



# *City of Rolling Hills*

INCORPORATED JANUARY 24, 1957

NO. 2 PORTUGUESE BEND ROAD  
ROLLING HILLS, CA 90274  
(310) 377-1521  
FAX (310) 377-7288

**AGENDA**  
**Regular Planning Commission**  
**Meeting**

**PLANNING COMMISSION**  
**Tuesday, July 20, 2021**

**CITY OF ROLLING HILLS**  
**6:30 PM**

## **SUPPLEMENTAL AGENDA**

### **Executive Order N-29-20**

This meeting is held pursuant to Executive Order N-29-20 issued by Governor Newsom on March 17, 2020. All Planning Commissioners will participate by teleconference. Public Participation: City Hall will be closed to the public until further notice.

A live audio of the Planning Commission meeting will be available on the City's website (<https://www.rolling-hills.org/PC%20Meeting%20Zoom%20Link.pdf>).

The meeting agenda is also available on the City's website (<https://www.rolling-hills.org/government/agenda/index.php>).

Join Zoom Meeting via [https://us02web.zoom.us/j/99343882035?](https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFblhFZz09)  
pwd=MWZXaG9ISWdud3NpajYwY3dF blhFZz09  
Meeting ID: 993 4388 2035 Passcode: 647943

Members of the public may submit comments in real time by emailing the City Clerk's office at [cityclerk@cityofrh.net](mailto:cityclerk@cityofrh.net). Your comments will become a part of the official meeting record. You must provide your full name but do not provide any other personal information (i.e., phone numbers, addresses, etc) that you do not want to be published.

1. **CALL MEETING TO ORDER**
2. **ROLL CALL**
3. **APPROVAL OF THE AGENDA**
4. **PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA**
5. **APPROVAL OF MINUTES**
  - 5.A. **JUNE 15, 2021 EVENING PLANNING COMMISSION MEETING MINUTES.**  
**RECOMMENDATION: Approve as presented.**  
[06.15.2021 PC Regular Meeting Action Minutes.P.docx](#)

6. **RESOLUTIONS**

NONE.

7. **PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING**

NONE.

8. **NEW PUBLIC HEARINGS**

8.A. ZONING CASE 21-08: REQUEST FOR VARIANCES FOR ENCROACHMENT INTO THE FRONT YARD SETBACK AND STRUCTURES IN THE FRONT YARD; AND SITE PLAN REVIEW FOR GRADING LOCATED AT 3 OUTRIDER ROAD (HOYLER).

**RECOMMENDATION:** Approve Resolution No. 2021-10 approving Variances for structures in the front yard and front yard setback and Site Plan Review for grading.

3 outrider A-1 (7.9.21).pdf

3 outrider A-2 (6.21.21) copy.pdf

3 outrider A-3 (7.9.21).pdf

3 outrider A-4 (6.21.21) copy.pdf

3Outrider Complete CIVIL Set 07-09-2021 FINAL.pdf

3 outrider T-1 (7.9.21).pdf

3 Outrider Rd.(ZC 21-08)\_revised landscaping plans\_07.09.21.pdf

Development\_Table\_- \_ZC\_21-08.pdf

2021-10.PC RESOLUTION 3 Outrider (Hoyler).pdf

SUPPLEMENTAL 2021-10.PC\_RESOLUTION\_3\_Outrider\_\_Hoyler\_.pdf

9. **NEW BUSINESS**

NONE.

10. **OLD BUSINESS**

NONE.

11. **SCHEDULE FIELD TRIPS**

- **1. 8 QUAILRIDGE**

**2. 27 BUGGY WHIP**

12. **ITEMS FROM STAFF**

Discuss in person meeting.

13. **ITEMS FROM THE PLANNING COMMISSION**

14. **ADJOURNMENT**

Next meeting: AUGUST 17, 2021 at 7:30 AM field trip Rolling Hills, CA 90274.

**Notice:**

*In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting due to your disability, please contact the City Clerk at (310) 377-1521 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility and accommodation for your review of this agenda and*

*attendance at this meeting.*

*Documents pertaining to an agenda item received after the posting of the agenda are available for review in the City Clerk's office or at the meeting at which the item will be considered.*

*All of the above resolutions and zoning case items have been determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines unless otherwise stated.*



## *City of Rolling Hills*

INCORPORATED JANUARY 24, 1957

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**Agenda Item No.: 5.A**

**Mtg. Date: 07/20/2021**

**TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: JANELY SANDOVAL, CITY CLERK**

**THRU: ELAINE JENG P.E., CITY MANAGER**

**SUBJECT: JUNE 15, 2021 EVENING PLANNING COMMISSION MEETING MINUTES.**

**DATE: July 20, 2021**

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**BACKGROUND:**

None.

**DISCUSSION:**

None.

**FISCAL IMPACT:**

None.

**RECOMMENDATION:**

Approve as presented.

**ATTACHMENTS:**

[06.15.2021 PC Regular Meeting Action Minutes.P.docx](#)

**SPECIAL MEETING  
OF THE PLANNING COMMISSION  
CITY OF ROLLING HILLS  
6:30 P.M.  
TUESDAY, JUNE 15, 2021  
VIA TELECONFERENCE**

1. **CALL MEETING TO ORDER**

A special meeting of the Planning Commission of the City of Rolling Hills was called to order by Commissioner Cardenas at 6:40 p.m. on Tuesday, June 15, 2021 via teleconference.

2. **ROLL CALL**

Present: Commissioners Cardenas, Cooley, and Douglass  
Absent: Vice Chair Kirkpatrick and Chair Chelf  
Staff Present: Meredith T. Elguira, Planning & Community Services Director  
Brian Byun, Assistant City Attorney  
Stephanie Grant, Code Enforcement Officer and Planner  
Barry Miller, Housing Consultant

3. **APPROVAL OF THE AGENDA**

**MOTION:** Commissioner Cooley motioned to approve the agenda and Commissioner Douglass seconded the motion.

AYES: COMMISSIONERS: Cardenas, Cooley, and Douglass.  
NOES: COMMISSIONERS: None.  
ABSENT: COMMISSIONERS: Vice Chair Kirkpatrick and Chair Chelf.  
ABSTAIN: COMMISSIONERS: None.

4. **PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA**

None.

5. **APPROVAL OF MINUTES**

**5A. MAY 18, 2021 FIELD TRIP PLANNING COMMISSION MEETING MINUTES  
MAY 18, 2021 EVENING PLANNING COMMISSION MEETING MINUTES  
JUNE 01, 2021 SPECIAL EVENING PLANNING COMMISSION MEETING  
MINUTES.**

**MOTION:** Commissioner Cooley motioned to approve the minutes and Commissioner Douglass seconded the motion.

AYES: COMMISSIONERS: Cardenas, Cooley, and Douglass.  
NOES: COMMISSIONERS: None.  
ABSENT: COMMISSIONERS: Vice Chair Kirkpatrick and Chair Chelf.  
ABSTAIN: COMMISSIONERS: None.

6. **RESOLUTIONS**

**6A. A RESOLUTION APPROVING CONDITIONAL USE PERMIT FOR A PROPOSED TWO-CAR DETACHED GARAGE; VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE AND FOR GRADING EXPORT; AND SITE PLAN REVIEW FOR GRADING FOR DEVELOPED PROPERTY LOCATED AT 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).**

Planning and Community Services Director Meredith Elguira presented item and explained resolution reflects the conditions of approval with necessary amendments.

**MOTION:** Commissioner Cooley moved to approve the Resolution No. 2021-09 as amended and Commissioner Douglass seconded the motion.

AYES: COMMISSIONERS: Cardenas, Cooley, and Douglass.  
NOES: COMMISSIONERS: None.  
ABSENT: COMMISSIONERS: Vice Chair Kirkpatrick and Chair Chelf.  
ABSTAIN: COMMISSIONERS: None.

7. **PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING.**

None.

8. **NEW PUBLIC HEARINGS**

**8A. CONSIDER RESOLUTION 2021-08 APPROVING CONDITIONAL USE PERMIT FOR A 1,516 SQUARE FOOT SPORTS COURT; SITE PLAN REVIEW FOR 256 CUBIC YARDS OF GRADING; AND VARIANCE FOR ENCROACHMENT OF THE SPORTS COURT INTO THE REQUIRED SETBACKS LOCATED 75 SADDLEBACK DRIVE, (LOT 68-2-RH) ROLLING HILLS, CA (KIM).**

Code Enforcement Officer Stephanie Grant presented the item and explained the applicant's request. She also brought up questions and comments regarding landscaping and surface materials mentioned during the Field Trip in the morning of June 15, 2021. She stated that conditions of approval were added to the proposed project to address the Commissioners' concerns.

Discussion ensued among the Commissioners.

**MOTION:** Commissioner Cooley moved to approve Resolution No. 2021-08 for the purposed sports court as amended and Commissioner Douglass seconded the motion.

AYES: COMMISSIONERS: Cardenas, Cooley, and Douglass.  
NOES: COMMISSIONERS: None.  
ABSENT: COMMISSIONERS: Vice Chair Kirkpatrick and Chair Chelf.  
ABSTAIN: COMMISSIONERS: None.

**8B. CONSIDER RESOLUTION 2021-07 APPROVING CONDITIONAL USE PERMIT FOR A PROPOSED 180 SQUARE-FOOT ATTACHED STUDIO RESULTING IN A MIXED USE STRUCTURE; SITE PLAN REVIEW FOR 71.6 CUBIC YARDS OF GRADING; AND VARIANCE FOR IMPORTING 18 CUBIC YARDS OF GRAVEL FOR THE SUBJECT PROPERTY LOCATED AT 2 SPUR LANE, (LOT 12-B-CH) ROLLING HILLS, CA (RAJEWSKI)**

Code Enforcement Officer Grant presented the item and explained the applicant's request. She explained that the proposed project is for the approval of the third phase of the project.

Commissioner Cardenas wanted clarification on the number of the resolution.

Code Enforcement Officer and Planner Grant confirmed that the 2021-05 is the Zoning Number and the resolution pertaining to this item is Resolution No. 2021-07.

Commissioner Cooley wanted clarification on: the size increase of the mixed use structure, reasoning behind approved scope of work, and existing foundation.

Code Enforcement Officer Grant clarified the size of the proposed addition, explained that the proposed project is compliant with the Code with the approval of the requests, and confirmed that the existing foundation will remain.

Discussion ensued among the Commissioners.

**MOTION:** Commissioner Cooley motioned to approve Resolution No. 2021-07 approving a Conditional Use Permit for mixed used, Site Plan Review for 71.6 cubic yards of grading and Variance to legalize importation of gravel and Commissioner Douglass seconded the motion.

AYES: COMMISSIONERS: Cardenas, Cooley, and Douglass.  
NOES: COMMISSIONERS: None.  
ABSENT: COMMISSIONERS: Vice Chair Kirkpatrick and Chair Chelf.  
ABSTAIN: COMMISSIONERS: None.

9. **NEW BUSINESS**

None.

10. **OLD BUSINESS**

None.

11. **SCHEDULED FIELD TRIPS**

Planning and Community Services Director Elguira stated that field trips would be announced at a later date when projects have been completed.

12. **ITEMS FROM STAFF**

None.

13. **ITEMS FROM PLANNING COMMISSION**

None.

14. **ADJOURNMENT**

Hearing no further business before the Planning Commission, Commissioner Cardenas adjourned the meeting at 7:05 PM via teleconference.

Next regular meeting: Tuesday, July 13, 2021 at 6:30 p.m. via City's website's link at:  
<https://www.rolling-hills.org/government/agenda/index.php>

Join Zoom Meeting via  
<https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFbllFZz09> Meeting ID: 993 4388 2035 Passcode: 647943

Respectfully submitted,

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Janely Sandoval,  
City Clerk

Approved,

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Brad Chelf  
Chairman



## *City of Rolling Hills*

INCORPORATED JANUARY 24, 1957

**Agenda Item No.: 8.A**

**Mtg. Date: 07/20/2021**

**TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: MEREDITH ELGUIRA, PLANNING DIRECTOR**

**THRU: ELAINE JENG P.E., CITY MANAGER**

**SUBJECT: ZONING CASE 21-08: REQUEST FOR VARIANCES FOR ENCROACHMENT INTO THE FRONT YARD SETBACK AND STRUCTURES IN THE FRONT YARD; AND SITE PLAN REVIEW FOR GRADING LOCATED AT 3 OUTRIDER ROAD (HOYLER).**

**DATE: July 20, 2021**

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### **BACKGROUND:**

#### **LOCATION AND LOT DESCRIPTION**

##### **Zoning and Land Size**

The property is zoned RAS-1 and has a net lot area of 47,878 square feet. The lot was developed with a 3,000 square-foot single family residence and a 1,347 square-foot attached garage. There are three existing building pads on site with 20 to 30 plus feet difference in elevation. The existing residence, garage and proposed project area are located on the lowest pad (14,917 square feet) in front of the property, the secondary building pad (2,400 square feet) is located mid-point of property approximately 32 feet higher than the primary pad, and the third pad in on the rear approximately 20 feet above the secondary pad. The equestrian set aside is located on the secondary pad. The existing topography of the entire site limits safe buildable area for a swimming pool.

### **DISCUSSION:**

#### **REQUEST AND PLANNING COMMISSION ACTION**

##### **Applicant Request**

The applicant is proposing to build: a 740 square foot swimming pool, 80 square foot spa, trellis, barbecue, deck and 367 of non-exempt cubic yards of grading.

##### **Variances**

The applicant is requesting Variances for: the proposed swimming pool and spa structures to encroach into the front yard approximately 23 feet and for structures to project in the front yard.

##### **Site Plan Review**

The applicant is requesting a Site Plan Review (SPR) for the proposed 367 cubic yards of non-exempt grading.

### **Structures in the front yard and in the front yard setback**

The subject lot has existing structures in the front yard and in the front yard setback. The previous swimming pool and pool equipment were located in front yard and front yard setback. Similarly, the proposed swimming pool and spa are proposed to be located in the front yard and front yard setback. The proposed swimming pool and spa will encroach into the required front yard setback by approximately 23 feet and five feet, respectively. Applicants are requesting to maintain the proposed uses in approximately the same location to allow them to monitor their children while in the swimming pool. The current house is oriented to open into the front yard, where the proposed amenities are going to be located. There are other locations on site for the proposed uses, however, the other locations are on separate building pads located behind the main house and are on much higher elevations. Locating the proposed uses on a higher elevation, behind the residence, eliminates the line of sight to the pool. There is no other viable and safe location for the pool on the primary pad due to the existing topography of the subject site.

### **Non-exempt grading to fill the demolished pool area**

Applicants are requesting to use the excavated dirt from the proposed swimming pool area to use as fill for the previous swimming pool that was demolished. The total grading for the project is 807 cubic yards: 437 CY of cut and 367 CY of fill. The 437 CY of excavation for the swimming pool is exempt and could be exported from the site without relief from the Code. Applicants are proposing to use 367 CY to fill the demolished pool area, use in planters and to flatten the front yard area. The remaining 70 cubic yards will be exported. Maximizing the amount of fill on subject property complies with the goals of the General Plan to balance grading on site. Filling the previous pool's excavated area will restore the grade to the more natural elevation of the pad. The proposed grading will not impact site drainage.

### **Environmental Review**

The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15304 (Minor Alterations to Land) of the CEQA Guidelines, which exempts minor alterations in the condition of land, including but not limited to grading on land with a slope of less than 10 percent. The grading taking place on the property is on land with a slope of less than 10 percent. The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences.

### **Public Participation**

No calls or letters were received.

### **17.38.050 - Required Variance findings.**

In granting a variance, the Commission (and Council on appeal) must make the following findings:

- A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone;
- B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;
- C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;
- D. That in granting the variance, the spirit and intent of this title will be observed;
- E. That the variance does not grant special privilege to the applicant;

- F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities; and
- G. That the variance request is consistent with the general plan of the City of Rolling Hills.

**17.46.050 - Required Site Plan Review findings.**

- A. The Commission shall be required to make findings in acting to approve, conditionally approve, or deny a site plan review application.
- B. No project which requires site plan review approval shall be approved by the Commission, or by the City Council on appeal, unless the following findings can be made:
1. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance;
  2. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot;
  3. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences;
  4. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls);
  5. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area;
  6. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course;
  7. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas;
  8. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles; and
  9. The project conforms to the requirements of the California Environmental Quality Act.
- C. If all of the above findings cannot be made with regard to the proposed project, or cannot be made even with changes to the project through project conditions imposed by City staff and/or the Planning Commission, the site plan review application shall be denied

**FISCAL IMPACT:**

NONE.

**RECOMMENDATION:**

Approve Resolution No. 2021-10 approving Variances for structures in the front yard and front yard setback and Site Plan Review for grading.

**ATTACHMENTS:**

[3 outrider A-1 \(7.9.21\).pdf](#)  
[3 outrider A-2 \(6.21.21\) copy.pdf](#)  
[3 outrider A-3 \(7.9.21\).pdf](#)  
[3 outrider A-4 \(6.21.21\) copy.pdf](#)  
[3Outrider Complete CIVIL Set 07-09-2021 FINAL.pdf](#)  
[3 outrider T-1 \(7.9.21\).pdf](#)  
[3 Outrider Rd.\(ZC 21-08\)\\_revised landscaping plans\\_07.09.21.pdf](#)  
[Development\\_Table\\_-\\_ZC\\_21-08.pdf](#)

2021-10.PC RESOLUTION 3 Outrider (Hoyler).pdf  
SUPPLEMENTAL 2021-10.PC\_RESOLUTION\_3\_Outrider\_\_Hoyler\_.pdf

| NO. | DATE    | REVISION   |
|-----|---------|--|
| 1   | 2.1.21  | SUBMITTAL  |
| 2   | 4.1.21  | SUBMITTAL - ADD POOL & BAYARD LAYOUT               |
| 3   | 4.14.21 | REVISIONS: WALL, TRELLIS & JACUZZI RELOCATION      |
| 4   | 4.27.21 | REVISIONS: DEFER WALL AND TRELLIS REVIEW           |
| 5   | 7.9.21  | REVISIONS: INCLUDE WALL, TRELLIS & OUTDOOR KITCHEN |

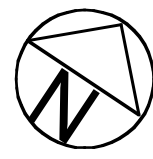
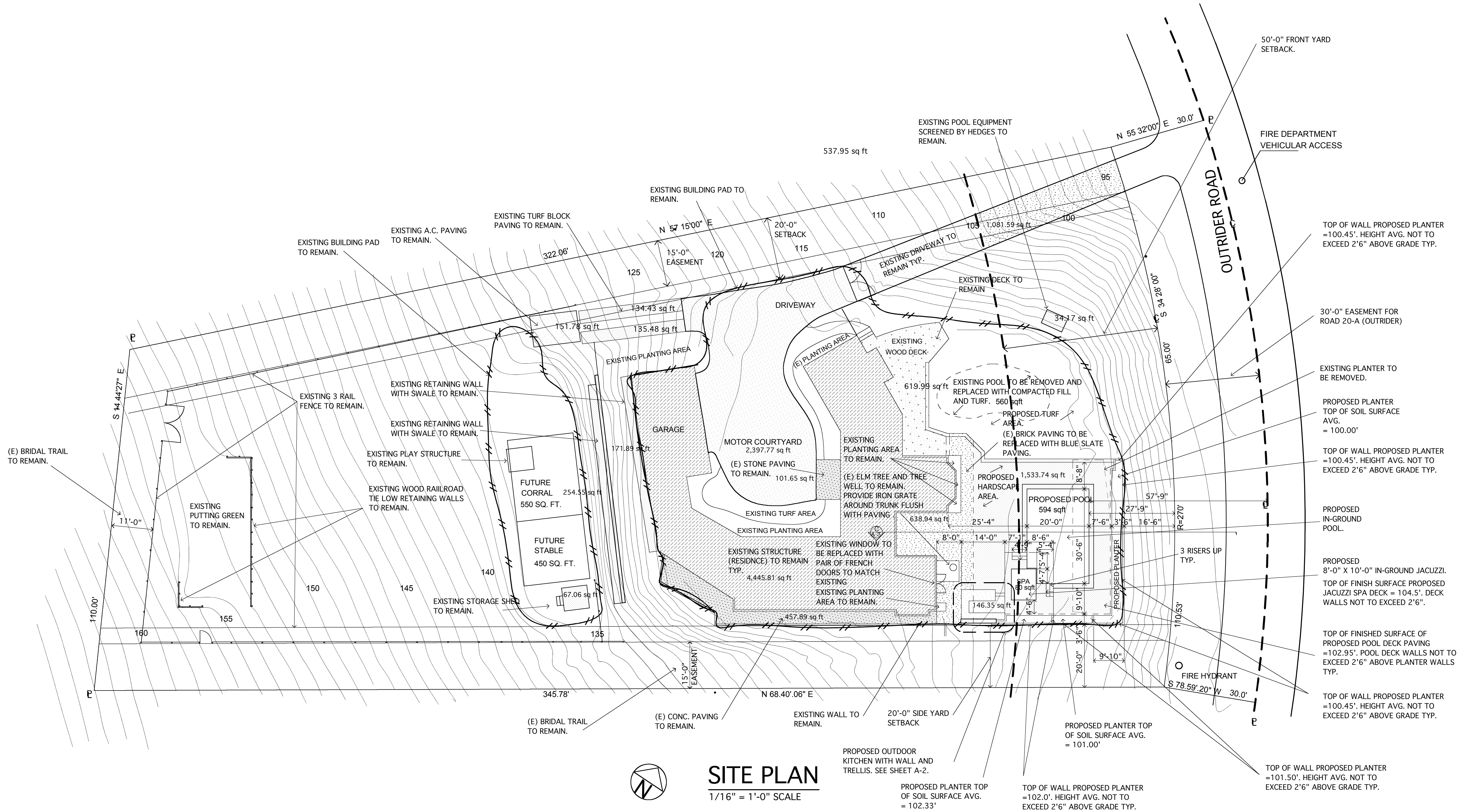
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|------------|--|
| PROJECT    | OUTDOOR KITCHEN, WALL, TRELLIS, POOL AND JACUZZI |
| FOR        | CAMERON HOYLER AND DARA ADAMS                    |
| 3 OUTRIDER | ROLLING HILLS, CA 90274                          |

|                     |                                    |
|---------------------|------------------------------------|
| GARON DARLING       | ARCHITECT                          |
| 2259 W PASO DEL MAR | SAN PEDRO, CA 90275 (310) 619-9540 |

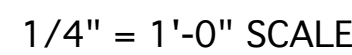
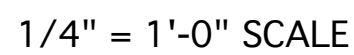
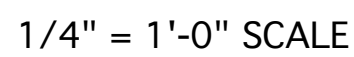
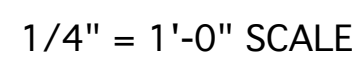
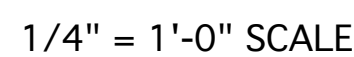
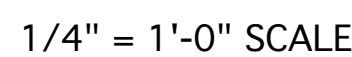
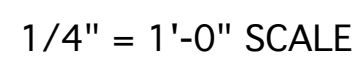
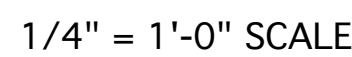
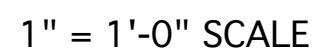
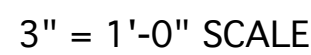
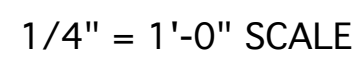
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| SHEET TITLE | SITE PLAN |
|-------------|-----------|

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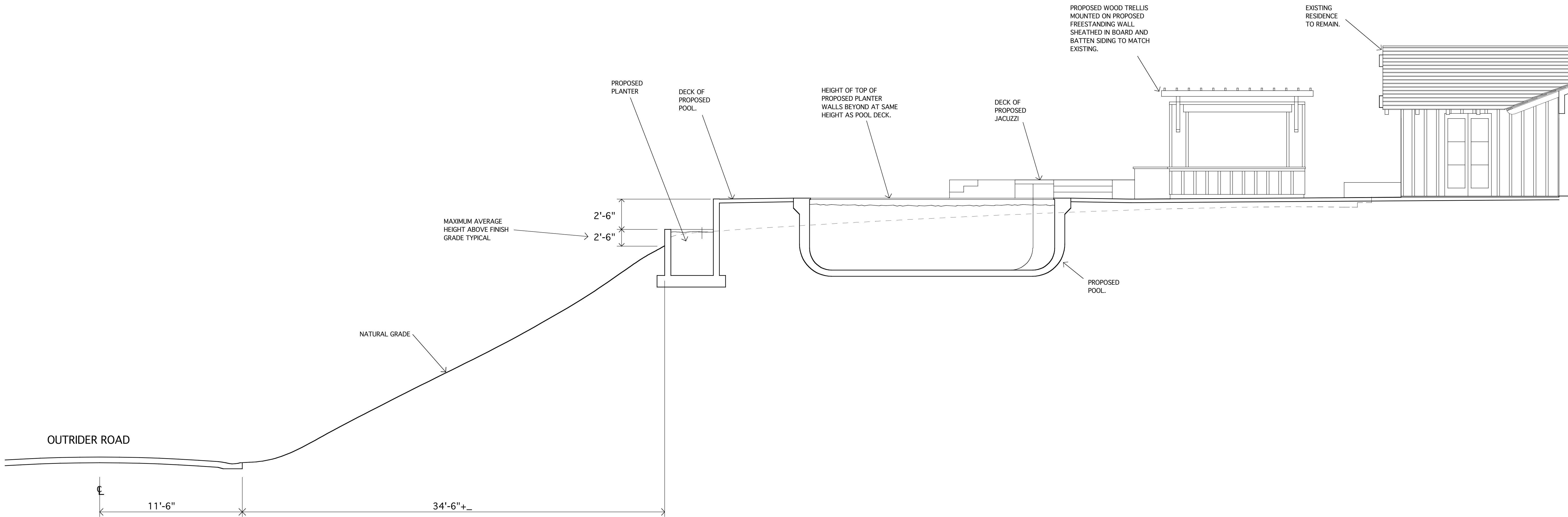
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| DATE  | 4/1/21 | JOB |
| SHEET | A-1    | OF  |
| DWGS  |        |     |



**SITE PLAN**  
1/16" = 1'-0" SCALE



- |                 |      |
|-----------------|------|
| DATE<br>1/25/21 | JOB  |
| SHEET           |      |
| A-2             |      |
| OF              | DWGS |



SECTION C

1/4" = 1'-0" SCALE

CONTRACTOR AND/OR ARCHITECT  
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of the Architect.

DATE  
4/1/21

JOB

SHEET  
A-3

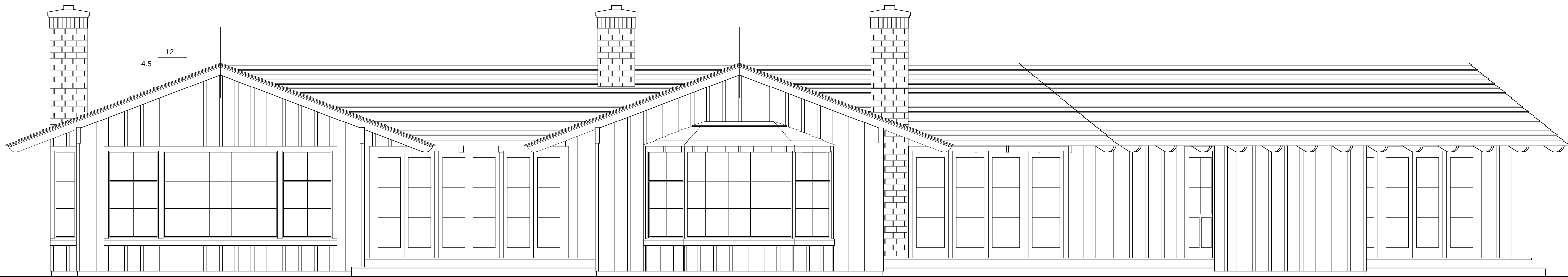
OF  
DWGS

SHEET TITLE  
SECTION C

GARON DARLING  
ARCHITECT  
2255 W PASEO DEL MAR  
SAN PEDRO, CA 90275 (310) 619-9540

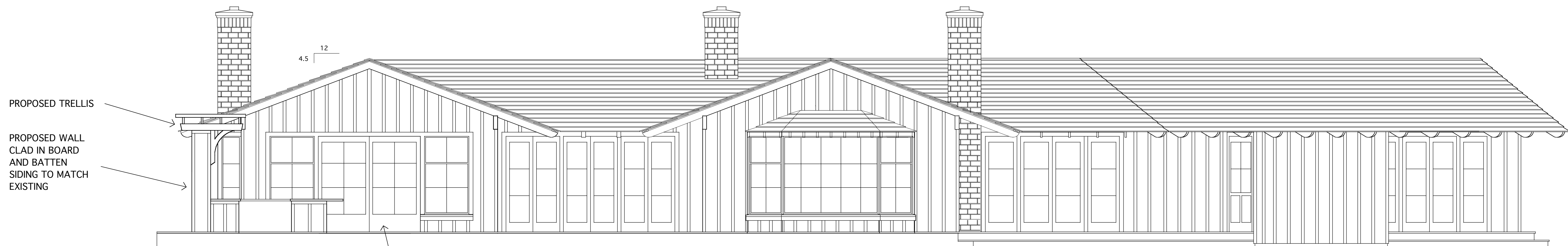
PROJECT  
OUTDOOR KITCHEN, WALL, TRELLIS, POOL AND JACUZZI  
FOR  
CAMERON HOYLER AND DARA ADAMS  
3 OUTRIDER  
ROLLING HILLS, CA 90274

| NO. | DATE    | REVISION   |
|-----|---------|--|
| 1   | 3.10.21 | SUBMITTAL  |
| 2   | 4.14.21 | REVISIONS- WALL, TRELLIS & JACUZZI RELOCATION      |
| 3   | 4.27.21 | REVISIONS- DECK WALL AND TRELLIS REVIEW            |
| 4   | 5.6.21  | REVISIONS- WALL, TRELLIS & OUTDOOR KITCHEN REVIEW  |
| 5   | 6.10.21 | REVISIONS- INCLUDE WALL, TRELLIS & OUTDOOR KITCHEN |



### EAST ELEVATION EXISTING

1/4" = 1'-0" SCALE



### EAST ELEVATION PROPOSED

1/4" = 1'-0" SCALE

| NO. | DATE    | REVISION  |
|-----|---------|---|
| 1   | 2.1.21  | SUBMITTAL   |
| 2   | 3.10.21 | REVISIONS   |
| 3   | 4.14.21 | REVISIONS: WALL, TRELLIS & JACUZZI RELOCATION     |
| 4   | 4.27.21 | REVISIONS: DEER WALL AND TRELLIS REVIEW           |
| 5   | 5.6.21  | REVISIONS: WALL, TRELLIS & OUTDOOR KITCHEN REVIEW |

PROJECT  
OUTDOOR KITCHEN, WALL, TRELLIS, POOL AND JACUZZI  
FOR  
CAMERON HOYLER AND DARA ADAMS  
3 OUTDOOR  
ROLLING HILLS, CA 90274

GARON DARLING  
ARCHITECT  
2255 W PASEO DEL MAR  
SAN PEDRO, CA 90275 (310) 619-9540

SHEET TITLE  
ELEVATIONS

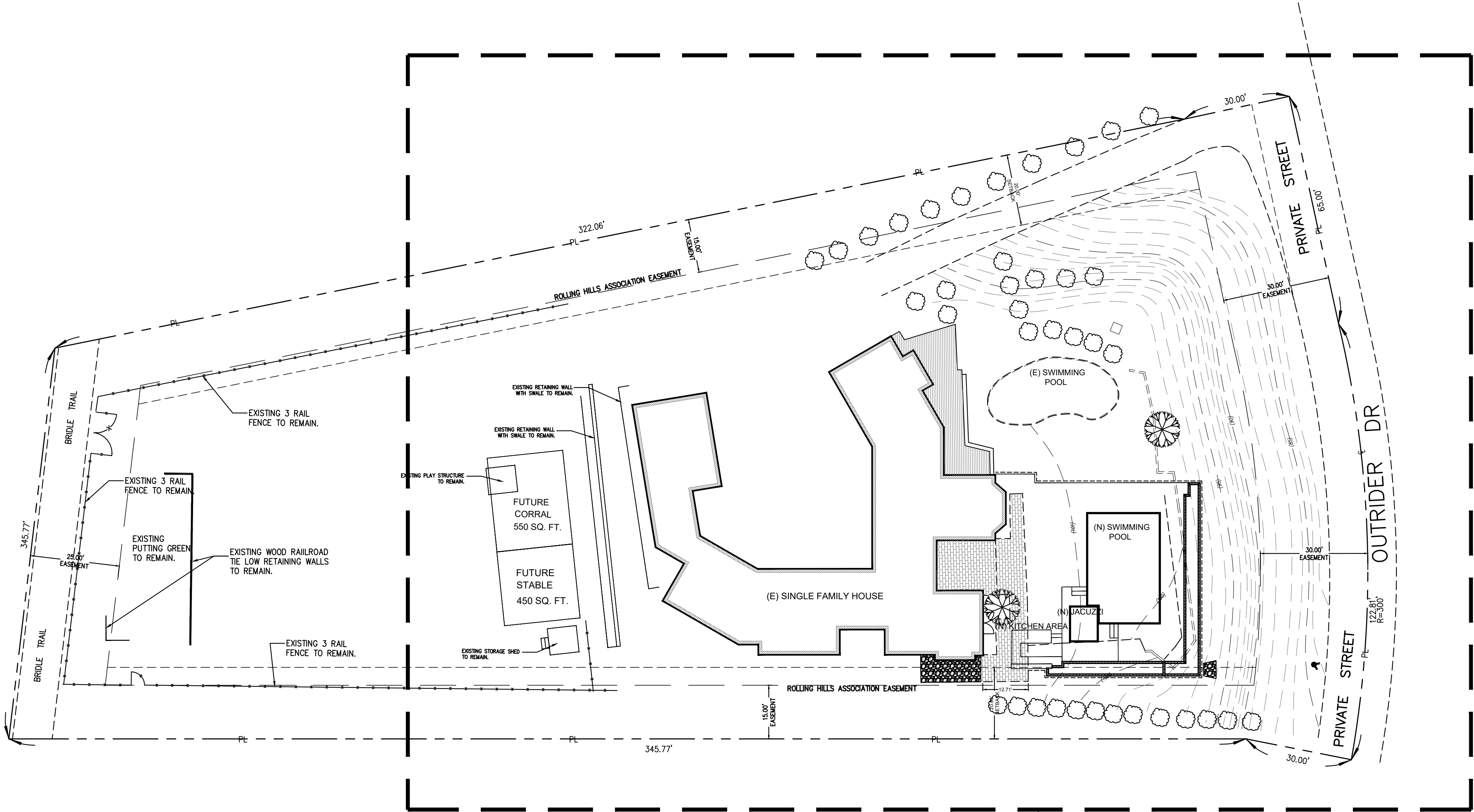
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and shall remain his property. They  
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and location for which they are  
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recording, or by any information  
storage and retrieval system, without  
the prior written permission of the  
Architect.

|                 |      |
|-----------------|------|
| DATE<br>1/25/21 | JOB  |
| SHEET<br>A-4    |      |
| OF              | DWGS |

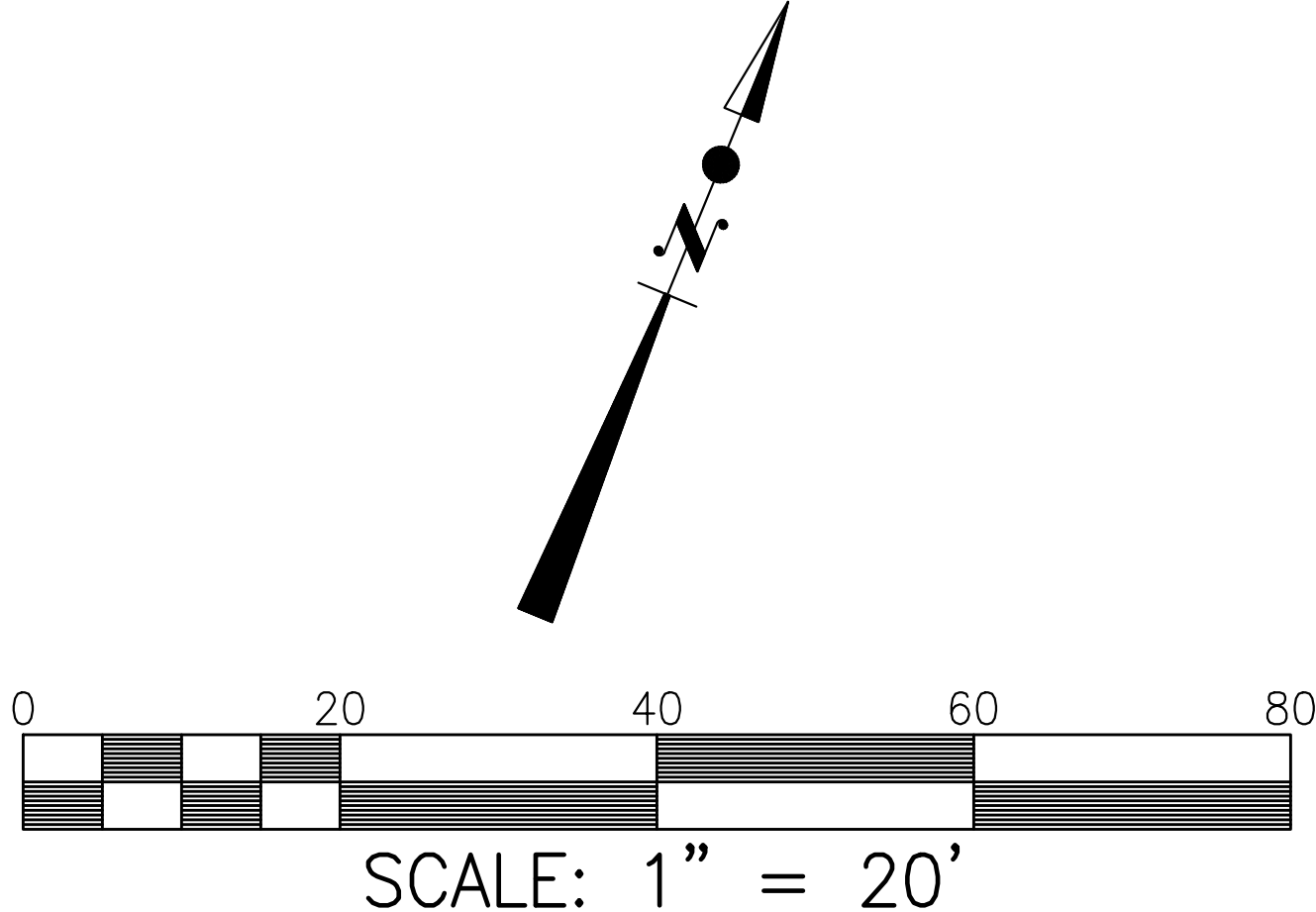


| ABBREVIATIONS |                     |      |                   |      |                |
|---------------|---------------------|------|-------------------|------|----------------|
| A/C           | AIR CONDITIONER PAD | IE   | INVERT ELEVATION  | SIM. | SIMILAR        |
| AC            | ASPHALT CONCRETE    | INV  | INVERT            | S/W  | SOUTHWEST      |
| B/W           | BACK OF WALK        | LA   | LANDSCAPE         | TC   | TOP OF CURB    |
| C/L           | CENTER LINE         | MH   | MANHOLE           | TF   | TOP OF FOOTING |
| CF            | CURB FACE           | (N)  | NEW               | TOF  | TOP OF FENCE   |
| (E)           | EXISTING            | N/W  | NORTHWEST         | TG   | TOP OF GRATE   |
| FF            | FINISHED FLOOR      | PLCS | PLACES            | TW   | TOP OF WALL    |
| FG            | FINISHED GRADE      | PP   | POWER POLE        | TYP  | TYPICAL        |
| FL            | FLOW LINE           | RDL  | ROOF DRAIN LEADER | WM   | WATER METER    |
| FM            | FORCE MAIN          | RG   | ROUGH GRADE       | WV   | WATER VALVE    |
| FS            | FINISHED SURFACE    | SD   | STORM DRAIN       |      |                |
| GB            | GRADE BREAK         | RD   | ROOF DRAIN        |      |                |
| GF            | GARAGE FLOOR        | RL   | RIDGE LINE        |      |                |
| HP            | HIGH POINT          |      |                   |      |                |

| LEGEND |                    |
|--------|--------------------|
|        | PROPERTY LINE      |
|        | CENTER LINE        |
|        | EXISTING ELEVATION |
|        | NEW ELEVATION      |
|        | (N) CONC.BLK.WALL. |
|        | (E) BRICK PATIO    |



SEE C-1



|             |      |    |  |  |  |  |  |  |  |
|-------------|------|----|--|--|--|--|--|--|--|
| REVISIONS   | DATE | BY |  |  |  |  |  |  |  |
|             |      |    |  |  |  |  |  |  |  |
| CLIENT      |      |    | Cameron Hoyer & Dara Adams<br>3 Outrider Road<br>Rolling Hills             |  |  |  |  |  |  |
| PROJECT     |      |    | GRADING AND<br>DRAINAGE PLAN<br>3 Outrider Road<br>Rolling Hills, CA 90274 |  |  |  |  |  |  |
| STAMP       |      |    |  |  |  |  |  |  |  |
| PREPARED BY |      |    |  |  |  |  |  |  |  |
| DATE:       |      |    | 07-09-2021   |  |  |  |  |  |  |
| JOB NO.:    |      |    |  |  |  |  |  |  |  |
| SCALE:      |      |    | AS SHOWN   |  |  |  |  |  |  |
| DRAWN:      |      |    | HP   |  |  |  |  |  |  |
| INDEX       |      |    |  |  |  |  |  |  |  |
|             |      |    | C-1  |  |  |  |  |  |  |
| SHEET       |      |    | OF   |  |  |  |  |  |  |
|             |      |    | SHEETS   |  |  |  |  |  |  |

|     |                     |      |                   |      |                |
|-----|---------------------|------|-------------------|------|----------------|
| A/C | AIR CONDITIONER PAD | IE   | INVERT ELEVATION  | SIM. | SIMILAR        |
| AC  | ASPHALT CONCRETE    | INV  | INVERT            | S/W  | SOUTHWEST      |
| B/W | BACK OF WALK        | LA   | LANDSCAPE         | TC   | TOP OF CURB    |
| C/L | CENTER LINE         | MH   | MANHOLE           | TF   | TOP OF FOOTING |
| CF  | CURB FACE           | N    | NEW               | TOF  | TOP OF FENCE   |
| (E) | EXISTING            | N/W  | NORTHWEST         | TO   | TOP OF GRATE   |
| FF  | FINISHED FLOOR      | PLCS | PLACES            | TW   | TOP OF WALL    |
| FG  | FINISHED GRADE      | PP   | POWER POLE        | TYP  | TYPICAL        |
| FL  | FLOW LINE           | RDL  | ROOF DRAIN LEADER | WM   | WATER METER    |
| FM  | FENCE MAIN          | RG   | ROUGH GRADE       | WV   | WATER VALVE    |
| FS  | FINISHED SURFACE    | SD   | STORM DRAIN       |      |                |
| GB  | GRADE BREAK         | RD   | ROOF DRAIN        |      |                |
| GP  | GARAGE FLOOR        | RL   | RIDGE LINE        |      |                |
| H   | HIGH POINT          |      |                   |      |                |

|   |                    |
|---|--------------------|
|  | PROPERTY LINE      |
|  | CENTER LINE        |
| <br>(100.00)  | EXISTING ELEVATION |
| 100.00  | NEW ELEVATION      |
|  | (N) CONC.BLK.WALL. |
|  | (E) BRICK PATIO    |

[illegible]

CLIENT  
Cameron Hoyer & Dara Adams  
3 Outrider Road  
Rolling Hills

GRADING AND  
DRAINAGE PLAN

|         |  |
|---------|--|
| PROJECT |  |
| STAMP   |  |

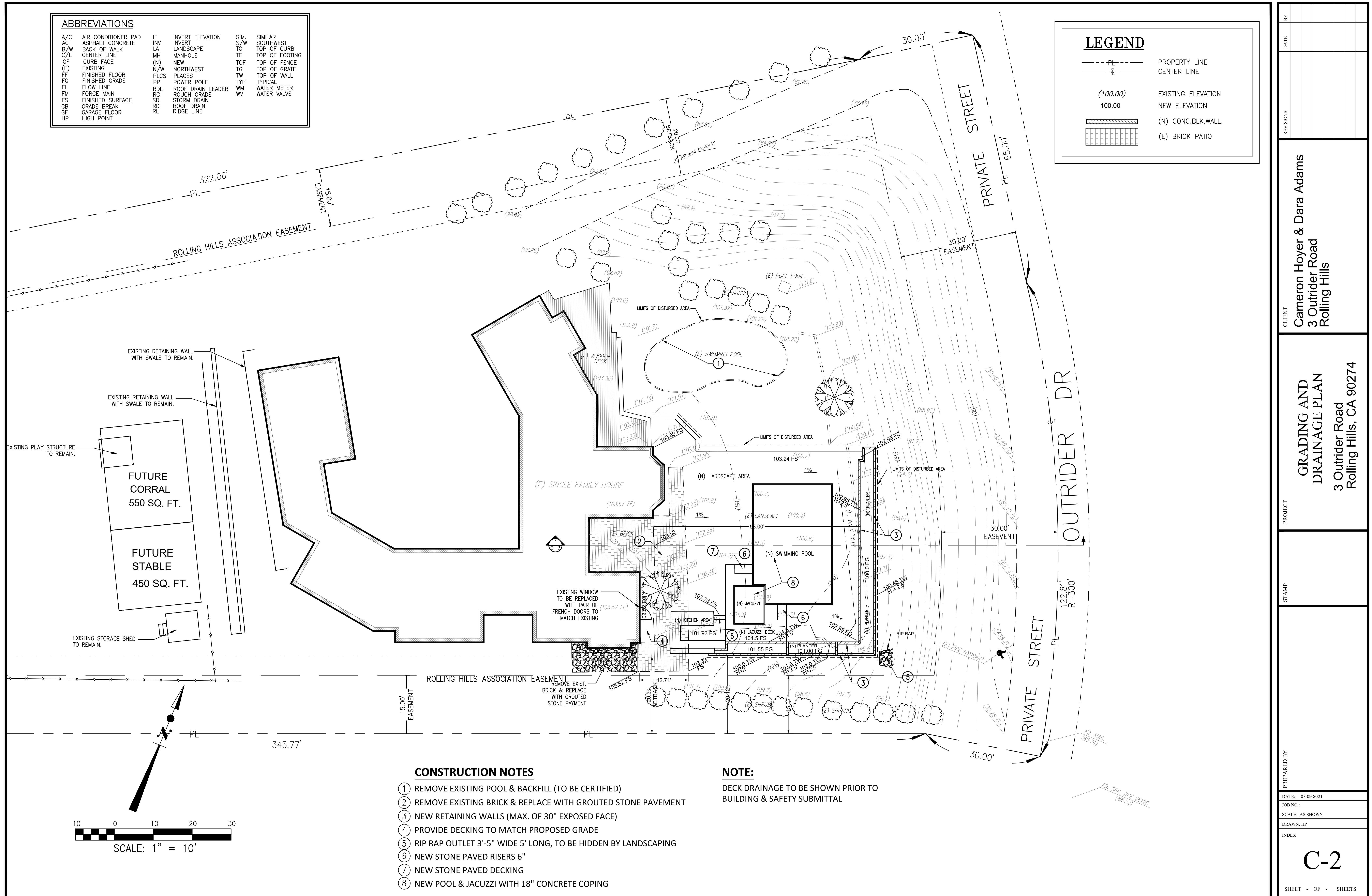
PREPARED BY \_\_\_\_\_

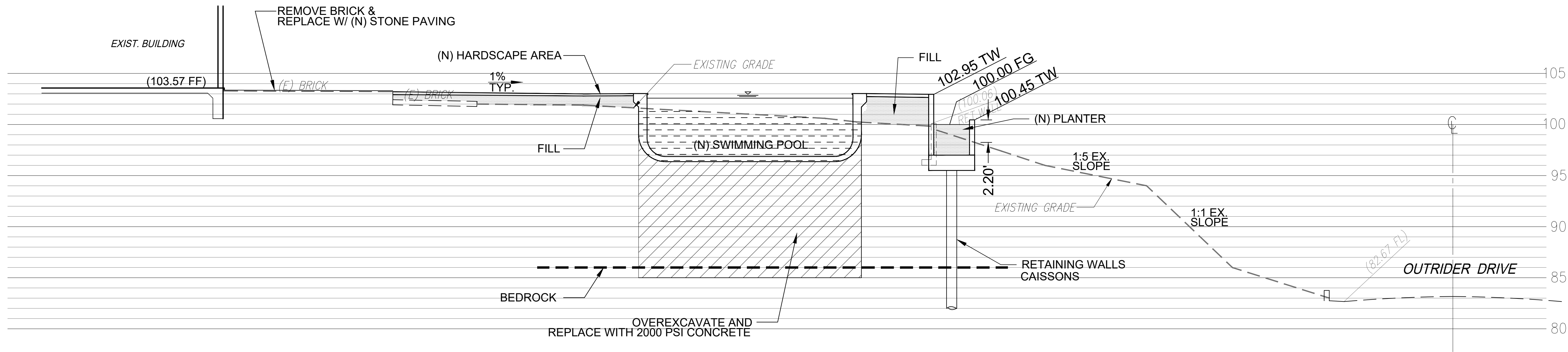
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| DATE: 07-09-2021 |
| JOB NO.:         |
| SCALE: AS SHOWN  |
| DRAWN: HP        |

INDEX

C-2

SHEET - OF - SHEETS





SECTION

SCALE: 1' = 5'

1

| REVISIONS | DATE | BY |
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|        |  |
|--------|--|
| CLIENT | Cameron Hoyer & Dara Adams<br>3 Outrider Road<br>Rolling Hills |
|--------|--|

|         |   |
|---------|---|
| PROJECT | GRADING AND DRAINAGE PLAN<br>3 Outrider Road<br>Rolling Hills, CA 90274 |
|---------|---|

|       |  |
|-------|--|
| STAMP |  |
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| PREPARED BY |  |
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|          |            |
|----------|------------|
| DATE:    | 07-09-2021 |
| JOB NO.: |            |
| SCALE:   | AS SHOWN   |
| DRAWN:   | HP         |
| INDEX    |            |

|       |        |        |
|-------|--------|--------|
|       | C-3    |        |
| SHEET | - OF - | SHEETS |

**RELOCATED POOL, NEW OUTDOOR KITCHEN WITH WALL AND TRELLIS, POOL DECK PAVING, AND A PAIR OF FRENCH DOORS ADDED TO AN EXISTING ONE-STORY SINGLE FAMILY RESIDENCE.**

**FOR THE**

## CAMERON HOYLER AND DARA ADAMS

**AT THE PROJECT ADDRESS:**

**3 OUTRIDER  
ROLLING HILLS, CA 90274**

| CONSULTANTS | NON-CONSULTANTS   | PLANNING DATA                     |                |               |                |
|-------------|---|-----------------------------------|----------------|---------------|----------------|
|             | *CIVIL AND *LANDSCAPING   | ZONING DISTRICT DESIGNATION RA-F1 |                |               |                |
|             | CIVIL AND LANDSCAPE SHEETS LISTED ON THIS TITLE SHEET ARE SHOWN FOR CLARIFICATION PURPOSES ONLY AS AN ADDITIONAL, STAND ALONE PART OF THE SUBMITTAL. THE INFORMATION CONTAINED ON THESE SHEETS DESCRIBES WORK THAT WAS NOT UNDER THE SUPERVISION OR PURVIEW OF THE ARCHITECT AND SHALL NOT BE CONSIDERED UNDER THE AUTHORITY/RESPONSIBILITY OF THE ARCHITECT. | RESIDENCE                         | EXISTING       | PROPOSED      | TOTAL          |
|             |   | LIVING AREA                       | 3000.0 SQ. FT. | 0.0 SQ. FT.   | 3000.0 SQ. FT. |
|             |   | GARAGE & SHOP AREA                | 1347.0 SQ. FT. | 0.0 SQ. FT.   | 1347.0 SQ. FT. |
|             |   | SWIMMING POOL/SPA                 | 560.0 SQ. FT.  | 180.0 SQ. FT. | 740.0 SQ. FT.  |
|             |   | POOL EQUIPMENT                    | 40.0 SQ. FT.   | 0.0 SQ. FT.   | 40.0 SQ. FT.   |
|             |   | SHED                              | 67.0 SQ. FT.   | 0.0 SQ. FT.   | 67.0 SQ. FT.   |
|             |   | OUTDOOR KITCHEN                   | 0.0 SQ. FT.    | 84.0 SQ. FT.  | 84.0 SQ. FT.   |
|             |   | WALL & TRELLIS                    | 0.0 SQ. FT.    | 62.0 SQ. FT.  | 62.0 SQ. FT.   |
|             |   | POOL DECK PAVING                  | 2140.0 SQ. FT. | 47.0 SQ. FT.  | 2187.0 SQ. FT. |

| INDEX OF DRAWINGS |     |   |  | APPLICABLE CODES   |              |       | PERMITS                           |        |   |  |
|-------------------|-----|---|--|--|--------------|-------|-----------------------------------|--------|---|--|
| ARCHITECTURAL     | T1  | TITLE SHEET, INDEX OF DRAWINGS, VICINITY MAP, GENERAL NOTES, CODE INFORMATION |  | 1  | LANDSCAPING* | L-101 | PLANTING/HARDSCAPE PLAN           | 1 OF 8 | ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING:<br>2020 LOS ANGELES COUNTY BUILDING CODE.<br>2020 LOS ANGELES COUNTY RESIDENTIAL CODE.<br>2020 LOS ANGELES COUNTY PLUMBING CODE<br>2020 LOS ANGELES COUNTY MECHANICAL CODE<br>2020 LOS ANGELES COUNTY ELECTRICAL CODE<br>2020 LOS ANGELES COUNTY GREEN BUILDING STANDARDS CODE<br>2020 LOS ANGELES COUNTY EXISTING BUILDING BUILDING CODE<br>2020 CALIFORNIA ENERGY CODE<br>CITY OF ROLLING HILLS MUNICIPAL CODE  | SEPERATE PERMITS SHALL BE REQUIRED FOR SIGNS, FENCES, RETAINING WALLS, TRASH ENCLOSURES, FLAGPOLES, POLE MOUNTED YARD LIGHT FOUNDATIONS, AND PLANTERS. |
|                   | A-1 | SITE PLAN   |  | 2  |              | L-102 | PLANTING SPECIFICATIONS & DETAILS | 2 OF 8 |   |  |
|                   | A-2 | PLANS, SECTIONS, ELEVATIONS & DETAILS OF OUTDOOR KITCHEN, WALL & TRELLIS      |  | 3  |              | L-103 | WATER EFFICIENT WORKSHEET         | 3 OF 8 |   |  |
|                   | A-3 | SECTION THROUGH FRONT YARD  |  | 4  |              | L-104 | IRRIGATION DESIGN                 | 4 OF 8 |   |  |
|                   | A-3 | ELEVATIONS  |  | 5  |              | L-105 | IRRIGATION CALCS, SPECIFICATIONS  | 5 OF 7 |   |  |
|                   |     |   |  |  |              | L-105 | IRRIGATION DETAILS                | 5 OF 8 |   |  |
|                   |     |   |  |  |              | L-106 | IRRIGATION DETAILS                | 6 OF 8 |   |  |
|                   |     |   |  |  |              | L-107 | IRRIGATION SPECIFICATIONS         | 7 OF 8 |   |  |
|                   |     |   |  |  |              |       |                                   |        |   |  |
|                   |     |   |  |  |              |       |                                   |        |   |  |
| CIVIL *           | C-0 | GRADING NOTES AND PROJECT INFORMATION   |  | 6  |              |       |                                   |        | CODE NOTES<br>1. ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN STATE OF CALIFORNIA TITLE 84 CCR AS AMENDED AND ADOPTED BY THE COUNTY OF LOS ANGELES, CA. AND THE CITY OF ROLLING HILLS, CA.<br>2. ALL CONSTRUCTION SHALL CONFORM TO STATE AND MUNICIPAL LAWS, CODES AND ORDINANCES, ETC. FOR MIN. STRUCTURAL DESIGN,MATERIALS USED, AND METHODS OF CONSTRUCTION. REFER TO APPLICABLE STATE AND MUNICIPAL BUILDING CODES. PROJECT SHALL BE CONSTRUCTED UNDER ALL APPLICABLE LOCAL BUILDING PERMITS AND INSPECTION PROCEDURES. | VICINITY MAP   |
|                   | C-1 | GRADING AND DRAINAGE PLAN   |  | 7  |              |       |                                   |        |   |  |
|                   | C-2 | GRADING AND DRAINAGE PLAN   |  | 8  |              |       |                                   |        |   |  |
|                   | C-2 | SECTION   |  | 9  |              |       |                                   |        |   |  |
|                   |     |   |  |  |              |       |                                   |        |   |  |
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|                   |     |   |  |  |              |       |                                   |        |   |  |
|                   |     |   |  |  |              |       |                                   |        |   |  |
|                   |     |   |  | BUILDING DATA  |              |       |                                   |        |   |  |
|                   |     |   |  | CONSTRUCTION TYPE  |              |       | OCCUPANCY GROUP                   |        |   |  |
|                   |     |   |  | TYPE V-B   |              |       | GROUP R DIVISION 3                |        |   |  |
|                   |     |   |  | SCOPE OF WORK  |              |       |                                   |        |   |  |
|                   |     |   |  | DEMO, EXCAVATE, CONSTRUCT AS REQUIRED FOR RELOCATED POOL, NEW OUTDOOR KITCHEN WITH WALL AND TRELLIS, POOL DECK PAVING, AND A PAIR OF FRENCH DOORS ADDED TO AN EXISITING ONE-STORY SINGLE FAMILY RESIDENCE WITH GRADING, PLUMBING, MECHANICAL, ELECTRICAL, LANSCAPING AND SITEWORK. |              |       |                                   |        |   |  |

| NO | DATE    | REVISION                |
|----|---------|-------------------------|
| 1  | 6.22.21 | SUBMITTAL CITY PLANNING |
| 2  |         |                         |
| 3  |         |                         |
| 4  |         |                         |
| 5  |         |                         |

PROJECT  
OUTDOOR KITCHEN, WALL, TRELIS, POOL AND JACUZZI  
FOR  
CAMERON HOYLER AND DARA ADAMS  
3 OUTRIDER  
ROLLING HILLS, CA 90274

**GARON DARLING  
ARCHITECT**  
2259 W PASEO DEL MAR  
SAN PEDRO, CA 90275 (310) 619-9540

SHEET TITLE

INDEX TO DRAWINGS,  
CODES, VICINITY MAP,  
& NOTES

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|  |     |
|--|-----|
| DATE<br>6/21/21                        | JOB |
| SHEET<br><br><b>T-1</b><br><br>OF DWGS |     |



[illegible][illegible]

1. PLANT WITH PLANTS PER PLANTING PLAN.  
2. THE AREA OF THE RAIN GARDEN SHALL BE 10% OF THE TOTAL AREA OF THE LOT.  
3. GARDEN AS SHOWN BY THE PLANS, SHALL BE FENCED OFF AND KEPT CLEAR OF ALL OBSTRUCTIONS.  
4. DO NOT TRUCK DIRT OR STOCK CONSTRUCTION MATERIALS UPLOADE OR LESS THAN 5' AWAY.  
5. MAINTAIN DRIVING ELEVATION OF ADJACENT SLOPS. MAY CAUSE RIMS TO CLOD THE SURFACE OF THE OCCURS DRAINAGE OF CONCRETE CONSTRUCTION. HAND MAKE THE SURFACE TO A MINIMUM OF 1% SLOPE.  
6. 4. NOTIFY THE LANDSCAPE ARCHITECT AT [ENTER PHONE NUMBER HERE] 24 HOURS IN ADVANCE OF ANY PLANTING. THE PLANTING SHALL BE COMPLETED WITHIN 14 DAYS OF THE DATE OF THE ORDER.  
7. BE PREPARED TO DISMISSE VIOLATIONS IN THE FIELD THAT MAY AFFECT DESIGN.  
8. EXISTING GRADE  
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10. COMPACTED GRADE  
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1. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ALL SITE VISITS TO THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT.
3. THE CONTRACTOR SHALL BE LIABLE FOR REMOVING AND REINSTALLING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE TO EXISTING UTILITIES.
4. THE IRRIGATION SYSTEM SHALL BE INSTALLED AND TESTED PRIOR TO PLANTING.
5. TREES AND SHRUBS SHALL BE PLANTED AFTER CONCRETE PLACEMENT, BUT NOT BEFORE THE IRRIGATION COVERED AREA HAS BEEN APPROVED ORDER TO PROCEED.
6. PLACE TRIPS BETWEEN IRRIGATION LINES WHEREVER POSSIBLE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ACCESS AT A DEPTH OF 18" TO ALL PLANTS AND TREES.
8. UNLESS OTHERWISE INDICATED ON THE PLANS.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL REMOVAL AND/OR REPLACEMENT OF ANY EXISTING PLANTS AND TREES.
10. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTS AND TREES.
11. UNLESS OTHERWISE SPECIFIED BY THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL PLACE PLANT ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
12. THE PLANTING PLANS ARE ONLY GUIDANCE FOR THE PLANTING LOCATION AND PLANT SPECIES. THE CONTRACTOR SHALL VARY ALL QUANTITIES BY PLANT GROWTH.

[illegible][illegible][illegible]

| NO | DATE | REVISION |
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| 4  |      |          |
| 5  |      |          |
| 6  |      |          |

---

SARAH NOEL  
8 HAWKMOORE RD.  
ROLLING HILLS, CA 90274  
(310) 650-5574  
(310) 977-5470

ALL DRAWINGS, INCLUDING  
APPROPRIATE PERMITS,  
SHALL BE THE PROPERTY OF  
THE DESIGNER AND SHALL  
NOT BE REPRODUCED OR  
COPIED IN ANY MANNER  
WITHOUT THE WRITTEN  
CONSENT OF THE  
DESIGNER.

| NO | DATE | REVISION |
|----|------|----------|
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| 6  |      |          |

PRIVATE RESIDENCE  
3 OUTRIDER RD.  
ROLLING HILLS, CA 90274

PROJECT INFORMATION:

SHEET DESCRIPTION

WATER EFFICIENT  
WORK SHEET

DESIGNED/DRAWN BY  
SARAH NOEL

DATE 07/09/2021

JOB NO. -

SCALE 1/16"=1'-0"

SHEET NUMBER

L - 103

PART 1. PROJECT INFORMATION

|                                    |                           |
|------------------------------------|---------------------------|
| PROJECT AND APPLICANT              |                           |
| DATE                               | APR 7967-003-008          |
| PROJECT NAME                       | LOT # 81                  |
| NAME OF PROJECT APPLICANT          |                           |
| TITLE                              |                           |
| COMPANY                            |                           |
| CITY                               |                           |
| PROJECT ADDRESS AND LOCATION       |                           |
| STREET ADDRESS                     | 3 OUTRIDER RD.            |
| STATE                              | CA                        |
| ZIP CODE                           | 90274                     |
| ASSESSOR PARCEL #                  |                           |
| PROPERTY OWNER OR HIS/HER DESIGNEE |                           |
| NAME                               | SARAH NOEL                |
| TITLE                              | RESIDENT                  |
| COMPANY                            | NOEL ART LANDSCAPE DESIGN |
| CITY                               | ROLLING HILLS             |
| STATE                              | CA                        |
| ZIP CODE                           | 90274                     |

PROPERTY OWNER

I/WE CERTIFY THAT I/WE HAVE RECEIVED COPIES OF ALL THE DOCUMENTS WITHIN THE LANDSCAPE DOCUMENTATION PACKAGE AND HAVE REVIEWED THEM FOR ACCURACY AND COMPLETENESS. I/WE AGREE TO SIGN HAVE THE PROJECT MAINTAINED IN ACCORDANCE WITH THE LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE.

PROPERTY OWNER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PLEASE ANSWER THE QUESTION BELOW

- DATE THE LANDSCAPE DOCUMENTATION PACKAGE WAS SUBMITTED TO THE LOCAL AGENCY
- DATE THE LANDSCAPE DOCUMENTATION PACKAGE WAS APPROVED BY THE LOCAL AGENCY
- DATE THE COPY OF THE WATER EFFICIENT LANDSCAPE WORKSHEET/INCLUDING THE WATER BUDGET CALCULATION WAS SUBMITTED TO THE LOCAL WATER PROVIDER

PART 2. CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

I/WE CERTIFY THAT BASED UPON PERSONAL SITE OBSERVATIONS, THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE ORDINANCE AND THAT THE LANDSCAPE PLANTING AND IRRIGATION INSTALLATION CONFORM WITH THE CRITERIA AND SPECIFICATIONS OF THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE.

|   |   |
|---|---|
| SIGNATURE   | DATE  |
| SARAH NOEL  |   |
| NAME/PRINT  | TELEPHONE NO. 310.650.5574<br>FAX NO.                     |
| LICENSE NO. OR CERTIFICATION NO. C274-1002813   |   |
| COMPANY NOEL ART LANDSCAPE DESIGN   | STREET ADDRESS 8 HAWKMOORE RD.<br>STATE CA ZIP CODE 90274 |
| CITY ROLLING HILLS  |   |
| SIGNER OF THE LANDSCAPE DESIGN PLAN, SIGNER OF THE IRRIGATION PLAN, OR A LICENSED LANDSCAPE CONTRACTOR. |   |

PART 3. IRRIGATION SCHEDULING

ATTACHED PARAMETERS FOR SETTING THE IRRIGATION SCHEDULE ON CONTROLLER PER ORDINANCE SECTION 482.10.

PART 4. SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE

ATTACHED SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE PER ORDINANCE SECTION 482.11.

PART 5. LANDSCAPE IRRIGATION AUDIT REPORT

ATTACHED LANDSCAPE IRRIGATION AUDIT REPORT PER ORDINANCE SECTION 482.12.

PART 6. SOIL MANAGEMENT REPORT

ATTACHED SOIL ANALYSIS REPORT IF NOT PREVIOUSLY SUBMITTED WITH THE LANDSCAPE DOCUMENTATION PACKAGE. THE REPORT SHALL BE SUBMITTED TO THE LOCAL WATER PROVIDER FOR REVIEW AND APPROVAL. THE REPORT SHALL BE ATTACHED TO THE IRRIGATION SCHEDULE AND IRRIGATION MAINTENANCE PER ORDINANCE SECTION 482.10.

|  |
|--|
| ETWU = Estimated Total Water Use per year (gallons)  |
| Eto = Reference Evapotranspiration (inches)  |
| PF = Plant Factor from WUCOLS or other approved reference (per 5481)   |
| HA = Hydrozone Area (High, Moderate, and Low water use areas) (square feet)  |
| SIA = Special Landscape Area (square feet)   |
| LA = Landscape Area including SIA (square feet)  |
| IE = Irrigation Efficiency (0.75 for spray devices and 0.81 for drip system)   |
| WMA = The maximum Applied Water Allowance (gal per year)   |
| Eto = Reference Evapotranspiration (inches per year)   |
| 0.82 = Conversion Factor (to gallons per year)   |
| ETAP = ET Adjustment Factor (ETAP)   |
| Residential ETAP = 0.65  |
| Non-residential ETAP = 0.45  |
| Existing Landscape ETAP = 0.6  |
| ETPP = Effective Precipitation (ETPP) is 25% of total annual precipitation   |
| The Eto values used in these calculations are from the Reference Evapotranspiration data, such as from the California Irrigation Reference Evapotranspiration data, and shall use current reference evapotranspiration data (Eto), corresponding date, or soil moisture sensor data. |



NOTE: REIRRIGATING WATER SYSTEM SHALL BE USED FOR WATER FEATURES.

WATER BUDGET CALCULATIONS

$$MAWA = (ETO)(0.62) \left[ (0.56 \times LA) + (0.3 \times SIA) \right]$$

$$MAWA = (39.7)(0.62) \left[ (0.56 \times 2576) + (0.3 \times 0) \right]$$

$$MAWA = (24.614) \left[ (1416.9) + (0) \right]$$

$$MAWA = 34473.1152 \text{ Gallons per year}$$

$$ETWU = (39.7)(0.62) \left( \frac{0.3 \times 2576}{1} + SIA \right)$$

$$ETWU = (39.7)(0.62) \left( \frac{772.8}{1} + 0 \right)$$

$$ETWU = (24.614) 772.8$$

$$ETWU = 19021.6892 \text{ Gallons per year}$$

The water budget complies with the MAWA.

Project meets water budget.

$$ETWU = 19021.6892 \text{ gallons per year is less than MAWA= 34473.1152 gallons per year.}$$

| HYDROZONE PLANTING DESCRIPTION                              | PLANT FACTOR (PF) | IRRIGATION METHOD | EFFICIENCY IE | ETAP PF/IE | LANDSCAPE AREA (SQ.FT) | ETAP X AREA | ESTIMATED TOTAL WATER USE (ANNUAL GALLONS REQUIRED) ETWU= ETOX0.62XETPAWMA |
|---|-------------------|-------------------|---------------|------------|------------------------|-------------|--|
| A   | LOW 0.3           | SPRAY             | 0.75          | 0.3        | 1531                   | 459.3       | ZONE A 20726.2187  |
| B   | LOW 0.3           | DRIP              | 0.81          | 0.3        | 265                    | 79.5        | ZONE B 3597.4805   |
| POTS  | LOW 0.3           | DRIP              | 0.81          | 0.3        | 100                    | 30          | POTS 1353.77   |
| POOL/SPA  | HIGH 1            | -                 | 1             | 1          | 680                    | 680         | POOL 9206.636 GAL/YR   |
| SPECIAL LANDS AREA  | -                 | -                 | -             | -          | -                      | -           | TOTAL 34473.1152 GAL/YR  |
|   |                   |                   |               | (C) -      | (D) -                  |             |  |
| TOTALS  |                   |                   |               | (A)        | (B)                    |             |  |
| ETO = 38.7" inches per year                                 |                   |                   |               |            |                        |             |  |
| Residential ETAP = 0.65                                     |                   |                   |               |            |                        |             |  |
| Average monthly precipitation = 0.36"                       |                   |                   |               |            |                        |             |  |
| REIRRIGATING WATER SYSTEM SHALL BE USED FOR WATER FEATURES. |                   |                   |               |            |                        |             |  |
| WATER SUPPLY TYPE: POTABLE                                  |                   |                   |               |            |                        |             |  |
| 75% OF TOTAL LANDSCAPE AREA LOW WATER USE (3 PLANT FACTOR)  |                   |                   |               |            |                        |             |  |

| PLANTING LEGEND |         | PLANTING LEGEND |             | PLANTING LEGEND             |        | PLANTING LEGEND |        |
|-----------------|---------|-----------------|-------------|-----------------------------|--------|-----------------|--------|
| PLANT TYPE      | SYMBOL  | GENUS           | COMMON NAME | WATER NEEDS (PER 100 SQ.FT) | ZONE   | QUANTITY        | SIZE   |
| 1               | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 7               | 5 GAL. |
| 2               | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 6               | 5 GAL. |
| 3               | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 2               | 5 GAL. |
| 4               | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 10              | 5 GAL. |
| 5               | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 2               | 1 GAL. |
| 6               | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 7               | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 8               | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 9               | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 10              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 11              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 12              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 13              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 14              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 15              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 16              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 17              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 18              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 19              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 20              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 21              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 22              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 23              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 24              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 25              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 26              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 27              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 28              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 29              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 30              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 31              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 32              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 33              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 34              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 35              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 36              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 37              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 38              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 39              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 40              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 41              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 42              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 43              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 44              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 45              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 46              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 47              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 48              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 49              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 50              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 51              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 52              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 53              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 54              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 55              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 56              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 57              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 58              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 59              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 60              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 61              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
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| 73              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 74              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 75              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 76              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
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| 79              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 80              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 81              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 82              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 83              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
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| 93              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 94              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 95              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
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| 97              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 98              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 99              | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 100             | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 101             | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 102             | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 103             | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 104             | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 105             | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
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| 108             | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
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| 111             | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 112             | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |
| 113             | SHRUBS/ | MAVE            | MAVE        | LOW                         | A-B-30 | 1               | 1/1"   |



- IN SOME INSTANCES, A LOWER OR HIGHER APPLICATION RATE IS NEEDED. CHANGING YOUR LATERAL ROW SPACING CAN HELP.
- \*E DRIPLINE INSERT FITTINGS: VARIES BY DESIGN

ENCLOSED WITH RAIN CHECK.

(AUTOMATIC RAIN CHECK SENSOR)

- AUTOMATIC SPRINKLER SYSTEM RUN BY A CONTROLLER. SMART CONTROLLERS ACT LIKE A THERMOSTAT FOR YOUR SPRINKLER. THEY MONITOR TEMPERATURES WITHIN 2 FEET OR SO OF THE SPRINKLER HEADS AND TURN THEM ON OR OFF BASED ON THE TEMPERATURES THAT MATCHES ACTUAL CONDITIONS AT YOUR HOUSE.
- SMART WATERING SYSTEM SUCH AS DRIP IRRIGATION AND SMART CONTROLLERS ARE A GREAT WAY TO MAKE YOUR LANDSCAPE WATER WISE.
- SMART CONTROLLERS USE REAL-TIME WEATHER INFORMATION TO CREATE A WATERING SCHEDULE THAT BETTER MATCHES PLANTS WATER NEEDS.
- SATURATION PAIN SENSORS/PAIN SENSOR/RAIN GAGE SHOULD INSTALL EDGE OF THE ROOF.

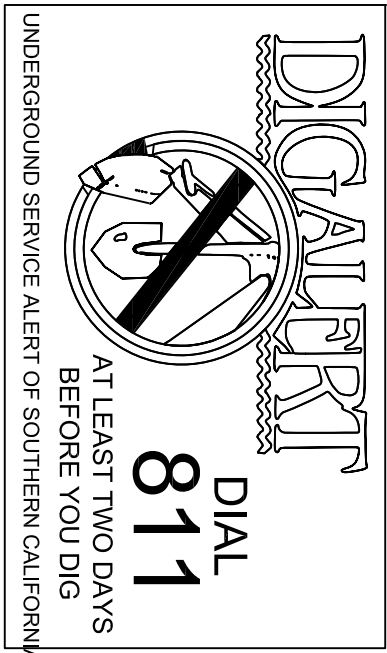
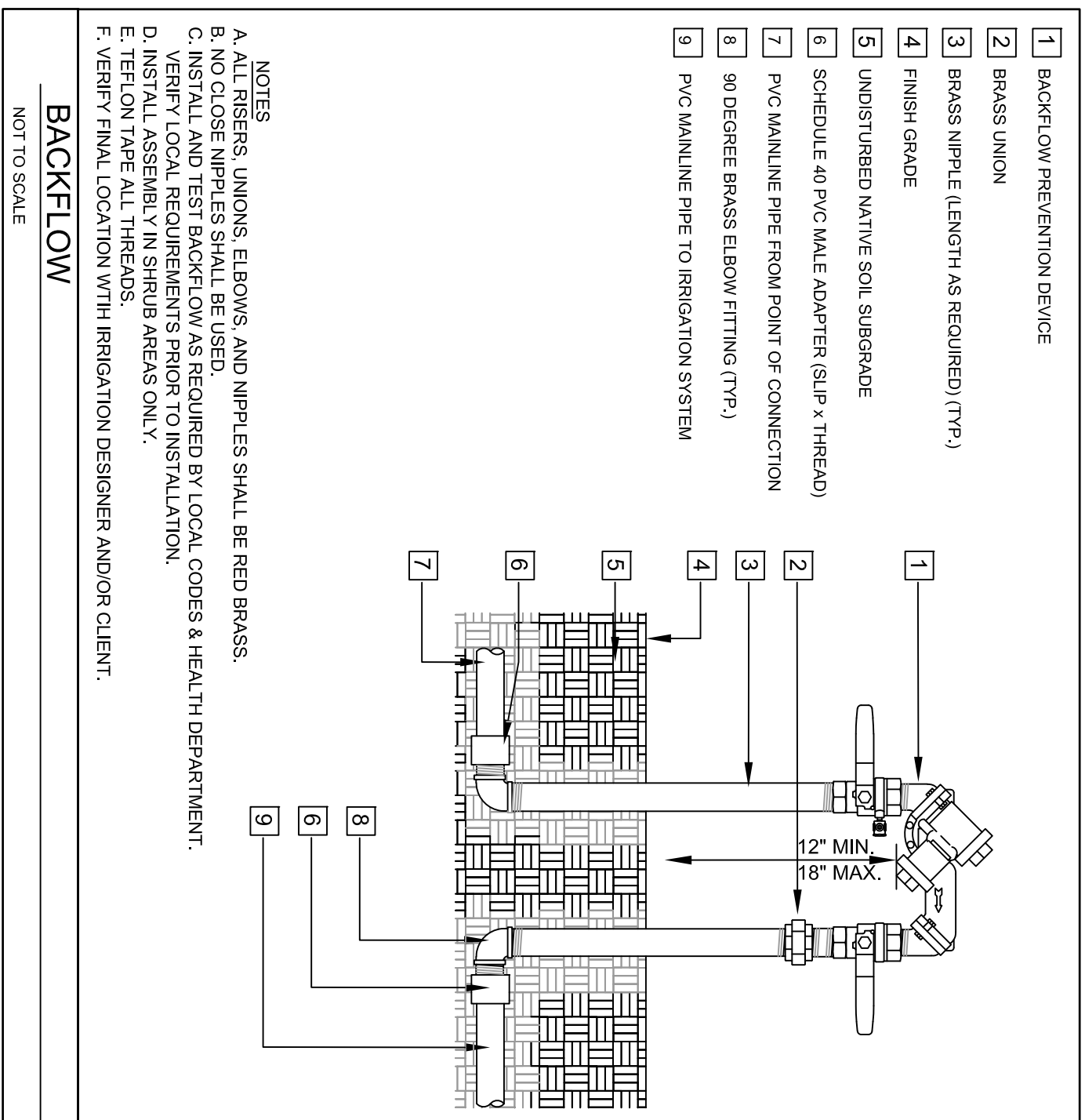
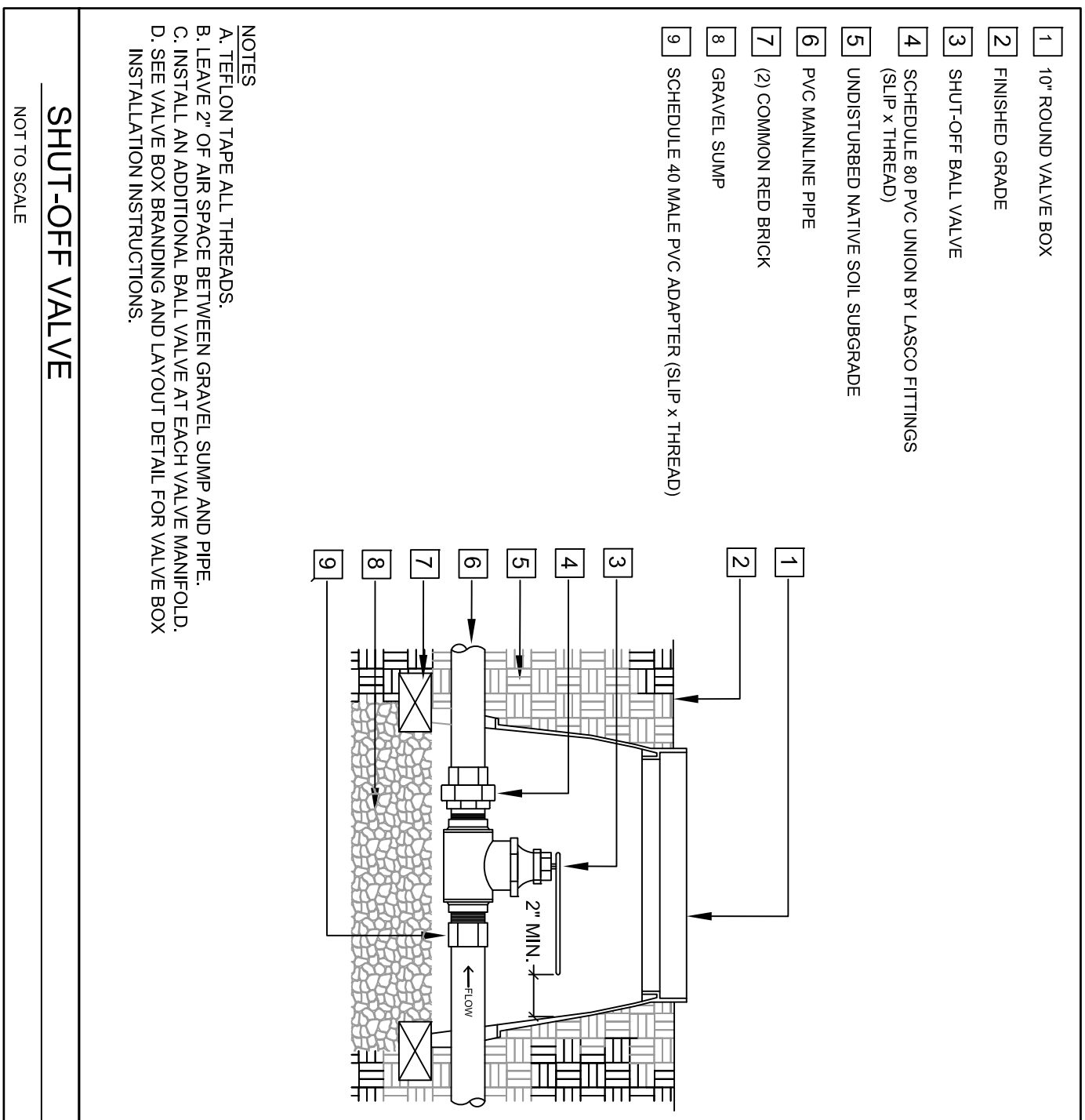
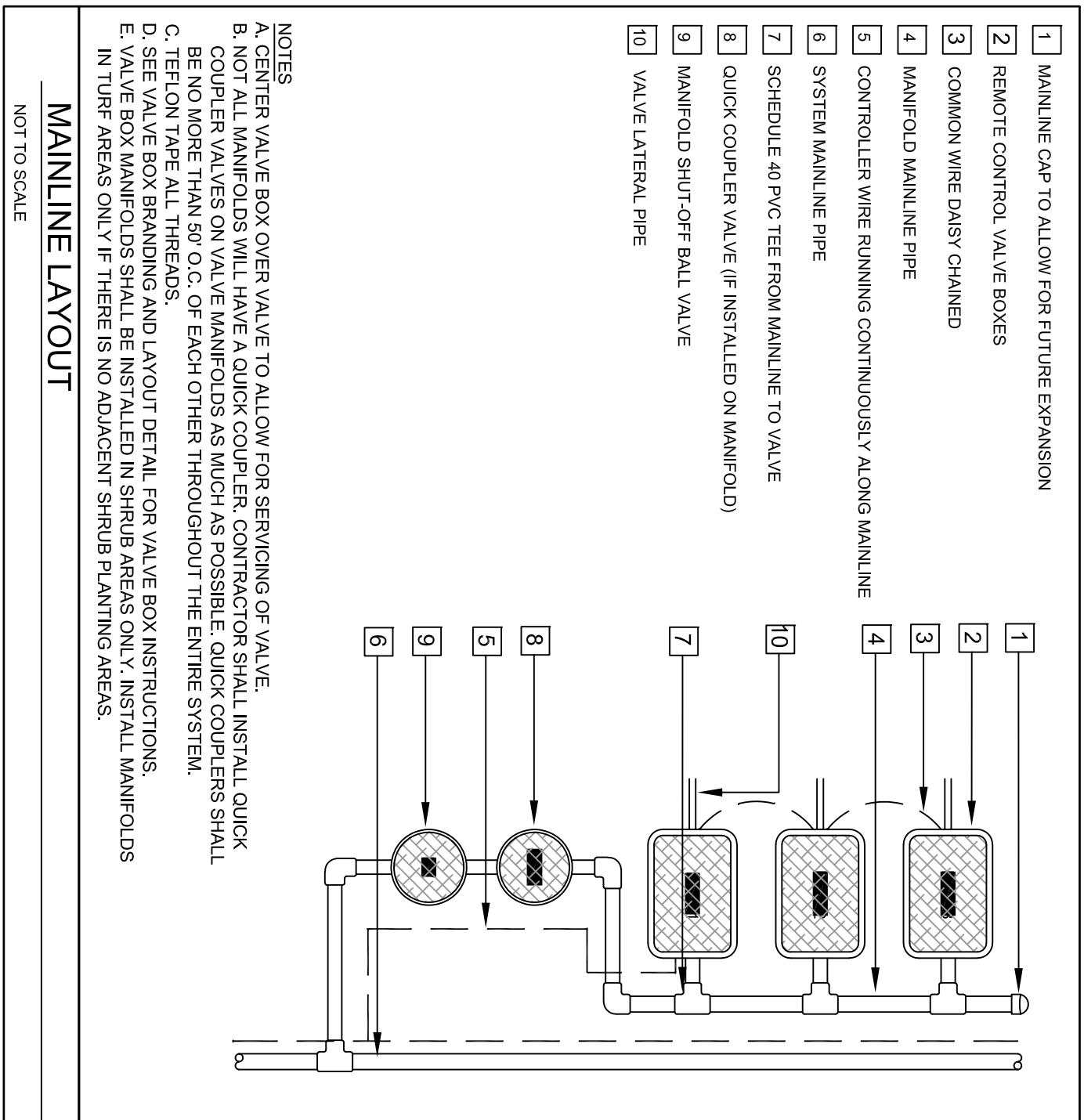
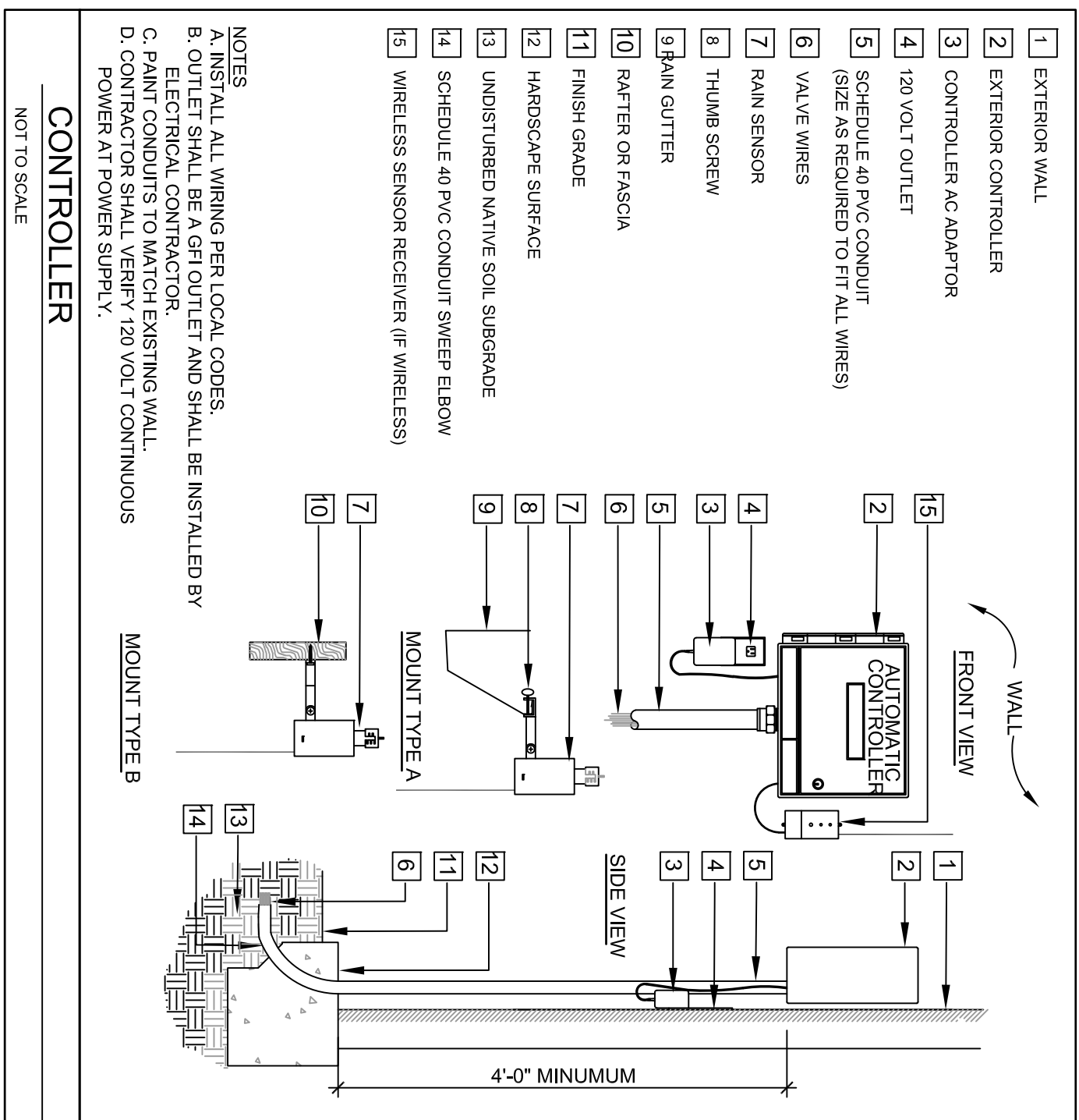
NOTES:

A- "PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES."

B- "CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW FLOW CONDITIONS COULD OCCUR."

ALL DRAWINGS, DESIGNS,  
AND WRITTEN MATERIAL  
APPEARING HEREIN  
CONSTITUTE THE  
ORIGINAL AND  
UNPUBLISHED WORK OF  
MOEL ART DESIGN  
ASSOCIATES AND THE  
SAME SHALL NOT BE  
DUPLICATED, USED, OR  
ASSIGNED TO ANY THIRD  
PARTY WITHOUT THE  
WRITTEN CONSENT OF  
MOEL ART DESIGN  
ASSOCIATES.

SHEET DESCRIPTIONSARAH NOELL - 104



SARAH NOEL  
 8 HAYDONER RD.  
 ROLLING HILLS, CA 90274  
 (310) 666-5974  
 (310) 377-5470

| NO | DATE | REVISION |
|----|------|----------|
| 1  |      |          |
| 2  |      |          |
| 3  |      |          |
| 4  |      |          |
| 5  |      |          |
| 6  |      |          |

|                       |            |  |
|-----------------------|------------|--|
| SHEET DESCRIPTION     |            |  |
| IRRIGATION<br>DETAILS |            |  |
| DESIGNED/DRAWN BY     |            |  |
| SARAH NOEL            |            |  |
| DATE                  | 07/09/2021 |  |
| JOB NO.               | -          |  |
| SCALE                 | NTS        |  |
| SHEET NUMBER          |            |  |
| L - 105               |            |  |
| SHEET 5               | OF 8       |  |

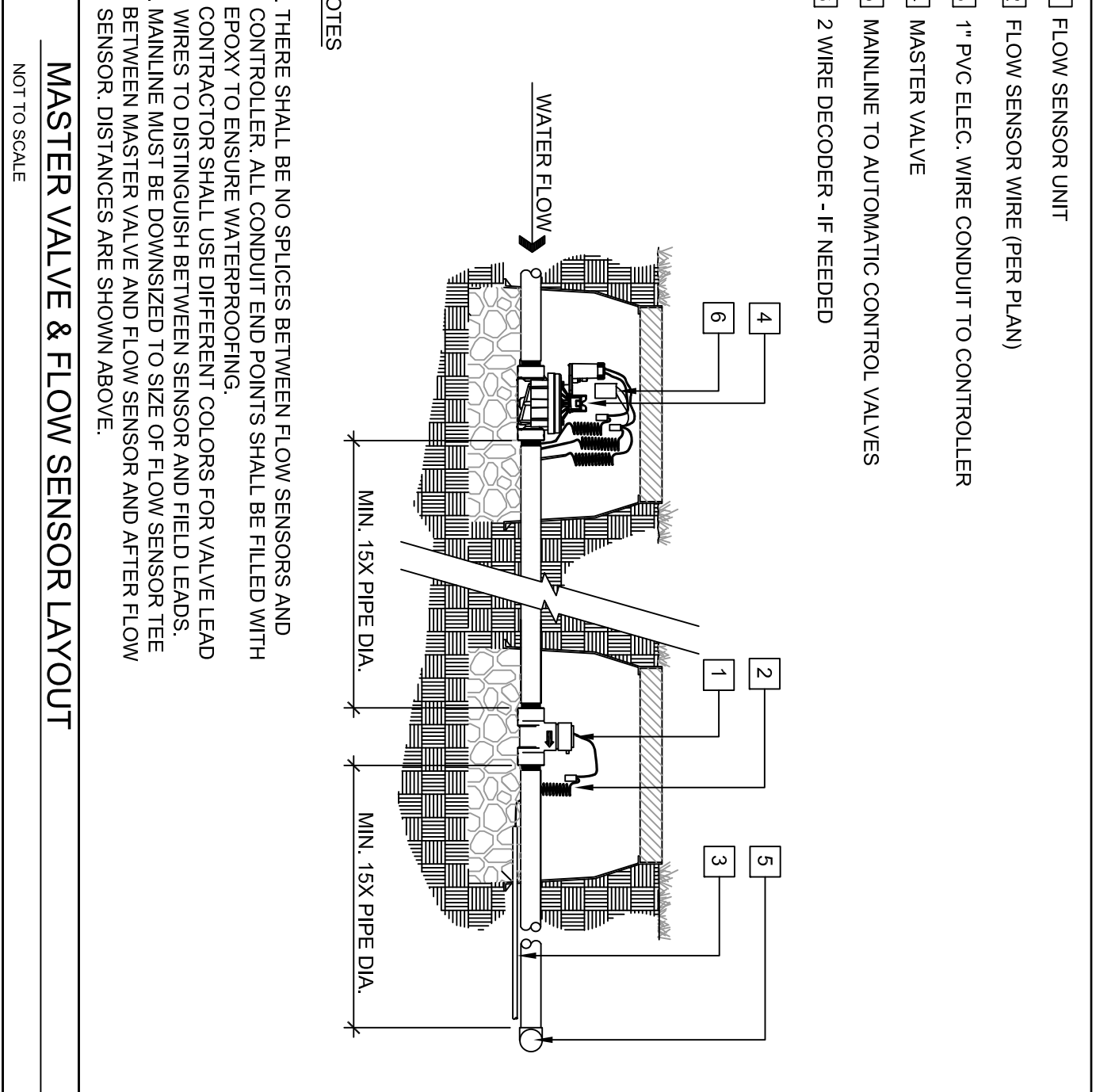
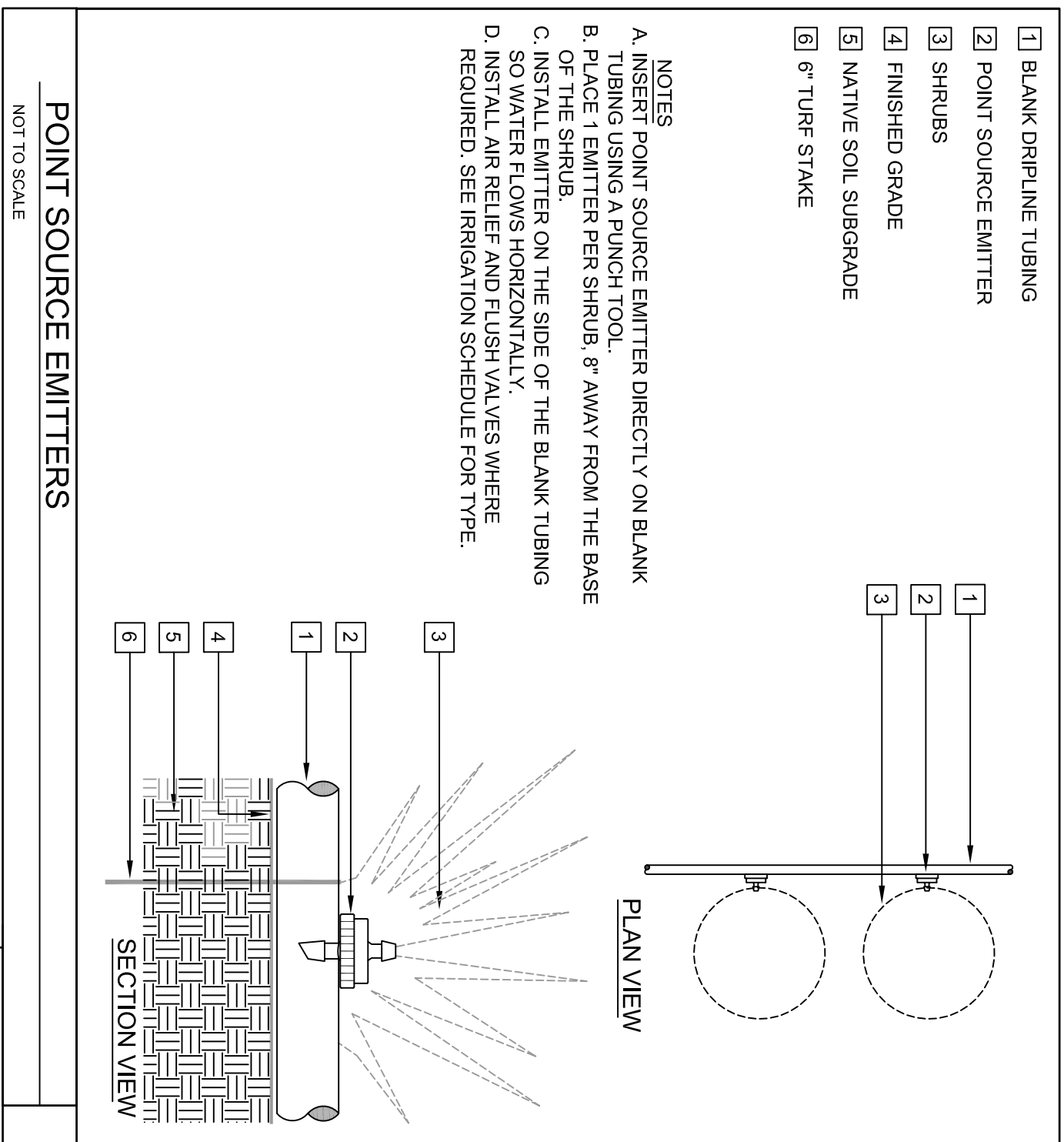
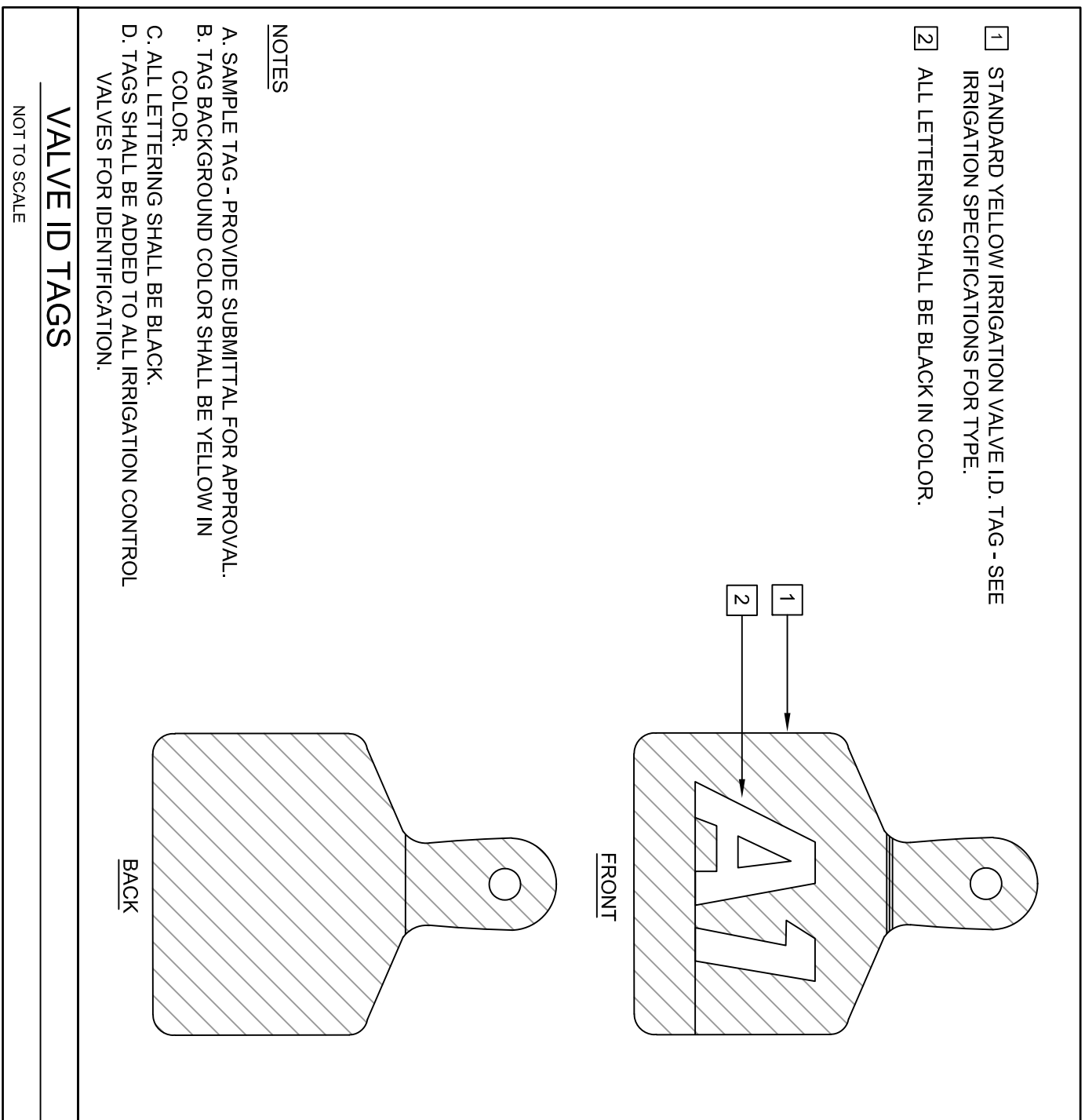
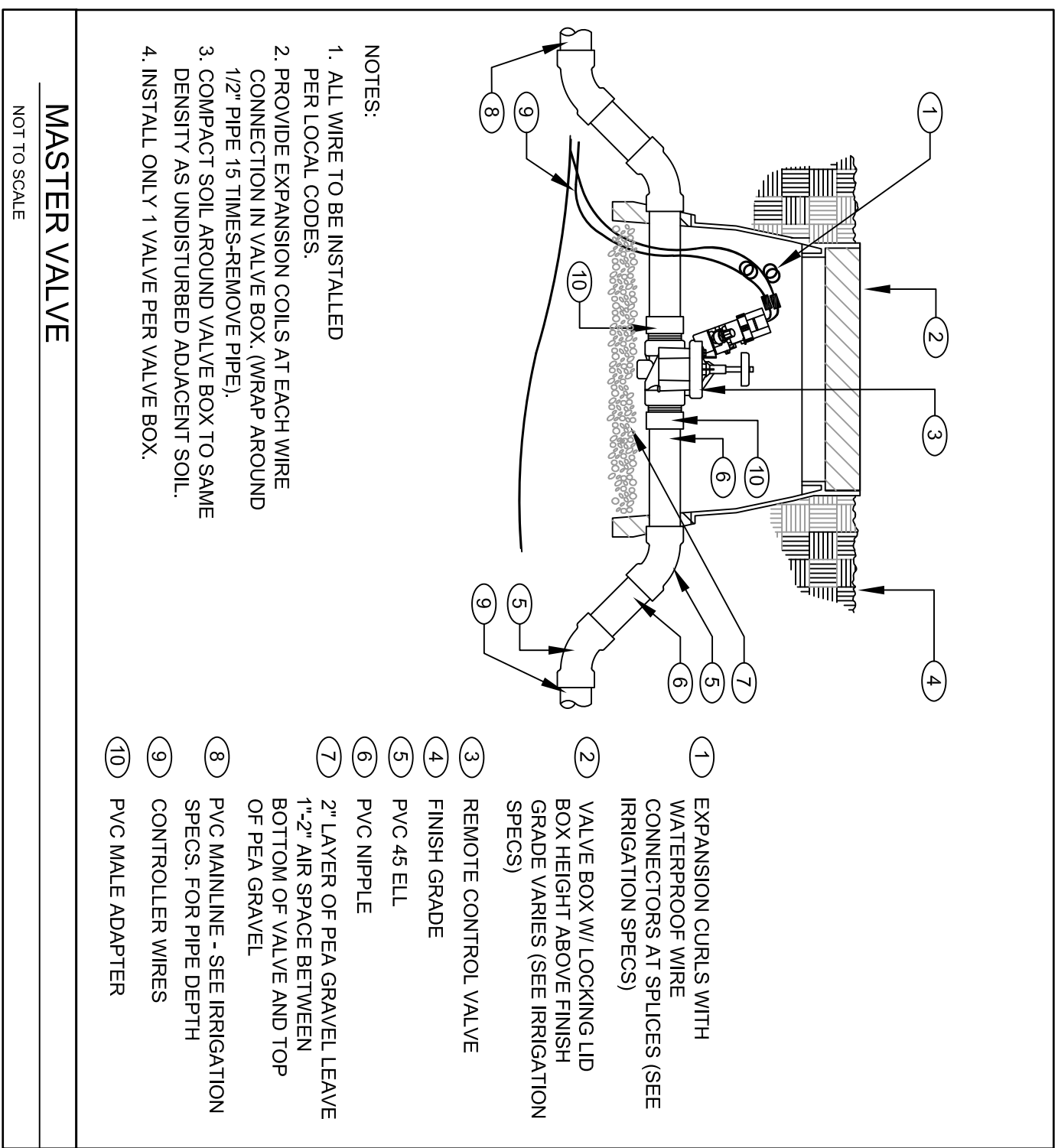
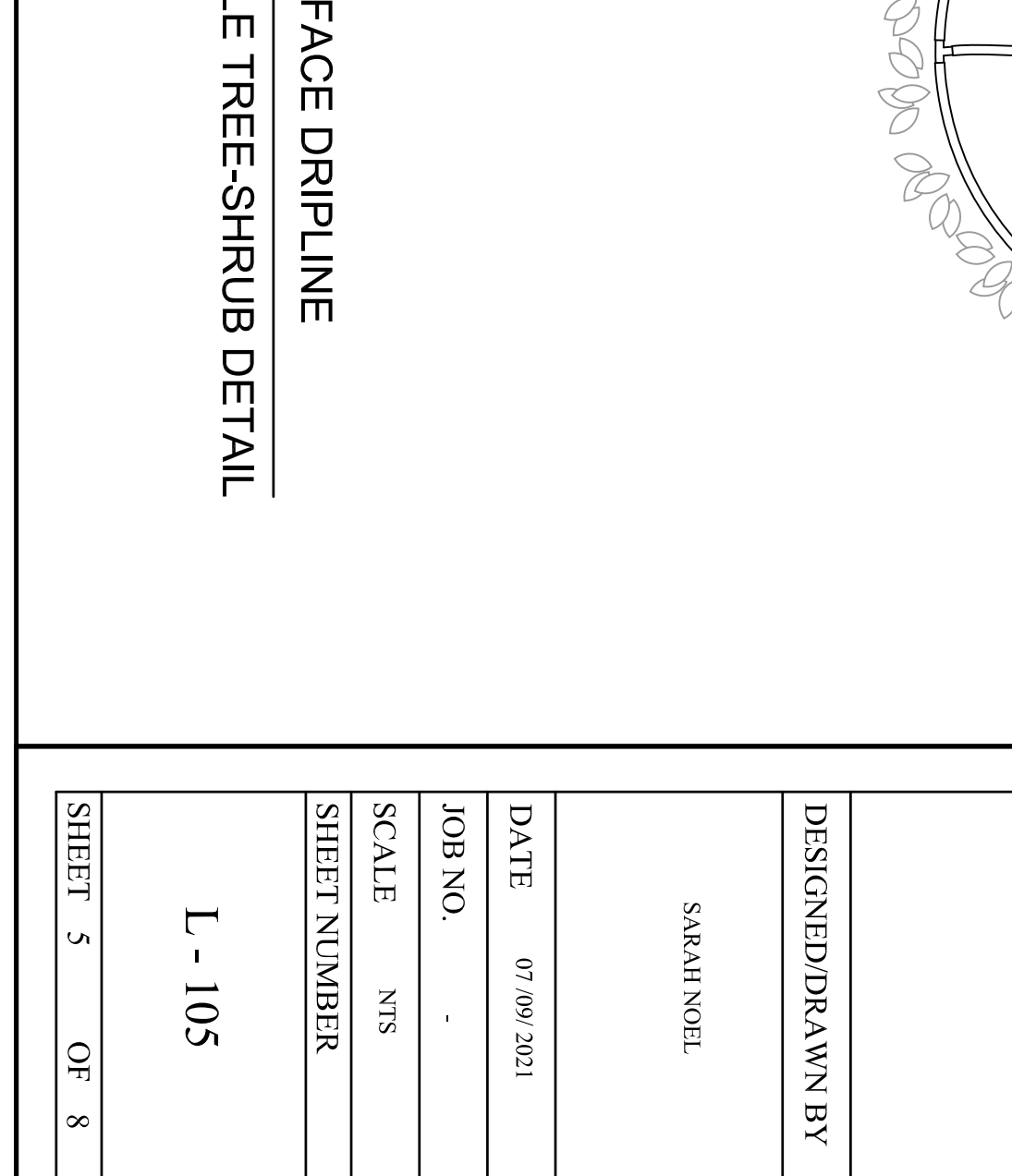
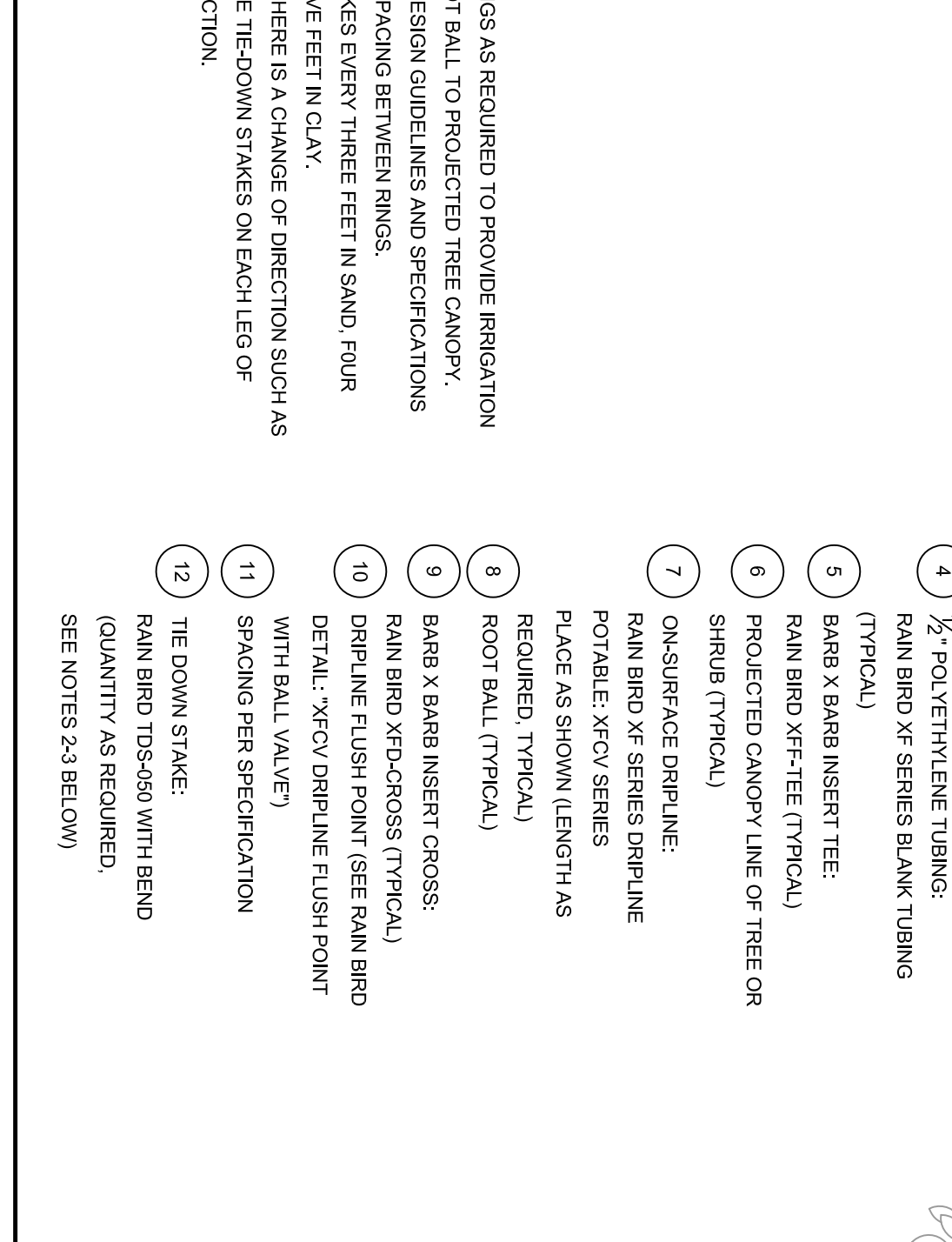
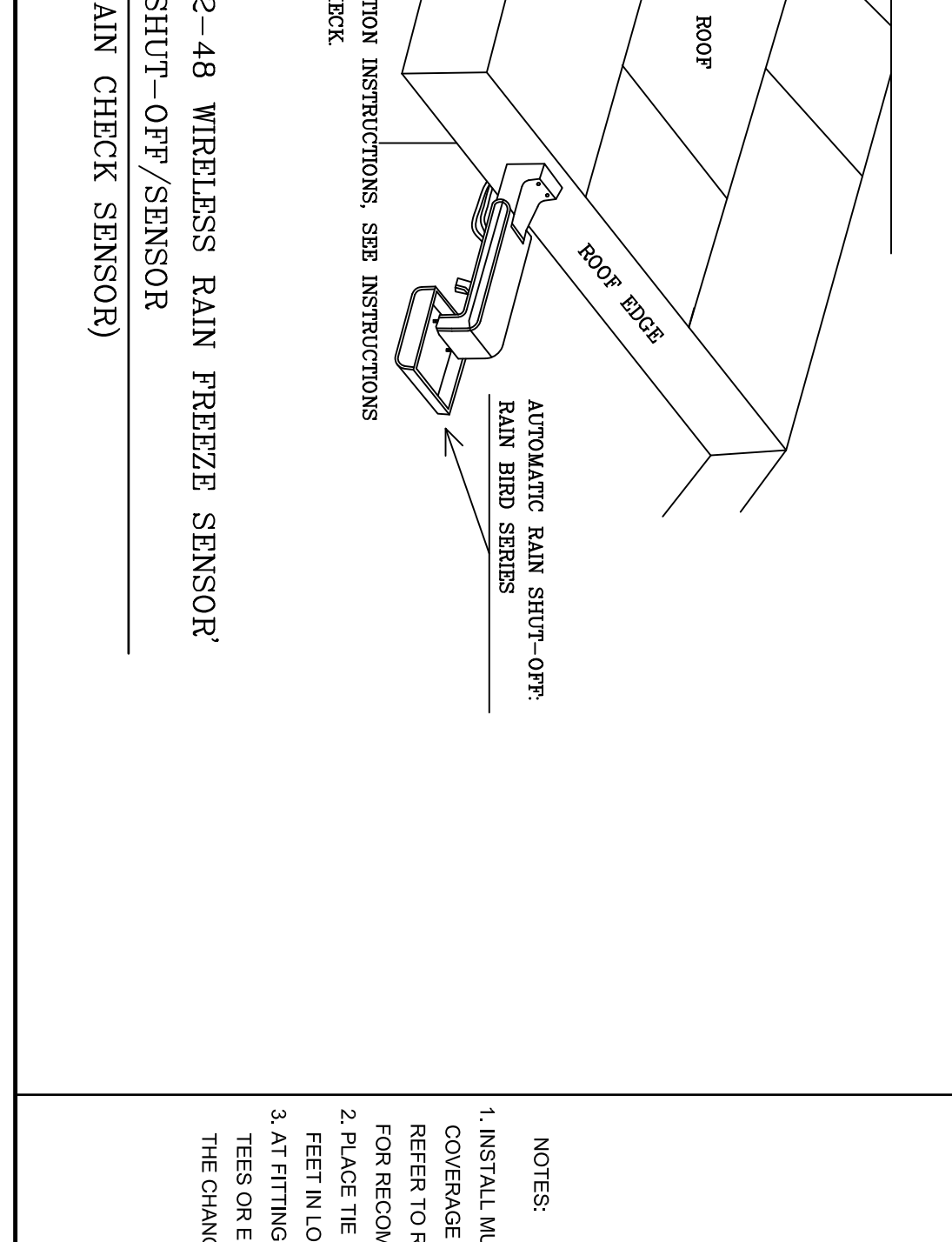
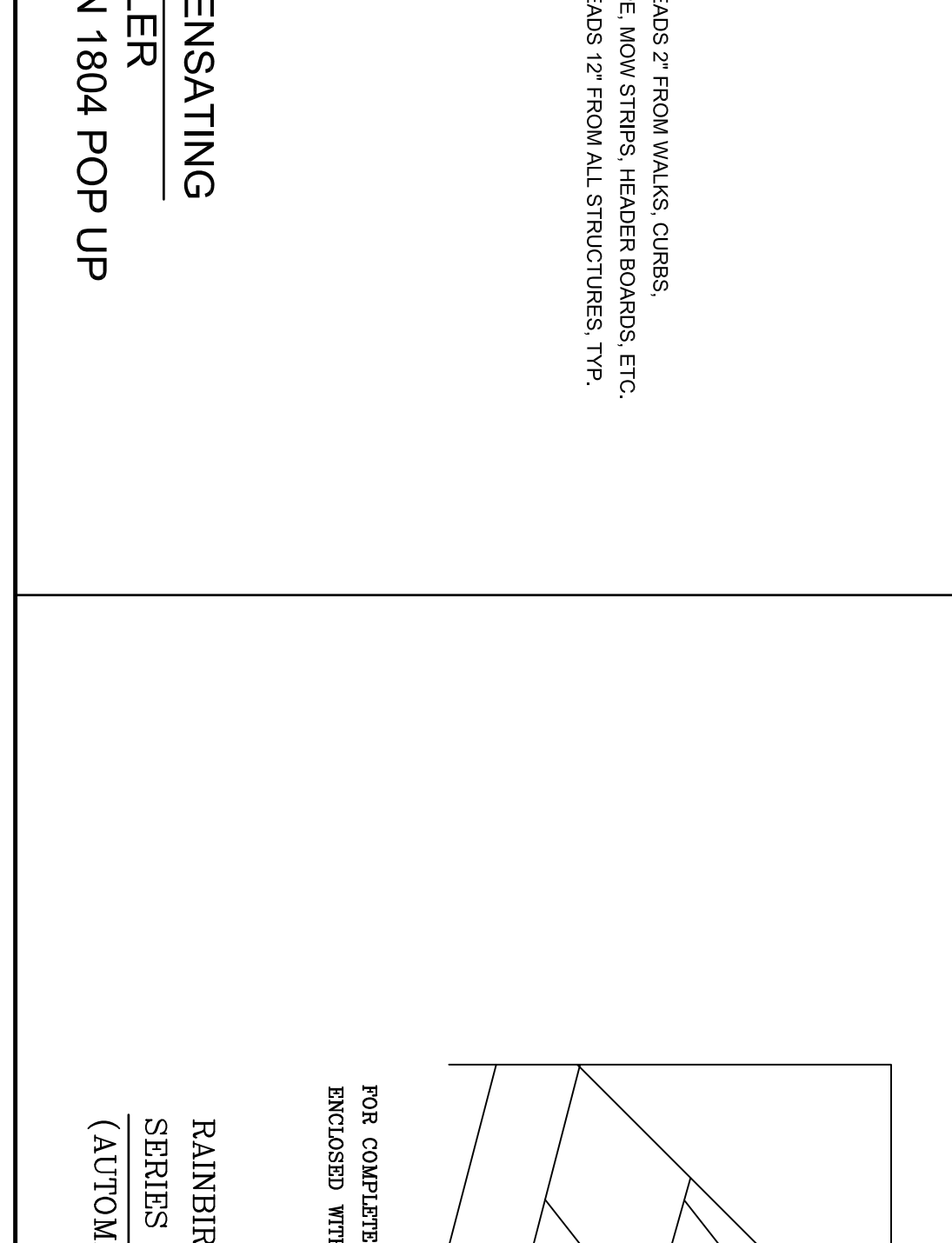
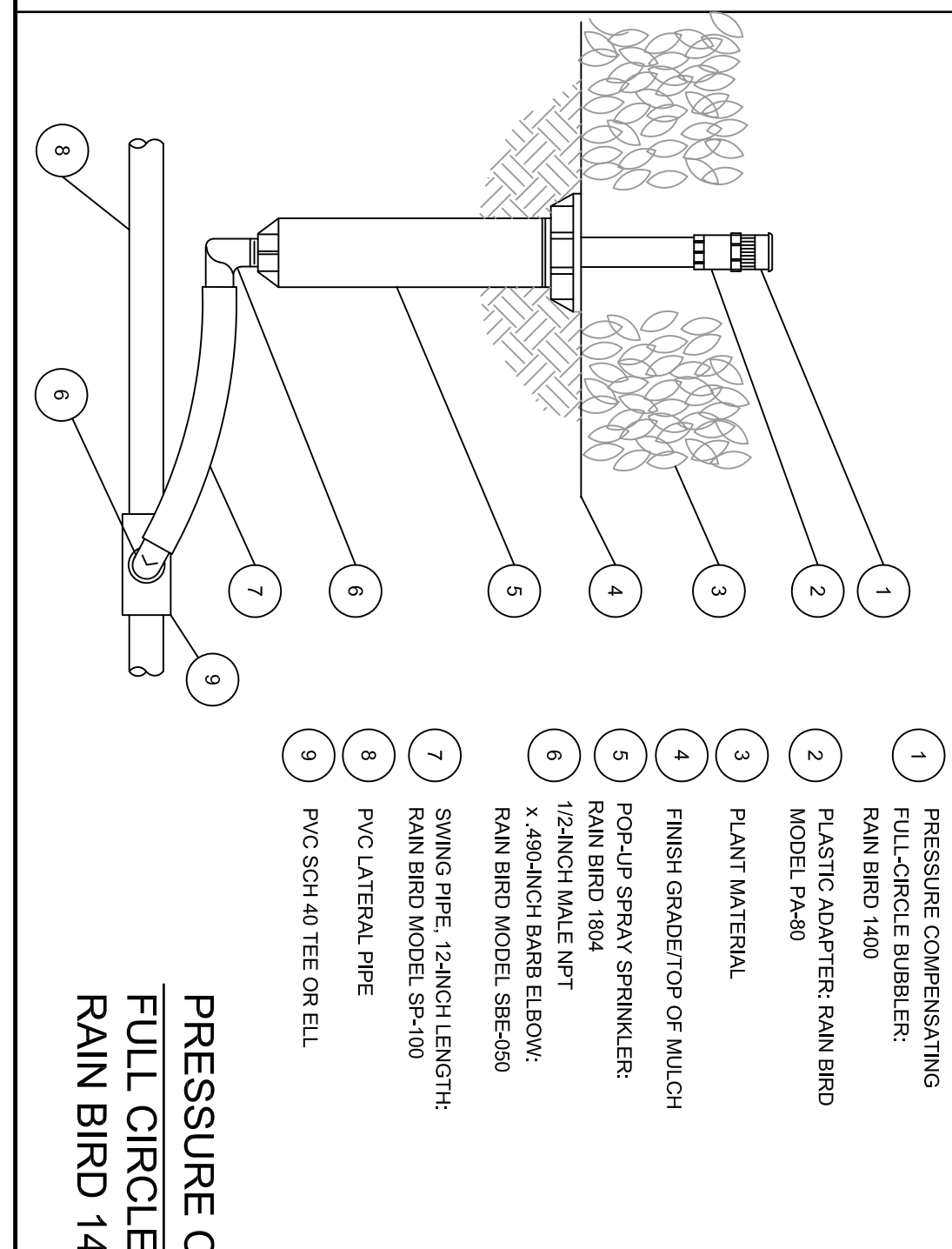
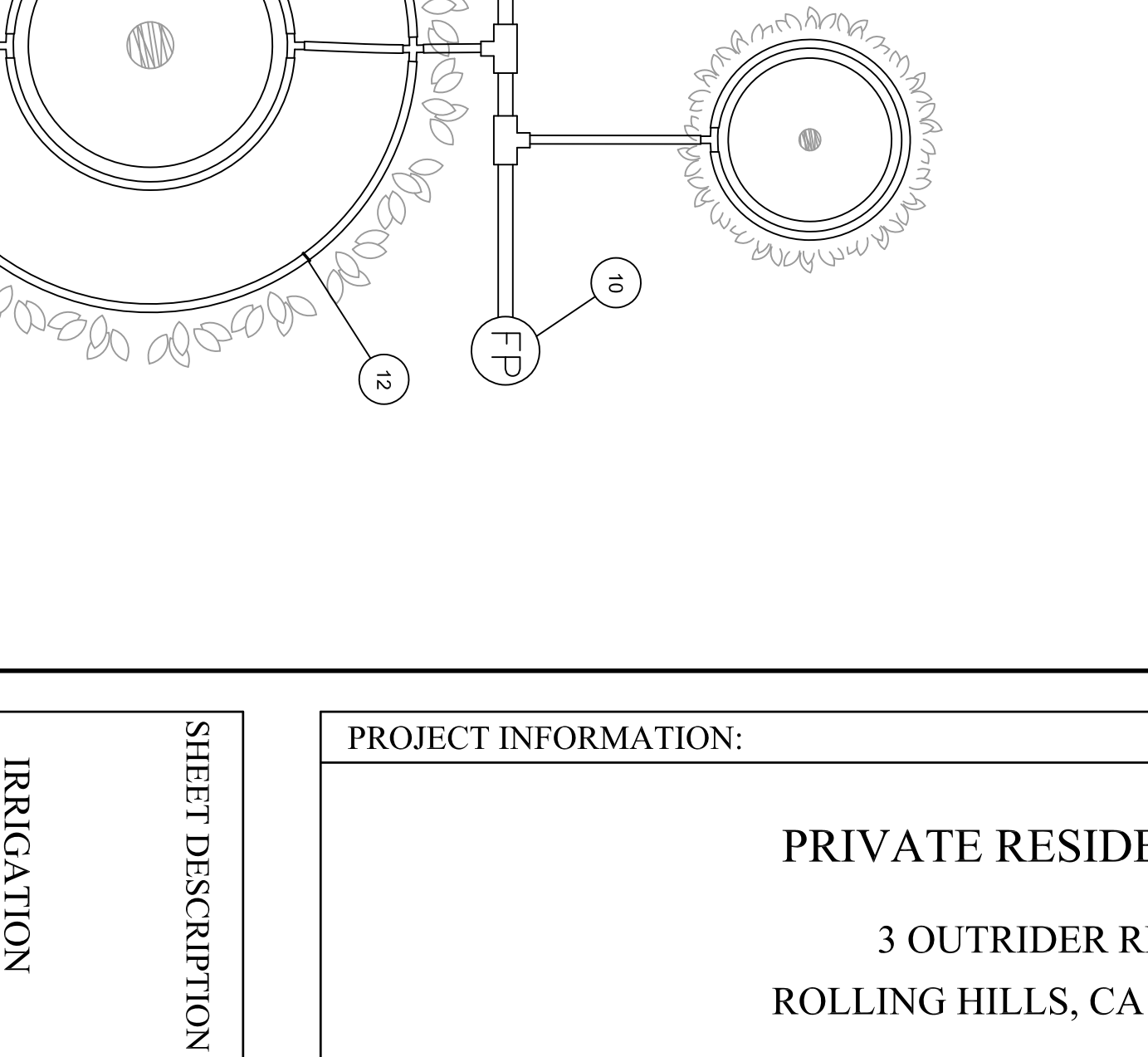
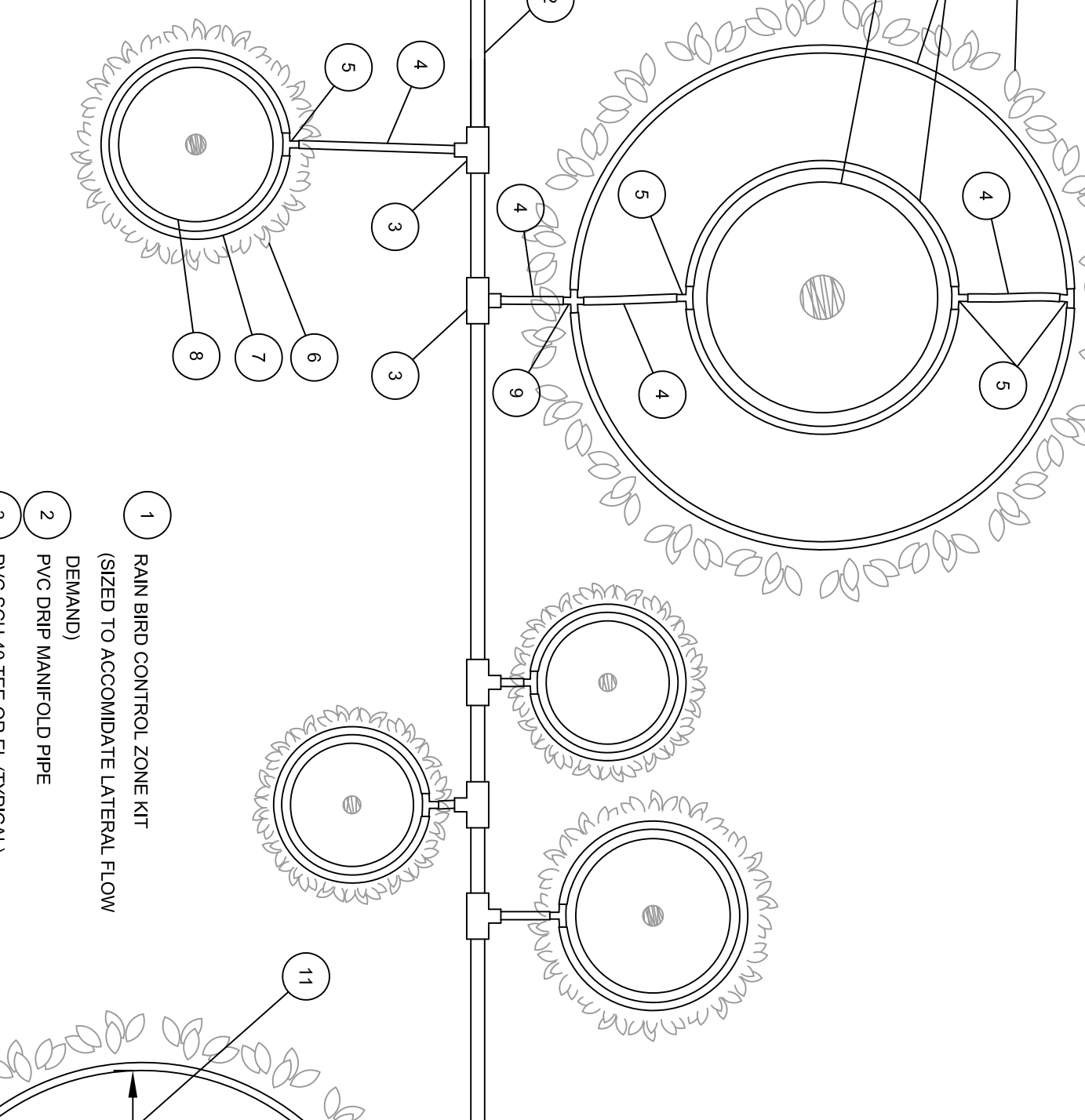
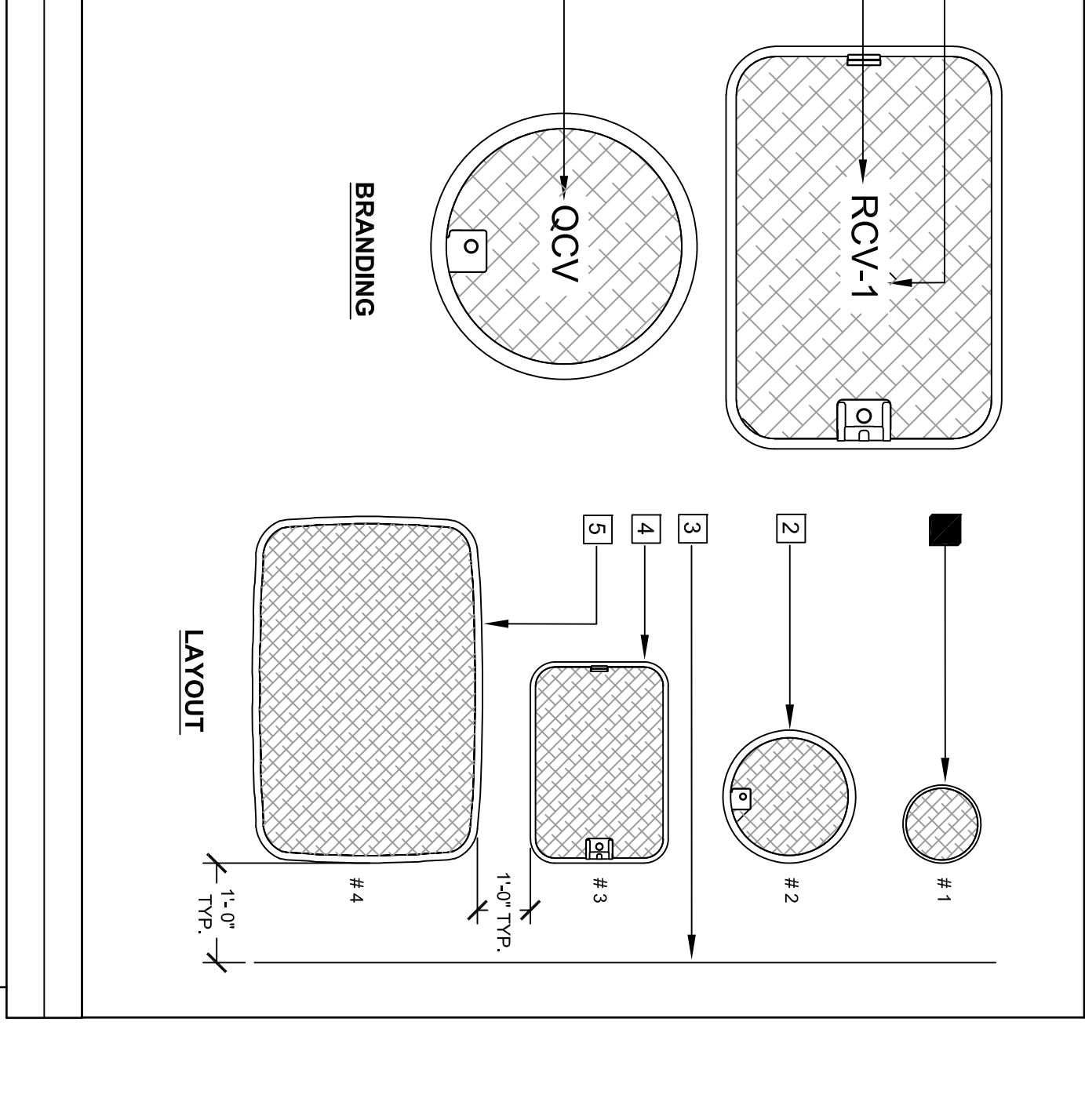
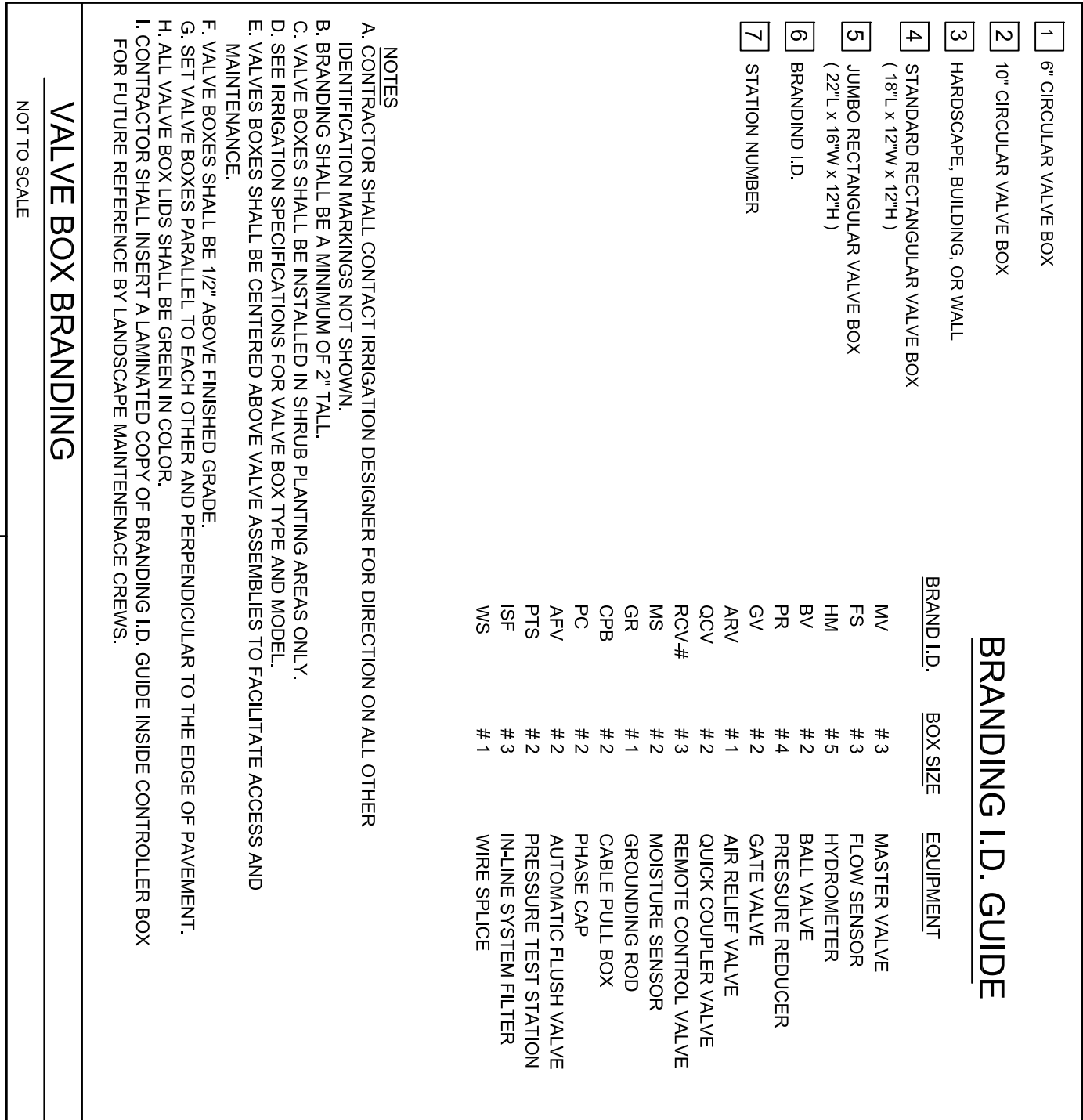
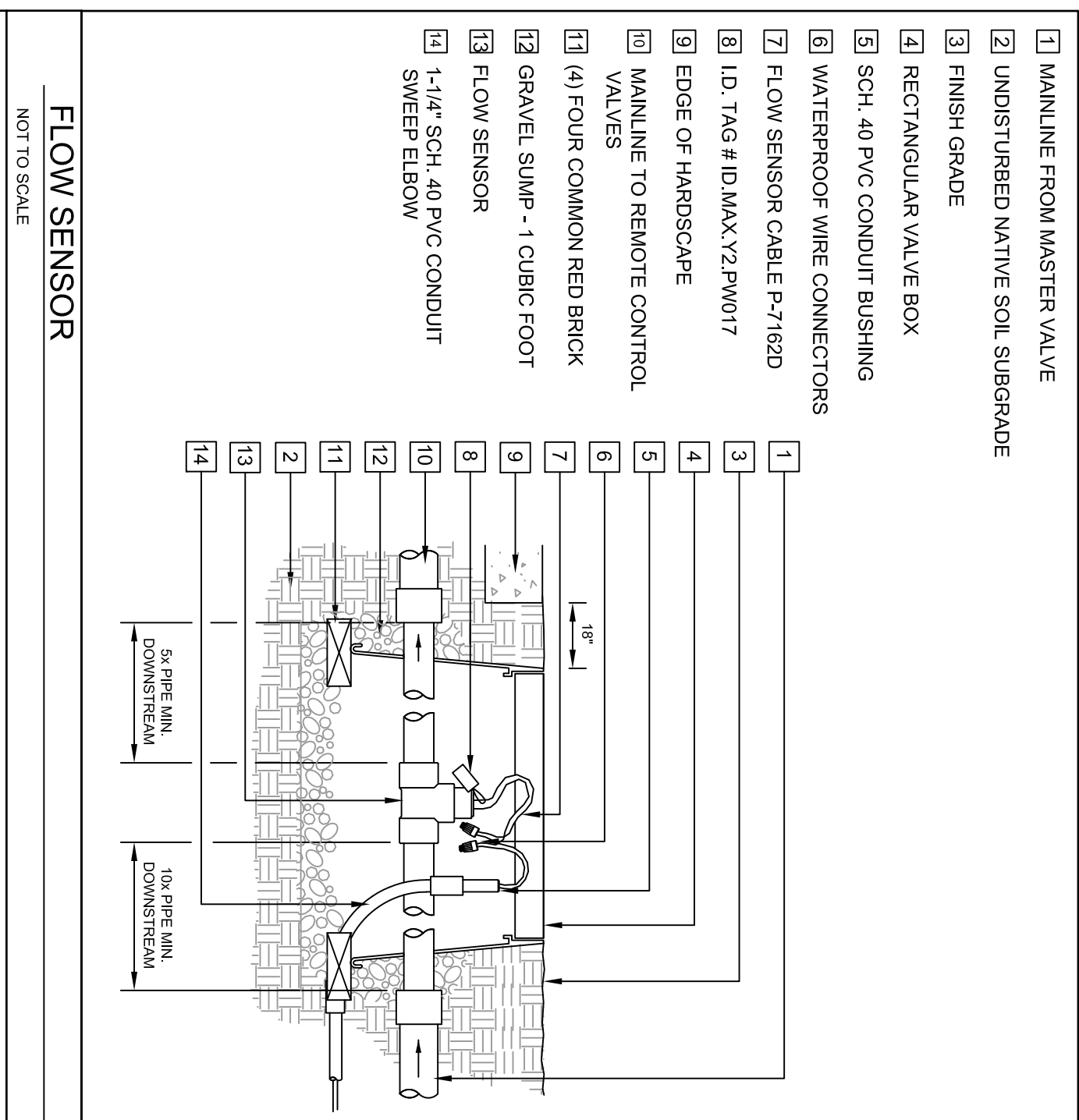
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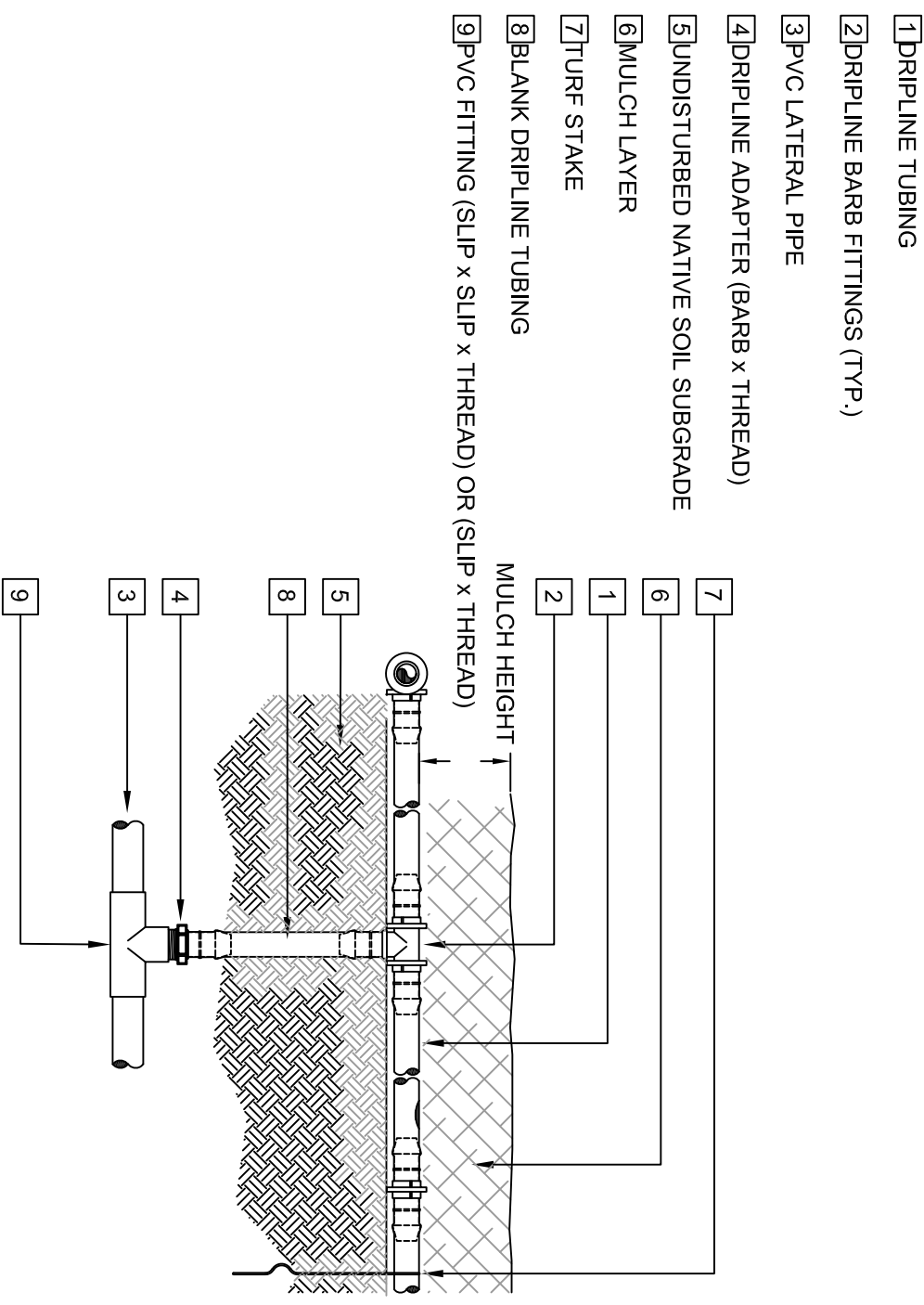
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PRIVATE RESIDENCE

3 OUTRIDER RD.

ROLLING HILLS, CA 90274

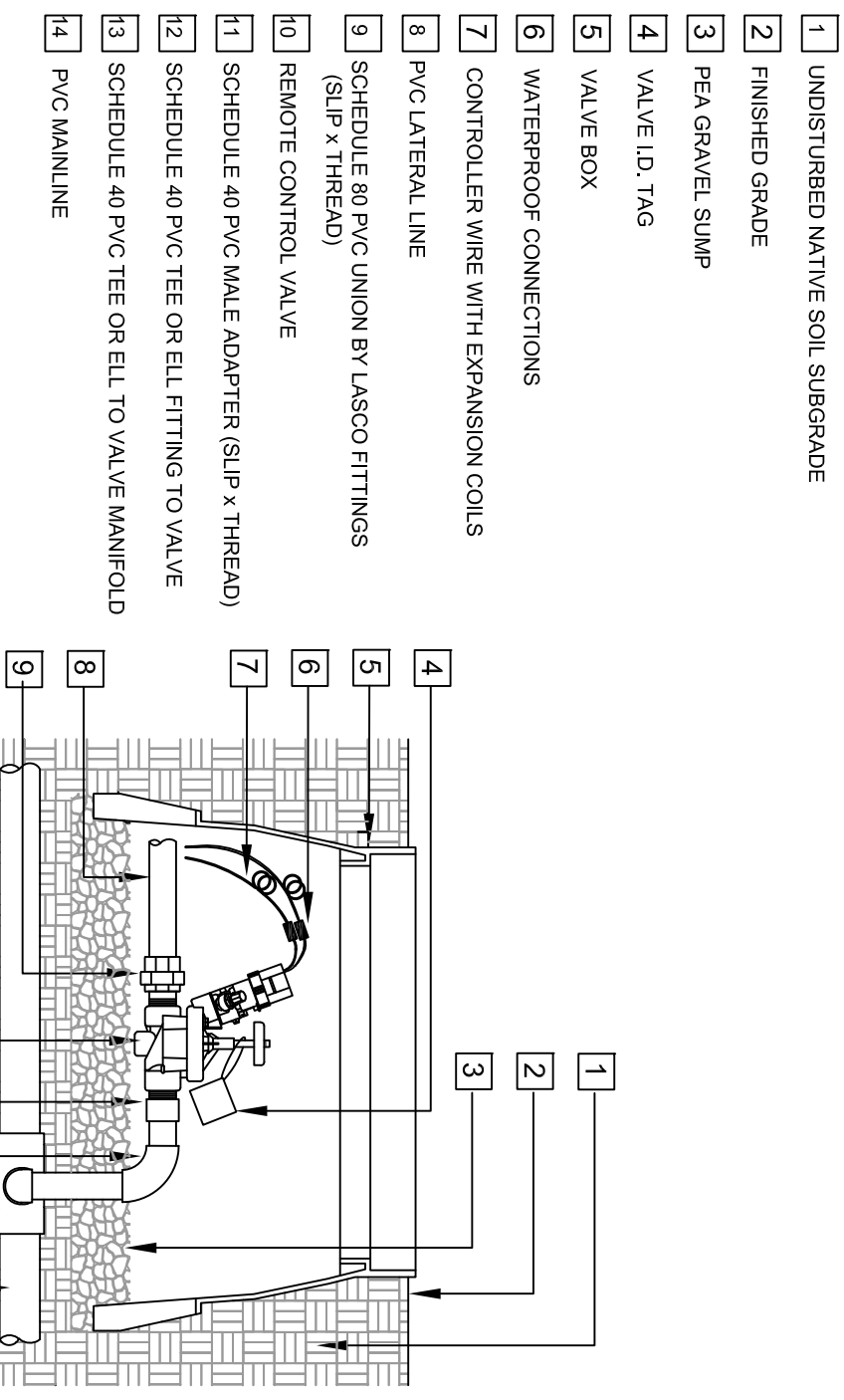




NOTES:  
A. TENSION TAPES ALL THREADS, NO PIPE DOPE OR TIE-ON PASTE SHALL BE USED.  
B. INSTALL DRIPLINE ADAPTERS TO SECURE DRIPLINE TUBING TO LATERAL PIPE.  
C. ALL SLEEVE PIPES UNDER VEHICULAR HARDSCAPE SURFACES SHALL BE SCHEDULE 40 PVC.  
D. INSTALL DETECTOR PIPE THROUGHOUT ENTIRE MANLINE RUN.

### DRIPLINE TRANSITION POINT SINGLE RISER ASSEMBLY

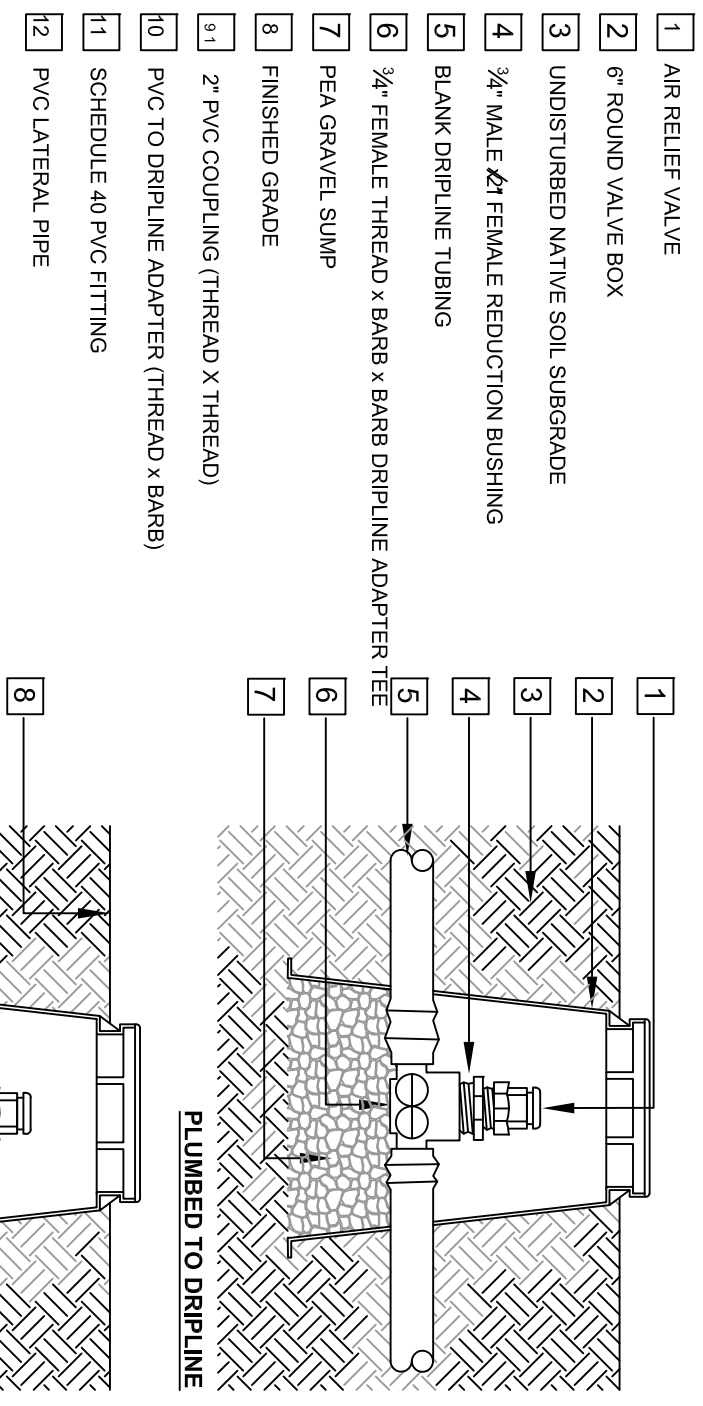
NOT TO SCALE



NOTES:  
A. TENSION TAPES ALL THREADS.  
B. TENSION TAPES ALL THREADS, NO PIPE DOPE OR TIE-ON PASTE SHALL BE USED.  
C. INSTALL AN ADDITIONAL BALL VALVE AT EACH VALVE MANFOLD.  
D. SEE VALVE BOX BRANDING AND LAYOUT DETAIL FOR VALVE BOX.  
E. INSTALL ALL WIRES PER LOCAL CODE.  
F. PROVIDE 2" OF EXPANSION WIRE.  
G. ALL WIRE CONNECTIONS SHALL BE WATERPROOF.

### REMOTE CONTROL VALVE

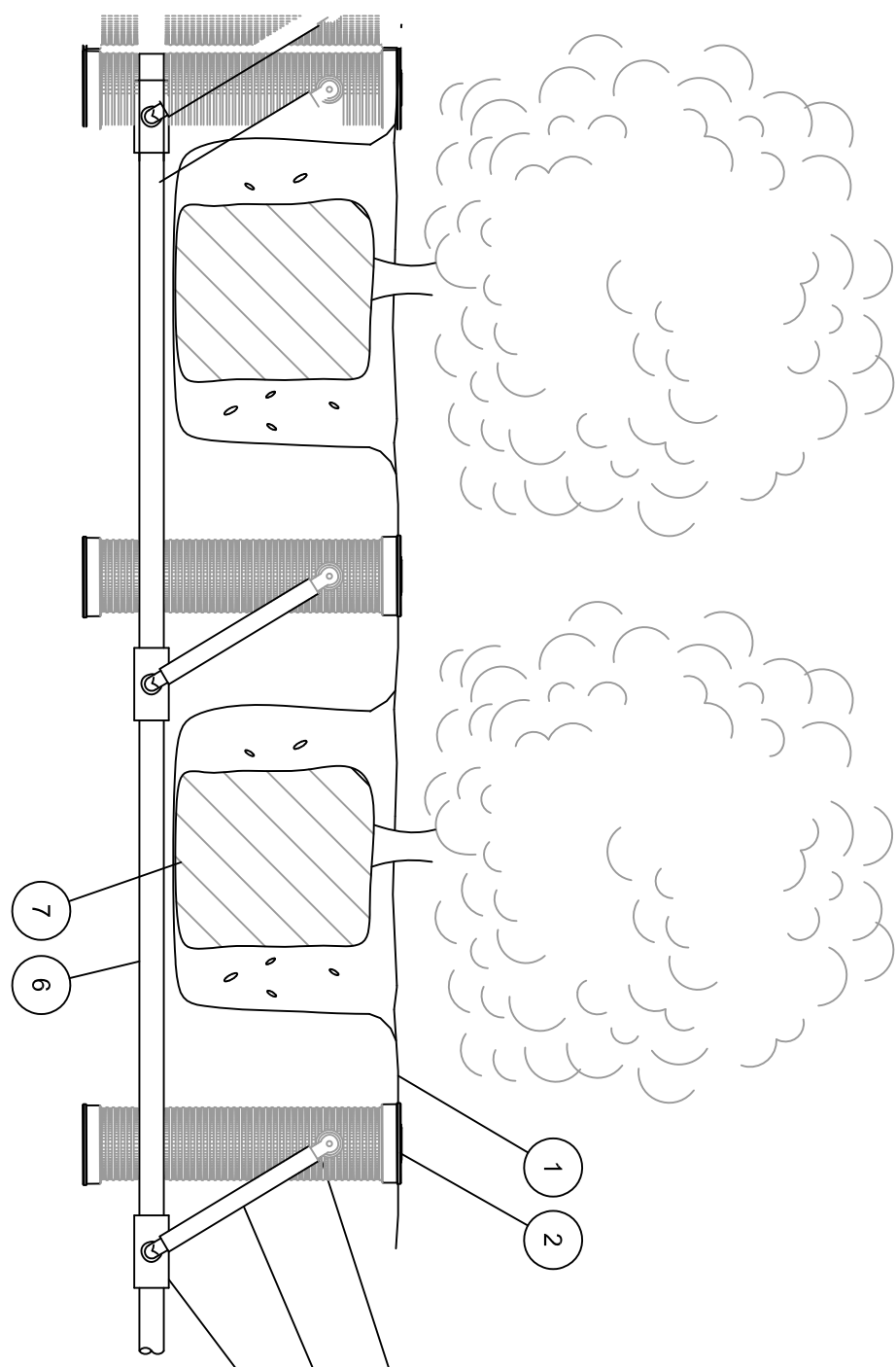
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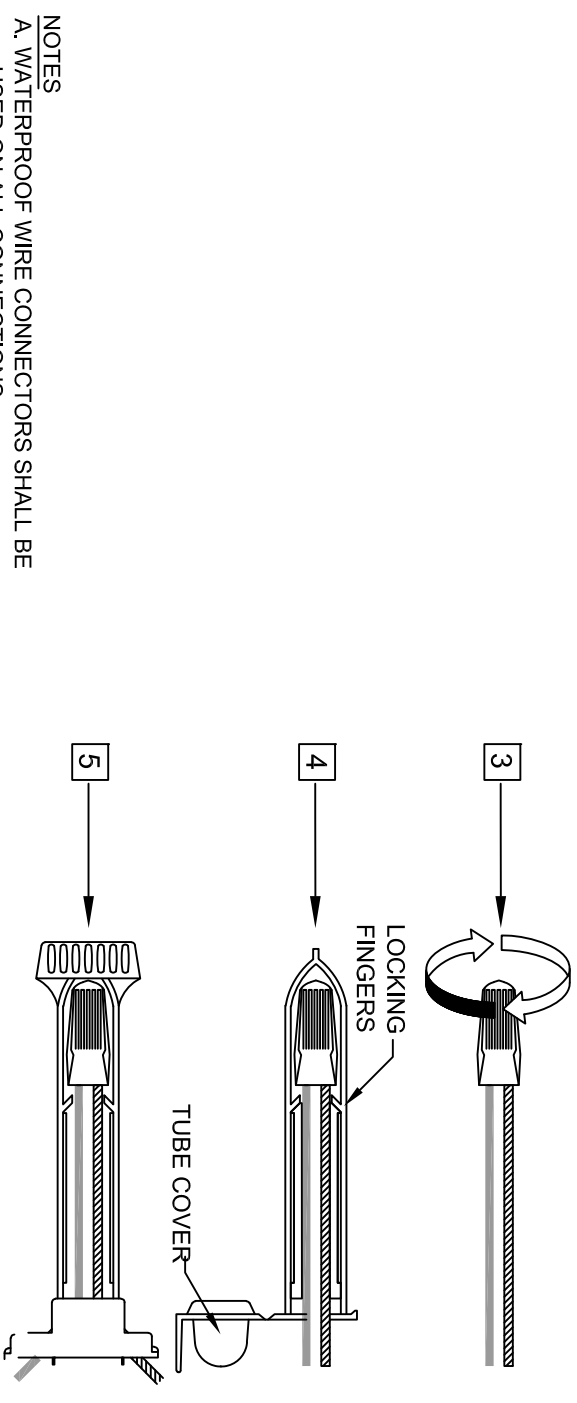
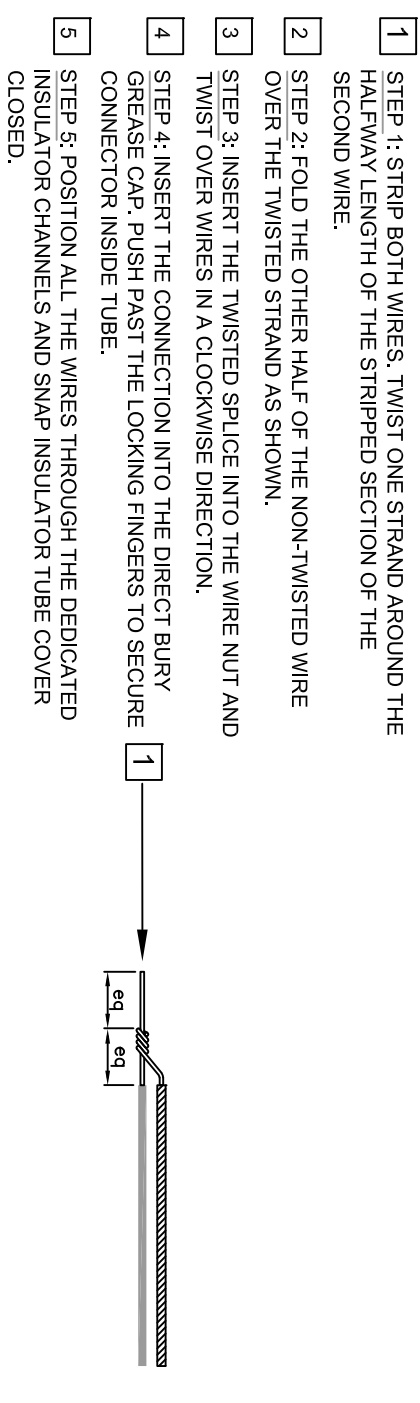
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D. SEE VALVE BOX BRANDING AND LAYOUT DETAIL FOR VALVE BOX.  
E. INSTALL ALL WIRES PER LOCAL CODE.  
F. PROVIDE 2" OF EXPANSION WIRE.  
G. ALL WIRE CONNECTIONS SHALL BE WATERPROOF.

### DRIPLINE AIR RELIEF VALVE

NOT TO SCALE



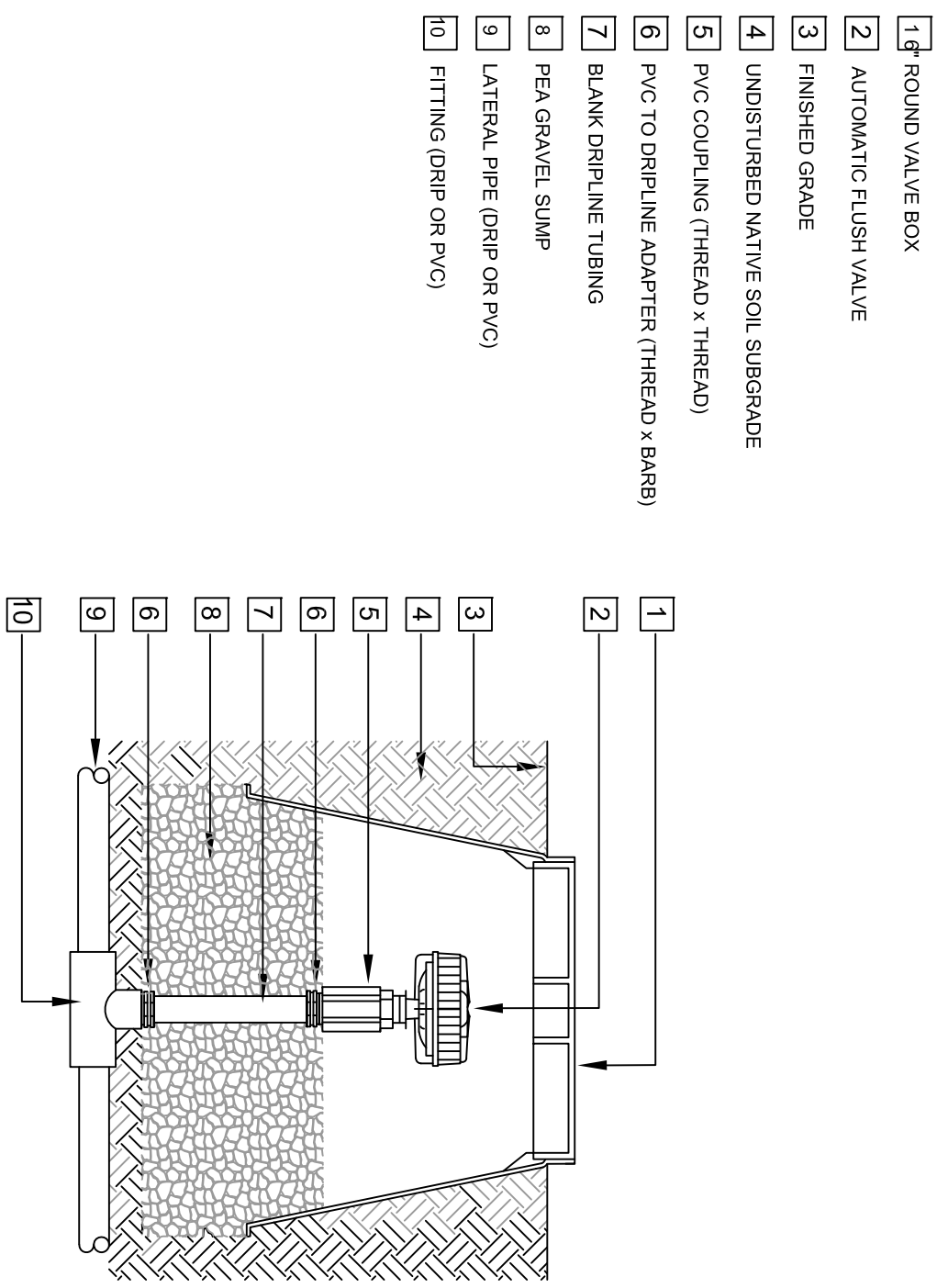
### ROOT WATERING SYSTEM RWSS-INSTALLATION



NOTES:  
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B. TENSION TAPES ALL THREADS, NO PIPE DOPE OR TIE-ON PASTE SHALL BE USED.  
C. ALL SLEEVE PIPES UNDER VEHICULAR HARDSCAPE SURFACES SHALL BE SCHEDULE 40 PVC.  
D. INSTALL DETECTOR PIPE THROUGHOUT ENTIRE MANLINE RUN.

### WIRE CONNECTIONS

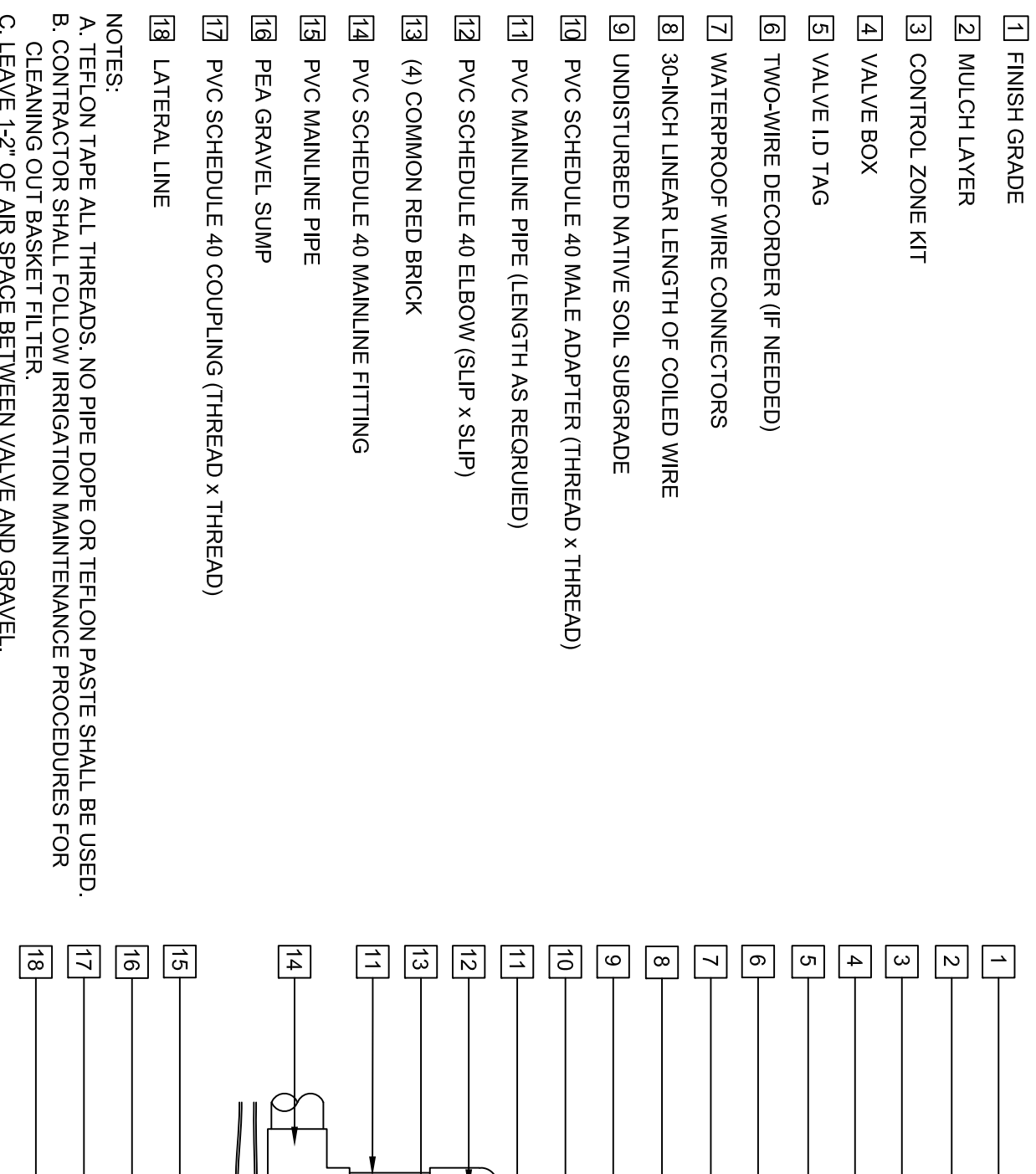
NOT TO SCALE



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B. TENSION TAPES ALL THREADS, NO PIPE DOPE OR TIE-ON PASTE SHALL BE USED.  
C. CONTRACTOR SHALL FOLLOW IRRIGATION MAINTENANCE PROCEDURES OUTLINE IN THE IRRIGATION SPECIFICATIONS.

### DRIPLINE FLUSH VALVES

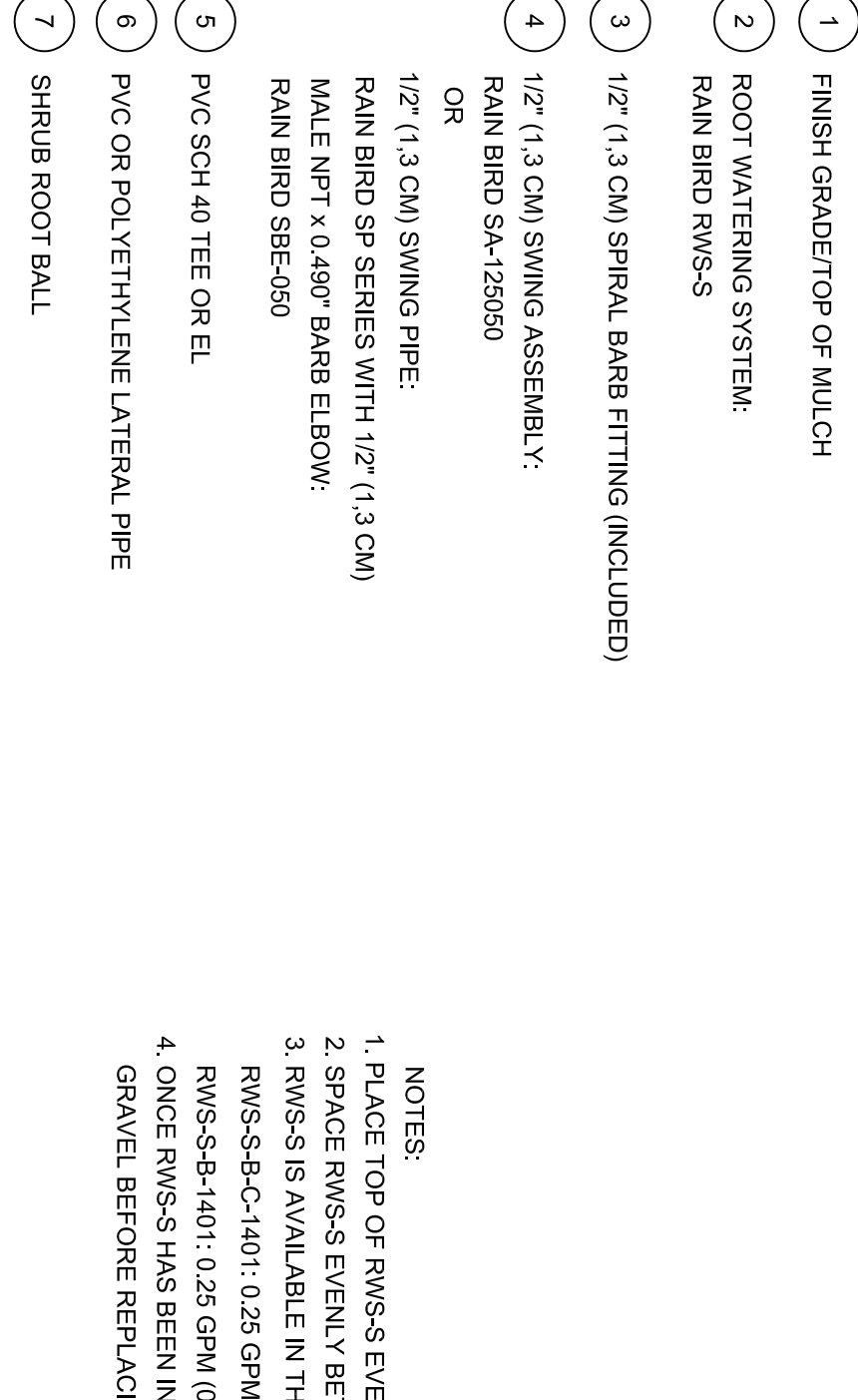
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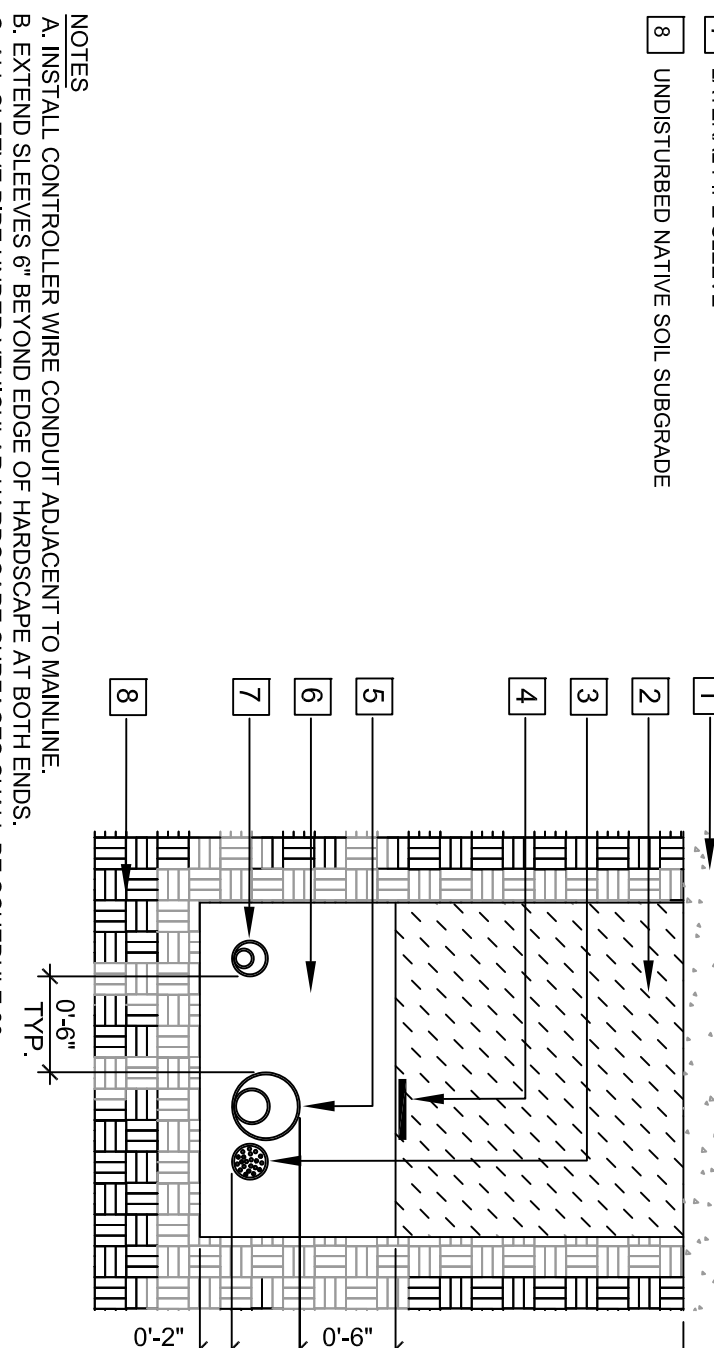
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C. CONTRACTOR SHALL FOLLOW IRRIGATION MAINTENANCE PROCEDURES FOR CLEANING OUT BASKET FILTER.  
D. LEAVE 1/2" OF AIR SPACE BETWEEN VALVE AND GRAVEL.

### DRIPLINE CONTROL ZONE KIT

NOT TO SCALE



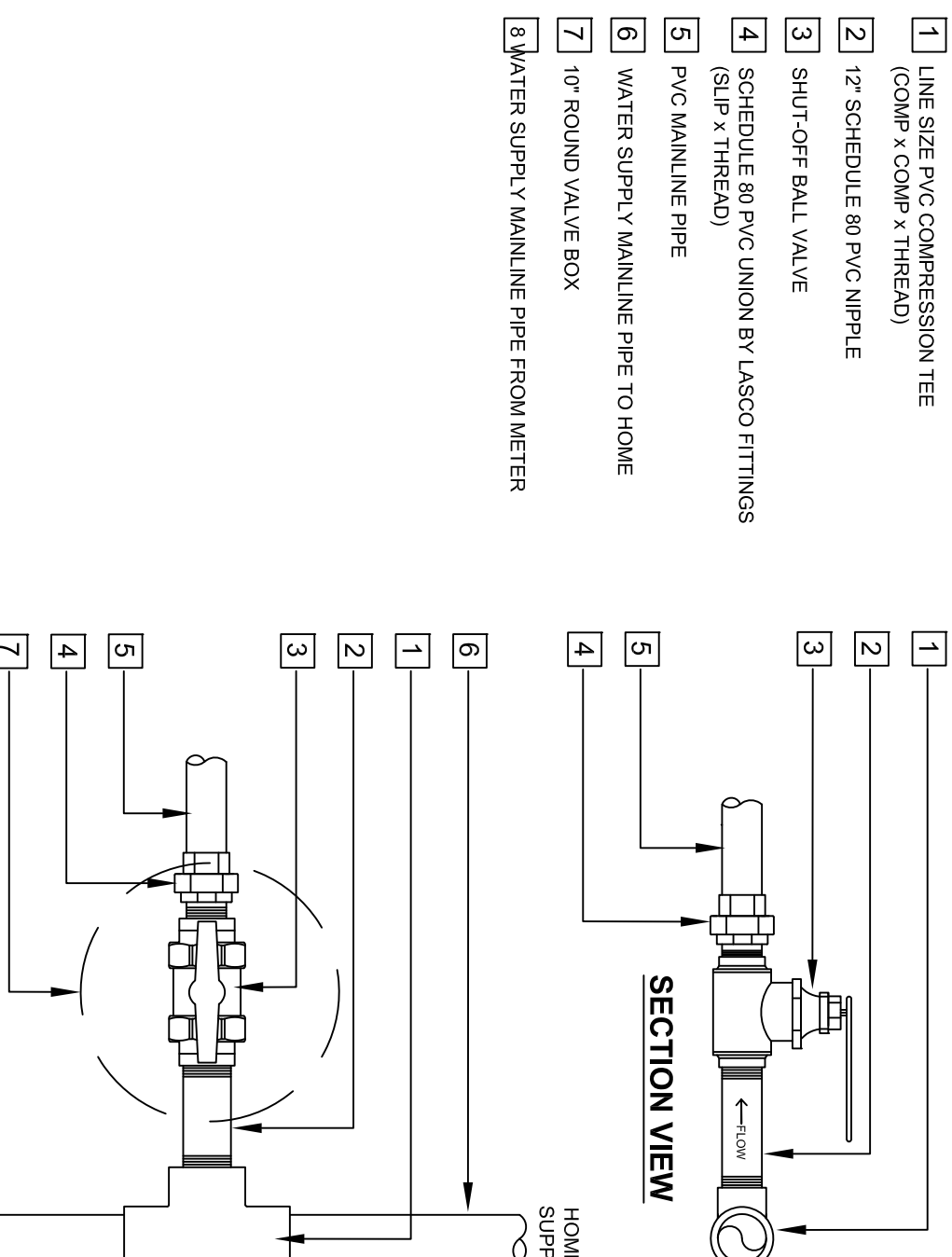
| SLEEVE CHART FOR IRRIGATION PIPE |                     |                     |                     |
|----------------------------------|---------------------|---------------------|---------------------|
| PIPE SIZE                        | CONNECTION SIZE     | CONNECTION SIZE     | CONNECTION SIZE     |
| 1/2" (1.3 CM) PVC                | 1/2" (1.3 CM) PVC   | 1/2" (1.3 CM) PVC   | 1/2" (1.3 CM) PVC   |
| 3/4" (1.9 CM) PVC                | 3/4" (1.9 CM) PVC   | 3/4" (1.9 CM) PVC   | 3/4" (1.9 CM) PVC   |
| 1" (2.5 CM) PVC                  | 1" (2.5 CM) PVC     | 1" (2.5 CM) PVC     | 1" (2.5 CM) PVC     |
| 1 1/2" (3.8 CM) PVC              | 1 1/2" (3.8 CM) PVC | 1 1/2" (3.8 CM) PVC | 1 1/2" (3.8 CM) PVC |
| 2" (5.1 CM) PVC                  | 2" (5.1 CM) PVC     | 2" (5.1 CM) PVC     | 2" (5.1 CM) PVC     |
| 2 1/2" (6.4 CM) PVC              | 2 1/2" (6.4 CM) PVC | 2 1/2" (6.4 CM) PVC | 2 1/2" (6.4 CM) PVC |
| 3" (7.6 CM) PVC                  | 3" (7.6 CM) PVC     | 3" (7.6 CM) PVC     | 3" (7.6 CM) PVC     |
| 4" (10.2 CM) PVC                 | 4" (10.2 CM) PVC    | 4" (10.2 CM) PVC    | 4" (10.2 CM) PVC    |
| 6" (15.2 CM) PVC                 | 6" (15.2 CM) PVC    | 6" (15.2 CM) PVC    | 6" (15.2 CM) PVC    |



NOTES:  
A. INITIAL CONTROLLER WIRE CONDUIT ADJACENT TO MANLINE.  
B. INITIAL CONTROLLER WIRE CONDUIT ADJACENT TO MANLINE.  
C. ALL SLEEVE PIPES UNDER VEHICULAR HARDSCAPE SURFACES SHALL BE SCHEDULE 40 PVC.  
D. INSTALL DETECTOR PIPE THROUGHOUT ENTIRE MANLINE RUN.

### SLEEVE

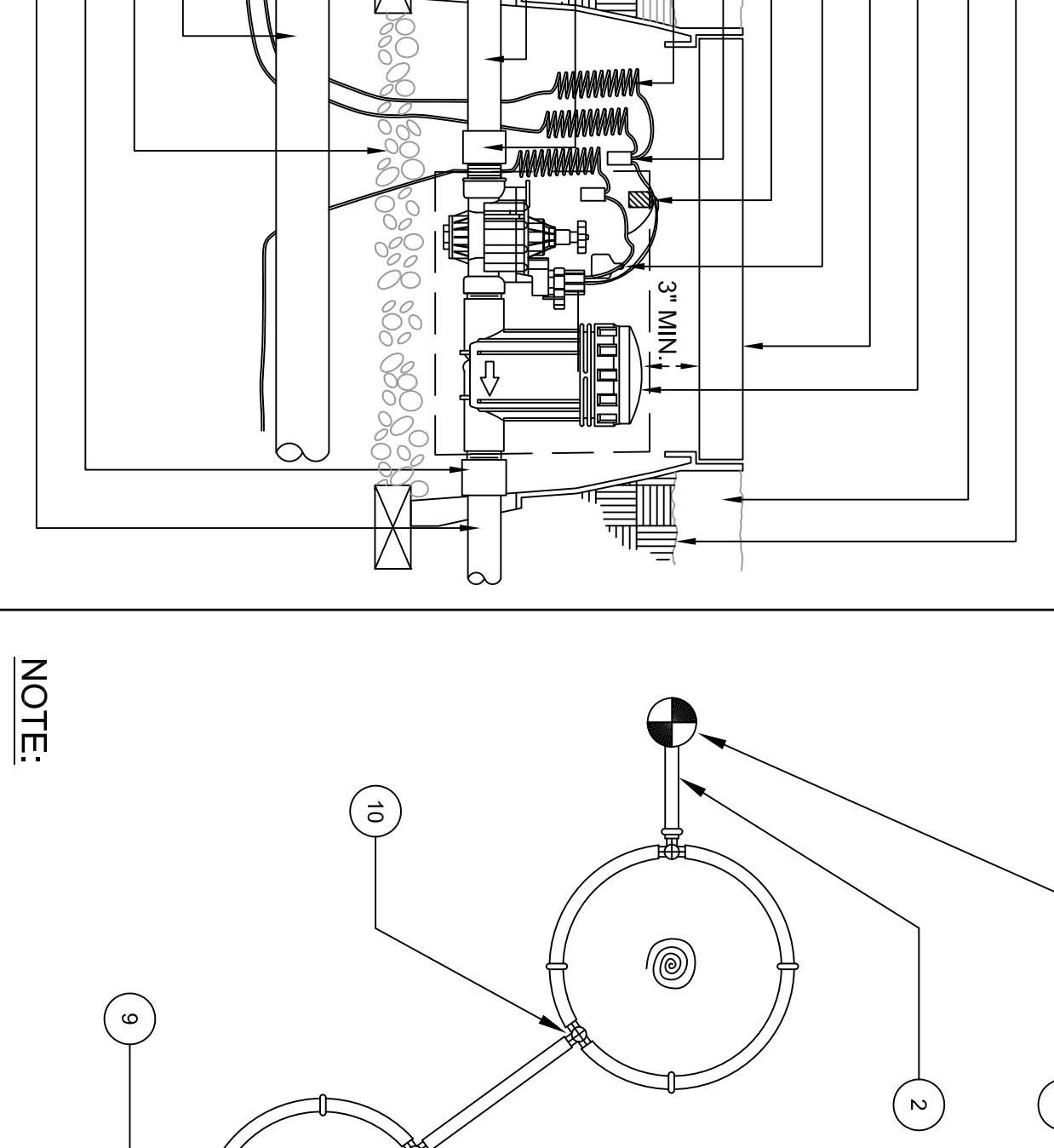
NOT TO SCALE



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### POINT OF CONNECTION

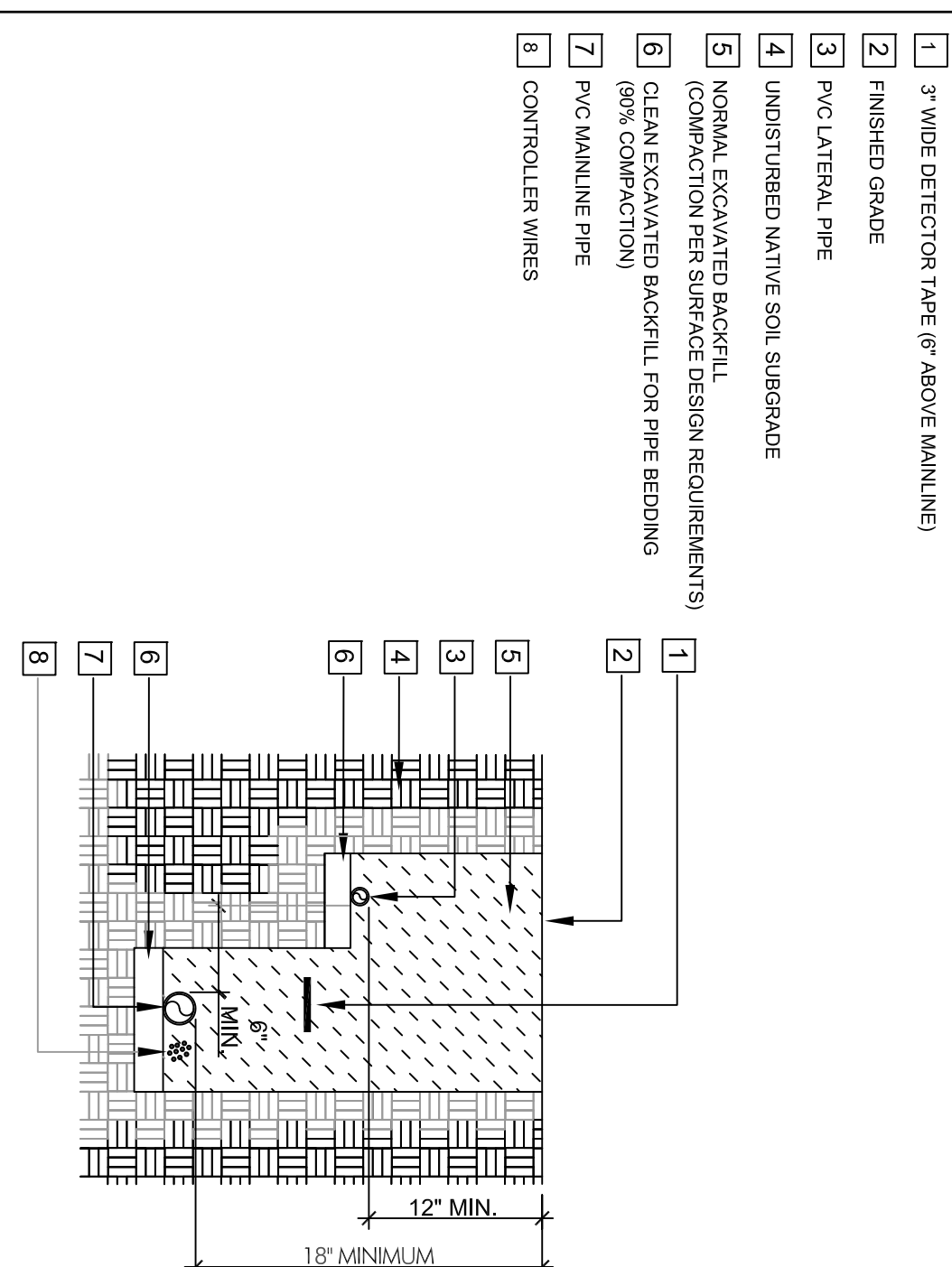
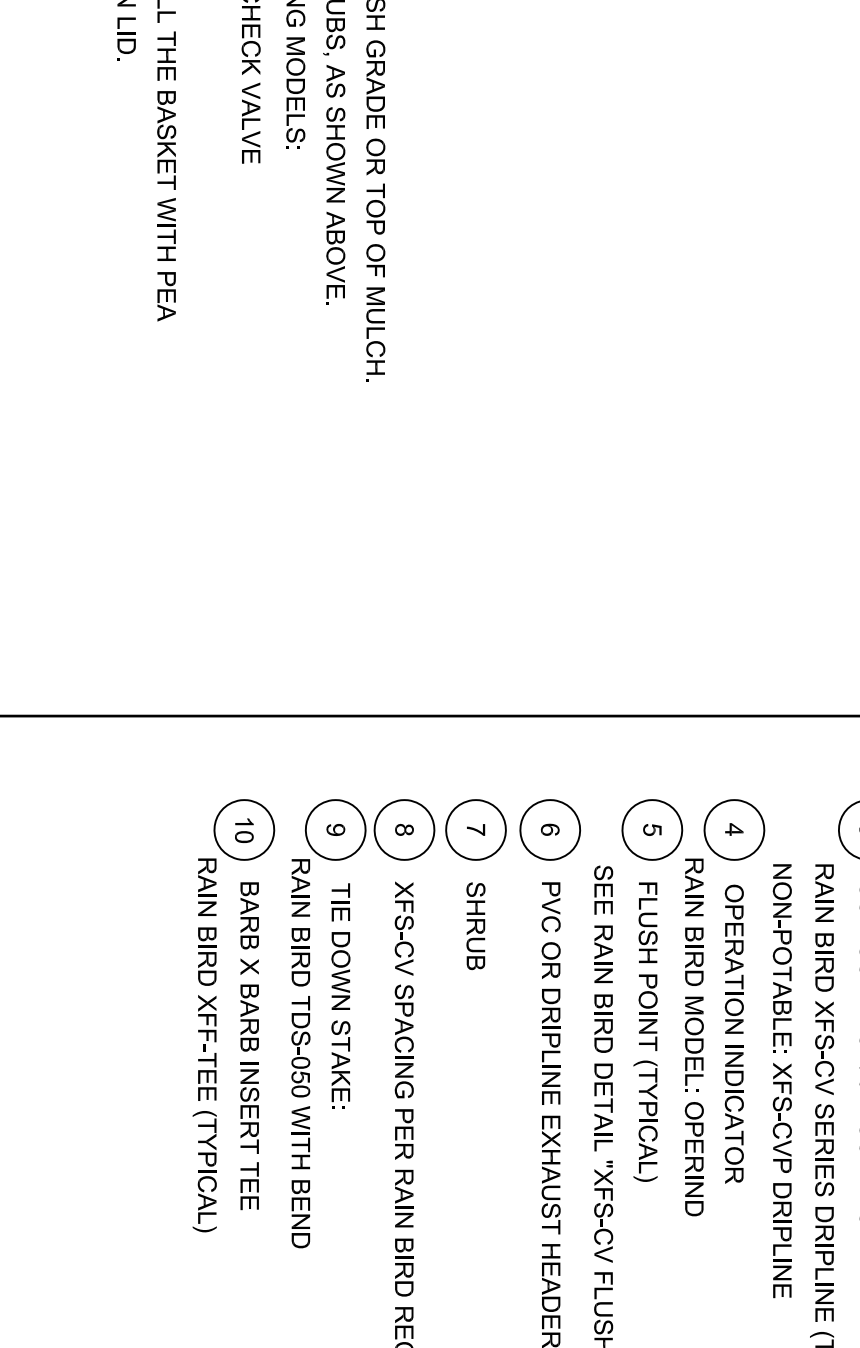
NOT TO SCALE



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D. LEAVE 1/2" OF AIR SPACE BETWEEN VALVE AND GRAVEL.

### DRIPLINE CONTROL ZONE KIT

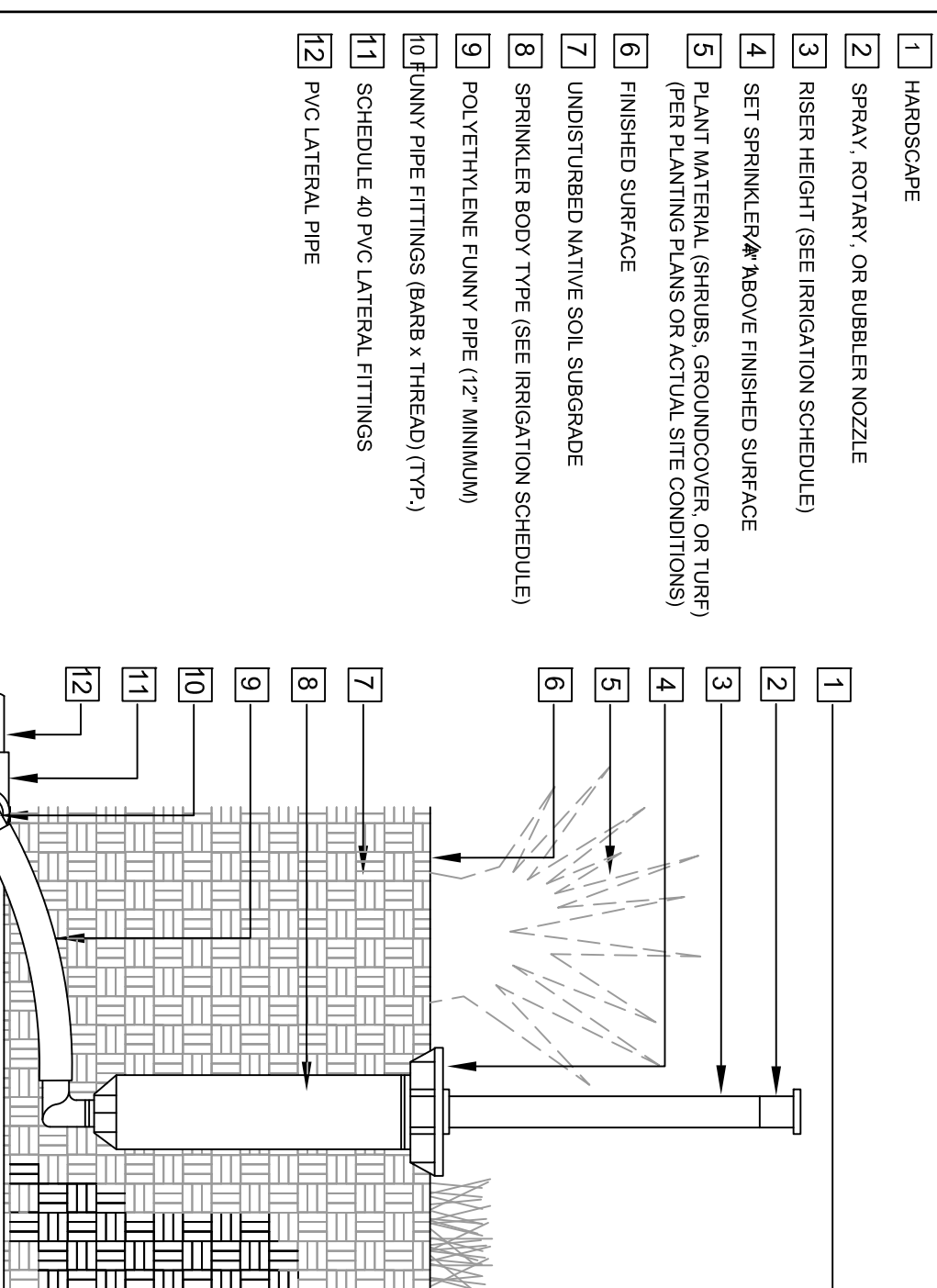
NOT TO SCALE



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D. INSTALL DETECTOR PIPE THROUGHOUT ENTIRE MANLINE RUN.

### TRENCHING

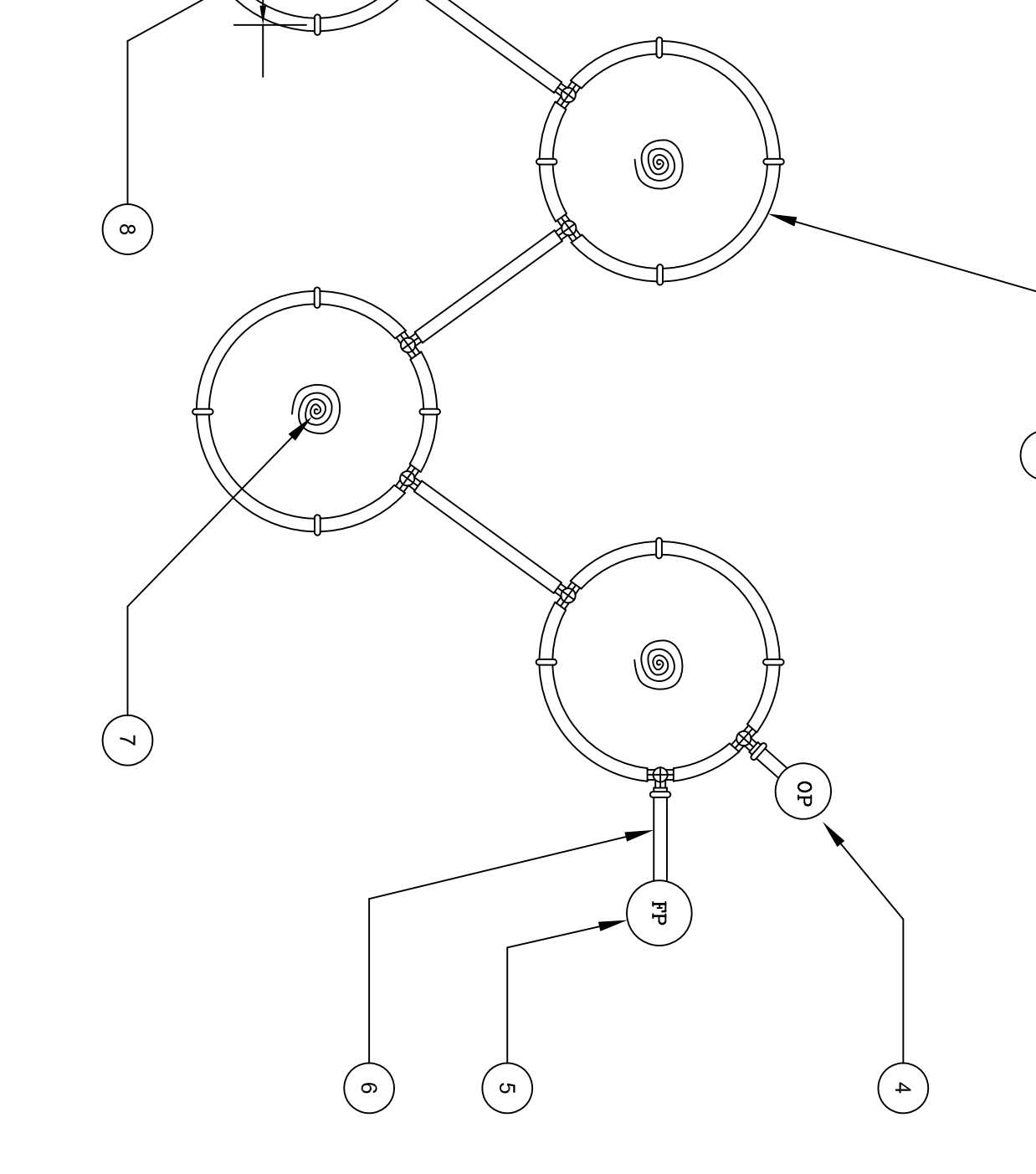
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### POP UP HEADS

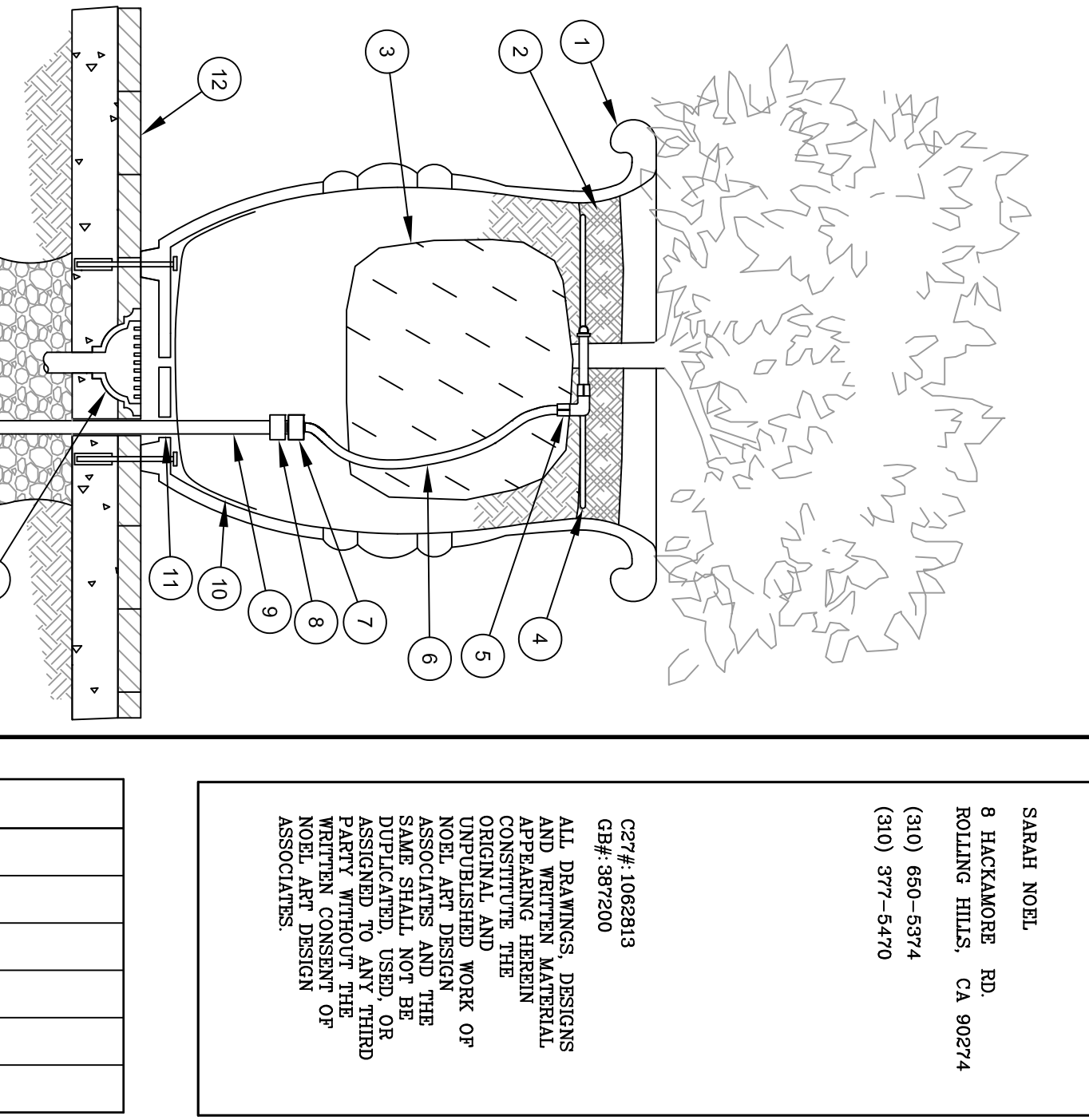
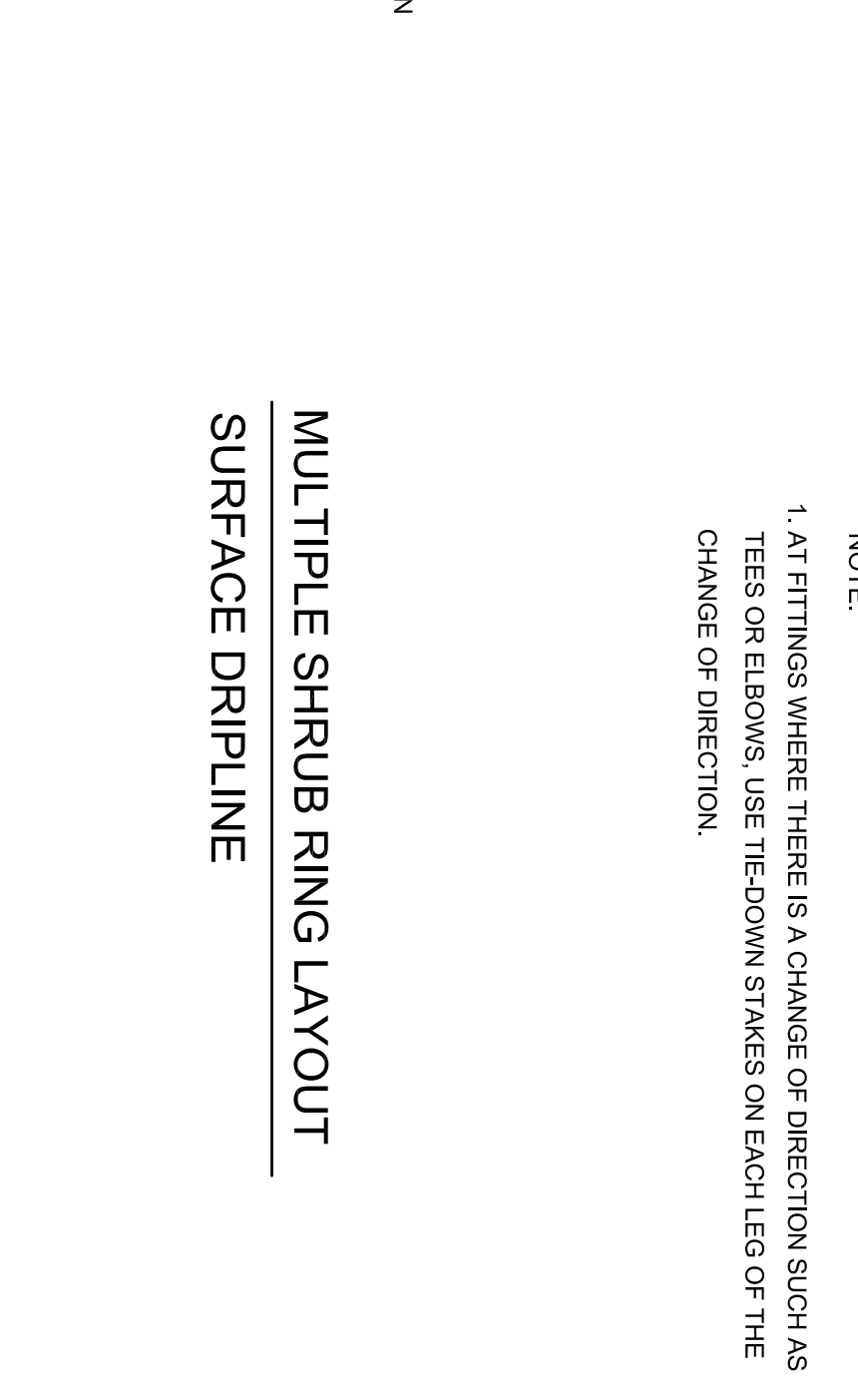
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D. LEAVE 1/2" OF AIR SPACE BETWEEN VALVE AND GRAVEL.

### DRIPLINE CONTROL ZONE KIT

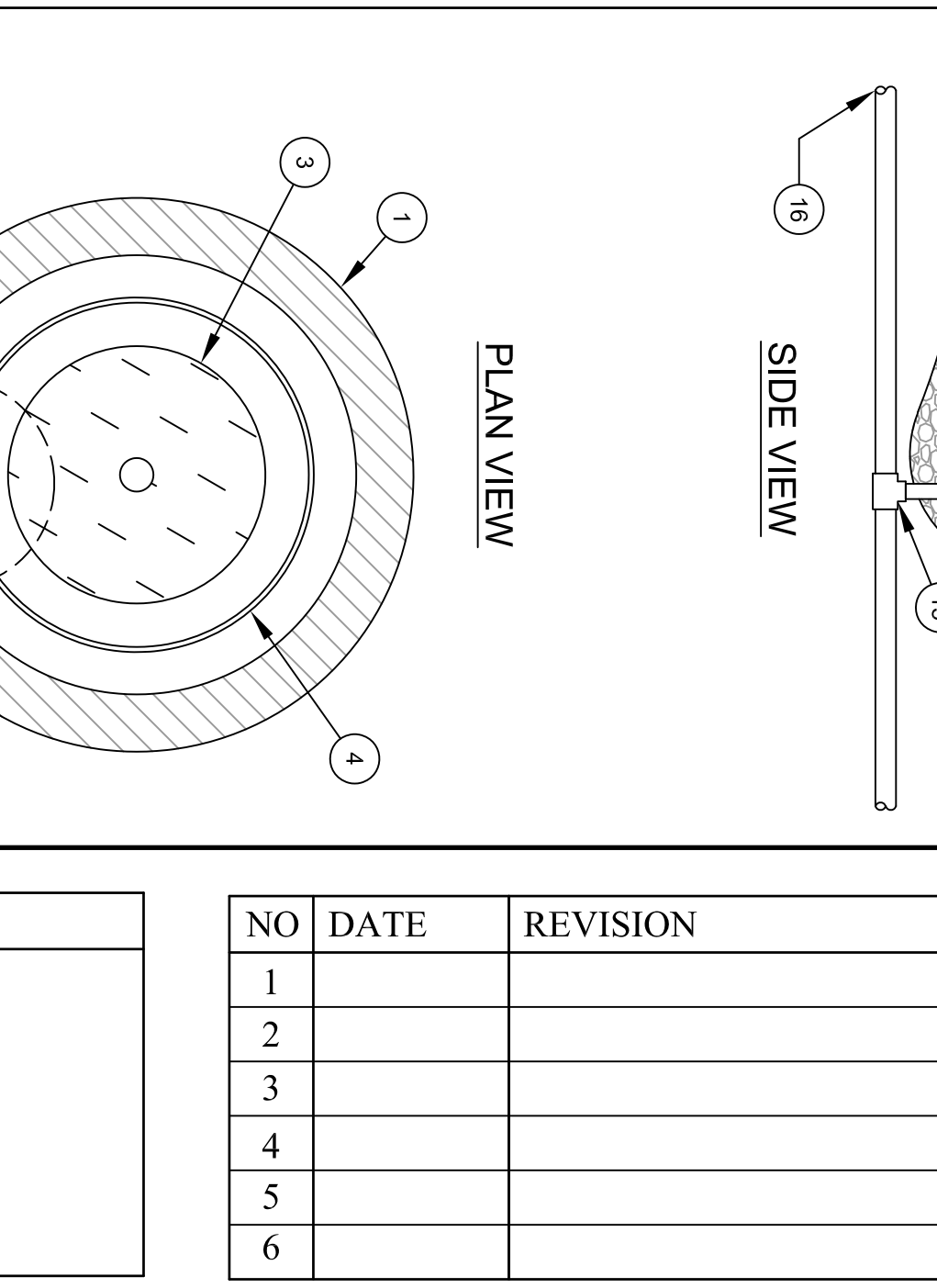
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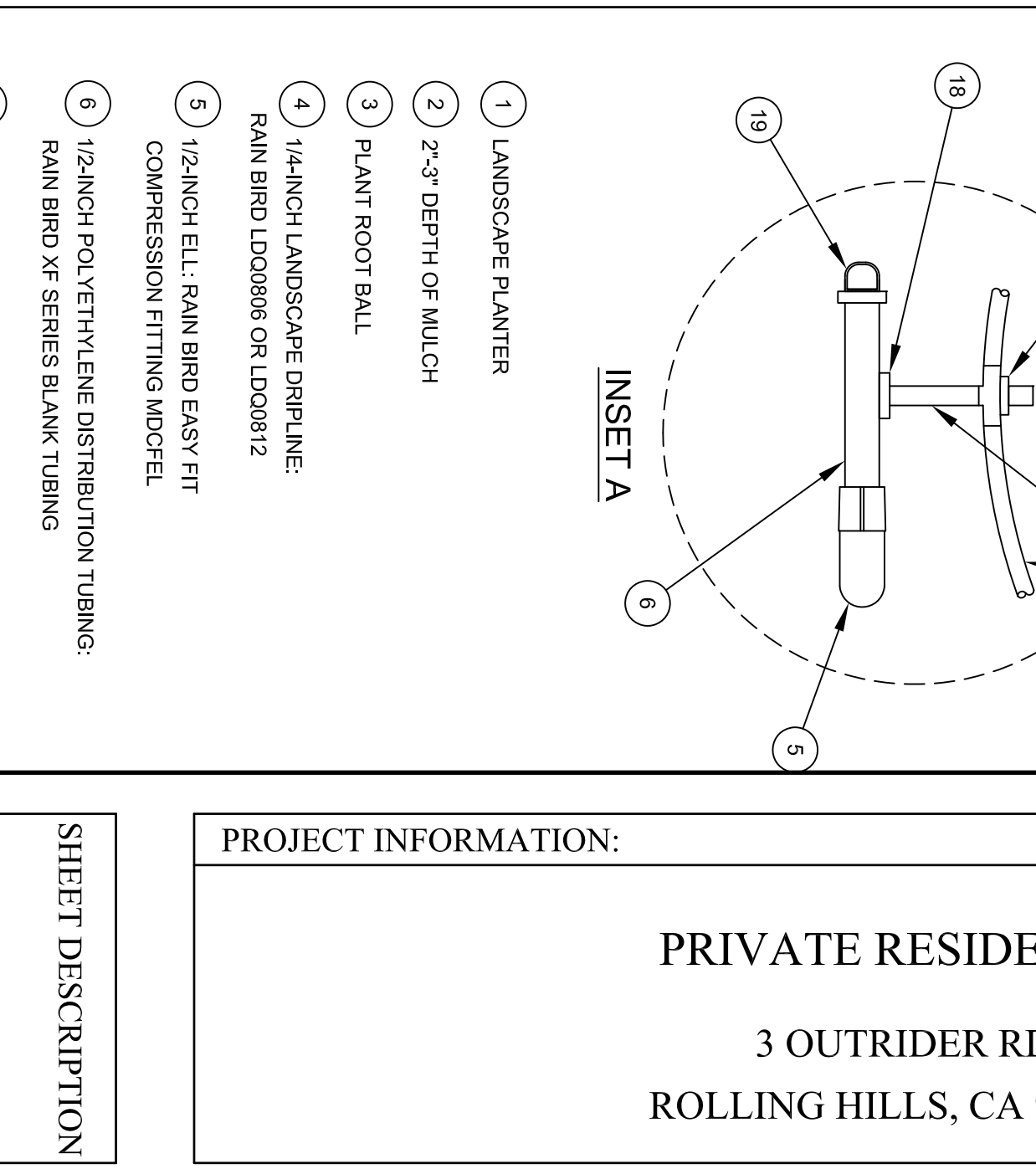
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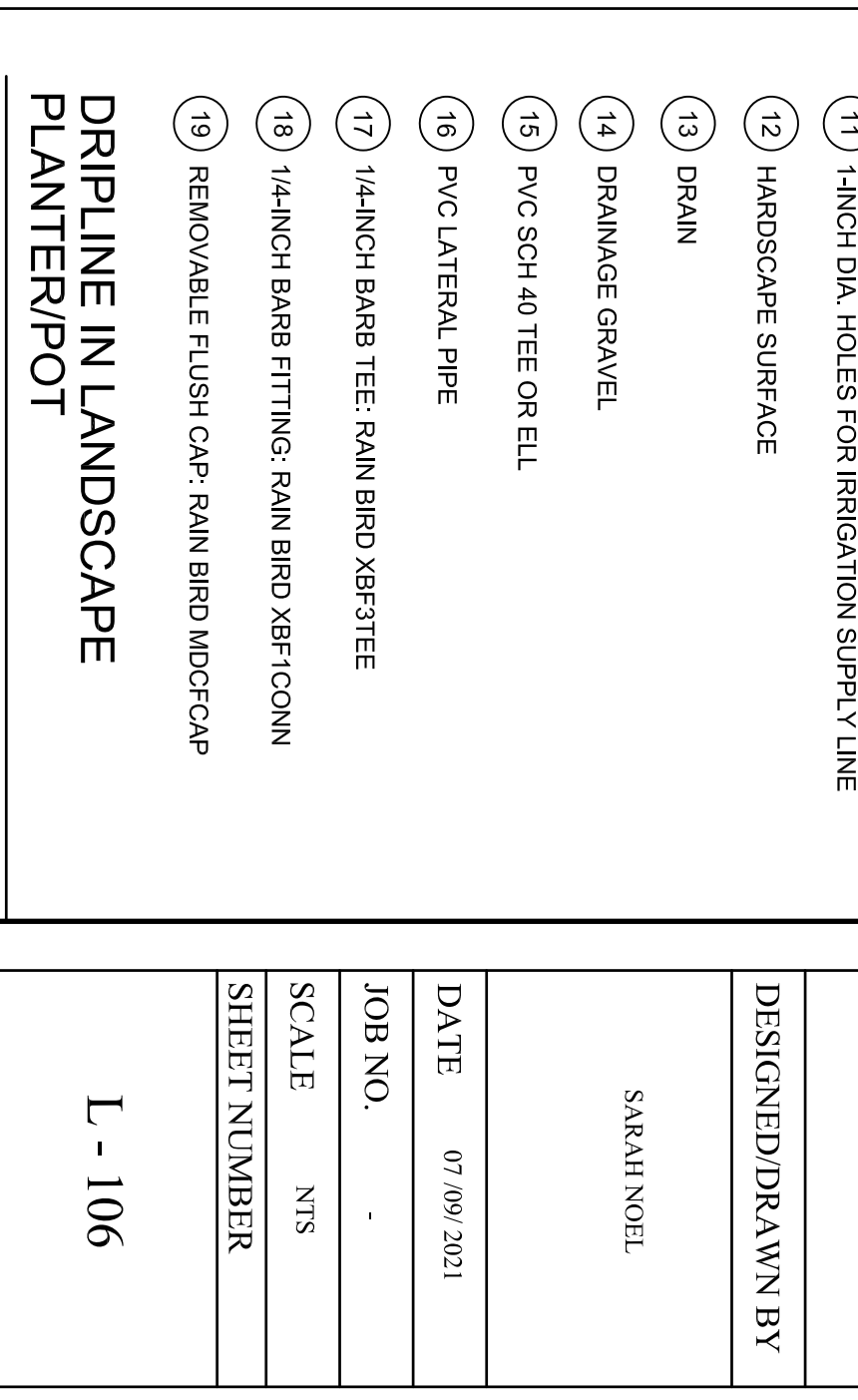
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D. LEAVE 1/2" OF AIR SPACE BETWEEN VALVE AND GRAVEL.

### DRIPLINE CONTROL ZONE KIT

NOT TO SCALE



| SHEET DESCRIPTION  |            |
|--------------------|------------|
| IRRIGATION DETAILS |            |
| DESIGNED/DRAWN BY  | SARAH NOEL |
| DATE               | 07/09/2021 |
| JOB NO.            |            |
| SCALE              | NIS        |
| SHEET NUMBER       | L - 106    |

| PROJECT INFORMATION:    |  |
|-------------------------|--|
| PRIVATE RESIDENCE       |  |
| 3 OUTRIDER RD.          |  |
| ROLLING HILLS, CA 90274 |  |

| NO | DATE | REVISION |
|----|------|----------|
| 1  |      |          |
| 2  |      |          |
| 3  |      |          |
| 4  |      |          |
| 5  |      |          |
| 6  |      |          |

|  |   |
|--|---|
| STAFF NOEL<br>8 HACKWATER RD.<br>ROLLING HILLS, CA 90274<br>(818) 880-5574<br>(818) 377-5470 | ALL DRAWINGS, DESIGNS, AND SPECIFICATIONS ARE THE PROPERTY OF SARAH NOEL AND ASSOCIATES, INC. AND ARE NOT TO BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF SARAH NOEL AND ASSOCIATES, INC. |
|--|---|



## LANDSCAPE IRRIGATION SPECIFICATIONS

1. PROVIDE LABOR, MATERIALS, PERMITS, EQUIPMENT, SUPERVISION, SERVICES AND TRANSPORTATION AND ALL OTHER ITEMS NECESSARY TO PERFORM ALL IRRIGATION WORK AS INDICATED AND SPECIFIED ON PLANS PREPARED BY GROW CONTROL, LANDSCAPE, INCLUDING ALL RECORD DRAWINGS, REDUCED DIAGNOSTIC PLANS, GUARANTEES, AND SERVICE MANUALS. WORK SHALL BE COMPLETED IN AN EFFICIENT AND SATISFACTORY MANNER TO THE HIGHEST WORKMANLIKE STANDARDS ESTABLISHED FOR SPRINKLER IRRIGATION.
2. GENERAL CONDITIONS
- A. CONTRACTOR SHALL VERIFY ALL CONDITIONS INDICATED ON THE PLANS. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES IN THE PLANS AND FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING EXEMPTS THE CONTRACTOR FROM GAINING COMPENSATION FOR REQUIRED CHANGES.
- B. CONTRACTOR SHALL CHECK ALL SITE CONDITIONS, AND VERIFY THE EXISTENCE, LOCATION AND SIZE OF UTILITIES AND SERVICES PRIOR TO BEGINNING WORK.
- C. THE IRRIGATION DESIGN AS INDICATED ON THE DRAWINGS IS DIAGNOSTIC, SCALED DIMENSIONS ARE APPROXIMATE, BEFORE PROCEEDING WITH WORK, CHECK AND VERIFY SITE DIMENSIONS.
- D. DO NOT INSTALL THE IRRIGATION SYSTEMS WHEN UNUSUAL OBSTRUCTIONS, GRADE DIFFERENCES OR DISCREPANCIES IN RADII OR DIMENSIONS EXIST. IMMEDIATELY BRING DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. IF NOTIFICATION IS NOT GIVEN, THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR REQUIRED REVISIONS AND COSTS.
- E. CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION WORK TO AVOID CONFLICTS WITH EXISTING UTILITIES AND SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY COORDINATION HIS WORK WITH OTHER TRADES.
- F. CONTRACTOR SHALL PROTECT INSTALLED CONTRACT WORK AND WORK OF OTHERS.
- G. CONTRACTOR SHALL APPLY AND PAY FOR NECESSARY PERMITS AND FEES REQUIRED IN PLUSETT OF WORK AS REQUIRED BY GOVERNING CODES.
- H. LOCAL, MUNICIPAL, AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATED TO A PORTION OF THIS WORK ARE HEREBY MADE A PART OF THESE SPECIFICATIONS.
- I. CONTRACTOR SHALL KEEP PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTALLY TO WORK DURING CONSTRUCTION AND MAINTENANCE PERIOD. BROOM CLEAN ALL PAVED AREAS.
3. SCHEDULE
- A. CONTRACTOR SHALL NOTE ALL FINISH GRADES BEFORE COMMENCING WORK. RESTORE FINISH GRADE CHANGED DURING COURSE OF THIS WORK TO ORIGINAL OR INTENDED CONDITION WHERE PRACTICAL. NO DEVIATION FROM PLANS AND SPECIFICATIONS IS AUTHORIZED, UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM THE OWNER'S REPRESENTATIVE OR HIS AUTHORIZED REPRESENTATIVE IN ADVANCE.
- L. THE CONTRACTOR SHALL OBTAIN AN ENCUMBRANCE REMOVAL AGREEMENT IF REQUIRED FOR ALL IRRIGATION EQUIPMENT LOCATED WITHIN PUBLIC RIGHT OF WAY.
4. SUBMITTALS
- A. CONTRACTOR'S MAINTENANCE PERIOD SHALL NOT BE TERMINATED UNTIL THE FOLLOWING CONDITIONS ARE MET:
- A. SERVICE MANUALS, KEYS, EQUIPMENT AND GUARANTEES.
1. CONTRACTOR SHALL SUBMIT TWO (2) SERVICE MANUALS FOR IRRIGATION EQUIPMENT TO OWNER'S REPRESENTATIVE. MANUALS MAY BE LOOSE LEAF AND SHALL CONTAIN COMPLETE DRAWINGS OF ALL EQUIPMENT INSTALLED, SHOWING COMPONENTS AND CALLOUT NUMBERS TOGETHER WITH THE MANUFACTURER'S NAME AND ADDRESS. OPERATION INSTRUCTIONS SHALL BE SIMPLE ENOUGH TO BE UNDERSTOOD WITHOUT SPECIALIZED KNOWLEDGE.
2. CONTRACTOR SHALL SUBMIT TWO (2) SETS OF KEYS PER EACH CONTROLLER. A COPY OF THE EQUIPMENT GUARANTEES SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL SUPPLY THE FOLLOWING TOOLS:
- A. TWO (2) SETS OF SPECIAL TOOLS REQUIRED FOR REMOVING, DRESSING/BLIND, AND ADJUSTING EACH ONE (1) OF EACH AND NUTS ON THE PRODUCT.
- B. ONE (1) CHECK COUPLER KEY AND MATCHING HOSE SWIVEL FOR EACH TYPE OF QUICK COUPLING VALUE INSTALLED.
4. WATER SUPPLY
- A. POTABLE
1. GETTABLE WATER SUPPLY SHALL BE CLEAN, FREE OF SUSPENDED PARTICLES, ALGAE, OR CHEMICALS THAT MAY FORM INSOLUBLE PRECIPITATES IN THE EQUIPMENT OR MAY BE DETRIMENTAL TO PLANTINGS.
- B. WATER SERVICE
1. INDIVIDUALLY ASSESSED AREAS AND INDIVIDUALLY OWNED (OR TO BE OWNED) LOTS SHALL HAVE SEPARATELY METERED AND CONTROLLED IRRIGATION SYSTEMS. IRRIGATION SHALL BE CONFINED TO THE INDIVIDUAL AREAS, WITHOUT OVERSHOOT, ONTO ADJACENT AREAS OR ACROSS PROPERTY LINES.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING IRRIGATION SYSTEMS AND SHALL VARY FROM THESE REQUIREMENTS OR REQUIRED BY THE PLANNING DIRECTOR AGENCY TO:
- CITY APPROVED BACKFLOW PREVENTION UNITS ARE REQUIRED ON ALL IRRIGATION SYSTEMS.
5. INSTALLATION SHALL COMPLY WITH ALL APPLICABLE HEALTH AND SAFETY CODES.
6. GUARANTEES
- A. THE SITE SPRINKLER SYSTEM, INCLUDING WORK DONE UNDER THIS CONTRACT, SHALL BE GUARANTEED IN WRITING AS TO MATERIAL AND WORKMANSHIP, INCLUDING SETTLING OF BACKFILLED AREAS BELOW GRADE FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE ENDING OF THE SPECIFIED MAINTENANCE PERIOD. THE OWNER'S REPRESENTATIVE SHALL DETERMINE THIS DATE AFTER REVIEW OF THE SPECIFIED IRRIGATION WORK. IMMEDIATELY REPAIR DAMAGE TO THE SYSTEM AND SITE CAUSED BY FAULTY MATERIALS OR WORKMANSHIP AT NO COST TO THE OWNER. PROVIDE INSTRUCTION TO THE OWNER'S REPRESENTATIVE AND FUTURE MAINTENANCE PERSONNEL IN THE OPERATION OF THE IRRIGATION SYSTEMS. THE OWNER RETAINS THE RIGHT TO REQUEST REPAIRS TO THE IRRIGATION SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND FEES TO REPAIR THE IRRIGATION SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND FEES TO REPAIR WORK UNDER THIS GUARANTEE WITHIN A TIMELY MANNER. THE OWNER MAY MAKE SUCH REPAIRS AS HE MAY DEEM NECESSARY AT THE FULL EXPENSE OF THE CONTRACTOR.
7. MATERIALS
- A. GENERAL
1. PROVIDE NEW MATERIALS AND EQUIPMENT OF BEST QUALITY OBTAINABLE, WHICH COMPLY WITH DRAWINGS AND SPECIFICATIONS.
2. NO SUBSTITUTION OF SPECIFIED MATERIALS OR EQUIPMENT SHALL BE MADE WITHOUT REVIEW BY GROW CONTROL, LANDSCAPE AND WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- B. IRRIGATION PIPE AND FITTINGS:
- A. POTABLE SHALL BE MADE FROM NSF APPROVED, TYPE I, GRADE II PVC COMPOUND CONFORMING TO ASTM SPECIFICATION D 2466. PIPE SHALL BE SCHEDULE 40. FITTINGS SHALL BE SCHEDULE 40. ALL SPECIFICATIONS SHALL BE FOR THE APPROVED MANUFACTURER'S STANDARD RATED FOR USE IN IRRIGATION.
- B. ALL PLASTIC PIPE SHALL BE CONFORMING TO PERFORMANCE MARKED WITH THE FOLLOWING INFORMATION: MANUFACTURER'S NAME, NOMINAL PIPE SIZE, SCHEDULE OR CLASS, PRESSURE RATING IN PSI, NSF APPROVAL, AND DATE OF EXTENSION.
- C. ALL SOLVENT SHALL BE AS RECOMMENDED BY MANUFACTURER OF PIPE FITTING AND AS APPROVED. USE NO SOLVENT FROM CAN THAT HAVE BEEN OPENED OVERNIGHT.
- D. PVC PRESSURE LINES TO BE INSTALLED UNDERGROUND:
1. ALL PIPE SHALL BE SCHEDULE 40.
2. FITTINGS SHALL BE SCHEDULE 40.
- E. PVC NON-PRESSURE LINES TO BE INSTALLED UNDERGROUND:
1. ALL PIPE SHALL BE SCHEDULE 40.
2. FITTINGS SHALL BE SCHEDULE 40.
- F. PVC FITTINGS, SOLVENT WELDED TYPE PVC SCH 40, TYPE II NSF APPROVED, SHALL CONFORM TO ASTM TEST PROCEDURE D 2466.
- G. PVC FITTINGS SHALL BOLD THE MANUFACTURER'S NAME OR TRADEMARK, MATERIAL DESIGNATION, SIZE, SCHEDULE OR CLASS, PRESSURE RATING, AND DATE OF EXTENSION.
- H. NO CROSS NIPPLES OR CROSSES SHALL BE USED. PVC NIPPLES SHALL BE BLACK IN COLOR.
2. BRASS PIPE AND FITTINGS
- A. BRASS PIPE SHALL BE 1/2" S STANDARD WEIGHT, 1/2" S, REGULATE 65% RED BRASS CONFORMING TO ASTM A44. FITTINGS SHALL BE WITH STANDARD 125 POUND CAST BRONZE THREADED FITTINGS.
3. COPPER PIPE
- A. COPPER PIPE SHALL BE SEAMLESS, TYPE K, HARD DRAWN TUBING.
- C. IDENTIFICATION TAPE
1. MARKER TAPE FOR SLEEVES SHALL BE METALLIC BACKED LOCATION TAPE MARKED "IRRIGATION" IN TWO INCH CAPITAL LETTERS EVERY THREE FEET ALONG THE TAPE.
2. MARKER TAPE FOR DIRECT BURIAL WIRES SHALL BE RED COLORED "ALEXN MARKING TAPE" OR APPROVED EQUAL. TAPE SHALL BE 3" WIDE.
- D. SLEEVING
1. PIPE SLEEVES SHALL BE PVC SCH 40 MINIMUM.
- E. VALVES
- A. OPERATE CONTROL VALVES AND PRESSURE REGULATING RELIEF CONTROL VALVES SHALL BE THE SAME SIZE AND PERFORMANCE APPROVED IN THE IRRIGATION LEGEND.
2. BALL VALVES SHALL BE THE TYPE, SIZE AND PERFORMANCE SPECIFIED IN THE IRRIGATION LEGEND.
3. CHECK VALVES SHALL BE HUNTER KIC-SERIES.
4. QUICK COUPLING VALVES SHALL BE THE TYPE, SIZE AND PERFORMANCE SPECIFIED IN THE IRRIGATION LEGEND.
- F. VALVE / PUL BOXES
1. ALL VALVE BOXES SHALL BE MANUFACTURED BY OLD CASTLE - CARSON.
- G. SPRINKLER HEADS
1. ALL VALVE BOXES SHALL BE OF THE TYPE, SIZE AND PERFORMANCE SPECIFIED IN THE IRRIGATION LEGEND.

- H. DEPT. ENTIRE HEADS/JNE SHALL BE OF THE TYPE, SIZE AND PERFORMANCE SPECIFIED IN THE IRRIGATION LEGEND.
- I. WEATHER SENSING DEVICES:
1. CONVENTIONAL CONTROLLER WIRE:  
A. USE DIRECT BURIAL COPPER WIRE -AWG-11F, 60 VOLT SINGLE CONDUCTOR SOLID COPPER PLASTIC INSULATED CABLE RATED FOR DIRECT BURIAL APPLICATION U.F.U. APPROVED 12 GAUGE (MINIMUM) PILOT AND SPARE WIRES, 12 GAUGE (MINIMUM) FOR COMMON GROUND BETWEEN WIRE. WIRE COLOR AS FOLLOWS: COMMON WIRE SHALL BE WHITE; CONTROL WIRES SHALL BE RED.
2. SEALS FOR SPLICES AND SPARE WIRE ENDS SHALL BE "PEN-TITE" WIRE CONNECTORS OR APPROVED EQUIVALENT.
- K. AUTOMATIC CONTROLLERS:
1. EACH CONTROLLER SHALL BE OF THE TYPE, SIZE AND PERFORMANCE SPECIFIED IN THE IRRIGATION LEGEND.
2. CONTROLLER SHALL OPERATE ON SINGLE PHASE, 110 TO 120 VOLT, 60 HZ, ALTERNATING CURRENT, "117" LESTER, AND SHALL CONTAIN AN "OFF" AND "ON" SWITCH TO SHUT OFF ENTIRE AUTOMATIC WATERING CYCLE WITHOUT INTERRUPTING THE TUNING MECHANISM. OUTLET SHALL BE 24 VOLTS AC.
3. CONTROLLERS SHALL BE ENCLOSED IN WEATHERPROOF CORROSION-RESISTANT HOUSING HAVING LOCKING COVER TO PROTECT ALL EQUIPMENT FROM VANDALISM.
4. CONDUIT FOR 120 VOLT AND 24 VOLT WIRING SHALL BE AS APPROVED BY THE LOCAL BUILDING CODE FOR ELECTRICAL SERVICE AND DISTRIBUTION (PVC PIPE WILL NOT BE ACCEPTABLE FOR USE AS ELECTRICAL CONDUIT).
7. INSTALLATION PROCEDURES:
- A. GENERAL NOTE: NO DETAIL IS PROVIDED FOR WORK UNDER THIS CONTRACT. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS OR RECOMMENDED STANDARD PRACTICE. SUBMIT RECOMMENDED PROCEDURES TO OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH WORK.
- B. PLANS ARE DIAGRAMATIC AND APPROXIMATE. VALVES AND OTHER IRRIGATION EQUIPMENT SHALL BE LOCATED IN PLANTING AREAS. PIPING SHALL BE LOCATED ALONG THE INSIDE EDGES OF PLANTING AREAS EXCEPT WHERE NOT FEASIBLE TO DO SO.
- C. WATER SUPPLY:
1. CONNECT IRRIGATION SYSTEM TO POINT OF CONNECTION (POC) AT APPROXIMATE LOCATIONS SHOWN ON DRAWINGS.
2. ALLOW FOR MINOR CHANGES AT POC CAUSED BY ACTUAL SITE CONDITIONS.
3. VERIFY AVAILABLE WATER PRESSURE AT EACH METER LOCATION PRIOR TO COMMENCING CONSTRUCTION OF IRRIGATION SYSTEMS. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF PRESSURE IS NOT THAT WHICH IS INDICATED IN THE DRAWINGS, OR IS NOT SUFFICIENT TO OPERATE THE SYSTEM. ANY SUCH VERIFICATION SHALL BE PERFORMED BY THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY REQUIRED REVISIONS.
- D. ELECTRICAL SUPPLY
1. CONNECT POWER AND CONNECTIONS TO THE AUTOMATIC CONTROLLER AS INDICATED ON THE DRAWINGS.
2. CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES.
3. CONTRACTOR SHALL COORDINATE WITH OWNER AND OTHER TRADES TO HAVE POWER AVAILABLE TO THE CONTROLLERS WHEN NEEDED.
- D. TRENCHING:
1. OPEN GRADE, SURFACE STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. LAY PIPE TO AN ELEVATION OF 18" ABOVE FINISHED GRADE.
2. DEPTH OF TRENCHES SHALL BE SUFFICIENT TO PROVIDE A MINIMUM COVER ABOVE THE TOP OF THE PIPE AS INDICATED IN PIPE DEPTH SECTION UNDER THE IRRIGATION PIPE AND FITTINGS HEADING.
3. FINISH GRADE OF ALL TRENCHES MUST CONFORM TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, BUMPS OR OTHER IRREGULARITIES.
- E. IRRIGATION PIPE AND FITTINGS:
1. ASSEMBLIES:
- A. INSTALL NO MULTIPLE ASSEMBLIES. PROVIDE EACH ASSEMBLY WITH ITS OWN OUTLET.
- B. PVC TO METAL CONNECTION SHALL BE BY PVC MALE THREAD ADAPTER FITTING SCREWED INTO METAL. FEMALE FITTING, OR BY METAL MALE THREAD ADAPTER FITTING SCREWED INTO PVC. FEMALE FITTING, TAKE CARE TO USE ONLY ALL THREADED PVC TO PVC AND PVC TO METAL JOINTS.
- C. REMOVE BURNS FROM PVC PIPE ENDS PRIOR TO CONNECTING OR SOLVENT WELDING. USE SOLVENT WELDED CONNECTIONS.
- D. MANUFACTURER'S RECOMMENDATIONS FOR CLEANING PIPE ENDS PRIOR TO MAKING SOLVENT WELDED CONNECTIONS.
- E. IRRIGATION CIRCUITS SHALL RUN PARALLEL, OR AS CLOSE TO PARALLEL, AS IS PRACTICAL, TO THE CONTOUR LINES.
- F. PIPE DEPTHS:
- DEPTH OF PIPE SHALL BE SUFFICIENT TO PROVIDE A MINIMUM COVER ABOVE THE TOP OF THE PIPE AS FOLLOWS UNLESS INDICATED DIFFERENTLY ON DRAWINGS OR AS PER CITY OR COUNTY CODES OR REQUIREMENTS.
- G. CONNECTION REQUIREMENTS:
1. NON-PRESSURE LINES - 12" OF COVER
2. PRESSURE LINES - 18" OF COVER
3. PLAYED AREAS:
- NON-PRESSURE LINES IN STEEPS - 18" OF COVER  
PRESSURE LINES IN SLEEVE - 18" OF COVER  
ELECTRICAL WIRES IN STEEPS - 18" OF COVER
3. LINE CLEARANCE:
- A. PORTABLE IRRIGATION LINES SHALL HAVE A CLEARANCE OF 6" OR MORE FROM EACH OTHER, AND FROM LINES OF OTHER TRADES.
- B. PARALLEL IRRIGATION LINES SHALL NOT BE INSTALLED DIRECTLY OVER ONE ANOTHER, OR AGAINST THE SIDES OF THE TRENCH.
4. FLUSHING AND ADJUSTING SYSTEM:
- A. AFTER IRRIGATION PERILINES AND ISSERS ARE IN PLACE AND CONNECTED, AND PRIOR TO INSTALLATION OF IRRIGATION HEADS, OPEN THE CONTROL VALVES AND USE A FULL HEAD OF WATER TO FLUSH THE SYSTEM. AFTER THE SYSTEM IS THOROUGHLY FLUSHED, ISSERS SHALL BE CAPPED WITH PLUGS OF THE SAME MATERIAL AS THE MAINLINE.
- B. ADJUST VALVES AND ALIGNMENT AND COVERAGE OF IRRIGATION HEADS. ADJUSTMENTS MAY INCLUDE CHANGES IN NOZZLE SIZES AND DRISNS OF ARC. THESE CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER. OBTAIN COVERAGE TEST APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PLANNING OR SEDING.
- C. SYSTEMS REQUIRING FLUSHING SHALL ACCOMMODATE THE WATER GENERATED BY THE FLUSHING WITHOUT DISRUPTION OR DISTURBANCE (SWALE, CUTTER, ETC.) WHERE POSSIBLE.
- F. STEEPS:
- STEEPS SHALL BE A MINIMUM OF TWO TIMES LARGER THAN PIPE OR WIRE INDIIDE IT ENCLOSES. ONE PIPE PER STEEP. PIPE SIZE SHALL BE 2" MINIMUM.
- G. REPAIRING AND PATCHING:
- RE-PAVING UNDER EXISTING OR FUTURE PAVING SHALL BE INSTALLED PRIOR TO PAVING OR RE-PAVING AND SHALL EXTEND 12" BEYOND EACH SIDE OF PAVEMENT. THE LETTERS "E" FOR ELECTRICITY AND "W" FOR WATER SHALL BE STAMPED OR CHEELED IN THE PAVEMENT DIRECTLY ABOVE THE SLEEVE ON BOTH SIDES OF THE CROSSING.
3. SLEEPY MARKER: METALLIC BACKED LOCATING PIPE SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF ALL STEEPS, 12" DIRECTLY ABOVE STEEPS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR STEEPS AND CHASES UNDER PAVING, THROUGH WALLS, ETC., UNLESS OTHERWISE NOTED.
- G. VALVES:
1. REMOTE CONTROL VALVES AND PRESSURE REDUCING REMOTE CONTROL VALVES:
- A. VALVES SHALL BE LOCATED IN SHRUB PLANTING AREAS ONLY.
- B. VALVES SHALL BE GROUPED TOGETHER WHEREVER POSSIBLE AND INSTALLED IN INDIVIDUAL VALE C. WHERE THE PRESSURE AT THE REMOTE CONTROL VALVE EXCEEDS 90 P.S.I. (DUE TO ELEVATION DIFFERS, ETC.), A PRESSURE REDUCING VALVE SHALL BE USED TO REDUCE PRESSURE TO DESIRED LEVELS.
- D. VALVES SHALL BE ADJUSTED SO THAT THE MOST REMOTE SPRINKLER HEADS OPERATE AT THE PRESSURE RECOMMENDED BY THE HEAD MANUFACTURER. VALVES SHALL BE ADJUSTED SO A UNIFORM DISTRIBUTION OF WATER IS APPLIED BY THE SPRINKLER HEADS TO THE PLANTING AREAS FOR EACH INDIVIDUAL VALVE SYSTEM.
- E. BALL VALVES:
- HORIZONTAL BALL VALVES ON THE DOWNSTREAM SIDE OF THE VALVE. CONNECTIONS SHALL BE MADE TO BALL VALVES.
- A. ALL VALVES SHALL BE LOCATED IN SHRUB PLANTING AREAS ONLY.
- B. BALL VALVES SHALL BE INSTALLED TO DIVIDE THE IRRIGATION SYSTEM INTO CONTROLLABLE UNITS, AND TO AVOID DRAINING LONG RUNS OF PIPING FOR SYSTEM REPAIRS.
3. CHECK VALVES:
- A. PROVIDE A MANUFACTURER INSTALLED CHECK VALVE IN EACH SHRUB HEAD ON REEFER. WHEN A MANUFACTURER INSTALLED CHECK VALVE IS NOT AVAILABLE, OR WHERE THE SYSTEM ELEVATION CHANGE EXCEEDS TEN FEET, PROVIDE AN IN LINE CHECK VALVE ON THE REEFER OF EACH SHRUB

- B. PROVIDE A MANUFACTURER INSTALLED CHECK VALVE IN EACH POP-UP HEAD WHEN A MANUFACTURER INSTALLED CHECK VALVE IS NOT AVAILABLE, OR WHEN THE SYSTEM ELEVATION CHANGE EXCEEDS EIGHT FEET. PROVIDE AN IN LINE CHECK VALVE ON THE SWING JOINT ASSEMBLY OF EACH POP-UP HEAD FEED.
4. QUICK COUPLING VALVES:  
 A. QUICK COUPLING VALVES SHALL BE LOCATED IN SHEDD PLANTING AREAS ONLY.  
 B. QUICK COUPLING VALVES SHALL BE SET APPROXIMATELY 12" FROM WALLS, CURBS, HEADERS, OR PAVED AREAS WHERE APPLICABLE.
5. FLUSH / AIR RELEASE VALVES:  
 A. FLUSH / AIR RELEASE VALVES SHALL BE LOCATED AT THE HYDROSTATIC HIGH AND LOW POINTS OF EACH PIPE RUN.  
 B. FLUSH / AIR RELEASE VALVES SHALL BE SET APPROXIMATELY 12" FROM WALLS, CURBS, HEADERS, OR PAVED AREAS WHERE APPLICABLE.
- H. VALVE BOXES:  
 1. VALVE BOXES SHALL BE SET ONE AND ONE HALF INCH (1 1/2") ABOVE THE DISCONTINUED FINISH GRADE ELEVATION.  
 2. VALVE BOXES ADJACENT TO WALLS OR PAVING SHALL NOT BE INSTALLED HIGHER THAN FINISH SURFACE OF ADJACENT WALL OR PAVING.  
 3. INDICATE ON VALVE BOX ID EITHER P, F FOR PULL BOX, B, F FOR BALL VALVE, OR THE IDENTIFICATION NUMBER OF THE REMOTE CONTROL VALVE AND CONTROLLER CLOCK LETTERS SHALL BE 3" HIGH 1/2" WIDE AND BURNED INTO THE LID WITH A SOLDERING IRON OR ENGRAVED INTO THE LID WITH A ROTTER.
4. INSTALL POP-UP TYPE HEADS ADJACENT TO WALLS, PAVING, HEADERS, GLADING, AND TOP OF RETAINING WALLS TYPICALLY.  
 5. TOP OF POP-UP TYPE HEADS ADJACENT TO WALLS OR PAVING SHALL NOT BE HIGHER THAN FINISH SURFACE OF ADJACENT WALL OR PAVING.  
 6. CONTROL OF SPILLAGE SHALL BE A FUNCTION HEADS TO PULLY COVER ALL PLANTING AREAS AND NOT TRAP ORTO WALLS, BUILDINGS OR WINDOWS WHERE POSSIBLE. IRRIGATION SYSTEMS SHALL NOT SPRAY WATER ACROSS SUBDIVISION BOUNDARY LINES, WHERE ON-SITE FIELD CONDITIONS REQUIRE CHANGES. HEADS SHALL BE ADDED OR DELETED IN ACCORDANCE WITH THE MAXIMUM SPACING LINES ESTABLISHED IN THE IRRIGATION LEGEND. PIPE SIZING SHALL BE ADJUSTED ACCORDINGLY. WATER VELOCITY IN PIPES SHALL NOT EXCEED 5 FEET PER SECOND AND FLOW SHALL NOT EXCEED RECOMMENDED MAXIMUM OF REMOTE CONTROL VALVE SIZE.
7. IRRIGATION HEADS WITH A CIRCUIT SHALL HAVE A MINIMUM PRECIPITATION RATE. DO NOT INTERMIX DIFFERENT TYPES OR BRANDS OF IRRIGATION HEADS ON THE SAME CIRCUIT.
8. IRRIGATION HEADS SHALL BE 24" APART FROM ALL INTERFERING PAVING SURFACES.
9. DEEP WATER HEADS SHALL BE 24" APART FROM ALL INTERFERING PAVING SURFACES.
1. INSTALL DEEP WATER HEADS/LINE 12" FROM ANY VERTICAL SURFACE (WALLS, FENCES, BUILDINGS, ETC.).
2. INSTALL DEEP WATER HEADS/LINE 12" FROM ANY VERTICAL SURFACE (WALLS, FENCES, BUILDINGS, ETC.).
3. TOP OF DEEP WATER HEADS/LINE OR TOP OF DEEP WATER HEADS ADJACENT TO WALLS OR PAVING SHALL NOT BE HIGHER THAN FINISH SURFACE OF ADJACENT WALL OR PAVING.
4. CONTRACTOR SHALL ADJUST ALL DEEP IRRIGATION HEADS/LINE TO PULLY COVER ALL PLANTING AREAS. IRRIGATION SYSTEMS SHALL NOT IRRIGATE ACROSS PROPERTY LINES, WHERE ON-SITE FIELD CONDITIONS REQUIRE CHANGES. DEEP WATER HEADS/LINE SHALL BE ADDED OR DELETED FOR COMPLETE COVERAGE. PIPE SIZING SHALL BE ADJUSTED ACCORDINGLY. WATER VELOCITY IN PIPES SHALL NOT EXCEED 5 FEET PER SECOND AND FLOW SHALL NOT EXCEED RECOMMENDED MAXIMUM OF REMOTE CONTROL VALVE SIZE.
- K. WEATHER SENSING DEVICES:  
 1. WEATHER SENSING DEVICES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- L. CONTROL WIRING:  
 1. GENERAL:  
 A. ALL WIRING SHALL BE INSTALLED WITHIN 6" OF PRESSURE SUPPLY LINES WHEREVER POSSIBLE.  
 B. THERE SHALL BE SUFFICIENT INCHES (6") COVERAGE OF RATHER OVER THE 3-4 VOLT CONTROL WIRE INTERVALS.  
 C. NO SPICES SHALL BE MADE BETWEEN THE CONTROLLER AND AUTOMATIC CONTROL VALVES UNLESS NECESSARY FOR DISTANCES OF OVER 100' AND THEN SHALL CONFORM TO SECTIONS D AND F BELOW.
- D. ALL STUDIES SHALL BE ENCASED IN WATERPROOF CONNECTORS PER APPROVED METHODS.  
 E. TRENCH MARKER: WHEN CONTRACTORS CANNOT INSTALL CONTROL WIRES IN THE SAME TRENCH AS THE PRESSURE SUPPLY LINES, ALL DIRECT BURIAL WIRES SHALL BE MARKED WITH A CONTINUOUS RED COLORED TRENCH MARKER PLASTIC TAPE PLACED NINE INCHES (9") BELOW FINISHED GRADE DIRECTLY ABOVE THE BURIED WIRES.  
 F. IN LINE WIRE STUDIES SHALL BE MADE ONLY IN PULL BOXES OR VALVE BOXES.  
 G. ALL WIRES IN PULL BOXES SHALL BE LOOSE AND SHALL NOT COME WITHIN THREE INCHES (3") FROM LID. BOXES SHALL BE SEED ACCORDINGLY TO ACCOMMODATE THIS REQUIREMENT.
- H. TESTING: ALL WIRING SHALL BE TESTED FOR CONTINUITY, OPEN CIRCUITS, AND UNINTENTIONAL GROUND PROX TO CONNECTING TO EQUIPMENT. THE MINIMUM INSULATION RESISTANCE TO GROUND SHALL BE FIFTY (50) MEGOHMS. NOT WITHIN METING THIS REQUIREMENT SHALL BE REJECTED AT THE CONTRACTOR'S EXPENSE.
2. CONTROLLER CONTROLLER:  
 A. THE CONTROLLER SHALL BE INSTALLED WITHIN 6" OF PRESSURE SUPPLY LINES.
3. PLANTING: PLANTING SHALL BE INSTALLED WITHIN 6" OF PRESSURE SUPPLY LINES.
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66. PLANTING: PLANTING SHALL BE INSTALLED WITHIN 6" OF

SARAH NOEL,  
 8 LUGGAGE RD.,  
 ROLLING HILLS, CA 90274  
 (310) 660-5574  
 (310) 577-5470  
 (279) 106818  
 GM-487200  
 ALL DRAWINGS, DESIGNS  
 AND INVENTIONS, WHETHER  
 APPEARING HEREIN OR  
 OTHERWISE, ARE  
 UNPUBLISHED WORK OF  
 THE ASSOCIATES AND THE  
 INDIVIDUALS WHOSE NAMES  
 ARE DULICATED, USED OR  
 ASSIGNED TO ANY OTHER  
 WRITTEN CONSENT OF  
 THE ASSOCIATION.

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PRIVATE RESIDENCE  
3 OUTRIDER RD.  
ROLLING HILLS, CA 90274

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PROJECT INFORMATION:

|                              |            |
|------------------------------|------------|
| SHEET DESCRIPTION            |            |
| IRRIGATION<br>SPECIFICATIONS |            |
| DESIGNED/DRAWN BY            |            |
| SARAH NOEL                   |            |
| DATE                         | 07/09/2021 |
| JOB NO.                      | -          |
| SCALE                        | NIS        |
| SHEET NUMBER                 |            |
| L - 108                      |            |
| SHEET 8                      | OF 8       |



## Development Table Zoning Case No. 2021-08 (3 OUTFRIDER ROAD)

|  | EXISTING  | PROPOSED   | TOTAL                                      |
|--|---|--|--|
|  | Single family residence,<br>garage, shed, swimming<br>pool and deck | New swimming pool, spa,<br>trellis, barbecue area, deck<br>and grading | Requires Site Plan<br>Review and Variances |
| Net Lot Area   | 47,878 SF   | 0 SF   | 47,878 SF                                  |
| Residence  | 3,000 SF  | 0 SF   | 3,000 SF                                   |
| Garage   | 1,347 SF  | 0 SF   | 1,347 SF                                   |
| Swimming Pool/Spa  | 560 SF  | 180 SF   | 740 SF                                     |
| Pool Equipment   | 40 SF   | 0 SF   | 40 SF                                      |
| Sheds, Trellis, Barbecue, Outdoor<br>Kitchen   | 67 SF   | 146 SF   | 213 SF                                     |
| Total Structure Area   | 5,014 SF  | 5,366 SF   | 5,340 SF                                   |
| Structural Coverage  | 10.1 %  | 2.5 %  | 12.6 %                                     |
| Total Structures Excluding: up to 5<br>legal and up to 800 SF detached<br>structures that are not higher than<br>12 ft (no more than 120 SF per<br>structure per deduction, except for<br>trellis) | 4,947 SF  | 180SF  | 5,127 SF                                   |
| Structural Coverage<br>(20% maximum)   | 10.30%  | 0.37%  | 10.71%                                     |
| Grading (balanced on site)<br>PROPOSED POOL EXCAVATION   |   |  | CUT: 437 CY<br>FILL: 367 CY                |
| Total Lot Coverage<br>(35% maximum)  | 25.59%  | 0.78%  | 26.37%                                     |
| Building Pad Coverage 1<br>(30%maximum)  | 29.14%  | 0.37%  | 29.51%<br>(with deductions)                |
| Building Pad Coverage 2<br>(30%maximum)  | 44%   | 0%   | 44%  |
| Disturbed Area (40% maximum)   | 25.59%  | 0.78%  | 26.37%                                     |
| Stable min. 450 SF   | Set aside 450 SF  | 0 SF   | Set aside 450 SF                           |
| Corral min. 550 SF   | Set aside 550 SF  | 0 SF   | Set aside 550 SF                           |
| Retaining/Garden Wall  | 0 FT<br>0 FT  | 2.5' Max Height<br>50 LF   | 2.5' Max Height<br>50 LF                   |

## RESOLUTION NO. 2021-10

### **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR GRADING AND VARIANCES TO LOCATE THE NEW SWIMMING POOL, SPA, BARBECUE AND TRELLIS IN THE FRONT YARD AREA AND FOR THE NEW SWIMMING POOL AND SPA TO ENCROACH INTO FRONT YARD SETBACK ON A LOT LOCATED AT 3 OUTRIDER ROAD, ROLLING HILLS, CA (HOYLER). PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT**

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

Section 1. An application was duly filed by Mr. and Mrs. Hoyler (“Applicants”) with respect to real property located at 3 Outrider Road, Rolling Hills, requesting a Site Plan Review for grading of 437 cubic yards of cut and 367 cubic yards of fill and Variances for construction new swimming pool, spa, barbecue, trellis and deck in the front yard and for encroachment of the new swimming pool and spa into the front yard setback.

Section 2. The Planning Commission conducted duly noticed public hearings to consider the application on July 10, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studied said proposal.

Section 3. The property is zoned RAS-1 and has a net lot area of 47,878 square feet. The lot is currently developed with a 3,000 square-foot single family residence and a 1,347 square-foot attached garage. There are three existing building pads on site on different elevations. The existing residence and garage are located on the lower pad (14,917 square feet) towards the front portion of the property, the secondary building pad (2,400 square feet) is on an upper, mid-point portion of the property approximately 33 feet higher than the primary pad, and third pad is in the rear of the property approximately 20 feet above the secondary pad.

Section 4. This project is also categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) because it involves minor alteration of or addition to an existing private structure. The project consists of demolition of an existing 560 square foot swimming pool and deck and addition of new 740 square foot swimming pool with spa, barbecue, trellis, patio deck and 2.5 foot high planter.

Section 5. The Rolling Hills Municipal Code requires Site Plan Review for a project that proposes grading pursuant to RHMC Section 17.46.020(A)(1). The project proposes 347 cubic yards of pool excavation (exempt) and 367 cubic yards of fill. The Planning Commission makes the following findings:

A. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance.

The grading is necessary to fill in the void left by the previous swimming pool. Additionally, using the excavated dirt from the new pool (exempt grading) will minimize export of dirt.

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot.

The fill restores the finished grade to the current elevation of the existing front yard area.

C. The proposed development, as conditioned, is harmonious in scale and mass with the site. The proposed project is located out of sight of the street and will be visible to one neighbor, and is consistent with the scale of the neighborhood when compared to properties in the vicinity.

The project is low to the ground and does not cause any visual impact to the surrounding residences. The finished elevation of the pool deck is screened by landscaping and is hardly visible from the street elevation below the subject property.

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls).

The project is located on an existing pad and does not change the existing topography of the site.

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area.

The location of the project was previously graded to accommodate an activity area in the front yard. The pool excavation is exempt, however filling the area resulting from the demolition of the previous pool is necessary for safety and site restoration. The location of the project has been designed to minimize disturbance to the natural terrain of rest of the project site.

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course.

The location of the project was previously graded to accommodate an activity area and the previous swimming pool. The fill will not redirect drainage flow.

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas.

The location of the project minimizes lot disturbance by using an existing pad that previously accommodated a swimming and an activity area. The project will incorporate landscaping that is approved by the Fire Department in conformance with its fire fuel modification standards. The project also incorporates planting in front of the pool deck to minimize its visual

impact.

H. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles.

The project will not change the on- and off-site circulation patterns. The primary access to the site will remain in the same location.

I. The project conforms to the requirements of the California Environmental Quality Act. The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15304 (Minor Alterations to Land) of the CEQA Guidelines, which exempts minor alterations in the condition of land, including but not limited to grading on land with a slope of less than 10 percent. The grading taking place on the property is on land with a slope of less than 10 percent to account for the swimming pool, spa, deck, barbecue and trellis. The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences.

Section 6. The Rolling Hills Municipal Code requires a Variance for structures in the front yard pursuant to RHMC 17.12.250 and for structures that project into the front yard setback pursuant to RHMC Section 17.12.190. The project proposes to locate a new swimming pool, spa and trellis in the front yard area, and for the swimming pool and spa to encroach into the front yard setback. The Planning Commission makes the following findings:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone.

The previous pool was located in the same area approximately 20 feet from the new pool location. Applicants are proposing the pool in the same area for the safety of their children. Relocating the pool approximately 30 feet higher behind the main the residence prevents eyes on the children while they are in the pool. The existing house is designed to open into the courtyard area where the pool is located, on the same elevation as the house.

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;

The project location helps preserve the natural terrain of the rest of the site. The proposed pool is located on the same elevation as the previous pool where it is visible from the main house, which allows adults to monitor children in the swimming pool.

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;

The location of the structures front yard and into setback will protect the undeveloped portion of the property and will minimize disturbance on site, which provides benefits to other

nearby properties. The project will be constructed according to the Building Code.

D. That in granting the variance, the spirit and intent of this title will be observed;

The granting of relief from the code will allow the applicant to enjoy the same rights enjoyed by other residents in the community. Many of the developments in the City have approved pools in the front yard. To minimize visual impact of the pool deck, Applicants will landscape the front of the pool deck to help improve aesthetics.

E. That the variance does not grant special privilege to the applicant;

The location of the swimming pool, spa, trellis and barbecue area allow Applicants to enjoy the same rights as other residents of the community. The proposed location results in the least disturbance to the site while allowing other required uses (i.e., the stable and corral) to occur in the future. The natural topography limit the buildable area on site, using the primary pad allows for minimal disturbance that will preserve the natural terrain of the site and provide the safest area for young pool users.

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

G. That the variance request is consistent with the general plan of the City of Rolling Hills.

The location of the structures will cause the least disturbance to the natural terrain thus preserving the natural grade and drainage in the area.

Section 7. Based upon the foregoing findings of this Resolution, the Planning Commission hereby approves the Site Plan Review for grading of 367 cubic yards of fill and Variances to locate the swimming pool, spa, trellis and barbecue area in front yard area and in the front yard setback subject to the following conditions:

A. The Site Plan and Variances approvals shall expire within two years from the effective date of approval if grading or construction has not commenced within two years of the approval as defined in RHMC §§ 17.46.080, 17.42.070, 17.38.070, respectively, unless otherwise extended pursuant to the requirements of those code sections.

B. If any condition of this Resolution is violated, the entitlement granted by this Resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicants cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which

the agenda has not yet been posted; the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to RHMC Chapter 17.58.

C. All requirements of the Building Code and the Zoning Ordinance including outdoor lighting requirements, roofing material requirements, stable and corral area set aside requirements and all other requirements of the zone in which the subject property is located must be complied with, unless otherwise set forth in this approval.

D. The project shall be developed and maintained in substantial conformance with the Site Plan on file in the City Planning Department dated July 9, 2021 or as may be further amended and approved by the Los Angeles County Building Department, the City's Community Services and Planning Director, or Planning Commission pursuant to Section 17.38.065, 17.42.065, and 17.46.070, attached.

E. Structural lot coverage shall not exceed 5,340 square feet or 12.6% in conformance with lot coverage limitations of the Zoning Ordinance.

F. Total lot coverage of structures and paved areas shall not exceed 5,127 square feet or 10.71% in conformance with lot coverage limitations of the Zoning Ordinance.

G. The disturbed area of the lot shall not exceed 26.37%, which is in conformance with 40% maximum lot disturbance limitations.

H. Residential building pad coverage shall not exceed 29.51%.

I. Grading fill for this project shall not exceed 367 cubic yards.

J. The property on which the project is located shall contain a set aside area to provide an area meeting all standards for a stable, corral with access thereto as is shown on the plan dated July 9, 2021.

K. 65% of the demolition and construction materials shall be recycled/diverted. Prior to granting a final inspection, verification to be submitted to staff regarding the amount of recycled/diverted material and where it was taken on forms provided by the City. The hauling company shall obtain a hauling permit and pay the applicable fees. The applicant shall apply for a Construction and Demolition Debris permit if clearing, grubbing and demolition will take place prior to issuance of the Final Planning Approval.

L. No irrigation or drainage device may be located on a property in such a manner as

to contribute to erosion or in any way adversely affect easements, natural drainage course or a trail. Drainage for this project shall be approved by the Building and Safety Department.

M. All graded areas shall be landscaped. Landscaping shall be designed using native plants, shrubs and trees. Any new trees and shrubs planned to be planted in conjunction with this project shall, at maturity, not be higher than the ridge height of the main residence. No plants shall be planted, which would result in a hedge like screen. Eucalyptus, palms, pampas grass, juniper, pine and acacia shall not be planted on site.

N. The landscaping shall be subject to the requirements of the City's Water Efficient Landscape Ordinance, (Chapter 13.18 of the RHMC), and shall be submitted to the City prior to obtaining a grading permit. .

O. During construction, dust control measures shall be used to stabilize the soil from wind erosion and reduce dust and objectionable odors generated by construction activities in accordance with South Coast Air Quality Management District, Los Angeles County and local ordinances, and engineering practices.

P. During construction, activities shall conform with air quality management district requirements, stormwater pollution prevention practices, county and local ordinances, and engineering practices so that people and property are not exposed to undue vehicle trips, noise, dust, objectionable odors, landslides, mudflows, erosion, or land subsidence.

Q. During construction, to the extent feasible, all parking shall take place on the project site, but if necessary, any overflow parking may take place within the nearby roadway easements, without blocking access to and over the common driveway to the residences adjacent thereto.

R. The Applicants shall be responsible for keeping the common access roadway in good condition during the entire construction process and shall, at their sole expense, make necessary repairs to the common access roadway should any damage occur during construction of their project.

S. During construction, the Applicants shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

T. If an above ground drainage design is utilized, it shall be designed in such a manner as not to cross over any equestrian trails. Any drainage system shall not discharge water onto a trail, shall incorporate earth tone colors, including in the design of the dissipater and be screened from any trail and neighbors views to the maximum extent practicable, without impairing the function of the drain system.

U. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: [http://www.wrhn.noaa.gov/lox/main.php?suite=safety&page=hazard\\_definitions#FIRE](http://www.wrhn.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE). It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions. Should a red flag warning be declared and if work is to be conducted on the

property, the contractor shall have readily available fire distinguisher.

V. The Applicants shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage, cisterns, and storm water drainage facilities management and to the City's Low Impact development Ordinance (LID), if applicable. Further the Applicants shall be required to conform to the County Health Department requirements for a septic system.

W. Prior to finaling of the project an "as graded" and "as constructed" plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan and one hardcopy and one electronic copy shall be submitted to the Planning Department prior to issuance of the Final Certificate of Occupancy.

X. The project shall be reviewed and approved by the Rolling Hills Community Association Architectural Review Committee prior to the issuance of any permits.

Y. The working drawings submitted to the County Department of Building and Safety for plan check review shall conform to the development plan described in Condition D.

Z. Prior to submittal of final plans to the Building Department for issuance of grading and/or building permits, the plans for the project shall be submitted to staff for verification that the final plans are in compliance with the plans approved by the Planning Commission

AA. Prior to the issuance of building or grading permits, Applicant shall execute an Affidavit of Acceptance of all conditions of this permit pursuant to Zoning Ordinance, or the approval shall not be effective. The affidavit shall be recorded together with the Resolution against the Property. Applicants shall be and remain in compliance with all conditions of this permit.

BB. Prior to finaling of the project an "as graded" and "as constructed" plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan.

CC. The applicant shall comply with the Requirements of the Fire Department for access, water flow and fire fuel modification prior to issuance of the Building permit.

DD. The conditions of approval enumerated in this Resolution shall be printed on the front sheet of the development plans and shall be available at the site at all times.

EE. Before construction, Applicants shall clear the property of any dead or alive tumbleweed or dead tree, shrub, palm frond or other plant.

FF. Applicants shall indemnify, protect, defend, and hold the City, and/or any of its officials, officers, employees, agents, departments, agencies, authorized volunteers and

instrumentalities thereof, harmless from any and all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolution procedures (including, but not limited to arbitrations, mediations, and other such procedures), judgments, orders, and decisions (collectively “Actions”), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City) for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Code of Civil Procedure Sections 1085 or 1094.5, or any other federal, state, or local constitution, statute, law, ordinance, charter, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City’s defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.

PASSED, APPROVED AND ADOPTED THIS 20TH DAY OF JULY 2021.

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BRAD CHELF, CHAIRMAN

ATTEST:

\_\_\_\_\_  
JANELY SANDOVAL, CITY CLERK

STATE OF CALIFORNIA            )  
COUNTY OF LOS ANGELES       ) §§  
CITY OF ROLLING HILLS         )

I certify that the foregoing Resolution No. 2021-10 entitled:

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR GRADING AND VARIANCES TO LOCATE THE NEW SWIMMING POOL, SPA, BARBECUE AND TRELLIS IN THE FRONT YARD AREA AND FOR THE NEW SWIMMING POOL AND SPA TO ENCROACH INTO FRONT YARD SETBACK ON A LOT LOCATED AT 3 OUTRIDER ROAD, ROLLING HILLS, CA (HOYLER). PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT**

was approved and adopted at an adjourned regular meeting of the Planning Commission on July 20, 2021 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

and in compliance with the laws of California was posted at the following:

Administrative Officer

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JANELY SANDOVAL, CITY CLERK

## RESOLUTION NO. 2021-10

### **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR GRADING AND VARIANCES TO LOCATE THE NEW SWIMMING POOL, SPA, BARBECUE AND TRELLIS IN THE FRONT YARD AREA AND FOR THE NEW SWIMMING POOL AND SPA TO ENCROACH INTO FRONT YARD SETBACK ON A LOT LOCATED AT 3 OUTRIDER ROAD, ROLLING HILLS, CA. PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT. (HOYLER)**

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

Section 1. An application was duly filed by Mr. and Mrs. Hoyler (“Applicants”) with respect to real property located at 3 Outrider Road, Rolling Hills, requesting a Site Plan Review for grading of 437 cubic yards of cut and 367 cubic yards of fill and Variances for construction new swimming pool, spa, barbecue, trellis and deck in the front yard and for encroachment of the new swimming pool and spa into the front yard setback.

Section 2. The Planning Commission conducted duly noticed public hearings to consider the application on July 10, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studied said proposal.

Section 3. The property is zoned RAS-1 and has a net lot area of 47,878 square feet. The lot is currently developed with a 3,000 square-foot single family residence and a 1,347 square-foot attached garage. There are three existing building pads on site on different elevations. The existing residence and garage are located on the lower pad (14,917 square feet) towards the front portion of the property, the secondary building pad (2,400 square feet) is on an upper, mid-point portion of the property approximately 33 feet higher than the primary pad, and third pad is in the rear of the property approximately 20 feet above the secondary pad.

Section 4. This project is also categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) because it involves minor alteration of or addition to an existing private structure. The project consists of demolition of an existing 560 square foot swimming pool and deck and addition of new 740 square foot swimming pool with spa, barbecue, trellis, patio deck and 2.5 foot high planter.

Section 5. The Rolling Hills Municipal Code requires Site Plan Review for a project that proposes grading pursuant to RHMC Section 17.46.020(A)(1). The project proposes 347 cubic yards of pool excavation (exempt) and 367 cubic yards of fill. The Planning Commission makes the following findings:

A. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance.

The grading is necessary to fill in the void left by the previous swimming pool. Additionally, using the excavated dirt from the new pool (exempt grading) will minimize export of dirt.

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot.

The fill restores the finished grade to the current elevation of the existing front yard area.

C. The proposed development, as conditioned, is harmonious in scale and mass with the site. The proposed project is located out of sight of the street and will be visible to one neighbor, and is consistent with the scale of the neighborhood when compared to properties in the vicinity.

The project is low to the ground and does not cause any visual impact to the surrounding residences. The finished elevation of the pool deck is screened by landscaping and is hardly visible from the street elevation below the subject property.

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls).

The project is located on an existing pad and does not change the existing topography of the site.

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area.

The location of the project was previously graded to accommodate an activity area in the front yard. The pool excavation is exempt, however filling the area resulting from the demolition of the previous pool is necessary for safety and site restoration. The location of the project has been designed to minimize disturbance to the natural terrain of the rest of the project site.

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course.

The location of the project was previously graded to accommodate an activity area and the previous swimming pool. The fill will not redirect drainage flow.

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas.

The location of the project minimizes lot disturbance by using an existing pad that previously accommodated a swimming and activity area. The project will incorporate landscaping that is approved by the Fire Department in conformance with its fire fuel modification standards. The project also incorporates planting in front of the pool deck to minimize its visual

impact from the street below.

H. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles.

The project will not change the on- and off-site circulation patterns. The primary access to the site will remain in the same location.

I. The project conforms to the requirements of the California Environmental Quality Act.

The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15304 (Minor Alterations to Land) of the CEQA Guidelines, which exempts minor alterations in the condition of land, including but not limited to grading on land with a slope of less than 10 percent. The grading taking place on the property is on land with a slope of less than 10 percent to account for the swimming pool, spa, deck, barbecue and trellis. The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences.

Section 6. The Rolling Hills Municipal Code requires a Variance for structures in the front yard pursuant to RHMC 17.12.250 and for structures that project into the front yard setback pursuant to RHMC Section 17.12.190. The project proposes to locate a new swimming pool, spa and trellis in the front yard area, and for the swimming pool and spa to encroach into the front yard setback. The Planning Commission makes the following findings:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone.

The previous pool was located in the same area approximately 20 feet from the new pool location. Applicants are proposing the pool in the same area for the safety of their children. Relocating the pool approximately 30 feet higher behind the main residence prevents “eyes on the children” while they are in the pool. The existing house is designed to open into the courtyard area where the pool is located, on the same elevation as the house.

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;

The project location helps preserve the natural terrain of the rest of the site. The proposed pool is located on the same elevation as the previous pool where it is visible from the main house, which allows adults to monitor children in the swimming pool.

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;

The location of the structures in the front yard will protect the undeveloped portion of the property and will minimize further disturbance of the site. The project will be constructed in

accordance with the adopted Building Codes.

D. That in granting the variance, the spirit and intent of this title will be observed;

The granting of relief from the code will allow the applicant to enjoy the same rights enjoyed by other residents in the community. Many of the developments in the City have approved pools in the front yard. To minimize visual impact of the pool deck, Applicants will landscape the front of the pool deck to help improve aesthetics.

E. That the variance does not grant special privilege to the applicant;

The location of the swimming pool, spa, trellis and barbecue area allow Applicants to enjoy the same rights as other residents of the community. The proposed location results in the least disturbance to the site while allowing other required uses (i.e., the stable and corral) to occur in the future. The natural topography limit the buildable area on site, using the primary pad allows for minimal disturbance that will preserve the natural terrain of the site and provide the safest area for young pool users.

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities.

The project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

G. That the variance request is consistent with the general plan of the City of Rolling Hills.

The location of the structures will cause the least disturbance to the natural terrain thus preserving the natural grade and drainage in the area.

Section 7. Based upon the foregoing findings of this Resolution, the Planning Commission hereby approves the Site Plan Review for grading of 367 cubic yards of fill and Variances to locate the swimming pool, spa, trellis and barbecue area in the front yard area and into the front yard setback subject to the following conditions:

A. The Site Plan and Variances approvals shall expire within two years from the effective date of approval if grading or construction has not commenced within two years of the approval as defined in RHMC §§ 17.46.080, 17.42.070, 17.38.070, respectively, unless otherwise extended pursuant to the requirements of those code sections.

B. If any condition of this Resolution is violated, the entitlement granted by this Resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicants cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or

disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted; the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to RHMC Chapter 17.58.

C. All requirements of the Building Code and the Zoning Ordinance including outdoor lighting requirements, roofing material requirements, stable and corral area set aside requirements, pool safety measures, and all other requirements of the zone in which the subject property is located must be complied with, unless otherwise set forth in this approval.

D. The project shall be developed and maintained in substantial conformance with the Site Plan on file in the City Planning Department dated July 9, 2021 or as may be further amended and approved by the Los Angeles County Building Department, the City's Community Services and Planning Director, or Planning Commission pursuant to Section 17.38.065, 17.42.065, and 17.46.070, attached.

E. Structural lot coverage shall not exceed 5,340 square feet or 12.6% in conformance with lot coverage limitations of the Zoning Ordinance.

F. Total lot coverage of structures and paved areas shall not exceed 5,127 square feet or 10.71% in conformance with lot coverage limitations of the Zoning Ordinance.

G. The disturbed area of the lot shall not exceed 26.37%, which is in conformance with 40% maximum lot disturbance limitations.

H. Residential building pad coverage shall not exceed 29.51%.

I. Grading fill for this project shall not exceed 367 cubic yards.

J. The property on which the project is located shall contain a set aside area to provide an area meeting all standards for a stable, corral with access thereto as is shown on the plan dated July 9, 2021.

K. 65% of the demolition and construction materials shall be recycled/diverted. Prior to granting a final inspection, verification to be submitted to staff regarding the amount of recycled/diverted material and where it was taken on forms provided by the City. The hauling company shall obtain a hauling permit and pay the applicable fees. The applicant shall apply for a Construction and Demolition Debris permit if clearing, grubbing and demolition will take place prior to issuance of the Final Planning Approval.

L. No irrigation or drainage device may be located on a property in such a manner as

to contribute to erosion or in any way adversely affect easements, natural drainage course or a trail. Drainage for this project shall be approved by the Building and Safety Department.

M. All graded areas shall be landscaped. Landscaping shall be designed using native plants, shrubs and trees. Any new trees and shrubs planned to be planted in conjunction with this project shall, at maturity, not be higher than the ridge height of the main residence. No plants shall be planted, which would result in a hedge like screen. Eucalyptus, palms, pampas grass, juniper, pine and acacia shall not be planted on site.

N. The landscaping shall be subject to the requirements of the City's Water Efficient Landscape Ordinance, (Chapter 13.18 of the RHMC), and shall be submitted to the City prior to obtaining a grading permit.

O. During construction, dust control measures shall be used to stabilize the soil from wind erosion and reduce dust and objectionable odors generated by construction activities in accordance with South Coast Air Quality Management District, Los Angeles County and local ordinances, and engineering practices.

P. During construction, activities shall conform with air quality management district requirements, stormwater pollution prevention practices, county and local ordinances, and engineering practices so that people and property are not exposed to undue vehicle trips, noise, dust, objectionable odors, landslides, mudflows, erosion, or land subsidence.

Q. During construction, to the extent feasible, all parking shall take place on the project site, but if necessary, any overflow parking may take place within the nearby roadway easements, without blocking access to and over the common driveway to the residences adjacent thereto.

R. The Applicants shall be responsible for keeping the common access roadway in good condition during the entire construction process and shall, at their sole expense, make necessary repairs to the common access roadway should any damage occur during construction of their project.

S. During construction, the Applicants shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

T. If an above ground drainage design is utilized, it shall be designed in such a manner as not to cross over any equestrian trails. Any drainage system shall not discharge water onto a trail, shall incorporate earth tone colors, including in the design of the dissipater and be screened from any trail and neighbors views to the maximum extent practicable, without impairing the function of the drain system.

U. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: [http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard\\_definitions#FIRE](http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE). It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions. Should a red flag warning be declared and if work is to be conducted on the

property, the contractor shall have readily available fire distinguisher.

V. The Applicants shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage, cisterns, and storm water drainage facilities management and to the City's Low Impact development Ordinance (LID), if applicable. Further the Applicants shall be required to conform to the County Health Department requirements for a septic system.

W. Prior to finaling of the project an "as graded" and "as constructed" plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan and one hardcopy and one electronic copy shall be submitted to the Planning Department prior to issuance of the Final Certificate of Occupancy.

X. The project shall be reviewed and approved by the Rolling Hills Community Association Architectural Review Committee prior to the issuance of any permits.

Y. The working drawings submitted to the County Department of Building and Safety for plan check review shall conform to the development plan described in Condition D.

Z. Prior to submittal of final plans to the Building Department for issuance of grading and/or building permits, the plans for the project shall be submitted to staff for verification that the final plans are in compliance with the plans approved by the Planning Commission

AA. Prior to the issuance of building or grading permits, Applicant shall execute an Affidavit of Acceptance of all conditions of this permit pursuant to Zoning Ordinance, or the approval shall not be effective. The affidavit shall be recorded together with the Resolution against the Property. Applicants shall be and remain in compliance with all conditions of this permit.

BB. Prior to finaling of the project an "as graded" and "as constructed" plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan.

CC. Applicants shall comply with the Requirements of the Fire Department for access, water flow and fire fuel modification prior to issuance of the Building permit.

DD. The conditions of approval enumerated in this Resolution shall be printed on the front sheet of the development plans and shall be available at the site at all times.

EE. Before construction, Applicants shall clear the property of any dead or alive tumbleweed or dead tree, shrub, palm frond or other plant.

FF. Applicants shall use planting materials that will screen the swimming pool deck and garden walls from view at street level. Landscaping shall screen any required railings to the maximum extent feasible.

GG. Applicants shall indemnify, protect, defend, and hold the City, and/or any of its officials, officers, employees, agents, departments, agencies, authorized volunteers and instrumentalities thereof, harmless from any and all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolution procedures (including, but not limited to arbitrations, mediations, and other such procedures), judgments, orders, and decisions (collectively “Actions”), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City) for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Code of Civil Procedure Sections 1085 or 1094.5, or any other federal, state, or local constitution, statute, law, ordinance, charter, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City’s defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.

PASSED, APPROVED AND ADOPTED THIS 20TH DAY OF JULY 2021.

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BRAD CHELF, CHAIRMAN

ATTEST:

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JANELY SANDOVAL, CITY CLERK

STATE OF CALIFORNIA            )  
COUNTY OF LOS ANGELES       ) §§  
CITY OF ROLLING HILLS         )

I certify that the foregoing Resolution No. 2021-10 entitled:

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR GRADING AND VARIANCES TO LOCATE THE NEW SWIMMING POOL, SPA, BARBECUE AND TRELLIS IN THE FRONT YARD AREA AND FOR THE NEW SWIMMING POOL AND SPA TO ENCROACH INTO FRONT YARD SETBACK ON A LOT LOCATED AT 3 OUTRIDER ROAD, ROLLING HILLS, CA (HOYLER). PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT**

was approved and adopted at an adjourned regular meeting of the Planning Commission on July 20, 2021 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

and in compliance with the laws of California was posted at the following:

Administrative Officer

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JANELY SANDOVAL, CITY CLERK