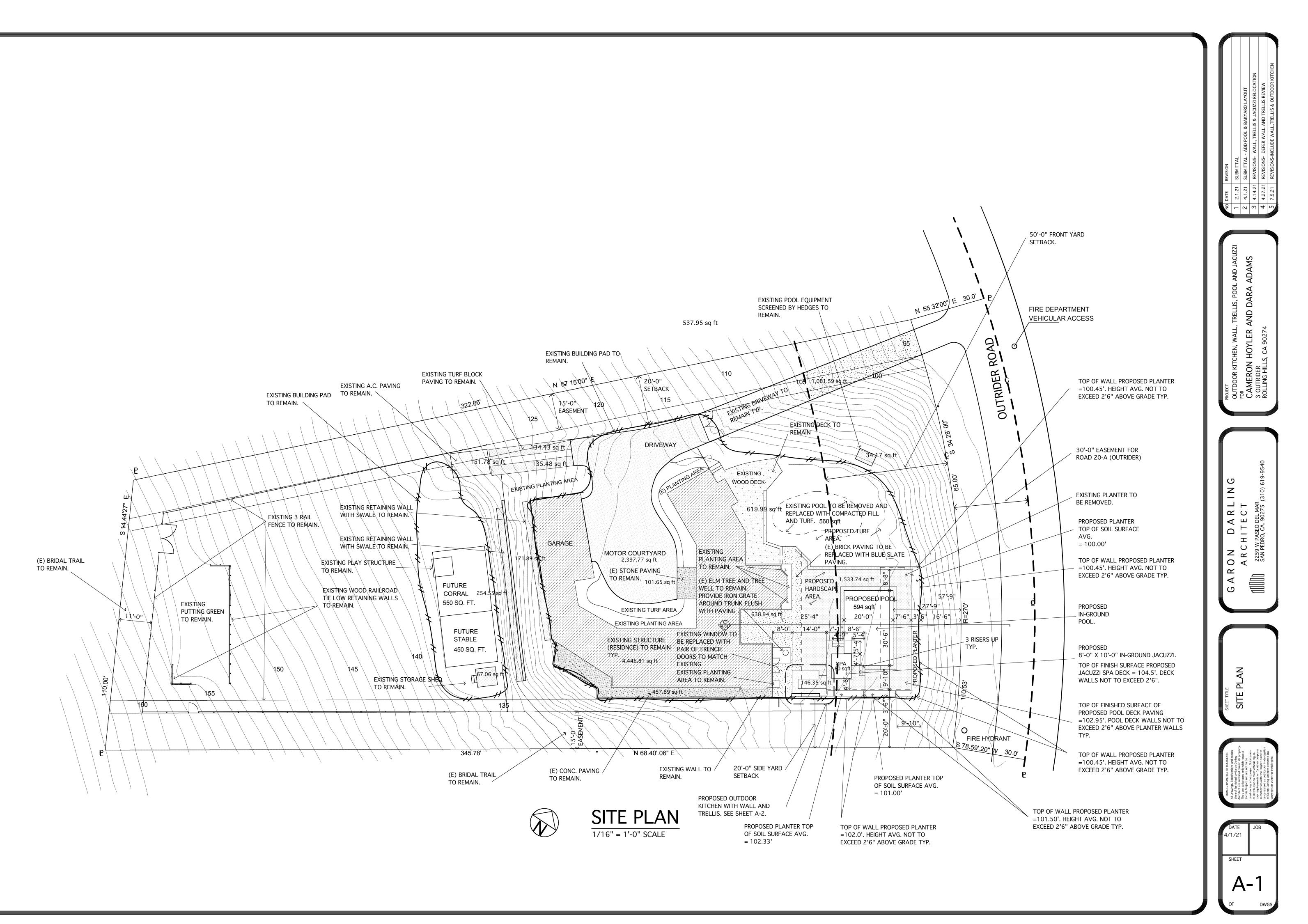
FISCAL IMPACT: NONE.

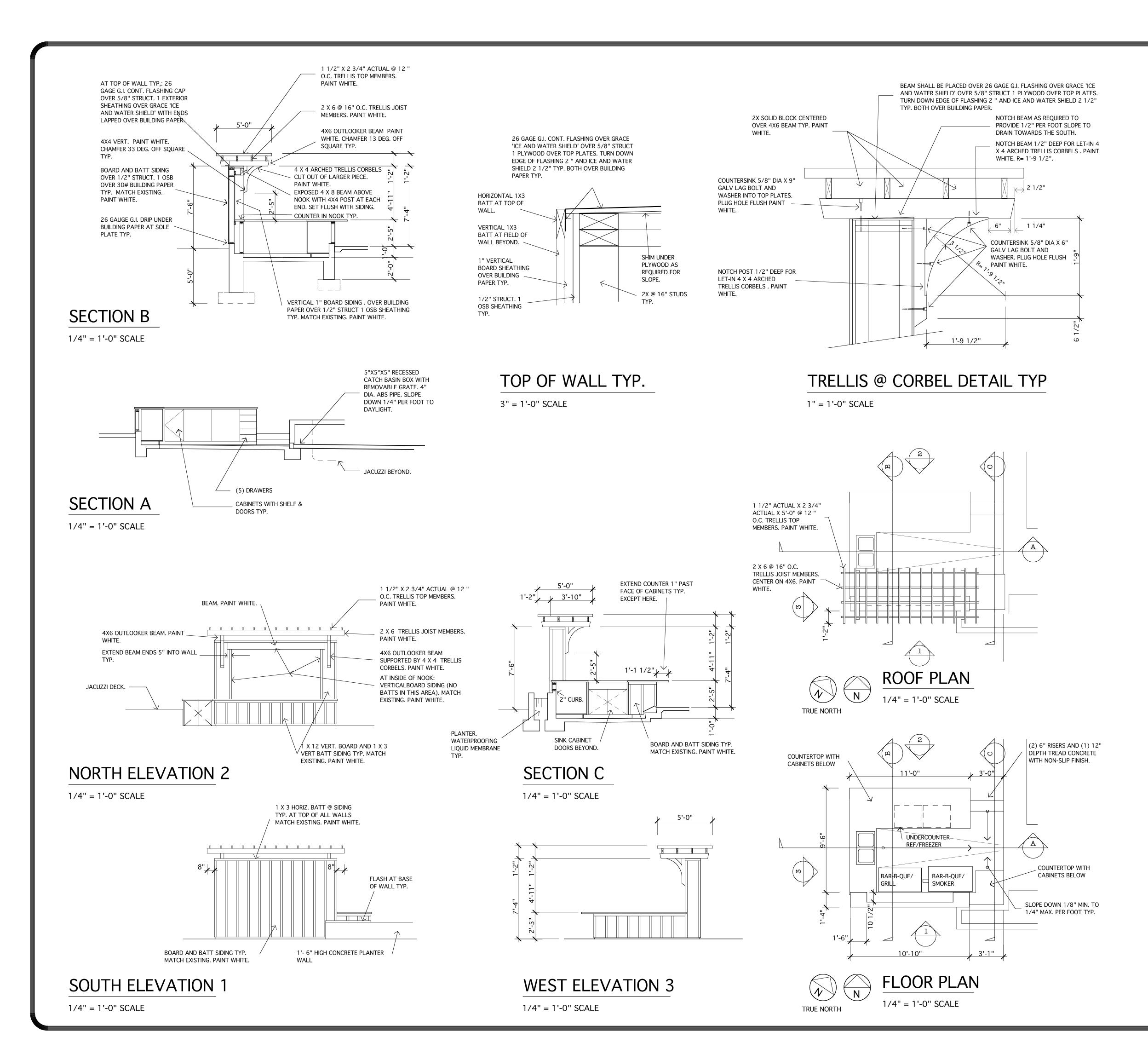
#### **RECOMMENDATION:**

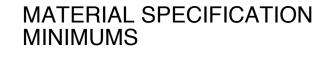
Approve Resolution No. 2021-10 approving Variances for structures in the front yard and front yard setback and Site Plan Review for grading.

#### ATTACHMENTS:

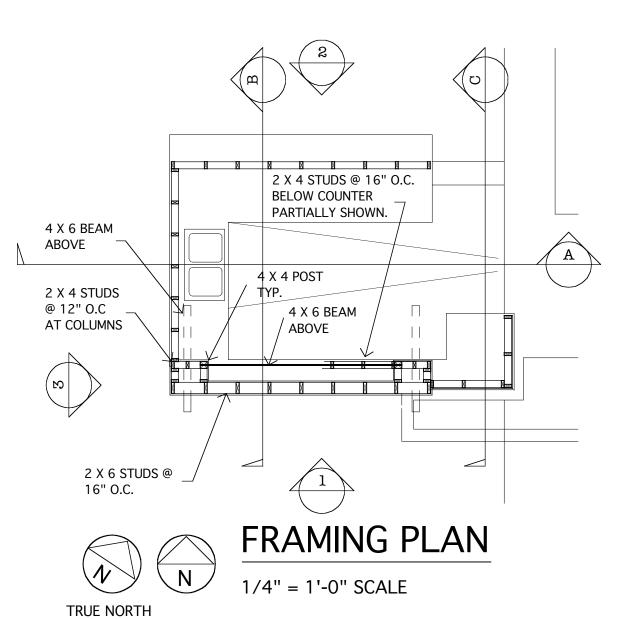
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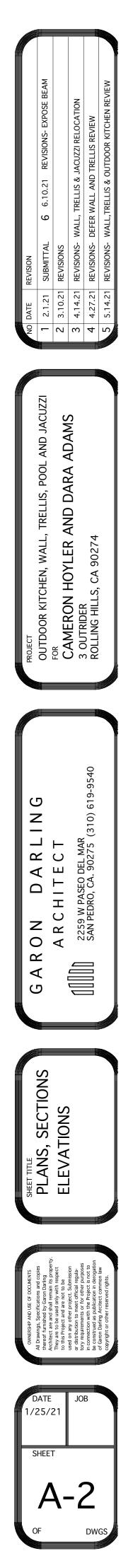


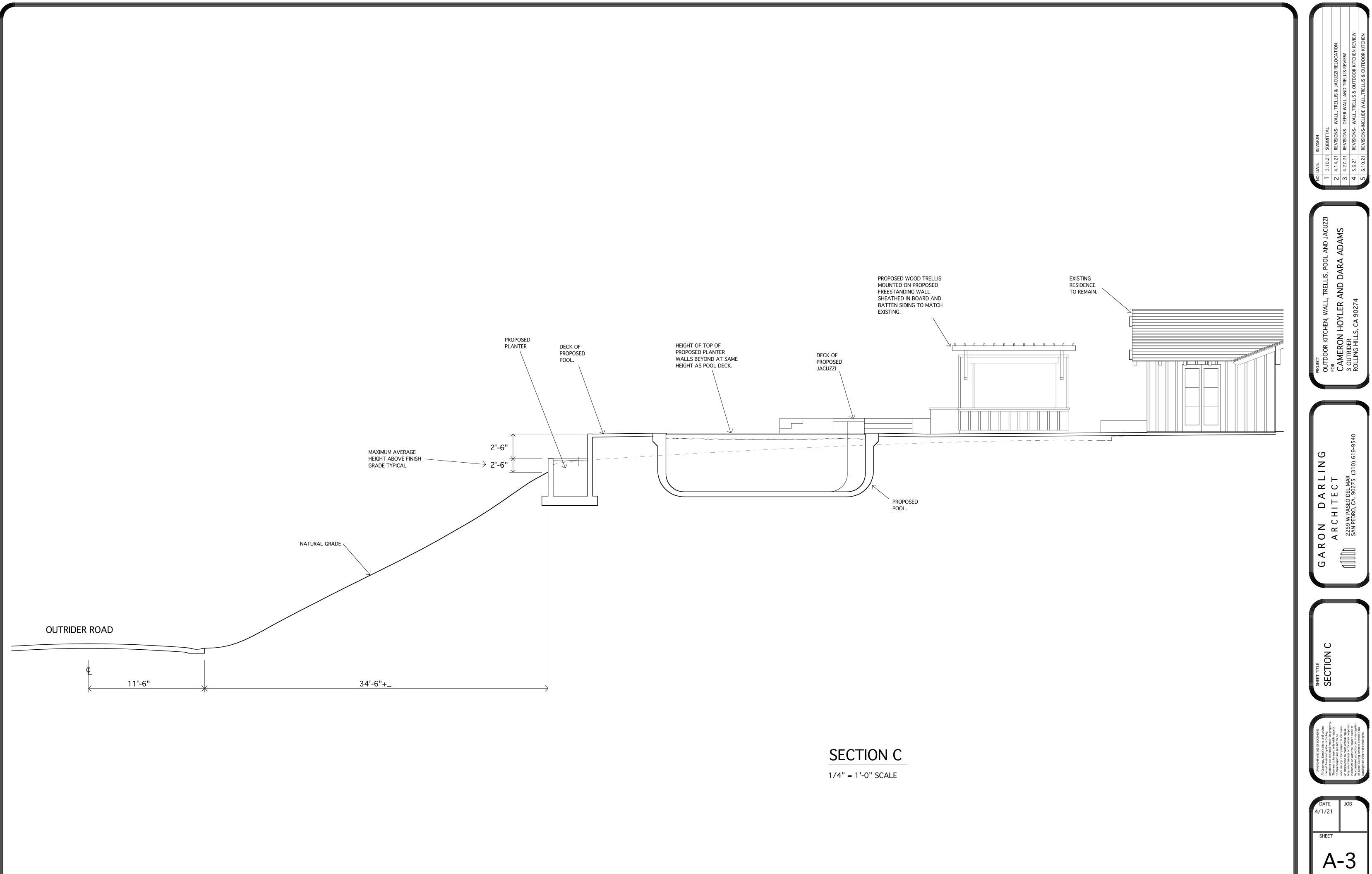




- 1 5" THICK SLAB WITH #4 BAR @ 12" O.C. EACH WAY OVER 2" THICK WASHED SAND OVER 10 MIL WATERPROOF MEMBRANE OVER 2" THICK LAYER OF SAND OVER NATURAL GRADE (OR COMPACTED FILL APPROVED BY GEOTECHNICAL ENGINEER). INSTALL CHAIRS TO ENSURE REBAR OCCURS AT MID-HEIGHT OF SLAB.
- 2 CONCRETE FOR FOOTINGS AND SLABS SHALL BE 2500 PSI @ 28 DAYS MINIMUM, 4" SLUMP MAXIMUM. CEMENT SHALL CONFORM TO ASTM C 150. AGGREGATES SHALL CONFORM TO ASTM C 33 AND C 227.
- 3 CONCRETE SHALL BE PROTCTED FROM HOT WEATHER BY USING METHODS TO REDUCE TEMPERATURES IN THE CONCRETE AND WATER EVAPORATION. SUBMIT ANY ADMIXTURE REQUESTS TO ARCHITECT A MINIMUM OF (7) DAYS PRIOR TO INTENDED POUR.
- 4 CONCRETE SHALL BE PROTCTED FROM WATER EVAPORATION BY BEING KEPT IN A MOIST CONDITION FOR (7) CONTINUOUS DAYS AFTER POUR MINIMUM.
- 5 CONCRETE SHALL BE THROUGHLY CONSOLIDATED DURING PLACEMENT.
- 6 VAPOR BARRIER SHALL CONFORM TO ASTM D 2103, 10 MILS MINIMUM. LAP AND SEAL SPLICES WITH MIN. 2 INCH WIDE WATERPROOF, SELF-ADHERING TAPE.
- 7 REINFORCING STEEL SHALL BE ASTM A 615 OR ASTM A 706 DEFORMED GRADE 40 BILLET STEEL. LAP SPLICES 54" MINIMUM AND STAGGER. 90 DEGREE BENDS SHALL BE MADE WITH 3-3/4" FINISHED BEND DIAMETER FOR #5 BAR. BEND LENGTH SHALL BE 7" FOR #5 BAR
- 8 REINFORCING STEEL BARS SHALL BE SECURED IN PLACE PRIOR TO POUR USING TIE WIRES (ASTM A 82), CHAIRS, SPACERS, AND SUPPORTS (PER ACI-315)

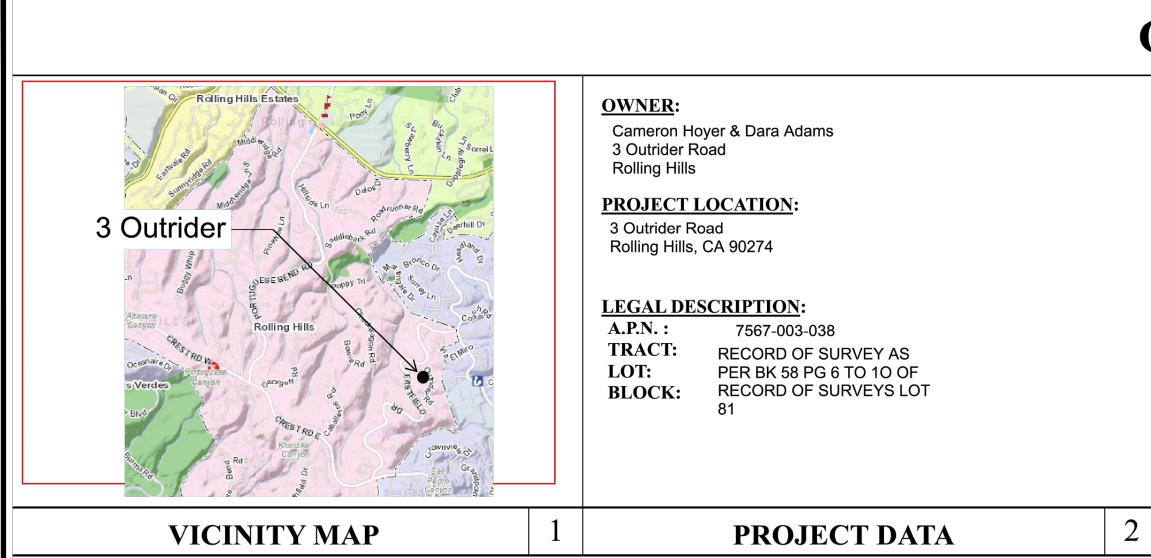






DWGS





#### (General Information) Grading Permit Application No. GRAD\_

	Orading remit Application No.									
•	Earthwork Volumes	Cut <u>0</u>	_(cy), Fill	_(cy)* 🧧	excavation for	pool an	d caissons not shown	INSP	ECTIO	N NOTES
		Over Excavation	on/ Alluvial Removal & (	Compactior	າ	_(cy) *		16.		permittee or ving stages
		Export <u>61</u>	_(cy), Export Location:	TE	3D	*	export quantity show		(a)	Pre-grade
•	Total Disturbed Area0	0.1 acres	_ (Acres) *				for caisson and pool/s excavation	spa	(b)	Initial - Wh
•	Total Proposed Landscape Area	a <u> </u>	Square Feet *				oxouvation		(-)	prepared f
•	Total Turf Area <u>N/A</u> % (Pe	ercent of Total Pr	oposed Landscaping) *							grading, a must be in
•	Total Drought Tolerant Landscap	ping Area <u>N/A</u>	% (Percent of Total	Proposed	Landscaping) *				(c)	Rough - V
•	Pre-Development Impe	ervious area	(Ac	res) * distr	urbed area o	nly				at the top
	Post-Development Impe	ervious area 0.0	06 (2614 sa ft) (Ac	res) * dist	urbed area o	nlv			(d)	<u>Final</u> - W

- evelopment Impervious area <u>U.U0 (2014 SQ II)</u> (Acres) \*
- Waste Discharge Identification Number (WDID #) N/A
- Construction & Demolition Debris Recycling and Reuse Plan (RPP ID) N/A
- Post-construction BMP feature(s) GPS coordinates x \_\_\_\_\_N/A \_\_\_\_, y \_\_\_\_N/A \_\_\_\_\_,

#### (Property Information)

- 3 Outrider Road (If exist \* ) • Tract / Parcel Map No. \_ RECORD OF SURVEY AS PER BK 58 PG 6 TO 10 OF RECORD OF SURVEYS LOT 81
- Property Owner <u>Cameron Hoyer & Dara Adams</u>
- Assessors ID Number(s) 7567-003-038 (Zoning, Regional Planning, and other Agency Information)
- Property Zoning: <u>RAS-1</u>
- Intended Land Use: SINGLE FAMILY RESIDENTIAL
- (For proposed graded areas i.e. ... Single Family Residence ) Certificate of Compliance: CC NO. N/A
- Plot Plan Number: PP NO.
- Conditional Use Permit: CUP NO.\_ Expiration Date
- Oak Tree Permit Number: OTP NO. Expiration Date:
- Community Standards District: California Coastal Commission Area: No Approved volume: Coastal Development Permit CDP
- \_\_\_\_\_Expiration Date: \_\_
- Fish & Wildlife, Army Corp of Engineers, Regional Water Control Board, AQMD & Other Agency Permits should be added as applicable. (Permit Number\_\_\_\_\_\_\_\_\_, Expiration Date\_\_\_\_\_\_) Note: Items marked \* are required on all grading plan.

#### GENERAL NOTES:

- All grading and construction shall conform to the 2020 County of Los Angeles Building Codes and the State Model Water Efficiency Landscape Ordinance unless specifically noted on these plans. Any modifications of or changes to approved grading plans must be approved by the Building Official.
- No grading shall be started without first notifying the Building Official. A Pre-grading meeting at the site is required before the start of the grading with the following people present: Owner, grading contractor, design civil engineer, soils engineer, geologist, County grading inspector(s) or their representatives, and when required the archeologist or other jurisdictional agencies. Permittee or his agent are responsible for arranging Pre-grade meeting and must notify the Building Official at least two business days prior to proposed pre-grade meeting
- Approval of these plans reflect solely the review of plans in accordance with the County of Los Angeles Building Codes and does not reflect any position by the County of Los Angeles or the Department of Public Works regarding the status of any title issues relating to the land on which the improvements may be constructed. Any disputes relating to title are solely a private matter not involving the County of Los Angeles or the Department of Public Works.
- All grading and construction activities shall comply with County of Los Angeles Code, Title 12, Section 12.12.030 that controls and restricts noise from the use of construction and grading equipment from the hours of 8:00 PM to 6:30 AM, and on Sundays and Holidays. (More restrictive construction activity times may govern, as required by the Department of Regional Planning and should be shown on the grading plans when applicable.)
- California Public Resources Code (Section 5097.98) and Health and Safety Code (Section 7050.5) address the discovery and disposition of human remains. In the event of discovery or recognition of any human remains in any location other than a dedicated cemetery, the law requires that grading immediately stops and no further excavation or disturbance of the site, or any nearby area where human remains may be located, occur until the following has been measures have been taken
- a. The County Coroner has been informed and has determined that no investigation of the cause of death is required, and b. If the remains are of Native American origin, the descendants from the deceased Native Americans have made a
- recommendation for the means of treating or disposing, with appropriate dignity, of the human remains and any associated grave goods.

#### 7. The location and protection of all utilities is the responsibility of the Permittee.

- 8. All export of material from the site must go to a permitted site approved by the Building Official or a legal dumpsite. Receipts for acceptance of excess material by a dumpsite are required and must be provided to the Building Official upon
- 9. A copy of the grading permit and approved grading plans must be in the possession of a responsible person and available at the site at all times. 10. Site boundaries, easements, drainage devices, restricted use areas shall be located per construction staking by Field
- Engineer or licensed surveyor. Prior to grading, as requested by the Building Official, all property lines, easements, and restricted use areas shall be staked.
- 11. No grading or construction shall occur within the protected zone of any oak tree as required per Title Chapter 22.56 of the County of Los Angeles Zoning Code. The protected zone shall mean that area within the drip line of an oak tree extending there from a point at least five feet outside the drip line, or 15 feet from the trunk(s) of a tree, whichever is greater
- If an oak tree permit is obtained: (Add the following Note :) All grading and construction within the protected zone of all oak trees shall be per oak tree permit no.
- All recommendations in the permit and associated oak tree report must be complied with and are a part of the grading plan. A copy of the oak tree permit and associated reports shall be maintained in the possession of a responsible person and available at the site at all times.
- 12. The standard retaining wall details shown on the grading plans are for reference only. Standard retaining walls are not checked, permitted, or inspected per the Grading Permit. A separate retaining wall permit is required for all standard retaining walls. Note: This note only applies to standard retaining walls. Geogrid fabric and segmental retaining walls do not require a
- separate retaining wall permit. Details and construction notes for all Geogrid walls must be on the grading plan. 13. A preventive program to protect the slopes from potential damage from burrowing rodents is required per Section J101.8 of the County of Los Angeles Building Code. Owner is to inspect slopes periodically for evidence of burrowing rodents
- and a first evidence of their existence shall employ an exterminator for their removal. 14. Where a grading permit is issued and the Building Official determines that the grading will not be completed prior to November 1, the owner of the site on which the grading is being performed shall, on or before October 1, file or cause to be filed with the Building Official an ESCP per Section J110.8.3 of the County of Los Angeles Building Code.
- 15. Transfer of Responsibility: If the Field Engineer, the Soils Engineer, or the Engineering Geologist of record is changed during grading, the work shall be stopped until the replacement has agreed in writing to accept their responsibility within the area of technical competence for approval upon completion of the work. It shall be the duty of the permittee to notify the Ruilding Official in writing of such change prior to the recor

nent of such aradir

#### building code, all grading permit conditions, and all other applicable ordinances and requirements. at the following website http://dpw.lacounty.gov/bsd/dg/default.aspx. "Report of Grading Activities' uploaded at the website or faxed to (310) 530-5482. Failure to provide required inspection report Work Order.

following stages of the work. (Section J105.7 of the Building Code.)

(a) <u>Pre-grade</u> – Before the start of any earth disturbing activity or construction.

- 19. All graded sites must have drainage swales, berms, and other drainage devices installed prior to ro per Section J105.7 of the County of Los Angeles Building Code.
- 20. The grading contractor shall submit the statement to the grading inspector as required by Section of Los Angeles Building Code at the completion of rough grading.
- 21. Final grading must be approved before occupancy of buildings will be allowed per Section J105 Angeles Building Code.

#### DRAINAGE NOTES

- 22. Roof drainage must be diverted from graded slopes.
- 23. Provisions shall be made for contributory drainage at all times.
- 24. All construction and grading within a storm drain easement are to be done per Private I miscellaneous Transfer Drain MTD No.
- 25. All storm drain work is to be done under continuous inspection by the Field Engineer. Stat 18 and Section J105.11 of the County of Los Angeles Building Code shall include inspect the storm drain installation.

#### AGENCY NOTES (Add - Applicable Notes)

- 26. An encroachment permit from (County of Los Angeles Department of Public V \_) is required for all work within or affecting road right of way. All work conform to (County of Los Angeles Department of Public Works)(CALTRANS) (City of permit
- 27. An encroachment permit /connection permit is required from the County of Los Angeles F within the County of Los Angeles Flood Control District Right of Way. All work shall con Permit.
- 28. Permission to operate in Very High Fire Hazard Severity Zone must be obtained from the
- local Fire Station prior to commencing work. 29. All work within the streambed and areas outlined on grading plans shall conform to:
- Army Corp 404 Permit Number: California Fish & Wildlife Permit No.: \_\_\_\_\_
- 30. All construction/demolition, grading, and storage of bulk materials must comply with the loc Dust. Information on rule 403 is available at AQMD's website http://www.avaqmd.com.

#### GENERAL GEOTECHNICAL NOTES

- 31. All work must be in compliance with the recommendations included in the geotechnical approved grading plans and specifications. 32. Grading operations must be conducted under periodic inspections by the geotechni
- inspection reports to be submitted to the Geology and Soils Section. (900 S. Fremont, Alh 33. The Soil Engineer shall provide sufficient inspections during the preparation of the natural compaction of the fill to be satisfied that the work is being performed in accordance with
- requirements. 34. Rough grading must be approved by a final engineering geology and soils engineering repu
- must be included in the final geology report. Provide a final report statement that verifies with report recommendations and code provisions (Section J105.12 of the County of Los final report(s) must be submitted to the Geotechnical and Materials Engineering Division for 35. Foundation, wall and pool excavations must be inspected and approved by the consultin
- prior to the placing of steel or concrete. 36. Building pads located in cut/fill transition areas shall be over-excavated a minimum of three bottom of footing.

#### FILL NOTES

- 37. All fill shall be compacted to the following minimum relative compaction criteria:
- a. 90 percent of maximum dry density within 40 feet below finish grade. b. 93 percent of maximum dry density deeper than 40 feet below finish grade, unle (not less than 90 percent of maximum dry density) is justified by the geotechnical en
- The relative compaction shall be determined by A.S.T.M. soil compaction test D155 not applicable, a test acceptable to the Building Official shall be used. (Section Angeles Building Code.)
- c. 95 percent of maximum dry density is required for all Fire lanes unless other Department. 38. Field density shall be determined by a method acceptable to the Building Official. (Section
- Angeles Building Code.) However, not less than 10% of the required density test, unif obtained by the Sand Cone Method. 39. Sufficient tests of the fill soils shall be made to determine the relative compaction of
- following minimum guidelines:
- One test for each two-foot vertical lift. b. One test for each 1,000 cubic yards of material placed.
- c. One test at the location of the final fill slope for each building site (lot) in each
- d. One test in the vicinity of each building pad for each four-foot vertical lift or portion thereof.

#### **GRADING AND DRAINAGE PLAN**

 SHEET	DESCRIPTION	
C-0	TITLE SHEET	
C-1	SITE PLAN	
C-2	GRADING AND DRAINAGE PLA	N
C-3	SECTION DETAIL	
	SHEET INDEX	3

#### 16. The permittee or his agent shall notify the Building Official at least one working day in advance of required inspections at

ool/spa	(a) <u>Pre-grade</u> – Before the start of any earth disturbing activity or construction.			
	(b) <u>Initial</u> - When the site has been cleared of vegetation and unapproved fill has been scarified, benched or otherwise prepared for fill. Fill shall not be placed prior to this inspection. Note: Prior to any construction activities, including grading, all storm water pollution prevention measures including erosion control devices which contain sediments must be installed.			
	(c) <u>Rough</u> - When approximate final elevations have been established; drainage terraces, swales and berms installed at the top of the slope; and the statements required in this Section have been received.			
	(d) <u>Final</u> - When grading has been completed; all drainage devices installed; slope planting established, irrigation systems installed and the As-Built plans, required statements, and reports have been submitted and approved.			
17.	In addition to the inspection required by the Building Official for grading, reports and statements shall be submitted to the Building Official in accordance with Section J105 of the County of Los Angeles Building Code.			
18.	Unless otherwise directed by the Building Official, the Field Engineer for all engineered grading projects shall prepare routine inspection reports as required under Section J105.11 of the County of Los Angeles Building Code. These reports, known as "Report of Grading Activities", shall be submitted to the Building Official as follows:			
	1. Bi-weekly during all times when grading of 400 cubic yards or more per week is occurring on the site;			
	<ol> <li>Monthly, at all other times; and</li> <li>at any time when requested in writing by the Building Official.</li> </ol>			
	Such "Report of Grading Activities" shall certify to the Building Official that the Field Engineer has inspected the grading site and related activities and has found them in compliance with the approved grading plans and specifications, the building code, all grading permit conditions, and all other applicable ordinances and requirements. This form is available at the following website <a href="http://dpw.lacounty.gov/bsd/dg/default.aspx">http://dpw.lacounty.gov/bsd/dg/default.aspx</a> . "Report of Grading Activities" may be scanned and uploaded at the website or faxed to (310) 530-5482. Failure to provide required inspection reports will result in a "Stop Work Order."			
19.	All graded sites must have drainage swales, berms, and other drainage devices installed prior to rough grading approval per Section J105.7 of the County of Los Angeles Building Code.			
20.	The grading contractor shall submit the statement to the grading inspector as required by Section J105.12 of the County of Los Angeles Building Code at the completion of rough grading.			
21.	Final grading must be approved before occupancy of buildings will be allowed per Section J105 of the County of Los Angeles Building Code.			
			Best Management Practice Notes (BMP Notes) to be added	to all Grading Plans
	DRAINAGE NOTES	40. Sufficient tests of fill soils shall be made to verify that the soil properties comply with the design requirements, as	BEST MANAGEMENT PRACTICE NOTES:	
	<ul><li>Roof drainage must be diverted from graded slopes.</li><li>Provisions shall be made for contributory drainage at all times.</li></ul>	determined by the Soil Engineer including soil types, shear strengths parameters and corresponding unit weights in accordance with the following guidelines:	1. Every effort should be made to eliminate the discharge o	
	<ol> <li>All construction and grading within a storm drain easement are to be done per Private Drain PD No or miscellaneous Transfer Drain MTD No</li> </ol>	a. Prior and subsequent to placement of the fill, shear tests shall be taken on each type of soil or soil mixture to be used for all fill slopes steeper than three (3) horizontal to one vertical.	<ol><li>Eroded sediments and other pollutants must be retained swales, area drains, natural drainage courses or wind.</li></ol>	on-site and may not
	<ol> <li>All storm drain work is to be done under continuous inspection by the Field Engineer. Status reports required under note 18 and Section J105.11 of the County of Los Angeles Building Code shall include inspection information and reports on the storm drain installation.</li> </ol>	b. Shear test results for the proposed fill material must meet or exceed the design values used in the geotechnical report to determine slope stability requirements. Otherwise, the slope must be reevaluated using the actual shear test value of the fill material that is in place.	<ol> <li>Stockpiles of earth and other construction related materia forces of wind or water.</li> <li>Eucls, oils, solvents, and other toxic materials must be solvents.</li> </ol>	·
		c. Fill soils shall be free of deleterious materials.	<ol> <li>Fuels, oils, solvents, and other toxic materials must be s the soil and surface waters. All approved storage cor cleaned up immediately and disposed of in a proper man</li> </ol>	ntainers are to be pro
	<u>AGENCY NOTES</u> (Add - Applicable Notes) 26. An encroachment permit from (County of Los Angeles Department of Public Works) (CALTRANS) (City of	41. Fill shall not be placed until stripping of vegetation, removal of unsuitable soils, and installation of subdrain (if any) have been inspected and approved by the Soil Engineer. The Building Official may require a "Standard Test Method for	5. Excess or waste concrete may not be washed into the	e public way or any of
	) is required for all work within or affecting road right of way. All work within Road right of way shall conform to (County of Los Angeles Department of Public Works)(CALTRANS) (City of) encroachment permit.	moisture, ash, organic matter, peat or other organic soils" ASTM D-2974-87 on any suspect material. Detrimental amounts of organic material shall not be permitted in fills. Soil containing small amounts of roots may be allowed provided that the roots are in a quantity and distributed in a manner that will not be detrimental to the future use of the	<ul><li>made to retain concrete wastes on-site until they can be</li><li>6. Trash and construction related solid wastes must be de rainwater and dispersal by wind.</li></ul>	
	27. An encroachment permit /connection permit is required from the County of Los Angeles Flood Control District for all work within the County of Los Angeles Flood Control District Right of Way. All work shall conform to conditions set by the Permit.	site and the soils engineer approves the use of such material. 42. Rock or similar material greater than 12 inches in diameter shall not be placed in the fill unless recommendations for such placement have been submitted by the Soil Engineer and approved in advance by the Building Official. Location, extent, and elevation of rock disposal areas must be shown on an "As Built" grading plan.	<ol> <li>Sediments and other materials may not be tracked from must be stabilized so as to inhibit sediments from being swept up immediately and may not be washed down by r</li> </ol>	g deposited into the p
	28. Permission to operate in Very High Fire Hazard Severity Zone must be obtained from the Fire Prevention Bureau or the local Fire Station prior to commencing work.	43. Continuous inspection by the Soil Engineer, or a responsible representative, shall be provided during all fill placement	<ol> <li>Any slopes with disturbed soils or denuded of vegetation</li> </ol>	
	<ul> <li>All work within the streambed and areas outlined on grading plans shall conform to:</li> <li>Army Corp 404 Permit Number:</li> </ul>	and compaction operations where fills have a depth greater than 30 feet or slope surface steeper than 2:1. (Section J107.8 of the County of Los Angeles Building Code)	<ol> <li>"I certify that this document and all attachments were p system designed to ensure that qualified personnel prop</li> </ol>	
	California Fish & Wildlife Permit No.:	<ol> <li>Continuous inspection by the Soil Engineer, or a responsible representative, shall be provided during all subdrain installation. (Section J107.2 of the County of Los Angeles Building Code)</li> </ol>	inquiry of the person or persons who manage the sy information, to the best of my knowledge and belief, th	ystem or those perse he information submi
	<ol> <li>All construction/demolition, grading, and storage of bulk materials must comply with the local AQMD rule 403 for Fugitive Dust. Information on rule 403 is available at AQMD's website <u>http://www.avaqmd.com</u>.</li> </ol>	<ul> <li>45. All subdrain outlets are to be surveyed for line and elevation. Subdrain information must be shown on an "As Built" grading plan.</li> <li>46. Fill slopes in excess of 2:1 steepness ratio are to be constructed by the placement of soil at sufficient distance beyond</li> </ul>	aware that submitting false and/ or inaccurate informat failing to properly and/ or adequately implement the ES other sanctions provided by law."	
	GENERAL GEOTECHNICAL NOTES	the proposed finish slope to allow compaction equipment to be operated at the outer limits of the final slope surface. The excess fill is to be removed prior to completion of rough grading. Other construction procedures may be used when it is a structure that the surface fills of the Deliver Official that the surface that is a structure of the deliver of the deliv	Print Name(Owner or authorized agent of the ov	wner)
	31. All work must be in compliance with the recommendations included in the geotechnical consultant's report(s) and the approved grading plans and specifications.	demonstrated to the satisfaction of the Building Official that the angle of slope, construction method and other factors will have equivalent effect. (Section J107.5 of the County of Los Angeles Building Code.)		Data
	32. Grading operations must be conducted under periodic inspections by the geotechnical consultants with monthly inspection reports to be submitted to the Geology and Soils Section. (900 S. Fremont, Alhambra CA 91803 – 3rd Floor)	PLANTING AND IRRIGATION NOTES:	Signature (Owner or authorized agent of the ov	Date wwner)
	33. The Soil Engineer shall provide sufficient inspections during the preparation of the natural ground and the placement and compaction of the fill to be satisfied that the work is being performed in accordance with the plan and applicable Code requirements.	<ul> <li>47. Planting and irrigation on graded slopes must comply with the following minimum guidelines:</li> <li>a. The surface of all cut slopes more than 5 feet in height and fill slopes more than 3 feet in height shall be protected against damage by erosion by planting with grass or groundcover plants. Slopes exceeding 15 feet in vertical</li> </ul>	The following BMPs as outlined in, but not limited to, the lates <u>Caltrans Stormwater Quality Handbooks (Construction Site B</u> (additional measures may be required if deemed appropriate by	<u>BMP Manual)</u> , may ap
	34. Rough grading must be approved by a final engineering geology and soils engineering report. An As-Built Geologic Map must be included in the final geology report. Provide a final report statement that verifies work was done in accordance with the solution of the solution of the solution.	height shall also be planted with shrubs, spaced at not to exceed 10 feet on centers; or trees, spaced at not to exceed 20 feet on centers, or a combination of shrubs and trees at equivalent spacing, in addition to the grass or	EROSION CONTROL	EQUIPMENT TR
	with report recommendations and code provisions (Section J105.12 of the County of Los Angeles Building Code). The final report(s) must be submitted to the Geotechnical and Materials Engineering Division for review and approval.	groundcover plants. The plants selected and planting methods used shall be suitable for the soil and climatic conditions of the site. Plant material shall be selected which will produce a coverage of permanent planting	EC1 – SCHEDULING EC2 – PRESERVATION OF EXISTING VEGETATION	TC1 – STABILIZ TC2 – STABILIZ
	35. Foundation, wall and pool excavations must be inspected and approved by the consulting geologist and soil engineer, prior to the placing of steel or concrete.	effectively controlling erosion. Consideration shall be given to deep-rooted planting material needing limited watering, maintenance, high root to shoot ratio, wind susceptibility and fire-retardant characteristics. All plant materials must be approved by the building official. (Section J110.3 of the County of Los Angeles Building Code)	EC3 – HYDRAULIC MULCH EC4 – HYDROSEEDING EC5 – SOIL BINDERS	TC3 – ENTRAN
	36. Building pads located in cut/fill transition areas shall be over-excavated a minimum of three (3) feet below the proposed bottom of footing.	<b>Note:</b> Planting may be modified for the site if specific recommendations are provided by both the Soils Engineer and a Landscape Architect. Specific recommendations must consider soils and climatic conditions, irrigation	EC6 – STRAW MULCH EC7 – GEOTEXTILES & MATS	NON-STORMW
	FILL NOTES	requirements, planting methods, fire retardant characteristics, water efficiency, maintenance needs, and other regulatory requirements. Recommendations must include a finding that the alternative planting will provide a	EC8 – WOOD MULCHING EC9 – EARTH DIKES AND DRAINAGE SWALES	NS1 – WATER ( NS2 – DEWATE
	37. All fill shall be compacted to the following minimum relative compaction criteria:	permanent and effective method of erosion control. Modifications to planting must be approved by the Building Official prior to installation.	EC10 – VELOCITY DISSIPATION DEVICES EC11 – SLOPE DRAINS EC12 – STREAMBANK STABILIZATION	NS3 – PAVING / NS4 – TEMPOR
	a. 90 percent of maximum dry density within 40 feet below finish grade.	b. Slopes required to be planted by Section J110.3 shall be provided with an approved system of irrigation that is designed to cover all portions of the slope. Irrigation system plans shall be submitted and approved prior to	EC12 – STREARVED EC13 – RESERVED EC14 – COMPOST BLANKETS	NS5 – CLEAR V NS6 – ILLICIT C NS7 – POTABLI
	<ul> <li>b. 93 percent of maximum dry density deeper than 40 feet below finish grade, unless a lower relative compaction (not less than 90 percent of maximum dry density) is justified by the geotechnical engineer.</li> </ul>	installation. A functional test of the system may be required. For slopes less than 20 feet in vertical height, hose bibs to permit hand watering will be acceptable if such hose bibs are installed at conveniently accessible locations	EC15 – SOIL PREPARATION\ROUGHENING EC16 – NON-VEGETATED STABILIZATION	NS7 – POTABLE NS8 – VEHICLE NS9 – VEHICLE
	The relative compaction shall be determined by A.S.T.M. soil compaction test D1557-91 where applicable: Where not applicable, a test acceptable to the Building Official shall be used. (Section J107.5 of the County of Los Angeles Building Code.)	where a hose no longer than 50 feet is necessary for irrigation. The requirements for permanent irrigation systems may be modified upon specific recommendation of a landscape architect or equivalent authority that, because of the type of plants selected, the planting methods used and the soil and climatic conditions at the site, irrigation will	TEMPORARY SEDIMENT CONTROL	NS10 – VEHICL NS11 – PILE DF NS12 – CONCR
	<ul> <li>95 percent of maximum dry density is required for all Fire lanes unless otherwise approved by the Fire Department.</li> </ul>	not be necessary for the maintenance of the slope planting. (Section J110.4 of the County of Los Angeles Building Code)	SE1 – SILT FENCE SE2 – SEDIMENT BASIN	NS13 – CONCR NS14 – MATERI
	38. Field density shall be determined by a method acceptable to the Building Official. (Section J107.5 of the County of Los Angeles Building Code.) However, not less than 10% of the required density test, uniformly distributed, and shall be obtained by the Sand Cone Method.	c. Other governmental agencies may have additional requirements for landscaping and irrigation. It is the responsibility of the applicant to coordinate with other agencies to meet their requirements while maintaining compliance with the County of Los Angeles Building Code.	SE3 – SEDIMENT TRAP SE4 – CHECK DAM SE5 – FIBER ROLLS SE6 – GRAVEL BAG BERM	NS15 – DEMOL NS16 – TEMPO WASTE MANAO
	39. Sufficient tests of the fill soils shall be made to determine the relative compaction of the fill in accordance with the	48. The planting and irrigation systems shall be installed as soon as practical after rough grading. Prior to final grading approval all required slope planting must be well established. (Section J110.7 of the County of Los Angeles Building	SE7 – STREET SWEEPING AND VACUUMING SE8 – SANDBAG BARRIER	CONTRO
	following minimum guidelines: a. One test for each two-foot vertical lift.	Code) 49. Landscape irrigation system shall be designed and maintained to prevent spray on structures. (Title 31, Section	SE9 – STRAW BALE BARRIER SE10 – STORM DRAIN INLET PROTECTION SE11 – ACTIVE TREATMENT SYSTEMS	WM1 – MATERI WM2 – MATERI
	b. One test for each 1,000 cubic yards of material placed.	5.407.2.1)	SE12 – TEMPORARY SILT DIKE SE13 – COMPOST SOCKS & BERMS	WM3 – STOCKF WM4 – SPILL PI WM5 – SOLID V
	c. One test at the location of the final fill slope for each building site (lot) in each four-foot vertical lift or portion thereof.	50. Prior to rough grade approval this project requires a landscape permit. Landscape plans in compliance with the "Model Water Efficient Landscape Ordinance" Title 23, Chapter 2.7 of California Code of Regulations (AB 1881) must be	SE14 – BIOFILTER BAGS	WM5 – SOLID V WM6 – HAZARE WM7 – CONTAN
	d. One test in the vicinity of each building pad for each four-foot vertical lift or portion thereof.	submitted to the Department of Public Works, Land Development Division. (900 S. Fremont Ave, Alhambra - 3RD Floor, CA 91803 (626) 458-4921). To obtain Landscape permit approved plans and Water Purveyor acknowledgment form muct be submitted to the local Building and Sofety office.		WM8 – CONCRI WM9 – SANITAI

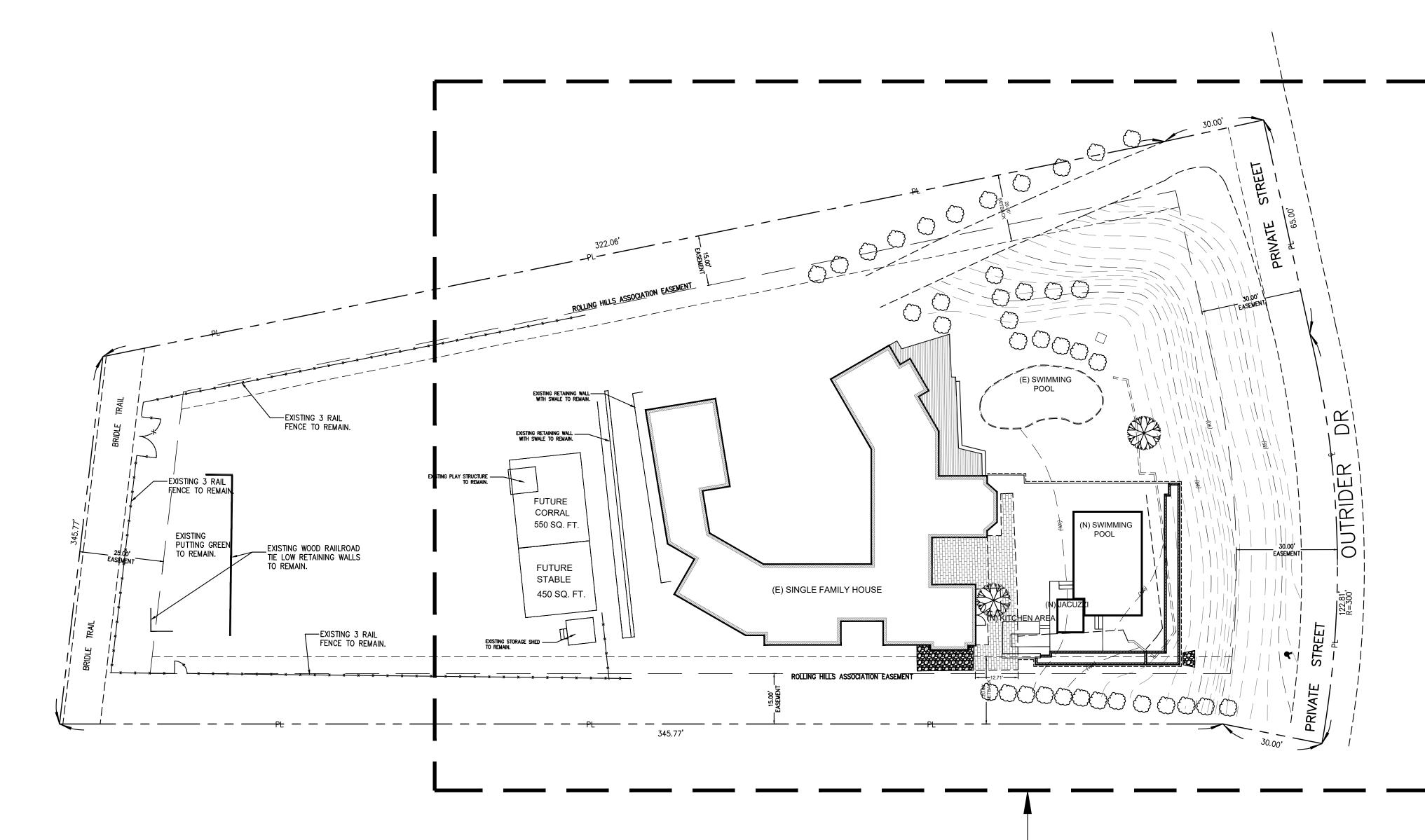
#### **GRADING NOTES AND PROJECT INFORMATION**

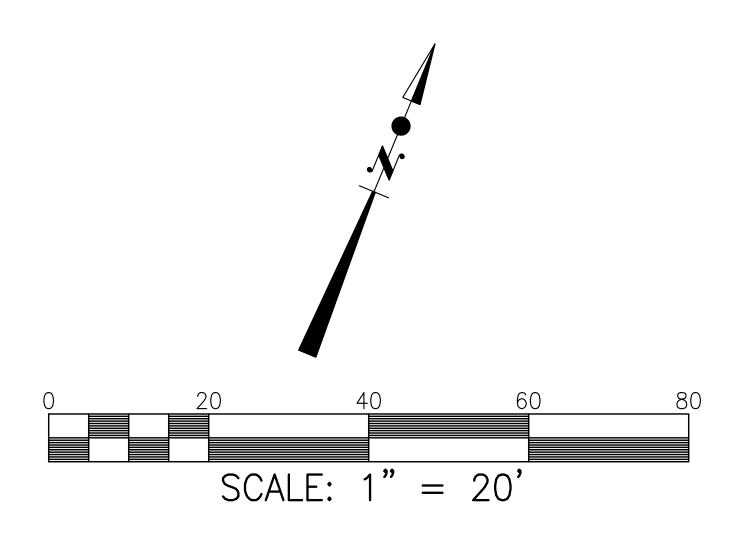
must be submitted to the local Building and Safety office.

WE1 - WIND EROSION CONTROL

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all Grading Plans	AIN tride
n-stormwater from the project site at all times.	GRADI GRADI DRAINA <b>3 Outrider Rolling Hi</b>
-site and may not be transported from the site via sheet flow,	
must be protected from being transported from the site by the ed in accordance with their listing and are not to contaminate	PROJECT
ners are to be protected from the weather. Spills must be Spills may not be washed into the drainage system. blic way or any other drainage system. Provisions shall be	PR
posed of as solid waste. sited into a covered receptacle to prevent contamination of	
e site by vehicle traffic. The construction entrance roadways posited into the public way. Accidental depositions must be or other means.	
st be stabilized so as to inhibit erosion by wind and water. ared under my direction or supervision in accordance with a	STAMP
gather and evaluate the information submitted. Based on my im or those persons directly responsible for gathering the information submitted is true, accurate, and complete. I am failing to update the ESCP to reflect current conditions, or may result in revocation of grading and/ or other permits or	$ST_{\ell}$
may result in revocation of grading and/ or other permits or	
Date	
dition of the <u>CASQA Construction BMP Online Handbook or</u> <u>Manual)</u> , may apply during the construction of this project Project Engineer or the Building Official)	
EQUIPMENT TRACKING CONTROL TC1 – STABILIZED CONSTRUCTION ENTRANCE EXIT	
TC2 – STABILIZED CONSTRUCTION ROADWAY TC3 – ENTRANCE/OUTLET TIRE WASH	
NON-STORMWATER MANAGEMENT NS1 – WATER CONSERVATION PRACTICES NS2 – DEWATERING OPERATIONS	
NS3 – PAVING AND GRINDING OPERATIONS NS4 – TEMPORARY STREAM CROSSING NS5 – CLEAR WATER DIVERSION NS6 – ILLICIT CONNECTION/DISCHARGE	
NS7 – POTABLE WATER/IRRIGATION NS8 – VEHICLE AND EQUIPMENT CLEANING NS9 – VEHICLE AND EQUIPMENT FUELING NS10 – VEHICLE AND EQUIPMENT MAINTENANCE	ED BY
NS11 – PILE DRIVING OPERATIONS NS12 – CONCRETE CURING NS13 – CONCRETE FINISHING NS14 – MATERIAL AND EQUIPMENT USE	PREPARED BY
NS15 – DEMOLITION ADJACENT TO WATER NS16 – TEMPORARY BATCH PLANTS WASTE MANAGEMENT & MATERIAL POLLUTION	DATE: 06-21-2021
CONTROL WM1 – MATERIAL DELIVERY AND STORAGE WM2 – MATERIAL USE	JOB NO.: SCALE: AS SHOWN
WM3 – STOCKPILE MANAGEMENT WM4 – SPILL PREVENTION AND CONTROL WM5 – SOLID WASTE MANAGEMENT WM6 – HAZARDOUS WASTE MANAGEMENT	DRAWN: HP INDEX
WM7 – CONTAMINATION SOIL MANAGEMENT WM8 – CONCRETE WASTE MANAGEMENT WM9 – SANITARY/SEPTIC WASTE MANAGEMENT WM10 – LIQUID WASTE MANAGEMENT	C-0
	SHEET - OF - SHEETS

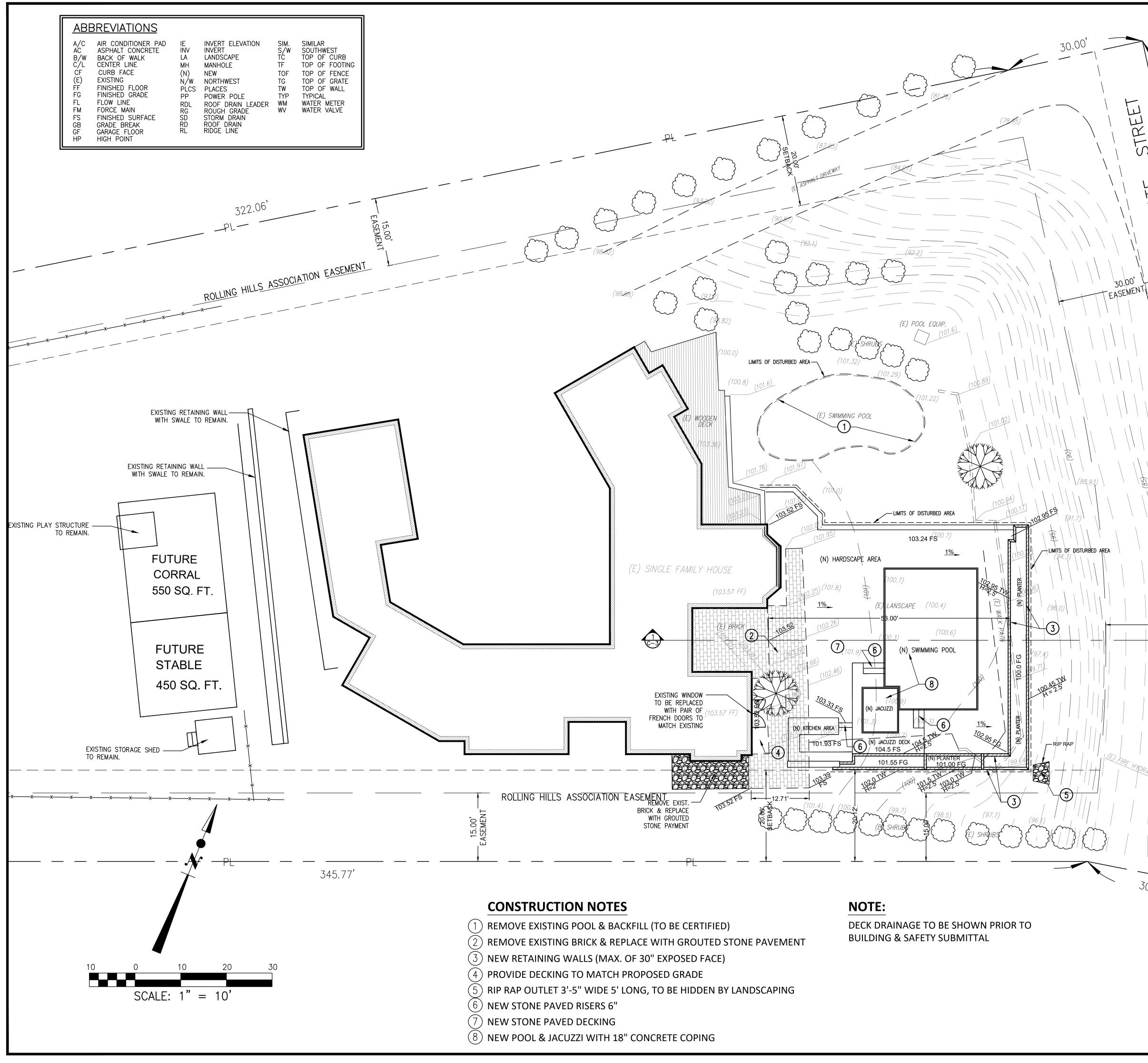
ABBREVIATIONS				
A/C AIR CONDITIONER PAD AC ASPHALT CONCRETE B/W BACK OF WALK C/L CENTER LINE CF CURB FACE (E) EXISTING FF FINISHED FLOOR FG FINISHED GRADE FL FLOW LINE FM FORCE MAIN FS FINISHED SURFACE GB GRADE BREAK GF GARAGE FLOOR HP HIGH POINT	IE INV LA MH (N) PLCS PP RD RD RD RD RD RL	INVERT ELEVATION INVERT LANDSCAPE MANHOLE NEW NORTHWEST PLACES POWER POLE ROOF DRAIN LEADER ROUGH GRADE STORM DRAIN ROOF DRAIN RIDGE LINE	SIM. S/W TC TF TG TW TYP WM WV	SIMILAR SOUTHWEST TOP OF CURB TOP OF FOOTING TOP OF FENCE TOP OF GRATE TOP OF WALL TYPICAL WATER METER WATER VALVE





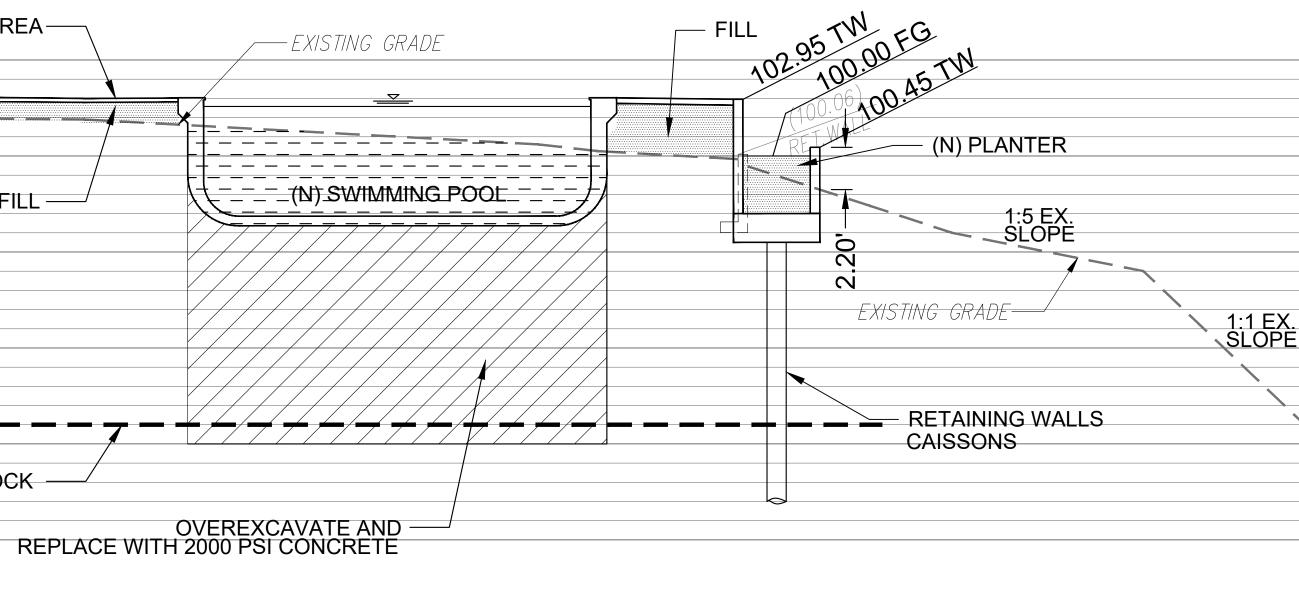


PROPERTY LINE CENTER LINE EXISTING ELEVATION NEW ELEVATION (N) CONC.BLK.WALL. (E) BRICK PATIO	CLENT     CLENT     DATE     DATE	
		Rolling Hills, CA 90274
	AR CHARGE SHEET - OF - SH	HEETS



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ATTING ELEVATION 100.00 NEW ELEVATION (N) CONC.BLK.WALL. (E) BRICK PATIO	CLIENT     REVISIONS       Cameron Hoyer & Dara Adams     Revisions       3 Outrider Road     Hills       Rolling Hills     Hills
DER DR	GRADING AND       Camero         GRADING AND       Camero         DRAINAGE PLAN       3 Outric         3 Outrider Road       3 Outric         Rolling Hills, CA 90274       Rolling
	STAMP PROJECT
PRIVATE STREET	DATE:       07-09-2021         JOB NO.:       SCALE:         SCALE:       AS SHOWN         DRAWN:       HP         INDEX       INDEX
	C-2 Sheet - of - sheets

EXIST. BUILDING (103.57 FF)	REMOVE BRICK & REPLACE W/ (N) STONE PAVING (N) HARDSCAPE AREA (E) BRICK (E) BRICK (E) BRICK
	FiLL -
	BEDROCK -



 SECTION
 1

 SCALE: 1' = 5'
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	-105 	CLENT     CLENT     DATE     DATE     DATE     DATE     DATE     DATE     DATE       Cameron Hoyer & Dara Adams     Revisions     Mevisions     Mevisions     Mevisions     Mevisions       3 Outrider Road     Mevisions     Mevisions     Mevisions     Mevisions     Mevisions       3 Outrider Road     Mevisions     Mevisions     Mevisions     Mevisions     Mevisions       Rolling Hills     Mevisions     Mevisions     Mevisions     Mevisions     Mevisions
X. E OUTRIDER DRIVE	95 90 85 80	PROJECT CARDING AND CRADINGE PLAN DRAINAGE PLAN 3 Outrider Road Rolling Hills, CA 90274
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		INDEX DITE: 07-09-2021 JOB NO: SCALE: AS SHOWN DRAWN: HP INDEX C-3 SHEET - OF - SHEETS

#### RELOCATED POOL, NEW OUTDOOR KITCHEN WITH WALL AND TRELLIS, POOL DECK PAVING, AND A PAIR OF FRENCH DOORS ADDED TO AN EXISITING ONE-**STORY SINGLE FAMILY RESIDENCE.**

#### FOR THE

### CAMERON HOYLER AND DARA ADAMS

**AT THE PROJECT ADDRESS:** 

## **3 OUTRIDER ROLLING HILLS, CA 90274**

СС	DNS	SULTANTS	NON-CONSULTANTS		Ρ		NN
			*CIVIL AND *LANDSCAPING CIVIL AND LANDSCAPE SHEETS LISTED ON THIS TITLE SHEET ARE SHOWN FOR CLARIFICATION PURPOSES ONLY AS AN ADDITIONAL, STAND ALONE PART OF THE SUBMITTAL. THE INFORMATION CONTAINED ON THESE SHEETS DESCRIBES WORK THAT WAS NOT UNDER THE SUPERVISION OR PURVIEW OF THE ARCHITECT AND SHALL NOT BE CONSIDERED UNDER THE AUTHORITY/RESPONSIBILITY OF THE ARCHITECT.	ZONING DIST RESIDENCE LIVING GARAG SWIMM POOL E SHED OUTDO WALL & POOL E	AREA SE & SI ING P( EQUIPN OR KI & TREL	HOP AI DOL/SF MENT ICHEN LIS	REA PA
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	T1	TITLE SHEET, INDEX OF DRAV	/INGS, VICINITY MAP, GENERAL NOTES, CODE IN	FORMATION	1		
URAL	A-1	SITE PLAN			2	*	L-10
1 2	A-2	PLANS, SECTIONS, ELEVATIO	NS & DETAILS OF OUTDOOR KITCHEN, WALL & TH	RELLIS	3	U V	L-10
	A-3	SECTION THROUGH FRONT Y	ARD		4	<b>I</b>	L-10
	A-3	ELEVATIONS			5	U A	L-10
CH						DS	L-10
ARCHITECT						ANDSCAPING*	L-10
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*.	C-0	GRADING NOTES AND PROJE	CT INFORMATION		6	1	
CIVIL	C-1	GRADING AND DRAINAGE PLA	N		7	1	
C	C-2	GRADING AND DRAINAGE PLA	N		8	1	
	C-2	SECTION			9	1	
						1	
						1	
						1	
						1	

12. The Contractor shall provide all materials and work required to provide a finish to all new work exposed to the interior or exterior provided in this contract. This shall include two finish coats of paint over base coat at all paintable surfaces. Entire surface of existing surfaces shall be painted when

any portion is disturbed by work.

**GENERAL NOTES (CONTINUED)** 

#### **IING DATA**

N	RA-F1		
	EXISTING	PROPOSED	TOTAL
	3000.0 SQ. FT.	0.0 SQ. FT.	3000.0 SQ. FT.
	1347.0 SQ. FT.	0.0 SQ. FT.	1347.0 SQ. FT.
	560.0 SQ. FT.	180.0 SQ. FT.	740.0 SQ. FT.
	40.0 SQ. FT.	0.0 SQ. FT.	40.0 SQ. FT.
	67.0 SQ. FT.	0.0 SQ. FT.	67.0 SQ. FT.
	0.0 SQ. FT.	84.0 SQ. FT.	84.0 SQ. FT.
	0.0 SQ. FT.	62.0 SQ. FT.	62.0 SQ. FT.
	2140.0 SQ. FT.	47.0 SQ. FT.	2187.0 SQ. FT.

VINGS		С
	ALL WORK SHALL COMPLY WITH THE REQUIREN 2020 LOS ANGELES COUNTY BUILDING CODE.	ME
01 PLANTING/HARDSCAPE PLAN	1 OF 8 2020 LOS ANGELES COUNTY RESIDENTIAL CODE. 2020 LOS ANGELES COUNTY PLUMBING CODE	
02 PLANTING SPECIFICATIONS & DETAILS	2 OF 8 2020 LOS ANGELES COUNTY MECHANICAL CODE	
03 WATER EFFICIENT WORKSHEET	2020 LOS ANGELES COUNTY ELECTRICAL CODE         3 OF 8         2020 LOS ANGELES COUNTY GREEN BUILDING STA	
04 IRRIGATION DESIGN	2020 LOS ANGELES COUNTY EXISTING BUILDING B         4 OF 8         2020 CALIFORNIA ENERGY CODE	JUII
05 IRRIGATION CALCS, SPECIFICATIONS	5 OF 7	
05 IRRIGATION DETAILS	5 OF 8 CODE NOTE	S
06 IRRIGATION DETAILS	1. ALL WORK SHALL COMPLY WITH THE CALIFORN 6 OF 8 CODE FOUND IN STATE OF CALIFORNIA TITLE 24 CO	
07 IRRIGATION SPECIFICATIONS	ADOPTED BY THE COUNTY OF LOS ANGELES, CA. A 7 OF 8 HILLS, CA.	ANI
	2. ALL CONSTRUCTION SHALL CONFORM TO STATE CODES AND ORDINANCES, ETC. FOR MIN. STRUCTU USED, AND METHODS OF CONSTRUCTION, REFER T MUNICIPAL BUILDING CODES. PROJECT SHALL BE APPICABLE LOCAL BUILDING PERMITS AND INSPE	URA TO A E CC
	BUILDING DA	
	CONSTRUCTION TYPE OCCU	UF
	TYPE V-B GROU	
	SCOPE OF WO	/ <b>Г</b>
	DEMO, EXCAVATE, CONSTRUCT AS REORED POOL, NEW OUTDOOR KITCO RELOCATED POOL, NEW OUTDOOR KITCO AND TRELLIS, POOL DECK PAVING, AN DOORS ADDED TO AN EXISITING ONE-S' FAMILY RESIDENCE WITH GRADING, F MECHANICAL, ELECTRICAL, LANSCAP	TCE ND STC PL

The Project shall comply with California's Green Building Code (Part 11 of Title 24, California Code of Regulations, effective 1.1,2020 with any Supplement(s) in effect. Provide and maintain a copy of said code and Residential checklist on jobsite during construction.

#### **ENERGY REQUIREMENTS:**

The Project shall be constructed using materials, equipment and/or systems that comply with the energy efficiency standards of the State of California Title 24 .

#### ENVIRONMENTAL REQUIREMENTS:

The Project shall be constructed using materials, equipment and/or systems that comply with the environmental standards of the City of ROLLING HILLS, LOS ANGELES County, the State of California, and the US Federal government (EPA). The Project shall comply with all regulatory guidelines and code requirements pertaining to outgassing of materials such as, but not limited to, VOC and formaldahyde.

#### GENERAL NOTES

1. The Contactor shall provide temporary barricades and all other means required to maintain a safe environment during construction.

2. All work, materials, equipment, and furnishings indicated and or noted within the Construction Documents shall be new and constructed, provided and installed by the Contractor unless noted otherwise.

3. The General Contractor is responsible for furnishing all subcontractors with a complete set of Contract Documents.

4. If there is a conflict between disciplines within the Contract Documents, the Architect shall be notified in writing prior to work. If there is a conflict between the Contract documents and the conditions in the field, the Architect shall be notified in writing prior to work.

5. Modifications to the construction work as described within the Construction Documents shall not be made without the prior written approval of the Architect.

6. All information shown/identified in the Contract Documents relative to existing conditions is shown as a general representation. Contractor shall verify actual field conditions prior to submitting bid.

7. If there is a conflict between disciplines within the Contract Documents, the Contractor and Subcontractor shall provide in His or Her bid the more expensive option. 8. NO SUBSTITUTIONS or DEVIATIONS from the Construction Documents will be acepted unless prior written authorization is obtained from the Architect. Submittals and requests for substitutions shall be made at least 14 business days prior to the commencement of the work. A letter, drafted and signed by each subcontractor, affirming his/her understanding of this requirement, shall be submitted to the owner's representitive and the Architect at least 14 calandar days prior of the commencement of work of that trade.

9. All egress doors shall comply with CBC Sec. 1003.3.1.8 for proper door hardware.

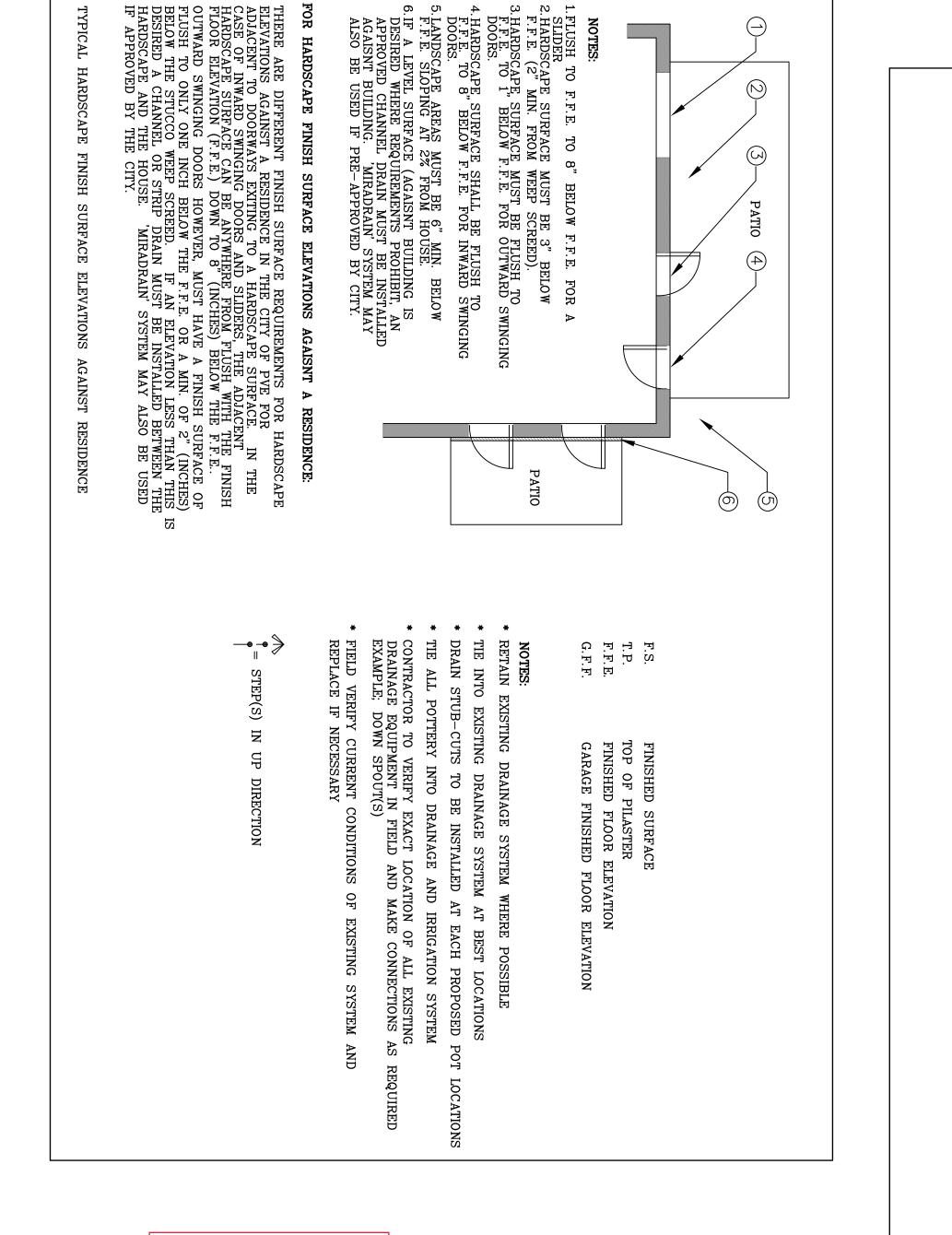
10. All demolished items, debris, trash, excavated earth that is not to be used on site, and any extra material that is not needed for the completion of the job shall be hauled away and legally disposed of off-site at the Contractor's expense.

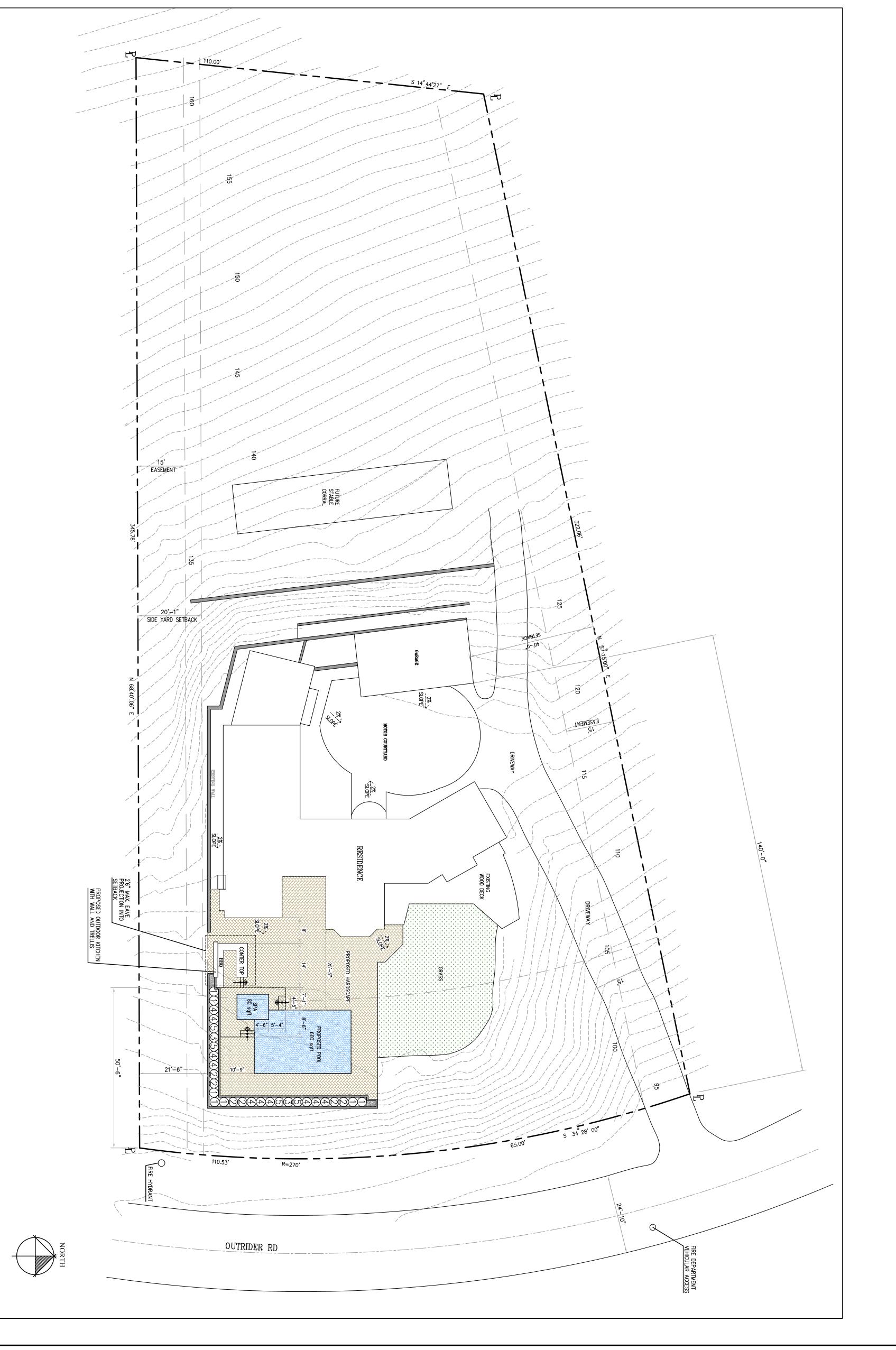
11. It is the responsibility of the Contractor to provide and install all required items and perform all work necessary to ensure a complete job, such that all electrical and lighting systems, access control systems, plumbing and mechanical systems, irrigation systems and controller, data, cable t.v. and phone systems shall be made operational by the

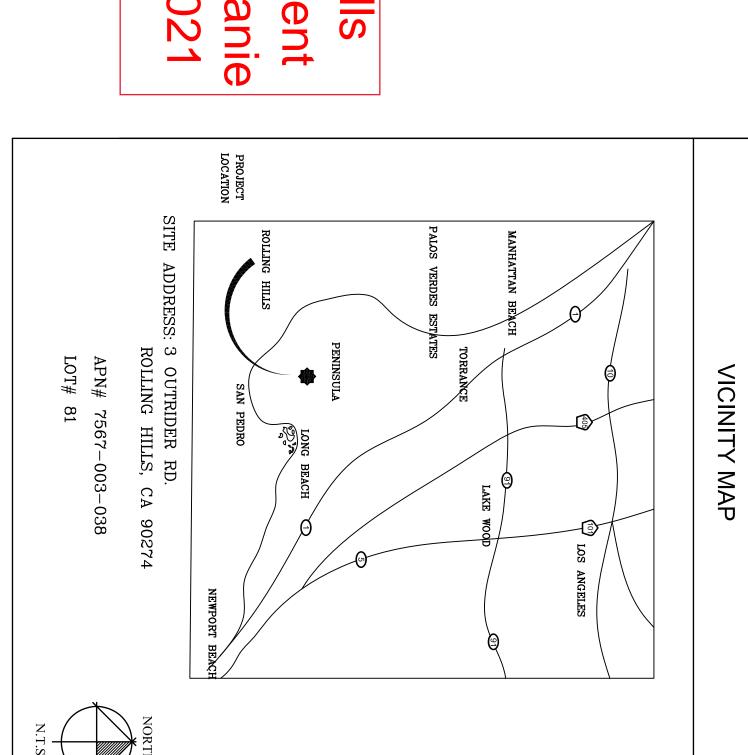
	completion of the	e construction period as set by the Contract.	<u>פ</u> א
CC	DES	PERMITS	
EMENT:	S OF THE FOLLOWING:	SEPERATE PERMITS SHALL BE REQUIRED FOR SIGNS, FENCES, RETAINING WALLS, TRASH ENCLOSURES, FLAGPOLES, POLE MOUNTED YARD LIGHT FOUNDATIONS, AND PLANTERS.	DRAWINGS,
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PERRENI-	JM TENAX NEW RAIN	NEW ZEALAND FLAX RAINBOW	LOW		N	5 GAL	4'/4'	PLANT AS SHOWN
4 LEUCADENDRO SAFARI SUNSE	1 N		LOW	A,B-30	10	5 GAL	3'/3'	PLANT AS SHOWN
	[ AEOI	IIUM 'SUNBURS'	LOW	A,B-30	N	1 GAL	1'/1'	AS SHO
GRASS GRASS CAREX I TUMULIC	OLA BERI	CELEY SAGE	LOW	A,B-30	1531 SQFT	FLAT	2'/2'	PLANT AS SHOWN
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X	I ANDECADE CON							
	LANDSCAPE CON	TRACTOR						
	RI	REQUIRED N	NOTES					
1-RECIRCULATING W	ATER SYSTEM SHAL	L BE USED FOR V	WATER FEATURE	S				
2-A MIN. 3" LAYER TURF AREAS, CRE	OF MULCH SHALL EPING OR ROOTING	BE APPLIED ON A GROUNDCOVERS,	LL EXPOSED SC OR DIRECT SEE	DIL SURFACES EDING APPLICA	OF PLANTING TIONS WHERE	G AREAS EX E MULCH IS	CEPT	
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# UTILITY EQUIPMENT SCREENING: THE SCREENING PLAN INCLUDES THE FOLLOWING

A. ALL UTILITY EQUIPMENT REQUIRING SCREENING SHALL BE SHOWN IN THE PROGRAM. THIS INCLUDES: PUBLIC WORKS UTILITY EQUIPMENT ASSOCIATION WATER, AND INCLUDES:
(1) SURFACE-MOUNTED TRANSFORMERS:
(2) PEDESTAL-MOUNTED TRANSFORMERS:
(3) MERE CABINETS:
(4) ABOVE-GROUND WATER SERVICE EQUIPMENT (I.E. AIR VAC CANS, SAMPLING STATIONS), IRRIGATION EQUIPMENT, AND VERTES VALVES:
(4) ABOVE-GROUND WATER SERVICE EQUIPMENT (I.E. AIR VAC CANS, SAMPLING STATIONS), IRRIGATION EQUIPMENT, AND VERTS, AND UTILITY EQUIPMENT.
(4) ABOVE-GROUND UTILITY EQUIPMENT (I.E. AIR VAC CANS, SAMPLING STATIONS), IRRIGATION EQUIPMENT, AND VERTS, AND VENTS, AND UTILITY EQUIPMENT.
(5) FIRE SPRINKLER DETECTOR CHECK VALVES:
(6) ACCESS DOORS AND VENTS; AND VENTS/ACCESS DOORS FOR UNDERGROUND UTILITY VALUES SILL. BE INCLUDE STREAMED DETECTOR CHECK VALVES SHOULD BE LOCATED A MINIMUM OF THREE FEET CLEARANCE BETWEEN THE SCREENING FOR THE UTILITY EQUIPMENT AND ANY PAVED SURFACES INCLUDIN STREAMER DETECTOR CHECK VALVES SHOULD BE LOCATED A MINIMUM OF 20 FEET FROM ALL PROPERTY LINES ADJACENT TO PUBLIC RIGHTS-OF-MAY.
(5) NOT USED.
(6) NOT USED.
(7) FILE STREAMACES DETECTOR CHECK VALVES SHOULD BE LOCATED WITHIN A TRAFFIC SAFET SAMACES MERTAL SUBJECTIVE AND ACCESS TO ALL VENTS AND ACCESS DOORS AND THE SUBJECTIVE PLANNER.
(7) FILE ACEASE SASALENTS SHALL BE PROVIDED TO ALLOW WITH ANY NEW UTILITY EQUIPMENT. AND ACCESS AND THE WITH NEEDED FOR THE SCREENING OF THE SCREENING OF THE OUTILITY EQUIPMENT.
(7) FILE ACEASE SASMENTS SHALL BE PROVIDED TO ALLOW ACCESS TO ALL VENTS AND ACCESS DOORS AND TO ALAVE SECUTIONS.
(8) THE ACCESS EASEMENTS SHALL BE PROVIDED TO ALLOW ACCESS TO ALL VENTS AND ACCESS DOORS AND TO THE ACCESS AND THE WITH MATT RESENTAL SUBDERVISIONS.
(1) THE ACCESS EASEMENTS SHALL NOLUDE BOTH THE MINIMA WITH REQUIRED BY THE UDIL UTILITY EQUIPMENT. AND ACCESS AND THE WITH MAY RESEDED FOR THE SCREENING OF THE EQUIPMENT. AND ACCES

# LANDSCAPE PLANTING SPECIFICATIONS:

### APE MANAG **AENT** SCHEDULE:

UARY: UNE ANY TREE BRANCHES THAT INTERFERE WITH PUBLIC SAFETY OR SIGHT LINES. UNE ANY TREE BRANCHES THAT INTERFERE WITH PUBLIC SAFETY OR SIGHT LINES. LCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED. (USE MULCHING MOWER LCH MOW NATIVE GRASS FINELY AND BLOWS MULCH DOWN INTO TURF TO DECOMPOSE AND FEED SOIL.) SRUARY: DIV OPCANIC COMPOSE ADDIIND TREES OF SHELLES IN LATE FEBRIARY MAKE ADDIICATION DEFOR

FEBRUARY:
APPLY ORGANIC COMPOST AROUND TREES OR SHRUBS IN LATE FEBRUARY. MAKE APPLICATION PRIOR TO A PAINFALL SO THE RAIN WILL SOAK THE COMPOST IN MULCH MOW ALL TURF AREAS ONCE PER MONTH A RAINFALL SO THE RAIN WILL SOAK THE COMPOST IN MULCH MOW ALL TURF AREAS ONCE PER MONTH ADD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 NICHES THICK. MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.
MARCH:
MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED.
REPLACE ANY DEAD OR MISSING PLANTS FLUSH OUT IRRIGATION SYSTEMS AS NEEDED, RUN AND CHECK FOR PROPER OPERATION OF EACH VALVE ZONE. TEST SENSORS (RAIN, SOIL, OR WEATHER SENSORS).
REMOVE AND CLEAN WYE FILTER SCREENS CLEAN OR REPLACE PLUGGED SPRINKLER NOZZLES. REPLACE PLUGGED DRIP EMITTERS.
REPLACE IRRIGATION CONTROLLER PROGRAM BACK-UP BATTERIES.
REPLACE IRRIGATION CONTROLLER PROGRAM BACK-UP BATTERIES.
ADPLY ORGANIC COMPOST AROUND TREES OR SHRUBS. SHRUBS/GROUNDCOVER AREAS MAY BE ELIMINATED WHEN THE PLANTS REACH MATURITY.
ADD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 INCHES THICK. MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW.
MAY:

ILCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED. RN ON IRRIGATION SYSTEM, RUN AND VISUALLY INSPECT FOR PROPER ZONE -BASED, WEATHER OR SOIL SENSOR-BASED, OR SEASONAL PROGRAMS TO AD. -Y-AUGUST, AND DOWN FOR MAY-JUNE AND SEPTEMBER. COVERAGE. SET JUST IRRIGATION UP Ν

JULY-AUGUST, AND DOWN FUK MAT-JUNE AND DEMINISTIC AND DOWN FUK MAT-JUNE AND DEMINISTIC AND DOWN FUK MAT-JUNE AND DOWN FUR MATTER GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED. PRUNE SPRING & WINTER-FLOWERING SHRUBS AS NEEDED TO MAINTAIN PROPER SHAPE(NATURAL, TOUCHING, NOT HEDGED OR TOPIARY EXCEPT WHERE SPECIFIED BY OWNER). ADD NEW MULCH TO PLANTED AREA WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 2 SURFACE FROM VIEW. MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED PRUNE VINES AS NEEDED AUGUST: MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED ADD NEW MULCH TO PLANTED AREAS ONCE PER MONTH IF PREFERRED MOWED ADD NEW MULCH TO PLANTED AREAS ONCE PER MONTH IF PREFERRED MOWED ADDLEW MULCH TO PLANTED AREAS ONCE PER MONTH IF PREFERRED MOWED ADDLEW MULCH TO PLANTED AREAS ONCE PER MONTH IF PREFERED MOWED ADDLEW MULCH TO PLANTED AREAS ONCE PER MONTH IF PREFERED MOWED ADDLEW MULCH MOT REQUIRED WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN 21NCHES THICK MULCH NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY HIDE THE SOIL SURFACE FROM VIEW. SEPTEMBER MULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERED MOWED PRUNE VINES AS NEEDED APPLY ORGANIC COMPOST AREAN ONCE PER MONTH IF PREFERED MOWED PRUNE VINES AS NEEDED APPLY ORGANIC COMPOST AROUND TREES OR SHRUBS IN SEPTEMBER OR EARLY OCTOBER. THE SHRUBS/GROUNDCOVER AREAS MAY BE ELIMINATED WHEN THE PLANTS REACH MATURITY OCTOBER.

IRUBS/GROUNUCUVER ARGAN MALLEN MALLEN MALLEN MONTH IF PREFERRED MOWED TOBER: ULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED DD NEW MULCH TO PLANTED AREAS WHERE THE MULCH DEPTH HAS BEEN REDUCED TO LESS THAN CHES THICK. MULCH ADDITIONS ARE NOT REQUIRED WHERE SHRUBS OR GROUNDCOVER COMPLETELY DE THE SOIL SURFACE FROM VIEW. DVEMBER: ULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED. SCEMBER: ULCH MOW NATIVE GRASS AREAS ONCE PER MONTH IF PREFERRED MOWED. RUNE ANY TREE BRANCHES THAT INTERFERE WITH RUNE SUMMER AND FALL-BLOOMING SHRUBS AS NEEDED TO MAINTAIN PROPER SHAPE. DIL ANALYSE/PLANT ANALYSES/WATER ANALYSES

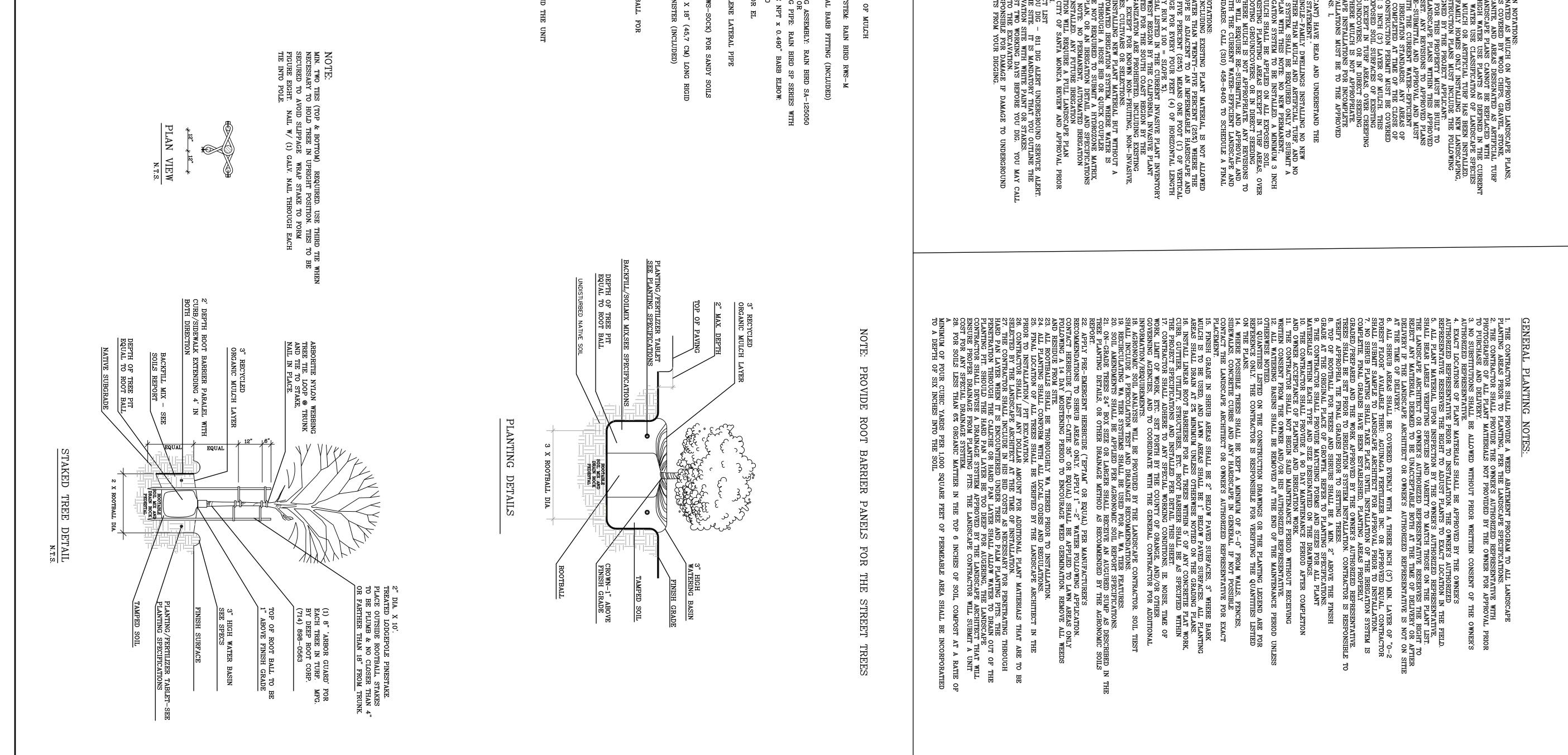
<ul> <li>THAN 2</li> <li>THAN 2</li> <li>The proofing and drains in planters by others.</li> <li>The planter early in the morning or later in the evening when temperatures are cooler. The cooler is a planter of the planter system frequently and adjust sprinklers so only your lawn is detered.</li> <li>That is planted with root barriers. 2' deep shredded Cedar bark to spread between plants.</li> <li>All trees to be planted with root barriers. 2' deep shredded Cedar bark to spread between plants.</li> <li>All trees to be planted with root barriers. 2' deep shredded Cedar bark to spread between plants.</li> <li>All trees to be planted with root barriers. 2' deep shredded Cedar bark to spread between plants.</li> <li>Plant bale to be twice as where plants are 4' oc or greater to have 2 layers of geotextile tabric in 2 different directons geotextile tabric installed 3' below finished greade w/3' the below to eliminate weed growth.</li> <li>Plant bale to be twice as wide and deep as the plant root ball. Back fill and compact to 90% soil of site and 20% fir bark, as defined.</li> <li>Contractor to install and maintain landscape planting in accordance with the growerbing agency's guidelines and specifications on site. Count all plant material before bidding.</li> <li>Contractor to inspect all existing conditions on site and locate all existing utilities before construction starts.</li> <li>Contractor to install and reinstalled are trainalling all irrigation equipment, and replanting areas which are not installed and tested prior to plant materials.</li> <li>Trees and shrubs shall be installed and tested prior to plant materials.</li> <li>Trees and shrubs shall be planted after concrete placement, but not before the irrigation coverage test has been approved.</li> </ul>	14 NACEST & SAMALE, BEACHTER OF PETTER WEISTER DOMAINS - A MORE SERVICE 15 NUMPER - DEJAMANON E.C., CUTRO 14 LINES ESTRUCT ANNAUS - HIS SERVICE 14 LINES ESTRUCT ANNAUS - HIS SERVICE 15 NUMPER - NULLE, THE GEN WILLS 16 LINESTRUCT PERDENTIAL TO WHEN FOR 17 OUTLANS - FILE CAPACITY OF ALL 17 OUTLANS - FILE CAPACITY OF ALL 17 OUTLANS - FILE CAPACITY OF ALL 17 OUTLANS - FILE CAPACITY OF ALL 18 OUTLANS - FILE CAPACITY OF ALL 19 OUTLANS - FILE CAPACITY OF ALL 20	DESIGN NOTES: 1. PLANT WITH PLANTS PER PLANTING PLAN CONSTRUCTION WOTES: 1. TO PREVENT COMPACTION OF THE SUBGRADE AND CLOCGING. THE AREA OF THE RAN CARDENA & DEFINED BY THE PLANTS SHALL BE FERCED OF PA ND KEPT CLEAR OF ALL 2. OD NOT THE ALW CARDEN 3. RANFALL DURING EXCAVATION OF NATIVE SOLIS, MAY CAUSE FINES TO CLOG THE SUBFACE. IF THIS OCCURS DURING CONSTRUCTION, MATERIALS UPSLOPE OR LESS THAN 5 FROM THE ALW CARDEN NUTLES CONSTRUCTION, HAND RAKE THE SUBFACE TO A 4. NOTIFY THE LANSCARE REHITER TAY MAY EASE FINES TO CLOG THE SUBFACE. IF THIS OCCURS DURING CONSTRUCTION MATERIALS UPSLOPE ON DESERVICY 4. NOTIFY THE LANSCARE REHITER TAY HAND RAKE THE SUBFACE TO A 5. RENETLY DURING EXCAVE MATERIAL CONSTRUCTION CARDEN EXCENTING GRADE CONFIDENCES IN THE FILE OF OF THE BERN TO DESCRIPT OF DEFINIT WITH THE DOWNSPOUL MATTER FLANTS PER LANDSCARE WITH THE DOWNSPOUL MATTER FLANTS DEFINIT F SEPALIEEED VIRE DEFINIT WITH THE DOWNSPOUL MATTER FLANTS DEFINIT F SEPALIEEED VIRE DEFINIT. F SEPALIEEE VIRE DEFINIT. F SEPALIEEED VIRE DEFINIT. F SEPALIEEED VIRE DEFINIT. F SEPALIEED VIRE DOTALL AND Y SOLL AND Y SOLL AND Y SOLL AND Y SOLL	<ul> <li>PLANTING NOTES:</li> <li>1. THE CONTRACTOR SHALL NOTEY THE LANDSCAPE ARCHITECT OF ALL SITE CONDITIONS WHICH PERVERT INSTALLATION PER PLAYER AND REDEFINITION OF PLAYER AND REDEFINITION OF PLAYER AND REDEFINITION OF PLAYER AND REDURING AND FERENTIAL PLAYER AND REDURING A</li></ul>
<ul> <li>NOTES</li> <li>PLANTS AND TREES MUST BE INDIVIDUALLY PLANTED. SPACED AND MAINTAINED IN SUCH A MANUER THAT THEY DO NOT FORM A MEANS OF TRANSMITTING FIRE FROM NATIVE GROWTH TO THE STRUCTURE.</li> <li>ALL FUTURE PLANTING SHALL BE IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEFARTMENT FUEL MODIFICATION GUIDELINES. AND AFRONZED FROM NATIVE GROWTH INSTELLINES. MUST BE INDIVIDUALLY PLANTED. SPACED AND MAINTAINED IN SUCH A MANNER THAT THEY DO NOT FORM A MEANS OF TRANSMITTING FIRE FROM MAINTAINED IN SUCH INSTELLINES.</li> <li>PLANTS AND TREES MUST BE INDIVIDUALLY PLANTED. SPACED AND MAINTAINED IN SUCH MAINER THAT THEY DO NOT FORM A MEANS OF TRANSMITTING FIRE FROM MAINTAINED IN SUCH INSTELLINES.</li> <li>PRUNING LOWER BRANCHES OF TREES AND TREE-FORM SHEURS TO 1/3 OF THEIR HEIGHT (OR 6' FROM LOWERS BRANCHES OF TREESER TREES WITH UNDERSTORY PLANTES SHOULD SPEENDER AND MACE MAINTERIANCE FLASHER. THESE WITH UNDERSTORY PLANTES SHOULD IN ALL FROM LOWERS IN SLOPES IN WITHIN 50 FREE FORM SHEURS TO 1/3 OF THEIR HEIGHT OF 6 INCHES OR LESS IN ZONE A AND FRAT. AREAS OF 50."</li> <li>GROUNDCOVER IN 20, ESPECIALLY WOODY SEPCIES, SHOULD BE MAINTAINED AT A HEIGHT OF 6 INCHES OR SLOPES IN WITHIN 50 FREET OF THE STRUCTURE SHALL BE MAINTAINED AT A HEIGHT OF 10 INCHES OR LESS.</li> <li>ALL LANDSCAPING WITHIN THE CITY RIGHT-OF-WAY SHALL BE MAINTAIN TO NOT EXCEED 30-INCHES IN HEIGHT.</li> <li>COMPOST AT A REGHT OF IT LEAST FOUR CUBIC YARDS PER LOOD SQUARE FEET OF FREEKER THAN GS OR GAARCE MATTER IN THE TOP 6 INCHES OF SOIL ARE SKEMPT FROM ADDING COMPOST AND TILLING.</li> </ul>	<ul> <li>a contracting the sense of the sens</li></ul>	AND ALL IS	<ul> <li>WATER-EFFICIENT LANDSCAPE AND IRRIGATION STANDARDS PLAN SUBMITTAL NOTES:</li> <li>1. PARKWAY DECLARATIONS a. ALL EXSTING SPRINKLERS AND SPRAY HEADS SHALL BE REMOVED IN THE PARKWAY.</li> <li>3. CONSTRUCTION THE DESIGNED ANY IRRIGATION SYSTEMS ARE PROHIBED IN THE PARKWAY SIALL NOT DAVAGE THE ROLE OF ANY IRRIGATION SYSTEMS ARE PROHIBED IN THE PARKWAY SIALL NOT DAVAGE THE PARKWAY SIALL NOT DAVAGE THE PARKWAY SIALL NOT DAVAGE THE PARKWAY SIALL DOT DAVAGE THE PARKWAY SIALL DOT DAVAGE THE PARKWAY ASSUMES I THE INSTALLATION OF ANY IRRIGATION SYSTEM IN THE PARKWAY SIALL DOT DAVAGE THE PARKWAY ASSUMES I THE INSTALLATION OF ANY IRRIGATION SYSTEM IN THE PARKWAY SIALL BE APPLIED WITHIN SIX INCHES (6) OF THE PARKWAY SINCLE-FR INCHES OF THE BASE OF A STREET TREE.</li> <li>C. THE INFOLLATION OF ANY IRROVEND BY CITY STAFF IS REQUIRED PROR TO COVERAL NOTATIONS.</li> <li>C. ERRAL INTER OFEN. THERE DESIGNED TO COVERAL SEAL THE OPENCH INSPECTION BY CITY STAFF IS REQUIRED PROR TO COVERAL DESIGNEE, PERFORMING THE INSTALLATION KUST BE INVERSITIVE OF INAL INSPECTION BY CITY STAFF IS REQUIRED PROR TO A. AN OPEN-TRENCH INSPECTION BY CITY STAFF IS REQUIRED PROR TO A. AN OPEN-TRENCH INSPECTION NET ALLER WIST PROR THE INRIGATION SYSTEM TO VERNY THAT IT MEETS THE INRIGATION SYSTEM TO VERNY THAT IT MEETS THE INRIGATION SYSTEM TO CONTROLLER.</li> <li>A. PROR TO FINAL INSPECTION INSTALLER MUST PROGRAM THE INRIGUES OF AUGUSTANT (30) 456-4405, THE FOLOWING THES SUSTALLER MUST PROGRAM THE INRIGUES OF AUGUSTANT (30) 456-4605, THE FOLOWING THESE SUSTALTION NOT ITEST RESULTS WHICH MUST CONTANT. INSPECTION REAL THE OPENCE OF SUSTALLER MUST PROGRAM THE INRIGUES TO SOLUTION AND THE SYSTEM AND BUILT TO APPROVED FOLOWARY TO SUSTAILER MUST PROGRAM THE INRIGUES OF AUGUSTANT (30) 456-4605, THE FOLOWING THESE SUSTAINABLE THAN THE SUSTEMENT AT (30) 459-6605, THE FOLOWARY TO SUSTAILER MUST PROGRAM THE INRIGUES OF AUGUSTANT (30) 450-6605, THE FOLOWARY TO SUSTAILER MUST PROGRAM THE INRIGUES OF COUNTS AND SUSTAILER AND SINTE AND SINT ANDERSE TO SOLUTION A</li></ul>

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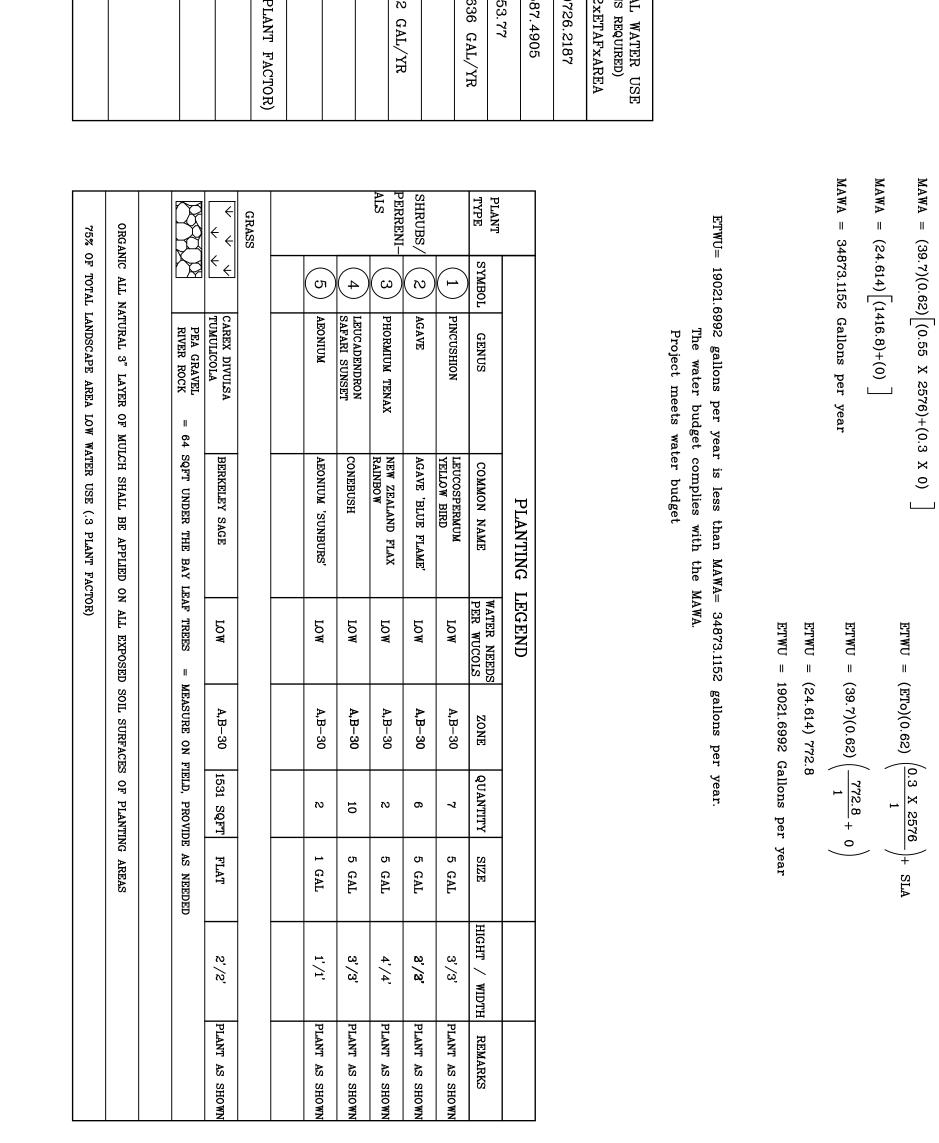
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	1		NT FACTOR)	rer use (.3 pla	OF TOTAL LANDSCAPE AREA LOW WATER USE (.3 PLANT FACTOR)	75% OF TOTAL LAN
					YPE: POTABLE.	WATER SUPPLY TYPE:
LANDSCAPE	LOW PLANTS	FEATURES.	FOR WATER FEA	SHALL BE USED		RECIRCULATING WATER SYSTEM
PLAI	MODERATE PLANTS			0.36"	II	Avarage monthly precipitation
OTAL	75% OF TOTAL LANDSCAPE				= 0.55	Residential ETAF
					inches per year	ETo = 39.7" inc
6	(A) 2576	TOTALS				
	(C) –					
		I	1	I	1	SPECIAL LANDS AREA
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Οī	265	0.3	0.81	DRIP	LOW 0.3	В
31	1531	0.3	0.75	SPRAY	LOW 0.3	А
PE AREA	LANDSCAPE (SQ,FT)	ETAF PF/IE	IRRIGATION EFFICIENCY IE	IRRIGATION METHOD	PLANT FACTOR (PF)	HYDROZONE PLANTING DESCRIPTION





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X LA)+(0.3 X SLA)

ETWU

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SLA

WATER

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	CITY ROLLING HILLS	COMPANY NOEL ART LANDSCAPE DESIGN	TITLE PRESIDENT	NAME SARAH NOEL	PROPERTY OWNER OR HIS/HER DESIGNEE	STATE CA ZIP CODE 90274	STREET ADDRESS: 3 OUTRIDER RD.	PROJECT ADDRESS AND LOCATION	CITY	COMPANY	TITLE		NAME OF PROJECT APPLICANT	PROJECT NAME: LOT# 81	DATE APN# 7567-003-038	PART 1. PROJECT INFORMATION PROJECT AND APPLICANT
STATE CA	STREET ADDRESS 8 I	EMAIL ADDRESS 1ex	FAX NO.	TELEPHON NO. 310	E	ASSESSOR PARCEL #	PARCEL TRACT OR LOT #		STATE	STREET ADDRESS	EMAIL ADDRESS	FAX NO.	TELEPHON NO.			
ZIP CODE	Hackamore R	1exteriordesign@gmail.com		310.650.5374			81		ZIP CODE							
E 90274	Rd.	@gmail.com														

24

PROPERTY OWNER

I/WE CERTIFY THAT I/WE HAVE RECEIVED COPIES OF ALL THE DOCUMENTS WITHIN THE LANDSCAPE DOCUMENTATION PACKAGE AND THE CERTIFICATE OF COMPLETION AND THAT IT IR OUR RESPONSIBILITY TO SEE THAT THE PROJECT ISMAINTAINED IN ACCORDANCE WITH THE LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE.

PLEASE ANSWER THE QUESTION BELOW 1. date the landscape documentation package wa

ERTY

OWNER

SIGNATURE

DATE

WAS Ю

DATE THE LANDSCAPE DOCUMENTATION PACKAGE WAS AP ВҮ THE

3. DATE THE COPY OF THE WATER EFFICIENT LANDSCAPE WORL CALCULATION) WAS SUBMITTED TO THE LOCAL WATER PURVEYOR WATER BUDGET

# PART 2. CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE "I/WE ΑŢ

A LICENSED LANDSCAPE CONTRACTOR.	GATION PLAN, OR	SIGNER OF THE LANDSCAPE DESIGN PLAN, SIGNER OF THE IRRIGATION PLAN, OR A LICENSED LANDSCAPE
ZIP CODE 90274	STATE CA	CITY ROLLING HILLS
8 Hackamore Rd.	STREET ADDRESS	COMPANY NOEL ART LANDSCAPE DESIGN
		LICENSE NO. OR CERTIFICATION NO. C27#:1062813
	FAX NO.	
310.650.5374	TELEPHON NO.	NAME(PRINT) SARAH NOEL
	DATE	SIGNATURE
ALLATION CONFORM WITH THE CKAGE."	D IRRIGATION INST DOCUMENTATION PA	WITH THE ORDINANCE AND THAT THE LANDSCAPE PLANTING AND IRRIGATION INSTALLATION CONFORM WITH THE CRITERIA AND SPECIFICATIONS OF THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE."

# PART 3. IRRIGATION SCHEDULING

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PART ATTA SCHEDULE OF LANDSCAPE FOR SE THE AND IRRIGATION MAINTENANCE S No 0 ER PE 10

ATTACHED SCHE ULE OF LANDSCAPE AND IRRIGATION MAIN ENANCE PER ç ANCE SEC ION 492.11

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PART 5. LANDSCAPE IRRIGATION AUDIT REPORT

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ATTACHED LAND SCAPE IRRIGATION AUDIT REPORT PER C ANCE

# PART 6. SOIL MANAGEMENT REPORT

ATTACHED SOIL ANALYSIS REPORT, IF NOT PREVIOUSLY PER ORDINANCE SECTION 492.5. ATTACHED DOCUMENTATION VERIFYING IMPLEMENTATION PER ORDINANCE SECTON 492.5. SUE BMITTED RECOMN WITH H THE : ATIONS LANDSC FROM :APE DOC AN/ YSIS

PF = Plant Factor from WUCOLS or other approved references (per S491)
HA = Hydrozone Area (High, Moderate, and Low water use areas). (square feet)
SLA = Special Landscape Area (square feet)
LA = Landscape Area including SLA (square feet)
IE = Irrigation Efficiency (0.75 for spray devices and 0.81 for drip system)
WAMA = The maximum Applied Water Allowance (gal per year)
ETo = Reference Evapotranspiration (inches per year) ETAF = ET Adjustment Factor (E Residential ETAF = 0.55 Non-residential ETAF = 0.45 Existing landscape ETAF = 0.8 ETo = PF = HA = SLA = 0.62 ETWU EPPT = Effective Precipitation (EPPT) is 25% of total annual precipitation The ETo values used in these calculations are from the Reference Evapotranspiration Table, for planning purpose only. For actual irrigation scheduling, automatic irrigation controllers are required and shall use current reference evapotranspiration data, such as from the Californis Irrigation Management Information System (CIMIS), otherequivalent data, or soil moisture sensor data. Ш = Conversion Factor (to gallons per year) = Estimated Total Water Use per year (gallons) Reference Evapotranspiration (ETAF) (inches) fe

TOTAL PROPOSED LANDSCAPE AREA=2576 S.F.

ETAF CALCULATIONS REGULAR LANDSCAPE AREAS TOTAL ETAF X AREA TOTAL AREA

A | B |

 ETAF CALCULATIONS

 ALL LANDSCAPE AREAS

 TOTAL ETAF X AREA
 B+D

 TOTAL AREA
 A+C

 SITEWIDE ETAF
 (B+D)+(A+C)

B+A

SHI SHI	PROJECT INFORMATION:	NO DATE REVISION	ANNER DESANDOGAAA GC (3) RO SA
EET DESCRIPTION ATER EFFICIENT ORK SHEET SIGNED/DRAWN BY SIGNED/DRAWN BY ITE 07/09/2021 TE 07/09/2021 ALE 1/16"=1'-0" EET NUMBER EET NUMBER EET NUMBER EET NUMBER	PRIVATE RESIDENCE 3 OUTRIDER RD. ROLLING HILLS, CA 90274	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	HACKAMORE RD. HLLING HILLS, CA 90274 10) 650–5374 10) 377–5470 10) 377–5470 11) 377–5470 12, 27#: 1062813 13#: 387200 13#: 387200 14: 387200 12 DRAWINGS, DESIGNS ND WRITTEN MATERIAL PPEARING HEREIN ONSTITUTE THE RIGINAL AND NPUBLISHED WORK OF OEL ART DESIGN SSIGNED TO ANY THIRD ARTY WITHOUT THE RITTEN CONSENT OF OEL ART DESIGN SSOCIATES.

R=270

AS NEEDED

IRRIGATION SYMBOLS DESCRIPTION RAIN BIRD XCZ-075-PFR VALVE (LOW FLOW CON 1" ANTI-SPHON VALVE W/FLOW CONTROL 1" ANTI-SPHON VALVE W/FLOW CONTROL

CON

PART B61187

NO

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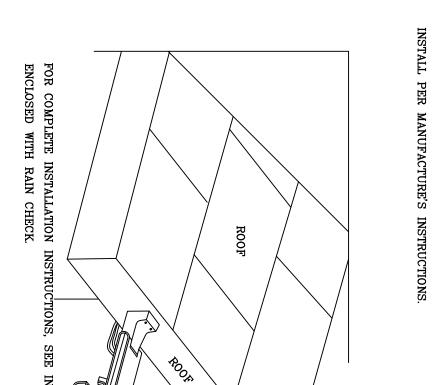
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CONNECTION INSTALL A BOOSTER PUMP.
VERIFICATION NOTES 1:
1. VALVES AND PIPE ARE INDICATED FOR GRAPHIC CLARITY. LOCATE AS APPROPRIATE.
2. ACCURACY OF THE DESIGN IS LIMITED TO THE ACCURACY OF THE DRAWING AND INFORMATION 3. UNDERGROUND AND DRIP FITTINGS/ACCESSORIES ARE ESTIMATED. ADD ITEM AS NEEDED.
4. INDOOR TIMERS TO BE INSTALLED INSIDE OR IN WATERPROOF CABINET. 5. INSTALL LANDSCAPE DRIPLINE/SPRINKLER TO REFLECT ACTUAL LANDSCAPE DESIGN.
6. EXTEND CONNECTING PIPE TO DESIRED WATER SOURCE LOCATION.
7.CONTRACTOR SHALL PROVIDE 3/4"PVC LINE W/BALL VALVE FOR ON-STRUCTURE LANDSCAPE AR
8. CONTRACTOR SHALL PROVIDE STATION CONTROLLER AND WSS-SEN WIRELESS SOLOR SYNC.
INSTALL PER MANUFACTURE'S INSTRUCTIONS.
INSTALL PER MANUFACTURE'S INSTRUCTIONS.

AREAS.

HYDROZONE WATER CALCULATION Plant Irrigation Exposure Hydrozone Irrigation (PF) Method Manufactu

R

ZONE PRESSURE (PSI)

VALVE NUMBER

RAINBIRD RAINBIRD RAINBIRD

40 40

1. VALVES AND PIPE ARE INDICATED FOR GRAPHIC CLARITY. LOCATE /	VERIFICATION NOTES 1:	3. IF SUFFICIENT PRESSURE IS NOT AVAILABLE AT POINT OF CONNECTION INSTALL A BOOSTER PUMP.	2. CONTRACTOR SHALL PROVIDE BALL VALVE BETWEEN POINT OF CONNECTION AND CONTROL VALVE MANIFOLD. PRESSURIZED MAINLINE FROM POINT OF CONNECTION TO CONTROL VALVE SHALL BE PVC SCHEDULE 80.	1. PROVIDE AT LEAST ONE (1)MOISTURE SENSOR LOCATED IN AN 8" INCH VALVE BOX TO MONITOR THE MOISTURE CONTENT OF THE SOIL.	MOISTURE SENSOR:

STATIC PRESSURE AT POC : 70 PSI PRESSURE AVAILABLE : 70 PSI

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RAIN SHUT-OFF/SENSOR RAIN BIRD "WR2-48 WIRELESS RAIN FREEZE SENSOR'	RAINBIRD 1/4 INCH BARBED SHUT-OFF VALVE FOR DRIP IRRIGATION	WATER SUPPLY TYPE: POTABLE.	HYDRAULIC CALCULATIONS MAINTAIN WATER VELOCITY BELOW 5 FEET PER SECOND.
	MODEL: BVAL25-2S		ET PER SECOND.

AUTOMATIC RAIN BIRD

RAIN SERIES

SHUT

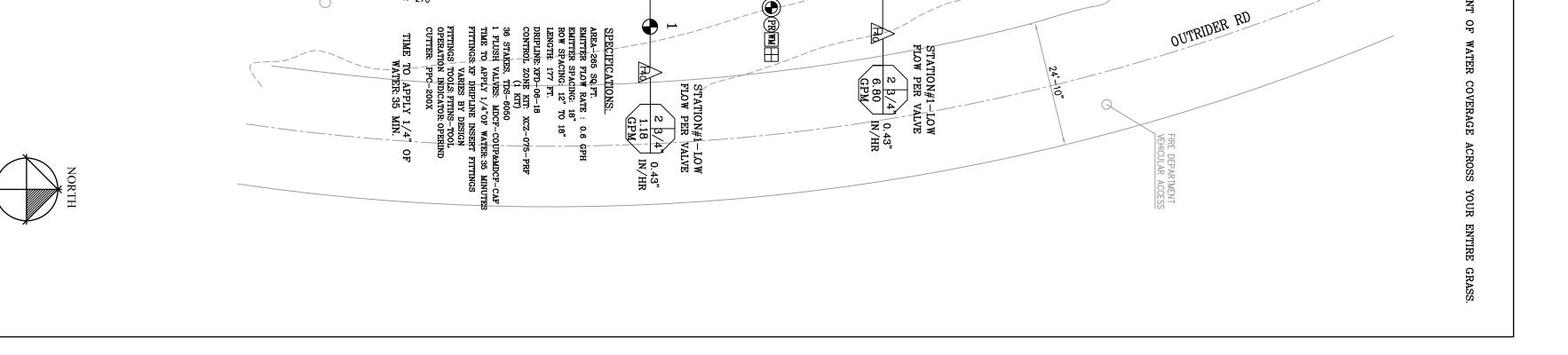
OFF:

OPERATION RANGE: PRESSURE: 25 TO 50 PSI FLOW RATE: 0.61 TO 15 GPM

RAIN BIRD HIGH EFFIC COVERS 100 'MINI ROTOR' 17'-24' SPRINKLER SPRAY, AUTOMATIC IRRIGATION SYSTEM. MINI ROTOR' 17'-24' SPRINKLERS WITH PRE-INSTALL 0.75 NOZZLES, TUBING, CO 20-3000 SQ.FT. LAWN WITH AVERAGE RESIDENTIAL WATER PRESSURE AND DNNEC FLOW

RAIN BIRD HEAD TO HEAD COVERAGE FOR EVEN AMOUNT OF WATER COVERAGE ACROSS YOUR ENTIRE

			ME/ AS	ME/ AS	ME/ AS	ME/ AS	ME/ AS	AS	AS	AS	AS	AS	AS	AS	AS	AS	AS	AS	AS	Α
			MEASUREE ON FIELD AS NEEDED	NEEDED	NEEDED	NEEDED	NEEDED	NEEDED	NEEDED	NEEDED	NEEDED	NEEDED	NEEDED	NEEDED	NEEDED					
24	17	17	<u>Şanının marş</u>					P 40		$\bigcirc$	WM		F	PR		$\oplus$	Т	Ø		(
RAIN BIRD 360	RAIN BIRD 180	RAIN BIRD 90	PVC SCHEDULE 40 -	1/2" EMITTER TUBING, 18	1/2" BLANK TUBING	MAINLINE – PVC SCHEDULE	LATERAL - PVC CLASS 2	RAIN BIRD 3/4" PSI-M40X-100	NIBCO T-113-K ISOLATION	FLUSH VALVE ASSEMBLY	NEW 1" DOMESTIC WATER	FEBCO 825YA 1" REDUCED	RAINBIRD FS100P 1" FLOW	ZURN WILKINS 1-70XL 1"	NELSON 7642 QUICK COL	RAIN BIRD GLOBE VALVE	RAIN BIRD SST-6000 CO	RAIN BIRD XCZ-100-PRF	RAIN BIRD 100-PEB 1" A 1" ANTI-SPHON VALVE W	
0 -	Mini rotor sprinkler Adjustable spray (45° to 270° ) HIGH EFFICIENCY	Mini rotor sprinkler Adjustable spray (45° to 270° ) HIGH EFFICIENCY		18" EMITTER SPC. 2' ROW SPC.		ULE 40	200	0X-100 PRESSURE REGULATOR	ON GATE VALVE (LINE SIZE)		R METER, FOR LANDSCAPE USE ONLY	ED PRESSURE BACKFLOW ASSEMBLY IN	W SENSOR. RANGE 2.0 TO 40.0 GPM	ZURN WILKINS WATER PRESSURE	COUPLER VALVE (LINE SIZE)	W/1" H1100 FILTER SYSTEM	CONTROLLER. FLOW SENSOR READY	F VALVE (MEDIUM FLOW CONTROL)	MASTER VALVE W/FLOW CONTROL	
22SAFROPR	22SAPROPR (Adjustable)	22SAPROPR (Adjustable)		A50901	A50904B			X15060				LOCKING		REDUCING VALVE (FNPT)			C51120	X10306		
												ENCLOSURE		(FNPT)			40	40	40	



"IRRIGATION MAINLINE/

<<u>2%</u> SLOPE

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1. THIS PROJECT WILL COMPLY WITH: 2007 CEC, CPC, AND 2007 CEC AND 2008 TITLE 24 ENERGY REGULATIONS AND ALL CITY ORDINANCES. 2. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCKS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GERNERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEMS.

RAIN

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NOTE: IRRIGATION SYSTEM SHALL BE FULLY AUTOMATIC, WITH A 'SMART' CONTROLLER, WEATHER SENSOR, MASTER CONTROL VALVE, MOISTER SENSOR, AND WATER CONSERVING, LOW FLOW MATCHED PRECIPITATION RATE SPRAY HEADS FOR TURN AND LOW FLOW NETAFIM BELOW-GRADE EMITTERS ENCIRCLING TREES.

3. IF SUFFICIENT PRESSURE IS NOT AVAILABLE AT POINT OF CONNECTION INSTALL A BOOSTER PUMP. 1. PROVIDE AT LEAST ONE (1) MOISTURE SEN 8" INCH VALVE BOX TO MONITOR THE MOIS THE SOIL. 2. CONTRACTOR SHALL PROVIDE BALL VALVE BETWEEN POINT OF CONNECTION AND CONTROL VALVE MANIFOLD. PRESSURIZED MAINLINE FROM POINT OF CONNECTION TO CONTROL VALVE SHALL BE PVC SCHEDULE 80. IRD AUTOMATIC IRF N0 SXS TEM / MOIS OR LOCATED IN AN RE SE

\* AUTOMATIC SPRINKLER SYSTEM ARE RUN BY A CONTROLLER. SMART CONTROLLERS ACT LIKE A THERMOSTAT FOR YOUR SPRINKLER SYSTEM – TELLING IT WHEN TO TURN ON AND OFF AND USING LOCAL WEATHER CONDITIONS TO CREATE A PERSONALIZED WATERING SCHEDULE THAT MATCHES ACTUAL CONDITIONS AT YOUR HOUSE.

\* SMART WATERING SYSTEM SUCH AS DRIP IRRIGATION AND SMA GREAT WAY TO MAKE YOUR LANDSCAPE 'WATER WISE' \* SMART CONTROLLERS USE REAL –TIME WEATHER INFORMATION SCHEDULE THAT BETTER MATCHES PLANTS WATER NEEDS. SMART ТО CONTR CF ATE A WATE ARE A ភ្

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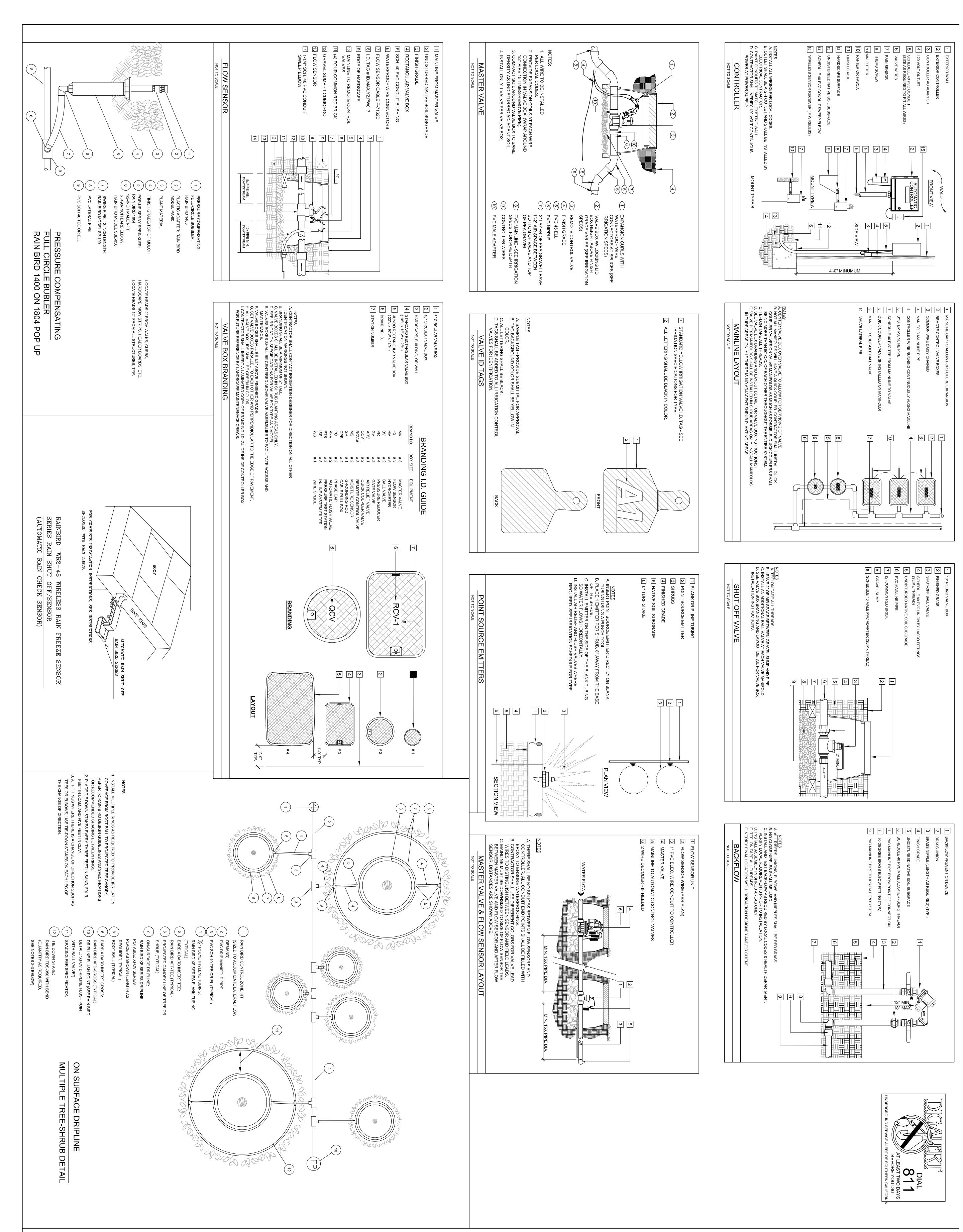
HEADS WHERE LOW

\* SAUTOMATIC RAIN SHUTOFF/RAIN SENS ROOF. PRAIN CHECK SHOULD INSTALL EDGE OF THE

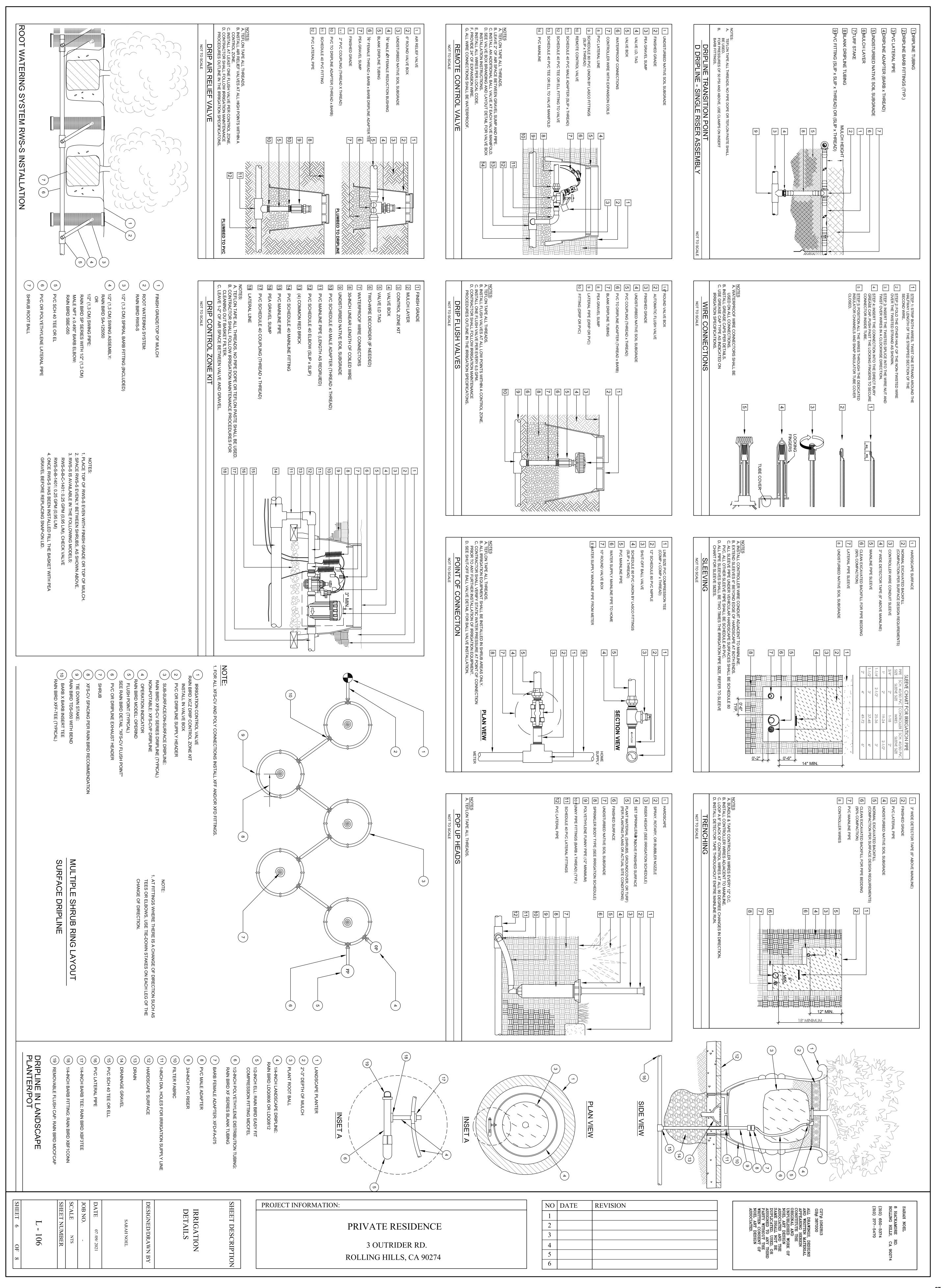
NOTES: A- "PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BE THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES." B- "CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER POINT DRAINAGE COULD OCCUR."

		L25–2S				ţ <b>X</b>			NTIRE GRASS.												LOSURE		(FNPT)			40	40	40	40	PRESSURE		
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04	09/ 202 5''=1'-0	RAW	CRI TIO)	3 OUTRIDER RD.	4	RD. RD. CA CA CA CA CA CA CA CA CA CA CA CA CA
F 8		N BY	PTIC	ROLLING HILLS, CA 90274	5	DF OF CRAL 90274
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SHII SHII SHII SHII SHI	PROJECT INFORMATION:	NO DATE REVISION	ANNAL CCCAAAA CCC (31 RO) ANNAL CCCAAAA CCC (31 RO) ANNAL CCCAAAA CCC
EET DESCRIPTION RRIGATION DETAILS SIGNED/DRAWN BY SIGNED/DRAWN BY SIGNED/SIGNES/SIGN	PRIVATE RESIDENCE 3 OUTRIDER RD. ROLLING HILLS, CA 90274	1       1         2       1         3       1         4       1         5       1         6       1	RAH NOEL HACKAMORE RD. LLING HILLS, CA 90274 10) 650–5374 10) 377–5470 10) 377–5470 19#: 1062813 19#: 387200 LL DRAWINGS, DESIGNS ND WRITTEN MATERIAL PPEARING HEREIN ONSTITUTE THE RIGINAL AND NPUBLISHED WORK OF OEL ART DESIGN SSIGLATES AND THE AME SHALL NOT BE UPLICATED, USED, OR SSIGLATES ANY THIRD ARTY WITHOUT THE RITTEN CONSENT OF OEL ART DESIGN SSOCIATES.



# IRRIGATION NOTES

A. A. CTCY AND STATE LARGE VIEW AND INCLUSION OF THE ADDRESS OF THE ADDRESS OF THE ADDRESS OF THE SECONDARY AND ADDRESS OF THE ADDRE

## NOTES

\* AUTOMATIC SPRINKLER SYSTEM ARE RUN BY A CONTROLLER. SMART CONTROLLERS ACT LIKE A THERMOSTAT FOR YOUR SPRINKLER SYSTEM – TELLING IT WHEN TO TURN ON AND OFF AND USING LOCAL WEATHER CONDITIONS TO CREATE A PERSONALIZED WATERING SCHEDULE THAT MATCHES ACTUAL CONDITIONS AT YOUR HOUSE. SMART WATERING SYSTEM SUCH AS DRIP IRRIGATION AND SMART CONTROLLERS REAT WAY TO MAKE YOUR LANDSCAPE 'WATER WISE' ARE A

SMART CONTROLLERS USE REAL -TIME WEATHER INFORMATION TO CREATE CHEDULE THAT BETTER MATCHES PLANTS WATER NEEDS. SAUTOMATIC RAIN SHUTOFF/RAIN SENSOR/RAIN CHECK SHOULD INSTALL ED 00F. EDGE OF THE Α WATERING

# REQUIRED NOTES

- \* OF THE SPECIFIED IRRIGATION DEVICES. Ŧ WA ALL SPF NKLER HEADS WHERE LOW POINT **DRAIN** AGE COULD
- OCCUR.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALI
  SYSTEM DESIGNED FOR WATER FLOW OF 8 GPM AT 75 PSI.
  AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIG/ THE IRRIGATION CONTROLLER SHALL BE OF A TYPE WHICH DO SOURCE IS INTERRUPTED. WHICH DOES RIGATION NOT V CONTROLLERS SHALL BE BE BE INSTALLED ( DATA IN THE THE ON THE E EVENT IRRIGATION SY THE PRIMARY THE SYSTEM
- MANUAL SHUTT-OFF VALVES SHALL BE INSTALLED AS CLOSE TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY OR RC SE AS POS ROUTINE REPAIR. ТО THE POINT OF CONN OF
- AREAS 3 LESS THAN 10-FEET IN WIDTH IN MEANS PRODUCES NO RUNOFF OR ( ANY DIRECTION SHALL ΒE IRRIGATED WITH SUBSURFACE IRRIGATION OR
- THAT OR OVER: RAY. THE PROPERT
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF 1 WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION. IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE. UNLESS CONTRADICTED BY A SOIL TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES IN INTO TO THE SOIL
- TURE BAS A TYPE WHICH DOES GATION CO DOES NOT G DNTROL LOSE LLERS SHALL BI BE BE INSTALLED ON THE DATA IN THE EVENT
- AUTOMATIC WEATHER-BASED OR SOIL-MOIST THE IRRIGATION CONTROLLER SHALL BE OF PRIMARY SOURCE IS INTERRUPTED. SUE OR THE
- AREAS LESS THAN 10-FEET IN WITHIN IN OTHER MEANS THAT PRODUCES NO RUNOI V ANY DIRECTION DFF OR OVERSPRA SHALL BE IRRIGATED WITH ACE IR
- BE INSTALLED ON THE IRRIG. ATION
- PRESSURE REGULATORS SHALL B IS WITHIN THE MANUFACTURER'S Ð RE SYSTEM To ENS RE QF
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE MANAGEMENT PURPOSES. KEPT WITH THE IRRIG. ATION CO LLER FOR SUE
- A CERTIFICATE OF COMPLETION SHALL BE THE SIGNER OF THE IRRIGATION PLANS, ( E FILLED OUT AND OR THE LICENSED ND CERTIFIED : ED LANDON BY EITHER THE SIG NER OF THE

PLANS

- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSF PECTION.
- FOR NON-RESIDENTIAL PROJECTS W
   USE SHALL BE INSTALLED.
   RECIRCULATING WATER SYSTEM SHA WITH LAND SCAPE AREAS OF 1000 SF OR MO PRIVATE(S) ТО
- SHALL BE USED FOR WATER FEATU

	30.6%	41.9%	62.9%	80.6%	95.2%	100.0%	93.5%	88.7%	75.8%	59.7%	43.5%	35.5%
ANNUAL	DEC.	NOV.	OCT.	SEPT.	AUG.	JULY	JUNE	MAY	APRIL	MARCH	FEB.	JAN.
							JULY)	PEAK	E (OF	PERCENTAG		MONTHLY
100.0%	3.8%	5.2%	/.8%	10.0%	11.8%	12.4%	11.6%	11.0%	9.4%	/.4%	5.4%	4.4%
ANNUAL	DEC.	NOV.	OCT.	SEPT.	AUG.	ATOF	JUNE	MAY	APRIL	MARCH	г FEB.	JAN.
								TUTAL		PERCENTAG	<b>i</b>	MONTHLY
									1			
	0.061	0.087	0.126	0.167	0.190	0.200	0.193	0.177	0.157	0.119	0.096	0.071
ANNUAL	DEC.	NOV.	OCT.	SEPT.	AUG.	JULY	JUNE	МАҮ	APRIL	MARCH	FEB.	JAN.
										VALUES	ETo VA	DAILY
39.7	2.0	2.4	2.8	4.4	4.8	5.4	4.7	4.5	3.8	3.3	2.4	2.2
ANNUAL	DEC.	NOV.	OCT.	SEPT.	AUG.	JULY	JUNE	МАҮ	APRIL	MARCH	FEB.	JAN.
									'ALUES		EPLACEMENT	ETo R
				DULE	SCHED	ATERING	WATE]	TION	IRRIGATION			
	SPRING AND	SCHEDULE. SI	SUMMER SCH	PEAK	LY 30% OF	DULE.	ARE APP IER SCHEI	TON TIMES 'EAK SUMA BELOW.	R IRRIGAT 70% OF P ER DATA	AS A GENERAL RULE, WITER IRRIGATION TIMES ARE APPROXIMATELY FALL ARE APPROXIMATELY 70% OF PEAK SUMMER SCHEDULE. REFER TO MONTHLY WEATHER DATA BELOW.	GENERAL R ARE APPRO TO MONTH	AS A ( FALL / REFER
5 IN./WK			IN./D				K ETo:	LY) WEEK	PEAK (JULY)	TREE P	ED -LOW	ADJUSTED
2 IN./WK	0.52		7 IN./DAY	0.07		WEEK ETo:	(JULY) V	PEAK	DRIPLINE	SHRUB	ED -LOW	ADJUSTED
	0.62		.81)	:/IE (.5/.	WATER USE/IE	(PLANT WA	BUBBLER (P	TREE BUB		COEFFICIENT-LOW		LANDSCAPE
	0.62	1)	E (.5/.81)	R USE/IE	NT WATER	BUBBLER (PLANT		ATE TREE	– MODERATE	COEFFICIENT-		LANDSCAPE
	0.37		)/.81)	USE/IE (.25/.	WATER USI		DRIPLINE(PLANT	SHRUB DR		COEFFICIENT-LOW		LANDSCAPE
							ADJUSTMENT		TION	EVAPOTRANSPIRATION	OTRAN	EVAP
	LOW	0.25						FACTOR:	PLANT FA	R USE P	LOW WATER	TREE L
	LOW	0.25						POR:	NT FACTOR:	USE PLANT	FWATER	SHRUB
	0.6 IN./HOUR	0.6 IN								RATE-DR	H	PRECIPI
	(81%)	0.81 (81%)			BLER:	DRIPLINE/BUBLER:		RATING(IE)-	EFFICIENCY		ION SYSTEM	IRRIGATION
	0.24 IN./DAY	0.24			JULY):	DAYS OF	WITHIN 6 D	TIME WIT	WEEK OF	ETo (1 WE	WEEKLY E	PEAK W
	1.40 IN./WK.	1.40						REQUIREMET:		ETo (JULY)	WEEKLY E	PEAK W
	.20 IN./DAY	.20 IN						MET:	REQUIREMET:	(JULY)	DAILY ETo	PEAK D
	6.2 IN./MO.	6.2 IN								ETo:	MONTHLY ETO:	PEAK M
	39.7 IN./YEAR	39.7							ETo:	SEASONAL E		HISTORICAL
∍EAK)	IN./WEEK (PEAK)	1.5 IN						APPLICATION:		RATE OF	DESIGN RATE	SYSTEM
					N	INFORMATION	INFOR		REFERENC	$\mathbb{A}$	EM DAT.	SYSTEM
	ATE FOR TURITY OF	JES AREACCURATE FOR EXPOSURE, MATURITY OF	VALUES / YPE, EXPC	FORMANCE OR SOIL T	ONLY.PER JJUSTED F	EFERENCE UST BE AI	IS FOR RI TIMES MI DITIONS.	AL DATA, WATERING RING CON	HISTORIC . ACTUAL NAL WATE	THE FALLOWING, BASED ON HISTORICAL DATA, IS FOR REFERENCE ONLY.PERFORMANCE VALU CONTROLLER PROGRAMMING. ACTUAL WATERING TIMES MUST BE ADJUSTED FOR SOIL TYPE, PLANT MATERIALAND SEASONAL WATERING CONDITIONS.	ALLOWING, OLLER PRO MATERIAL/	THE F. CONTR PLANT
							DATA		SCHEDULING		ATION	IRRIG

WIDTH OF TREE TRUNK AT FOUR FEET FROM GROUND LEVEL.	HIGH WEEKLY ON	VERY LARGE (31" AND OVER)" 310 GALLONS MODERATE TIMES A MONTH	MINIMAL ONCE OR TWICE A MONTH	HIGH WEEKLY ON	LARGE (22" TO 30")" 260 GALLONS MODERATE A MONTH A MONTH	MINIMAL ONCE OR TWICE A MONTH	HIGH WEEKLY ON	MEDIUM (13" TO 21")" 160 GALLONS MODERATE TIMES A MONTH	MINIMAL ONCE OR TWICE A MONTH	HIGH WEEKLY ON	SMALL (5" TO 12")"     80 GALLONS     TWICE OR THREE TIMES       A MONTH     A MONTH	PHORMIUM TENAX MINIMAL ONCE OR TWICE A MONTH	AVERAGE STREET TREE (16")" 160 GALLONS MINIMAL ONCE OR TWICE A MONTH	NEWLY PLANTED (LESS THAN 5")" 10 TO 20 GALLONS NEWLY PLANTED TREE WEEKLY	VOLUME BASED ON SPECIES APRIL TO OCTOBER	TREE TRUNK WIDTH SIZE RECOMMENDED WATER WATERING FREQUENCY MONTHS MON	
	LY		TWICE A MONTH			TWICE A MONTH	LY		TWICE A MONTH			TWICE A MONTH		LY			
	ONCE TO TWICE A MONTH	ONCE A MONTH	NONE	ONCE TO TWICE A MONTH	ONCE A MONTH	NONE	ONCE TO TWICE A MONTH	ONCE A MONTH	NONE	ONCE TO TWICE A MONTH	ONCE A MONTH	NONE	NONE	WEEKLY	NOVEMBER TO MARCH	MONTHS	

1-1/2" PVC PIPI	22.1 - 30.0 GPM
1-1/4" PVC PIPI	13.1 - 22.0 GPM
1" PVC PIPE OR RAIN BI	8.1 - 13.0 GPM
3/4" PVC PIPE OR RAIN	5.1 - 8.0 GPM
3/4" PVC PIPE OR DRIPL	0 - 5.0 GPM
HEADER SIZE	ZONE FLOW
DRIPLINE SUPPLY/EXHAUST HE	DRIPLINE SU

WATER PRESSURE NOTE ASSUME WATER PRESSURE TO BE 70 PSI. CONTRACTOR SHALL VERIFY BEFORE INSTALLAT IF LESS THAN DESIGN PRESSURE, CALL LANDS DESIGNER FOR DIRECTION.

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X= Y= Z=

STATION NO
SERVICE LINE SIZE
FLOW RATE: GPM
APPLICATION RATE (

## 1. AT A MI STATE OF 2. AUDITS LANDSCAP MINIMUM, AUDITS SHALL BE IN A OF CALIFORNIA LANDSCAPE AUDIT 'S SHALL BE CONDUCTED BY A S APE IRRIGATION AT LEAST ONCE TED TO THE LOCAL WATER PURV A ACCURDANCE WITH ' JDITOR HANDBOOK. A STATE CERTIFIED ICE EVERY FIVE YEARS IRVEYOR THE AND

PROVIDE SOIL SPECIFICATIONS IF IMPORT SOIL OR PROVIDE SOIL ANALYSIS IF USING ON SITE SOIL. THE SOIL INFORMATION MUST INCLUDE: SOIL TEXTURE (%OF ORGANIC MATTER), INFILTRATION RATE (OR ESTIMATED RATE), PH & TOTAL SOLUBLE SALTS, INDICATE MULCH, SOIL AMENDMENTS OR OTHER MATERIAL WILL BE USED OR REQUIRED.

MAINTENANCE SCHEDULES: IRRIGATION AND LANDSCAPE 1. IRRIGATION REPAIR AND MAI 2. AERATION OF TURF. 3. WEEDING. 4. REPLENISH MULCH. MAINTEN

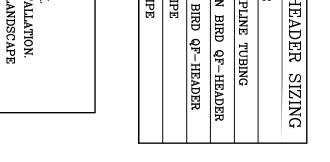
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AUTOMATIC CONTROLLERS MUST USE EVAPOTRANSPIRA SOIL MOISTURE SENSING DATA. LANDSCAPE SHALL BE MAINTAINED TO ENSURE WATEH A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE BE LIMITED TO CHECKING, ADJUSTING AND REPAIRING IRRIGATION EQUIPMENT, RESETTING REPLENISHING MU PRUNING AND WEEDING IN ALL LANDSCAPE AREAS. PROPER DESIGN, INSTALLATION, MANAGEMENT, AND M A TOP-PERFORMING SYSTEM AND LANDSCAPE. ATER EFFICENCY. UDE BUT NOT RING MULCH,FERTILIZING S. D MAINTENANCE FOI OR

1. ADJUST TIMER SETTINGS. 2. CHECK AND ADJUST SPRINKLEJ ALL NECESSARY LINES, WIIRES 3. CLEAN MAINLINE FILTER (IF IN 4. INSPECT FOR LEAKS. UNCLOG 5. VISUALLY INSPECT OPERATION CLEAR CLOGGED NOZZLES, AN NON-WORKING SPRINKLERS OI NON-WORKING SPRINKLERS OI , DK., IENT. , FILTERS. ER HEADS. OLES PER V ACE NRENTS. OROPER OJ

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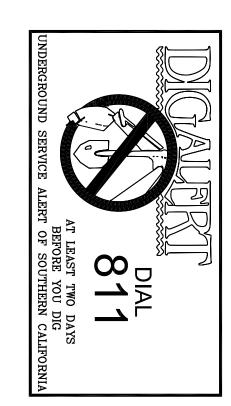
CONTRACTOR S	3"	2-1/2"	ູ	1-1/2"	1 - 1/4"	1"	3/4"	PIPE SIZE	IRI
PIPE SHA	120	80	55	35	26	16	10	PVC CL 2	
E ALL LATERAI LL BE SMALLE	100	70	50	30	24	14	9	PIPE SIZE PVC CL 200 PVC CL 315 PVC SCH 40	N PIPE SI
, PIPE ACCORD ST SIZE. NO 1	110	70	50	30	22	12	8	IZE PVC CL 200 PVC CL 315 PVC SCH 40 CC	ZING CHAF
CONTRACTOR SHALL SIZE ALL LATERAL PIPE ACCORDING TO THIS SIZING LEGEND. 3/4" PIPE SHALL BE SMALLEST SIZE. NO 1/2" SHALL BE USED.	100	70	45	26	18	12	G	COPPER TYPE 'K'	
<u>ם ה</u>									

LEEVE CHARTFORIRRIGATIONPIPESCH. 40/80PVCCONTROLLER WIRESSCH. 40/80PVCSLEEVE SIZEWIRESSLEEVE SIZESLEEVE SIZE $2^n$ 1-18 $2^n$ $2^n$ $2^n$ 19-24 $2-1/2^n$ $25-36$ $3^n$ $3^n$ $37-48$ $4^n$ $49-72$ $6^n$	2-1/2"	సి	1-1/2"	1-1/4"	1"	3/4"	PIPE	2
FOR IRRIGATION PIPE           CONTROLLER         SCH. 40/80 PVC           WIRES         SLEEVE SIZE           1-18         2"           19-24         2-1/2"           25-36         3"           37-48         4"           49-72         6"	6"	4"	ယ္	2-1/2"	<sub>ຈ</sub> ູ	సి	SCH. 40/80 PVC SLEEVE SIZE	
GATION PIPE SCH. 40/80 PVC SLEEVE SIZE 2" 2-1/2" 4" 6" 6"	73-90	49-72	37-48	25-36	19-24	1–18	CONTROLLER WIRES	זממו מאיז י
	6,	o,"	4"	ω,	2-1/2"	సి,	SCH. 40/80 PVC SLEEVE SIZE	

NOTE TO CONTRACTOR: IT IS CONTRACTOR'S RESPONSIBILITY TO KEEP THE EXISTING IRRIGATION SYSTEM IN OPERABLE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. THE SCOPE OF RESTORING AND REPAIRING OF EXISTING SYSTEM SHALL INCLUDE, BUT NOT LIMITED TO CAPPING-OFF LATERAL END LINES & MAINLINES, REROUTING MAINLINE & CONTROL WIRES, AND RELOCATING VALVES OR REPLACING PER EXISTING STANDARDS.

GENERAL IRRIGATION NOTES:

ALL IMPROVEMENTS SHALL COMPLY WITH THE STANDARD UNIFORM BUILDING CODE.
THIS IRRIGATION DESIGN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SHOWN WITHIN PAVED OR BUILDING AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN SHRUB AREAS WHEREVER POSSIBLE.
MATERIAL COUNTS ARE APPROXIMATIONS AND SHOULD NOT BE TAKEN TO BE AN EXACT AMOUNTS. CONTRACTOR IS RESPONSIBLE FOR THEIR OWN MATERIAL QUANTITIES.
CONTRACTOR SHALL INSTALL ADDITIONAL INLINE CHECK VALVES AS NEEDED.
AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATION OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE, AND IRRIGATION MAINTENANCE.



SHI	DA JOE SC/	DE	IR C. SI	HS	PROJECT INFORMATION:	NO	DATE	REVISION	ANWPADSANUOCAAA GC (3) RC SA
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		ED/	BAT CS.	DE	PRIVATE RESIDENCE	2			AMORI HILL HILL HILL HILL HILL HILL HILL HI
105	- 1/09/2	DRA		SCF		3			ESIGN WO
OF	R S 2021	L WN	LIO N	UPT	3 OUTRIDER RD.	4			A 90; A 90;
7		BY	SN	ION	ROLLING HILLS, CA 90274	6			
		Y	N	NC		6			

LANDSCAPE **IRRIGATION** SPECIFICATIONS

- SCOPE.
   PROVIDE LABOR. MATERIALS, PERMITS, EQUIPMENT, SUPERVISION, SERVICES AND TRANSPORTATION AND ALL PROVIDE LABOR. MATERIALS, PERMITS, EQUIPMENT, SUPERVISION, SERVICES AND TRANSPORTATION AND ALL OPHER TIMES NECESSARY TO PERFORMALL IRREATION WORK SI NUCLEAR AND SERVICED DIARAMATIC PLANS, GUARANTEES, AND SERVICE MANUALS WORK SHALL BE COMPLETED IN AN EFFICIENT AND SATISFACTORY MANNER TO THE HOHEST WORKMANLIKE STANDARDS ESTABLISHED FOR SPRINKLER INSTALLATION AND DEFEATOR.
   CIBMERAL CONDITIONS:
   A CONTRACTOR SHALL VERLEY ALL CONDITIONS INDICATED ON THE PLANS. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES IN THE PLANS AND FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK, FALLURE TO NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING EXEMPTS THE CONTRACTOR FROM GAINING CONFERNATION FOR REQUIRED CHANGES.
   CONTRACTOR SHALL CHECK ALL SITE CONDITIONS, MUNCOWN DESTRUCTIONS, CHANGES, AND SIZE OF UTILITIES AND SERVICES PROFE TREDUCTION CONFERNATION FOR REQUERED CHANGES. OR DISCREPANCIES IN AREAS OR DIMENSIONS EXIST. IMMEDIATELY BRING DISCREPANCIES TO THE ATTEINTON OF THE INVERTS REPRESENTATIVE IF NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR REQUIRED REVISIONS AND COSTS.
   CONTRACTOR SHALL PROFECT INSTALLED CONTRACT NO FILERGATION WORK TO AVOID CONFLICTS WITH PLANTING HIS WORK WITH OTHER TRALES. CONTRACTOR IS RESPONSIBLE FOR COORDINATING HIS WORK WITH OTHER TRALES. CONTRACTOR IS RESPONSIBLE FOR CONTRACTOR SHALL PROFECT INSTALLED CONTRACT WORK AND FRES CONTRACTOR IS RESPONSIBLE FOR CONTRACTOR SHALL APPLY AND PAY FOR NECESSARY PERMITS AND FRES NOT CONFLICTS WITH PLANTING ARE DEFERSION FOR LAWS. MULL MANDER AND FRES ON FREATERS TO A PORTION OF THIS WORK ARE HEREBY WAND STATE LAWS. MULL RESPONSES CLAN AND FRES ON FREATERS.
   CONTRACTOR SHALL PROFECT INSTALLED OF THESE SECULATIONS OF WERK. MATERIAL AND RUBURY AREAS
   CONTRACTOR SHALL APPLY AND PAY FOR NECESSARY PERMITS AND FR
- K. J. CONTRACTOR SHALL NOTE ALL FINISH GRADES BEFORE COMMENCING WORK. RESTORE FINISH GRADE CHANGED DURING COURSE OF THIS WORK TO ORIGINAL OR INTENDED CONTOURS WHERE PRACTICAL. NO DEVIATION FROM PLANS AND SPECIFICATIONS IS AUTHORIZED, UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM THE OWNER'S REPRESENTATIVE OR HIS APPOINTED REPRESENTATIVE IN ADVANCE. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT REMOVAL AGREEMENT IF REQUIRED FOR ALL IRRIGATION EQUIPMENT LOCATED WITHIN PUBLIC RIGHT OF WAY.
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- A SERVICE MANUALS, KEYS, EQUIPMENT, AND GUARANTEES:
  1. CONTRACTOR SHALL SUBMIT TWO (2) SERVICE MANUALS FOR IRRIGATION EQUIPMENT TO OWNER'S REPRESENTATIVE. MANUALS MAY BE LOOSE LEAF AND SHALL CONTAIN COMPLETE DRAWINGS OF ALL EQUIPMENT INSTALLED SHOWING COMPONENTS AND CATALOG NUMBERS TOGETHER WITH THE MANUFACTURER'S NAME AND ADDRESS. OPERATION INSTRUCTIONS SHALL BE SIMPLE ENOUGH TO BE UNDERSTOOD WITHOUT SPECIALIZED KNOWLEDGE.
  2. CONTRACTOR SHALL SUBMIT TWO (2) SETS OF KEYS PER EACH CONTROLLER. A COPY OF THE EQUIPMENT GUARANTEES SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE.
  3. THE CONTRACTOR SHALL SUPPLY THE FOLLOWING TOOLS:
  A. TWO (2) SETS OF SPECIAL TOOLS REQUIRED FOR REMOVING, DISASSEMBLING, AND ADJUSTING EACH TYPE OF SPRINKLER AND VALVE ON THIS PROJECT.
  B. ONE (1) QUICK COUPLER KEY AND MATCHING HOSE SWIVEL FOR EACH TYPE OF QUICK COUPLING VALVE INSTALLED.
  4. WATER SUPPLY:
  A GENERAL:

  - EACH
- CLES, ALGAE, OR CHEMICALS BE DETRIMENTAL TO PLANTINGS

- A GENERAL
  A GENERAL
  POTABLE WATER SUPPLY SHALL BE CLEAN, FREE OF SUSPENDED PARTICLES, ALGAE, OR CHEMICALS THAT MAY FORM INSOLUBLE PRECIPITATES IN THE EQUIPMENT OR MAY BE DETRIMENTAL TO PLANTINGS.
  B. WATER SERVICE:

  INDIVIDUALLY ASSESSED AREAS AND INDIVIDUALLY OWNED (OR TO BE OWNED) LOTS SHALL HAVE SEPARATELY METERED AND CONTROLLED IRRIGATION SYSTEMS. IRRIGATION SHALL BE CONFINED TO THE INDIVIDUAL AREAS, WITHOUT OVERSEPARY ONTO ADJACENT AREAS OR ACROSS PROPERTY LINES. SPECIAL SITUATIONS MAY BE APPROVED OR REQUIRED BY THE PLANNING DIRECTOR ARCHITECT TO VARY FROM THESE REQUIREMENTS.
  CITY APPROVED BACKFLOW PREVENTION UNITS ARE REQUIRED ON ALL IRRIGATION SYSTEMS. INSTALLATION SHALL COMPLY WITH ALL APPLICABLE HEALTH AND SAFETY CODES.
  GUARANTEED:

  THE SITE SPRINKLER SYSTEM, INCLUDING WORK DONE UNDER THIS CONTRACT, SHALL BE GUARANTEED IN WRITING AS TO MATERIAL AND WORKMANSHIP, INCLUDING SETTLING OF BACKFILLED AREAS BELOW GRADE FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE AND SAFE CAUSED BY FAULTY MATERIALS OR WORKMANSHIP AT NO COST TO THE OWNER, THIS DATE AFTER REVIEW OF THE SPECIFIED IRRIGATION WORK INMEDIATELY REPARD AND KONSTRACTOR DOES INSTRUCTION TO THE OWNER'S REPRESENTATIVE AND FUTURE MAINTENANCE PERSONNEL IN THE OPERATION OF THE IRRIGATION SYSTEMS. THE OWNER RETAINS THE RIGHT TO MAKE EMERGENCY REPARS WITHOUT RELIEVING THE IRRIGATION SUBJERANTEED OF REPARS WORKMANSHIP AT NO COST TO THE OWNER, BROUDE INSTRUCTION TO THE OWNER'S REPRESENTATIVE AND FUTURE MAINTENANCE PERSON AND SITE AND STREE CAUSED BY FAULTY MATERIALS OR WORK UNDER THIS ROLL AND YEAR THE OPERATION OF THE IRRIGATION SYSTEMS. THE OWNER RETAINS THE RIGHT TO MAKE EMERGENCY REPARS WITHOUT RELIEVING THE CONTRACTOR'S GUARANTEED OBLIGATIONS. IN THE EVENT THE CONTRACTOR DOES NOT RESPOND TO THE OWNER'S REPARS AS HE MAY DEEM NECESSARY AT THE FULL EXPENSE OF THE OWNER MAY MAKE SUCH REPARS AS HE MAY DEEM NECESSARY AT THE FULL EXPENSE OF THE CONTRACTOR. U.
- OR REPAIR AS HE MAY
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  A PROVIDE NAW MATERIALS AND EQUIPMENT OF BEST QUALITY OUTAINABLE, WHICH COMPLY WITH DRAWINGS AND SPECIFICATIONS.
  NO SUBSTITUTION OF SPECIFIED MATERIALS OR EQUIPMENT SHALL BE MADE WITHOUT REVIEW BY GROW CONFROL LANSOARE AND WEITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE.
  IRRIGATION PIPE AND FITTINGS.
  POTABLE PRY EFFE.
  A PUES SHALL BE MADE FROM NSF APPROVED, TYPE I, GRADE II PVC COMPOUND CONFORMING TO ASTM RESIN SPECIFICATION D1764. PIPE SHALL BE CONTINUOUS: AND PERMANNETS SET FORTH IN FEDERAL SPECIFICATION PIPE AND FROM NSF APPROVED, TYPE I, GRADE II PVC COMPOUND CONFORMING TO ASTM RESIN SPECIFICATION PI764. PIPE SHALL BE CONTINUOUS: AND PERMANENTLY MARKED WITH THE FOLLOWING INFORMATION MANUPACTURER'S NAME, NOMINAL PIPE SIZE, SCHEDULE OR CLASS, PRESSURE KATING IN PSI. NSF APPROVAL AND DATE OF EXTRUSION.
  ALL PIPE SHALL BE CONTINUOUS: AND PERMETURISH OF PIPE FITTING AND AS APPROVED USE NO SOLVENT FROM CANS THAT HAVE BEEN OPENED OVERNIGHT.
  D'YC PRESSURE LINES TO BE INSTALLED UNDERGROUND:
  ALL PIPE SHALL BE SCHEDULE 40.
  PVC NON-PRESSURE LINES TO BE INSTALLED UNDERGROUND:
  ALL PIPE SHALL BE SCHEDULE 40.
  PVC NON-PRESSURE LINES TO BE INSTALLED UNDERGROUND:
  ALL PIPE SHALL BE SCHEDULE 40.
  PVC RUPTINGS SHALL BE NOT RECOMBINED OF TRADEMARK, MATERIAL DESIGNATION, SIZE, APPLOADE THE STALL BE SCHEDULE AND NEW APPROVED.
  RASS FIPE SHALL ECONTRO CONSES SHALL BE MAN OF T
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- Ð SLEEVING
- Ε PIPE SLEEVES SHALL BE PVC SCH 40 MINIMUM
- VALVE VALVES SHALL ΒE THE
- ERFORMAN REMOTE CONTROL IGATION LEGEND. SPECIFIED IN THE **IRRIGATION** LEGEND.
- REMOTE CONTROL VALVES AND PRESSURE REGULATING TYPE, SIZE AND PERFORMANCE SPECIFIED IN THE IRRI BALL VALVES SHALL BE THE TYPE, SIZE AND PERFORM CHECK VALVES SHALL BE HUNTER HCV-SERIES. QUICK COUPLING VALVES SHALL BE THE TYPE, SIZE A AND PERFORMANCE SPECIFIED IN THE IRRIGATION
- 4. QUICK COUPLING VALVES STATE
  E. E. LEGEND.
  F. VALVE / PULL BOXES:
  F. VALVE / PULL BOXES:
  1. ALL VALVE BOXES SHALL BE MANUFACTURED BY OLD CASTLE 0
  G. SPRINKLER HEADS:
  G. SPRINKLER HEADS SHALL BE OF THE TYPE, SIZE AND PERFORMANCE Ŀ
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  - AND PERFORMANCE SPECIFIED IN THE IRRIG. ATION LEGEND

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ONVENTIONAL CONTROLLER WIRE: . USE DIRECT BURIAL COPPER WIRE AWG-INSULATED CABLE RATED FOR DIRECT B (MINIMUM) PILOT AND SPARE WIRES, 12 WIRE COLOR AS FOLLOWS: COMMON WIRE EALS FOR SPLICES AND SPARE WIRE ENDS AWG-U. CT BUR \$, 12 G/ WIRE \$ -U.F. 600 VOLT, SINGLE CONI 3URIAL APPLICATION, U.F., U.L GAUGE (MINIMUM) FOR COMM E SHALL BE WHITE, CONTROL S SHALL BE "PEN-TITE" WIRE WIRE R SOLID COPPER, PLAST ROVED 12 GAUGE ROUND RETURN WIRE. S SHALL BE RED. IECTORS OR APPROVED

BE OF THE TYPE, SIZE AND PERFORMANCE SPECIFIED IN THE IRRIGATION

ATIC CONTROLLERS: CH CONTROLLER SHALL I GEND. NTROLLER SHALL OPERA: STED, AND SHALL CONTAI CLE WITHOUT INTERRUPT HALL OPERATE ON A HALL CONTAIN AN " INTERRUPTING TH THE SINGLE "OFF" Al INGLE PHASE, 110 TO 12 DFF" AND "ON" SWITCH ' TIMING MECHANISM. O 120 VOLT, 60 HZ, ALTERNATING CURRENT, "U H TO SHUT OFF ENTIRE AUTOMATIC WATERING OUTPUT SHALL BE 24 VOLTS AC.

CONTROLLERS SHALL BE ENCLOSED IN WEATHERPROOF CORROSION-RESISTANT HOUSING HAVING LOCKING COVER TO PROTECT ALL EQUIPMENT FROM VANDALISM. CONDUIT FOR 120 VOLT AND 24 VOLT WIRING SHALL BE AS APPROVED BY THE LOCAL BUILDING FOR ELECTRICAL SERVICE AND DISTRIBUTION (PVC PIPE WILL NOT BE ACCEPTABLE FOR USE AS ELECTRICAL CONDUIT). TALLATION PROCEDURES:

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WAI Ņ IF NO DETAIL IS PROVIDED MANUFACTURER'S RECOMMEN RECOMMENDED PROCEDURES PLANS ARE DIAGRAMMATIC *I* LOCATED IN PLANTING AREA AREAS EXCEPT WHERE NOT ر AND AREAS. P NOT F<sup>F</sup> AND APPROX AS. PIPING S FEASIBLE T SHALL TO DO E. VALVES AND BE LOCATED A SO. D OTHER ALONG T THE PRAC PROCEEL RRRIGATION "''TE INSIDE ] N EQUIPMENT EDGES OF PI VT SHALL E PLANTING ΒE

ECT IRRIGATION SYSTEM TO POINT OF CONNECTION (POC) AT APPROXIMATE LOCATIONS RAWINGS. SHOWN

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ALLOW FOR MINOR CHANGES AT POC CAUSED BY ACTUAL SITE CONDITIONS. VERIFY AVAILABLE WATER PRESSURE AT EACH METER LOCATION PRIOR TO COMMENCING CONSTRUCTION OF IRRIGATION SYSTEMS. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDI/ PRESSURE IS NOT THAT WHICH IS INDICATED IN THE DRAWINGS, OR IS NOT SUFFICIENT SYSTEMS AS DESIGNED. IF NOTIFICATION IS NOT PERFORMED THE CONTRACTOR SHALL A RESPONSIBILITY FOR ANY REQUIRED REVISIONS. CTRICAL SUPPLY: IVE IMMEDIATELY SUFFICIENT TO O OR SHALL ASSUMF

ELE 1. SUPPLY: POWER AND CONNECTIONS TO THE AUTOMATIC CONTROLLER AS INDICATED NO

ળં છ DRAWINGS. CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES. CONTRACTOR SHALL COORDINATE WITH OWNER AND OTHER TRADES TO F THE CONTROLLERS WHEN NEEDED. HAVE POWER AVAILABLE TO

TRI 1. ω ŝ DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. LA EVEN GRADE. FOLLOW LAYOUT INDICATED ON DRAWINGS. DEPTH OF TRENCHES SHALL BE SUFFICIENT TO PROVIDE A MINIMUM COVER ABOVE THE PIPE AS INDICATED IN PIPE DEPTH SECTION UNDER THE IRRIGATION PIPE AND FITTINGS FINISH GRADE OF ALL TRENCHES MUST CONFORM TO ADJACENT GRADES WITHOUT DIPS, S AREAS, HUMPS OR OTHER IRREGULARITIES. IGATION PIPE AND FITTINGS: LAY SUNKEN TOP OF THE S HEADING. PIPE

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I NO MULTIPLE ASSEMBLIES. PROVIDE EACH AS METAL CONNECTION SHALL BE BY PVC MALE FEMALE FITTING, OR BY METAL MALE THREAD SSEMBLY WITH ITS OWN OUTLET. THREAD ADAPTER FITTING SCREWED INTO ADAPTER FITTING SCREWED INTO PVC FEMALE

NG. ON TAPE SHALL BE 1 OVE BURRS FROM PV( )FACTURER'S RECOMM )ED CONNECTIONS. )ED CONNECTIONS. ;ATION CIRCUITS SHA: 'OUR LINES. BE USED ON ALL THREADED PVC TO PVC AND PVC TO PVC PIPE ENDS PRIOR TO CONNECTING OR SOLVENT V COMMENDATIONS FOR CLEANING PIPE ENDS PRIOR TO M TO METAL JOINTS. IT WELDING. USE SO MAKING SOLVENT SOLVENT

SHALL RUN PARALLEL, OR AS CLOSE TO PARALLEL AS IS PRACTICAL, TO

TH OF PIPE SHALL BE SUFFICIENT TO PROVIDE A MINIMUM COVER ABOVE THE TOP OF THE PIPE LOWS UNLESS INDICATED DIFFERENTLY ON DRAWINGS OR AS PER CITY OR COUNTY CODES OR UIREMENTS:

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" OF COVE COVER

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OMMERCIAL REQUIREMENTS: PLANTING AREAS: NON-PRESSURE LINES -12" OF COVE PRESSURE LINES - 18" OF COVER PAVED AREAS: NON-PRESSURE LINES IN SLEEVES -PRESSURE LINES IN SLEEVE - 18" O ELECTRICAL WIRES IN SLEEVES - 18" 18 CO

3 OF 18" ( F COVER OF COVER

TABLE IRRIGATION LINES SHALL HAVE A CLEARANCE OM LINES OF OTHER TRADES. RALLEL IRRIGATION LINES SHALL NOT BE INSTALLED OF *6*" OR MORE FROM EACH

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TESTING: GROUNDS

Ð. IRRIGATION LINES S OF THE TRENCH. DIRECTLY OVER ONE ANOTHER, OR AGAINST

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FLUSHING AND ADJUSTING SYSTEM:
A AFTER IRRIGATION PIPELINES AND RISERS ARE IN PLACE AND CONNECTED, AND PRIOR TO INSTALLATION OF IRRIGATION HEADS, OPEN THE CONTROL VALVES AND USE A FULL HEAD OF WATER TO FLUSH OUT SYSTEM AFTER THE SYSTEM IS THOROUGHLY FLUSHED, RISER SHALL BE CAPPED OFF AND THE SYSTEM PRESSURE TESTED FOR THREE (3) HOURS © 150 PSI.
B. ADJUST VALVES AND ALIGNMENT AND COVERAGE OF IRRIGATION HEADS. ADJUSTMENTS MAY INCLUDE CHANGES IN NOZZLE SIZES AND DEGREES OF ARC. THESE CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER. OBTAIN COVERAGE TEST APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PLANTING OR SEEDING.
C. SYSTEMS REQUIRING FLUSHING SHALL ACCOMMODATE THE WATER GENERATED BY THE FLUSHING WITHOUT EROSION OR DISTURBANCE TO THE PLANTING. WATER SHALL BE CHANNELED INTO ADJACENT DRAINAGE STRUCTURES (SWALE, GUTTER, ETC.) WHERE POSSIBLE.

Ņ PIPE RE– F ONE

AND ON F SPEVES SHALL BE A MINIMUM OF TWO TIMES LARGER THAN PIPE OR WIRE BUNDLE IT ENCLOS E PER SLEEVE. PIPE SIZE SHALL BE 2" MINIMUM. E SLEEVE UNDER EXISTING OR FUTURE PAVING SHALL BE INSTALLED PRIOR TO PAVING OR -PAVING AND SHALL EXTEND 12" BEYOND EACH SIDE OF PAVEMENT. THE LETTERS "E" FOR D "W" FOR WATER SHALL BE STAMPED OR CHISELED IN THE PAVEMENT DIRECTLY ABOVE TH BOTH SIDES OF THE CROSSING. EVE MARKER: METALLIC BACKED LOCATING TAPE SHALL BE INSTALLED ALONG THE ENTIRE I ALL SLEEVES, 12" DIRECTLY ABOVE SLEEVES. NTRACTOR SHALL BE RESPONSIBLE FOR SLEEVES AND CHASES UNDER PAVING, THROUGH WAI ", UNLESS OTHERWISE NOTED. THE ENTIRE LENGTH OR ELECTRIC THE SLEEVE

ယ္ THROUGH WALLS,

VALVES:

REDUCING REMOTE CONTROL PLANTING AREAS ONLY. R WHEREVER POSSIBLE AND I INSTALLED

3. VALVES:
1. REMOTE CONTROL VALVES AND PRESSURE REI
A. VALVES SHALL BE LOCATED IN SHRUB PL
B. VALVES SHALL BE GROUPED TOGETHER W
BOXES.
C. WHERE THE PRESSURE AT THE REMOTE C
DROPS, ETC.), A PRESSURE REDUCING VAI THE PRESSURE AT THE REMOTE CONTROL VALVE EXCEEDS 80 P.S.I. (DUE TO ELEVATION ETC.), A PRESSURE REDUCING VALVE SHALL BE USED TO REDUCE PRESSURE TO DESIGN

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IS SHALL BE ADJUSTED SO THAT THE MOST REMOTE SPRINKLER HEADS OPERATE AT URE RECOMMENDED BY THE HEAD MANUFACTURER. VALVES SHALL BE ADJUSTED SO RM DISTRIBUTION OF WATER IS APPLIED BY THE SPRINKLER HEADS TO THE PLANTIN ACH INDIVIDUAL VALVE SYSTEM. DE A PVC UNION ON THE DOWNSTREAM SIDE OF THE VALVE. CONNECTIONS SHALL BI ONTALLY. BE MADE THE A

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Ņ A. B. **VES** SHALL LOCATED LUCATED IN INSTALLED 3 LONG RUN TO DIVI NS OF P 3 PLANTING AREAS ONLY. 7IDE THE IRRIGATION SYST PIPING FOR SYSTEM REPA INTO

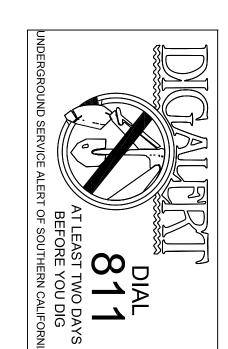
CHE A. BALL AND VALVES: VES SHALL I AVOID DRAIN ) DIVID OF PIF I SYSTEM REPAIRS. UNITS

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PROVIDE A MANUFACTURER I MANUFACTURER INSTALLED C CHANGE EXCEEDS TEN FEET, HEAD ACCORDING TO DETAILS PROVIDE N FEET, DETAILS. INSTALLED CHECK VALVE IN EACH SHRUB HEAD CHECK VALVE IS NOT AVAILABLE, OR WHERE THE T, PROVIDE AN IN LINE CHECK VALVE ON THE RI AD ON RISER. I'HE SYSTEM I RISER OF E/ ER. WHEN A M ELEVATION EACH SHRUI

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Ņ AUGATION MAINTENANCE: SYSTEM SHALL BE CHECKED A MINIMUM OF ONCE A WEEK FOR ANY BREAKS OR LEAKS. IF CONTROLLER IS DOES NOT HAVE SELF-ADJUSTMENT ACCESSORY, CONTROLLER RUN TIMES SI ADJUSTED MANUALLY A MINIMUM OF ONCE A MONTH. FLUSH ALL DRIP LINES AND CLEAN OUT ALL CONTROL ZONE FILTERS QUARTERLY. CONTROLLER CABINET SHALL OPENED AND CLEANED OF ANY DUST AND DEBRIS QUARTERLY. VALVE BOXES SHALL BE OPENED AND INSPECTED FOR ANY DIRT OR MUD QUARTERLY. ALL WIRE CONNECTIONS SHALL BE CHECKED FOR FUNCTIONALITY AND PROPER OPERATION AT RAIN SHUT-OFF DEVICE SHALL BE CHECKED FOR FUNCTIONALITY AND PROPER OPERATION AT



TIDE A MANUFACTURER INSTALLED CHECK VALVE IN EACH POP-UP HEAD. WHEN A
JFACTURER INSTALLED CHECK VALVE IS NOT AVAILABLE, OR WHERE THE SYSTEM ELEVATION
IGE EXCEEDS EIGHT FEET, PROVIDE AN IN LINE CHECK VALVE ON THE SWING JOINT ASSEMBLY
IACH POP-UP HEAD ACCORDING TO DETAILS.
OUPLING VALVES SHALL BE LOCATED IN SHRUB PLANTING AREAS ONLY.
K COUPLING VALVES SHALL BE SET APPROXIMATELY 12" FROM WALKS, CURBS, HEADERS, OR
D AREAS WHERE APPLICABLE.
AIR RELIEF VALVES SHALL BE LOCATED AT THE HYDROSTATIC HIGH AND LOW POINTS OF
I DRIP ZONE AND/OR WITHIN EACH SEPARATE SECTION OF THE DRIP ZONE THEREOF.
PLUSH / AIR RELIEF VALVES SHALL BE SET APPROXIMATELY 12" FROM WALKS, CURBS, HEADERS,

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'LUSH / AI 'ACH DRIP FLUSH / 1 OR PAVED HEADERS,

LVE BOXES: VALVE BOXES: VALVE BOXES SHRUB AREAS. VALVE BOXES SURFACE OF A INDICATE ON V NUMBER OF TH WIDE AND BUR RINKLER HEADS: SPRINKLER HEADS: SPRINKLER HEADS: SPRINKLER HEADS: SPRINKLER HEADS: SPRINKLER HEADS: SPRACING OF IR INSTALL POP-U RETAINING WALL RETAINING WALL CONTRACTOR SI THROW ONTO W SPRAY WATER CHANGES, HEAI ESTABLISHED IN VELOCITY IN PI RECOMMENDED IRRIGATION UTTO

ADJACENT TO WALKS OR PAVING SHALL NOT BE INSTALLED HIGHER THAN FINISH ADJACENT WALK OR PAVING. SHALL BE SET ONE AND ONE HALF INCH  $(1 \ 1/2")$  Above the designated finish grade in

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ON VALVE BOX LID EITHER P.B. FOR PULL BOX, B.V. FOR BALL VALVE, OR THE IDENTIFICATION F THE REMOTE CONTROL VALVE AND CONTROLLER CLOCK. LETTERS SHALL BE 3" HIGH, 1/2" BURNED INTO THE LID WITH A SOLDERING IRON OR ENGRAVED INTO THE LID WITH A ROUTER.

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ADJACENT TO WALKS OR PAVING SHALL NOT BE HIGHER THAN FINISH OR PAVING.

HEADS:
ER HEADS AND RISERS SHALL BE INSTALLED ACCORDING TO DETAILS.
OF IRRIGATION HEADS SHALL NOT EXCEED MAXIMUMS PER THE IRRIGATION LEGEND.
SPRINKLER HEADS 12" FROM ANY VERTICAL SURFACE (WALLS, FENCES, BUILDINGS, ETC.).
POP-UP TYPE HEADS ADJACENT TO WALKS, PAVING, HEADERS, GLAZING, AND TOP OF
IG WALLS TYPICALLY.
POP-UP TYPE HEADS ADJACENT TO WALKS OR PAVING SHALL NOT BE HIGHER THAN FINISH
I OF ADJACENT WALK OR PAVING.
I'TOR SHALL ADJUNST ALL IRRIGATION HEADS TO FULLY COVER ALL PLANTING AREAS AND NOT
I'NTOR SHALL BE ADDED OR DELETED IN ACCORDANCE WITH THE MAXIMUM SPACING LIMITS
SHED IN THE IRRIGATION LEGEND. PIPE SIZING SHALL BE ADJUSTED ACCORDINGLY. WATER
I'N PIPES SHALL NOT EXCEED 5 FEET PER SECOND AND FLOW SHALL NOT EXCEED
SINDED MAXIMUM OF REMOTE CONTROL VALVE SIZE.
I'N HEADS WITHIN A CIRCUIT SHALL HAVE A UNIFORM PRECIPITATION RATE. DO NOT INTERMID'
I'TYPES OR BRANDS OF IRRIGATION HEADS ON THE SAME CIRCUIT.
I'HEADS 'LINE AND RISERS SHALL BE INSTALLED ACCORDING SURFACES.
I'TTER HEADS/LINE AND RISERS SHALL BE INSTALLED ACCORDING SURFACES.
BUILDINGS, LINE 12" FROM ANY VERTICAL SURFACE (WALLS, FENCES, BUILDINGS, REQUIRE ING LIMITS WATER

DO NOT INTERMIX

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ETC.). TOP OF DRIP EMITTER HEADS/LINE OR TOP OF DRIP EMITTER HEAD BOXES ADJACENT TO WALKS PAVING SHALL NOT BE HIGHER THAN FINISH SURFACE OF ADJACENT WALK OR PAVING. CONTRACTOR SHALL ADJUST ALL DRIP IRRIGATION HEADS/LINE TO FULLY COVER ALL PLANTING IRRIGATION SYSTEMS SHALL NOT IRRIGATE ACROSS PROPERTY LINES. WHERE ON-SITE FIELD CONDITIONS REQUIRE CHANGES, DRIP EMITTER HEADS/LINE SHALL BE ADDED OR DELETED FOR COMPLETE COVERAGE. PIPE SIZING SHALL BE ADJUSTED ACCORDINGLY. WATER VELOCITY IN PIPE SHALL NOT EXCEED 5 FEET PER SECOND AND FLOW SHALL NOT EXCEED RECOMMENDED MAXIMU REMOTE CONTROL VALVE / CONTROL ZONE KIT SIZE. IN PIPES MAXIMUM WALKS AREAS OR

WEATHER SENSING 1. WEAHER SENSING DEVICES: ING DEVICES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

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CONTROL

WIRING:

INSTALL V THERE SH

IG IN SAME TRENCH AS PRESSURE SUPPLY LINES WHEREVER POSSIBLE. BE EIGHTEEN INCHES (18") COVERAGE OF EARTH OVER THE 24-VOLT CONTROL IN TRENCH AND TAPE TO MAIN LINES ON SIDE OF PIPE, WHERE APPLICABLE, L WIRE. AT 10"

UNSTALL W INTERVALS NO SPLICE VECESSARY 3ELOW. ES SHALL BE MADE BETWEEN THE CONTROLLER AND AUTOMATIC CONTROL VALVES UNLESS Y FOR DISTANCES OF OVER 1000' AND THEN SHALL CONFORM TO SECTIONS D AND F

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ALL SPLICE TRENCH MA THE PRESS RED COLOR DIRECTLY A IN LINE WI

GROUND SI REPLACED, NVENTIONAL ALL WIRES LID. BOXES

SPLICES SHALL BE ENCASED IN WATERPROOF CONNECTORS PER APPROVED MATERIALS. CH MARKER: WHEN CONTRACTOR CANNOT INSTALL CONTROL WIRES IN THE SAME TRENCH AS PRESSURE SUPPLY LINES, ALL DIRECT BURIAL WIRES SHALL BE MARKED WITH A CONTINUOUS COLORED TRENCH MARKER PLASTIC TAPE PLACED NINE INCHES (9") BELOW FINISHED GRADE 'JTLY ABOVE THE BURIED WIRES. NE WIRE SPLICES SHALL BE MADE ONLY IN PULL BOXES OR VALVE BOXES. NE WIRES IN PULL BOXES SHALL BE LOOSE AND SHALL NOT COME WITHIN THREE INCHES (3") FROM BOXES SHALL BE SIZED ACCORDINGLY TO ACCOMMODATE THIS REQUIREMENT. ING: ALL WIRING SHALL BE TESTED FOR CONTINUITY, OPEN CIRCUITS, AND UNINTENTIONAL INDS PRIOR TO CONNECTING TO EQUIPMENT. THE MINIMUM INSULATION RESISTANCE TO IND SHALL BE FIFTY (50) MEGAOHMS. ANY WIRING NOT MEETING THIS REQUIREMENT SHALL BE ACED, AT THE CONTRACTOR'S EXPENSE. IONAL CONTROLLER.

PROVIDE ONE VALVE MANIF THAN 3' APA SPARE WIRE AANIFOLD IS CONSIDERED ANY VALVE GROUPING WHERE VALVE OR VALVE MANIFOLD (A AANIFOLD IS CONSIDERED ANY VALVE GROUPING WHERE VALVES ARE PLACED NO FURTHER APART). ONE SPARE WIRE THAT IS LOOPED FROM VALVE TO VALVE IS NOT ACCEPTABLE. WIRE ENDS SHALL BE ENCASED IN WATERPROOF CONNECTORS PER APPROVED MATERIALS. IDIVIDUAL CONTROLLER'S CONTROL WIRES SHALL BE BUNDLED AND TAPED TOGETHER WITH D TAPE AT INTERVALS NOT EXCEEDING TEN FEET (10'). CONTROLLER IDENTIFICATION TAPE SHALL BE DIFFERENT AND UNIQUE FOR EACH CONTROLLER.

WIRE CONNECTIONS: 1 LONG COILED EXCESS NEUTRAL, PILOT AND SPARE WIRES SHALL BE INSTALLED WITH A 1" DIA. BY 2' S WIRE LENGTH AT EACH END ENCLOSURE, WIRE SPLICE, AND 100' ON CENTER. Ò

) NOT BACKFILL THE PIPE JOINTS UNTIL THE SYSTEM HAS BEEN PRESSURE TESTED AND ACCEPTED. 3CHANICALLY COMPACT BACKFILL FOR TRENCHING TO DRY DENSITY EQUIVALENT TO ADJACENT 4DISTURBED SOIL, AND MEET ADJACENT GRADES WITHOUT SUNKEN AREAS, HUMPS OR OTHER

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UNDISTURBED SOIL, AND MEET ADJACENT GRADES WITHOUT SUNKEN AREAS, HUMPS OR OTHER IRREGULARITIES. PLACE 6" OR MORE OF CLEAN SOIL, FREE OF DEBRIS, ROCK, ETC. AS INITIAL BACKFILL ON PRESSURE SUPPLY LINES. PLACE FINE GRANULAR MATERIAL WITH NO FOREIGN MATTER LARGER THAN 1/2" IN SIZE AS INITIAL BACKFILL ON ALL NON-PRESSURE LINES. PLACE A MINIMUM OF 6" OF SAND ON PIPES LOCATED UNDER AREAS WHERE PAVING WILL BE INSTALLED. USE SPECIFIED INITIAL BACKFILL FOR REMAINING FILL AS NECESSARY. INSTALL PIPING UNDER EXISTING WALKS BY JETTING OR BORING. IF CUTTING OR BREAKING OF WALKS IS NECESSARY, IT SHALL BE DONE AND REPLACED AS A PART OF THIS CONTRACT. OBTAIN PERMISSION FROM OWNER'S REPRESENTATIVE BEFORE PROCEEDING.

CONTROLLERS:

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CONTROLLERS: 'OMATIC CONTROLLER SHALL BE INSTALLED AT THE APPROXIMATE LOCATION SHOWN ON THE A MANNER RECOMMENDED BY THE MANUFACTURER. CONTRACTOR SHALL CONNECT REMOTE , VALVES TO CONTROLLER TO CORRESPOND WITH THE STATION NUMBERS, IN THE SEQUENCE )N THE PLANS. LERS SHALL BE PROGRAMMED SO WATERING WILL NOT INTERFERE WITH CONSTRUCTION OR USE OF THE PROPERTY. AL AND OTHER APPLICABLE CODES SHALL TAKE PRECEDENCE IN CONNECTION OF THE 110 VOLT YAL SERVICE TO THE CONTROLLER. OWNER SHALL PROVIDE POWER TO THE CONTROLLER. 'TOR SHALL COMPLETE HOOK-UP TO THE CONTROLLER. 'TROL CIRCUITS SHALL BE DESIGNED TO OPERATE ONE VALVE AT A TIME. SA VOLT

CONTROL

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CONTRACTOR

UPON COMPLETION OF WORK IN THIS SECTION, CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS RESULTING FROM THE OPERATIONS; REMOVE UNUSED EQUIPMENT AND IMPLEMENTS SERVICE; LEAVE ENTIRE AREA INVOLVED IN A NEAT AND ACCEPTABLE CONDITION SUCH AS APPROVAL OF THE OWNER'S REPRESENTATIVE. TRASH, AND S OF S TO MEET TH

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SIGNED/DRAWN BY SARAH NOEL TE 07 /09/ 2021 TE 07 /09/ 2021 ALE NTS EET NUMBER EET NUMBER L - 108 EET 8 OF 8	EET DESCRIPTION RIGATION ECIFICATIONS	PRIVATE RESIDENCE 3 OUTRIDER RD. ROLLING HILLS, CA 90274	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	LL DRAWINGS, DESIGNS ND WRITTEN MATERIAL PPEARING HEREIN ONSTITUTE THE RIGINAL AND NPUBLISHED WORK OF OEL ART DESIGN SSOCIATES, AND THE RIGINED TO ANY THIRD ARTY WITHOUT THE RITTEN CONSENT OF OEL ART DESIGN SSOCIATES, SSOCIATES, SS

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	EXISTING	PROPOSED	TOTAL
	Single family residence,	New swimming pool, spa,	Requires Site Plan
	garage, shed, swimming	trellis, barbecue area, deck	Review and Variances
	pool and deck	and grading	
Net Lot Area	47,878 SF	0 SF	47,878 SF
Residence	3,000 SF	0 SF	3,000 SI
Garage	1,347 SF	0 SF	1,347 SF
Swimming Pool/Spa	560 SF	180 SF	740 SF
Pool Equipment	40 SF	0 SF	40 SI
Sheds, Trellis, Barbecue, Outdoor			
Kitchen	67 SF	146 SF	213 SF
Total Structure Area	5,014 SF	5,366 SF	5,340 SF
Structural Coverage	10.1 %	2.5 %	12.6 %
Total Structures Excluding: up to 5 legal and up to 800 SF detached structures that are not higher than 12 ft (no more than 120 SF per structure per deduction, except for trellis)	4,947 SF	180SF	5,127 SI
Structural Coverage (20% maximum)	10.30%	0.37%	10.71%
Grading (balanced on site) PROPOSED POOL EXCAVATION			CUT: 437 CY FILL: 367 CY
Total Lot Coverage (35% maximum)	25.59%	0.78%	26.37%
Building Pad Coverage 1 (30%maximum)	29.14%	0 .37%	29.51% (with deductions)
Building Pad Coverage 2 (30%maximum)	44%	0%	44%
Disturbed Area (40% maximum)	25.59%	0.78%	
Stable min. 450 SF	Set aside 450 SF	0 SF	
Corral min. 550 SF	Set aside 550 SF	0 SF	
Retaining/Garden Wall	0 FT 0 FT	2.5′ Max Height 50 LF	0

#### **RESOLUTION NO. 2021-10**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR GRADING AND VARIANCES TO LOCATE THE NEW SWIMMING POOL, SPA, BARBECUE AND TRELLIS IN THE FRONT YARD AREA AND FOR THE NEW SWIMMING POOL AND SPA TO ENCROACH INTO FRONT YARD SETBACK ON A LOT LOCATED AT 3 OUTRIDER ROAD, ROLLING HILLS, CA (HOYLER). PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT

#### THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

<u>Section 1.</u> An application was duly filed by Mr. and Mrs. Hoyler ("Applicants") with respect to real property located at 3 Outrider Road, Rolling Hills, requesting a Site Plan Review for grading of 437 cubic yards of cut and 367 cubic yards of fill and Variances for construction new swimming pool, spa, barbecue, trellis and deck in the front yard and for encroachment of the new swimming pool and spa into the front yard setback.

<u>Section 2.</u> The Planning Commission conducted duly noticed public hearings to consider the application on July 10, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studied said proposal.

Section 3. The property is zoned RAS-1 and has a net lot area of 47,878 square feet. The lot is currently developed with a 3,000 square-foot single family residence and a 1,347 square-foot attached garage. There are three existing building pads on site on different elevations. The existing residence and garage are located on the lower pad (14,917 square feet) towards the front portion of the property, the secondary building pad (2,400 square feet) is on an upper, midpoint portion of the property approximately 33 feet higher than the primary pad, and third pad is in the rear of the property approximately 20 feet above the secondary pad.

<u>Section 4.</u> This project is also categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) because it involves minor alteration of or addition to an existing private structure. The project consists of demolition of an existing 560 square foot swimming pool and deck and addition of new 740 square foot swimming pool with spa, barbecue, trellis, patio deck and 2.5 foot high planter.

Section 5. The Rolling Hills Municipal Code requires Site Plan Review for a project that proposes grading pursuant to RHMC Section 17.46.020(A)(1). The project proposes 347 cubic yards of pool excavation (exempt) and 367 cubic yards of fill. The Planning Commission makes the following findings:

A. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance.

The grading is necessary to fill in the void left by the previous swimming pool. Additionally, using the excavated dirt from the new pool (exempt grading) will minimize export of dirt.

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot.

The fill restores the finished grade to the current elevation of the existing front yard area.

C. The proposed development, as conditioned, is harmonious in scale and mass with the site. The proposed project is located out of sight of the street and will be visible to one neighbor, and is consistent with the scale of the neighborhood when compared to properties in the vicinity.

The project is low to the ground and does not cause any visual impact to the surrounding residences. The finished elevation of the pool deck is screened by landscaping and is hardly visible from the street elevation below the subject property.

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls).

The project is located on an existing pad and does not change the existing topography of the site.

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area.

The location of the project was previously graded to accommodate an activity area in the front yard. The pool excavation is exempt, however filling the area resulting from the demolition of the previous pool is necessary for safety and site restoration. The location of the project has been designed to minimize disturbance to the natural terrain of rest of the project site.

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course.

The location of the project was previously graded to accommodate an activity area and the previous swimming pool. The fill will not redirect drainage flow.

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas.

The location of the project minimizes lot disturbance by using an existing pad that previously accommodated a swimming and an activity area. The project will incorporate landscaping that is approved by the Fire Department in conformance with its fire fuel modification standards. The project also incorporates planting in front of the pool deck to minimize its visual impact.

H. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles.

The project will not change the on- and off-site circulation patterns. The primary access to the site will remain in the same location.

I. The project conforms to the requirements of the California Environmental Quality Act. The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15304 (Minor Alterations to Land) of the CEQA Guidelines, which exempts minor alterations in the condition of land, including but not limited to grading on land with a slope of less than 10 percent. The grading taking place on the property is on land with a slope of less than 10 percent to account for the swimming pool, spa, deck, barbecue and trellis. The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences.

<u>Section 6.</u> The Rolling Hills Municipal Code requires a Variance for structures in the front yard pursuant to RHMC 17.12.250 and for structures that project into the front yard setback pursuant to RHMC Section 17.12.190. The project proposes to locate a new swimming pool, spa and trellis in the front yard area, and for the swimming pool and spa to encroach into the front yard setback. The Planning Commission makes the following findings:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone.

The previous pool was located in the same area approximately 20 feet from the new pool location. Applicants are proposing the pool in the same area for the safety of their children. Relocating the pool approximately 30 feet higher behind the main the residence prevents eyes on the children while they are in the pool. The existing house is designed to open into the courtyard area where the pool is located, on the same elevation as the house.

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;

The project location helps preserve the natural terrain of the rest of the site. The proposed pool is located on the same elevation as the previous pool where it is visible from the main house, which allows adults to monitor children in the swimming pool.

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;

The location of the structures front yard and into setback will protect the undeveloped portion of the property and will minimize disturbance on site, which provides benefits to other

nearby properties. The project will be constructed according to the Building Code.

D. That in granting the variance, the spirit and intent of this title will be observed;

The granting of relief from the code will allow the applicant to enjoy the same rights enjoyed by other residents in the community. Many of the developments in the City have approved pools in the front yard. To minimize visual impact of the pool deck, Applicants will landscape the front of the pool deck to help improve aesthetics.

E. That the variance does not grant special privilege to the applicant;

The location of the swimming pool, spa, trellis and barbecue area allow Applicants to enjoy the same rights as other residents of the community. The proposed location results in the least disturbance to the site while allowing other required uses (i.e., the stable and corral) to occur in the future. The natural topography limit the buildable area on site, using the primary pad allows for minimal disturbance that will preserve the natural terrain of the site and provide the safest area for young pool users.

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

G. That the variance request is consistent with the general plan of the City of Rolling Hills.

The location of the structures will cause the least disturbance to the natural terrain thus preserving the natural grade and drainage in the area.

<u>Section 7.</u> Based upon the foregoing findings of this Resolution, the Planning Commission hereby approves the Site Plan Review for grading of 367 cubic yards of fill and Variances to locate the swimming pool, spa, trellis and barbecue area in front yard area and in the front yard setback subject to the following conditions:

A. The Site Plan and Variances approvals shall expire within two years from the effective date of approval if grading or construction has not commenced within two years of the approval as defined in RHMC §§ 17.46.080, 17.42.070, 17.38.070, respectively, unless otherwise extended pursuant to the requirements of those code sections.

B. If any condition of this Resolution is violated, the entitlement granted by this Resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicants cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council forwhich

the agenda has not yet been posted; the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to RHMC Chapter 17.58.

C. All requirements of the Building Code and the Zoning Ordinance including outdoor lighting requirements, roofing material requirements, stable and corral area set aside requirements and all other requirements of the zone in which the subject property is located must be complied with, unless otherwise set forth in this approval.

D. The project shall be developed and maintained in substantial conformance with the Site Plan on file in the City Planning Department dated July 9, 2021 or as may be further amended and approved by the Los Angeles County Building Department, the City's Community Services and Planning Director, or Planning Commission pursuant to Section 17.38.065, 17.42.065, and 17.46.070, attached.

E. Structural lot coverage shall not exceed 5,340 square feet or 12.6% in conformance with lot coverage limitations of the Zoning Ordinance.

F. Total lot coverage of structures and paved areas shall not exceed 5,127 square feet or 10.71% in conformance with lot coverage limitations of the Zoning Ordinance.

G. The disturbed area of the lot shall not exceed 26.37%, which is in conformance with 40% maximum lot disturbance limitations.

H. Residential building pad coverage shall not exceed 29.51%.

I. Grading fill for this project shall not exceed 367 cubic yards.

J. The property on which the project is located shall contain a set aside area to provide an area meeting all standards for a stable, corral with access thereto as is shown on the plan dated July 9, 2021.

K. 65% of the demolition and construction materials shall be recycled/diverted. Prior to granting a final inspection, verification to be submitted to staff regarding the amount of recycled/diverted material and where it was taken on forms provided by the City. The hauling company shall obtain a hauling permit and pay the applicable fees. The applicant shall apply for a Construction and Demolition Debris permit if clearing, grubbing and demolition will take place prior to issuance of the Final Planning Approval.

L. No irrigation or drainage device may be located on a property in such a manner as

to contribute to erosion or in any way adversely affect easements, natural drainage course or a trail. Drainage for this project shall be approved by the Building and Safety Department.

M. All graded areas shall be landscaped. Landscaping shall be designed using native plants, shrubs and trees. Any new trees and shrubs planned to be planted in conjunction with this project shall, at maturity, not be higher than the ridge height of the main residence. No plants shall be planted, which would result in a hedge like screen. Eucalyptus, palms, pampas grass, juniper, pine and acacia shall not be planted on site.

N. The landscaping shall be subject to the requirements of the City's Water Efficient Landscape Ordinance, (Chapter 13.18 of the RHMC), and shall be submitted to the City prior to obtaining a grading permit.

O. During construction, dust control measures shall be used to stabilize the soil from wind erosion and reduce dust and objectionable odors generated by construction activities in accordance with South Coast Air Quality Management District, Los Angeles County and local ordinances, and engineering practices.

P. During construction, activities shall conform with air quality management district requirements, stormwater pollution prevention practices, county and local ordinances, and engineering practices so that people and property are not exposed to undue vehicle trips, noise, dust, objectionable odors, landslides, mudflows, erosion, or land subsidence.

Q. During construction, to the extent feasible, all parking shall take place on the project site, but if necessary, any overflow parking may take place within the nearby roadway easements, without blocking access to and over the common driveway to the residences adjacent thereto.

R. The Applicants shall be responsible for keeping the common access roadway in good condition during the entire construction process and shall, at their sole expense, make necessary repairs to the common access roadway should any damage occur during construction of their project.

S. During construction, the Applicants shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

T. If an above ground drainage design is utilized, it shall be designed in such a manner as not to cross over any equestrian trails. Any drainage system shall not discharge water onto a trail, shall incorporate earth tone colors, including in the design of the dissipater and be screened from any trail and neighbors views to the maximum extent practicable, without impairing the function of the drain system.

U. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard\_definitions#FIRE. It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions. Should a red flag warning be declared and if work is to be conducted on the

property, the contractor shall have readily available fire distinguisher.

V. The Applicants shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage, cisterns, and storm water drainage facilities management and to the City's Low Impact development Ordinance (LID), if applicable. Further the Applicants shall be required to conform to the County Health Department requirements for a septic system.

W. Prior to finaling of the project an "as graded" and "as constructed" plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan and one hardcopy and one electronic copy shall be submitted to the Planning Department prior to issuance of the Final Certificate of Occupancy.

X. The project shall be reviewed and approved by the Rolling Hills Community Association Architectural Review Committee prior to the issuance of any permits.

Y. The working drawings submitted to the County Department of Buildingand Safety for plan check review shall conform to the development plan described in Condition D.

Z. Prior to submittal of final plans to the Building Department for issuance of grading and/or building permits, the plans for the project shall be submitted to staff for verification that the final plans are in compliance with the plans approved by the Planning Commission

AA. Prior to the issuance of building or grading permits, Applicant shall execute an Affidavit of Acceptance of all conditions of this permit pursuant to Zoning Ordinance, or the approval shall not be effective. The affidavit shall be recorded together with the Resolution against the Property. Applicants shall be and remain in compliance with all conditions of this permit.

BB. Prior to finaling of the project an "as graded" and "as constructed" plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan.

CC. The applicant shall comply with the Requirements of the Fire Department for access, water flow and fire fuel modification prior to issuance of the Building permit.

DD. The conditions of approval enumerated in this Resolution shall be printed on the front sheet of the development plans and shall be available at the site at all times.

EE. Before construction, Applicants shall clear the property of any dead or alive tumbleweed or dead tree, shrub, palm frond or other plant.

FF. Applicants shall indemnify, protect, defend, and hold the City, and/or any of its officials, officers, employees, agents, departments, agencies, authorized volunteers and

instrumentalities thereof, harmless from any and all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolution procedures (including, but not limited to arbitrations, mediations, and other such procedures), judgments, orders, and decisions (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City) for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Code of Civil Procedure Sections 1085 or 1094.5, or any other federal, state, or local constitution, statute, law, ordinance, charter, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.

PASSED, APPROVED AND ADOPTED THIS 20TH DAY OF JULY 2021.

## BRAD CHELF, CHAIRMAN

ATTEST:

STATE OF CALIFORNIA)COUNTY OF LOS ANGELES) §§CITY OF ROLLING HILLS)

I certify that the foregoing Resolution No. 2021-10 entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR GRADING AND VARIANCES TO LOCATE THE NEW SWIMMING POOL, SPA, BARBECUE AND TRELLIS IN THE FRONT YARD AREA AND FOR THE NEW SWIMMING POOL AND SPA TO ENCROACH INTO FRONT YARD SETBACK ON A LOT LOCATED AT 3 OUTRIDER ROAD, ROLLING HILLS, CA (HOYLER). PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT

was approved and adopted at an adjourned regular meeting of the Planning Commission on July 20, 2021 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

and in compliance with the laws of California was posted at the following:

Administrative Officer

## **RESOLUTION NO. 2021-10**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR GRADING AND VARIANCES TO LOCATE THE NEW SWIMMING POOL, SPA, BARBECUE AND TRELLIS IN THE FRONT YARD AREA AND FOR THE NEW SWIMMING POOL AND SPA TO ENCROACH INTO FRONT YARD SETBACK ON A LOT LOCATED AT 3 OUTRIDER ROAD, ROLLING HILLS, CA. PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT. (HOYLER)

## THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

<u>Section 1.</u> An application was duly filed by Mr. and Mrs. Hoyler ("Applicants") with respect to real property located at 3 Outrider Road, Rolling Hills, requesting a Site Plan Review for grading of 437 cubic yards of cut and 367 cubic yards of fill and Variances for construction new swimming pool, spa, barbecue, trellis and deck in the front yard and for encroachment of the new swimming pool and spa into the front yard setback.

<u>Section 2.</u> The Planning Commission conducted duly noticed public hearings to consider the application on July 10, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studiedsaid proposal.

Section 3. The property is zoned RAS-1 and has a net lot area of 47,878 square feet. The lot is currently developed with a 3,000 square-foot single family residence and a 1,347 square-foot attached garage. There are three existing building pads on site on different elevations. The existing residence and garage are located on the lower pad (14,917 square feet) towards the front portion of the property, the secondary building pad (2,400 square feet) is on an upper, midpoint portion of the property approximately 33 feet higher than the primary pad, and third pad is in the rear of the property approximately 20 feet above the secondary pad.

Section 4. This project is also categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) because it involves minor alteration of or addition to an existing private structure. The project consists of demolition of an existing 560 square foot swimming pool and deck and addition of new 740 square foot swimming pool with spa, barbecue, trellis, patio deck and 2.5 foot high planter.

<u>Section 5.</u> The Rolling Hills Municipal Code requires Site Plan Review for a project that proposes grading pursuant to RHMC Section 17.46.020(A)(1). The project proposes 347 cubic yards of pool excavation (exempt) and 367 cubic yards of fill. The Planning Commission makes the following findings:

A. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance.

The grading is necessary to fill in the void left by the previous swimming pool. Additionally, using the excavated dirt from the new pool (exempt grading) will minimize export of dirt.

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot.

The fill restores the finished grade to the current elevation of the existing front yard area.

C. The proposed development, as conditioned, is harmonious in scale and mass with the site. The proposed project is located out of sight of the street and will be visible to one neighbor, and is consistent with the scale of the neighborhood when compared to properties in the vicinity.

The project is low to the ground and does not cause any visual impact to the surrounding residences. The finished elevation of the pool deck is screened by landscaping and is hardly visible from the street elevation below the subject property.

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls).

The project is located on an existing pad and does not change the existing topography of the site.

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area.

The location of the project was previously graded to accommodate an activity area in the front yard. The pool excavation is exempt, however filling the area resulting from the demolition of the previous pool is necessary for safety and site restoration. The location of the project has been designed to minimize disturbance to the natural terrain of the rest of the project site.

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course.

The location of the project was previously graded to accommodate an activity area and the previous swimming pool. The fill will not redirect drainage flow.

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas.

The location of the project minimizes lot disturbance by using an existing pad that previously accommodated a swimming and activity area. The project will incorporate landscaping that is approved by the Fire Department in conformance with its fire fuel modification standards. The project also incorporates planting in front of the pool deck to minimize its visual Resolution 2021-10

impact from the street below.

H. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles.

The project will not change the on- and off-site circulation patterns. The primary access to the site will remain in the same location.

I. The project conforms to the requirements of the California Environmental Quality Act.

The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15304 (Minor Alterations to Land) of the CEQA Guidelines, which exempts minor alterations in the condition of land, including but not limited to grading on land with a slope of less than 10 percent. The grading taking place on the property is on land with a slope of less than 10 percent to account for the swimming pool, spa, deck, barbecue and trellis. The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences.

<u>Section 6.</u> The Rolling Hills Municipal Code requires a Variance for structures in the front yard pursuant to RHMC 17.12.250 and for structures that project into the front yard setback pursuant to RHMC Section 17.12.190. The project proposes to locate a new swimming pool, spa and trellis in the front yard area, and for the swimming pool and spa to encroach into the front yard setback. The Planning Commission makes the following findings:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone.

The previous pool was located in the same area approximately 20 feet from the new pool location. Applicants are proposing the pool in the same area for the safety of their children. Relocating the pool approximately 30 feet higher behind the main residence prevents "eyes on the children" while they are in the pool. The existing house is designed to open into the courtyard area where the pool is located, on the same elevation as the house.

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;

The project location helps preserve the natural terrain of the rest of the site. The proposed pool is located on the same elevation as the previous pool where it is visible from the main house, which allows adults to monitor children in the swimming pool.

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;

The location of the structures in the front yard will protect the undeveloped portion of the property and will minimize further disturbance of the site. The project will be constructed in Resolution 2021-10

accordance with the adopted Building Codes.

D. That in granting the variance, the spirit and intent of this title will be observed;

The granting of relief from the code will allow the applicant to enjoy the same rights enjoyed by other residents in the community. Many of the developments in the City have approved pools in the front yard. To minimize visual impact of the pool deck, Applicants will landscape the front of the pool deck to help improve aesthetics.

E. That the variance does not grant special privilege to the applicant;

The location of the swimming pool, spa, trellis and barbecue area allow Applicants to enjoy the same rights as other residents of the community. The proposed location results in the least disturbance to the site while allowing other required uses (i.e., the stable and corral) to occur in the future. The natural topography limit the buildable area on site, using the primary pad allows for minimal disturbance that will preserve the natural terrain of the site and provide the safest area for young pool users.

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities.

The project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

G. That the variance request is consistent with the general plan of the City of Rolling Hills.

The location of the structures will cause the least disturbance to the natural terrain thus preserving the natural grade and drainage in the area.

Section 7. Based upon the foregoing findings of this Resolution, the Planning Commission hereby approves the Site Plan Review for grading of 367 cubic yards of fill and Variances to locate the swimming pool, spa, trellis and barbecue area in the front yard area and into the front yard setback subject to the following conditions:

A. The Site Plan and Variances approvals shall expire within two years from the effective date of approval if grading or construction has not commenced within two years of the approval as defined in RHMC §§ 17.46.080, 17.42.070, 17.38.070, respectively, unless otherwise extended pursuant to the requirements of those code sections.

B. If any condition of this Resolution is violated, the entitlement granted by this Resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicants cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or

disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted; the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is not cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to RHMC Chapter 17.58.

C. All requirements of the Building Code and the Zoning Ordinance including outdoor lighting requirements, roofing material requirements, stable and corral area set aside requirements, pool safety measures, and all other requirements of the zone in which the subject property is located must be complied with, unless otherwise set forth in this approval.

D. The project shall be developed and maintained in substantial conformance with the Site Plan on file in the City Planning Department dated July 9, 2021 or as may be further amended and approved by the Los Angeles County Building Department, the City's Community Services and Planning Director, or Planning Commission pursuant to Section 17.38.065, 17.42.065, and 17.46.070, attached.

E. Structural lot coverage shall not exceed 5,340 square feet or 12.6% in conformance with lot coverage limitations of the Zoning Ordinance.

F. Total lot coverage of structures and paved areas shall not exceed 5,127 square feet or 10.71% in conformance with lot coverage limitations of the Zoning Ordinance.

G. The disturbed area of the lot shall not exceed 26.37%, which is in conformance with 40% maximum lot disturbance limitations.

H. Residential building pad coverage shall not exceed 29.51%.

I. Grading fill for this project shall not exceed 367 cubic yards.

J. The property on which the project is located shall contain a set aside area to provide an area meeting all standards for a stable, corral with access thereto as is shown on the plan dated July 9, 2021.

K. 65% of the demolition and construction materials shall be recycled/diverted. Prior to granting a final inspection, verification to be submitted to staff regarding the amount of recycled/diverted material and where it was taken on forms provided by the City. The hauling company shall obtain a hauling permit and pay the applicable fees. The applicant shall apply for a Construction and Demolition Debris permit if clearing, grubbing and demolition will take place prior to issuance of the Final Planning Approval.

L. No irrigation or drainage device may be located on a property in such a manner as

to contribute to erosion or in any way adversely affect easements, natural drainage course or a trail. Drainage for this project shall be approved by the Building and Safety Department.

M. All graded areas shall be landscaped. Landscaping shall be designed using native plants, shrubs and trees. Any new trees and shrubs planned to be planted in conjunction with this project shall, at maturity, not be higher than the ridge height of the main residence. No plants shall be planted, which would result in a hedge like screen. Eucalyptus, palms, pampas grass, juniper, pine and acacia shall not be planted on site.

N. The landscaping shall be subject to the requirements of the City's Water Efficient Landscape Ordinance, (Chapter 13.18 of the RHMC), and shall be submitted to the City prior to obtaining a grading permit.

O. During construction, dust control measures shall be used to stabilize the soil from wind erosion and reduce dust and objectionable odors generated by construction activities in accordance with South Coast Air Quality Management District, Los Angeles County and local ordinances, and engineering practices.

P. During construction, activities shall conform with air quality management district requirements, stormwater pollution prevention practices, county and local ordinances, and engineering practices so that people and property are not exposed to undue vehicle trips, noise, dust, objectionable odors, landslides, mudflows, erosion, or land subsidence.

Q. During construction, to the extent feasible, all parking shall take place on the project site, but if necessary, any overflow parking may take place within the nearby roadway easements, without blocking access to and over the common driveway to the residences adjacent thereto.

R. The Applicants shall be responsible for keeping the common access roadway in good condition during the entire construction process and shall, at their sole expense, make necessary repairs to the common access roadway should any damage occur during construction of their project.

S. During construction, the Applicants shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

T. If an above ground drainage design is utilized, it shall be designed in such a manner as not to cross over any equestrian trails. Any drainage system shall not discharge water onto a trail, shall incorporate earth tone colors, including in the design of the dissipater and be screened from any trail and neighbors views to the maximum extent practicable, without impairing the function of the drain system.

U. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard\_definitions#FIRE. It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions. Should a red flag warning be declared and if work is to be conducted on the

property, the contractor shall have readily available fire distinguisher.

V. The Applicants shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage, cisterns, and storm water drainage facilities management and to the City's Low Impact development Ordinance (LID), if applicable. Further the Applicants shall be required to conform to the County Health Department requirements for a septic system.

W. Prior to finaling of the project an "as graded" and "as constructed" plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan and one hardcopy and one electronic copy shall be submitted to the Planning Department prior to issuance of the Final Certificate of Occupancy.

X. The project shall be reviewed and approved by the Rolling Hills Community Association Architectural Review Committee prior to the issuance of any permits.

Y. The working drawings submitted to the County Department of Building and Safety for plan check review shall conform to the development plan described in Condition D.

Z. Prior to submittal of final plans to the Building Department for issuance of grading and/or building permits, the plans for the project shall be submitted to staff for verification that the final plans are in compliance with the plans approved by the Planning Commission

AA. Prior to the issuance of building or grading permits, Applicant shall execute an Affidavit of Acceptance of all conditions of this permit pursuant to Zoning Ordinance, or the approval shall not be effective. The affidavit shall be recorded together with the Resolution against the Property. Applicants shall be and remain in compliance with all conditions of this permit.

BB. Prior to finaling of the project an "as graded" and "as constructed" plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan.

CC. Applicants shall comply with the Requirements of the Fire Department for access, water flow and fire fuel modification prior to issuance of the Building permit.

DD. The conditions of approval enumerated in this Resolution shall be printed on the front sheet of the development plans and shall be available at the site at all times.

EE. Before construction, Applicants shall clear the property of any dead or alive tumbleweed or dead tree, shrub, palm frond or other plant.

FF. Applicants shall use planting materials that will screen the swimming pool deck and garden walls from view at street level. Landscaping shall screen any required railings to the maximum extent feasible. Resolution 2021-10

GG. Applicants shall indemnify, protect, defend, and hold the City, and/or any of its officials, officers, employees, agents, departments, agencies, authorized volunteers and instrumentalities thereof, harmless from any and all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolution procedures (including, but not limited to arbitrations, mediations, and other such procedures), judgments, orders, and decisions (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City) for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Code of Civil Procedure Sections 1085 or 1094.5, or any other federal, state, or local constitution, statute, law, ordinance, charter, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.

PASSED, APPROVED AND ADOPTED THIS 20TH DAY OF JULY 2021.

BRAD CHELF, CHAIRMAN

ATTEST:

STATE OF CALIFORNIA)COUNTY OF LOS ANGELES) §§CITY OF ROLLING HILLS)

I certify that the foregoing Resolution No. 2021-10 entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR GRADING AND VARIANCES TO LOCATE THE NEW SWIMMING POOL, SPA, BARBECUE AND TRELLIS IN THE FRONT YARD AREA AND FOR THE NEW SWIMMING POOL AND SPA TO ENCROACH INTO FRONT YARD SETBACK ON A LOT LOCATED AT 3 OUTRIDER ROAD, ROLLING HILLS, CA (HOYLER). PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT

was approved and adopted at an adjourned regular meeting of the Planning Commission on July 20, 2021 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

and in compliance with the laws of California was posted at the following:

Administrative Officer