



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

2 PORTUGUESE BEND ROAD
ROLLING HILLS, CA 90274
(310) 377-1521

AGENDA
Regular Planning Commission
Meeting

PLANNING COMMISSION
Tuesday, March 21, 2023

CITY OF ROLLING HILLS
6:30 PM

This meeting is held pursuant AB 361

All Planning Commissioners will participate by teleconference. Public Participation: City Hall will be closed to the public until further notice.

A live audio of the Planning Commission meeting will be available on the City's website (<https://www.rolling-hills.org/PC%20Meeting%20Zoom%20Link.pdf>).

The meeting agenda is also available on the City's website (<https://www.rolling-hills.org/government/agenda/index.php>).

Join Zoom Meeting via [https://us02web.zoom.us/j/99343882035?](https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFbllFZz09)
pwd=MWZXaG9ISWdud3NpajYwY3dFbllFZz09
Meeting ID: 993 4388 2035 Passcode: 647943

Members of the public may submit comments in real time by emailing the City Clerk's office at cityclerk@cityofrh.net. Your comments will become a part of the official meeting record. You must provide your full name but do not provide any other personal information (i.e., phone numbers, addresses, etc) that you do not want to be published.

1. CALL TO ORDER

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE

4. APPROVE ORDER OF THE AGENDA

This is the appropriate time for the Chair or Commissioners to approve the agenda as is or reorder.

5. BLUE FOLDER ITEMS (SUPPLEMENTAL)

Blue folder items are additional back up material to administrative reports and/or public comments received after the printing and distribution of the agenda packet for receive and file.

6. PUBLIC COMMENTS ON NON-AGENDA ITEMS

This section is intended to provide members of the public with the opportunity to comment on any subject that does not appear on this agenda for action. Each speaker will be permitted to speak only once. Written requests, if any, will be considered first under this section.

7. CONSENT CALENDAR

Business items, except those formally noticed for public hearing, or those pulled for discussion are assigned to the Consent Calendar. The Chair or any Commissioner may request that any Consent Calendar item(s) be removed, discussed, and acted upon separately. Items removed from the Consent Calendar will be taken up under the "Excluded Consent Calendar" section below. Those items remaining on the Consent Calendar will be approved in one motion. The Chair will call on anyone wishing to address the Commission on any Consent Calendar item on the agenda, which has not been pulled by Commission for discussion.

7.A. APPROVE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION REGULAR MEETING OF MARCH 21, 2023

RECOMMENDATION: Approve as presented.

[CL_AGN_230321_PC_AffidavitofPosting.pdf](#)

7.B. CONTINUATION OF REMOTE PLANNING COMMISSION MEETINGS DURING THE MONTH OF MARCH 2023, PURSUANT TO THE REQUIREMENTS OF AB 361

RECOMMENDATION: Adopt Resolution No. PC 2023-03.

[2023-03_PC_Resolution_Updated_AB361_Findings.pdf](#)

7.C. APPROVE THE MINUTES FOR THE FEBRUARY 21, 2023, PLANNING COMMISSION MEETINGS

RECOMMENDATION: Approve as presented.

[CL_MIN_230221_PC_F.pdf](#)

[CL_MIN_230221_PC_FT_F.pdf](#)

8. EXCLUDED CONSENT CALENDAR ITEMS

9. PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING

9.A. ZONING CASE NO. 22-51: REQUEST FOR APPROVAL OF A SITE PLAN REVIEW FOR 1) A 912-SQUARE-FOOT SWIMMING POOL/SPA, 2) DETACHED GARAGE, 3) APPURTENANT STRUCTURES, HARDSCAPE, LANDSCAPE, AND 4) NON-EXEMPT GRADING; CONDITIONAL USE PERMITS FOR 1) AN EQUESTRIAN RIDING ARENA, 2) RELOCATION OF AN EXISTING DRIVEWAY APRON, 3) 1,334-SQUARE-FOOT RECONSTRUCTED STABLE ON THE SAME FOOTPRINT; AND VARIANCES FOR 1) STRUCTURES TO ENCROACH INTO THE REQUIRED SETBACKS AND FRONT YARD, AND 2) TO EXCEED THE 20% FRONT YARD COVERAGE FOR THE DRIVEWAY, IN ZONING CASE NO. 22-81 LOCATED AT 9 PORTUGUESE BEND ROAD, AND FINDING THE PROJECT CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (LOT 74-RH) (WILLIS)

RECOMMENDATION: Open the public hearing, receive public testimony, discuss the project, and adopt Resolution No. 2023-02 approving Zoning Case No. 22-51.

[Attachment 1. Development Plans_9 Portuguese Bend Road_ZC22-81](#)

[Attachment 2. Development Table_9 Portuguese Bend Road_ZC22-81](#)

[Attachment 3. Project Summary Table_9 Portuguese Bend Road_ZC22-81](#)

[Attachment 4. Resolution No. 2023-02](#)

[Attachment 5. Traffic Commission Staff Report_9 Portuguese Bend Road_ZC22-81](#)

[Attachment 6. Traffic Engineer Report_9 Portuguese Bend Road_ZC22-81](#)

[Attachment 7. Conceptual Landscape Plan_9 Portuguese Bend Road_ZC22-81](#)

10. NEW PUBLIC HEARINGS

- 10.A. ZONING CASE NO. 22-51: REQUEST FOR APPROVAL OF A SITE PLAN REVIEW TO CONSTRUCT A NEW 7,290-SQUARE-FOOT SINGLE-FAMILY RESIDENCE WITH BASEMENT, ATTACHED GARAGE, FIVE-FOOT-HIGH RETAINING WALLS, NON-EXEMPT GRADING, AND RELATED IMPROVEMENTS; VARIANCE TO CONSTRUCT A SWIMMING POOL AND SPA IN THE FRONT YARD ON A PROPERTY LOCATED AT 4 POPPY TRAIL, ROLLING HILLS, CA 90274 (LOT 17-A-PT) (ARVIDSON), AND FINDING THE PROJECT CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

RECOMMENDATION:

Staff recommends the Planning Commission open the public hearing, receive public testimony, discuss the proposed project, provide direction to staff and the applicant, and continue the public hearing to the regularly scheduled Planning Commission meeting on April 18, 2023.

[ATTACHMENT1_CL_PBN_230321_4PoppyTrail_ZC22-51_VicinityMap.pdf](#)
[ATTACHMENT2_PL_ADR_4PoppyTrail_ZC22-51_DevelopmentTable.pdf](#)
[ATTACHMENT3_PL_ADR_4PoppyTrail_ZC22-51_ArchitecturalPlans.pdf](#)
[ATTACHMENT4_PL_ADR_4PoppyTrail_ZC22-51_LandscapePlan.pdf](#)
[ATTACHMENT5_PL_ADR_4PoppyTrail_ZC22-51_SitePlan_Grading.pdf](#)

11. OLD BUSINESS

12. NEW BUSINESS

13. SCHEDULE FIELD TRIPS

14. ITEMS FROM STAFF

1. Planning Commissioners Academy, March 29-31
(Hyatt Regency Orange County)
2. SBCCOG 23rd Annual General Assembly, March 23
(Community Center in Carson)
3. Annual Progress Report for General Plan & Housing Element

15. ITEMS FROM THE PLANNING COMMISSION

16. ADJOURNMENT

Next meeting: Tuesday, April 18, 2023 at 6:30 p.m.

Notice:

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting due to your disability, please contact the City Clerk at (310) 377-1521 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility and accommodation for your review of this agenda and attendance at this meeting.

Documents pertaining to an agenda item received after the posting of the agenda are available for review in

the City Clerk's office or at the meeting at which the item will be considered.

All of the above resolutions and zoning case items have been determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines unless otherwise stated.



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 7.A
Mtg. Date: 03/21/2023

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: CHRISTIAN HORVATH, CITY CLERK / EXECUTIVE ASSISTANT TO CITY MANAGER

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: APPROVE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION REGULAR MEETING OF MARCH 21, 2023

DATE: March 21, 2023

BACKGROUND:

None.

DISCUSSION:

None.

FISCAL IMPACT:

None.

RECOMMENDATION:

Approve as presented.

ATTACHMENTS:

[CL_AGN_230321_PC_AffidavitofPosting.pdf](#)



Administrative Report

7.A., File # 1727

Meeting Date: 3/21/2023

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) §§
CITY OF ROLLING HILLS)

AFFIDAVIT OF POSTING

In compliance with the Brown Act, the following materials have been posted at the locations below.

Legislative Body Planning Commission

Posting Type Regular Meeting Agenda

Posting Location 2 Portuguese Bend Road, Rolling Hills, CA 90274

City Hall Window

City Website: <https://www.rolling-hills.org/government/agenda/index.php>

https://www.rolling-hills.org/government/city_council/city_council_archive_agendas/index.php

Meeting Date & Time

MARCH 21, 2023

6:30pm

As City Clerk of the City of Rolling Hills, I declare under penalty of perjury, the document noted above was posted at the date displayed below.

Christian Horvath, City Clerk

Date: March 17, 2023



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 7.B
Mtg. Date: 03/21/2023

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: CHRISTIAN HORVATH, CITY CLERK / EXECUTIVE ASSISTANT TO CITY MANAGER

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: CONTINUATION OF REMOTE PLANNING COMMISSION MEETINGS DURING THE MONTH OF MARCH 2023, PURSUANT TO THE REQUIREMENTS OF AB 361

DATE: March 21, 2023

BACKGROUND:

On March 4, 2020, Governor Newsom declared a state of emergency due to COVID-19. Shortly thereafter, the Governor issued Executive Order N-25-20, which waived certain remote meeting requirements of the Ralph M. Brown Act ("Brown Act") in response to COVID-19. In September 2021, the Governor signed Assembly Bill 361 ("AB 361"), which amended the Brown Act to allow continued flexibility in holding virtual public meetings. In accordance with Executive Order N-25-20, and later AB 361, the Planning Commission has met virtually since the start of the pandemic in 2020.

DISCUSSION:

The state's COVID-19 state of emergency ended on February 28, 2023. Although the state of emergency has ended, the provisions of AB 361 will remain in effect until January 1, 2024. While AB 361 remains in effect, it authorizes public meetings to be held virtually if specified conditions are met. These conditions include when state or local officials have imposed or recommended measures to promote social distancing.

Research by staff indicates that officials continue to recommend social distancing. Specifically, California Division of Occupational Safety and Health ("Cal/OSHA") regulations—at Title 8 Section 3205—recommend physical distancing in the workplace as precautions against the spread of COVID-19 and impose certain restrictions and requirements due to a "close contact" which occurs when individuals are within six feet of another in certain circumstances. Relatedly, the Centers for Disease Control and Prevention continue to recommend avoiding contact and keeping a safe distance from a person who has a suspected or confirmed case of

COVID-19.

Staff recommends that the Planning Commission adopt the attached resolution, which makes the requisite AB 361 findings for the Planning Commission to meet virtually this month. For the duration of the time that the Commission meets virtually, staff will continue agendizing this item to enable the Commission to continue making the requisite AB 361 findings.

FISCAL IMPACT:

None.

RECOMMENDATION:

Adopt Resolution No. PC 2023-03

ATTACHMENTS:

[2023-03_PC_Resolution_Updated_AB361_Findings.pdf](#)

RESOLUTION NO. PC 2023-03

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS, CALIFORNIA, APPROVING REMOTE PLANNING COMMISSION MEETINGS PURSUANT TO THE REQUIREMENTS OF ASSEMBLY BILL 361

WHEREAS, in response to the COVID-19 pandemic, Governor Newsom declared a statewide state of emergency on March 4, 2020; and

WHEREAS, Governor Newsom signed Assembly Bill 361 (“AB 361”) on September 17, 2021, which went into effect immediately as urgency legislation; and

WHEREAS, AB 361 added section 54953(e) to the Brown Act, authorizing legislative bodies to conduct remote meetings provided the legislative body makes specified findings on a regular basis; and

WHEREAS, the Governor’s COVID-19 state of emergency ended on February 28, 2023; and

WHEREAS, notwithstanding the foregoing, AB 361 remains in effect until January 1, 2024; and

WHEREAS, AB 361 authorizes legislative bodies to continue meeting virtually if specified conditions are met. These conditions include when state or local officials have imposed or recommended measures to promote social distancing; and

WHEREAS, among other measures to promote physical distancing, the California Division of Occupational Safety and Health (“Cal/OSHA”) regulations—at Title 8 Section 3205—recommend physical distancing in the workplace as precautions against the spread of COVID-19 and impose certain restrictions and requirements due to a “close contact” which occurs when individuals are within six feet of another in certain circumstances; and

WHEREAS, the Centers for Disease Control and Prevention continue to recommend avoiding contact and keeping a safe distance from a person who has a suspected or confirmed case of COVID-19; and

WHEREAS, to allow for physical distancing and remote meeting attendance in accordance with these recommended measures, the Planning Commission does hereby find that the Planning Commission shall conduct its meetings without compliance with paragraph (3) of subdivision (b) of Government Code section 54953, as authorized by subdivision (e) of section 54953, and that the Planning Commission shall comply with the requirements to provide the public with access to the meetings electronically as prescribed in paragraph (2) of subdivision (e) of section 54953.

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE, AND ORDER AS FOLLOWS:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Section 2. The Planning Commission has considered the above circumstances and hereby recognizes that state and local officials continue to recommend social distancing measures, which can impact the ability of the City and the public to meet safely in person.

Section 3. The Planning Commission shall conduct public meetings in accordance with Government Code section 54953(e) and other applicable provisions of the Brown Act for remote only meetings.

PASSED, APPROVED AND ADOPTED THIS 21ST DAY OF MARCH, 2023.

BRAD CHELF, CHAIRMAN

ATTEST:

CHRISTIAN HORVATH, CITY CLERK

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) §§
CITY OF ROLLING HILLS)

I certify that the foregoing Resolution No. PC 2023-03 entitled:

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
ROLLING HILLS, CALIFORNIA, APPROVING REMOTE PLANNING
COMMISSION MEETINGS PURSUANT TO THE REQUIREMENTS OF
ASSEMBLY BILL 361**

was approved and adopted at a regular meeting of the Planning Commission on March
21, 2023 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

and in compliance with the laws of California was posted at the following:

Administrative Offices.

CHRISTIAN HORVATH
CITY CLERK



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 7.C

Mtg. Date: 03/21/2023

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: CHRISTIAN HORVATH, CITY CLERK / EXECUTIVE ASSISTANT TO CITY MANAGER

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: APPROVE THE MINUTES FOR THE FEBRUARY 21, 2023, PLANNING COMMISSION MEETINGS

DATE: March 21, 2023

BACKGROUND:

None.

DISCUSSION:

None.

FISCAL IMPACT:

None.

RECOMMENDATION:

Approve as presented.

ATTACHMENTS:

[CL_MIN_230221_PC_F.pdf](#)

[CL_MIN_230221_PC_FT_F.pdf](#)



Minutes
Rolling Hills Planning Commission
Tuesday, February 21, 2022
Regular Meeting 6:30 p.m.
Via tele-conference

1. CALL MEETING TO ORDER

The Planning Commission of the City of Rolling Hills met via teleconference on the above date with Chair Chelf presiding. Chair Chelf called the meeting to order at 6:30 p.m.

2. ROLL CALL

Commissioners Present: Cardenas, Cooley, Douglass, Vice Chair Kirkpatrick, Chair Chelf
Commissioners Absent: None
Staff Present: John Signo, Planning & Community Services Director
Stephanie Grant, Assistant Planner
Ryan Stager, Assistant City Attorney

3. PLEDGE OF ALLEGIANCE

Director Signo led the Pledge of Allegiance.

4. APPROVE ORDER OF THE AGENDA

Motion by Commissioner Cooley, seconded by Commissioner Douglass, to approve as is. Motion carried unanimously with the following roll call vote:

AYES: Cardenas, Cooley, Douglass, Vice Chair Kirkpatrick, Chair Chelf
NOES: None
ABSENT: None

5. BLUE FOLDER ITEMS (SUPPLEMENTAL) - NONE

6. PUBLIC COMMENTS ON NON-AGENDA ITEMS – NONE

7. CONSENT CALENDAR

7.A. APPROVE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION REGULAR MEETING OF FEBRUARY 21, 2023

7.B. CONTINUATION OF REMOTE CITY COUNCIL AND COMMISSION MEETINGS DURING THE MONTH OF FEBRUARY, 2023 PURSUANT TO THE REQUIREMENTS OF AB 361

7.C. APPROVE THE MINUTES FOR THE DECEMBER 20, 2022, PLANNING COMMISSION MEETINGS

Motion by Commissioner Cardenas, seconded by Vice Chair Kirkpatrick, to approve Items 7A, 7B, and 7C. Motion carried unanimously with the following roll call vote:

AYES: Cardenas, Cooley, Douglass, Vice Chair Kirkpatrick, Chair Chelf
NOES: None
ABSENT: None

8. EXCLUDED CONSENT CALENDAR ITEMS – NONE

9. PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETINGS – NONE

10. NEW PUBLIC HEARINGS

10.A. ZONING CASE NO. 23-003: REQUEST FOR APPROVAL OF A SITE PLAN REVIEW FOR NON-EXEMPT GRADING AND CONDITIONAL USE PERMIT FOR A PROPOSED 960-SQUARE-FOOT STABLE WITH 480-SQUARE-FOOT COVERED PORCH TO EXCEED THE ALLOWABLE 200-SQUARE-FOOT MAXIMUM LOCATED AT 74 PORTUGUESE BEND ROAD, (LOT 37-FEET) (WILSON), AND FINDING THE PROJECT CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

Presentation by Assistant Planner Grant.

Chair Chelf opened the public hearing for comments.

Dan Bolton introduced himself as the representative for the property owner.

Chair Chelf asked if there were any other speakers. Hearing none, he closed the public hearing.

Commissioners spoke in support of the project.

Motion by Commissioner Cardenas, seconded by Commissioner Douglass, to approve the project as presented. Motion carried unanimously with the following roll call vote:

AYES: Cardenas, Cooley, Douglass, Kirkpatrick, Chair Chelf
NOES: None
ABSENT: None

Commissioner Cardenas recused himself from Item 10.B, Zoning Case No. 22-81, due to proximity to the project site, but participated as a resident.

10.B. ZONING CASE NO. 22-81: REQUEST FOR APPROVAL OF A SITE PLAN REVIEW FOR A 912-SQUARE-FOOT SWIMMING POOL/SPA, APPURTENANT STRUCTURES, HARDSCAPE, LANDSCAPE, AND NON-EXEMPT GRADING; CONDITIONAL USE PERMITS FOR THE CONSTRUCTION OF A 714-SQUARE-FOOT MIXED-USE DETACHED GARAGE AND CHICKEN COOP, 3,348-SQUARE-FOOT EQUESTRIAN RIDING ARENA, RELOCATION OF AN EXISTING DRIVEWAY APRON, RECONSTRUCTED STABLE ON THE SAME FOOTPRINT; AND VARIANCES FOR STRUCTURES TO ENCROACH INTO THE REQUIRED SETBACKS, TO EXCEED THE MAXIMUM 35% LOT COVERAGE, AND TO EXCEED THE 20% FRONT YARD COVERAGE FOR THE DRIVEWAY, LOCATED AT 9 PORTUGUESE BEND ROAD, (LOT 74-RH) (WILLIS), AND FINDING THE PROJECT CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

Presentation by Director Signo.

Chair Chelf opened the public hearing for comments.

Public comments: Greg Willis (property owner), Russ Barto (architect), Sean Cardenas

Discussion provided by Chair Chelf, Commissioner Cooley, Commissioner Douglass, and Vice Chair Kirkpatrick.

Assistant City Attorney Ryan Stager provided legal guidance with a recommendation based on the Commission's discussion to continue the hearing with direction to staff to bring back a resolution of approval.

Motion by Chair Chelf, seconded by Commissioner Douglass, to direct staff to prepare a resolution of approval with modifications to: remove the chicken coop; change the use of the barn loft to allow windows; change the plate height of the loft to seven feet in compliance with Code; move the driveway two feet from the fence line; reduce the size [width] of the driveway to 24 feet; prepare a landscape plan that shows landscaping between the driveway and fence; and continue the public hearing to the March 21st Planning Commission meeting.

AYES: Cooley, Douglass, Kirkpatrick, Chair Chelf
NOES: None
ABSENT: None

11. OLD BUSINESS – NONE

12. NEW BUSINESS – NONE

13. SCHEDULED FIELD TRIPS

Assistant Planner Grant indicated there is a field trip needed for 69 Portuguese Bend Road.

14. ITEMS FROM STAFF

Director Signo indicated the State is discussing AB 361 and the future of remote public meetings and a decision should be made soon. The City Attorney's office is monitoring the issue and can report back once more information is known.

15. ITEMS FROM THE PLANNING COMMISSION – NONE

Vice Chair Kirkpatrick asked the Assistant City Attorney about lawsuits regarding the State's housing law.

Assistant City Attorney Stager indicated there is nothing new, but he can take a look and report back if needed.

16. ADJOURNMENT: 7:34 P.M.

The meeting was adjourned at 7:34 p.m. to a Planning Commission field trip on Tuesday, March 21, 2023, beginning at 7:30 a.m. at 69 Portuguese Bend Road.

Respectfully submitted,

Christian Horvath, City Clerk

Approved,

Brad Chelf, Chair



Minutes
Rolling Hills Planning Commission
Tuesday, February 21, 2023
Field Trip Meeting 7:30 a.m.
74 Portuguese Bend Road

1. CALL MEETING TO ORDER

The Planning Commission of the City of Rolling Hills met at 74 Portuguese Bend Road on the above date and the meeting was called to order at 7:32 a.m. Chair Brad Chelf presiding.

2. ROLL CALL

Commissioners Present:	Cardenas, Cooley, Douglass, Vice Chair Kirkpatrick, Chair Chelf
Commissioners Absent:	None
Staff Present:	John Signo, Planning & Community Services Director Stephanie Grant, Assistant Planner
Public Present:	Chloe Bell-Wilson, Leah Mirsch

3. COMMENTS FROM THE PUBLIC ON ITEMS NOT ON THE AGENDA – NONE

4. FIELD TRIP

4.A. APPROVE AFFIDAVIT OF POSTING FOR THE PLANNING COMMISSION FIELD TRIP MEETING OF FEBRUARY 21, 2023

Motion by Chair Chelf, seconded by Vice Chair Kirkpatrick to approve as is. Motion carried unanimously with the following voice vote:

AYES:	Cardenas, Cooley, Douglass, Kirkpatrick, Chair Chelf
NOES:	None
ABSENT:	None

4.B. ZONING CASE NO. 23-003: REQUEST FOR APPROVAL OF A SITE PLAN REVIEW FOR NON-EXEMPT GRADING AND CONDITIONAL USE PERMIT FOR A PROPOSED 960-SQUARE-FOOT STABLE WITH 480-SQUARE-FOOT COVERED PORCH TO EXCEED THE ALLOWABLE 200-SQUARE-FOOT MAXIMUM LOCATED AT 74 PORTUGUESE BEND ROAD, (LOT 37-FT) (WILSON), AND FINDING THE PROJECT CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

Presentation by Stephanie Grant, Assistant Planner.

Public Comment: None

Motion by Commissioner Cardenas, seconded by Commissioner Cooley to approve as is and consider a resolution of approval at the evening meeting. Motion carried unanimously with the following roll call vote:

AYES:	Cardenas, Cooley, Douglass, Kirkpatrick, Chair Chelf
NOES:	None
ABSENT:	None

The meeting was moved to **9 Portuguese Bend Road** where the meeting resumed starting at 7:50 a.m.

Public Present: Kelsey Fair, Leah Mirsch, Russ Barto, Melissa Willis, Greg Willis, John Gebhard

Commissioner Cardenas recused himself as a commissioner for Item 4.C due to proximity to the project site, but participated as a member of the public. He indicated he needed to leave early due to prior obligations.

4.C. ZONING CASE NO. 22-81: REQUEST FOR APPROVAL OF A SITE PLAN REVIEW FOR A 912-SQUARE-FOOT SWIMMING POOL/SPA, APPURTENANT STRUCTURES, HARDSCAPE, LANDSCAPE, AND NON-EXEMPT GRADING; CONDITIONAL USE PERMITS FOR THE CONSTRUCTION OF A 714-SQUARE-FOOT MIXED-USE DETACHED GARAGE AND CHICKEN COOP, 3,348-SQUARE-FOOT EQUESTRIAN RIDING ARENA, RELOCATION OF AN EXISTING DRIVEWAY APRON, RECONSTRUCTED STABLE ON THE SAME FOOTPRINT; AND VARIANCES FOR STRUCTURES TO ENCROACH INTO THE REQUIRED SETBACKS, TO EXCEED THE MAXIMUM 35% LOT COVERAGE, AND TO EXCEED THE 20% FRONT YARD COVERAGE FOR THE DRIVEWAY, LOCATED AT 9 PORTUGUESE BEND ROAD, (LOT 74-RH) (WILLIS), AND FINDING THE PROJECT CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

Presentation by John Signo, Director.

Presentation by Stephanie Grant, Assistant Planner.

Public Comment: Greg Willis, Russ Barto, John Gebhard

Commissioners and the public walked the property to see the various structures being proposed. The Commission discussed the project and provided comments, but no motion was made.

5. ADJOURNMENT: 8:17 A.M.

The meeting was adjourned at 8:17 a.m. to the regular meeting of the Planning Commission scheduled to be held on Tuesday, February 21, 2023 beginning at 6:30 p.m. via tele-conference.

Respectfully submitted,

Christian Horvath, City Clerk

Approved,

Brad Chelf, Chair



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 9.A
Mtg. Date: 03/21/2023

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: STEPHANIE GRANT, ASSISTANT PLANNER

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: ZONING CASE NO. 22-51: REQUEST FOR APPROVAL OF A SITE PLAN REVIEW FOR 1) A 912-SQUARE-FOOT SWIMMING POOL/SPA, 2) DETACHED GARAGE, 3) APPURTENANT STRUCTURES, HARDSCAPE, LANDSCAPE, AND 4) NON-EXEMPT GRADING; CONDITIONAL USE PERMITS FOR 1) AN EQUESTRIAN RIDING ARENA, 2) RELOCATION OF AN EXISTING DRIVEWAY APRON, 3) 1,334-SQUARE-FOOT RECONSTRUCTED STABLE ON THE SAME FOOTPRINT; AND VARIANCES FOR 1) STRUCTURES TO ENCROACH INTO THE REQUIRED SETBACKS AND FRONT YARD, AND 2) TO EXCEED THE 20% FRONT YARD COVERAGE FOR THE DRIVEWAY, IN ZONING CASE NO. 22-81 LOCATED AT 9 PORTUGUESE BEND ROAD, AND FINDING THE PROJECT CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (LOT 74-RH) (WILLIS)

DATE: March 21, 2023

BACKGROUND:

This item is continued from the Planning Commission meeting on February 21, 2023. That morning, the Planning Commission held a public meeting field trip at 9 Portuguese Bend Road. The Planning Commissioners, Staff, and attendees viewed the silhouettes of the proposed project: the relocated 912-square-foot (SF) swimming pool/spa, 714 SF detached garage, 820 SF ADU, 3,650 SF equestrian riding arena, 26-foot-wide relocated driveway, reconstructed stable, 512 SF residential additions, and relocated driveway apron. The proposed project was presented later that night at the evening Planning Commission Meeting at 6:30 p.m. via Zoom Teleconference. The Planning Commissioners voted to continue the item to the March 21, 2023 meeting to provide more time for the applicants to revise the project and for staff to prepare a resolution of approval for the Planning Commission to consider.

Zoning, Location, and Lot Description

The property is zoned RAS-1 and has a net lot area of 1.07 acre (46,610 SF). It is located on a corner lot at the intersection of Portuguese Bend Road and Lower Blackwater Canyon. The property includes a 50-foot wide roadway easement along Portuguese Bend Road and a 30-foot wide roadway easement along Lower Blackwater Canyon Road. The lot is relatively flat and has one building pad. The lot is developed with a 3,809 SF foot main residence, 544 SF detached garage, 1,589 SF legal non-conforming guesthouse with attached trellis, 1,334 SF stable, 690 SF pool/spa, 30 SF pool equipment, 114 SF water feature, 140 SF storage sheds, and 200 SF service yard. The existing hardscape includes a 1,540 SF parking pad that is accessible from two main driveways connecting to Portuguese Bend Road and Lower Blackwater Canyon Road. There is a third driveway located on Lower Blackwater Canyon Road that provides access to the stable.

Previous Approvals

On November 10, 2022, the Traffic Commission approved the relocation of the existing driveway apron located at the corner of Lower Blackwater Canyon Road and Portuguese Bend Road. The existing driveway apron will be shifted 10 feet north of the existing location.

On July 17, 2012, the Planning Commission adopted Resolution No. 2012-14 approving a Variance in Zoning Case No. 819 to permit construction of an addition to encroach into the rear yard setback and to retain a shed in the rear yard setback. According to the Los Angeles County Assessors Office, the main house was built in 1936. However, there are several building permits that date from 1957 to present for improvements, additions, and construction.

DISCUSSION:

On February 21, 2023, the Planning Commissioners voted to continue the item to provide more time for the applicants to revise the project and for staff to prepare a resolution of approval for the Planning Commission to consider. The applicant has since revised the project as follows:

1. The chicken coop has been removed from the plans.
2. The driveway width has been reduced from 26 feet to 24 feet.
3. The riding ring has been moved 2 feet off of the fence line to allow for future screening
4. The stable has been redesigned to comply with HOA requirements; 9-foot plate height at the lower level, 7-foot plate height at the loft, and operable shutters at the windows. The proposed stable is 1,334 square feet with a second story 765 SF loft. The total proposed stable is 2,099 SF. The loft will be used for general storage instead of hay storage.
5. Parking for the ADU has been removed and replaced with a storage bin in the same location.

The overall Project includes items subject to Administrative Review: interior and exterior remodel, 521 SF of additions to the main residence, a new 820 SF accessory dwelling unit (ADU), reconfiguration of hardscape and landscape, maximum 3-foot-high walls, and removal of existing walkways and sheds. There are other items that are part of the Administrative Review that include new fountains, water features, new patio, new fire pit, new trash bin

enclosure, and a reconfigured pool deck, but these items are also subject to Discretionary Approval due to their locations in the setbacks.

Applicant Requests

Site Plan Review for Swimming Pool/Spa 800 SF or Greater

The Applicants are proposing to demolish the existing 544 SF swimming pool and rebuild a new 912 SF pool and spa north of the existing pool, with the spa shifted east of the existing pool footprint. Rolling Hills Municipal Code requires a Site Plan Review for the construction of a swimming pool and spa 800 SF or greater. The existing 3,190 SF pool deck will be decreased by 900 square feet; the new pool deck will be 2,290 SF.

Site Plan Review for Detached Garage

The project proposes to demolish the existing 544 SF detached garage. The existing detached garage encroaches onto the west property line and encroaches 10 feet into the existing west Rolling Hills Community Association (RHCA) easement. The Applicants are requesting a Site Plan Review for the relocation and reconstruction of a new 712 SF detached garage. The new garage will be reconstructed 10 feet away from the west property line and west RHCA easement. The orientation of the new garage has been designed with the newly reconfigured driveway to improve the traffic circulation on the property. The new detached garage is accessible from the driveways located on Portuguese Bend Road and Lower Blackwater Canyon Road. The proposed new garage will encroach 10 feet into the 50 foot front setback, the Applicant's are requesting a Variance to encroach in the front setback.

Site Plan Review for Non-Exempt Grading for Riding Arena

The Applicants are requesting a Site Plan Review for the grading of a new 3,650 SF equestrian riding arena (93 feet long by 36 feet wide). The proposed location of the riding arena is along the eastern property line and will encroach 20 feet into the required 20-foot side yard setback. The Applicants are requesting a Variance to encroach into the side yard setback. RHMC Section 17.46.010.A.1. requires a Site Plan Review for non-exempt grading. The Applicants are proposing a total of 265 cubic yards (CY) of cut. The 177 CY of cut for the swimming pool is exempt from grading calculation if exported. The project includes 88 CY of cut at 1.4-foot depth in the northern portion of the arena. The 88 CY (non-exempt) of cut and 177 CY (exempt) for the swimming pool will be used to fill the southern portion of the arena. Although, 177 CY of cut from the pool is exempt for export, the Applicants are proposing to use the cut from the pool to fill the arena, which requires a Site Plan Review. The fill is included in the grading calculations.

OVERALL SITE GRADING

Cut: Swimming Pool/Spa	-177 CY
Cut: North Arena	-88 CY
Fill: South Arena	+265 CY
Total Grading	530 CY

Conditional Use Permit for Equestrian Riding Arena

The Applicants are requesting a Conditional Use Permit for a new 3,650 equestrian riding ring.

The new riding ring arena is proposed to be located on the property so that it will not be in close proximity to the existing residence or other residences in the area.

Conditional Use Permit for Stable to Exceed Maximum 200 Square Feet

The Applicants are proposing to demolish an existing 1,334 SF stable and reconstruct a new 2,099 SF stable on the same footprint. The reconstructed stable encroaches 20 feet into the required 20-foot side yard setback. The Project proposes a second story 765 SF storage loft area. The maximum stable height is 21 feet 5 inches in height. The maximum height of the second story loft will not exceed 7 FT in height.

Conditional Use Permit for the Relocation of an Existing Driveway Apron

There are a total of three existing driveway aprons on the property. The main driveway (1st Driveway) is located ten feet from the property line and fronts onto Portuguese Bend Road. The second driveway apron (2nd Driveway) is located at the corner intersection of Portuguese Bend Road and Lower Upper Blackwater Canyon Road. The third driveway apron (3rd Driveway) fronts onto Lower Blackwater Canyon Road and is used for stable access.

The Applicants are requesting a Conditional Use Permit for the relocation of the 2nd Driveway apron. The relocation of the proposed driveway is a safer location for the Applicants because it is shifted farther from the intersection. The relocation of the 2nd Driveway was approved by the Traffic Commission on November 10, 2022.

Variances

Variance for Structures to Encroach into the Required Setbacks and Front Yard

The Applicants are requesting several Variances for the proposed structures to encroach into the required setbacks. Variances are needed for the new patio, new fire pit, new water fountain, portion of the reconstructed stable, new bin enclosure, portion of the arena, and portion of the reconfigured new driveway to encroach into the required setbacks. The table below summarizes the non-compliance with the development standards of the RHMC.

Description	RAS-1 Setbacks RMHC Section 17.16.110 – 17.16.130	Proposed
New fire pit in northwest corner	Rear yard setback: 50' Side yard setback: 20'	Encroaches 15' into west side setback and 29' into rear setback
New patio in northwest corner	Rear yard setback: 50' Side yard setback: 20'	Encroaches 12' into west side setback and 27' into rear setback
120 SF addition in northwest portion of residence	Rear yard setback: 50'	Encroaches 21' into rear setback
New 28 SF water fountain in northwest portion of lot	Side setback: 20'	Encroaches 8' into rear setback

230 SF addition in northeast portion of residence	Side setback: 20'	Encroaches 37' into rear setback
Relocated 768 SF swimming pool	Rear yard setback: 50'	Encroaches 7' into rear setback
Reconstructed 2,099 SF stable on same footprint	Rear yard setback: 50' Side yard setback: 20'	Encroaches 40' into rear setback and 20' into east side setback
Relocated 200 SF trash enclosure in northeast corner	Side setback 20 feet	Encroaches 16'; into east side setback
New 3,650 SF equestrian riding arena	Side setback 20 feet	Encroaches 18' into the east side setback
Relocated 24' wide driveway	20% front setback area maximum	Total 58.9% (exceeds by 38.9%)
Relocated 714 SF garage	Front setback 50 feet, side setback 20 feet	Encroaches 10'; into front setback and 10' into west side setback

Variance for Proposed Driveway to Exceed 20% Front Yard Setback and Area

The new driveway will cover 58.9% of the front setback area and a Variance is required to exceed the required 20% maximum. The proposed driveway will be located along the southeastern portion of the property. The new driveway will be 24 feet wide and over 200 feet long. It will be located along the fence that fronts Portuguese Bend Road. The new driveway will be shifted two feet away from the existing wall. The Project also includes a motor court located north of the new garage. There will be an ADU parking space next to the new garage. The existing landscape along the southeastern portion will be removed and replaced with the new driveway.

MUNICIPAL CODE COMPLIANCE

Lot Coverage

The existing structural lot coverage is 8,430 SF or 18.1% with deductions, and the project proposes to increase by adding 940 SF or 2.0%, and the total proposed structural lot coverage is 9,398 SF or 20.1% with deductions. This complies with the 20% maximum allowable structural lot.

The existing flatwork coverage is 16,960 SF or 36.4% this exceeds the maximum allowable 20%. The Applicants are proposing to deduct at total of 5,212 SF or 11.2% of the existing flatwork. There will be 2,125 SF deducted from the existing walkways, 1,010 SF deducted from the existing patios, 2,750 SF deducted from the existing stable area, and 900 SF deducted from the existing pool deck. The project proposes to add 375 SF to the primary driveway and add 1,196 SF to the new parking pad. The total proposed flatwork for the project is 11,745 SF or 25.2%, and this exceeds the maximum allowable by 5.2%, but the project proposes to decrease the existing flatwork coverage from 16,960 SF or 36.4% to 11,745 SF or 25.2%.

The proposed total flatwork coverage is including structures and flatwork will be 17,373 SF or 37.3% of the lot area, which is more than the lot coverage limitation of 35% maximum. The

total existing structural and flatwork is 22,510 SF or 48.3% (with deductions). However, the project will decrease the total structural and flatwork by 5,137 SF or 11% (with deductions). The existing combined structural and flatwork lot coverage is 25,410 SF or 54.5%, and the project proposes a deduction of 4,071 SF or 8.6%. The total proposed structural and flatwork lot coverage is 21,339 SF or 45.8% with deductions. The overall flatwork and structural lot coverage of the proposed project decreases by 8.6%. Although the existing structural and flatwork exceeds the maximum allowable 35%, the Project actually lowers the existing flatwork by 11.2%. The proposed total structural and flatwork is 21,339 SF (45.8%).

Area of Disturbance

The existing project site is 100% disturbed.

Access to Stable

The northwestern portion of the lot has been developed for equestrian uses. There is an existing 896 SF paddock, 1,334 SF stable, and a driveway that is accessible from Lower Black Water Canyon Road. The project will reconfigure the existing driveway access by removing the existing pavers and replacing with gravel. Access will be provided to the new riding arena. The existing 1,334 SF stable will be demolished and reconstructed with a new 2,099 SF stable on the existing footprint.

Hardscape

The configuration of the existing hardscape has been redesigned to improve the circulation and onsite parking. The 24-foot-wide driveway design will accommodate on-site guest parking. The existing hardscape is 16,960 SF or 36.4%, and the project proposes to deduct 5,212 SF or 11.2%. Although the currently the existing hardscape exceeds the 20% maximum allowable by 16.4%, the project proposes to decrease the hardscape to 11,745 SF or 25.2%. The existing arterial walkways and driveways will be removed, and replaced with new hardscape/landscaping, the Project also proposes a new equestrian riding arena along the east portion of the subject property. The existing driveway stable area is a total of 3,800 SF, and the hardscape will be decreased by 2,750 SF. The Project proposes a new stable driveway 1,050 SF area that will be repaved with gravel.

Landscape

There is existing landscaping throughout the property, including along the roadways which helps screen the residence for privacy. The Conceptual Landscape Plan has been reviewed by the City's landscape consultant. There is existing landscaping throughout the property, including along the roadways which helps screen the residence for privacy. The existing landscape along the fence and existing driveway will be removed. The project proposes a 2-foot-wide space along the new driveway and existing wall that will be replanted with Slavia Allen Chickering (5 gallon). The Conceptual Landscape Plan has been reviewed by the City's landscape consultant. The Project proposes a total of 14,512 SF of new grass, 2,348 SF of new planters with mulch, and 3,440 SF of arena mulch.

Walls

The maximum height of all proposed walls will not exceed 3 feet.

Public Participation

Staff has not received any emails or phone calls regarding this project.

FISCAL IMPACT:

None.

RECOMMENDATION:

Open the public hearing, receive public testimony, discuss the project, and adopt Resolution No. 2023-02 approving Zoning Case No. 22-81.

ATTACHMENTS:

[Attachment 1. Development Plans_9 Portuguese Bend Road_ZC22-81](#)

[Attachment 2. Development Table_9 Portuguese Bend Road_ZC22-81](#)

[Attachment 3. Project Summary Table_9 Portuguese Bend Road_ZC22-81](#)

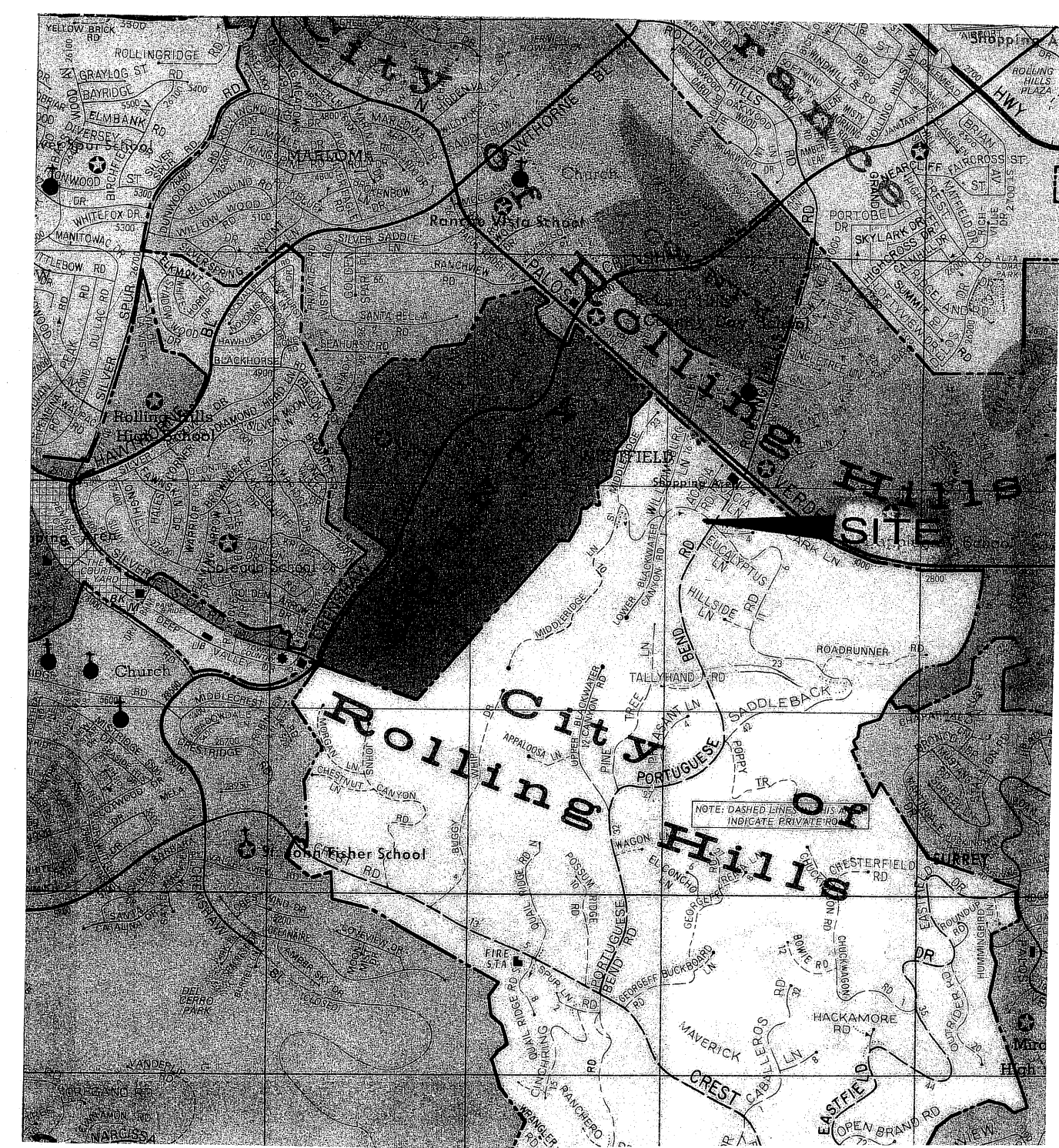
[Attachment 4. Resolution No. 2023-02](#)

[Attachment 5. Traffic Commission Staff Report_9 Portuguese Bend Road_ZC22-81](#)

[Attachment 6. Traffic Engineer Report_9 Portuguese Bend Road_ZC22-81](#)

[Attachment 7. Conceptual Landscape Plan_9 Portuguese Bend Road_ZC22-81](#)

VICINITY MAP



WILLIS ADDITION
9 Portuguese Bend Road
Rolling Hills, CA 90274

SHEET INDEX

SHEET	DESCRIPTION
1	VICINITY MAP, SHEET INDEX, PROJECT INFORMATION, CONSULTANTS
2	PLOT PLAN, ROOF PLAN
3	FLOOR PLAN
4	EXTERIOR ELEVATIONS
5	ADU FLOOR PLAN / EXTERIOR ELEVATIONS
6	STABLE FLOOR PLAN
7	EXTERIOR ELEVATIONS
8	GARAGE FLOOR PLAN / EXTERIOR ELEVATIONS

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Palos Verdes Estates, CA 90274
tel:(310) 378-1355 fax:(310) 378-6298
russbarto@earthlink.net

PROJECT INFORMATION

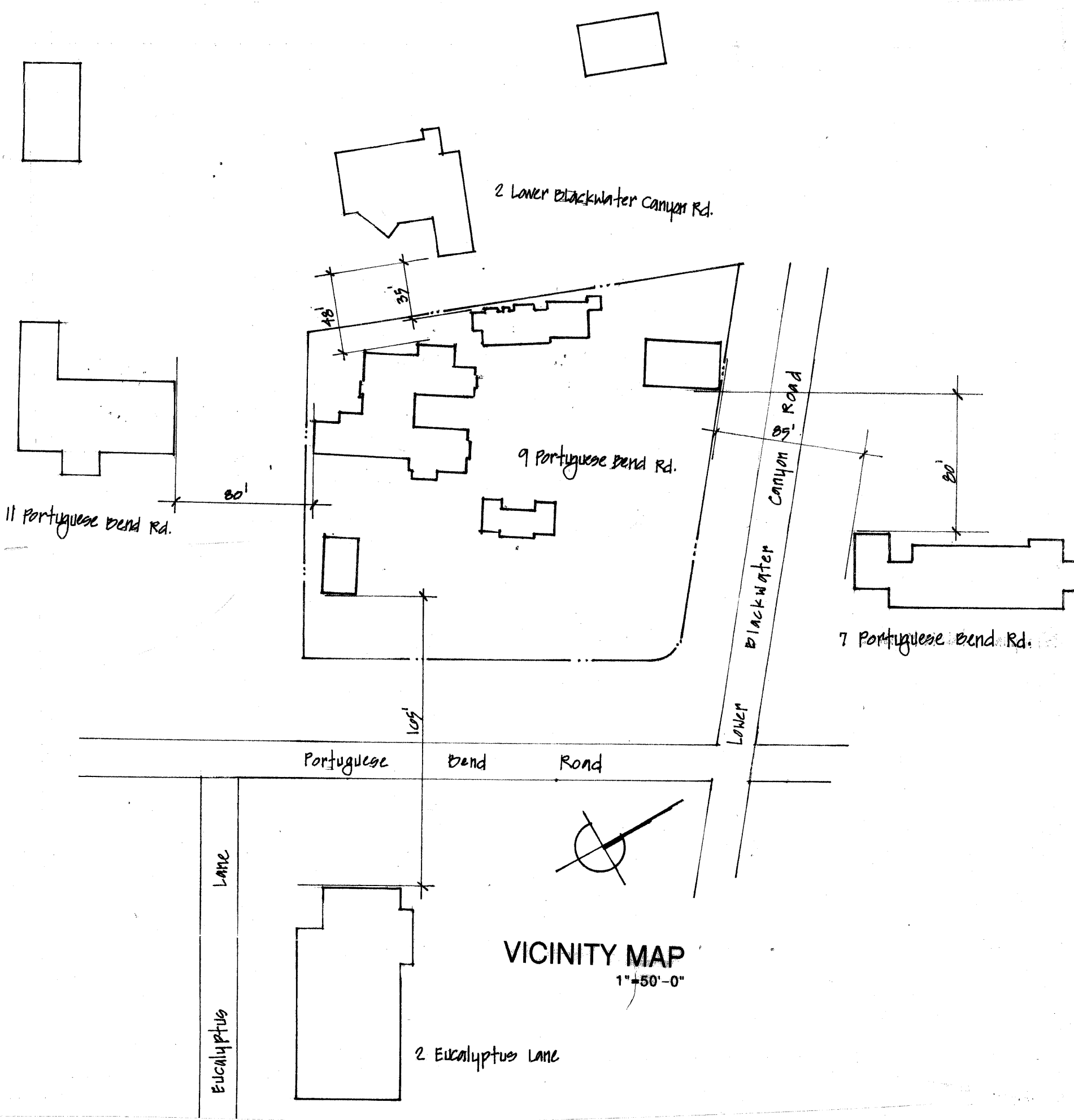
CONSULTANTS

WILLIS ADDITIONS/REMODEL 9 Portuguese Bend Road
Lot Coverage Summary 3/9/2023

Net lot area:		46,610 sf	
STRUCTURES	existing	proposed	total
Main house	3809	521	4330
Garage	544	170 net	714
Guesthouse	1589	0	1589
Stable	1334	0 net	1334
(rebuild on same footprint)			
Pool/spa	690	222 net	912
Pool equip	30	0	30
Water feature	114	-22 net	92
Att. covered porch	0	677	677
Att. trellis	320 @guesthouse	0	320
Storage closets/sheds	140	(-140)	0
Service yd	200	0	200
	8770	1428	10198
	18.8%	3.1%	21.9%
Less deductions:	-320	-480	-800
	8430	948	9398
	18.1	2.0%	20.1%
ADU	0 sq.ft.	820 sq.ft.	820 sq.ft.
FLATWORK			
Primary drive	3720	374 net	4094
Walks	2850	-2125 net	725
Patios	1860	-1010 net	850
@stable	3800	-2750	1050
Pool deck	3190	-900 net	2290
Parking pads	1540	1196 net	2736
	16960	-5212	11745
	36.4%	-11.2%	25.2%
TOTAL:	25730	-3591	22139
	55.2%	- 7.7%	47.5%
Less deductions:	25410	-4071	21339
	54.5%	- 8.6%	45.8%
DISTURBED AREA:	55,610	0	55,610
% DISTURBED AREA:	100.0%	0	100.0%

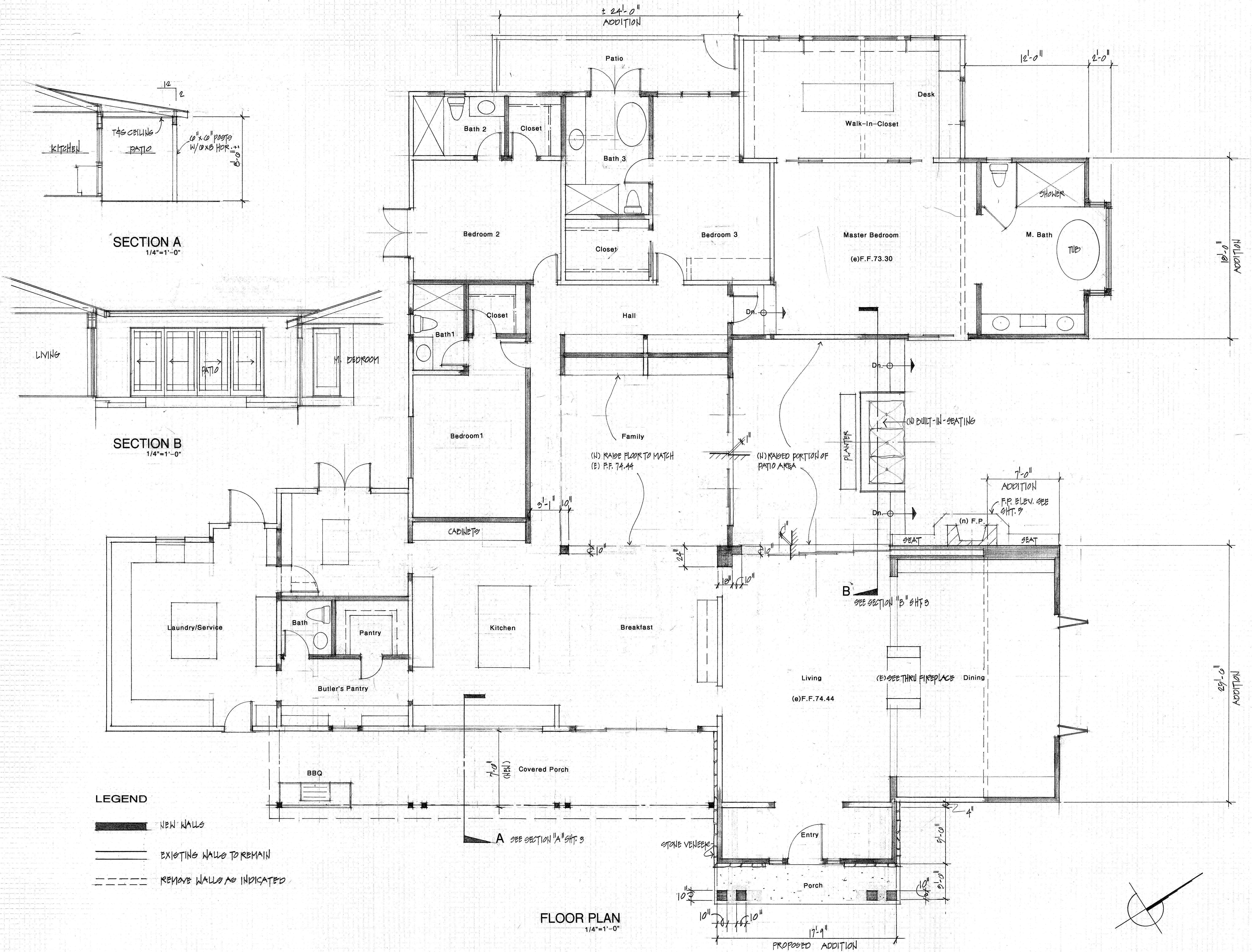
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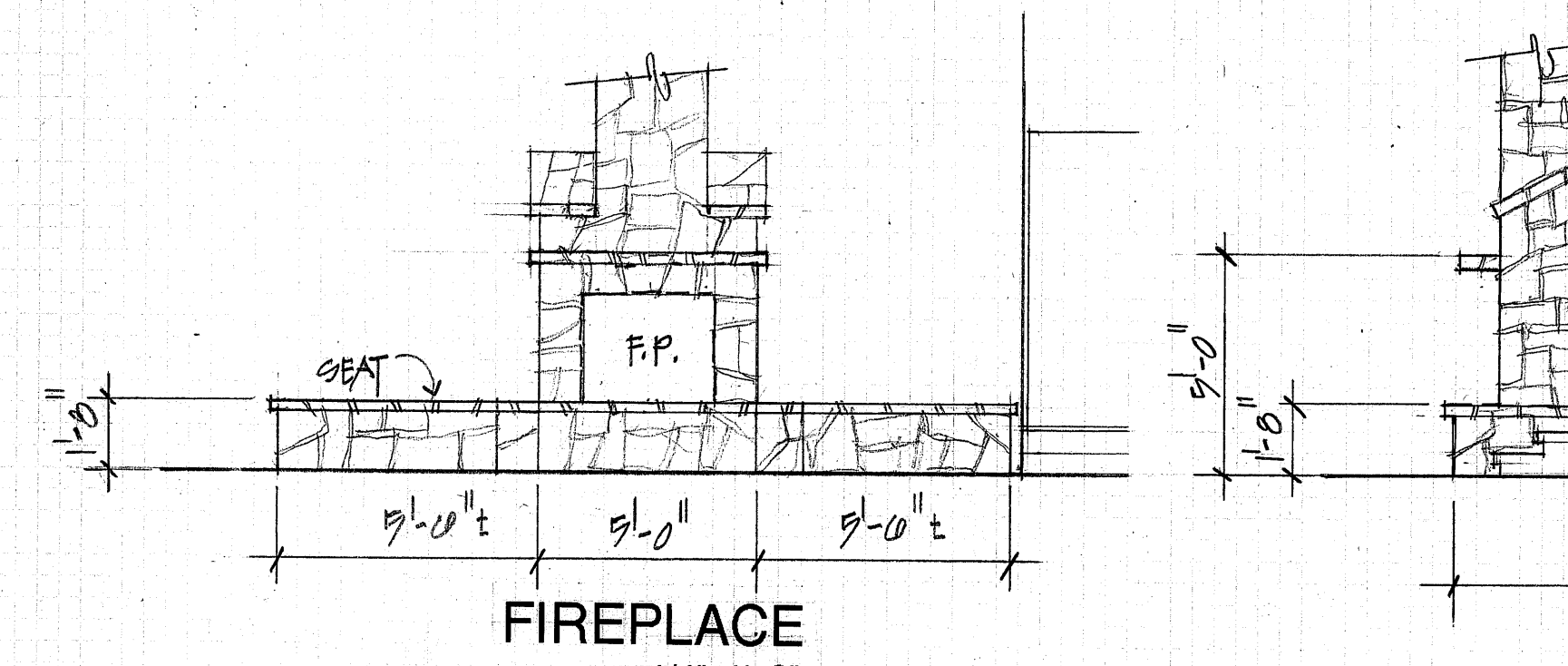
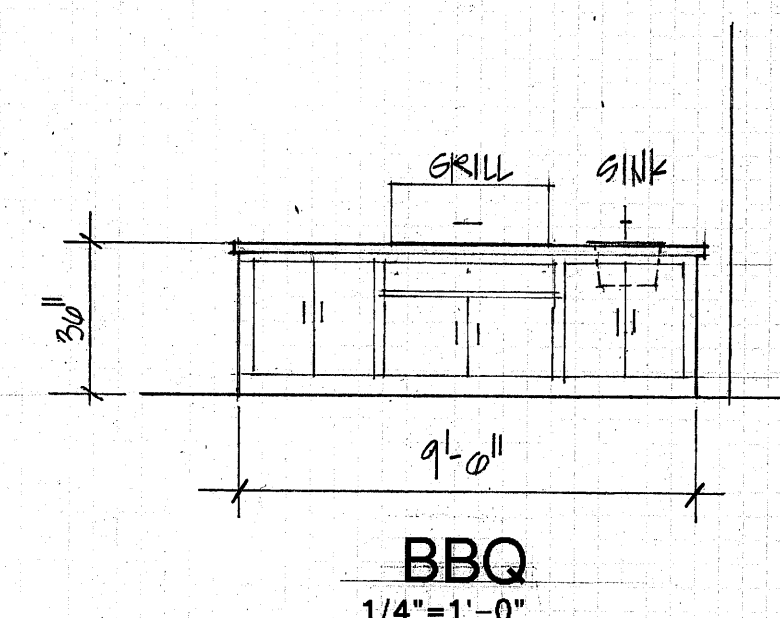
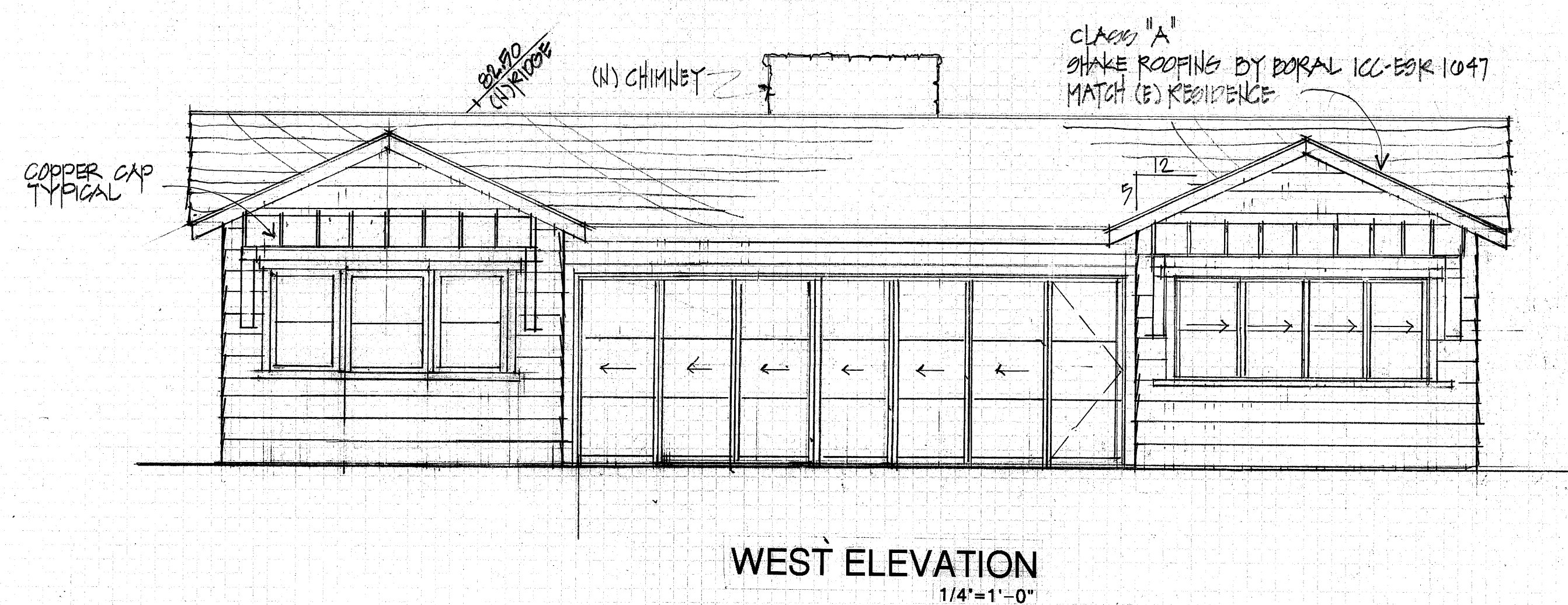
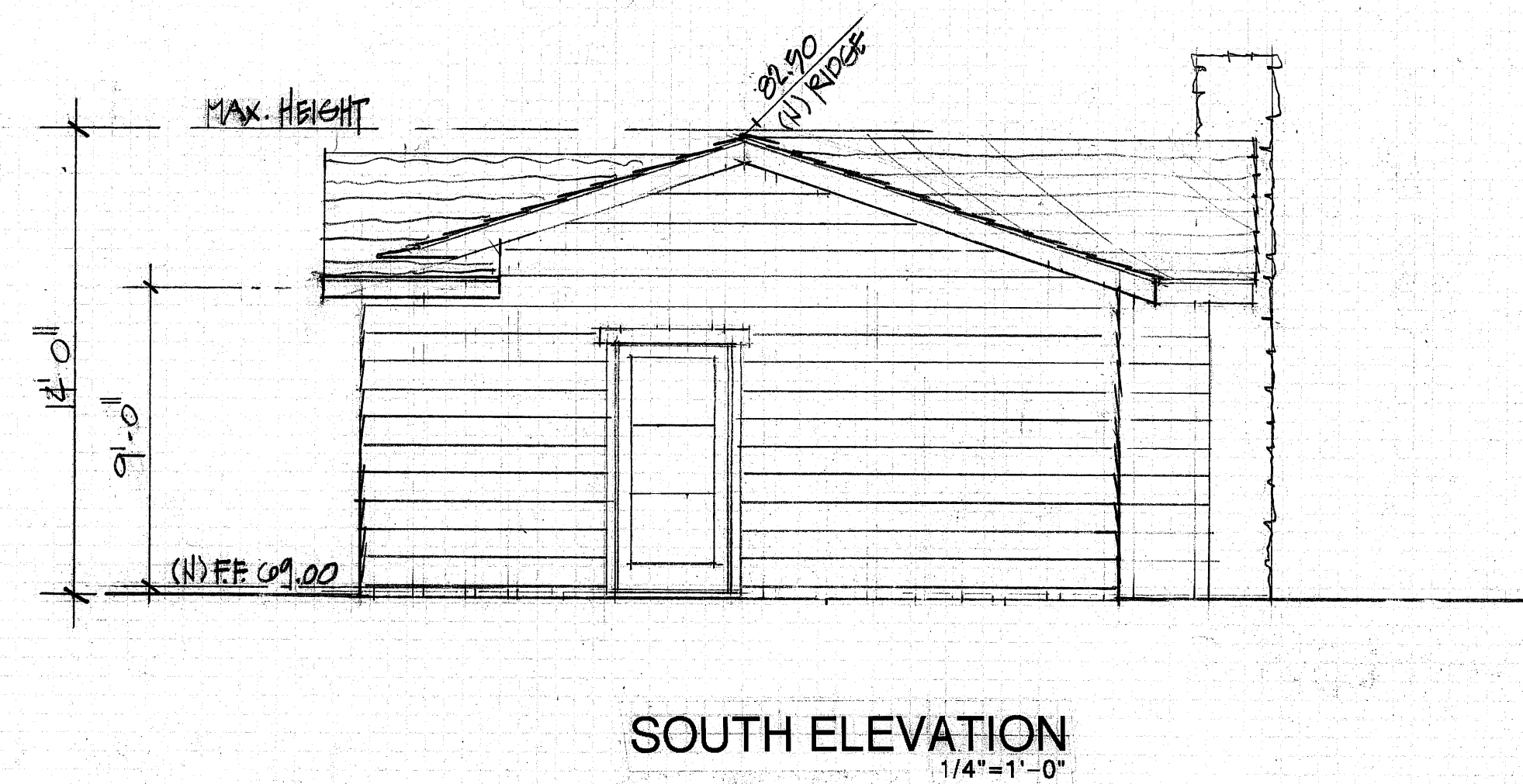
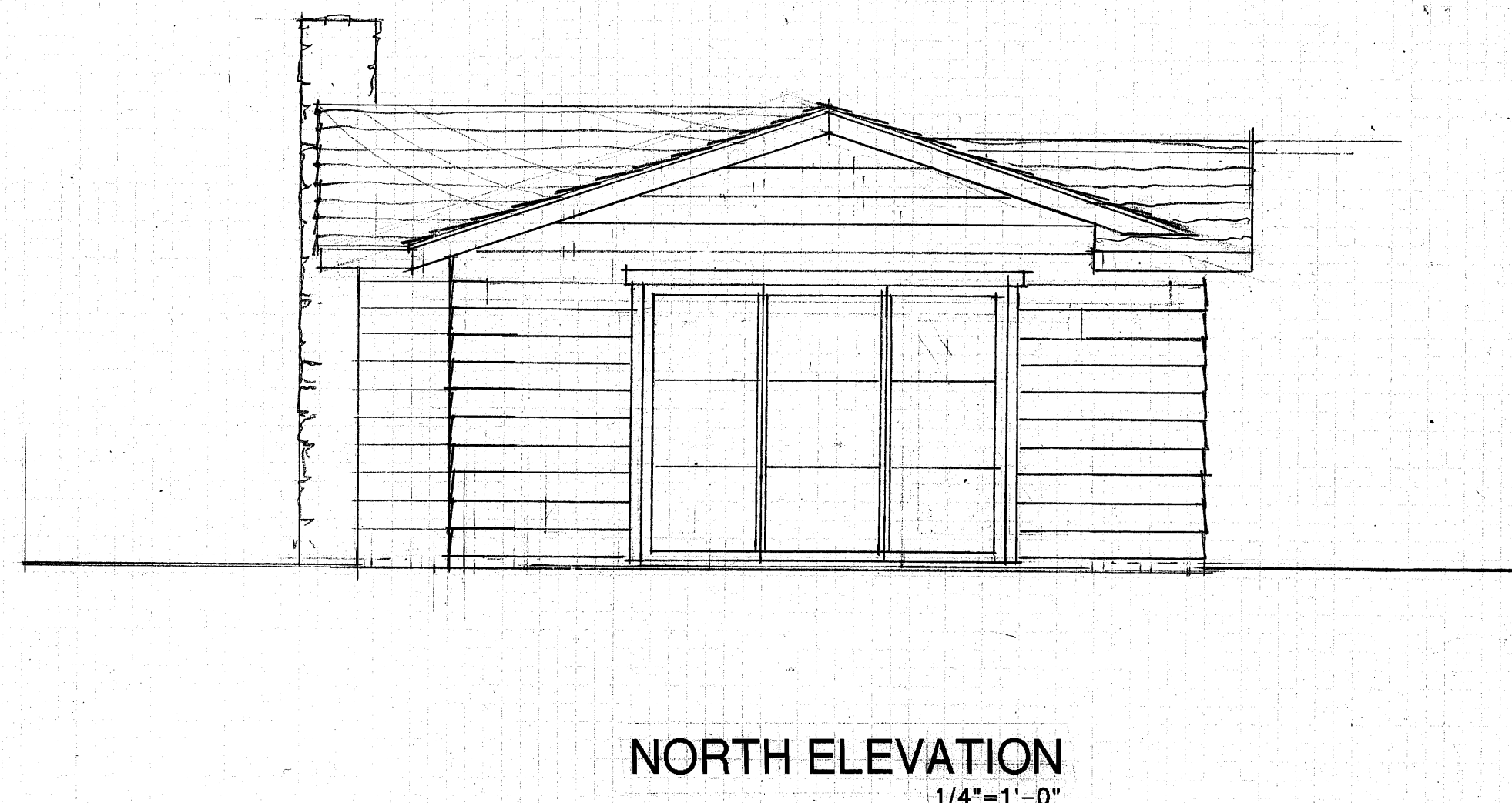
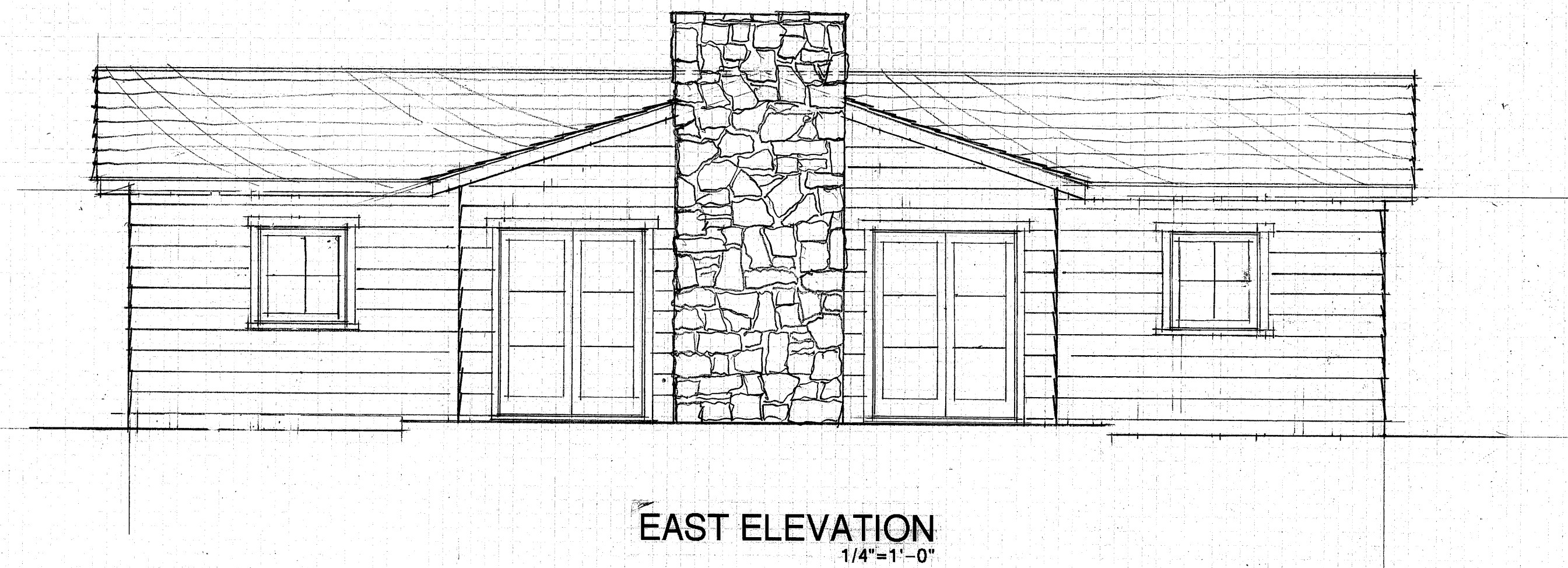
OWNER: Mr. & Mrs. Gregory Willis
JOB ADDRESS: 9 Portuguese Bend Road
Rolling Hills
CA 90274
BUILDING TYPE: Single Family Residence
OCCUPANCY GROUP: R-3 Residence
CONSTRUCTION TYPE: Type V-B/ U
SPRINKLERS: NO
NUMBER OF STORIES: 1 story
ZONE:
LEGAL DESCRIPTION: lot 74 Rolling Hills M.B. 201-29-35
AIN: 7569-014-003



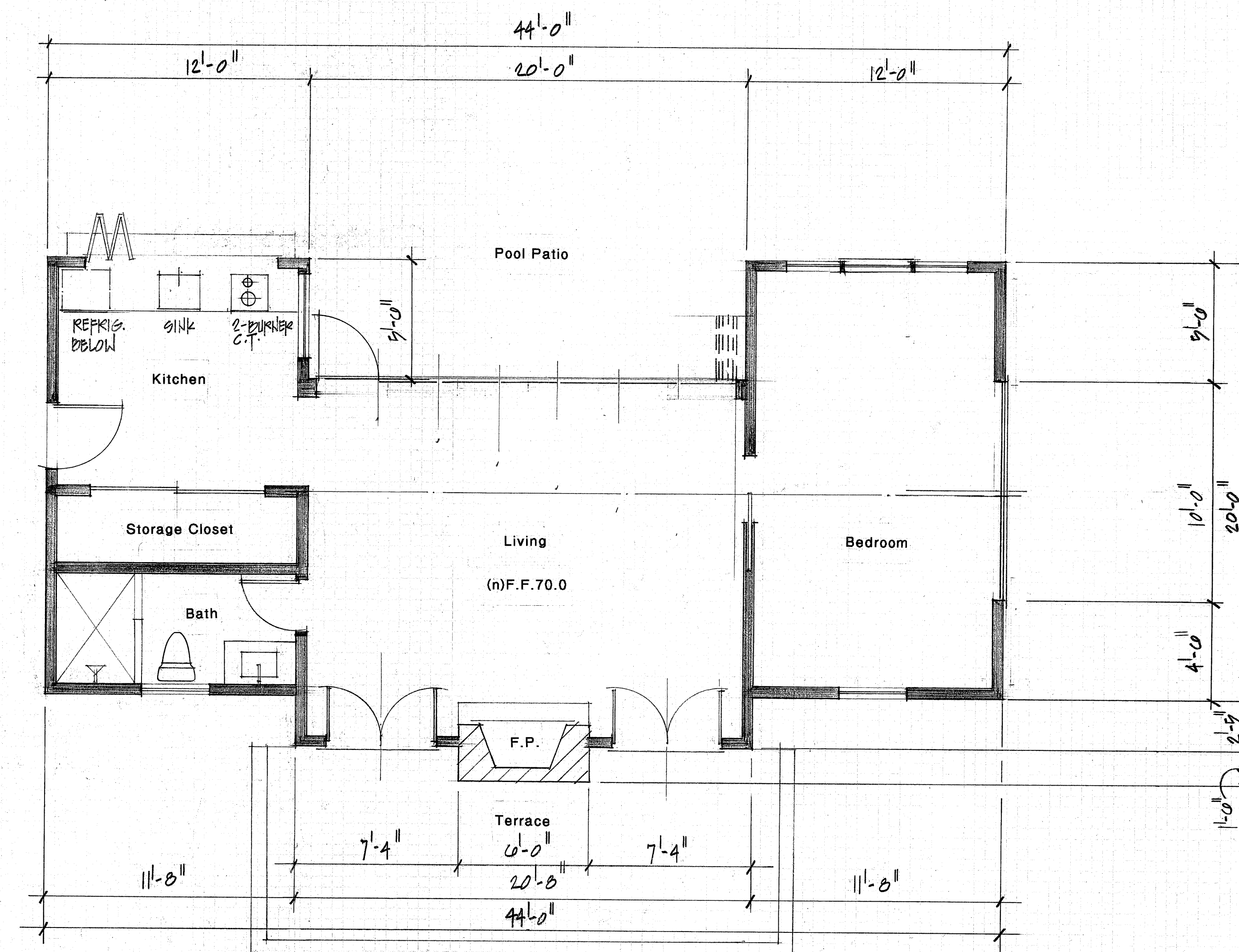
SCOPE OF WORK

- DEMO:
GARAGE (544 S.F.), DEMO.
STABLE (1,334 S.F.),
POOL & SPA (690 S.F.),
HARDSCAPE: DRIVE, MOTOR COURT,
WALKS, POOL DECK
- ADDITION @ MAIN RESIDENCE 521 s.f.
- REMODEL AREA 350 s.f.
- COVERED PORCH @ entry 53 s.f.
- ADU 820 s.f.
- GARAGE RE-CONSTRUCTION 714 s.f.
- STABLE RE-CONSTRUCTION + LOFT 2,099 s.f.
- RIDING RING
- POOL / SPA 912 s.f.
- POOL EQUIPMENT 30 s.f.
- FIRE PIT
- WATER FEATURE
- REROOF
- NEW DRIVEWAY + RELOCATE APRON





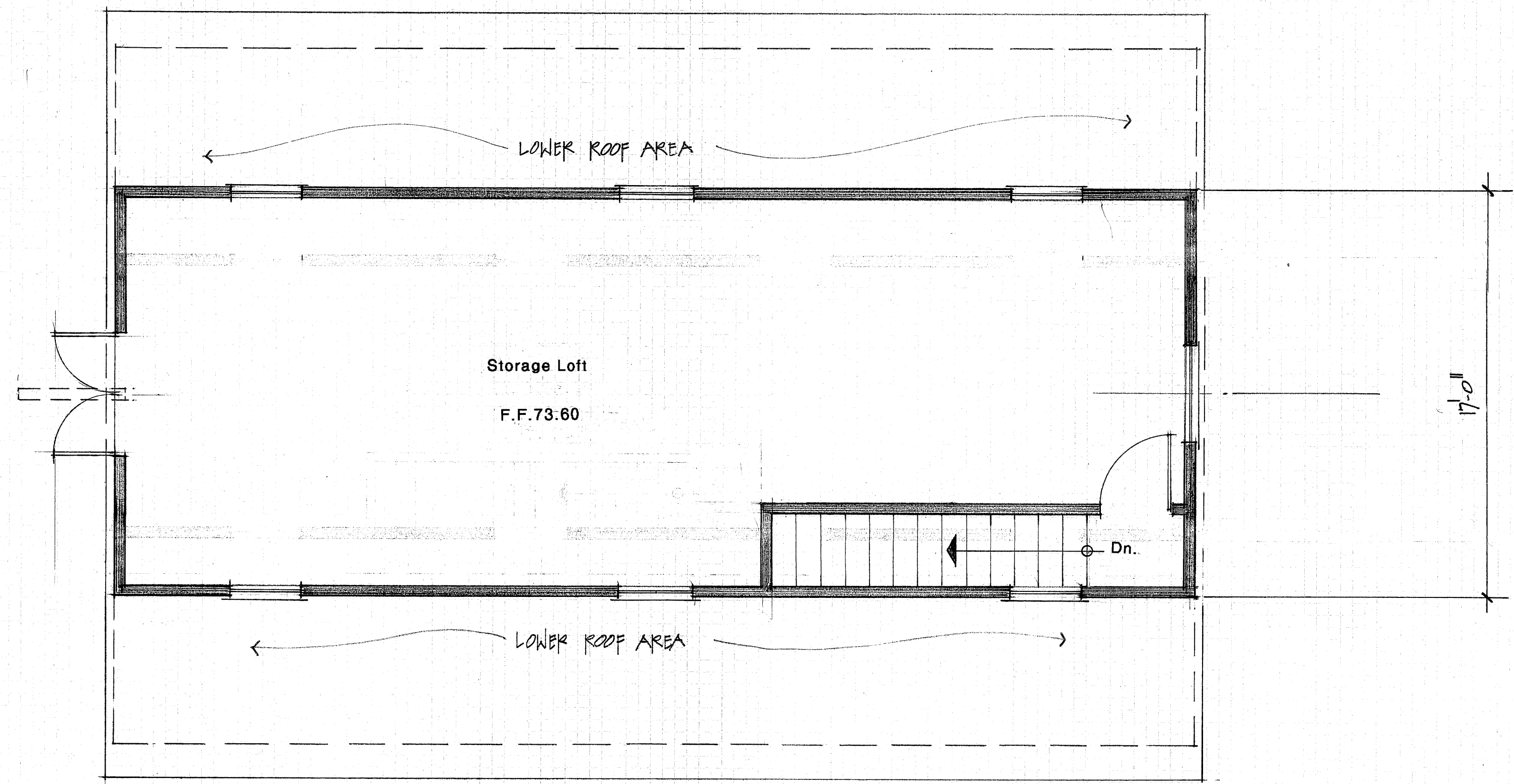
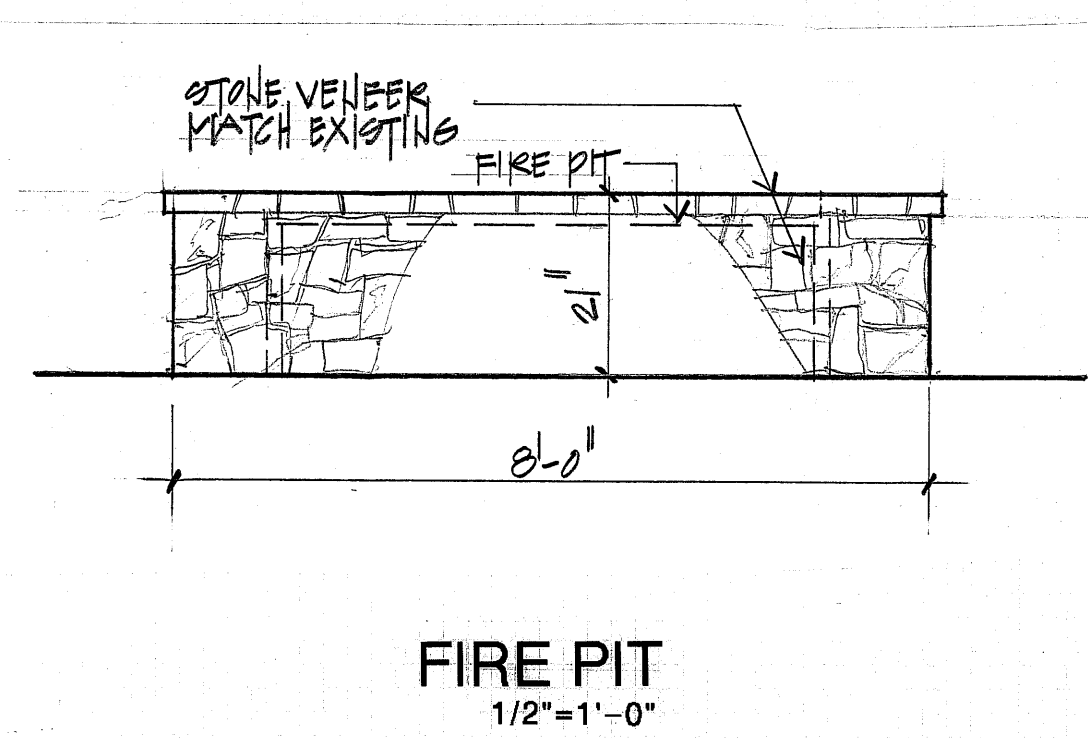
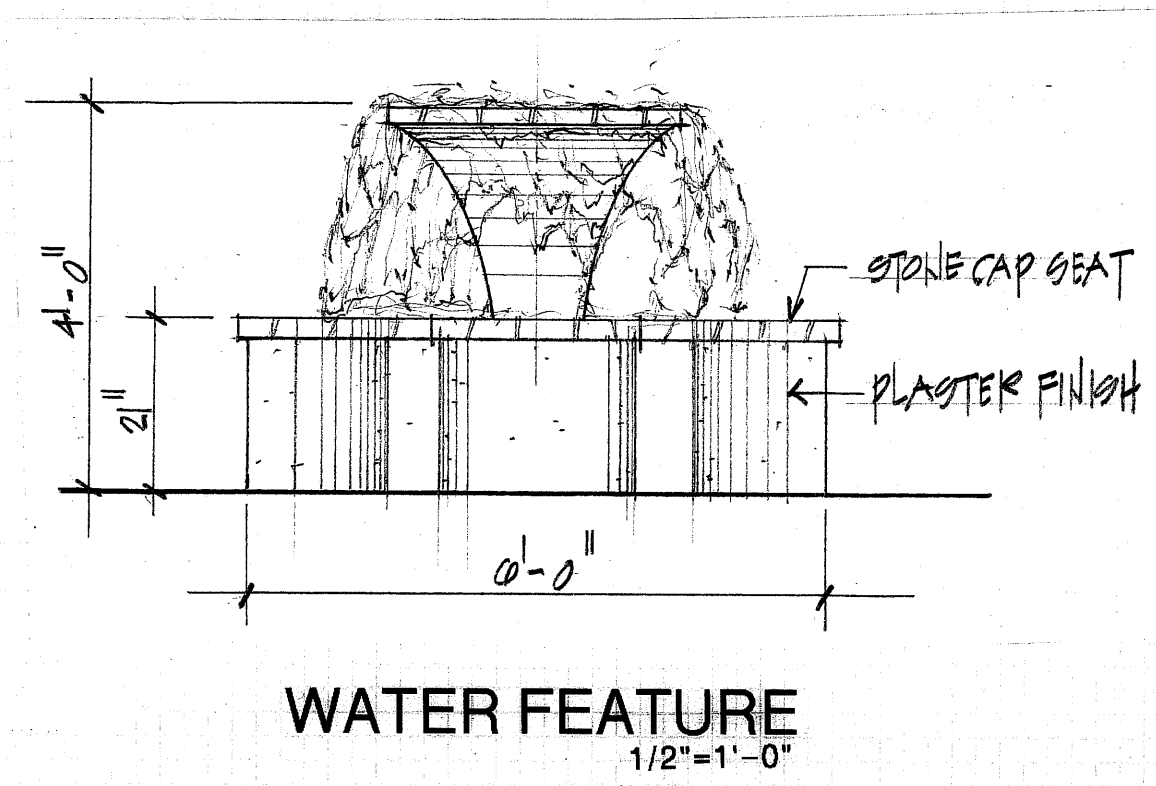
@ residence see sht.3



REVISIONS

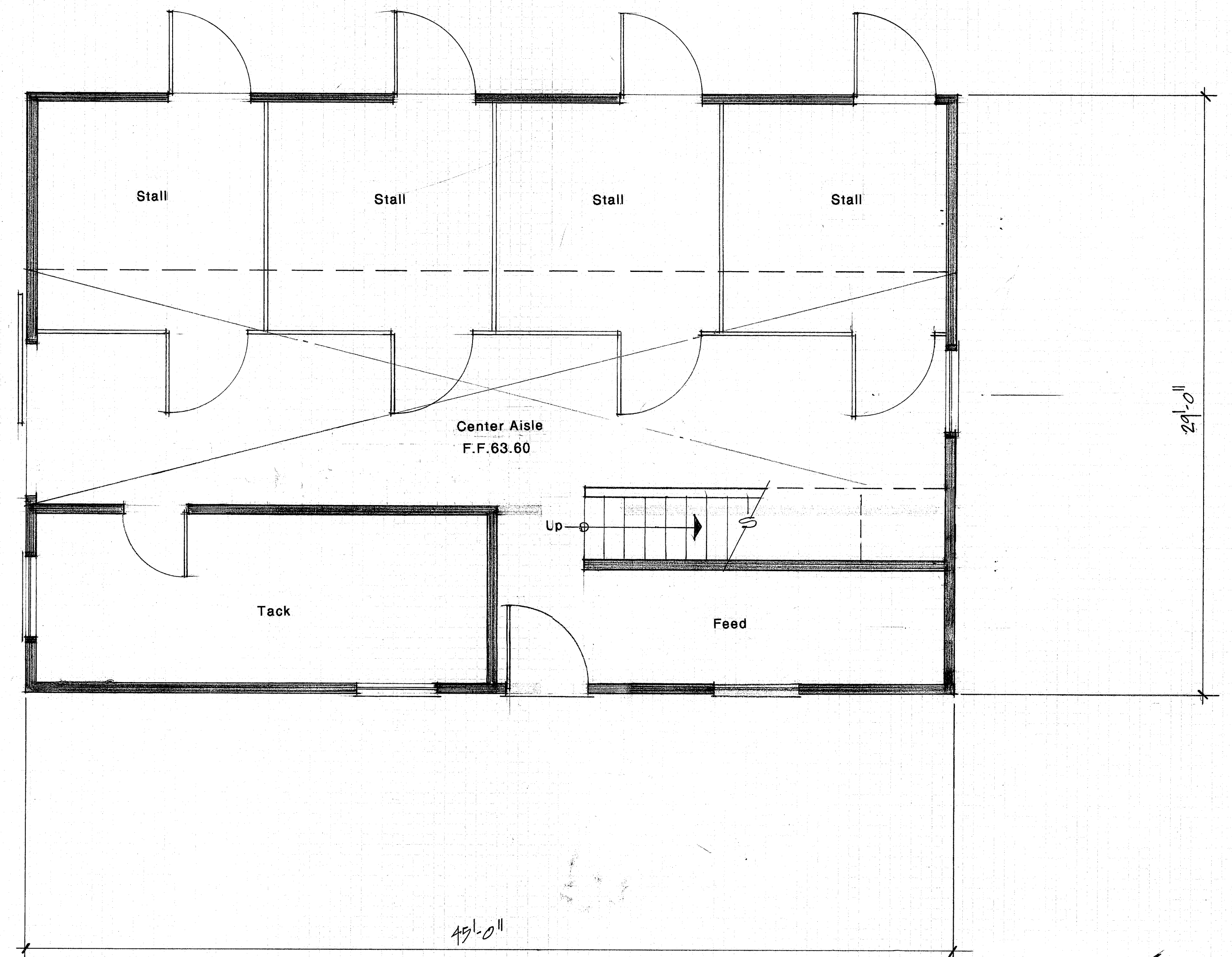
RUSSELL E. BARTO - AIA - ARCHITECT
3 Malaga Cove Plaza - Suite 202
Palos Verdes Estates - CA - 90274
(310) 378-1355 Fax (310) 378-6298

WILLIS ADDITION
9 Portuguese Bend Road, Rolling Hills, CA 90274



LOFT FLOOR PLAN

1/4"=1'-0"



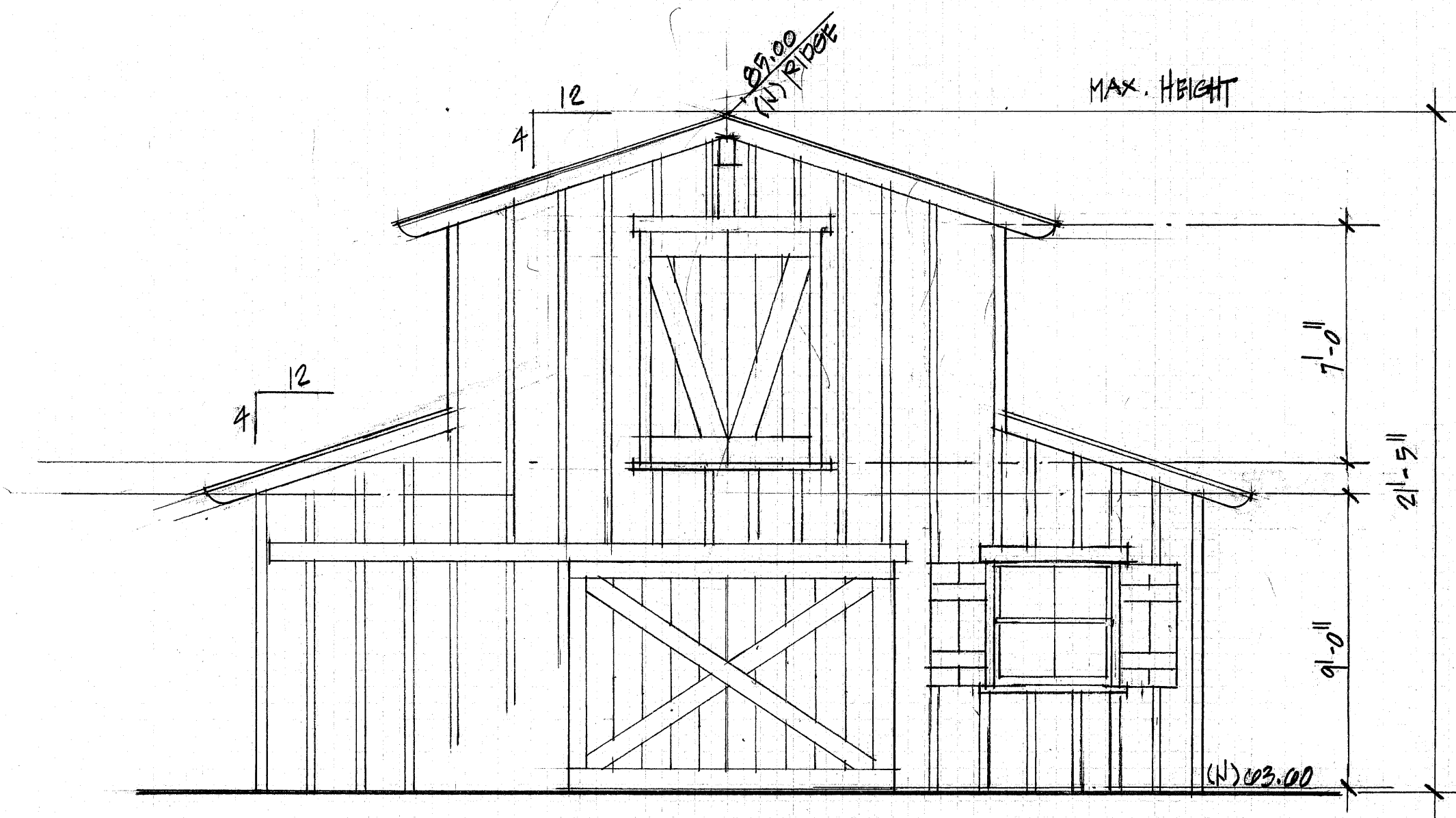
STABLE FLOOR PLAN

1/4"=1'-0"

REVISIONS

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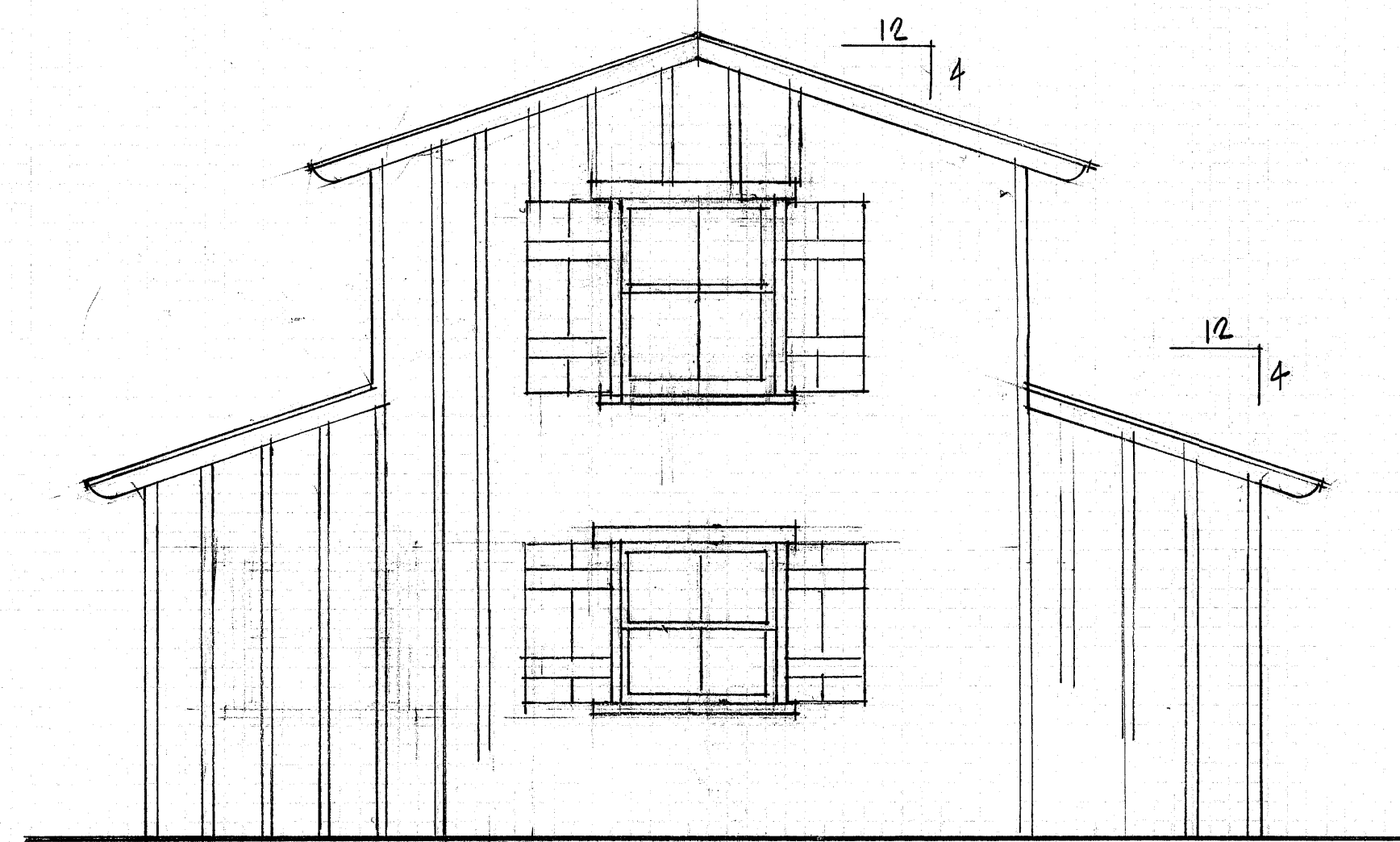
WILLIS ADDITION
9 Portuguese Bend Road, Rolling Hills, CA 90274



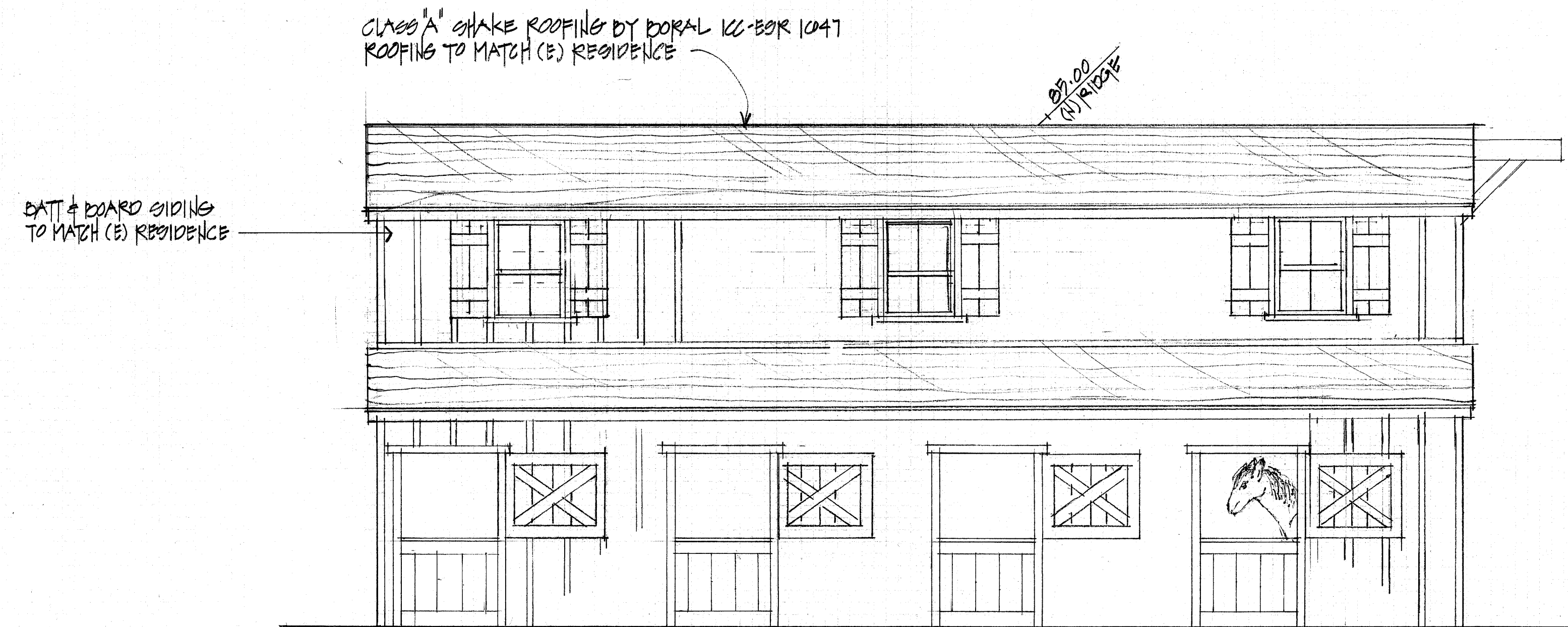
SOUTH ELEVATION
1/4"=1'-0"



EAST ELEVATION
1/4"=1'-0"



NORTH ELEVATION
1/4"=1'-0"

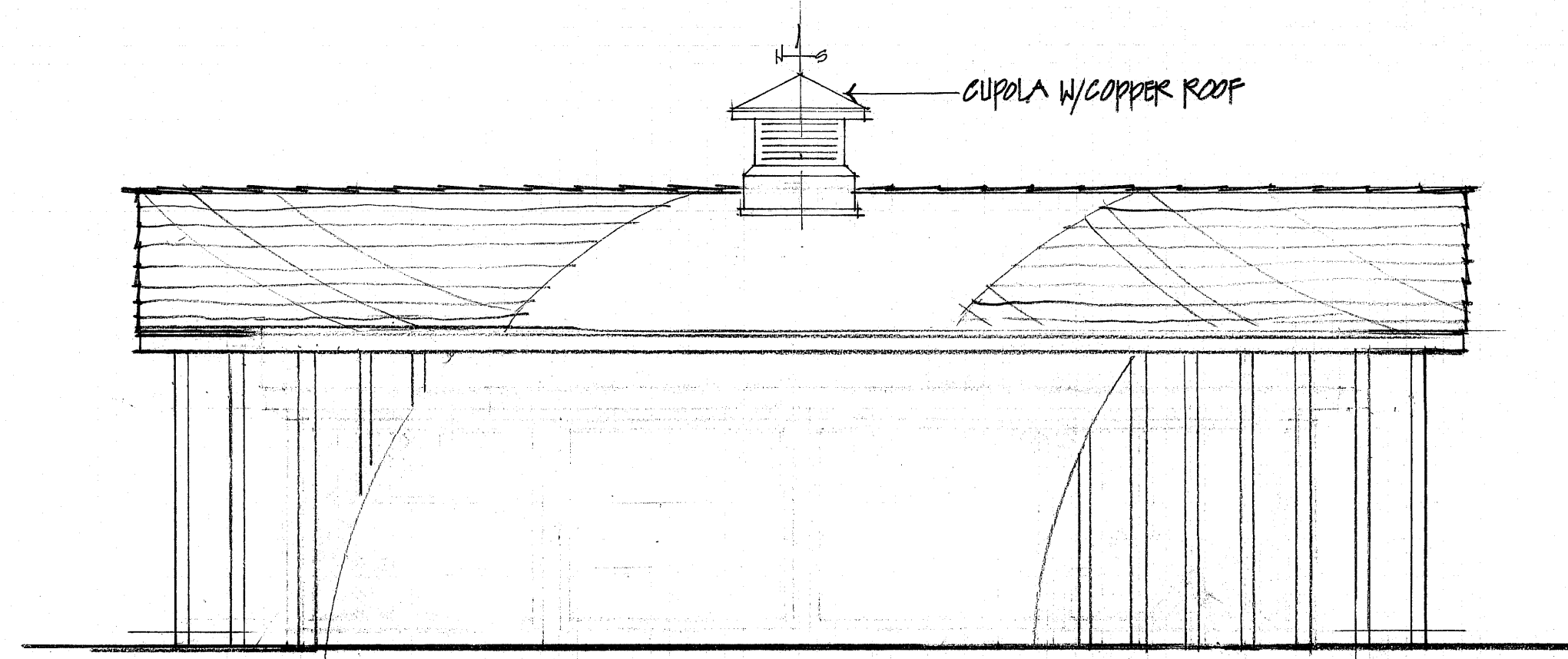


WEST ELEVATION
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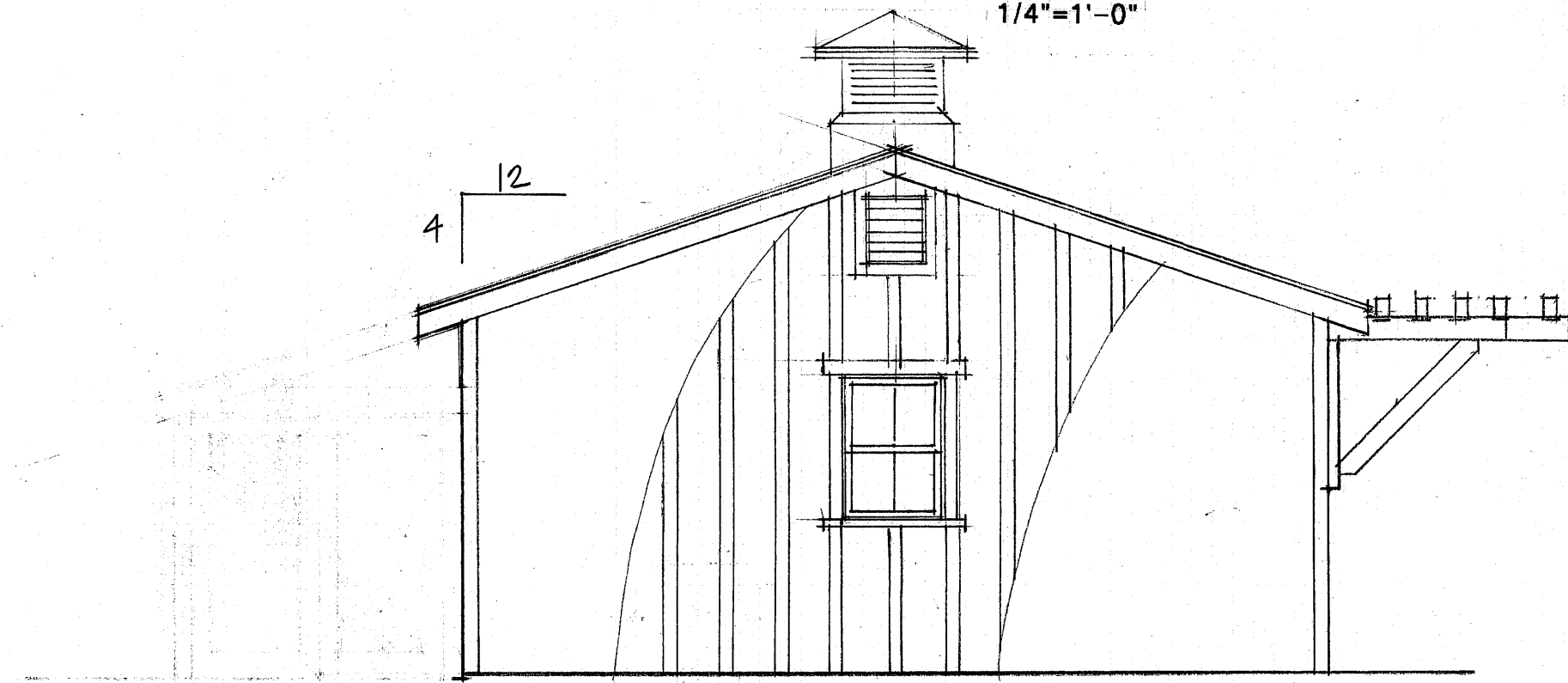
REVISIONS

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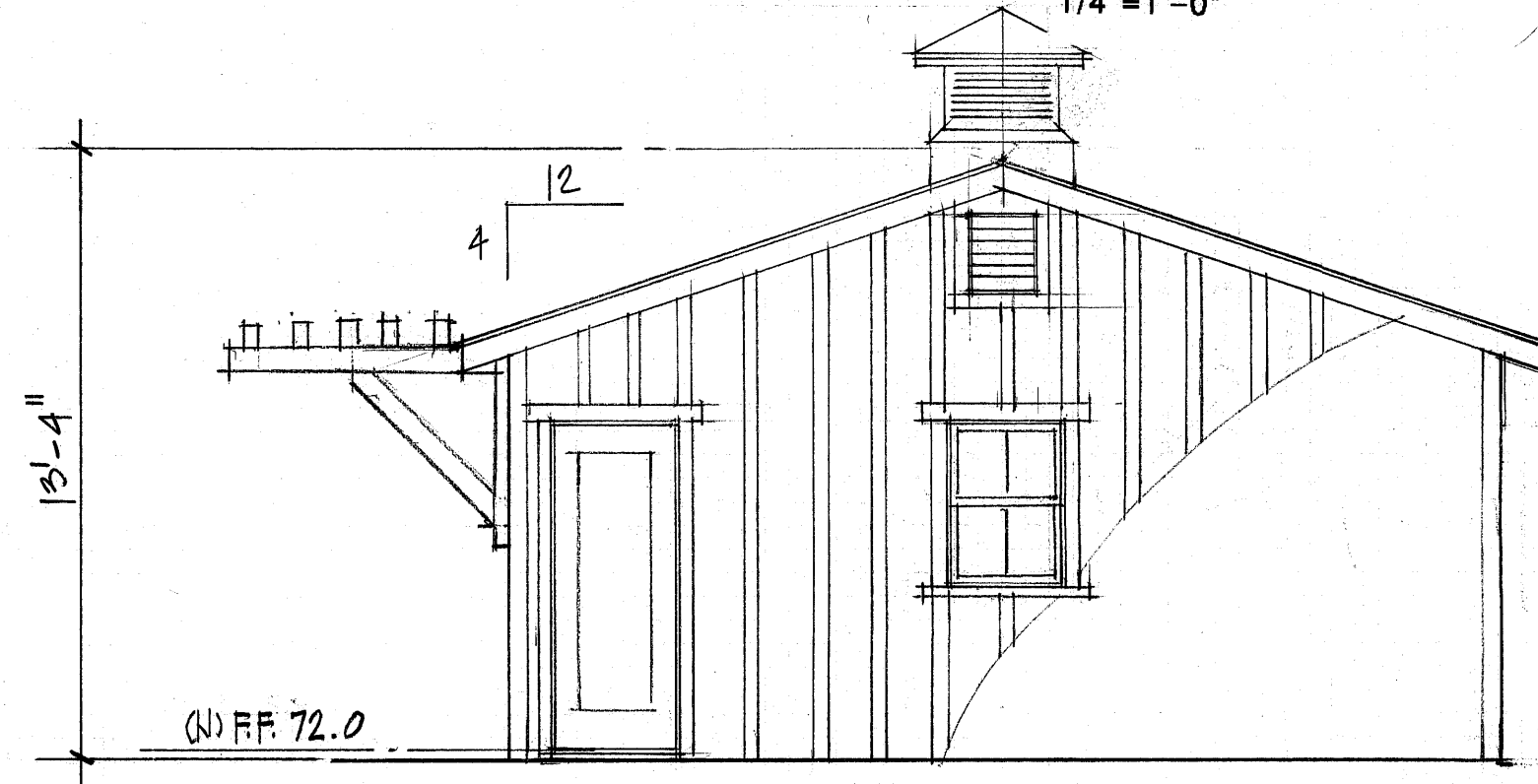
WILLIS ADDITION
9 Portuguese Bend Road, Rolling Hills, CA 90274



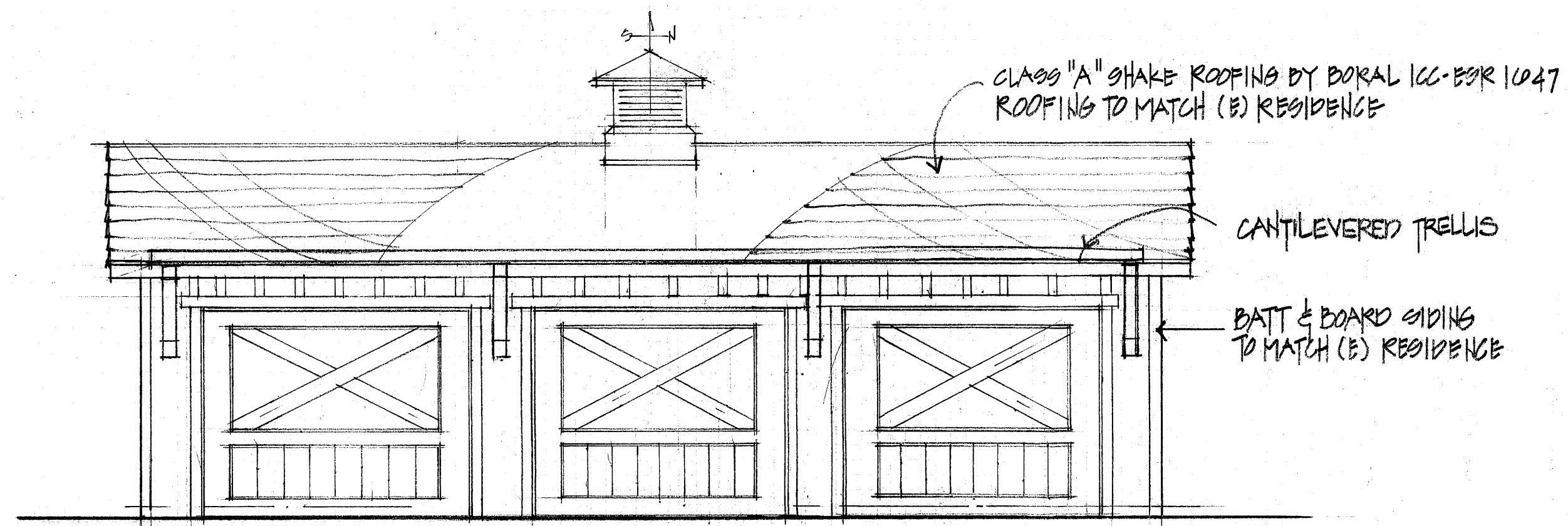
SOUTH ELEVATION
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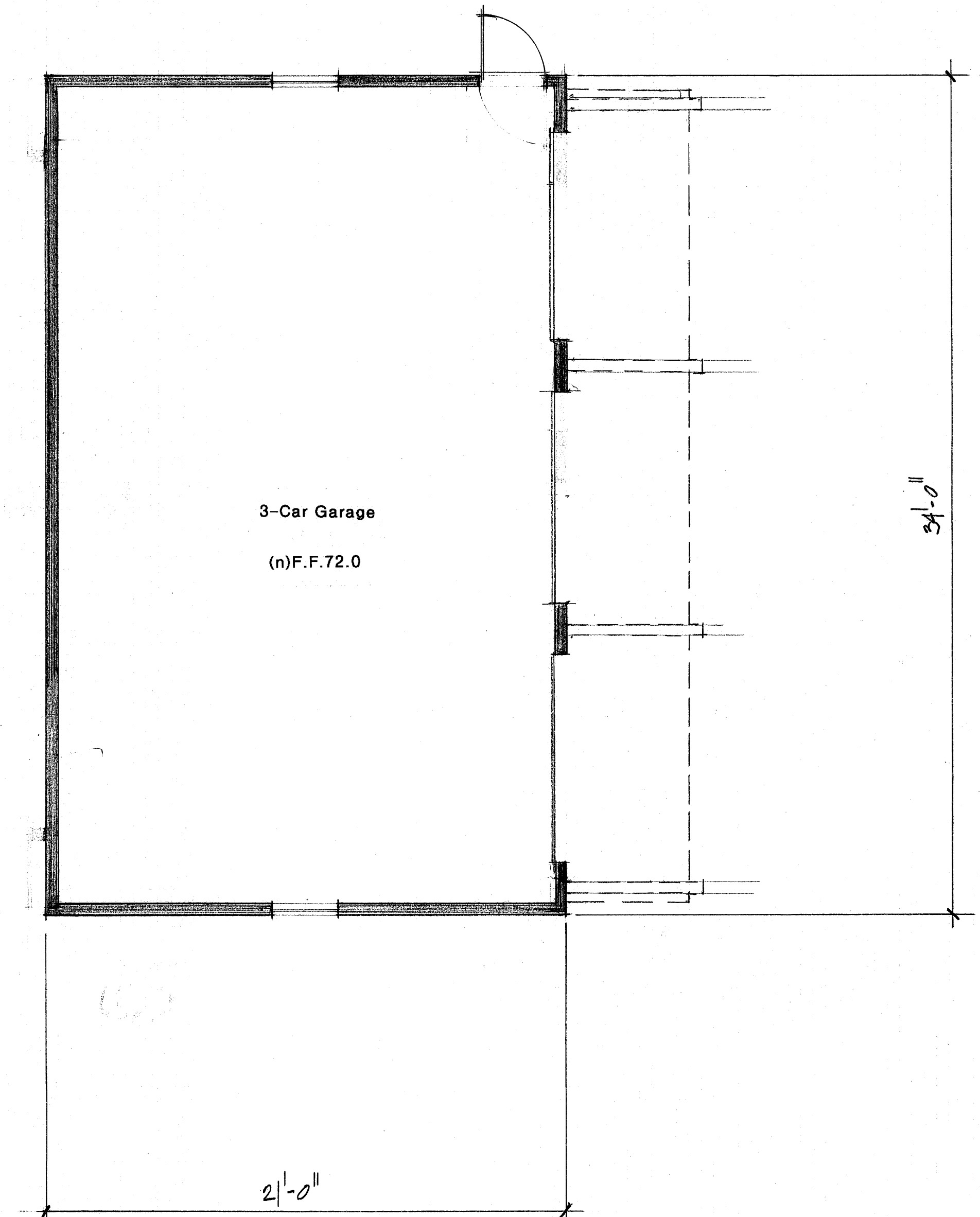
EAST ELEVATION
1/4"=1'-0"



WEST ELEVATION
1/4"=1'-0"



NORTH ELEVATION
1/4"=1'-0"



GARAGE FLOOR PLAN
1/4"=1'-0"

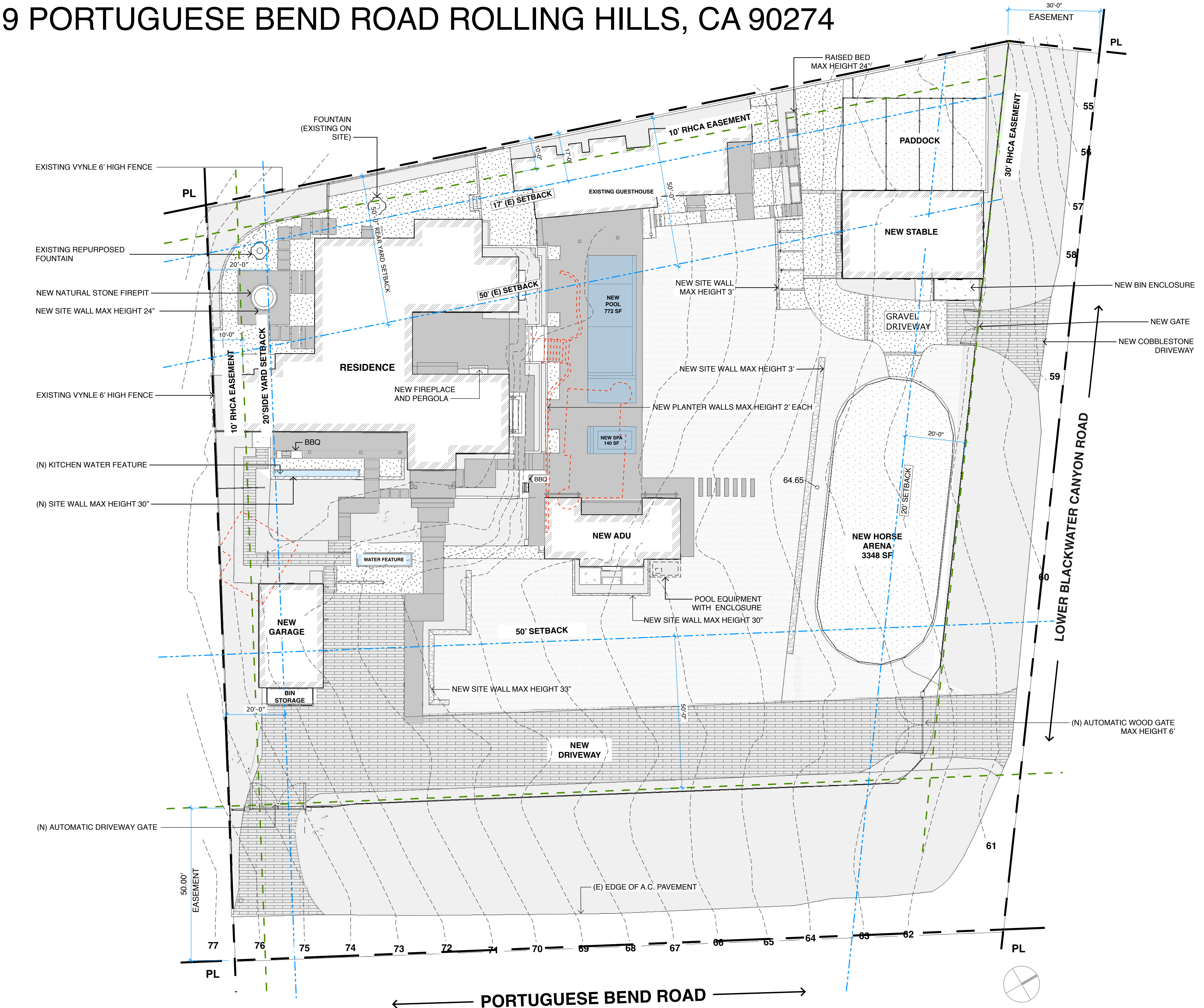
REVISIONS

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WILLIS ADDITION
9 Portuguese Bend Road, Rolling Hills, CA 90274

WILLIS RESIDENCE

9 PORTUGUESE BEND ROAD ROLLING HILLS, CA 90274



SYMBOLS

NORTH ARROW

ELEVATION

SECTION

PROPERTY LINE

SETBACK

EASEMENTS

EXISTING REMOVED

ROOFLINE

SITE CONTOURS

MATERIALS

GRAVEL

LAWN

PLANTER WITH MULCH

STONE VENEER

CONCRETE

LIMESTONE TILE

ARENA SAND

PAVERS

EARTH

FAIR

DESIGN OUTSIDE

PROJECT ADDRESS
9 PORTUGUESE BEND ROAD, ROLLING HILLS ESTATES, CA

CLIENT
GREG AND MELISSA WILLIS

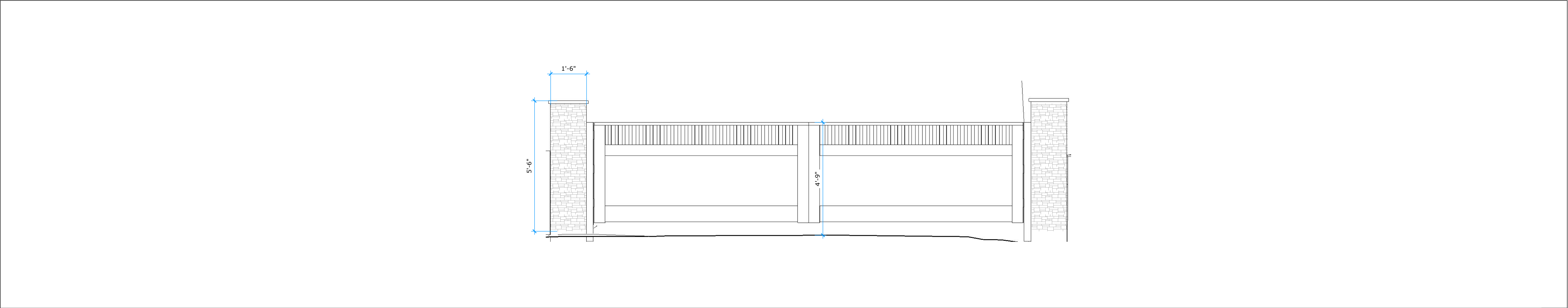
LANDSCAPE ARCHITECT
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FAIR STUDIO
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2020 Perry Ave. A.
Redondo Beach, CA
8052725126

ARCHITECT
RUSS BARTO AIA
RUSS@EARTHLINK.NET
310.729.4342
3 MALAGA COVE PLAZA
#202 PALOS VERDES ESTATES, CA 90274

INTERIOR DESIGNER:
NORMAN DESIGN GROUP

1	DATE	DESCRIPTION
2	3/11/23	SITE PLAN
3		
4		
5		
6		

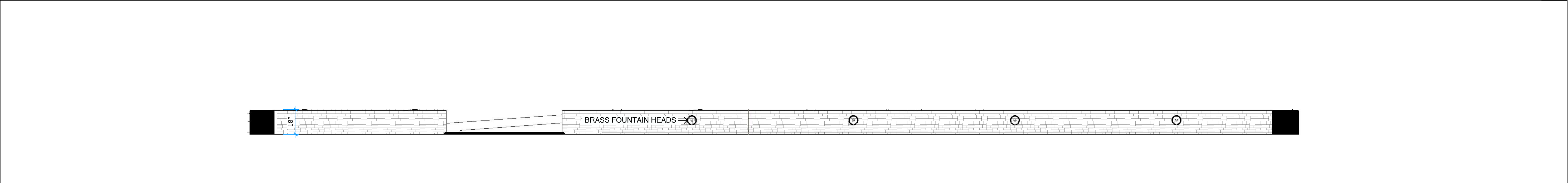
SHEET TITLE
SITE PLAN



ENTRY GATE

SCALE 1/2" = 1'-0"

3



KITCHEN WATER FEATURE

SCALE 1/2" = 1'-0"

1

PROJECT ADDRESS
9 PORTUGUESE BEND
ROAD, ROLLING HILLS
ESTATES, CA

CLIENT
GREG AND MELISSA
WILLIS

LANDSCAPE ARCHITECT
KELSEY FAIR
FAIR STUDIO
KELSEY@FAIR.STUDIO
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8052725126

ARCHITECT
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#202 PALOS VERDES
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INTERIOR DESIGNER:
NORMAN DESIGN
GROUP

1	DATE	DESCRIPTION
2	3/11/23	SITE PLAN
3		
4		
5		
6		

SHEET TITLE
DETAILS

Development Table
Zoning Case No. 22-81
9 Portuguese Bend Road

Site Plan Review, Conditional Use Permit and Variance	EXISTING	PROPOSED	TOTAL
RA-S- 1 Zone	SINGLE FAMILY RESIDENCE, DETACHED GARAGE GUEST HOUSE, STABLE, POOL/SPA, WATER FEATURE, COVERED PORCHES, TRELLISES, & SERVICE YARD	521 ADDITION TO MAIN HOUSE, NEW DETACHED GARAGE, RECONSTRUCT EXISTING STABLE ON SAME FOOTPRINT, NEW POOL/SPA, NEW ATTACHED COVERED PORCHES, NEW RIDING RING, NEW DRIVEWAY, RELOCATED DRIVEWAY APRON,	
Gross Lot Area	55,610 SF		55,610 SF
Net Lot Area	46,610 SF		46,610 SF
Residence	3,809 SF	521 SF	4,330 SF
Garage	544 SF	170 SF	714 SF
Swimming Pools/Spa	690 SF	222 SF	912 SF
Pool Equipment	30 SF	0 SF	30 SF
Guest House	1,589 SF	0 SF	1,589 SF
ADU	0 SF	820 SF	820 SF
Stable minimum: 450 SF Corral minimum: 550 SF	1,334 SF 896 SF	765 SF	2,099 SF 869 SF
New Planter Box	0 SF	0 SF	0 SF
Recreation Court	0 SF	0 SF	0 SF
Attached Covered Porches	0 SF	677 SF	677 SF
Detached Sheds	140 SF	-140 SF	0 SF
Attached Trellis @ Guest House	320 SF	0 SF	320 SF
Water features	114 SF	-22 SF	92 SF
Service Yard	200 SF	0 SF	200 SF
Equestrian Riding Ring	0 SF	3,650 SF	3,650 SF
Primary Driveway	3,720 SF	374 SF	4,094 SF
Paved walkways	2,850 SF	-2,125 SF	725 SF
Patios	1,860 SF	-1,010 SF	850 SF
Stable Area	3,800 SF	-2,750 SF	1,050 SF
Pool Deck	3,190 SF	-900 SF	2,290 SF
Parking Pads	1,540 SF	1,196 SF	2,736 SF
Grading (balanced onsite)	--	530 CY total 265 CY cut 265 CY fill	530 CY Total
Structural Lot Coverage (15% maximum & with deductions)	8,430 SF (18.1%)	948 SF (2.0%)	9,398 SF (20.1%)
Flatwork Lot Coverage (20% maximums & with deductions)	16,960 SF (36.4 %)	-5,212 SF (-11.2 %)	11,745 SF (25.2%)
Total Lot Coverage (Structures and Flatwork) (35% maximum & with deductions)	25,410 SF (54.5%)	-4,071 SF (-8.6%)	21,339 SF (45.8%)

Total Disturbed Area (40% maximum)	55,610 SF (100%)	0 SF (0%)	55,610 (100%)
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Planning Commission Meeting March 21, 2023

9 Portuguese Bend Road (Zoning Case No. 22-81)

PROPOSED PROJECT SUMMARY TABLE

ITEM #	PROPOSED	DESCRIPTION	TYPE OF APPLICATION	REQUIRES ADMINISTRATIVE APPROVAL (STAFF APPROVAL)	REQUIRES DISCRETIONARY APPROVAL (PLANNING COMMISSION APPROVAL)
1)	Accessory Dwelling Unit (ADU)	820 SF ADU	AA	Yes	No
2)	Interior & Exterior Remodel	Remodel of the exterior and interior of residence.	AA	Yes	No
3)	Demolition of an existing 512 SF swimming pool spa with a relocated new 912 SF Swimming Pool Spa	Site Plan Review is required for swimming pool 800 SF or greater.	SPR	No	Yes
4)	Removal and reconfiguration of walkways and hardscape	Removal of -5,212 SF	AA	Yes	No
5)	120 SF addition	The proposed addition is located at the north of the house. The addition encroaches into the rear yard setback. Variance required.	VAR	No	Yes
6)	230 SF addition	The proposed addition is	VAR		Yes

ITEM #	PROPOSED	DESCRIPTION	TYPE OF APPLICATION	REQUIRES ADMINISTRATIVE APPROVAL (STAFF APPROVAL)	REQUIRES DISCRETIONARY APPROVAL (PLANNING COMMISSION APPROVAL)
		located at the east side of house. It encroaches into the rear setback.			
7)	208 SF addition	The proposed addition is located at east side of the house.	AA	Yes	No
8)	53 SF addition	The proposed addition located at the south side of house at the front door.	AA	Yes	No
9)	New Patio	The new patio encroaches into the rear and west side setback. Variance required.	VAR	No	Yes
10)	New BBQ	The new patio encroaches into the rear and west side setback. Variance required.	VAR	No	Yes
11)	Demolish an existing 544 existing detached garage. Relocate and reconstruct new 712 SF detached garage	Encroaches into the front and west side setback. Requests for Variance to encroach into setbacks. Request for CUP for detached structure	SPR & VAR	No	Yes
12)	Demolish existing 1,334 square foot stable and reconstruct new stable on same footprint with 765 SF storage loft on same footprint. The new reconstructed stable is	Encroaches into rear and east side setbacks. Variances are required to encroach into rear and east side setback. A CUP is required to exceed the 200 SF maximum allowable	VAR & CUP	No	Yes

ITEM #	PROPOSED	DESCRIPTION	TYPE OF APPLICATION	REQUIRES ADMINISTRATIVE APPROVAL (STAFF APPROVAL)	REQUIRES DISCRETIONARY APPROVAL (PLANNING COMMISSION APPROVAL)
	2,099 SF	stable size			
13)	New 3650 SF Equestrian Arena	Variances are required to encroach into the east side setback. A SPR grading permit is required for grading.	VAR & CUP	No	Yes
14)	Reconfigured and relocated new driveway	The new (24 FT wide by 211 FT long) driveway requires a variance to encroach into the front yard. A variance to exceed the 20% maximum front yard area total proposed is 35.3%	VAR	No	Yes
15)	New garden wall at main entry walkway	The new garden wall is less than 3 feet high	AA	Yes	No
16)	New garden wall located west of the arena	The new garden wall is less than 3 feet high	AA	Yes	No
17)	New terrace	The new terrace is located at the south of the ADU	AA	Yes	No
18)	New pool equipment	New 30 SF pool equipment located on the southeast of ADU	AA	Yes	No
19)	Relocation of existing 2 nd Driveway	The existing driveway at the intersection will be shifted north of exiting location. The relocation was approved by the Traffic Commission. A	CUP	No	Yes

ITEM #	PROPOSED	DESCRIPTION	TYPE OF APPLICATION	REQUIRES ADMINISTRATIVE APPROVAL (STAFF APPROVAL)	REQUIRES DISCRETIONARY APPROVAL (PLANNING COMMISSION APPROVAL)
		CUP is required for more than one driveway.			

Variance	VAR
Site Plan Review	SPR
Conditional Use Permit	CUP
Administrative Review	AA

RESOLUTION NO. 2023-02

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL OF A SITE PLAN REVIEW FOR 1) A 912-SQUARE-FOOT SWIMMING POOL/SPA, 2) DETACHED GARAGE, 3) APPURTENANT STRUCTURES, HARDSCAPE, LANDSCAPE, AND 4) NON-EXEMPT GRADING; CONDITIONAL USE PERMITS FOR 1) AN EQUESTRIAN RIDING ARENA, 2) RELOCATION OF AN EXISTING DRIVEWAY APRON, 3) 1,334-SQUARE-FOOT RECONSTRUCTED STABLE ON THE SAME FOOTPRINT; AND VARIANCES FOR 1) STRUCTURES TO ENCROACH INTO THE REQUIRED SETBACKS AND FRONT YARD, AND 2) TO EXCEED THE 20% FRONT YARD COVERAGE FOR THE DRIVEWAY, IN ZONING CASE NO. 22-81 LOCATED AT 9 PORTUGUESE BEND ROAD, (LOT 74-RH) (WILLIS)

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE, AND ORDER AS FOLLOWS:

Section 1. On September 14, 2023, an application was duly filed by an agent for Gregory and Melissa Willis with respect to real property located at 9 Portuguese Bend Road, Rolling Hills (Lot 74-RH) requesting a Site Plan Review for a swimming pool/spa and non-exempt grading for a new equestrian arena, 530 cubic yards of grading, hardscape, landscape, and other improvements. Conditional Use Permits are requested for the reconstruction and use of a stable greater than 200 square feet, relocation of an existing driveway apron (that has already been approved by the Traffic Commission), and detached garage. Variances are requested for structures to encroach into the required setbacks and front yard, and reconfigured driveway to exceed the 20% maximum front yard setback area.

Section 2. The property is zoned RAS-1 and has a net lot area of 1.07 acre (46,610 square feet). It is on a corner lot located at the intersection of Portuguese Bend Road and Lower Blackwater Canyon. The property includes a 50-foot-wide roadway easement along Portuguese Bend Road and a 30-foot-wide roadway easement along Lower Blackwater Canyon Road. The lot is relatively flat and has one building pad. The lot is developed with a 3,809-square-foot main residence, 544-square-foot detached garage, 1,589-square-foot legal non-conforming guesthouse with attached trellis, 1,334-square-foot stable, 690-square-foot pool/spa, 30-square-foot pool equipment, 114-square-foot water feature, 140-square-foot storage sheds, and 200-square-foot service yard. The existing hardscape includes a 1,540-square-foot parking pad that is accessible from two main driveways connecting to Portuguese Bend Road and Lower Blackwater Canyon Road. There is a third driveway on Lower Blackwater Canyon Road that provides access to the stable.

The overall Project includes items subject to Administrative Review: interior and exterior remodel, 521 square feet of additions to the main residence, a new 820-square-foot accessory dwelling unit (ADU), reconfiguration of hardscape and landscape, and removal of existing walkways and sheds. There are other items that are part of the Administrative Review that include new fountains, water features, maximum three-foot-high walls, patio, fire pit, and a reconfigured pool deck, but these items are also subject to Discretionary Approval due to their locations in the setbacks.

Section 3. On July 17, 2012, the Planning Commission adopted Resolution No. 2012-14 approving a Variance in Zoning Case No. 819 to permit construction of an addition to encroach into the rear yard setback and to retain a shed in the rear yard setback.

According to the Los Angeles County Assessor's Office, the main house was built in 1936. However, there are several building permits that date from 1957 to present for improvements, additions, and construction.

Section 4. The Planning Commission conducted duly noticed public hearings to consider the application at its field trip meeting and regular meeting on February 21, 2023. Neighbors within a 1,000-foot radius were notified of the public hearings and a notice was published in the Daily Breeze on February 11, 2023. The applicants and their agent were notified of the public hearings in writing by first class mail and the agent was in attendance at the hearings. Evidence was heard and presented from all persons interested in affecting said proposal. The project was continued to the March 21, 2023 evening Planning Commission meeting.

Section 5. The Project is exempt from the California Environmental Quality Act (CEQA) Guidelines pursuant to Section 15303, Class 3 (New Construction or Conversion of Small Structures), which exempts the construction and location of a limited number of new, small facilities or structures, including accessory structures, including but not limited to garages, carports, patios, swimming pools and fences. Here, the Project includes a detached garage, reconstruction of a stable and loft on the existing footprint, a new pool/spa to replace the existing pool/spa, a new equestrian riding arena, and a reconfigured driveway and apron. Accordingly, the Project qualifies for the exemption pursuant to Section 15303. Further, no exceptions to the exemption apply; there is no reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. The site has already been graded and existing structures are on site.

Section 6. Site Plan Review Findings. A Site Plan Review is required for grading pursuant to RHMC Section 17.46.020.A.2.a requires a Site Plan Review for the construction of a swimming pool and spa 800 square feet or greater. The Applicants are requesting a Site Plan Review for a 912 square foot swimming pool and spa. RHMC Section 17.46.020.A requires a Site Plan Review for non-exempt grading and the construction of new buildings or structures. Collectively, the applicant is seeking a Site Plan Review for the following: (1) 912-Square-foot swimming pool/spa, (2) Appurtenant structures, hardscape, and landscape; and 3) Non-exempt grading With respect to the Site Plan Review for the proposed development, the Planning Commission hereby makes the following findings:

A. The project complies with and is consistent with the goals and policies of the General Plan and all requirements of the zoning ordinance.

The Project, is consistent with the purposes and objectives of the General Plan because the it is consistent with similar amenities in the community. The Applicants are proposing to demolish the existing 544-square-foot swimming pool and build a new 912-square-foot pool and spa north of the existing pool footprint, and the spa shifted east of the existing pool footprint. Here, the Project is consistent with Land Use Element (LUE) Policy 2.4 as the proposed location

of the pool is on an area that has already been developed for recreational use, so that the improvements will not impact the view or privacy of surrounding neighbors. The Project is consistent with LUE Policy 1.1 as it will not change the lot size, and consistent with LUE Goal 2, which aims to accommodate development that is compatible with and complements existing land uses. Here, the Project is compatible with existing land uses as other properties in the same zone have a swimming pool and spa. Lastly, by constructing the new swimming pool, spa, and riding ring arena, the Project is consistent with Open Space and Conservation Element Goal 2, which aims for expanded opportunities for outdoor recreation.

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot.

The buildable area on the lot is restricted due to the topography and the configuration of the lot. The proposed development has been considered, and the proposed development will not adversely affect or be materially detrimental to adjacent uses, buildings, or structures. The proposed development will be on an existing building pad which will be least intrusive to surrounding properties. Further, the Project is of sufficient distance from nearby residences so views and privacy of surrounding neighbors will not be impacted. The Project will incorporate landscaping which will screen development. The lot is 1.07 acres and 100% disturbed, but the Project includes a reconstructed stable and riding ring arena which furthers the City's goal to remain an equestrian community.

C. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences.

The proposed development, as conditioned, is harmonious in scale and mass with the site, and is consistent with the scale of the neighborhood when compared to residences in the vicinity of said lot. The development plan takes into consideration the visibility of the Project from Portuguese Bend Road and Lower Blackwater Canyon Road as landscaping is provided to screen development from neighboring properties. The site is already 100% disturbed and the Project will be harmonious with the natural terrain and surrounding residences.

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls).

The site is already developed with a single-family residence, guesthouse, swimming pool/spa, stable, driveways, and improvements. The Applicants are proposing to relocate

a pool and spa and rebuild the stable in the same location. The location of structures minimizes lot disturbance by using an existing pad that has already been graded. Native vegetation and mature trees will be preserved to the extent feasible.

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area.

Grading for the new equestrian riding ring arena is proposed at the northeastern portion of the parcel along the fence. The grading for the arena will be minimal as the property has been completely disturbed. Grading will be balanced onsite and will follow the natural contours of the existing site to the extent feasible.

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course.

The property is relatively flat and existing drainage will remain as there will be minimal grading. Drainage will continue to flow in the existing drainage course.

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas.

A conceptual landscape plan has been prepared and has been reviewed by the City's landscape consultant. Landscaping will meet the requirements of the water efficient landscape ordinance and incorporate low impact development practices. Surrounding native vegetation and mature trees will not be affected and new landscaping will be considerate of the environment and will enhance the rural character of the community.

H. The project is sensitive and not detrimental to the convenience and safety of circulation for pedestrians and vehicles.

The main driveway will be relocated away from the intersection of Portuguese Bend Road and Lower Blackwater Canyon Road making it a safer scenario. The relocated driveway apron has been reviewed by the City Traffic Engineer and approved by the Traffic Commission. Walkways and driveways on the property will be redesigned to provide for the convenience and safety of pedestrians and vehicles. The driveway for the stable and corral will be redesigned to eliminate pavers and provide for a more permeable surface, which complies with stormwater requirements.

I. The project conforms to the requirements of the California Environmental Quality Act (CEQA).

The Project is exempt from the CEQA Guidelines pursuant to Section 15303, Class 3 (New Construction or Conversion of Small Structures), which exempts the construction and location of a limited number of new, small facilities or structures, including accessory structures, including but not limited to garages, carports, patios, swimming pools and fences. Here, the Project includes construction of several accessory structures and associated minimal grading that will be balanced on site. Accordingly, the Project qualifies for the exemption pursuant to Section 15303. Further, no exceptions to the exemption apply; there is no reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances. The site has already been graded and existing structures are on site.

Section 7. Findings for Conditional Use Permits. Section 17.16.040(A)(5) of the Rolling Hills Municipal Code (RHMC) permits approval of an 1) equestrian riding arena, 2) relocation of

an existing driveway apron, and 3) reconstruction of a stable on the same footprint subject to the conditions in Section 17.16.210(A). With respect to the Conditional Use Permits, the Planning Commission finds as follows:

A. That the proposed conditional use is consistent with the General Plan.

The granting of Conditional Use Permits for the Project is consistent with the purposes and objectives of the Zoning Ordinance and General Plan because the use is consistent with similar uses in the community, and meets all the applicable code development standards for such use. The property is adequately sized to accommodate such use. The proposed use is appropriately located in that it will be sufficiently separated from nearby structures used for habitation or containing sleeping quarters. Development would be constructed in furtherance of the General Plan goal of promoting and encouraging equestrian uses. The new riding ring arena is proposed to be located on the property so that it will not be in close proximity to the existing residence or other residences in the area. All other proposed appurtenant structures are common amenities in Rolling Hills.

B. The nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures.

The nature, condition, and development of adjacent structures have been considered, and the project will not adversely affect or be materially detrimental to these adjacent uses, buildings, or structures because the proposed uses are of sufficient distance from nearby residences so as to not impact the view or privacy of surrounding properties. Development will be constructed on portions of the Property that are already graded and developed. Development will be screened and will not impact the view or privacy of surrounding neighbors. Development will permit neighbors to enjoy their property without deleterious infringement on neighboring property rights. There is a path designated for pedestrian and equestrian use that runs from the stable and proposed riding ring arena to the residence and to Lower Blackwater Canyon Road.

C. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed.

The project is harmonious in scale and mass with the site, the natural terrain, and surrounding residences because the proposed uses comply with the low profile residential development pattern of the community and areas will remain open and unobstructed. The lot is sufficient to accommodate the proposed development.

D. That the proposed conditional use complies with all applicable development standards of the zone district.

The proposed conditional uses comply with all applicable development standards of the zone district, including the specified conditions for a stable and riding ring arena identified in Section 17.16.210(A) of the Zoning Ordinance.

E. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities.

The proposed conditional uses are consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

F. That the proposed conditional use observes the spirit and intent of this title.

The proposed development meets the spirit and intent of this title in that it is a residential amenity enjoyed by other properties in the City. The use is consistent with the residential character of the City.

Section 8. Variance Findings. Section 17.38.050 sets forth the required findings for granting a variances for 1) structures to encroach into the required setbacks and front yard; and 2) for the relocated driveway to exceed the 20% allowable in the front setback and front yard. With respect to these requests for a Variances, the Planning Commission finds as follows:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone.

There are extraordinary circumstances applicable to this property. Unlike most properties in the RAS-1 Zone, the lot consists of an unusual lot configuration that is already developed, 100% disturbed, a total three driveways, and existing structures encroach into the required setbacks. The configuration of the existing lot creates hardship because the buildable area of the lot is limited.

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question.

Granting the requested variances to allow the structures to encroach into the required setbacks, easements, and front yard will facilitate construction of appurtenant structures on the property. The proposed stable and horse arena will be located on an existing pad area that has been designated for equestrian use. The encroachment of the structures in the setbacks and front yard will result in a minor increase and having a stable and corral is a property right enjoyed by other properties in the vicinity. Due to the site restrictions, there is no room for the new driveway and driveway apron to be moved out of the front setbacks. Therefore, the front yard coverage of 61.9% becomes necessary. The City requires a 20 foot driveway, but the project proposes a 26 foot wide and over 200 feet long driveway that provides access to the proposed new garage.

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity.

Granting variances for the structures to encroach into the required setbacks and front yard will not be detrimental to the public welfare and will not be injurious to properties in the vicinity; a stable and riding arena along with other residential appurtenant structures are allowed in the Rolling Hills community. Further, the project will be consistent with other development in the area.

D. That in granting the variance, the spirit and intent of this title will be observed.

The granting of the variances will allow for development that is harmonious in scale and mass with the site, the natural terrain, and surrounding residences and will not give the property an over-built look.

E. That the variance does not grant special privilege to the applicant.

The variance does not grant special privileges for the Applicants, the proposed driveway relocation makes the site more accessible, and results in a common amenity enjoyed by many properties throughout the City and a more accessible lot. The project, together with the variance, will be compatible with the objectives, policies, general land uses, and programs specified in the General Plan.

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities.

Granting variances for the project will be consistent with the applicable portions of the Los Angeles County Hazardous Waste Management Plan related to siting criteria for hazardous waste facilities. The project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

G. That the variance request is consistent with the General Plan of the City of Rolling Hills.

Granting the variances to allow the structures to encroach into the required setbacks and front yard area will be consistent with the General Plan of the City of Rolling Hills, which allows and encourages residential and equestrian uses.

Section 9. Approvals; Conditions of Approval. Based upon the foregoing findings, and the evidence in the record, the Planning Commission hereby approves Zoning Case No. 22-81 subject to the following conditions:

A. The Site Plan, Conditional Use Permit, and Variance approvals shall expire within two years from the effective date of approval as defined in RHMC Sections 17.46.080, 17.42.070, and 17.38.070 of the Zoning Ordinance unless otherwise extended pursuant to the requirements of these sections.

B. If any condition of this resolution is violated, the entitlement granted by this resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt

of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicant cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted; the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to Chapter 17.58 of the Rolling Hills Municipal Code (RHMC).

C. All requirements of the Building and Construction Ordinance, the Zoning ordinance, and of the zone in which the subject property is located must be complied with unless otherwise a variance to such requirement has been approved.

D. The lot shall be developed and maintained in substantial conformance with the site plan on file at City Hall and approved by the Planning Commission on March 21, 2023 except as otherwise provided in these conditions. The working drawings submitted to the Department of Building and Safety for plan check review shall conform to the approved development plan. All conditions of the Site Plan Review, Conditional Use Permit, and Variance approvals shall be incorporated into the building permit working drawings, and where applicable complied with prior to issuance of a grading or building permit from the building department.

The conditions of approval of this Resolution shall be printed onto a separate sheet and included in the building plans submitted to the Building Department for review and shall be kept on site at all times.

Any proposed modifications and/or changes to the approved project, including resulting from field conditions, shall be discussed with staff so that staff can determine whether the modification is minor or major in nature. Minor modifications are subject to approval by the City Manager or his or her designee. Major modifications are subject to approval by the Planning Commissioner after a public hearing. Applicant shall not implement modifications or changes to the approved project without the appropriate approval from the City Manager or designee or the Planning Commission, as required.

E. Prior to submittal of final working drawings to Building and Safety Department for issuance of building and grading permits, the plans for the project shall be submitted to City staff for verification that the final plans are in compliance with the plans approved by the Planning Commission.

F. A licensed professional preparing construction plans for this project for Building Department review shall execute a Certificate affirming that the plans conform in all respects to this Resolution approving this project and all of the conditions set forth herein and the City's Building Code and Zoning Ordinance.

Further, the person obtaining a building and/or grading permit for this project shall execute a Certificate of Construction stating that the project will be constructed according to this Resolution and any plans approved therewith.

G. Structural lot coverage of the lot shall not exceed 9,398 square feet or 20.% of the net lot area, in conformance with lot coverage limitations 20% maximum. The existing flatwork coverage is 16,960 square feet, and the Project proposes a decrease of -5,212 square feet (-11.2%). The total lot coverage proposed, including structures and flatwork, shall not exceed 22,339 square feet or 45.8% of the net lot area in non-conformance with lot coverage limitations by 10.5% (35% maximum). The existing total structural and flatwork coverage is 25,410 square feet (55.5%). The Project proposes to decrease the existing structural and flatwork coverage by a total of -4,071 square feet (8.6%). Although the existing structural and flatwork exceeds the maximum allowable 35%, the Project actually lowers the existing flatwork by 11.2%. The proposed total structural and flatwork is 21,339 square feet (45.8%).

H. The entire lot is 100% disturbed. Grading for this project shall not exceed 265 cubic yards of cut and 265 cubic yards of fill for a total of 530 cubic yards balanced on site.

I. The residential building pad is proposed at 100% or 46,610 square feet.

J. A driveway access shall be provided per the Fire Department requirements and the apron of the driveway shall be roughened and the first 20 feet of the driveway shall not exceed 7% in slope.

K. Access to the stable and to the corral shall be decomposed granite or 100% pervious roughened material; it shall not be wider than 12 feet.

L. The stable and riding ring arena shall at all times comply with the conditions set forth in Section 17.16.210(A) and 17.18.060(A) of the RHMC. The detached garage shall not have a kitchen or kitchenette and no sleeping quarters or renting of the structure shall be permitted.

M. A minimum of five-foot level path and/or walkway, which does not have to be paved, shall be provided around the entire perimeter of all of the proposed structures, including the detached garage and stable, or as otherwise required by the Fire Department.

N. The applicant shall comply with all requirements of the Low Impact Development requirements for storm water management on site (RHMC Chapter 8.32).

O. Hydrology, soils, geology and other reports, as required by the Building and Public Works Departments, and as may be required by the Building Official, shall be prepared.

P. Prior to issuance of a final construction approval of the project, all graded slopes shall be landscaped. Prior to issuance of building permit, the landscaping plan shall meet the requirements of the City, shall be submitted to the City in conformance with Fire Department Fuel Modification requirements, and shall be approved by the City's landscape consultant.

Q. The project shall be landscaped, and continually maintained in substantial conformance with the landscaping plan on file approved by the City's landscape consultant. A detailed landscaping plan shall provide that any trees and shrubs used in the landscaping scheme for this project shall be planted in a way that screens the project development from adjacent streets and neighbors, such that shrubs and trees as they mature do not grow into a hedge or impede any neighbors views and the plan shall provide that all landscaping be maintained at a height no higher than the roof line of the nearest project structure. In addition, the landscaping plan shall provide for screening of development with vegetation not to exceed 10 feet in height, and that the vegetation used for screening shall be planted in an off-set manner, so as to prevent it, as it grows from forming a solid hedge. The landscaping plan shall utilize to the maximum extent feasible, plants that are native to the area, are water-wise and are consistent with the rural character of the community. Plants listed as high hazardous plants under RHMC Section 8.30.015 are prohibited.

R. The applicant shall submit a landscaping performance bond or other financial obligation, to be kept on deposit by the City, in the amount of the planting plus irrigation plus 15%. The bond shall be released no sooner than two years after completion of all plantings, subject to a City staff determination that the plantings required for the project are in substantial conformance with approved plans and are in good condition.

The landscaping shall be subject to the requirements of the City's Water Efficient Landscape Ordinance, (Chapter 13.18 of the RHMC).

Pursuant to Chapter 8.30 of the RHMC, the property shall at all times be maintained free of dead trees and vegetation.

S. The setback lines and roadway easement lines in the vicinity of the construction for this project shall remain staked throughout the construction. A construction fence may be required.

T. Perimeter easements, including roadway easements and trails, if any, shall remain free and clear of any improvements to advance equestrian use and emergency preparedness for evacuation within the City. Where RHCA has demonstrated authority over the easement, the City's Planning Director may grant relief from this condition upon satisfactory proof of permission from RHCA and a legitimate showing that there is no need for the condition to advance equestrian uses and emergency preparedness.

U. Minimum of 65% of any construction materials must be recycled or diverted from landfills. The hauler of the materials shall obtain City's Construction and Demolition permits for waste hauling prior to start of work and provide proper documentation to the City.

V. *During construction*, conformance with the air quality management district requirements, storm water pollution prevention practices, county and local ordinances and

engineering practices so that people or property are not exposed to undue vehicle trips, noise, dust, objectionable odors, landslides, mudflows, erosion, or land subsidence shall be required.

W. *During construction*, to the extent feasible, all parking shall take place on the project site, on the new driveway and, if necessary, any overflow parking may take place within the unimproved roadway easements along adjacent streets, and shall not obstruct neighboring driveways, visibility at intersections or pedestrian and equestrian passage. During construction, to the maximum extent feasible, employees of the contractor shall car-pool into the City. To the extent feasible, a minimum of 4' wide path, from the edge of the roadway pavement, for pedestrian and equestrian passage shall be available and be clear of vehicles, construction materials and equipment at all times.

X. *During construction*, the property owners shall be required to schedule and regulate construction and relate traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

Y. Prior to demolition of the existing structures, an investigation shall be conducted for the presence of hazardous chemicals, lead-based paints or products, mercury and asbestos-containing materials (ACMs). If hazardous chemicals, lead-based paints or products, mercury or ACMs are identified, remediation shall be undertaken in compliance with California environmental regulations and policies.

Z. The property owner and/or his/her contractor/applicant shall be responsible for compliance with the no-smoking provisions in the Municipal Code. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE. It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions.

AA. Development shall drain in accordance with the approved grading and drainage plan. Drainage dissipaters shall be constructed outside of any easements. The drainage system shall be approved by the Department of Building and Safety. If an above ground swale and/or dissipater is required, it shall be designed in such a manner as not to cross over any equestrian trails or discharge water onto a trail, shall be stained in an earth tone color, and shall be screened from any trail, road and neighbors' view to the maximum extent practicable, without impairing the function of the drainage system.

AB. *During construction*, dust control measures shall be used to stabilize the soil from wind erosion and reduce dust and objectionable odors generated by construction activities in accordance with South Coast Air Quality Management District, Los Angeles County and local ordinances and engineering practices.

AC. *During construction*, an Erosion Control Plan containing the elements set forth in Section 7010 of the 2016 County of Los Angeles Uniform Building Code shall be followed to minimize erosion and to protect slopes and channels to control storm water pollution.

AD. The property owners shall be required to conform to the Regional Water Quality Control Board and County Health Department requirements for the installation and maintenance of storm water drainage facilities and septic tank.

AE. The applicant shall pay all of the applicable Building and Safety and Public Works Department fees and Palos Verdes Peninsula Unified School District fees, if any.

AF. Prior to final inspection of the project, "as graded" and "as constructed" plans and certifications shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the Planning Commission approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan.

AG. The applicants shall execute an Affidavit of Acceptance of all conditions of the Site Plan Review approval, or the approval shall not be effective.

AH. All conditions of this Resolution, when applicable, must be complied with prior to the issuance of a grading or building permit from the Building and Safety Department

AI. Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Section 17.54.070 of the Rolling Hills Municipal Code and Code of Civil Procedure Section 1094.6.

AJ. The main driveway shall not exceed 24 feet in width and landscaping shall be provided between the main driveway and the front fence. Prior to plan check submittal, the driveway location and landscaping shall be reviewed and approved by the Planning Department for conformance with this condition.

PASSED, APPROVED AND ADOPTED THIS 21st DAY OF MARCH 2023.

BRAD CHELF, CHAIRPERSON

ATTEST:

CHRISTIAN HORVATH, CITY CLERK

Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in Section 17.54.070 of the Rolling Hills Municipal Code and Civil Procedure Section 1094.6.

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) §§
CITY OF ROLLING HILLS)

I certify that the foregoing Resolution No. 2023-02 entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL OF A SITE PLAN REVIEW FOR 1) A 912-SQUARE-FOOT SWIMMING POOL/SPA, 2) DETACHED GARAGE, 3) APPURTENANT STRUCTURES, HARDSCAPE, LANDSCAPE, AND 4) NON-EXEMPT GRADING; CONDITIONAL USE PERMITS FOR 1) AN EQUESTRIAN RIDING ARENA, 2) RELOCATION OF AN EXISTING DRIVEWAY APRON, 3) 1,334-SQUARE-FOOT RECONSTRUCTED STABLE ON THE SAME FOOTPRINT; AND VARIANCES FOR 1) STRUCTURES TO ENCROACH INTO THE REQUIRED SETBACKS AND FRONT YARD, AND 2) TO EXCEED THE 20% FRONT YARD COVERAGE FOR THE DRIVEWAY, IN ZONING CASE NO. 22-81 LOCATED AT 9 PORTUGUESE BEND ROAD, (LOT 74-RH) (WILLIS)

was approved and adopted at a regular meeting of the Planning Commission on March 21, 2023, by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

and in compliance with the laws of California was posted at the following:

Administrative Offices.

CHRISTIAN HORVATH, CITY CLERK



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 11.A

Mtg. Date: 11/10/2022

TO: HONORABLE CHAIR AND MEMBERS OF THE TRAFFIC COMMISSION

FROM: STEPHANIE GRANT, ASSISTANT PLANNER

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: REVIEW AND APPROVE RELOCATED DRIVEWAY FOR 9 PORTUGUESE BEND ROAD

DATE: November 10, 2022

BACKGROUND:

The property located at 9 Portuguese Bend Road is zoned RAS-1 and has a net lot area of 44,875 square feet (1.03 acres), and only one building pad exists. The lot is developed with an existing 3,809 square-foot single family residence, 544 square-foot garage, 1,589 square-foot guest house, 1,334 square foot stable, 690 square-foot swimming pool/spa, and 114 square-foot water feature. The lot is located at corner of Portuguese Bend Road and Lower Blackwater Canyon.

DISCUSSION:

The Applicants and architect, Russ Barto, submitted an application (Zoning Case No. 22-81) on September 14, 2022 for a Site Plan Review, Conditional Use Permit, and Variance that will be reviewed by the Planning Commission on a later date. The Applicants are proposing to relocate the second driveway apron away from the intersection, which is subject to review by the Traffic Commission. The proposed driveway relocation is staked at the site.

The property has an existing irregular shaped driveway with three existing driveway aprons. The existing main driveway (#1 driveway apron) is located ten feet from the west property line and fronts onto Portuguese Bend Road. The existing second driveway apron (#2 driveway apron) is located at the corner intersection of Portuguese Bend Road and Lower Blackwater Canyon Road. The third driveway apron (#3 driveway apron) is located on easterly portion of subject property that fronts onto Lower Blackwater Canyon Road, and is used mainly for stable access.

The project proposes to reconfigure the existing irregular shaped driveway and move the existing second driveway apron. The existing second driveway apron is 10-feet wide and is

located directly at the corner intersection of where Portuguese Bend Road and Lower Blackwater Canyon Road meets. There is a stop sign located slightly north of the existing second driveway apron. The Applicants are proposing to relocate the existing 10-foot wide second driveway apron directly out of the intersection. The relocated new second driveway apron will be 28-feet wide and front onto the roadway easement on Lower Blackwater Canyon Road. The relocated second driveway apron will provide better access to the proposed new driveway and new garage. The relocated driveway apron will be located just south of the existing stop sign. The Traffic Engineer conducted a site visit to review the proposed second driveway apron and prepared a report (attached). The recommendation is to move the driveway an additional 10 to 20 feet from the intersection if feasible.

FISCAL IMPACT:

The City Traffic Engineer is paid through the General Fund.

RECOMMENDATION:

Recommend approval of relocated driveway to the City Council.

ATTACHMENTS:

[City Traffic Engineer's Memo.pdf](#)
[Driveway Relocation Diagram](#)
[Development Plans](#)
[Pictures](#)

Memorandum

TO: Elaine Jeng, PE, City Manager

FROM: Vanessa Munoz, PE, TE City Traffic Engineer

DATE: November 3, 2022

SUBJECT: 9 Portuguese Bend Road Driveway

This memorandum is in response to the request by the city to review and provide input on the proposed driveway relocation by the residents of 9 Portuguese Bend Road. The proposed driveway will be shifted northwest from the existing location (intersection of Portuguese Bend Road and Blackwater Canyon Road, see picture) to Blackwater Canyon Road. The proposed driveway will have a 17-foot driveway aisle with a 29-foot driveway apron.


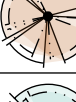


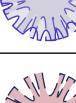
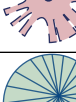



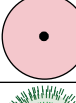
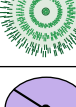









On Tuesday November 1, 2022, a field visit was made to the location to assess the proposed driveway location and width. Based on the field observations and engineering judgement, the proposed driveway location is an improvement from the existing driveway location and provides greater visibility, but the proposed location is not ideal as it is only 30 feet away from the intersection. I would recommend the driveway be relocated north an additional 10 to 20-feet. However, if not feasible to relocate the driveway the additional distance, the proposed location is acceptable.

3 PLANTING PLAN

SCALE 1/8" = 1'-0"

MASTER PLANT SCHEDULE

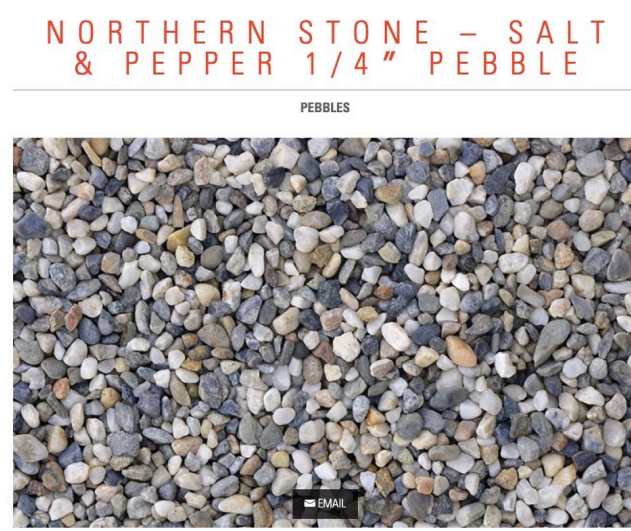
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	MATURE PLANT SIZE	INVASIVE	WATER REQ. WUCOLS REGION 3
	<i>Prunus caroliniana</i>	CAROLINA LAUREL CHERRY	24" BOX	20	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	MODERATE
	<i>Quercus agrifolia</i>	COAST LIVE OAKS	24" BOX	27	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	VERY LOW
	<i>Citrus spp.</i>	ORANGE, LEMON, ETC.	24" BOX	09	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	MODERATE
	<i>Pittosporum tenuifolium</i> and cvs.	MOCK ORANGE	24" BOX	02	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	MODERATE
	<i>Salvia sonomensis</i>	SONOMA SAGE	5 GAL	135	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	LOW
	<i>Oricum kilimandscharicum bascilicum</i> "dark opal"	PERENIAL BASIL	5 GAL	40	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	LOW
	<i>Baccharis pilularis consanguinea</i>	COYOTE BRUSH	5 GAL	60	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	LOW
	<i>Echium candicans</i>	PRIDE OF MADEIRA	15 GAL	23	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	LOW
	<i>Westringia fruticosa</i>	COAST ROSEMARY	5 GAL	57	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	LOW
	<i>Salvia allen</i> "chickering"	SALVIA ALLEN CHICKERING	5 GAL	105	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	VERY LOW
	<i>Pennisetum Spathaeolatum</i>	SLENDER VELD T GRASS	5 GAL	220	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	MODERATE
	<i>Lomandra longifolia</i>	SPINY HEADED MAT RUSH	5 GAL	56	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	LOW
	<i>Lomandra longifolia</i> lm300	BREEZE MAT RUSH	5 GAL	180	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	MODERATE
	<i>Stephanotis Floribunda</i>	MADAGASCAR JASMINE	5 GAL	30	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	MODERATE
	<i>Agave attenuata</i>	AGAVE BLUE FLAME	5 GAL	09	PLANT TO BE MAINTAINED AT 30" MAX HEIGHT	NON-INVASIVE	LOW
	<i>Frangula californica</i> and cvs. (<i>Rhamnus California</i>)	COFFEEBERRY	15 GAL		TO BE MAINTAINED AT 8' IN HEIGHT	NON-INVASIVE	LOW
		CHERRY LAUREL HEDGE	15 GAL		TO BE MAINTAINED AT 8' IN HEIGHT	NON-INVASIVE	
		NATIVE MEADOW	15 GAL			NON-INVASIVE	

SEED MIX: PLANTS NAMES

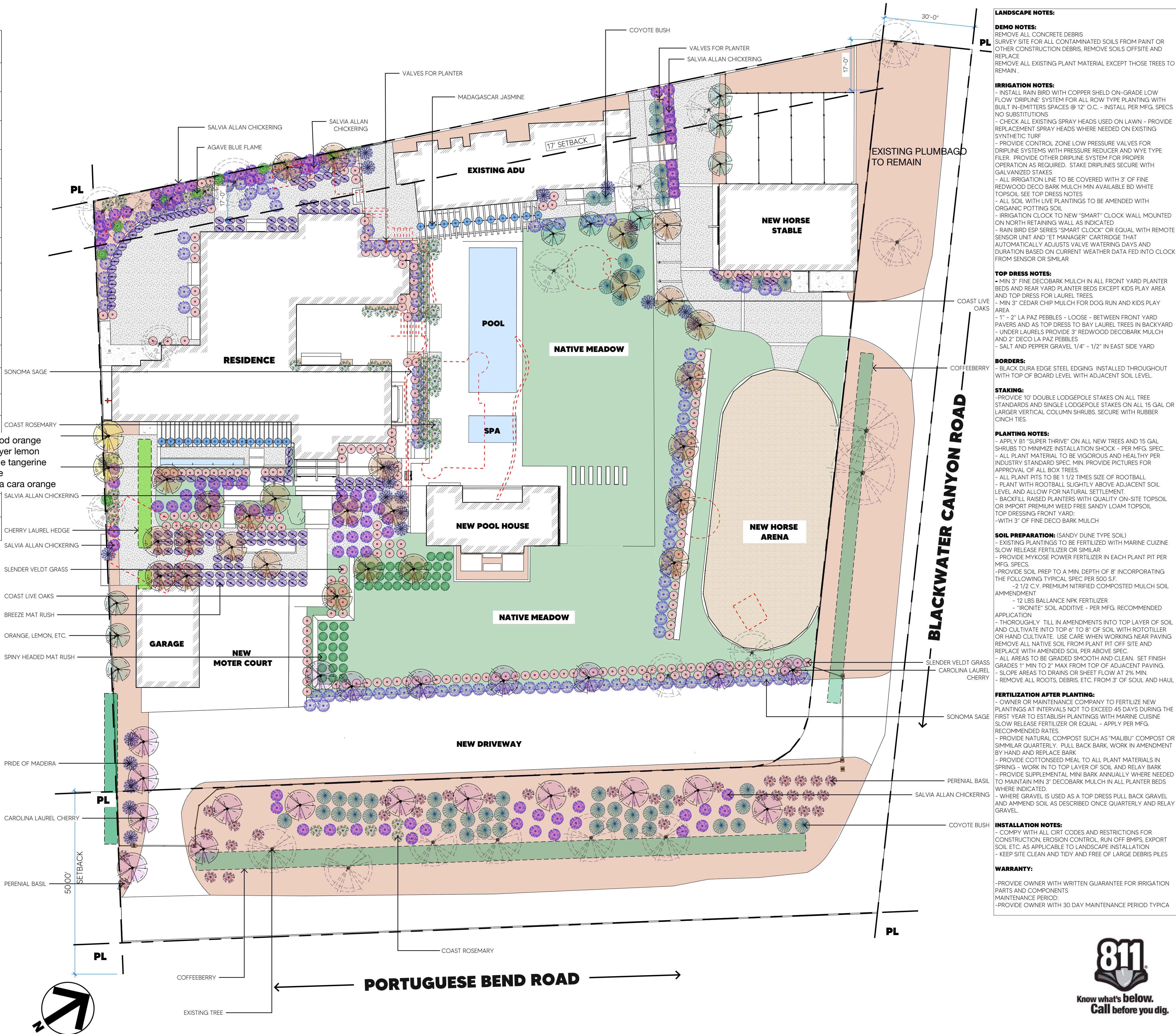
Botanical Name	Common Name
<i>Achillea millefolium</i>	White Yarrow
<i>Clarkia amoena</i>	Farewell To Spring
<i>Coreopsis lanceolata</i>	Lance-leaf Coreopsis
<i>Eschscholzia californica</i>	California Poppy
<i>Festuca idahoensis</i>	Idaho Fescue
<i>Festuca microstachys</i>	Small Fescue
<i>Gaillardia pulchella</i>	Indian Blanket
<i>Hordeum brachyantherum</i>	California Barley
<i>Lasthenia californica</i>	Dwarf Goldfields
<i>Layia platyglossa</i>	Tidy Tips
<i>Linum lewisii</i>	Blue Flax
<i>Lupinus nanus</i>	Sky Lupine
<i>Lupinus succulentus</i>	Arroyo Lupine
<i>Melica californica</i>	California Melic
<i>Stipa pulchra</i>	Purple Needlegrass



REDWOOD DECOBARK MULCH



LA PAZ PEBBLES 1" - 2"



LANDSCAPE NOTES:

DEMO NOTES:

REMOVE ALL CONCRETE DEBRIS
SURVEY SITE FOR ALL CONTAMINATED SOILS FROM PAINT OR
OTHER CONSTRUCTION DEBRIS, REMOVE SOILS OFFSITE AND
REPLACE
REMOVE ALL EXISTING PLANT MATERIAL EXCEPT THOSE TREES TO
REMAIN .

IRRIGATION NOTES:

- INSTALL RAIN BIRD WITH COPPER SHEL'D ON-GRADING LOW FLOW "DRIPLINE" SYSTEM FOR ALL ROW TYPE PLANTS WITH BUT NOT IN OPEN SPACES @ 12" OC. - INSTALL PER MFG. SPECS NO SUBSTITUTIONS
- CHECK ALL EXISTING SPRAY HEADS USED ON LAWN / PROVIDE REPLACEMENT SPRAY HEADS WHERE NEEDED ON EXISTING SYNTHETIC TURF
- PROVIDE CONTROL ZONE LOW PRESSURE VALVES FOR DRIPLINE SYSTEMS WITH PRESSURE REDUCER AND WYE TYPE FILTER. PROVIDE OTHER DRIPLINE SYSTEM FOR PROPER OPERATION AS REQUIRED. STAKE DRIPLINES SECURE WITH GALVANIZED STAKES
- ALL IRRIGATION LINE TO BE COVERED WITH 3" OF FINE REDWOOD DECO BARK MULCH MIN AVAILABLE BD WHITE TOPSOIL SEE ESD PRESS NOTES
 - ALL IRRIGATION LINE PLANTINGS TO BE AMENDED WITH ORGANIC POTTING SOIL
- IRRIGATION CLOCK TO NEW "SMART" CLOCK WALL MOUNTED ON NORTH RETAINING WALL AS INDICATED
- RAIN BIRD ESP SERIES "SMART" CLOCK OR EQUAL WITH REMOTE SENSOR UNIT AND ET MANAGER CARTRIDGE THAT AUTOMATICALLY ADJUSTS IRRIGATION DAYS AND DURATION BASED ON CURRENT WEATHER DATA FIED INTO CLOCK FROM SENSOR OR SIMILAR

TOP DRESS NOTES:

- MIN 3" FINE DECOBARK MULCH IN ALL FRONT YARD PLANTER BEDS AND REAR YARD PLANTER BEDS EXCEPT KIDS PLAY AREA AND TOP DRESS FOR LAUREL TREES.
- MIN 3" CEDAR CHIP MULCH FOR DOG RUN AND KIDS PLAY AREA
- 1" - 2" LA PAZ PEBBLES - LOOSE - BETWEEN FRONT YARD PAVERS AND AS TOP DRESS TO BAY LAUREL TREES IN BACKYARD - UNDER LAURELS PROVIDE 3" REDWOOD DECOBARK MULCH AND 2" DECO LA PAZ PEBBLES
- SALT AND PEPPER GRAVEL 1/4" - 1/2" IN EAST SIDE YARD

BORDERS:

- BLACK DURA EDGE STEEL EDGING INSTALLED THROUGHOUT WITH TOP OF BOARD LEVEL WITH ADJACENT SOIL LEVEL.

STAKING:

-PROVIDE 10' DOUBLE LODGEPOLE STAKES ON ALL TREE STANDARDS AND SINGLE LODGEPOLE STAKES ON ALL 15 GAL OR LARGER VERTICAL COLUMN SHRUBS. SECURE WITH RUBBER CINCH TIES.

PLANTING NOTES:

- APPLY BT "SUPER THRIVE" ON ALL NEW TREES AND 15 GAL SH-RUBS TO MINIMIZE INSTALLATION SHOCK - PER MFG. SPEC.
- ALL PLANT MATERIAL TO BE VIGOROUS AND HEALTHY PER INDUSTRY STANDARD SPEC. MIN. PROVIDE PICTURES FOR APPROVAL OF ALL BOX TREES.
- ALL PLANT PITS TO BE 1 1/2 TIMES SIZE OF ROOTBALL.
- PLANT WITH ROOTBALL SLIGHTLY ABOVE ADJACENT SOIL LEVEL AND ALLOW FOR NATURAL SETTLEMENT.
- BACKFILL RAISED PLANTERS WITH QUALITY ON-SITE TOPSOIL OR IMPORT PREMIUM WIDE FREE SANDY LOAM TOPSOIL.
- TOP DRESSING FRONT YARD:
 - WITH 3" OF FINE DECO BARK MULCH

SOIL PREPARATION: (SANDY DUNE TYPE SOIL)

- EXISTING PLANTINGS TO BE FERTILIZED WITH MARINE CUZINE SOLUBLE RELEASE FERTILIZER OR SIMILAR
- PROVIDE MYKOSY POWER FERTILIZER IN EACH PLANT PIT PER MFG. SPECS.
- PROVIDE SOIL PREP TO A MIN. DEPTH OF 8" INCORPORATING THE FOLLOWING TYPICAL SPEC. PER 500 SF.
 - 2 1/2 CY. PREMIUM NITRIFIED COMPOSTED MULCH SOIL AMMENDMENT
 - 12 LBS BALLANCE NK FERTILIZER
 - 1 RONTON'S SOIL ADDITIVE - PER MFG. RECOMMENDED APPLICATION
- THOROUGHLY TILL IN AMENDMENTS INTO TOP LAYER OF SOIL AND CULTIVATE INTO TOP 6" OF SOIL WITH ROTOTILLER OR HAND CULTIVATE. USE CARE WHEN WORKING NEAR GRASSING.
- REMOVE ALL NATIVE SOIL FROM PLANT PIT OFF SITE AND REPLACE WITH AMENDED SOIL PER ABOVE SPEC.
- ALL AREAS TO BE GRASSED, ROCKED AND CLEAN: SET FINISH GRADE 2" MAX FROM TOP OF ADJACENT PAVING.
- SLOPE AREAS TO DRAINS OR SHEET FLOW AT 2% MIN.
- REMOVE ALL ROOTS, DEBRIS ETC. FROM 3' OF SOIL AND HAIL.

FERTILIZATION AFTER PLANTING:

- OWNER OR MAINTENANCE COMPANY TO FERTILIZE NEW PLANTING AT INTERVALS NOT TO EXCEED 45 DAYS DURING THE FIRST YEAR TO ESTABLISH PLANTINGS WITH MARINE COUSINE SLOW RELEASE FERTILIZER OR EQUAL - APPLY PER MFG. RECOMMENDED RATES.
- PROVIDE NATURAL COMPOST SUCH AS "MALIBU" COMPOST OR SIMILAR QUARTERLY. PULL BARK, WORK IN AMENDMENT BY HAND AND REPLACE BARK
- PROVIDE COTTONSEED MEAL TO ALL PLANT MATERIALS IN SPRING - WORK IN TO TOP LAYER OF SOIL AND RELAY BARK
- PROVIDE SUPPLEMENTAL MINI BARK ANNUALLY WHERE NEEDED TO MAINTAIN MINI DECOBARK MULCH IN ALL PLANTER BEDS WHERE INDICATED.
- WHERE GRAVEL IS USED AS A TOP DRESS PULL BARK GRAVEL AND AMEND SOIL AS DESCRIBED ONCE QUARTERLY AND RELAY GRAVEL.

INSTALLATION NOTES:

- COMPLY WITH ALL CRT CODES AND RESTRICTIONS FOR CONSTRUCTION, EROSION CONTROL, RUN OFF BMPs, EXPORT SOIL ETC. AS APPLICABLE TO LANDSCAPE INSTALLATION
- KEEP SITE CLEAN AND TIDY AND FREE OF LARGE DEBRIS PILES

WARRANTY:

-PROVIDE OWNER WITH WRITTEN GUARANTEE FOR IRRIGATION PARTS AND COMPONENTS
MAINTENANCE PERIOD:
-PROVIDE OWNER WITH 30 DAY MAINTENANCE PERIOD TYPICAL



Know what's **below**.
Call before you dig.

DISCLAIMER: ALL FAIR STUDIO DESIGN DOCUMENTS AND CORRESPONDENCE ARE CONCEPTUAL DESIGNS ONLY AND ARE NOT ENGINEERING OR ARCHITECTURAL SPECIFICATIONS.

PROJECT ADDRESS

A GREAT CLIENT'S FIRST
AND LAST NAME
NUMBER

CLIENT

A GREAT CLIENT'S FIRST
AND LAST NAME
NUMBER

DESIGNER

FAIR STUDIO
KELSEY@FAIR.STUDIO
2020 Perry Ave. A.
Redondo Beach, CA
8052725126

[illegible]



SPINY HEADED MAT RUSH



SLENDER VELDT GRASS



PRIDE OF MADEIRA



BREEZE MAT RUSH



COFFEEBERRY



COAST ROSEMARY



AGAVE BLUE FLAME



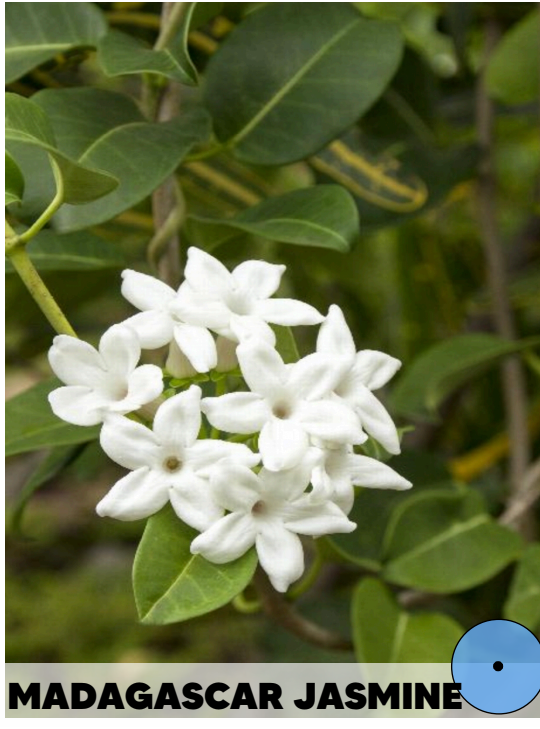
SONOMA SAGE



PERENIAL BASIL



SALVIA ALLEN CHICKERING



MADAGASCAR JASMINE



CAROLINA LAUREL CHERRY



COAST LIVE OAKS

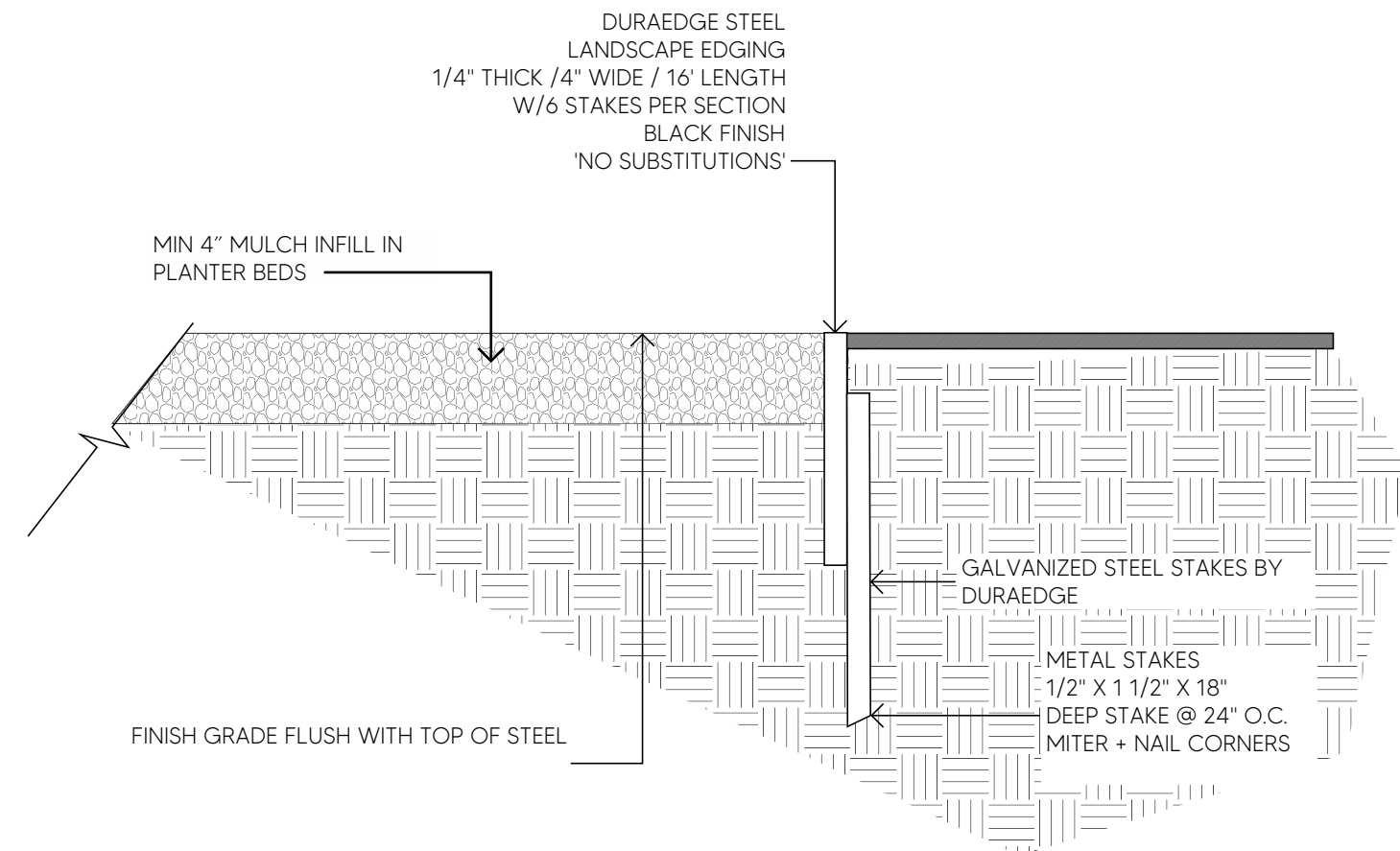


ORANGE, LEMON, ETC.



MOCK ORANGE

DURA EDGE STEEL DETAIL
SCALE: NO SCALE



PROJECT ADDRESS
A GREAT CLIENT'S FIRST
AND LAST NAME
NUMBER

CLIENT
A GREAT CLIENT'S FIRST
AND LAST NAME
NUMBER

DESIGNER
FAIR STUDIO
KELSEY@FAIR.STUDIO
2020 Perry Ave. A.
Redondo Beach, CA
8052725126

1	DATE	DESCRIPTION
2	01/22/22	PRELIMINARY SITE PLAN
3		
4		
5		
6		

SHEET TITLE
PLANTING
BOARD



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 10.A
Mtg. Date: 03/21/2023

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: JOHN SIGNO, DIRECTOR OF PLANNING & COMMUNITY SERVICES

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: ZONING CASE NO. 22-51: REQUEST FOR APPROVAL OF A SITE PLAN REVIEW TO CONSTRUCT A NEW 7,290-SQUARE-FOOT SINGLE-FAMILY RESIDENCE WITH BASEMENT, ATTACHED GARAGE, FIVE-FOOT-HIGH RETAINING WALLS, NON-EXEMPT GRADING, AND RELATED IMPROVEMENTS; VARIANCE TO CONSTRUCT A SWIMMING POOL AND SPA IN THE FRONT YARD ON A PROPERTY LOCATED AT 4 POPPY TRAIL, ROLLING HILLS, CA 90274 (LOT 17-A-PT) (ARVIDSON), AND FINDING THE PROJECT CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

DATE: March 21, 2023

BACKGROUND:

An application was filed by the applicant, Dan Bolton of Bolton Engineering, on behalf of the property owner, Andy Arvidson, to request approval to construct a new 7,290-square-foot (SF) single-family residence with a 7,290 SF basement, 1,100 SF attached garage, 1,135 square feet of attached covered porches, 195 SF attached trellis, 850 SF accessory dwelling unit (ADU), 540 SF swimming pool/spa, pool equipment, service yard, lightwells, maximum five-foot-high retaining walls, driveway, walkways, landscaping, and other improvements. The project includes 41,874 cubic yards (CY) of grading to be balanced on site. This includes 22,340 CY cut and 19,534 CY fill. There will be 2,806 CY of export for excavation of the basement and swimming pool, which is exempt.

The ADU, swimming pool/spa, service yard and other minor improvements are not subject to discretionary review. However, the swimming pool/spa requires a variance for location in the front yard. Additionally, the project must be re-noticed to address variances for the placement of retaining walls in the front yard and the average height of certain retaining walls. As such, staff is recommending the Planning Commission open the public hearing, receive public testimony, discuss the proposed project, provide direction to staff and the applicant, and

continue the public hearing to the regularly scheduled Planning Commission meeting on April 18, 2023.

Building Pads/Driveway Access

The proposed project will create two new building pads: a 20,635 SF pad for the main residence and appurtenances located roughly in the middle of the property; and a 2,770 SF pad for the ADU located southeast of the main pad at an elevation approximately 9 feet lower. Both pads will be located outside of any required setbacks and will be accessible via a new 20-foot-wide driveway that connects to an existing driveway. There will be a turnaround for Fire Department access at the terminus of the new driveway on the main building pad. The existing driveway, which connects to Poppy Trail, will be widened to 20 feet. The length of the overall driveway from Poppy Trail to the main residence will be approximately 700 feet. The Traffic Commission will consider the widening of the driveway and apron at its meeting on Thursday, March 23, 2023.

Zoning, Location, and Lot Description

The property located at 4 Poppy Trail is zoned RAS-2 and has a net lot area of 6.37 acres (277,335 square feet). Only one building pad exists on the property and is located at the highest portion in rear of the property. This building pad is 16,200 square feet and is developed with a 3,330 SF stable.

The property is irregularly shaped and only has an 86-foot segment connected to Poppy Trail. The front property line is considered the portion that connects to Poppy Trail plus the eastern property line which parallels an equestrian dirt path known as the Sleepy Hollow Trail. Sleepy Hollow Trail traverses much of the front yard setback which is 50 feet wide. The 50-foot-wide rear yard setback is along the western property line and the 35-foot-wide side yard setback is along all other property lines. The property slopes upward from Poppy Trail to the existing barn in the southwestern corner. The elevation difference between Poppy Trail to the barn pad is approximately 172 feet with the proposed main building pad approximately 100 feet higher than Poppy Trail.

Previous Approvals

On May 18, 2004, the Planning Commission adopted Resolution Nos. 2004-13 A and B approving a lot line adjustment between three parcels and a variance to retain an existing stable on the subject property which is located in the side yard setback. The stable was constructed around 1977 for use by the property owner who lived on the abutting property at 8 Reata Lane. On September 14, 2010, the Planning Commission adopted Resolution No. 2010-18 approving a lot line adjustment between three properties, which included a lot owned by the City.

DISCUSSION:

Applicant Request

The applicant is requesting a Site Plan Review for construction of the residence and appurtenant structures and for grading. The project requires a variance request to locate the swimming pool and spa in the front yard.

The total structures will be 15, 180 SF or 5.47% of the net lot area.

The flatwork area, which includes the driveway, paved walkways, patios, and courtyards is 17,400 square feet. This covers 6.3% of the net lot area.

Total disturbance covers 109,995 SF and accounts for 39.7% of the net lot area.

The residential building pad will be 20,635 square feet and the residence and other structures will cover 51.9% of the pad.

The ADU pad will be 2,770 SF and structures will cover 36.1% of the pad.

The existing stable pad is 16,200 SF and the stable covers 21.5% of the pad.

New landscaping will cover 104,708 SF. A preliminary landscape plan has been prepared and reviewed by the City's landscape consultant for compliance with the Model Water Efficient Landscape Ordinance (MWELO). The plan was reviewed for appropriateness and adaptability of selected plants, water efficient irrigation design, and the use of design elements that enhance the character of the community. The preliminary landscape plan was found to be in compliance with MWELO and landscape conditions will be included for installation and maintenance.

Site Plan Review

The applicant is requesting a Site Plan Review (SPR) to construct a new residence and appurtenant structures including 5-foot-high retaining walls, grading, and other improvements. Rolling Hills Municipal Code (RHMC) Section 17.46.020 requires SPR approval for construction of any new building or structures, and non-exempt grading.

Non-Exempt Grading

The applicant is requesting a total of 41,874 CY of grading, including 22,340 CY cut, 19,534 CY fill, and 2,806 CY of export, which is considered exempt. Excavation for the basement and swimming pool is exempt and could be exported from the site without relief from the Code. Grading will be done on the building pads for the new residence, ADU, driveway, and yard areas. Grading includes 6,185 CY of over-excavation and 12,045 CY of recompaction to stabilize the site.

Retaining Walls

Retaining walls are proposed along the driveway and surrounding the main residence and ADU building pads. The maximum height of the retaining walls is five feet and the average height is not to exceed two and one-half feet.

Variances

RHMC Section 17.16.200.G prohibits a swimming pool and spa from being located in the front yard. The applicant is requesting approval of a variance from this requirement.

Retaining Walls

After re-reviewing the plans, it has come to staffs' attention that the retaining walls require a variance that were not included in the public hearing notice. RHMC Section 17.16.190.F states, "The maximum permitted wall height shall be five feet, averaging two and one-half feet as measured from the finished grade to top of the wall." The maximum wall height is 5 feet and

the average height of all the retaining walls is 2½ feet, but the average is calculated based on all the walls and not each individual wall. As such, there are some walls that are 5 feet high entirely and do not average 2½ feet high. RHMC Section 17.16.190.F also states, "A wall above three feet shall be subject to site plan review and shall not be located in the front yard or in any setback, unless approved by a variance." Because of the shape and topography of the property and the orientation of the proposed residence, there are retaining walls located in the front yard that require a variance. For these reasons, the project will have to be re-noticed (or modified) to address these issues.

Environmental Review

The proposed project has been determined to not have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts a single-family residence, swimming pool, and accessory structures.

Public Participation

None received.

CRITERIA FOR SITE PLAN REVIEW

17.46.050 - Required Site Plan Review findings.

The Commission shall be required to make findings in acting to approve, conditionally approve, or deny a Site Plan Review application. No project which requires Site Plan Review approval shall be approved by the Commission, or by the City Council on appeal, unless the following findings can be made:

1. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance;
2. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot;
3. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences;
4. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls);
5. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area;
6. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course;
7. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas;
8. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles; and

9. The project conforms to the requirements of the California Environmental Quality Act.
10. If all of the above findings cannot be made with regard to the proposed project, or cannot be made even with changes to the project through project conditions imposed by City staff and/or the Planning Commission, the site plan review application shall be denied.

CRITERIA FOR VARIANCES

17.38.050 Required Variance findings.

In granting a variance, the Commission (and Council on appeal) must make the following findings:

1. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone;
2. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;
3. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;
4. That in granting the variance, the spirit and intent of this title will be observed;
5. That the variance does not grant special privilege to the applicant;
6. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities; and
7. That the variance request is consistent with the general plan of the City of Rolling Hills.

FISCAL IMPACT:

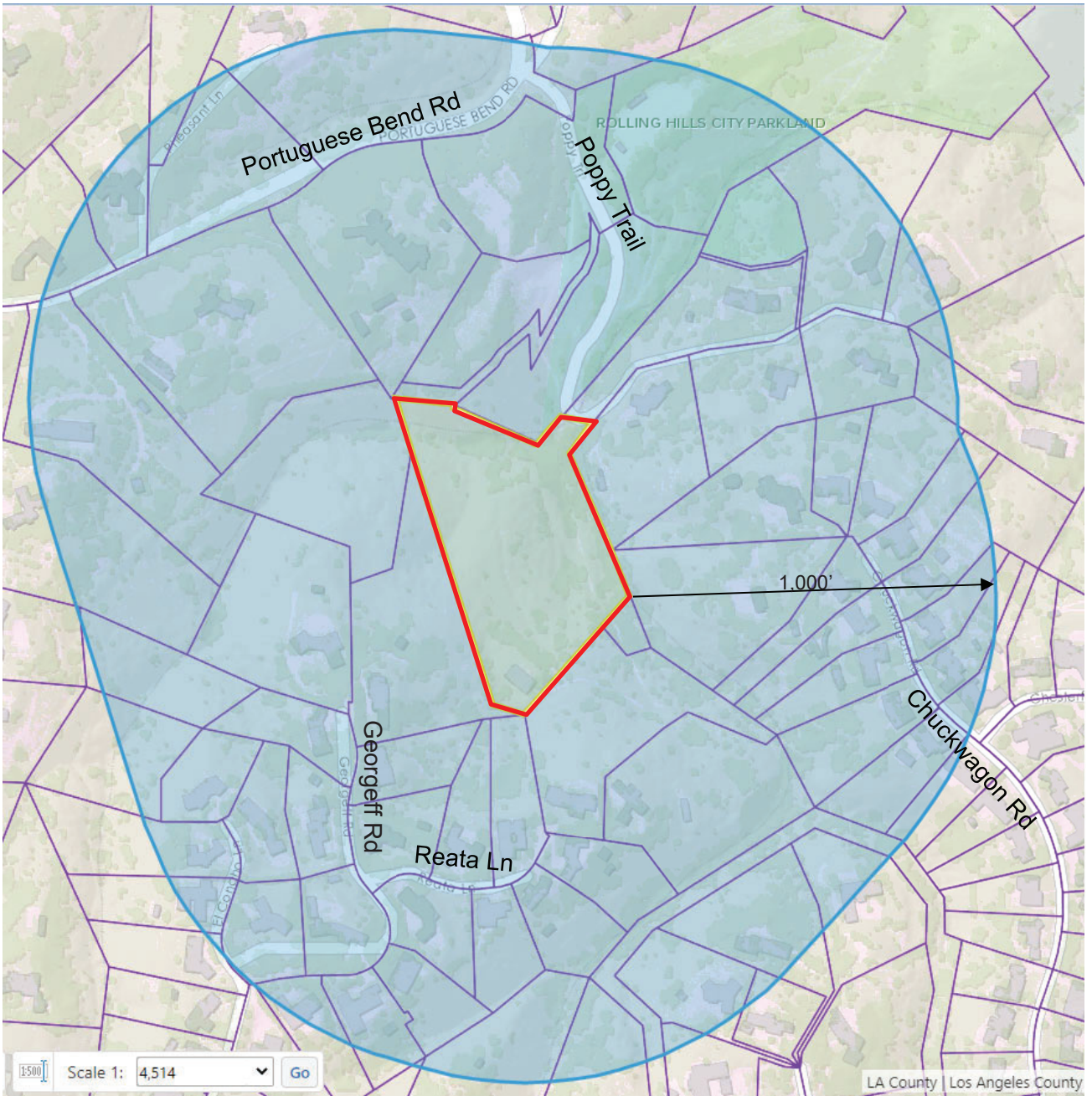
None.

RECOMMENDATION:


Staff recommends the Planning Commission open the public hearing, receive public testimony, discuss the proposed project, provide direction to staff and the applicant, and continue the public hearing to the regularly scheduled Planning Commission meeting on April 18, 2023.

ATTACHMENTS:

[ATTACHMENT1_CL_PBN_230321_4PoppyTrail_ZC22-51_VicinityMap.pdf](#)
[ATTACHMENT2_PL_ADR_4PoppyTrail_ZC22-51_DevelopmentTable.pdf](#)
[ATTACHMENT3_PL_ADR_4PoppyTrail_ZC22-51_ArchitecturalPlans.pdf](#)
[ATTACHMENT4_PL_ADR_4PoppyTrail_ZC22-51_LandscapePlan.pdf](#)
[ATTACHMENT5_PL_ADR_4PoppyTrail_ZC22-51_SitePlan_Grading.pdf](#)



City of Rolling Hills

TITLE	<u>VICINITY MAP</u>	CASE NO.	<u>ZONING CASE NO. 22-51</u>
OWNER	<u>ARVIDSON</u>		Site Plan Review, Variance
ADDRESS	<u>4 POPPY TRAIL, ROLLING HILLS, CA 90274</u>	SITE	

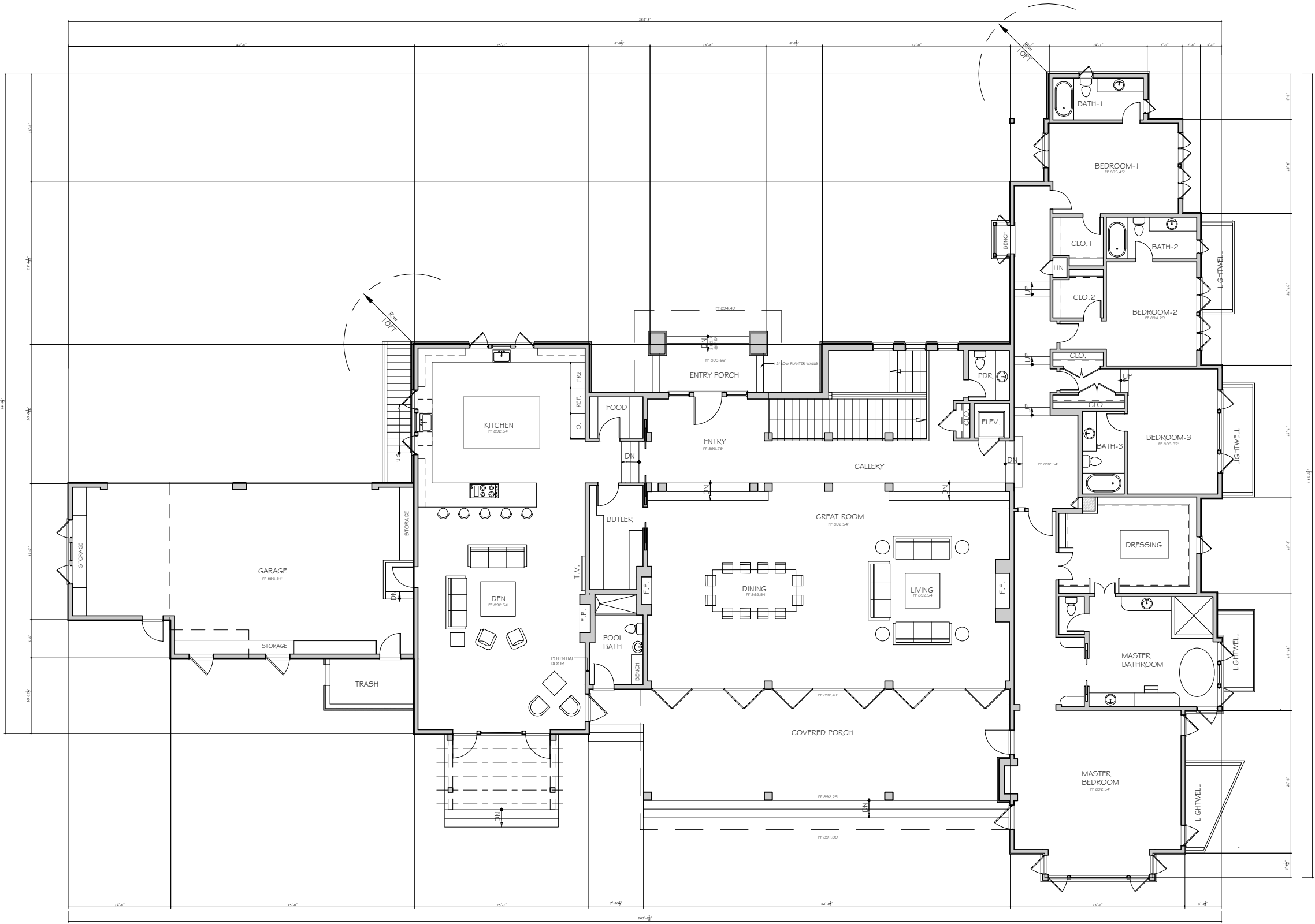
DEVELOPMENT TABLE ZONING CASE NO. 22-51 (4 POPPY TRAIL)				
Site Plan Review and Variance	PAD 1 (SF) Main Residence	PAD 2 (SF) ADU	PAD 3 (SF) Stable	TOTAL (SF)
Uses <u>RAS-2 Zone Setbacks</u> Front: 50 ft. Side: 35 ft. Rear: 50 ft.	Single family residence, garage, pool <i>Meets all setbacks</i>	ADU <i>Meets all setbacks</i>	Existing Stable <i>Variance approved for yard encroachment</i>	
Pad Area/Net Lot Area	20,635	2,770	16,200	277,335
Residence	7,290			7,290
Garage	1,100			1,100
Swimming Pool/Spa	540			540
Pool Equipment	50			50
ADU		850		850
Stable (min. 450 SF)			3,330	3,330
Attached Covered Porches	985	150	150	1,285
Attached Trellises	195			195
Lightwell	445			445
Service Yard	95			95
Total Structure Area	10,700	1,000	3,480	15,180
Total Structural Coverage (20% max)				5.5%
Total Flatwork				17,400
% of Front Setback Covered (20% max)				13.2%
Total Structural and Flatwork				32,580
Total Lot Coverage (35% maximum)				11.8%
Building Pad Coverage (Policy: 30% maximum)	51.85%	36.1%	21.5%	
Disturbed Area (40% maximum; up to 60% with slopes less than 3:1)				109,995 39.7%
Grading 22,340 Cut / 19,534 Fill Export: 2,806 CY (export to excavate basement and pool exempt)				41,874 Total



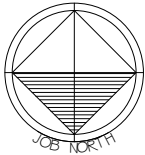
CRISS C GUNDERSON
AIA ARCHITECT

ARVIDSON RESIDENCE

4 POPPY TRAIL LANE , CALIFORNIA



MAIN FLOOR PLAN



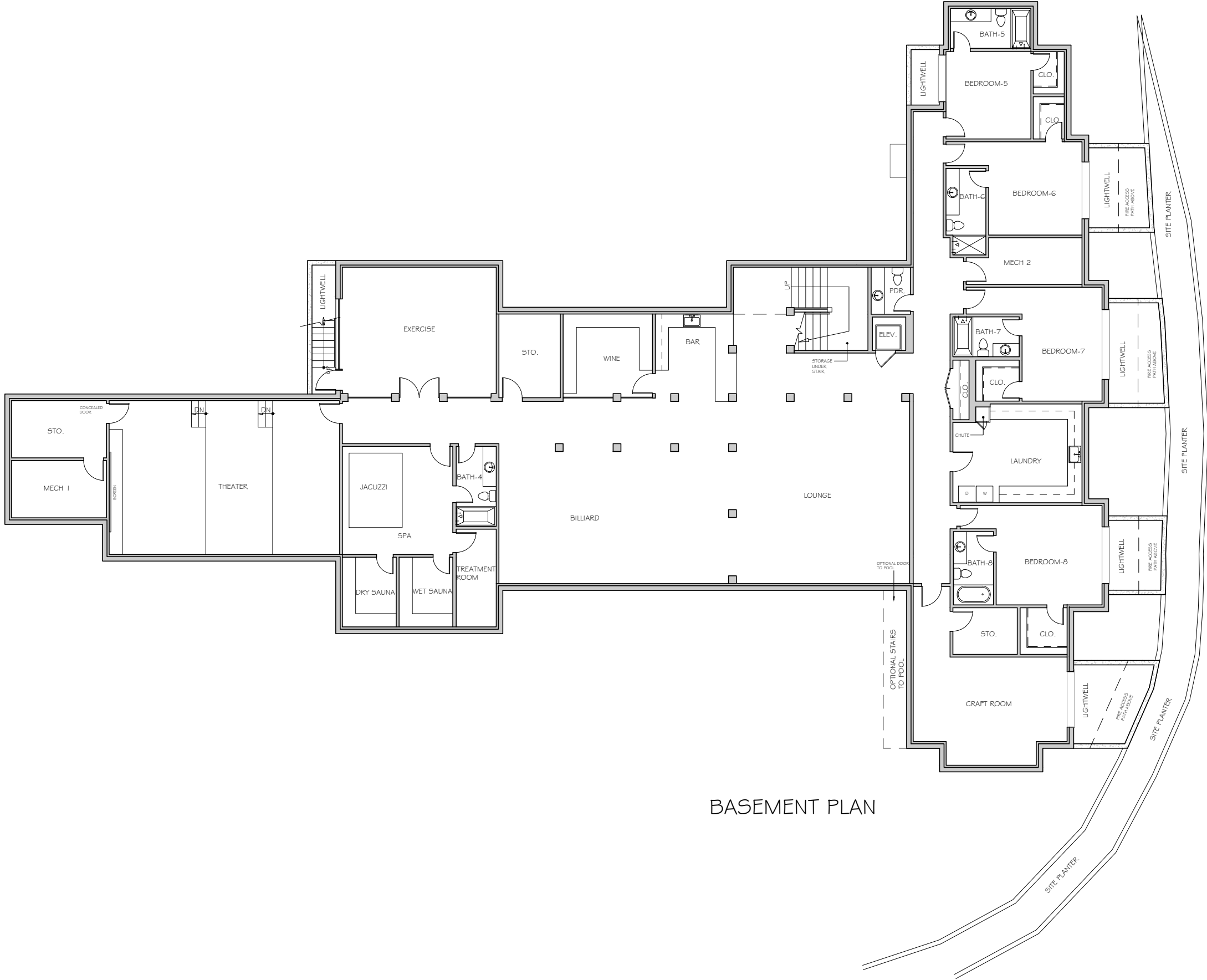
Written dimensions take preference over scaled dimensions and shall be verified on the job site. Details take preference over plans, elevations and sections. Any discrepancy shall be brought to the attention of the architect prior to the commencement of any work. These drawings and specifications are the property of Criss C Gunderson AIA Architect and shall not be used on any other project.



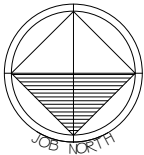
ARVIDSON RESIDENCE
4 POPPY TRAIL LANE, CALIFORNIA



CRISS C GUNDERSON - AIA ARCHITECT
2417 Sunnyside Ridge Road, Rancho Palos Verdes, CA 90275 • 310.373.8077 • Criss@Criss-Gunderson-Architect.com



BASEMENT PLAN

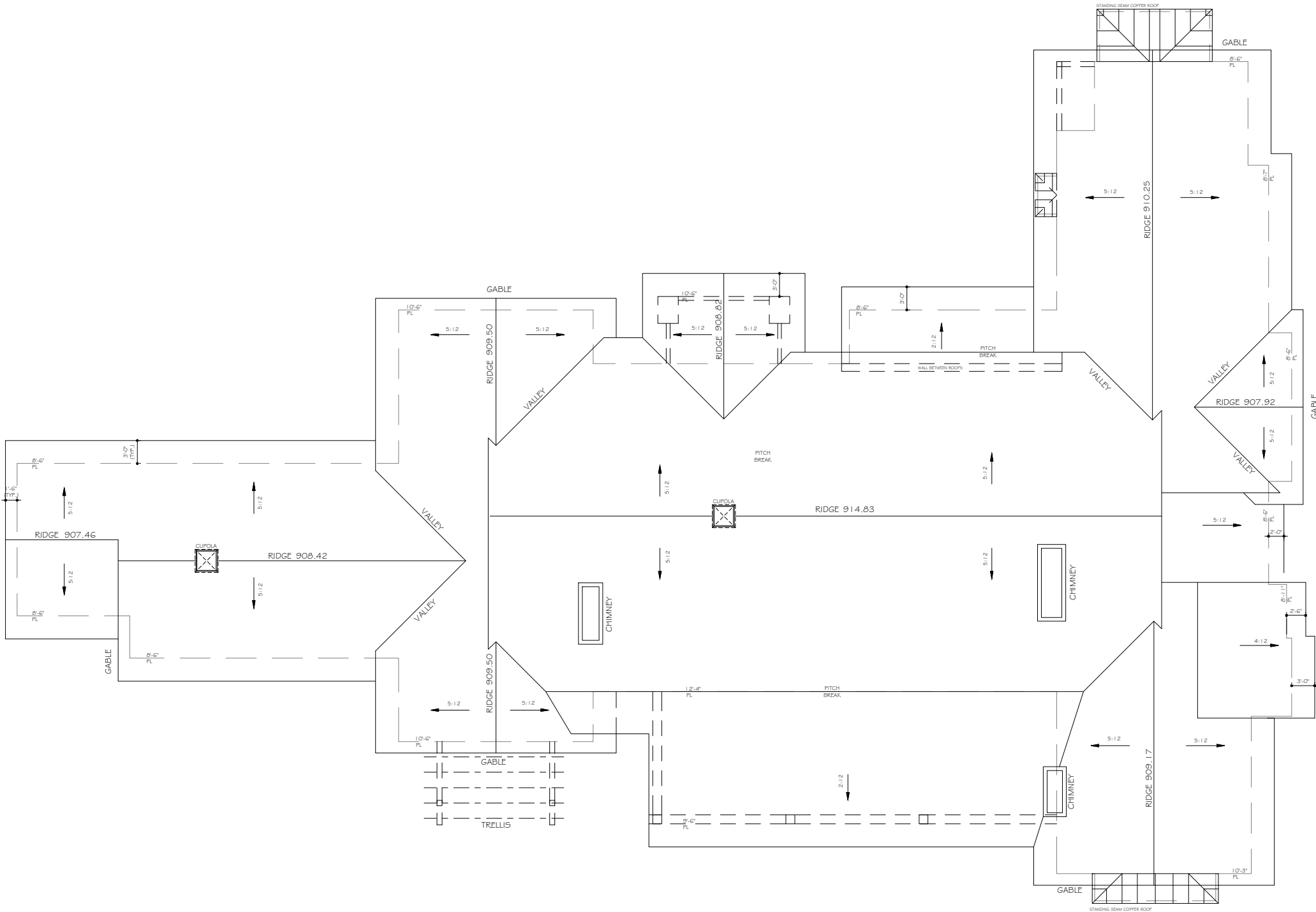


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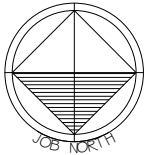


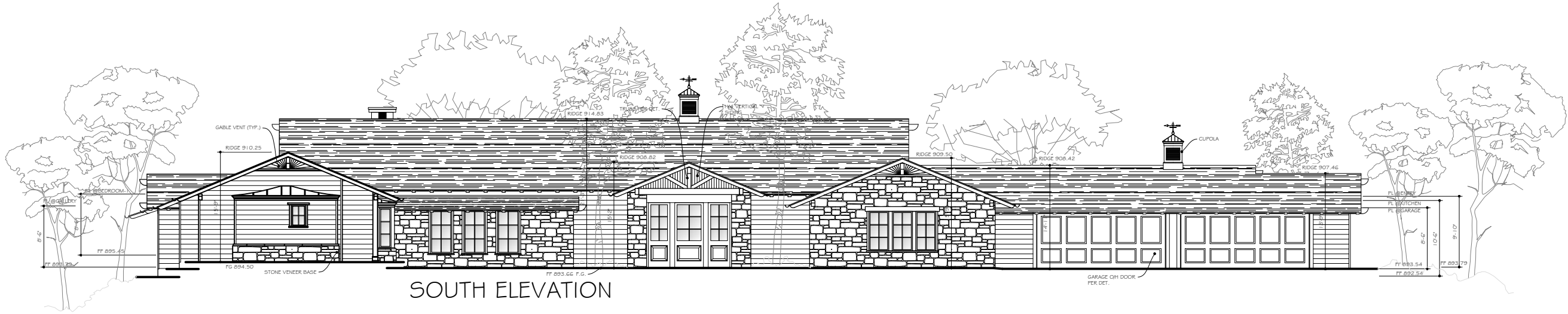
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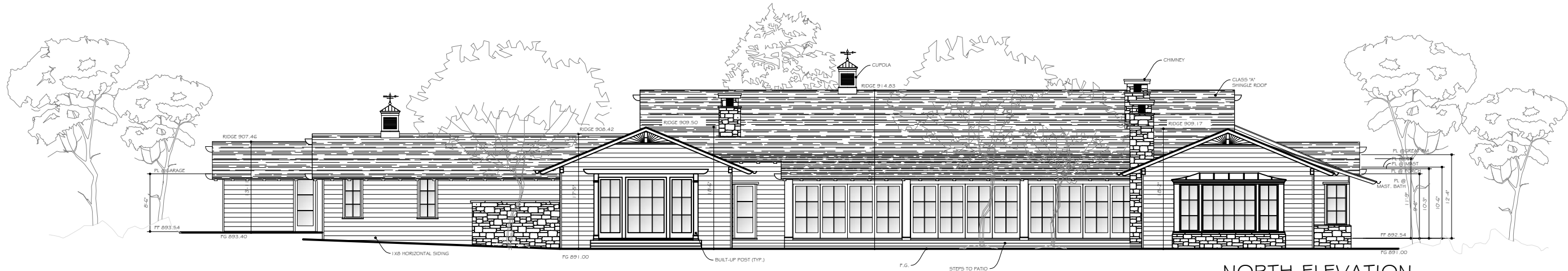


ROOF PLAN

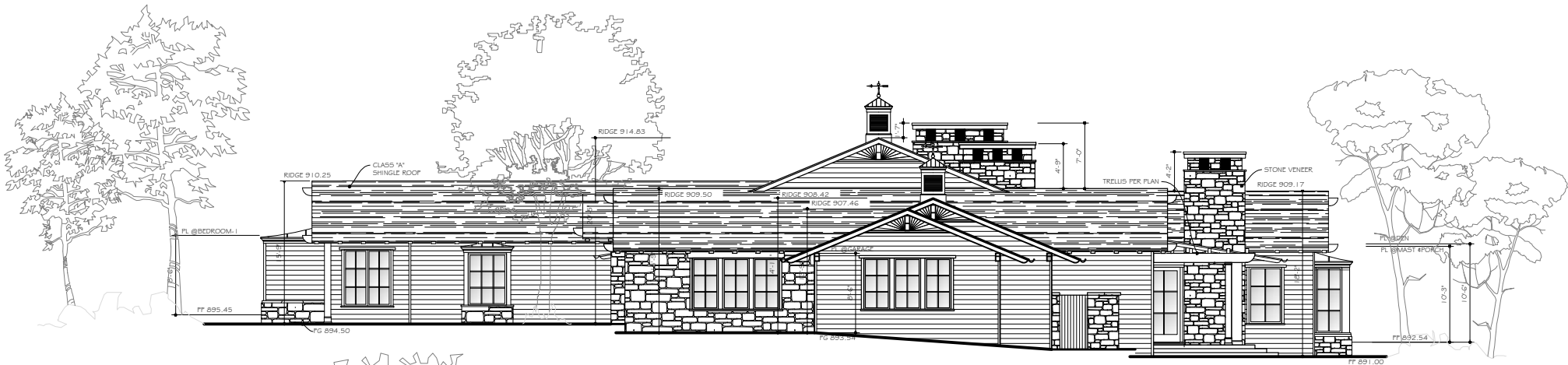




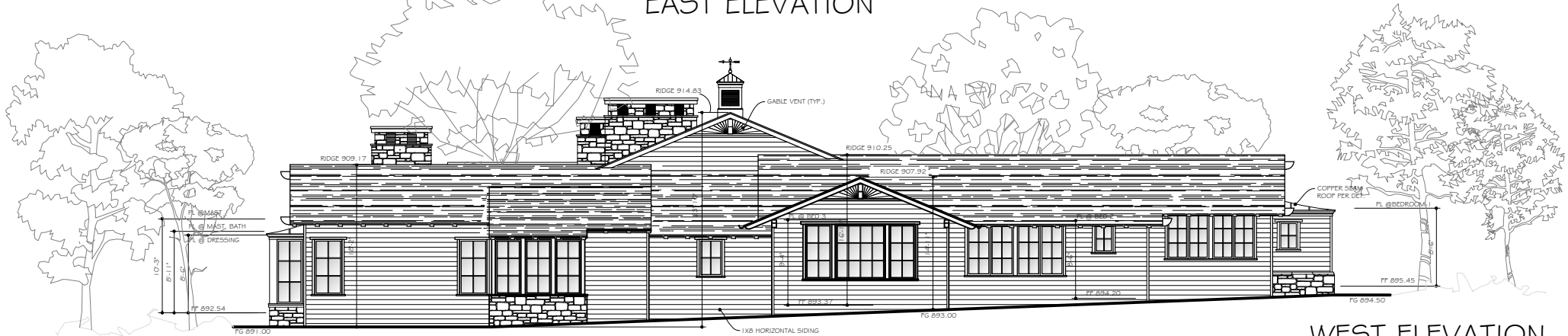
SOUTH ELEVATION



NORTH ELEVATION

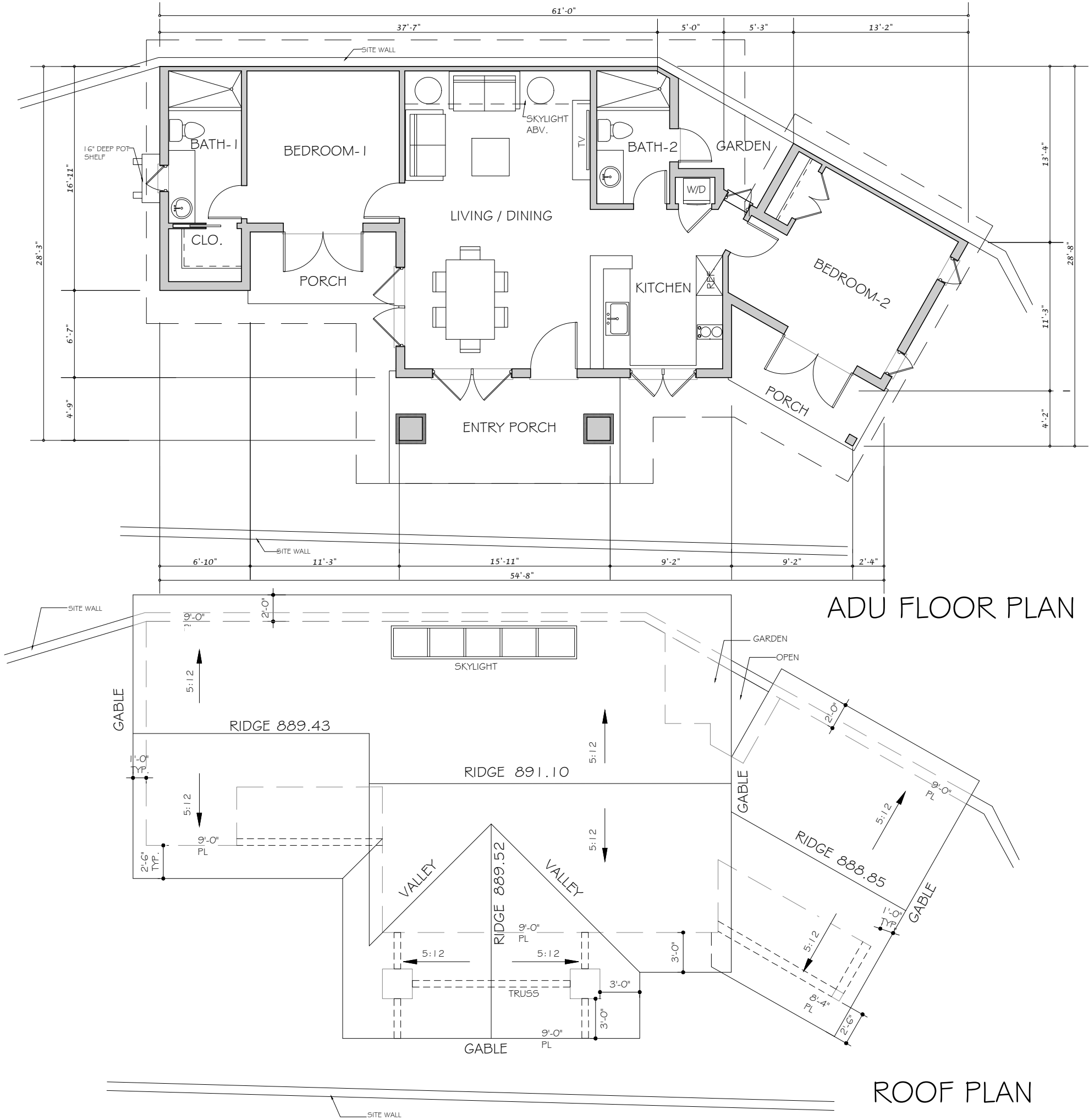


EAST ELEVATION



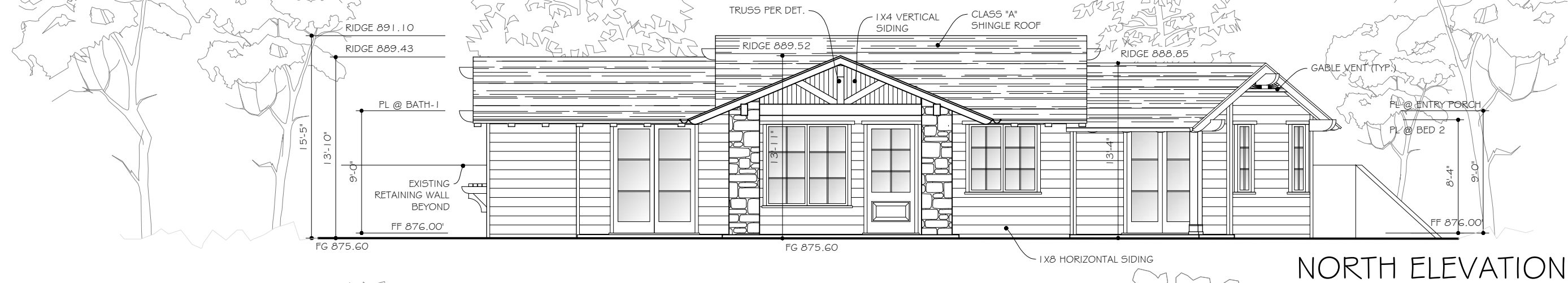
WEST ELEVATION

1/8" = 1'-0"

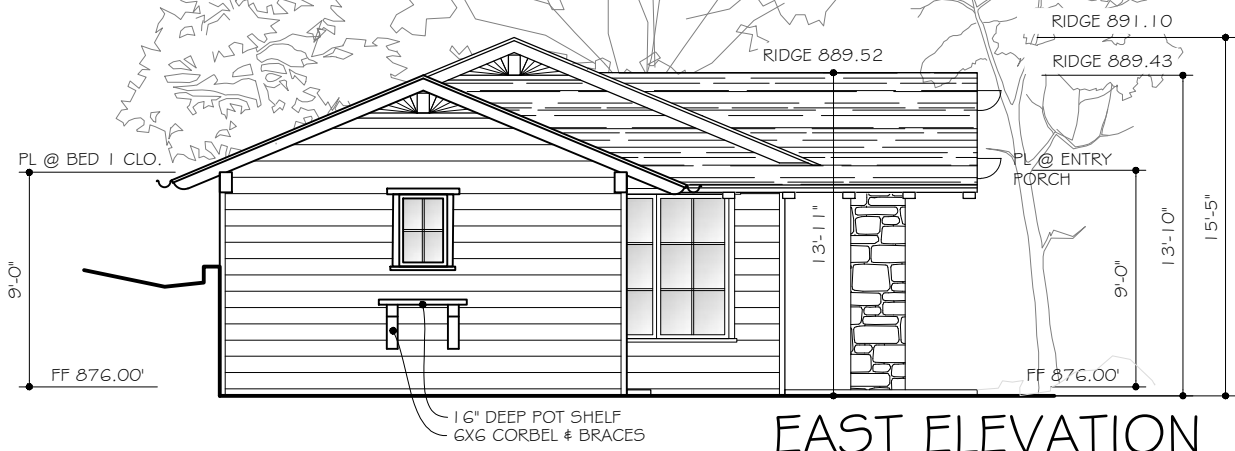


ADU FLOOR PLAN

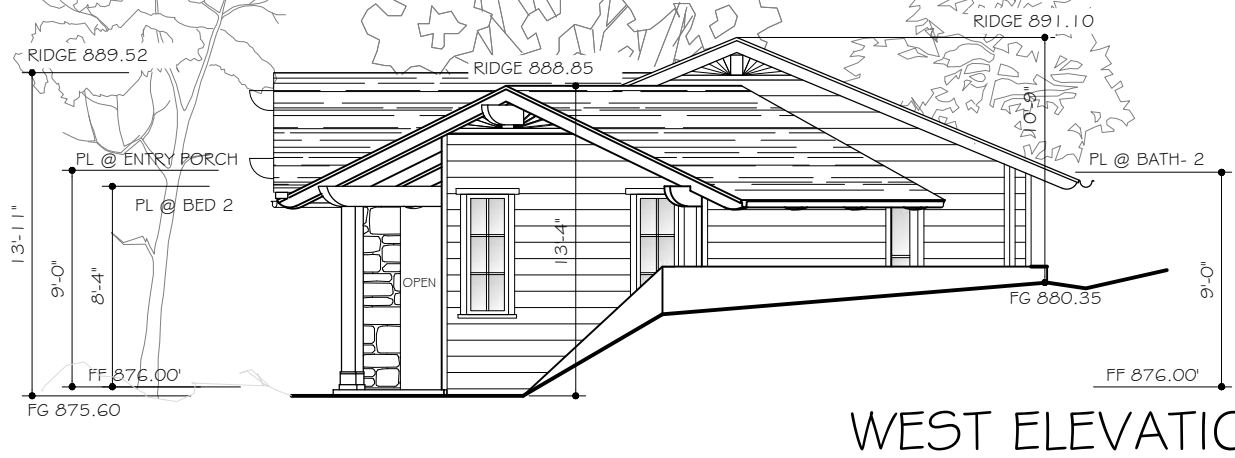
ROOF PLAN



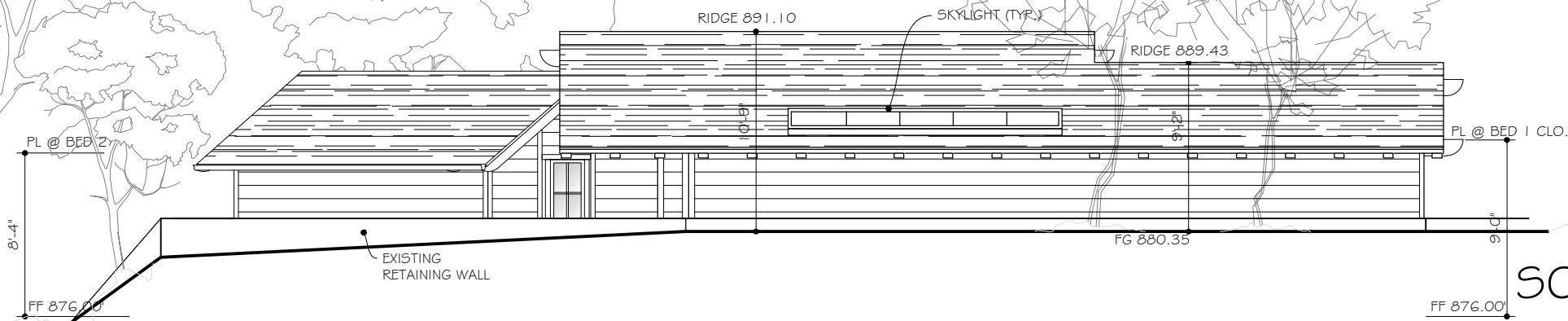
NORTH ELEVATION



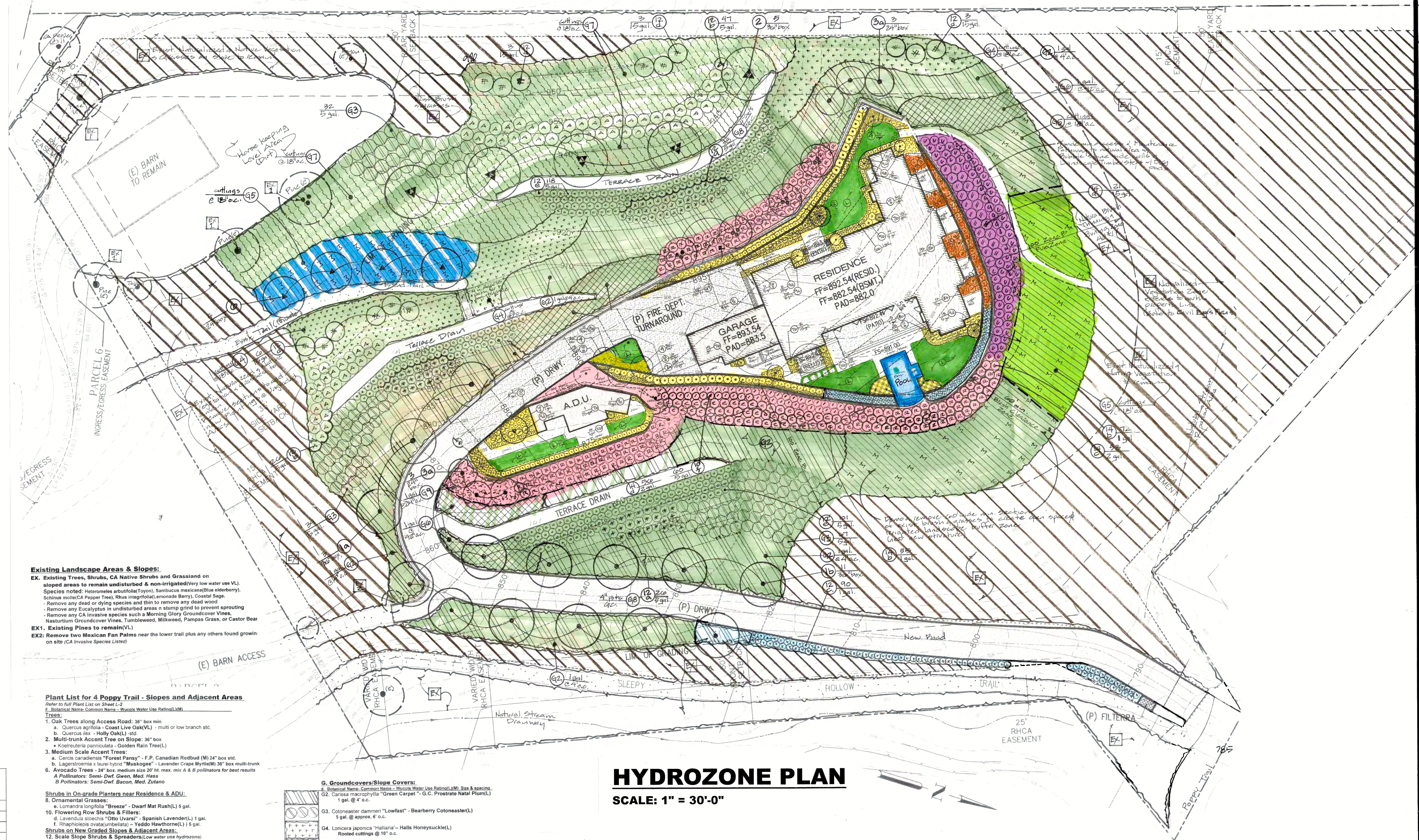
EAST ELEVATION



WEST ELEVATION















SOUTH ELEVATION



HYDROZONE PLAN

SCALE: 1" = 30'-0"

HYDROZONE MAP LEGEND:

Graphic Symbol	Hydrozone#	Planting Description	Plant Factor	Sun Exposure	Irrigation Type	S.F. Landscape Area
	1.	Slope Planting	Low	Full Sun	Rotator Spray	71,670 s.f.
	2.	Slope Planting	Low	Part Shade	Rotator Spray	5368 s.f.
	3.	Slope Planting	Low	Full Sun	Spray Heads	2000 s.f.
	4.	Slope Planting	Medium	Full Sun	Dripline	8470 s.f.
	5.	Slope Planting	Medium	Part Shade	Dripline	2442 s.f.
	6.	Slope Planting w/ Avocado Trees	Low	Full Sun	Dripline	4200 s.f.
	7.	On-grade Planters	Low	Full Sun	Dripline	1705 s.f.
	8.	On-grade Planters	Medium	Full Sun	Dripline	4750 s.f.
	9.	On-grade Planters	Medium	Full Shade	Dripline	925 s.f.
	10.	On-grade Lawn	High(0.8)	Full Sun	Spray Heads	3178 s.f.
	11.	Special Landscape: Pool & Spa	High	N/A	N/A	550 s.f.
	12.	Undisturbed Natural Shrub & Grass Areas	Low	Varies	None	138,895 s.f.

LANDSCAPE LOT COVERAGE CALCULATIONS(WELO):

- **TOTAL SITE:** 304,920 SF. (7 ACRES)
 - **TOTAL AREA OF NEW + UNDISTURBED LANDSCAPE + POOL:** 244,154 sf.
 - **TOTAL AREA OF UNDISTURBED NATURAL LANDSCAPE:** 138,895 sf. *(non-irrigated)*
 - **TOTAL AREA OF NEW IRRIGATED LANDSCAPE:** 105,259 sf.
(Regraded slopes & adjacent areas - on-grade areas around structures + lawns + pool)
 - **TOTAL AREA OF TURF (New Residence and ADU):** 3178 SF.
% Area of turf of total new landscape: 1.3% (25% max. permitted per WLO)
 - **TOTAL AREA OF LOW WATER HYDROZOOE USE PLANTS:** 80,744 sf.
 - **% AREA OF LOW WATER USE PLANTS:** 76.7% vs. 105,259 area of new irrigated landscape
- Note:** This is greater than 75% min. low water use plants required and complies with the State of CA Model Efficient Landscape Ordinance & WLO Code requirements

MWELO Notes:

LARCH Note: I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans.

Landscape Notes:

1. Recirculating water systems shall be used for water features *(N/A on this project)*
 2. A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
 3. For soils less than 6% organic matter in the top 8 inches of soil compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil.
- Irrigation Notes:**
1. Pressure regulating devices are required if water pressure is above or exceeds the recommended pressure of the specified irrigation devices.
 2. Check valves or air release valves are required on all sprinkler heads where low point drainage could occur."
 3. An 11x17 colored laminated colored copy of The Hydrozone Plan showing color coded graphic hydrology shall be kept with the irrigation controller for subsequent management purposes.
 4. An irrigation audit report shall be completed at the time of final inspection.
 5. Check valves of Completion shall be filled out and certified by either the contractor or the landscape designer. For the licensed landscape contractor for the project.

Statement of Compliance with the Landscape Ordinance:

Statement of Compliance with the Landscape Ordinance:
I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

Signed: 
Thomas G. Dobos - Landscape Architect

- City of Rolling Hills Notes:**
- 1. Tree Heights:** No trees shall be planted that exceed the roof ridge line height of the new home or in this case because of the significant down sloping lot: No tall tree species shall be planted in locations that would grow to a height so that neighboring views are hindered or obstructed.
- Roof Ridge line Ht. = 23.83.
- 2. No landscaping shall be allowed in the RHCA easement.**

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (ET ₀)=39.7 Annual ET for Signal Hill/Long Beach per State Reference Table)						
Hydrozone/ Planting Description	Plant Factor (PF)	Irrigation Method(s)	Irrigation Efficiency (IEC)	ETAF (PF/IE)	Landscape Area (sq. ft.)	Estimated Total Water Use (ETWU)
Regular Landscape Areas						
1) 2" deep spray	0.85	Spray/sprinkler	0.75	0.33	116,700 sq.	23,451
2) 2" deep sprinkler	0.85	Rainfall/sprinkler	0.75	0.33	336,200 sq.	17,71
3) 1" deep spray	0.30	sprinkler heads	0.75	0.40	200,000 sq.	800
4) 2" deep sprinkler	0.80	Drip line	0.81	0.01	847,000 sq.	516
5) 2" deep sprinkler	0.60	Drip line	0.81	0.28	244,200 sq.	253
6) 2" deep sprinkler	0.30	Drip line	0.81	0.21	112,800 sq.	128
7) 2" deep sprinkler	0.30	Drip line	0.81	0.21	385,400 sq.	385
8) Planters/Sprinkler	0.60	Drip line	0.81	0.01	41,000 sq.	409
9) Planters/sprinkler	0.60	Drip line	0.81	0.21	718,200 sq.	28,97
10) Lawn	0.80	sprinkler heads	0.75	1.03	91,700 sq.	6,68
Totals					1,047,100 sq.	1,050,800

Special Landscape Areas			
11. Pool & Spa	1.0	550	13,537
	Totals	550	13,537
		ETWU Total	1,044,403
		Maximum Allowed Water Allowance (MAWA)	1,423,515

^a Hydrozone®/Planting Description	^b Irrigation Method	^c Irrigation Efficiency	^d ETwU/(Annual Gallons Required)=
E.g.	overhead spray	0.75 /for spray head	Eto x 0.62xETAFx Area
1) front lawn	or drip	0.81 /for drip	where 0.62 is a conversion factor
2) low water use plantings			that converts acre-inches per acre
3) medium water use planting			per year to gallons per square
			foot (846) feet

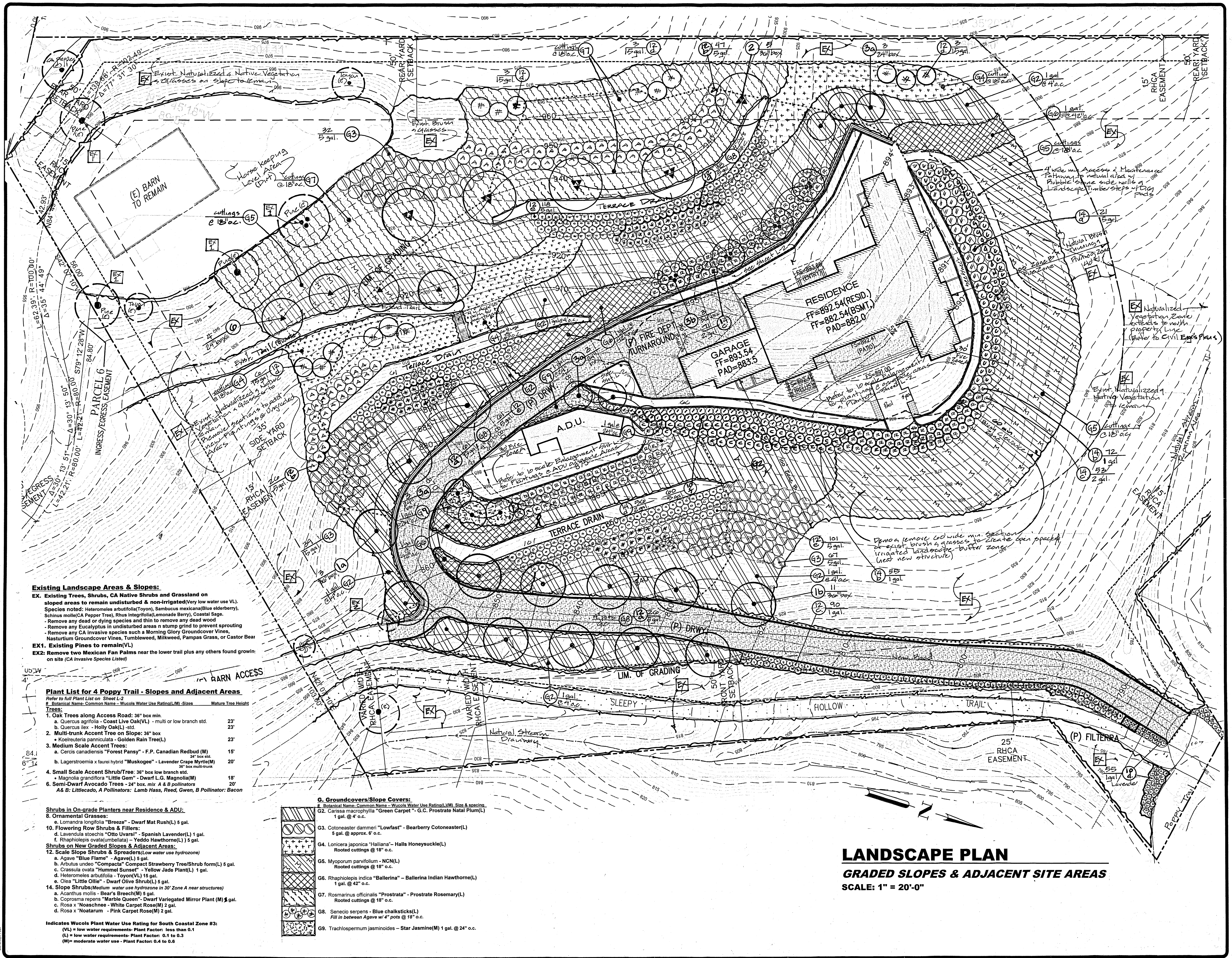
^aMAWA[Annual Gallons Allowed] = $\left[\text{Eto} \right] (0.62) \left[(\text{ETAF} \times \text{LA}) + ((1 - \text{ETAF}) \times \text{SLA}) \right]$
 where 0.62 is conversion factor that converts acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Area	
Total ETAFx Area (B)	42,694
Total Area (A)	104,708
Average ETAF B/A	0.40

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Regular Landscape Area	
Total ETAFx Area (B+D)	43,244
Total Area (A+C)	105,258
Sitewide ETAF $\frac{B+D}{A+C}$	0.41



Existing Landscape Areas & Slopes:
EX: Existing Trees, Shrubs, CA Native Shrubs and Grassland on sloped areas to remain undisturbed & non-irrigated (Very low water use VL).
Species noted: Heteromeles arbutifolia (Toyon), Sambucus mexicana (Blue elderberry), Schinus molle (CA Pepper Tree), Rhus integrifolia (Lemonade Berry), Coastal Sage.
Remove any dead or dying species and thin to remove any dead wood
Remove any Eucalyptus in undisturbed areas n stump grind to prevent sprouting
Remove any CA invasive species such as Morning Glory Groundcover Vines, Nasturtium Groundcover Vines, Tumbleweed, Milkweed, Pampas Grass, or Castor Bean
EX1: Existing Pines to remain (VL)
EX2: Remove two Mexican Fan Palms near the lower trail plus any others found growing on site (CA Invasive Species Listed)

- Plant List for 4 Poppy Trail - Slopes and Adjacent Areas**
Refer to full Plant List on Sheet L-2
Botanical Name - Common Name - Wucols Water Use Rating (L/M) - Size - Mature Tree Height
- 1. Oak Trees along Access Road: 36" box min.
 - a. Quercus agrifolia - Coast Live Oak (VL) - multi or low branch std. 23'
 - b. Quercus ilex - Holly Oak (L) - std. 23'
 - 2. Multi-trunk Accent Tree on Slope: 36" box
 - a. Koeleria paniculata - Golden Rain Tree (L) 23'
 - 3. Medium Scale Accent Trees:
 - a. Cercis canadensis "Forest Pansy" - F.P. Canadian Redbud (M) 15'
 - b. Lagerstroemia x faurei hybrid "Muskogee" - Lavender Crape Myrtle (M) 20'
 - 4. Small Scale Accent Shrub/Tree: 36" box low branch std.
 - a. Magnolia grandiflora "Little Gem" - Dwarf L.G. Magnolia (M) 18'
 - 6. Semi-Dwarf Avocado Trees - 24" box, mix A & B pollinators 20'
 - A & B: Littlecado, A Pollinators: Lamb Hass, Reed, Gwen, B Pollinator: Bacon

- Shrubs in On-grade Planters near Residence & A.D.U.:**
8. Ornamental Grasses:
 - a. Lomandra longifolia "Breeze" - Dwarf Mat Rush (L) 5 gal.- 10. Flowering Row Shrubs & Fillers:
 - d. Lavandula stoechas "Otto Uvarsi" - Spanish Lavender (L) 1 gal.
 - f. Rhipsalis ovata (umbellata) - Yeddo Hawthorne (L) 5 gal.

Shrubs on New Graded Slopes & Adjacent Areas:
12. Scale Slope Shrubs & Spreaders (low water use hydrozone)
 - a. Agave "Blue Flame" - Agave (L) 5 gal.
 - b. Arbutus undoe "Compacta" Compact Strawberry Tree/Shrub form (L) 5 gal.
 - c. Crassula ovata "Hummel Sunset" - Yellow Jade Plant (L) 1 gal.
 - d. Heteromeles arbutifolia - Toyon (VL) 15 gal.
 - e. Olea "Little Olive" - Dwarf Olive Shrub (L) 5 gal.- 14. Slope Shrubs (Medium water use hydrozone in 30' Zone A near structures)
 - a. Acanthus mollis - Bear's Breech (M) 5 gal.
 - b. Coprosma repens "Marble Queen" - Dwarf Variegated Mirror Plant (M) 5 gal.
 - c. Rosa x Noaschnee - White Carpet Rose (M) 2 gal.
 - d. Rosa x Noatarum - Pink Carpet Rose (M) 2 gal.

Indicates Wucols Plant Water Use Rating for South Coastal Zone #3:
(VL) = low water requirements - Plant Factor: less than 0.1
(L) = low water requirements - Plant Factor: 0.1 to 0.3
(M) = moderate water use - Plant Factor: 0.4 to 0.6

- G. Groundcovers/Slope Covers:**
Botanical Name - Common Name - Wucols Water Use Rating (L/M) - Size & spacing
- G2. Carissa macrophylla "Green Carpet" - G.C. Prostrate Natal Plum (L) 1 gal. @ 4' o.c.
 - G3. Cotoneaster dammeri "Lowfast" - Bearberry Cotoneaster (L) 5 gal. @ approx. 6' o.c.
 - G4. Lonicera japonica "Halliana" - Halls Honeysuckle (L) Rooted cuttings @ 18" o.c.
 - G5. Myoporum parvifolium - NCN (L) Rooted cuttings @ 18" o.c.
 - G6. Rhipsalis indica "Ballerina" - Ballerina Indian Hawthorne (L) 1 gal. @ 42" o.c.
 - G7. Rosmarinus officinalis "Prostrata" - Prostrate Rosemary (L) Rooted cuttings @ 18" o.c.
 - G8. Senecio serpens - Blue chalksticks (L) Fill in between Agave w/ 4" pots @ 18" o.c.
 - G9. Trachelospermum jasminoides - Star Jasmine (M) 1 gal. @ 24" o.c.

LANDSCAPE PLAN
GRADED SLOPES & ADJACENT SITE AREAS
SCALE: 1" = 20'-0"

REVISIONS

NO.	DESCRIPTION	DATE
1	Issue for Review	12/19/2022
2	Revised per comments	12/20/2022

BY: THOMAS G. DOBOS

LANDSCAPE ARCHITECT

7357 Ansel

Rolling Hills, CA 90274

PH: 909.474.4444

Web: www.tdlandscapearchitect.com

LANDSCAPE PLAN

Arvidson Residence

4 Poppy Trail

Rolling Hills, CA 90274

DRAWN

Tom Dobos

CHECKED

Tom Dobos

DATE

12/19/2022

SCALE

1" = 20'-0"

JOB NO.

SHEET

L-2

OF SHEETS

2

PLANTING NOTES/SHORT SPECIFICATIONS:

- The Landscape Contractor shall provide sufficient work force and proper tools to complete the project in a timely and efficient manner and perform the work per industry quality standard minimums.
- Demo and remove existing trees, shrubs and grasses on undisturbed slope areas to receive new plantings except those areas noted as "Naturalized areas to remain".
- Stump grind all stumps 6" min. below grade.
- Adjust plant locations if required based on field conditions. Do not willfully install plant material as noted on the plans when it is obvious a field obstruction or modification is present requiring a minor adjustment or modification to the plant quantities or locations. Contact the Landscape Architect for advice if required.
- Soil Preparation for on-grade planter areas around structures and slopes 3:1 or less: Cultivate and prepare soil to a minimum depth of 8" incorporating the following per 1000 s.f.:
 - 4 c.y. Premium Nitrified Composted Mulch Soil Amendment (Per WELCO code)
 - 20 lbs. Balanced NPK Fertilizer
 - "Ironite" Soil Additive—per mfg. recommended application
 - 4 lbs. Agricultural Gypsum
- Thoroughly mix in amendments into top layer of soil and cultivate into top 8" of soil with rototiller or hand cultivate. Use care when working near paving and plant species to remain. Remove all debris, etc. from top 3" of soil and haul.
- All areas to be graded smooth and clean. Set finish grades 1" min. to 2" max. from top of adjacent paving. Slope areas to drain or sheet flow at 2% min.
- Grow and Kill & Soil Preparation on all re-graded slope plus undisturbed slopes that are to be newly planted with gradient over 3:1: (required to reduce native grasses and weeds in the top layer of soil that sprout when irrigation is applied to prevent overtake new plantings and groundcovers)
- Do not begin grow and kill if heavy rains are expected in the next few weeks or month. The most effective time to perform the grow and kill is March-October when the soil is warmer and days are longer.
- Grub and remove native weeds and grasses where required.
- Level out any bumps and fill any holes or depressions
- Lightly cultivate top 1/2" layer of soil to disturb seeds in the soil
- Install new permanent Rotor Irrigation System and install temporary impact rotor heads in section to be irrigated with drip line so that entire slope top layer of soil is moistened for a week to sprout any existing weed and grasses seeds in the top layer of soil. Use a hand sprayer to apply liquid fertilizer after 4 days to encourage sprouting.
- After seeds have germinated and before planting spray slope areas with Commercial Grade herbicide with glyphosate or equal per mfg. specs. Apply herbicide to wear proper safety gear such as face mask, gloves and protective spray gear to minimize inhaling and herbicide on skin. Apply herbicide only during calm periods and no rainfall.
- Avoid areas near existing plant material and adjacent properties.
- Allow herbicide to kill weeds for several days and then grub and remove. Allow herbicide to dissipate per mfg. spec.
- Lightly dust slope areas with gypsum (clay soil only) and add a 1/2" layer of mulch soil amendment mixed with fertilizer and Ironite. Cultivate into top 1" layer of soil and lightly hand tamp or roll with lawn roller to compact.
- Install Drip Irrigation for shrub rows and spreader shrub areas.
- Install jute matting as noted below & groundcovers and shrubs as noted

- Planting:**
- All Plant materials shall be healthy, vigorous and free from pests and diseases.
 - All groundcovers shall be well-rooted. Plant material shall be inspected and approved by Owner/Owner rep. prior to planting.
 - Dig plant pits 1 1/2 times size of rootball (see detail)
 - Dust plant pits with Agricultural Gypsum
 - Add agriform tablets to all plant pits per mfg. spec. and backfill with conditioned native soil as noted above
 - Backfill all Succulents w/ 30% mixture of washed sand and pea gravel (also called roadbase) and 70% conditioned native soil
 - Backfill Acid-soil loving plants as noted on the Plant List w/ a mixture of 33% Peatmoss + 33% washed construction sand + 33% conditioned native soil
 - Install plants per details. Use care to install trees and shrubs plants at proper depth and ht. with crown slightly above adjacent grade. Do not cover tops of root balls with new soil.
 - Lineal rows of plants and Foreground border plants all be installed in clean straight evenly spaced rows at on center spacing shown or noted on plan. Use strings lines for accuracy.
 - Apply Bl "Super Thrive" on all new trees & 15 gal. shrubs to minimize installation shock
 - Real Fir Bark Top Dressing on on grade areas around structures: Top dress all shrub planter beds with a 3" thick layer min. of Real Medium Grind Fir bark (per WELCO std.)
 - Provide a 1/2" layer of bark top dressing on groundcover cuttings.
 - Bark Top Dressing on Slope areas 3:1 or less: apply a 2" thick layer of shredded brown painted green waste top dressing
 - Jute Mesh on new re-graded slopes 2:1 or steeper (highly recommended to reduce surface soil run-off especially in first rainy season while new plantings and groundcovers establish): Install jute mesh blanket on slope prior to planting. Overlap matting 6" min. and anchor with galv. hook stakes typical @ 5' o.c.
 - Stack Rubber Boulder Planter Walls for basins @ new trees on 2:1 slope: Utilize existing on-site PV stone type boulders and flat stones (if available) to construct 12" high max. dry stack retaining walls on the down slope and upslope side of new box trees to create level basins. Wall with slight arc curve to blend into slope.
 - Staking: Provide 10" single preservative treated lodgepole stakes on all 15 gal. vertical column shrubs/trees. Provide two 10" lodgepole stakes on all single trunk Trees. Secure with rubber cinch ties. Provide guy wires with dead man stakes and rubber hose branch protectors typical on the multi-trunk trees per industry standard details. Cover wires with 1/2" PVC piping for safety typical.
 - Box Tree Water Monitoring Standpipes: Install 4" dia. PVC SCH 40 perforated pipe vertical standpipes @ all new box size trees to monitor and hand siphon pump remove excess water in plant pits especially if trees show stress. Vertical Perforated pipe in saran filter sock. Extend pipe down 6" min. below rootball
 - Fertilization After Planting: Owner's long term Maintenance company to fertilize new plantings at intervals not to exceed 45 days during the first year to establish plantings with BEST 12-12-12 slow release fertilizer or equal—apply per mfg. recommended rates
 - Pre-Emergent Weed Control:
 - Upon completion of plant installation but prior to applying bark top dressing, the Contractor shall apply Treflan or equal Pre-emergent Weed control with spreader to all newly planted areas per manufacturer's specs. Verify pre-emergent is permitted in Rolling Hills. Lightly cultivate immediately after application to a depth of 1".

- Other Notes:**
- Comply with all city codes and restrictions for construction, erosion control, run-off BMP's, export soil, etc. as applicable to landscape installation
 - Clean-Up:** After installation is complete for the day, remove rubbish and excess soil, plant related debris, etc. and haul or dispose of in on-site dumpster. Sweep areas clean and neat at end of each day. Provide colored cones or hazard tape to identify areas that may pose a potential threat to adjacent users or passer by.
 - 60-Day Maintenance Period:**
 - Upon the satisfactory completion of the job and final punch list items the Contractor shall provide the owner a 60-day Maintenance for the planting and irrigation system.
 - Contractor to meet with the owner rep. and the Maintenance Contractor assuming responsibility for the landscape near the end of the maintenance period to advise and parlay information about the project and any specific requirements for maintaining the landscape and irrigation systems.
 - Perform the following minimal maintenance tasks during the maintenance period: maintain the site and planting areas weed free, remove any trash and debris, replace any plants that have died or damaged, maintain lawns, fill and repair any areas of settlement, monitor irrigation system performance and adjust clock, nozzles or Drip-lines if required, and repair any damaged areas from work from other trades after notifying owner.
 - Plant Warranty:**
 - All trees and 15 gallon shrubs shall be guaranteed by the Contractor to take root and grow in a healthy condition for one year after completion of all Contractor's landscape planting work provided said trees and shrubs have received normal care and proper watering and maintenance.
 - All other plantings including, but not necessarily limited to, shrubs and groundcover, shall be guaranteed by Contractor to take root and grow in a healthy condition for 90 days after completion of all Contractor's landscape planting work.
 - Any said trees, shrubs or planting which die back or lose form and size as originally specified shall be replaced without delay by Contractor when requested by the Owner or owner's representative at no cost to Owner.

Plant List for 4 Poppy Trail (Full Plant List)

#	Botanical Name - Common Name - Wucols Water Use Rating (M) - Size	Mature Tree Height
Trees:		
1.	Oak Trees along Access Road: 36" box min.	
a.	Quercus agrifolia - Coast Live Oak (VL) - multi or low branch std.	23'
b.	Quercus ilex - Holly Oak (L) - std.	23'
2.	Multi-trunk Accent Tree on Slope: 36" box	
a.	Koeberlinia paniculata - Golden Rain Tree (L)	23'
Medium Scale Accent Trees:		
a.	Cercis canadensis "Forest Pansy" - F.P. Canadian Redbud (M)	15'
b.	Lagerstroemia x faurei hybrid "Muskogee" - Lavender Grape Myrtle (M)	20'
c.	Olea europaea "Swan Hill" - Fruitless Olive - multi (L)	20'
Small Scale Accent Shrub/Trees: 36" box low branch std.		
a.	Magnolia grandiflora "Little Gem" - Dwarf L.G. Magnolia (M)	18'
Semi-Dwarf Citrus Trees: 24" box		
a.	Valencia Orange	12'
b.	Nagami Kumquat	10'
Semi-Dwarf Avocado Trees - 24" box mix A & B pollinators		
A & B:	Litcalcedo, A. Pollinators: Lamb Hass, Reed, Gwen, B Pollinator: Bacon	20'

Shrubs in On-grade Planters near Residence & ADU:

- Columnar Shrubs: 15 gal. columnar form.
 - a. Pittosporum tenuifolium "Marjorie Channon" - Marjorie Channon Kohuhu (M)
 - b. Podocarpus elongatus "Monnal" - Ice Blue Shubby Yellow-wood (M) - column
- Ornamental Grasses & Lilies & Shade Fern:
 - a. Agapanthus campanulatus "Cobalt Blue" - C.B. African Lily (M) 1 gal.
 - b. Cyrtanthus falcatus - Holly Fern (M) 5 gal.
 - c. Dianella tasmanica "Variegata" - Variegated Flax Lily (M) 1 gal.
 - d. Liriodaphne spicata "Silver Dragon" - Silver Dragon Lily Turf (M) 1 gal.
 - e. Lomandra longifolia "Breeze" - Dwarf Mat Rush (L) 5 gal.
- Flowering Accent Shrubs:
 - a. Camellia sasanqua "Cleopatra" - Camellia (M) 5 gal. columns
 - b. Hydrangea macrophylla - Big Leaf Hydrangea (M) 5 gal.
 - c. Nandina domestica "Gulfstream" - G.S. Heavenly Bamboo (L) 5 gal.
 - d. Rosa floribunda "Iceberg" - White Iceberg Rose (M) 5 gal.
 - e. Rosa floribunda "Iceberg" - White Iceberg Tree Rose (M) 15 gal. Patio Trees
- Flowering Row Shrubs & Fillers:
 - a. Azalea southern indica "George Tabor" - G.T. Azalea (M) 5 gal.
 - b. Azalea southern indica "Pink Lace" - Azalea (M) 1 gal.
 - c. Ligustrum japonicum "Texanum" - Texas Privet (M) 1 gal.
 - d. Lavandula stoechas "Otto Uvarsi" - Spanish Lavender (L) 1 gal.
 - e. Rhaphiolepis indica "Pink Lady" - Pink Lady Indian Hawthorne (L/M) 5 gal.
 - f. Rhaphiolepis ovata (umbellata) - Yeddo Hawthorne (L) 15 gal.
- Foreground Border Shrubs: 1 gal.
 - a. Buxus microphylla japonica - Japanese Boxwood (M) 1 gal & 5 gal. as noted
 - b. Pittosporum crassifolium "Nana" - Dwarf Karo (M)

Shrubs on New Graded Slopes & Adjacent Areas:

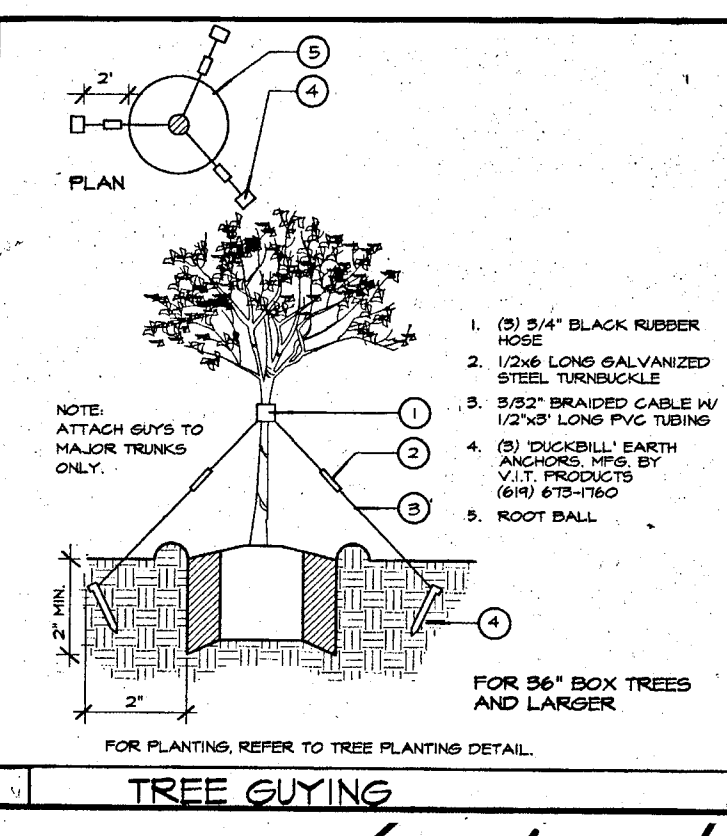
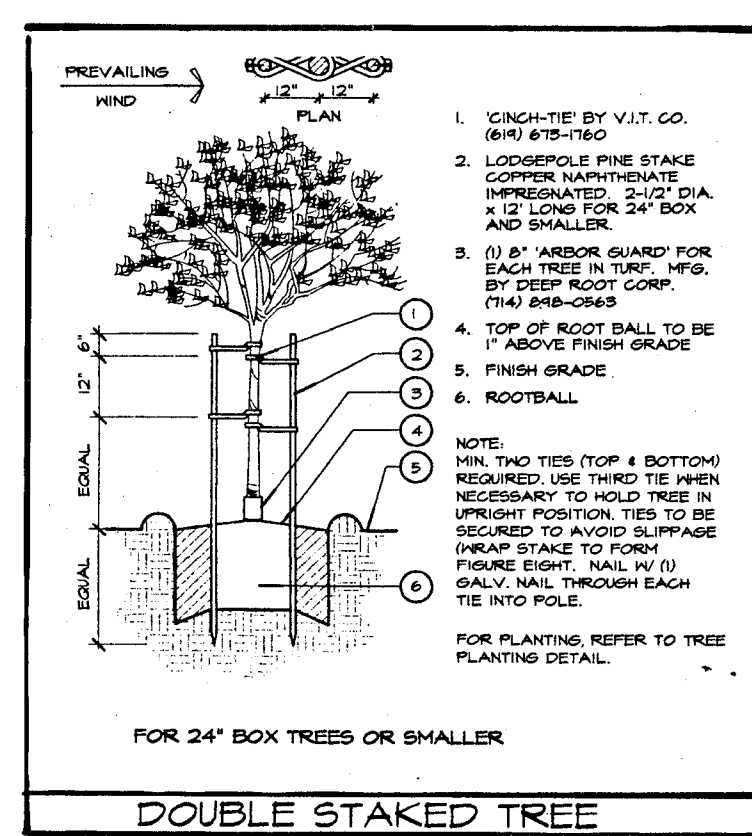
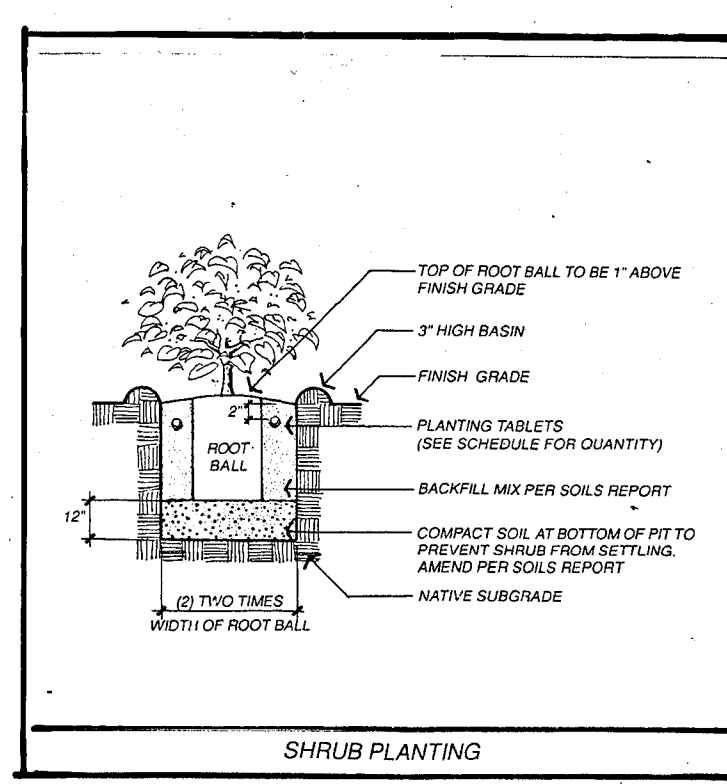
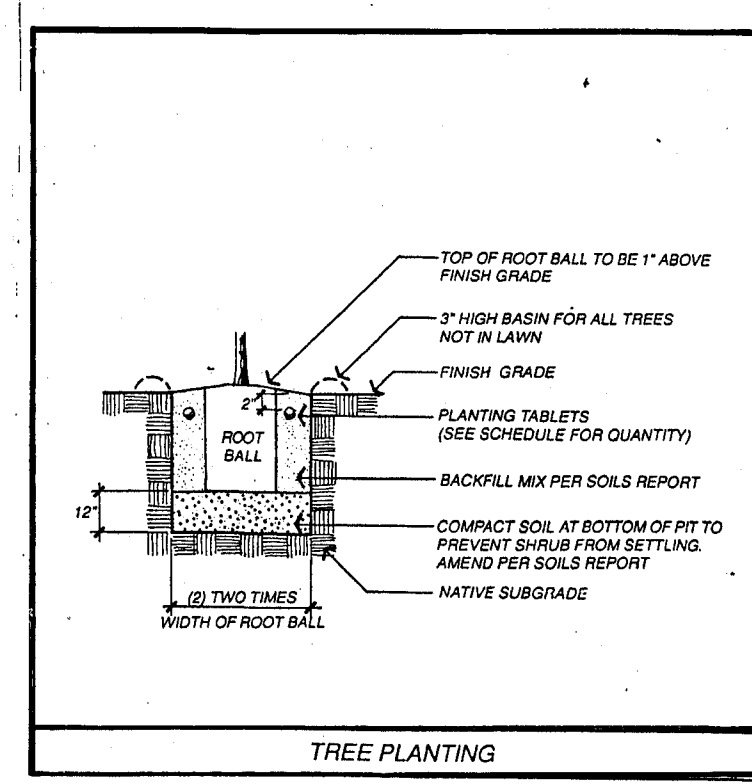
- Scale Slope Shrubs & Spreader (Low water use hydrozone)
 - a. Agave "Blue Flame" - Agave (L) 5 gal.
 - b. Arbutus undoe "Compacta" Compact Strawberry Tree/Shrub form (L) 5 gal.
 - c. Crassula ovata "Hummel Sunset" - Yellow Jade Plant (L) 1 gal.
 - d. Heteromeles arbutifolia - Toyon (VL) 15 gal.
 - e. Olea "Little Ollie" - Dwarf Olive Shrub (L) 5 gal.
- Slope Shrubs/ Medium water use hydrozone in 30' Zone A near structures)
 - a. Acanthus mollis - Bear's Breech (M) 1 gal.
 - b. Coprosma repens "Marble Queen" - Dwarf Variegated Mirror Plant (M) 5 gal.
 - c. Rosa x Noaschnee - White Carpet Rose (M) 2 gal.
 - d. Rosa x Noaturnum - Pink Carpet Rose (M) 2 gal.

ESP - Espalier on Wall: 15 gal.

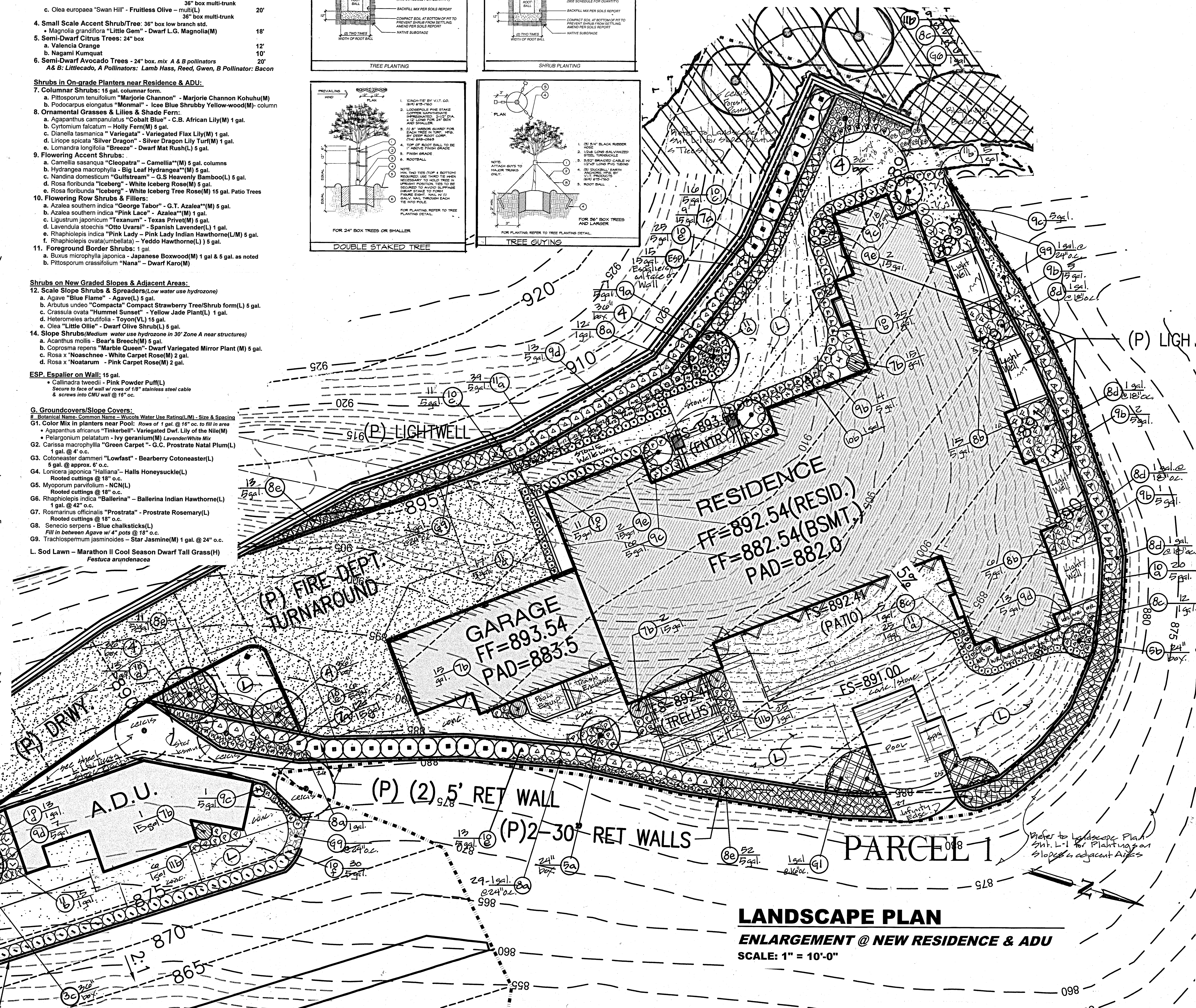
- Callinadra tweedii - Pink Powder Puff (L)
- Secure to face of wall w/ rows of 18" stainless steel cable & screws into CMU wall @ 16" o.c.

G. Groundcovers/Slope Covers:

- Botanical Name - Common Name - Wucols Water Use Rating (M) - Size & Spacing
- Color Mix in planters near Pool: Rows of 1 gal @ 14" o.c. to fill in area
 - a. Agapanthus africanus "Tinkerbell" - Variegated Dwf. Lily of the Nile (M)
 - b. Pelargonium pelatum - Ivy geranium (M) Lavender/White Mix
- Carissa macrophylla "Green Carpet" - G.C. Prostrate Natal Plum (L) 1 gal. @ 4' o.c.
- Cotoneaster dammeri "Lowfast" - Bearberry Cotoneaster (L) 5 gal. @ approx. 6' o.c.
- Lonicera japonica "Halliana" - Halls Honeysuckle (L) Rooted cuttings @ 18" o.c.
- Myoporum parvifolium - NCN (L) Rooted cuttings @ 18" o.c.
- Rhaphiolepis indica "Ballerina" - Ballerina Indian Hawthorne (L) 1 gal. @ 42" o.c.
- Rosmarinus officinalis "Prostrata" - Prostrate Rosemary (L) Rooted cuttings @ 18" o.c.
- Senecio serpens - Blue chalksticks (L) Fill in between Agave w/ 4" pots @ 18" o.c.
- Trachospermum jasminoides - Star Jasmine (M) 1 gal. @ 24" o.c.
- Sod Lawn - Marathon II Cool Season Dwarf Tall Grass (H) Festuca arundinacea



Plant List Notes:
 Sizes and quantities noted are recommended sizes and subject to adjustment by owner based on the final landscape budget.
 *Indicates Acid loving plant requiring backfill mix with 1/3 mulch conditioned native soil, 1/3 peat moss and 1/3 washed construction sand
 Indicates Wucols Plant Water Use Rating for South Coastal Zone #3:
 (VL) = low water requirements- Plant Factor: less than 0.1
 (L) = low water requirements- Plant Factor: 0.1 to 0.3
 (M) = moderate water use - Plant Factor: 0.4 to 0.6



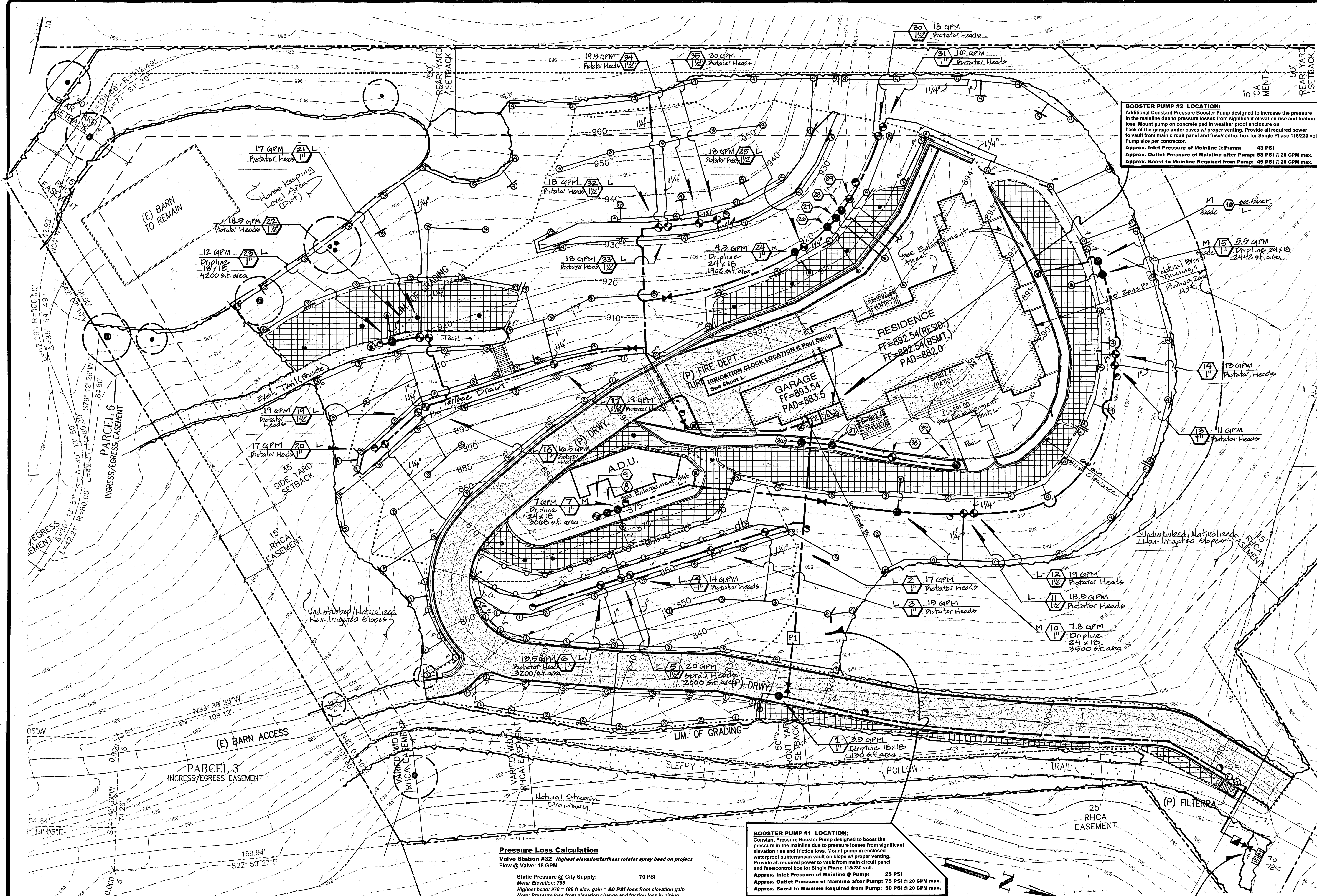
LANDSCAPE PLAN
ENLARGEMENT @ NEW RESIDENCE & ADU
 SCALE: 1" = 10'-0"

SCALE: 1" = 10'-0"

THOMAS G. DOBOS
 LANDSCAPE ARCHITECT
 7307 Angel
 Rolling Hills, CA 90248
 Email: tgdb@tds.com
 Web: www.tdlandscapearchitect.com

LANDSCAPE PLAN
Arvidson Residence
 4 Poppy Trail
 Rolling Hills, CA 90274

DRAWN: Tom Dobos
 CHECKED: [Signature]
 DATE: 12/9/2022
 SCALE: 1" = 10'-0"
 JOB NO.: [Blank]
 SHEET: L-3
 OF SHEETS: [Blank]



Pressure Loss Calculation

Valve Station #32: Highest elevation/farthest rotator spray head on project
Flow @ Valve: 18 GPM

Static Pressure @ City Supply: 70 PSI
Meter Elevation: 75
Highest Head: 970 = 135 ft elev. gain = 80 PSI loss from elevation gain
Note: Pressure loss from elevation change and friction loss in piping requires two(2) booster pumps for proper operation of rotator spray heads that operate @ 40 PSI min.

Pressure Loss from Booster Pump #2

Size	Description - LF Pipe	PSI Loss
1 1/2"	Gate Valve	1.0
1 1/2"	Mainline Piping: 195 Lf. @ 18 GPM	5.5
1 1/4"	Sch 40 Lateral Line Piping: 75 Lf. @ 18 GPM	2.9
1 1/2"	Control Valve	2.0
3/4"	Sch 40 Lateral Line Piping: 80 Lf. @ 2 to 7 GPM	1.5
	PSI Loss from Elevation Change:	33
	76.5 ft. @ 0.433 From Booster Pump to highest head	
	Fittings loss allowance	1.0

Valve #32 Total Pressure Loss: 47 PSI
Min. Pressure Req. @ Highest/Farthest Rotator Head: 40 PSI
Min. Outlet pressure Required @ Booster Pump #2: 88 PSI
Residual Pressure @ Highest/Farthest Head: 1 PSI

BOOSTER PUMP #1 LOCATION:

Constant Pressure Booster Pump designed to boost the pressure in the mainline due to pressure losses from significant elevation rise and friction loss. Mount pump in enclosed waterproof subterranean vault on slope w/ proper venting. Provide all required power to vault from main circuit panel and fuse/control box for Single Phase 115/230 volt.
Approx. Inlet Pressure of Mainline @ Pump: 25 PSI
Approx. Outlet Pressure of Mainline after Pump: 75 PSI @ 20 GPM max.
Approx. Boost to Mainline Required from Pump: 50 PSI @ 20 GPM max.

BOOSTER PUMP #2 LOCATION:

Additional Constant Pressure Booster Pump designed to increase the pressure in the mainline due to pressure losses from significant elevation rise and friction loss. Mount pump on concrete pad in weather proof enclosure on back of the garage under eaves w/ proper venting. Provide all required power to vault from main circuit panel and fuse/control box for Single Phase 115/230 volt. Pump size per contractor.
Approx. Inlet Pressure of Mainline @ Pump: 43 PSI
Approx. Outlet Pressure of Mainline after Pump: 88 PSI @ 20 GPM max.
Approx. Boost to Mainline Required from Pump: 45 PSI @ 20 GPM max.

POINT OF CONNECTION:

Connect 1 1/2" PVC Sch 40 Mainline Piping to Separate 1" WATER METER for Irrigation or SUB-WATER METER in this approximate location (Field verify). Install Febco Reduced Pressure Backflow preventer in shrub area (screen with shrubs). Install Master Valve "Open" to prime booster pumps with constant pressure in lines and flow meter tied into Irrigation Clock to shut-off master valve in the event unscheduled high flows are detected (mainline leaks or breaks).
Static Water Pressure @ City Main on Poppy Trail: 70 PSI (Field verify)

IRRIGATION PLAN

GRADED SLOPES & ADJACENT SITE AREAS

SCALE: 1" = 20'-0"

REVISIONS	BY
1. Add Wagon Plan to Mainline	Tom Dobos
2. Add Mainline to Mainline	Tom Dobos

BY: **THOMAS G. DOBOS**
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Rolling Hills, CA 90274
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Email: tgdo@earthlink.net
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IRRIGATION PLAN
Arvidson Residence
4 Poppy Trail
Rolling Hills, CA 90274

DRAWN: **Tom Dobos**
CHECKED: **Tom Dobos**
DATE: 2-10-2023
SCALE: 1" = 20'-0"
JOB NO.:
SHEET: **L-4**
OF SHEETS

IRRIGATION NOTES/SHORT SPECIFICATIONS:

- Permits and Fees:**
The Contractor shall obtain and pay for any and all building permits as required.
- Manufacturer's Directions:**
Manufacturer's Directions and detailed drawings shall be followed in all cases where the manufacturer of articles used furnishes directions covering points not shown in the drawings and notes.
- Ordinance and Regulations:**
All local, municipal and state laws, rules and regulations governing or relating to any portion of irrigation work are hereby incorporated into and made part of these notes, and their provisions shall be carried out by the Contractor. Anything contained in these notes shall not be construed to conflict with any of the above rules and regulations and requirements of the same. However, when these notes call for or describe materials, workmanship or construction of a better quality, higher standards or larger size than that required by the above rules and regulations, the provisions of these notes shall take precedence.
- Explanation of Drawings:**
 - Due to the scale of drawings, it is not possible to indicate all offsets, fittings, sleeves, etc. which may be required. The Contractor shall carefully investigate the structural and finished conditions affecting all of his/her work and plan the work accordingly. Furnishings such as fittings, etc. as may be required to meet such conditions. Drawings are generally diagrammatic and indicative of the work to be installed. The work shall be installed in such a manner as to avoid conflicts between irrigations systems, planting and hardscape features.
 - The Contractor shall not willfully install the irrigation system as shown on the drawings when it is obvious in the field that unforeseen obstructions, grade differences or discrepancies in area dimensions may exist. The Contractor shall bring all field discrepancies to the attention of the Owner and contact the Landscape Architect if necessary.

- Material List:**
 - The Contractor shall furnish the articles and equipment, materials or processes specified by name in the drawings and notes. No substitutions will be allowed without prior approval by the Owner or Landscape Architect.
 - Equipment or materials installed or furnished without prior approval may be rejected and removed at the cost of the Contractor.
 - Manufacturer's warranties shall not relieve the contractor of his liability under the guarantee. Such warranties shall only supplement the guarantee.
- Record and As-Built Drawings:**
 - The Contractor shall provide and keep up-to-date complete as-built drawings indicating location, sizes and kinds of equipment installed. One set of drawings shall be kept on-site and used for this purpose.

- Before the date of final observation, the Contractor shall prepare a record "As-Built" drawing for the owner. All work shall be neat and legible and in waterproof ink.
- The Contractor shall dimensions from two permanent reference points the location of the following items:
 - Connection to existing mainline piping
 - Connection to existing control wires and wire routing
 - Location of control valves and gate valves
 - Location of quick coupling valves
 - Other significant related items
- The Contractor shall deliver one set of reduced 11x17 "As-Built" plans to the Owner in a laminated seal at the end of the project.

- Equipment to be Furnished:**
 - Supply the appropriate maintenance personnel with the following tools:
 - Two (2) sets of special tools required for removing, disassembling and adjusting valves supplied.
 - Two (2) keys for automatic controller.
 - One quick coupler key and matching hose swivel for quick coupling valves installed.
 - Handling of PVC Pipe Fittings:
 - The Contractor is cautioned to exercise care in handling, loading, unloading and storing of PVC fittings. All PVC pipe shall lie flat so as not to subject it to undue bending or concentrated external load at any point. Any section of pipe that has been dented or damaged will be discarded and, if installed, shall be replaced with new piping. Pipe and fittings shall not be stored in direct sunlight.

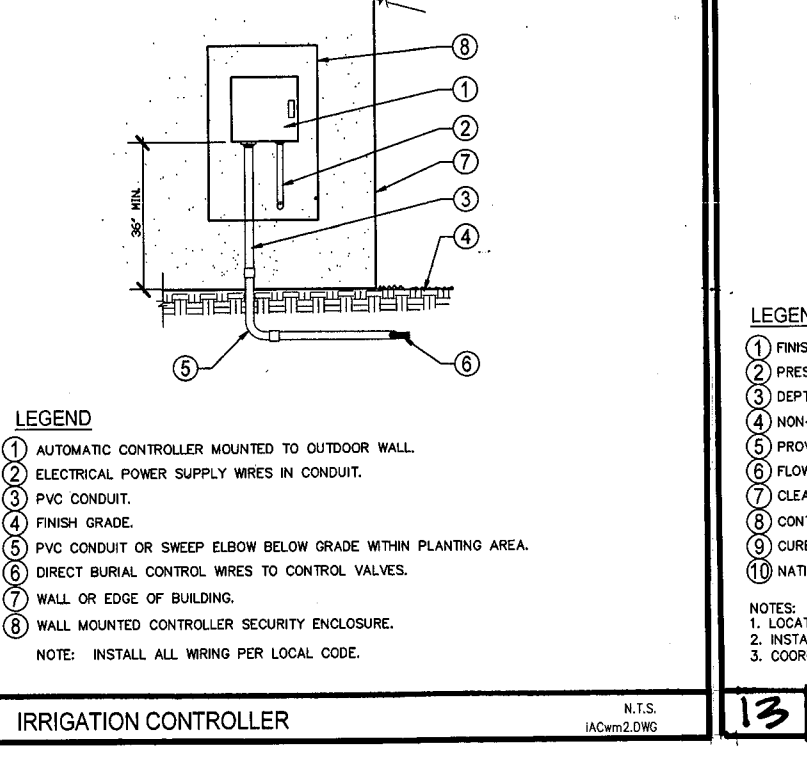
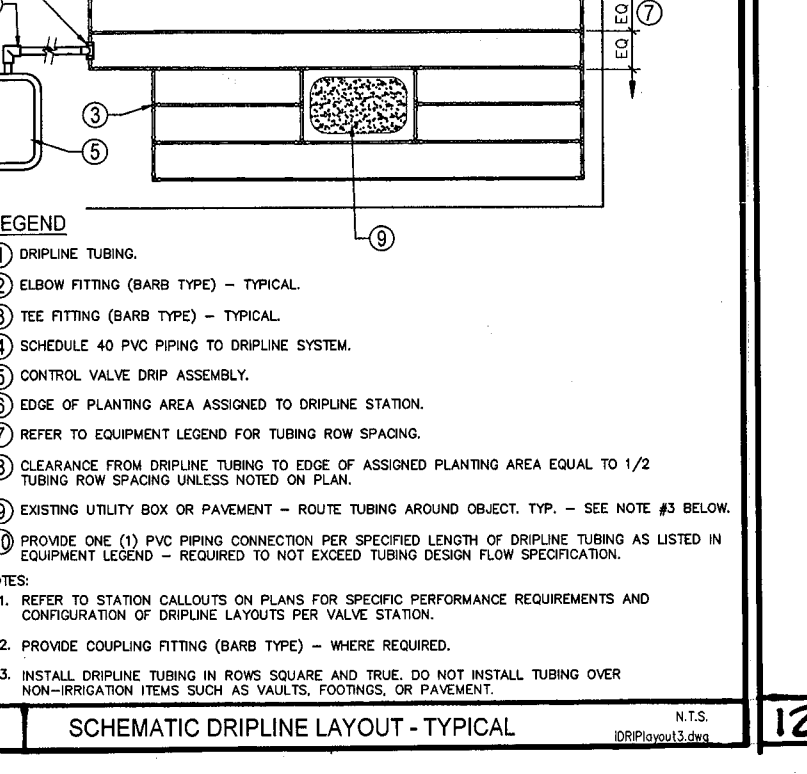
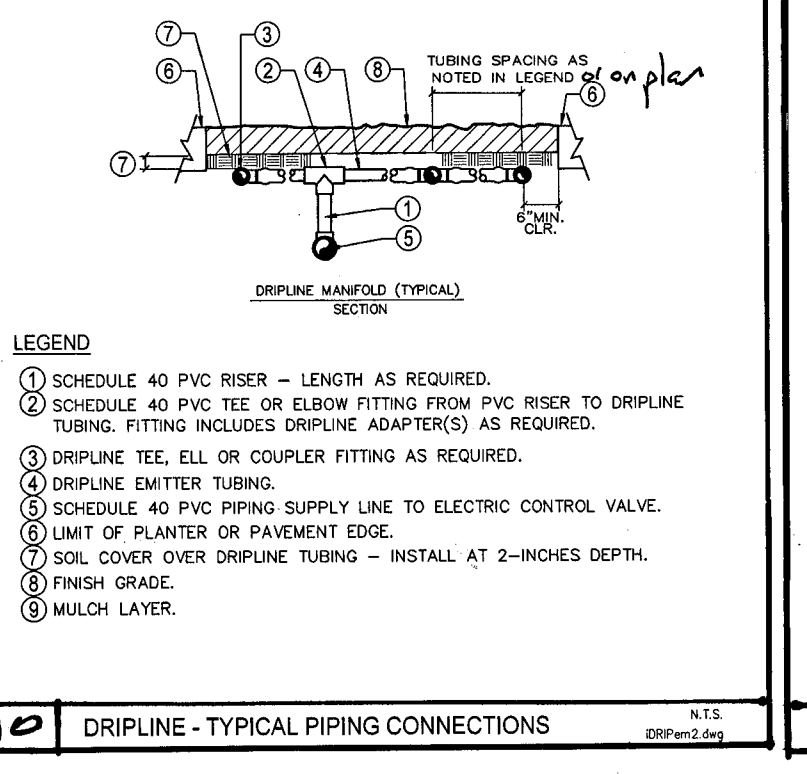
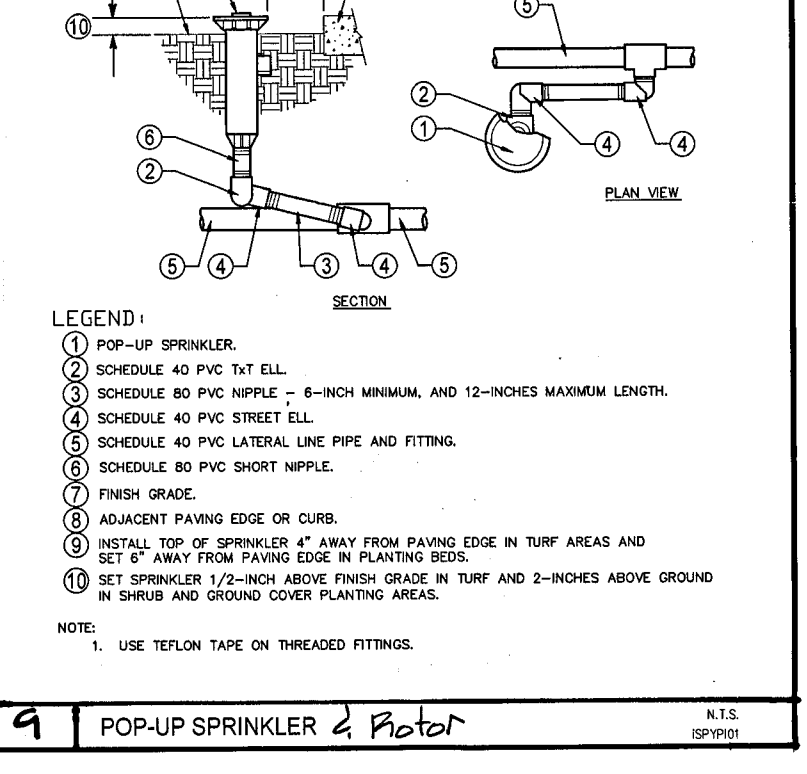
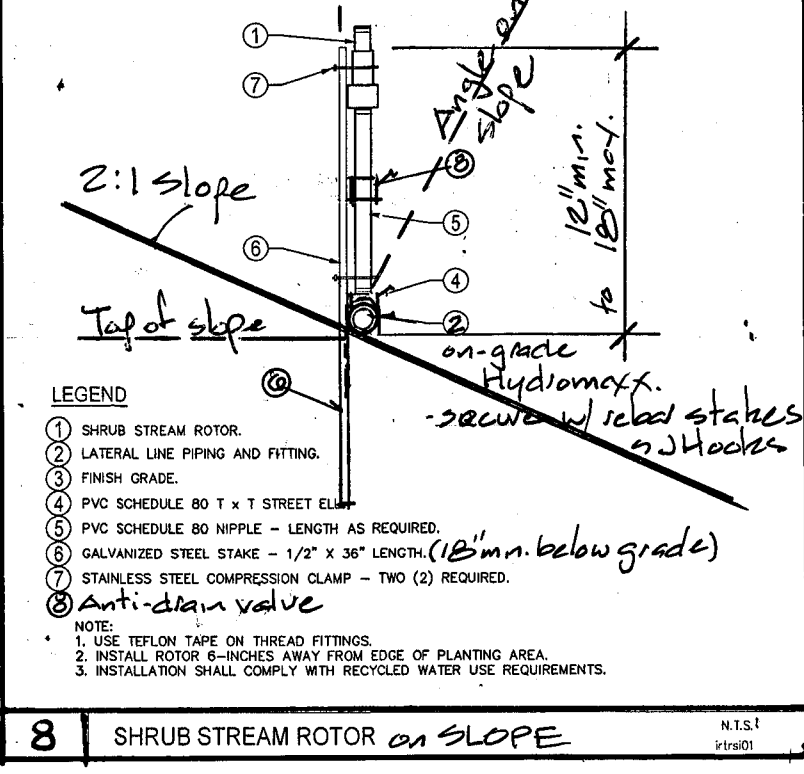
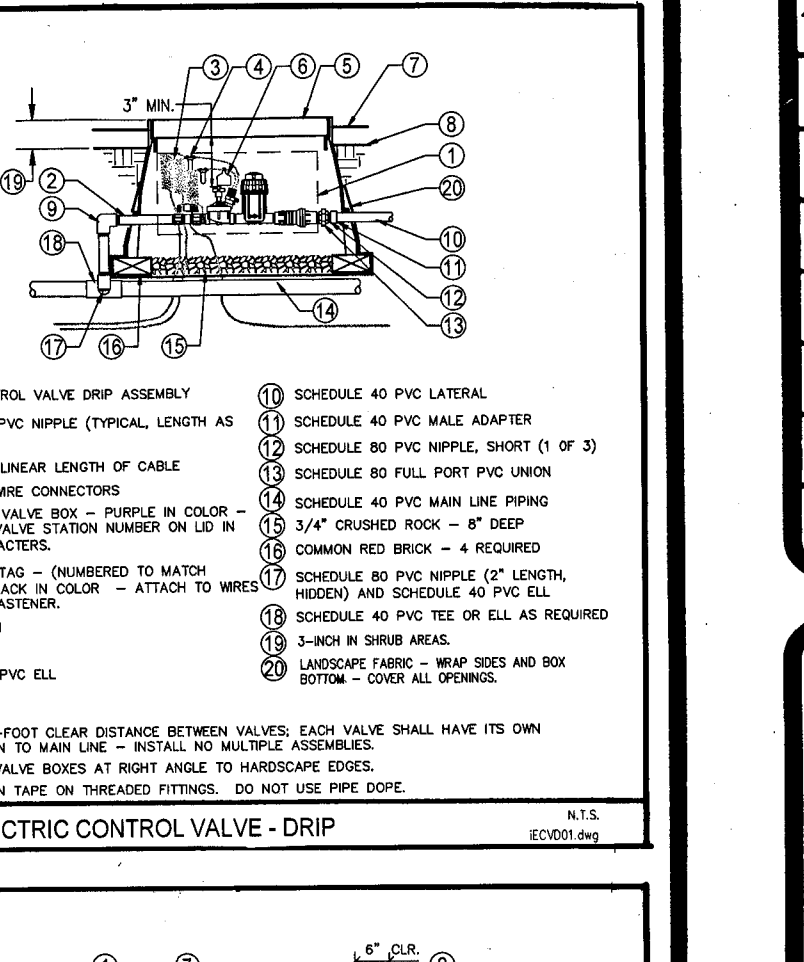
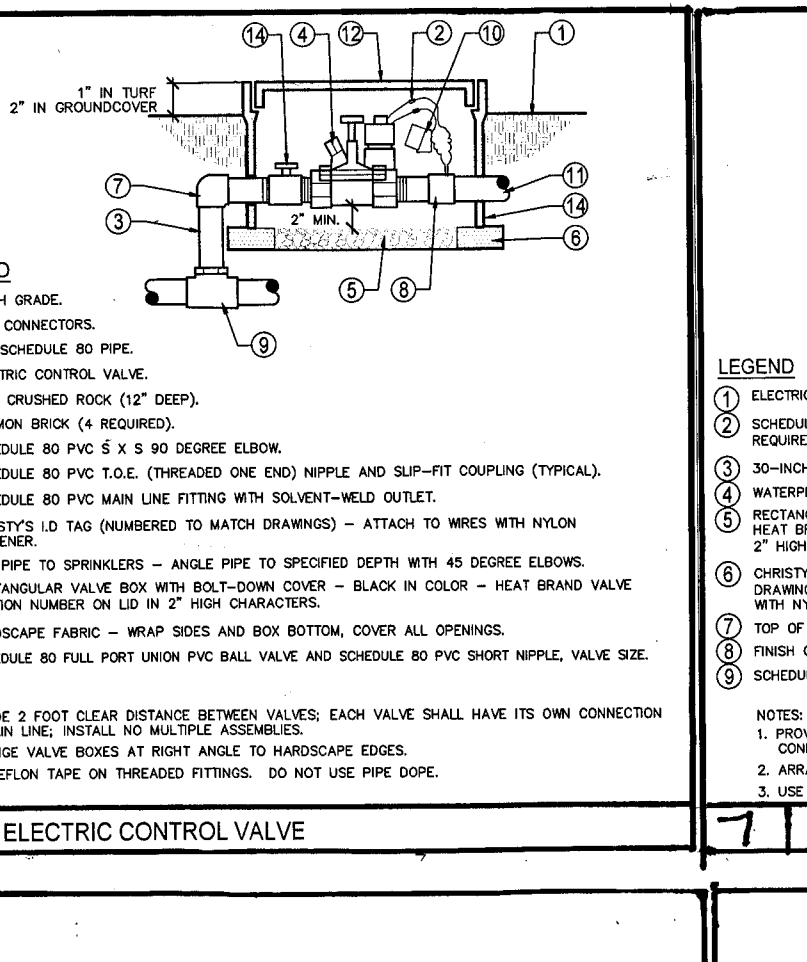
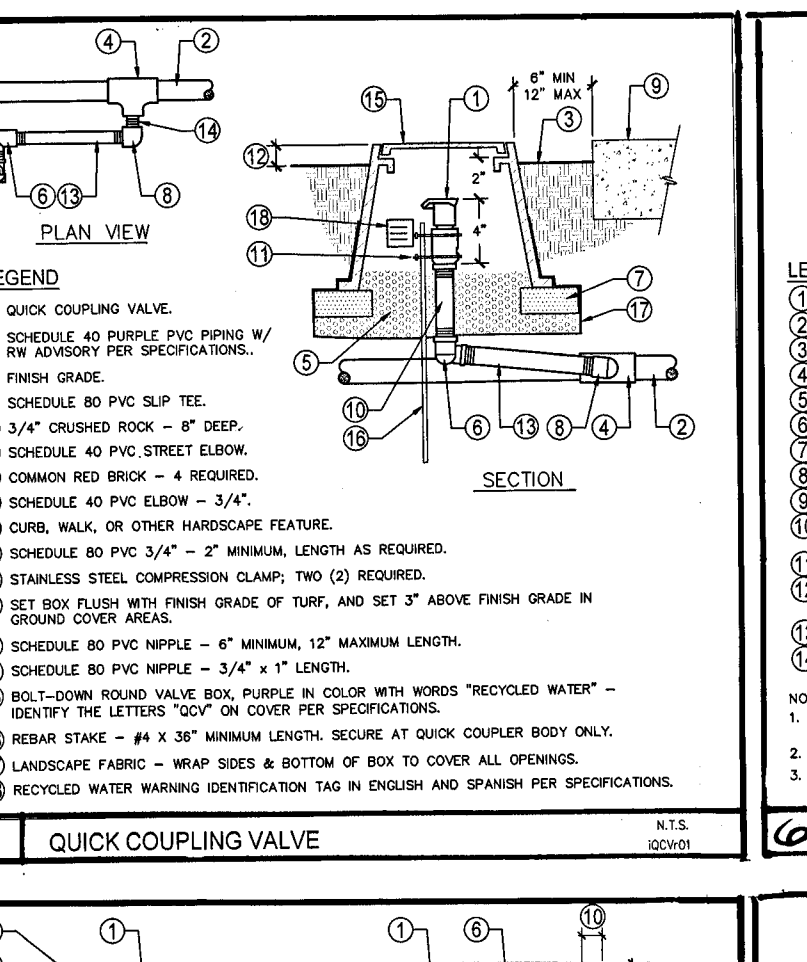
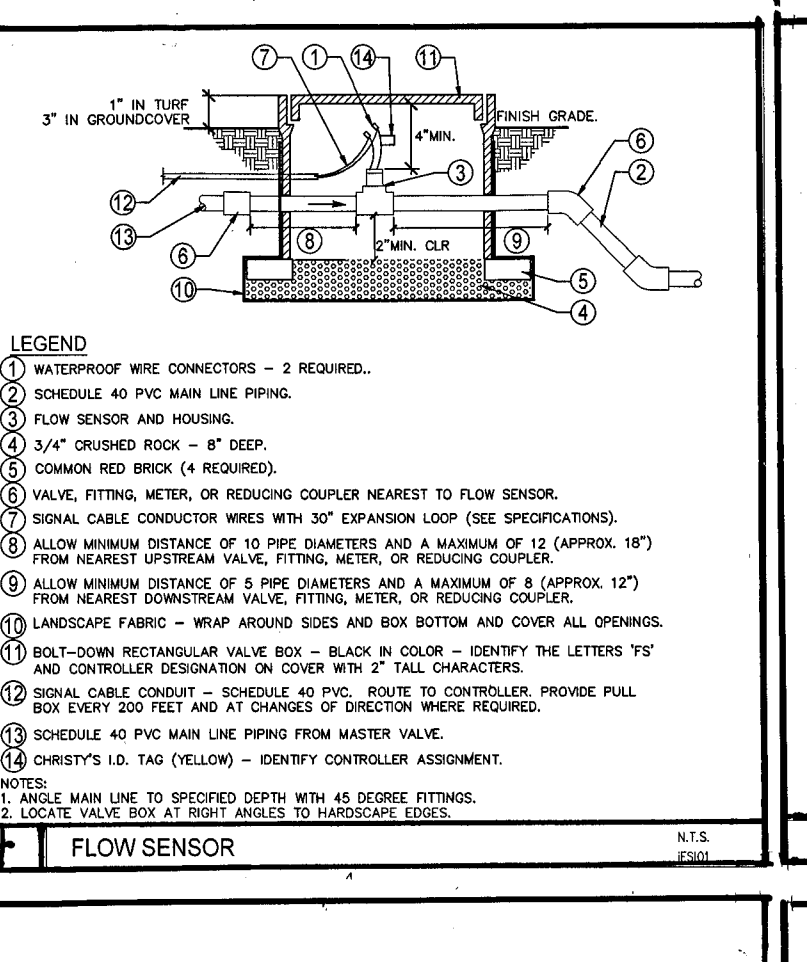
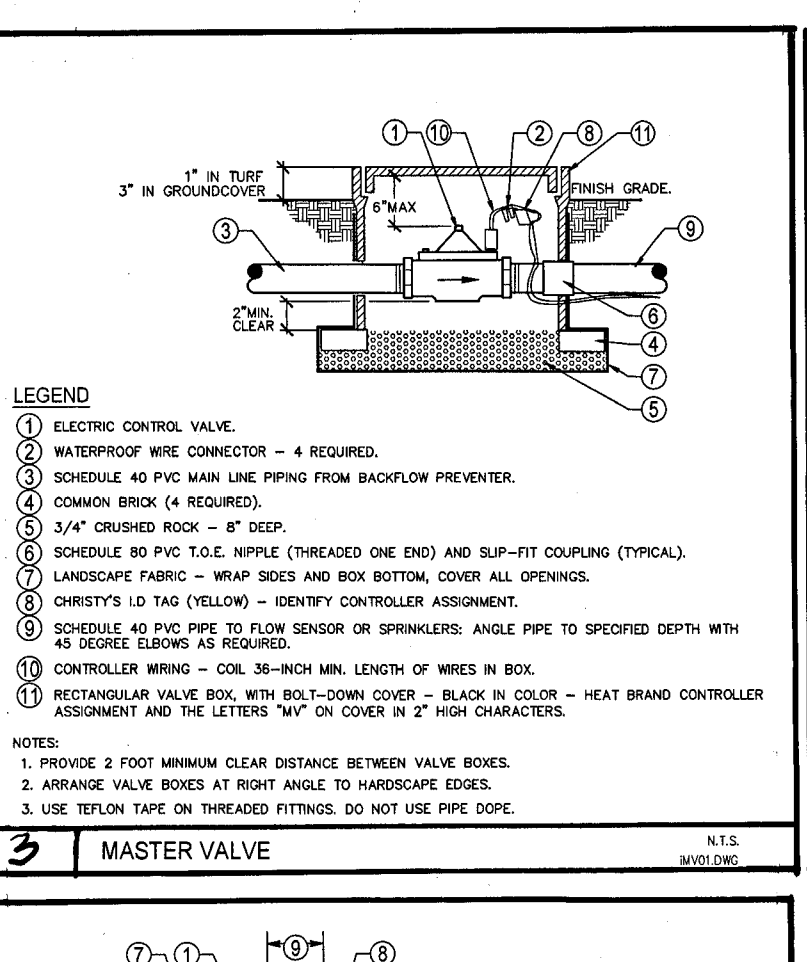
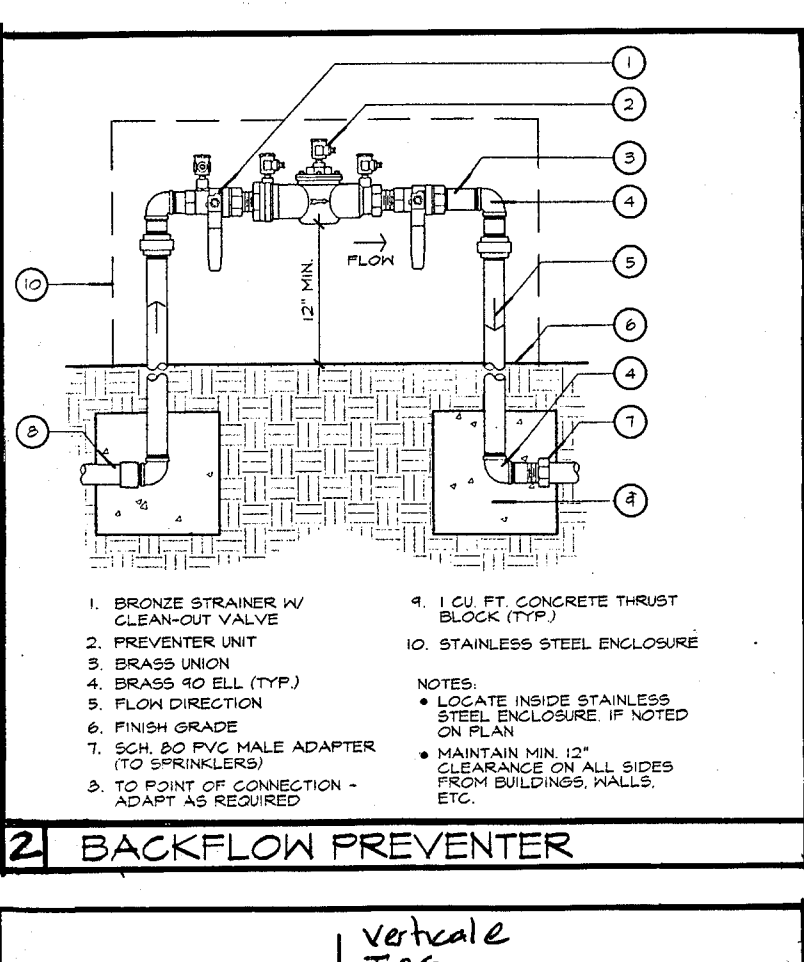
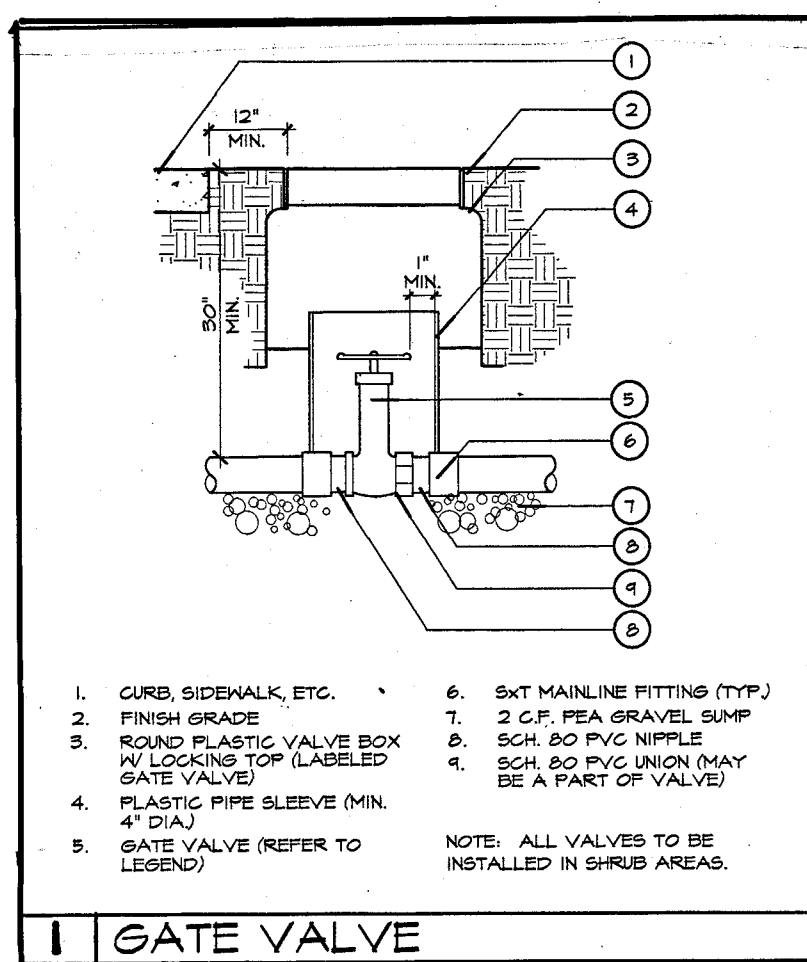
- Materials:**
 - General: Use only new materials of brands and types noted on drawings, specified herein or approved equals.
 - Pressure main line piping shall be PVC schedule 40 with solvent-welded joints.
 - PVC solvent-weld fittings shall be Schedule 40, 1-1/2, 1-1/4 NSF approved conforming to most ASTM test procedure D-2458 as manufactured by Dura Industries.
 - Solvent cement and primer for PVC solvent-weld pipe and fittings shall be of type and installation method prescribed by the manufacturer.
 - Non-pressure buried lateral line piping shall be PVC Class 200 with solvent-weld joints or Hydromaxx on-grade on slopes as noted in Legend
 - Drip line shall be mfg. by Rainbird using only proper fittings, barbed connectors, compression type fittings and related.
 - Quick Coupling Valves—quick coupling valves shall be of size and type as indicated on the drawings. All quick coupling valves shall be of size and type as indicated on the drawings. All quick coupling valves shall be of size and type as indicated on the drawings. All quick coupling valves shall be of size and type as indicated on the drawings.
 - Backflow Prevention Unit—Backflow preventers shall be of size and type as indicated on the drawings. All backflow prevention units shall be installed in accordance with requirements set forth by local codes and County Health Department requirements.
 - Gate Valves—Bronze as mfg. by Nilco or approved equal.

- Control Wiring**—The electrical system shall be installed in accordance with the National Electrical Code most recently adopted by the City. Connections between automatic controllers and the electric control valves shall be made with direct burial copper with AWG-U.F. 600 volt. Common wires shall be white. Install in accordance with valve manufacturer's specifications and wire chart. In no case shall wire size be less than No. 14.
- Wiring shall occupy the same trench and shall be installed along the same route as pressure supply or lateral lines wherever possible. Where more than one wire is placed in a trench, the wiring shall be taped together at intervals of 10 feet. An expansion curl should be provided within 3 feet of each wire connection and at each change in direction. Field splices between the automatic controller and electric control valves are not to be allowed.

- Automatic Controller**
 - The automatic controller shall be as noted on plans with "Smart" clock technology controls for water efficient operations. Program the clock per mfg. instructions.
 - Outdoor Automatic Controller Enclosure:
 - Controllers installed outside of a building shall be wall mounted within a Stainless Steel vandal resistant automatic controller enclosure as specified in the drawings. Enclosures shall be equipped with an on/off switch for 110-volt power supply to controller.

- Valve Boxes:**
 - Use 9" diameter round box for all gate valves—Carson, Brooks (or approved equal).
 - Use 9 1/2" x 16" x 11" rectangular box with green bolt-down cover for all electrical control valves. Call 1418-123 or approved equal.
 - Use Rainbird Round Emitter boxes for air relief valves and flushing end plugs as noted on plans.

- PROCEDURES**
 - Site Conditions**
 - Exercise extreme care in excavating and working near existing utilities. Contractor shall be responsible for damages to utilities, which are caused by his operations or neglect. Check existing utility drawings for existing utility locations.
 - Coordinate installation of the sprinkler irrigation materials, including pipe, so there shall be NO interference with the utilities or other construction or difficulty planting trees, shrubs or ground covers.
 - Trenching**
 - Dig trenches straight and support pipe continuously on bottom trench. Lay pipe to an even grade. Trenching excavation shall follow layout indicated on drawings and as noted.
 - Provide for a minimum of 18" of cover for all pressures supply lines 1" and smaller.
 - Provide for a minimum cover of 12" for all non-pressure lines.
 - Provide for a minimum cover of 18" for all cable wiring in conduit, and 24" for direct burial cables.
 - Provide for a minimum cover of 4" for all sub-surface Drip lines. Secure drip lines in trenches with galv. metal stakes per details and mfg. specs.



IRRIGATION LEGEND:

Symbol Description w/ Mfg. Model # & Size if applicable

POINT OF CONNECTION (P.O.C.):

- Proposed Domestic WATER METER. Location and section of domestic supply line to new home & ADU. Field verify actual meter size & location.
- Proposed Separate 1" WATER METER for Irrigation or SUB-WATER METER location.
 - Separate meter or sub-meter required per City of RH WELDO code as landscape areas exceed 5000 s.f.
 - Provide Point of Connection (P.O.C.) to Mainline piping in planting area (See P.O.C. note on plans)
- BRASS 1" GATE VALVE—NIBCO T-113 IN ROUND VALVE BOX - Locate on mainline in planter areas

- REDUCED PRESSURE BACKFLOW PREVENTER- 1" FEBCO 825Y
 - Locate in planter area and Screen with shrubs
- 'SUPERIOR(BUCKNER) 3200 - 1" MASTER VALVE w/ FPT CX - Bronze Globe body - Normally open
 - No minimum flow. OK for use with reclaimed water if available in the future
 - Connect to controller with dedicated signal cable in 1" SCH 40 Conduit with waterproof connectors and Flow Sensor for automatic shutdown in the event of unscheduled high flow detection
 - Install in CARSON Valve box w/ Flow Sensor

- CST FLOW SENSOR FS110-001 - 1" CREATIVE SENSOR TECHNOLOGY - PVC housing

- IRRIGATION MAINLINE BOOSTER PUMP #1 - In-line self-priming centrifugal Booster Pump w/ stainless components as mfg. by Grundfos, Flotec, Davy Pumps, Pentair, or equal.
 - Constant Pressure Booster Pump is required to increase the pressure from city municipal supply due to pressure losses from the significant elevation rise from P.O.C. @ Poppy Trail.
 - See Plan for approximate PSI inlet pressure and PSI boost requirement for proper operation of the system and design min. to rotator nozzle spray head at the highest elevation.
 - Single Phase 115/230 volt. Provide all required power to vault from main circuit panel @ house w/ GFCI J-box and proper fuse/control box per project electrician
 - Up to 20 GPM flows. Pump size(hp) to be determined by the Irrigation Contractor and Pump Supplier Rep.
 - Install per mfg. details and specs. Install in-line pressure relief valve if required
 - Mount pump in enclosed waterproof subterranean vault @ base of slope behind retaining wall w/ proper venting. Vault w/ per contractor select. Install per mfg. spec.
 - Route 1 1/2" PVC Sch 40 pressurized mainline piping from P.O.C. @ Poppy Trail to first booster pump and route 1 1/2" PVC Sch 40 mainline from pump to valves and 2nd booster pump @ residence

- IRRIGATION MAINLINE BOOSTER PUMP #2 - In-line self-priming centrifugal Booster Pump w/ stainless components as mfg. by Grundfos, Flotec, Davy Pumps, Pentair, or equal.
 - A second Constant Pressure Booster Pump is required to increase pressure in mainline at the mid level elevation of the site due to pressure losses from the significant elevation rise to higher rotator systems.
 - See Plan for approximate PSI inlet pressure and PSI boost requirement for proper operation of the system and to provide 40 PSI min. to each rotator nozzle spray head
 - Single Phase 115/230 volt. Provide all required power from main circuit panel @ house w/ GFCI J-box and proper fuse/control box per project electrician
 - Up to 20 GPM flows. Pump size to be determined by the Irrigation Contractor and Pump Supplier Rep.
 - Install per mfg. details and specs. Install in-line pressure relief valve if required
 - Mount pump on concrete pad in weather proof enclosure on back of the garage under eaves w/ venting. Enclosure per contractor select. Install per mfg. spec.
 - Route 1 1/2" PVC Sch 40 pressurized mainline piping from second booster pump
 - Route 1 1/2" PVC Sch 40 pressurized mainlines to valves of the various upper elevations fitted with in-line pressure reducing valves to fine tune pressure requirements for each system.

CONTROL VALVES, QUICK COUPLERS & REMOTE HOSE BIB LOCATIONS:

- RAINBIRD ELECTRIC IRRIGATION CONTROL VALVE for spray and rotor spray systems
 - Model: PEB ELECTRIC REMOTE CONTROL VALVE
 - Provide 1" LASC0 ball valve & PVC SCH 80 nipples
 - Install below grade in Carson Green Rectangular valve box. Mark/Etch Valve Stations on lid.
 - Provide SENSIRIR IN-LINE PRESSURE REDUCING VALVE for fine tuning pressure after each valve based on varying inlet pressures from proximity to booster pump and elevations changes
 - Model: 35 PSI PR35HF & 50 PSI PR50HF
- RAINBIRD Low Flow CONTROL ZONE VALVE KIT for drip-line systems
 - Model: XC2-100-CRB-COM-1" WITH PEB ELECTRIC REMOTE CONTROL VALVE
 - RY-C Commercial in-line Wye Filter with Stainless Steel screen
 - PSI-M40X PSI Pressure Regulator Valve
 - Provide 1" LASC0 ball valve & PVC SCH 80 nipples
 - Install below grade in Carson Green Rectangular valve box. Mark/Etch Valve Stations on lid.
- RAINBIRD 1" BRASS QUICK COUPLING VALVE WITH LOCKING RUBBER COVER—44LRC
 - Locate in round valve box in planter area
- CHAMPION BRASS HOSE SPIGOT on PVC Sch 80 Riser
 - secure to face of wall or 4x4 redwood post secured in soil w/ stainless steel clamps & screws/anchors

IRRIGATION CONTROLLER:

- RAINMASTER EAGLE PLUS! OUTDOOR "SMART" IRRIGATION CONTROLLER mounted on wall @ Pool Equipment in stainless steel enclosure box. All installation hardware and screws to be stainless steel. Final clock location to be determined by the GC & approved by Owner in the field
 - Allow for up to 48 stations with 4 programs with multiple start times plus automatic shut-down in the event an unscheduled high flow is detected from the master valve & flow sensor.
 - Provide iCard for wireless connectivity to Rainmaster iCentral "ZipET" web based software that can be accessed from any remote location on any smart devices and web browser. Requires an annual service contract to be started and maintained by the long term maintenance contractor after the 60 day maintenance turnover. Program clock per mfg. instructions/specs. and historical ET data for the area.
 - See www.rainmaster.com
 - EPA water sense qualified "SMART" clock. Connection to iCentral "ZipET" automatically adjusts scheduling, station run times and frequency based on daily ET readings from local weather station in the same zip code without manual intervention for water efficiency and savings up to 35%.
 - Provide separate Tilt type Rain cup an tie into clock to automatically shuts-off watering during times of precipitation.
 - Provide connections to Master Valve and Flow Sensor as required
 - Enclosed 120 v. power supply provided by project electrician
 - Connect valve wires from control valves to clock. All wire runs to be concealed neat and vertical in SCH 80 conduit tubing and secured to wall with stainless steel clamps. Paint any exposed conduit to match wall.
 - Provide 6 AWG bare copper wire and tie into grounding rod in valve box 12' max away - see Controller detail
 - Clocks carries a 5 year mfg. warranty

SLOPE SHRUB ROTATOR SPRAYHEAD LEGEND:

Symbol	Mfg.	Model No.	Description	Nozzle	Radius GPM	P.S.I.	Arc	Precip. In/hr.
HUNTER	PROS-00-PRS40	MP ROTATOR on SHRUB ADAPTER	MP1000-SR-90 14'		0.21	40	Qtr.	0.4
			MP1000-SR-180 14'		0.42	40	Half	0.4
			MP1000-SR-210 14'		0.49	40	210°	0.4
			MP2000-SR-90 20'		0.43	40	Qtr.	0.4
			MP2000-SR-180 19'		0.77	40	Half	0.4
			MP2000-SR-360 19'		1.48	40	Full	0.4
			MP3000-SR-90 30'		0.86	40	Qtr.	0.4
			MP3000-SR-180 30'		1.82	40	Half	0.4
			MP3000-SR-210 30'		2.12	40	210°	0.4
			MP3000-SR-360 30'		3.64	40	Full	0.4
			MP3500-SR-90 35'		1.28	40	Qtr.	0.4
			MP3500-SR-180 35'		2.88	40	Half	0.4
			MP3500-SR-210 35'		3.29	40	210°	0.4

- Note: All Shrub Riser Adapters to be fitted with Hunter HCV in-line Anti-drain/check valves or equal
- Indicates 12" Pop-up @ base of slopes and behind walls. Use HUNTER PROS-12-PR540
- All Pop-ups to be fitted with HUNTER built-in CVF check valves w/ flow guard technology

TURF AREA & SHRUB PLANTER SPRAYHEADS LEGEND:

Symbol	Mfg.	Model No.	Description	Nozzle	Radius GPM	P.S.I.	Arc	Precip. Rate
RAINBIRD	RD04-S-P-30 4"	POP-UP TURF SPRAY HEAD	8'		0.29	30	Qtr.	1.76
			8'		0.53	30	Half	1.76
			10'		0.45	30	Qtr.	1.72
			10'		0.81	30	Half	1.72
			12'		0.59	30	Qtr.	1.58
			12'		1.08	30	Half	1.58
			12'		2.37	30	Full	1.58
RAINBIRD	PA-8S-30	SHRUB SPRAY HEAD on RISER	12'		0.59	30	Qtr.	1.58
			12'		1.08	30	Half	1.58

DIAPHRAGM & COMPONENTS:

- Indicates RAINBIRD On-Surface DIAPHRAGM for slopes in lineal row grid pattern design
 - Mo. & XFS-CV. 04-18 w/ heavy duty built-in check valve & copper chips in each emitter to prevent root intrusion. Size: 0.4 GPH @ 18" o.c. emitter spacing. Coil lengths determined by Contractor
 - Provide all required Easy Fit compression fittings, XFF barbed insert fittings and related.
 - Loop diaphragm around trees with proper fittings
 - Drip line spacing between rows of shrubs @ 12" o.c. on slopes. Provide on-grade PVC Sch 40 Hydromaxx Black flexible lateral line supply headers w/ proper fittings plus flushing and air-relief valves.
 - Provide XF series TDS 9 gauge Galv. Steel tie down stakes to secure diaphragm in place @ 5' o.c.
- Indicates RAINBIRD On-Surface DIAPHRAGM for on grade and non-sloping shrub planters in lineal row design
 - Mo. & XFS-CV. 06-12 w/ heavy duty built-in check valve & copper chips in each emitter to prevent root intrusion. Size: 0.61 GPH @ 12" o.c. & 18" o.c. emitter spacing - See plan for emitter spacing
 - Coil lengths determined by Contractor. Loop around trees with proper fittings
 - Drip line spacing between rows of shrubs @ 12" o.c. to 18" o.c. max. Provide Rainbird QF Lateral Supply Line headers with prefab outlets set @ 12" and 18" o.c. - See plan for lateral line spacing
 - Provide all required Easy Fit compression fittings, XFF barbed insert fittings and related, flushing headers, flushing and valve plugs and air-relief valves. Locate in valve boxed and install per mfg. spec.
 - Provide XF series TDS 9 gauge Galv. Steel tie down stakes to secure diaphragm in place @ 5' o.c.
- Lateral Line and Stub-up into planter area from Valve with proper compression type fitting or equal for connection to Supply line headers as noted above. Route Underground PVC Class 200, Blu-Lox lateral Piping or Hydromaxx Black UV resistant on-surface piping to connect to headers and Drip line runs. Spray Paint any exposed white PVC fittings with brown UV-resistant paint

PIPING:

- 1 1/2" PVC SCHEDULE 40 MAINLINE PIPING. Thoroughly hand-tamp compact all trenches on slopes
- LATERAL LINE(NON-PRESSURE) PIPING from Valves to Spray heads & Rotor Heads:
 - On-grade areas(buried): PVC CLASS 200 LATERAL LINE PIPING or BLU-LOCK LATERAL LINE PIPING w/ no glue fittings. 3/4" size unless noted on plan
 - Slopes over 3:1 Gradient(installed on-grade): HYDROMAXX BLACK FLEXIBLE PVC SCH 40 LATERAL LINE PIPING - UV Resistant & Crush Resistant Black Pipe for all slope installations
 - Secure w/ 8" long x line size width 9 gauge Galvanized steel wire stakes @ 4' max. o.c.
 - 3/4" size unless noted on plan
- PVC SCH 40 SLEEVEING for mainline and control wires under paving, size noted on plan
- Note: All piping shown on plan is diagrammatic and maybe shown in roadway for ease of legibility. Actual field locations of buried pipe and piping runs to be in soil/planter areas with paving cross-overs as determined in the field

REVISIONS	BY
ADD THIS SPEC TO SET PER CITY SPEC	

THOMAS G. DOROS
LANDSCAPE ARCHITECT
10101 N. 10th Ave., Suite 100
Denver, CO 80231
(303) 752-7141
Email: tgd@earthlink.net
Web: www.tdlandscapearchitect.com

IRRIGATION LEGEND, DETAILS & SHORT SPECS.
Arvidson Residence
4 Poppy Trail
Rolling Hills, CA 90274

DRAWN TGM/ldc	CHECKED
DATE 2/10/2003	SCALE 1"
JOB NO.	SHEET
L-6	OF SHEETS

ARVIDSON RESIDENCE

4 POPPY TRAIL
ROLLING HILLS, CA 90274

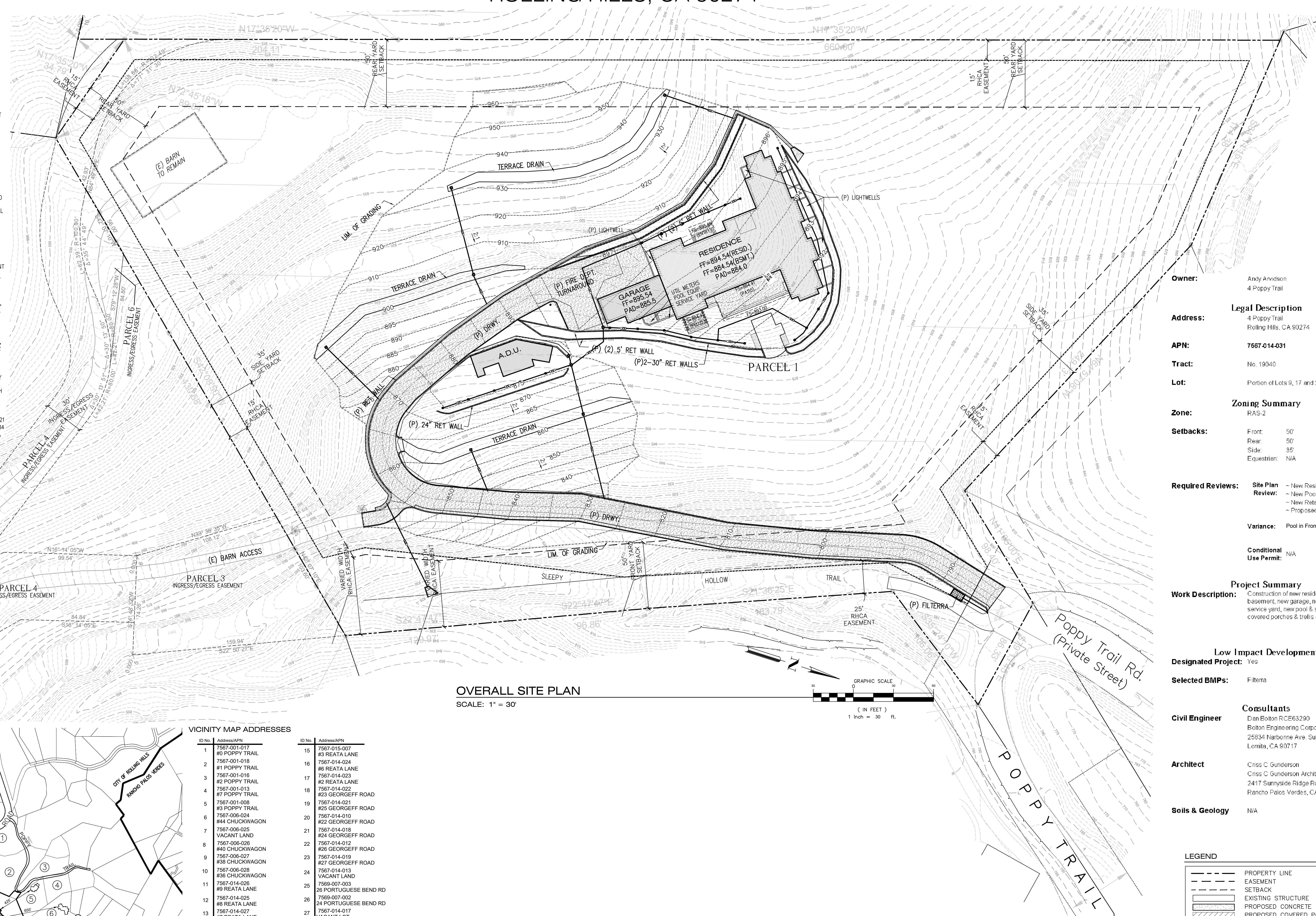
LEGAL DESCRIPTION

A.P.N. 7567-014-031

PARCEL B AS SHOWN ON LOT LINE ADJUSTMENT AS EVIDENCED BY DOCUMENT RECORDED MARCH 25, 2013 AS INSTRUMENT NO. 2013-443526 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL 1:

those portions of lots 9, 17, and 22 of Tract NO. 19040 in the city of ROLLING HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, BEING THE SOUTHERLY BOUNDARY OF SAID LOTS 9, 17 AND 22 OF MAPS, RECORDS OF SAID COUNTY, AND THAT PORTION OF LOT 34 OF L.A.C.N.O. NO. 51, IN SAID CITY AND COUNTY AND STATE AS MORE FULLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE SOUTHERLY BOUNDARY OF SAID LOT 17, DISTANT THEREON NORTH 84° 52' 35" EAST 40.00 FEET FROM THE MOST EASTERLY CORNER OF SAID LOT 17; THENCE ALONG THE LINE NORTH 77° 35' 20" WEST 34.79 FEET TO THE TRUE POINT OF BEGINNING OF THE LAND CONVEYED TO SAW WOLINSKY AND MARIA LOUISA WOLINSKY, HUSBAND AND WIFE AS JOINT TENANTS, COMMENCING WITH THE NORTHEASTLY CORNER OF SAID LOT 17, OFFICIAL RECORDS OF SAID COUNTY, ALSO BEING THE TRUE POINT OF BEGINNING FOR THE LAND DESCRIBED HEREIN; THENCE ALONG THE WESTERLY BOUNDARY OF SAID WOLINSKY LAND, CONTINUING NORTHWEST 65° 05' 00" WEST 10.00 FEET TO THE NORTHEASTLY CORNER OF THE LAND DESCRIBED IN DEED TO GEORGE MORRIS AND MELANIE DAWN MORRIS, HUSBAND AND WIFE, AS JOINT TENANTS, COMMENCING WITH THE NORTHEASTLY CORNER OF SAID LOT 17, OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG THE EXTERIOR BOUNDARY OF LAST MENTIONED LAND, NORTH 17° 35' 20" WEST, 66.00 FEET TO A POINT IN THE SOUTHERLY BOUNDARY OF LOT 17, DISTANT THEREON NORTH 84° 52' 35" EAST 40.00 FEET FROM THE MOST EASTERLY CORNER OF SAID LOT 17; THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 1, SOUTH 84° 11' 15" EAST, 167.04 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 1; THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 1, SOUTH 84° 11' 15" EAST, 167.04 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 1; THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 9 AND THE MOST SOUTHERLY CORNER OF THE LAND CONVEYED TO CALIFORNIA JURY POWERS; INSURANCE AUTHORITY BY DEED FILED IN OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 9, SOUTH 84° 11' 15" EAST, 167.04 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 9; THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 9, SOUTH 84° 11' 15" EAST, 99.40 FEET; THENCE DEPARTING FROM SAID SOUTHEASTERLY CORNER OF SAID LOT 9, SOUTH 84° 11' 15" EAST, 167.04 FEET TO THE NORTHEASTERLY BOUNDARY OF THE LAND DESCRIBED AS PARCEL NO. 1 IN DEED TO JOSEPH FERDERBER AND WIFE, RECORDED AS OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG THE EXTERIOR BOUNDARY OF SAID LAST MENTIONED LAND, SOUTH 35° 24' 10" WEST, 106.36 FEET, SOUTH 21° 36' 25" EAST, 183.79 FEET, AND SOUTH 22° 47' 47" EAST, 96.96 FEET TO THE MOST SOUTHERLY CORNER OF SAID LOT 9; THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 9, ALSO BEING THE MOST WESTERLY CORNER OF LOT 22 OF RECORD OF SURVEY, FILED IN BOOK 73, PAGES 12 THROUGH 14, OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 9, SOUTH 22° 47' 47" EAST, 129.97 FEET; THENCE DEPARTING FROM SAID SOUTHEASTERLY BOUNDARY, SOUTH 42° 09' 50" WEST, 430.68 FEET TO THE NORTHEASTLY CORNER OF LOT 21 OF SAID LOT NO. 19040, THENCE NORTH 72° 45' 18" WEST, 89.84 FEET TO THE TRUE POINT OF BEGINNING. AREA .354 AC. OR LESS, MORE OR LESS.


VICINITY MAP ADDRESSES

ID No.	Address/APN
1	7567-001-017 #0 POPPY TRAIL
2	7567-001-018 #1 POPPY TRAIL
3	7567-001-016 #2 POPPY TRAIL
4	7567-001-013 #7 POPPY TRAIL
5	7567-001-008 #3 POPPY TRAIL
6	7567-006-024 #44 CHUCKWAG
7	7567-006-025 VACANT LAND
8	7567-006-026 #40 CHUCKWAG
9	7567-006-027 #38 CHUCKWAG
10	7567-006-028 #37 CHUCKWAG
11	7567-014-026 #9 REATA LANE
12	7567-014-025 #8 REATA LANE
13	7567-014-027 #7 REATA LANE
14	7567-014-028 #5 REATA LANE


ID No	Address/APN
15	7567-015-007 #3 REATA LANE 7567-014-024 #6 REATA LANE 7567-014-023 #2 REATA LANE 7567-014-022 #23 GEORGEFF ROAD
19	7567-014-021 #27 GEORGEFF ROAD
20	7567-014-010 #22 GEORGEFF ROAD
21	7567-014-018 #24 GEORGEFF ROAD
22	7567-014-012 #26 GEORGEFF ROAD
23	7567-014-019 #27 GEORGEFF ROAD 7567-014-013 VACANT LAND 7569-007-003 26 PORTUGUESE BEND RD 7569-007-002 24 PORTUGUESE BEND RD 7567-014-017

Owner:	Andy Arvidson 4 Poppy Trail		
Legal Description			
Address:	4 Poppy Trail Rolling Hills, CA 90274		
APN:	7667-014-031		
Tract:	No. 19040		
Lot:	Portion of Lots 8, 17 and 22		
Zoning Summary			
Zone:	RAS-2		
Setbacks:	Front:	50'	
	Rear:	50'	
	Side:	35'	
	Equestrian:	N/A	
Required Reviews:	Site Plan Review:	~ New Residence ~ New Pool ~ New Retaining Walls ~ Proposed Grading	
	Variance:	Pool in Front Yard	
	Conditional Use Permit:	N/A	
Project Summary			
Work Description:	Construction of new residence w/ basement, new garage, new ADU & service yard, new pool & spa, new covered porches & trellis and new site		
Low Impact Development			
Designated Project:	Yes		
Selected BMPs:	Filterina		
Consultants			
Civil Engineer	Dan Bolton RCE63290 Bolton Engineering Corporation 25834 Narbonne Ave. Suite 210 Lenita, CA 90717		
Architect	Criss C Gunderson Criss C Gunderson Architects 2417 Sunnyside Ridge Road Rancho Palos Verdes, CA 90275		
Soils & Geology	N/A		


Revisions	By



BOLTON
ENGINEERING CORP.



BEC



TITLE: OVERALL SITE PLAN

CLIENT: ANDY ARVIDSON

NEW RESIDENCE

4 POPPY TRAIL

ROLLING HILLS, CA 90274

DATE: March 7, 2023


SCALE: AS SHOWN

DRAWN: JP

CHECKED: DB

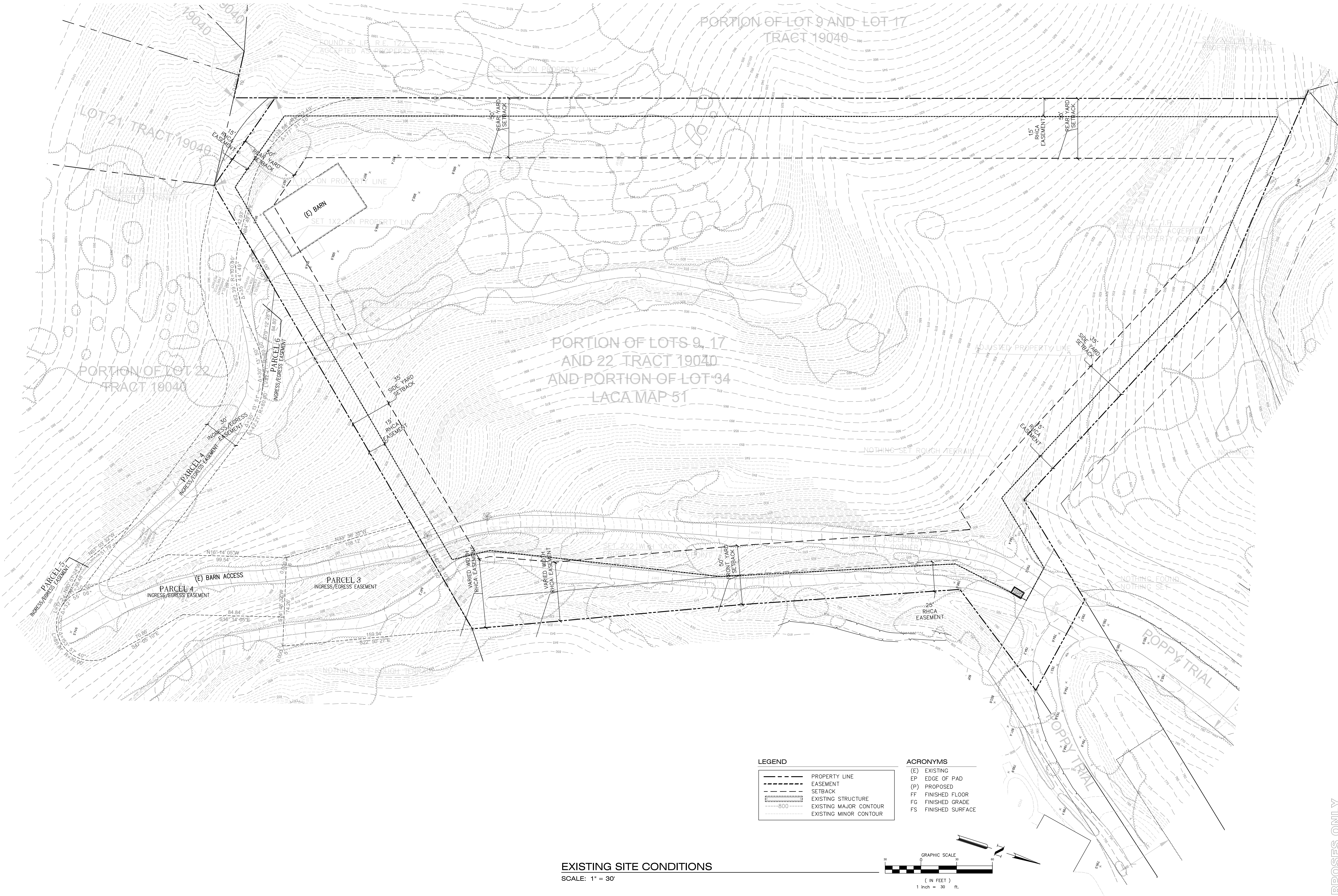
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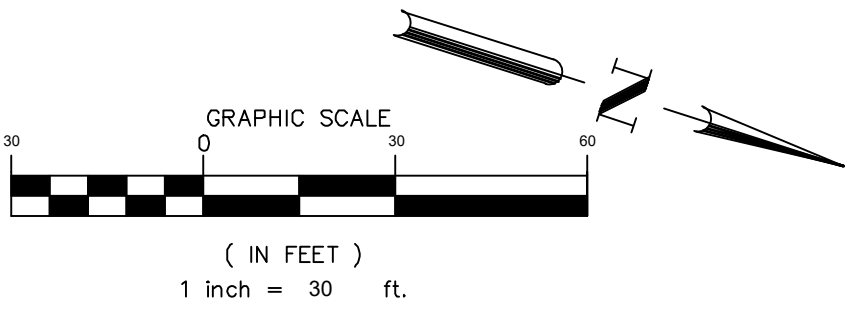
Of 7 Sheets



EXISTING SITE CONDITIONS
SCALE: 1" = 30'

LEGEND	
	PROPERTY LINE
	EASEMENT
	SETBACK
	EXISTING STRUCTURE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR

ACRONYMS	
(E)	EXISTING
EP	EDGE OF PAD
(P)	PROPOSED
FF	FINISHED FLOOR
FG	FINISHED GRADE
FS	FINISHED SURFACE



FOR PLANNING PURPOSES ONLY

TITLE: EXISTING SITE CONDITIONS
NEW RESIDENCE
4 POPPY TRAIL
ROLLING HILLS, CA 90274

Date: March 7, 2023
Scale: AS SHOWN
Drawn: JPD
Checked: DJB
Job No.: 20333
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Of 7 Sheets

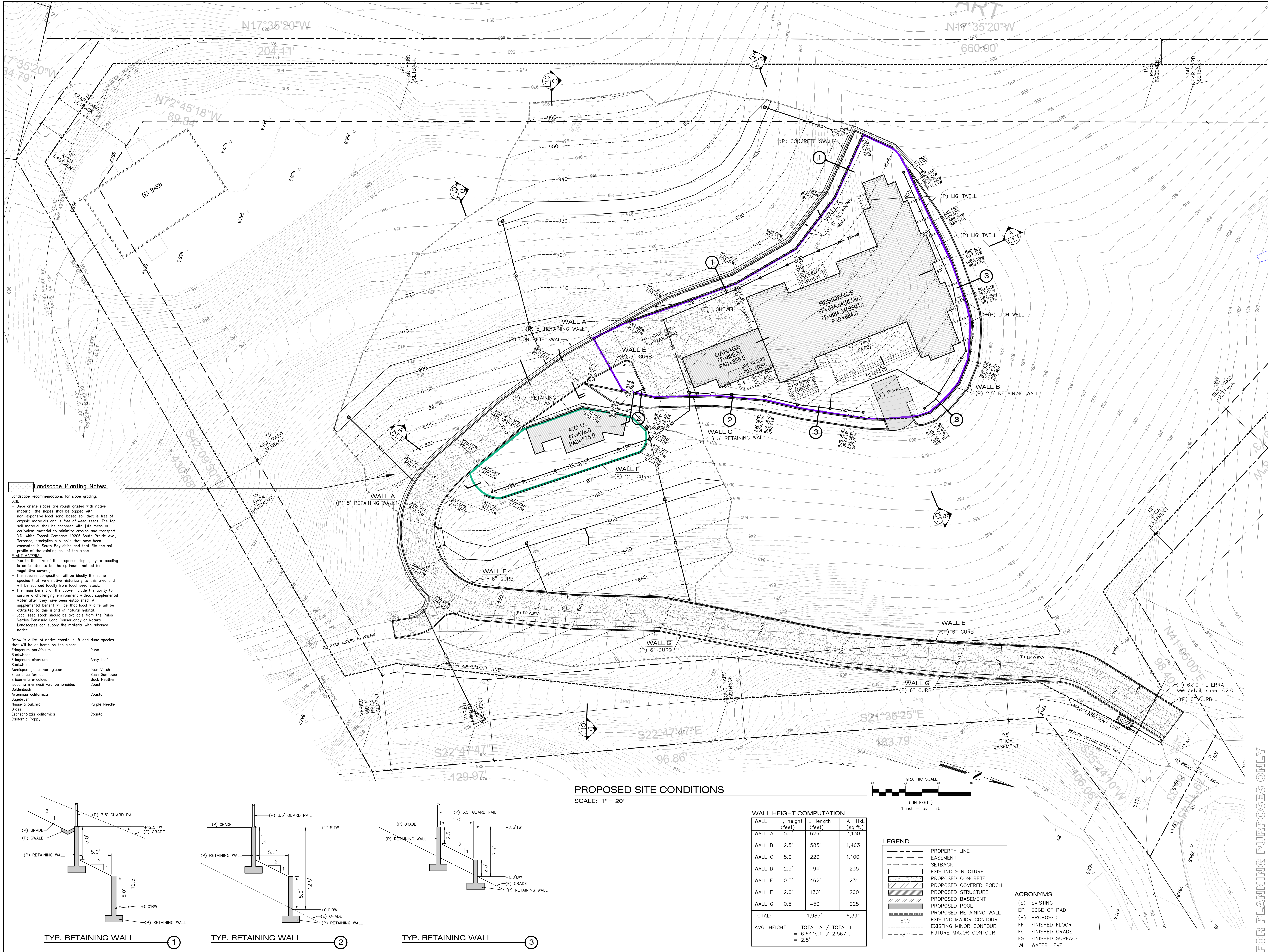
CLIENT: ANDY ARVIDSON
4 POPPY TRAIL
ROLLING HILLS, CALIF.



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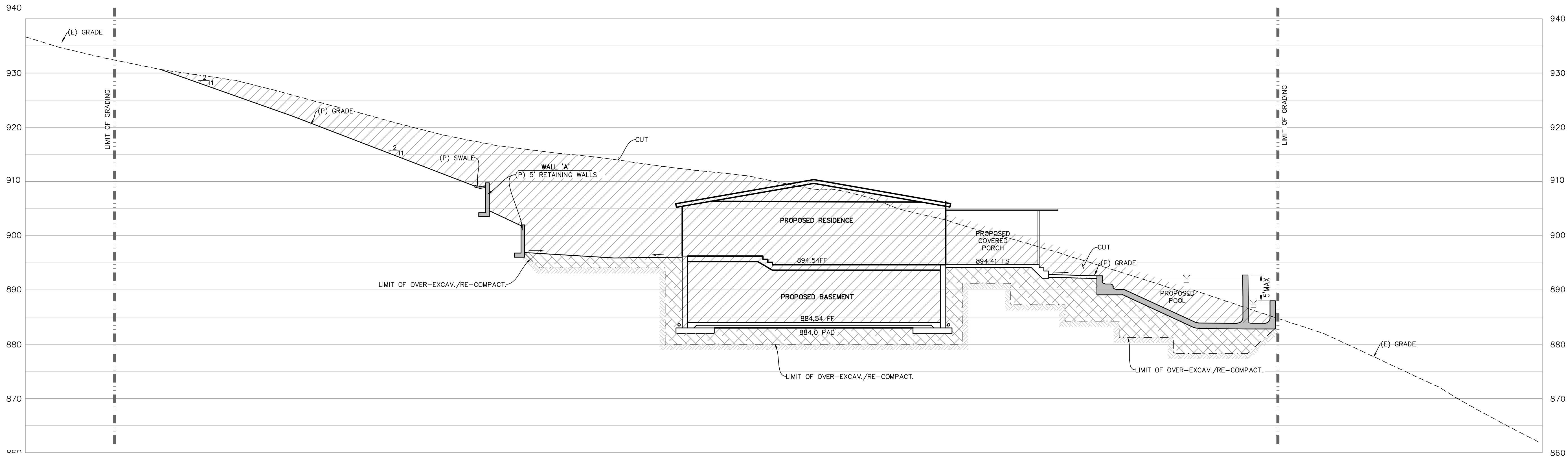


CLIENT: **ANDY ARVIDSON**
4 POPPY TRAIL
ROLLING HILLS, CALIF.

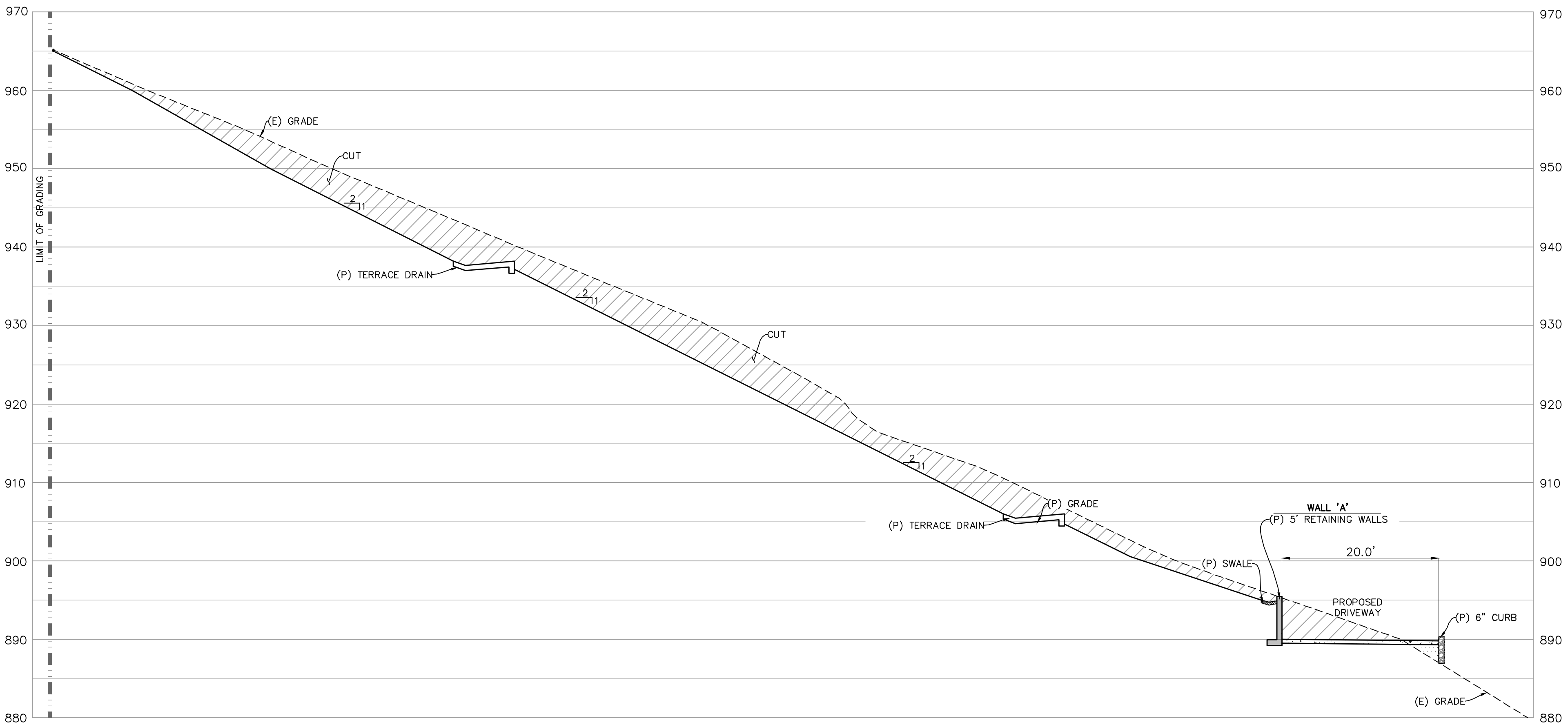
SECTIONS
NEW RESIDENCE
4 POPPY TRAIL
ROLLING HILLS, CA 90274

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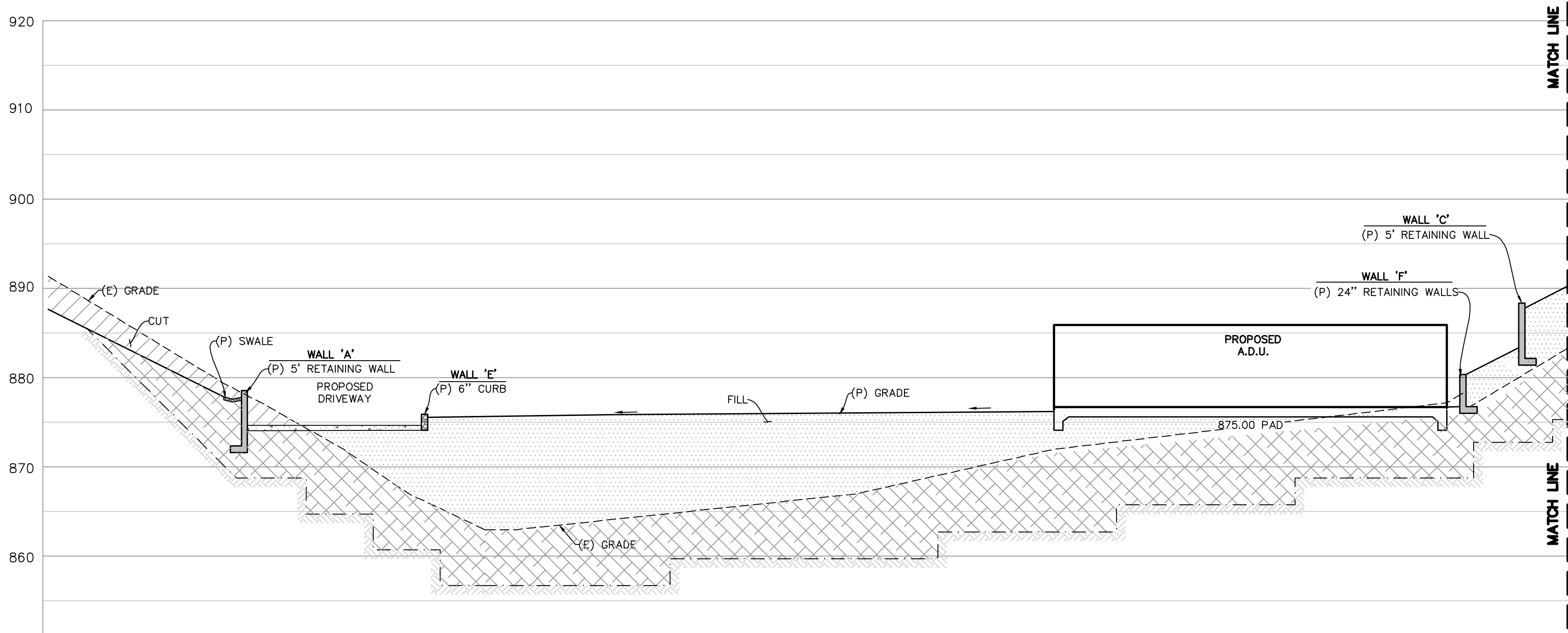
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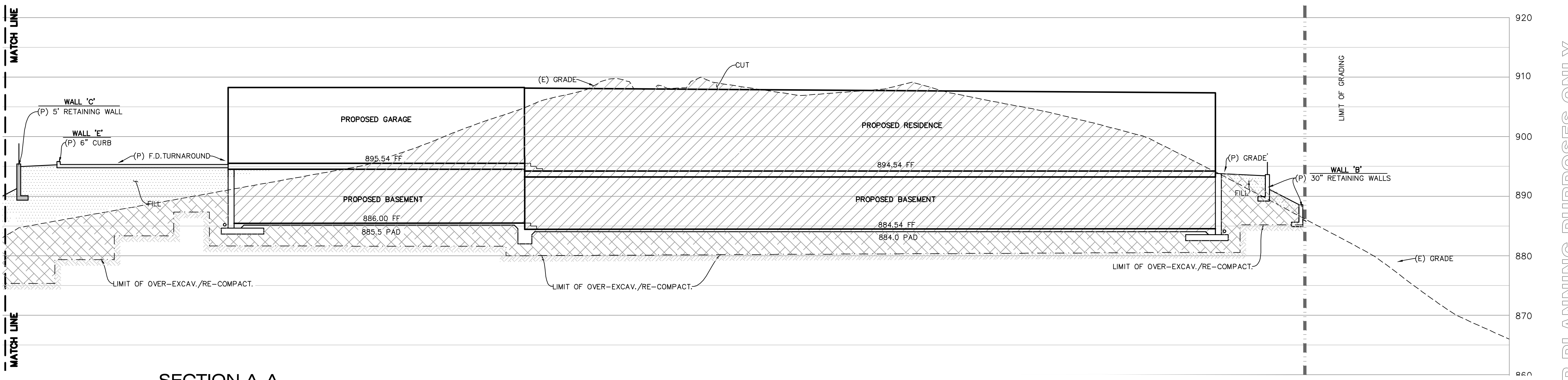
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SCALE: 1" = 10'



SECTION C-C
SCALE: 1" = 10'



SECTION A-A
SCALE: 1" = 10'



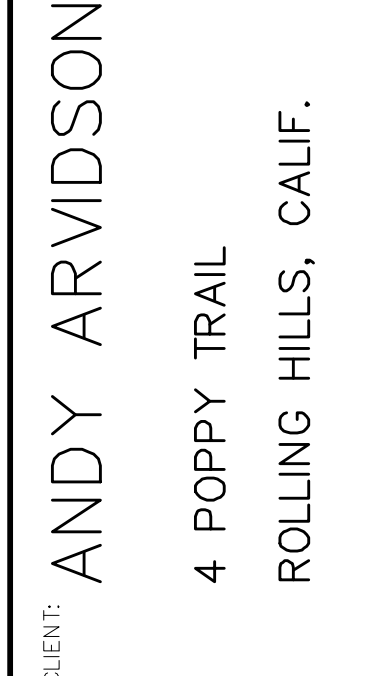
SECTION A-A
SCALE: 1" = 10'

SECTIONS LEGEND

PROPERTY LINE	---
EASEMENT	---
SETBACK	---
EXISTING GRADE	---
PROPOSED GRADE	---
(P) LIMIT OF GRADING	---
(P) FENCE	---
(P) CUT	---
(P) FILL	---
(P) OVER-EXCAVATION	---

FOR PLANNING PURPOSES ONLY

Date:	March 7, 2023	
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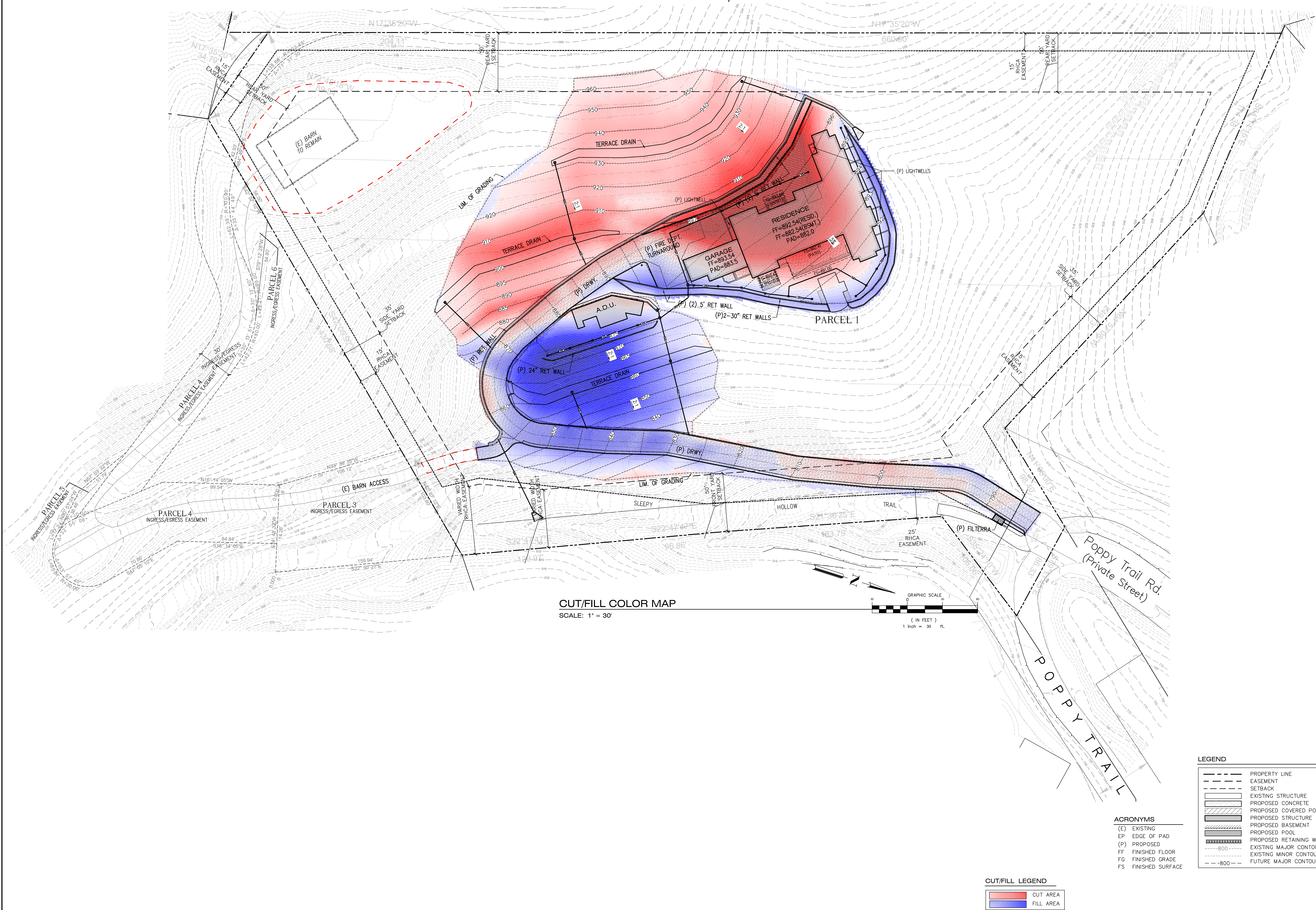
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Of	7	Sheets

4 POPPY TRAIL
ROLLING HILLS, CA 90274

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ARVIDSON RESIDENCE

4 POPPY TRAIL
ROLLING HILLS, CA 90274



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BOLTON
ENGINEERING CORP.

REC

CLIENT: ANDY ARVIDSON
4 POPPY TRAIL
ROLLING HILLS, CALIF.

FOR PLANNING PURPOSES ONLY

DATE: March 7, 2023

Scale: AS SHOWN

Drawn: JPD

Checked: DJB

Job No: 20333

Sheet: 7

CN

Or 7 Sheets

Overall Site Plan
NEW RESIDENCE
4 POPPY TRAIL
ROLLING HILLS, CA 90274