



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

NO. 2 PORTUGUESE BEND ROAD
ROLLING HILLS, CA 90274
(310) 377-1521
FAX (310) 377-7288

AGENDA
Regular Planning Commission
Meeting

PLANNING COMMISSION
Tuesday, October 19, 2021

CITY OF ROLLING HILLS
6:30 PM

SUPPLEMENTAL AGENDA

Specific Findings Required under AB 361:

The Planning Commission makes the following findings pursuant to AB 361:

1. A statewide state of emergency is currently in place; and
2. State or local officials have imposed or recommended measures to promote social distancing in connection with COVID-19.

All Planning Commissioners will participate by teleconference. Public Participation: City Hall will be closed to the public until further notice.

A live audio of the Planning Commission meeting will be available on the City's website
<https://www.rolling-hills.org/PC%20Meeting%20Zoom%20Link.pdf>

The meeting agenda is also available on the City's website
<https://www.rolling-hills.org/government/agenda/index.php>

Join Zoom Meeting via:
<https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFblFZz09>
Meeting ID: 993 4388 2035 Passcode: 647943

Members of the public may submit comments in real time by emailing the Planning Department at Planning@cityofrh.net. Your comments will become a part of the official meeting record. You must provide your full name but do not provide any other personal information (i.e., phone numbers, addresses, etc) that you do not want to be published.

1. **CALL MEETING TO ORDER**
2. **ROLL CALL**
3. **APPROVAL OF THE AGENDA**

4. **PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA**
5. **APPROVAL OF MINUTES**
6. **RESOLUTIONS**
7. **PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING**
8. **NEW PUBLIC HEARINGS**

- 8.A. ZONING CASE NO. 21-12: REQUEST FOR PLANNING COMMISSION CONSIDERATION AND APPROVAL OF RESOLUTION NO. 2021-15 APPROVING SITE PLAN REVIEW FOR 442 CUBIC YARDS OF GRADING FOR A PROJECT LOCATED AT 79 EASTFIELD DRIVE (GONZALEZ).

RECOMMENDATION: It is recommended that the Planning Commission approve Resolution No. 2021-15 and Zoning Case No. 21-12 for Site Plan Review for non-exempt grading for a total of 442 cubic yards (127 cubic yards of cut and 254 cubic yards of fill) for the subject property located at 79 Eastfield Drive.

[Development_Proposal_Table.79 Eastfield Drive_ZC 21-12_PC.pdf](#)

[211014 Gonzalez set_stamped_10.14.21.pdf](#)

[Vicinity Map_79 Eastfield Dr..pdf](#)

[Photos of proposed grading .pdf](#)

[Trees at 79 Eastfield_email.pdf](#)

[Eastfield_Rev Submit_10-4-21_landscaping.pdf](#)

[2021-15.PC_RESOLUTION_79_Eastfield_Drive__Gonzalez.pdf](#)

[2021-15.PC_RESOLUTION_79_Eastfield Drive__Gonzalez-cl_SUPPLEMENTAL.docx](#)

9. **NEW BUSINESS**

- 9.A. [OPPORTUNITY FOR PUBLIC COMMENT ON HOUSING ISSUES.](#)

RECOMMENDATION: Receive and file.

[DraftNeedsAssessment-080621.pdf](#)

10. **OLD BUSINESS**

11. **SCHEDULE FIELD TRIPS**

12. **ITEMS FROM STAFF**

- 12.A. [OVERVIEW OF UPCOMING AGENDA ITEMS BEFORE THE PLANNING COMMISSION.](#)

RECOMMENDATION: Receive and file.

- 12.B. [PLANNING COMMISSION RECRUITMENT AND APPOINTMENT SCHEDULE FOR TERMS EXPIRING IN NOVEMBER 2021 AND JANUARY 2022.](#)

RECOMMENDATION: Receive and file the proposed schedule for Planning Commissioners appointments.

[Tentative_Commissioner_Appointment_Timeline.docx](#)

[CommissionAppt_Posting_Attachment_2.docx](#)

13. ITEMS FROM THE PLANNING COMMISSION

14. ADJOURNMENT

Next meeting: Tuesday, November 16, 2021 at 6:30 p.m. via teleconference.

<https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFblhFZz09>

Meeting ID: 993 4388 2035 Passcode: 647943

Notice:

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting due to your disability, please contact the City Clerk at (310) 377-1521 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility and accommodation for your review of this agenda and attendance at this meeting.

Documents pertaining to an agenda item received after the posting of the agenda are available for review in the City Clerk's office or at the meeting at which the item will be considered.

All of the above resolutions and zoning case items have been determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines unless otherwise stated.



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 8.A

Mtg. Date: 10/19/2021

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: STEPHANIE GRANT , ADMINISTRATIVE CLERK

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: ZONING CASE NO. 21-12: REQUEST FOR PLANNING COMMISSION CONSIDERATION AND APPROVAL OF RESOLUTION NO. 2021-15 APPROVING SITE PLAN REVIEW FOR 442 CUBIC YARDS OF GRADING FOR A PROJECT LOCATED AT 79 EASTFIELD DRIVE (GONZALEZ).

DATE: October 19, 2021

BACKGROUND:

Zoning, Land Size and Existing Conditions

The lot is zoned RAS-2. The net lot area, for development purposes, is 2.52 acres or 110,030 square feet. There is one main building pad and the lot is currently developed with an existing 3,534 square-foot residence, 782 square-foot 3 car garage, and 7,000 square-foot tennis court.

The applicant submitted an Administrative Review application on May 16, 2021 for the interior/exterior remodel, 262 square-foot residential addition (totaling 3,796 square feet), conversion of 280 square feet from the existing three-car garage to habitable space (remaining garage total is 502 square feet two-car garage), 762 square-foot Accessory Dwelling Unit (ADU), 792 square-foot swimming pool/spa, 712 square-foot addition to the front walkway, 418 square-foot addition to attached trellis (totaling 956 square feet of covered trellises), and 81 square-foot addition to service yard (totaling 156 square feet). The existing 7,000 square-foot tennis court will be removed, and the tennis court area will be converted into the ADU and swimming pool/spa. The aforementioned requests fall within the purview of the Director of Planning and Community Services; the applicant is not requesting any relief from the Rolling Hills Municipal Code.

The applicant also proposes a total of 630 cubic yards of grading: 188 cubic yards for pool excavation (exempt), 127 cubic yards of cut (non-exempt), and 254 cubic yards of fill (non-exempt) to expand the existing building pad. The Rolling Hills Municipal Code (RHMC) requires a Site Plan Review for the

non-exempt grading.

DISCUSSION:

APPLICANT REQUEST

Site Plan Review

The total proposed grading for the project site is 630 cubic yards: 188 cubic yards (exempt) and 442 cubic yards (non-exempt). The 188 cubic yards of grading is for the proposed new swimming pool and spa, which is exempt. The proposed project requires a discretionary approval for the non-exempt grading for the driveway expansion, ADU foundation, swimming pool deck, and fill for the northeast portion of the yard. The applicant is requesting approval of a Site Plan Review (SPR) for 442 cubic yards of non-exempt grading.

The Code exempts excavation for pools and basements. The proposed 188 cubic yards of pool excavation could be exported from the site without requesting relief from the Municipal Code. However, the applicants are proposing to use 188 cubic yards of the excavated dirt from the swimming pool and spa to fill the area around the pool deck and the front yard to expand the building pad, thus requiring a Site Plan Review (SPR) approval. In addition, a SPR is required for the non-exempt grading of 127 cubic yards of dirt that will be excavated from the west portion of the existing building pad. The cut will be used as fill to level the areas around the proposed ADU, tennis court, east corner of the building pad, and extension of the existing driveway. The 127 cubic yards will also be used to fill and expand the northeast portion of the building pad. Maximizing the amount of fill on the subject property complies with the goals of the General Plan to balance grading on site. Filling the slopes in the northeast portion of the building pad will bring the finished grade to same level as the existing pad. The proposed slopes will be contoured to blend into the sites natural terrain. The proposed grading will not impact site drainage.

MUNICIPAL CODE COMPLIANCE

Coverage and Disturbance

The project complies with development standard requirements for lot coverage structures and flatwork of 15.92% (35% maximum permitted) and building pad coverage of 21.9% (30% maximum permitted). The disturbed area will increase by 4.7% for the expansion of the building pad and driveway totaling 33.6% (40% maximum permitted).

Grading

The total proposed grading is 630 cubic yards and 188 cubic yards of excavation is exempt for the swimming pool/spa. Non-exempt grading requires a SPR. The proposed grading is necessary for the development of the ADU and the widening of the driveway to meet Fire Code access requirements and provide a designated parking space for the ADU. The Fire Code requires a 20-foot driveway to accommodate the width and height of a fire truck and its equipment. The Fire Code also requires access to the ADU. The proposed grading will require Building and Safety's approval for drainage.

Resident Concerns

On October 15, 2021, the resident at 9 Wideloop Road expressed concerns regarding two trees located on the subject property. She stated the two trees should either be removed or trimmed.

Stable and Corral Set Aside

The applicant proposes to set aside 1,000 square feet for a future stable and corral located more than 35 feet west of the proposed ADU.

Environmental Review

The project has been determined to be categorically exempt (Class 3) pursuant to Section 15303 of the California Environmental Quality Act (CEQA) Guidelines. The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15304 (Minor Alterations to Land) of the CEQA Guidelines, which exempts minor alterations in the condition of land, including but not limited to grading on land with a slope of less than 10 percent. The grading taking place on the property is on land with a slope of less than 10 percent.

17.46.050 - Required Site Plan Review findings.

1. The Commission shall be required to make findings in acting to approve, conditionally approve, or deny a site plan review application.
2. No project which requires site plan review approval shall be approved by the Commission, or by the City Council on appeal, unless the following findings can be made:
3. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance;
4. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot;
5. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences;
6. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls);
7. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area;
8. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course;
9. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas;
10. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles; and
11. The project conforms to the requirements of the California Environmental Quality Act.
12. If all of the above findings cannot be made with regard to the proposed project, or cannot be made even with changes to the project through project conditions imposed by City staff and/or the Planning Commission, the site plan review application shall be denied.

FISCAL IMPACT:

None.

RECOMMENDATION:

It is recommended that the Planning Commission approve Resolution No. 2021-15 and Zoning Case No. 21-12 for Site Plan Review for non-exempt grading for a total of 442 cubic yards (127 cubic yards of cut and 254 cubic yards of fill) for the subject property located at 79 Eastfield Drive.

ATTACHMENTS:

Development_Proposal_Table.79 Eastfield Drive_ZC 21-12_PC.pdf

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Vicinty Map_79 Eastfield Dr..pdf

Photos of proposed grading .pdf

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2021-15.PC_RESOLUTION_79_Eastfield Drive__Gonzalez-cl_SUPPLEMENTAL.docx

79 Eastfield Drive (Zoning Case No. 21-12)

Site Plan Review	EXISTING	PROPOSED	TOTAL
RA-S- 2 Zone Setbacks Front: 50 ft. from front easement line Side: 35 ft. from side property line Rear: 50 ft. from rear easement line	SINGLE FAMILY RESIDENCE, 3 CAR ATTACHED GARAGE, & 7,000 SF TENNIS COURT	TOTAL 630 CUBIC YARDS OF GRADING : 188 CY CUT (EXEMPT), 127 CY CUT (NON-EXEMPT), & 315 CY FILL (NON-EXEMPT)	
Net Lot Area	110,030 (2.52 acres)	0	110,030 SF
Residence	3,534SF	262 SF	3,796 SF
Attached 3 Car Garage	782 SF	-280 SF	502 SF (attached 2 car garage)
Pool Equipment	0 SF	0 (Underground)	0 SF
Cabana	0	0	0
Stable minimum: 450 SF Corral minimum: 550 SF	0 SF 0 SF	450 SF 550 SF	450 SF 550 SF
Recreation Court	7,000 SF	-7,000 SF	0 SF
Attached Covered Porches, Entryway, Porte Cochere, Breezeways	0 SF	0 SF	0 SF
Attached Trellis	538 SF	418 SF	956 SF
Detached Structures: Outdoor Kitchen	0 SF	0	0 SF
Front water feature	0 SF	0 SF	0 SF
Side water feature	0 SF	0 SF	0 SF
Service Yard	75 5SF	81 SF	156 SF
Basement Area	0	0	0 SF
Pool deck	0	1,520 SF	1,520 SF
Primary Driveway	3,909 SF	-1,315 SF	2,544 SF
Paved walks, patio areas, courtyards	1,520 SF	-458 SF	1,062 SF
Grading (balanced on site)	Unknown	442 cubic yards (non-exempt) 188 cubic yards (exempt)	630 cubic yards (balanced onsite)
Total Structure Area	11,935 SF	-4,208 SF	8,126.45 SF
% Structural Coverage	10.8%	-3.82%	7.39%
Total Structures Excluding: up to 5 legal and up to 800 SF detached structures that are not higher than 12 ft (no more than 120 SF per structure per deduction, except for trellis)	11,860 SF	-4,127 SF	7,970 SF
Total Structural and Flatwork Lot Coverage (35% max & with deductions)	15.92 %	-3.77 %	12.15 %
Building Pad #1 Coverage (30% max & with deductions)	35.5%	-13.5	21.9%
Total Disturbed Area (40% maximum)	28.9%	4.7%	33.6%
Retaining/Garden Wall		0 LF	0 LF
Roadway Access		No change	No change

GONZALEZ RESIDENCE

79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274



PROJECT INFORMATION

Project Info - Topic	INFORMATION
STREET ADDRESS:	79 Eastfield Dr.Rolling Hills, CA 90274
NUMBER OF STORIES:	1
APN:	7567005028
LEGAL DESCRIPTION:	RECORD OF SURVEY AS PER BK 58 PG 6 TO 10 OF RECORD OF SURVEYS LOT 14
OCCUPANCY:	R-3/ U
CONSTRUCTION TYPE:	TYPE V-B
ZONING:	RAS - 2
MAX. ALLOWABLE HEIGHT:	25'
LOT AREA:	110,030 SF (NET)
FIRE ZONE:	Very High Fire Hazard Severity Zone
PROJECT DESCRIPTION:	REMODEL AN EXISTING 3,534 SF 1-STORY RESIDENCE 262.45 SF ADDITIONAL LIVING AREA WITH NEW 98 SF ENTRYWAY ROOF. EXISTING 782 SF GARAGE TO BE REDUCED TO 502 SF. REMAINDER CONVERTED TO HABITABLE SPACE. PROPOSE A NEW 762 SF ADU WITH 202 SF ATTACHED COVERED PORCHES. EXISTING 7,000 SF TENNIS COURT TO BE REMOVED. NEW 792 SF POOL AND 1,520 SF POOL DECKING. BOARD AND BATTEN TO REPLACE STUCCO ON EXISTING EXTERIOR WALLS.
APPLICABLE CODES & STANDARDS:	2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

MAIN BUILDING	
LIVING AREA	3,796.45SQFT
GARAGE AREA	502 SQFT
TOTAL AREA	4298.45

PROPOSED ADU	
LIVING AREA	762 SQFT

SHEET INDEX

GENERAL ARCHITECTURAL	
A0.00	COVER SHEET
A0.01	ABBREVI., SYMBOLS, LEGENDS
A0.02	GENERAL NOTES
A0.03	GENERAL NOTES

SURVEY	
S0.00	SURVEY

ARCHITECTURAL DEMO	
AD1.00	SITE DEMO
AD2.00	EXISTING FIRST FLOOR PLAN
AD2.10	DEMOLITION CALCS
AD3.00	EXISTING ELEVATION

ARCHITECTURAL	
A0.10	VICINITY PLAN
A0.11	EXISTING BUILDING PHOTO
A1.01	SITE PLAN
A2.00	FLOOR PLAN
A2.01	PROPOSED ADU PLAN
A2.02	ROOF PLAN
A2.03	ADU ROOF PLAN
A3.00	EXTERIOR ELEVATION
A3.01	EXTERIOR ELEVATION
A3.02	PROPOSED ADU ELEVATIONS
A4.00	BUILDING SECTION
A6.00	DOOR SCHEDULE
A6.10	WINDOW SCHEDULE

CIVIL	
C1	TITLE SHEET
C2	GRADING & DRAINAGE IMPROVEMENT PLAN
C3	SECTIONS
C4	DETAILS
C5	TEMPORARY EROSION CONTROL PLAN

LANDSCAPE	
L0	CONCEPT IMAGES
L0.1	CONCEPT IMAGES
L1	HARDSCAPE PLAN
L1.2	HARDSCAPE DETAILS
L1.3	HARDSCAPE DETAILS
L1.4	HARDSCAPE DETAILS
L2	PLANTING PLAN
L2.2	PLANTING DETAILS

VICINITY MAP



PROJECT DIRECTORY

CLIENT	
NAME:	Milton Street Residential Acquisitions, INC.
CONTACT:	HERBERTO GONZALEZ
ADDRESS:	3625 DEL AMO BLVD, SUITE 185 TORRANCE, CA 90503
PHONE:	5623223483
EMAIL:	BGONZALEZ@MILTONSTREETPROPERTIES.COM

ARCHITECT	
NAME:	JOSEPH SPIERER ARCHITECTS, INC.
CONTACT:	JOE SPIERER
ADDRESS:	707 TORRANCE BLVD, SUITE 100 REDONDO BEACH, CA 90277
PHONE:	(310) 876-8761
EMAIL:	JOE@CALARCHITECT.COM
WEBSITE:	WWW.CALARCHITECT.COM

SURVEYOR	
NAME:	SAM A.SOLIVEN, P.L.S.
CONTACT:	SAM A.SOLIVEN, P.L.S.
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PHONE:	7143767123
EMAIL:	SAM@THELANDSURVEYOR.COM
WEBSITE:	

CIVIL	
NAME:	PALOS VERDES ENGINEERING CORP.
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PHONE:	3105415055
EMAIL:	INFO@PVEC.COM
WEBSITE:	HTTP://WWW.PVEC.COM/

STRUCTURAL	
NAME:	DKSE STRUCTURAL ENGINEERS
CONTACT:	DANNIEL KANG
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PHONE:	4242923185
EMAIL:	DANNIEL@DKSEINC.COM
WEBSITE:	HTTP://DKSEINC.COM/

GEOTECH	
NAME:	COAST GEOTECHNICAL, INC.
CONTACT:	TODD HOUSEAL
ADDRESS:	1200 W. COMMONWEALTH AVENUE, FULLERTON CA 92833
PHONE:	(714) 870-1211
EMAIL:	*COAST GEOTECHNICAL, INC.* <COASTGEOTEC@SBCGLOBAL.NET>
WEBSITE:	

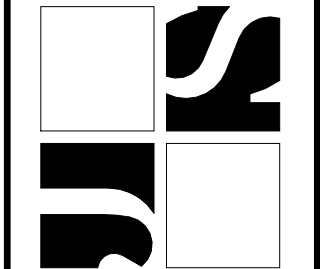
TITLE 24	
NAME:	
CONTACT:	
ADDRESS:	
PHONE:	
EMAIL:	
WEBSITE:	

DEFERRED SUBMITTALS BY OTHERS

1. POOL PERMIT.
2. FIRE SPRINKLER PERMIT

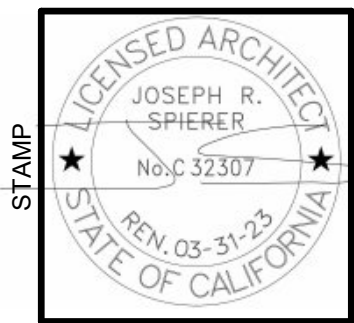
(ROLLING HILLS PLANNING 2ND SUBMITTAL)

JOSEPH SPIERER ARCHITECTS, INC.
707 TORRANCE BLVD., SUITE 100 . REDONDO BEACH . CA . 90277
T. (310) 876-8761 . www.calarchitect.com . joe@calarchitect.com



GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

SUBMITTAL	
#	TYPE DATE



DATE
10/14/2021
11:31:02 AM

PROJECT #
21-007

DWG TITLE
COVER SHEET

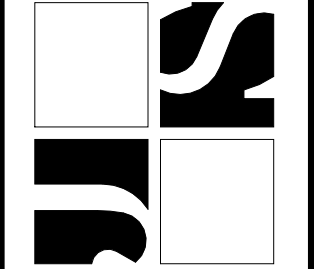
SHEET NO.
A0.00

ABBREVIATIONS

A.B.	ANCHOR BOLT	M.H.	MAN HOLE
A.C.	AIR CONDITIONING	MAX.	MAXIMUM
A.C.T.	ACOUSTIC TILE CEILING	MBR.	MEMBER
A.D.	AREA DRAIN	MECH.	MECHANICAL
ADJ.	ADJACENT OR ADJUSTABLE	MEMB.	MEMBRANE
A.F.C.I.	ARC FAULT CIRCUIT INTERRUPTER	MTL.	METAL
AFF.	ABOVE FINISH FLOOR	MFR.	MANUFACTURER
ALT.	ALTERNATE	MIR.	MIRROR
AL. ALUM	ALUMINUM	MIN.	MINIMUM
APPROX.	APPROXIMATE	MISC.	MISCELLANEOUS
ARCH.	ARCHITECT(URAL)	M.O.	MASONRY OPENING
AR.	AS REQUIRED	MTD.	MOUNTED
BD.	BOARD	N.	NORTH
BLDG.	BUILDING	NAT.	NATURAL
B/	BOTTOM OF	N.I.C.	NOT IN CONTRACT
BLKG.	BLOCKING	NO.	NUMBER
BM.	BEAM	NOM.	NOMINAL
B.MK.	BENCH MARK	N.T.S.	NOT TO SCALE
B.O.W., B.W.	BOTTOM OF WALL		
B.P.	BID PACKAGE	O.A.D.	OVERFLOW AREA DRAIN
CAB.	CABINET	O.C.	ON CENTER
CB.	CATCH BASIN	O.D.	OUTSIDE DIAMETER
CEM.	CEMENT	OFCL.	OWNER FURNISHED/CONTRACTOR INSTALLED
CER.	CERAMIC	OFOI.	OWNER FURNISHED/OWNER INSTALLED
C.I.	CAST IRON	OHD.	OVERHEAD
C.J.	CONTROL JOINT	OPG.	OPENING
C.L.	CENTERLINE	OPP.	OPPOSITE
CLG.	CEILING	O.S.	OVERFLOW SCUPPER
CLR.	CLEAR	PAR.	PARALLEL
C.M.U.	CONCRETE MASONRY UNIT	P.L.	PROPERTY LINE
C.O.	CLEAN OUT	P.LAM.	PLASTIC LAMINATE
CONC.	CONCRETE	PLAS.	PLASTER
CONT.	CONTINUOUS	PLBG.	PLUMBING
OPT.	CARPET	PT.	POINT
C.T.	CERAMIC TILE	PTD.	PAINTED
CTR.	CENTER	PERF.	PERFORATED
C.W.	COLD WATER	P.VMT.	PAVEMENT
		PLYWD.	PLYWOOD
DIA.	DIAMETER	QTY.	QUANTITY
DBL.	DOUBLE		
DET.	DETAIL	R.	RISER
DIAG.	DIAGONAL	RAD.	RADIUS
DM	DIMENSION	R.D.	ROOF DRAIN
DISP.	DISPOSAL	REF.	REFERENCE
DIV.	DIVISION	REFR.	REFRIGERATOR
DN.	DOWN	REINF.	REINFORCED
DR.	DOOR	REQD.	REQUIRED
D.S.	DOWNSPOUT	RES.	RESILIENT
DTL.	DETAIL	REV.	REVISION OR REVISED
DWG.	DRAWING	RFG.	ROOF OR ROOFING
DWR.	DRAWER	R.H.	RIGHT HAND
		RM.	ROOM
E.	EAST	R.O.	ROUGH OPENING
EA.	EACH		
E.G.	FOR EXAMPLE	S.	SINK OR SOUTH
E.J.	EXPANSION JOINT	S.A.W.M.	SELF-ADHESIVE WATERPROOF MEMBRANE
EL.	ELEVATION	S.A.D.	SEE ARCHITECTURAL DRAWINGS
ELV.	ELEVATOR	S.C.	SOLID CORE
ELEC.	ELECTRICAL	S.C.D.	SEE CIVIL DRAWINGS
ENCL.	ENCLOSURE	S.D.	STORM DRAIN
EQ.	EQUAL	SECT.	SECTION
E.T.R.	EXISTING TO REMAIN	S.E.D.	SEE ELECTRICAL DRAWINGS
EXHA.	EXHAUST	S.F.	SQUARE FOOT
EXIST.	EXISTING	SHT.	SHEET
EXP.	EXPANSION OR EXPOSED	SHTG.	SHEATHING
EXT.	EXTERIOR	SHWR.	SHOWER
		SIM.	SIMILAR
F.A.	FIRE ALARM	S.J.	SAW-CUT JOINT
F.B.O.	FURNISHED BY OWNER	S.L.D.	SEE LANDSCAPE DRAWINGS
F.C.	FACTORY COATED	S.M.D.	SEE MECHANICAL DRAWINGS
F.D.	FLOOR DRAIN	SPEC.	SPECIFICATION
F.E.	FIRE EXTINGUISHER	SQ.	SQUARE
F.E.C.	FIRE EXTINGUISHER CABINET	S.S.	STAINLESS STEEL
F.F.	FINISH FACE OR FLOOR	S.S.D.	SEE STRUCTURAL DRAWINGS
FG.	FINISH GRADE	STD.	STANDARD
F.H.C.	FIRE HOSE CABINET	STL.	STEEL
FIN.	FINISH	STRUC.	STRUCTURAL
FIXT.	FIXTURE	SUSP.	SUSPENDED
F.L.	FLOW LINE	SYM.	SIMILAR
FLR.	FLOOR		
FLG.	FLASHING	T.	TREAD
FLUOR.	FLUORESCENT	T.C.	TOP OF CURB
FND.	FOUNDATION	TEL.	TELEPHONE
F.O.	FACE OF	T.G. & T.G.	TONGUE AND GROOVE
F.O.C.	FACE OF CONCRETE	THK.	THICK
F.O.M.	FACE OF MASONRY	T.I.	TENANT IMPROVEMENT
F.O.S.	FACE OF STUD	T.	TREAD
FP.	FLUOROPOLYMER	T.O.F.	TOP OF
FPL.	FIRE PLACE	T.O.C.	TOP OF CONCRETE
FS.	FINISH SURFACE	T.O.W.	TOP OF WALL
FT.	FOOT OR FEET	T.O.P.	TOP OF PAVING
FTG.	FOOTING	T.O.PAR.	TOP OF PARAPET
FUR.	FURRED (RING)	TYP.	TYPICAL
		TV.	TELEVISION
GA.	GAUGE		
GALV.	GALVANIZED	UNF.	UNFINISHED
G.B.	GRAB BAR	U.N.O. / U.O.N.	UNLESS OTHERWISE NOTED
GC.	GENERAL CONTRACTOR		
GEN.	GENERAL	VAR.	VARIABLES
G.F.I.	GROUND FAULT INTERRUPTER	V.C.T.	VINYL COMPOSITION TILE
GH.	GUEST HOUSE	VENT.	VENTILATION
G.I.	GALVANIZED IRON	VERT.	VERTICAL
GL.	GLASS OR GLAZED	V.I.F.	VERIFY IN FIELD
GR.	GRADE OR GRADING	VIN.B.	VINYL BASE
GYP/GWB	GYP SUM WALL BOARD		
		W.	WEST OR WIDTH
HB.	HOSE BIB	W/	WITH
H.C.	HOLLOW CORE	W.C.	WATER CLOSET
HDCP.	HANDICAPPED	WD.	WOOD
HDR.	HEADER	W.H.V.E.F.	WHOLE HOUSE VENTILATION EXHAUST FAN
H.M.	HOLLOW METAL	W/O	WITHOUT
HOR.	HORIZONTAL	W.I.	WROUGHT IRON
HT.	HEIGHT	W.I.C.	WALK IN CLOSET
H.W.	HOT WATER	WM	WALL MOUNT
HWD.	HARD WOOD	WNDW	WINDOW
		W.P. / WP	WATERPROOF(ING)
I.D.	INSIDE DIAMETER	WSCT	WAINSCOT
INCL.	INCLUDE		
INSUL.	INSULATION	&	AND
INT.	INTERIOR	<	ANGLE
		@	AT
JT.	JOINT	CL	CENTERLINE
JST.	JOIST	I	CHANNEL
		O	DIAMETER OR ROUND
KIT.	KITCHEN	P	PROPERTY LINE
		#	NUMBER OR POUND
LAM.	LAMINATED	(E)	EXISTING
LAV.	LAVATORY	(T)	TEMPORARY
L.H.	LEFT HANDED	(N)	NEW
LT.	LIGHT		

SYMBOLS

	STRUCTURAL GRID		REVISION NUMBER
	TYPICAL DWG REFERENCE		CLOUD - AREA OF REVISION
	BUILDING / WALL SECTION		CRITICAL POINTS
	INTERIOR ELEVATION NUMBER		NEW FINISH GRADE
	DETAIL KEY NUMBER		EXITING FINISH GRADE
	KEYNOTES		TOP OF WALL ELEVATION
	ROOM FINISH TAG		TOP OF CURB ELEVATION
	ROOM MATERIAL TAG		LEVEL CHANGE
	REFERENCE POINT		GLAZING MARK
	ENLARGED DWG REFERENCE		OCCUPANCY LOAD TYPE
	DIMENSION POINT: FACE OF CONCRETE OR FACE OF STUD U.N.O.		OCCUPANCY LOAD & EXIT PATH OF TRAVEL
	CEILING HEIGHT		TOTAL OCCUPANCY LOAD CALCULATED BY ADDING OCCUPANCY LOADS ALONG EXIT PATHWAY
	WINDOW TYPE		
	INTERIOR PARTITION TYPE A = WALL TYPE, VARIES (LETTER WILL VARY) 2 = NOMINAL STUD SIZE (NUMBER WILL VARY) X = 5/8" TYPE 'X' GYP, WHERE OCCURS		
	DOOR NUMBER		
	ROOM TAG		
	CEILING FAN		
	EXISTING TO REMAIN		
	EXISTING TO REMOVE		
	NEW		
	1HR		
	2HR		
	MATCH LINE - REFER TO INDICATED DWG		



DATE	PROJECT #	DWG TITLE	SHEET NO.
10/14/2021	21-007	ABBREVIATIONS, SYMBOLS, LEGENDS	A0.01



GENERAL ARCHITECTURAL NOTES

APPLICABLE CODES

Work that is not in compliance with the applicable codes and inspections shall be corrected at general contractor's own expense and at no expense to the owner. Contract work shall comply with the following codes:

- 2019 California Building Code
- 2019 California Residential Code (where applicable)
- 2019 California Electrical Code
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Energy Code
- 2019 California Fire Code
- 2019 California Green Building Standards Code

GENERAL REQUIREMENTS

The general contractor shall provide and install all material required to complete the construction of the project in accordance with the terms and conditions of the owner / contractor agreements and in conformance with the governing codes and ordinances having jurisdiction over the project. The Contractor shall coordinate the work of the various trades as required.

GENERAL NOTES

1. Report discrepancies in drawings or specifications to the architect for clarifications and adjustments before commencing work. Any deviations or changes in these drawings without written acceptance shall absolve the owner and architect of all responsibility of said deviation and change.
2. Consultant work that is not a part of these contract documents has not been coordinated by the architect. Contractor shall notify the architect of any discrepancies that prevent execution of the work covered by these documents.
3. For work installed in conflict with the construction documents, the contractor shall be responsible for corrections of work at his own expense.
4. All construction shown as 'existing' has been redrawn from documents prepared by others. For additional information regarding the base building construction refer to the appropriate plans and specifications. Any discrepancies between these documents and those for the base building must be brought to the attention of the architect for resolution.
5. All interior wall and ceiling finishes shall comply with chapter 8 of the 2016 California building code.
6. Electrical, telephone and communications outlets and/or furniture partition connections shall be provided as indicated on the plans
7. The proposed sewer lateral line location to be field verified. If survey video footage documentation is required at the connection of the proposed sewer lateral line is required per public works and shall be coordinated as req'd.
8. Where contractor furnished, contractor installed (C.F.C.I.), the contractor shall supply and install, including provide & install rough plumbing and the final hook-up, all new fixtures and appliances. Architect to approve aesthetic effect where minimum additional partition thickness for furring and plumbing walls is required to support fixture.
9. The contractor shall check and verify size and location of duct openings and plumbing runs with mechanical contractor before framing wall and ceiling. Duct openings in fire rated walls shall have approved fire dampers. Seal between duct and wall / ceiling penetrations.
10. The contractor shall coordinate with the architect, the location of access panels for mechanical duct work, plumbing, and electrical work as required by code. The contractor shall provide and install access panels according to plans, or shall be required to obtain architect's approval prior to installation. Access panels shall be finished to match adjacent surfaces (U.O.N.) and shall meet all security, sound, and fire rating requirements per the adjacent wall / ceiling construction.
11. The contractor shall provide and install all necessary blocking, stiffeners, bracing, framing, hangers, or other support for all fixtures, equipment, cabinetry, furnishing and other items requiring the same.
12. Building shall not be occupied during work where:
 - A. The building strength is substantially weakened during any work;
 - B. Required exits are not available or are obstructed;
 - C. Required fire safety devices such as standpipes and alarm systems are not operational.
13. Contractor to provide temporary site toilets in sufficient numbers to service all workers and staff onsite.
14. Conduit from roof to electric service panel will be installed to accommodate future solar installation.
15. The general contractor shall provide mechanical and electrical layouts and cut sheets for materials that impact finish design appearance, for architect's review.
16. Contractor shall inspect subfloor to ensure it is level and free of dips, dimples and joints that would show through on finish installation. The general contractor shall notify owner if there are problems prior to commencement of new construction.
17. All grades and drainage to be field verified.
18. Coordinate partition framing with required structural, mechanical, plumbing, and electrical equipment or work.

EXISTING WORK

19. The contractor shall verify existing conditions and dimensions at the project site prior to bid submittal and start of construction. Contractor shall notify the architect of any discrepancies that prevent execution of the work covered by these documents.
20. The contractor shall protect existing to remain, new work, and all adjacent property and landscape from loss or damage resulting from operations for the duration of the project. In the event of such loss or damage by the contractor or his subcontractors, the contractor shall make such replacements or repairs as required without additional cost to the owner.
21. Protect existing plants to remain. Avoid unnecessary root disturbance, compaction of soils within drip line, or limb breakage. Do not store material or dispose of any material other than clean water within drip line. Provide adequate irrigation during construction. Replace any tree or shrub damaged during construction with plants of equal size and value at no additional cost to the client.
22. Refer to civil drawings for all notes and information related to existing and proposed utilities including location of existing utilities prior to any site demolition or clearing or associated with any site grading or trenching operations.
23. All existing and proposed utility structures including but not limited to valve boxes, sewer and storm structures, electrical, water, gas and telephone boxes and vaults occurring in the location of proposed improvements shall be reset to the proper grade based on proposed grades.
24. Existing underground utilities and improvements are shown in their approximate locations based upon record information available at the time of preparation of these plans. Locations may not have been verified in the field and no guarantee is made as to the accuracy and completeness of the information shown. The exact location and elevation of utilities shall be determined by the contractor.

LANDSCAPE

25. Existing walls and surfaces to remain, if damaged, shall be repaired and refinished to match adjacent quality level and type.
26. Finished grade (fg) is defined as soil level prior to mulch application. finish grade at planting areas shall be set so that top of mulch is flush with adjacent paving unless otherwise noted.
27. Landscape grading shall not exceed a 2:1 slope, see civil
28. In all areas where asphalt or concrete paving is to be removed and replaced with new planting, remove all existing aggregate base, gravel, etc. Leave only native soil or existing clean fill.
29. Any irrigation system installed shall utilize low water-use fixtures such as drip and microspray.

SOUND 17.

- | | | |
|-----|---|-----|
| 30. | Sound rated walls shall acoustically seal walls top and bottom and at any other wall penetrations for pipes, ducts, etc. | 18. |
| 31. | Sound rated ceilings shall cover back concealed or recessed fixtures with a sound attenuation blanket. | 19. |
| | | 20. |
| | <u>FIRE</u> | |
| 32. | All insulation shall be noncombustible. | |
| 33. | Fire resistant construction requirements for occupancy separation and openings in fire separation partitions shall conform with the applicable codes. | 21. |
| 34. | Fire-resistance rated Class A roof covering assemblies. All roof covering systems shall be a fire-resistance rated Class A roof assembly as defined in [BC 1505]. Roof covering systems for this project shall be tested and listed assemblies in compliance with ASTM E 108 or UL 790. | 22. |
| 35. | Provide 5/8" type 'X' gypsum board at all fire-rated partitions. | 23. |
| 36. | Contractor will provide certification that roofing materials meet Class A fire retardant requirements. | 24. |

INSTRUCTION DOCUMENT NOTES

- | | | |
|----|---|--------------------------|
| 1. | Dimensions indicated on plans for horizontal control are accurate if measured on a level line not parallel with ground slope. | 25. |
| 2. | 5/8" type 'X' gypsum board partitions denoted by 'X' on wall type tags. | 26. |
| 3. | "Typical" or "typ" means identical for all similar conditions, unless otherwise noted. "Similar" or "sim" means comparable characteristics to the elevation or detail noted. Verify dimensions and orientation of the plan. | 27.
28. |
| 4. | Plan dimensions on drawings are shown to the center lines of columns and to the center of studs in partition walls U.N.O. | 29. |
| 5. | Height dimensions are measured from the top of the slab, unless noted "A.F.F." (above finish floor) to the top plate heights. Dimensions are not adjustable without review of the architect. | 30. |
| 6. | All grades refer to finish paving grades unless otherwise noted. | 31. |
| 7. | If, in the contractor's opinion, any work shown on drawings or called for in specifications represents conditions preventing execution of a high caliber of workmanship, then such conditions shall be referred to architect for clarification. Failure to notify Architect of such conditions and proceeding with work shall be cause for rejection of work and must be reworked or reinstalled in an acceptable manner at no extra cost to Owner. Should conflict occur between drawings and specifications, it shall be assumed that the Contractor estimated the more expensive way, unless contractor, shall be paid for by the contractor responsible for the work in progress or the negligence. | 32.
33.
34.
35. |

MATERIALS AND FINISHES 36

On continuous wall surfaces, where construction involves more than one material, finish, or material thickness, align face of finish U.N.O. Installation shall be completed by an installer licensed and skilled in their trade.

- | | | |
|----|--|-----|
| 1. | The general contractor shall provide and install materials as required for 'fire protection' compliance. | 37. |
| 2. | Material and equipment shall be new and of a type intended for usage indicated. Like components shall be by one manufacturer and component parts shall be interchangeable. | 38. |
| 3. | Contractor shall comply with industry standards for workmanship except when more stringent tolerances are required. | 39. |
| 4. | Contractor shall assure that all work is performed by persons qualified to produce workmanship of the specified materials and scope of work. | 40. |
| 5. | Contractor shall secure all products in place with positive anchorage devices designed and sized to withstand stress, vibration, and racking. | |
| 6. | Contractor shall transport, handle, store, protect and install manufactured items in strict accordance with manufacturers' recommendations. Should conflict exist between construction documents and manufacturers' instructions, contractor shall consult with Architect. | |
| 7. | Contractor shall protect products and finishes from damage during construction operations. | |

STORAGE AND PROTECTION

- | | | |
|----|--|------------|
| 8. | The general Contractor shall provide protection during construction in accordance with the applicable Code by means including, but not limited too, those described in this section. | |
| 9. | Determine and comply with manufacturer's recommendation on product handling storage and protection, except as otherwise approved by architect | |
| 1. | Deliver products to job site in their manufacturer's original container, with labels intact and legible. | |
| 2. | Identification of the material / equipment shall be legible on or readable through the front cover. | Gla
the |
| 3. | Promptly remove damaged material and unsuitable items from job site and replace material to meet specified requirements at no additional cost to Owner. | |
| 4. | Architect may reject all materials and products that do not bear identification satisfactory to architect for manufacturer, grade, quality, and other pertinent information. | |
| 5. | Material and products damaged or stolen while in the possession of Contractor or Sub-Contractors shall be promptly replaced or repaired to the satisfaction of the Architect at no additional cost to the Owner. | |
| 6. | When material is stored at the job site, position allowing easy access for proper inspection and identification of each shipment. | |
| 7. | Storage location shall not interfere with ongoing deliveries and construction progress. | |
| 8. | Contractor to reposition stored materials / equipment at no additional expense to Owner. | |
| 9. | Take measures to prevent theft of materials. | |

WOOD & PLASTICS

10. All work shall be manufactured and installed in accordance with the standard established in the latest edition of the Manual for Millwork (including any amendments) as adopted by the Woodwork Institute of California in the WIC grades hereinafter specified or shown on the drawings. All work shall be manufactured and installed in accordance with the standard established in the latest edition of the Manual for Millwork (including any amendments) as adopted by the Woodwork Institute of California in the WIC grades hereinafter specified or shown on the drawings.
11. All cabinetry to be constructed, finished and installed in accordance with the standards of the woodworking institute of California. **The general contractor shall submit shop drawings and samples for review, and shall be approved in writing before commencement of related work.**

THERMAL & MOISTURE PROTECTION

12. All waterproofing membranes shall be applied in accordance with manufacturer's written instructions.
13. All fixed windows shall be sealed to limit air infiltration.
14. All exterior joints around window and door frames, between walls and foundations, between walls and roof, between wall panels, at penetration of utilities through the envelope, shall be sealed caulked, or weatherstripped to limit air leakage.
15. Substrates must be smooth, clean, dry and free of voids, spalled areas, loose substrate, loose nails or any sharp protrusions that may compromise the application of the membrane.
16. Remove dirt, debris, oil, grease, cement laitance, or other foreign matter which will impair or negatively affect the performance of the waterproofing system.
17. Mechanically fasten the waterproofing membrane at all vertical terminations. Use only smooth shank fasteners, or terminate as indicated by manufacturer.
18. Protect adjoining surfaces, which are not to be waterproofed, from damage while performing work.

17. All areas to receive waterproofing membrane shall be protected from damage during application until finished work is approved or accepted.
 18. Flashing, where req'd, shall be of high quality and low corrosive metal material.
 19. All roof felt shall be 30# minimum. Flat roofs shall have (2) layers of felt underlayment.
 20. Specified roof covering assemblies shall comply with all requirements of [BC 704A]; weather protection requirements of [BC 1503]; performance requirements of [BC 1504]; fire classification requirements of [BC 1505]; material requirements of [BC 1506]; and construction requirements of [BC 1507]; and storm water drainage requirements of [PC Ch. 11].
 21. All exterior walls shall be wrapped with (2) layers of Dupont TYVEK HOMEWRAP (or approved equal) over plywood sheathing.
- BATT INSULATION**
22. All batt insulation shall be sound attenuation batt insulation as noted on the drawings and as manufactured by Owens-Corning, John Mansville, or equal.
 23. Install insulation in conformance with manufacturers instructions for acoustical application: fit tightly around junction boxes, pipes, irregularities, etc...
 24. See Title 24 for additional project specific requirements.

SEALANTS

25. Apply sealant compound to a clean, dry surface free from grease, oil dirt and other matter tending to impair adhesion.
26. Clean and prime in accordance with manufacturers instructions.
27. Protect adjacent surfaces from staining.
28. General building application: DAP "230" sealant, latex sealing compound conforming to federal specification TT-S-00230C.
29. Provide acoustical sealant to the top and bottom plate of all new partitions.

METALS

30. Furnish materials and perform labor required to execute the work as indicated on the structural drawings.
31. Welding to be done by welders certified by the building department conforming to the methods described in the latest edition of the AWS standards.
32. **If structural steel is utilized, the fabricator shall provide shop drawings for the Structural Engineer and Architect's review before fabrication.**
33. Installation shall be completed by an installer licensed and skilled in their trade.
34. Except as otherwise shown on drawings or approved shop drawings, use materials of size, thickness, and type required to produce reasonable strength and durability of work in this section.
35. Fabricate with accurate angles and surfaces true to required lines and level gridding exposed connections, with heliarc joints, and using concealed fasteners; wherever possible.
36. Form metal accurately to dimensions and shapes required, finishing molded and broken surfaces with true, sharp, straight lines and angles and, where intercepting other members, coping to an accurate fit. All exposed joints to be heliarc welded and ground smooth to final finish of metal.
37. Form, fabricate and install metal so as to accurately provide for expansion and contraction in the finished work.
38. Set work accurately into position; plumb, level, and true.
39. Metal specifications shall be coordinated with adjacent materials to limit galvanic action and corrosion.

GLASS

40. Hazardous safety glazing areas requiring tempered glass for impact are:
- A. Glass in any door
 - B. Glass in any kind of shower, bathtub area, hot tub, steam room, sauna or whirlpool area where the bottom edge of the glass is less than 60 inches above a standing surface and drain outlet
 - C. Glass in fixed or operable panels adjacent to a door where the nearest exposed edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position and where the bottom edge of the glazing is less than 60" above a walking surface
 - D. Glass in fixed or operable panels that meets all of the following conditions:
 - a. Bottom edge is less than 18" above floor
 - b. Top edge is greater than 36" above floor
 - c. Total area of glass is greater than 9 sq. ft. (1296 sq.in.)
 - d. One or more walking surfaces within 36" horizontally of the glazing
 - E. Glass in walls used as a barrier for indoor or outdoor swimming pools or spas when both of the following exist:
 - a. The bottom edge of the glazing is less than 60" above a pool side of the glazing
 - b. The glazing is within 5 feet of a swimming pool or spa deck area
- Glass in walls enclosing stairway landings or within 5 feet of the bottom and top of stairways where the bottom edge of the glass is less than 60" above a walking surface

Glass in walls enclosing stairway landings or within 5 feet of the bottom and top of stairways where the bottom edge of the glass is less than 60" above a walking surface

SUBTOTAL	TYPE	DATE



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GENERAL
NOTES

A0.02

The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (Joseph Spierer Architects, Inc.), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (Joseph Spierer Architects, Inc.). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(ROLLING HILLS PLANNING 2ND SUBMITTAL)

GENERAL CONSTRUCTION NOTES

INSURANCE

THE GENERAL CONTRACTOR AND SUBCONTRACTOR(S) SHALL PURCHASE AND MAINTAIN CERTIFICATE OF INSURANCE WITH RESPECT TO WORKMAN'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY AND SECURITY PRECAUTIONS IN CONNECTION WITH THE WORK.

The Owner shall provide and pay for builder's risk insurance. Coverage shall include, but not be limited to perils of fire, lightning, flood, windstorm, hurricane, hail, explosion, riot, civil commotion, smoke, aircraft, land vehicles, vandalism, and malicious mischief, etc., in the amount equal to 100% of the contract sum (but not including excavation, filling, grading, demolition, foundations, and other non-insurable items). Such coverage to be issued in name of the contractor and owner, as their interest may appear.

The Contractor shall procure, pay for, and maintain at all times during the prosecution of the work under the contract, various forms of insurance with carriers acceptable to the owner. All insurance policies shall have the architect, design consultants, the owner, and their employees as additional insureds. Contractor shall furnish insurance policies to owner prior to commencement of work. The following forms of insurance shall be provided:

- A. Statutory compensation and employer's liability insurance.
- B. Liability coverage.
- C. Contractor's bodily liability insurance and contractor property damage liability insurance.
- D. Contractor's protective bodily injury insurance and protective property damage liability insurance.
- E. Automobile bodily injury liability and automobile property damage liability insurance.

CONTRACT & SCHEDULE NOTES / ADMINISTRATIVE NOTES

1. Contractor shall coordinate with owner and other contractors performing work under separate contracts to ensure project progress according to schedule.
2. The drawings and specifications constitute only a part of the contract documents as identified in the owner / contractor agreement. The contractor is also responsible for requirements set forth in the other instruments of the owner / contractor agreement. Discrepancies in the documents shall be reported to the architect at once for resolution.
3. In agreeing to terms and conditions of contract, contractor has accepted responsibility to verify that specified products will be available and to place orders for all required materials
4. Upon award of the contract, the general contractor shall prepare and submit to the architect a construction progress schedule. The construction schedule shall be continuously updated and posted at the job site at all times.
5. Contractor shall provide to the owner one set of reproducible as-builts for architectural, mechanical and electrical work. Additional site work, security systems, control systems and communications systems work performed by the contractor(s) shall also be documented in as-built drawings to be submitted to the owner. As-built drawings to be computer-based documents provided on compact disk.
6. Contractor shall provide warranties and manuals for all equipment and products installed on the project where supplied by the manufacturer.
7. The contractor will secure the necessary permits and will erect the necessary barriers, protection fences and/or canopies along public ways prior to starting construction
8. Contractor to obtain curb cut permits as required.
9. The contractor shall apply for and obtain, at the contractor's sole expense, all necessary construction permits required by applicable building codes and City agencies and State agencies.
10. Contractor to recycle, strategize waste reduction, & divert demolished materials where possible.
11. The contractor is responsible for any and all overtime costs unless otherwise agreed upon in writing.
12. Subject to inspectors' approval, the owner reserves the right to occupy the premises at any time before completion. Such occupancy shall not constitute the final acceptance of all or any part of the Work per the contract.
13. Owner shall pay monthly service bill for water, gas & electricity required for duration of construction. Contractor shall pay for the telephone service for job trailer(s), any temp. power or water lines, and for removal of construction debris and trash.

SAFETY

14. The contractor and all sub-contractors and suppliers, are to fully comply with all local, state and federal safety requirements, (including but not limited to) California Occupational Safety and Health and the California Labor Commission.
15. A first aid kit shall be on the site at all times.

PRODUCT OPTIONS & SUBSTITUTIONS

Contract is based on the high standards of quality established in contract documents.

1. Substitution, revisions and / or changes must have prior approval by the architect.
2. Contractor shall provide specified products.
3. Contractor shall inform Architect in writing, at the time of submission, of any proposed deviations from the contract documents.
4. Neither the Owner nor Architect has agreed to substitution of materials specified in the contract documents, except as maybe specifically otherwise stated in writing.
5. Contractor is required to provided specified material where materials are specified by naming one single manufacturer and / or model number. Materials proposed by the Contractor to be used, in lieu of materials specified with "or equal," shall in all ways be equal or exceed the qualities of the named materials and shall be approved by the architect.
6. Should Contractor demonstrate (to approval of Architect) that a specified material was ordered in a timely manner and will not be available in time for incorporation into this work, then Contractor shall submit to Architect such data on proposed substitute materials and/or methods as are needed to assist Architect in determining suitability of proposed substitution.
7. Substitutions will be considered if:
 - A. Contractor has submitted substitution to architect in writing.
 - B. Contractor has indicated (in writing) cost, time or other benefits for substitution.
 - C. Architect shall be the judge of acceptability and reserves the right to reject proposed substitution.
8. The following products do not require further approval except for interface within work:
 - A. Products specified by reference to standard specifications, such as national testing agencies and similar standards.
 - B. Products specified by manufacturer's name and catalog number.
 - C. Where phrase "or equal" or "or equal as approved by Architect" occurs in contract, do not assume that materials, equipment will be approved as equal unless item has been specifically approved by Architect.
 - D. Decision of Owner and / or Architect shall be final.
9. The general contractor shall make shop drawings and sample submittals in accordance with AIA general conditions A201 and the requirements of the construction drawing and specifications.

MARKED-UP DRAWINGS / RECORD DRAWINGS

1. During the execution of the work, contractor shall maintain a complete set of contract drawings in the job office, upon which set he is required to note in red, or other clear manner, all deviations from the contract documents (both authorized and unauthorized). Marked-up drawings prepared from this job set are a part of the project close-out documents.
2. Submittal by contractor represents that field measurements, field construction criteria, materials, catalog numbers and similar data have been reviewed and verified by Contractor, and that each has been checked and coordinated with requirements of Contract Documents.
3. Architects review of submittals shall be for design concept only and shall not be construed as approving departures from Contract documents.
4. Architect shall respond promptly to RFI's and Submittals.

SITE ACCESS & PROTECTION

1. The property gates are to be closed and locked at the end of each workday.
2. The contractor shall maintain the premises clean and free of all trash and debris and shall protect all work from damage, soiling, paint overspray, etc. All fixtures, equipment, glazing floor, etc. shall be left clean and ready for occupancy (including existing storefront glazing and mullions, both interior and exterior space frame.)
3. Contractor shall be responsible to final clean the space
4. Contractor shall make arrangements with the owner/property manager for parking access, security access, material storage and waste dumpster location on the construction site
5. The Contractor shall keep the premises free from accumulation of waste materials or rubbish caused by his employees and subcontractors. At the completion of the work, the subcontractors shall remove from building and site all rubbish, tools, and surplus materials and leave the work swept broom clean.

MANUALS

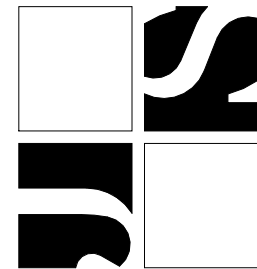
Where manuals (such as HVAC equipment) are required to be submitted covering items including work, recommended maintenance, etc., provide manuals in durable binders, approximately 8-1/2" by 11" in size, and provide the following information:

1. Identification on, or readable through, front cover, stating general nature of manual.
2. Neatly typewritten index at front of manual, furnishing immediate information as to location in manual of data or equipment involved, name, address and phone number of subcontractor.
3. Complete instructions regarding operation and maintenance of equipment involved.
4. Complete nomenclature or replaceable parts, their part numbers, current cost, and name, address and phone number of nearest vendor of parts.
5. Copy of all guarantees and warranties issued.
6. Copy of approved shop drawings with data concerning changes made during construction.

Extraneous Data: Where contents of manual include manufacturers catalog pages, clearly indicate precise items included in this installation and delete, or otherwise clearly indicate, manufacturer's data with which this installation is not concerned. Architect will retain one copy and return one (1) copy to the Contractor and one to the Owner.

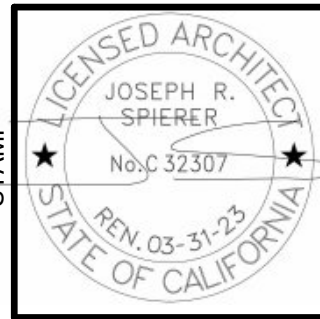
CONTRACT CLOSE OUT

1. Contractor shall provide documentation (notice of substantial completion) stating the work has been substantially completed.
2. Contractor shall provide list of items to be completed to Architect.
3. Architect will review list of items to be completed and will supplement the list of items considered to be incomplete or unacceptable.
4. At completion of work, and prior to owner move-in, Contractor shall employ skilled workmen for final cleaning; including glass, glossy surfaces, floors and finishes, including paint touch-up as required.
5. Contractor shall provide project record documents, material and finish data, operation and instruction manuals, maintenance of equipment and systems, warranties (including coverage dates), and bonds at project completion. Submit records to owner bound in 8-1/2" x 11" three-ring binders with durable plastic covers.
6. Contractor shall submit (marked-up) record drawings to Owner.
7. Contractor shall provide evidence of payments and release of liens to Owner.
8. Contractor shall obtain certificate of occupancy and provide to Owner.
9. Contractor shall provide final certificate for payment to Owner.



GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

[illegible]

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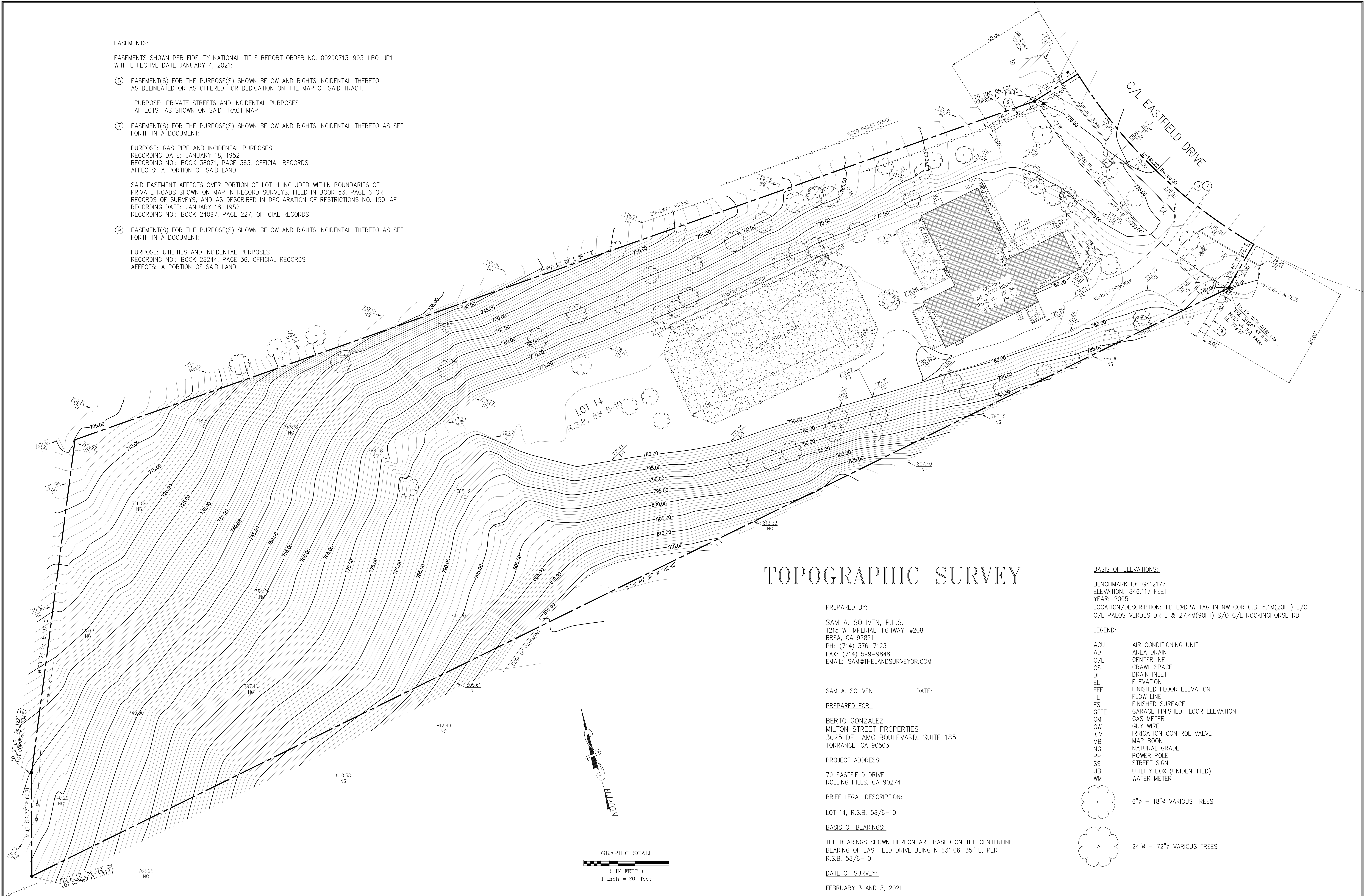
GENERAL NOTES

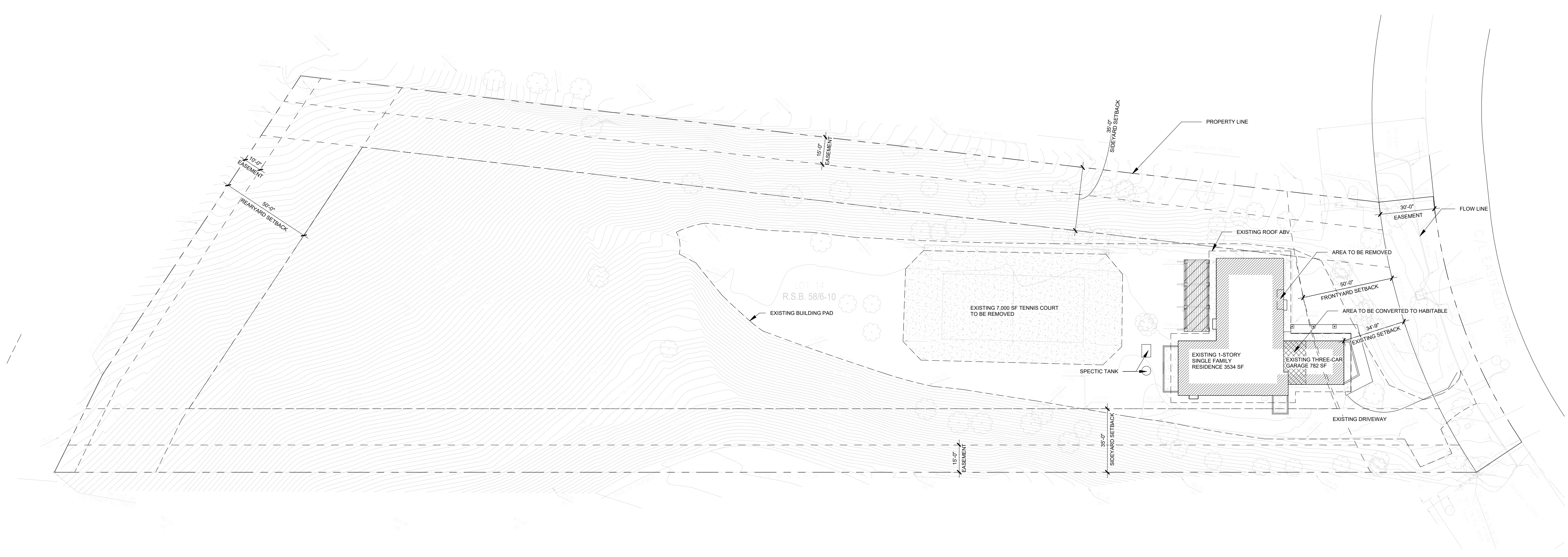
A0.03

EASEMENTS:

EASEMENTS SHOWN PER FIDELITY NATIONAL TITLE REPORT ORDER NO. 00290713-995-LBO-JP1 WITH EFFECTIVE DATE JANUARY 4, 2021:

- ⑤ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION ON THE MAP OF SAID TRACT.
- PURPOSE: PRIVATE STREETS AND INCIDENTAL PURPOSES
AFFECTS: AS SHOWN ON SAID TRACT MAP
- ⑦ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
- PURPOSE: GAS PIPE AND INCIDENTAL PURPOSES
RECORDING DATE: JANUARY 18, 1952
RECORDING NO.: BOOK 38071, PAGE 363, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND
- SAID EASEMENT AFFECTS OVER PORTION OF LOT H INCLUDED WITHIN BOUNDARIES OF PRIVATE ROADS SHOWN ON MAP IN RECORD SURVEYS, FILED IN BOOK 53, PAGE 6 OR RECORDS OF SURVEYS, AND AS DESCRIBED IN DECLARATION OF RESTRICTIONS NO. 150-AF
RECORDING DATE: JANUARY 18, 1952
RECORDING NO.: BOOK 24097, PAGE 227, OFFICIAL RECORDS
- ⑨ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
- PURPOSE: UTILITIES AND INCIDENTAL PURPOSES
RECORDING NO.: BOOK 28244, PAGE 36, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND





DEMOLITION NOTES

- The contractor shall protect existing to remain, new work, and all adjacent property and landscape from loss or damage resulting from operations for the duration of the project. In the event of such loss or damage by the contractor or his subcontractors, the contractor shall make such replacements or repairs as required without additional cost to the owner.
- Refer to civil drawings for all notes and information related to existing and proposed utilities including location of existing utilities prior to any site demolition or clearing or associated with any site grading or trenching operations.
- All existing and proposed utility structures including but not limited to valve boxes, sewer and storm structures, electrical, water, gas and telephone boxes and vaults occurring in the location of proposed improvements shall be reset to the proper grade based on proposed grades.
- Existing underground utilities and improvements are shown in their approximate locations based upon record information available at the time of preparation of these plans, refer to civil drawings. Locations may not have been verified in the field and no guarantee is made as to the accuracy and completeness of the information shown. The exact location and elevation of utilities shall be determined by the contractor.
- Contractor to recycle, strategize waste reduction, & divert demolished materials where possible.

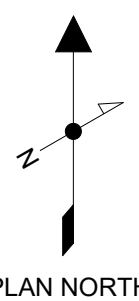
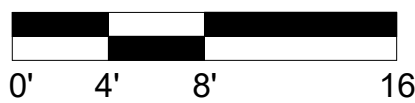
LEGEND

- PROPERTY LINES
- - - - - BUILDING SETBACK

KEYNOTES

EXISTING SITE PLAN | 1

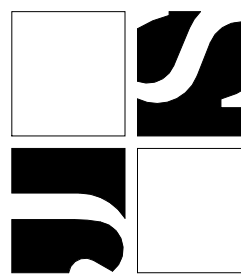
1/32" = 1'-0"



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(ROLLING HILLS PLANNING 2ND SUBMITTAL)

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GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

PROJECT

SUBMITTAL

STAMP

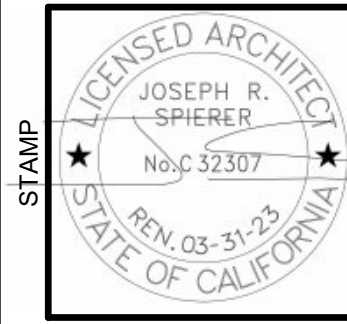
DATE

PROJECT #

DWG TITLE

SHEET NO.

#	TYPE	DATE

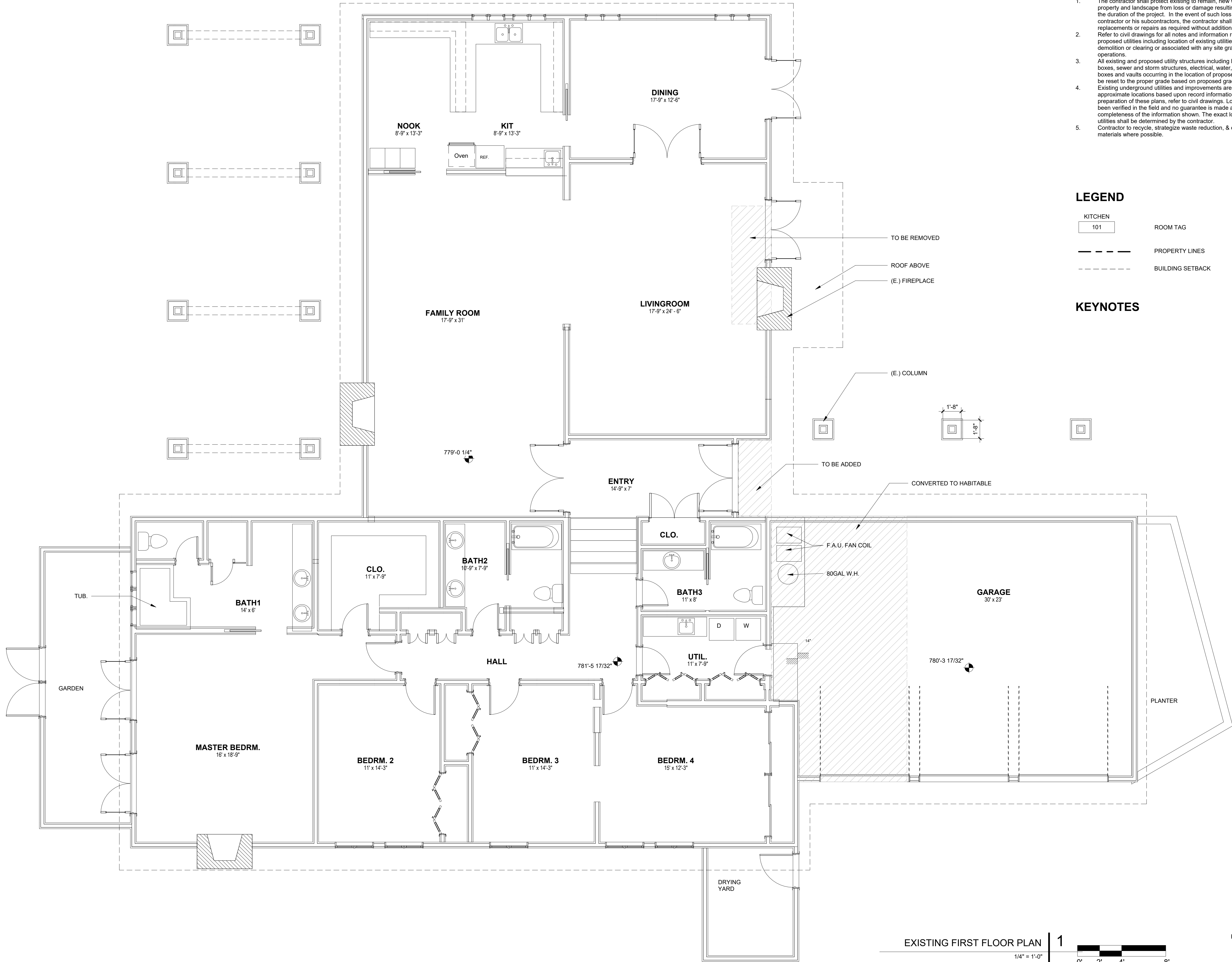


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21-007

SITE DEMO

AD1.00



DEMOLITION NOTES

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4. Contractor to recycle, strategize waste reduction, & divert demolished materials where possible.

LEGEND

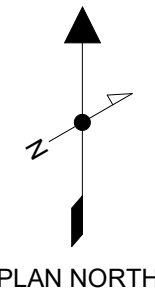
- KITCHEN
101
- ROOM TAG
- PROPERTY LINES
- BUILDING SETBACK

KEYNOTES

EXISTING FIRST FLOOR PLAN

1

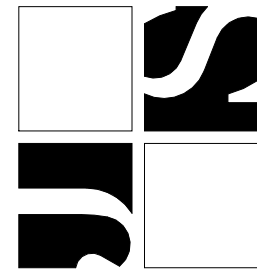
1/4" = 1'-0"



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PROJECT
GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

DATE	TYPE



DATE
10/14/2021
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PROJECT #
21-007

DWG TITLE
EXISTING
FIRST FLOOR
PLAN

SHEET NO.
AD2.00



KEYNOTES

Total Wall to be Demolished
(Existing to be Demolished / Total)
405.27 LF / (405.27 LF + 460.64 LF) = 46.8%

DEMOLITION NOTES

1. The contractor shall protect existing to remain, new work, and all adjacent property and landscape from loss or damage resulting from operations for the duration of the project. In the event of such loss or damage by the contractor or his subcontractors, the contractor shall make good the requirements or repairs as required without additional cost to the owner.
2. Refer to civil drawings for all notes and information related to existing and proposed utilities including location of existing utilities prior to any site demolition or clearing or associated with any site grading or trenching operations.
3. All existing and proposed utility structures including but not limited to valve boxes, manholes, sewer and storm structures, electrical, water, gas and telephone boxes and vaults occurring in the location of proposed improvements shall be reset to the proper grade based on proposed grades.
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5. Contractor to recycle, strategize waste reduction, & divert demolished materials where possible.

LEGEND

(E) XX.XX' LF	EXISTING WALL TO REMAIN TAG
(D) XX.XX' LF	EXISTING WALL TO BE DEMOLISHED TAG
KITCHEN	
<div style="border: 1px solid black; padding: 2px; display: inline-block;">101</div>	ROOM TAG
=====	EXISTING TO REMAIN
== - - - - - ==	EXISTING TO REMOVE

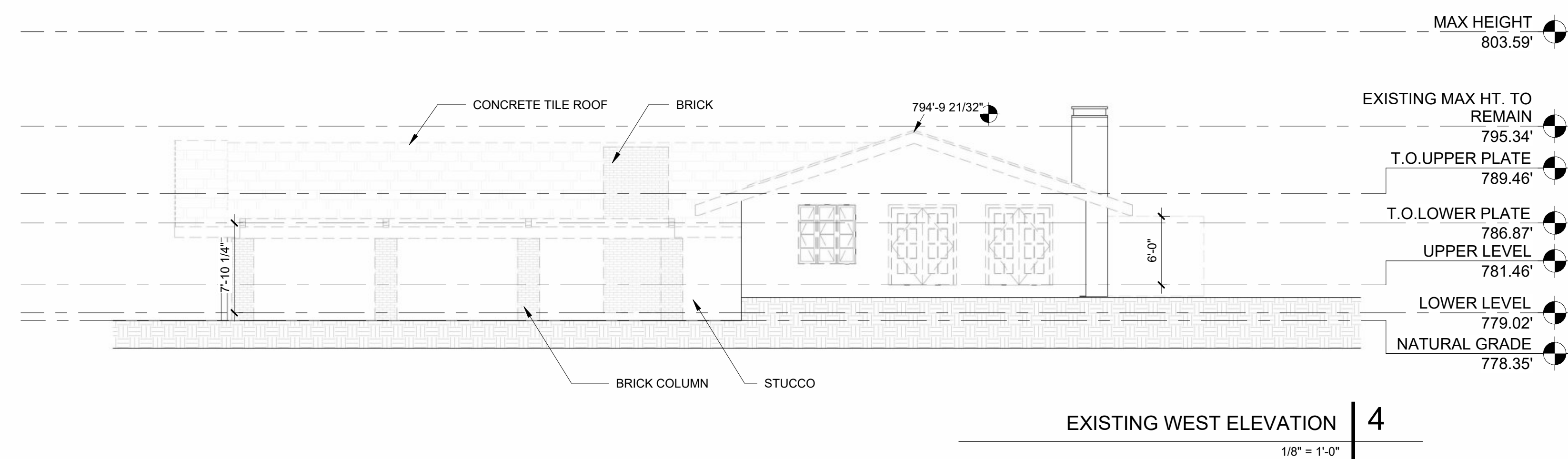
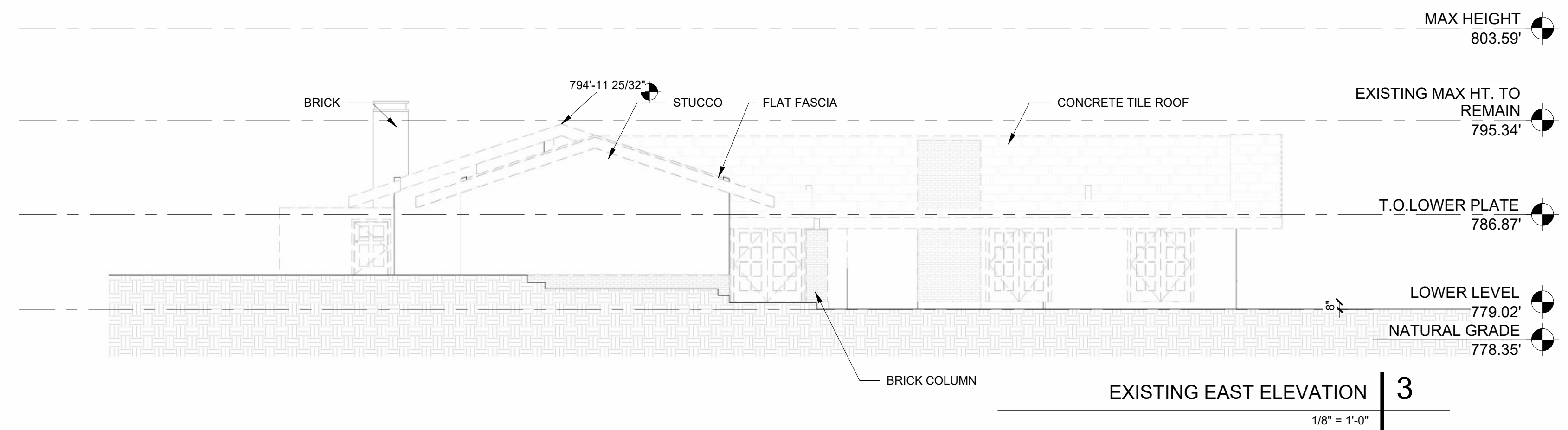
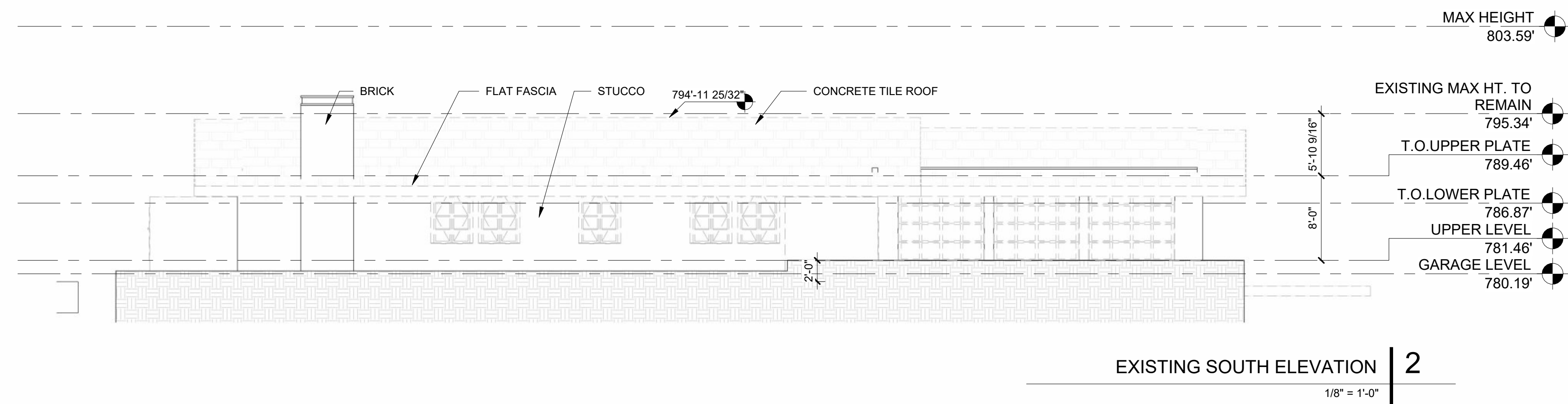
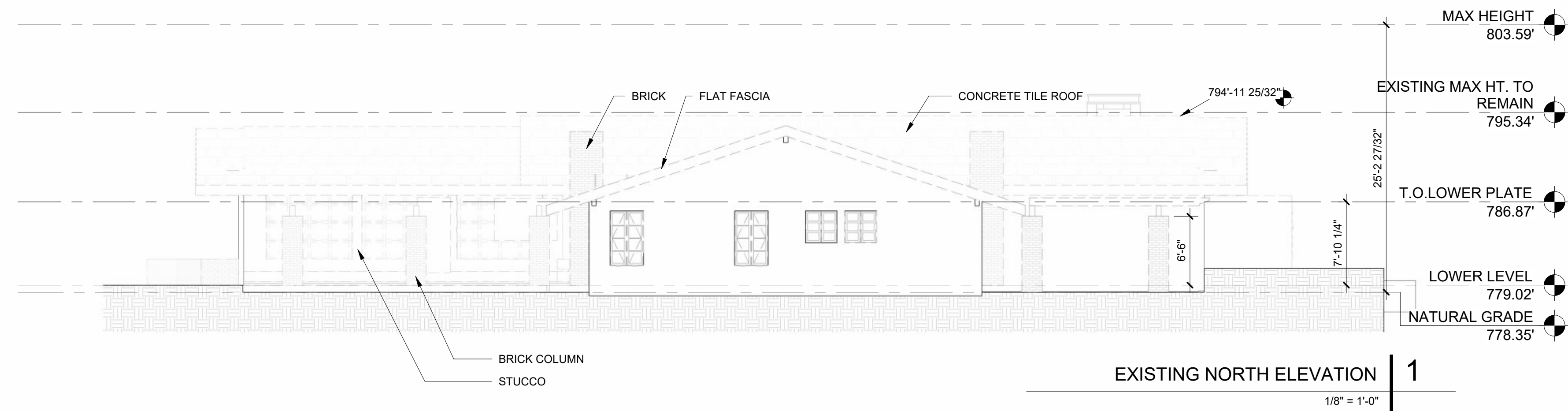
WALL DEMO CEILING DEMO

Existing to be Demolished (D)	Existing to Remain (E)	Existing to be Demolished (D)	Existing to Remain (E)
3.00 LF	45.50 LF		
7.46 LF	8.94 LF		
45.50 LF	17.98 LF		
12.46 LF	36.25 LF		
22.67 LF	16.83 LF		
4.21 LF	6.54 LF		
9.02 LF	33.19 LF		
3.85 LF	23.54 LF		
10.27 LF	30.69 LF		
2.00 LF	6.00 LF		
6.50 LF	49.27 LF		
8.27 LF	5.77 LF		
14.77 LF	29.54 LF		
2.50 LF	8.88 LF		
14.77 LF	28.08 LF		
3.17 LF	3.65 LF		
1.52 LF	6.08 LF		
16.69 LF	7.64 LF		
1.16 LF	14.77 LF		
2.50 LF	25.50 LF		
8.52 LF	1.92 LF		
6.17 LF	1.15 LF		
11.60 LF	16.52 LF		
1.23 LF	1.26 LF		
12.85 LF	2.67 LF		
15.27 LF	12.06 LF		
18.27 LF	10.17 LF		
8.25 LF	10.25 LF		
25.04 LF	460.64 LF		
8.25 LF			
1.21 LF			
1.21 LF			
1.21 LF			
1.21 LF			
1.92 LF			
1.50 LF			
8.79 LF			
1.48 LF			
5.19 LF			
2.50 LF			
9.19 LF			
3.83 LF			
1.08 LF			
5.85 LF			
17.42 LF			
17.90 LF			
5.71 LF			
3.92 LF			
3.00 LF			
3.42 LF			
405.27 LF			

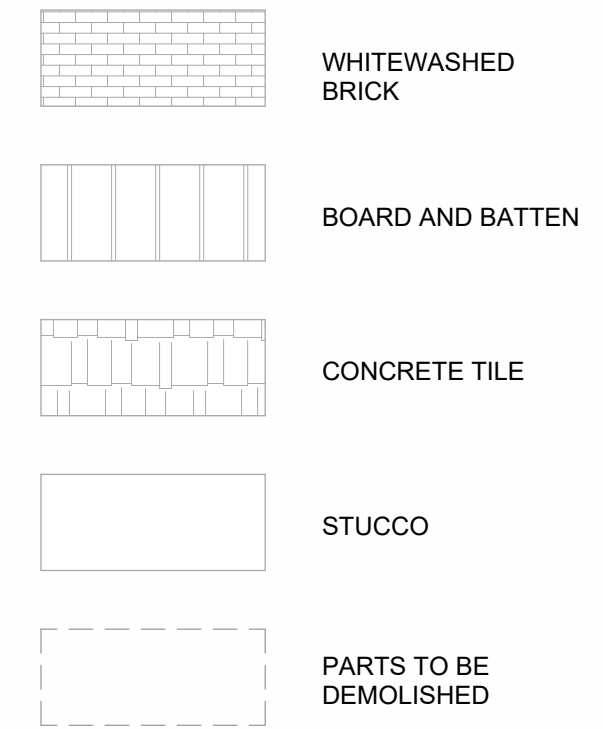
Total Wall to be Demolished
(Existing to be Demolished / Total)
405.27 LF / (405.27 LF + 460.64 LF) = 46.8%

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(ROLLING HILLS PLANNING 2ND SUBMITTAL)



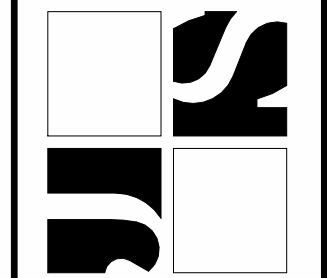
ELEVATION LEGEND



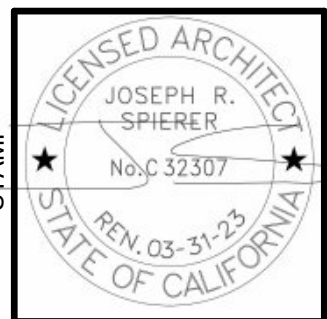
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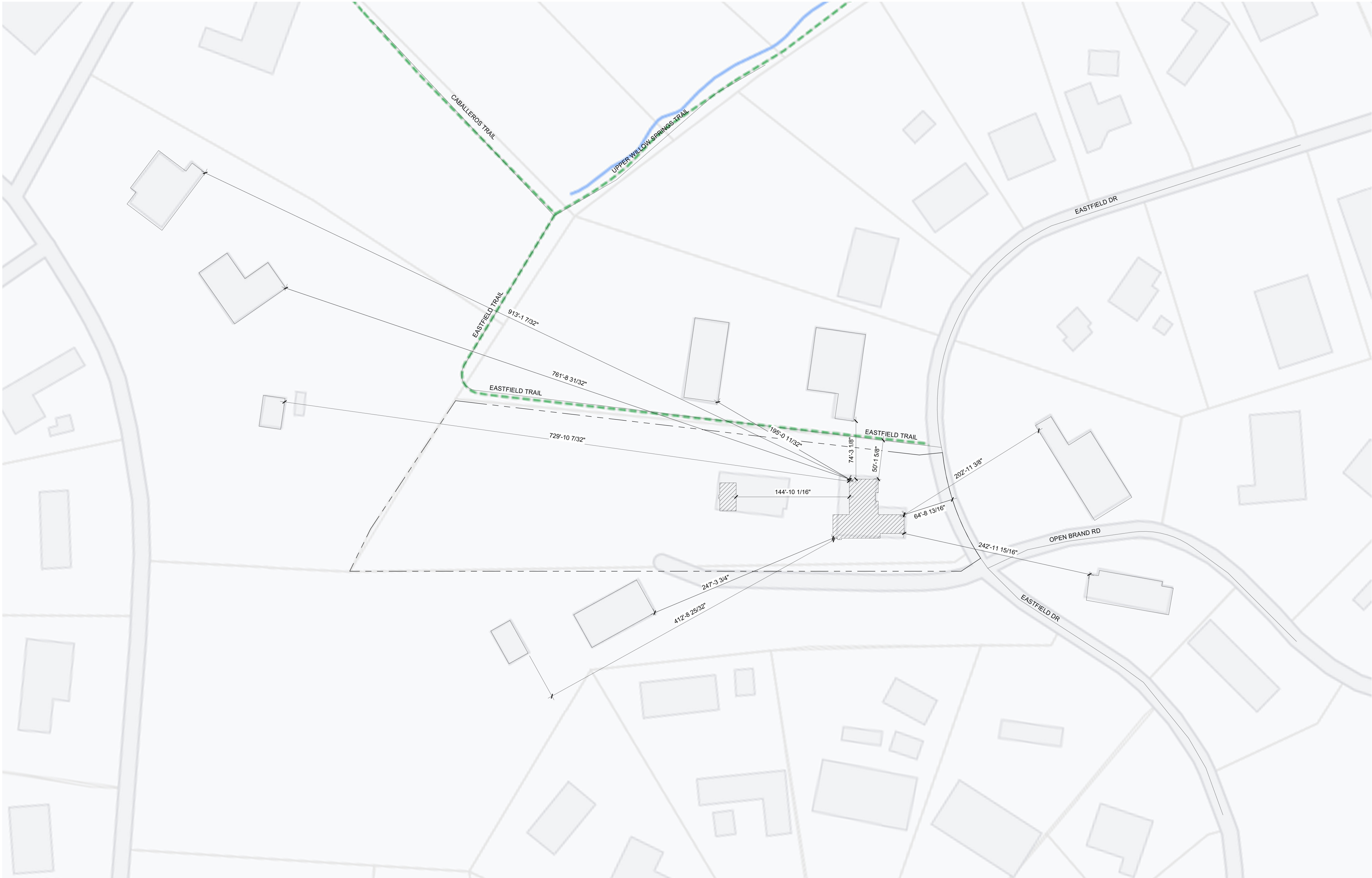


GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

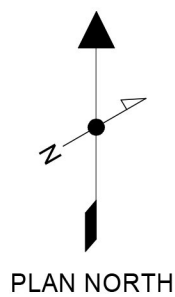
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AD3.00



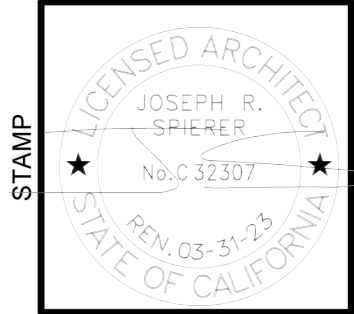
VICINITY MAP | 1
1" = 60'-0"



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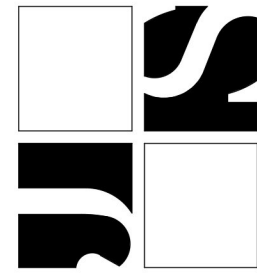
(ROLLING HILLS PLANNING 2ND SUBMITTAL)

SUBMITTAL		
Δ	TYPE	DATE



SHEET NO.	DWG TITLE	PROJECT #	DATE
A0.10	VICINITY PLAN	21-007	9/20/2021 1:35:51 PM

PROJECT	
GONZALEZ RESIDENCE	
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274	



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1



4



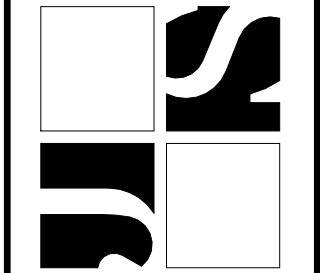
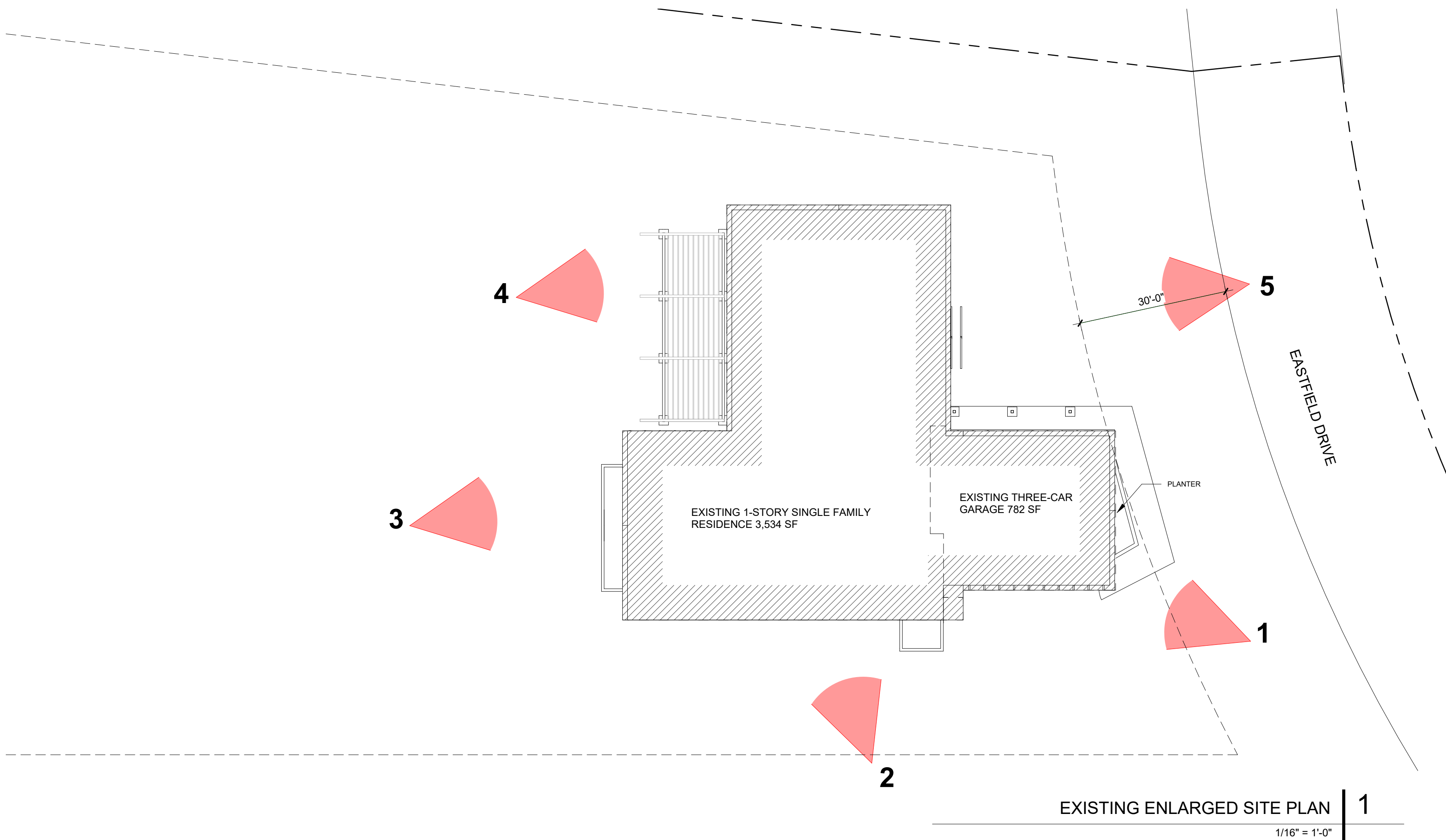
5



2



3



SUBMITTAL	
TYPE	DATE



SITE CALCULATIONS:

NET LOT AREA	110,030 SQFT
20% STRUCTURE	22,006 SQFT
35% TOTAL COVERAGE	38,510.5 SQFT
TOTAL DISTURBED AREA 40%	44,012 SQFT

LEGAL DESCRIPTION
RECORD OF SURVEY AS PER BK 58 PG 6 TO 10 OF RECORD
OF SURVEYS LOT 14

RESIDENTIAL FLOOR AREA CALCULATIONS:

EXISTING CALCULATIONS	
STRUCTURE	
(E) RESIDENCE:	3,534 SQFT
(E) GARAGE:	788 SQFT
(E) RECREATION COURT	7,000 SQFT
(E) SERVICE YARD	75 SQFT
(E) ATTACHED TRELLIS:	538 SQFT
(E) TOTAL	11,935 SQFT
HARDSCAPE	
(E) DRIVEWAY:	3,909 SQFT
(E) PARKING PAD:	400 SQFT
(E) PATIO AND WALKWAY	1,520 SQFT
(E) TOTAL	5,829 SQFT
TOTAL DISTURBED	31,873 SQFT
BUILDING PAD AREA	31,873 SQFT
STRUCTURAL COVERAGE (20% MAX. ALLOWED)	
10.78%	
TOTAL HARDSCAPE COVERAGE (35% MAX. ALLOWED)	
15.96%	
TOTAL BUILDING PAD COVERAGE (30% MAX. ALLOWED)	
35.5%	
TOTAL DISTURBED AREA (40% MAX. ALLOWED)	
28.9%	

PROPOSED CALCULATIONS

STRUCTURE	
(N) RESIDENCE:	3,796.45 SQFT
(N) ATTACHED COVERED PORCHE:	202 SQFT
(N) GARAGE:	502 SQFT
(N) SWIMMING POOL:	762 SQFT
(N) STABLE	450 SQFT
(N) ATTACHED TRELLIS:	956 SQFT
(N) PROPOSED ADU:	762 SQFT
(N) TOTAL	7,970.45 SQFT
HARDSCAPE	
(N) DRIVEWAY:	2,544 SQFT
(N) WALKWAY AND PATIO:	1,062 SQFT
(N) PARKING PAD:	270 SQFT
(N) POOL PAVING	1,520 SQFT
(N) TOTAL	5,396 SQFT
TOTAL DISTURBED	36,983 SQFT
BUILDING PAD AREA	32,000 SQFT

STRUCTURAL COVERAGE (20% MAX. ALLOWED)
7.24%
TOTAL BUILDING PAD COVERAGE (35% MAX. ALLOWED)
12.31%
TOTAL BUILDING PAD COVERAGE (30% MAX. ALLOWED)
21.9%
TOTAL DISTURBED AREA (40% MAX. ALLOWED)
33.6%

DRIVEWAY AND MOTOR COURT COVERAGE:

FRONT SETBACK AREA	8,032 SQFT
SIDE SETBACK AREA	48,120 SQFT
FRONT SETBACK DRIVEWAY COVERAGE	14.4%
FRONT SETBACK PARKING PAD COVERAGE	3.36%
SIDE SETBACK DRIVEWAY COVERAGE	1.92%
SIDE SETBACK PARKING PAD COVERAGE	0%

KEYNOTES

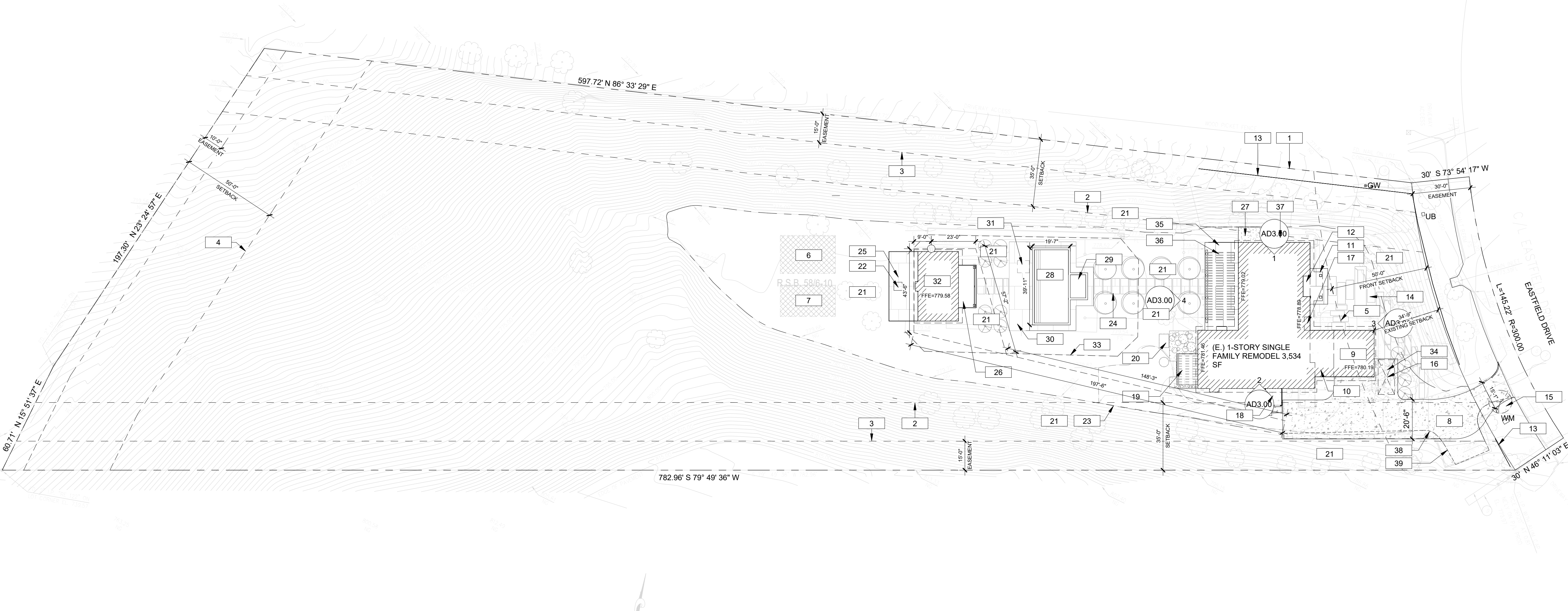
- PROPERTY LINE
- SIDEYARD SETBACK
- EASEMENT LINE
- REARYARD SETBACK
- FRONTYARD SETBACK
- 550 SF FUTURE CORRAL - PROTECT
- 450 SF FUTURE STABLE
- (E.) 3,909 SF DRIVEWAY REMODEL TO 2,544 SF DRIVEWAY
- (E) TWO-CAR GARAGE REMODEL 502 SF
- (E) 280 SF GARAGE CONVERT TO LIVING
- (N.) 98 SF ROOF ADDITION
- DEMO OF 38.35F EXISTING LIVING SPACE
- (E) WOOD POCKET FENCE
- (N) 712 SF WALKWAY, CHECK LANDSCAPE PLAN FOR DETAIL
- (E) TREE TO BE DEMOLISHED
- ADU PARKING
- 20.75 SF ADDITION
- (N) 78 SF TRASH
- (N) 175 SF TRELLIS OVER PATIO
- (E) SPECTIC TANK
- LANDSCAPE AREA - SEE LANDSCAPE PLAN
- (N) FIREPIT
- DEMO OF EXISTING DRIVEWAY
- (N) 350 SF STEPPING STONE
- (N) 540 SF STONE ON CONCRETE PAVEMENT YARD
- (N) 202 ROOF ABV.
- (N.) GRAVEL
- (N) 696 SF POOL
- (N) 96 SF SPA
- (N.) 1,520 SF STONE ON CONCRETE PAVEMENT
- (N.) 40 SF POOL EQUIPMENT VAULT
- (N) PROPOSED 762 SF ADU
- (E) TENNIS COURT TO BE DEMOLISHED
- (N) 270 SF PARKING PAD
- 418 SF ADDITION TO EXISTING 538 SF PATIO
- (N.) TRELLIS OVER 956 SF PATIO
- (N) 78 SF A/C.
- (E) EXISTING DRIVEWAY
- (E.) EXISTING 234 SF PARKING PAD TO BE REMOVED

SITE PLAN NOTES

- DIMENSIONS INDICATED ON PLANS FOR HORIZONTAL CONTROL ARE ACCURATE IF MEASURED ON A LEVEL LINE NOT PARALLEL WITH GROUND SLOPE.
- COORDINATE PARTITION FRAMING WITH REQUIRED STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPEMENT OR WORK.
- "TYPICAL" OR "TYP" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS. UNLESS OTHERWISE NOTED, "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS TO THE ELEVATION OR DETAIL NOTED. VERIFY DIMENSIONS AND ORIENTATION OF THE PLAN.
- PLAN DIMENSIONS ON DRAWINGS ARE SHOWN TO THE CENTER LINES OF COLUMNS AND STUDS IN PARTITION WALLS U.N.O.
- HEIGHT DIMENSIONS ARE MEASURED FROM THE TOP OF THE SLAB OR SHEATHING, (UNLESS NOTED "A.F.F." (ABOVE FINISH FLOOR)) TO THE TOP PLATE ELEVATION. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW OF THE ARCHITECT.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS FOR ANY EXISTING CONDITIONS.
- ALL PROPOSED CUTTING OF DIRT MUST BE BALANCED ON SITE.

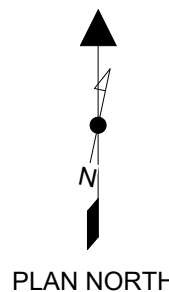
LEGEND

- PROPERTY LINES
- BUILDING SETBACK



PROPOSED SITE PLAN | 1

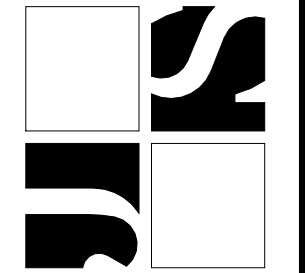
1" = 30'-0"



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GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

PROJECT

SUBMITTAL

TYPE DATE



DATE
10/14/2021
11:31:09 AM

PROJECT #
21-007

DWG TITLE
SITE PLAN

SHEET NO.
A1.01

FLOOR PLAN NOTES

- Dimensions indicated on plans for horizontal control are accurate if measured on a level line not parallel with ground slope.
- Coordinate partition framing with required structural, mechanical, plumbing, and electrical work.
- "Typical" or "TYP" means identical for all similar conditions, unless otherwise noted. "Similar" or "SIM" means comparable characteristics to the elevation or detail noted. Verify dimensions and orientation of the plan. Plan dimensions on drawings are shown to the centerline of studs in all interior walls and exterior of stud at all exterior walls U.N.O.
- Height dimensions are measured from the top of the slab or sheathing, (unless noted "A.F.F." (above finish floor)) to the top plate elevation. Dimensions are not adjustable without review of the architect.
- Ceiling height dimensions labeled with "MIN." should be constructed tight to the structure or ducting above.
- Contractor to field verify dimensions for any existing conditions.
- Wrap all drainage pipes located inside of walls to minimize sound transmission.

LEGEND

- W24

W24

WINDOW TYPE
- A2X

A2X

INTERIOR PARTITION TYPE
A = WALL TYPE, VARIES (LETTER WILL VARY)
2 = NOMINAL STUD SIZE (NUMBER WILL VARY)
X = 5/8" TYPE 'X' GYP, WHERE OCCURS
- 101

101

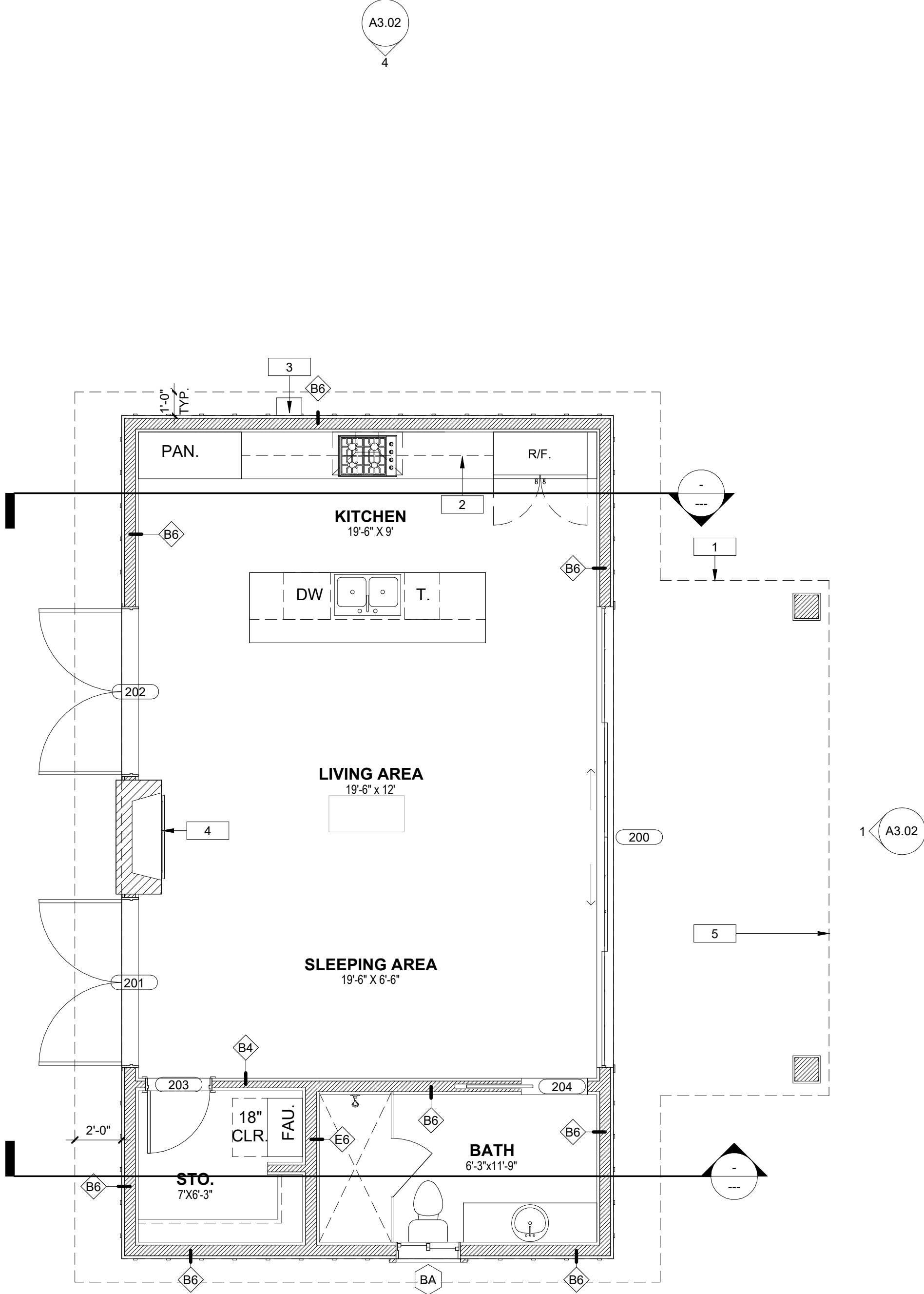
DOOR NUMBER
- KITCHEN

101

ROOM TAG
- EXISTING TO REMAIN
- EXISTING TO REMOVE
- NEW
- 1HR
- 2HR
- PROPERTY LINES
- BUILDING SETBACK

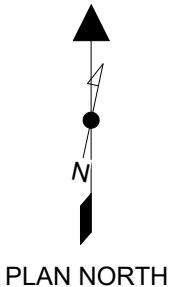
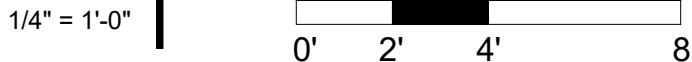
KEYNOTES

- ROOF ABOVE
- UPPER CABINET
- TANKLESS WATER HEATER
- (N.) FIREPLACE W/ TV ABV.
- (N) 202 ROOF ABV.



PROPOSED ADU PLAN

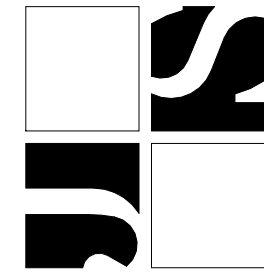
1



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(ROLLING HILLS PLANNING 2ND SUBMITTAL)

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PROJECT
GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

SUBMITTAL	#	TYPE	DATE

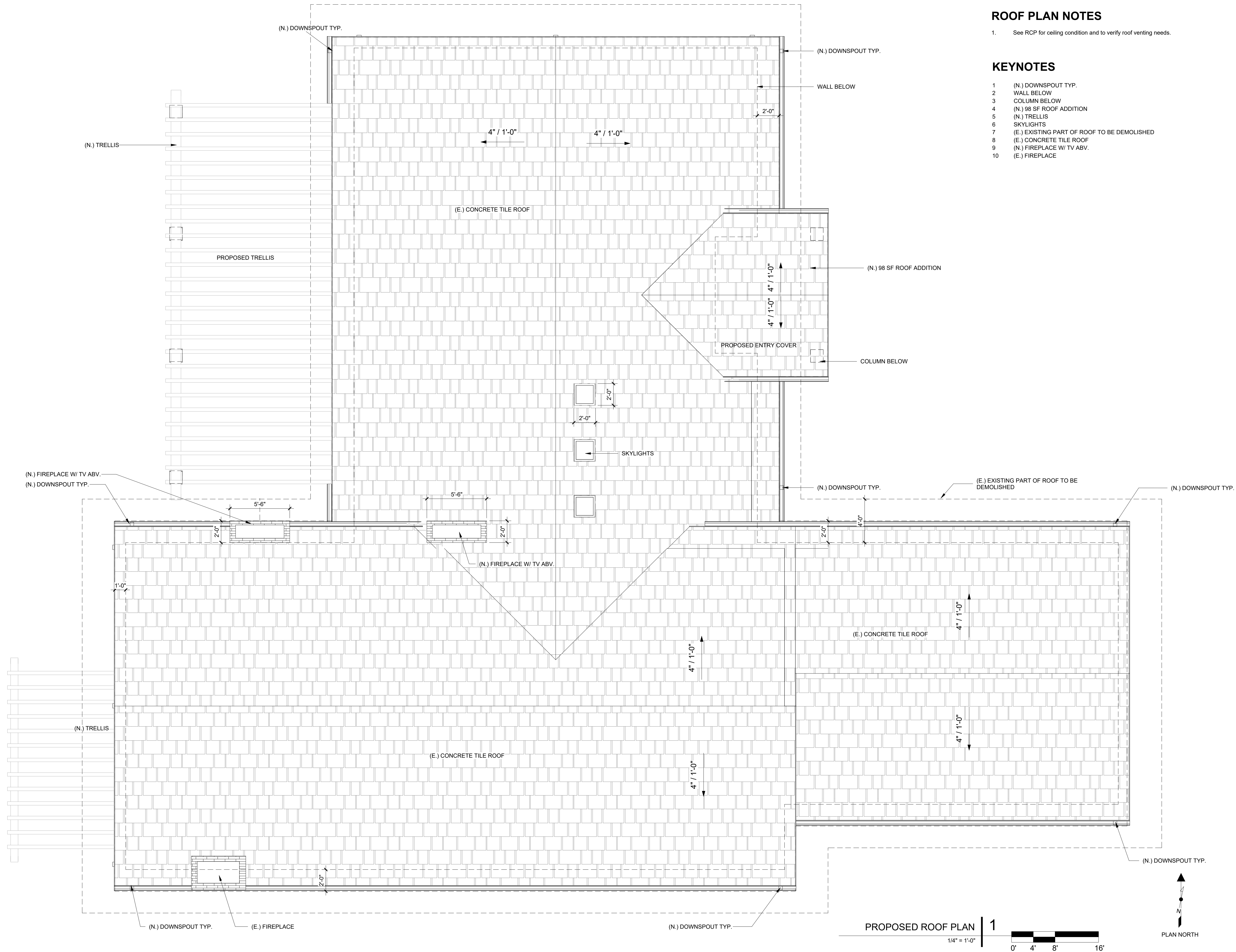


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10/14/2021
11:31:12 AM

PROJECT #
21-007

DWG TITLE
PROPOSED
ADU PLAN

SHEET NO.
A2.01



ROOF PLAN NOTES

1. See RCP for ceiling condition and to verify roof venting needs.

KEYNOTES

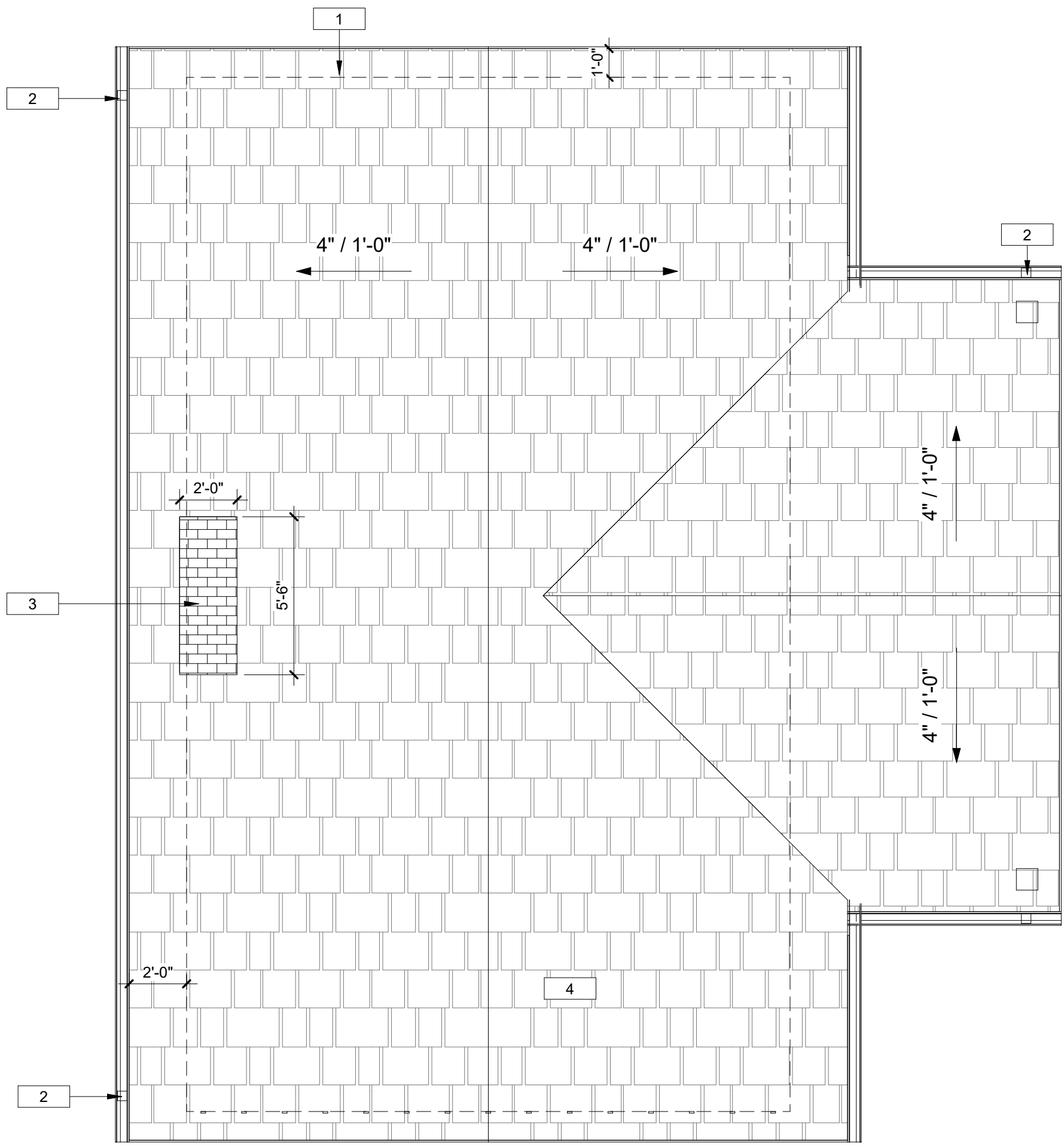
- 1 (N.) DOWNSPOUT TYP.
2 WALL BELOW
3 COLUMN BELOW
4 (N.) 98 SF ROOF ADDITION
5 (N.) TRELLIS
6 SKYLIGHTS
7 (E.) EXISTING PART OF ROOF TO BE DEMOLISHED
8 (E.) CONCRETE TILE ROOF
9 (N.) FIREPLACE W/ TV ABV.
10 (E.) FIREPLACE

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(ROLLING HILLS PLANNING 2ND SUBMITTAL)

DATE	TYPE





ROOF PLAN NOTES

1. See RCP for ceiling condition and to verify roof venting needs.

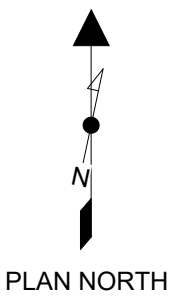
KEYNOTES

- 1 WALL BELOW
2 (N.) DOWNSPOUT TYP.
3 FIREPLACE
4 (N.) CONCRETE TILE ROOF

PROPOSED ADU ROOF PLAN

1

1/4" = 1'-0"



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(ROLLING HILLS PLANNING 2ND SUBMITTAL)

PROJECT

GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

SUBMITTAL

#	TYPE	DATE

STAMP



DATE

10/14/2021
11:31:13 AM

PROJECT #

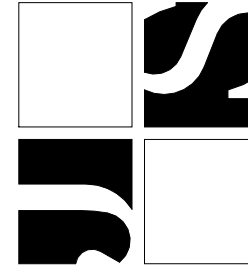
21-007

DWG TITLE

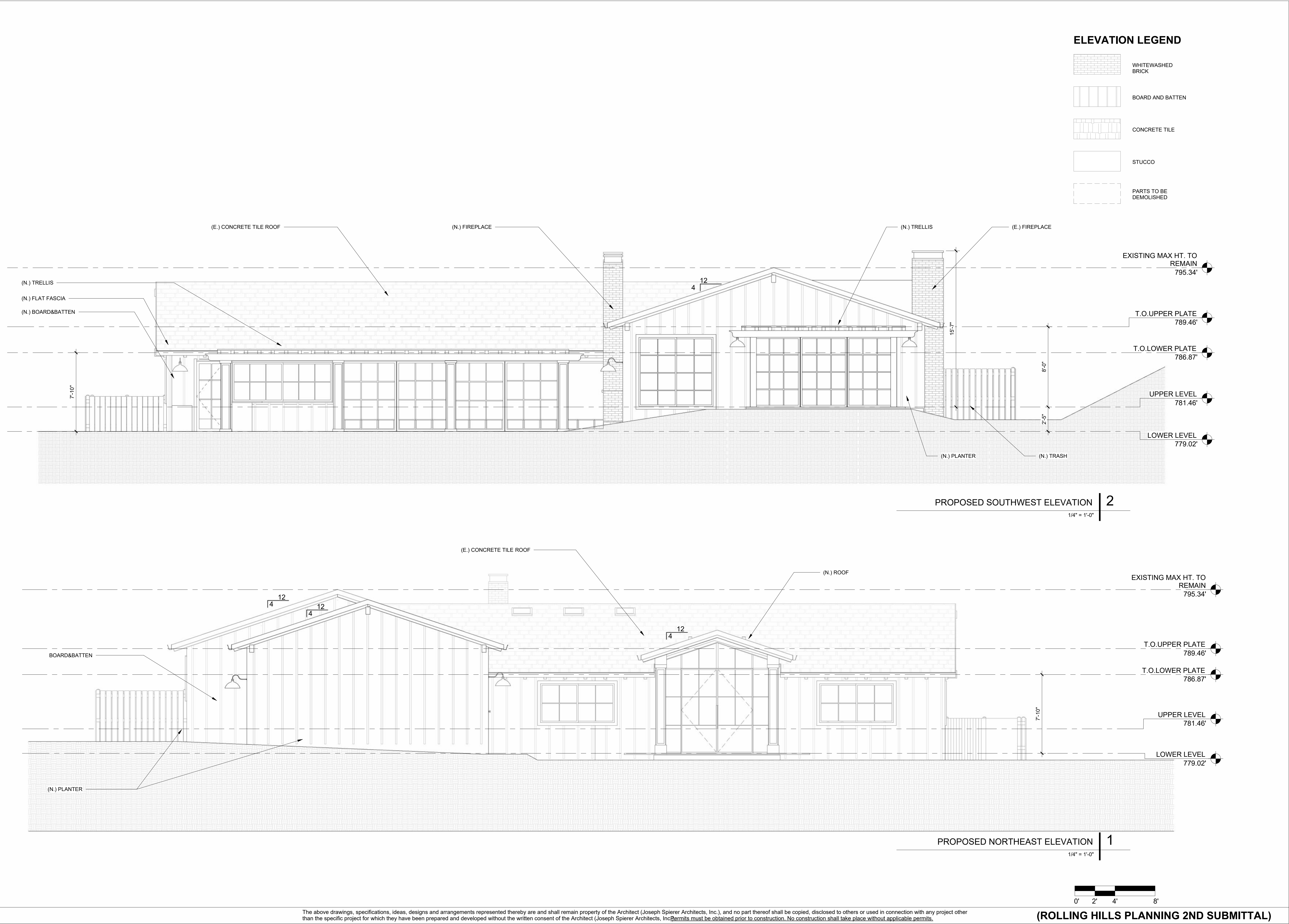
ADU ROOF
PLAN

SHEET NO.

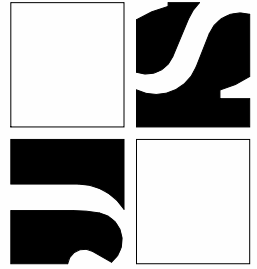
A2.03



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GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

DATE	TYPE	DATE

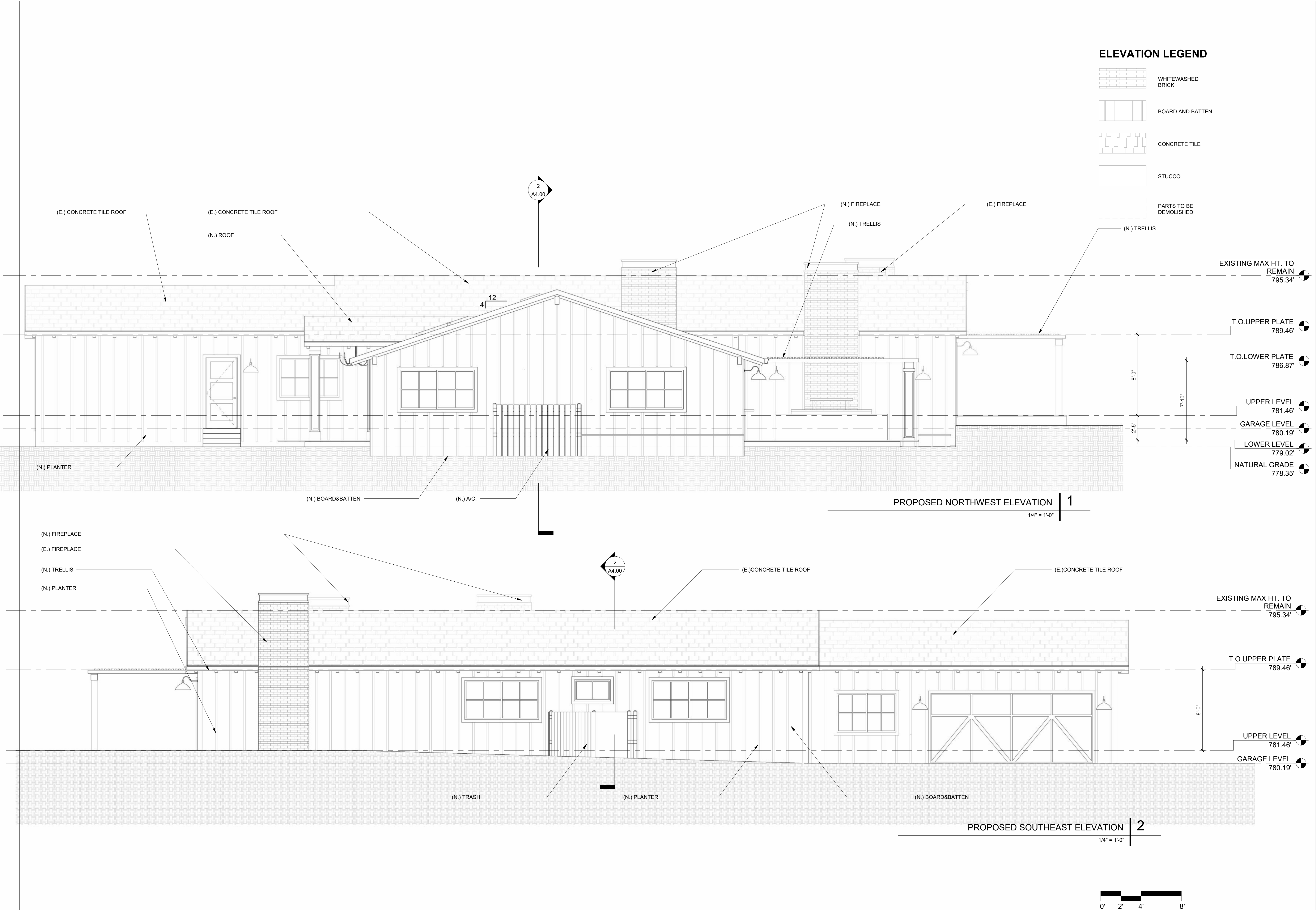
JOSEPH R. SPIERER
No. C 52307
REV. 03-31-23
STATE OF CALIFORNIA

10/14/2021
11:31:18 AM

21-007

EXTERIOR ELEVATION

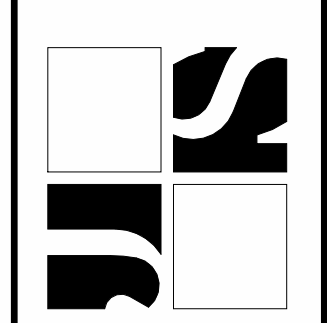
A3.00



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GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

PROJECT

SUBMITTAL

STAMP

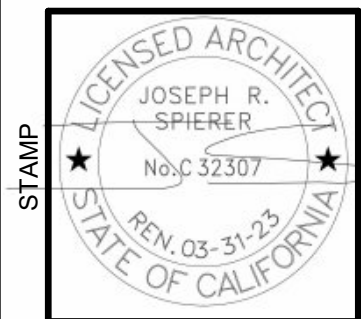
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PROJECT #

DWG TITLE

SHEET NO.

TYPE	DATE



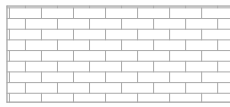

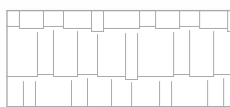


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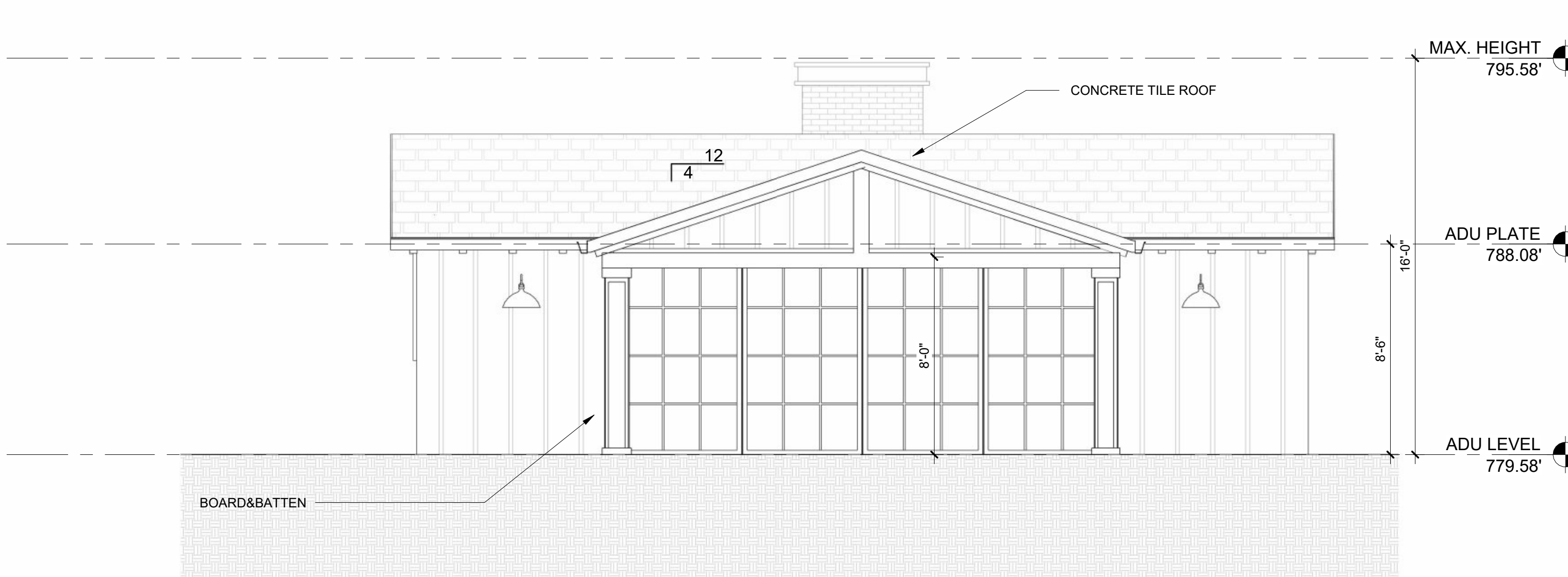
21-007

EXTERIOR
ELEVATION

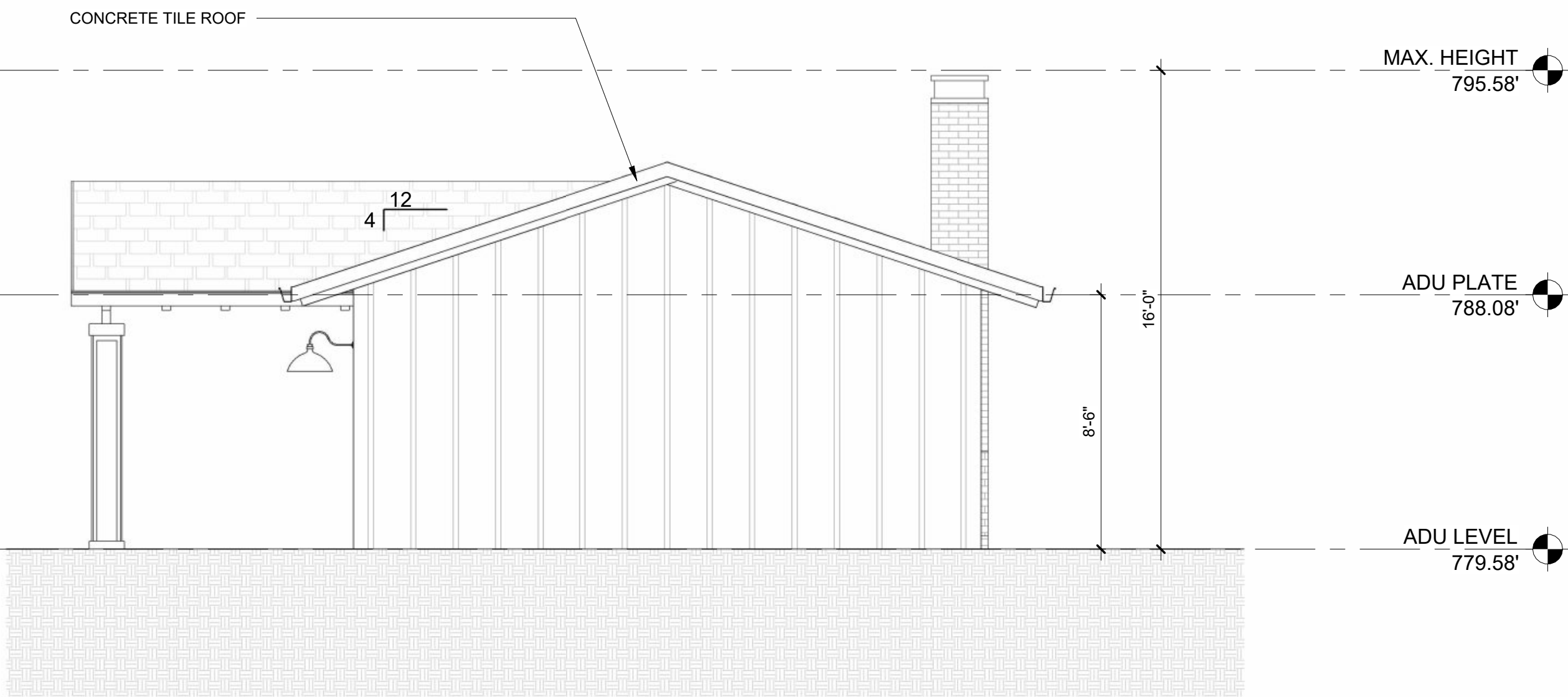
A3.01

ELEVATION LEGEND

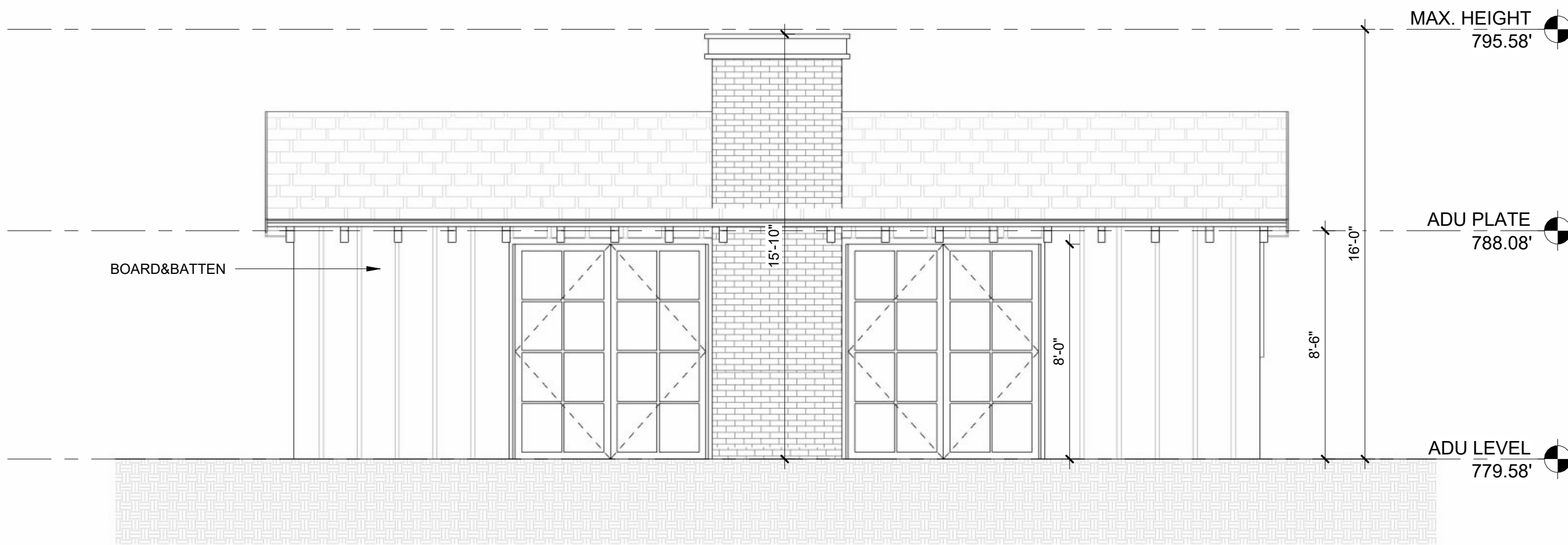
-  WHITEWASHED BRICK
-  BOARD AND BATTEN
-  CONCRETE TILE
-  STUCCO
-  PARTS TO BE DEMOLISHED



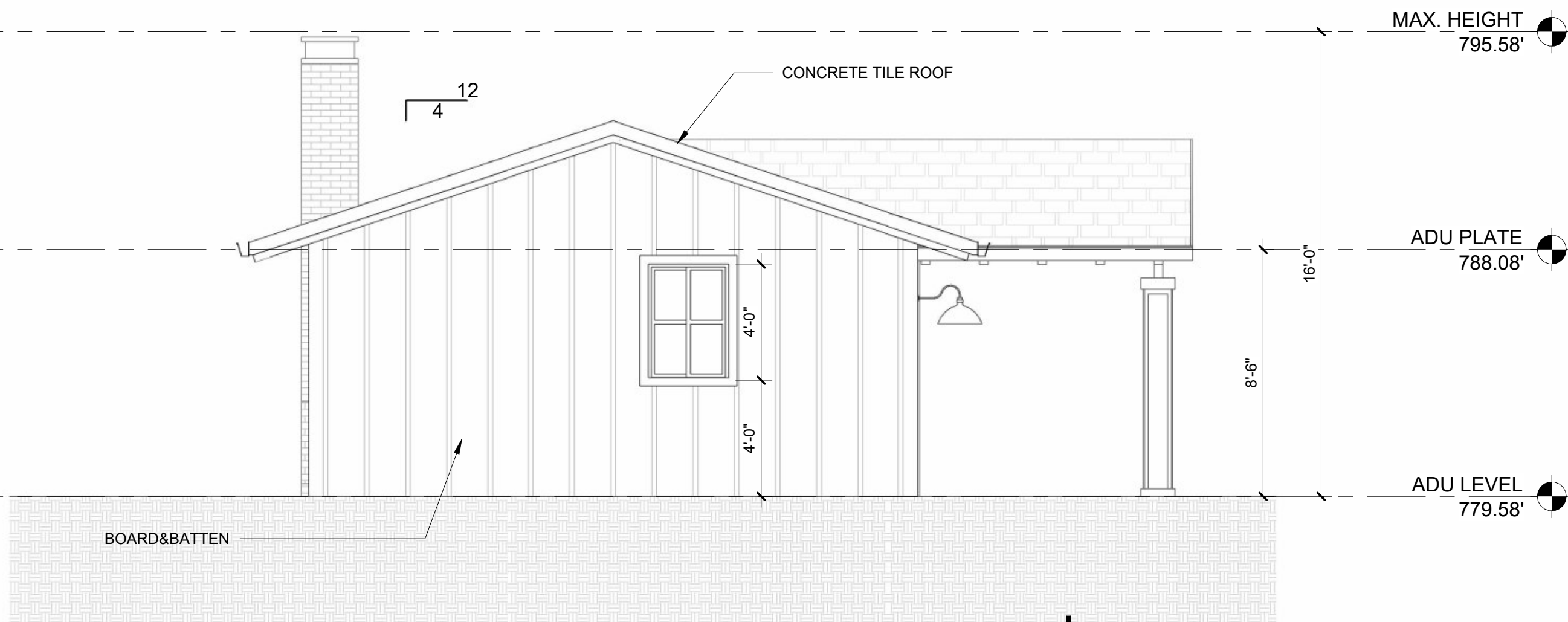
NORTHEAST ADU ELEVATION | 1
1/4" = 1'-0"



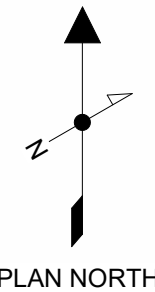
SOUTHWEST ADU ELEVATION | 4
1/4" = 1'-0"



NORTHWEST ADU ELEVATION | 2
1/4" = 1'-0"



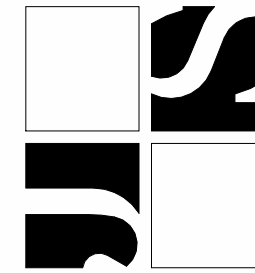
SOUTHEAST ADU ELEVATION | 3
1/4" = 1'-0"



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PROJECT
GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

#	TYPE	DATE

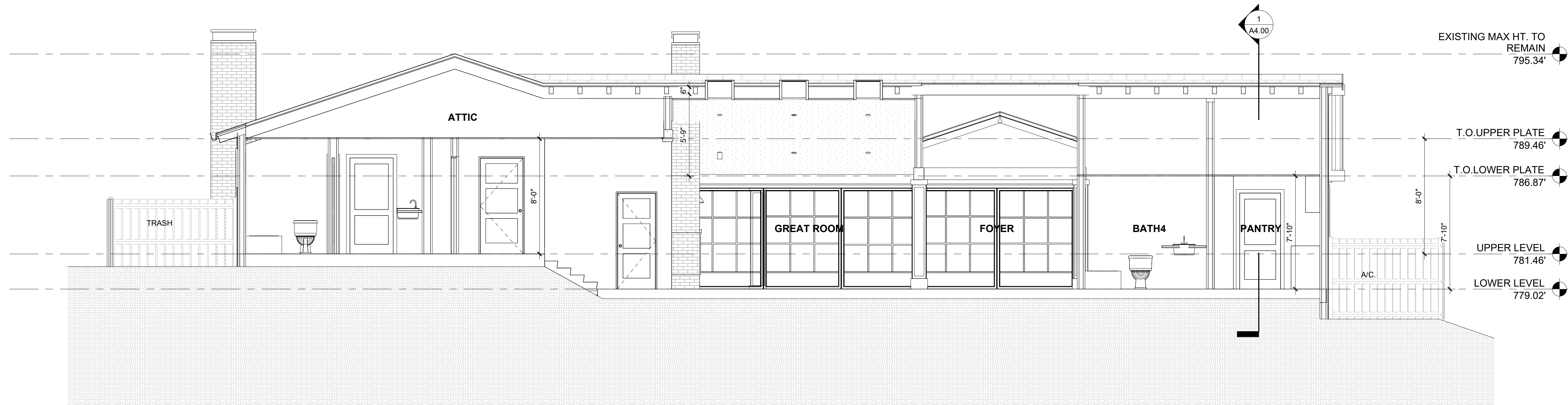


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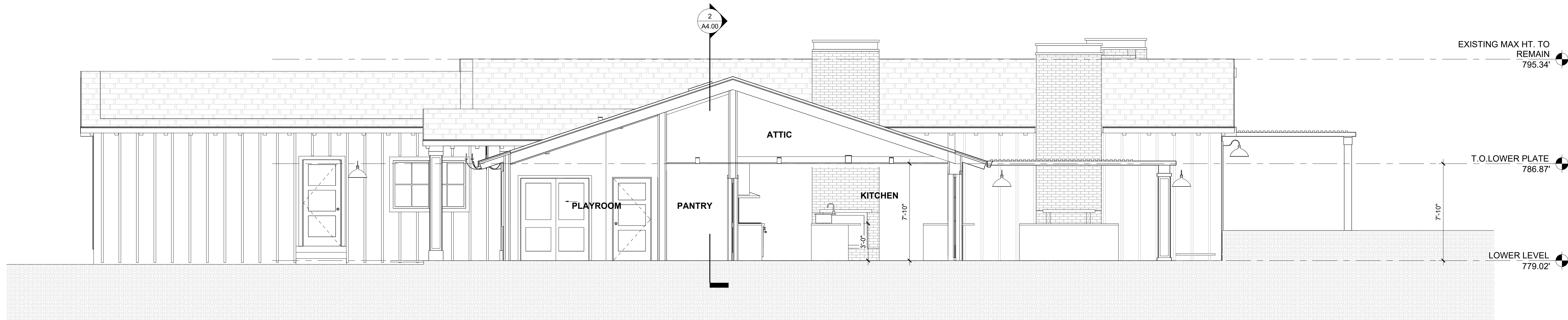
PROJECT #
21-007

DWG TITLE
PROPOSED
ADU
ELEVATIONS

SHEET NO.
A3.02



BUILDING SECTION 2 | 2
1/4" = 1'-0"



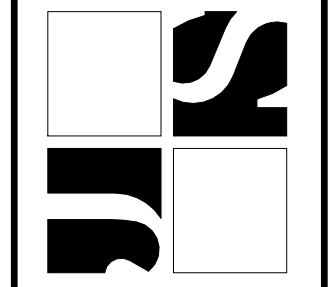
BUILDING SECTION 1 | 1
1/4" = 1'-0"



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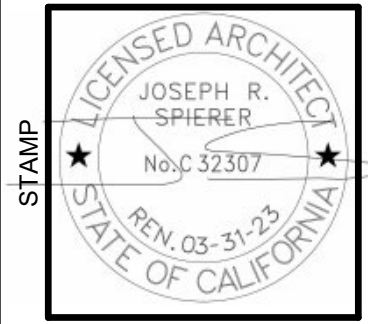
(ROLLING HILLS PLANNING 2ND SUBMITTAL)

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PROJECT
GONZALEZ RESIDENCE
79 EASTFIELD DRIVE, ROLLING HILLS, CA 90274

#	TYPE	DATE



DATE
10/14/2021
11:31:28 AM

PROJECT #
21-007

DWG TITLE
BUILDING SECTION

SHEET NO.
A4.00

DOOR SCHEDULE

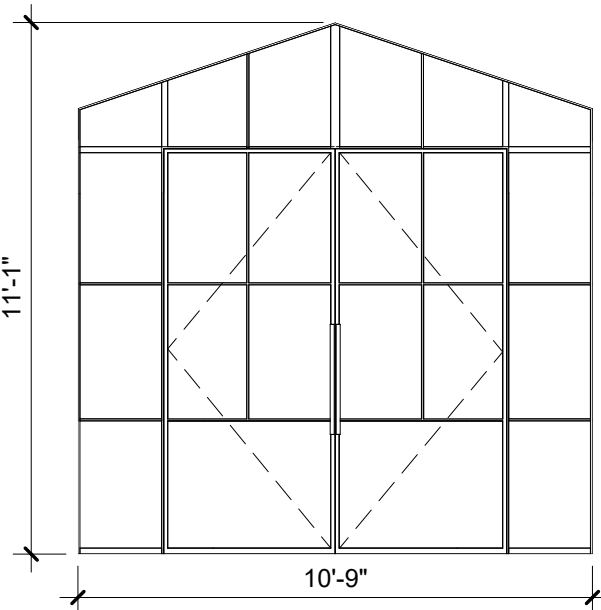
DOOR #	DOOR						FRAME		HARDWARE	FIRE RATING	R-VALUE	U-VALUE	HEADER DETAIL	JAMB DETAIL	TRESHOLD DETAIL	COMMENTS
	SIZE		TYPE	THICKNESS	MATERIAL	FINISH	MATERIAL	FINISH								
	WIDTH	HEIGHT														

100	SEE DETAIL	SEE DETAIL	A	1'-3/4"	AL/GL	TBD	AL	TBD	TBD			SEE TITLE 24	SEE TITLE 24	1/A6.03	2/A6.03	0"	SEE NOTES 2,3,5,7,8,9,10
104	SEE DETAIL	SEE DETAIL"	E	1'-3/4"	AL/GL	TBD	AL	TBD	TBD					7/A6.02	8/A6.02		SEE NOTES 2,3,5,7,8,9,10
105	2'-10"	7'-0"	F	1'-3/4"	AL/GL	TBD	AL	TBD	TBD					1/A6.01	2/A6.01		SEE NOTES 2,3,5,7,8,9,10
106	2'-10"	6'-8"	G	1'-3/4"	WD	TBD	WD	TBD	TBD					1/A6.02	2/A6.02		SEE NOTE 1
107	2'-8"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
108	3'-0"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
109	5'-6"	6'-8"	J	1'-3/4"	WD	TBD	WD	TBD	TBD					4/A6.02	5/A6.02		SEE NOTE 1
110	4'-6"	6'-8"	K	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
111	4'-6"	6'-8"	K	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
112	3'-0"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
113	2'-8"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
114	2'-8"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1

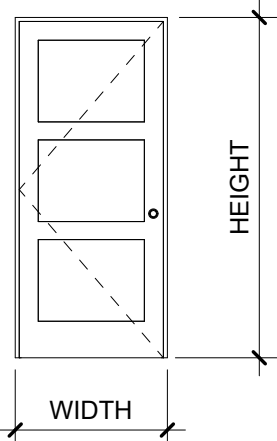
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201	7'-1"	8'-0"	M	1'-3/4"	AL/GL	TBD	AL	TBD	TBD					1/A6.01	2/A6.01		SEE NOTES 2,3,5,7,8,9,10
202	7'-1"	8'-0"	M	1'-3/4"	AL/GL	TBD	AL	TBD	TBD					1/A6.01	2/A6.01		SEE NOTES 2,3,5,7,8,9,10
203	2'-8"	8'-0"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
204	2'-10"	8'-0"	G	1'-3/4"	WD	TBD	WD	TBD	TBD					1/A6.02	2/A6.02		SEE NOTE 1

101	3'-0"	7'-0"	B	1'-3/4"								SEE TITLE 24	SEE TITLE 24				SEE NOTE 1
102	16'-0"	7'-0"	C	1'-3/4"	WD	TBD	WD	TBD	TBD					4/A6.01	5/A6.01		SEE NOTES 1,7
116	2'-8"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
117	3'-0"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
118	6'-2"	6'-8"	J	1'-3/4"	WD	TBD	WD	TBD	TBD					4/A6.02	5/A6.02		SEE NOTE 1
119	3'-0"	6'-8"	G	1'-3/4"	WD	TBD	WD	TBD	TBD					1/A6.02	2/A6.02		SEE NOTE 1
120	2'-8"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD	20 MIN				7/A6.01	8/A6.01		SEE NOTE 1

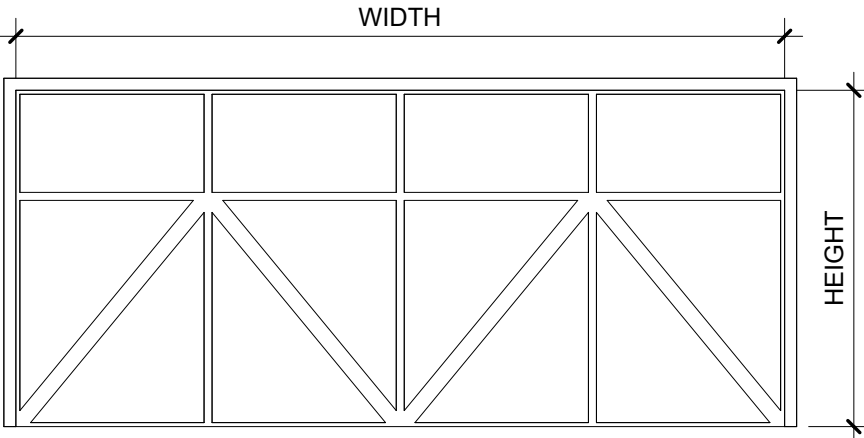
103	SEE DETAIL	SEE DETAIL	D	1'-3/4"	AL/GL	TBD	AL	TBD	TBD			SEE TITLE 24	SEE TITLE 24	10/A6.01	11/A6.01		SEE NOTES 2,3,5,7,8,9,10
115	2'-8"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
121	2'-10"	6'-8"	G	1'-3/4"	WD	TBD	WD	TBD	TBD					1/A6.02	2/A6.02		SEE NOTE 1
122	3'-0"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
123	4'-6"	6'-8"	K	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
124	3'-0"	6'-8"	G	1'-3/4"	WD	TBD	WD	TBD	TBD					1/A6.02	2/A6.02		SEE NOTE 1
125	2'-10"	6'-8"	G	1'-3/4"	WD	TBD	WD	TBD	TBD					1/A6.02	2/A6.02		SEE NOTE 1
126	3'-0"	6'-8"	G	1'-3/4"	WD	TBD	WD	TBD	TBD					1/A6.02	2/A6.02		SEE NOTE 1
127	3'-0"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
128	2'-8"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
129	3'-0"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
130	3'-0"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
131	3'-0"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
132	3'-0"	6'-8"	H	1'-3/4"	WD	TBD	WD	TBD	TBD					7/A6.01	8/A6.01		SEE NOTE 1
133	3'-0"	6'-8"	G	1'-3/4"	WD	TBD	WD	TBD	TBD					1/A6.02	2/A6.02		SEE NOTE 1



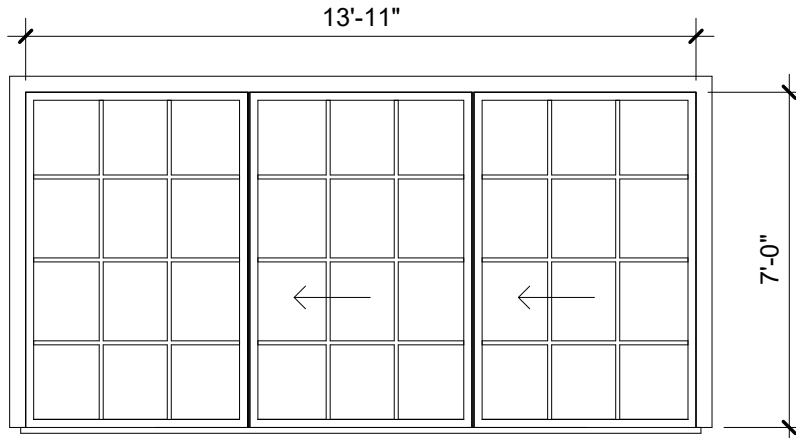
A
ENTRY DOOR



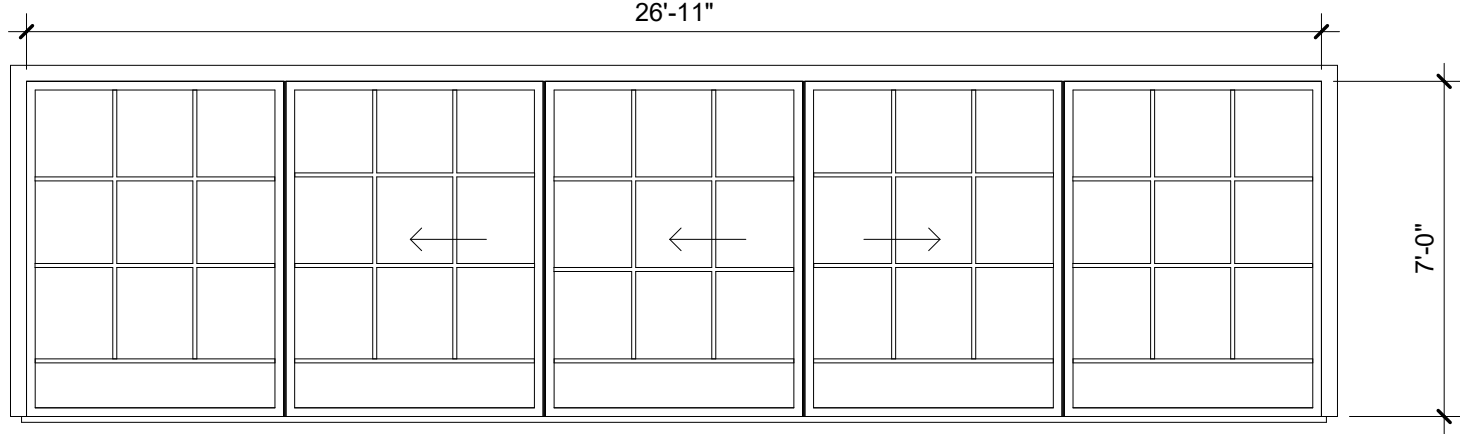
B
EXTERIOR DOOR



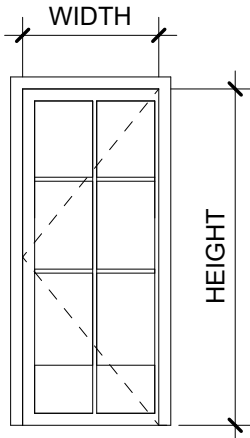
C
GARAGE DOOR



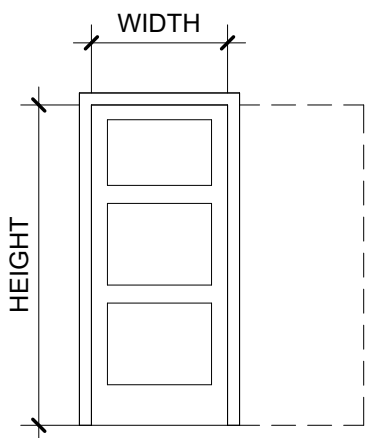
D
THREE-PANEL SLIDING DOOR



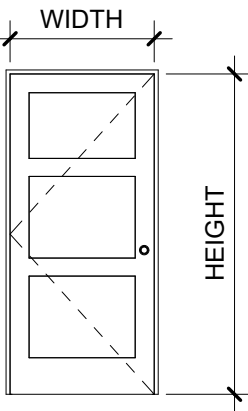
E
5-PANEL GLASS SLIDING DOOR



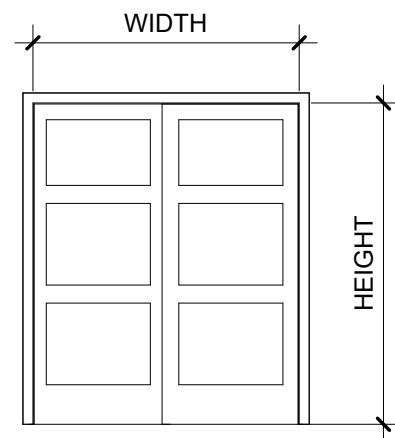
F
GLASS SWING DOOR



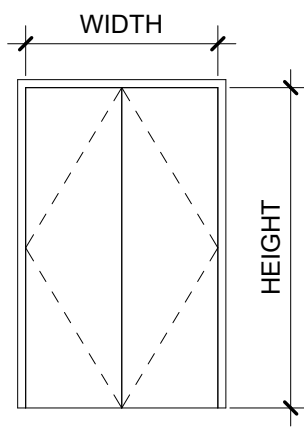
G
INTERIOR POCKET DOOR



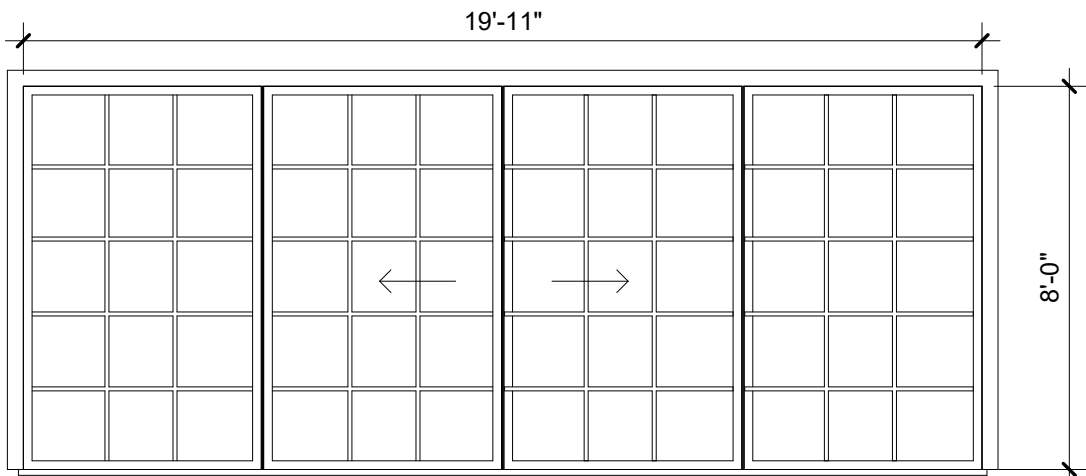
H
INTERIOR SWING DOOR



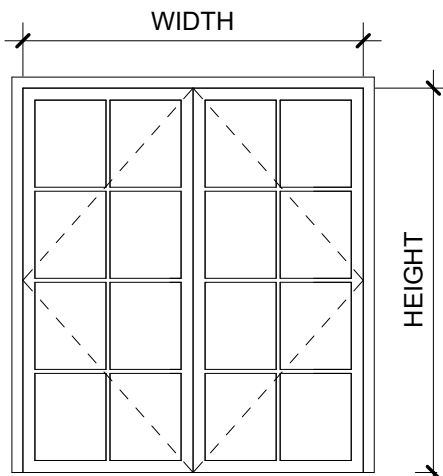
J
INTERIOR SLIDING CLOSET DOOR



K
INTERIOR CLOSET SWING DOOR



L
ADU SLIDING DOOR

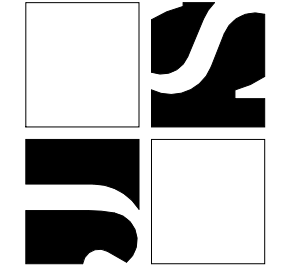


M
ADU FRENCH DOOR

DOOR NOTES

- Wood flush - type doors shall be 1 3/4" thick minimum with solid core construction 91.8709.1 - door stops of in-swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb. (6709.4)
- Provide dead bolts with hardened inserts; deadlocking, latch with key-operated locks on exterior. Locks must be operable from inside without key, special knowledge or special effort (latch not required in B,F, and S occupancies. (6709.2)
- Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4".
- Doors opening into one-hour resistive corridors shall be protected with a smoke or draft-stop fire assembly having a minimum 20-minute rating. Show on door schedule
- The use of a locking system which consists of a deadlocking latch operated by a doorknob and a deadbolt operated by a non-removable thumb turn which is independent of the deadlocking latch and which must be separately operated, shall not be considered as a system which requires special knowledge or effort when used in dwelling units. The door knob and the thumb turn which operates the deadbolt shall not be separated by more than 8 inches.
- Garage door springs: (per section R309.5)
 - Spring shall be fabricated from either hard-drawn spring wire (per ASTM-A227-21) or oil tempered wire (per ASTM-A229-71).
 - Minimum design standard shall be 9,000 cycles.
 - Physical cycling tests shall be performed and certified by an approved testing agency.
 - Each spring shall be equipped with an approved device capable of restraining the spring or any part thereof in the event it breaks, containment device shall be tested and certified by an approved testing agency.
- Use safety glazing in windows/glass doors located in hazardous locations per sect. R308.4. See plans for affected windows/doors
 - Safety glazing is required in wall enclosures, or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers, and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches measure vertically above any standing or walking surface.
 - Safety glazing is required in all fixed panels of swinging, sliding, and bifold doors.
 - Owner shall approve all selections
 - Safety glazing is required when the bottom edge of the glazing is less than 18" above the floor.
 - Safety glazing is required when the top edge of the glazing is greater is than 36 inches above the floor
- Exterior glazing shall be MULTI-PANE units with a minimum of ONE TEMPERED PANE, or glass block units, or minimum 20-min. rated, or complies withSFM 12-7A-2.
- Exterior doors shall meet one of the following:
 - Noncombustible material OR
 - Ignition-resistant material OR
 - Solid core wood having stiles and rails not less than 1-3/8-in. thick with interior panel thickness not less than 1-1/4-in. thick. OR
 - Minimum 20-min. rated OR
 - Complies with SFM 12-7A-1
- All glass in doors shall be tempered.
- All doors shall have U-factor 0.38, SHGC 0.38
- Door & frame material
- Indicates the primary construction material of the door. Refer to the abbreviations below for door materials.

AL	=	Aluminum
AL CL	=	Aluminum Clad Wood
CL	=	Chain Link
ST	=	Steel
SR	=	Sound Rated Door
PT	=	Paint
WD	=	Wood
WM	=	Wire Mesh
- Owner shall approve all materials, finishes, and product selections prior to procurement.



#	TYPE	DATE



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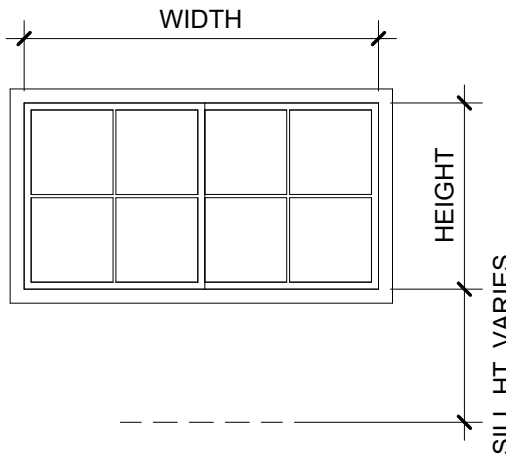
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DOOR
SCHEDULE

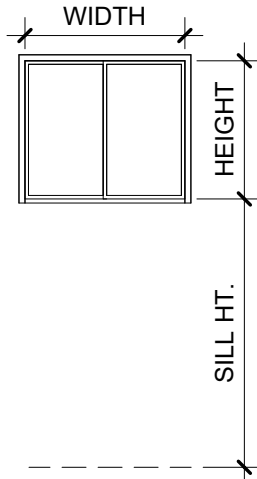
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WINDOW SCHEDULE

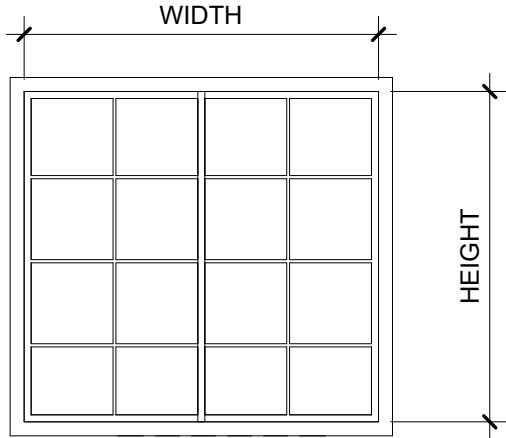
SYMBOL	WINDOW			FRAME		SILL HT. (A.F.F.)	HEAD HT. (A.F.F.)	FIRE RATI NG	R-VALUE	U-VALUE	WINDOW HEADER DETAIL	WINDOW JAMB DETAIL	WINDOW SILL DETAIL	COMMENTS
	SIZE WIDTH HEIGHT	TYP E	GLAZING	MATERIAL	FINISH									
LOWER LEVEL														
AA	7'-6"	4'-0"	1			3'-0"	7'-0"		SEE TITLE 24	SEE TITLE 24				SEE NOTES 1,2,3
AG	10'-0"	4'-0"	4			2'-8 1/2"	6'-8 1/2"		SEE TITLE 24	SEE TITLE 24				SEE NIOTES 2,3
AH	7'-6"	4'-0"	1			3'-0"	7'-0"		SEE TITLE 24	SEE TITLE 24				SEE NIOTES 2,3
AI	7'-6"	4'-0"	1			3'-0"	7'-0"		SEE TITLE 24	SEE TITLE 24				SEE NOTES 1,2,3
AJ	7'-6"	4'-0"	1			3'-0"	7'-0"		SEE TITLE 24	SEE TITLE 24				SEE NOTES 1,2,3
ADU LEVEL														
BA	2'-9"	4'-0"	5			4'-0"	8'-0"		SEE TITLE 24	SEE TITLE 24				SEE NIOTES 2,3
GARAGE LEVEL														
AB	6'-0"	4'-0"	1			3'-0"	7'-0"		SEE TITLE 24	SEE TITLE 24				SEE NIOTES 2,3
AK	6'-0"	4'-0"	1			3'-0"	7'-0"		SEE TITLE 24	SEE TITLE 24				SEE NOTES 1,2,3
UPPER LEVEL														
AC	7'-6"	4'-0"	1			3'-0"	7'-0"		SEE TITLE 24	SEE TITLE 24				SEE NOTES 1,2,3
AD	3'-7"	2'-2"	2			4'-10"	7'-0"		SEE TITLE 24	SEE TITLE 24				SEE NIOTES 2,3
AE	7'-6"	4'-0"	1			3'-0"	7'-0"		SEE TITLE 24	SEE TITLE 24				SEE NOTES 1,2,3
AF	7'-6"	7'-0"	3			0"	7'-0"		SEE TITLE 24	SEE TITLE 24				SEE NIOTES 2,3



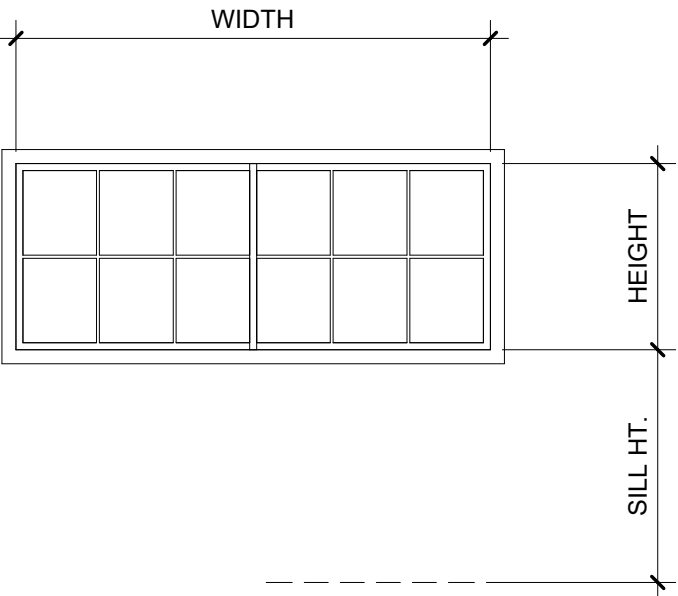
1
SLIDING WINDOW



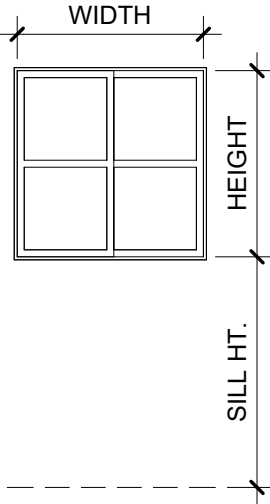
2
BATHROOM WINDOW



3
MASTER BATH WINDOW



4
KITCHEN SLIDING WINDOW



5
ADU BATH WINDOW

WINDOW TYPE NOTES

- Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (R310.1.1). The minimum net clear opening height shall be 24". The minimum net clear opening width shall be 20". Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44" measured from the floor.
- For U-Factor & SHGC see Title 24 Analysis.
- Use safety glazing in windows/glass doors located in hazardous locations per sect. R308.4. See plans for affected windows / doors:
 - Safety glazing is required in wall enclosures, or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers, and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches measure vertically above any standing or walking surface.
 - Safety glazing is required in all fixed panels of swinging, sliding, and bifold doors.
 - Safety glazing is required in an individual fixed or operable panel that is greater than 9 sf.
 - Owner shall approve all selections
 - Safety glazing is required when the bottom edge of the glazing is less than 18" above the floor
 - Safety glazing is required when the top edge of the glazing is greater is than 36 inches above the floor
- Exterior windows, window walls, glazed doors, and glazed openings within exterior doors shall be insulating- glass units with a minimum of one tempered pane, or glass block units, or have a fire- resistance rating of not less than 20 minutes, when tested according to ASTM E 2010, or conform to the performance requirements of SFM 12-7A-2 (704A.3.2.2).
- All new windows to match existing window, where applicable.
- All glass in windows shall be tempered.
- All windows shall have U-factor 0.38, SHGC 0.38
- Skylights shall have U-factor 0.49, SHGC 0.39
- Owner shall approve all materials, finishes, and product selections prior to procurement.**
Window & frame material
Indicates the primary construction material of the window. Refer to the abbreviations below for window materials.

AL	=	Aluminum
AL CL	=	Aluminum Clad Wood
CL	=	Chain Link
ST	=	Steel
SR	=	Sound Rated Door
PT	=	Paint
WD	=	Wood
WM	=	Wire Mesh
-

GONZALEZ RESIDENCE: GRADING & DRAINAGE IMPROVEMENT PLANS



<u>OWNER/PROJECT LOCATION:</u>	<u>SURVEYOR:</u>
BERTO GONZALEZ	SAM A. SOLIVEN
79 EASTFIELD DRIVE	1215 W. IMPERIAL HWY. SUITE 208
ROLLING HILLS, CA 90274	BREA, CA 92821

LEGAL DESCRIPTION:
A.P.N.: 7567-005-028
LEGAL: RECORD OF SURVEY AS PER BK 58,
PGS 6 TO 10 OF RECORD OF SURVEYS LOT 14

CIVIL ENGINEER:
PALOS VERDES ENGINEERING CORP
550 DEEP VALLEY ROAD, SUITE 273
ROLLING HILLS ESTATES, CA 90274

ARCHITECT:
JOSEPH SPIERER ARCHITECTS, INC.
707 TORRANCE BLVD., SUITE 100
REDONDO BEACH, CA 90277

[illegible]

SCOPE OF WORK: THIS PROJECT IS A REDEVELOPMENT PROJECT FOR AN EXISTING SINGLE FAMILY PARCEL.

1. GENERAL CONTRACTOR TO UNDERTAKE THE GRADING AND DRAINAGE IMPROVEMENTS PER THE APPROVED PLANS.
2. GENERAL CONTRACTOR TO CONSTRUCT THESE IMPROVEMENTS AS SHOWN ON THE PLANS, IN COMPLIANCE WITH CITY REQUIREMENTS AND THE SOILS ENGINEER'S RECOMMENDATIONS.

	<u>CUT</u>	<u>FILL</u>
POOL/SPA EXCAVATION	188 C.Y.	188 C.Y.
SITE PREPARATION	127 C.Y.	127 C.Y.
REMOVAL & RECOMPACTION	0 C.Y.	0 C.Y.

TOTAL SUM OF ALL CUT AND FILL FROM ABOVE: 630 C.Y.

IMPORT/EXPORT	NONE	NONE
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* EXEMPTION: CUT FROM POOL & FILL EQ. FROM ABOVE - 188 C.Y. EA.

* * MAX. CUT=6' LOCATED AT THE REAR YARD PROPOSED POOL.

VICINITY MAP	1	PROJECT DATA	2	SHEET INDEX	4	SCOPE OF WORK	5	EARTHWORK QUANTITIES	6	unless wet stamped and signed by Palos Verdes Engineering Corporation
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GENERAL NOTES:

- ALL GRADING AND CONSTRUCTION SHALL CONFORM TO THE 2014 COUNTY OF LOS ANGELES BUILDING CODES AND THE STATE MODEL WATER EFFICIENCY LANDSCAPE ORDINANCE UNLESS SPECIFICALLY NOTED ON THESE PLANS.
2. ANY MODIFICATIONS OF OR CHANGES TO APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
3. NO GRADING SHALL BE STARTED WITHOUT FIRST NOTIFYING THE BUILDING OFFICIAL. A PRE-GRADING MEETING AT THE SITE IS REQUIRED BEFORE THE START OF THE GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, COUNTY GRADING INSPECTOR(S) OR THEIR REPRESENTATIVES, AND WHEN REQUIRED THE ARCHEOLOGIST OR OTHER JURISDICTIONAL AGENCIES. PERMITTEE OR HIS AGENT ARE RESPONSIBLE FOR ARRANGING PRE-GRADING MEETING AND MUST NOTIFY THE BUILDING OFFICIAL AT LEAST TWO BUSINESS DAYS PRIOR TO PROPOSED PRE-GRADING MEETING.
4. APPROVAL OF THESE PLANS REFLECT SOLELY THE REVIEW OF PLANS IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODES AND DOES NOT REFLECT ANY POSITION BY THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS REGARDING THE STATUS OF ANY TITLE ISSUES RELATING TO THE GRADING OR THE IMPROVEMENTS MAY BE CONSTRUCTED. ANY DISPUTES RELATING TO TITLE ARE SOLELY A PRIVATE MATTER NOT INVOLVING THE COUNTY OF LOS ANGELES OR THE DEPARTMENT OF PUBLIC WORKS.
5. ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL COMPLY WITH COUNTY OF LOS ANGELES CODE, TITLE 12, SECTION 12.12.03.0 THAT CONTROLS AND RESTRICTS NOISE FROM THE USE OF CONSTRUCTION AND GRADING EQUIPMENT FROM THE HOURS OF 8:00 PM TO 6:30 AM. AND ON SUNDAYS AND HOLIDAYS. (MORE RESTRICTIVE CONSTRUCTION ACTIVITY TIMES MAY GOVERN, AS REQUIRED BY THE DEPARTMENT OF REGIONAL PLANNING AND SHOULD BE SHOWN ON THE GRADING PLANS WHEN APPLICABLE.)
6. CALIFORNIA PUBLIC RESOURCES CODE (SECTION 5097.98) AND HEALTH AND SAFETY CODE (SECTION 7050.5) ADDRESS THE DISCOVERY AND DISPOSITION OF HUMAN REMAINS. IN THE EVENT OF DISCOVERY OR RECOGNITION OF ANY HUMAN REMAINS IN ANY LOCATION OTHER THAN A DEDICATED CEMETERY, THE LAW REQUIRES THAT GRADING IMMEDIATELY STOPS AND NO FURTHER EXCAVATION OR DISTURBANCE OF THE SITE, OR ANY NEARBY AREA WHERE HUMAN REMAINS MAY BE LOCATED, OCCUR UNTIL THE FOLLOWING HAS BEEN MEASURES HAVE BEEN TAKEN:
 - A. THE COUNTY CORONER HAS BEEN INFORMED AND HAS DETERMINED THAT NO INVESTIGATION OF THE CAUSE OF DEATH IS REQUIRED, AND
 - B. IF THE REMAINS ARE OF NATIVE AMERICAN ORIGIN, THE DESCENDANTS FROM THE DECEASED NATIVE AMERICAN HAVES MADE A RECOMMENDATION FOR THE MEANS OF TREATING OR DISPOSING, WITH APPROPRIATE DIGNITY, OF THE HUMAN REMAINS AND ANY ASSOCIATED GRAVE GOODS.
7. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
8. ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMP SITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMP SITE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.
9. A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
10. SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR. PRIOR TO GRADING, AS REQUESTED BY THE BUILDING OFFICIAL, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.
11. NO GRADING OR CONSTRUCTION SHALL OCCUR WITHIN THE PROTECTED ZONE OF ANY OAK TREE AS REQUIRED PER TITLE CHAPTER 22.56 OF THE COUNTY OF LOS ANGELES ZONING CODE. THE PROTECTED ZONE SHALL MEAN THAT AREA WITHIN THE DRIP LINE OF AN OAK TREE EXTENDING THERE FROM A POINT AT LEAST FIVE FEET OUTSIDE THE DRIP LINE, OR 15 FEET FROM THE TRUNK(S) OF A TREE, WHICHEVER IS GREATER.
12. THE STANDARD RETAINING WALL DETAILS SHOWN ON THE GRADING PLANS ARE FOR REFERENCE ONLY. STANDARD RETAINING WALLS ARE NOT CHECKED, PERMITTED, OR INSPECTED PER THE GRADING PERMIT. A SEPARATE RETAINING WALL PERMIT IS REQUIRED FOR ALL STANDARD RETAINING WALLS. THIS NOTE ONLY APPLIES TO STANDARD RETAINING WALLS. GEOGRID FABRIC AND SEGMENTAL RETAINING WALLS DO NOT REQUIRE A SEPARATE RETAINING WALL PERMIT. DETAILS AND CONSTRUCTION NOTES FOR ALL GEOGRID WALLS MUST BE ON THE GRADING PLAN.
13. A PREVENTIVE PROGRAM TO PROTECT THE SLOPES FROM POTENTIAL DAMAGE FROM BURROWING RODENTS IS REQUIRED PER SECTION J101.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE. OWNER IS TO INSPECT SLOPES PERIODICALLY FOR EVIDENCE OF BURROWING RODENTS AND A FIRST EVIDENCE OF THEIR EXISTENCE SHALL EMPLOY AN EXTERMINATOR FOR THEIR REMOVAL.
14. WHERE A GRADING PERMIT IS ISSUED AND THE BUILDING OFFICIAL DETERMINES THAT THE GRADING WILL NOT BE SUBMITTED TO NOVEMBER 1, THE OWNER OF THE SITE THE GRADING IS BEING PERFORMED SHALL, ON OR BEFORE OCTOBER 1, FILE OR CAUSE TO BE FILED WITH THE BUILDING OFFICIAL AN ESCP PER SECTION J101.8.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
15. TRANSFER OF RESPONSIBILITY: IF THE FIELD ENGINEER, THE SOILS ENGINEER, OR THE ENGINEERING GEOLOGIST HAS BEEN CHANGED DURING THE WORK, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THEIR RESPONSIBILITY WITHIN THE AREA OF TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE BUILDING OFFICIAL IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF SUCH GRADING.
16. THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE BUILDING OFFICIAL AT LEAST ONE WORKING DAY IN ADVANCE OF REQUIRED INSPECTIONS AT FOLLOWING STAGES OF THE WORK. (SECTION J105.7 OF THE BUILDING CODE.)
 - A. PRE-GRADE - BEFORE THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION
 - B. INITIAL - WHEN THE SITE HAS BEEN CLEARED OF VEGETATION AND UNAPPROVED FILL HAS BEEN SCAFFERD, BENCHED OR OTHERWISE PREPARED FOR FILL. FILL SHALL NOT BE PLACED PRIOR TO THIS INSPECTION. NOTE: PRIOR TO CONSTRUCTION ACTIVITIES, INCLUDING GRADING, ALL STORM WATER POLLUTION PREVENTION MEASURES INCLUDING EROSION CONTROL DEVICES WHICH CONTAIN SEDIMENTS MUST BE INSTALLED.
 - C. FINISH - WHEN APPROXIMATE FINAL ELEVATIONS HAVE BEEN ESTABLISHED, DRAINAGE TERRACES, SWALES AND BERM ARE INSTALLED AT THE TOP OF THE SLOPE, AND THE STATEMENTS REQUIRED IN THIS SECTION HAVE BEEN RECEIVED.
 - D. FINAL - WHEN GRADING HAS BEEN COMPLETED, ALL DRAINAGE DEVICES INSTALLED; SLOPE PLANTING ESTABLISHED, IRRIGATION SYSTEMS INSTALLED AND THE AS-BUILT PLANS, REQUIRED STATEMENTS, AND REPORTS HAVE BEEN SUBMITTED AND APPROVED.
17. IN ADDITION TO THE INSPECTION REQUIRED BY THE BUILDING OFFICIAL FOR GRADING, REPORTS AND STATEMENTS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL IN ACCORDANCE WITH SECTION J106 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

INSPECTION NOTES:

18. UNLESS OTHERWISE DIRECTED BY THE BUILDING OFFICIAL, THE FIELD ENGINEER FOR ALL ENGINEERED GRADING PROJECTS SHALL PREPARE ROUTINE INSPECTION REPORTS AS REQUIRED UNDER SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE. THESE REPORTS, KNOWN AS "REPORT OF GRADING ACTIVITIES", SHALL BE SUBMITTED TO THE BUILDING OFFICIAL AS FOLLOWS:
 - A. BI-WEEKLY DURING ALL TIMES WHEN GRADING OF 400 CUBIC YARDS OR MORE PER WEEK IS OCCURRING ON THE SITE;
 - B. MONTHLY, AT ALL OTHER TIMES; AND
 - C. AT ANY TIME WHEN REQUESTED IN WRITING BY THE BUILDING OFFICIAL. SUCH "REPORT OF GRADING ACTIVITIES" SHALL CERTIFY TO THE BUILDING OFFICIAL THAT THE FIELD ENGINEER HAS INSPECTED THE GRADING SITE AND RELATED ACTIVITIES AND HAS FOUND THEM IN COMPLIANCE WITH THE APPROVED GRADING PLANS AND SPECIFICATIONS, THE BUILDING CODE, ALL GRADING PERMIT CONDITIONS, AND ALL OTHER APPLICABLE ORDINANCES AND REQUIREMENTS. THIS FORM IS AVAILABLE AT THE FOLLOWING WEBSITE: <http://dpw.lacounty.gov/bsddg/default.aspx>. "REPORT OF GRADING ACTIVITIES" MAY BE SCANNED AND UPLOADED AT THE WEBSITE OR FAXED TO (310) 530-5482. FAILURE TO PROVIDE REQUIRED INSPECTION REPORTS WILL RESULT IN A "STOP WORK ORDER."
19. ALL GRADED SITES MUST HAVE DRAINAGE SWALES, BERMS, AND OTHER DRAINAGE DEVICES INSTALLED PRIOR TO ROUGH GRADING APPROVAL PER SECTION J105.7 OF THE COUNTY OF LOS ANGELES BUILDING CODE.
20. THE GRADING CONTRACTOR SHALL SUBMIT THE STATEMENT TO THE GRADING INSPECTOR AS REQUIRED BY SECTION J105.12 OF THE COUNTY OF LOS ANGELES BUILDING CODE AT THE COMPLETION OF ROUGH GRADING.
21. FINAL GRADING MUST BE APPROVED BEFORE OCCUPANCY OF BUILDINGS WILL BE ALLOWED PER SECTION J105 OF THE COUNTY OF LOS ANGELES BUILDING CODE.

DRAINAGE NOTES:

22. ROOF DRAINAGE MUST BE DIVERTED FROM GRADED SLOPES.
23. PROVISIONS MUST BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
24. ALL STORM DRAIN WORK IS TO BE DONE UNDER CONTINUOUS INSPECTION BY THE FIELD ENGINEER. STATUS REPORTS REQUIRED UNDER NOTE 18 AND SECTION J105.11 OF THE COUNTY OF LOS ANGELES BUILDING CODE SHALL INCLUDE INSPECTION INFORMATION AND REPORTS ON THE STORM DRAIN INSTALLATION.AGENCY NOTES
25. AN ENCROACHMENT PERMIT /CONNECTION PERMIT IS REQUIRED FROM THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT FOR ALL WORK WITHIN THE COUNTY OF LOS ANGELES FLOOD CONTROL DISTRICT RIGHT OF WAY. ALL WORK SHALL CONFORM TO CONDITIONS SET BY THE PERMIT.
26. AN ENCROACHMENT PERMIT FROM (COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS)(CALTRANS)(CITY OF PALOS VERDES ESTATES) IS REQUIRED FOR ALL WORK WITHIN OR AFFECTING ROAD RIGHT OF WAY. ALL WORK WITHIN ROAD RIGHT OF WAY SHALL CONFORM TO (COUNTY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS)(CALTRANS)(CITY OF PALOS VERDES ESTATES) ENCROACHMENT PERMIT.
27. PERMISSION TO OPERATE IN VERY HIGH FIRE HAZARD SEVERITY ZONE MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU OR THE LOCAL FIRE STATION PRIOR TO COMMENCING WORK.
28. ALL CONSTRUCTION/DEMOLITION, GRADING, AND STORAGE OF BULK MATERIALS MUST COMPLY WITH THE LOCAL AQMD RULE 403 FOR FUGITIVE DUST. INFORMATION ON RULE 403 IS AVAILABLE AT AQMD'S WEBSITE [HTTP://WWW.AQAMD.COM](http://www.aqamd.com).
GENERAL GEOTECHNICAL NOTES
29. ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORT(S) AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.
30. GRADING OPERATIONS MUST BE CONDUCTED UNDER PERIODIC INSPECTIONS BY THE GEOTECHNICAL CONSULTANTS WITH MONTHLY INSPECTION REPORTS TO BE SUBMITTED TO THE GEOLOGY AND SOILS SECTION. (900 S. FREMONT, ALHAMBRA CA 91803 – 3RD FLOOR)
31. THE SOIL ENGINEER SHALL PROVIDE SUFFICIENT INSPECTIONS DURING THE PREPARATION OF THE NATURAL GROUND AND THE PLACEMENT AND COMPACTION OF THE FILL TO BE SATISFIED THAT THE WORK IS BEING PERFORMED IN ACCORDANCE WITH THE PLAN AND APPLICABLE CODE REQUIREMENTS.

ROUGH GRA

- REPORT. AN AS-BUILT GEOLOGIC MAP MUST BE INCLUDED IN THE FINAL GEOLOGY REPORT. PROVIDE A FINAL REPORT STATEMENT THAT VERIFIES WORK WAS DONE IN ACCORDANCE WITH REPORT RECOMMENDATIONS AND CODE PROVISIONS. THE GEOLOGY REPORT OF THE COUNTY OF LOS ANGELES BUILDING CODE, THE FINAL REPORT(S) MUST BE SUBMITTED TO THE GEOTECHNICAL AND MATERIALS ENGINEERING DIVISION FOR REVIEW AND APPROVAL.
33. FOUNDATION, WALL AND POOL EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOIL ENGINEER PRIOR TO THE PLACING OF STEEL OR CONCRETE.
34. BUILDING PADS LOCATED IN CUT/FILL TRANSITION AREAS SHALL BE OVER-EXCAVATED A MINIMUM OF THREE (3) FEET BELOW THE PROPOSED BOTTOM OF FOOTING.
- FILL NOTES:
35. ALL FILL SHALL BE COMPACTED TO THE FOLLOWING MINIMUM RELATIVE COMPACTION CRITERIA:
- A. 90 PERCENT OF MAXIMUM DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE.
- B. 93 PERCENT OF MAXIMUM DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90 PERCENT OF MAXIMUM DRY DENSITY) IS JUSTIFIED BY THE GEOTECHNICAL ENGINEER. THE RELATIVE COMPACTION SHALL BE DETERMINED BY A 20 MM. SOIL CORE SAMPLE TEST (ASTM-91) WHERE APPLICABLE. WHERE NOT APPLICABLE, A TEST ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE USED. (SECTION 1107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)
36. FIELD DENSITY TEST SHALL BE DETERMINED BY A METHOD ACCEPTABLE TO THE BUILDING OFFICIAL. (SECTION 1107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.) HOWEVER, NOT LESS THAN 10% OF THE REQUIRED DENSITY TEST, UNIFORMLY DISTRIBUTED, AND SHALL BE OBTAINED BY THE SAND CONE METHOD.

3. SUFFICIENT TESTS OF THE FILL SOILS SHALL BE MADE TO DETERMINE THE RELATIVE COMPACTION OF THE FILL IN ACCORDANCE WITH THE FOLLOWING MINIMUM GUIDELINES:
 - A. ONE TEST FOR EACH 2,000 VERTICAL LIFT.
 - B. ONE TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED.
 - C. ONE TEST AT THE LOCATION OF THE FINAL FILL SLOPE FOR EACH BUILDING SITE (LOT) IN EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
 - D. ONE TEST IN THE VICINITY OF EACH BUILDING PAD FOR EACH FOUR-FOOT VERTICAL LIFT OR PORTION THEREOF.
38. SUFFICIENT TESTS OF FILL SOILS SHALL BE MADE TO VERIFY THAT THE SOIL PROPERTIES COMPLY WITH THE DESIGN REQUIREMENTS, AS DETERMINED BY THE SOIL ENGINEER INCLUDING SOIL TYPES, SHEAR STRENGTHS PARAMETERS AND CORRESPONDING UNIT WEIGHTS IN ACCORDANCE WITH THE FOLLOWING GUIDELINES:
 - A. PRIOR AND SUBSEQUENT TO PLACEMENT OF THE FILL, SHEAR TESTS SHALL BE TAKEN ON EACH TYPE OF SOIL OR SOIL MIXTURE TO BE USED FOR ALL FILL SLOPES STEEPER THAN THREE (3) HORIZONTAL TO ONE VERTICAL PAGE 19
 - B. SHEAR TEST RESULTS FOR THE PROPOSED FILL MATERIAL MUST MEET OR EXCEED THE DESIGN VALUES USED IN THE GEOTECHNICAL REPORT TO DETERMINE SLOPE STABILITY REQUIREMENTS. OTHERWISE, THE SLOPE MUST BE REEVALUATED USING THE ACTUAL SHEAR TEST VALUE OF THE FILL MATERIAL THAT IS IN PLACE.
 - C. FILL SOILS SHALL BE FREE OF DELETERIOUS MATERIALS.
39. FILL SHALL NOT BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS, AND INSTALLATION OF SUBDRAIN (IF ANY) HAVE BEEN INSPECTED AND APPROVED BY THE SOIL ENGINEER. THE BUILDING OFFICIAL MAY REQUIRE A "STANDARD TEST METHOD FOR MOISTURE, ASH, ORGANIC MATTER, PEAT OR OTHER ORGANIC SOILS" ASTM D-2974-87 ON ANY SUSPECT MATERIAL. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. SOIL CONTAINING SMALL AMOUNTS OF ROOTS MAY BE ALLOWED PROVIDED THAT THE ROOTS ARE IN A QUANTITY AND DISTRIBUTED IN A MANNER THAT WILL NOT BE DETRIMENTAL TO THE FUTURE USE OF THE SITE AND THE SOILS ENGINEER APPROVES THE USE OF SUCH MATERIAL.
40. ROCK OR SIMILAR MATERIAL GREATER THAN 12 INCHES IN DIAMETER SHALL NOT BE PLACED IN THE FILL UNLESS RECOMMENDATIONS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOIL ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL. LOCATION, EXTENT, AND ELEVATION OF ROCK DISPOSAL AREAS MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
41. CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL FILL PLACEMENT AND COMPACTION OPERATIONS WHERE FILLS HAVE A DEPTH GREATER THAN 30 FEET OR SLOPE SURFACE STEEPER THAN 2:1. (SECTION 1107.8 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
42. CONTINUOUS INSPECTION BY THE SOIL ENGINEER, OR A RESPONSIBLE REPRESENTATIVE, SHALL BE PROVIDED DURING ALL SUBDRAIN INSTALLATION. (SECTION 1107.2 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
43. ALL SUBDRAIN OUTLETS ARE TO BE SURVEYED FOR LINE AND ELEVATION. SUBDRAIN INFORMATION MUST BE SHOWN ON AN "AS BUILT" GRADING PLAN.
44. FILL SLOPES IN EXCESS OF 2:1 STEEPNESS RATIO ARE TO BE CONSTRUCTED BY THE PLACEMENT OF SOIL AT SUFFICIENT DISTANCE BEYOND THE PROPOSED FINISH SLOPE TO ALLOW COMPACTION EQUIPMENT TO BE OPERATED AT THE OUTER LIMITS OF THE FINAL SLOPE SURFACE. THE EXCESS FILL IS TO BE REMOVED PRIOR TO COMPLETION OF ROUGH GRADING. OTHER CONSTRUCTION PROCEDURES MAY BE USED WHEN IT IS DEMONSTRATED TO THE SATISFACTION OF THE BUILDING OFFICIAL THAT THE ANGLE OF SLOPE, CONSTRUCTION METHOD AND OTHER FACTORS WILL HAVE EQUIVALENT EFFECT. (SECTION 1107.5 OF THE COUNTY OF LOS ANGELES BUILDING CODE.)

PLANTING AND IRRIGATION NOTES:


45. **PLANTING AND IRRIGATION ON GRADED SLOPES MUST COMPLY WITH THE FOLLOWING MINIMUM GUIDELINES:**
- A. THE SURFACE OF ALL CUT SLOPES MORE THAN 5 FEET IN HEIGHT AND FILL SLOPES MORE THAN 3 FEET IN HEIGHT SHALL BE PROTECTED AGAINST DAMAGE BY EROSION BY PLANTING WITH GRASS OR GROUNDCOVER PLANTS. SLOPES EXCEEDING 15 FEET IN VERTICAL HEIGHT SHALL ALSO BE PLANTED WITH SHRUBS, SPACED AT NOT TO EXCEED 10 FEET ON CENTERS, OR TREES, SPACED AT NOT TO EXCEED 20 FEET ON CENTERS, OR A COMBINATION OF SHRUBS AND TREES AT EQUIVALENT SPACING. IN ADDITION TO THE GRASS OR GROUNDCOVER PLANTS, THE PLANTS SELECTED AND PLANTING METHODS USED SHALL BE SUITABLE FOR THE SOIL AND CLIMATIC CONDITIONS OF THE SITE. PLANT MATERIAL SHALL BE SELECTED WHICH WILL PRODUCE A COVERAGE OF PERMANENT PLANTING EFFECTIVELY CONTROLLING EROSION. CONSIDERATION SHALL BE GIVEN TO DEEP-ROOTED PLANTING MATERIAL NEEDING LIMITED WATERING, MAINTENANCE, HIGH ROOT TO SHOOT RATIO, WIND SUSCEPTIBILITY AND FIRE RETARDANT CHARACTERISTICS. PLANTING MATERIALS SHALL BE APPROVED BY THE BUILDING OFFICIAL. (SECTION 110.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- NOTE: PLANTING MAY BE MODIFIED FOR THE SITE IF SPECIFIC RECOMMENDATIONS ARE PROVIDED BY BOTH THE SOILS ENGINEER AND A LANDSCAPE ARCHITECT. SPECIFIC RECOMMENDATIONS MUST CONSIDER SOILS AND CLIMATIC CONDITIONS, IRRIGATION REQUIREMENTS, PLANTING METHODS, FIRE RETARDANT CHARACTERISTICS, WATER EFFICIENCY, MAINTENANCE NEEDS AND OTHER REGULATORY REQUIREMENTS. RECOMMENDATIONS MUST INCLUDE A FINDING THAT AN ALTERNATIVE PLANTING WILL PROVIDE A PERMANENT AND EFFECTIVE METHOD OF EROSION CONTROL. MODIFICATIONS TO PLANTING MUST BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION.
- B. SLOPES REQUIRED TO BE PLANTED BY SECTION 110.3 SHALL BE PROVIDED WITH AN APPROVED SYSTEM OF IRRIGATION THAT IS DESIGNED TO COVER ALL PORTIONS OF THE SLOPE. IRRIGATION SYSTEM PLANS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. A FUNCTIONAL TEST OF THE SYSTEM MAY BE REQUIRED FOR SLOPES LESS THAN 50 FEET IN VERTICAL HEIGHT. HOSE BIBS TO PERMIT HAND WATERING WILL BE ACCEPTABLE IF SUCH HOSE BIBS ARE INSTALLED AT CONVENIENTLY ACCESSIBLE LOCATIONS WHERE A HOSE NO LONGER THAN 50 FEET IS NECESSARY FOR IRRIGATION. THE REQUIREMENTS FOR PERMANENT IRRIGATION SYSTEMS MAY BE MODIFIED UPON SPECIFIC RECOMMENDATION OF A LANDSCAPE ARCHITECT OR EQUIVALENT AUTHORITY THAT, BECAUSE OF THE TYPE OF PLANTS SELECTED, THE PLANTING METHODS USED AND THE SOIL AND CLIMATIC CONDITIONS AT THE SITE, IRRIGATION WILL NOT BE NECESSARY FOR THE MAINTENANCE OF THE SLOPE PLANTING. (SECTION 110.3 OF THE COUNTY OF LOS ANGELES BUILDING CODE)
- C. OTHER GOVERNING AGENCIES MAY HAVE ADDITIONAL REQUIREMENTS FOR LANDSCAPING AND IRRIGATION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE WITH OTHER AGENCIES TO MEET THEIR REQUIREMENTS WHILE MAINTAINING COMPLIANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODE.

NOTE: PLANTING MAY BE MODIFIED FOR THE SITE IF SPECIFIC RECOMMENDATIONS ARE PROVIDED BY BOTH THE SOILS ENGINEERING AND A LANDSCAPE ARCHITECT. SPECIFIC RECOMMENDATIONS MUST CONSIDER SOILS AND CLIMATIC CONDITIONS, IRRIGATION REQUIREMENTS, PLANTING METHODS, FIRE RETARDANT CHARACTERISTICS, WATER EFFICIENCY, MAINTENANCE NEEDS, AND OTHER REGULATORY REQUIREMENTS. RECOMMENDATIONS MUST INCLUDE A FINDING THAT THE ALTERNATIVE PLANTING WILL PROVIDE A PERMANENT AND EFFECTIVE METHOD OF EROSION CONTROL. MODIFICATIONS TO PLANTING MUST BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO INSTALLATION.

B. SLOPES REQUIRED TO BE PLANTED BY SECTION 110.1.3 SHALL BE PROVIDED WITH AN APPROVED SYSTEM OF IRRIGATION THAT IS DESIGNED TO COVER ALL PORTIONS OF THE SLOPE. IRRIGATION SYSTEM PLANS SHALL BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. A FUNCTIONAL TEST OF THE SYSTEM SHALL BE REQUIRED TO VERIFY THE IRRIGATION SYSTEM IS CAPABLE OF DELIVERING HOSE BIBS TO PERMIT HAND WATERING WILL BE ACCEPTABLE IF SUCH HOSE BIBS ARE INSTALLED AT CONVENIENTLY ACCESSIBLE LOCATIONS WHERE A HOSE NO LONGER THAN 50 FEET IS NECESSARY FOR IRRIGATION. THE REQUIREMENTS FOR PERMANENT IRRIGATION SYSTEMS MAY BE MODIFIED UPON SPECIFIC RECOMMENDATION OF A LANDSCAPE ARCHITECT CONSULTANT THAT AUTHORITY THAT HAS KNOWLEDGE OF THE TYPE OF PLANTING, THE TYPE OF SOILS USED AND THE SOIL AND CLIMATIC CONDITIONS AT THE SITE. IRRIGATION WILL NOT BE NECESSARY FOR THE MAINTENANCE OF THE SLOPE PLANTING. (SECTION 110.4 OF THE COUNTY OF LOS ANGELES BUILDING CODE)

C. OTHER GOVERNMENTAL AGENCIES MAY HAVE ADDITIONAL REQUIREMENTS FOR LANDSCAPING AND IRRIGATION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE WITH OTHER AGENCIES TO MEET THEIR REQUIREMENTS WHILE MAINTAINING COMPLIANCE WITH THE COUNTY OF LOS ANGELES BUILDING CODE.

IMPORTANT NOTICE
SECTION 4216 / 4217 OF THE GOVERNMENT
CODE REQUIRES A DIG ALERT IDENTIFICATION
NUMBER BE ISSUED BEFORE A
PERMIT TO EXCAVATE WILL BE VALID
FOR YOUR DIG ALERT NUMBER CALL

 *Under
ground
Service Alert*
CALL: TOLL FREE
1-800
422-4133
Two Working Days Before You Dig

TITLE SHEET NOTES

STAMP



PROJECT: GONZALEZ RESIDENCE
779 EASTFIELD DRIVE
ROLLING HILLS, CA 90274

TITLE SHEET

REVISIONS	BY
△	
△	
△	
△	
△	
△	

JOB#: 03-21-0116

ENGINEER: BB

DRAWN: HFL

CHECKED: BB

FILE # GRADING PLAN

RESEARCH DESIGN

DATE: 09/24/2021

SCALE. SEE PLAN

SHEET 1

CS

1. PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
2. YARD DRAINAGE IMPROVEMENTS SHALL BE INSPECTED AND CERTIFIED BY THE ENGINEER OF RECORD PRIOR TO FINAL APPROVAL.
3. MINIMUM ACCEPTABLE GRADIENTS FOR CONCENTRATED FLOWS:
 - EARTH 2.0%
 - ASPHALTIC CONCRETE 1.0%
 - CONCRETE IN EARTH 0.5%
 - TERRACE DRAINS 6.0%
 - INTERCEPTOR DRAINS 2.0%
4. OWNER RESPONSIBLE TO MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF DEBRIS ANNUALLY. ANNUAL MAINTENANCE AT THE EXPENSE AND RESPONSIBILITY OF THE CURRENT PROPERTY OWNER.
5. ALL CONSTRUCTION WASTE AND DEBRIS MUST BE CONTAINERIZED AT ALL TIMES.
6. ALL CONTRACTORS, ARCHITECT'S, DESIGNERS & ENGINEERS SHALL MAINTAIN A CURRENT CITY BUSINESS LICENSE.
7. DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
8. ALL SLOPES TO BE VEGETATED AT ALL TIMES.
9. SHORING, IF NECESSARY, PER SOILS ENGINEER RECOMMENDATIONS.

EXISTING ELEVATION
EXISTING ELEVATION
EXISTING P/L
4" DIA., SCH. 40, PVC PIPE
6" DIA., SCH. 40, PVC PIPE
PROPOSED CONCRETE

UPON VISUAL FIELD INSPECTION, THE ENGINEER OF RECORD (EOR) MAY DENY RELEASE OF ANY ROUGH OR FINAL OBSERVATION IF, AND AT THE DISCRETION OF THE EOR, THE CURRENT CONDITIONS DO NOT COMPLY WITH THE PERMITTED SET OF PLANS. THE EOR, DURING ANY FIELD OBSERVATION, MAY REQUEST RANDOM SPOT ELEVATIONS TO BE CHECKED FOR THE PURPOSE OF VERIFYING CONFORMANCE TO THE PERMITTED SET OF PLANS.

SUBSEQUENT FIELD OBSERVATIONS MAY FOLLOW, AT THE EXPENSE OF THE CLIENT, UNTIL FIELD CONDITIONS MATCH THE INTENT OF THE PERMITTED SET OF PLANS.

① INSTALL 6" DIA. AREA DRAIN W/ HEEL TOP GRATE BY NDS PRO, PART NO. 50
OR APPROVED EQUAL

- (2) INSTALL CLEAN-OUTS PER DETAIL 1, SHEET C-4
- (3) EXISTING CONCRETE V-GUTTER TO BE REMOVED
- (4) CONSTRUCT SEPTIC SYSTEM BY OTHERS
- (5) DOWNSPOUT LOCATION PER ARCHITECT'S PLANS AND TO BE CONNECTED TO DRAINAGE SYSTEM AS SHOWN HEREON. SEE DETAIL 2, SHEET C-4
- (6) CONSTRUCT 6"W X 100'L VEGETATED SWALE PER DETAIL 6, SHEET C-4
- (7) CONSTRUCT CONCRETE PADS PER LANDSCAPE ARCHITECT'S PLANS
- (8) CONSTRUCT WATER FEATURE PER LANDSCAPE ARCHITECT'S PLANS
- (9) CONSTRUCT FIRE PIT PER LANDSCAPE ARCHITECT'S PLANS
- (10) 1 FOOT WIDE SAWCUT AND JOIN LINE
- (11) CONSTRUCT 6" THICK P.C.C. CONCRETE W/ #4 REBAR @ 12" O.C. E.W. W/ EXPANSION JOINT SPACING 10 FEET SQUARE. FINISHED SURFACE PER LANDSCAPE ARCHITECT'S PLANS
- (12) CONSTRUCT GRAVEL PER LANDSCAPE ARCHITECT'S PLANS
- (13) INSTALL 6" DIA., SCH. 40, PVC PIPE (1% MIN SLOPE UNLESS OTHERWISE SHOWN)
- (14) CONSTRUCT RETAINING WALL PER SEPARATE PERMIT AND PLANS
- (15) CONSTRUCT HARDSCAPE PER LANDSCAPE ARCHITECT'S PLANS
- (16) CONSTRUCT GRADED SWALE TO DRAIN
- (17) CONSTRUCT 2'W X 6" THICK CONCRETE HEADWALL
- (18) INSTALL 4" DIA., SCH. 40, PVC PIPE (1% MIN SLOPE UNLESS OTHERWISE SHOWN)

DOWN SPOUT _____	DS	CONCRETE _____	CONC
DRIVEWAY _____	DRWY	TOP OF CURB _____	TC
EXISTING _____	EX	TOP OF GRATE _____	TG
FINISH SURFACE _____	FS	GARAGE FLOOR _____	GF
FLOW LINE _____	FL	SIDEWALK _____	SDWK
FINISH GRADE _____	FG	PERFORATED _____	PERF
FINISH FLOOR _____	FF	RIDGE _____	R
TOP OF BERM _____	TB	PROPERTY LINE _____	P/L
INVERT ELEVATION _____	INV	BOTTOM _____	BTM
RADIAL _____	(R)	MINIMUM _____	MIN
TYPICAL _____	TYP	ELEVATION _____	ELEV

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unless wet stamped and
signed by Palos Verdes
Engineering Corporation



PROJECT:
GONZALEZ RESIDENCE
79 EASTFIELD DRIVE
ROLLING HILLS, CA 90274

DRAWING: **GRADING & DRAINAGE
IMPROVEMENT PLAN**

DRAWING:

REVISIONS	BY

JOB#: 03-21-0116

ENGINEER: BB

DRAWN: HFL

CHECKED: BB

FILE: GRADING PLAN-C2

DATE: 10/11/2021

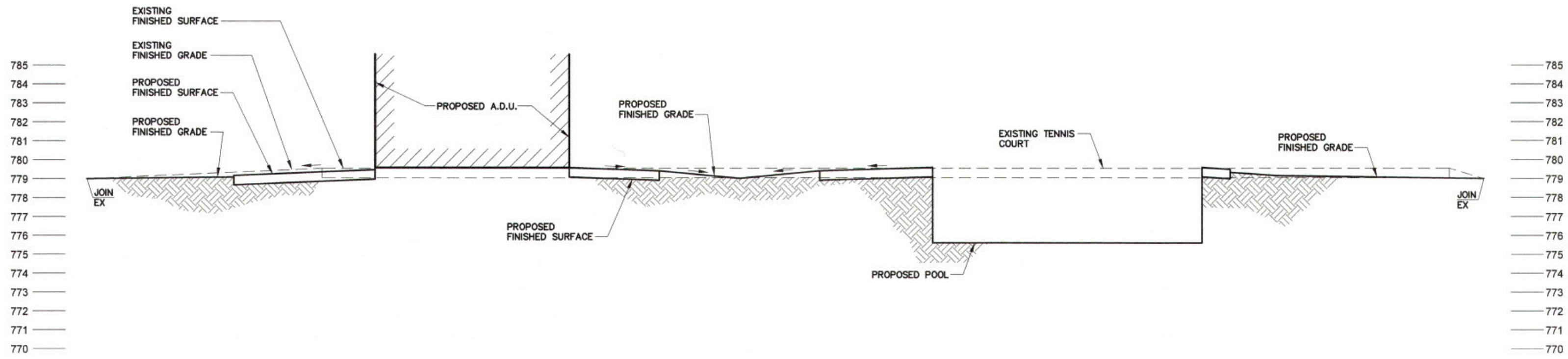
SCALE: SEE PLAN

SHEET

100

6-2

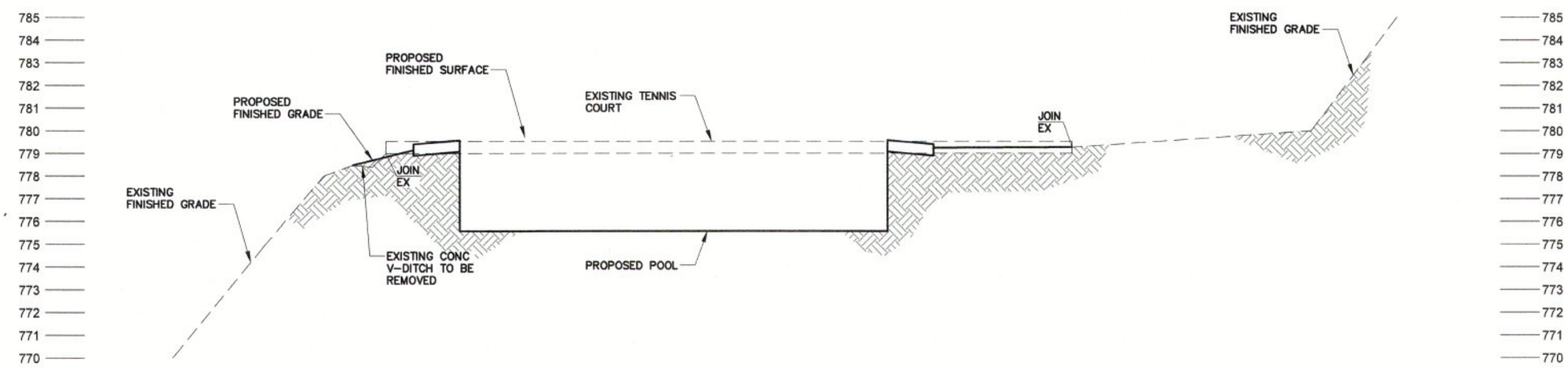
2 OF 6 SHEET



SCALE:
 HORIZ.: 1"=10'
 VERTICAL: 1"=5'

SECTION A-A

NTS 1



SCALE:
 HORIZ.: 1"=10'
 VERTICAL: 1"=5'

SECTION B-B

NTS 2

PALOS VERDES ENGINEERING
 Civil and Structural Consulting

550 Deep Valley Drive
 Suite 273
 Rolling Hills Estates
 CA 90274
 (310) 541-5065
 (310) 541-0321 Fax
 info@pvec.com

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PROJECT:
GONZALEZ RESIDENCE
 79 EASTFIELD DRIVE
 ROLLING HILLS, CA 90274

SECTIONS

DRAWING:	REVISIONS	BY
△		
△		
△		
△		
△		

JOB#: 03-21-0116
 ENGINEER: BB
 DRAWN: HFL
 CHECKED: BB
 FILE: GRADING PLAN-C3
 DATE: 09/24/2021
 SCALE: SEE PLAN

SHEET
C-3
 3 OF 6 SHEETS

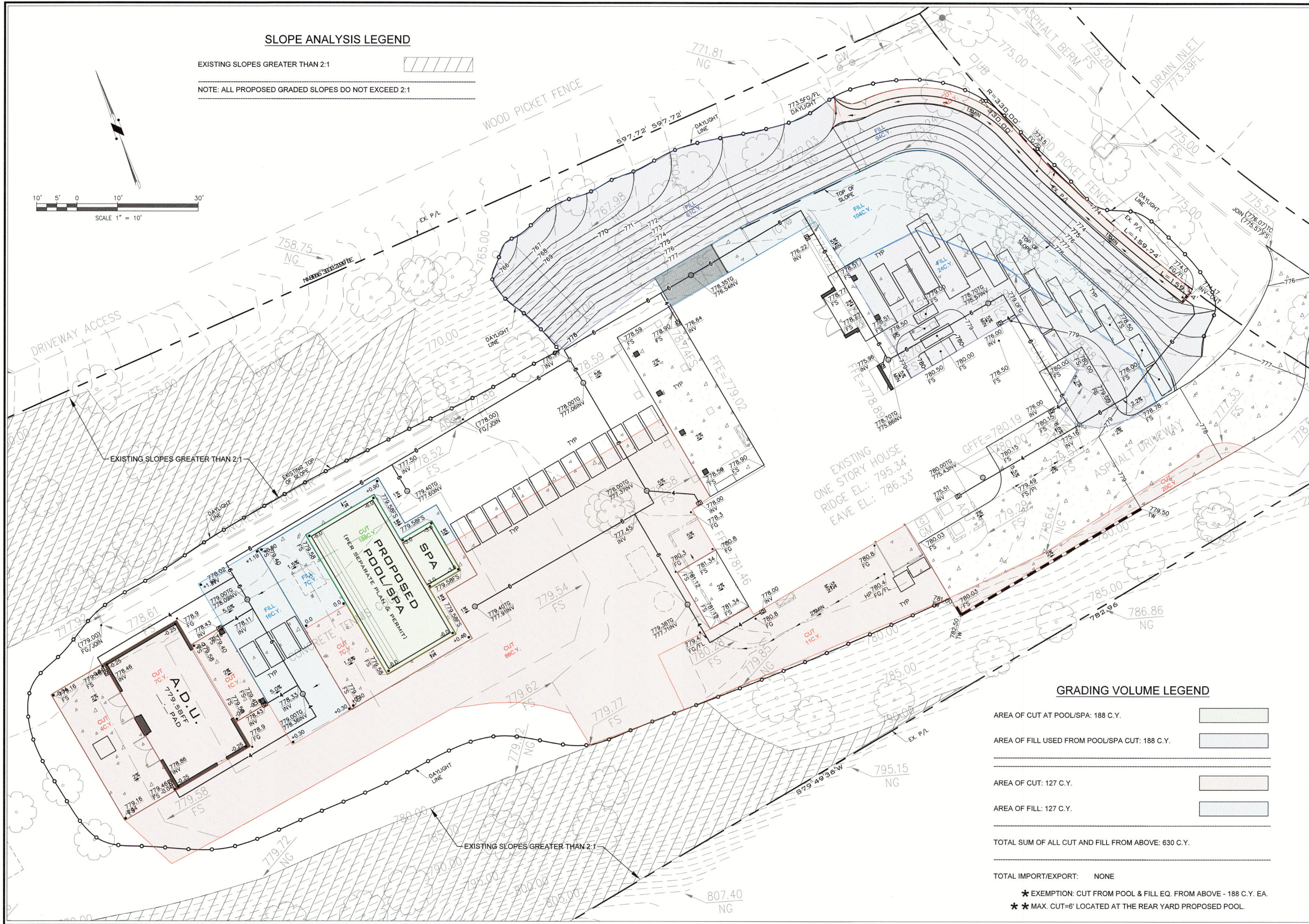
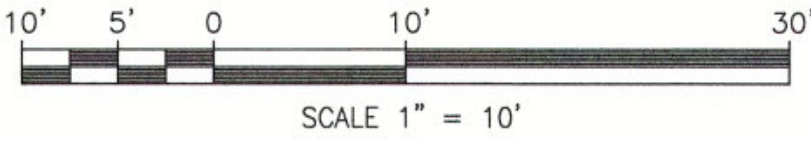
		<div>Stabilized Construction Entrance/Exit TC-1</div> <div><p>Crushed aggregate greater than 3" but smaller than 6". Filter fabric Original grade 12" Min, unless otherwise specified by a soils engineer SECTION B-B NTS</p><p>Crushed aggregate greater than 3" but smaller than 6". Corrugated steel panels Original grade Filter fabric 12" Min, unless otherwise specified by a soils engineer SECTION A-A NOT TO SCALE</p><p>NOTE: Construct sediment barrier and channelize runoff to sediment trapping device.</p><p>Sediment trapping device</p><p>EXISTING PAVED ROADWAY Ditch Corrugated steel panels 10' min or as required to accommodate anticipated traffic, whichever is greater. 24' or max allowed by site 50' Typical (1) length should be extended to 12 times the diameter of the largest construction vehicle tire. (2) On small sites length should be the maximum allowed by site. Match Existing Grade PLAN NTS</p><p>July 2012 California Stormwater BMP Handbook Construction www.casqa.org 6 of 6</p></div>			<div>Silt Fence Detail (SE-1)</div> <div><p>STEEL OR 2"x2" WOOD POSTS 4"x4" TRENCH 6" 2' MIN SLOPE SLOPE FILTER MESH MATERIAL ATTACHED TO POSTS AND EXTENDED INTO TRENCH 1 - SET POSTS AND EXCAVATE TRENCH 2 - INSTALL FILTER FABRIC</p><p>STEEL OR 2"x2" WOOD POST 6" 24" (MIN) SLOPE FILTER MATERIAL ANCHORED IN TRENCH COMPACTED FILL RUNOFF 3 - BACKFILL TRENCH 4 - CROSS SECTION OF INSTALLED FILTER FABRIC</p></div>		<div>Clean-out Detail</div> <div><p>CLEAN-OUT PER PER ZURN MODEL Z1400-BZ1 OR APPROVED EQUAL FINISHED SURFACE OR GRADE. SEE PLAN 14"L X 14"W X 6"D THICK CONCRETE PAD 4" DIA. SCH. 40 PVC PIPE</p></div>	NTS1	<div>550 Deep Valley Drive Suite 275 Rolling Hills Estates CA 90274 (310) 541-5055 (310) 541-0321 Fax info@pvec.com</div> <div>PALOS VERDES ENGINEERING</div> <div>Civil and Structural Consulting</div> <div>These drawings are not valid for construction unless wet stamped and signed by Palos Verdes Engineering Corporation</div> <div>STAMP</div> <div>08/14/2021</div> <div>PROJECT: GONZALEZ RESIDENCE 79 EASTFIELD DRIVE ROLLING HILLS, CA 90274</div> <div>DRAWING: DETAILS</div> <table><tr><th>REVISIONS</th><th>BY</th></tr><tr><td>△</td><td></td></tr><tr><td>△</td><td></td></tr><tr><td>△</td><td></td></tr><tr><td>△</td><td></td></tr><tr><td>△</td><td></td></tr></table> <div>JOB#: 03-21-0116 ENGINEER: BB DRAWN: HFL CHECKED: BB FILE: GRADING PLAN-C4 DATE: 09/24/2021 SCALE: SEE PLAN</div> <div>SHEET</div> <div>C-4</div> <div>4 OF 6 SHEETS</div>	REVISIONS	BY	△		△		△		△		△	
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NOT USED	NTS9	STABILIZED ENTRANCE DETAIL (TC-1)	NTS7	SILT FENCE DETAIL (SE-1)	NTS5	DOWNSPOUT DETAIL	NTS2														
				<div>VEG-4: Vegetated Swales</div> <div><p>FLOW SPREADER SEE NOTE 6 MAINTENANCE ACCESS ROAD FLOW FLOW FLOW SWALE LENGTH (SEE NOTE 10) Plan View (Not to Scale)</p><p>Underdrain (Not to Scale)</p><p>Section A - A' (Not to Scale)</p><p>Swale Divider (Not to Scale)</p><p>NOTES: 1. VEGETATED SIDE SLOPES AT 2H:1V MAXIMUM SLOPE. MOVED TURF SWALES AT 3H:1V 2. GRASS HEIGHT SHALL BE 4" - 6" HIGH 3. SWALE DIVIDER REQUIRED FOR BOTTOM WIDTHS > 10". MINIMUM REQUIRED BOTTOM WIDTH IS 2" EXCLUDING WIDTH OF LOW FLOW CHANNEL. MAXIMUM BOTTOM WIDTH WITH DIVIDER IS 16". 4. DEPTH OF FLOW FOR WATER QUALITY TREATMENT MUST NOT EXCEED TWO-THIRDS OF THE GRASS HEIGHT AND NOT GREATER THAN 4" (FREQUENTLY MOVED) OR 2" (FREQUENTLY MOVED). 5. 6" PERFORATED UNDERDRAIN IN 8" DEEP COARSE AGGREGATE BED CONNECTED TO STORM DRAIN. REQUIRED FOR SLOPES < 1:1.5 OR AS NEEDED. 6. INLET PIPE WITH INLET PROTECTION. 7. IF NO UNDERDRAIN, LOW FLOW DRAIN SHALL EXTEND ENTIRE LENGTH OF SWALE AND SHALL HAVE A 10"X10" OR 8"X8" MINIMUM AND WITH NO MORE THAN 16 SWALE BOTTOM WIDTH. ANCHORED PLATE FLOW SPREADER IF USED, SHALL HAVE V-NOTCHES (DATA TOP WIDTH = 1/4 OF SWALE WIDTH) OR HOLES TO ALLOW PREFERENTIAL EXIT OF LOW FLOWS. 8. INSTALL CHECK DAMS OR GRADE CONTROL STRUCTURES FOR SLOPES > 4% AT 50' MAXIMUM SPACING TO ACHIEVE A MAXIMUM EFFECTIVE LONGITUDINAL SLOPE OF 5% FLOW SPREADERS SHALL BE PROVIDED AT INLET AND AT THE BASE OF EACH CHECK DAM (SEE FIGURE 3-2). 9. INSTALL ENERGY DISSIPATOR AT THE INLET OF VEGETATED SWALE. 10. SWALE LENGTH SHALL BE 120' OR LENGTH REQUIRED TO PROVIDE 10 MINUTES RESIDENCE TIME, WHICHEVER IS GREATER. 11. INSTALL APPROPRIATE OUTLET STRUCTURE. ACCOMMODATE LOW FLOW CHANNEL AND/OR UNDERDRAIN (IF PRESENT). 12. AMEND SOILS WITH 2" OF COMPOST TILLED INTO 6" OF NATIVE SOIL UNLESS NATIVE SOIL ORGANIC CONTENT > 10%.</p><p>Figure E-11. Vegetated Swale Schematic</p><p>County of Los Angeles E-101 February 2014</p></div>		<div>Sand Bag Barrier Detail (SE-8)</div> <div><p>50 LB. SANDBAGS 2 SANDBAGS HIGH</p><p>SECTION 2' 8' 2' 10' O.C. TYP.</p><p>SECTION 2' MIN 1' 4"Ø @ 10" O.C. 2-BAGS SIDE BY SIDE W/ 4"Ø P.V.C. PIPE</p><p>* HEIGHT OF DAM SHOULD NOT EXCEED 3 FEET. ** PROVIDE AN EXTRA ROW OF SANDBAGS FOR EVERY *** ROW OF SANDBAGS 3 FEET HIGH.</p></div>	NTS3														
NOT USED	NTS10	NOT USED	NTS8	CURB DRAIN ADAPTOR DETAIL	NTS6	INLET PROTECTION DETAIL (SE-10)	NTS4														

SLOPE ANALYSIS LEGEND

EXISTING SLOPES GREATER THAN 2:1



NOTE: ALL PROPOSED GRADED SLOPES DO NOT EXCEED 2:1



GRADING VOLUME LEGEND

AREA OF CUT AT POOL/SPA: 188 C.Y.	
AREA OF FILL USED FROM POOL/SPA CUT: 188 C.Y.	
AREA OF CUT: 127 C.Y.	
AREA OF FILL: 127 C.Y.	
TOTAL SUM OF ALL CUT AND FILL FROM ABOVE: 630 C.Y.	
TOTAL IMPORT/EXPORT: NONE	
* EXEMPTION: CUT FROM POOL & FILL EQ. FROM ABOVE - 188 C.Y. EA.	
** MAX. CUT=6' LOCATED AT THE REAR YARD PROPOSED POOL.	

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STAMP

PROJECT: **GONZALEZ RESIDENCE**
79 EASTFIELD DRIVE
ROLLING HILLS, CA 90274

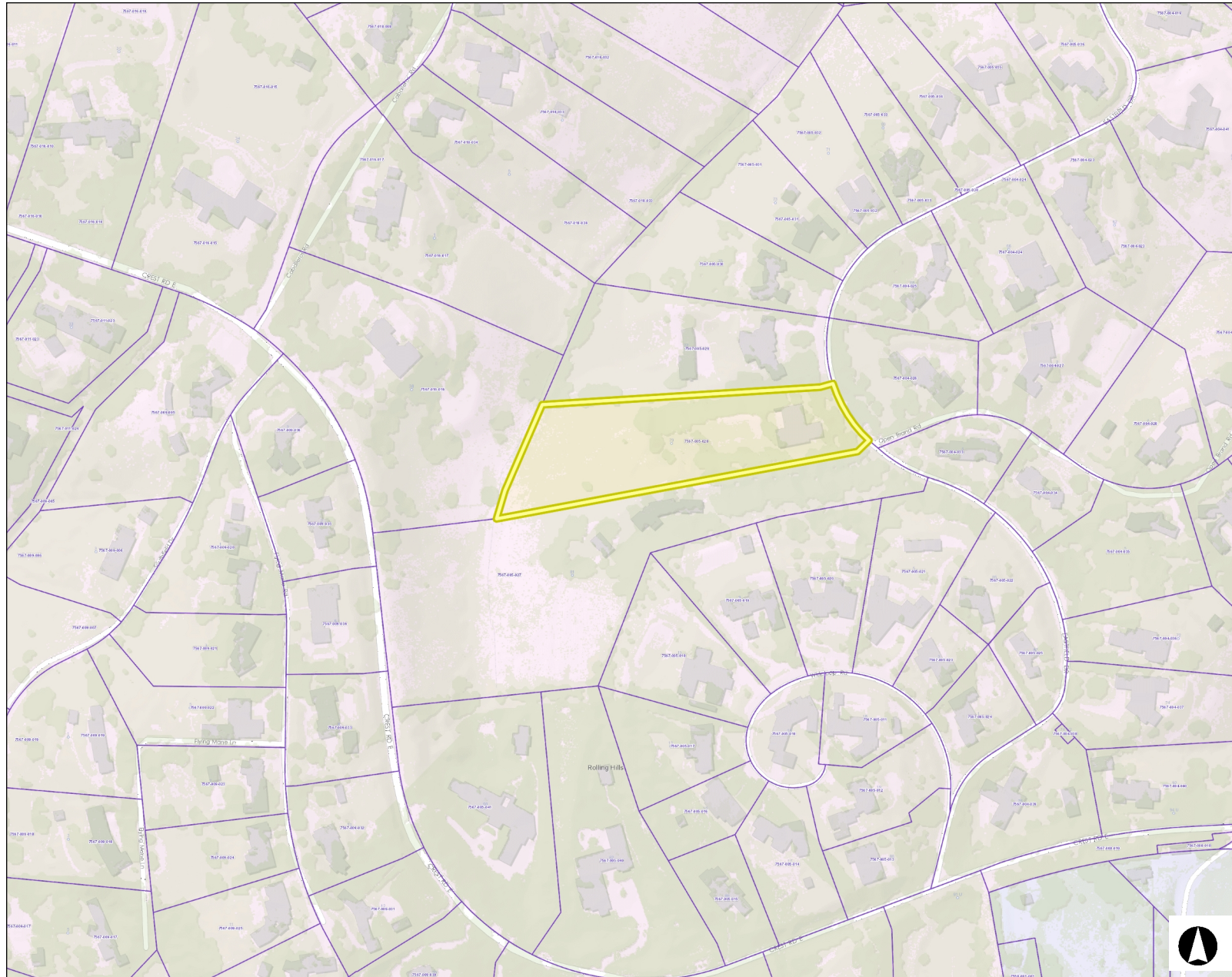
DRAWING: **GRADING QUANTITIES EXHIBIT**

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JOB#: 03-21-0116
ENGINEER: BB
DRAWN: HFL
CHECKED: BB
FILE: GRADING PLAN-C6
DATE: 10/11/2021
SCALE: SEE PLAN

SHEET
C-6
6 OF 6 SHEETS

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Legend

-  Parcels
-  Cities and Communities

Notes

0.1 0 0.07 0.1 Miles

County of Los Angeles

This map is for reference only and should not be used for legal decisions. While the County of Los Angeles makes its best effort to ensure data is accurate, the County makes no representation or warranty of any kind.

79 Eastfield Photos of proposed grading



The front yard fill area



Front yard fill area



Front yard fill area



The tennis court will be removed and the area will be cut and balanced. The proposed site will be replaced with new pool/spa, deck, ADU, and landscaping.

From: [\(null\) \(null\)](#)
To: [Stephanie Grant](#)
Subject: Trees at 89 Eastfield
Date: Friday, October 15, 2021 4:48:33 PM

Picture of trees at 89 now

Picture of trees now growing from our view in 2021 starting to breach view from our home.

View from '96.

Thank you for addressing our concerns.









Sent from my iPhone



A **FICUS NITIDA**
'INDIAN LAUREL FIG'
(WUCOLS - MEDIUM)



B & D **OLEA EUROPAEA 'LITTLE OLLIE'**
'DWARF FRUITLESS OLIVE'
(WUCOLS - LOW)



B & G **WESTRINGIA FRUTICOSA**
'COAST ROSEMARY'
(WUCOLS - MEDIUM)



C **PITTOSPORUM CRASSIFOLIUM**
'COMMON KARO'
(WUCOLS - LOW)



E **JUNIPERUS HORIZONTALIS 'LIME GLOW'**
'CREEPING JUNIPER'
(WUCOLS - LOW)



F **FEJOA SELLOWIANA**
'PINEAPPLE GUAVA'
(WUCOLS - LOW)



H **CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'**
'FEATHER REED GRASS'
(WUCOLS - MEDIUM)



J **STIPA TENUISSIMA**
'MEXICAN FEATHER GRASS'
(WUCOLS - LOW)



K **LAGURUS OVATUS**
'BUNNY TAILS'
(WUCOLS - MEDIUM)



L **PENNISETUM SPATHIOLATUM**
'SLENDER VELDT GRASS'
(WUCOLS - LOW)



M **SESLERIA AUTUMNALIS**
'AUTUMN MOOR GRASS'
(WUCOLS - MEDIUM)



N **CAREX TUMULICOLA**
'FOOTHILL SEDGE'
(WUCOLS - MEDIUM)



P **AGAVE ATTENUATA**
'FOX TAIL AGAVE'
(WUCOLS - LOW)



Q **ROSMARINUS OFFICINALIS 'PROSTRATUS'**
'CREEPING ROSEMARY'
(WUCOLS - LOW)



R **AEONIUM 'MINT SAUCER'**
'GREEN AEONIUM'
(WUCOLS - LOW)



S **SENECIO SERPENS**
'BLUE CHALKSTICKS'
(WUCOLS - LOW)



T **OLEA EUROPAEA 'SWAN HILL'**
'FRUITLESS OLIVE'
(WUCOLS - LOW)



U **ACHILLEA MILLEFOLIUM**
'COMMON YARROW'
(WUCOLS - LOW)



V **DYMONDIA MARGARETAE**
'SILVER CARPET'
(WUCOLS - LOW)



W **MEDALLION PLUS**
'TURF'
(WUCOLS - MEDIUM)



X **FESTUCA RUBRA**
'CREEPING RED FESCUE'
(WUCOLS - LOW)



Y **VITEX AGNUS-CASTUS**
'CHASTE TREE'
(WUCOLS - MEDIUM)



Z **HYDROSEED MIX**
'TBD'

CONCEPTUAL
PLANT IMAGES

NOTE:
ALL IDEAS, DESIGNS, ARRANGEMENTS,
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L-0

CONCEPT IMAGES



a MAYTENUS BOARIA
'MAYTEN TREE'
(WUCOLS - MEDIUM)



b CITRUS MEYER LEMON - STANDARD
'LEMON'
(WUCOLS - MED)



b MAYTENUS BOARIA - STANDARD
'MAYTEN TREE'
(WUCOLS - MEDIUM)



c OLEA EUROPAEA 'WILSONII'
'FRUITLESS OLIVE'
(WUCOLS - LOW)



d PLATANUS RACEMOSA
'WESTERN SYCAMORE'
(WUCOLS - MEDIUM)



e LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'
'CRAPE MYRTLE'
(WUCOLS - LOW)

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CONCEPTUAL
PLANT IMAGES

L-0.1

CONCEPT IMAGES



POOL NOTES:

1. THE RESIDENCE SHALL BE EQUIPPED WITH EXIT ALARMS (BATTERY POWERED OR HARDWIRED) ON THOSE DOORS PROVIDING DIRECT ACCESS TO THE POOL
2. AUDIBLE ALARMS AT DOORS OPENING TO POOLS SHALL BE AT LEAST 85 DBA WHEN MEASURED 10 FEET AWAY FROM THE ALARM MECHANISM AND SHOULD SOUND FOR AT LEAST 30 SECONDS.
3. ALL DOORS PROVIDING DIRECT ACCESS FROM THE HOME TO THE SWIMMING POOL SHALL BE EQUIPPED WITH A SELF-CLOSING, SELF LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR.
4. ACCESS GATES SHALL BE SELF-CLOSING, SELF LATCHING WITH RELEASE DEVICE LOCATED 60 INCHES ABOVE GRADE AND SHALL OPEN OUTWARD AWAY FROM THE POOL/SPA.
5. NO ELECTRIC RESISTANCE HEATING; SOLAR COLLECTORS SHALL PROVIDE NOT LESS THAN 60% OF THE ENERGY FOR HEATING SWIMMING POOLS AND SPAS.

POOL SAFETY:

SECTION 115925, WHEN A BUILDING PERMIT IS ISSUED FOR THE CONSTRUCTION OF A NEW SWIMMING POOL OR SPA OR THE REMODELING OF AN EXISTING SWIMMING POOL OR SPA AT A PRIVATE SINGLE-FAMILY HOME, THE RESPECTIVE SWIMMING POOL OR SPA SHALL BE EQUIPPED WITH AT LEAST TWO OF THE FOLLOWING SEVEN DROWNING PREVENTION SAFETY FEATURES:

- (1) AN ENCLOSURE THAT MEETS THE REQUIREMENTS OF SECTION 115923 AND ISOLATES THE SWIMMING POOL OR SPA FROM THE PRIVATE SINGLE-FAMILY HOME.
- (2) REMOVABLE MESH FENCING THAT MEETS AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) SPECIFICATIONS F2284 STANDARDS IN CONJUNCTION WITH A GATE THAT IS SELF-CLOSING AND SELF-LATCHING AND CAN ACCOMMODATE A KEY-LOCKABLE DEVICE.
- (3) AN APPROVED SAFETY POOL COVER, AS DEFINED IN SUBDIVISION (D) OF SECTION 115921.
- (4) EXIT ALARMS ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL OR SPA. THE EXIT ALARM MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING, SUCH AS A REPEATING NOTIFICATION THAT "THE DOOR TO THE POOL IS OPEN."
- (5) A SELF-CLOSING, SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS PROVIDING DIRECT ACCESS TO THE SWIMMING POOL OR SPA.
- (6) AN ALARM THAT, WHEN PLACED IN A SWIMMING POOL OR SPA, WILL SOUND UPON DETECTION OF ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER. THE ALARM SHALL MEET AND BE INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208 "STANDARD SAFETY SPECIFICATION FOR RESIDENTIAL POOL ALARMS," WHICH INCLUDES SURFACE MOTION, PRESSURE, SONAR, LASER, AND INFRARED TYPE ALARMS. A SWIMMING PROTECTION ALARM FEATURE DESIGNED FOR INDIVIDUAL USE, INCLUDING AN ALARM ATTACHED TO A CHILD THAT SOUNDS WHEN THE CHILD EXCEEDS A CERTAIN DISTANCE OR BECOMES SUBMERGED IN WATER, IS NOT A QUALIFYING DROWNING PREVENTION SAFETY FEATURE.

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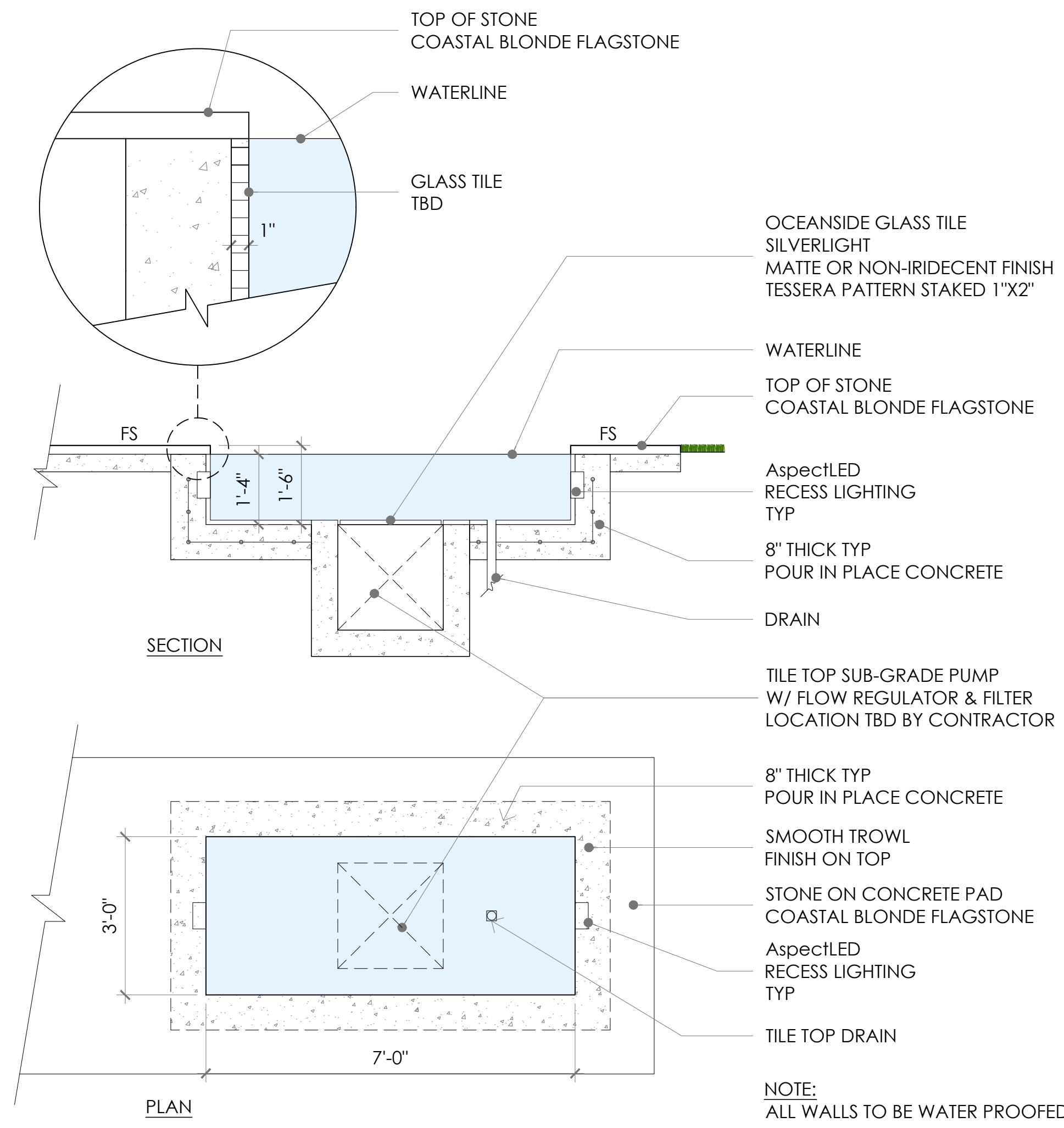
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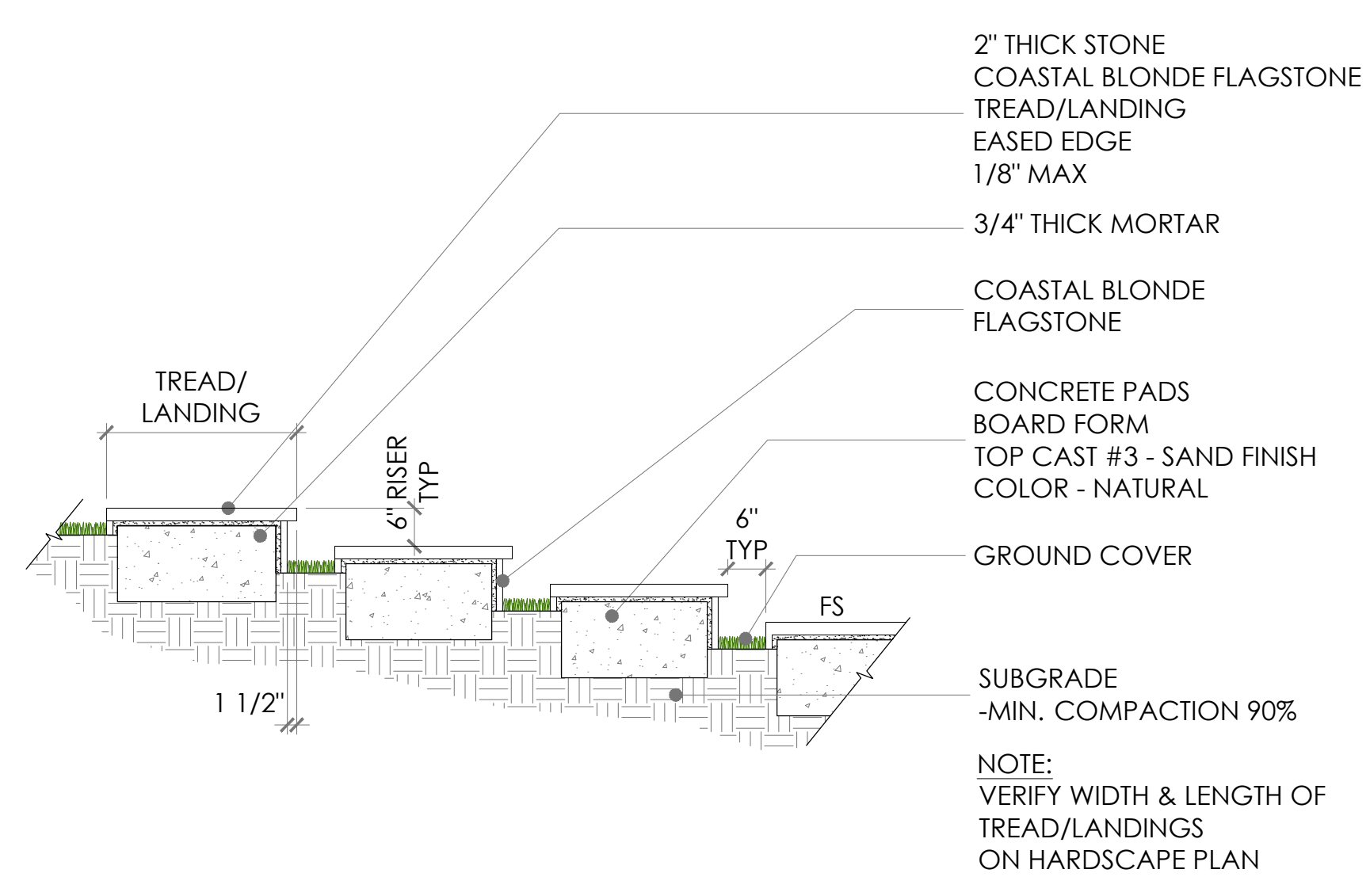


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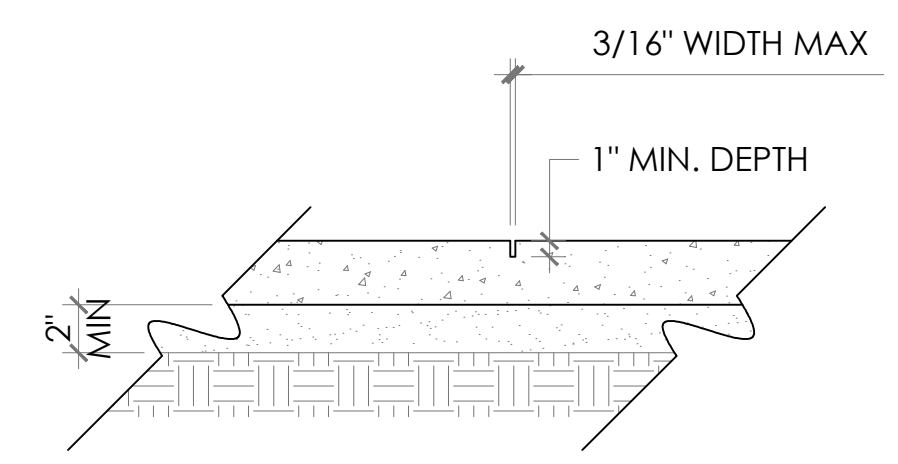
HARDSCAPE PLAN



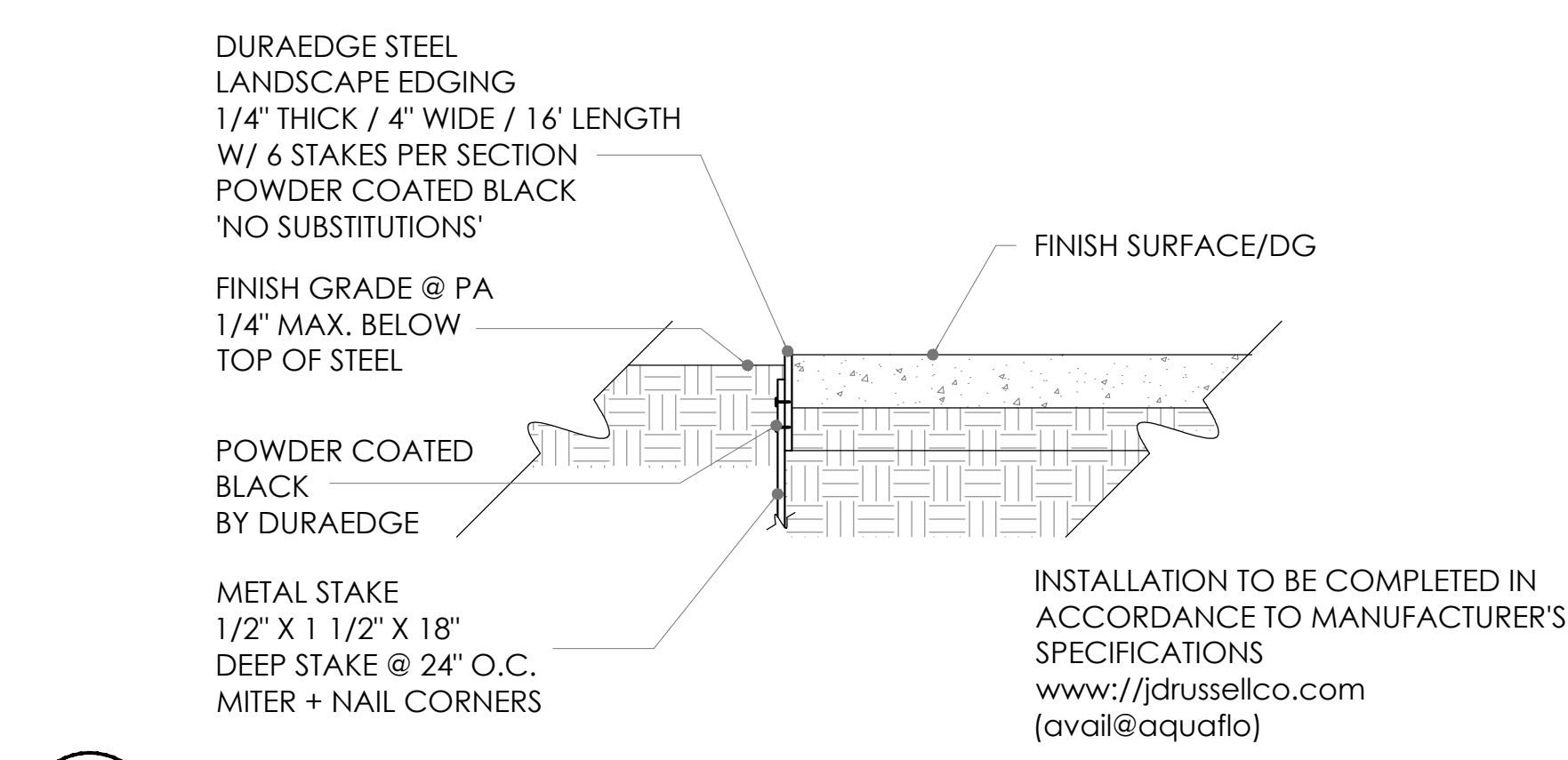
9 POND AT GRAD
1/2" : 1'-0"



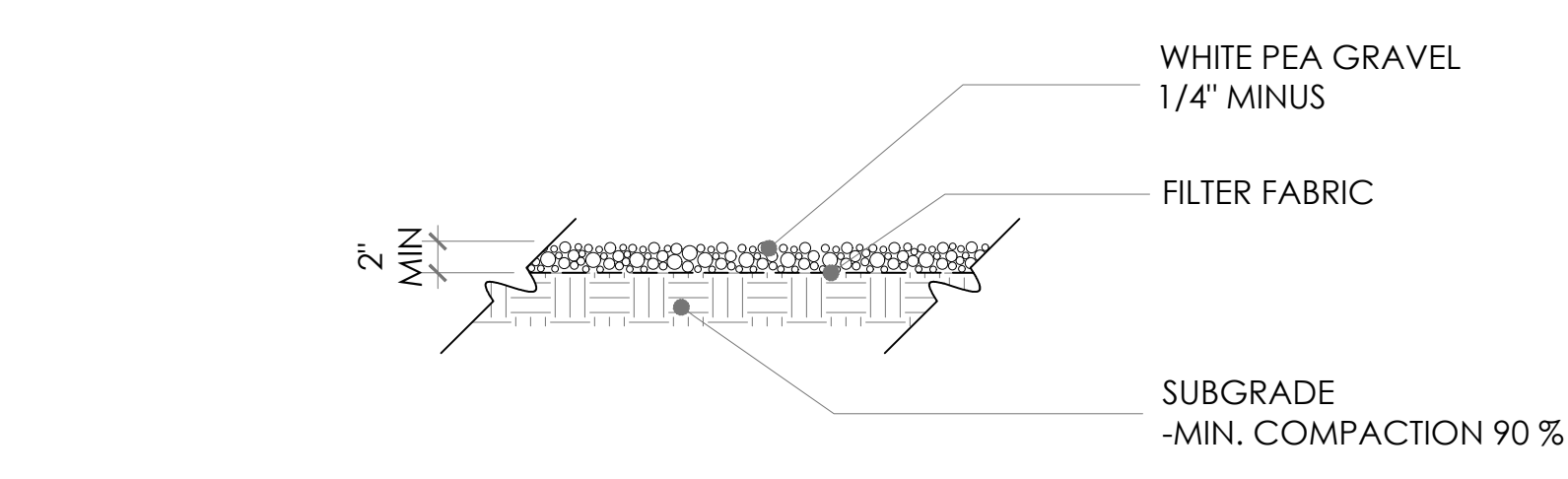
5 STONE ON CONCRETE STEP PADS
1/2" : 1'-0"



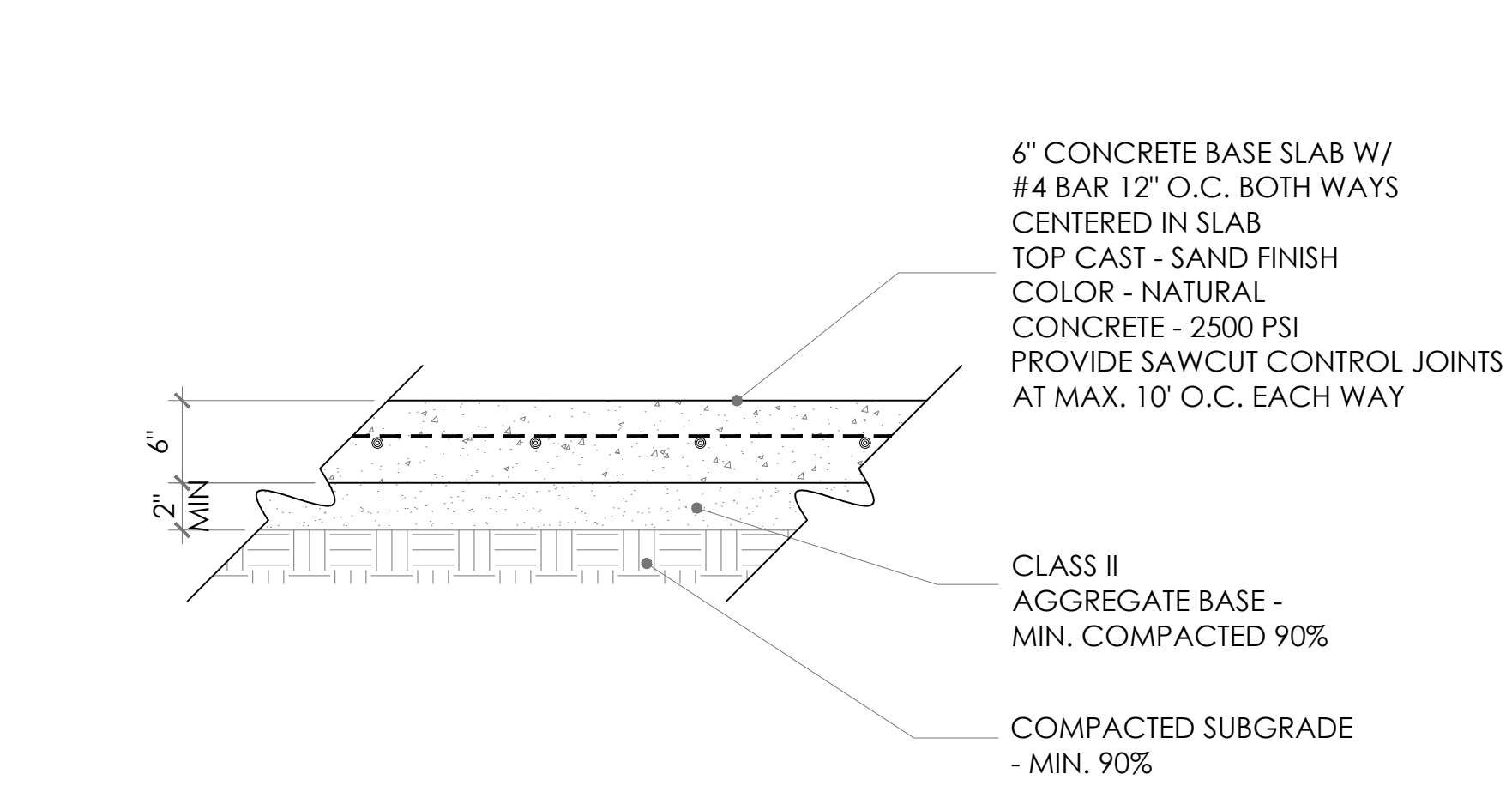
6 SAWCUT CONTROL JOINT
1" : 1'-0"



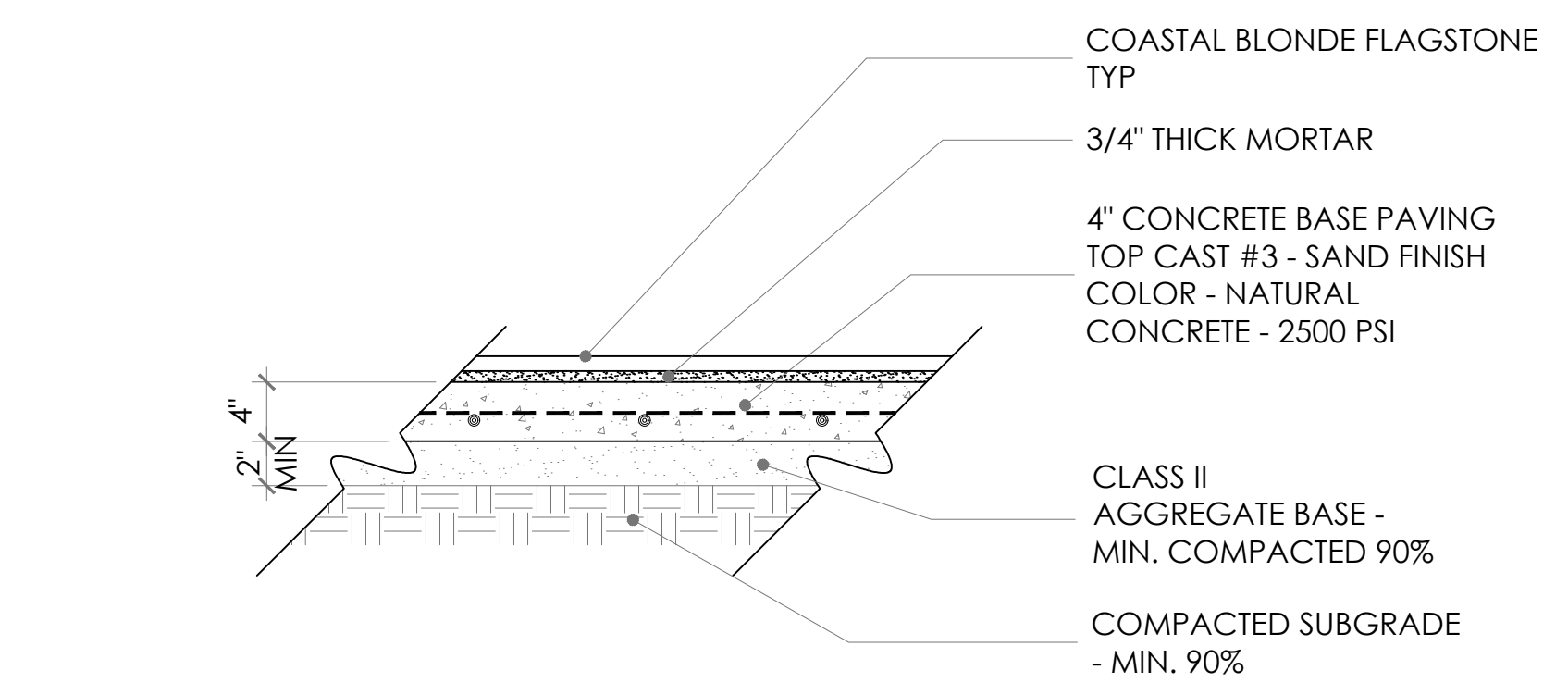
7 DURAEDGE HEADER
1" : 1'-0"



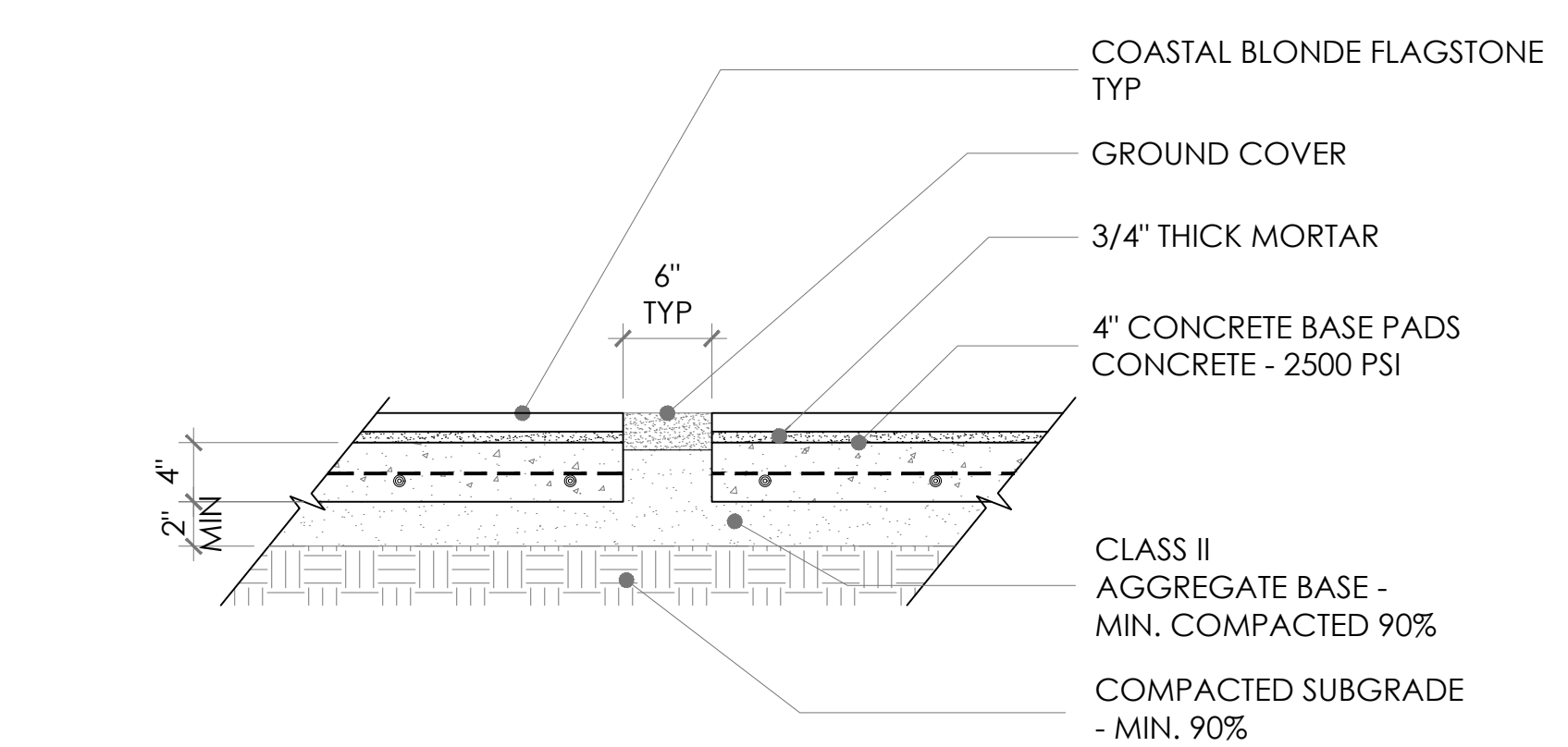
8 GRAVEL
1" : 1'-0"



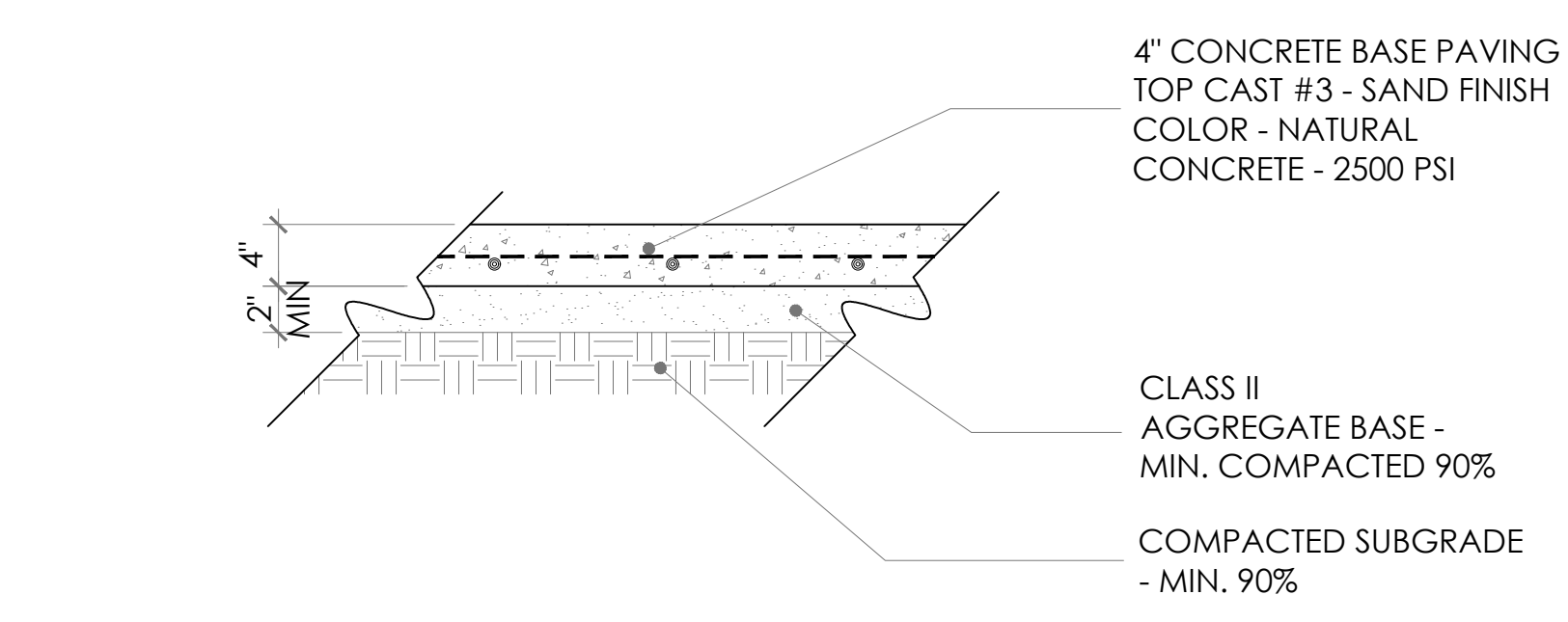
1 VEHICULAR PAVING
1" : 1'-0"



2 STONE ON CONCRETE
1" : 1'-0"



3 STONE ON CONCRETE PAD
1" : 1'-0"



4 PEDESTRIAN CONCRETE
1" : 1'-0"

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HARDSCAPE DETAILS

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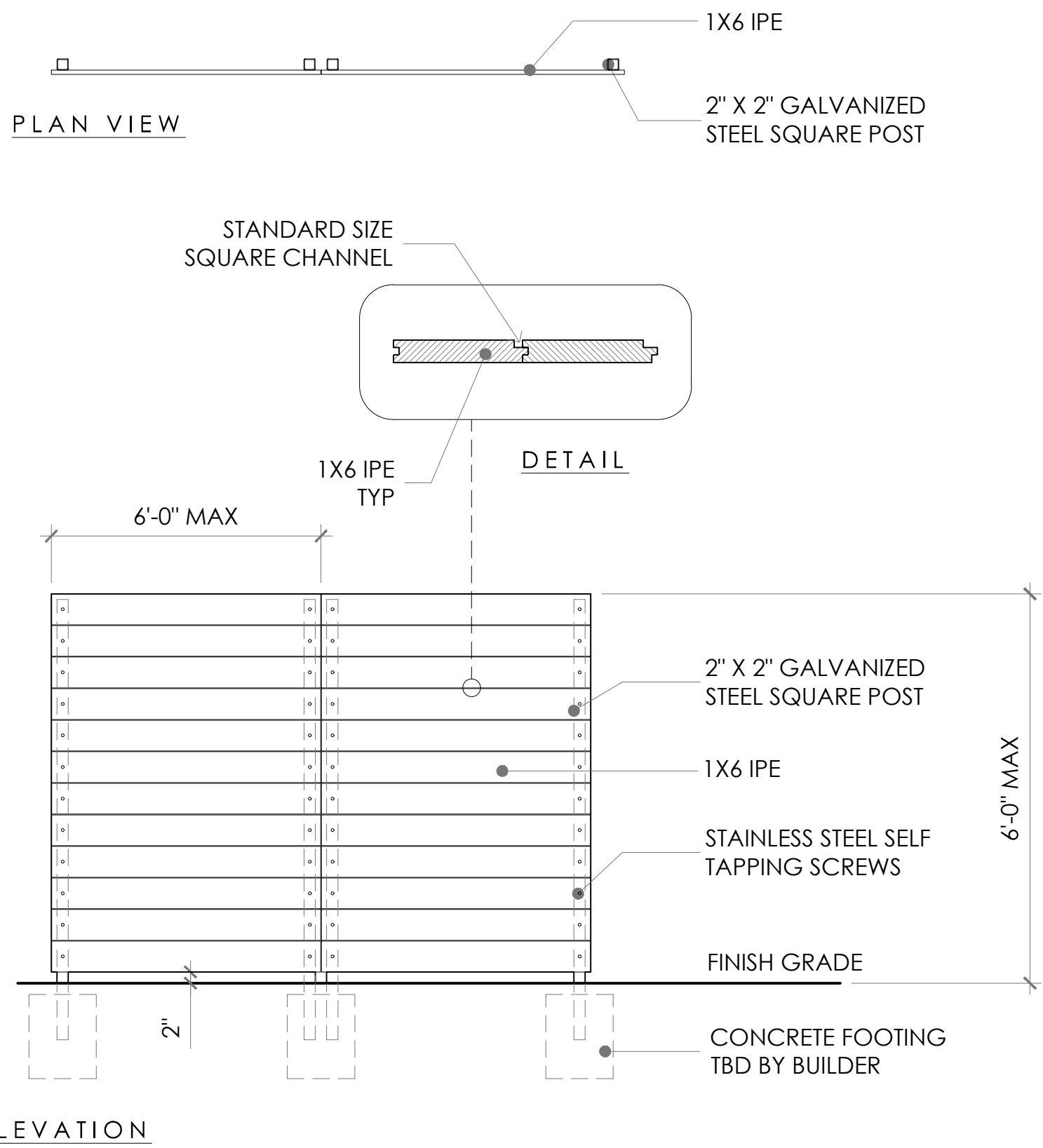
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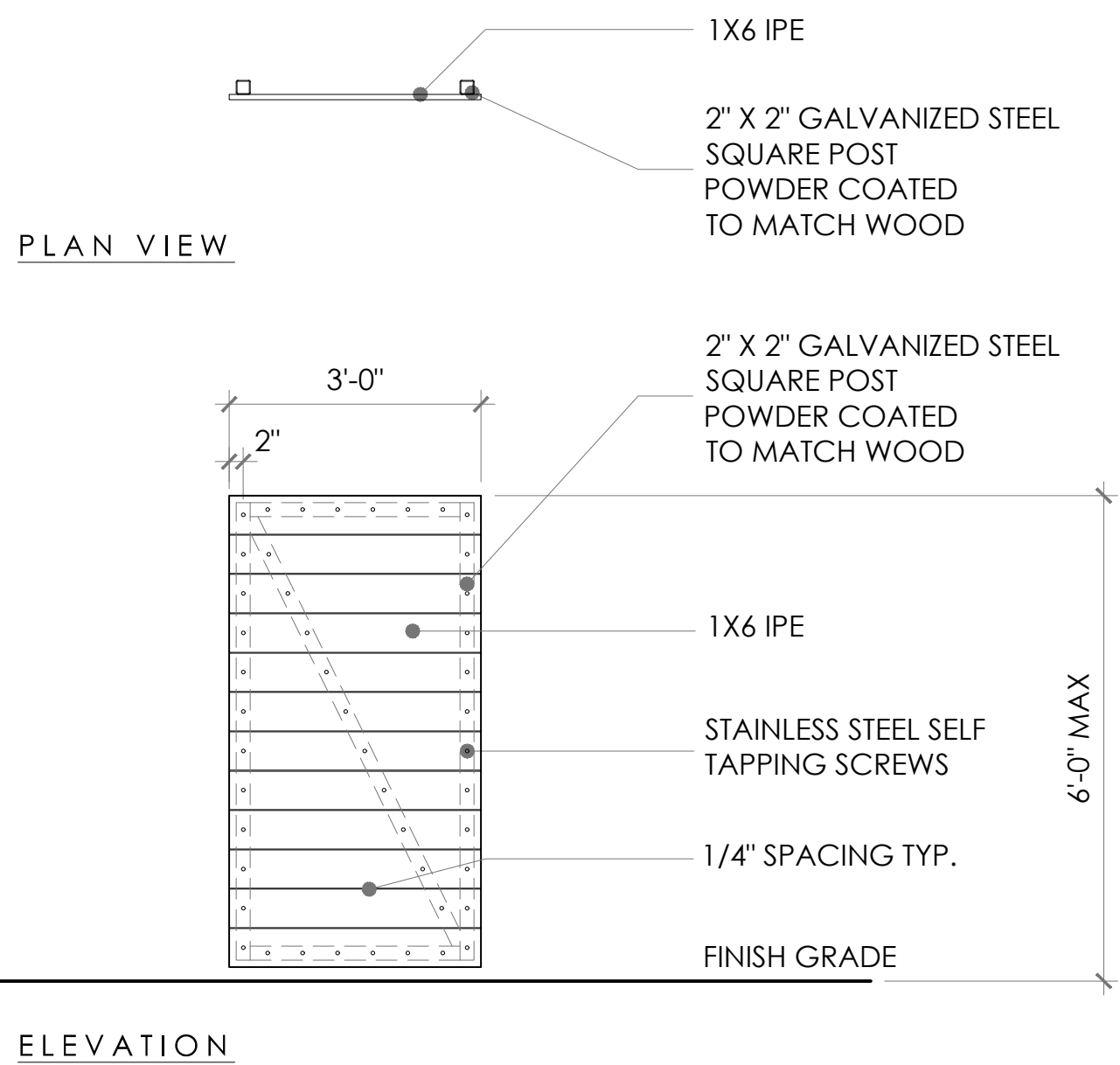
L-1.3

HARDSCAPE DETAILS



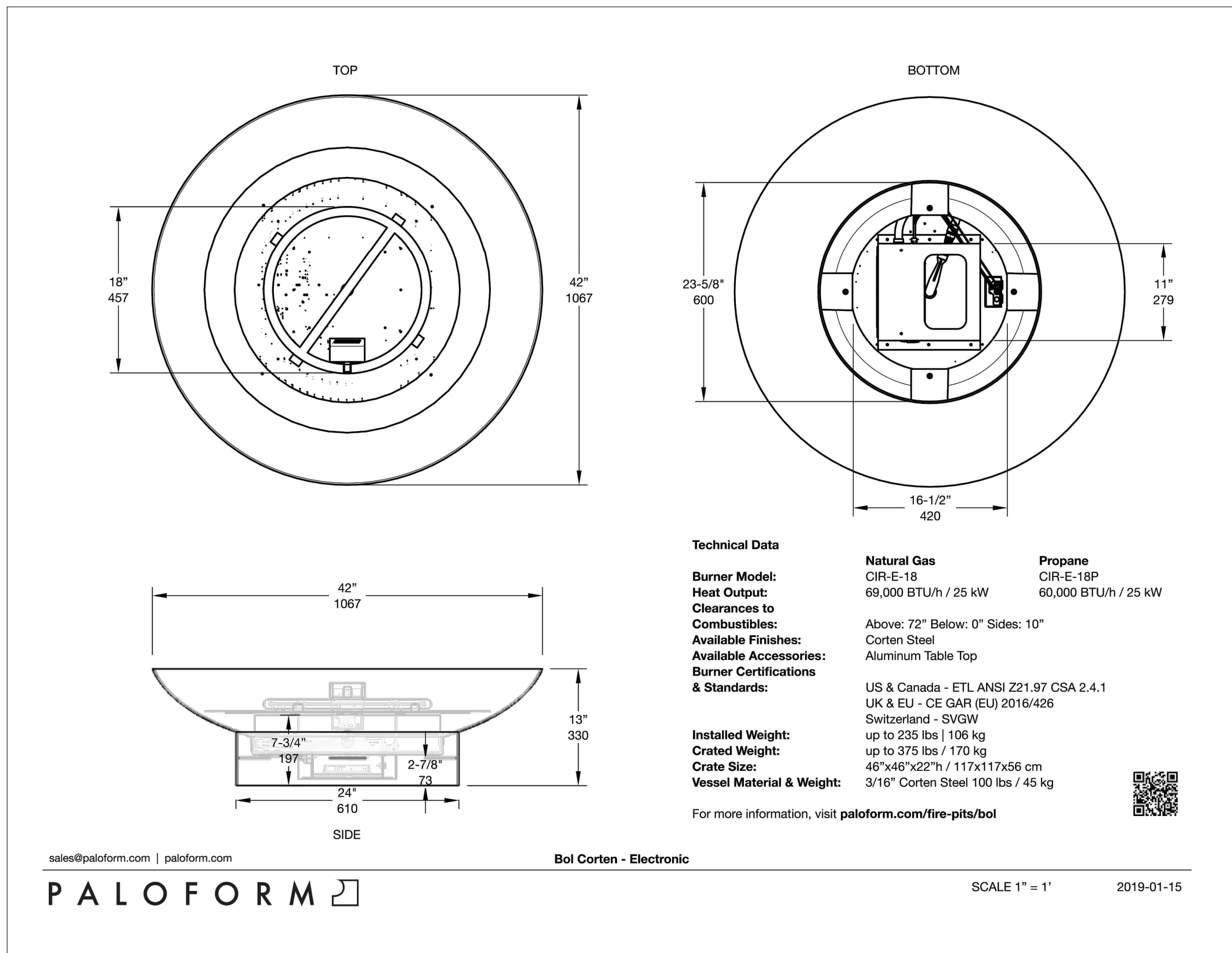
12 WOOD FENCE

1/2" : 1'-0"



13 WOOD GATE

1/2" : 1'-0"



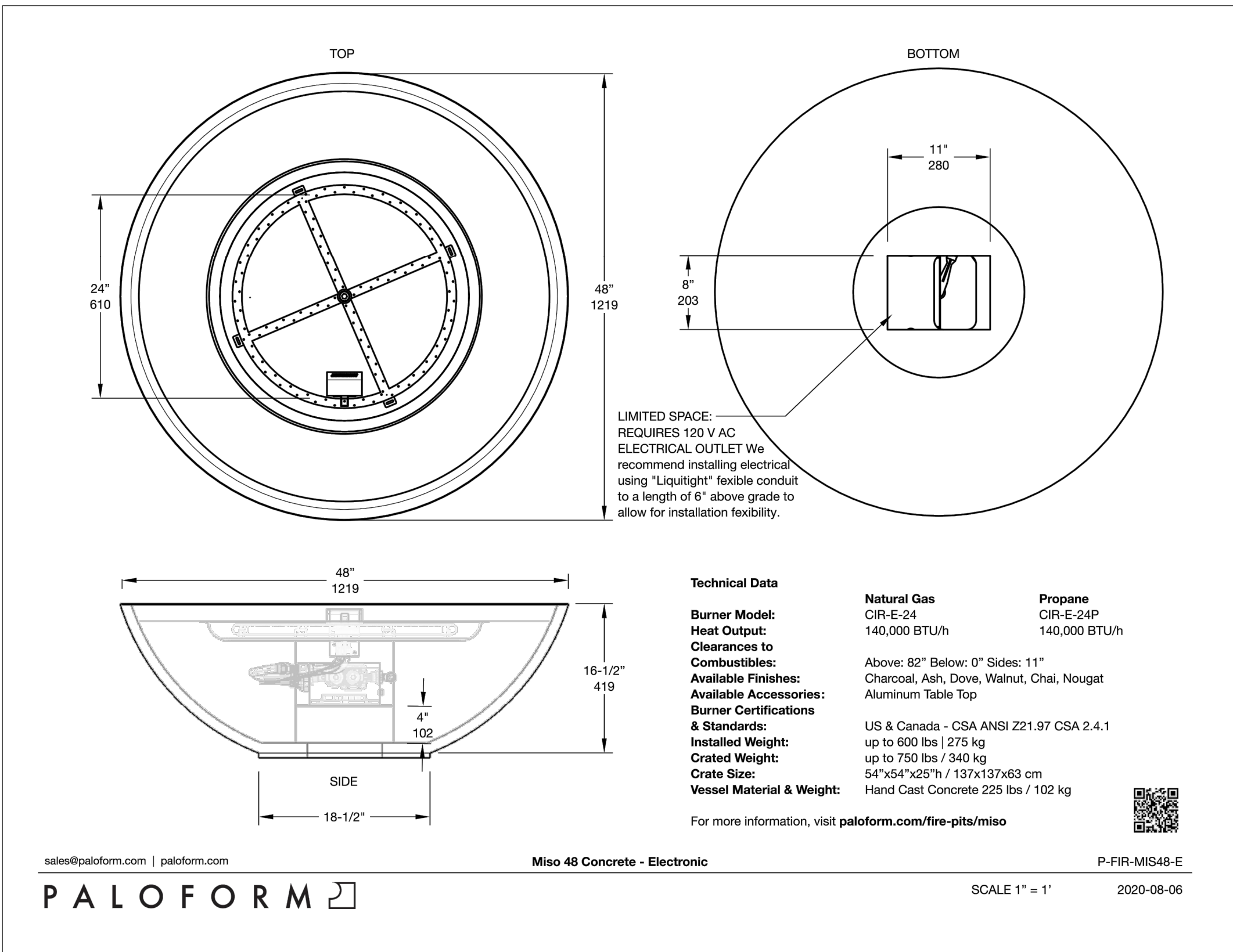
PALOFORM - OPTION 1
BOL CORTEN FIREBOWL

1" : 1'-0"



PREFAB FIREPIT OPTION

MANUFACTURER : PALOFORM
MODEL : BOL CORTEN FIREBOWL
SIZE : 42" ROUND, 9 1/4" HIGH



PALOFORM - OPTION 2
MISO CONCRETE FIREBOWL

1" : 1'-0"



PREFAB FIREPIT OPTION

MANUFACTURER : PALOFORM
MODEL : MISO CONCRETE FIREBOWL
SIZE : 48" ROUND, 16 1/2" HIGH



LYNX PROFESSIONAL
42" BUILT IN GRILL WITH
1 TRIDENT INFRARED BURNER,
2 CERAMIC BURNERS AND ROTISSERIE
MODEL L42TR-NG



LYNX PROFESSIONAL
42" CARBON FBER VINYL COVER
BUILT IN
MODEL CC42



LYNX
42" VENTANA TRUE WIDTH ACCESS DOORS
MODEL LDR42T-4



LYNX PROFESSIONAL
24" OUTDOOR REFRIGERATOR
LEFT HINGE
MODEL LM24REFL



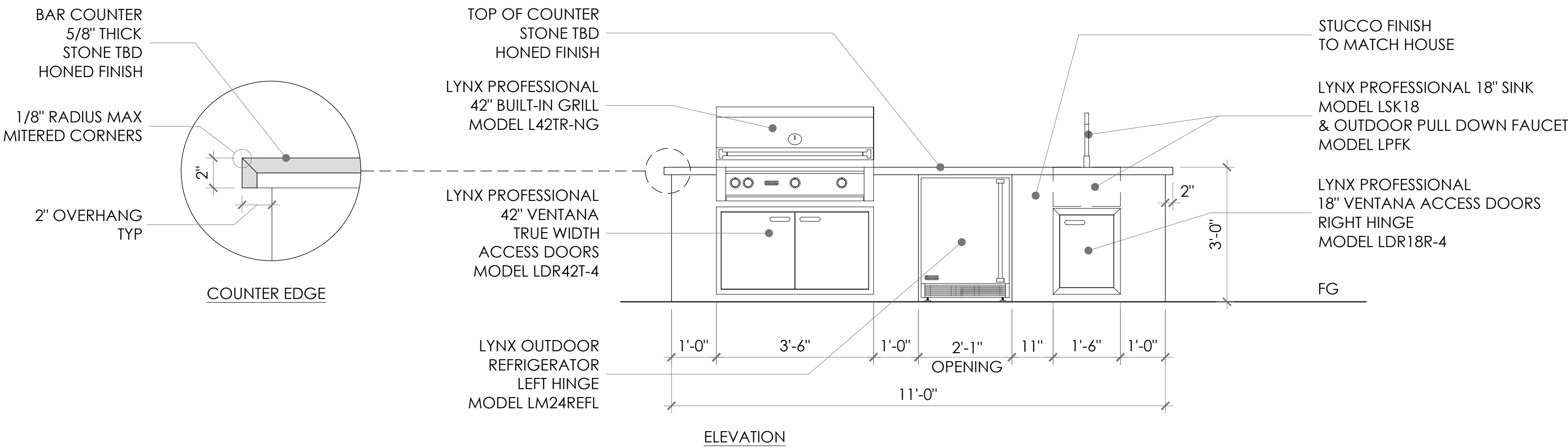
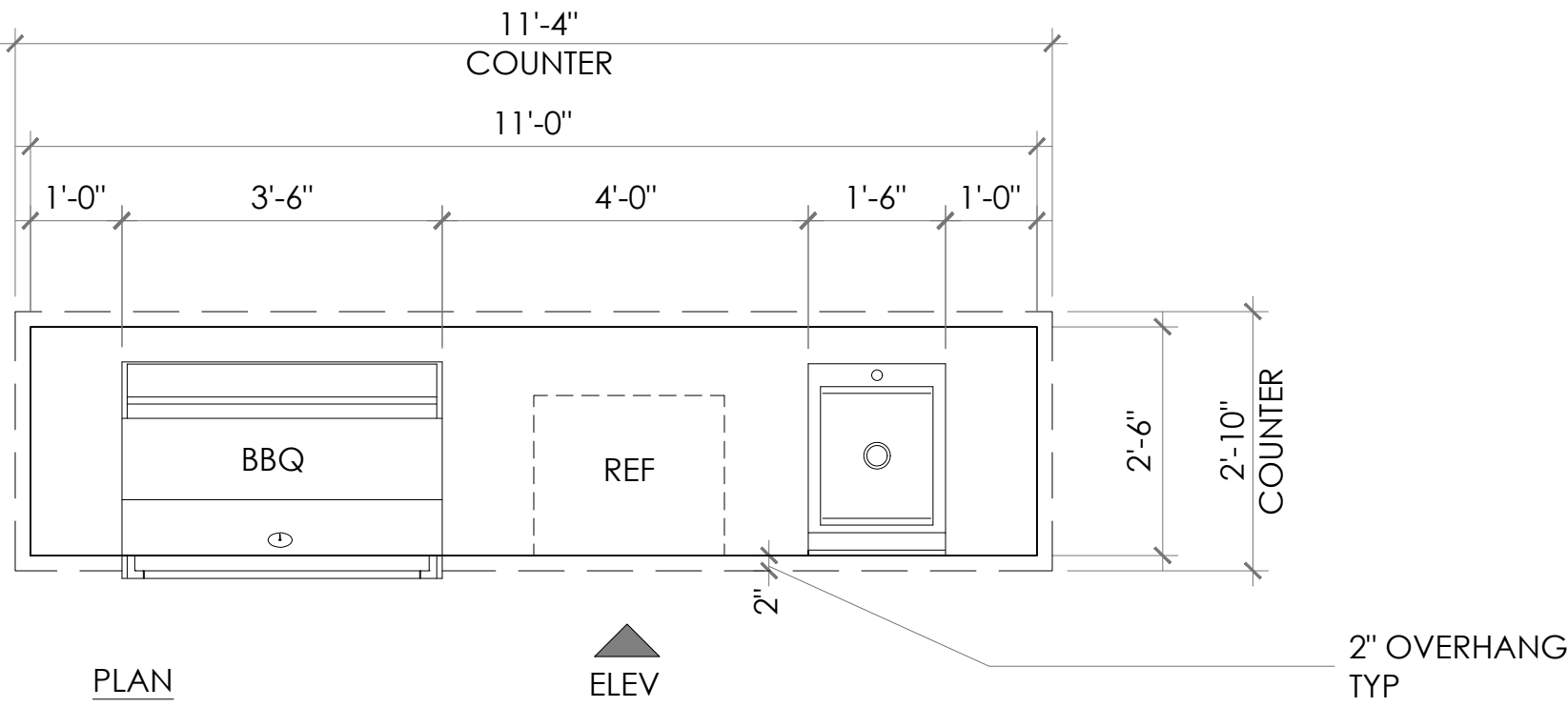
LYNX PROFESSIONAL
GOOSENECK PULL DOWN FAUCET
MODEL LPFK



LYNX PROFESSIONAL
18" SINK WITH DRAIN
MODEL LSK18



LYNX
18" VENTANA ACCESS DOOR
RIGHT HINGE
MODEL LDR18R-4



14 BBQ W / COUNTER
1/2" : 1'-0"

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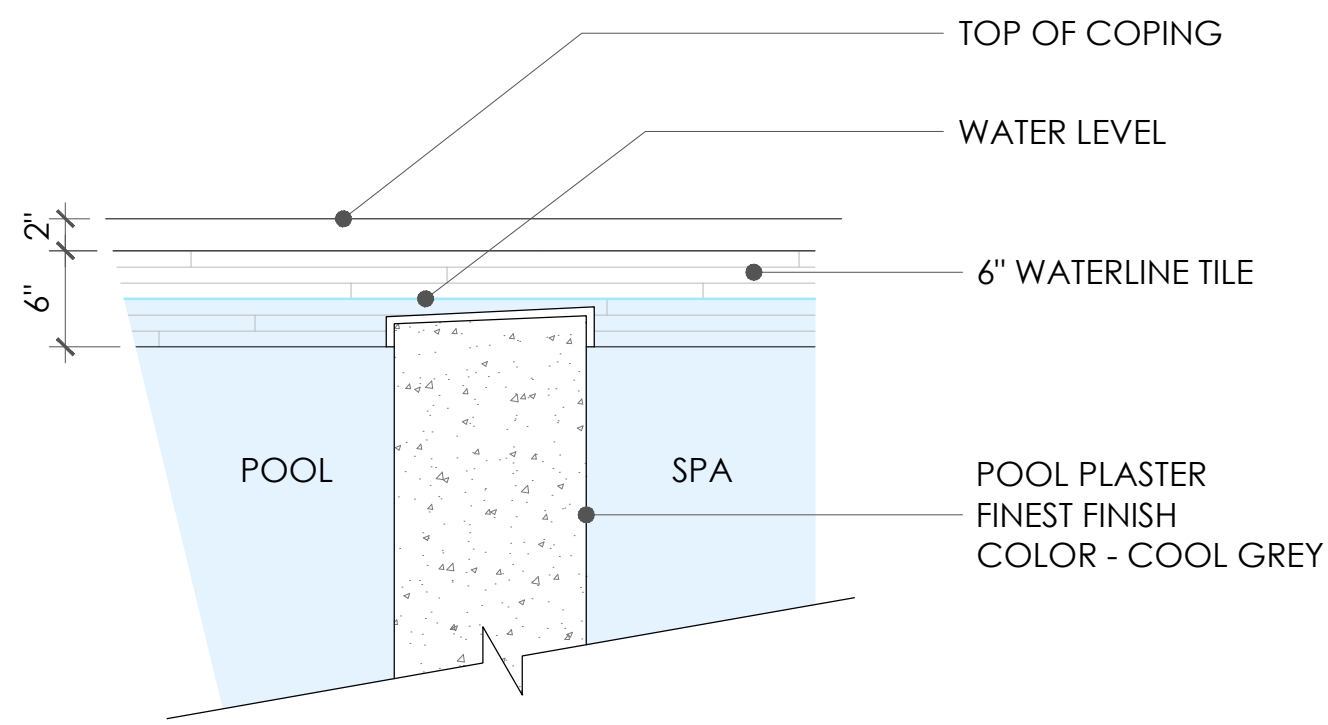
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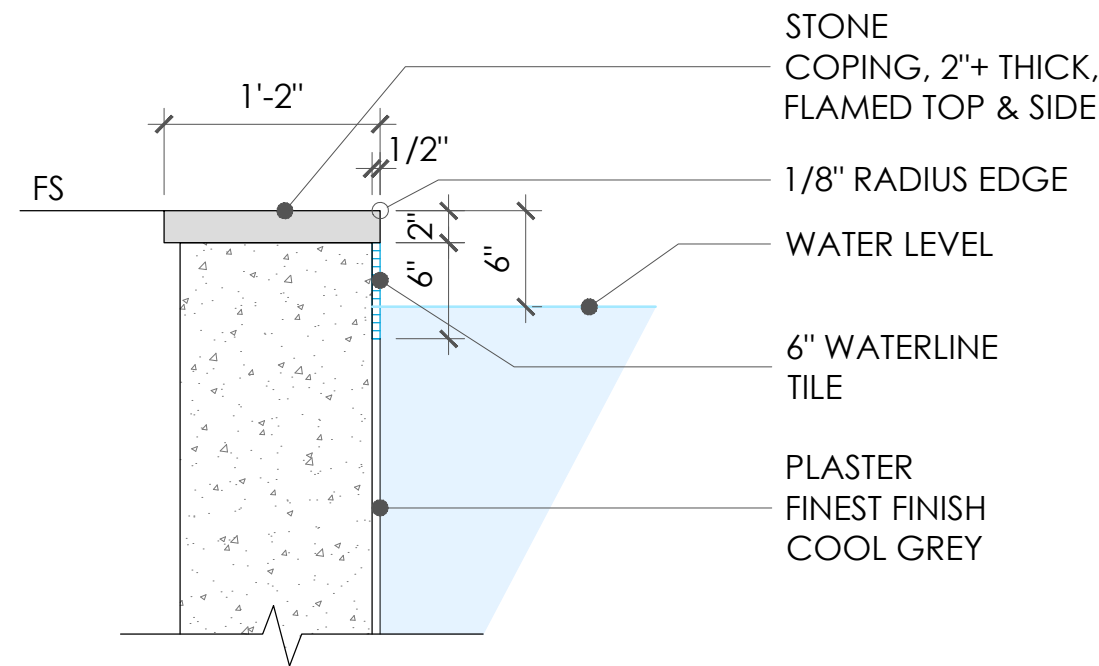
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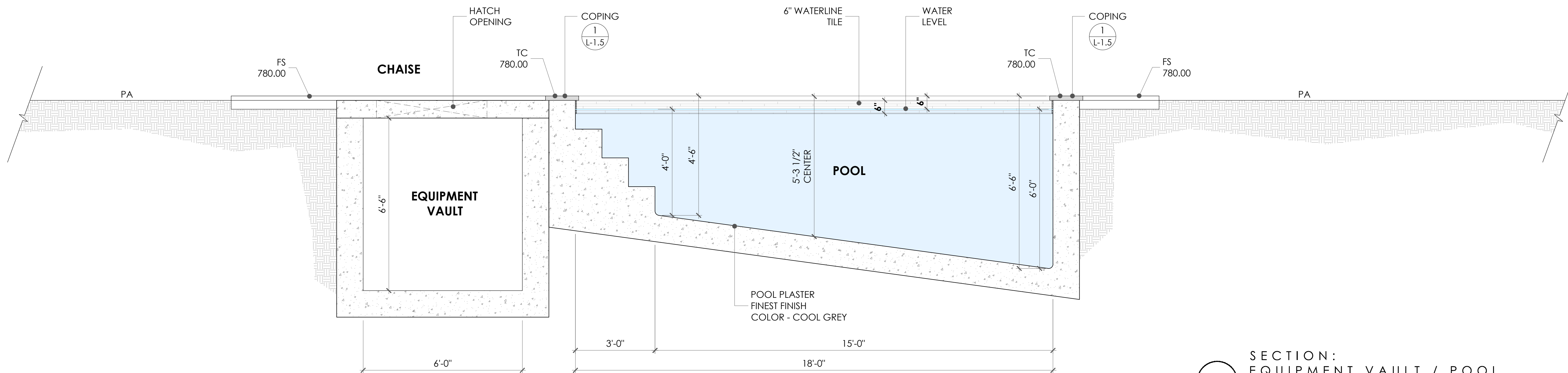
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HARDSCAPE DETAILS



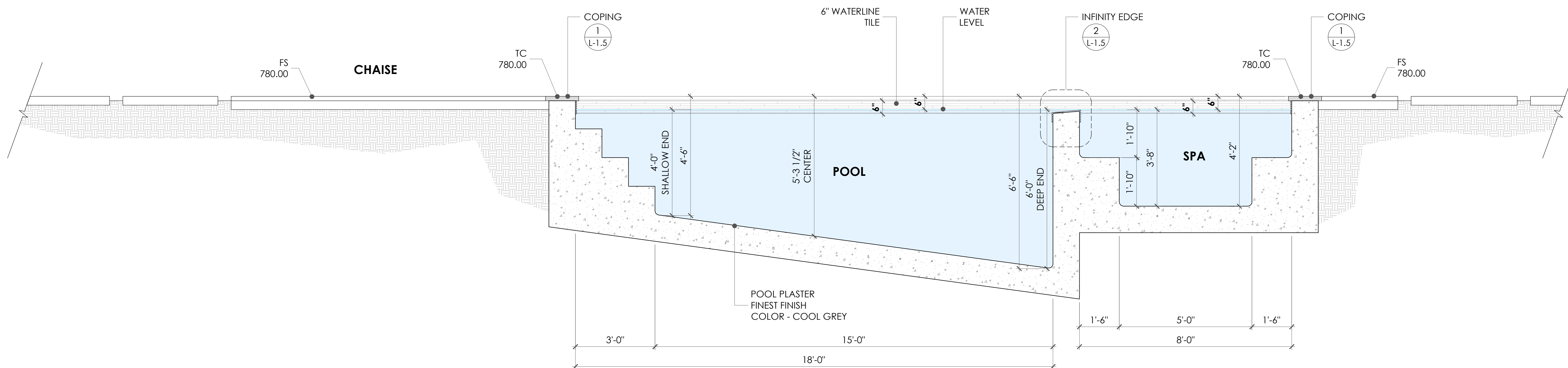
2 INFINITY EDGE
1/2" : 1'-0"



1 POOL COPING
1/2" : 1'-0"



A SECTION:
EQUIPMENT VAULT / POOL
1/2" : 1'-0"



B SECTION:
POOL / SPA
1/2" : 1'-0"

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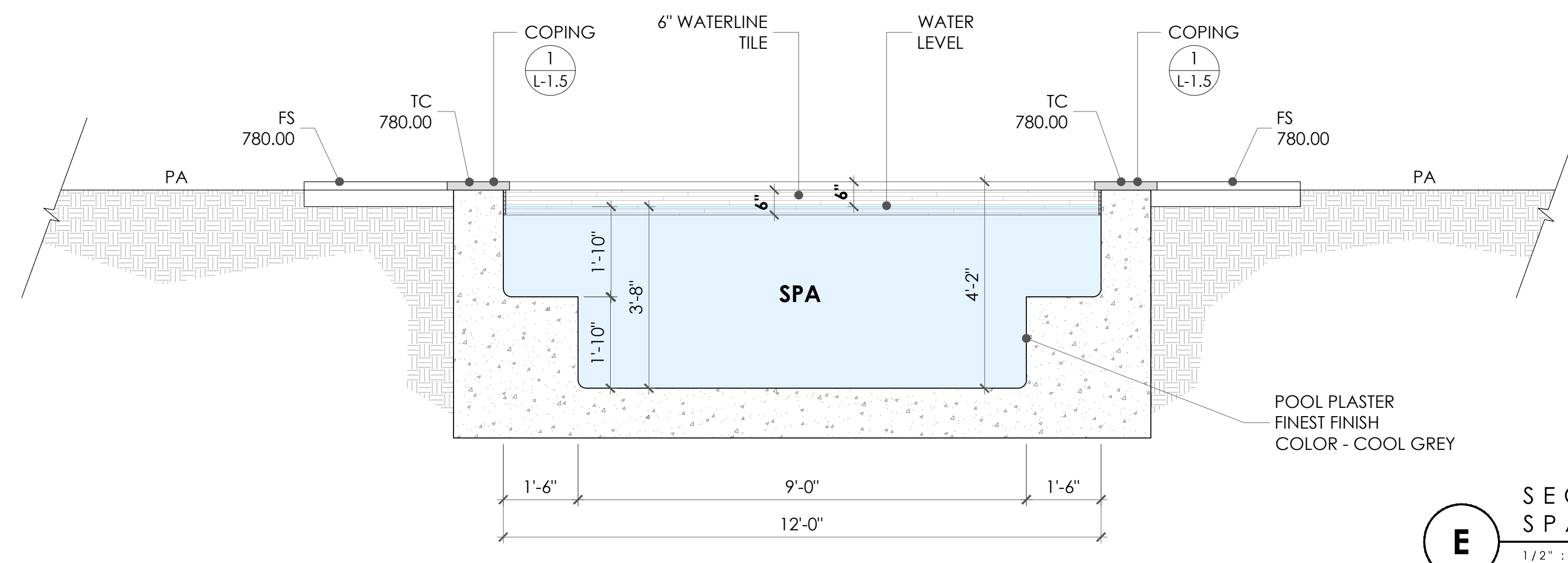
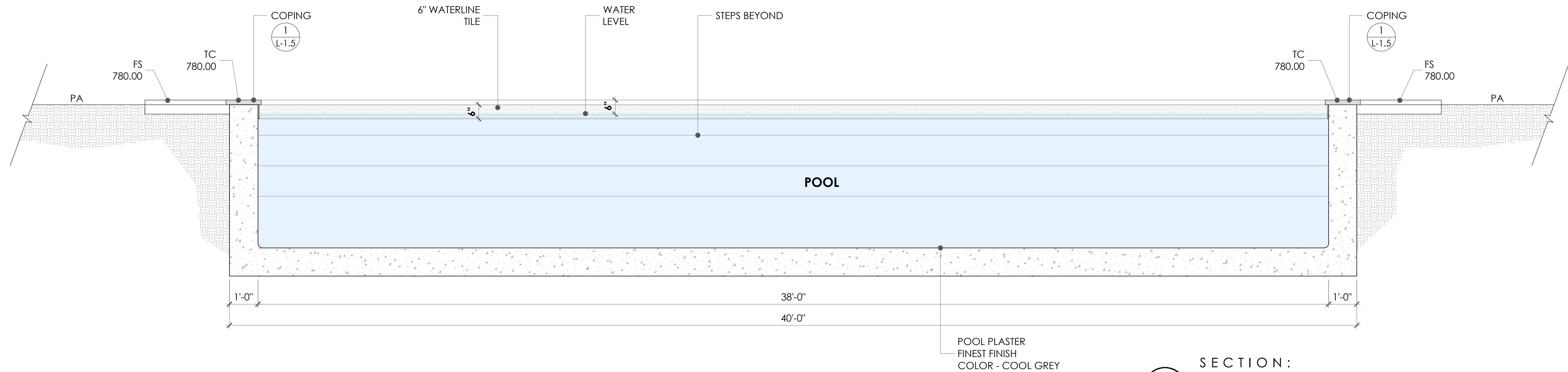
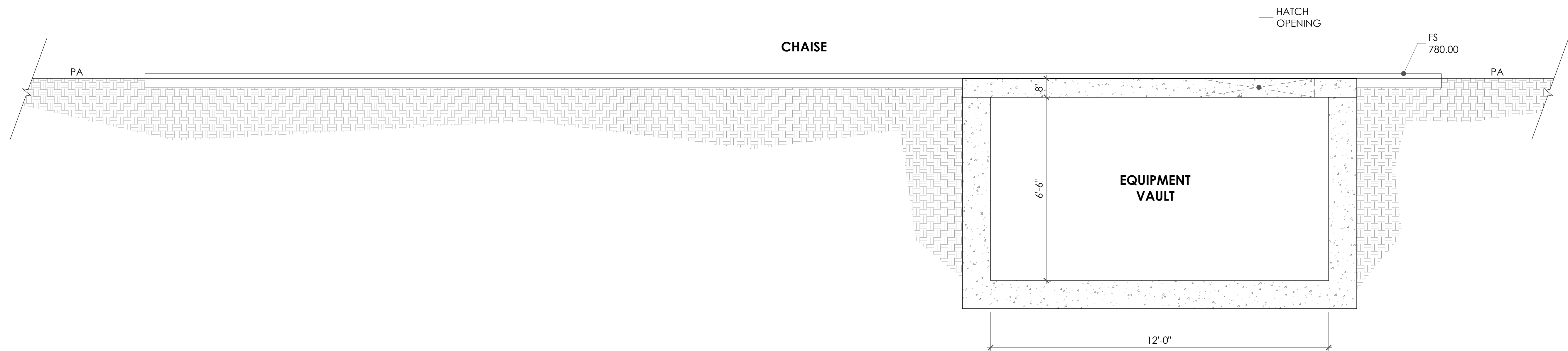
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POOL SECTIONS



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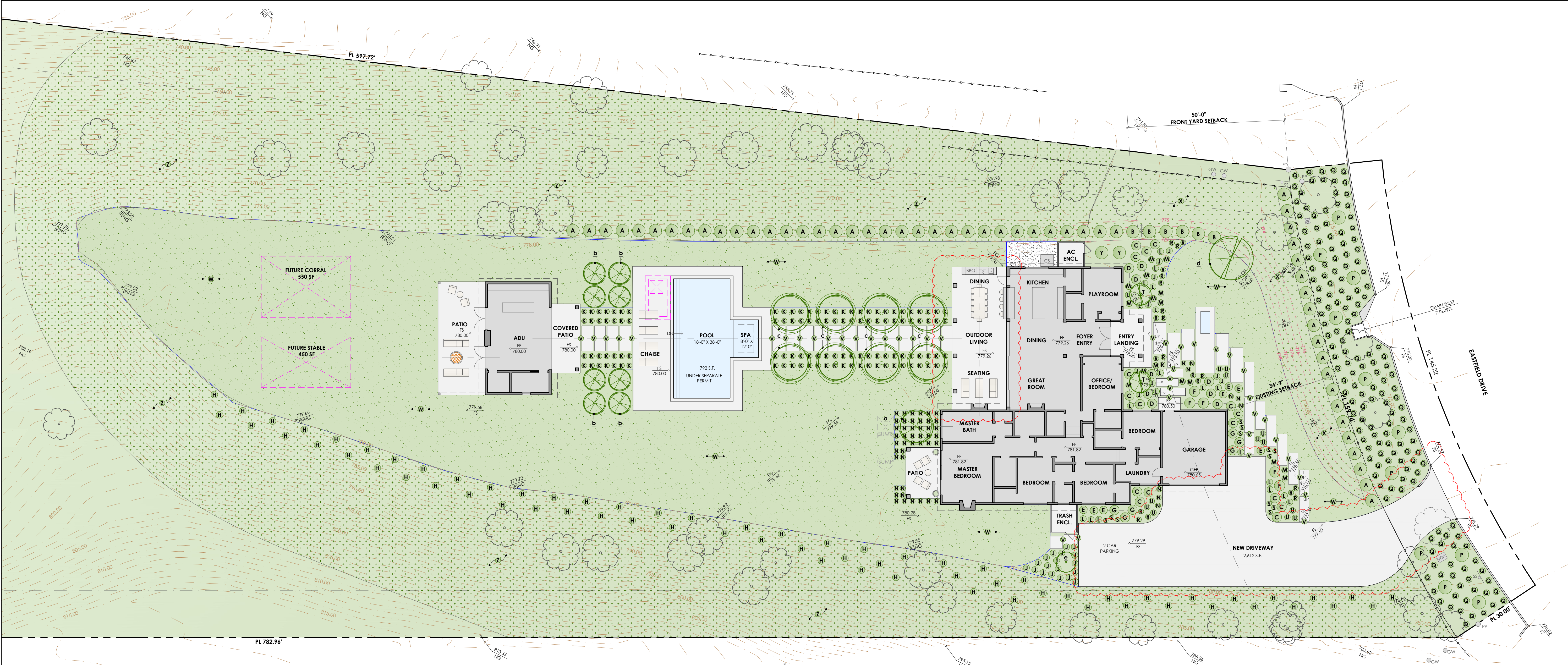
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POOL SECTIONS



PLANT / TREE LEGEND

LEGEND	QTY	SIZE	ARRANGEMENT	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	WUCOLS IV	NOTES
A	54	15 GAL	PER PLAN	FICUS NITIDA - STAKED	INDIAN LAUREL FIG	6'-8'	3'-4'	MED	MAINTAIN AS HEDGE
B	6	15 GAL	PER PLAN	OLEA EUROPAEA 'LITTLE OLLIE' (OR) WESTRINGIA FRUTICOSA	DWARF FRUITLESS OLIVE COAST ROSEMARY	4'-5'	4'-5'	LOW	MAINTAIN TO 42" H MAX
C	16	5 GAL	PER PLAN	PITOSPORUM CRASSIFOLIUM	KARO	3'-4'	3'-4'	LOW	
D	9	5 GAL	PER PLAN	OLEA EUROPAEA 'LITTLE OLLIE'	DWARF FRUITLESS OLIVE	4'-5'	4'-5'	LOW	
E	7	5 GAL	PER PLAN	JUNIPERUS HORIZONTALIS 'LIME GLOW'	CREeping JUNIPER	1'-2'	1'-3'	LOW	
F	5	5 GAL	PER PLAN	FEIJOA SELLOWIANA	PINEAPPLE GUAVA	5'-8'	5'-8'	LOW	
G	6	5 GAL	PER PLAN	WESTRINGIA FRUTICOSA	COAST ROSEMARY	3'-4'	3'-4'	MED	
H	69	5 GAL	PER PLAN	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3'-5'	2'-3'	MED	
J	28	1 GAL	PER PLAN	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	1'-2'	1'-2'	LOW	
K	112	1 GAL	PER PLAN	LAGURUS OVATUS	BUNNY TAILS	1'-2'	1'-2'	MED	
L	21	1 GAL	PER PLAN	PENNISETUM SPATHIOLATUM	SLENDER VELD T GRASS	1'-2'	1'-2'	LOW	
M	16	1 GAL	PER PLAN	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1'-2'	1'-2'	MED	
N	53	1 GAL	PER PLAN	CAREX TUMULICOLA	FOOTHILL SEDGE	1'-2'	2'-3'	MED	
P	11	15 GAL	PER PLAN	AGAVE ATTENUATA	FOX TAIL AGAVE	3'-4'	3'-4'	LOW	
Q	164	5 GAL	PER PLAN	ROSMARINUS OFFICINALIS 'PROSTRATUS'	CREeping ROSEMARY	2'	3'-4'	LOW	
R	21	5 GAL	PER PLAN	AEONIUM 'MINT SAUCER'	GREEN AEONIUM	2'-3'	1'-2'	LOW	
S	12	1 GAL	PER PLAN	SENECIO SERPENS	BLUE CHALKSTICKS	6"	1'	LOW	
T	2	24" BOX	PER PLAN	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	10'-15'	10'-15'	LOW	
U	12	1 GAL	PER PLAN	ACHILLEA MILLEFOLIUM	COMMON YARROW	1'-3'	1'-3'	LOW	
V	41	DIRT FLAT	PER PLAN	DYMONDIA MARGARETAE	SILVER CARPET	6"	GC	LOW	
W	17329SF	SOD	PER PLAN	MEDALLION PLUS	TURF	3"	SOD	MED	
X	2160 SF	SOD	PER PLAN	FESTUCA RUBRA	CREeping RED FESCUE	1'-2'	GC	LOW	
Y	2	15 GAL	PER PLAN	VITEX AGNUS-CASTUS	CHASTE TREE	8'-10'	8'-10'	MED	MAINTAIN AS HEDGE
Z	30627 SF	SEED	PER PLAN	HYDROSEED MIX TBD	HYDROSEED	1'-2'	1'-2'	LOW	
a	1	36" BOX	PER PLAN	MAYTENUS BOARIA	MAYTEN TREE	20'-30'	15'-20'	MED	
b	8	36" BOX	PER PLAN	CITRUS MEYER LEMON MAYTENUS BOARIA - STANDARD	LEMON MAYTEN TREE	10'-15'	10'-15'	MED	
c	8	36" BOX	PER PLAN	OLEA EUROPAEA 'WILSONII'	FRUITLESS OLIVE	20'-25'	20'-25'	LOW	
d	1	36" BOX	PER PLAN	PLATANUS RACEMOSA	WESTERN SYCAMORE	40'-100'	30'-50'	MED	
e	1	36" BOX	PER PLAN	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	CRAPE MYRTLE	15'-20'	15'-20'	LOW	

TREE PLANTING AND CARE INSTRUCTIONS

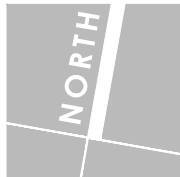
- DRAINAGE**
PREPARE THE HOLE A COUPLE OF DAYS PRIOR TO PLANTING. FILL THE HOLE WITH 1/2" OF WATER. THE WATER SHALL DRAIN OVERNIGHT. IF IT DOESN'T, YOU HAVE A DRAINAGE PROBLEM WHICH NEED TO BE CORRECTED WITH A FRENCH DRAIN OR SOME OTHER METHOD THAT TAKES EXCESS WATER DOWN AND AWAY FROM THE BOTTOM OF THE ROOT BALL.
- PLANTING**
THE HOLE SHALL BE 2" WIDER THAN THE BOX SIZE AND THE SAME DEPTH AS THE ROOT BALL. LEAVE THE BOTTOM FOR 48" BOX SIZES AND LARGER FOR STABILITY AND SAFETY. VERIFY THE TOP OF THE ROOT BALL IS EVEN OR SLIGHTLY HIGHER THAN THE SURROUNDING SOIL.
- SOIL PIPES**
48" BOX AND LARGER TREES SHALL HAVE FOR 4" PERFORATED PVC PIPES INSTALLED ON ALL FOUR SIDES TO THE BOTTOM OF THE ROOT BALL. FILL 3 PIPES WITH GRAVEL FOR DEEP FEEDING AND WATERING. USE THE FOURTH PIPE FOR CHECKING THE CONDITION OF THE ROOT BALL (TOO MUCH WATER OR TOO DRY). CAP ALL PIPES APPROXIMATELY 4" ABOVE SOIL LEVEL.
- WATERING BERM OR BASIN**
USE LEFT OVER SOIL MIX TO BUILD A SEVERAL-INCH-HIGH CIRCULAR WATERING BERM AROUND THE ROOT BALL. MAKE SURE THE BERM OR BASIN IS NO LARGER THAN THE ROOT BALL. OTHERWISE WATERING MAY WET THE SOIL AROUND THE TREE, BUT NOT THE ROOTBALL.
- WATERING**
IT IS VERY IMPORTANT TO KEEP A NEWLY PLANTED TREE WATERED DURING THE FIRST 12 TO 18 MONTHS. WATER AS OFTEN AS NECESSARY TO KEEP THE ROOT BALL MOIST, BUT NOT SATURATED. THIS MAY MEAN WATERING EVERY 2 TO 3 DAYS AT FIRST, OR ONLY ONCE A WEEK. HOW YOU WATER WILL DEPEND ON THE WEATHER, HOW HOT OR DRY YOUR AREA IS AND YOUR SOIL TYPE. BE ESPECIALLY CAREFUL TO KEEP THE TREES WATERED DURING SANTA ANA WINDS.
- FERTILIZING**
THE TREE SHOULD BE FED IN MARCH, JUNE AND SEPTEMBER WITH A SLOW RELEASE 20-5-5 FERTILIZER MIXED HALF-AND-HALF WITH BLOODMEAL.

PLANTING NOTES:

- SOIL TO BE SAMPLED BY WALLACE LABS (310.615.0116)
- CONTRACTOR TO AMEND PER WALLACE LAB RECOMMENDATION - 2" MIN.
- LEAF POST MULCH ON SURFACE OF ALL P.A.
- DURA EDGE AT ALL P.A. EDGES WWW.JDRUSSELCO.COM (800.888.7425)
- WEATHER BASED AUTOMATED IRRIGATION SHALL BE PROVIDED FOR ALL THE LANDSCAPED AREAS
- A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE IS CONTRAINDICATED.
- COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING.
- THE OWNER SHALL PROVIDE FOR THE PLANTING OF TREES IN THE PARKWAY ADJACENT TO THE SITE OF THE BUILDING IN ACCORDANCE WITH THE RECOMMENDATION OF THE PUBLIC WORKS DIRECTOR OR AUTHORIZED DESIGNEE.

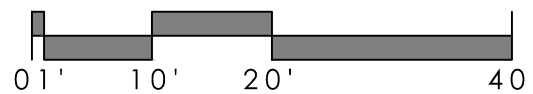
WUCOLS IV NOTE:

WATER REQUIREMENTS FOR ALL PLANTS LISTED HAVE BEEN CONFIRMED BY WUCOLS IV PLANT DATABASE PROVIDED BY THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (DWR) WATER USE EFFICIENCY PROGRAM.



PLANTING PLAN

1/16" = 1'-0"



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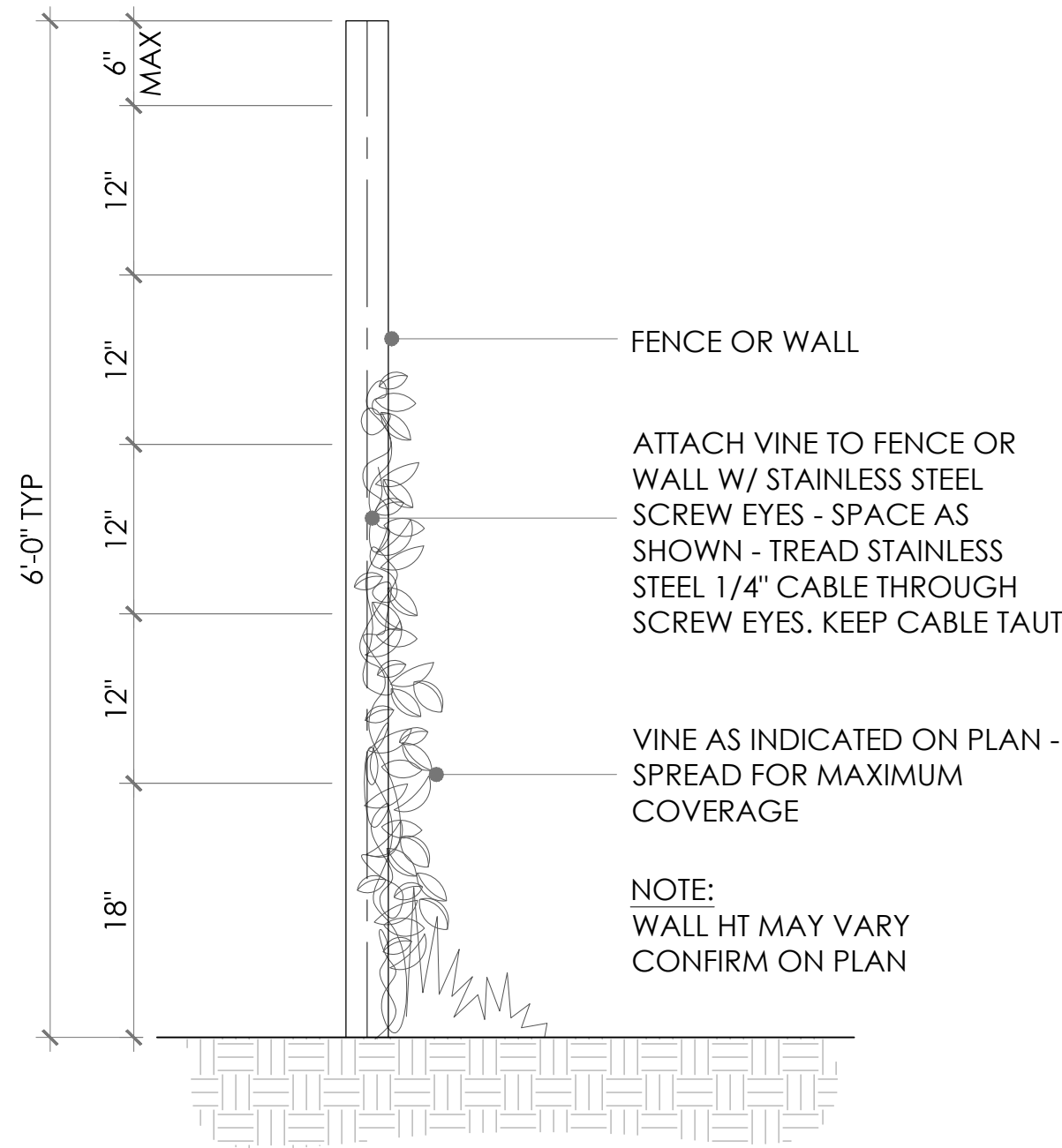
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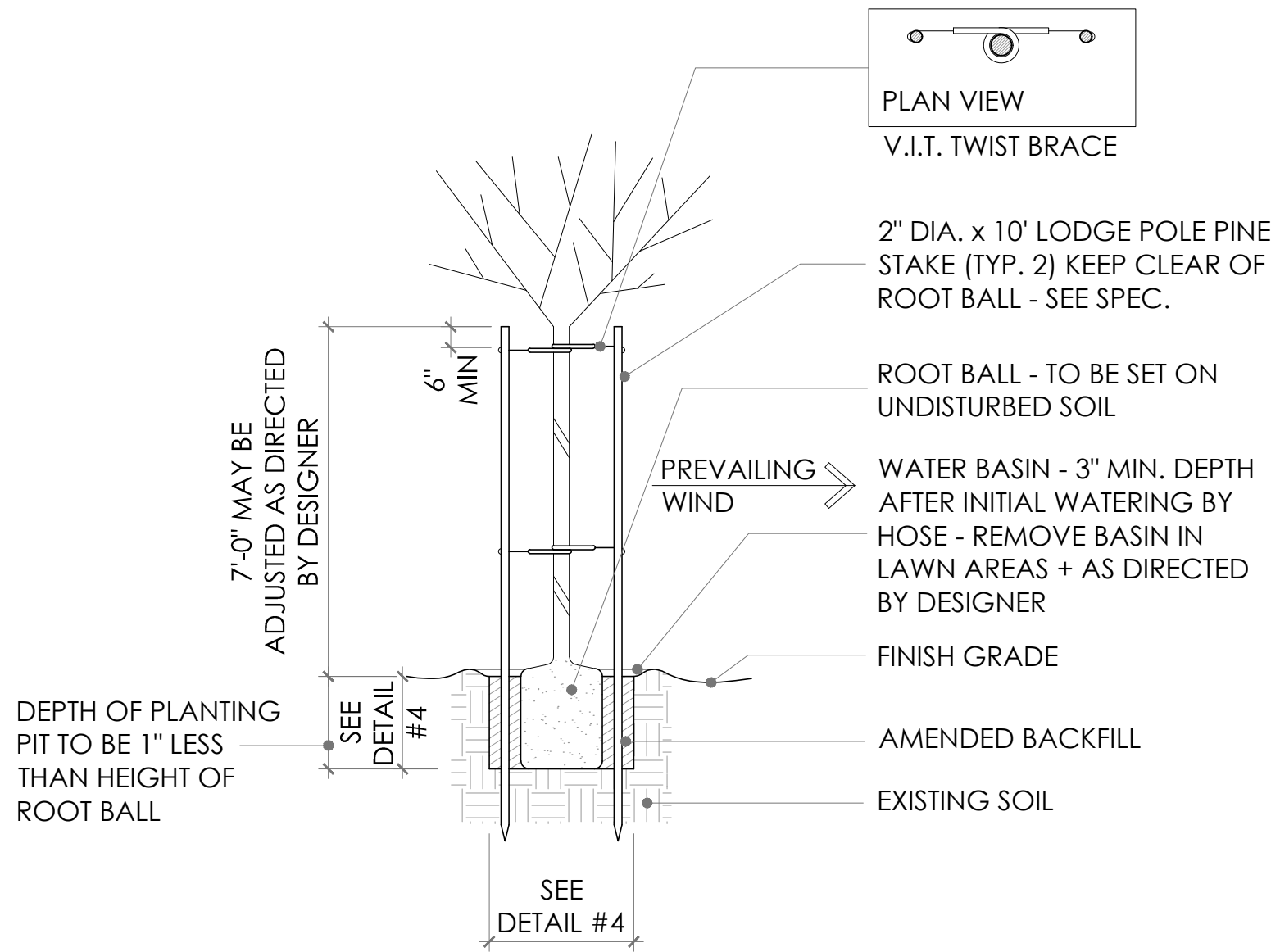
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L-2

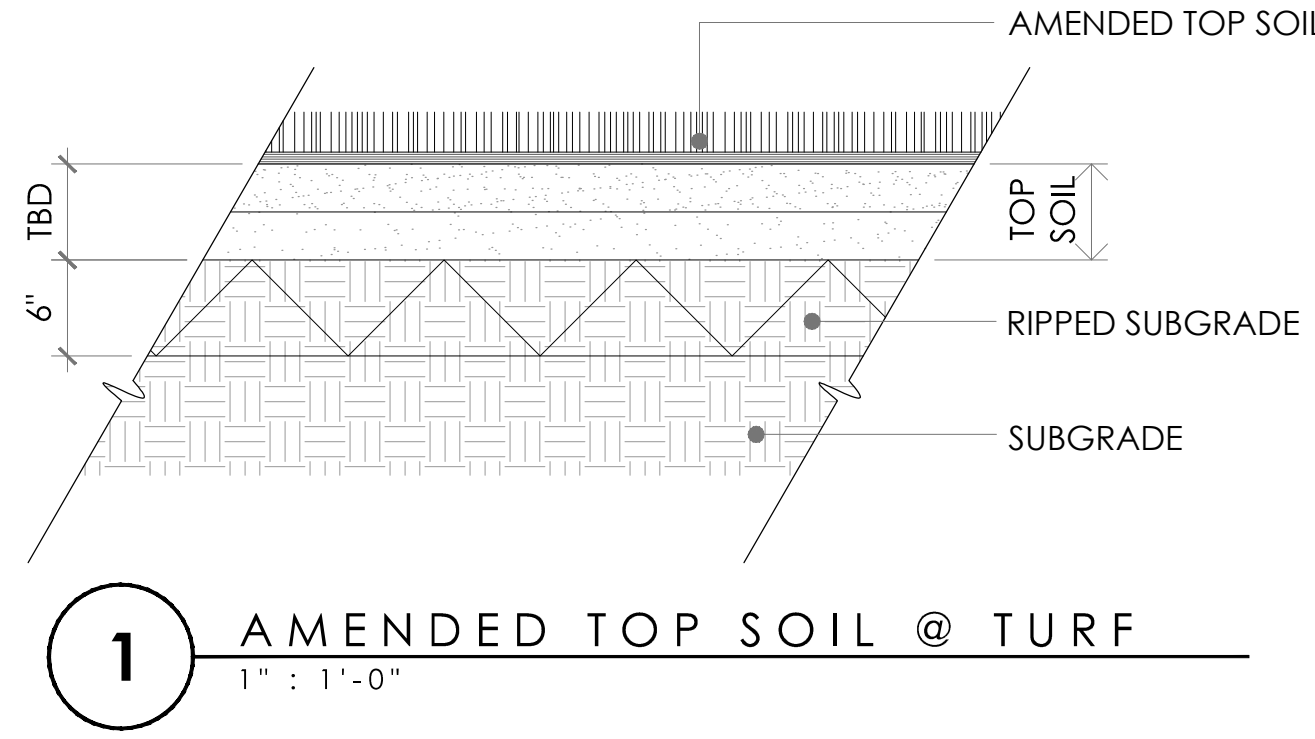
PLANTING PLAN



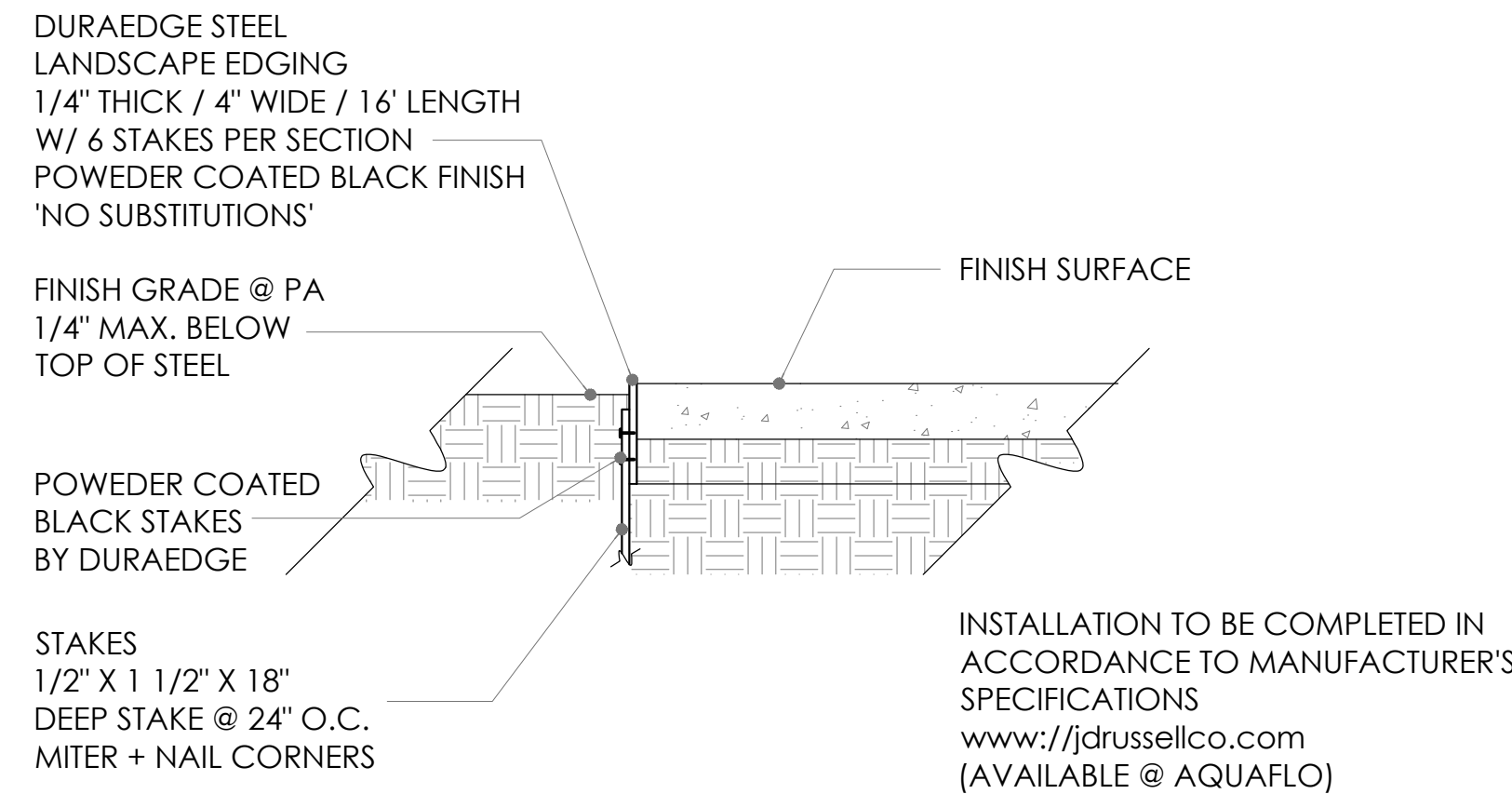
8 VINE PLANTING
1" : 1'-0"



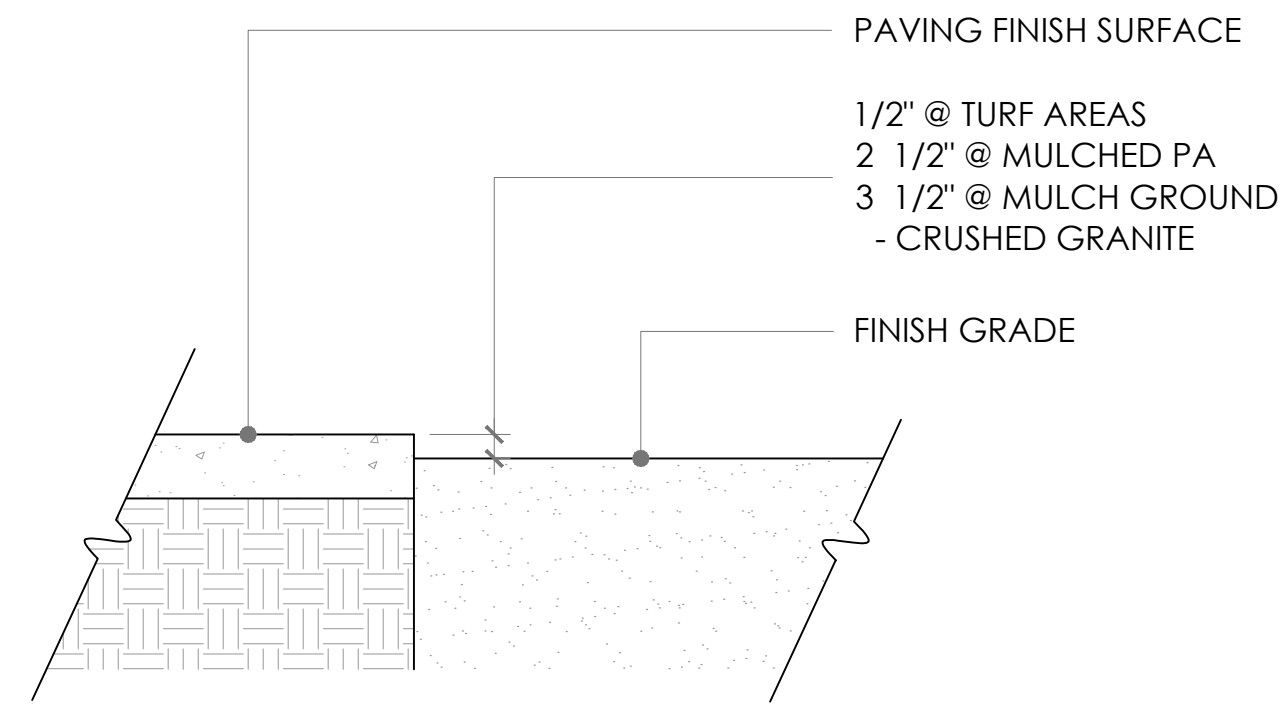
5 PLANTING & TREE STAKING
1/4" : 1'-0"



1 AMENDED TOP SOIL @ TURF
1" : 1'-0"



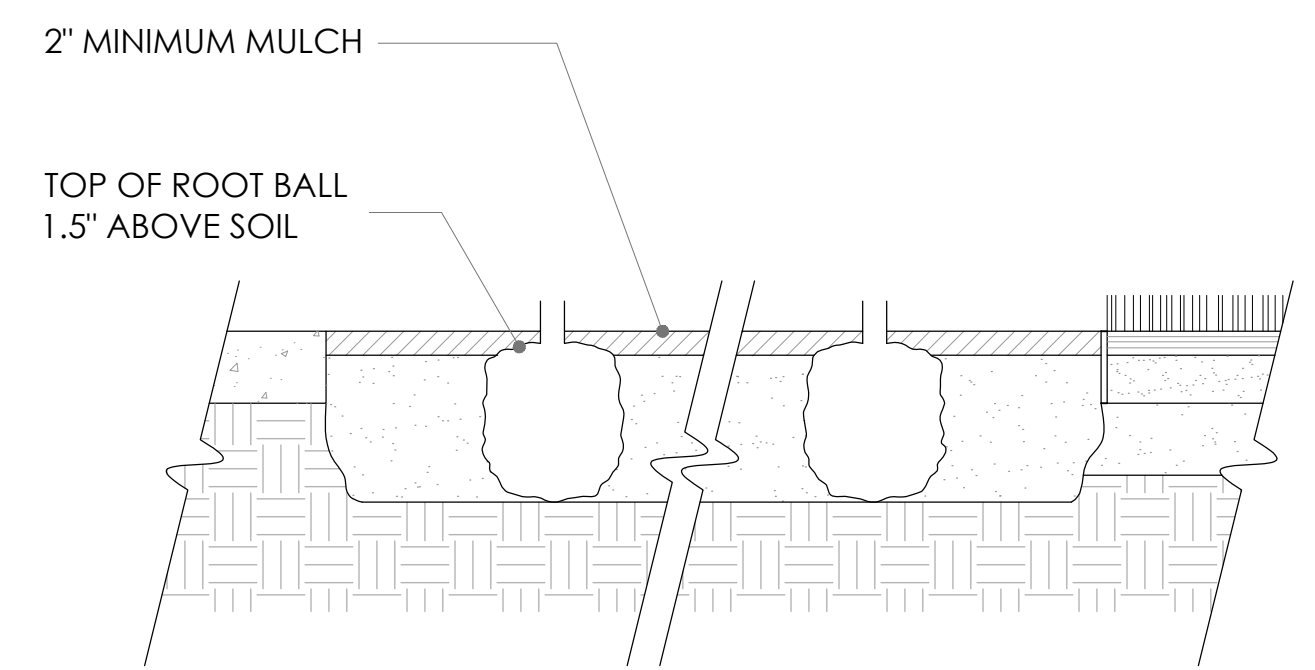
2 DURAEDGE HEADER
1" : 1'-0"



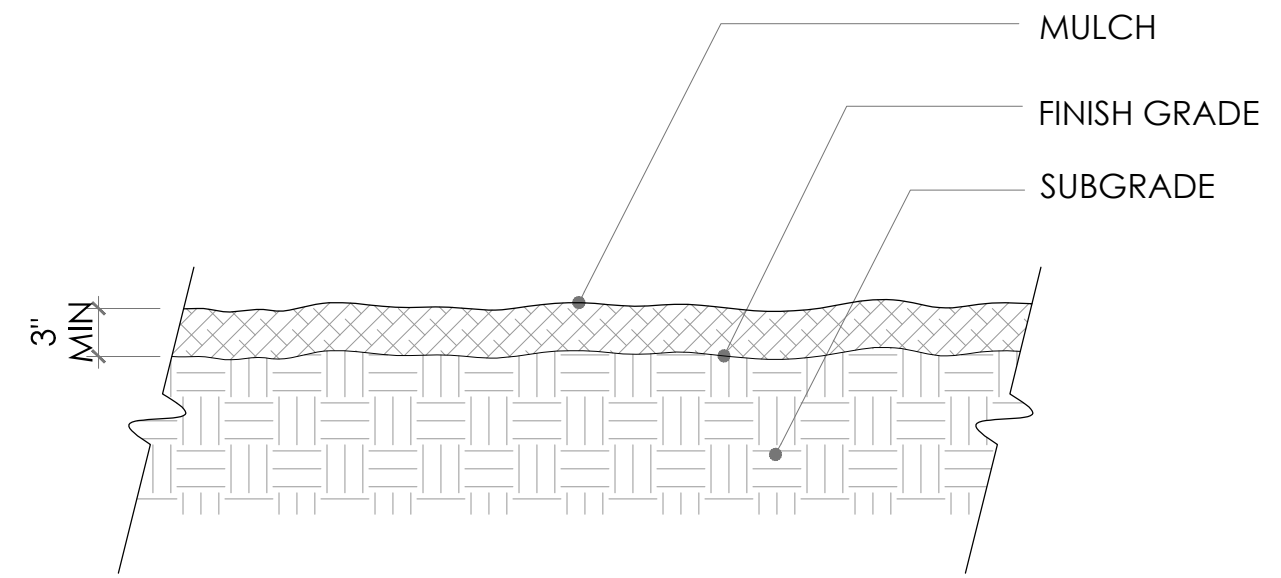
3 SOLID FINISH @ PAVING EDGE
1/2" : 1'-0"

1. DRAINAGE
PREPARE THE HOLE A COUPLE OF DAYS PRIOR TO PLANTING. FILL THE HOLE WITH 12" OF WATER. THE WATER SHOULD DRAIN OVERNIGHT. IF IT DOESN'T, YOU HAVE A DRAINAGE PROBLEM WHICH NEEDS TO BE CORRECTED WITH A FRENCH DRAIN OR SOME OTHER METHOD THAT TAKES EXCESS WATER DOWN AND AWAY FROM THE BOTTOM OF THE ROOT BALL.
2. PLANTING
THE HOLE SHOULD BE 3X WIDER THAN THE ROOT BALL SIZE AND THE SAME DEPTH AS THE ROOT BALL. LEAVE THE BOTTOM FOR 48" BOX SIZES AND LARGER FOR STABILITY AND SAFETY. BE SURE THE TOP OF THE ROOT BALL IS EVEN OR SLIGHTLY HIGHER THAN THE SURROUNDING SOIL.
3. SOIL PIPES
48" BOX AND LARGER TREES SHOULD HAVE FOR 4" PERFORATED PVC PIPES INSTALLED ON ALL FOUR SIDES TO THE BOTTOM OF THE ROOT BALL. FILL 3 PIPES WITH GRAVEL FOR DEEP FEEDING AND WATERING. USE THE FOURTH PIPE FOR CHECKING THE CONDITION OF THE ROOT BALL (TOO MUCH WATER OR TOO DRY). CAP ALL PIPES APPROXIMATELY 4" ABOVE SOIL LEVEL.
4. WATERING BERM OR BASIN
USE LEFT OVER SOIL MIX TO BUILD A SEVERAL-INCH-HIGH CIRCULAR WATERING BERM AROUND THE ROOT BALL. MAKE SURE THE BERM OR BASIN IS NO LARGER THAN THE ROOT BALL. OTHERWISE WATERING MAY WET THE SOIL AROUND THE TREE, BUT NOT THE ROOTBALL.
5. WATERING
IT IS VERY IMPORTANT TO KEEP A NEWLY PLANTED TREE WATERED DURING THE FIRST 12 TO 18 MONTHS. WATER AS OFTEN AS NECESSARY TO KEEP THE ROOT BALL MOIST, BUT NOT SATURATED. THIS MAY MEAN WATERING EVERY 2 TO 3 DAYS AT FIRST, OR ONLY ONCE A WEEK. HOW YOU WATER WILL DEPEND ON THE WEATHER, HOW HOT OR DRY YOUR AREA IS AND YOUR SOIL TYPE. BE ESPECIALLY CAREFUL TO KEEP THE TREES WATERED DURING SANTA ANA WINDS.
6. FERTILIZING
THE TREE SHOULD BE FED IN MARCH, JUNE AND SEPTEMBER WITH A SLOW-RELEASE 20-5-5 FERTILIZER MIXED HALF-AND-HALF WITH BLOODMEAL.

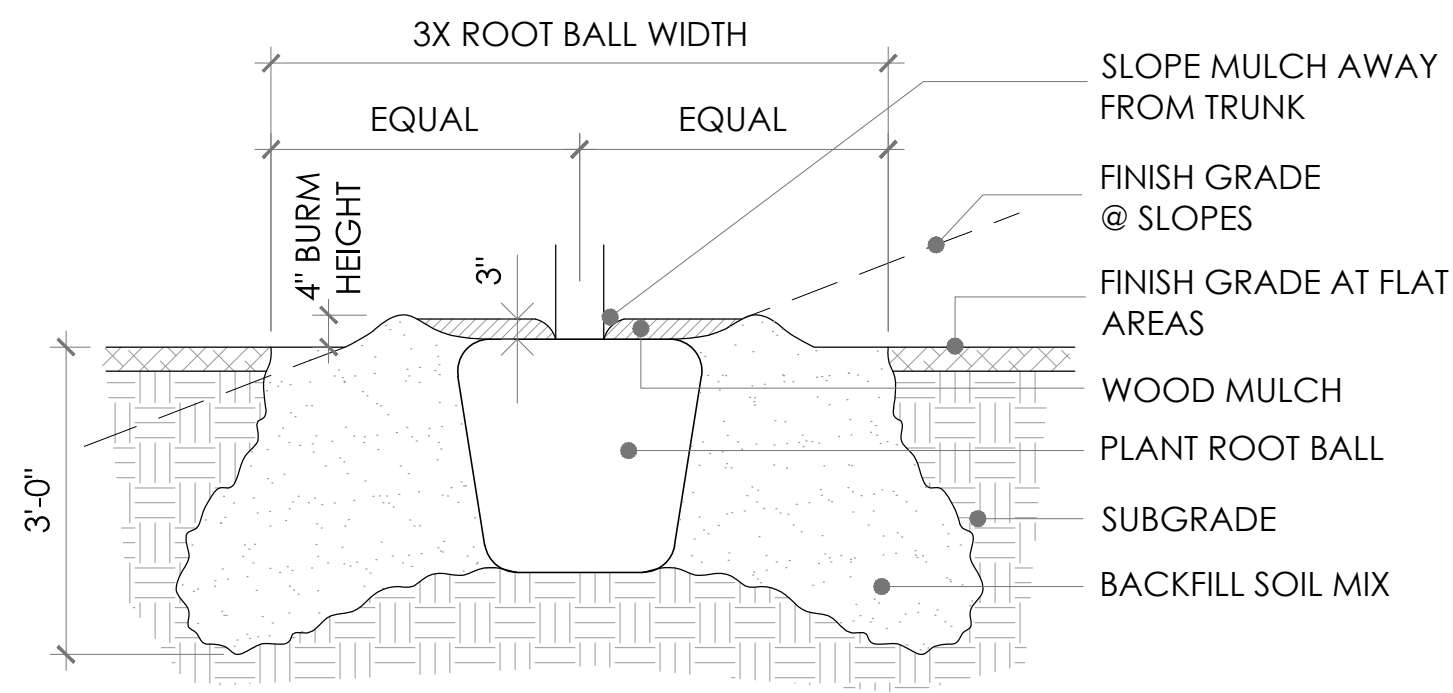
IMPORTANT TREE PLANTING & CARE INSTRUCTIONS



6 SHRUB / VINE PLANTING
3/4" : 1'-0"



7 MULCH BLEND
1 1/2" : 1'-0"



4 TREE PLANTING
1/2" : 1'-0"

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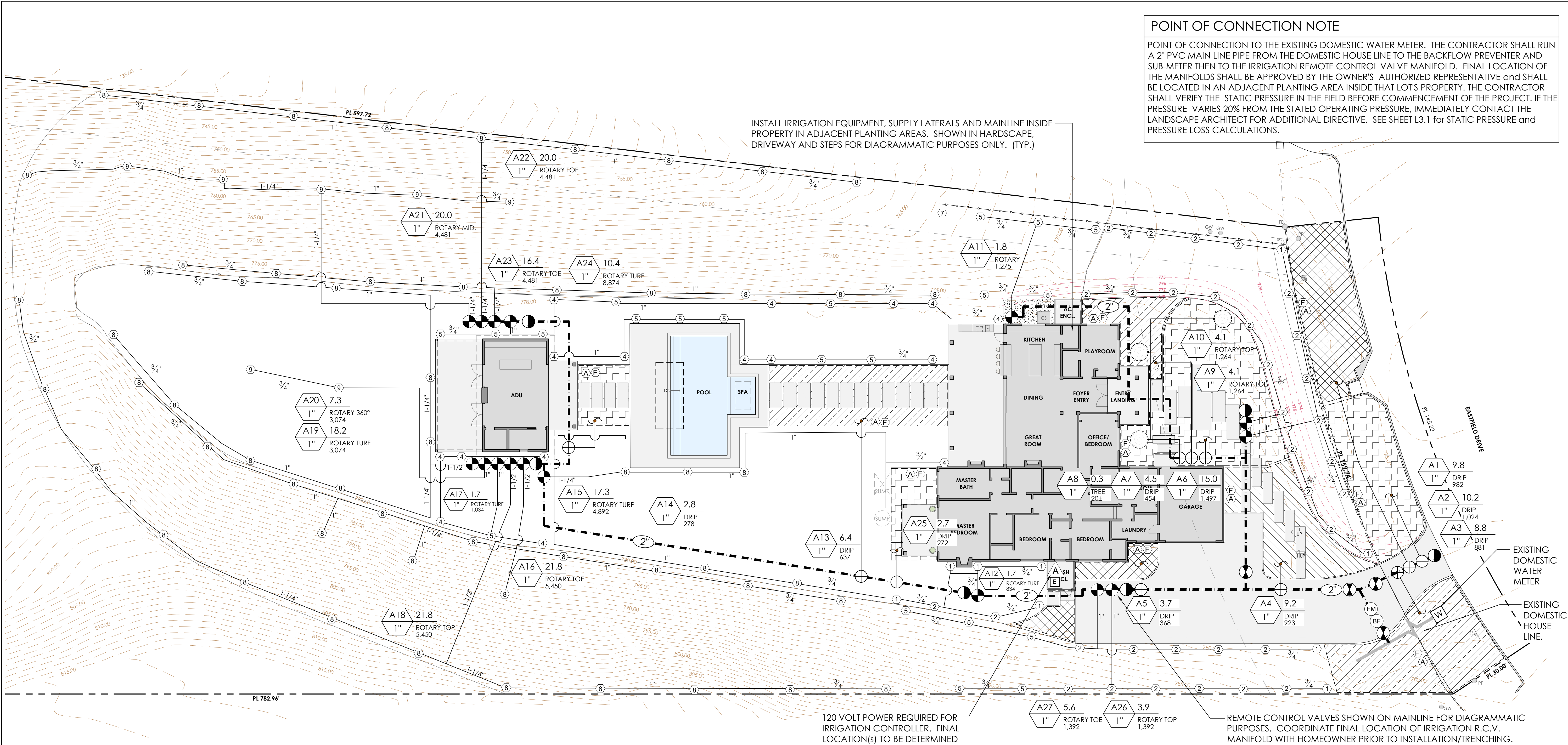
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L-2.2
PLANTING DETAILS



POINT OF CONNECTION NOTE

POINT OF CONNECTION TO THE EXISTING DOMESTIC WATER METER. THE CONTRACTOR SHALL RUN A 2" PVC MAIN LINE PIPE FROM THE DOMESTIC HOUSE LINE TO THE BACKFLOW PREVENTER AND SUB-METER THEN TO THE IRRIGATION REMOTE CONTROL VALVE MANIFOLD. FINAL LOCATION OF THE MANIFOLDS SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE and SHALL BE LOCATED IN AN ADJACENT PLANTING AREA INSIDE THAT LOT'S PROPERTY. THE CONTRACTOR SHALL VERIFY THE STATIC PRESSURE IN THE FIELD BEFORE COMMENCEMENT OF THE PROJECT. IF THE PRESSURE VARIES 20% FROM THE STATED OPERATING PRESSURE, IMMEDIATELY CONTACT THE LANDSCAPE ARCHITECT FOR ADDITIONAL DIRECTIVE. SEE SHEET L3.1 for STATIC PRESSURE and PRESSURE LOSS CALCULATIONS.

INSTALL IRRIGATION EQUIPMENT, SUPPLY LATERALS AND MAINLINE INSIDE PROPERTY IN ADJACENT PLANTING AREAS. SHOWN IN HARDSCAPE, DRIVEWAY AND STEPS FOR DIAGRAMMATIC PURPOSES ONLY. (TYP.)

120 VOLT POWER REQUIRED FOR IRRIGATION CONTROLLER. FINAL LOCATION(S) TO BE DETERMINED

REMOTE CONTROL VALVES SHOWN ON MAINLINE FOR DIAGRAMMATIC PURPOSES. COORDINATE FINAL LOCATION OF IRRIGATION R.C.V. MANIFOLD WITH HOMEOWNER PRIOR TO INSTALLATION/TRENCHING.

VALVE KEY	DRIPPERLINE SUPPLY/EXHAUST PIPE:												
<div>VAL.#</div> <div>GPM</div> <div>TYPE</div> <div>SIZE</div> <div>Sq. Ft. /Hydrozone</div>	<table><tr><th>ZONE FLOW</th><th>PIPE SIZE</th></tr><tr><td>0 - 5 GPM</td><td>BLANK TUBING or 1/2" PVC</td></tr><tr><td>5 - 8 GPM</td><td>3/4" PVC</td></tr><tr><td>8.1 - 13 GPM</td><td>1" PVC</td></tr><tr><td>13.1 - 22 GPM</td><td>1 1/4" PVC</td></tr><tr><td>22.1 - 30 GPM</td><td>1 1/2" PVC</td></tr></table>	ZONE FLOW	PIPE SIZE	0 - 5 GPM	BLANK TUBING or 1/2" PVC	5 - 8 GPM	3/4" PVC	8.1 - 13 GPM	1" PVC	13.1 - 22 GPM	1 1/4" PVC	22.1 - 30 GPM	1 1/2" PVC
ZONE FLOW	PIPE SIZE												
0 - 5 GPM	BLANK TUBING or 1/2" PVC												
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8.1 - 13 GPM	1" PVC												
13.1 - 22 GPM	1 1/4" PVC												
22.1 - 30 GPM	1 1/2" PVC												

REFERENCE NOTES

FOR PRESSURE LOSS AND MAWA/ETWU CALCULATIONS SEE SHEET 3.1
FOR IRRIGATION GENERAL NOTES SEE SHEET 3.1
FOR IRRIGATION DETAILS SEE SHEETS 3.2 and 3.3
FOR WATER AUDIT AND MAINTENANCE TASK NOTES SEE SHEET 3.3
FOR IRRIGATION SPECIFICATIONS SEE SHEET 3.4

DESIGN CONFIRMATION NOTE:

I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans".

B. Montrella
BENJAMN MONTELLA RLA #5819

September 2, 2021
DATE

IRRIGATION CONTROLLERS
<div>A</div> HUNTER PRO-C and HC-075 FLOW METER WI-FI WEATHER-BASED SMART CONTROLLER WITH FLOW METER. INSTALL WITH (2) ADDITIONAL STATIONS MINIMUM INCLUDING FLOW METER AND MASTER VALVE. INSTALL LOCKING PLASTIC CABINET. INSTALL WITH CONNECTION TO SOIL-CLIK MOISTURE SENSOR AND RAIN-CLIK. FINAL LOCATIONS OF CONTROLLERS TO BE DETERMINED BY OWNER'S AUTHORIZED REPRESENTATIVE.
RAIN SENSOR HUNTER INSTALL SOIL-CLIK MOISTURE SENSORS and CONNECT to CONTROLLER. INSTALL per MANUFACTURER'S SPECIFICATIONS.
MOISTURE SENSOR HUNTER INSTALL WIRELESS RAIN-CLIK and CONNECT to CONTROLLER. INSTALL per MANUFACTURER'S SPECIFICATIONS.
<div>E</div> AS APPROVED 120 VOLT ELECTRICAL POWER FOR CONTROLLER. PROVIDED BY ELECTRICIAN. SEE ARCHITECTURAL PLANS FOR LOCATION.

IRRIGATION PIPING
AS APPROVED NON-PRESSURE LATERAL SCH 40 PVC with SCHEDULE 40 FITTINGS UP TO 1 1/2" - BURY MIN. 12" BELOW GRADE (SIZE AS NOTED ON PLAN).
AS APPROVED 2" IRRIGATION PRESSURE MAINLINE CLASS 315 - BURY MIN. 18" BELOW GRADE. with SCHEDULE 80 FITTINGS
AS APPROVED PVC PIPE SCH. 40 SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED - EXTEND 12" BEYOND EDGE OF PAVING & PLACE BELOW ALL PAVING, HARDSCAPE, ETC..
AS APPROVED NON-PRESSURE LATERAL SCH 40 U.V.R. BROWNLIN with SCHEDULE 40 FITTINGS UP TO 1 1/2" - BURY MIN. 12" BELOW GRADE (SIZE AS NOTED ON PLAN), AT MIDDLE AND TOP OF SLOPE ONLY.

IRRIGATION MISCELLANEOUS EQUIPMENT
NO SYMBOL AS APPROVED IRRIGATION CONTROL WIRE #14UF AWG DIRECT BURIAL (U.L. APPROVED)
NO SYMBOL SPEARS DS-400 PRE-FILLED WIRE CONNECTORS FOR USE ON ALL WIRE CONNECTIONS
NO SYMBOL 3M DBY DIRECT BURIAL WATER-PROOF WIRE CONNECTORS FOR USE ON ALL WIRE CONNECTIONS

SUB-SURFACE DRIP IRRIGATION
<div>+</div> HUNTER ICZ-101 AND PCZ-101 SERIES. 1" REMOTE CONTROL DRIP SYSTEM VALVES WITH FILTER SYSTEM. FINAL LOCATION OF IRRIGATION R.C.V. MANIFOLDS TO BE DETERMINED BY OWNER'S AUTHORIZED REPRESENTATIVE.
<div>RAINBIRD</div> XFCV Dripline with Heavy Duty Check Valve. SUB-SURFACE DRIPLINE TUBING 0.6 GPH EMITTERS at 12" ON CENTER SPACING- ALL TUBING SHALL BE INSTALLED 4" MINIMUM BELOW FINISHED SOIL GRADE W/ 9" WIRE STAKES FIVE (4) FEET ON CENTER; VERIFY THE LAYOUT AND 14" MAX. ON CENTER SPACING IN THE FIELD PRIOR TO STARTING WORK. INSTALL SUB-SURFACE DRIP IRRIGATION SYSTEM per MANUFACTURER'S SPECIFICATIONS.
USE RAINBIRD FITTINGS FOR CONNECTION BETWEEN PVC LATERAL LINES AND DRIPLINE TUBING.
AS APPROVED NON-PRESSURE LATERAL SCH. 40 SUPPLY LATERAL. NOTE: EXHAUST LATERALS NOT SHOWN FOR GRAPHIC CLARITY.
<div>F</div> RAINBIRD DRIPLINE AUTOMATIC LINE FLUSH VALVE. - PROVIDE SCH 40 SOLVENT-WELD BALL VALVE FOR FLUSH OFF OF PCV EXHAUST MANIFOLD PIPE. INSTALL FLUSH VALVE INSIDE 6" ROUND FLUSH VALVE BOX. ONE AT THE END OF ANY DRIPLINE LATERAL or PVC EXHAUST HEADER. MULTIPLE FLUSH VALVES MAY BE REQUIRED WITHIN DRIPLINE LAYOUT. ALWAYS INSTALL VALVES IN OPPOSITE DIRECTIONS OF THE PVC/DRIPLINE CONNECTION MANIFOLD.
<div>A</div> RAINBIRD PLD-ARV-075 AIR/VACUUM RELIEF VALVE INSTALLED WITH COMBINATION TEE AND A 3/4" x 1/2" REDUCER BUSHING. INSTALL AIR RELIEF ASSEMBLY INSIDE A 6" ROUND VALVE BOX AT THE HIGH POINT OF EACH PLANTER. MIN. 1 ARV PER 500' OF DISTRIBUTION TUBING. USING AIR RELIEF LATERAL. CONNECT AIR RELIEF VALVE TO ALL DRIPLINE LATERALS WITHIN THE ELEVATED AREA.
MULTIPLE ARV'S SHALL BE REQUIRED PER RCY WITHIN UNDULATING AREAS. VERIFY QUANTITY PRIOR TO STARTING WORK. FLUSH VALVES AND AIR RELIEF VALVES SHOWN DIAGRAMMATICALLY. INSTALL EMITTER BOX: RAINBIRD-SEB-7X8 18" MIN. FROM PAVING/WALLS AND AT HIGH POINTS OF PLANTER AREA.
<div>+</div> HUNTER TREE DRIPPER RING: XFCV Dripline with Heavy Duty Check Valve. SUB-SURFACE DRIPLINE TUBING 0.6 GPH EMITTERS at 12" ON CENTER. 8" SPACING OF CONCENTRIC RING SPACING AROUND BASE OF TREE - ALL TUBING SHALL BE INSTALLED 4" MINIMUM BELOW FINISHED SOIL GRADE W/ 9" WIRE STAKES FIVE (4) FEET ON CENTER.

IRRIGATION UTILITIES & VALVES

W

WATER METER

1" EXISTING DOMESTIC WATER METER. PROTECT IN PLACE.

BF

FEBCO

FEBCO-765 1" P.V.B. BACKFLOW PREVENTER. INSTALL A MINIMUM OF 12" ABOVE HIGHEST IRRIGATION HEAD/EMITTER.

FM

HUNTER

HC-075 3" SUB-METER / FLOW METER. WITH WI-FI CONNECTION TO IRRIGATION CONTROLLER INSTALL IN VALVE BOX

HUNTER

HQ33-LRC 3" QUICK COUPLER VALVE WITH LOCKING RUBBER CAP. LOCATIONS ARE APPROXIMATE. FINAL LOCATIONS TO BE DETERMINED BY OWNER'S AUTHORIZED REPRESENTATIVE.

LASCO

SLO-CLOSE SERIES BALL VALVE. SIZE per LINE

HUNTER

PRO-ASY 1" REMOTE CONTROL VALVE WITH FLOW CONTROL

IRRIGATION ROTARY NOZZLES (Slopes only / Turf only)

Q	H	F	MANUF.	MODEL NO. / DESCRIPTION	PSI	Q	G.P.M.	H	F	PRECIP. RATE	RAD.
15	25	35	HUNTER	PROS-00-PRS-40-CV-MP 800 SR(SHORT RAD)	40	.16	.32	.56	.81		8'
1	2	3	HUNTER	PROS-00-PRS-40-CV W/ MP ROTATOR 1000	40	.19	.37	.75	.45		14'
4	5	6	HUNTER	PROS-00-PRS-40-CV W/ MP ROTATOR 2000	40	.40	.74	1.47	.45		20'
7	8	9	HUNTER	PROS-00-PRS-40-CV W/ MP ROTATOR 3000	40	.86	1.82	3.64	.45		30'

V

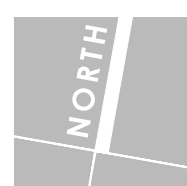
HUNTER

ADJUST / INSTALL VARIABLE ARC NOZZLES TO AVOID OVERSPRAY

NOTE:

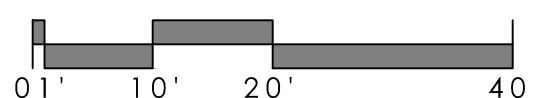
INSTALL 6" POP-UP SPRAY AT TURF AREAS ONLY.

INSTALL ON RISERS AT SLOPE SHRUB PLANTING AREAS.



IRRIGATION PLAN

1/16" = 1'-0"



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IRRIGATION PLAN

ROLLING HILLS C.I.M.I.S. ET ₀ DATA MONTHLY	JAN 1.8	FEB. 2.1	MAR. 3.3	APR. 3.9	MAY 4.5	JUN. 4.3	JUL. 5.3	AUG. 4.7	SEP. 3.7	OCT. 2.8	NOV. 1.8	DEC. 1.5	= 39.7
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- THIS SCHEDULE IS INTENDED AS A STARTING POINT ONLY.
- THE IRRIGATION CONTRACTOR SHALL ADJUST RUN TIMES FOR ACTUAL SITE CONDITIONS AND MICRO-CLIMATES.
- SPLIT RUN TIMES MAY BE REQUIRED FOR SLOPE CONDITIONS AND VARYING SOIL INFILTRATION RATES.
- APPLICATION RATE SHALL NOT EXCEED THE INFILTRATION RATE OF THE SOIL.
- IRRIGATION RUN-TIMES SHALL be BETWEEN THE HOURS of 10:00 P.M. AND 5:00 A.M.

		PRECIP. RATE	SCHEDULING DATA
JAN	28 min.	.60" / hr.	TWICE WEEKLY MAXIMUM
FEB	35 min.	"	TWICE WEEKLY MAXIMUM
MAR	41 min.	"	TWICE WEEKLY MAXIMUM
APR	49 min.	"	TWICE WEEKLY MAXIMUM
MAY	56 min.	"	TWICE WEEKLY MAXIMUM
JUN	60 min.	"	TWICE WEEKLY MAXIMUM
JUL	62 min.	"	TWICE WEEKLY MAXIMUM
AUG	61 min.	"	TWICE WEEKLY MAXIMUM
SEP	23 min.	"	TWICE WEEKLY MAXIMUM
OCT	42 min.	"	TWICE WEEKLY MAXIMUM
NOV	32 min.	"	TWICE WEEKLY MAXIMUM
DEC	25 min.	"	TWICE WEEKLY MAXIMUM

*** THIS IRRIGATION SYSTEM HAS BEEN DESIGN FOR A PRESSURE OF 85 PSI. IF THE WATER PRESSURE VARIES BY MORE THAN 20% THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT ON HOW TO PROCEED. FAILURE TO DO SO WILL ALL REPAIRS/ REPLACEMENTS ON THE RESPONSIBILITY OF THE CONTRACTOR. ***

TOTAL SYSTEM LOSS:	40	PSI
PRESSURE TO OPERATE HEAD	40	PSI
TOTAL PRESSURE REQUIRED:	85	PSI
LOWEST STATIC PRESSURE AVAILABLE	-	PSI
PRE-SET REGULATED PRESSURE (IF REQ'D)	85	PSI
RESIDUAL WATER PRESSURE	10-20	PSI

SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROCURE AN SIGNAL SET OF THESE PRINTED IRRIGATION PLANS FOR BIDDING AND CONSTRUCTION, COPIES OF THESE PLANS ARE NOT ALLOWED FOR BIDDING AND CONSTRUCTION AS THEY MAY NOT SHOW IRRIGATION SYMBOLS, LINE WEIGHTS, OR LINE TYPES CLEARLY.

ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.

THE CONTRACTOR SHALL VERIFY SITE CONDITIONS, PROPERTY LINES, DIMENSIONS AND THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK.

THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.

THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.

THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED, ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.

INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.

ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTION DEVICE AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR SHALL CONTACT REPRESENTATIVE BEFORE COMMENCING WORK.

CONTRACTOR IS TO PROVIDE TWO ADDITIONAL "CONTROL WIRES" AND ONE ADDITIONAL "COMMON WIRE" FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.

ALL PIPES UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWO TIMES THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.

ALL QUICK COUPLERS TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLERS TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLERS' WITHIN 18" OF HARDSCAPE.

ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.

THE CONTRACTOR SHALL USE U.L. APPROVED GROUND ROD(S) AND/OR GROUND PLATE(S) WITH CABLED ONE-SHOT CONNECTION PROCESS FOR CONNECTING THE CONDUCTOR WIRE TO THE ROD(S) AND/OR PLATE(S). THE NUMBER OF RODS OR PLATES SHALL DEPEND ON THE CONDUCTIVITY OF THE IMMEDIATE SOIL SURROUNDING THE ROD(S) AND/OR PLATE(S). MAXIMUM GROUND RESISTANCE SHALL BE PER CONTROLLER MANUFACTURERS SPECIFICATIONS.

CONTRACTOR SHALL REFER TO IRRIGATION LEGEND FOR CONTROLLER TYPE, FINAL LOCATION OF CONTROLLER AND ELECTRICAL POC SHALL BE CONFIRMED WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.

MAINLINE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL MAINLINE LOCATION TO BE WITHIN PLANTER, A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES TYP.

CONTRACTOR SHALL PAINT ALL EXPOSED PVC PIPE WHICH IS ON-GRADE TO REDUCE VISIBILITY TO THE PUBLIC EYE AND IMPROVE THE AESTHETICS OF THE NATURAL ENVIRONMENT. PAINT SHALL BE AN OUTDOOR PAINT RESISTANT TO SUN EXPOSURE. CONTRACTOR SHALL CONFIRM PAINT COLOR AND TYPE WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.

CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, ETC.. CONTRACTOR SHALL ADD SPRINKLER HEADS AS REQUIRED TO ACHIEVE 100% COVERAGE IN ALL AREAS THAT REQUIRE ADJUSTING. ADDITIONAL HEADS SHALL BE INSTALLED AT NO ADDITIONAL COSTS TO THE CONTRACT. VERIFY ALL HEAD LAYOUT WITH OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.

LATERAL LINES MAY BE SHOWN WITHIN PAVING FOR CLARITY ONLY. ACTUAL LOCATION TO BE WITHIN PLANTER. CONFIRM ALL LAYOUT IN FIELD WITH OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.

REMOTE CONTROL VALVES AND ISOLATION VALVE LOCATIONS ON THIS DRAWING ARE APPROXIMATE. THE LANDSCAPE CONTRACTOR SHALL STAKE OUT EACH ELECTRICAL CONTROL VALVE AND ISOLATION VALVE LOCATION FOR REVIEW AND APPROVAL. BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION OF ALL VALVES. FINAL LOCATION AND EXACT POSITIONING FOR ELECTRICAL CONTROL VALVES AND ISOLATION VALVES SHALL BE DETERMINED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. MINOR DISCREPANCIES OF REMOTE CONTROL VALVES SHALL BE REQUESTED BY THE CONTRACTOR TO BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT. FAILURE TO OBTAIN OWNERS' APPROVAL PRIOR TO THE INSTALLATION SHALL CAUSE THE CONTRACTOR TO MAKE PROJECT DIRECTED REVISIONS AT NO ADDITIONAL COST TO THE OWNER. IN GENERAL, UNLESS OTHERWISE DIRECTED BY OWNER, ALL VALVES SHALL BE INSTALLED WITHIN THREE FEET FROM EDGE OF HARDSCAPE, WALK OR CURB IN SHRUB PLANTING AREAS.

THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS IS RECOMMENDED.

Page 4 of 11

A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.

830,700 GALLONS PER YEAR

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E-mail Address

An irrigation audit report shall be completed at the time of final inspection.



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REVISION

06.23.2021

07.08.2021

08.11.2021

08.17.2021

09.02.2021

09/21/2021

DATE : 09.

SCALE : A

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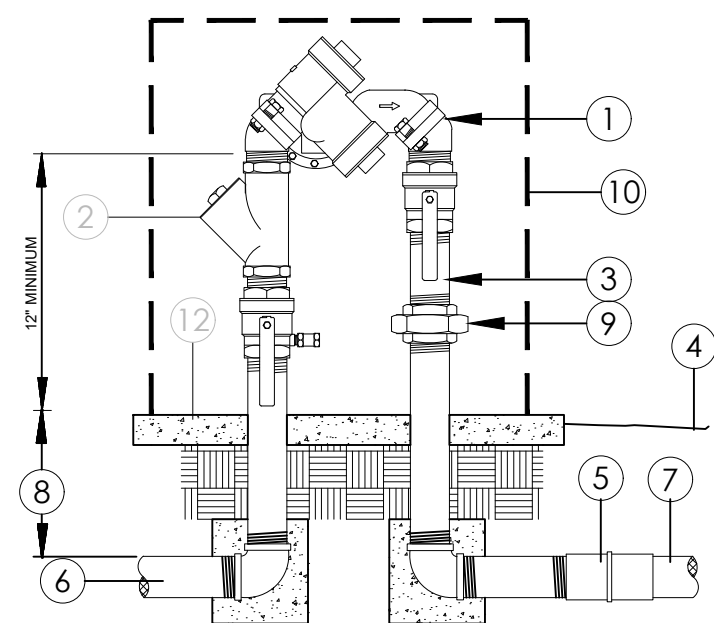
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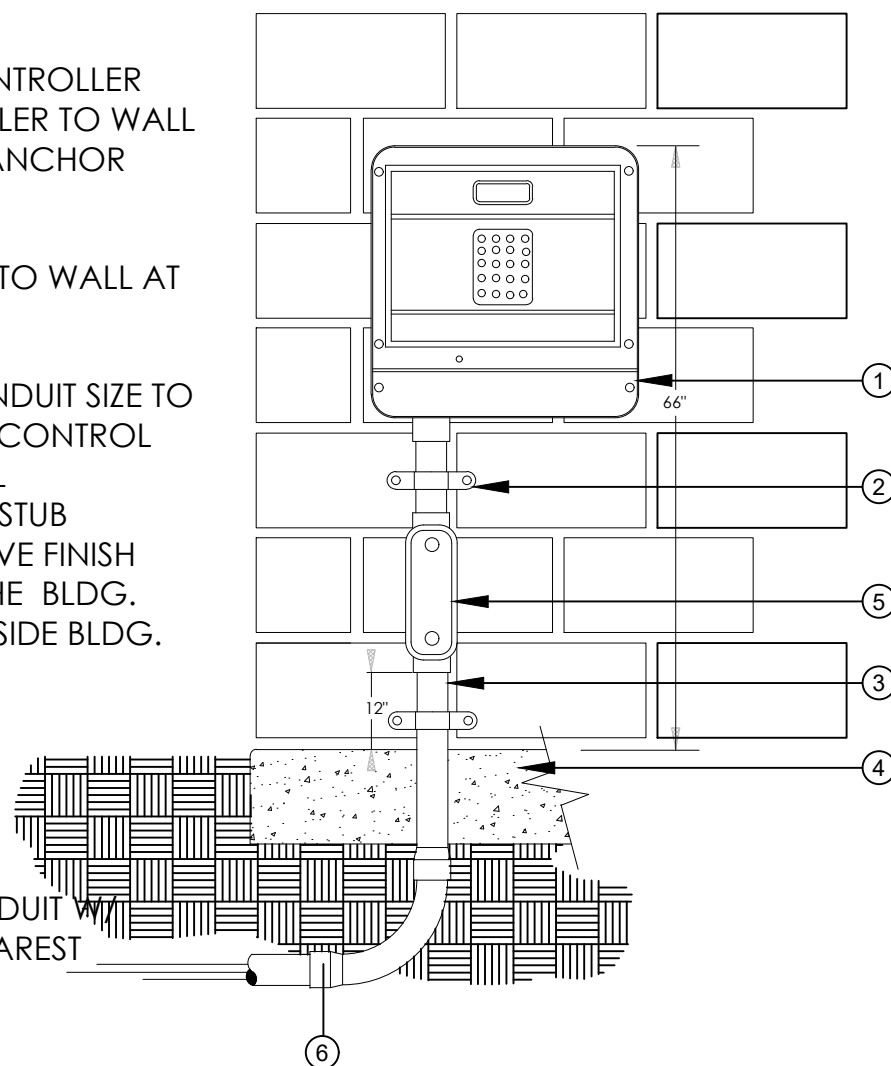
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IRRIGAT

CALC



⑥ PVC SCH. 80 CONDUIT W/
SWEEP ELLS TO NEAREST
PLANTING AREA.



LEGEND:

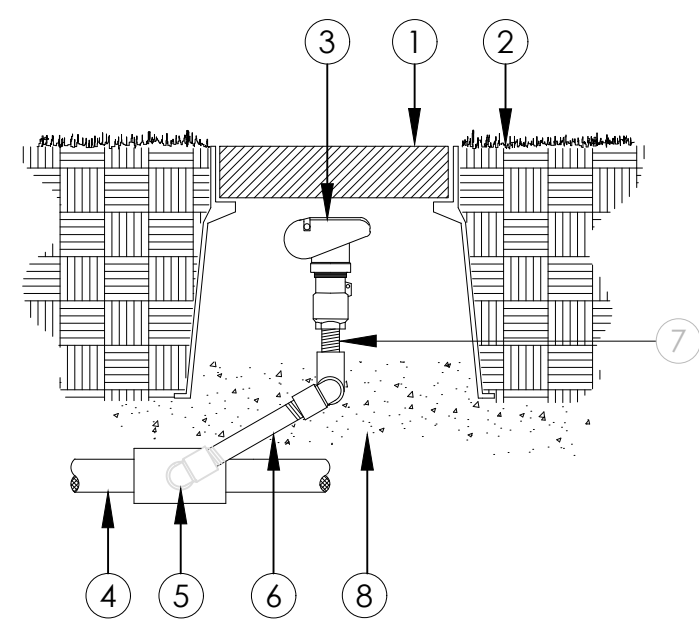
- ① SURFACE
- ② MOUNT
- ③ WIRELE
- NORMA
- ④ MOUNT
- ⑤ WIRE TO
- CONTR
- SPECIFI

MOUNT IN AN AREA THAT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL BUT NOT IN THE PATH OF SPRINKLER SPRAY.

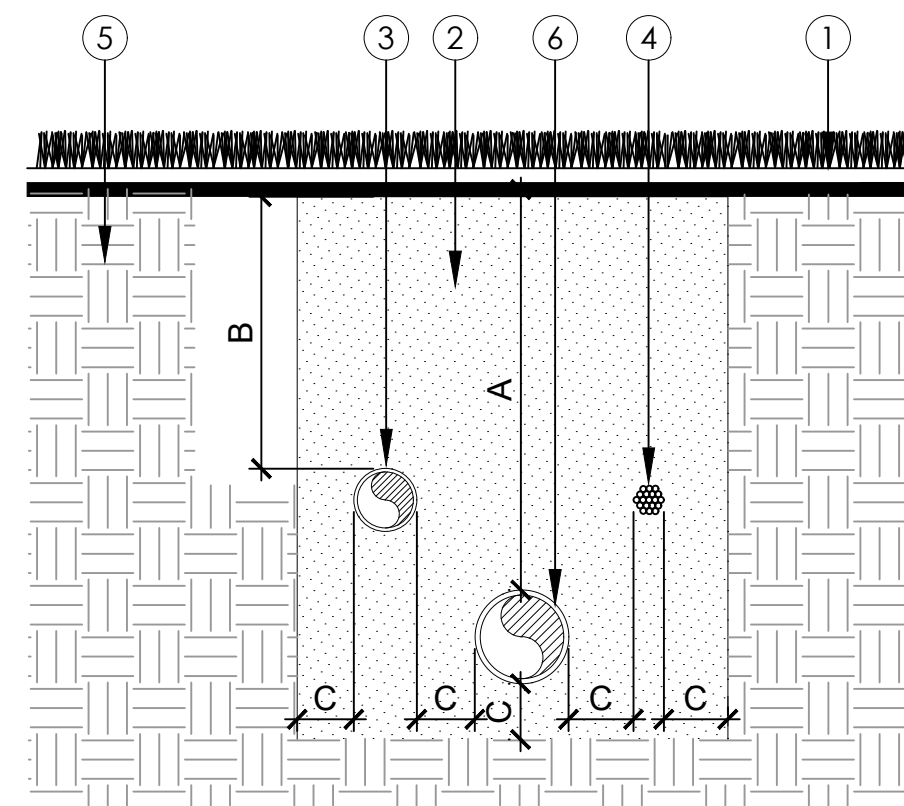
Benjamin Montrella
Landscape Architect

NOTE: ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF RAINVILLE DESIGN STUDIO AND ARE NOT TO BE REPRODUCED, CHANGED, COPIED OR ASSIGNED TO ANY THIRD PARTY WHATSOEVER WITHOUT FIRST OBTAINING PERMISSION AND CONSENT IN WRITING FROM MIRIAM RAINVILLE


(A) LOW-FLOW REMOTE CONTROL VALVE

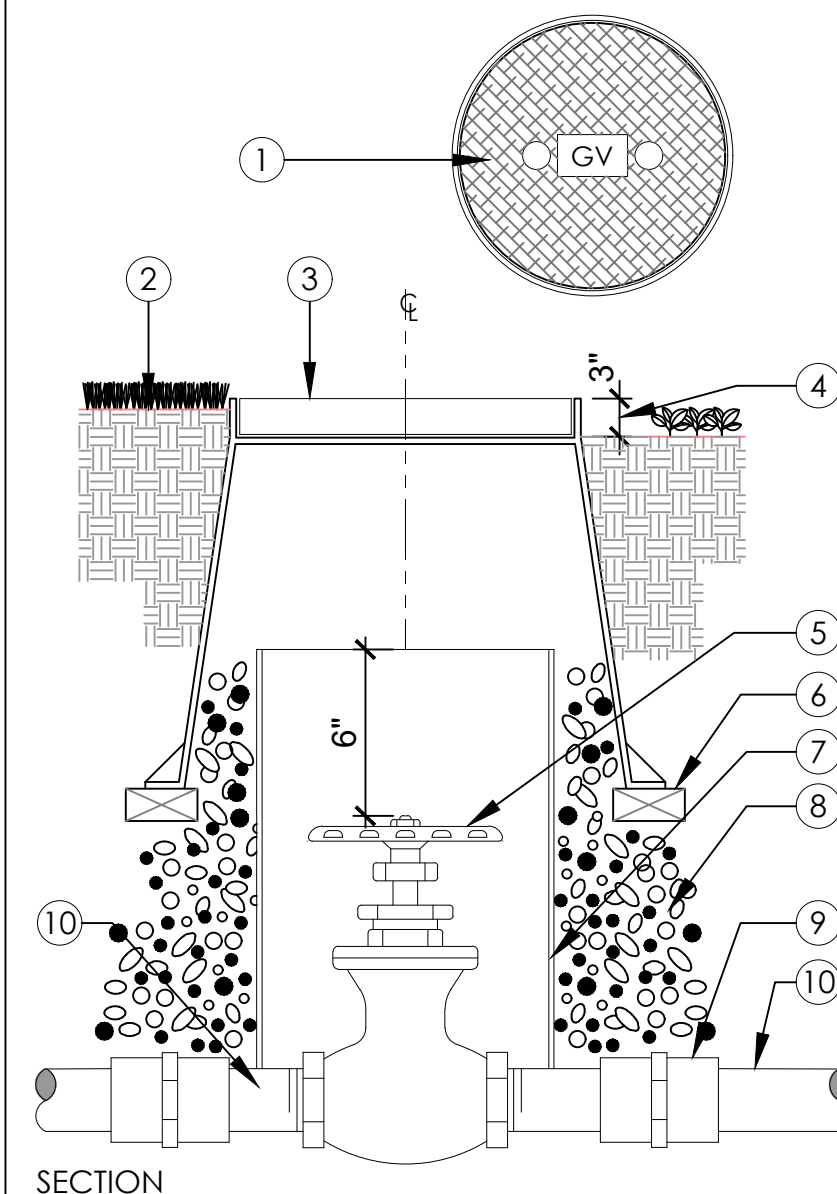


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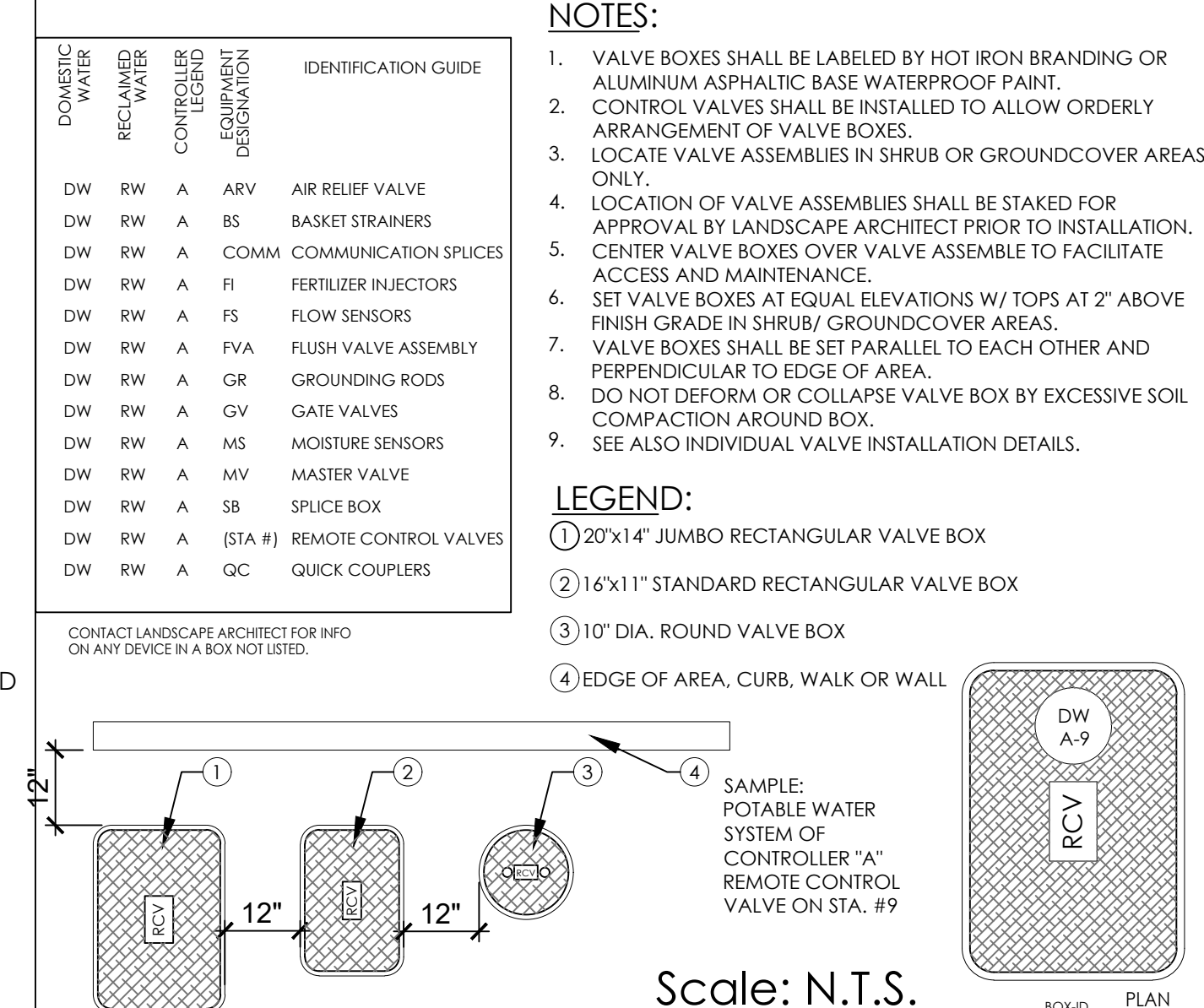
1. LATERAL LINES SHALL BE INSTALLED PITCHED AT 1% SLOPE TO DRAIN TO LOW POINT FOR WINTERIZATION

DIMENSION	A	B	C
1/2" TO 3" IN SIZE	18"	12"	4"
4" TO 6" IN SIZE	24"		4"



LONG

SECTION

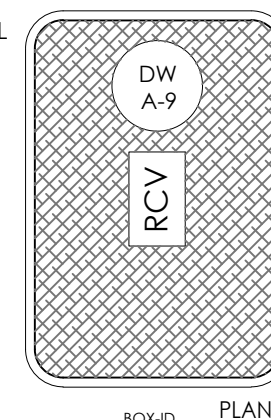


1. VALVE BOXES SHALL BE LABELED BY HOT IRON BRANDING OR ALUMINUM ASPHALTIC BASE WATERPROOF PAINT.
2. CONTROL VALVES SHALL BE INSTALLED TO ALLOW ORDERLY ARRANGEMENT OF VALVE BOXES.
3. CENTER VALVE ASSEMBLIES IN SHRUB OR GROUNDCOVER AREAS ONLY.
4. LOCATION OF VALVE ASSEMBLIES SHALL BE STAKED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. CENTER VALVE BOXES OVER VALVE ASSEMBLY TO FACILITATE ACCESS AND MAINTENANCE.
6. SET VALVE BOXES AT EQUAL ELEVATIONS W/ TOPS AT 2" ABOVE FINISH GRADE IN SHRUB/ GROUND COVER AREAS.
7. VALVE BOXES SHALL BE SET PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF AREA.
8. DO NOT EXPOSE OR COVER VALVE BOX BY EXCESSIVE SOIL COMPACTION AROUND BOX.
9. SEE ALSO INDIVIDUAL VALVE INSTALLATION DETAILS.

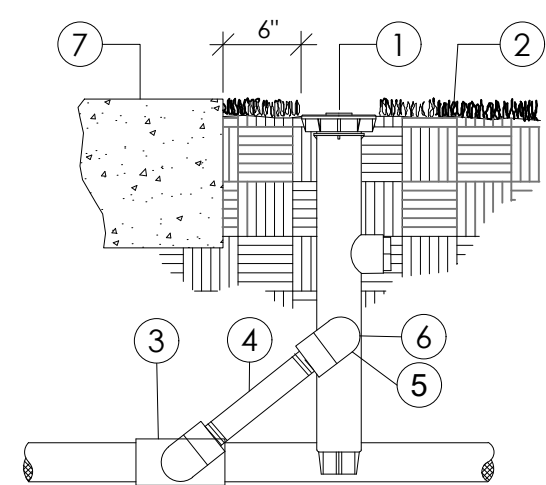
④ EDGE OF AREA, CURB, WALK OR WALL

A diagram showing a rectangular block resting on two circular wheels. An arrow points diagonally upwards and to the right, originating from the center of the block, representing an applied force.

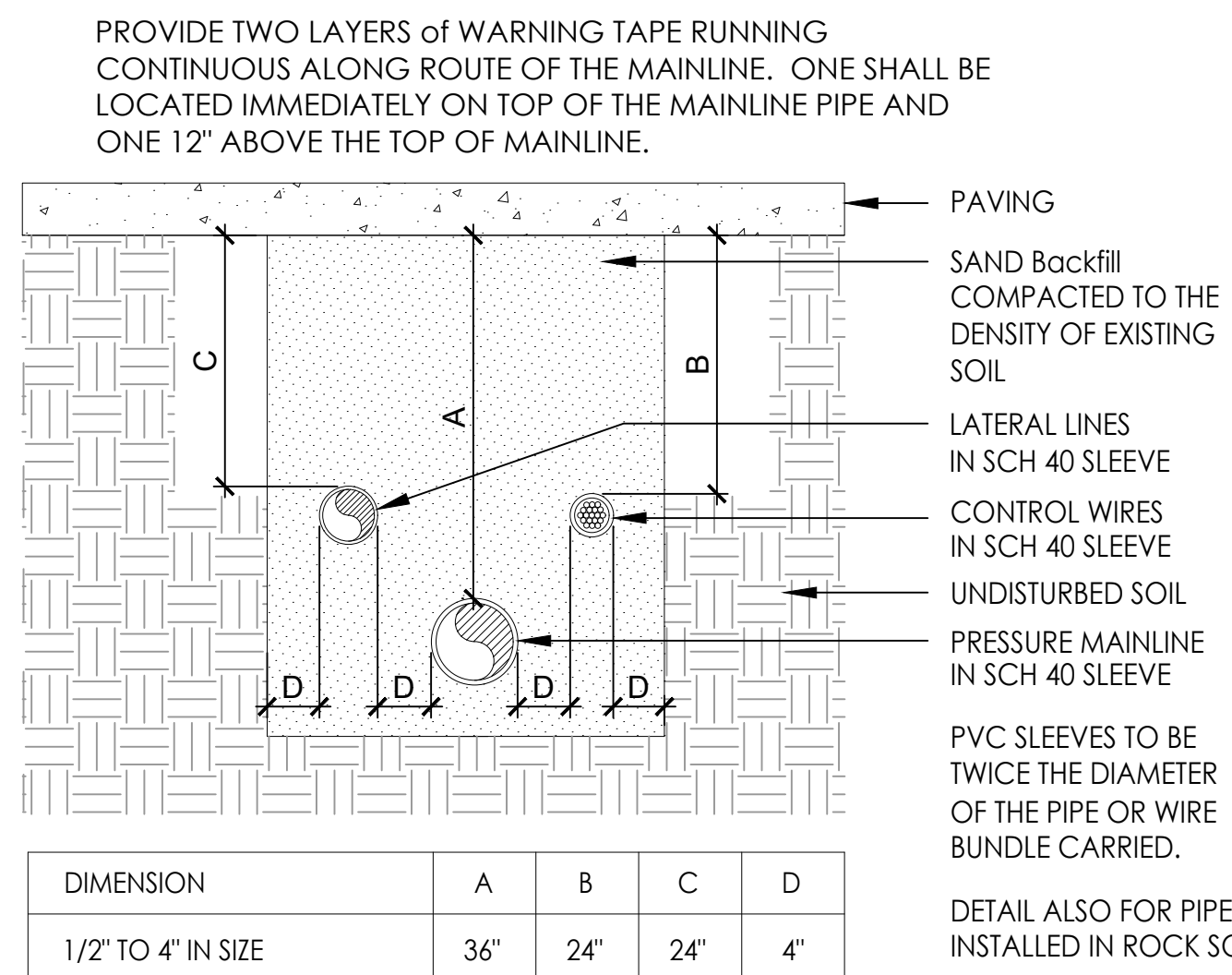
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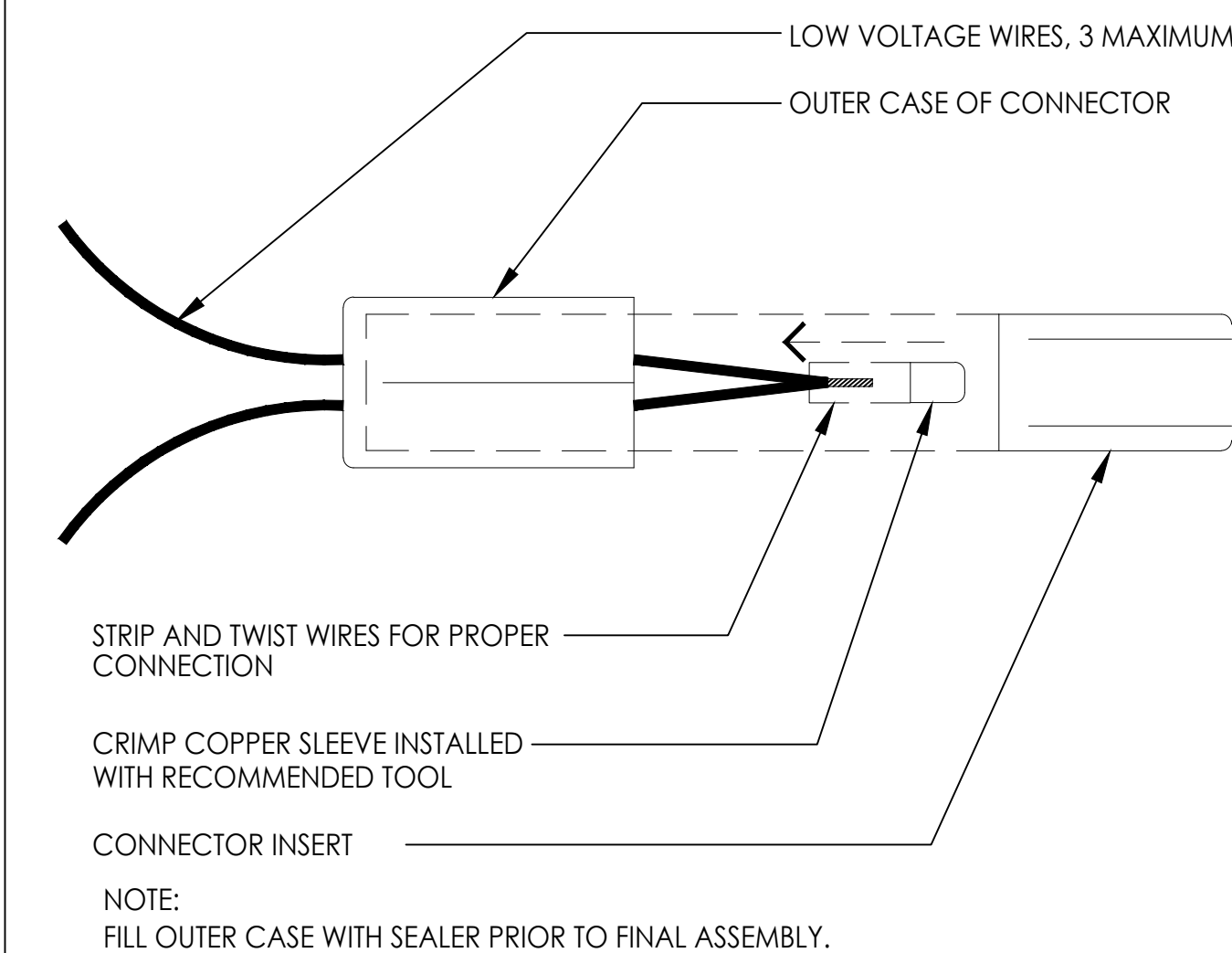
B VALVE BOX IDENTIFICATION



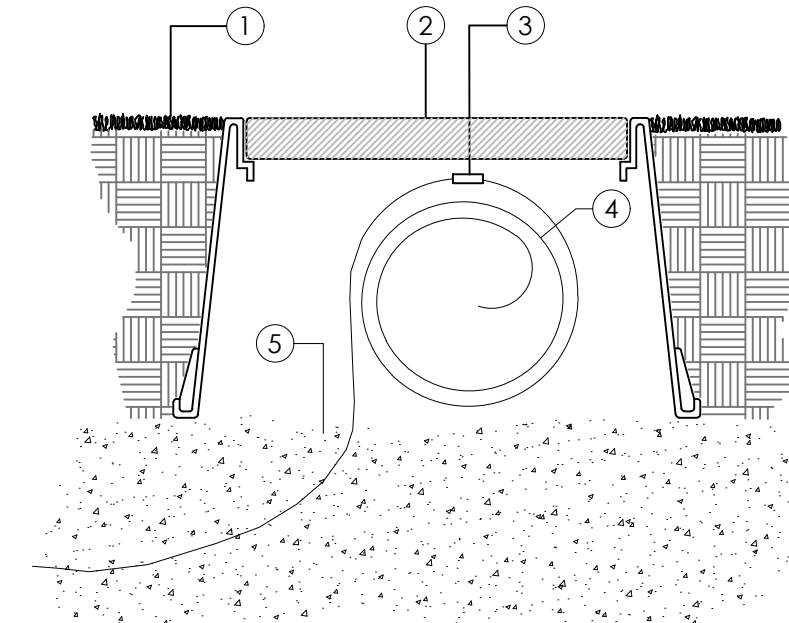
NOTE: TEFLON TAPE ALL THREADS



DIMENSION	A	B	C	D
1/2" TO 4" IN SIZE	36"	24"	24"	4"



FILL OUTER CASE WITH SEALER PRIOR TO FINAL ASSEMBLY.



- ① FINISH GRADE
- ② RECTANGULAR VALVE BOX
REFER TO SPECIFICATIONS
- ③ SPARE WIRE LABEL
- ④ CONTROL AND/OR COMMON WIRE,
REFER TO SPECIFICATIONS
- ⑤ PEA GRAVEL BACKFILL
(ONE CUBIC FOOT MINIMUM)

NOTE:
FOR IRRIG. CONTROL & COMMON WIRE (ONE SHOWN)

© SPARE WIRE BOX Scale: N.T.S.

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09.02.2021	
09.21.2021	

DATE : 09.02.2021
SCALE : AS SHOWN
DRAWN BY : B_MO

L-3.2

IRRIGATION DETAILS

A. GENERAL NOTES		B. FIELD OBSERVATIONS		C. MATERIALS NOTES (CONTINUED)		D. PLASTIC PIPE NOTES (CONTINUED)		F. RECORD AND AS-BUILT DRAWINGS (CONT'D)			
<div>1. BIDDING: IT SHALL BE THE OWNER'S RESPONSIBILITY IN INVITING AND OBTAINING BIDS, SETTING ITS PROVISIONS AND INSTRUCTIONS TO BIDDERS, SECURING THEIR BONDS AND WORKERS COMPENSATION INSURANCE CERTIFICATES, ETC. TO FULLY ENSURE THE QUALITY AND TIMELY COMPLETION OF THE PROJECT.</div> <div>2. SCOPE OF WORK : CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO FURNISH AND INSTALL A COMPLETE IRRIGATION SYSTEM AS PER THE DRAWINGS AND SPECIFIED HEREIN.</div> <div>3. PLAN VERIFICATION: THESE DOCUMENTS MAY CONTAIN ERRORS, OMISSIONS, CONTRADICTIONS, ETC. THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS THOROUGHLY AND SHALL NOTIFY THE LANDSCAPE ARCHITECT AND OWNER IMMEDIATELY UPON ANY SUCH DISCOVERY OF DISCREPANCY. GOVERNING CODES SHALL THEN APPLY.</div> <div>4. LICENSE: THE CONTRACTOR SHALL BE A C-27 CALIFORNIA STATE LICENSED IRRIGATION CONTRACTOR.</div> <div>5. ORDINANCES AND REGULATIONS : ALL IRRIGATION WORK WITHIN THESE DRAWINGS AND SPECIFICATIONS SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES AND ORDINANCES (LOCAL, COUNTY & STATE).</div> <div>6. PERMITS AND INSPECTIONS : THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ALL PERMITS, FEES AND AGENCY INSPECTIONS AS REQUIRED.</div> <div>7. FIELD VERIFICATION: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE CONTRACTOR SHALL NOT WILLFULLY INFLECT THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWING OBSTRUCTIONS, GRADE DIFFERENCES OR DISCREPANCIES IN AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN IRRIGATION DESIGN. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY UPON ANY DISCOVERY OF DISCREPANCIES. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.</div> <div>8. LIABILITY FOR ENCROACHMENT : THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ENCROACHMENT ONTO ADJACENT PROPERTY, RIGHT-OF-WAYS, EASEMENTS, SET-BACKS OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MARKED OR UNMARKED.</div> <div>9. METHODS OF CONSTRUCTION : THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, MEANS, SEQUENCES, PROCEDURES AND TECHNOLOGIES. THE LANDSCAPE ARCHITECTURAL FIRM IS NOT LIABLE FOR CONSTRUCTION METHODS.</div> <div>10. SAFETY: THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS DURING CONSTRUCTION.</div> <div>11. UTILITIES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, ELECTRICAL CABLES, CONDUITS, AND EXISTING IRRIGATION LINES PRIOR TO ANY CONSTRUCTION, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH IMPROVEMENTS.</div> <div>12. LIABILITY FOR DAMAGE : THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY ITS OPERATIONS TO UTILITIES, PLANTING, CONSTRUCTION PERSONS, PROPERTY, ETC. AND SHALL PROVIDE PROTECTIVE MEANS TO GUARD AGAINST DAMAGE.</div> <div>13. COORDINATION: CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH APPROPRIATE TRADES THROUGH THE OWNER BEFORE STARTING WORK.</div> <div>14. IRRIGATION PLANS : THE IRRIGATION PLANS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS DURING INSTALLATION TO AVOID CONFLICTS BETWEEN PLANTING AND INSTAURAL FEATURES AND EXISTING UTILITIES. INTENT OF IRRIGATION DESIGN IS FULL COVERAGE, BALANCED SYSTEM.</div> <div>15. DIMENSION: ALL SCALE DIMENSIONS ARE APPROXIMATE. WRITTEN DIMENSIONS ON DETAILS AND PLANS TAKE PRECEDENCE OVER SCALED DIMENSIONS.</div> <div>16. IRRIGATION NOTES : SEE GENERAL NOTES ON THE DRAWINGS FOR ADDITIONAL WORK REQUIRED, BUT NOT SPECIFICALLY MENTIONED IN THESE SPECIFICATIONS. ALL WORK CALLED FOR ON THE DRAWINGS BY NOTES SHALL BE FURNISHED AND INSTALLED WHETHER OR NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS AND/OR DETAILS.</div> <div>17. POINT OF CONNECTION (P.O.C.) VERIFICATION : LOCATION OF THE POINT OF CONNECTION SHOWN ON THE DRAWINGS MAYBE APPROXIMATE ONLY. THE CONTRACTOR SHALL APPROVE FINAL (P.O.C.) LOCATION WITH THE OWNER (JOB SUPERINTENDENT) THE CONTRACTOR SHALL VERIFY THE STATIC PRESSURE, METER SIZE AND SIZE OF SERVICE TO THE METER (P.O.C.) AT EACH POINT OF CONNECTION.</div> <div>18. MATERIALS: ALL MATERIALS AND EQUIPMENT SPECIFIED IN THESE DRAWINGS SHALL BE NEW AND IN PERFECT CONDITION WHERE INSTALLED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.</div> <div>19. SUBSTITUTIONS: DESIGN, MATERIAL, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED OR INDICATED ON DRAWINGS MAY BE CONSIDERED FOR USE. WRITTEN APPROVAL FOR SUBSTITUTIONS SHALL BE OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT. ALL SUBSTITUTIONS SHALL CONFORM TO LOCAL CODES AND ORDINANCES. ANY EQUIPMENT OR MATERIALS INSTALLED WITHOUT APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT MAY BE REJECTED AND REMOVED AT CONTRACTOR'S EXPENSE.</div> <div>20. FITTINGS: DUE TO THE SCALE OF DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAYBE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE WORK AND PLAN THE WORK ACCORDINGLY. FURNISHING SHALL BE IN PERFECT CONDITION AS REQUIRED TO MEET SUCH CONDITIONS.</div> <div>21. NOTICE OF COMPLETION : THE COMPLETION OF THE CONTRACT SHALL BE ACCEPTED, AND NOTICE OF COMPLETION RECORDED ONLY WHEN THE ENTIRE CONTRACT IS COMPLETED TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.</div> <div>22. OPERATING INSTRUCTIONS : AFTER THE SYSTEM HAS BEEN COMPLETED, THE CONTRACTOR SHALL INSTRUCT THE OWNER'S AUTHORIZED REPRESENTATIVE IN THE OPERATION AND MAINTENANCE OF THE SYSTEM AND SHALL FURNISH A COMPLETE SET OF OPERATING INSTRUCTIONS.</div> <div>23. SITE MAINTENANCE: CONTRACTOR SHALL KEEP THE PROJECT SITE CLEAN AND FREE FROM RUBBISH AND DEBRIS. ALL DEBRIS SHALL BE REMOVED FROM SITE PER LOCAL CODE AND ORDINANCES.</div> <div>24. GUARANTEE: THE ENTIRE IRRIGATION SYSTEM INCLUDING ALL WORK DONE UNDER THIS CONTRACT, SHALL BE GUARANTEED AGAINST ALL DEFECTS AND FAULTS OF MATERIAL AND WORKMANSHIP, AND SHALL BE MAINTAINED IN PERFECT WORKING ORDER FOR ONE (1) YEAR FROM DATE OF COMPLETION BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER. ALL MATERIALS AND EQUIPMENT SHALL BE GUARANTEED BY THE MANUFACTURER'S GUARANTEE OF MINIMUM ONE (1) YEAR. ANY SETTTLING OF BACKFILLED TRENCHES WHICH MAY OCCUR DURING THE ONE YEAR PERIOD FINAL ACCEPTANCE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION BY THE CONTRACTOR WITHOUT EXPENSE TO THE OWNER - INCLUDING THE COMPLETE RESTORATION OF ALL DAMAGED PLANTING, PAVING OR OTHER IMPROVEMENTS OF ANY KIND.</div>		<div>1. REQUIRED FIELD OBSERVATION WORK : THESE PLANS WERE PREPARED WITH THE UNDERSTANDING THAT THE OWNER OF SAID PLANS WILL USE PROFESSIONAL DESIGN ASSOCIATES TO PROVIDE "FULL" CONTRACT SERVICES INCLUDING FIELD OBSERVATION SERVICES DURING CONSTRUCTION. FAILURE TO USE PROFESSIONAL DESIGN ASSOCIATES TO PROVIDE AND COMPLETE THE FIELD OBSERVATION SERVICES SET FORTH HEREIN WILL SIGNIFICANTLY INCREASE THE MISINTERPRETATION OF THE INTENT OF THE DESIGN. ANY UNAUTHORIZED MODIFICATIONS THERETO, AND FAILURE TO DETECT ERRORS AND OMISSIONS IN THE PLANS AND SPECIFICATIONS CAN BECOME COSTLY MISTAKES BUILT INTO THE PROJECT. THEREFORE, IN THE EVENT THAT PROFESSIONAL DESIGN ASSOCIATES IS OTHERWISE PRECLUDED FROM COMPLETING THE FIELD OBSERVATION SERVICES SET FORTH HEREIN, THE OWNER, OR SUBSEQUENT OWNER (INDIVIDUALS OR CORPORATIONS WHO HAVE PURCHASED THESE PLANS WITH THE PROJECT), AGREES TO HOLD HARMLESS, INDEMNIFY, AND DEFEND PROFESSIONAL DESIGN ASSOCIATES AND THEIR CONSULTANTS FROM AND AGAINST ANY AND ALL CLAIMS.</div> <div>2. FIELD OBSERVATION COORDINATION : THE FOLLOWING OBSERVATIONS SHALL BE INITIATED BY THE CONTRACTOR AND COORDINATED THROUGH THE OWNER (JOB SUPERINTENDENT). THE CONTRACTOR SHALL NOTIFY THE OWNER (JOB SUPERINTENDENT) AND LANDSCAPE ARCHITECT NOT LESS THAN FORTY- EIGHT (48) HOURS IN ADVANCE OF ANY OBSERVATION. CONTINUED WORK WITHOUT OBSERVATION OF THESE PHASES OF WORK IS AT THE CONTRACTOR'S RISK, WITH ANY REQUIRED CHANGES OR MODIFICATIONS TO BE AT THE CONTRACTOR'S EXPENSE. THE OWNER (JOB SUPERINTENDENT) SUPERINTENDENT) SHALL INFORM THE LANDSCAPE ARCHITECT AS TO THE PURPOSE AND TIME OF THE OBSERVATION FORTY- EIGHT (48) HOURS IN ADVANCE.</div> <div>3. CLOSING OF NON INSPECTED WORK : THE CONTRACTOR SHALL NOT ALLOW NOR CAUSE ANY OF THE WORK TO BE COVERED OR ENCLOSED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED BY THE CONSULTING ENGINEER OR AUTHORIZED REPRESENTATIVE AND/OR GOVERNMENTAL AUTHORITY HAVING JURISDICTION OVER THE WORK. SHOULD ANY OF THE WORK BE ENCLOSED OR COVERED BEFORE SUCH INSPECTION AND TEST, HE SHALL UNCOVER HIS WORK AT HIS OWN EXPENSE. AFTER IT HAS BEEN INSPECTED, TESTED AND APPROVED, THE CONTRACTOR SHALL MAKE ALL REPAIRS NECESSARY TO THE OWNER'S SATISFACTION.</div> <div>4. JOB SITE MEETINGS AND REQUIRED INSPECTIONS :<div>A. PRE-JOB MEETING ON SITE - PRIOR TO COMMENCEMENT OF WORK</div><div>B. IRRIGATION MAINLINE AND EQUIPMENT LAYOUT.</div><div>C. PRESSURE TEST IRRIGATION, MAINS AND LATERALS</div><div>D. IRRIGATION COMPLETION/ COVERAGE TEST UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION AND PRIOR TO ANY PLANTING. THE CONTRACTOR SHALL ADJUST SPRINKLER HEADS TO EVENLY AND PROPERLY DISTRIBUTE THE RATE OF PRECIPITATION OF THE WATER AND SHALL DETERMINE IF THE COVERAGE OF THE PLANTING AREAS IS COMPLETE AND ADJACENT AREAS. THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO PROVIDE OPTIMUM PERFORMANCE AND PREVENT UNNECESSARY OVER SPRAY ON ALL WALKS, ROADWAYS AND BUILDINGS. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE DISCLOSED BY THE COVERAGE TEST.</div></div>		<div>12. AUTOMATIC CONTROLLER : SHALL BE AS INDICATED ON THE DRAWINGS, COMPLETE WITH ELECTRICAL, HOOKUP AND PROPER MOUNTING. ANY CONTROL WIRE EXPOSED AT THE CONTROLLER SHALL BE ENCASED IN ELECTRICAL CONDUIT OF THE SIZE REQUIRED. OUTDOOR CONTROLLERS SHALL BE WITHIN A VANDAL RESISTANT ENCLOSURE AND EQUIPPED WITH AN ON/OFF SWITCH FOR 110 VOLT POWER SUPPLY TO CONTROLLER.</div> <div>13. IRRIGATION HEADS : SHALL BE OF THE TYPES AND SIZES INDICATED ON THE DRAWINGS. ALL HEADS SHALL BE ADJUSTABLE. RISER NIPPLES SHALL BE THE SAME SIZE AS THE RISER OPENING IN THE BODY.</div> <div>14. BACKFLOW DEVICES : BACKFLOW PREVENTORS AND/OR VACUUM BREAKERS SHALL BE AS INDICATED ON THE DRAWINGS AND AS APPROVED BY AUTHORITIES HAVING JURISDICTION. INSTALLED TO MEET LOCAL CODES. ALL IRRIGATION SYSTEMS USING POTABLE WATER SOURCE REQUIRE BACKFLOW PREVENTION.</div> <div>15. CHECK VALVES : CONTRACTOR SHALL INSTALL ANTI-DRAIN VALVES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE. ANY SHAD THAT DRAINS FOR MORE THAN ONE MINUTE REQUIRES AN ANTI-DRAIN VALVE.</div> <div>16. ATMOSPHERIC VACUUM BREAKERS : SHALL BE HEAVY DUTY BRASS AND FEDERAL SPECIFIED. INSTALL ON NON-CONSTANT PRESSURE LINES (LATERAL LINE) PER MANUFACTURE'S SPECIFICATIONS. LOCATION PER DRAWINGS.</div> <div>17. PRESSURE REGULATORS : SHALL BE BRONZE OR PLASTIC BODY AS INDICATED ON DRAWINGS. FACTORY SET P.S.I. AS SPECIFIED PER DRAWINGS.</div> <div>18. QUICK COUPLERS : SHALL BE HEAVY DUTY BRASS WITH COLORED RUBBER COVER AND TWO (2) PIECE BODY DESIGN. LOCATION PER DRAWINGS.</div> <div>19. RISERS : ALL RISERS TO QUICK COUPLERS AND BACK FLOW DEVICES SHALL BE SCHEDULE 40 BRASS OF THE REQUIRED SIZES, RISERS TO IRRIGATION HEADS SHALL BE SCHEDULE 80 TYPE 1220 P.V.C. CONFORMING TO ASTM 2464.</div> <div>20. VALVE BOXES : INSTALL ALL VALVES, EXCEPT ANTI-SIPHON VALVES, IN PREMOLDED HIGH IMPACT PLASTIC VALVE BOX. USE ROUND BOX FOR QUICK COUPLERS AND RECTANGULAR BOX FOR ALL OTHER VALVES. N.D.S (OR APPROVED EQUAL) WITH GREEN LID. LOCATE IN SHRUB PLANTING AREAS WHENEVER POSSIBLE.</div>		<div>D. PLASTIC PIPE NOTES</div> <div>1. HANDLING: THE CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING AND STORING P.V.C. PIPE AND FITTINGS. ALL P.V.C. PIPE SHALL LIE FLAT SO NOT TO SUBJECT IT TO NDUE BENDING OR CONCENTRATED EXTERNAL LOAD AT ANY POINT. P.V.C. PIPE AND FITTINGS SHALL NOT BE STORED IN DIRECT SUNLIGHT. ANY SECTION OF PIPE THAT HAS BEEN DENTED OR DAMAGED WILL BE DISCARDED.</div> <div>2. LOCATIONS: PIPE LINES SHALL BE INSTALLED IN THE LOCATIONS AND OF THE SIZES SHOWN ON THE DRAWINGS OR HEREIN SPECIFIED. WHERE PIPING ON THE DRAWINGS IS SHOWN UNDER PAVED AREAS BUT RUNNING PARALLEL AND ADJACENT TO PLANTING AREAS, THE INTENT OF THE DRAWINGS IS TO INSTALL THE PIPING IN THE PLANTING AREA.</div> <div>3. PIPE CLEARANCE : UNDERGROUND LINES UP TO 2" INCLUSIVE SHALL HAVE A MINIMUM HORIZONTAL CLEARANCE OF 12" FROM LINES OF OTHER TRADES. THIS REQUIREMENT DOES NOT APPLY TO ANY LINES CROSSING AT ANGLES FROM 45° WITH EACH OTHER. A MINIMUM 2" VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN LINES WHICH CROSS BETWEEN THESE ANGLES. NO LINE SHALL BE INSTALLED PARALLEL TO AND DIRECTLY OVER ANOTHER LINE.</div> <div>4. ASSEMBLY: ALL PIPE SHALL BE ASSEMBLED FREE FROM DIRT. THE MAIN LINE SUPPLY SHALL BE FLUSHED OUT AND TESTED FOR LEAKS BEFORE BACK FILLING AND WITH CONTROL VALVES IN PLACE AND BEFORE LATERAL PIPES ARE CONNECTED TO VALVES. EACH SECTION OF LATERAL PIPE SHALL BE FLUSHED OUT BEFORE SPRINKLER HEADS ARE ATTACHED.</div> <div>5. UNDER CONCRETE : GENERALLY, PIPING UNDER CONCRETE SHALL BE DONE BY JACKING, BORING OR HYDRAULIC DRIVING. WRITTEN PERMISSION TO CUT OR BREAK SIDEWALKS AND/OR CONCRETE MUST BE OBTAINED FROM THE OWNER'S AUTHORIZED REPRESENTATIVE. NO HYDRAULIC RIVING WILL BE PERMITTED UNDER ASPHALTIC CONCRETE PAVING.</div> <div>6. INSTALLATION PROCEDURES : EXCEPT AS NOTED IN OTHER PARTS OF THIS SPECIFICATION OR IN THE DRAWINGS, INSTALLATION OF PIPE AND FITTINGS SHALL BE AS OUTLINE IN MANUALS AS FURNISHED BY PIPE MANUFACTURER WHICH SHALL BE DEEMED AND CONSTRUED AS PART OF THIS SPECIFICATION. PLASTIC PIPE SHALL NOT BE LAID WHEN THERE IS WATER IN TRENCH.</div> <div>7. PIPE DEPTH : PROVIDE A MINIMUM 24" OF EARTH COVERAGE FOR ALL PRESSURE MAINLINE PIPE 3" AND LARGER. PROVIDE A MINIMUM 18" OF EARTH COVERAGE FOR ALL PRESSURE MAINLINE PIPE UP TO AND INCLUDING 2 1/2". PROVIDE A MINIMUM OF 12" OF EARTH COVERAGE FOR ALL NON PRESSURE LATERAL LINES.</div> <div>8. SITE MAINTENANCE: ALL LUMBER, RUBBISH AND LARGE ROCKS SHALL BE REMOVED FROM THE TRENCHES. PIPE SHALL HAVE A FIRM, UNIFORM BEARING FOR THE ENTIRE LENGTH OF EACH PIPE LINE TO PREVENT UNIFORM SETTLEMENT. PAD THE TRENCHES WITH DIRT OR SAND IF THE SOIL IS EXTREMELY ROCKY.</div> <div>9. TREE LOCATIONS : TREE LOCATIONS TAKE PRIORITY OVER IRRIGATION PIPING. STAKE TREE LOCATIONS PRIOR TO TRENCHING PIPE.</div> <div>10. EXPANSION: PLASTIC PIPE WILL EXPAND APPROXIMATELY SIX IN. (6") PER THOUSAND FT. (100') BETWEEN DAY AND NIGHT TEMPERATURES IN HOT CLIMATE. THEREFORE, PIPE SHALL BE SNAKED FROM SIDE TO SIDE OF TRENCH BOTTOM TO ALLOW FOR EXPANSION AND CONTRACTION.</div> <div>11. PIPE MAINTENANCE : ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO POSITION IN THE TRENCH AND IT SHALL BE KEPT CLEAN BY APPROVED MEANS DURING AND AFTER LAYING OF THE PIPE.</div> <div>12. SLEEVING: IRRIGATION LINES THAT ARE UNDER STREETS AND PAVING OVER SEVEN (7) FEET WIDE SHALL BE INSTALLED BY THE OWNER. SLEEVES UNDER PAVING AND STREETS SHALL BE SCHEDULE 40 AND TWO TIMES THE DIAMETER OF THE PIPE AND/ OR ADEQUATE FOR INSTALLATION OF WIRE. SLEEVING SHALL BE COORDINATED WITH IRRIGATION CONTRACTOR PRIOR TO BEGINNINGS OF WORK.</div> <div>13. JOINTS : JOINTS ON RISERS SHALL BE AS SHOWN ON DETAILS.</div> <div>14. THREADED CONNECTIONS : ON PLASTIC TO STEEL CONNECTIONS, THE CONTRACTOR SHALL WORK THE STEEL CONNECTIONS FIRST. NON-HARDENING PIPE PERMAKEX #1 TEFLOW TAPE SHALL BE USED ON ALL THREADED PLASTIC TO STEEL JOINTS, AND LIGHT WRENCH PRESSURE IS ALL THAT SHALL BE USED.</div> <div>15. SOLVENT CONNECTIONS : FOR P.V.C. PIPE CONTRACTOR SHALL USE SOLVENT PRIMER AND SOLVENT CEMENT RECOMMENDED BY THE MANUFACTURER AND CONFORMING TO ASTM D-2564. FOR UVR-P.V.C. SOLVENT CEMENT SHALL BE BROWNLINE BOND-TITE CEMENT (CONFORMING TO THE REQUIREMENTS OF ASTM D-2564) APPLY WITH AN APPROVED PRIMER PRIOR TO APPLICATION OF CEMENT. ALL PIPE AND FITTINGS SHALL BE THOROUGHLY CLEANED OF DIRT, DUST AND MOISTURE BEFORE APPLYING SOLVENT. THE CONTRACTOR WILL MAKE SOLVENT WELD JOINTS WITH NON-SYNTHETIC BRISTLE BRUSH IN THE FOLLOWING SEQUENCE:<div>A. CONNECTION TO EXISTING WATER LINES.</div><div>B. CONNECTION TO EXISTING ELECTRICAL POWER.</div><div>C. GATE VALVES, BACKFLOW PREVENTION</div><div>D. UNITS AND CONTROLS</div><div>E. ROUTING OF IRRIGATION PRESSURE LINES (DIMENSION MAX. 100')</div><div>F. IRRIGATION CONTROL VALVES</div><div>G. ROUTING OF CONTROL WIRE.</div><div>H. QUICK COUPLING VALVES</div><div>H. OTHER RELATED EQUIPMENT AS DIRECTED BY OWNER</div></div>		<div>E. IRRIGATION EQUIPMENT NOTES</div> <div>1. IRRIGATION EQUIPMENT : ALL IRRIGATION EQUIPMENT SHALL BE INSTALLED PER THE SPECIFICATION AND RECOMMENDED INSTALLATION PROCEDURES OF THE MANUFACTURER AND CONFORM TO ALL APPLICABLE GOVERNING CODES AND ORDINANCES (LOCAL, COUNTY & STATE).</div> <div>2. TURF IRRIGATION HEADS : TURF IRRIGATION HEADS IN OPEN AREAS SHALL BE INSTALLED AT LEAST 2" ABOVE FINISHED GRADE AT THE TIME OF INSTALLATION. WITHIN FIVE DAYS OF NOTIFICATION BY THE OWNER'S REPRESENTATIVE, CONTRACTOR SHALL MAKE WHATEVER ADJUSTMENTS OF PIPE, FITTINGS, VALVES OR SPRINKLER HEADS NECESSARY TO BRING THE SYSTEM TO THE PROPER LEVEL OF THE PERMANENT GRADE. TURF IRRIGATION HEADS ALWAYS WALKS AND DRIVEWAYS, WHERE THE FINISHED GRADE LEVEL IS ESTABLISHED, SHALL BE SET FLUSH AT THE TIME OF INSTALLATION. IN NO CASE SHALL THE SPACING OF HEADS EXCEED THE MAXIMUM RECOMMENDED BY THE MANUFACTURER.</div> <div>3. SHRUB IRRIGATION HEADS : HEADS IN GROUND COVER AND PLANTING AREAS SHALL BE INSTALLED ON NIPPLES HIGH ENOUGH TO BE ABOVE THE SURROUNDING PLANTING AS DIRECTED, OR AS INDICATED ON THE PLANS. WHERE HIGH SHRUBS ARE PLANTED, LONGER RISERS SHALL BE INSTALLED AS DIRECTED BY THE LANDSCAPE ARCHITECT. SHRUB HEADS ADJACENT TO WALKWAYS OR PARKING SHALL BE INSTALLED ON AN APPROVED HI-POW HEAD PER PLAN. RISERS SHALL BE LOCATED AS SPECIFIED PER PLANS ADJACENT TO WALLS AND BUILDINGS ONLY. IN NO CASE SHALL THE SPACING OF HEADS EXCEED THE MAXIMUM RECOMMENDED BY THE MANUFACTURER.</div> <div>4. PRESSURE COMPENSATING SCREENS : CONTRACTOR SHALL INSTALL PRESSURE COMPENSATING SCREENS IN IRRIGATION AREAS AS NECESSARY TO ENSURE UNIFORM COVERAGE AND MINIMUM OVERTHROW OF AREA.</div> <div>5. CONTROL VALVES : ALL CONTROL VALVES ON LINE SHALL BE INSTALLED AS INDICATED ON DETAILS AND BE THE TYPE SPECIFIED IN THE LEGEND. LOCATE CONTROL VALVES IN SHRUB PLANTING AREAS WHEREVER POSSIBLE.</div> <div>6. BACKFLOW DEVICES : LOCATE BACKFLOW DEVICES, ATMOSPHERIC VACUUM BREAKERS AND ANTI-SIPHON VALVES IN SHRUB AREAS ONLY UNLESS OTHERWISE APPROVED BY OWNER.</div> <div>7. DEFECTS: ALL DEFECTS IN INSTALLATION OF IRRIGATION EQUIPMENT SHALL BE CORRECTED THROUGH THE GUARANTEE PERIOD SPECIFIED HEREIN AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.</div>		<div>F. RECORD AND AS-BUILT DRAWINGS (CONT'D)</div> <div>6. CONTROLLER CHART FORMAT : THE CONTROLLER CHART SHALL BE A XEROX REDUCTION OF THE "AS BUILT" TO THE MAXIMUM SIZE OF THE CONTROLLER (DO NOT CONTROLER ESCO) AND THE CONTROLLER SEQUENCE NUMBERS MUST BE LARGE ENOUGH TO BE LEGIBLE AT THE REDUCED FORMAT). UPON COMPLETION THE CHART SHALL BE HERMETICALLY SEALED BETWEEN TWO PIECES OF PLASTIC. CHARTS SHALL BE COMPLETED AND APPROVED PRIOR TO THE FINAL IRRIGATION FIELD OBSERVATION</div> <div>1.01 AMOUNT OF WATER</div> <div>A. The intent is to apply enough water at each irrigation cycle to wet the whole root zone and connect with subsoil moisture. Continuous contact between upper and lower levels of moisture is necessary to avoid formation of a dry layer of soil with roots that do not penetrate. The landscape contractor shall use an auger and periodically check the soil structure, noting the irrigation cycle. Timing or cultivation will modify this over time. The amount of water to apply at any one time depends upon how much moisture is remaining at the start of irrigation, the water holding capacity of the soil (fine vs. coarse textured), and how well the soil drains (how fast water moves downward). This can again be checked using various methods. The amount to apply is theoretically the amount of water used by the plant and lost from the soil since the last thorough irrigation.</div> <div>B. When to irrigate: The intent is to irrigate only as frequently as water is needed rather than on a rigid schedule. Note physical site characteristics for determining watering day. (susceptibility, to disease become greater if a hatch or mat is present and it remains wet overnight.) The loss of water from one irrigation to the next, to be replaced, will vary according to season and weather conditions such as temperature, humidity, wind and sunlight intensity. Therefore, the irrigation schedule should be reasonably flexible. Ideally, water should be applied when about 50% of the available water has been depleted. This may take about a week in warm weather or a medium loam soil. It is sound irrigation practice to use until temporary wilting occurs. Because deeper roots access more soil water, deeper rooted plants require less frequent irrigation, even if the total amount of water remains the same.</div> <div>1. Appearance of plants is a practical indication of its need for water. The wilting point is indicated when leaves are drooping and falling up. At this point it is necessary to apply water immediately.</div> <div>2. Examine the soil in the main root zone (top eight to twelve inches) to become familiar with moisture conditions in relation to plant appearance just before (and one day after irrigating). This can be done by using a soil sponging test. The soil sponging test involves the irrigation square test. Check again immediately after irrigating for depth of penetration. A soil probe or pointed steel rod can be pushed down easily in wet soil but not in dry soil indicating the depth of water penetration.</div> <div>3. Touch up watering may be necessary in between or just before a general irrigation to compensate for poor watering and/or uneven watering.</div> <div>C. Rate to apply irrigation: Generally apply water only as fast as the soil can absorb it to avoid run-off and waste.</div> <div>1. Sandy soil areas may take water at a rate exceeding one inch [1"] per hour, while the intake rate of clays, or of any type of soil on slopes, may be less than one-quarter inch [1/4"] per hour.</div> <div>2. A common error is to irrigate until the slowly permeable area is adequately wet, consequently overwatering the other areas and wasting water. The permeability of the soil should be checked periodically, adjusting control operation to avoid this situation.</div> <div>3. Hand water as needed to supplement natural rainfall and maintain plantings in a healthy, stress-free condition. It is the contractor's responsibility to make sure that plants receive adequate water regardless of weather conditions.</div> <div>E. If it is the responsibility of the contractor to conserve water and assure that all watering rules and regulations are followed. Any penalties, fines, or citations for watering ordinance violations shall be paid by the contractor.</div> <div>F. Irrigation shall be made by the use of the permanent irrigation systems. Hand watering is needed to supplement the permanent system. Failure of the irrigation system to provide full and proper coverage shall not relieve the landscape maintenance contractor of the responsibility to provide adequate irrigation. It is the contractor's responsibility to make sure that the irrigation system is maintained and operates properly.</div> <div>G. As-built watering times for each week. Do not over water plantings. Dip systems should be left on for sufficient time to allow for saturation of the root zone. Shorter runs with dip irrigation do not provide sufficient water penetration for healthy root development. Avoid multiple start times with dip systems if possible. Do not allow run-off from any irrigation.</div> <div>H. When breakdowns or malfunctions exist, the contractor shall hand water, if necessary, to maintain all plant material in a healthy condition. If the irrigation breaks the contractor will be billed as additional work, the labor costs for hand watering may also be submitted for payment. Do not wait for approval to begin hand watering if it is required to save the plantings.</div> <div>1.02 IRRIGATION SYSTEM MAINTENANCE</div> <div>1. Maintenance of the irrigation system is an ongoing process that involves monitoring, adjustment, and repair. By instituting a maintenance program that emphasizes monitoring and adjustment, you can minimize the third and most costly factor: Repair.</div> <div>6. Several irrigation system maintenance activities are best done at regular periodic intervals; others require performance on an as-needed basis. These activities are summarized as follows:</div> <div>C. Weekly</div> <div>1. Briefly activate each control valve and observe for major leaking or broken pipes and/or tubing.</div> <div>2. Spot check for proper coverage and operation. Immediately repair or replace any emitters which may have become damaged or clogged by debris.</div> <div>3. Check for irrigation run-off and correct as necessary.</div> <div>4. Flush system by opening up flush valve. If automatic flush is installed, verify that it is flushing at the start of valve operation. If little water is flushed automatically, it is necessary to create a manual flush by opening the lateral lines. This can be done by installing a PVC Ball Valve or a similar method.</div> <div>5. Based on observed field conditions adjust programming of the automatic irrigation controllers. Adjust water applications according to changes in the weather. Contractor shall be responsible for damage resulting from either over- or under-watering.</div> <div>F. Soil At least once a year the soil should be checked with an auger and evaluated with regard to the operating duration and frequency. When the systems are fine tuned this practice should continue every other week and evaluated making corrections as necessary and keeping all records of information.</div> <div>7. Records: The Contractor shall establish a form to record water usage, weather data, soil data and system operation for permanent recordation.</div> <div>D. Monthly</div> <div>1. Perform a preventative maintenance review of all irrigation equipment, including strikers, controllers, valves and emitters. If it is imperative that the system be checked prior to the increased seasonal water needs of spring and summer.</div> <div>2. Maintain automatic controllers in accordance with manufacturer's directions, including periodic inspection for loose wiring, accumulated debris, and deteriorating housings. Report any malfunctions or needed repairs to Owner's Representative.</div> <div>3. Maintain electric control valve "manual bleed" in a workable manner, making sure they are no more than "finger tight" when in the closed position.</div> <div>E. Yearly</div> <div>1. Flush Y-strainers and verify proper pressure in the gauge attached to the strainer body.</div> <div>F. As needed</div> <div>1. Verify clean, secure connections for the hardwire communication cable for the central control system and splicing should be inspected for waterproof connections.</div> <div>G. 1.03 REPAIRS</div> <div>A. Expose emitters as necessary to achieve a visual inspection of operation.</div> <div>2. Repair or replace at Contractor's expense and within one watering period, all equipment damaged as a result of Contractor's activities or negligence.</div> <div>3. During period of rainfall, change controller settings so as to temporarily prevent irrigation watering.</div> <div>4. Maintain electric control valves free of debris and accumulated silt.</div> <div>A. The landscape maintenance contractor shall replace or repair, at the landscape maintenance contractor's expense, any irrigation components damaged, unless due to excluded damage. Repair shall be made within two weeks of the day the damage occurred. If the damage was due to excluded damage, the irrigation repairs will be paid for as additional work. The contractor shall make notification of needed repairs within two weeks of the day the damage. Regardless of the cause of damage, the contractor shall take immediate action to prevent further damage by shutting off the damaged part of the irrigation system and consulting with the client regarding any needed repairs. As soon as possible after receiving written authorization to proceed, the contractor shall make repairs. The following items are considered to be minor repairs: damaged or clogged emitters, adjustment emitter position, replacement of clogged, broken, missing barbed/drip dip emitters, replacement and repositioning of drip distribution tubing smaller than 1/2 inch or 15 mm diameter. These minor repair items shall be corrected by contractor at contractor's expense.</div> <div>A. Any replacement of irrigation system components shall be made with materials of the same manufacturer and model as the original equipment. Substitutions of materials other than original equipment will be accepted only when the substituted equipment has been discontinued and is no longer available for purchase at any location. The substituted equipment must be completely compatible with the original and must be approved in advance by the owner's authorized representative.</div> <div>C. The contractor shall check the entire irrigation system weekly for items such as dry spots and missing or malfunctioning irrigation components. Check for leaking valves, water running across sidewalks, water standing in puddles, or any other condition which hampers the correct operation of the system or the public safety. The contractor shall be responsible for identifying and correcting a broken pipe or leaking valve. Plants which die due to irrigation failure will be considered to have died due to the contractor's negligence and shall be replaced at the contractor's expense.</div>	

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REVISION

06.23.2021

07.08.2021

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SCALE : AS SHOWN

DRAWN BY : B_MO

L-3.4

IRRIGATION SPECIFICATIONS

EASTFIELD

79 EASTFIELD DR

ROLLING HILLS

CALIFORNIA 90274

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RESOLUTION NO. 2021-15

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR NON-EXEMPT GRADING IN ZONING CASE NO. 21-12 LOCATED AT 79 EASTFIELD DRIVE, ROLLING HILLS, CALIFORNIA. THE PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT. (GONZALEZ)

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

Section 1. On August 30, 2021, an application was duly filed by Mr. Gonzalez (“Applicant”) with respect to real property located at 79 Eastfield Drive, Rolling Hills, requesting a Site Plan Review for non-exempt grading for a total of 442 cubic yards (127 cubic yards of cut and 254 cubic yards of fill) (Zoning Case No. 21-12).

The applicant submitted an Administrative Review application on May 16, 2021 for interior remodel, 262 square-foot residential addition (totaling 3,796 square feet), conversion of 280 square feet from the existing three-car garage to habitable space (remaining two-car garage total is 502 square feet), new 762 square-foot accessory dwelling unit (ADU), new 792 square-foot swimming pool/spa, 712 square-foot addition to the front walkway, 418 square-foot addition to attached trellis (totaling 956 square feet of covered trellises), and 81 square-foot addition to service yard (totaling 156 square feet). The existing 7,000 square-foot tennis court will be removed and the area will be replaced by the new ADU and new swimming pool/spa. The aforementioned requests fall within the purview of the Director of Planning and Community Services; the applicant is not requesting any relief from the Rolling Hills Municipal Code.

Section 2. The Planning Commission conducted duly noticed public hearings to consider the application on October 19, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studied said proposal.

Section 3. The lot is zoned RAS-2. The net lot area, for development purposes, is 2.52 acres or 110,030 square feet. There is one main building pad and the lot is currently developed with an existing 3,534 square-foot residence, 782 square-foot 3 car garage, and 7,000 square-foot tennis court.

Section 4. This project is also categorically exempt from CEQA pursuant to Section 18.36.060 (Minor alterations to land) Grading on land with a slope of less than ten (10) percent. The total proposed grading for the project 630 cubic yards: 188 cubic yards (exempt) and 442 cubic yards (non-exempt). The 188 cubic yards of excavation for the proposed swimming pool and spa is exempt. The proposed project requires a Site Plan Review for the non-exempt grading for the driveway expansion, ADU foundation, swimming pool deck, and fill for the northeast portion of the yard. The Applicant is requesting a Site Plan Review (SPR) for 442 cubic yards of non-exempt grading.

Section 5. The Rolling Hills Municipal Code requires Site Plan Review for a project that proposes grading pursuant to RHMC Section 17.46.020(A)(1). The project proposes a total of 630 cubic yards of grading: 188 cubic yards for swimming pool and spa excavation (exempt), 442 cubic yards of cut and fill to be balanced on site to expand the existing building pad and level the finished grade to the same elevation. The Planning Commission makes the following findings:

A. The project complies with and is consistent with the goals and policies of the General Plan and all requirements of the Zoning Ordinance.

Maximizing the amount of fill on the subject property complies with the goals of the General Plan to balance grading on site. The total proposed grading for the project is 630 cubic yards: 188 cubic yards (exempt) and 442 cubic yards (non-exempt). The 188 cubic yards of grading is for the proposed swimming pool and spa. The cut dirt will be used for fill and expansion of the existing building. All grading will be balanced on site and no slopes will be greater than 2:1, which meets the requirements of the code and the General Plan.

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot.

The project conforms with development standard requirements of the RHMC for lot coverage, which is 15.92% (maximum 35%) and building pad coverage, which is 21.9% (maximum 30%). The removal of the tennis court decreases the structural coverage. The fill of the northeasterly portion of the building pad expands the existing building pad but the slopes created will be contoured to meet the existing terrain of the site. No slopes will be greater than 2:1.

C. The proposed development, as conditioned, is harmonious in scale and mass with the site. The proposed project is located out of sight of the street and not be visible to any neighbors, and is consistent with the scale of the neighborhood when compared to properties in the vicinity.

The proposed grading has been designed to blend into the natural contours of the existing terrain. The proposed projects are consistent with the scale of the neighborhood since it is on a large lot.

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls).

Although grading will occur, the natural drainage course will remain and the fill areas will be enhanced with landscaping. The proposed grading is designed to follow the natural contours of the natural terrain and existing slopes.

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area.

The 7,000 square foot existing tennis court will be removed, and the area will be replaced by a swimming pool and spa and ADU. The total proposed grading for the project 630 cubic yards: 188

cubic yards (exempt) and 442 cubic yards (non-exempt). The fill in the front yard will follow the natural contours of the slope. The driveway is necessary to allow for emergency access and will be expanded to the minimum width required by the Fire Department.

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course.

The proposed grading will not have any impacts on drainage and there will be no change to the existing drainage course. The cut and fill will not redirect drainage flow.

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas.

The location of the proposed swimming pool/spa, deck, and ADU minimizes lot disturbance by using an area that previously accommodated a tennis court. The project will incorporate landscaping that is approved by the Fire Department in conformance with its fire fuel modification standards. The development plan will introduce drought-tolerant landscaping, which is compatible with and enhances the rural character of the community. A landscaping plan has been filed with the City.

H. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles.

The project will enhance the on- and off-site circulation patterns. The portion of the driveway located in the easement will be removed. The driveway has been widened to meet the Fire Code access requirements and provide a designated parking space for the ADU. The Fire Code requires a 20-foot driveway, clear of any horizontal or vertical obstructions, to accommodate the width and height of a fire truck and its equipment. The Fire Code also requires access to the ADU.

I. The project conforms to the requirements of the California Environmental Quality Act.

The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15304 (Minor Alterations to Land) of the CEQA Guidelines, which exempts minor alterations in the condition of land, including but not limited to grading on land with a slope of less than 10 percent. The grading taking place on the property is on land with a slope of less than 10 percent to account for the swimming pool, spa, deck, ADU. The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences.

Section 6. Based upon the foregoing findings of this Resolution, the Planning Commission hereby approves the Site Plan Review for a total of 630 cubic yards of grading: 188

cubic yards of swimming pool and spa excavation (exempt), 442 cubic yards of cut and fill (non-exempt), subject to the following conditions:

A. The Site Plan approval shall expire within two years from the effective date of approval of October 19, 2021, if grading or construction has not commenced within two years of the approval as defined in RHMC §§ 17.46.080, 17.42.070, 17.38.070, respectively, unless otherwise extended pursuant to the requirements of those code sections.

B. If any condition of this Resolution is violated, the entitlement granted by this Resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicants cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted; the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to RHMC Chapter 17.58.

C. All requirements of the Building Code and the Zoning Ordinance including outdoor lighting requirements, roofing material requirements, stable and corral area set aside requirements, pool safety measures, and all other requirements of the zone in which the subject property is located must be complied with, unless otherwise set forth in this approval.

D. The project shall be developed and maintained in substantial conformance with the Site Plan on file in the City Planning Department dated October 19, 2021 or as may be further amended and approved by the Los Angeles County Building Department, the City's Community Services and Planning Director, or Planning Commission pursuant to Section 17.38.065, 17.42.065, and 17.46.070, see attached plans.

E. Structural lot coverage shall not exceed 8,126 square feet or 7.39% (without deductions) in conformance with lot coverage limitations of the Zoning Ordinance.

F. Total lot coverage of structures and paved areas shall not exceed 13,366 square feet or 12.15% in conformance with lot coverage limitations of the Zoning Ordinance.

G. The disturbed area of the lot shall not exceed 33.6%, which is in conformance with 40% maximum lot disturbance limitations.

H. Residential building pad coverage shall not exceed 21.91%.

I. Grading fill for this project shall not exceed total 630 cubic yards (188 cubic yards exempt and 442 cubic yards non-exempt).

J. The property on which the project is located shall contain a set aside area to provide an area meeting all standards for a stable, corral with access thereto as is shown on the plan dated October 19, 2021.

K. 65% of the demolition and construction materials shall be recycled/diverted. Prior to granting a final inspection, verification to be submitted to staff regarding the amount of recycled/diverted material and where it was taken on forms provided by the City. The hauling company shall obtain a hauling permit and pay the applicable fees. The applicant shall apply for a Construction and Demolition Debris permit if clearing, grubbing and demolition will take place prior to issuance of the Final Planning Approval.

L. No irrigation or drainage device may be located on a property in such a manner as to contribute to erosion or in any way adversely affect easements, natural drainage course or a trail. Drainage for this project shall be approved by the Building and Safety Department.

M. All graded areas shall be landscaped. Landscaping shall be designed using native plants, shrubs and trees. Any new trees and shrubs planned to be planted in conjunction with this project shall, at maturity, not be higher than the ridge height of the main residence. No plants shall be planted, which would result in a hedge like screen. Eucalyptus, palms, pampas grass, juniper, pine and acacia shall not be planted on site.

N. The landscaping shall be subject to the requirements of the City's Water Efficient Landscape Ordinance, (Chapter 13.18 of the RHMC), and shall be submitted to the City prior to obtaining a grading permit.

O. During construction, dust control measures shall be used to stabilize the soil from wind erosion and reduce dust and objectionable odors generated by construction activities in accordance with South Coast Air Quality Management District, Los Angeles County and local ordinances, and engineering practices.

P. During construction, activities shall conform with air quality management district requirements, stormwater pollution prevention practices, county and local ordinances, and engineering practices so that people and property are not exposed to undue vehicle trips, noise, dust, objectionable odors, landslides, mudflows, erosion, or land subsidence.

Q. During construction, to the extent feasible, all parking shall take place on the project site, but if necessary, any overflow parking may take place within the nearby roadway easements, without blocking access to and over the common driveway to the residences adjacent thereto.

R. The Applicants shall be responsible for keeping the common access roadway in good condition during the entire construction process and shall, at their sole expense, make necessary repairs to the common access roadway should any damage occur during construction of their project.

S. During construction, the Applicants shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

T. If an above ground drainage design is utilized, it shall be designed in such a manner as not to cross over any equestrian trails. Any drainage system shall not discharge water onto a trail, shall incorporate earth tone colors, including in the design of the dissipater and be screened from any trail and neighbors views to the maximum extent practicable, without impairing the function of the drain system.

U. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: http://www.wrhn.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE. It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions. Should a red flag warning be declared and if work is to be conducted on the property, the contractor shall have readily available fire extinguisher.

V. The Applicants shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage, cisterns, and storm water drainage facilities management and to the City's Low Impact development Ordinance (LID), if applicable. Further the Applicants shall be required to conform to the County Health Department requirements for a septic system.

W. Prior to finaling of the project an "as graded" and "as constructed" plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan and one hardcopy and one electronic copy shall be submitted to the Planning Department prior to issuance of the Final Certificate of Occupancy.

X. The working drawings submitted to the County Department of Building and Safety for plan check review shall conform to the development plan described in Condition D.

Y. Prior to submittal of final plans to the Building Department for issuance of grading and/or building permits, the plans for the project shall be submitted to staff for verification that the final plans are in compliance with the plans approved by the Planning Commission

Z. Prior to the issuance of building or grading permits, Applicant shall execute an Affidavit of Acceptance of all conditions of this permit pursuant to Zoning Ordinance, or the

approval shall not be effective. The affidavit shall be recorded together with the Resolution against the Property. Applicants shall be and remain in compliance with all conditions of this permit.

AA. Prior to finaling of the project an “as graded” and “as constructed” plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the “as built/as graded” plan. Applicants shall submit as built plans in electronic format prior to issuance of the Final Certification of Occupancy.

BB. Applicants shall comply with the Requirements of the Fire Department for access, water flow and fire fuel modification prior to issuance of the Building permit.

CC. The conditions of approval enumerated in this Resolution shall be printed on the front sheet of the development plans and shall be available at the site at all times.

DD. Before issuance of Final Planning Approval, Applicants shall clear the property of any dead or alive tumbleweed or dead tree, shrub, palm frond or other plant. The property shall be cleared of all Code Violations.

EE. No landscape shall be allowed in the City easement. Trees specified shall not grow higher than the height of the roof ridge. Trees shall be planted in locations that do not hinder views from the adjacent lots. Trees are required to be maintained to a height not to exceed the roof ridge on the same building pad and so that views from adjacent lots are not obstructed.

FF. Applicants shall indemnify, protect, defend, and hold the City, and/or any of its officials, officers, employees, agents, departments, agencies, authorized volunteers and instrumentalities thereof, harmless from any and all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolution procedures (including, but not limited to arbitrations, mediations, and other such procedures), judgments, orders, and decisions (collectively “Actions”), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City) for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Code of Civil Procedure Sections 1085 or 1094.5, or any other federal, state, or local constitution, statute, law, ordinance, charter, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City’s defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.

PASSED, APPROVED AND ADOPTED THIS 19TH DAY OF OCTOBER 2021.

BRAD CHELF, CHAIRMAN

ATTEST:

DAISY LAXAMANA, CITY CLERK

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) §§
CITY OF ROLLING HILLS)

I certify that the foregoing Resolution No. 2021-15 entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR NON-EXEMPT GRADING IN ZONING CASE NO. 21-12 LOCATED AT 79 EASTFIELD DRIVE, ROLLING HILLS, CALIFORNIA. THE PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT. (GONZALEZ)

was approved and adopted at an adjourned regular meeting of the Planning Commission on October 19, 2021 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

and in compliance with the laws of California was posted at the following: Administrative Officer

DAISY LAXAMANA, CITY CLERK

RESOLUTION NO. 2021-15

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR NON-EXEMPT GRADING IN ZONING CASE NO. 21-12 LOCATED AT 79 EASTFIELD DRIVE, ROLLING HILLS, CALIFORNIA. THE PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT. (GONZALEZ)

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

Section 1. On August 30, 2021, an application was duly filed by Mr. Gonzalez (“Applicant”) with respect to real property located at 79 Eastfield Drive, Rolling Hills, requesting a Site Plan Review for non-exempt grading for a total of 442 cubic yards (127 cubic yards of cut and 254 cubic yards of fill) (Zoning Case No. 21-12).

The applicant submitted an Administrative Review application on May 16, 2021 for the interior/exterior remodel, 262 square-foot residential addition (totaling 3,796 square feet), conversion of 280 square feet to existing three-car garage (totaling a 502 square foot two car garage), 762 square-foot Accessory Dwelling Unit (ADU), 792 square-foot swimming pool/spa, 712 square-foot addition to the front walkway, 418 square-foot addition to attached trellis (totaling 956 square feet of covered trellises), and 81 square-foot addition to service yard (totaling 156 square feet). The existing 7,000 square-foot tennis court will be removed, and the tennis court area will be converted into the ADU and swimming pool/spa. The aforementioned requests fall within the purview of the Director of Planning and Community Services; the applicant is not requesting any relief from the Rolling Hills Municipal Code.

Section 2. The Planning Commission conducted duly noticed public hearings to consider the application on October 19, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studied said proposal.

Section 3. The lot is zoned RAS-2. The net lot area, for development purposes, is 2.52 acres or 110,030 square feet. There is one main building pad and the lot is currently developed with an existing 3,534 square-foot residence, 782 square-foot 3 car garage, and 7,000 square-foot tennis court.

Section 4. This project is also categorically exempt from CEQA pursuant to Section 18.36.060 (Minor alterations to land) Grading on land with a slope of less than ten (10) percent. The total grading for the project 630 cubic yards: 188 cubic yards (exempt) and 442 cubic yards (non-exempt). The 188 cubic yards of grading for the pool/spa is exempt. The project requires a Site Plan Review for the non-exempt grading for the driveway expansion, ADU foundation, deck, and fill for the northeast portion of the yard. The Applicant is requesting a Site Plan Review (SPR) for 442 cubic yards of non-exempt grading. The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA

pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences.

Section 5. The Rolling Hills Municipal Code requires Site Plan Review for a project that proposes grading pursuant to RHMC Section 17.46.020(A)(1). The project proposes total 630 cubic yards of grading: 188 cubic yards of pool excavation (exempt), 127 cubic yards of cut (non-exempt), and 254 cubic yards of fill (non-exempt). The Planning Commission makes the following findings:

A. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance.

Maximizing the amount of fill on subject property complies with the goals of the General Plan to balance grading on site. The total grading for the project is 630 cubic yards: 188 cubic yards (exempt) and 442 cubic yards (non-exempt). The 188 cubic yards of grading for the pool/spa is exempt. Filling the slopes in the northeast portion of the building pad will balance out the finished grade and expand the building pad. The fill will also be used for the pool deck. The 127 cubic yards of cut will level out the areas around the ADU, tennis court area, east corner of the building pad, and extend the existing driveway for fire access. All dirt will be balanced onsite.

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot.

The project conforms with development standard requirements of the RHMC for lot coverage 15.92% (maximum 35%) and building pad coverage 21.9% (maximum 30%). The removal of the tennis court decreases the structural coverage. The fill of the northeasterly portion of the building pad expands the existing building pad. The cut levels out the site for the ADU foundation, deck, and fire access walkway/driveway.

C. The project is harmonious in scale and mass with the site, the natural terrain, and surrounding residences. The project is located out of sight of the street and not be visible to any neighbors, and is consistent with the scale of the neighborhood when compared to properties in the vicinity.

The grading has been designed to incorporate into the natural contours of the existing terrain. The project is consistent with the scale of the neighborhood since it is on a large lot.

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls).

Although grading will occur, the natural drainage course will remain and the fill areas will be enhanced with landscaping. The grading is designed to follow the natural contours of the natural terrain and existing slopes.

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area.

The 7,000 square foot existing tennis court will be removed, and the area will be converted into a pool/spa and ADU. After the tennis court is removed, the area will be leveled out to follow the natural contours of the site for the improvements. The total grading for the project 630 cubic yards: 188 cubic yards (exempt) and 442 cubic yards (non-exempt). The fill in the front yard will follow the natural contours of the slope. The driveway will be widened to follow the contours of the hillside and slope to secure a designated parking space for the ADU and fire access.

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course.

The grading will not have any impacts on drainage and there will be no change to the existing drainage course. The cut and fill will not redirect drainage flow.

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas.

The location of the swimming pool/spa, deck, and ADU minimizes lot disturbance by using an area that previously accommodated a tennis court. Only one tree will be removed as a result of the grading. The project will incorporate landscaping that is approved by the Fire Department in conformance with its fire fuel modification standards and will introduce drought-tolerant landscaping, which is compatible with and enhances the rural character of the community.

H. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles.

The project will enhance the on- and off-site circulation patterns. The portion of the driveway located in the easement will be removed. The driveway has been widened to meet the Fire Code access requirements and provide a designated parking space for the ADU. The Fire Code requires a 20-foot driveway, clear of any horizontal or vertical obstructions, to accommodate the width and height of a fire truck and its equipment. The Fire Code also requires access to the ADU.

I. The project conforms to the requirements of the California Environmental Quality Act.

The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15304 (Minor Alterations to Land) of the CEQA Guidelines, which exempts minor alterations in the condition of land, including but not limited to grading on land with a slope of less than 10 percent. The grading taking place on the property is on land with a slope of less than 10 percent to account for the swimming pool, spa, deck, ADU. The project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences.

Section 6. Based upon the foregoing findings of this Resolution, the Planning Commission hereby approves the Site Plan Review for a total of 630 cubic yards of grading: 188 cubic yards of pool excavation (exempt), 127 cubic yards of cut (non-exempt), and 254 cubic yards of fill (non-exempt) subject to the following conditions:

A. The Site Plan approval shall expire within two years from the effective date of approval of October 19, 2021, if grading or construction has not commenced within two years of the approval as defined in RHMC §§ 17.46.080, unless otherwise extended pursuant to the requirements of the code section.

B. If any condition of this Resolution is violated, the entitlement granted by this Resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicants cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted; the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to RHMC Chapter 17.58.

C. All requirements of the Building Code and the Zoning Ordinance including outdoor lighting requirements, roofing material requirements, stable and corral area set aside requirements, pool safety measures, and all other requirements of the zone in which the subject property is located must be complied with, unless otherwise set forth in this approval.

D. The project shall be developed and maintained in substantial conformance with the Site Plan on file in the City Planning Department dated October 19, 2021 or as may be further amended and approved by the Los Angeles County Building Department, the City's Community Services and Planning Director, or Planning Commission pursuant to Section 17.46.070, attached.

E. Structural lot coverage shall not exceed 13,366 square feet or 12.15% in conformance with lot coverage limitations of the Zoning Ordinance.

F. Total lot coverage of structures and paved areas shall not exceed 5,127 square feet or 10.71% in conformance with lot coverage limitations of the Zoning Ordinance.

G. The disturbed area of the lot shall not exceed 33.6%, which is in conformance with 40% maximum lot disturbance limitations.

H. Residential building pad coverage shall not exceed 21.91%.

I. Grading for this project shall not exceed total 630 cubic yards (188 cubic yards exempt and 442 cubic yards non-exempt).

J. The property on which the project is located shall contain a set aside area to provide an area meeting all standards for a stable, corral with access thereto as is shown on the plan dated October 19, 2021.

K. 65% of the demolition and construction materials shall be recycled/diverted. Prior to granting a final inspection, verification to be submitted to staff regarding the amount of recycled/diverted material and where it was taken on forms provided by the City. The hauling company shall obtain a hauling permit and pay the applicable fees. The applicant shall apply for a Construction and Demolition Debris permit if clearing, grubbing and demolition will take place prior to issuance of the Final Planning Approval.

L. No irrigation or drainage device may be located on a property in such a manner as to contribute to erosion or in any way adversely affect easements, natural drainage course or a trail. Drainage for this project shall be approved by the Building and Safety Department.

M. All graded areas shall be landscaped. Landscaping shall be designed using native plants, shrubs and trees. Any new trees and shrubs planned to be planted in conjunction with this project shall, at maturity, not be higher than the ridge height of the main residence. No plants shall be planted, which would result in a hedge like screen. Eucalyptus, palms, pampas grass, juniper, pine and acacia shall not be planted on site.

N. The landscaping shall be subject to the requirements of the City's Water Efficient Landscape Ordinance, (Chapter 13.18 of the RHMC), and shall be submitted to the City prior to obtaining a grading permit.

O. During construction, dust control measures shall be used to stabilize the soil from wind erosion and reduce dust and objectionable odors generated by construction activities in accordance with South Coast Air Quality Management District, Los Angeles County and local ordinances, and engineering practices.

P. During construction, activities shall conform with air quality management district requirements, stormwater pollution prevention practices, county and local ordinances, and engineering practices so that people and property are not exposed to undue vehicle trips, noise, dust, objectionable odors, landslides, mudflows, erosion, or land subsidence.

Q. During construction, to the extent feasible, all parking shall take place on the project site, but if necessary, any overflow parking may take place within the nearby roadway easements, without blocking access to and over the common driveway to the residences adjacent thereto.

R. The Applicants shall be responsible for keeping the common access roadway in good condition during the entire construction process and shall, at their sole expense, make necessary repairs to the common access roadway should any damage occur during construction of their project.

S. During construction, the Applicants shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

T. If an above ground drainage design is utilized, it shall be designed in such a manner as not to cross over any equestrian trails. Any drainage system shall not discharge water onto a trail, shall incorporate earth tone colors, including in the design of the dissipater and be screened from any trail and neighbors views to the maximum extent practicable, without impairing the function of the drain system.

U. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE. It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions. Should a red flag warning be declared and if work is to be conducted on the property, the contractor shall have readily available fire distinguisher.

V. The Applicants shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage, cisterns, and storm water drainage facilities management and to the City's Low Impact development Ordinance (LID), if applicable. Further the Applicants shall be required to conform to the County Health Department requirements for a septic system.

W. Prior to finaling of the project an "as graded" and "as constructed" plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built/as graded" plan and one hardcopy and one electronic copy shall be submitted to the Planning Department prior to issuance of the Final Certificate of Occupancy.

X. The project shall be reviewed and approved by the Rolling Hills Community Association Architectural Review Committee prior to the issuance of any permits.

Y. The working drawings submitted to the County Department of Building and Safety for plan check review shall conform to the development plan described in Condition D.

Z. Prior to submittal of final plans to the Building Department for issuance of grading and/or building permits, the plans for the project shall be submitted to staff for verification that the final plans are in compliance with the plans approved by the Planning Commission

AA. Prior to the issuance of building or grading permits, Applicant shall execute an Affidavit of Acceptance of all conditions of this permit pursuant to Zoning Ordinance, or the approval shall not be effective. The affidavit shall be recorded together with the Resolution against the Property. Applicants shall be and remain in compliance with all conditions of this permit.

BB. Applicants shall comply with the Requirements of the Fire Department for access, water flow and fire fuel modification prior to issuance of the Building permit.

CC. The conditions of approval enumerated in this Resolution shall be printed on the front sheet of the development plans and shall be available at the site at all times.

DD. Before construction, Applicants shall clear the property of any dead or alive tumbleweed or dead tree, shrub, palm frond or other plant.

EE. A landscape plan shall be required and is subject to review and approval of the Planning and Community Services Director or designee. Trees specified in the landscape plan shall not grow higher than the height of the roof ridge. The landscape plan shall incorporate landscaping that is drought-tolerant and in conformance with fire fuel modification standards approved by the Fire Department. .

FF. Applicants shall indemnify, protect, defend, and hold the City, and/or any of its officials, officers, employees, agents, departments, agencies, authorized volunteers and instrumentalities thereof, harmless from any and all claims, demands, lawsuits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolution procedures (including, but not limited to arbitrations, mediations, and other such procedures), judgments, orders, and decisions (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City) for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Code of Civil Procedure Sections 1085 or 1094.5, or any other federal, state, or local constitution, statute, law, ordinance, charter, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.

PASSED, APPROVED AND ADOPTED THIS 19TH DAY OF OCTOBER 2021.

BRAD CHELF, CHAIRMAN

ATTEST:

ELAINE JENG, P.E., ACTING CITY CLERK

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) §§
CITY OF ROLLING HILLS)

I certify that the foregoing Resolution No. 2021-15 entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR SITE PLAN REVIEW FOR NON-EXEMPT GRADING IN ZONING CASE NO. 21-12 LOCATED AT 79 EASTFIELD DRIVE, ROLLING HILLS, CALIFORNIA. THE PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT. (GONZALEZ)

was approved and adopted at an adjourned regular meeting of the Planning Commission on October 19, 2021 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

and in compliance with the laws of California was posted at the following: Administrative Officer

ELAINE JENG, P.E., ACTING CITY CLERK



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 9.A

Mtg. Date: 10/19/2021

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: BARRY MILLER, CONSULTANT

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: OPPORTUNITY FOR PUBLIC COMMENT ON HOUSING ISSUES.

DATE: October 19, 2021

BACKGROUND:

State law requires all cities and counties in California to adopt a Housing Element as part of their General Plans. Once adopted, the Housing Element must be submitted to the State Department of Housing and Community Development (HCD) for formal certification. The Element must show that each community is doing its fair share to meet the region's housing needs and has adopted policies and regulations that implement State housing laws. The State requires that Housing Elements are updated every eight years. The current planning period (called the "5th Cycle") began in 2013 and ends in October 2021. The next planning cycle (called the "6th Cycle") runs from October 2021 through 2029.

The City of Rolling Hills is in the process of preparing its 6th Cycle Element. The Element was due to HCD on October 15, but there is a statutory "grace period" of 120 days (Feb 12, 2022) for cities that are unable to meet this deadline. In Rolling Hills' case, a late submittal is necessary as the State did not certify the 5th Cycle Element (covering 2013-2021) until July 7, 2021. Updating a Housing Element is typically a 12-18 month process.

The City is currently fully compliant with Housing Element law based on the standards used for the 2013-2021 cycle. However, dozens of State housing bills have been adopted in the last eight years and more challenging standards have been set for the next cycle. One of these standards is that Rolling Hills must show that is "affirmatively furthering fair housing" in its Housing Element and in the Update process. This must be demonstrated through the data collected and analyzed in the Housing Element, the policies and programs in the document, and the public outreach process used to develop the Element.

The City is required to provide multiple opportunities for public engagement and actively encourage the participation of all economic segments of the community. Accordingly, the October 19, 2021 the Planning Commission meeting is intended to provide Commissioners with an update on the project, as

well as an opportunity for the community to weigh in on housing issues. Notice of this meeting has been provided to the full community and public comment is strongly encouraged. Additional opportunities for public comment will be provided in the coming months.

DISCUSSION:

Since 1969, the State of California has required every local government to plan for its “fair share” of the state’s housing needs for people of all income levels. The California Department of Housing and Community Development (HCD), determines the total number of new homes that each region of California needs to build—and how affordable those homes need to be. Through the Regional Housing Needs Allocation (RHNA) process, every local jurisdiction is assigned a number of housing units representing its share of the region’s housing needs for an eight-year period. While the cities themselves do not actually build housing, they are required to ensure that their local zoning provides ample opportunities for private and non-profit developers to do so.

In 2019 HCD determined that the eight-year housing need for the Greater Los Angeles region was 1,341,827 units. The Southern California Association of Governments (SCAG) allocated this total to the six counties and 191 cities in the region using a formula considering factors such as the size (population) of each community, its employment base and proximity to transit, and social equity. In addition to receiving a gross number of units to be accommodated, the allocation is broken down into four income categories (very low, low, moderate, and above moderate).

The allocation for Rolling Hills for 2021-2029 is 45 units. This includes:

- 20 very low-income units
- 9 low-income units
- 11 moderate-income units
- 5 above moderate-income units

The allocation for Rolling Hills is skewed toward lower income housing, as one of the objectives of SCAG’s methodology is to reduce economic segregation and improve equity across the region.

Each city must plan for the type of housing it has been assigned. In the case of very low- and low-income units, this typically requires sites that are zoned for multi-family housing. Accessory dwelling units (ADUs) may be counted as low- and moderate-income units if the City has sufficient data on rents and construction trends to support its conclusions.

The RHNA accommodated by the 5th Cycle (2013-2021) Rolling Hills Housing Element was 28 units. The 28-unit assignment was actually the sum of the 4th and 5th Cycle combined, as the City did not have a compliant Element during the 4th Cycle and had to carry the 4th Cycle allocation forward.^[1] The 5th Cycle Housing Element successfully demonstrated that the City could accommodate 10 above moderate income units on vacant residentially zoned lots, 5 moderate income units through ADUs, and 16 units of low and very low income housing on a portion of the Rancho Del Mar School site, which is owned by the Palos Verdes Unified School District.

Going into the 6th Cycle (2021-2029), the City has a shortfall of land capacity to meet the RHNA. While it can demonstrate the capacity to accommodate 5 above moderate income units (on vacant lots) and 11 moderate income units (through ADUs), it can only demonstrate the capacity for 16 lower income units (on the Rancho Del Mar site). The City will need to show it can accommodate another 13

lower income units. This can be accomplished in several ways, such as increasing the number of units permitted on the Rancho Del Mar site (from 16 to 29 units), designating a second multi-family housing site, or creating ADUs with rent restrictions (or rents that are otherwise affordable to lower income households).

HCD has indicated that increasing the number of units allowed on the Rancho Del Mar may not be an acceptable option, since it would still leave the City with only one affordable housing site. New state laws relating to “Affirmatively Furthering Fair Housing” (AB 686) require that the City demonstrate that its affordable housing sites are not geographically concentrated. The City could revisit some of the other housing sites considered in 2014-2018, such as the tennis courts and City Hall, or consider incentives for lower cost ADUs. It could also consider other housing sites not previously identified. Rezoning—and potentially a General Plan Amendment—would likely be required in such cases.

In addition to increasing site capacity, the State has passed new housing laws in recent years with implications for the 6th Cycle Element. This includes additional data and analysis requirements, “objective standards” requirements for new multi-family development, limits on downzoning, and new fair housing requirements. The State has also adopted new penalties for cities with non-compliant Housing Elements.

PROJECT STATUS

The Housing Element consists of five key components: (a) an evaluation of progress on implementing the prior Element; (b) a housing needs assessment; (c) an evaluation of housing opportunities (including sites); (d) a constraints analysis; and (e) goals, policies, and actions for the future. At this time, parts (a) and (b) have been completed and parts (c) and (d) are underway. The City is aiming to complete the remaining portions of the Element in October and November and return to the Planning Commission and City Council in December and January for public hearings. Additional informational reports or study sessions with the Council and Planning Commission may be provided prior to the hearings, as guidance is needed on housing sites and potential future actions.

Adoption of the Housing Element is a two-step process:

- The City must submit a Draft (that has been vetted with the public, Planning Commission, and City Council) to HCD for comment.
- After receiving comments, the City must revise the document, adopt it, and resubmit it for formal certification.

The timelines for each of these steps were changed by the State legislature and Governor during the last week of September 2021, making it unlikely that the City will have a certified 6th Cycle Element within the next 120 days. AB 215, which was signed by the Governor on September 28, 2021 requires the City to allow a 30-day comment period for the Draft Element *before* it is submitted to HCD, and then gives HCD 90 days to provide comments back to the City on its first draft. Once the City receives HCD’s comments, an iterative process is typically required to make the revisions. This may take several months. In the case of the 5th Cycle Element, it took seven years. Nonetheless, the City is doing its best to complete the Element as quickly as possible in order to minimize its non-compliance window. As was explained in the 5th Cycle adoption hearings earlier this year, the penalties for non-compliance are becoming more severe. In June 2021, HCD issued a guide to the potential consequences for non-compliant cities that can be [reviewed here](#).

SUMMARY OF NEEDS ASSESSMENT

The Housing Needs Assessment (HNA) is one of the most important parts of the Housing Element. The Draft Rolling Hills HNA is included as an attachment to this staff report. This is a “Working Draft” that will ultimately become a chapter in the new Element. The HNA responds to State requirements and analyzes recent Census data to better understand demographic, economic, and housing conditions in the city. Some of the major findings are highlighted below:

- The 2020 Census indicates that Rolling Hills had a population of 1,739 in 2020, which is a 6.5% decrease from 2010. Los Angeles County as a whole grew by 5.3% between 2010 and 2020.
- The median age in Rolling Hills increased from 52 to 55.3 between 2010 and 2020. In 1980, the city’s median age was 38.
- One third of the city’s residents are over 65. Of this total, two-thirds are 65-79 and one-third are 80 or older.
- The percentage of residents under 18 decreased from 28% of the city’s population in 2000 to 20% of the population in 2020. The 35-44 age cohort also declined substantially. The 20-34 age cohort saw a notable increase, as more adult children were living at home in the 2010s.
- Rolling Hills became more diverse between 2000 and 2020. The percentage of White, Non-Hispanic households declined from 80% to 70% of the total. Approximately 15% of the city’s households are Asian, 2% are Black, 6% are Hispanic, and 6% are multi-racial.
- About 20% of the City’s residents speak a language other than English at home. However, most of these residents are bilingual, with only one-third indicating they spoke English “less than very well.” Korean and Mandarin were the most common languages spoken in these households.
- There are 639 households in the city, which is a decrease of 24 households from 2010. About 74% are married couples, mostly empty nesters. Only 23% of the city’s households have children under 18, down from 33% in Year 2000. About 16% of the city’s household consist of persons living alone.
- Average household size is 2.72, down from 2.90 in 2000.
- 3% of the city’s households are owners and 4.7% are renters.
- Median household income in the city exceeds \$250,000 annually. However, there are 60 households in the City (9% of all households) that meet the HUD definition of “very low income” and 45 that meet the definition of “low income”. These are primarily seniors on fixed incomes.
- About 18% of the city’s homeowners are spending more than 50% of their incomes on housing.
- Seniors are the largest “special needs” group in the city. 10% of the city’s households are single persons over 65 living alone. Homesharing and ADUs can provide a resource for these households, including additional income, companionship, and on-site care or home assistance.
- About 11% of the City’s residents have one or more disabilities. For residents over 75, the figure rises to 34% of the population.
- Other special needs groups, including persons experiencing homelessness, farmworkers, large households, and low income single parents, are much less common in Rolling Hills than the county as a whole.
- The 2020 Census counted 702 dwelling units in the city, a net increase of nine units over 2010.
- 47% of the city’s homes were built before 1960. About 8% were built after 2000, but most of these replaced the original homes on the properties.
- 74% of all homes in the city have four or more bedrooms, compared to 16% countywide.
- 63 of the city’s homes (9% of the total) were vacant at the time of the 2020 Census.
- In 2021, Zillow reported the median home value in Rolling Hills as \$3.7 million. Median cost per square foot among homes for sale was \$1,030.

Although much of the focus of the Housing Element is on accommodating the RHNA and meeting State requirements, the Update provides an opportunity to think about how City policies can be responsive to local housing issues. Five takeaways from the Needs Assessment are summarized below:

- The City has a growing population of seniors. Some of these residents have limited monthly incomes and face relative high housing costs, including home maintenance, property taxes, HOA dues, utilities, etc. Home sharing could alleviate some financial hardships.
- Although there are very few people who list Rolling Hills as their permanent place of employment, the City supports a large population of service workers, including caregivers, domestic employees, child care workers and au pairs, landscapers and gardeners, and others in construction and home maintenance. In addition, there are public sector workers, firefighters, and teachers/counselors (at Rancho Del Mar) employed within the city, with incomes that are far below what would be required to buy a home in Rolling Hills. A limited number of affordable rental units serving these workers could reduce commute lengths and vehicle miles traveled.
- Adult children of Rolling Hills residents (particularly those in the 18-30 age range) have limited housing options in the city, other than remaining at home. ADUs could provide additional options.
- The City's housing stock is well suited to ADUs and home sharing. More than two-thirds of the non-vacant housing units in the city have only one or two occupants, despite homes that are substantially larger than the regional average. There are also 300 fewer residents in Rolling Hills today than there were 50 years ago, despite larger homes and more square feet of living space. Additional residents would have a lower impact on infrastructure, services, and the environment if accommodated in the footprint of existing homes as opposed to new construction.
- Creating an ADU or deciding to share one's home is a personal choice and is entirely at the discretion of the homeowner. However, the City can create incentives that make it easier and more affordable for homeowners to consider this option.

SAFETY ELEMENT UPDATE:

State law requires that the Safety Element of the General Plan is amended concurrently with the Housing Element. The required amendments address climate resilience (SB 379), fire hazards (SB 1241), and consistency with the Local Hazard Mitigation Plan (AB 2140). In addition, AB 747 (adopted in 2020) requires the Safety Element to identify evacuation routes and their capacity, safety, and viability under different emergency scenarios. SB 99 (adopted in 2020) requires the Safety Element to identify every residential development in a designated "hazard area" that has less than two emergency evacuation routes.

The City has completed the required Draft Safety Element amendments. Adoption of the Safety Element should occur concurrently with the 6th Cycle Housing Element, per State law.

NEXT STEPS:

As noted earlier, the remaining chapters of the Housing Element are now being prepared. The City will need to decide how it will close the gap between its RHNA and available capacity in the coming months. Further discussion on the various options that could be considered will occur at future meetings. The City will also need to develop new policies and programs for the 6th Cycle. The Planning Commission is encouraged to provide ideas and consider public input.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA):

Amendment of the Housing Element is considered a Project under CEQA. Accordingly, a CEQA Initial Study will need to be prepared prior to adoption of the updated Element. The Initial Study will also cover the adoption of the new Safety Element. It is anticipated that the analysis will conclude that there are no significant environmental impacts given the scope of changes proposed by the Housing and

Safety Elements, and that a Negative Declaration can be prepared.

[1] The “carry over” of unmet need is required for cities that did not have compliant elements in the prior Cycle. Since Rolling Hills is now in compliance, it is no longer subject to this requirement for the upcoming Element. However, the RHNA allocations for the 6th Cycle are much higher than they were previously.

FISCAL IMPACT:

The Housing Element is a planning document that establishes policies for the City of Rolling Hills and will not have a direct fiscal impact on the City. Certification of the Element provides an indirect positive fiscal impact by reducing legal risks and qualifying the City for State planning grants.

RECOMMENDATION:

Receive and file report on the 6th Cycle Housing Element, following public comment and Commission feedback.

ATTACHMENTS:

[DraftNeedsAssessment-080621.pdf](#)

3.0 Housing Needs Assessment

3.0 Introduction

Each community's housing plan must be based on an analysis of local housing needs. This analysis is expressly required by the State Government Code (Section 65583(a)), and includes a comprehensive evaluation of local demographics, housing conditions, and market conditions. The analysis includes an assessment of household characteristics in the city, including household type, tenure (rent vs own), overcrowding, and percent of income spent on housing. It also evaluates the special housing needs of older adults, persons with disabilities, large families, and persons in need of emergency shelter.

The needs assessment helps ensure that the city is not only planning for its “fair share” of the *region's* housing needs, but also responding to its own *local* needs. Where appropriate, local conditions are compared to regional conditions or conditions in nearby cities to provide appropriate context. Rolling Hills is a very unique community and it is important to recognize that when planning for housing conservation and production.

Most of the data presented in this chapter is from the American Community Survey (ACS), an ongoing survey performed by the US Census to gauge population and housing conditions in between the decennial censuses. Because most 2020 Census data was not available at the time this report was prepared, the ACS data provides the most accurate information on local demographics. ACS data for Rolling Hills in 2021 is based a five-year average covering 2015-2019. However, the ACS is based on a sample of the population, so there is a small margin of error in some of the tables.¹ Other data sources include the California Department of Finance, the County of Los Angeles, and the City of Rolling Hills. In addition, SCAG provided a “pre-HCD certified” data profile for each city in the Los Angeles region in 2019. This is referenced as appropriate throughout this chapter.

The Needs Assessment is broken into five sections as follows:

- Section 3.1 covers population characteristics, such as age, race, and total rate of growth
- Section 3.2 covers household characteristics, such as presence of children and home ownership
- Section 3.3 addresses special housing needs
- Section 3.4 covers housing stock characteristics
- Section 3.5 covers growth forecasts and the RHNA for the 2021-2029 period

¹ The ACS data sets for Rolling Hills for 2015-2019 show a citywide population of 1,513 residents. This is 15 percent below the actual population, which was reported to be 1,739 residents in the 2020 Census data released on August 12, 2021. In addition, SCAG reported the population at 1,939 residents (in 2018), while the State Department of Finance reported 1,866 residents. These discrepancies are due to sampling errors resulting from the small size of Rolling Hills' population. As a result, charts are used (rather than tables) for some of the variables discussed below. This allows the analysis to focus on change over time rather than total values.

3.1 Population Characteristics

3.1.1 Total Population

Table 3.1 shows population estimates for Rolling Hills over a 50-year period. The City's population was 2,050 in 1970 and has declined by more than 300 residents since then. Between 1980 and 1990, Rolling Hills lost nearly 9 percent of its population. The decline was the result of several factors, including smaller households, fewer children, and the loss of homes due to wildfire and landslides. Change between 1990 and 2010 was minimal. There were 1,860 residents in 2010. The August 12, 2021 US Census data release reported a population of 1,739 residents, a 6.5 percent drop relative to 2010. The Census figure is substantially lower than the Department of Finance estimate of 1,866, which was made on January 1, 2021.

Table 3.1: Rolling Hills Population, 1970-2021

	Population	Percent Change
1970	2,050	--
1980	2,049	0
1990	1,871	-8.7%
2000	1,871	0
2010	1,860	-0.6%
2021 (DOF)	1,866	0.3%
2020 (Census)	1,739	-6.5%

Sources: US Decennial Census, 1970-2010. California Dept. of Finance, 1/1/21 estimate, 2020 Census (8/12/21 release)

Table 3.2 compares population change in Rolling Hills with the region, the County, and the other cities on the Palos Verdes Peninsula using data from the California Department of Finance. The six-county Los Angeles region grew 14.4 percent between 2000 and 2021, from 16.5 million residents to nearly 19 million residents. Los Angeles County grew by 5.2 percent, reflecting its more urbanized character. By contrast, the rate of growth on the Palos Verdes Peninsula during this 21-year period was just 1.1 percent. While Rolling Hills Estates grew by 5.5 percent, the other three cities have roughly the same number of residents today as they did 20 years ago. The Peninsula communities are mature, with limited vacant and re-developable land, high land costs, and environmental constraints that limit population growth.

Table 3.2: Comparison of Rolling Hills Growth with Nearby Cities and Region, 2000-2021

	Population		Percent Change
	2000	2021	
Rolling Hills	1,871	1,866(*)	-0.3
Rolling Hills Estates	7,676	8,098	5.5
Rancho Palos Verdes	41,145	41,541	0.9
Palos Verdes Estates	13,340	13,286	-0.4
Los Angeles County	9,542,000	10,044,458	5.3
SCAG Region	16,547,000	18,954,083	14.4

Sources: US Decennial Census, 2000. California Dept. of Finance, 1/1/21 estimate

(*) August 12, 2021 Census data release shows 1,739 residents, which is a 7.1 decrease since 2000

3.1.2 Age

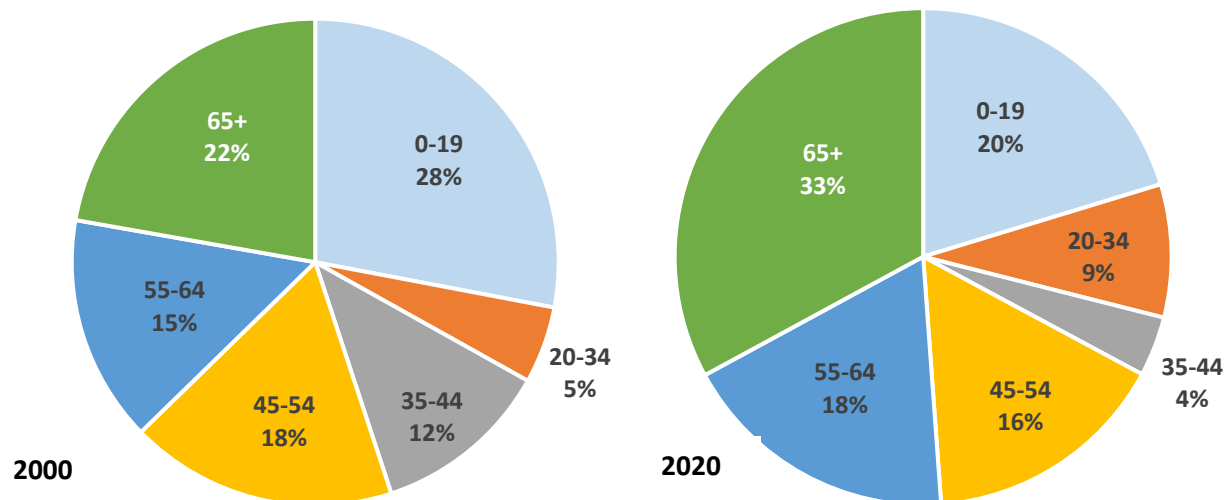
The age structure of the population has a strong influence on housing needs. For example, if a city is experiencing an outmigration of young adults (ages 25-34), it often indicates a shortage of rental housing or entry-level housing opportunities. If a city has a high percentage of residents over 75, it often indicates a need for special housing types, such as assisted living or single-story homes---or programs to assist with home rehabilitation.

Chart 3.1 shows the age distribution of Rolling Hills residents in 2000 and 2020. The chart illustrates significant shifts, including a decrease in the number of children (from 28% of the population in 2000 to 20% in 2020) and an increase in the number of persons over 65 (from 22% of the population in 2000 to 33% in 2020). The percentage of residents aged 20-34 nearly doubled over the 20-year period, likely as a result of adult children moving back home or delaying entry into the housing market due to high housing costs. The percent of residents 35-44 dropped significantly, likely because of limited local housing options for early and mid-career adults.

The median age in Rolling Hills has steadily increased over the last 40 years. In 1980, it was 38.2. It increased to 45.5 in 1990, 48 in 2000, and in 52 in 2010. By 2020, the median age was 55.3, meaning that half of all residents are older than 55 and half are 55 or younger. By contrast, the median age in Los Angeles County is 36.5. Rolling Hills also has a higher median age than the other cities on the Palos Verdes Peninsula (Rolling Hills Estates: 50.1; Palos Verdes Estates: 52.2; Rancho Palos Verdes: 50.0).

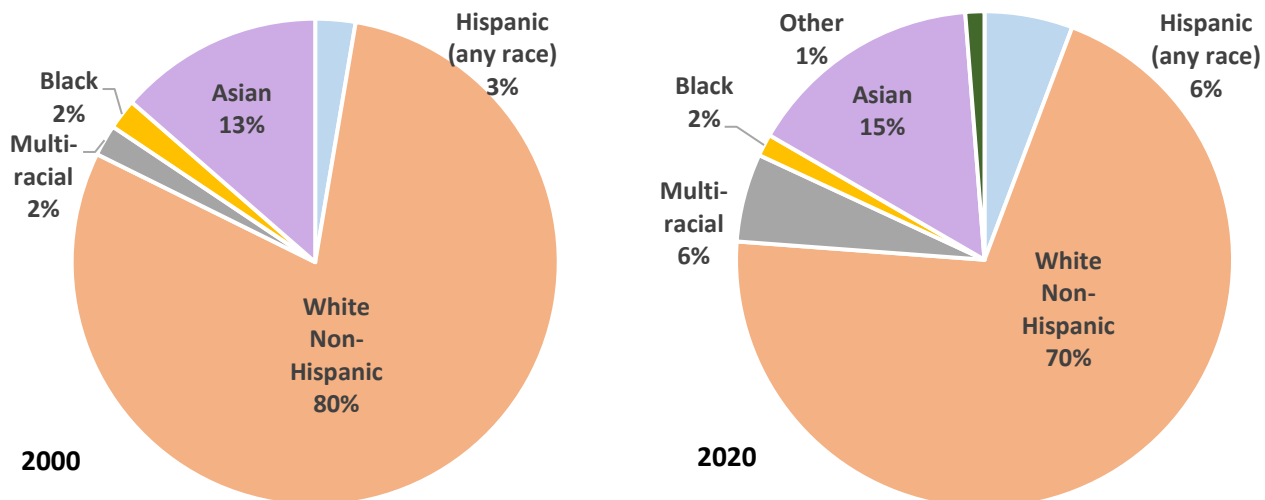
Census data indicates that one-third of Rolling Hills' residents over 65 are 80 or older. This cohort represents more than 10 percent of the City's population, a substantially higher share than in most communities in California.

Chart 3.1: Age Distribution of Rolling Hills Residents, 2000 and 2020



Source: US Census, 2000. ACS, 2021 (for 2015-2019 sample period)

Chart 3.2: Racial Distribution of Rolling Hills Residents, 2000 and 2020



Source: US Census, 2000 and ACS, 2021 (for 2015-2019 sample period)

3.1.3 Race and Ethnicity

Racial and ethnic composition may affect housing needs due to the cultural preferences of certain groups (including extended families, multi-generational families, etc). In addition, certain groups have historically faced discrimination due to the lending policies of financial institutions, former covenants and ownership restrictions, and past racial bias.

Chart 3.2 shows the racial distribution of Rolling Hills residents in 2000 and 2020. The city has become more diverse over time, with the Non-Hispanic White population declining from 80 percent to 70 percent of the total. The Hispanic population (any race) roughly doubled over the 20-year period, although relative to the total population, the numbers are still small. Approximately 6 percent of the City's residents are Hispanic.

The percentage of African-American residents remained at about 2 percent of the population between 2000 and 2020. During this same period, the number of residents of Asian or Pacific Island descent increased from 13 percent to 16 percent of the city's total. According to the Census, the largest Asian ethnic groups in the city are Chinese (6.5 percent) and Korean (5.1 percent). The number of residents indicating they were more than one race more than doubled between 2000 and 2020, with multi-racial residents representing about 6 percent of the population.

Relative to the County of Los Angeles and the State of California, Rolling Hills and the four cities on the Palos Verdes Peninsula have a substantially higher White Non-Hispanic population. Table 3.3 compares race and ethnicity in Rolling Hills, the Peninsula cities, Los Angeles County, and the State as a whole. Nearly half of the County's residents, and more than one-third of the State's residents, are Hispanic. By contrast, less than 10 percent of the residents in the Peninsula cities are Hispanic. The Peninsula cities tend to have higher percentages of Asian and Pacific Islander residents, and more multi-racial residents.

Table 3.3: Race and Ethnicity in Rolling Hills, Peninsula Cities, Los Angeles County, and State

	Percent of Total			
	Rolling Hills	Palos Verdes Peninsula*	Los Angeles County	State of California
Non-Hispanic White	71.3%	54.4%	26.2%	37.2%
Hispanic (all races)	5.8%	9.7%	48.5%	39.0%
Black/ African American	1.5%	1.6%	7.8%	5.5%
Native American/Alaskan	N/A	0.1%	0.2%	0.4%
Asian	15.6%	28.8%	14.4%	14.3%
Pacific Islander/Hawaiian	N/A	0.6%	0.2%	0.4%
Other	N/A	0.1%	0.3%	0.3%
Multi-Racial	5.8%	4.7%	2.3%	3.0%
TOTAL	100.0%	100.0%	100.0%	100.0%

Sources: US Decennial Census, 2000. California Dept. of Finance, 1/1/21 estimate

(*) Rolling Hills, Rolling Hills Estates, Rancho Palos Verdes, Palos Verdes Estates

The August 2021 release of 2020 Census data shows that the ACS may have underestimated the diversity of Rolling Hills' population. The 2020 Census indicated that 66 percent of the city's residents are White, 20.5 percent are Asian, 10.4 percent are more than one race, 1.3 percent are Black, and 1.9 percent are Other. The Census further indicated that 7.0 percent of the city's residents were Hispanic (includes all races).

3.1.4 Language

Based on ACS data for 2015-2019, 79 percent of the City's residents speak only English at home.² Of the roughly 300 Rolling Hills residents speaking a language other than English at home, 18 percent speak Spanish, 56 percent speak an Asian language, and 26 percent speak another Indo-European language. Most of these residents are bilingual and are fluent in English. About 66 percent of those speaking a foreign language at home indicated they also spoke English "very well." Of the remaining 34 percent, about half spoke an Asian language. Korean and Chinese were the most commonly spoken languages in those households.

Relative to other cities in Los Angeles County and the region, the percentage of "linguistically isolated" persons (i.e., those with limited English) is very low in Rolling Hills. Whereas about 6 percent of Rolling Hills' population is linguistically isolated, the percentage in Los Angeles County is about 24 percent.

3.1.5 Educational Attainment

Rolling Hills residents are highly educated. Among residents 25 or older, 97.6 percent have a high school degree. More than 70 percent have a bachelor's degree or higher, and 39 percent have a graduate or professional degree. These percentages are substantially higher than in the County as a whole.

3.1.6 Health Indicators

Health can impact housing needs both by limiting the income earning potential of residents and by creating the need for supportive services or special housing design. Based on data provided to the City by the Southern California Association of Governments, Rolling Hills health indicators are consistently better than the County as a whole. The City's obesity rate is 16.5 percent, compared to a countywide average of 28.2 percent. Its asthma rate is 10.1 percent, compared to the countywide average of 15.1 percent and its diabetes rate is 8.3 percent, compared to 12.1 percent countywide. On the other hand, Rolling Hills has a higher rate of heart disease than the County as a whole, with 9.7 percent of the population diagnosed with a heart ailment compared to 6.6 percent countywide. This is likely due to the more higher percentage of older residents in the city.

² American Community Survey 2015-2019, based on residents 5 years of age or older.

3.1.7 Employment

Employment affects the demand for housing and the dynamics of the housing market. In most cities, the types of jobs that are present affect the wages paid and the ability of the local workforce to pay for housing in the city. Rolling Hills is unique in this regard, as it has no major employers or land zoned for employment uses. In 2018, the Southern California Association of Governments estimated that there were only 110 jobs in the city.³ Employers include the City, the School District, Rolling Hills Community Association, the County Fire Department, and the Palos Verdes Transit Authority. The figure excludes construction workers, landscapers, housekeepers, child care providers, care givers, delivery workers, and others who travel to the city intermittently for work.

Data from SCAG collected prior to the COVID-19 pandemic indicates that a majority of residents in Rolling Hills commuted to jobs elsewhere in Los Angeles County. The largest percentages of residents commuted to Los Angeles (28.2%), Torrance (8.3%), and Long Beach (5.0%). Beyond Los Angeles County, the next largest commute destination was Orange County, including Anaheim (1.5%) and Huntington Beach (1.5%).

A relatively large percentage of Rolling Hills residents work from home. Prior to the COVID-19 pandemic, census data reported that about 18 percent of the city's employed residents worked from their homes. While data after March 2020 is not available, the percentage likely increased dramatically during the second quarter of 2020 and remained high for the rest of the year. The long-term effects of the pandemic on commute patterns are still unknown. However, the relatively large home sizes in Rolling Hills and the high percentage of the workforce in professional-sector jobs suggests that a substantial number of workers will continue to work remotely in the future.

Recent data from the California Employment Development Department (EDD) indicates there are 600 Rolling Hills residents in the labor force. EDD indicates an unemployment rate of 9.3 percent in June 2021, compared to a countywide average of 10.5 percent. The average annual unemployment rate in Rolling Hills was reported as 4.0 percent in 2019, when the countywide average was 4.4 percent.⁴

Tables 3.4 and 3.5 provides an overview of the Rolling Hills labor force, based on census data. The first table identifies the occupation of residents in the city by category, and the second classifies employed residents by industry.

A majority of the city's residents are in higher-wage professional and management occupations. Approximately 18 percent work in health care. About 13 percent work in education, legal services, arts, and media. Only a small percentage work in the service sector, and even smaller percentages work in the construction, maintenance, and transportation sectors. The largest economic sectors associated with the Rolling Hills workforce are finance, insurance, real estate, health care, and professional, scientific, and management services. The percentage of residents employed in retail sales, wholesaling, and manufacturing is much smaller than in the county as a whole.

³ Based on data from the California Employment Development Department

⁴ California EDD "Labor Force and Unemployment Rate for Cities and Census Designated Places" accessed July 2021

Table 3.4: Rolling Hills Employed Residents by Occupation

	Number of Residents Employed	Percent of Total
Management, business, and financial services occupations	185	32.9%
Computer, engineering, and science occupations	39	6.9%
Education, legal, community service, arts, and media occupations	72	12.8%
Healthcare practitioners and technical occupations	104	18.5%
Service occupations	24	4.3%
Sales and office occupations	115	20.4%
Natural resources, construction, and maintenance occupations	22	3.9%
Production, transportation, and material moving occupations	2	0.4%
TOTAL	563	100.0%

Sources: American Community Survey, 2021 (2015-2019 characteristics)

Table 3.5: Rolling Hills Employed Residents by Industry

	Number of Residents Employed	Percent of Total
Construction	24	4.3%
Manufacturing	29	5.2%
Wholesale trade	43	7.6%
Retail trade	30	5.3%
Transport/ warehousing/ utilities	4	0.7%
Information	12	2.1%
Finance/ insurance/ real estate	132	23.4%
Professional, scientific, and management, and administrative and waste management services	85	15.1%
Educational services, and health care and social assistance	146	25.9%
Arts, entertainment, and recreation, and accommodation and food services	39	6.9%
Other services, except public administration	12	2.1%
Public Administration	7	1.2%
TOTAL	563	100.0%

Sources: American Community Survey, 2021 (2015-2019 characteristics)

There are approximately six times more employed residents in Rolling Hills than jobs in Rolling Hills. The City is not expected to become an employment center in the future. Rolling Hills is currently a housing “reservoir” in that it provides far more housing than employment relative to other cities in Los Angeles County. Nearby communities with large employment bases rely on Rolling Hills to some extent to meet their housing needs, particularly at the upper range of the housing market.

3.2 Household Characteristics

The Bureau of the Census defines a “household” as “all persons who occupy a housing unit. This may include persons living alone, families related through marriage or blood, and unrelated individuals living together. Persons living in retirement or convalescent homes, dormitories, or other group living situations are classified as living in “group quarters” and are not considered households.

Household characteristics provide important indicators of housing needs. These characteristics include household structure (families with and without children, single persons, persons sharing homes, etc.), household size (number of persons per household), tenure (renter vs owner), and household income and poverty status. Again, the US Census 2021 American Community Survey (providing sample data for 2015-2019) is regarded as the definitive source for household data and is referenced in the tables and narrative below. At the time this report was prepared, 2020 Census data for households (other than total number of households) was not yet available.

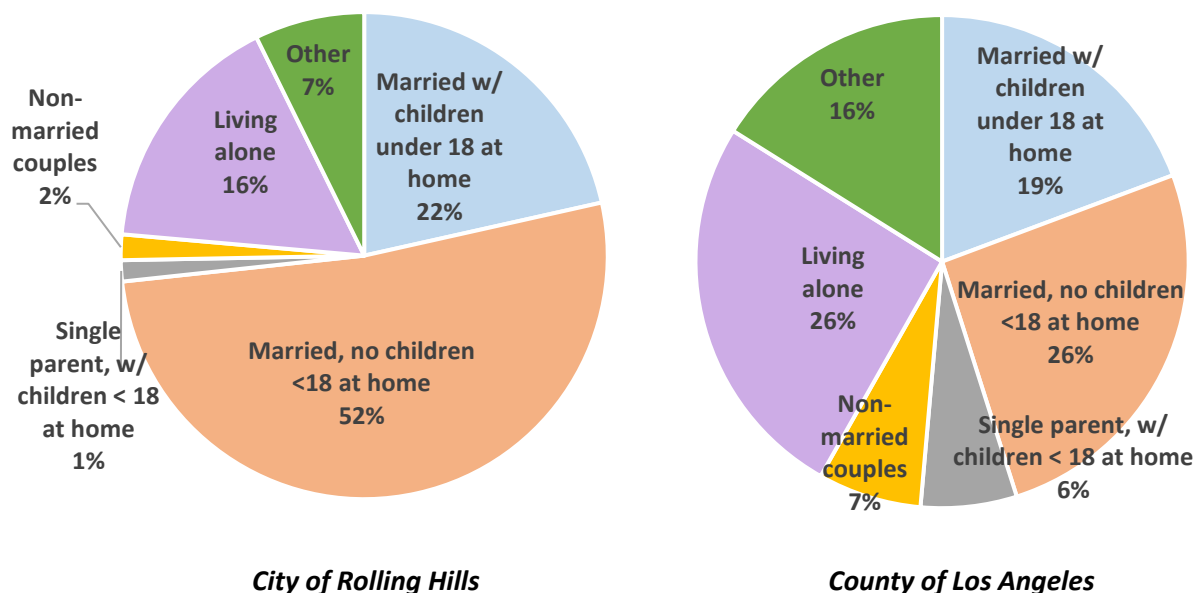
3.2.1 Household Type

Census data for Rolling Hills indicates that there is no group quarters population in the city and that all residents reside in households. Data from the California Department of Finance for January 1, 2021 indicates that there were 667 households in Rolling Hills, an increase of four households from the 2010 Census. The August 2021 release of US 2020 Census data indicates that there are 639 households in the city, which is a decrease of 24 households from 2010.

Just over 81 percent of all households in Rolling Hills are classified as families. This percentage remained constant between 2010 and 2020. Non-family households include persons living alone and persons living in shared homes.

Chart 3.3 shows the distribution of households by category for Rolling Hills and the County of Los Angeles. Relative to the County, Rolling Hills has a much higher percentage of married couple families (74% of all households compared to 45% countywide). The City has smaller percentages of single parent households and non-married couple households than the County and the other cities on the Palos Verdes Peninsula. A much smaller share of Rolling Hills’ residents live alone than in the County as a whole.

Chart 3.3: Household Type in Rolling Hills and Los Angeles County, 2021



Source: American Community Survey, 2021 (2015-2019 data)

The data for Rolling Hills reflects the community's single family housing stock. For decades, the city has attracted families with children. Couples tend to keep their homes when their children are grown, resulting in a significant number of homes (more than half) occupied by older couples with adult children and empty nesters. In fact, the Census indicates that 60 percent of the married couple households in Rolling Hills include at one person over 60 years old, compared to 38 percent in the county as a whole.

Household type in Rolling Hills has changed over the last 20 years. The percentage of people living alone has been increasing, growing from 12 percent of the population in 2000 to 16 percent in 2020. The percentage of households with children living at home has been decreasing. It was 33 percent in 2000 and 23 percent in 2020.

3.2.2 Household Size

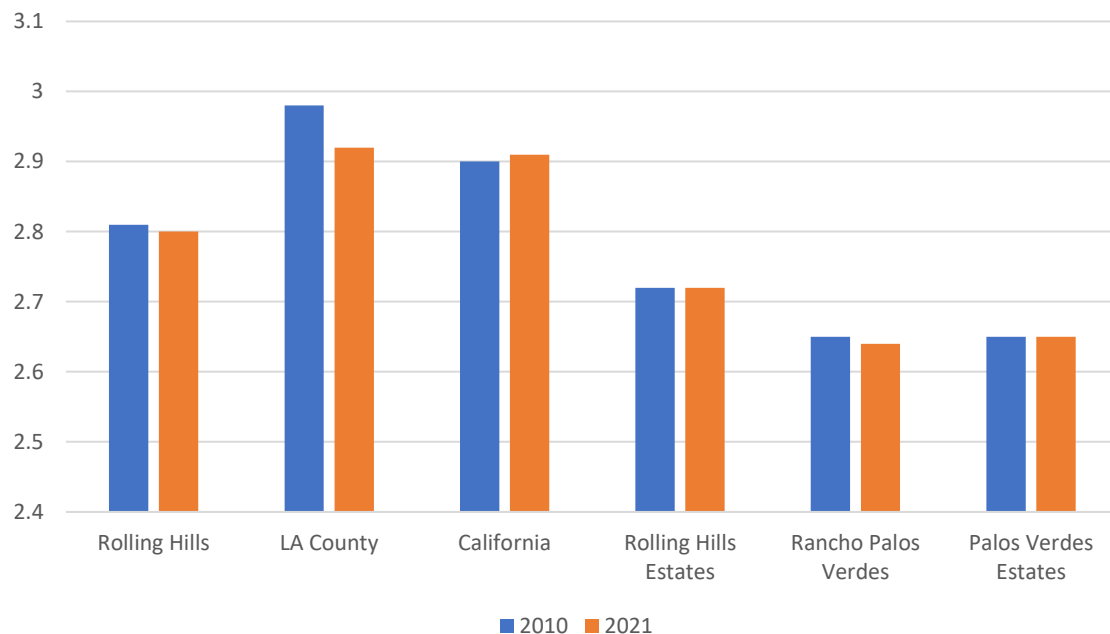
In 2020, the State Department of Finance reported the average household size in Rolling Hills as 2.80 persons. This is almost the same as it was in 2010, when average household size was reported at 2.81 persons. In general, average household size has been falling over time. It was 2.90 in 2000 and was reported as being 3.2 in the Rolling Hills General Plan (1989). Preliminary releases from the US Census (August 2021) show actual household size has fallen even further, and is now 2.72.

ACS data indicates that 16 percent of all households in the City are comprised of one person, 52 percent have two people, 10 percent have three people, and 21 percent have four or more people. By contrast, in Los Angeles County as a whole, 26 percent are comprised of one person, 28 percent of two persons, 17 percent of three persons, and 29 percent of four or more

persons. Rolling Hills has a much higher share of two-person households and smaller shares of one-person households and large households.

Chart 3.4 compares average household size in Rolling Hills, the County, the State and the other three cities on the Palos Verdes Peninsula. Data is shown for 2010 and 2021 for each city, based on California Department of Finance data.

Chart 3.4: Household Size in Rolling Hills and Other Jurisdictions, 2010 and 2021



Source: California Department of Finance, Table E-5, 2021

3.2.3 Overcrowding

Overcrowding may result when high housing costs prevent households from buying or renting homes that provide sufficient space for their needs. The Census defines overcrowded households as those with more than 1.01 persons per room, excluding bathrooms, hallways, and porches. Households are considered to be “severely” overcrowded if they have more than 1.51 persons per room.

Although Rolling Hills has a higher number of persons per household than the other cities on the Palos Verdes Peninsula, it does not experience overcrowding. ACS data for 2015-2019 indicate that 98.9 percent of the homes in the city have 1.0 persons per room or less. There are no households with more than 1.51 persons per room. By contrast, in the county at large, 11.3 percent of the households have more than 1.01 persons per room and 4.7 percent have more than 1.51 persons per room. Homes in Rolling Hills are generally large and owner-occupied, reducing the likelihood of future overcrowding.

3.2.4 Tenure

Tenure refers to a household's status as an owner or renter. ACS data for 2015-2019 indicate that 95.3 percent of Rolling Hills' households are homeowners and 4.7 percent are renters. This percentage has remained relatively constant over the last two decades. The 2010 Census indicated that 95.7 percent of the city's households were homeowners and that 4.3 percent were renters. This equated to 28 renter households in the entire city. Because there are no multi-family units at this time, these households were typically individual single family homes, and a handful of accessory dwelling units.

Renter households in the city are slightly larger than owner-occupied households. The ACS data for 2015-2019 indicates an average household size of 3.07 for renters and 2.60 for owners.

3.2.5 Household Income

Income is the single most important factor in determining housing affordability. While upper income households have more discretionary income to spend on housing, lower income households are more constrained in what they can afford. The State and federal government have developed metrics for classifying households into income categories. These metrics are used to quantify what is considered an "affordable" housing unit and to determine eligibility for housing subsidies and assistance programs. All metrics are benchmarked against the areawide median income, or AMI.

State-Defined Income Categories

The commonly used income categories are as follows:

- Extremely low income 0-30% of AMI
- Very low income 30% to 50% of AMI
- Low income 50% to 80% of AMI
- Moderate income 80% to 120% of AMI
- Above Moderate income More than 120% of AMI

"Affordable housing cost" is defined by State law as being not more than 30 percent of gross household income, with variations. "Housing cost" in this context includes rent or mortgage payments, utilities, property taxes, and homeowners (or renters) insurance. The income limits are updated annually by the California Department of Housing and Community Development.

For each income category, a sliding scale is used based on the number of persons per household. This recognizes that larger households must dedicate greater shares of their income for food, health care, transportation, and other expenses. The income categories are calculated by county, resulting in different median incomes from place to place within California.

Table 3.6 shows income categories for Los Angeles County that became effective in April 2021. A two-person household earning less than \$75,700 a year would be considered low income. The same household would be considered *very low* income if it earned less than \$47,300 a year. For a household of four people, the threshold is \$94,600 for low income and \$59,100 for very low income.

Table 3.6: Income Limits for Los Angeles County, 2021⁵

Income Category	Household Size							
	1	2	3	4	5	6	7	8
Extremely Low Income	\$24,850	\$28,400	\$31,950	\$35,450	\$38,300	\$41,150	\$44,000	\$46,800
Very Low Income	\$41,400	\$47,300	\$53,200	\$59,100	\$63,850	\$68,600	\$73,300	\$78,050
Low Income	\$66,250	\$75,700	\$85,150	\$94,600	\$102,200	\$109,750	\$117,350	\$124,900
Moderate Income	\$67,200	\$76,800	\$86,400	\$96,000	\$103,700	\$111,350	\$119,050	\$126,700

Source: California Department of Housing and Community Development, 2021

Table 3.7 indicates the monthly housing cost that would be considered “affordable” for households of different sizes in each income category. Using the state’s definition of affordability, a low income household of four would be able to afford a monthly housing cost of \$2,365. A very low income household of four could afford a monthly housing cost of \$1,478. If these households are pay in excess of this amount, they are considered to be “overpaying.” In a high-priced market like the Palos Verdes Peninsula, many low income households pay significantly more than 30 percent of their incomes on rent or mortgages. Those employed in low-wage professions in the area may commute long distances to areas with more affordable housing.

Table 3.7: Affordable Monthly Housing Costs Based on 2021 Income Limits

Income Category	Household Size							
	1	2	3	4	5	6	7	8
Extremely Low Income	\$621	\$710	\$799	\$886	\$958	\$1,029	\$1,100	\$1,170
Very Low Income	\$1,035	\$1,183	\$1,330	\$1,478	\$1,596	\$1,715	\$1,833	\$1,951
Low Income	\$1,656	\$1,893	\$2,129	\$2,365	\$2,555	\$2,744	\$2,934	\$3,123
Moderate Income	\$1,680	\$1,920	\$2,160	\$2,400	\$2,593	\$2,784	\$2,976	\$3,168

Source: Barry Miller Consulting, 2021. Based on 30% of monthly income for each household

Market-rate *ownership* housing in the Los Angeles area is generally not affordable to households who are moderate income or below. With an income of \$100,000, a household of four could potentially spend \$2,500 a month on their housing cost without experiencing a cost-burden. Assuming a 10 percent down-payment and 3 percent interest rate, an “affordable” home would be about \$360,000. While there are a few condominiums at this price point in the region’s larger cities (Long Beach, Los Angeles, etc.), there is no housing on the Palos Verdes Peninsula in this range. Consequently, “below market” housing programs typically focus on rental housing for low and very low income households, and a mix of subsidized ownership housing and rental housing for moderate income households.

⁵ Income limits for low, very low, and extremely low income are set by the federal Department of Housing and Urban Development. However, income limits for moderate income households are set by HCD based on mathematical averages of County income. Consequently, the moderate income numbers are only marginally different from the low income numbers in Los Angeles County. This is not the case in all counties.

Some market-rate rental units are “affordable by design”—meaning they are not subsidized but have rental prices that fall within the affordability ranges of low and moderate income households. For example, a one-bedroom apartment renting for \$1,700 a month would be considered affordable to a two-person low-income household. While the supply of such units is limited on the Palos Verdes Peninsula, there are opportunities for market-rate accessory dwellings and older apartments to fill this need.

Household Income in Rolling Hills

The federal Department of Housing and Urban Development (HUD) receives custom tabulations of Census data each year to evaluate housing needs for lower income households. The data is referred to as “CHAS” (Comprehensive Housing Affordability Strategy) data and includes documentation of the current number of owner and renter households in each HUD income category for each jurisdiction. At the time the 2021-2029 Housing Element was prepared the CHAS data set was based on 2013-2017 conditions. Table 3.8 provides CHAS data for the City of Rolling Hills.

Table 3.8: Rolling Hills Households by HUD Income Category

Income Category	Owners	Renters	Total (*)
Extremely Low	25	0	25
Very Low	35	10	45
Low	45	0	45
Moderate	25	0	25
Above Moderate	465	15	480
Total	595	25	620

Source: HUD User Portal CHAS data, based on 2013-2017 ACS. Accessed July 2021

() Total number of households does not match Census and DOF totals due to sampling methods. CHAS data is also rounded to the nearest “five” by HUD.*

Table 3.8 indicates that 77 percent of the households in Rolling Hills are “above moderate” income (more than 120% of Areawide Median Income). There are 25 “extremely low” income households and 45 “very low” income households in the city, representing four percent and seven percent of total households respectively. Another seven percent meet “low” income criteria.

Table 3.9 provides additional data on income in Rolling Hills, using 2015-2019 American Community Survey data rather than CHAS data. Rolling Hills is among the most affluent cities in California, with a median income exceeding \$250,000 a year, and a mean household income of \$434,685. The Census indicates that 57.5 percent of the city’s households have annual incomes exceeding \$200,000, compared to 37.8 percent for all of the Palos Verdes Peninsula cities and 10.2 percent for Los Angeles County.

Table 3.9: Household Income in Rolling Hills, Peninsula Cities, and Los Angeles County

Income Category	Percent of Households in Income Category		
	Rolling Hills	Palos Verdes Peninsula Cities	Los Angeles County
Less than \$10,000	1.2%	3.0%	5.6%
\$10,000-\$14,999	2.6%	1.6%	4.8%
\$15,000-\$24,999	2.6%	3.4%	8.4%
\$25,000-\$34,999	1.2%	3.4%	8.1%
\$35,000-\$49,999	6.1%	4.7%	11.2%
\$50,000-\$74,999	3.8%	9.2%	15.9%
\$75,000-\$99,999	4.2%	9.0%	12.3%
\$100,000-\$149,999	12.7%	15.5%	15.8%
\$150,000-\$199,999	8.1%	12.6%	7.8%
\$200,000 or more	57.5%	37.8%	10.2%
Median Income	\$250,000+	\$154,165	\$68,044
Mean Income	\$434,685	\$210,231	\$99,133

Source: American Community Survey, 2021 (for 2015-2019)

Data for Palos Verdes Peninsula cities represents weighted average of Rolling Hills, Rolling Hills Estates, Rancho Palos Verdes, and Palos Verdes Estates

While a majority of households are “above moderate” income, the ACS data indicates that 6.4 percent of Rolling Hills’ households (or approximately 42 households) have annual incomes of less than \$25,000 a year. This compares to 8.0 percent for the Palos Verdes Peninsula and 18.8 percent for Los Angeles County. Approximately 7.3 percent of Rolling Hills’ households have incomes between \$25,000 and \$50,000 a year, compared to 8.1 percent on the Peninsula and 19.3 percent countywide.

The Census also disaggregates household income data by family households, married couples, and non-family households. Non-family households include persons living alone and unrelated individuals in shared homes. Family and married couple household incomes in Rolling Hills are higher than non-family households. Census data indicate that 27 percent of the non-family households in the city (or about 30 households) have annual incomes below \$35,000 compared to just 3.1 percent for families and married couples.

An important qualifier about the Census income data is that it does not account for accumulated wealth or savings and is based only on annual income. Given the high cost of housing in Rolling Hills, the very high rate of owner-occupancy (95 percent), and the large number of retired adults in the city, it is likely that most of the lower income households in the city are seniors on fixed incomes. In fact, 68 of the 108 non-family households in the city are comprised of persons over 65 living alone. Many of these households have no mortgage and their housing costs are primarily associated with property taxes, insurance, maintenance, and utilities. Despite accumulated wealth and home equity, a subset of the population on fixed incomes may lack the resources to meet these expenses.

3.2.6 Overpayment

Overpayment refers to the incidence of households spending more than 30 percent of their incomes on housing costs. As noted earlier, this includes monthly utility bills, taxes, HOA dues, and insurance as well as mortgage or rent payments. Overpayment occurs in all income categories but is more challenging for lower income households given the limited resources to pay for other household expenses. Such households are defined by the US Department of Housing and Urban Development as being “cost-burdened.”

ACS data indicates that 30.6 percent of all homeowners in Rolling Hills and 32 percent of all renters are paying more than 30 percent of their incomes on housing. About 18 percent of Rolling Hills homeowners are paying more than 50 percent of their incomes on housing. This compares to 16 percent in the county as a whole. Table 3.10 compares rates of overpayment in the city with those of Los Angeles County as a whole. At the countywide level, the rate of overpayment is somewhat higher for homeowners and substantially higher for renters. In Los Angeles County, approximately 35.7 percent of all homeowners and 57.6 percent of all renters pay more than 30 percent of their incomes on housing.

Table 3.10: Percent of Income Spent on Housing in Rolling Hills and Los Angeles County

Percent of Income Spent on Housing	Homeowners with no Mortgage		Homeowners with a Mortgage		Renters	
	Rolling Hills	LA County	Rolling Hills	LA County	Rolling Hills	LA County
Less than 20 %	64.3%	73.4%	37.1%	30.0%	54.5%	19.7%
20-24.9 %	10.5%	6.4%	10.1%	14.5%	0	11.5%
25-29.9%	5.0%	4.2%	14.0%	12.1%	13.6%	11.2%
30-34.9%	0.8%	3.0%	7.8%	9.1%	0	9.5%
More than 35%	19.3%	12.9%	30.9%	34.4%	31.8%	48.1%

Source: American Community Survey, 2021 (for 2015-2019)

Not surprisingly, the incidence of overpayment is much greater for homeowners with a mortgage than for those without a mortgage. In Rolling Hills, approximately 44 percent of all homeowners have paid off their mortgages, while 56 percent have a mortgage. For those without mortgages, 20.1 percent pay more than 30 percent of their incomes on housing. For those with mortgages, the figure is 38.6 percent.

Even homeowners without mortgages may still face a cost burden associated with taxes, maintenance, and other home expenses. The ACS reports that 93 percent of Rolling Hills’ homeowners with no mortgage payments still have monthly housing costs exceeding \$1,000 a month. The median monthly cost for homeowners without mortgages in the city is over \$1,500 a month. The comparable figures for Los Angeles County are just 20.3 percent and \$608 a month. The data suggests that Rolling Hills seniors on fixed incomes may be particularly cost-burdened due to limited income, monthly HOA fees, and the high cost of maintaining a home in the city.

For homeowners with mortgages, monthly costs are substantially higher. ACS data shows that 89.9 percent of the city’s homeowners with mortgages spend over \$3,000 a month on housing, with a median well above \$4,000 a month (the maximum reported by the Census). This compares to 34.2 percent in Los Angeles County, with monthly median of \$2,498.

Data on the City’s renter households indicates that a majority are above moderate income households spending more than \$3,000 a month on housing. However, the ACS indicates seven renter households paying \$1,000 to \$1,499 a month, which indicates that at least a few renters in the city occupy guest houses or accessory dwelling units.

3.3 Populations with Special Needs

The California Government Code recognizes that some segments of the population have more difficulty finding decent, affordable housing than others due to their circumstances. Populations with special needs include older adults, persons with disabilities, large families, farmworkers, families with female heads of households, and persons experiencing (or at risk of) homelessness. These groups are more likely than the population at large to spend a disproportionate amount of their incomes on housing. They are also more likely to face discrimination based on their specific needs or circumstances.

3.3.1 Older Adults

The special needs of older households result from limited income, higher rates of physical disability and health care costs, and changing life circumstances which may require assistance from others. This is the single largest special needs group in Rolling Hills, and it is growing rapidly as the population ages. Table 3.11 compares the number of older adults in Rolling Hills with the other cities on the Palos Verdes Peninsula, along with Los Angeles County.

Table 3.11: Older Adults in Rolling Hills and Nearby Jurisdictions

Jurisdiction	Percent of all Residents over 65	Percent of all Residents over 75	Percent of households with at least one member over 65
Rolling Hills	32.9%	18.4%	65.0%
Rolling Hills Estates	25.2%	13.9%	58.5%
Palos Verdes Estates	27.0%	13.3%	61.4%
Rancho Palos Verdes	15.5%	13.6%	56.4%
Los Angeles County	13.3%	5.7%	37.9%
California	14.0%	5.9%	39.1%

Source: American Community Survey, 2021 (for 2015-2019)

The percentage of residents over 65 in Rolling Hills was 22 percent in 2000, 28 percent in 2010, and 33 percent in 2020. Moreover, 56 percent of the households in Rolling Hills include at least one person who is 65 years or older. This is double the rate for Los Angeles County as a whole. The percentage of Rolling Hills residents over 85 has doubled in the last 20 years, with this cohort representing 4.7 percent of the population in 2020.

The percentage of older residents is likely to continue increasing in the next decade. Nearly one in five Rolling Hills residents is in the 55-64 age cohort (compared to one in nine countywide), and most of this cohort will reach retirement age during the timeframe of this Housing Element. Some of these residents, as well as those already over 65, may seek to “downsize” or adapt their homes to meet changing mobility needs and financial resources.

Older adults in Rolling Hills are more likely to live alone, have one or more disabilities, and be cost-burdened by housing than the population at large. Census data indicates that there are 68 households, representing roughly 10 percent of all households in Rolling Hills, comprised of a person over 65 living alone. About 70 percent are female-headed households and 30 percent are male-headed. There may be opportunities among these households for home sharing and accessory dwelling unit (ADU) development. This can provide financial benefits, social benefits, and an added sense of security, as well as housing opportunities for low- and moderate-income workers or other retirees in the community.

At the same time, the City should anticipate an increase in homeowners seeking to adapt their homes to facilitate aging in place. This would include addition of ramps, handrails, kitchen and bath retrofits, and interior changes that improve access for wheelchairs and walkers. The Rolling Hills housing stock is well suited for these improvements, as it is limited to single story construction. Demand for on-site caregiver quarters, and living space for other domestic employees, will likely increase. At the same time, the substantial cost and demand associated with maintaining a large home and property may compel some residents to seek living arrangements that are not currently available in Rolling Hills, such as condominiums and townhomes. Some of these residents will relocate out of Rolling Hills due to diminished mobility (capacity to drive) or the need for more higher levels of care.

Because of resource limitations and the city’s small size, the City of Rolling Hills does not provide direct services to seniors. It works with other agencies, non-profits, and the private sector to address the housing needs of local seniors, and to connect residents with service providers. This includes maintaining a comprehensive list of facilities and service providers at City Hall, and a dedicated page on the City’s website listing available services for seniors. Rolling Hills has partnered with other Peninsula cities and local non-profits to produce a Senior Resources Guide for the Palos Verdes Peninsula.

Nearby local services include:

- Palos Verdes Peninsula Village, located in Rolling Hills Estates, provides social and educational activities, transportation, and advocacy for seniors in the vicinity. They provide trained volunteers to assist with routine home maintenance activities, computer troubleshooting and set-up, and other day to day activities.

- PV Peninsula Transit Authority Dial-A-Ride, which provides services for persons 62 or older on the Peninsula, and free taxis for medical appointments in the South Bay area.
- Peninsula Seniors, a non-profit 501(c)(3) that has served the four cities on the Palos Verdes Peninsula (including Rolling Hills) since 1982. They primarily provide social activities, health and wellness programs, special events, and educational programs.
- Volunteer block captains within Rolling Hills, providing wellness checks for seniors as well as emergency preparedness and response.
- Homeshare South Bay matches seniors and others in the community with local housing opportunities. Homeshare South Bay is a project of the South Bay Cities Council of Governments, which includes Rolling Hills.
- HELP (Health Care and Elder Law Programs) is a Torrance-based organization that provides counseling to area seniors on elder care, finance, law, and consumer protection. The organization is dedicated to empowering older adults and their families.
- Palos Verdes Peninsula Library District and the Peninsula Center Library (in Rolling Hills Estates) provides programs and resources for seniors.
- There are senior centers in the nearby communities of Torrance, Carson, Wilmington, Harbor City, San Pedro, Manhattan Beach, Redondo Beach, Hawthorne, and El Segundo.

In addition, the Rolling Hills Community Association (RHCA) created a “Needs of Seniors” Committee in 2014 to address the needs of aging Rolling Hills residents. The Committee collects information and makes recommendations to the RHCA Board. Their recent efforts have focused on transportation, health and wellness, home improvement and maintenance, and social events.

3.3.2 Persons with Disabilities

The number of disabled residents is increasing nationwide due to increased longevity and the aging of the population. Physical and mental disabilities can hinder access to housing as well as the income needed to pay for housing. Those with disabilities often have special housing needs related to their limited earning capacity, higher health care costs, mobility or self-care limitations, or need for supportive services.

The Census recognizes six disability types in its data tabulation: hearing, vision, cognitive, ambulatory, self-care, and independent living. These categories are not mutually exclusive and disabled residents may have more than one of these conditions. Current ACS data (2015-2019) for Rolling Hills indicates that 10.6 percent of the City’s population has one or more disabilities. This compares to 8.1 percent in the 2000 Census, with the increase attributable to the greater number of older adults. Rolling Hills has a slightly higher percentage of disabled residents than the county as a whole, with the ACS reporting that 9.9 percent of Los Angeles County’s residents were disabled in 2020.

The city's older residents are more likely to be disabled than its younger residents. ACS data shows 23 percent of all residents over 65 have one or more disabilities, whereas only 5.5 percent of those aged 18-64 have one or more disabilities and only 1.4 percent of those under 18 have disabilities. The "over 75" population has the greatest incidence of disability, with 33.8 percent affected.

Table 3.12 shows the incidence of disabilities among persons in different age groups in Rolling Hills. The most common disabilities are ambulatory (movement), with older adults most impacted. There were 103 residents reporting an ambulatory difficulty, 66 of whom were over 75. There were 56 residents reporting a hearing difficulty, 46 of whom were over 75. Cognitive difficulties were more likely to affect the younger population (particularly 18-34). This was the only category where rates among older adults were lower than among younger age cohorts.

Table 3.12: Percent of Rolling Hills' Residents with a Disability

Disability Type	Under 18	18-64	Over 65	Total
Hearing Difficulty	0	1.0%	10.0%	3.7%
Vision Difficulty	0	1.0%	2.6%	1.3%
Cognitive Difficulty	1.5%	2.3%	2.0%	2.1%
Ambulatory Difficulty	0	2.9%	16.5%	6.9%
Self-care Difficulty	0	0.5%	6.0%	2.3%
Independent Living Difficulty	N/A	2.3%	8.8%	5.0%

Source: American Community Survey, 2021 (for 2015-2019)

There were 61 residents, including 34 residents over 75 and another 11 aged 65-74, who indicated an independent living difficulty. This represents roughly 5 percent of the City's population and is comparable to the countywide average of 5.4 percent. These residents may require daily assistance from caregivers or family members.

There is an ongoing need to adapt housing to meet the needs of those with disabilities, and to design new homes so they are accessible for all people. This may require widened doorways and hallways, access ramps, larger bathrooms, lowered countertops, grab bars, walk-in baths and showers, and other design changes. It is important that planning and building codes support such changes, and accommodate the needs of those who are disabled or become disabled while living in the homes they currently occupy. Barrier free design is particularly important in any multi-family housing that may be constructed in the future.

In 2020, the City of Rolling Hills amended its municipal code to provide "reasonable accommodation" for persons with disabilities. This complies with state and federal laws and enables those with disabilities to request modifications from standard practices or codes to meet their housing needs.

3.3.3 Persons with Developmental Disabilities

SB 812 requires that each jurisdiction's housing element include an analysis of housing needs for persons with developmental disabilities. This is defined by federal law as a "severe, chronic disability" that:

- Is attributable to a mental or physical impairment or combination of mental and physical impairments
- Is manifested before the individual attains age 18
- Is likely to continue indefinitely
- Results in substantial functional limitations in three or more of the following areas of major life activity:
 - Self-care
 - Receptive and expressive language
 - Learning
 - Mobility
 - Self-direction
 - Capacity of independent living
 - Economic self-sufficiency
- Reflects the need for a combination and sequence of special, interdisciplinary, or generic services, individualized support, or other forms of assistance that are of lifelong or extended duration and are individually planned and coordinated.

Examples of developmental disabilities include cerebral palsy, epilepsy, and autism. Many developmentally disabled persons can live and work independently. More severely disabled individuals may require a group living environment with training and supportive services. The most severely disabled individuals may require an institutional environment where medical services and physical therapy are provided. Because developmental disabilities exist in childhood, the transition from living with one's family to living independently is an important consideration in meeting local housing needs.

Data on the number of persons with developmental disabilities is maintained by the California Department of Developmental Services (DDS). DDS coordinates the efforts of a network of 21 non-profit regional centers around the state and provides funding for a variety of programs and services. Rolling Hills is served by the Harbor Regional Center, which is located in Torrance. The Harbor Center serves over 15,000 people with developmental disabilities, with a service area that includes Long Beach, the South Bay, the Palos Verdes Peninsula, and other parts of southern Los Angeles County. About half are children and half are adults.

Data from the DDS is provided by ZIP code. Rolling Hills city represents 7.4 percent of the 25,061 residents in ZIP code 90274. The last available report posted by DDS on their website (June 2017) indicates 154 clients served in 90274, including 65 under age 18 and 89 over age 18. If Rolling Hills' share of the total is pro-rated, this would be equivalent to 12 clients, including five children and seven adults. ZIP code data is also disaggregated by the type of housing occupied by clients. The data indicates that 149 clients in ZIP Code 900274 live with their families or guardians and "fewer than 11" clients live in supported living, care facility, or foster home environments. Overall, about 87 percent of the Harbor Center's clients live with their families.

The Harbor Regional Center is an important resource for those with developmental disabilities, and their families. It provides health assessments, advocacy, family support and training, individual case management and support, early intervention and prevention services, and assistance in finding stable and secure independent living arrangements. Additional resources in the area include the Disability Community Resource Center in Torrance and Southern California Resources Services for Independent Living.

3.3.4 Female-Headed Households with Children

Single-parent households require special consideration and assistance because of their greater needs for day care, health care, and other facilities. In particular, female-headed households with children tend to have lower incomes, thus limiting housing affordability for this group. In most communities, female-headed households are considered to be at greater risk of displacement, poverty, and housing overpayment.

The 2019 ACS indicates that there were five single parent female households with children in Rolling Hills, representing less than one percent of the City's households. The comparable figure for Los Angeles County was 5.1 percent, as the composition of households is substantially more diverse at the countywide level.

ACS data for the small number of female-headed households with children in Rolling Hills may not be entirely reliable due to the small sample size. Nonetheless, the data indicate that these households were above the poverty level, and did not receive supplemental security income, SNAP/food stamps, or other public assistance income in the past 12 months.

Because the very small number of female-headed households in Rolling Hills, as well as their income characteristics, they are not expected to have special housing needs that require City programs.

3.3.5 Large Households

Large households are defined as those with five or more members. Such households are identified in State housing law as a group with special housing needs based on the limited availability of adequately sized, affordable housing units. In instances where large households have lower incomes, they may be more likely to live in overcrowded dwelling units or in units that are substandard. The problem is more acute for large households who are renters, who may face the added risk of eviction or displacement.

Table 3.13 shows data on household size in Rolling Hills. The data is broken down for family and non-family households. About 12.3 percent of all households in Rolling Hills have five or more members, including 2.6 percent with seven or more members. All of these households are families. Countywide, 14.3 percent of all households have five or more members and 2.8 percent have seven or more members.

The average number of rooms per unit in a Rolling Hills home is 8.3, compared to 4.6 for Los Angeles County. ACS data indicates the median annual income for large households in Rolling Hills exceeds \$250,000. Given the large home sizes in Rolling Hills, the low incidence of overcrowding, and the relatively small percentage of large households, this is not a priority special needs group within the city. Larger households will continue to be housed in the city's larger single family homes.

Table 3.13: Number of Persons in Family and Non-Family Households

Household Size	Family	Percentage	Non-Family	Percentage	Total	Percentage
1	N/A	N/A	94	87.0%	94	16.3%
2	287	61.2%	14	13.0%	301	52.2%
3	59	12.6%	0	0	59	10.2%
4	52	11.1%	0	0	52	9.0%
5	51	10.9%	0	0	51	8.8%
6	8	1.7%	0	0	8	1.4%
7 or more	12	2.6%	0	0	12	2.1%
Total	469	100.0%	108	100.0%	577	100.0%

Source: American Community Survey, 2021 (for 2015-2019)

3.3.6 Residents Living in Poverty or With Extremely Low Incomes

Census data indicates that 1.7 percent of Rolling Hills' population—or about 25 residents—are below the federal poverty line. This compares to 14.9 percent for the county as a whole.

According to the 2015-2019 ACS, Rolling Hills residents living below the poverty include 14 people aged 18-59 and 11 people over 60. There are no children under 18 below the poverty line in the city. The data further indicates that the 25 residents include 12 white non-Hispanic persons, four Asian persons, and nine Latino persons.⁶

Census data indicates that only five of the residents below the poverty line are in the labor force, suggesting that some of those tallied by the Census have other sources of income not reported here. Census data indicates that a majority of the adults below the poverty level in Rolling Hills are 18-34 year olds—this likely represents adult children not in the labor force who are living at home. This is further supported by the even lower poverty rate for family households in Rolling Hills—reported at 0.4 percent by the ACS, which is equivalent to three households.

Although Rolling Hills has a very small number of households in poverty, and some of its extremely low income residents have supplemental sources of income, the city is located in a region with significant very low income housing needs. In February 2021, the City amended its zoning regulations to create an Affordable Housing Overlay District. Affordable housing and emergency shelter are both permitted by right in this district, subject to specific development standards. Single room occupancy hotels also are permitted. The City also permits home sharing, room rentals, and accessory dwelling units, all of which are beneficial to meeting housing needs.

3.3.7 Farmworkers

The special housing needs of farmworkers are a result of low wages and the seasonal nature of agricultural employment. Migrant farmworkers face particular challenges, including severe overcrowding. Farmworker needs are difficult to quantify due to fear of job loss, language barriers, and the documentation status of the farmworker labor force.

The 2015-2019 ACS data indicates that there are no Rolling Hills residents employed in “Farming, Fishing, and Forestry” occupations. This data further indicates that there are no residents in the city employed in the “Agriculture, Forestry, Fishing, Hunting, and Mining” sector. There are also no farmworker jobs in the city, as there is no agricultural land. As a result, the City does not have active programs or policies to address farmworker housing needs.

⁶ As noted earlier, the ACS is based on a sample of the population (roughly 15% for the five-year period). In a small city such as Rolling Hills, the margin of error is high, particularly for the breakdown of poverty status by age, race and ethnicity.

3.3.8 Homelessness

Homelessness has become an increasing crisis throughout California and the entire United States. In Southern California, factors contributing to the rise in homelessness include the lack of housing affordable to low- and very low-income persons, loss of employment and benefits—particularly for low wage workers, health care costs and related personal disabilities, reductions in public subsidies, increasing rates of addiction and substance abuse, and a lack of mental health services.

State law requires that cities address the special needs of unhoused residents within their jurisdictional boundaries. For this purpose, homelessness is defined as including individuals who lack a fixed, regular and adequate nighttime residence, as well as individuals living in shelters and in places not designed for sleeping. The definition does not include those living in substandard or overcrowded housing or persons who are temporarily staying with family and friends. Such individuals are considered to be “at risk” of homelessness.

A “point in time” count of homeless residents in Greater Los Angeles is conducted annually by the Los Angeles Homeless Services Authority (LAHSA). In January 2020, the count identified 54,291 persons experiencing homelessness in Los Angeles County. This is an increase of about 10 percent from 2019, when the count was 49,521. It is an increase of 37 percent from 2016, when the count was 39,587. The 2020 figures precede the onset of the COVID-19 pandemic and its impacts on homelessness.

Data provided by the LAHSA indicates the 2020 count for the city of Rolling Hills was zero. The count for all prior years in the survey (2016-2019) also counted no unsheltered residents in the city. The nature of homelessness and the method of data reporting make it difficult to evaluate the full extent of the challenge of adequately housing the entire population. While there are no unsheltered residents in Rolling Hills, there may be residents who are temporarily staying with friends or relatives because they lack the resources or have underlying conditions which make it difficult to find permanent housing.

There are no emergency shelters in Rolling Hills. The closest facilities are in San Pedro and Wilmington and are less than five miles away. Harbor Rose Lodge (San Pedro) provides homeless support services for individuals and families in Los Angeles County, with no geographic restrictions. It assists with temporary housing and provides support services and referrals. Harbor Interfaith (San Pedro) provides a 90-day emergency shelter and an 18-month transitional housing program. Also in San Pedro, Shawl House and House of Hope provide shelter, transitional housing, counseling specifically for women. The Doors of Hope Shelter in Wilmington also serves single women. The Beacon Light Mission in Wilmington provides a 10-bed men’s shelter, as well as food, clothing, and supportive services to men, women, and children.

In February 2021, the City of Rolling Hills amended its zoning regulations to allow emergency shelter “by right” in an Affordable Housing Overlay Zone which applies to the Rancho Del Mar School site. The 30-acre site includes multiple areas of underutilized land that provide opportunities for emergency shelter or supportive service facilities.

The City is committed to coordinating with supportive service providers and meeting the needs of local unhoused residents. A list of nearby social service agencies and shelters is maintained by the City Clerk.

3.4 Housing Stock Characteristics

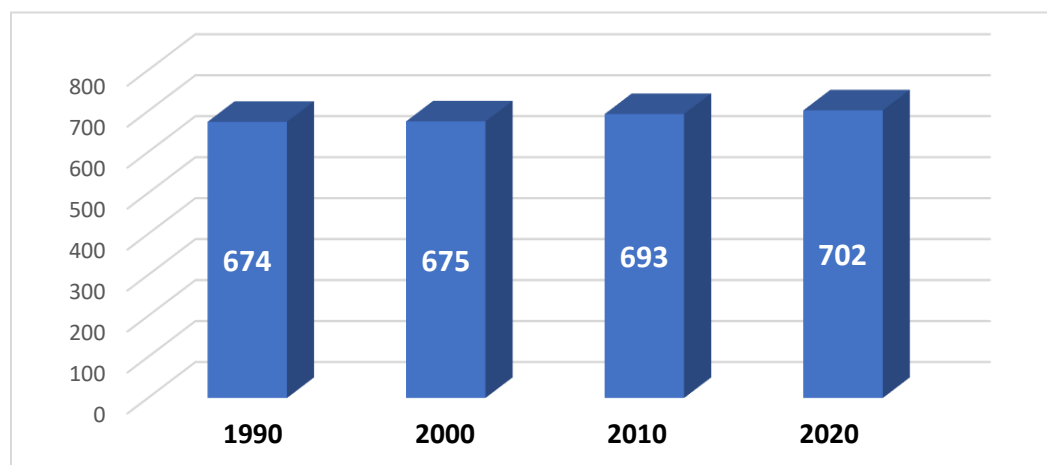
Government Code Section 65583(a) requires the Housing Element to describe the characteristics of the local housing stock, including structural condition. This section of the Element provides an overview of Rolling Hills' housing stock, including the age of structures, the types of structures, the number of bedrooms, and vacancy characteristics. It also includes information on home values and rents.

3.4.1 Housing Unit Count

Rolling Hills has been built out for the last 40 years. The supply of buildable land is constrained by very high wildfire risks, active landslides, and the presence of biologically sensitive species. The US Census reported 674 housing units in the city in 1990, 675 units in 2000, and 693 units in 2010 (see Chart 3.5). The California Department of Finance estimated 719 units in the city as of 2021. However, the August 12, 2021 data release from the 2020 Census indicates the total unit count is 702, which is more consistent with City records. The number of net new housing units has increased at a rate of just one to two units a year for the last 20 years.

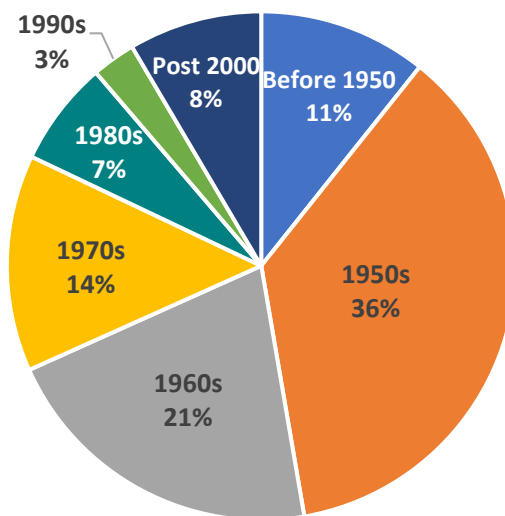
While the increase in units has been nominal, additional residential development has been occurring through the replacement and expansion of existing single family homes. Much of Rolling Hills was developed in the 1950s and was typified by 2,000 to 4,000 square-foot ranch style homes. As in many desirable older communities, the original housing stock is gradually being replaced with much larger units. These units average 6,000 to 9,000 square feet in size, according to City building permit records. This trend of residential recycling can be expected to continue and potentially increase as less vacant land is available for development.

Chart 3.5: Total Number of Housing Units in Rolling Hills, 1990-2020



Source: Census 1990, 2000, 2010, 2020

Chart 3.6: Year of Construction for Rolling Hills Homes



Source: American Community Survey 2021

3.4.2 Age of Housing Stock

Chart 3.6 shows the age of the housing stock in Rolling Hills. About half of the housing stock in the community is more than 60 years old. About 35 percent was built in the 1960s and 70s and the remainder has been built in the last 40 years. About 8 percent of the city's housing stock is less than 20 years old—however, most of these homes are “replacements” and were built in previously developed lots.

The older housing stock in the city is in excellent condition. Census data indicates there are no units in the city without plumbing or kitchen facilities. The City strongly encourages reinvestment in the existing housing stock, and homeowners take pride in their homes and properties. Common repairs include new roofs, new siding, plaster and stucco repair, upgraded electrical systems, and plumbing improvements. Home additions, kitchen and bathroom upgrades, and solar energy installations are also common.

No significant code enforcement or housing problems have been observed in the city. The city has a Code Enforcement Officer who makes complaint-based site visits. In the event a violation is identified, the City works with the property owner to resolve the issue.

3.4.3 Housing Type

Rolling Hills is comprised entirely of single family homes. The 2021 ACS indicates there are no multi-family units in the city. ACS data further indicates seven units that are “single family attached” which presumably are accessory dwelling units (ADUs) or other separate living quarters that are ancillary to a primary residence.

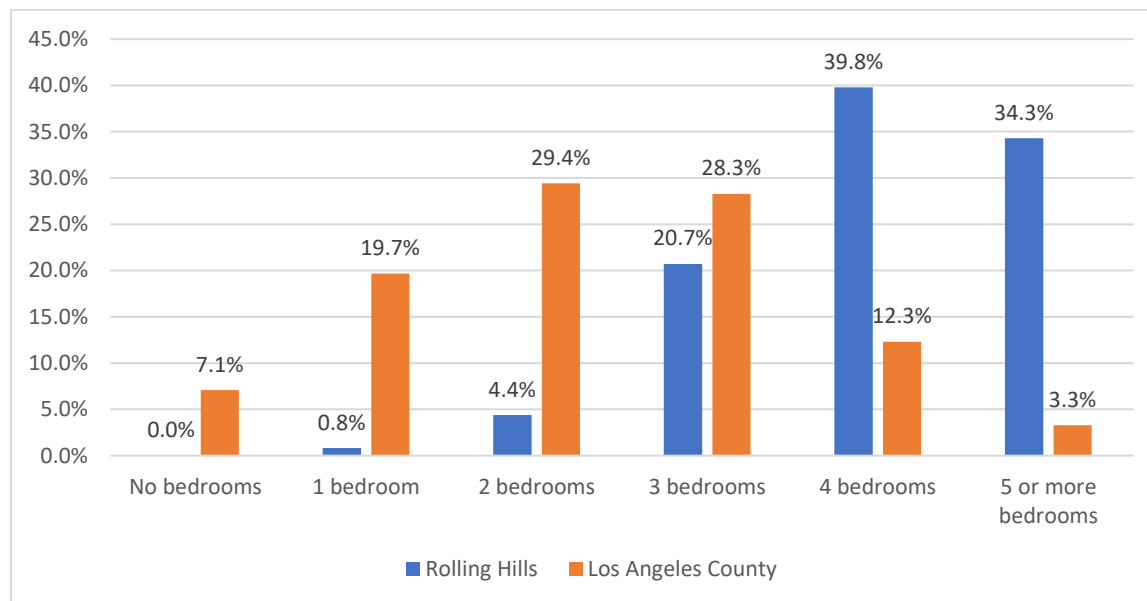
Census data does not typically classify “guest houses” as dwelling units unless they have been legally permitted as separate residences. Rolling Hills classifies guest houses differently than ADUs; the latter are permitted by right to be independent dwellings provided they meet certain adopted zoning standards. By contrast, occupancy of guest houses is limited to persons employed on the premises, the family of the occupants of the main residence, or the temporary guests of the occupants of the main residence. Guest houses may not be used as rental housing, but an owner may apply for a permit to convert a guest house to an ADU, which can then be rented.

3.4.4 House Size

Homes in Rolling Hills are large. Chart 3.7 below shows the distribution by number of bedrooms. About 74 percent of the homes in the city have four or more bedrooms. Another 21 percent have three bedrooms and only five percent have two bedrooms or fewer. By contrast, among homes in Los Angeles County as a whole, 16 percent of all housing units have four or more bedrooms and 56 percent have two bedrooms or fewer.

Data for total house size shows a similar difference between Rolling Hills and the County as a whole. Countywide, the median number of rooms per home is 4.5. In Rolling Hills, it is 8.3. Only 4.7 percent of the homes in Los Angeles County have nine or more rooms. In Rolling Hills, 46 percent of the homes have nine or more rooms.

Chart 3.7: Percent of Housing Units by Number of Bedrooms, Rolling Hills and Los Angeles County



Source: American Community Survey 2021 (for 2015-2019)

3.4.5 Vacancy Characteristics

The August 12, 2021 data release from the US Census indicates that 63 of the city's 702 homes were vacant at the time of the 2020 Census. This is a nine percent vacancy rate. By contrast, 2020 Census data indicates that the vacancy rate for the Palos Verdes Peninsula as a whole was about five percent. Countywide, ACS data indicates that six percent of the housing stock in Los Angeles County is vacant.

ACS data provides an indication of the characteristics of vacant units in Rolling Hills. The ACS reports that 30 percent of the vacant units in the city were for sale, 26 percent were used seasonally (and were not occupied at the time of the census), and five percent were for rent. The remainder were classified as "other." ACS data further indicates that the vacancy rate among for-rent units was three times higher than the vacancy rate among for-sale units, although the sample size is very small.

In 2010, the Census reported that 5 percent of the homes in the city were vacant, indicating a significant increase between 2010 and 2020. The higher vacancy may be a result of changes in the housing market, including significantly higher home prices, and an increase in the number of homes that are used seasonally. The city's housing market serves a unique market niche.

3.4.6 Home Values and Prices

A variety of sources were used to analyze housing market prices and trends in Rolling Hills, including on-line real estate data vendors, current real estate listings, and the US Census.

According to on-line real estate service Zillow.com, the median value of a home in Rolling Hills is \$3,733,468. Rolling Hills home values have gone up 19.7% over the past year. Chart 3.8 compares the local median home value with values in the three other Palos Verdes Peninsula cities and with Los Angeles County as a whole. Homes in Rolling Hills are valued at 50 percent higher than those in Palos Verdes Estates (\$2.45 M), 126 percent higher than those in Rancho Palos Verdes (\$1.65M), and over four times higher than the countywide median (\$790,000).

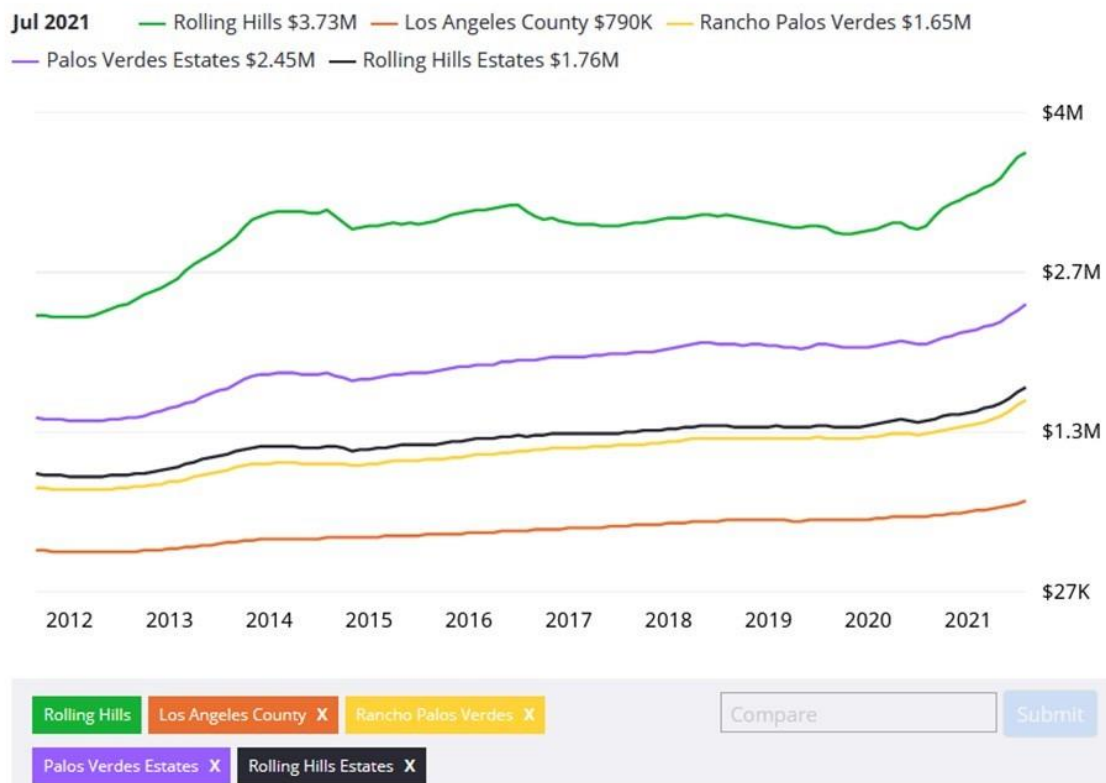
The ACS 2021 data indicates that 95 percent of all homes in Rolling Hills have a value of over \$1,000,000. The Census-reported median is over \$2 million, which is the highest interval on the Census scale. The ACS shows the median in Los Angeles County at \$583,200. This is substantially lower than the Zillow data, which is only based on homes recently sold.

The website realtor.com indicates that the average time on the market for a home in Rolling Hills in July 2021 was 120 days. However, the sample size is small, and similar data for earlier in the year indicates a median sale time of 45 days (December 2020 and January 2021). Realtor.com indicates that homes in the city sold for 4.98 percent below asking price in July 2021. This figure is highly variable depending on market listings at any given time.

In July 2021, there were 14 homes for sale in Rolling Hills (including properties with pending offers). These ranged in size from a 1,467 square foot home to a 13,000 square foot home. Prices ranged from \$2,499,000 to \$15,975,000. The median price was \$5.02 million and the mean was \$6.15 million. Cost per square foot (of living space) ranged from \$710 to \$2,239, with a median of \$1,030. This is substantially higher than the average for surrounding cities on the Palos Verdes Peninsula and in Los Angeles County. The higher priced homes were typically new construction, while the two lowest priced homes were built in 1954 and 1957.

Data on rentals in the city is more difficult to characterize because the number of available properties is so small. In July 2021, there was only one home being advertised for rent in the city. The asking monthly rent was \$16,000. The property has five bedrooms, seven bathrooms, and is 5,035 square feet. Zillow also reported a 2-bedroom, 1-bath detached 1,000 square foot accessory dwelling unit for rent for \$3,950. In addition, two ADUs were being advertised on Craigslist (listed as Rolling Hills but likely in Rolling Hills Estates or Rancho Palos Verdes). One was a 500 square foot studio for \$1,250 and the other was a 400 square foot guest house for \$1,800. The Census indicates that seven of the renter households in the City pay less than \$1,500 a month in rent, and the remainder pay more than \$3,000 a month. Based on this data, it is reasonable to assume that about half of the city's ADUs/JADUs will serve low and very low income households while the remainder will serve moderate income households.

Chart 3.8: Home Prices in Rolling Hills, Peninsula Cities, and Los Angeles County, 2012-2021



Source: Zillow.com, 2021

Table 3.14: Homes for Sale in Rolling Hills, July 2021

Asking Price	Square Footage	Cost per Square Foot	Year Constructed
\$15,975,000	7,136	\$ 2,239	2016
\$11,100,000	13,000	\$ 854	2007
\$8,765,000	5,100	\$ 1,719	1951
\$7,750,000	4,000	\$ 1,938	1968
\$7,499,000	8,000	\$ 937	2002
\$5,800,000	4,453	\$ 1,302	1986
\$5,795,000	5,884	\$ 985	1956
\$4,250,000	4,101	\$ 1,036	1941
\$4,200,000	3,527	\$ 1,191	1940
\$3,950,000	5,560	\$ 710	1989
\$3,495,000	3,414	\$ 1,024	1947
\$2,630,000	3,444	\$ 764	1974
\$2,500,000	1,467	\$ 1,704	1957
\$2,499,000	1,752	\$ 1,426	1954
MEAN: \$6,150,000		\$1,273	
MEDIAN: \$5,020,000		\$1,030	

Source: Realtor.com, Trulia, Zillow, 2021

Table 3.14 indicates the cost per square foot of those homes currently for sale in Rolling Hills, along with the asking price, square footage and year of construction. The median cost per square foot is \$1,030, which is substantially higher than the statewide median of \$438 per square foot.

3.4.7 Units at Risk of Conversion from Affordable to Market Rate

State law requires the City to identify, analyze and propose programs to preserve any deed-restricted lower-income housing that could be lost as these deed restrictions expire. However, there are presently no low-income or income-restricted units in Rolling Hills. As a result, there is no housing at risk of losing its subsidized status.

3.5 Future Housing Needs

3.5.1 2021-2029 Regional Housing Needs Allocation (RHNA)

The eight-year housing need for the six-county Southern California region is calculated by the California Department of Housing and Community Development (HCD). This need was determined to be 1,341,827 units for the 2021-2029 Sixth Cycle planning period. The total regional need represents a 225 percent increase over the need calculated for the 2013-2021 Fifth Cycle.

The total regional need is disaggregated to the six counties and 191 cities in the region by the Southern California Association of Governments (SCAG) through a process known as the Regional Housing Needs Allocation (RHNA). About 60 percent of the regional need was assigned to Los Angeles County, which had 53 percent of the region's population in 2020. Concentrating the RHNA in Los Angeles County is a response to the greater availability of transit, urban services, and housing need within the core of the region. If the 1.3 million unit need was fully constructed, it would represent a 20 percent increase in the region's housing unit count.

The City of Rolling Hills was allocated 45 units of the countywide total, or about .006 percent. Allocations for nearby cities on the Palos Verdes Peninsula were 191 for Rolling Hills Estates, 199 for Palos Verdes Estates, and 639 for Rancho Palos Verdes. As shown in Table 3.15, these allocations are significantly higher than they were in the Fifth Cycle, particularly when compared to the county and region. This represents a shift in the methodology used to allocate units, with less consideration given to growth potential as defined by local governments and more consideration given to population, proximity to job centers, and equity factors,. Despite the large increases compared to the last cycle, the RHNA targets for the four Peninsula cities combined represent one-tenth of one percent of the countywide allocation. The RHNA for each of the four cities is equal to between four and six percent of each city's existing housing stock, compared to 20 percent for the region.

Table 3.15: RHNA by City and Comparison to Fifth Cycle

Jurisdiction	5th Cycle RHNA	6th Cycle RHNA	Percent Increase, 5th to 6th Cycle	Existing (2021) Housing Units	6th cycle RHNA as percentage of existing inventory
Rolling Hills	6(*)	45	650%	702	6%
Rolling Hills Estates	5	191	3720%	3,157	6%
Palos Verdes Estates	16	199	1144%	5,303	4%
Rancho Palos Verdes	31	639	1961%	16,340	4%
Los Angeles County	179,881	812,060	351%	3,614,809	22%
SCAG Region	412,137	1,341,827	226%	6,679,283	20%

Source: SCAG 2012 and 2021, plus DOF Table E-5 and US Census 2020

(*) In addition to planning for its 5th Cycle allocation, the 2015-2023 Rolling Hills Housing Element includes the 4th Cycle allocation of 22 units, which was carried over. The 45- unit assignment is a 60 percent increase over the prior 28 unit two-cycle total.

The 6th Cycle allocation by income group is shown in Table 3.16. In Rolling Hills, about 64 percent of the RHNA is for low and very low income households. The figure is comparable to the other cities on the Palos Verdes Peninsula (ranging from 62 to 65 percent). In Los Angeles County, only 42 percent of the assigned need is for low and very low income households, and regionally, it is 41 percent. The greater allocation of lower income housing to the Peninsula cities reflects the statewide and regional focus on encouraging fair housing and discouraging economic segregation.

Table 3.16: Comparison of 6th Cycle RHNA by Income Category

Jurisdiction	Very Low % of total	Low % of total	Moderate % of total	Above Moderate % of total
Rolling Hills	44%	20%	24%	11%
Rolling Hills Estates	43%	22%	20%	15%
Palos Verdes Estates	41%	22%	24%	13%
Rancho Palos Verdes	40%	22%	20%	19%
Los Angeles County	27%	15%	16%	42%
SCAG Region	26%	15%	17%	42%

Source: SCAG, 2020

3.5.2 Growth Forecasts

As the regional planning agency for the Los Angeles region, SCAG is responsible for preparing jurisdiction-level forecasts for each city and county in the region. The latest forecasts were adopted in September 2020 and describe conditions in a base year (2016) and forecast year (2045). The six-county region as a whole is expected to grow from 6.012 million households (2016) to 7.633 million households (2045), an increase of over 1.3 million households in the 29-year period. Average household size is projected to decline from 3.1 to 2.9 during this period.

SCAG forecasts indicate that Rolling Hills growth will be flat during through 2045. The latest published forecasts (Connect SoCal Demographics and Growth Forecast, September 2020) show 700 households in 2016 and 700 households in 2045. However, the numbers are rounded to the nearest hundred and it is likely that some marginal change will occur. Population over the equivalent period is shown as increasing from 1,900 to 2,000, a growth rate of about 5 percent over 29 years. As noted on page 3.1, the 2020 Census indicates the City lost over 100 residents between 2010 and 2020, so the SCAG forecasts will need to be adjusted in the future. An increase of 100 residents would bring the City closer to its 2010 total of 1,860 residents.

3.5.3 Locally Identified Needs

While Rolling Hills is obligated by the Government Code to identify capacity for 29 low and very low income units and to develop programs to meet this need, the City also has an opportunity to tailor its housing programs to meet local needs. Based on the Assessment in this chapter, some of the key findings regarding local needs are:

- The City has a large and growing population of seniors. Some of these residents are on fixed or limited incomes and face relative high housing costs, including home maintenance, property taxes, HOA dues, utilities, etc. These residents could benefit from more senior housing options, ranging from fully independent to assisted living.
- Although there are very few people who list Rolling Hills as their permanent place of employment, the City supports a relatively large population of service workers, including caregivers, domestic employees, child care workers and au pairs, landscapers and gardeners, and others in construction and home maintenance. In addition, there are public sector workers, firefighters, and teachers/counselors (at Rancho Del Mar) employed within the city, with incomes that are far below what would be required to buy a home in Rolling Hills. A limited number of affordable rental units serving these workers could reduce commute lengths and vehicle miles traveled.
- Adult children of Rolling Hills residents (particularly those in the 18-30 age range) have limited housing options in the city, other than remaining at home. ADUs could provide additional options.
- The City's housing stock is well suited to ADUs and home sharing. More than two-thirds of the non-vacant housing units in the city have only one or two occupants, despite homes that are substantially larger than the regional average. There are also 300 fewer residents in Rolling Hills today than there were 50 years ago, despite larger homes and more square feet of living space. Additional residents would have a lower impact on infrastructure, services, and the environment if accommodated in the footprint of existing homes as opposed to new construction.
- Creating an ADU or deciding to share one's home is a personal choice and is entirely at the discretion of the homeowner. However, the City can create incentives that make it easier and more affordable for homeowners to consider this option.



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 12.A

Mtg. Date: 10/19/2021

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: MEREDITH ELGUIRA, PLANNING DIRECTOR

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: OVERVIEW OF UPCOMING AGENDA ITEMS BEFORE THE PLANNING COMMISSION.

DATE: October 19, 2021

BACKGROUND:

Future Proposed Changes to the Rolling Hills Municipal Code:

1. Decrease Planning Commission's decision's appeal period from 30 days down to 10 days.
2. Amend Code to limit maximum buildable size of all Accessory Dwelling Unit to:
 - One bedroom or studio = 850 square feet maximum
 - Maximum two bedrooms = 1,000 square feet maximum
3. Review proposed Conditions of Approval to increase stormwater runoff retention on site.

DISCUSSION:

Today's Code allows up to 30 days for appellants to appeal the Planning Commission's decision to the City Council. The 30-day waiting period puts undue burden on the applicants to wait up to the thirtieth day to find out if a project will be appealed to the City Council. Most cities require a 10-day appeal period. The shorter period still allows ample time for appellants to decide if they will file an appeal or not, while at the same not putting undue burden on the applicants to have their project on hold for 30 days. The development projects in the City consist of simple residential projects that do not require extensive assessment to determine if the Planning Commission's decision will be appealed to the City Council. The proposed change to the Code is shown below and will be brought to the Planning Commission for consideration and approval later this year.

Chapter 17.54 - APPEALS OF A DECISION OF THE PLANNING COMMISSION

17.54.010 - Time for filing appeals.

B. All appeals must be filed on or before the thirtieth **tenth** calendar day after adoption of the Planning Commission's resolution on the project or application. Application fees shall be paid as required by [Section 17.30.030](#).

To prevent conversion of accessory structures that exceed 1,000 square feet in size to accessory

dwelling units, staff is proposing the following changes to the ADU Code. This is consistent with the intent of the State to allow up to 1,000 square feet of ADU per residential site.

Chapter 17.28 - ACCESSORY DWELLING UNITS AND JUNIOR ACCESSORY DWELLING UNITS

17.28.040 - Approvals.

The following approvals apply to ADUs and JADUs under this section:

A . Building-permit Only. If an ADU or JADU complies with each of the general requirements in [Section 17.28.050](#) below, it is allowed with only a building permit in the following scenarios:

1. Converted on Single-family Lot: Only one ADU or JADU on a lot with a proposed or existing single-family dwelling on it, where the ADU or JADU:

(a) Is either: within the space of a proposed single-family dwelling; within the existing space of an existing single-family dwelling; or within the existing space of an accessory structure, **not to exceed 850 square feet for studio or one bedroom and not to exceed 1,000 square feet for two bedrooms**, plus up to one hundred fifty additional square feet if the expansion is limited to accommodating ingress and egress. **No more than two bedrooms are allowed.**

The above proposed amendment to the ADU code will be presented to the Planning Commission later this year.

At the Joint City Council and Planning Commission Study Session, staff was directed to come up with potential Conditions of Approval to apply to projects to help with stormwater runoff retention onsite. The following conditions provide permanent, impactful solutions and yet do not require complex calculations or engineering studies, but can provide metrics based on impervious area addressed for annual reporting:

- At least 50% of pavement on lot shall be porous/permeable surfaces
- Diversion of Runoff from Impervious Surfaces to Permeable Surfaces (hillside homes \geq 25% slope must implement)
 - Show on plans that impervious surfaces, e.g., driveway, roof, and patios, drain toward permeable paving or landscaped areas.
 - A minimum of 90% of the impervious area shall be routed toward permeable and/or vegetated areas.
- Runoff from roofs collected via rain gutters and downspouts and directed to one or more rain gardens. Rain garden sizing as per guidelines in South Bay Homeowner's Guide to Rainwater Harvesting and plant selection per Rolling Hills Municipal Code Chapter 13.18 Water Efficient Landscape ordinance.

These are proposed conditions for Planning Commission consideration. Staff is continuing their effort to come up with viable conditions for consideration and will be bringing these conditions to Planning Commission later this year.

FISCAL IMPACT:

None.

RECOMMENDATION:

Receive and file.

ATTACHMENTS:



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 12.B

Mtg. Date: 10/19/2021

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: MEREDITH ELGUIRA, PLANNING DIRECTOR

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: PLANNING COMMISSION RECRUITMENT AND APPOINTMENT SCHEDULE FOR TERMS EXPIRING IN NOVEMBER 2021 AND JANUARY 2022.

DATE: October 19, 2021

BACKGROUND:

Below is a list of the Planning Commissioner whose terms will expire. The list also identifies the date of their original appointment and term expiration.

Abby Douglass	March 16, 2021	to	November 30, 2021
Gregg Kirkpatrick	November 25, 2013	to	January 1, 2022

DISCUSSION:

The Commission's appointment process for filling the expiring terms calls for the incumbents and public to be informed of the Commission openings prior to the expiration of the Commissioners' terms. As noted in the appointment schedule, staff proposes to send letters to each incumbent advising them of the process to be considered for re-appointment, as well as post the notice at City Hall and advertise the openings in the City Blue Newsletter on October 5, 2021 and October 19, 2021 and November 2, 2021. It also provides over four weeks of public notification to accommodate the upcoming holidays. Once letters of interest for serving on the Commission are received, staff will schedule interviews for the City Council Personnel Committee with the candidates.

Attachment 1 is the schedule for the recruitment and appointment process.

Attachment 2 is a sample of the official notification, per the Maddy Act, to be posted at City Hall on December 15, 2020.

FISCAL IMPACT:

None.

RECOMMENDATION:

Receive and file the proposed schedule for Planning Commissioners appointments.

ATTACHMENTS:

[Tentative_Commissioner_Appointment_Timeline.docx](#)
[CommissionAppt_Posting_Attachment_2.docx](#)

Attachment 1
Tentative Planning Commission Appointment Schedule

Oct. 11, 2021	City Council Reviews Appointment Timeline and directs changes as necessary
Oct. 12, 2021	Letters mailed to incumbents advising of Commission reappointment process
Oct. 12, 2021	Local Appointment List Posted at City Hall
Oct. 5, 2021 Oct. 19, 2021 Nov. 2, 2021	Notice of Planning Commission Member recruitment in City Blue Newsletter and City Website
Nov. 4, 2021 at 12 noon	Due date for Letters of Interest in serving on the Planning Commission
Week of Nov. 8, 2021	City Council Personnel Committee interviews Commission candidates (Councilmember Pieper and Mayor Dieringer)
Nov. 22, 2021	City Council appoints Commission Members for terms beginning in January 2021
Week of Jan. 3, 2022	Staff conducts orientation for any new Commission members



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

NO. 2 PORTUGUESE BEND ROAD
ROLLING HILLS, CA 90274
(310) 377-1521
FAX (310) 377-7288

PLEASE POST
City of Rolling Hills
Local Appointments List
of Positions on City Commissions for Calendar Year 2022

This list is prepared pursuant to Government Code § 54972 to inform residents of the City of Rolling Hills regarding opportunities that exist for appointment to City Planning Commissions in calendar year 2022.

A. Appointive Terms.

The following is a list of all positions on the City's Planning Commission for which the terms of office expire in 2020 and 2021 and for which the City Council will be appointing or reappointing persons to fill those positions:

PLANNING COMMISSION (4-year term)

<u>Position/Name of Incumbent</u>	<u>Last Appt. Date</u>	<u>Term Exp.</u>
First Name Last Name	1/2022	1/1/2026

The necessary qualification to be a member of the Planning Commission is to be a resident of the City of Rolling Hills at least 18 years of age (Rolling Hills Municipal Code § 2.20.025).

B. List of Board, Commissions and Committees.

The Planning Commission is one of two permanent Commissions or Committees of the City of Rolling Hills. All members of these bodies are appointed by the City Council and all serve at the pleasure of the City Council. The qualifications for the Planning Commission are listed in part A of the List.

Prepared this 11th day of October 2021.

By: _____
Daisy Laxamana
City Clerk