



# *City of Rolling Hills*

INCORPORATED JANUARY 24, 1957

NO. 2 PORTUGUESE BEND ROAD  
ROLLING HILLS, CA 90274  
(310) 377-1521  
FAX (310) 377-7288

**AGENDA**  
**Regular Planning Commission**  
**Meeting**

**PLANNING COMMISSION**  
**Tuesday, June 15, 2021**

**CITY OF ROLLING HILLS**  
**6:30 PM**

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## **SUPPLEMENTAL**

### **Executive Order N-29-20**

This meeting is held pursuant to Executive Order N-29-20 issued by Governor Newsom on March 17, 2020. All Planning Commissioners will participate by teleconference. Public Participation: City Hall will be closed to the public until further notice.

A live audio of the Planning Commission meeting will be available on the City's website (<https://www.rolling-hills.org/PC%20Meeting%20Zoom%20Link.pdf>).

The meeting agenda is also available on the City's website (<https://www.rolling-hills.org/government/agenda/index.php>).

Join Zoom Meeting via [https://us02web.zoom.us/j/99343882035?](https://us02web.zoom.us/j/99343882035?pwd=MWZXXaG9ISWdud3NpajYwY3dFbltFZz09)  
pwd=MWZXXaG9ISWdud3NpajYwY3dFbltFZz09  
Meeting ID: 993 4388 2035 Passcode: 647943

Members of the public may submit comments in real time by emailing the City Clerk's office at [cityclerk@cityofrh.net](mailto:cityclerk@cityofrh.net). Your comments will become a part of the official meeting record. You must provide your full name but do not provide any other personal information (i.e., phone numbers, addresses, etc) that you do not want to be published.

1. **CALL MEETING TO ORDER**
2. **ROLL CALL**
3. **APPROVAL OF THE AGENDA**
4. **PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA**
5. **APPROVAL OF MINUTES**
  - 5.A. **MAY 18, 2021 FIELD TRIP PLANNING COMMISSION MEETING MINUTES MAY 18, 2021 EVENING PLANNING COMMISSION MEETING MINUTES JUNE 01, 2021**

SPECIAL EVENING PLANNING COMMISSION MEETING MINUTES

**RECOMMENDATION: Receive and file.**

05.18.2021 PC Regular Meeting Action Minutes.P.pdf

05.18.2021 Field Trip PC Regular Meeting Minutes.pdf

06.01.2021 PC Special Meeting Action Minutes.v1.pdf

**6. RESOLUTIONS**

- 6.A. A RESOLUTION APPROVING CONDITIONAL USE PERMIT FOR A PROPOSED TWO-CAR DETACHED GARAGE; VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE AND FOR GRADING EXPORT; AND SITE PLAN REVIEW FOR GRADING FOR DEVELOPED PROPERTY LOCATED AT 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).

**RECOMMENDATION: Approve Resolution No. 2021-09**

PC\_Resolution\_2021-09.docx

PC\_Resolution\_2021-09.pdf

**7. PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING**

NONE.

**8. NEW PUBLIC HEARINGS**

- 8.A. CONSIDER RESOLUTION 2021-08 APPROVING CONDITIONAL USE PERMIT FOR A 1,516 SQUARE FOOT SPORTS COURT; SITE PLAN REVIEW FOR 256 CUBIC YARDS OF GRADING; AND VARIANCE FOR ENCROACHMENT OF THE SPORTS COURT INTO THE REQUIRED SETBACKS LOCATED 75 SADDLEBACK DRIVE, (LOT 68-2-RH) ROLLING HILLS, CA (KIM).

**RECOMMENDATION: Approve Resolution No. 2021-08 for the proposed sports court.**

75 Saddleback\_ZC 20-09\_plans.pdf

2021-08.PC\_RESOLUTION\_75\_Saddleback\_Road\_Sports\_Court-1.docx

Development Table - ZC 20-09\_PC 06.15.21.docx

SUPPLEMENTAL\_2021-06-01 Max Court - Drawings\_final\_06.14.21.pdf

SUPPLEMENTAL\_2021-08.PC RESOLUTION 75 Saddleback Road\_Sports Court.docx

- 8.B. CONSIDER RESOLUTION 2021-07 APPROVING CONDITIONAL USE PERMIT FOR A PROPOSED 180 SQUARE-FOOT ATTACHED STUDIO RESULTING IN A MIXED USE STRUCTURE; SITE PLAN REVIEW FOR 71.6 CUBIC YARDS OF GRADING; AND VARIANCE FOR IMPORTING 18 CUBIC YARDS OF GRAVEL FOR THE SUBJECT PROPERTY LOCATED AT 2 SPUR LANE, (LOT 12-B-CH) ROLLING HILLS, CA (RAJEWSKI).

**RECOMMENDATION: Consider Resolution No. 2021-07 approving the proposed project.**

Development Table - ZC 21-05\_PC 06.15.21.v2.docx

2021-07.PC\_RESOLUTION\_2\_Spur\_Lane\_draft.docx

2 Spur Lane\_plans\_06.15.21\_.pdf

SUPPLEMENTAL\_RAJEWSKI RESIDENCE-JUNE15 REVIEW\_revised final set.pdf

**9. NEW BUSINESS**

NONE.

**10. OLD BUSINESS**

NONE

**11. SCHEDULE FIELD TRIPS**

TO BE DETERMINED.

**12. ITEMS FROM STAFF**

NONE.

**13. ITEMS FROM THE PLANNING COMMISSION**

**14. ADJOURNMENT**

Next meeting: July 20, 2021 at 7:30 AM for Planning Commission Field Trip with sites to be determined.

**Notice:**

*In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting due to your disability, please contact the City Clerk at (310) 377-1521 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility and accommodation for your review of this agenda and attendance at this meeting.*

*Documents pertaining to an agenda item received after the posting of the agenda are available for review in the City Clerk's office or at the meeting at which the item will be considered.*

*All of the above resolutions and zoning case items have been determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines unless otherwise stated.*



## *City of Rolling Hills*

INCORPORATED JANUARY 24, 1957

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**Agenda Item No.: 5.A**

**Mtg. Date: 06/15/2021**

**TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: JANELY SANDOVAL, CITY CLERK**

**THRU: ELAINE JENG P.E., CITY MANAGER**

**SUBJECT: MAY 18, 2021 FIELD TRIP PLANNING COMMISSION MEETING MINUTES  
MAY 18, 2021 EVENING PLANNING COMMISSION MEETING MINUTES  
JUNE 01, 2021 SPECIAL EVENING PLANNING COMMISSION MEETING MINUTES**

**DATE: June 15, 2021**

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**BACKGROUND:**

None.

**DISCUSSION:**

None.

**FISCAL IMPACT:**

None.

**RECOMMENDATION:**

None.

**ATTACHMENTS:**

[05.18.2021 PC Regular Meeting Action Minutes.P.pdf](#)

[05.18.2021 Field Trip PC Regular Meeting Minutes.pdf](#)

[06.01.2021 PC Special Meeting Action Minutes.v1.pdf](#)

REGULAR MEETING  
OF THE PLANNING COMMISSION  
CITY OF ROLLING HILLS  
6:30 P.M.  
TUESDAY, MAY 18, 2021  
VIA TELECONFERENCE

1. **CALL MEETING TO ORDER**

A regular meeting of the Planning Commission of the City of Rolling Hills was called to order by Chair Chelf at 6:31 p.m. on Tuesday, May 18, 2021 via teleconference.

2. **ROLL CALL**

Present: Cardenas, Cooley, Douglass, Vice Chair Kirkpatrick, and Chair Chelf.  
Absent: None.  
Staff Present: Meredith T. Elguira, Planning & Community Services Director.  
Brian Byun, Assistant City Attorney.  
Stephanie Grant, Code Enforcement Office and Planner.  
Ashford Ball, Senior Management Analyst.  
Janely Sandoval, City Clerk  
Leah Mirsch, Councilmember.

3. **APPROVAL OF THE AGENDA**

Agenda approved as presented.

4. **PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA**

None.

5. **APPROVAL OF MINUTES**

Commissioner Cardenas motioned to approve minutes for February 16, 2021 Field Trip Planning Commission Meeting Minutes, and Commissioner Cooley seconded the motion.

AYES: COMMISSIONERS: Cooley, Vice Chair Kirkpatrick, and Chair Chelf.  
NOES: COMMISSIONERS: None.  
ABSENT: COMMISSIONERS: None.  
ABSTAIN: COMMISSIONERS: Cardenas and Douglas

Commissioner Cardenas motioned to approve remaining minutes as presented, and Commissioner Cooley seconded the motion.

AYES: COMMISSIONERS: Cardenas, Cooley, Douglas, Vice Chair Kirkpatrick, and Chair Chelf.  
NOES: COMMISSIONERS: None.  
ABSENT: COMMISSIONERS: None.  
ABSTAIN: COMMISSIONERS: None.

6. **RESOLUTIONS**

None.

7. **PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING.**

**7A. ZONNING CARE NO. 2021-01: REQUEST FOR; 1) CONDITIONAL USE PERMIT FOR A PROPOSED DETACHED GARAGE; 2) VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE, ENCROACHMENT INTO REQUIRED STABLE/CORRAL SETBACK FROM HABITABLE STRUCTURE AND GARAGE, AND FOR GRADING EXPORT; AND 3) SITE PLAN REVIEW FOR GRADING FOR PROPERTY LOCATED AT 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).**

New City staff were introduced to the Commissioners.

Planning and Community Services Director Meredith Elguira presented the item and explained the difference between previous plan and the proposed plan. She also provided information on how the project exceeds current code.

Architect Domingo provided additional details between previous project and revised project.

Commissioner Cooley asked for detail how the project was able to meet the thirty-five feet setback between the equestrian use and the ADU.

Architect Domingo stated that decreasing the size of the garage made it possible.

Resident Cheryl Marcs, 8 Chesterfield Road, stated her concerns regarding overdevelopment, and traffic and safety issues that can follow if project is approved.

Resident Gordana Swanson, 2 Chesterfield Road, stated her concerns regarding overdevelopment and potential safety issues. She wants to ensure acreage usage is up to code and efficiently being used for current and future owners.

Residents Bill and Tanya Dilfer, 25 Chuckwagon Road, questioned revisions made to the original plans and stated their concerns regarding view obstruction and overdevelopment.

Planning and Community Services Director read email from resident Martha Bernadette into record, 10 Chesterfield, regarding her traffic and safety concerns, and the importance of proper drainage be installed for safety of the house down the hill.

Chair Chelf informed residents that their comments will be discussed with all Commissioners.

Discussion ensued among the Commissioners and staff.

**MOTION:** Commissioner Cardenas motioned to direct staff to draft a resolution for approval of the project with amendments presented in the meeting such as, shifting of the barn, and mandate for proper landscaping to obscure the structure and removal of the wall on the Chesterfield side and Vice Chair Kirkpatrick seconded the motion.

AYES: COMMISSIONERS: Cardenas, Cooley, Douglas, Vice Chair Kirkpatrick, and Chair Chelf.

NOES: COMMISSIONERS: None.

ABSENT: COMMISSIONERS: None.

ABSTAIN: COMMISSIONERS: None.

## 8. **NEW PUBLIC HEARINGS**

**8A. ZONING CASE NO. 2021-04: REQUEST FOR: 1) CONDITIONAL USE PERMITS FOR PROPOSED SPORTS COURT AND MIXED USE STRUCTURE; AND 2) REQUEST FOR VARIANCES FRO; ENCROACHMENT INTO THE REQUIRED SETBACKS FOR THE SPORTS COURT AND MIXED USE STRUCUTRE AND PAD COVERAFE EXCEEDANCE.**

Planning and Community Service Director Meredith presented the proposed project.

Applicant Keith Muller provided detailed report regarding revisions made to original proposed project.

Vice Chair Kirkpatrick asked what the main purpose of the sports court usage.

Applicant Keith Muller stated the proposed sports court will be used for tennis.

Applicant Heather Docherty stated the chain-link fence around the sports court will be 10 feet high.

Chair Chelf asked additional questions about view impact and landscaping.

Applicant Muller stated vegetation will be planted along the fence line.

Planning and Community Services Director Elguira provided further details regarding the proposed landscape.

Commissioner Cooley asked if there was safety concerns regarding new access from onsite.

Planning and Community Services Director Elguira mentioned there are no safety concerns for first responders.

Resident from 2 Appaloosa Lane called and informed staff he supports the project.

Discussion ensued among the Commissioners.

**MOTION:** Commissioner Cardenas motioned to approve resolution no. 2021-05 with the conditions set forth by the changes made today to the plans including the three-rail fence maintained on the street side, not allow for a second story being added, and all other said changes made today and Vice Chair Kirkpatrick seconded the motion.

AYES: COMMISSIONERS: Cardenas, Cooley, Douglas, Vice Chair Kirkpatrick, and Chair Chelf.

NOES: COMMISSIONERS: None.

ABSENT: COMMISSIONERS: None.

ABSTAIN: COMMISSIONERS: None.

9. **NEW BUSINESS**

None.

10. **OLD BUSINESS**

None.

11. **SCHEDULED FIELD TRIPS**

**11A. 75 SADDLEBACK ROAD (ZONING CASE NO. 20-09)**

**11B. 2 SPUR LANE (ZONING CASE NO. 21-05)**

12. **ITEMS FROM STAFF**

**12A. Trees and Views Committee Training on Wednesday, May 26, 2021 at 4 PM.**

Planning and Community Director reminded committee members regarding training date and time.

**12B. Trees and Views Committee Meeting on Tuesday, June 1, 2021 at 4 PM (field trip) and 5 PM (hearing).**

Planning and Community Director informed Commissioners the date and time of the first Trees and Views Committee Meeting.

**12C. 5<sup>TH</sup> Cycle Housing Element will be presented on Tuesday, June 1, 2021 at 6PM.**

Planning and Community Director informed Commissioners regarding the special meeting for the Housing Element to attain recommendation for City Council at the Monday, June 14, 2021 meeting.

13. **ITEMS FROM PLANNING COMMISSION**

None.

14. **ADJOURNMENT**

Hearing no further business before the Planning Commission, Chair Chelf adjourned the meeting at 7:45 PM via teleconference.

Next regular meeting: Tuesday, May 18, 2021 at 6:30 p.m. via City's website's link at:  
<https://www.rolling-hills.org/government/agenda/index.php>

Join Zoom Meeting via  
<https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFblI>  
FZz09 Meeting ID: 993 4388 2035 Passcode: 647943

Respectfully submitted,

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Janely Sandoval,  
City Clerk

Approved,

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Brad Chelf  
Chairman

**FIELD TRIP  
OF THE PLANNING COMMISSION  
CITY OF ROLLING HILLS  
7:30 AM  
TUESDAY, MAY 18, 2021**

**1. CALL MEETING TO ORDER**

A field trip meeting of the Planning Commission of the City of Rolling Hills was called to order by Chair Chelf at 7:31 a.m. on Tuesday, May 18, 2021 at 23 Chuckwagon Road.

**2. ROLL CALL**

Commissioners Present:	Douglass, Cooley, Cardenas, Kirkpatrick, and Chair Chelf
Commissioners Absent:	None.
Staff Present:	Meredith Elguira, Planning and Community Services Director Stephanie Grant, Code Enforcement Officer and Planner

**3. APPROVAL OF THE AGENDA**

Approved as presented.

**4. SCHEDULED FIELD TRIPS**

**4A ZONING CASE NO. 2021-01: REQUEST FOR: 1) CONDITIONAL USE PERMIT FOR A PROPOSED DETACHED GARAGE AND ADU; 2) VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE, ENCROACHMENT INTO REQUIRED STABLE/CORRAL SETBACK FROM HABITABLE STRUCTURE AND GARAGE, DRIVEWAY SETBACK ENCROACHMENT, AND FOR GRADING EXPORT; AND 3) SITE PLAN REVIEW FOR GRADING. 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ)**

The item was continued from the previous morning Field Trip Planning Commission meeting on April 20, 2021. The Planning Commissioners pulled the item from the April 20, 2021 evening agenda. The Planning Commission gave the applicant more time to address all of their concerns regarding the height of the proposed garage and ADU, floor height, grading, building pad coverage, set asides, orientation of the garage entrance, driveway, access, setbacks, view impacts, size of the garage, and the neighbors' concerns.

The field trip began onsite at 23 Chuckwagon Road. The Planning Commissioners, residents, applicant, and staff walked the proposed site. Planning and Community Services Director, Meredith Elguira presented the proposed project.

The applicant stated the plans have been revised to address the concerns of the Planning Commission and adjacent residents.

The field trip continued to the adjacent neighbors' home, Bill and Tannia Dilfer at 25 Chuckwagon Road. Neighbors expressed their concerns with the height of the proposed garage impacting their view. The Planning Commissioners and staff viewed the line of sight blockage from the Dilfer's backyard to the proposed garage and ADU.

The field trip continued to Martha Bernadett's home located at 10 Chesterfield Road. The Planning Commission and staff viewed the line of sight from her front yard to the rear of the proposed garage and ADU.

The item was continued to the regular evening Planning Commission meeting via teleconference on May 18, 2021 at 6:30 p.m.

**5. ADJOURNMENT**

Hearing no further business before the meeting was adjourned at 8:00 a.m. The public hearing was continued to the evening of May 18, 2021 at 6:30 p.m. via teleconference.

Respectfully submitted,

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Janely Sandoval  
City Clerk

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Brad Chelf  
Chairman

SPECIAL MEETING  
OF THE PLANNING COMMISSION  
CITY OF ROLLING HILLS  
6:00 P.M.  
TUESDAY, JUNE 01, 2021  
VIA TELECONFERENCE

1. **CALL MEETING TO ORDER**

A special meeting of the Planning Commission of the City of Rolling Hills was called to order by Chair Chelf at 6:09 p.m. on Tuesday, June 01, 2021 via teleconference.

2. **ROLL CALL**

Present: Cardenas, Cooley, Douglass, Vice Chair Kirkpatrick, and Chair Chelf  
Absent: None  
Staff Present: Meredith T. Elguira, Planning & Community Services Director  
Brian Byun, Assistant City Attorney  
Barry Miller, Housing Consultant  
Stephanie Grant, Code Enforcement Office and Planner  
Ashford Ball, Senior Management Analyst  
Janely Sandoval, City Clerk

3. **APPROVAL OF THE AGENDA**

None.

4. **PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA**

None.

5. **APPROVAL OF MINUTES**

None.

6. **RESOLUTIONS**

None.

7. **PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING.**

None.

8. **NEW PUBLIC HEARINGS**

## **8A. RESOLUTION RECOMMENDING CITY COUNCIL ADOPTION OF AMENDED 2013-2021 HOUSING ELEMENT.**

Planning and Community Services Director Meredith Elguira introduced Mr. Barry Miller, Housing Consultant who presented the report.

Housing Consultant Barry Miller presented the item and explained previous attempts to conform to State mandated legislation, and the amendments needed throughout the years for approval. Housing Consultant Miller also provided a short recap of future expectations for the 2021–2029 Housing Element time frame, and stated that the report will be forwarded and presented to the City Council on June 14, 2021.

**MOTION:** Commissioner Cardenas motioned to approve the resolution as written and send to City Council and Vice Chair Kirkpatrick seconded the motion.

AYES: COMMISSIONERS: Cardenas, Cooley, Douglas, Vice Chair Kirkpatrick, and Chair Chelf.  
NOES: COMMISSIONERS: None.  
ABSENT: COMMISSIONERS: None.  
ABSTAIN: COMMISSIONERS: None.

### **9. NEW BUSINESS**

None.

### **10. OLD BUSINESS**

None.

### **11. SCHEDULED FIELD TRIPS**

**11A 75 SADDLEBACK ROAD (ZONING CASE NO. 20-09)**

**11B 2 SPUR LANE (ZONING CASE NO. 21-05)**

Chair Chelf reminded Commissioners of upcoming field trips and requested staking schedule.

Planning and Community Director Elguira informed the Commissioners that both field trip sites are currently staked and flagged.

Vice Chair Kirkpatrick requested Planning and Community Director Elguira to confirm if he will need to abstain due to his parents' residence's proximity to 75 Saddleback.

### **12. ITEMS FROM STAFF**

None.

13. **ITEMS FROM PLANNING COMMISSION**

None.

14. **ADJOURNMENT**

Hearing no further business before the Planning Commission, Chair Chelf adjourned the meeting at 6:28 PM via teleconference.

Next regular meeting: Tuesday, June 15, 2021 at 6:30 p.m. via City's website's link at:

<https://www.rolling-hills.org/government/agenda/index.php>

Join Zoom Meeting via

<https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFblI>

FZz09 Meeting ID: 993 4388 2035 Passcode: 647943

Respectfully submitted,

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Janely Sandoval,  
City Clerk

Approved,

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Brad Chelf  
Chairman



## *City of Rolling Hills*

INCORPORATED JANUARY 24, 1957

**Agenda Item No.: 6.A**

**Mtg. Date: 06/15/2021**

**TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: MEREDITH ELGUIRA, PLANNING DIRECTOR**

**THRU: ELAINE JENG P.E., CITY MANAGER**

**SUBJECT: A RESOLUTION APPROVING CONDITIONAL USE PERMIT FOR A PROPOSED TWO-CAR DETACHED GARAGE; VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE AND FOR GRADING EXPORT; AND SITE PLAN REVIEW FOR GRADING FOR DEVELOPED PROPERTY LOCATED AT 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).**

**DATE: June 15, 2021**

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### **BACKGROUND:**

On May 18, 2021, the Planning Commission directed staff to draft a resolution approving the proposed mixed-use, pool and deck, and equestrian set aside for a proposed project located at 23 Chuckwagon Road. The proposed resolution includes conditions of approval addressing landscape requirements to screen the proposed ADU and repair or replace the existing retaining wall, located along the rear easement, with the same height wall in the same location.

### **DISCUSSION:**

The proposed resolution approves the proposed development subject to conditions of approval contained in Resolution No. 2021-09.

### **FISCAL IMPACT:**

None.

### **RECOMMENDATION:**

Approve Resolution No. 2021-09 approving Conditional Use Permit for a proposed two-car detached garage, attached to an accessory dwelling unit, Variances for: lot and pad coverage exceedance and grading export; and Site Plan Review for grading for a property located at 23 Chuckwagon Road.

### **ATTACHMENTS:**

[PC\\_Resolution\\_2021-09.docx](#)



## **RESOLUTION NO. 2021-09**

### **A RESOLUTION APPROVING CONDITIONAL USE PERMIT FOR A PROPOSED TWO-CAR DETACHED GARAGE; VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE AND FOR GRADING EXPORT; AND SITE PLAN REVIEW FOR GRADING FOR DEVELOPED PROPERTY LOCATED AT 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).**

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

Section 1. An application was duly filed by Mr. and Mrs. Ramirez requesting Conditional Use Permit for a proposed two-car detached garage, which is attached to an accessory dwelling unit, Variances for: lot and pad coverage exceedance and grading export; and Site Plan Review for grading for a property located at 23 Chuckwagon Road.

Section 2. The Planning Commission conducted duly noticed public hearings to consider the application on May 18, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studied said proposal.

Section 3. The property is zoned RAS-1 and has a net lot area of 23,288 square feet. The lot is currently developed with a 2,770 square-foot single family residence and a 439 square-foot attached two-car garage. There are two existing building pads on site with an eight-foot difference in elevation. The existing residence and garage are located on the upper pad (7,581 square feet) towards the front portion of the property and the secondary building pad (3,914 square feet) is on the lower pad on the rear of the property.

Section 4. This project is also categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) because it involves minor alteration of or addition to an existing developed residential lot. The proposed swimming pool, pool equipment, barbecue, patio and fire pit will be located on primary pad. The secondary building pad is the proposed site for the detached two-car garage, Accessory Dwelling Unit (ADU) and the set aside area for future stable and corral.

Section 5. Sections 17.38.010 through 17.38.050 of the Rolling Hills Municipal Code permit approval of a Variance granting relief from the standards and requirements of the Zoning Ordinance when exceptional or extraordinary circumstances applicable to the property prevent the owner from making use of a parcel of property to the same extent enjoyed by similar properties in the same vicinity or zone. In proposing to exceed the 30% maximum building pad coverage for the pool addition on the first building pad and for the proposed garage and future stable/corral on the second building pad; exporting 384 cubic yards of grading, and exceeding 20% structural coverage, Variances are required to grant relief from the Zoning Ordinance.

With respect to the aforementioned request for a Variance from Zoning Ordinance, the Planning

Commission finds as follows:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone in that the property has a net lot area of approximately one-half acre, which limits the buildable area on site;

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question due to the limited size and existing topography that make it difficult to comply with the City of Rolling Hills Municipal Code's development standards;

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity in that the proposed development will comply with the required building code, will not have adverse visual impact to adjacent properties and is in keeping with the character and scale of the community;

D. That in granting the variance, the spirit and intent of this title will be observed in that the proposed development does not prevent anyone from enjoying their property rights, the improvements are visually harmonious with adjacent properties and in scale with adjacent residential development;

E. That the variance does not grant special privilege to the applicant in that the proposed addition is in character and similar in scale with existing residential development and the applicant will have the opportunity to enjoy the same amenities enjoyed by other residents in the community;

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities. The proposed location of the project will not be sited near hazardous waste facilities and is surrounded by residential land use;

G. That the variance request is consistent with the general plan of the City of Rolling Hills in that the applicant will enjoy the same rights that residents in the community enjoy, the proposed improvements are in character and scale as the existing neighborhood, it preserves the rural character of the City even with the elimination of the equestrian use.

Section 6. Sections 17.46.010 through 17.46.050 of the Rolling Hills Municipal Code permit approval of a Site Plan Review granting relief from the standards and requirements of the Zoning Ordinance when exceptional or extraordinary circumstances applicable to the property prevent the owner from making use of a parcel of property to the same extent enjoyed by similar properties in the same vicinity or zone. In proposing to grade the site, a Site Plan Review approval is required to grant relief from Section 17.43.010 and 17.16.190 of the Zoning Ordinance.

With respect to the aforementioned request for Site Plan Review from Zoning Ordinance Section 17.46.050, the Planning Commission finds as follows:

A. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance in that the proposed grading and accessory structures are sensitive to the surrounding uses and will not cause adverse impact on views or harm to surrounding

residences;

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage on the existing pads. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot. The proposed development is located on a parcel less than one acre in size, surrounded by road and driveway easements. The size and existing topography constraints make it difficult to comply with lot coverage requirements however, the proposed pool will have no view impact and the accessory structures will be screened by landscaping from adjacent neighbors and maintains adequate setbacks from the easements and adjacent properties;

C. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences. The proposed improvements are of similar scale with existing houses in the neighborhood;

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls). The site is developed with single family residence with two-car garage. The proposed addition will not further increase disturbance of the site and the grading is limited to 641 cubic yards;

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area. The proposed pool location has previously accommodated a flat open lawn area. The secondary pad has been graded to accommodate a shed and a parking pad, which will be removed;

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course. The proposed excavation for the pool will occur on a flat surface previously disturbed to create a flat lawn for outdoor activities. The proposed pool will not have any impacts on drainage;

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas. The proposed improvements will be constructed on previously disturbed lot;

H. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles in that the project will not encroach into trails or road easements; and

I. The project conforms to the requirements of the California Environmental Quality Act.

Section 7. The Rolling Hills Municipal Code require a Conditional Use Permit for a project a mixed use structure pursuant to RHMC Section 17.16.040(A)(3) subject to certain conditions pursuant to RHMC Section 17.16.210(A)(6). The project proposes to construct a new mixed use structure consisting of a 419 square-foot, two-car detached garage and 800 square foot Accessory Dwelling Unit. The Planning Commission made the following findings:

A. That the proposed conditional use (a mixed use structure) is consistent with the General Plan. The mixed use structure consisting of a 419 square-foot detached garage and 800 square foot recreation room is consistent with similar uses in the community and is a permitted use with a CUP. Although the mixed use structure requires a variance to allow building pad and lot coverage exceedance, the positioning of the mixed use structure will be located on a previously disturbed area. The proposed structure is setback from the rear and side property lines and will be screened by landscaping;

B. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures. The mixed use structure will be on a lower pad than the residence and will have no impact on adjacent residences. Due to the existing development and limited size of the lot, Applicants are limited in where the mixed-use could be constructed. In addition, the proposed size and height of the mixed use structure blends in with the scale of the existing development in the neighborhood. The proposed grading required to construct the mixed-use is minimized by locating the structure on a previously graded pad and with existing access to the pad;

C. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed. The mixed use structure is located on the existing secondary building pad, which is at a lower elevation than the primary building pad. Although the secondary pad will need to be expanded to accommodate the required vehicle turning radius in front of the garage, it is the only area that will cause the least disturbance. The current site is already developed with the existing secondary building pad and existing access which help minimize grading and allow for shorter walls.

D. That the proposed conditional use complies with all applicable development standards of the zone district. The mixed use structure complies with all applicable development standards of the zone district as approved by this Resolution. Although the mixed use structure requires a variance, the positioning of the mixed use structure will be located on a previously disturbed area. It will not change the existing configuration of the structures on the lot and it will have adequate setback to minimize impacts on the surrounding properties;

E. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

F. That the proposed conditional use observes the spirit and intent of this title. The construction of the mixed use structure allows the Applicants to build an ADU, which is allowed by code; and to build a garage will is an allowed land use with the approval of a Conditional Use Permit. Even with the construction of the mixed use structure, there is sufficient set aside area on the property for a future stable and corral. Allowing the mixed-use would allow the applicant the same rights to amenities enjoyed by other residents in the community.

Section 8. Based upon the foregoing findings, the Planning Commission hereby approves Variance, Site Plan Review and Conditional Use Permit request in Zoning Case No. 2021-01 for a proposed two-car detached garage, which is attached to an accessory dwelling unit, lot and pad coverage exceedance, grading export, and grading, subject to the following conditions:

A. This approval shall expire within two years from the effective date of approval if construction pursuant to this approval has not commenced within that time period, as required by Sections

17.38.070 and 17.46.080 of the Rolling Hills Municipal Code, or the approval granted is otherwise extended pursuant to the requirements of this section.

B. If any condition of this resolution is violated, the entitlement granted by this resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicant cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted, the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to Chapter 17.58 of the Rolling Hills Municipal Code (RHMC).

C. All requirements of the Building and Construction Ordinance, the Zoning Ordinance, LA County Building Code and of the zone in which the subject property is located must be complied with unless otherwise set forth in the Permit, or shown otherwise on an approved plan.

D. The lot shall be developed and maintained in substantial conformance with the site plan on file dated May 18, 2021 except as otherwise provided in these conditions.

E. Prior to submittal of final working drawings to the Building and Safety Department for issuance of building permits, the plans for the project shall be submitted to City staff for verification that the final plans are in compliance with the plans approved by the Planning Commission.

F. The working drawings submitted to the Department of Building and Safety for plan check review must conform to the development plan approved with this application. A copy of the conditions of this Resolution shall be printed on plans approved when a building permit is issued and a copy of such approved plans, including conditions of approval, shall be available on the building site at all times.

G. A licensed professional preparing construction plans for this project for Building Department review shall execute a Certificate affirming that the plans conform in all respects to this Resolution approving this project and including conformance with all of the conditions set forth therein and the City's Building Code and Zoning Ordinance.

Further, the person obtaining a building permit for this project shall execute a Certificate of Construction stating that the project will be constructed according to this Resolution and any plans approved therewith.

H. Primary pad area coverage will be maximum 52.3%. The proposed building pad coverage for the secondary pad is maximum 42.6%. The maximum overall development is 25.6%.

I. No further disturbance is proposed.

J. A minimum of four-foot level path and/or walkway, which does not have to be paved, shall be provided along the rear of the home, to allow passage around the home. A retaining wall is permitted with a maximum height of 5 feet.

K. Notwithstanding Sections 17.46.020 and 17.46.070 of the Rolling Hills Municipal Code, any modification to this project or to the property, which would constitute additional structural development, grading, excavation of dirt and any modification including, but not be limited to retaining walls, drainage devices, pad elevation and any other deviation from the approved plan, shall require the filing of a new application for approval by the Planning Commission.

L. *During construction*, conformance with the air quality management district requirements, stormwater pollution prevention practices, county and local ordinances and engineering practices so that people or property are not exposed to undue vehicle trips, noise, dust, and objectionable odors shall be required.

M. *During and after construction*, all parking shall take place on the project site. During construction, to maximum extent feasible, employees of the contractor shall car- pool into the City.

N. *During construction*, the property owners shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

O. The property owners shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage and storm water management.

P. During construction, all parking shall take place on the project site and, If necessary, any overflow parking shall take place within nearby unimproved roadway easement adjacent to subject site. There shall be no blocking of adjacent driveways or of the roadway easement for passage of pedestrians and equestrians. During construction a flagmen shall be present to direct traffic when it is anticipated that a lane may be impeded.

Q. A minimum of 65% of the construction material spoils shall be recycled and diverted. The hauler shall secure a "Construction and Demolition Permit" from the City of Rolling Hills, and provide the required documentation. The permit shall be pulled prior to issuance of the final Planning Approval.

R. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: [http://www.wrhn.noaa.gov/lox/main.php?suite=safety&page=hazard\\_definitions#FIRE](http://www.wrhn.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE). It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions.

Should a red flag warning be declared and if work is to be conducted on the property, the contractor shall have readily available fire distinguisher.

S. Prior to finaling of the project, "as constructed" plans, electronic copy and certifications shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted "as built/as graded".

T. Prior to Final Planning Approval, the applicant shall obtain approval for the proposed landscaping from the Planning and Fire Departments.

U. The retaining wall behind the property, along the rear easement, shall be repaired or replaced with same height wall at the same location.

V. Applicants shall landscape around the proposed ADU to minimize visibility from adjacent neighbors.

W. Until the applicants execute an Affidavit of Acceptance of all conditions of this approval, the approvals shall not be effective. Such affidavit shall be recorded together with the resolution.

PASSED, APPROVED AND ADOPTED THIS 14<sup>th</sup> DAY OF JUNE, 2021.

\_\_\_\_\_  
BRAD CHELF, CHAIRMAN

ATTEST:

\_\_\_\_\_  
JANELY SANDOVAL, CITY CLERK

Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in section 17.54.070 of the Rolling Hills Municipal Code and Code of Civil Procedure Section 1094.6.

STATE OF CALIFORNIA )  
COUNTY OF LOS ANGELES ) §§  
CITY OF ROLLING HILLS )

I certify that the foregoing Resolution No. 2021-09 entitled:

**A RESOLUTION APPROVING CONDITIONAL USE PERMIT FOR A PROPOSED TWO-CAR DETACHED GARAGE; VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE AND FOR GRADING EXPORT; AND SITE PLAN REVIEW FOR GRADING FOR DEVELOPED PROPERTY LOCATED AT 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).**

was approved and adopted at a regular meeting of the Planning Commission on June 14, 2021 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

and in compliance with the laws of California was posted at the following: Administrative  
Offices.

JANELY SANDOVAL, CITY CLERK

## **RESOLUTION NO. 2021-09**

### **A RESOLUTION APPROVING CONDITIONAL USE PERMIT FOR A PROPOSED TWO-CAR DETACHED GARAGE; VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE AND FOR GRADING EXPORT; AND SITE PLAN REVIEW FOR GRADING FOR DEVELOPED PROPERTY LOCATED AT 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).**

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

Section 1. An application was duly filed by Mr. and Mrs. Ramirez requesting Conditional Use Permit for a proposed two-car detached garage, which is attached to an accessory dwelling unit, Variances for: lot and pad coverage exceedance and grading export; and Site Plan Review for grading for a property located at 23 Chuckwagon Road.

Section 2. The Planning Commission conducted duly noticed public hearings to consider the application on May 18, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studied said proposal.

Section 3. The property is zoned RAS-1 and has a net lot area of 23,288 square feet. The lot is currently developed with a 2,770 square-foot single family residence and a 439 square-foot attached two car garage. There are two existing building pads on site with an eight-foot difference in elevation. The existing residence and garage are located on the upper pad (7,581 square feet) towards the front portion of the property and the secondary building pad (3,914 square feet) is on the lower pad on the rear of the property.

Section 4. This project is also categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) because it involves minor alteration of or addition to an existing developed residential lot. The proposed swimming pool, pool equipment, barbecue, patio and fire pit will be located on primary pad. The secondary building pad is the proposed site for the detached two-car garage, Accessory Dwelling Unit (ADU) and the set aside area for future stable and corral.

Section 5. Sections 17.38.010 through 17.38.050 of the Rolling Hills Municipal Code permit approval of a Variance granting relief from the standards and requirements of the Zoning Ordinance when exceptional or extraordinary circumstances applicable to the property prevent the owner from making use of a parcel of property to the same extent enjoyed by similar properties in the same vicinity or zone. In proposing to exceed the 30% maximum building pad coverage for the pool addition on the first building pad and for the proposed garage and future stable/corral on the second building pad; exporting 384 cubic yards of grading, and exceeding 20% structural coverage, Variances are required to grant relief from the Zoning Ordinance.

With respect to the aforementioned request for a Variance from Zoning Ordinance, the Planning Commission finds as follows:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone in that the property has a net lot area of approximately one-half acre, which limits the buildable area on site;

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question due to the limited size and existing topography that make it difficult to comply with the City of Rolling Hills Municipal Code's development standards;

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity in that the proposed development will comply with the required building code, will not have adverse visual impact to adjacent properties and is in keeping with the character and scale of the community;

D. That in granting the variance, the spirit and intent of this title will be observed in that the proposed development does not prevent anyone from enjoying their property rights, the improvements are visually harmonious with adjacent properties and in scale with adjacent residential development;

E. That the variance does not grant special privilege to the applicant in that the proposed addition is in character and similar in scale with existing residential development and the applicant will have the opportunity to enjoy the same amenities enjoyed by other residents in the community;

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities. The proposed location of the project will not be sited near hazardous waste facilities and is surrounded by residential land use; and

G. That the variance request is consistent with the general plan of the City of Rolling Hills in that the applicant will enjoy the same rights that residents in the community enjoy, the proposed improvements are in character and scale as the existing neighborhood, and it preserves the rural character of the City.

Section 6. Sections 17.46.010 through 17.46.050 of the Rolling Hills Municipal Code permit approval of a Site Plan Review granting relief from the standards and requirements of the Zoning Ordinance when exceptional or extraordinary circumstances applicable to the property prevent the owner from making use of a parcel of property to the same extent enjoyed by similar properties in the same vicinity or zone. In proposing to grade the site, a Site Plan Review approval is required to grant relief from Section 17.43.010 and 17.16.190 of the Zoning Ordinance.

With respect to the aforementioned request for Site Plan Review from Zoning Ordinance Section 17.46.050, the Planning Commission finds as follows:

A. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance in that the proposed grading and accessory structures are sensitive to the surrounding uses and will not cause adverse impact on views or harm to surrounding residences;

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage on the existing pads. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot. The proposed development is located on a parcel less than one acre in size, surrounded by road and driveway easements. The size and existing topography constraints make it difficult to comply with lot coverage requirements however, the proposed pool will have no view impact and the accessory structures will be screened by landscaping from adjacent neighbors and maintains adequate setbacks from the easements and adjacent properties;

C. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences. The proposed improvements are of similar scale with existing houses in the neighborhood;

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls). The site is developed with single family residence with two-car garage. The proposed addition will not further increase disturbance of the site and the grading is limited to 641 cubic yards;

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area. The proposed pool location has previously accommodated a flat open lawn area. The secondary pad has been graded to accommodate a shed and a parking pad, which will be removed;

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course. The proposed excavation for the pool will occur on a flat surface previously disturbed to create a flat lawn for outdoor activities. The proposed pool will not have any impacts on drainage;

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas. The proposed improvements will be constructed on previously disturbed lot;

H. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles in that the project will not encroach into trails or road easements; and

I. The project conforms to the requirements of the California Environmental Quality Act.

Section 7. The Rolling Hills Municipal Code require a Conditional Use Permit for a project a mixed use structure pursuant to RHMC Section 17.16.040(A)(3) subject to certain conditions pursuant to

RHMC Section 17.16.210(A)(6). The project proposes to construct a new mixed use structure consisting of a 419 square-foot, two-car detached garage and 800 square foot Accessory Dwelling Unit. The Planning Commission made the following findings:

A. That the proposed conditional use (a mixed use structure) is consistent with the General Plan. The mixed use structure consisting of a 419 square-foot detached garage and 800 square foot recreation room is consistent with similar uses in the community and is a permitted use with a CUP. Although the mixed use structure requires a variance to allow building pad and lot coverage exceedance, the positioning of the mixed use structure will be located on a previously disturbed area. The proposed structure is setback from the rear and side property lines and will be screened by landscaping;

B. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures. The mixed use structure will be on a lower pad than the residence and will have no impact on adjacent residences. Due to the existing development and limited size of the lot, Applicants are limited in where the mixed-use could be constructed. In addition, the proposed size and height of the mixed use structure blends in with the scale of the existing development in the neighborhood. The proposed grading required to construct the mixed-use is minimized by locating the structure on a previously graded pad and with existing access to the pad;

C. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed. The mixed use structure is located on the existing secondary building pad, which is at a lower elevation than the primary building pad. Although the secondary pad will need to be expanded to accommodate the required vehicle turning radius in front of the garage, it is the only area that will cause the least disturbance. The current site is already developed with the existing secondary building pad and existing access which help minimize grading and allow for shorter walls.

D. That the proposed conditional use complies with all applicable development standards of the zone district. The mixed use structure complies with all applicable development standards of the zone district as approved by this Resolution. Although the mixed use structure requires a variance, the positioning of the mixed use structure will be located on a previously disturbed area. It will not change the existing configuration of the structures on the lot and it will have adequate setback to minimize impacts on the surrounding properties;

E. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List; and

F. That the proposed conditional use observes the spirit and intent of this title. The construction of the mixed use structure allows the Applicants to build an ADU, which is allowed by code; and to build a garage will is an allowed land use with the approval of a Conditional Use Permit. Even with the construction of the mixed use structure, there is sufficient set aside area on the property for a future stable and corral. Allowing the mixed-use would allow the applicant the same rights to amenities enjoyed by other residents in the community.

Section 8. Based upon the foregoing findings, the Planning Commission hereby approves Variance, Site Plan Review and Conditional Use Permit requests for Zoning Case No. 2021-01 for a proposed two car detached garage, which is attached to an accessory dwelling unit, lot and pad coverage exceedance, grading export, and grading, subject to the following conditions:

A. This approval shall expire within two years from the effective date of approval if construction pursuant to this approval has not commenced within that time period, as required by Sections 17.38.070 and 17.46.080 of the Rolling Hills Municipal Code, or the approval granted is otherwise extended pursuant to the requirements of this section.

B. If any condition of this resolution is violated, the entitlement granted by this resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicant cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted, the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to Chapter 17.58 of the Rolling Hills Municipal Code (RHMC).

C. All requirements of the Building and Construction Ordinance, the Zoning Ordinance, LA County Building Code and of the zone in which the subject property is located must be complied with unless otherwise set forth in the Permit, or shown otherwise on an approved plan.

D. The lot shall be developed and maintained in substantial conformance with the site plan on file dated May 18, 2021 except as otherwise provided in these conditions.

E. Prior to submittal of final working drawings to the Building and Safety Department for issuance of building permits, the plans for the project shall be submitted to City staff for verification that the final plans are in compliance with the plans approved by the Planning Commission.

F. The working drawings submitted to the Department of Building and Safety for plan check review must conform to the development plan approved with this application. A copy of the conditions of this Resolution shall be printed on plans approved when a building permit is issued and a copy of such approved plans, including conditions of approval, shall be available on the building site at all times.

G. A licensed professional preparing construction plans for this project for Building Department review shall execute a Certificate affirming that the plans conform in all respects to this Resolution approving this project and including conformance with all of the conditions set forth therein and the City's Building Code and Zoning Ordinance.

Further, the person obtaining a building permit for this project shall execute a Certificate of Construction stating that the project will be constructed according to this Resolution and any plans approved therewith.

H. Primary pad area coverage will be maximum 52.3%. The proposed building pad coverage for the secondary pad is maximum 42.6%. The maximum overall development is 25.6%. I. No further disturbance is proposed.

J. A minimum of four-foot level path and/or walkway, which does not have to be paved, shall be provided along the rear of the home, to allow passage around the home. A retaining wall is permitted with a maximum height of 5 feet.

K. Notwithstanding Sections 17.46.020 and 17.46.070 of the Rolling Hills Municipal Code, any modification to this project or to the property, which would constitute additional structural development, grading, excavation of dirt and any modification including, but not be limited to retaining walls, drainage devices, pad elevation and any other deviation from the approved plan, shall require the filing of a new application for approval by the Planning Commission.

L. *During construction*, conformance with the air quality management district requirements, stormwater pollution prevention practices, county and local ordinances and engineering practices so that people or property are not exposed to undue vehicle trips, noise, dust, and objectionable odors shall be required.

M. *During and after construction*, all parking shall take place on the project site. During construction, to maximum extent feasible, employees of the contractor shall car- pool into the City.

N. *During construction*, the property owners shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

O. The property owners shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage and storm water management.

P. During construction, all parking shall take place on the project site and, If necessary, any overflow parking shall take place within nearby unimproved roadway easement adjacent to subject site. There shall be no blocking of adjacent driveways or of the roadway easement for passage of pedestrians and equestrians. During construction a flagmen shall be present to direct traffic when it is anticipated that a lane may be impeded.

Q. A minimum of 65% of the construction material spoils shall be recycled and diverted. The hauler shall secure a “Construction and Demolition Permit” from the City of Rolling Hills, and provide the required documentation. The permit shall be pulled prior to issuance of the final Planning Approval.

R. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: [http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard\\_definitions#FIRE](http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE). It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions.

Should a red flag warning be declared and if work is to be conducted on the property, the contractor shall have readily available fire distinguisher.

S. Prior to finaling of the project, ”as constructed” plans, electronic copy and certifications shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted “as built/as graded”.

T. Prior to Final Planning Approval, the applicant shall obtain approval for the proposed landscaping from the Planning and Fire Departments.

U. The retaining wall behind the property, along the rear easement, shall be repaired or replaced with same height wall in the same exact location.

V. Applicants shall landscape around the proposed ADU to minimize visibility from adjacent neighbors.

W. Until the applicants execute an Affidavit of Acceptance of all conditions of this approval, the approvals shall not be effective. Such affidavit shall be recorded together with the resolution.

PASSED, APPROVED AND ADOPTED THIS 14<sup>th</sup> DAY OF JUNE,2021.

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BRAD CHELF, CHAIRMAN

ATTEST:

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JANELY SANDOVAL, CITY CLERK

Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in section 17.54.070 of the Rolling Hills Municipal Code and Code of Civil Procedure Section 1094.6.

STATE OF CALIFORNIA )  
COUNTY OF LOS ANGELES ) §§  
CITY OF ROLLING HILLS )

I certify that the foregoing Resolution No. 2021-09 entitled:

**A RESOLUTION APPROVING CONDITIONAL USE PERMIT FOR  
A PROPOSED TWO-CAR DETACHED GARAGE; VARIANCES  
FOR: LOT AND PAD COVERAGE EXCEEDANCE AND FOR  
GRADING EXPORT; AND SITE PLAN REVIEW FOR GRADING  
FOR DEVELOPED PROPERTY LOCATED AT 23 CHUCKWAGON  
ROAD, ROLLING HILLS, CA (RAMIREZ).**

was approved and adopted at a regular meeting of the Planning Commission on June 14, 2021 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

and in compliance with the laws of California was posted at the following: Administrative Offices.

\_\_\_\_\_  
JANELY SANDOVAL, CITY CLERK



## *City of Rolling Hills*

INCORPORATED JANUARY 24, 1957

**Agenda Item No.: 8.A**

**Mtg. Date: 06/15/2021**

**TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: STEPHANIE GRANT , ADMINISTRATIVE CLERK**

**THRU: ELAINE JENG P.E., CITY MANAGER**

**SUBJECT: CONSIDER RESOLUTION 2021-08 APPROVING CONDITIONAL USE PERMIT FOR A 1,516 SQUARE FOOT SPORTS COURT; SITE PLAN REVIEW FOR 256 CUBIC YARDS OF GRADING; AND VARIANCE FOR ENCROACHMENT OF THE SPORTS COURT INTO THE REQUIRED SETBACKS LOCATED 75 SADDLEBACK DRIVE, (LOT 68-2-RH) ROLLING HILLS, CA (KIM).**

**DATE: June 15, 2021**

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### **BACKGROUND:**

#### **Zoning, Land Size and Existing Conditions**

The property is zoned RAS-1 and the net lot area for development purposes is 1.8 acres or 78,690 square-feet. The lot is currently developed with an existing 5,069 square-foot residence, 1,612 square-foot garage, 443 square-foot pool, and 679 square feet of entryways.

### **REQUEST AND PLANNING COMMISSION ACTION**

#### **Applicant's Project Scope**

The applicant is proposing to build a 1,516 square foot basketball half court with a 3-foot high retaining wall in the northwest corner portion of the triangular shaped lot. The lot is sloped, which makes buildable space limited. The proposed site is the only useable area on which the sport court can be built. The proposed sports court will also require a Variance for the encroachment into the required 50-foot rear yard setback and 20-foot side yard setback. The proposed project will not impede the enjoyment or views of any other neighboring properties. The applicant is proposing to screen the western portion of the basketball court with landscaping.

## **Variance**

Applicants are requesting a Variance for the sports court encroaching into the rear and side yard setbacks.

## **Site Plan Review**

The applicant is requesting a Site Plan Review (SPR) for the proposed 256 cubic yards of grading.

## **Conditional Use Permit**

Applicants are requesting a Conditional Use Permit (CUP) for the proposed basketball court.

## **DISCUSSION: MUNICIPAL CODE COMPLIANCE**

### **Variance**

The applicant is proposing to construct a 49 x 31 square-foot basketball half court and 3-foot high retaining walls in the northwest corner portion of the triangular shaped lot. The proposed sports court will require a Variance for the encroachment into the required 50-foot rear setback and 20-foot side yard setback. This is the best location for the proposed sports court because most of the site's topography are on a slope. The location of the proposed basketball court abuts the Rolling Hills Community Association trail to the north. The proposed sports court will encroach into the required rear yard setback by 20-feet and the side yard setback by 10-feet.

Many of the residents in the City of Rolling Hills enjoy the amenity of having a sports court on site. A Variance is required for the proposed project pursuant to Section 17.16.210(7)(B) of the RHMC, which states that a game court shall not be located in the front yard or any setback.

### **Site Plan Review**

The RHMC Chapter 17.46 Section 17.46.020(A)(1) states a Site Plan Review is required for grading. The applicant is proposing to grade a total of 180 cubic yards of dirt for the sports court and 76 cubic yards of future grading for the 1,000 square-foot stable and corral set aside. The total proposed grading is 256 cubic yards.

### **Conditional Use Permit**

Section 17.16.210(A)(7) of the RHMC Zoning Ordinance permits recreational game courts, subject to approval of a Conditional Use Permit.

### **Grading and Stabilization**

Construction of the sports court will require a total of 256 cubic yards of grading. The applicant proposes 90 cubic yards cut and 90 cubic yards fill for the proposed basketball court. The applicant proposes 38 cubic yards cut and 38 cubic yards balanced for the future stable. Most of the grading will consist of maximum 4-foot cuts for the proposed basketball court and 2-foot cuts for the proposed future stable and corral. All dirt will be balanced on site. The location of the proposed basketball court abuts

the Rolling Hills Community Association bridle trail, to the north and west, but grading will not have any impact on the existing trail or easements.

### **Disturbance**

The lot was graded in the past and the disturbed area is 23.90% (18,831 square feet). The applicant is proposing to disturb an additional 5% (3,934 square feet, which brings the total disturbed area to 28.9% (22,765 square feet).

### **Lot Coverage**

The lot area is 78,690 square feet. The total overall structural net lot coverage is proposed at 9,894 square feet or 12.6%, (20% max. permitted); and the total lot coverage proposed will be 22,765 square feet or 28.9%, (35% max. permitted).

### **Environmental Review**

The project has been determined to be categorically exempt (Class 3) pursuant to Section 15303 of the California Environmental Quality Act (CEQA) Guidelines.

#### **17.38.050 - Required Variance findings.**

In granting a variance, the Commission (and Council on appeal) must make the following findings:

- A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone;
- B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;
- C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;
- D. That in granting the variance, the spirit and intent of this title will be observed;
- E. That the variance does not grant special privilege to the applicant;
- F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities; and
- G. That the variance request is consistent with the general plan of the City of Rolling Hills.

#### **17.46.050 - Required Site Plan Review findings.**

- A. The Commission shall be required to make findings in acting to approve, conditionally approve, or deny a site plan review application.
- B. No project which requires site plan review approval shall be approved by the Commission, or by the City Council on appeal, unless the following findings can be made:
  - 1. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance;
  - 2. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot;
  - 3. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences;
  - 4. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls);
  - 5. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area;
  - 6. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is

redirected into an existing drainage course;

7. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas;

8. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles; and

9. The project conforms to the requirements of the California Environmental Quality Act.

**17.42.050 - Basis for approval or denial of Conditional Use Permit.**

The Commission (and Council on appeal), in acting to approve a conditional use permit application, may impose conditions as are reasonably necessary to ensure the project is consistent with the General Plan, compatible with surrounding land use, and meets the provisions and intent of this title. In making such a determination, the hearing body shall find that the proposed use is in general accord with the following principles and standards:

A. That the proposed conditional use is consistent with the General Plan;

B. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures;

C. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed;

D. That the proposed conditional use complies with all applicable development standards of the zone district;

E. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities.

F. That the proposed conditional use observes the spirit and intent of this title.

**FISCAL IMPACT:**

None.

**RECOMMENDATION:**

Approve Resolution No 2021-08 approving Conditional Use Permit for a 1,516 square-foot sports court; Site Plan Review for 256 cubic yards of grading; and Variance for encroachment of the sports court into the rear and side yard setbacks.

**ATTACHMENTS:**

[75 Saddleback\\_ZC 20-09\\_plans.pdf](#)

[2021-08.PC\\_RESOLUTION\\_75\\_Saddleback\\_Road\\_Sports\\_Court-1.docx](#)

[Development Table - ZC 20-09\\_PC 06.15.21.docx](#)

[SUPPLEMENTAL\\_2021-06-01 Max Court - Drawings\\_final\\_06.14.21.pdf](#)

[SUPPLEMENTAL\\_2021-08.PC\\_RESOLUTION 75 Saddleback Road\\_Sports Court.docx](#)

## PROJECT ADDRESS 75 SADDLEBACK RD ROLLING HILLS, CA 90274

**PROJECT ADDRESS**

75 SADDLEBACK RD  
ROLLING HILLS, CA 90274

**CLIENT**

MAX &amp; SONIA KIM

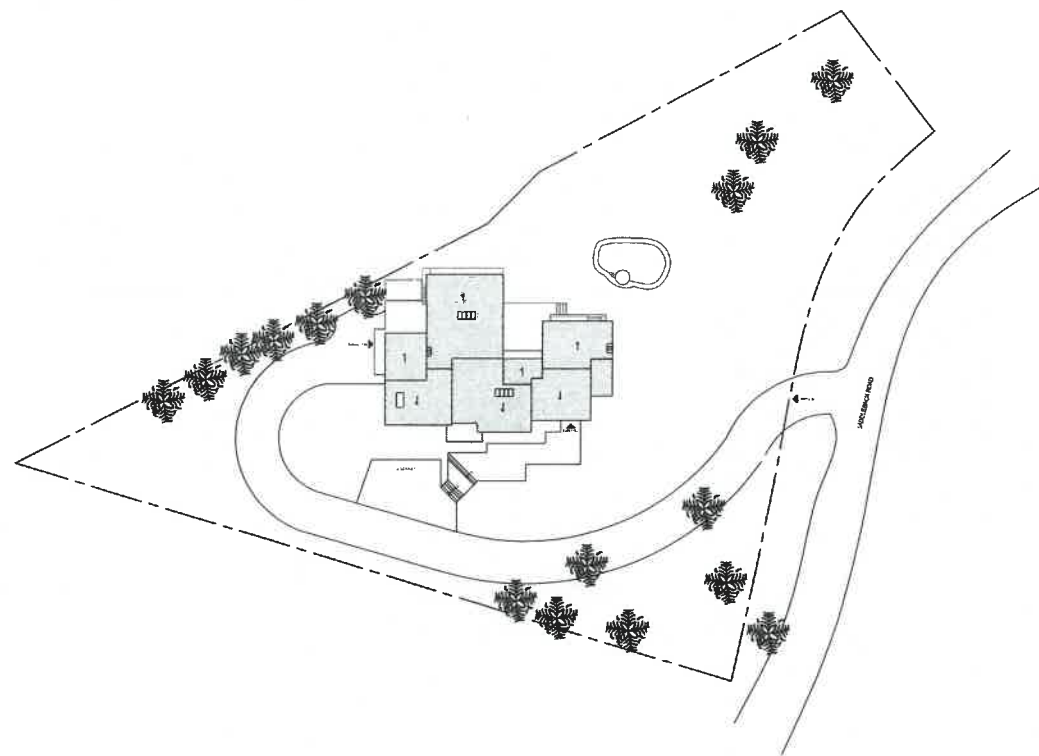
**ARCHITECT**

KEVIN TSAI ARCHITECTURE  
834 SOUTH BROADWAY SUITE 1206  
LOS ANGELES, CA 90014  
TEL: (310) 486-9328

**STRUCTURAL ENGINEER**

THANG LE & ASSOCIATES STRUCTURAL ENGINEERS, INC.  
319 E. FOOTHILL BLVD., SUITE C  
ARCADIA, CALIFORNIA 91006  
TEL: (626) 731-1539

This is a grayscale aerial photograph of a river valley. A river flows from the top left towards the bottom center. The valley floor is densely packed with buildings and infrastructure. A black rectangular box is superimposed on the image, centered horizontally and slightly above the vertical midpoint, highlighting a specific area of interest within the urban landscape.



## ARCHITECTURAL

A0.0 TITLE SHEET  
PLOT PLAN

## STRUCTURAL

A1.0	OVERALL SITE PLAN
A2.0	ENLARGED SITE PLAN
A3.0	ELEVATIONS
C1	GRADING AND DRAINAGE PLAN

**Kevin Tsai Architecture**  
834 S. Broadway, Los Angeles, CA 90014  
T. 310.488.9328 [www.kevin-tsai.com](http://www.kevin-tsai.com)

architect's stamp

consultant

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NOT FOR CONSTRUCTION

PROJECT TITLE:  
**SADDLEBACK  
SPORT COURT**

75 SADDLEBACK ROAD  
ROLLING HILLS, CA 90274

PIC/PM:	KT
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JOB NO:	18-04
DRAWING TITLE:	

# TITLE SHEET

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Kevin Tsai Architecture  
834 S. Broadway, Los Angeles, CA 90014  
T. 310.466.9328 www.kevin-tsai.com

architects stamp

consultant

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. IT IS THE POLICY OF THE NATIONAL ARCHITECTURAL ARCHIVE TO MAKE AVAILABLE TO THE PUBLIC THE INFORMATION CONTAINED HEREIN. IT IS THE POLICY OF THE NATIONAL ARCHITECTURAL ARCHIVE TO MAKE AVAILABLE TO THE PUBLIC THE INFORMATION CONTAINED HEREIN. IT IS THE POLICY OF THE NATIONAL ARCHITECTURAL ARCHIVE TO MAKE AVAILABLE TO THE PUBLIC THE INFORMATION CONTAINED HEREIN.

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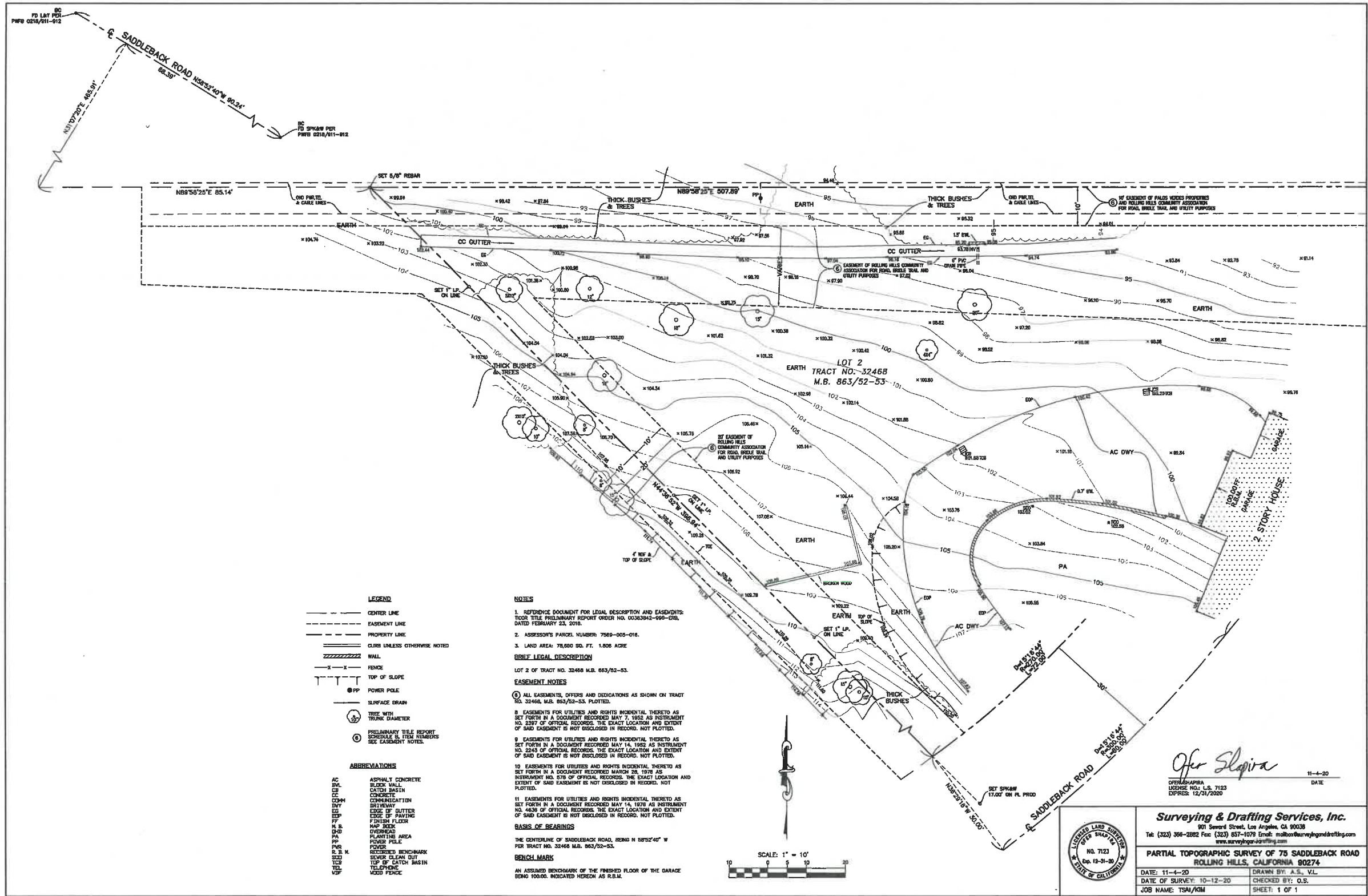
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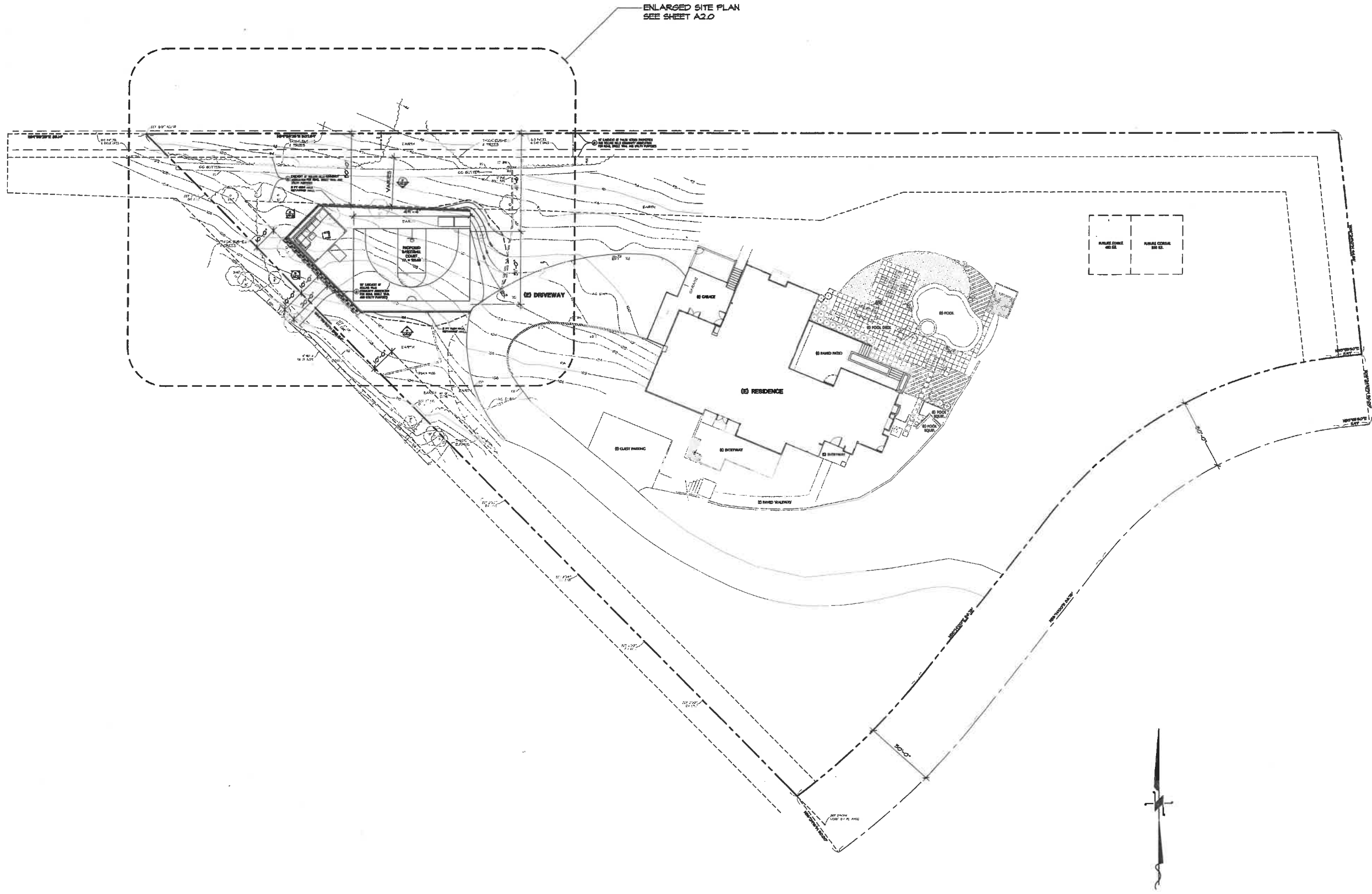
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SADDLEBACK  
SPORT COURT

75 SADDLEBACK ROAD  
ROLLING HILLS, CA 90274

FIG/P: KT  
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DRAWING TITLE:

PLOT PLAN





1 SITE PLAN  
1/16"=1'

A1.0

OVERALL SITE PLAN

SPORT COURT

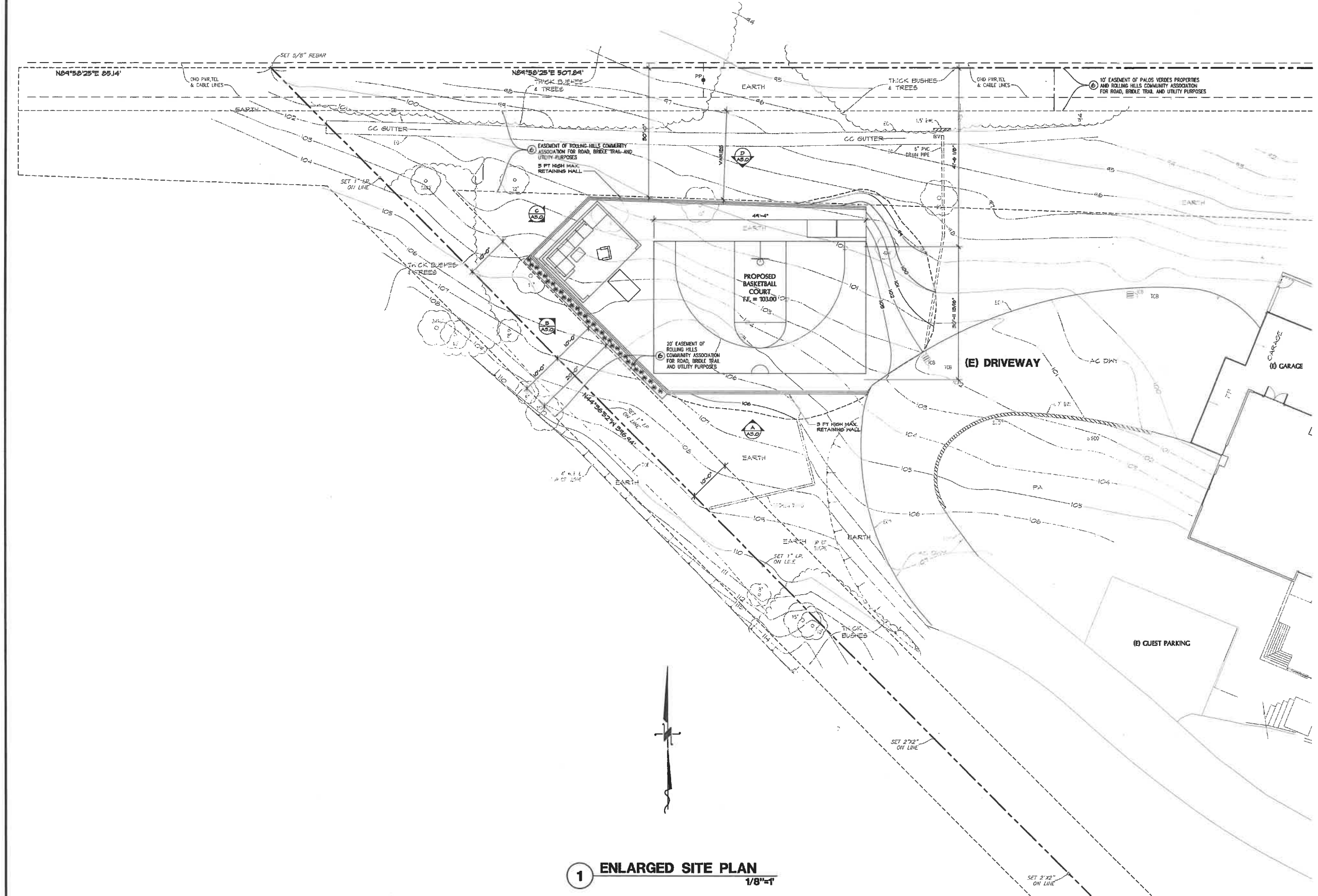
75 SADDLEBACK ROAD  
ROLLING HILLS, CA 90274



THANG LE & ASSOCIATES,  
STRUCTURAL ENGINEERS, INC.  
3119 E. FOOTHILL BLVD., SUITE C  
ARLINGTON, CALIFORNIA 91006  
PHONE: (626) 731-1539

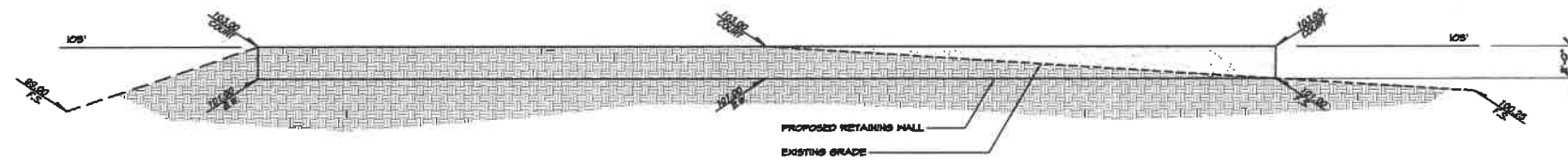
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NO.	DATE	REVISION DESCRIPTION
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2	02-23-2021	PLAN CHECK CORRECTIONS
3	03-22-2021	PLAN CHECK CORRECTIONS
4	08-01-2021	PLAN CHECK CORRECTIONS

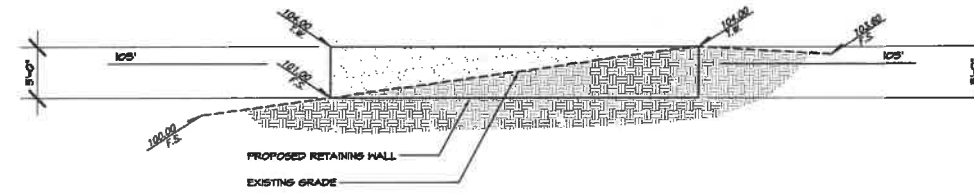


1 ENLARGED SITE PLAN  
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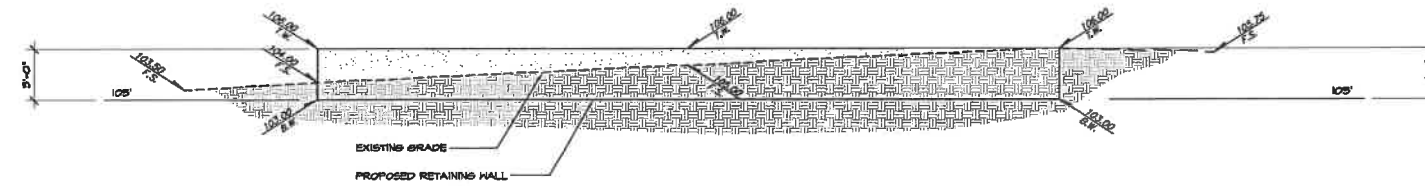
REVISION DESCRIPTION	
DATE	DESCRIPTION
09-01-2020	PLANNING DEPARTMENT SUBMITTAL
02-23-2021	PLAN CHECK CORRECTIONS
03-22-2021	PLAN CHECK CORRECTIONS
06-01-2021	PLAN CHECK CORRECTIONS
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THANG LE & ASSOCIATES STRUCTURAL ENGINEERS, INC. 319 E. FOOTHILL BLVD., SUITE C ARCADIA, CALIFORNIA 91006 PHONE: (626) 731-1539	
SPORT COURT 75 SADDLEBACK ROAD ROLLING HILLS, CA 90274	
ENLARGED SITE PLAN	
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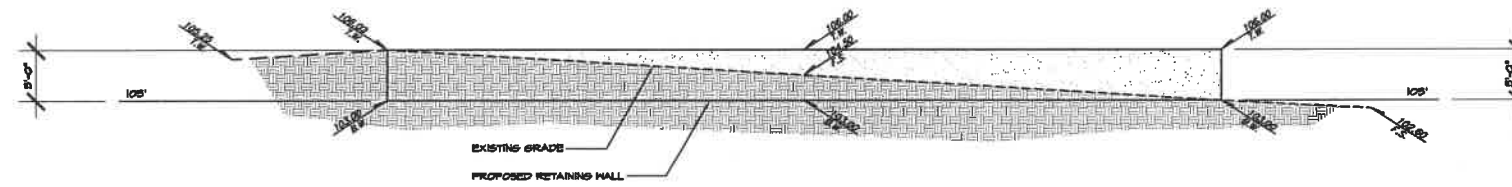
**ELEVATION 'D'**



**ELEVATION 'C'**

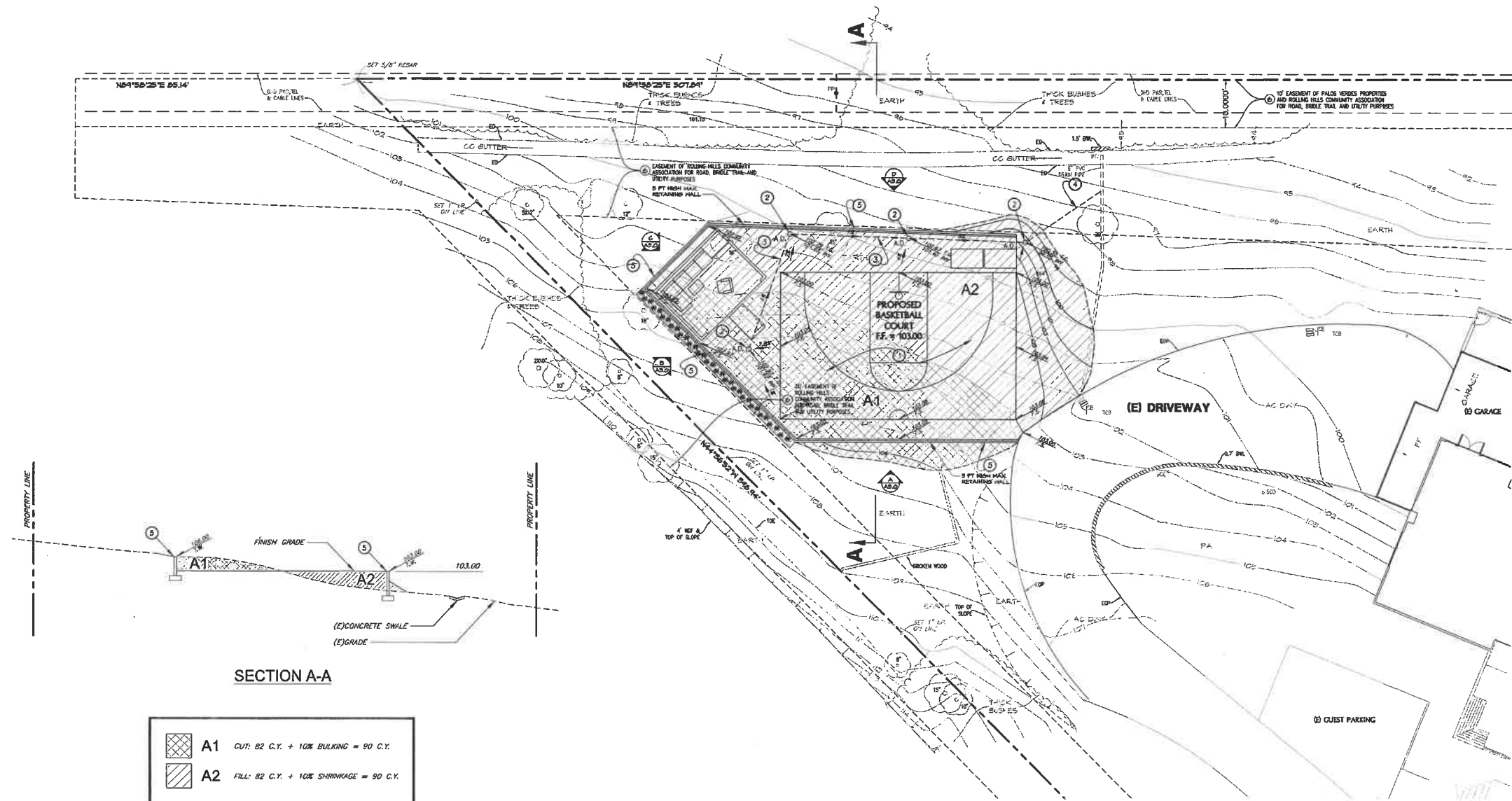


**ELEVATION 'B'**



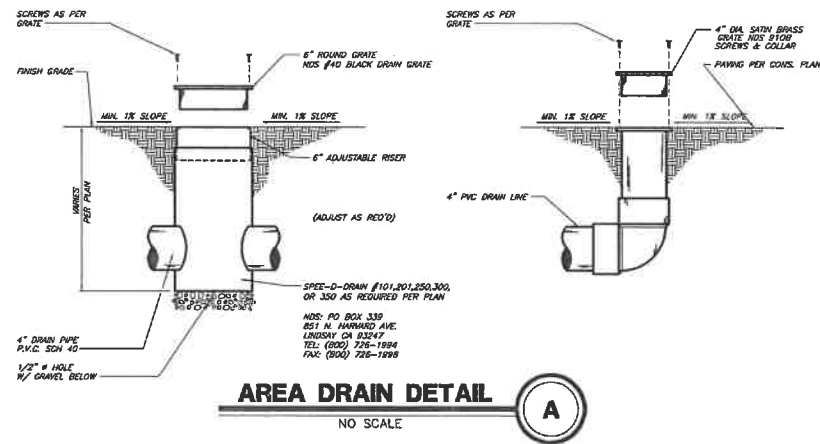
**ELEVATION 'A'**

<b>A3.0</b>	<b>ELEVATIONS</b>	<b>SPORT COURT</b>	<p>75 SADDLEBACK ROAD ROLLING HILLS, CA 90274</p>  <p>THANG LE &amp; ASSOCIATES <b>STRUCTURAL ENGINEERS, INC.</b> 319 E. FOOTHILL BLVD., SUITE C ARCADIA, CALIFORNIA 91006 PHONE: (626) 751-1559</p>	DATE ISSUED 09-01-2020  DRAWN BY ML  CHECKED BY TL	No. DATE REVISION DESCRIPTION
					08-01-2020 PLANNING DEPARTMENT SUBMITTAL
					02-23-2021 PLAN CHECK CORRECTIONS
					03-22-2021 PLAN CHECK CORRECTIONS
					06-01-2021 PLAN CHECK CORRECTIONS



SECTION A-A

	A1	CUT: 82 C.Y. + 10% BULKING = 90 C.Y.
	A2	FILL: 82 C.Y. + 10% SHRINKAGE = 90 C.Y.



AREA DRAIN DETAIL

NO SCALE

Additional Notes:

- REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE SITE EXCEEDS 50,000 SF (CUT OR FILL SLOPES EXCEED 2:1) (CUTS EXCEED 40 FT IN HEIGHT AND WITHIN 20 FT OF A PROPERTY LINE) (FOUNDATION EXCAVATION BELOW A 1:1 PLANE FROM PROPERTY LINE) (PROJECTS INVOLVE UNUSUAL HAZARDS) (SHORING WORK INCLUDING SLOT-CUTS).
- CONTINUOUS INSPECTION BY THE SOILS ENGINEERING/GEOLIST IS REQUIRED FOR GRADING AND FOUNDATION EARTHWORK.
- ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED.
- STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES.
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE AND 92% OF MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEERS.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES.
- NO GRADING PERMIT CAN BE ISSUED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS WHEN SITE IS LOCATED WITHIN AREA DESIGNATED AS GRADING DRAINAGE HILLSIDE.
- RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
- REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE FOUNDATION EXCAVATION BELOW A 1:1 PLANE FROM PROPERTY LINE AND SHORING WORK INCLUDING SLOT-CUTS.

Construction Notes:

- CONSTRUCT BASKETBALL COURT BY OTHERS.
- CONSTRUCT AREA DRAIN PER DETAIL 'A' ON SHEET C1.
- CONSTRUCT 4" PVC DRAIN PIPE WITH 1% MINIMUM SLOPE.
- CONNECT 4" PVC DRAIN PIPE TO EXISTING 6" STORM DRAIN.
- CONSTRUCT 6 FT HT. MAX. RETAINING WALL WITH 4 FT STEEL FENCE ON TOP (10 FT MAX.).

<b>THANG LE &amp; ASSOCIATES</b> <b>STRUCTURAL ENGINEERS, INC.</b> 319 - E. FOOTHILL BLVD., SUITE C ARCADIA, CALIFORNIA 91006 PHONE: (626) 731-1539		
<b>SPORT COURT</b> 75 SADDLEBACK ROAD ROLLING HILLS, CA 90274		
<b>GRADING AND DRAINAGE PLAN</b>		
<b>C1</b>		

DATE	REVISION DESCRIPTION
09-01-2020	PLANNING DEPARTMENT SUBMITTAL
02-23-2021	PLAN CHECK CORRECTIONS
03-22-2021	PLAN CHECK CORRECTIONS
06-01-2021	PLAN CHECK CORRECTIONS

DATE ISSUED	DATE	BY	CHECKED BY
09-01-2020	09-01-2020	ML	TL



## **RESOLUTION NO. 2021-08**

### **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS APPROVING CONDITIONAL USE PERMIT FOR THE CONSTRUCTION OF A 1,516 SQUARE FOOT SPORTS COURT; SITE PLAN REVIEW FOR 256 CUBIC YARDS OF GRADING; AND VARIANCE FOR THE ENCROACHMENT OF THE SPORTS COURT INTO THE REQUIRED SIDE AND REAR SETBACKS LOCATED 75 SADDLEBACK ROAD, (LOT 68-2-RH) ROLLING HILLS, CA (KIM).**

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

Section 1. On December 10, 2020, an application was duly filed by Mr. and Mrs. Kim requesting for 1) Conditional Use Permit for the construction of a 1,516 square foot sports court; 2) Site Plan Review for 256 cubic yards grading; 3) Variance for encroachment into the side setback and rear setback for the proposed sports court located at 75 Saddleback Road, Rolling Hills, CA 90274.

Section 2. The Planning Commission conducted duly noticed public hearings to consider the application on June 15, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studied said proposal.

Section 3. The property is zoned RAS-1 and the net lot area for development purposes is 1.8 acres or 78,690 square-feet. The lot is currently developed with an existing 5,069 square-foot residence, 1,612 square-foot garage, 443 square-foot pool and 679 square feet of entryways. The applicant is proposing to build a 1,516 square foot basketball half court with 3-foot high retaining walls.

Section 4. This project is also categorically exempt from CEQA pursuant to Section 15301. The project consists 1,516 square foot sports court, 3-foot retaining walls, landscaping and 256 cubic yards of grading.

Section 5. Sections 17.38.010 through 17.38.050 of the Rolling Hills Municipal Code permit approval of a Variance granting relief from the standards and requirements of the Zoning Ordinance when exceptional or extraordinary circumstances applicable to the property prevent the owner from making use of a parcel of property to the same extent enjoyed by similar properties in the same vicinity or zone. In proposing to encroach into the rear and side yard setbacks for the proposed 1,516 square foot basketball half court, a Variance is required to grant relief from Section 17.16.130 17.16.120 of the Zoning Ordinance.

With respect to the aforementioned request for a Variance from Zoning Ordinance, the Planning Commission finds as follows:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone in that the property is on a slope, which limits viable buildable site that would accommodate a 1,550 square-foot sports court;

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question due to the existing topography and adjacent trail easement that make it difficult to comply with the Zoning Code;

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity in that the proposed development will comply with the required building code and visual impacts will be minimized by adding landscaping around the sports court;

D. That in granting the variance, the spirit and intent of this title will be observed in that the proposed development does not prevent anyone from enjoying their property rights, the improvements are low in profile and will be screened by landscaping, and it will be located in the rear of the property to minimize noise and visibility from adjacent properties;

E. That the variance does not grant special privilege to the applicant in that the proposed sports court is an amenity available and enjoyed by other residents in the community;

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities. The proposed location of the project will not be sited near hazardous waste facilities and is surrounded by residential land use; and

G. That the variance request is consistent with the general plan of the City of Rolling Hills in that the applicant will enjoy the same rights that residents in the community enjoy, the proposed improvements are in character and scale as the existing neighborhood, and it does not impact the rural character of the City.

Section 6. The Rolling Hills Municipal Code require a Conditional Use Permit for recreational game court pursuant to RHMC Section 17.16.210(A)(6). The applicant is proposing to build a 1,516 square foot basketball half court in the northwest corner portion of an irregularly shaped lot. The Planning Commission makes the following findings:

A. That the proposed conditional use for a 1,516 square foot basketball court is consistent with the General Plan. The sports court is a permitted use with an approval of a Conditional Use Permit;

B. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures. The proposed sports court is located on a developed lot and is surrounded by parcels with existing residential developments;

C. That the site for the proposed conditional use is of adequate size and shape to accommodate

the uses proposed. The net lot area is 78,690 square feet and is adequate to support the proposed use. There is no other location to place the proposed sports court onsite without causing significant change to the existing natural terrain;

D. The sports court complies with all applicable development standards of the zone district as approved by this Resolution. The existing disturbance is 10.1% and the additional disturbance is 2.5%, therefore the total proposed disturbance is 12.6%, which is below the maximum 40%;

E. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List; and

F. That the proposed conditional use observes the spirit and intent of this title. The construction of the sports court is an allowed use with approved Conditional Use Permit. The proposed use is a common amenity in the community and the project is subject to the conditions of this Resolution to minimize or prevent any adverse impacts to the adjacent properties.

Section 6. The Rolling Hills Municipal Code requires a Site Plan Review for grading pursuant to Chapter 17.46 Section 17.46.020(A)(1). The applicant is proposing 256 cubic yards of grading, which will be balanced on site. The Planning Commission makes the following findings:

A. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance. The proposed 256 cubic yards of grading will be balanced on site and the impacted areas are limited to the proposed sports court and future equestrian use set aside areas only;

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot. The proposed sports court is a half court, which helps minimize grading and lot disturbance. In addition, cut and fill will be balanced on site as required by Code;

C. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences. The proposed sports court will be located in the rear of the property where visibility from public view is minimized and impact to the natural terrain is lessened by building a half court instead of a full basketball court. The proposed sports court will also be screened by landscaping;

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls). The proposed sports court's finished elevation is cut into the slope by at least four feet, which minimizes its visual impact on the adjacent properties and also helps lower the height of the fence that is visible from above grade.

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area. The applicant proposes 90 cubic yards cut and 90 cubic yards fill for the proposed basketball court. In addition, the applicant proposes 38 cubic yards of cut and 38 cubic yards fill for the future stable. Most of the grading will consist of maximum 4-foot cuts for

the proposed basketball court and 2-foot cuts for the proposed future stable and corral. Grading will be balanced on site. The areas chosen for the proposed grading are have shallow slopes, which help minimize alteration to existing terrain;

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course. Building and Safety will review the proposed grading and drainage plans for the site and ensure proper drainage is achieved and erosion is minimized;

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas. The applicant is proposing landscaping along the west portion of the court. The proposed project will preserve the natural and native vegetation currently exiting on site;

H. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles. The proposed sports court is located in the northwest corner of the property and will not impact the existing pedestrian and vehicular circulation on the lot and off-site; and

I. The project conforms to the requirements of the California Environmental Quality Act. This project is also categorically exempt from CEQA pursuant to Section 15301.

Section 7. Based upon the foregoing findings, the Planning Commission hereby approves the Conditional Use Permit for the construction of a 1,516 square foot sports court; 2) Site Plan Review for 256 cubic yards grading; 3) Variance for encroachment into the side and rear setback for the proposed sports court, subject to the following conditions:

A. This approval shall expire within two years from the effective date of approval if construction pursuant to this approval has not commenced within that time period, as required by Sections 17.38.070 and 17.46.080 of the Rolling Hills Municipal Code, or the approval granted is otherwise extended pursuant to the requirements of this section.

B. If any condition of this resolution is violated, the entitlement granted by this resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicant cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted, the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not

cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to Chapter 17.58 of the Rolling Hills Municipal Code (RHMC).

C. All requirements of the Building and Construction Ordinance, the Zoning Ordinance, LA County Building Code and of the zone in which the subject property is located must be complied with unless otherwise set forth in the Permit, or shown otherwise on an approved plan.

D. The lot shall be developed and maintained in substantial conformance with the site plan on file dated April 1, 2021 except as otherwise provided in these conditions.

E. Prior to submittal of final working drawings to the Building and Safety Department for issuance of building permits, the plans for the project shall be submitted to City staff for verification that the final plans are in compliance with the plans approved by the Planning Commission.

F. The working drawings submitted to the Department of Building and Safety for plan check review must conform to the development plan approved with this application. A copy of the conditions of this Resolution shall be printed on plans approved when a building permit is issued and a copy of such approved plans, including conditions of approval, shall be available on the building site at all times.

G. A licensed professional preparing construction plans for this project for Building Department review shall execute a Certificate affirming that the plans conform in all respects to this Resolution approving this project and including conformance with all of the conditions set forth therein and the City's Building Code and Zoning Ordinance.

Further, the person obtaining a building permit for this project shall execute a Certificate of Construction stating that the project will be constructed according to this Resolution and any plans approved therewith.

H. Structural lot coverage shall not exceed 9,894 square feet or 12.6% of net lot area.

I. The disturbed area of the lot shall not exceed 28.9% (of net lot area). No further disturbance is proposed.

J. Notwithstanding Sections 17.46.020 and 17.46.070 of the Rolling Hills Municipal Code, any modification to this project or to the property, which would constitute additional structural development, grading, excavation of dirt and any modification including, but not be limited to retaining walls, drainage devices, pad elevation and any other deviation from the approved plan, shall require the filing of a new application for approval by the Planning Commission.

K. *During construction*, conformance with the air quality management district requirements, stormwater pollution prevention practices, county and local ordinances and engineering practices so that people or property are not exposed to undue vehicle trips, noise, dust, and objectionable odors shall be required.

L. *During and after construction*, all parking shall take place on the project site. During construction, to maximum extent feasible, employees of the contractor shall car- pool into the City.

M. *During construction*, the property owners shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

N. The property owners shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage and storm water management.

O. During construction, all parking shall take place on the project site and, If necessary, any overflow parking shall take place within nearby unimproved roadway easement adjacent to subject site. There shall be no blocking of adjacent driveways or of the roadway easement for passage of pedestrians and equestrians. During construction a flagmen shall be present to direct traffic when it is anticipated that a lane may be impeded.

P. A minimum of 65% of the construction material spoils shall be recycled and diverted. The hauler shall secure a "Construction and Demolition Permit" from the City of Rolling Hills, and provide the required documentation. The permit shall be pulled prior to issuance of the final Planning Approval.

Q. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: [http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard\\_definitions#FIRE](http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE). It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions. Should a red flag warning be declared and if work is to be conducted on the property, the contractor shall have readily available fire extinguisher.

R. Prior to issuance of Final Planning Approval, shall submit approved landscape plans by the Fire Department and the City's Landscape Architect.

S. Applicant shall pull Planning permit for temporary construction prior to issuance of Final Planning Approval.

T. Prior to finaling of the project, "as constructed" plans, electronic copy and certifications shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted "as built/as graded".

U. Until the applicants execute an Affidavit of Acceptance of all conditions of this approval, the approvals shall not be effective. Such affidavit shall be recorded together with the resolution.

PASSED, APPROVED AND ADOPTED THIS 15<sup>th</sup> DAY OF JUNE, 2021.

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BRAD CHELF, CHAIRMAN

ATTEST:

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JANELY SANDOVAL  
CITY CLERK

Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in section 17.54.070 of the Rolling Hills Municipal Code and Code of Civil Procedure Section 1094.6.

STATE OF CALIFORNIA                                 )  
COUNTY OF LOS ANGELES                         ) §§  
CITY OF ROLLING HILLS                            )

I certify that the foregoing Resolution No. 2021-05 entitled:

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS APPROVING CONDITIONAL USE PERMIT FOR THE CONSTRUCTION OF A 1,516 SQUARE FOOT SPORTS COURT; SITE PLAN REVIEW FOR 256 CUBIC YARDS OF GRADING; AND VARIANCE FOR THE ENCROACHMENT OF THE SPORTS COURT INTO THE REQUIRED SIDE AND REAR SETBACKS LOCATED 75 SADDLEBACK ROAD, (LOT 68-2-RH) ROLLING HILLS, CA (KIM).**

was approved and adopted at a regular meeting of the Planning Commission on June 15, 2021 by the following roll call vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

and in compliance with the laws of California was posted at the following: Administrative Offices.

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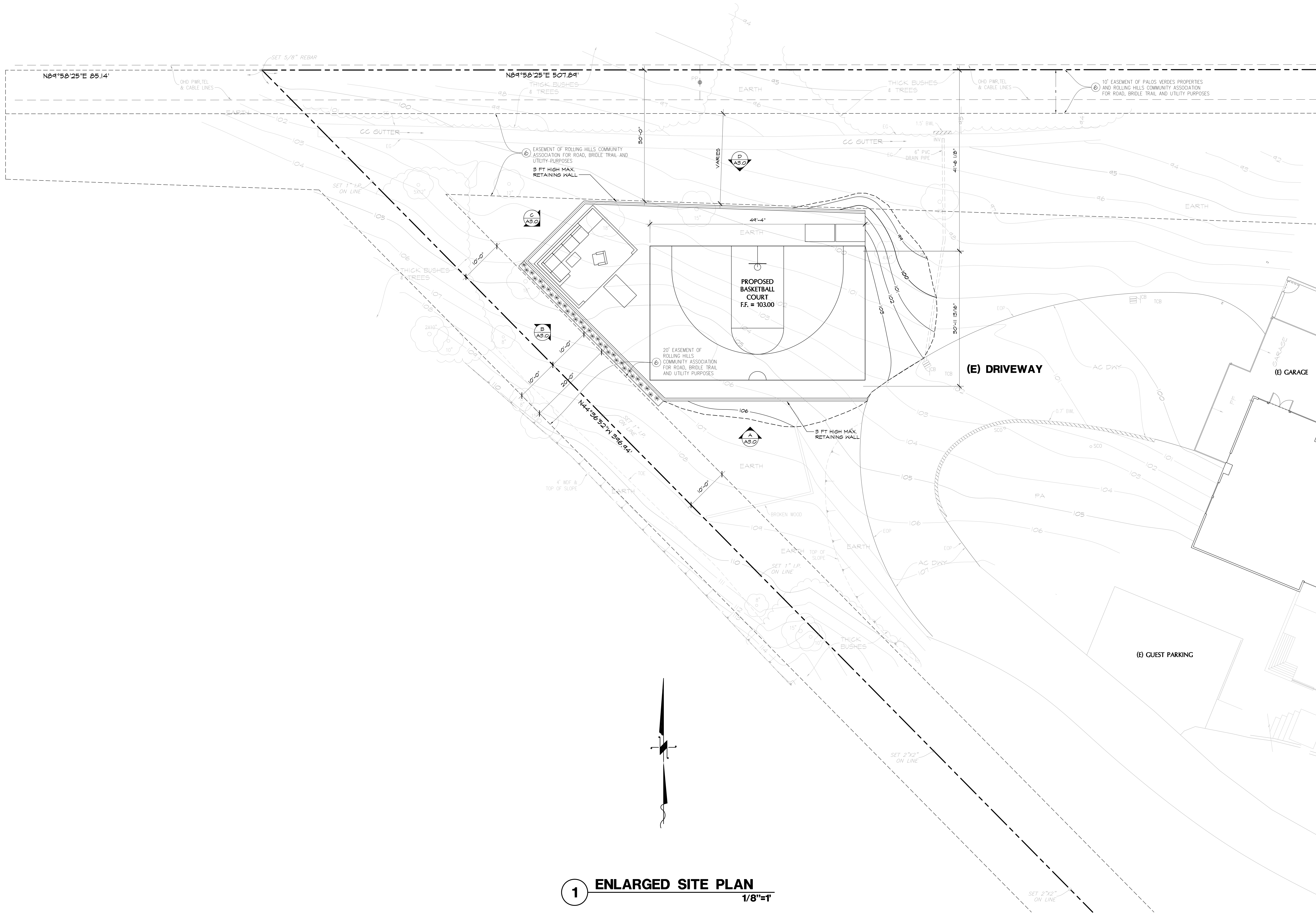
JANELY SANDOVAL  
CITY CLERK

## Development Table Zoning Case No. 2020-09 (75 Saddleback Road)


Site Plan Review, Conditional Use Permit & Variance	EXISTING	PROPOSED	TOTAL
RA-S- 1 Zone Setbacks Front: 50 ft. from front easement line Side: 20 ft. from side property line Rear: 50 ft. from rear easement line	The lot is currently developed with an existing 5,069 square- foot residence, 1,612 square- foot garage, 443 square-foot pool and 679 square feet of entryways.	Conditional Use Permit for a 1,516 square foot Sports Court, Site Plan Review for 156 cubic yard of grading, and Variances to encroach into the rear and side yard setbacks.	
Net Lot Area	78,690 SF	0 SF	78,690 SF
Residence	5,069 SF	0 SF	5,069 SF
Garage	1,612 SF	0 SF	1,612 SF
Swimming Pool/Spa	443 SF	0 SF	125 SF
Pool Equipment	125 SF	0 SF	20 SF
Guest House	0 SF	0 SF	0 SF
Cabana	0 SF	0 SF	0 SF
Stable	0 SF	450 SF	450 SF
Recreation Court	0 SF	1,516 SF	1,516 SF
Attached Covered Porches, (Rear Porch-Cabana) Entryway, Porte Cochere, Breezeways	0 SF 679 SF	0 SF 0 SF	0 SF 679 SF
Attached Trellis	0 SF	0 SF	0 SF
2 Sheds	0 SF	SF	SF
Lightwell	0 SF	0 SF	0 SF
Service Yard	0 SF	0 SF	0 SF
Basement Area	0 SF	0 SF	556 SF
Total Structure Area	7,928 SF	1,966 SF	9,894 SF
Depth of Basement			
Structural Coverage	10.1 %	2.5 %	12.6 %
Total Structures Excluding: up to 5 legal and up to 800 SF detached structures that are not higher than 12 ft (no more than 120 SF per structure per deduction, except for trellis)	SF	SF	SF
Structural Coverage (20% maximum)	10.1%	2.5%	12.6%
Grading (balanced on site)		256 CY	256 CY
Total Lot Coverage (35% maximum)	23.9%	5%	28.9%
Building Pad Coverage 1 (30%maximum)	%	%	28%
Building Pad Coverage 2 (30%maximum)	N/A	0%	%

Building Pad Coverage 3 (30%maximum)	%	%	%
Disturbed Area (40% maximum)	23.9%	5%	28.9%
Stable min. 450 S.F.	SF	450 SF	450 SF
Corral min. 550 S.F.	N/A	550 SF	550 SF
Riding Ring	N/A	SF	SF
Retaining/Garden Wall			
Roadway Access			



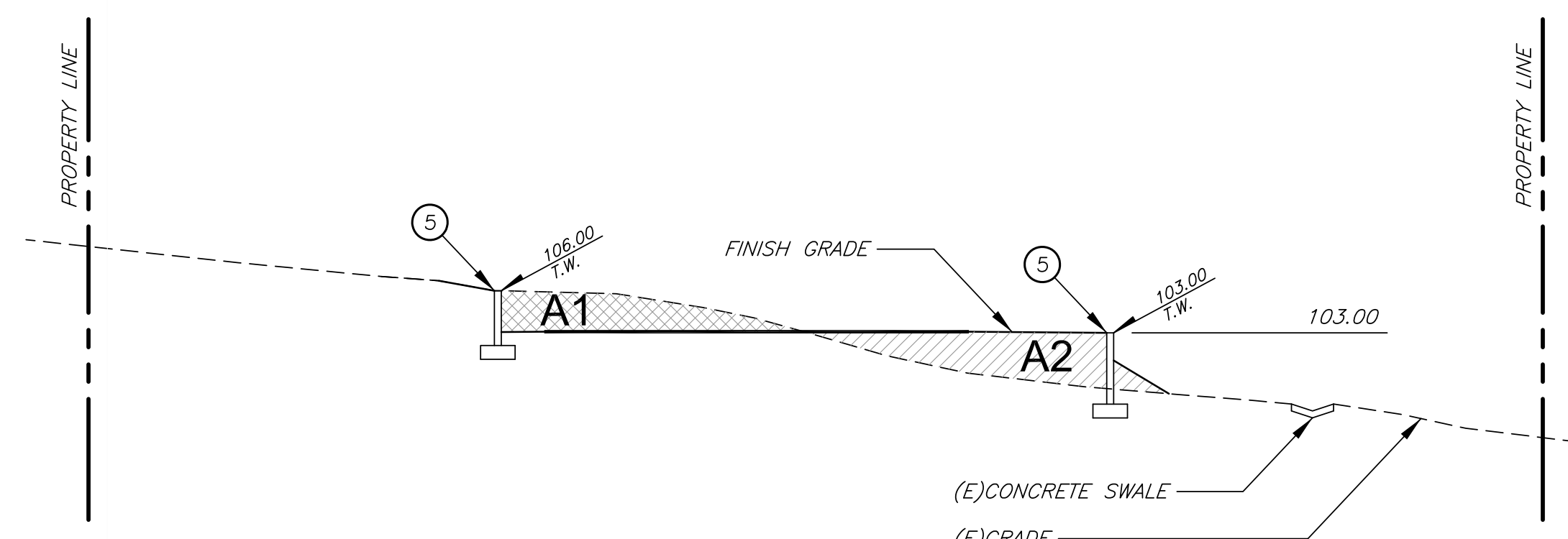
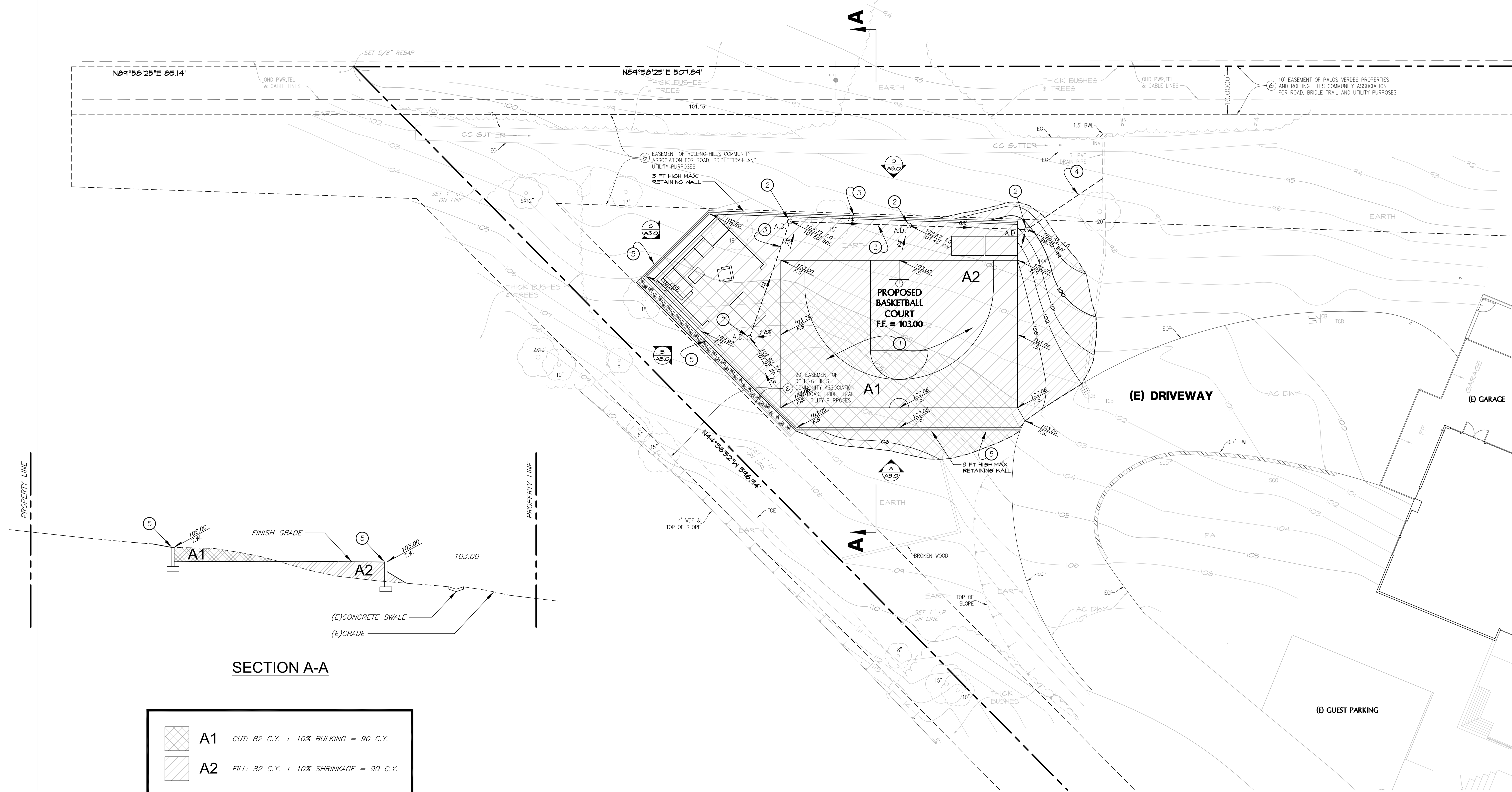


1 ENLARGED SITE PLAN  
1/8"=1'

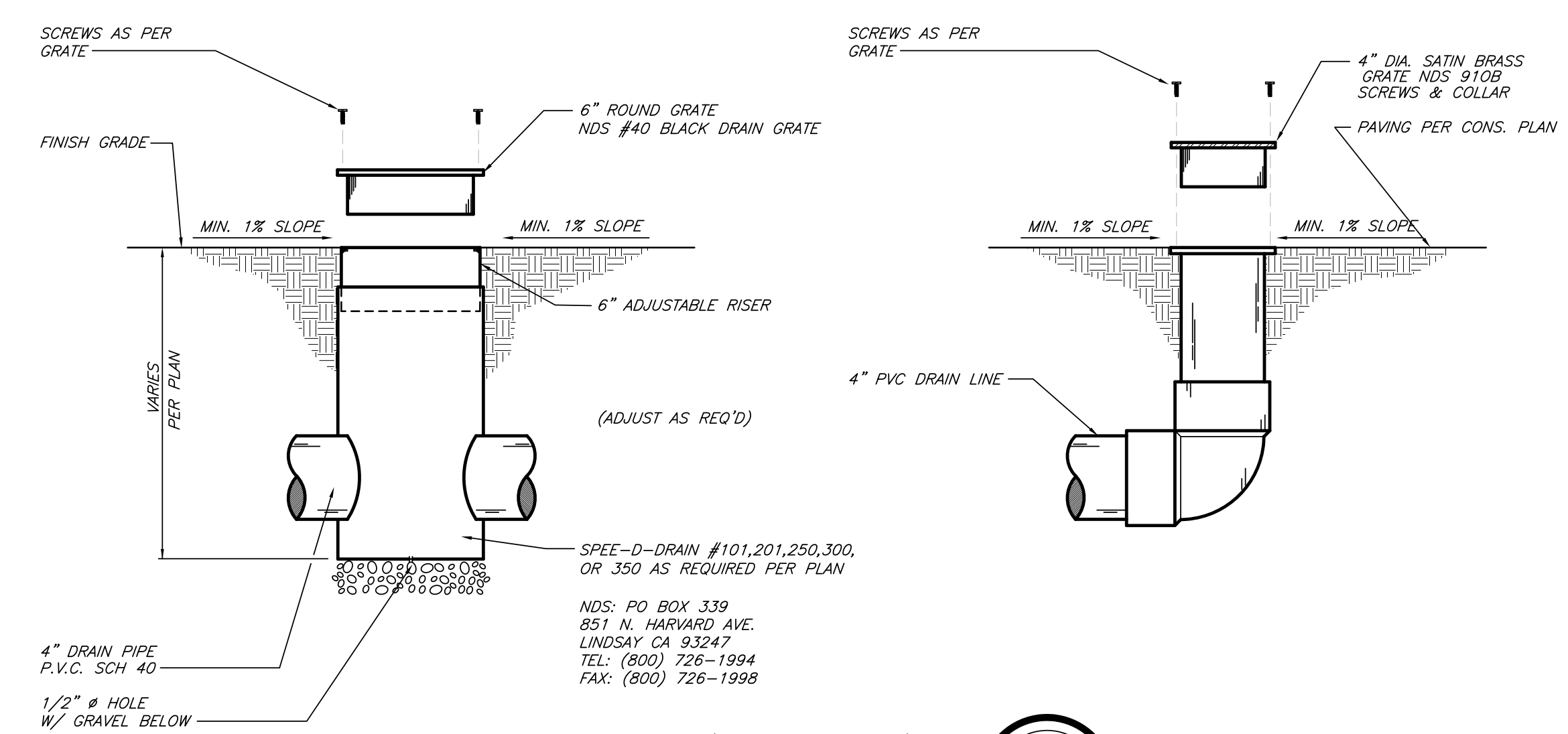
REVISION DESCRIPTION	DATE	REVISION DESCRIPTION	DATE	REVISION DESCRIPTION	
	09-01-2020	PLANNING DEPARTMENT SUBMITTAL	09-01-2020	PLANNING DEPARTMENT SUBMITTAL	
	02-23-2021	PLAN CHECK CORRECTIONS	02-23-2021	PLAN CHECK CORRECTIONS	
	03-22-2021	PLAN CHECK CORRECTIONS	03-22-2021	PLAN CHECK CORRECTIONS	
	06-01-2021	PLAN CHECK CORRECTIONS	06-01-2021	PLAN CHECK CORRECTIONS	
DATE ISSUED	09-01-2020	DRAWN BY	ML	CHECKED BY	TL
<b>THANG LE &amp; ASSOCIATES</b> <b>STRUCTURAL ENGINEERS, INC.</b> 319 E. FOOTHILL BLVD., SUITE C ARCADIA, CALIFORNIA 91006 PHONE: (626) 731-1539					
					
<b>SPORT COURT</b> 75 SADDLEBACK ROAD ROLLING HILLS, CA 90274					
<b>ENLARGED SITE PLAN</b>					
<b>A2.0</b>					



### A3.0



	A1	CUT: 82 C.Y. + 10% BULKING = 90 C.Y.
	A2	FILL: 82 C.Y. + 10% SHRINKAGE = 90 C.Y.



AREA DRAIN DETAIL  
NO SCALE

Additional Notes:

- REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE (SITE EXCEEDS 60,000 SF) (CUT OR FILL SLOPES EXCEED 2:1) (CUTS EXCEED 40 FT IN HEIGHT AND WITHIN 20 FT OF A PROPERTY LINE) (FOUNDATION EXCAVATION BELOW A 1:1 PLANE FROM PROPERTY LINE) (PROJECTS INVOLVE UNUSUAL HAZARDS) (SHORING WORK INCLUDING SLOT-CUTS).
- CONTINUOUS INSPECTION BY THE SOILS ENGINEERING/GEOLOGIST IS REQUIRED FOR GRADING AND FOUNDATION EARTHWORK.
- ALL GRADING SLOPES SHALL BE PLANTED AND SPRINKLERED.
- STANDARD 12 INCH HIGH BERM IS REQUIRED AT TOP OF ALL GRADED SLOPES.
- NO FILL TO BE PLACED, UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM EXCAVATION.
- MAN-MADE FILL SHALL BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 90% MAX. DRY DENSITY WITHIN 40 FEET BELOW FINISH GRADE AND 93% OF MAX. DRY DENSITY DEEPER THAN 40 FEET BELOW FINISH GRADE, UNLESS A LOWER RELATIVE COMPACTION (NOT LESS THAN 90% OF MAX. DRY DENSITY) IS JUSTIFIED BY THE SOILS ENGINEERS.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. OBTAIN GRADING INSPECTOR'S AND DEPARTMENT OF PUBLIC WORKS APPROVAL OF PROPOSED PROCEDURES.
- NO GRADING PERMIT CAN BE ISSUED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS WHEN SITE IS LOCATED WITHIN AREA DESIGNATED AS GRADING ORDINANCE HILLSIDE.
- RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
- REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON GRADING AND FOUNDATION EARTHWORK WHERE FOUNDATION EXCAVATION BELOW A 1:1 PLANE FROM PROPERTY LINE AND SHORING WORK INCLUDING SLOT-CUTS.

Construction Notes:

- CONSTRUCT BASKETBALL COURT BY OTHERS.
- CONSTRUCT AREA DRAIN PER DETAIL 'A' ON SHEET C1.
- CONSTRUCT 4" PVC DRAIN PIPE WITH 1% MINIMUM SLOPE.
- CONNECT 4" PVC DRAIN PIPE TO EXISTING 6" STORM DRAIN.
- CONSTRUCT 6 FT HT. MAX. RETAINING WALL WITH 4 FT STEEL FENCE ON TOP (10 FT MAX.).

**DIGALERT**  
Call Toll Free  
**1-800-422-4133**  
2 Working Days Before You Dig  
Underground Service Alert  
of Southern California

<b>THANG LE &amp; ASSOCIATES</b> <b>STRUCTURAL ENGINEERS, INC.</b> 319 E. FOOTHILL BLVD., SUITE C ARCADIA, CALIFORNIA 91006 PHONE: (626) 731-1539	DATE ISSUED	09-01-2020
	DRAWN BY	ML
	CHECKED BY	TL
	REVISION DESCRIPTION	DATE
	1. PLANNING DEPARTMENT SUBMITTAL	09-01-2020
2. PLAN CHECK CORRECTIONS	02-23-2021	
3. PLAN CHECK CORRECTIONS	03-22-2021	
4. PLAN CHECK CORRECTIONS	06-01-2021	
<b>SPORT COURT</b> 75 SADDLEBACK ROAD ROLLING HILLS, CA 90274		
<b>GRADING AND DRAINAGE PLAN</b>		
<b>C1</b>		

## **RESOLUTION NO. 2021-08**

**A RESOLUTION ZONING CASE NO. 20-09 REQUEST FOR: 1) CONDITIONAL USE PERMIT FOR THE CONSTRUCTION OF A 1,516 SQUARE FOOT SPORTS COURT; 2 SITE PLAN REVIEW FOR 256 CUBIC YARDS OF GRADING; 3) VARIANCES FOR ENCROACHMENT INTO THE REQUIRED SETBACKS FOR THE SPORTS COURT FOR THE SUBJECT PROPERTY LOCATED 75 SADDLEBACK ROAD, (LOT 68-2-RH) ROLLING HILLS, CA (KIM).**

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

Section 1. On December 10, 2020, an application was duly filed by Mr. and Mrs. Kim requesting for 1) Conditional Use Permit for the construction of a 1,516 square foot sports court; 2) Site Plan Review for 256 cubic yards grading; 3) Variance for encroachment into the side setback and rear setback for the proposed sports court for the subject property located at 75 Saddleback Road, Rolling Hills, CA 90274.

Section 2. The Planning Commission conducted duly noticed public hearings to consider the application on June 15, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studied said proposal.

Section 3. The property is zoned RAS-1 The property is zoned RAS-1 and the net lot area for development purposes is 1.8 acres or 78,690 square-feet. The lot is currently developed with an existing 5,069 square-foot residence, 1,612 square-feet garage, 443 square-foot pool and 679 square feet of entryways. The applicant is proposing to build a 1,516 square foot basketball half court with a 3-foot high retaining walls.

Section 4. This project is also categorically exempt from CEQA pursuant to Section 15301. The project consists 1,516 square foot sports court and 3-foot retaining walls. The project also consists of 256 cubic yards of grading

Section 5. Sections 17.38.010 through 17.38.050 of the Rolling Hills Municipal Code permit approval of a Variance granting relief from the standards and requirements of the Zoning Ordinance when exceptional or extraordinary circumstances applicable to the property prevent the owner from making use of a parcel of property to the same extent enjoyed by similar properties in the same vicinity or zone. In proposing to encroach into the rear and side yard setback for the proposed 1,516 square foot basketball half court with a 3-foot high retaining wall Variances are required to grant relief from Section 17.16.130 17.16.120 of the Zoning Ordinance.

With respect to the aforementioned request for a Variance from Zoning Ordinance, the Planning

Commission finds as follows:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone in that the property is sloped and inclined so the site's buildable space is limited. The proposed location is the suitable due to the incline and slopes on the lot;

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question due to the existing topography that make it difficult to comply;

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity in that the proposed development will comply with the required building code, will not have adverse visual impact to adjacent properties and is in keeping with the character and scale of the community;

D. That in granting the variance, the spirit and intent of this title will be observed in that the proposed development does not prevent anyone from enjoying their property rights, the improvements are visually harmonious with adjacent properties and in scale with adjacent residential development;

E. That the variance does not grant special privilege to the applicant in that the proposed addition is in character and similar in scale with existing residential development and the applicant will have the opportunity to enjoy the same amenities enjoyed by other residents in the community;

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities. The proposed location of the project will not be sited near hazardous waste facilities and is surrounded by residential land use; and

G. That the variance request is consistent with the general plan of the City of Rolling Hills in that the applicant will enjoy the same rights that residents in the community enjoy, the proposed improvements are in character and scale as the existing neighborhood, it preserves the rural character of the City.

Section 6. The Rolling Hills Municipal Code require a Conditional Use Permit for a project a Recreational Game Court pursuant to RHMC Section 17.16.210(A)(6). The applicant is proposing to build a 1,516 square foot basketball half court with a 3-foot high retaining wall in the northwest corner portion of the triangular shaped lot. The proposed sports court will also require a Variance for the encroachment into the required 50-foot rear setback by 20 feet and 20-foot side setback by 10 feet. The Planning Commission makes the following findings:

A. That the proposed conditional use 1,516 square foot basketball court is consistent with the General Plan. The sports court is consistent with similar uses in the community and is a permitted use with a CUP. Although the basketball court requires a variance to allow it in the rear and side yard setback, the location of the court. The proposed project is located in the northwest corner of the lot and is out of the views of the neighboring properties.

B. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures. Due to the configuration of the lot, easements, and configuration of the lot, the proposed sports court was limited to the construction location.

C. That the site for the proposed conditional use is of adequate size and shape to accommodate the uses proposed, the net lot area is 78,690 square feet adequate to support the proposed use. There is no other location to place the proposed sports court onsite without causing significant change to the current terrain.

D. That the proposed conditional use complies with all applicable development standards of the zone district. The sports court complies with all applicable development standards of the zone district as approved by this Resolution. The existing disturbance is 10.1% and the additional disturbance is 2.5%, therefore the total proposed disturbance is 12.6%, which is below the maximum 40%.

E. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

F. That the proposed conditional use observes the spirit and intent of this title. The construction of the sports court, and conversion and addition to the stable allows the Applicants the ability to enjoy rights enjoyed by other residents in the City. Construction of the sports court in the rear yard setback and side yard setback, allows the applicants to minimize the amount of grading on the lot. The applicant proposes grading of 256 cubic yards.

Section 6. The Rolling Hills Municipal Code require a Site Plan Review for a grading pursuant to Chapter 17.46 Section 17.46.020(A)(1) states a Site Plan Review is required for grading.. The applicant is proposing to build a 1,516 square foot sports court, 256 cubic yards of grading, and all dirt will be balanced on site. The Planning Commission makes the following findings:

A. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance. The Site Plan Review for the proposed 1,516 square foot sports is consistent with the purposes and objectives of the General Plan because the proposed project is consistent with similar amenities in the community, meets all the applicable code development standards, with the exception of encroaching in the required setbacks, and is located in an area on the property that is adequately sized to accommodate the proposed project

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot; The topography and the configuration of the triangular shaped lot have been considered, and it was determined that the proposed project will not adversely affect or be materially detrimental to adjacent uses, buildings, or structures. The proposed sports court located on the northwest corner portion of the lot.

C. The project is harmonious in scale and mass with the site, the natural terrain and

surrounding residences. The proposed sports court will be located on the northwest corner of the property and will not impact views of the surrounding residences, but will enhance the use of the project site.

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls); The proposed pool will be built on an existing pad. The net lot area is over 78,690 square feet and is sufficient to accommodate the proposed use. There will be no significant changes to the site design, as the residential uses will remain and the proposed sports court will be constructed in an that is suitable for the use.

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area. The proposed sports court will require a total of 256 cubic yards of grading. The applicant proposes 90 cubic yards cut and 90 cubic yards fill for the proposed basketball court. The applicant proposes 38 cubic yards cut and 38 cubic yards balanced for the future stable. Most of the grading will consist of maximum 4-foot cuts for the proposed basketball court and 2-foot cuts for the proposed future stable and corral. All dirt shall be balanced on site. The location of the proposed basketball court abuts the Rolling Hills Community Association Easements to the north and west, Bridle Trail, and grading will not have any impact on the existing trails or easements.

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course; no drainage channels will be affected by the proposed grading.

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas. The applicant is proposing landscaping along the west portion of the court. The proposed project will preserve the natural and native vegetation.

H. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles; and The proposed sports court is located in the at the northwest corner of the property and will not impact the existing circulation on the lot.

I. The project conforms to the requirements of the California Environmental Quality Act. This project is also categorically exempt from CEQA pursuant to Section 15301.

Section 7. Based upon the foregoing findings, the Planning Commission hereby approves the Conditional Use Permit, Variance, and Site Plan Review request in Zoning Case No. 20- 09 for Conditional Use Permit for the construction of a 1,516 square foot sports court; 2) Site Plan Review for 256 cubic yards grading; 3) Variance for encroachment into the side and rear setback for the proposed sports court, subject to the following conditions:

A. This approval shall expire within two years from the effective date of approval if construction pursuant to this approval has not commenced within that time period, as required by Sections 17.38.070 and 17.46.080 of the Rolling Hills Municipal Code, or the approval granted is otherwise extended pursuant to the requirements of this section.

B. If any condition of this resolution is violated, the entitlement granted by this resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicant cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted, the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to Chapter 17.58 of the Rolling Hills Municipal Code (RHMC).

C. All requirements of the Building and Construction Ordinance, the Zoning Ordinance, LA County Building Code and of the zone in which the subject property is located must be complied with unless otherwise set forth in the Permit, or shown otherwise on an approved plan.

D. The lot shall be developed and maintained in substantial conformance with the site plan on file dated April 1, 2021 except as otherwise provided in these conditions.

E. Prior to submittal of final working drawings to the Building and Safety Department for issuance of building permits, the plans for the project shall be submitted to City staff for verification that the final plans are in compliance with the plans approved by the Planning Commission.

F. The working drawings submitted to the Department of Building and Safety for plan check review must conform to the development plan approved with this application. A copy of the conditions of this Resolution shall be printed on plans approved when a building permit is issued and a copy of such approved plans, including conditions of approval, shall be available on the building site at all times.

G. A licensed professional preparing construction plans for this project for Building Department review shall execute a Certificate affirming that the plans conform in all respects to this Resolution approving this project and including conformance with all of the conditions set forth therein and the City's Building Code and Zoning Ordinance.

Further, the person obtaining a building permit for this project shall execute a Certificate of Construction stating that the project will be constructed according to this Resolution and any plans approved therewith.

H. Structural lot coverage shall not exceed 9,894 square feet, or 12.6% and total lot coverage shall not exceed 28.9% or 2 square feet.

I. The disturbed area of the lot shall not exceed 28.9% (of net lot area). No further disturbance is proposed.

J. Notwithstanding Sections 17.46.020 and 17.46.070 of the Rolling Hills Municipal Code, any modification to this project or to the property, which would constitute additional structural development, grading, excavation of dirt and any modification including, but not be limited to retaining walls, drainage devices, pad elevation and any other deviation from the approved plan, shall require the filing of a new application for approval by the Planning Commission.

K. *During construction*, conformance with the air quality management district requirements, stormwater pollution prevention practices, county and local ordinances and engineering practices so that people or property are not exposed to undue vehicle trips, noise, dust, and objectionable odors shall be required.

L. *During and after construction*, all parking shall take place on the project site. During construction, to maximum extent feasible, employees of the contractor shall car- pool into the City.

M. *During construction*, the property owners shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

N. The property owners shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage and storm water management.

O. During construction, all parking shall take place on the project site and, If necessary, any overflow parking shall take place within nearby unimproved roadway easement adjacent to subject site. There shall be no blocking of adjacent driveways or of the roadway easement for passage of pedestrians and equestrians. During construction a flagmen shall be present to direct traffic when it is anticipated that a lane may be impeded.

P. A minimum of 65% of the construction material spoils shall be recycled and diverted. The hauler shall secure a "Construction and Demolition Permit" from the City of Rolling Hills, and provide the required documentation. The permit shall be pulled prior to issuance of the final Planning Approval.

Q. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: [http://www.wrhn.noaa.gov/lox/main.php?suite=safety&page=hazard\\_definitions#FIRE](http://www.wrhn.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE). It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions. Should a red flag warning be declared and if work is to be conducted on the property, the contractor shall have readily available fire extinguisher.

R. Prior to issuance of Final Planning Approval, shall submit approved landscape plans by the Fire Department and the City's Landscape Architect.

S. Applicant shall pull Planning permit for temporary construction prior to issuance of Final Planning Approval.

T. Prior to finaling of the project, "as constructed" plans, electronic copy and certifications shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted "as built/as graded".

U. Until the applicants execute an Affidavit of Acceptance of all conditions of this approval, the approvals shall not be effective. Such affidavit shall be recorded together with the resolution.

V. The applicant shall plant landscaping to screen the proposed sports court from the adjacent bridle trails. Landscaping shall not encroach into any of trail easements.

W. The flat area surrounding the sports court shall consist of permeable surface materials.

PASSED, APPROVED AND ADOPTED THIS 15<sup>th</sup> DAY OF JUNE, 2021.

\_\_\_\_\_  
BRAD CHELF, CHAIRMAN

ATTEST:

\_\_\_\_\_  
JANELY SANDOVAL  
CITY CLERK

Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in section 17.54.070 of the Rolling Hills Municipal Code and Code of Civil Procedure Section 1094.6.

STATE OF CALIFORNIA )  
COUNTY OF LOS ANGELES ) §§  
CITY OF ROLLING HILLS )

I certify that the foregoing Resolution No. 2021-05 entitled:

**A RESOLUTION ZONING CASE NO. 20-09 REQUEST FOR: 1) CONDITIONAL USE PERMIT FOR A 1,516 SQUARE FOOT SPORTS COURT; 2) REQUEST FOR SITE PLAN REVIEW FOR 256 CUBIC YARDS OF GRADING; 3) REQUEST FOR VARIANCES FOR ENCROACHMENT INTO THE REQUIRED SETBACKS FOR THE SPORTS COURT FOR THE SUBJECT PROPERTY LOCATED 75 SADDLEBACK ROAD, (LOT 68-2-RH) ROLLING HILLS, CA (KIM).**

was approved and adopted at a regular meeting of the Planning Commission on June 15, 2021 by the following roll call vote:

AYES:  
 NOES:  
 ABSENT:  
 ABSTAIN:

and in compliance with the laws of California was posted at the following: Administrative Offices.

JANELY SANDOVAL  
CITY CLERK



## *City of Rolling Hills*

INCORPORATED JANUARY 24, 1957

**Agenda Item No.: 8.B**

**Mtg. Date: 06/15/2021**

**TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION**

**FROM: STEPHANIE GRANT , ADMINISTRATIVE CLERK**

**THRU: ELAINE JENG P.E., CITY MANAGER**

**SUBJECT: CONSIDER RESOLUTION 2021-07 APPROVING CONDITIONAL USE PERMIT FOR A PROPOSED 180 SQUARE-FOOT ATTACHED STUDIO RESULTING IN A MIXED USE STRUCTURE; SITE PLAN REVIEW FOR 71.6 CUBIC YARDS OF GRADING; AND VARIANCE FOR IMPORTING 18 CUBIC YARDS OF GRAVEL FOR THE SUBJECT PROPERTY LOCATED AT 2 SPUR LANE, (LOT 12-B-CH) ROLLING HILLS, CA (RAJEWSKI).**

**DATE: June 15, 2021**

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### **BACKGROUND:**

#### **Zoning, Land Size and Existing Conditions**

The property is zoned RAS-1 and the gross lot area is 2.04 acres or 88,740 square feet. The net lot area, for development purposes, is 1.9 acres or 82,874 square feet. The lot is currently developed with an existing 4,104 square-foot residence, 575 square-foot garage, 316 square-foot guesthouse, 134 square-foot detached studio, 556 square-foot basement area, and 557 square-foot pool. There are two building pads on site. The existing residence and garage are located on the upper building pad (28,485 square feet) and the pool is located on the lower building pad (3,395 square feet).

There is currently active construction on site that comprise of: interior remodel, 236 square-foot addition to existing 316 SF guesthouse (guesthouse will be converted to a shop totaling 552 square feet), 312 square-foot addition to existing two-car garage, 62 square-foot addition to the front porch entry 738 square foot porch, 595 square foot driveway addition, 1,244 square feet paved area/walkways, 245 square-foot partial demolition of the main residence, demolition of 134 square-foot studio, and widening of an existing 12-foot wide driveway to 20 feet per L.A. County Fire Department. The current construction added less than 999 square feet to the residence and demolished less than 50% of the

exterior walls therefore, the current project was approved by the Planning Department under Administrative Review.

The applicant is proposing to build a 180 square-foot (SF) studio that will attach to the guesthouse/garage. The 180 SF addition will result in the two structures having a shared wall and thus, requires a Conditional Use Permit approval for the proposed mixed use structure. In addition, staff later discovered that the applicant imported gravel to use as fill in the driveway expansion and conducted grading without permits, these past actions require Variance and Site Plan review, respectively.

## **DISCUSSION:**

### **REQUEST AND PLANNING COMMISSION ACTION**

#### **Applicant's Project Scope**

The applicant is proposing to build a 180 SF studio and attach it to the guesthouse, legalize imported gravel used in driveway expansion and legalize grading.

#### **Variance**

The LA County Fire Department required the expansion of the existing driveway for fire access that resulted in the importation of gravel. The applicant is requesting Variance for importing 18 cubic yards of gravel without a permit. In order to extend the existing driveway, 18 cubic yards of gravel were imported to fill the additional area.

#### **Site Plan Review**

The applicant is requesting Site Plan Review (SPR) for 68 cubic yards grading. The total cut for the proposed project is 34 cubic yards: 18 cubic yards for the driveway and 16 cubic yards for the front patio. The total fill for the project is 34 cubic yards: 13 cubic yards for the garage addition, 3 cubic yards for the new planter area, 3.6 cubic yards for the basement, and 18 cubic yards (maximum 24 inches) for the driveway.

#### **Conditional Use Permit**

The applicant is requesting a Conditional Use Permit (CUP) for the proposed 180 SF studio. The 136 SF studio was demolished without a permit. The applicant is proposing to build a new studio that will attach to the workshop (previously a guesthouse)/garage.

#### **Past Approvals for the Property**

On October 19, 2020, the applicant submitted an application for Administrative Review. The application was for: a remodel, demolition, re-roof, 312 SF garage addition, addition of 237 SF to existing shop (previously guesthouse), 738 SF covered porches, 62 SF breezeway, 57 SF to existing detached shed, and 7 cubic yards of grading.

Staff approved the project on November 3, 2020 and the applicant submitted the approved plans for plan check to the Building and Safety Department. During plan check, it was determined by the Fire Dept. that a wider driveway would be required for Fire access.

On January 15, 2021, the applicant submitted revised Administrative Review Application (Case No. 21-05) and revised plans for: a remodel, 537 SF addition, re-roof, 738 SF covered porches, 312 SF garage

addition, demolition, and 40 cubic yards of grading. The grading quantity increased due to the expansion of the driveway.

On March 2, 2021, the Fire Dept. approved the 20-foot driveway expansion.

The expansion of the driveway also required and received Traffic Commission approval. On March 25, 2021 the Traffic Commission approved the driveway expansion. The applicant started construction during this phase prior to receiving final approval from the Planning Department. During Planning's review, staff discovered that grading, importing gravel and demolition of the studio had occurred without permits.

The City of Rolling Hills approved the revised project (Case No. 21-05) on March 26, 2021 for: a remodel, 537 SF addition, re-roof, 738 SF covered porches, 312 SF garage addition, demolition, and 40 cubic yards of grading. The proposed 180 SF studio that will be attached to the guesthouse/garage will be approved at a later date by the Planning Commission.

On April 5, 2021, the applicant submitted plans and application for Variance for the import of gravel and Conditional Use Permit application for the mixed-use structure. After the review of grading, the Site Plan Review was added because the proposed grading exceeded 50 cubic yards of dirt (proposed total 71.6 cubic yards).

## **MUNICIPAL CODE COMPLIANCE**

### **Disturbance**

The lot was graded in the past and the disturbed area is 59.90% (49,720 square feet). The RHMC states there are exceptions for disturbance to exceed the maximum 40% of the net lot area. As defined in Section 17.16.070, in order to encourage gradual transition in grade and natural appearance the disturbed area may be a maximum of sixty percent of the net lot area, provided that at no point the slopes resulting from the grading are greater (steeper) than 3:1, or three units horizontal (run) to one unit vertical (rise). The 59.9% disturbance is in accordance with Section 17.16.070, therefore a Variance is not required. Grading is proposed on previously disturbed areas.

### **Lot Coverage**

The residential building pad is 23,485 square feet and second building pad is 3,395 square feet for a total combined building pad area of 26,880 square feet. The proposed structure will be located on the first pad, attached to the new shop and existing garage. The structural coverage on this building pad is proposed to be 6,772 square feet or 28.37%. The total overall structural net lot coverage is proposed at 7 square feet or 10.5%, (20% max. permitted); and the total lot coverage proposed will be 48,881 square feet or 21.6%, (35% max. permitted).

### **Grading**

The grading is necessary for the widening of the driveway to meet Fire Code access requirements. The Fire Code requires a 20-foot driveway, clear of any horizontal or vertical obstructions, to accommodate the width and height of a fire truck and its equipment. In order to extend the existing driving, 18 cubic yards of gravel was imported to fill the strip. The total cut for the proposed project is 34 cubic yards: 18 cubic yards for the driveway and 16 cubic yards for the front patio. The total fill for the project is 34 cubic yards: 13 cubic yards for the under garage addition, 3.6 cubic yards for the basement, 3 cubic yards for the new planter area, and 18 cubic yards (maximum 24 inches) for the driveway. All grading activities will be balanced onsite

### **Buildable Pad**

The buildable pad area for Pad No. 1 is 23,485 SF and the existing structures total 28.37% (6,772 SF).

The buildable pad are for Pad No. 2 is 16.99% (3,395 SF).

### **Stable and Corral Set Aside**

The applicant proposes to set aside a 1,000 square feet for a future stable and corral west of the mixed-use structure. Access to the future stable corral is also available.

### **Environmental Review**

The project has been determined to be categorically exempt (Class 3) pursuant to Section 15303 of the California Environmental Quality Act (CEQA) Guidelines.

#### **17.38.050 - Required Variance findings.**

In granting a variance, the Commission (and Council on appeal) must make the following findings:

1. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone;
2. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;
3. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;
4. That in granting the variance, the spirit and intent of this title will be observed;
5. That the variance does not grant special privilege to the applicant;
6. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities; and
7. That the variance request is consistent with the general plan of the City of Rolling Hills.

#### **17.46.050 - Required Site Plan Review findings.**

1. The Commission shall be required to make findings in acting to approve, conditionally approve, or deny a site plan review application.
2. No project which requires site plan review approval shall be approved by the Commission, or by the City Council on appeal, unless the following findings can be made:
3. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance;
4. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot;
5. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences;
6. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls);
7. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area;
8. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course;
9. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas;
10. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles; and
11. The project conforms to the requirements of the California Environmental Quality Act.
12. If all of the above findings cannot be made with regard to the proposed project, or cannot be made

even with changes to the project through project conditions imposed by City staff and/or the Planning Commission, the site plan review application shall be denied.

17.42.050 - Basis for approval or denial of Conditional Use Permit.

The Commission (and Council on appeal), in acting to approve a conditional use permit application, may impose conditions as are reasonably necessary to ensure the project is consistent with the General Plan, compatible with surrounding land use, and meets the provisions and intent of this title. In making such a determination, the hearing body shall find that the proposed use is in general accord with the following principles and standards:

1. That the proposed conditional use is consistent with the General Plan;
2. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures;
3. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed;
4. That the proposed conditional use complies with all applicable development standards of the zone district;
5. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities;
6. That the proposed conditional use observes the spirit and intent of this title.

**FISCAL IMPACT:**

None.

**RECOMMENDATION:**

Approve Resolution No. 2021-07 approving Conditional Use Permit for the mixed use, Site Plan Review for 71.6 cubic yards of grading, and Variance to legalize importation of gravel.

**ATTACHMENTS:**

[Development Table - ZC 21-05\\_PC 06.15.21.v2.docx](#)

[2021-07.PC\\_RESOLUTION\\_2\\_Spur\\_Lane\\_draft.docx](#)

[2 Spur Lane\\_plans\\_06.15.21\\_.pdf](#)

[SUPPLEMENTAL\\_RAJEWSKI RESIDENCE-JUNE15 REVIEW\\_revised final set.pdf](#)

## Development Table Zoning Case No. 21-05 (2 Spur Lane)

CONDITIONAL USE PERMIT, SITE PLAN REVIEW, & VARIANCE	EXISTING	PROPOSED	TOTAL
RA-S- 1 Zone Setbacks Front: 50 ft. from front easement line Side: 20 ft. from side property line Rear: 50 ft. from rear easement line	SINGLE FAMILY RESIDENCE WITH GARAGE, GUEST HOUSE, STUDIO, POOL	CONDITIONAL USE PERMIT FOR A PROPOSED 180 SQUARE-FOOT ATTACHED STUDIO RESULTING IN A MIXED USE STRUCTURE; SITE PLAN REVIEW FOR 71.6 CUBIC YARDS OF GRADING; AND VARIANCE FOR IMPORTING 18 CUBIC YARDS OF GRAVEL FOR THE SUBJECT PROPERTY LOCATED AT 2 SPUR LANE, (LOT 12-B-CH) ROLLING HILLS, CA (RAJEWSKI).	
Net Lot Area	82,874 SF	0 SF	82,874 SF
Residence	4,104 SF	-245 SF	3,859 SF
Garage	575 SF	-312 SF	887 SF
Swimming Pool/Spa	557 SF	0 SF	557 SF
Pool Equipment	20 SF	0 SF	20 SF
Guest House	0 SF	0 SF	0 SF
Shop (old Guest House)	316 SF	236 SF	552 SF
Stable	0 SF	0 SF	0 SF
Recreation Court	0 SF	0 SF	0 SF
Attached Covered Porches, (Rear Porch-Cabana) Entryway, Porte Cochere, Breezeways	463 SF 47 SF	573 SF 62 SF	1,036 SF 109 SF
Attached Trellis	0 SF	0 SF	0 SF
Studio	134 SF	46 SF	180 SF
Lightwell	0 SF	0 SF	0 SF
Service Yard	0 SF	0 SF	0 SF
Basement Area	556 SF	0 SF	556 SF
Total Structure Area	6,772 SF	984 SF	7,756 SF
Structural Coverage	8.17%	1.18%	9.35%
Total Structures Excluding: up to 5 legal and up to 800 SF detached structures that are not higher than 12 ft (no more than 120 SF per structure per deduction, except for trellis)	SF	SF	SF
Structural Coverage	%	%	%

(20% maximum)			
Grading (balanced on site)	Unknown	CY	CY
Total Lot Coverage (35% maximum)	8.17%	1.38%	9.55%
Building Pad Coverage 1 (30%maximum)	23.81 %	4.56 %	28.37%
Building Pad Coverage 2 (30%maximum)	16.99%	0%	16.99%
Building Pad Coverage 3 (30%maximum)	%	%	%
Disturbed Area (40% maximum)	59.9 %	0%	59.9%
Stable min. 450 S.F.	SF	SF	SF
Corral min. 550 S.F.	N/A	SF	SF
Riding Ring	N/A	SF	SF
Retaining/Garden Wall			
Roadway Access			

## **RESOLUTION NO. 2021-07**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR A CONDITIONAL USE PERMIT FOR A MIXED-USE STRUCTURE; A VARIANCE FOR THE IMPORTATION OF GRAVEL; AND A SITE PLAN REVIEW FOR LEGALIZING 71.6 CUBIC YARDS OF GRADING LOCATED AT 2 SPUR LANE (LOT 12-B-CH) ROLLING HILLS, CA (RAJEWSKI).

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

Section 1. An application was duly filed by Mr. Paul Rajewski on April 5, 2021 with respect to real property located at 2 Spur Lane, Rolling Hills (Lot 12-B-CH) requesting a Conditional Use Permit for the construction of an attached 180 square foot mixed-use structure to an existing shop and garage, a Site Plan Review for 71.6 cubic yards of grading and Variance for the importation of gravel for the expansion of an existing 12-foot wide driveway to comply with L.A. County Fire requirements.

Section 2. The Planning Commission conducted a duly noticed public hearing to consider the proposed project during an on-site field trip and an evening teleconference meeting on the same day, June 15, 2021. The applicants were notified of the field trip and public teleconference hearing in writing by first class mail and email.

Neighbors within 1,000-foot radius were notified of the public hearings and a notice was published in the Daily Breeze on June 5, 2021. The applicants and their agents were notified of the public hearings in writing by first class mail and the applicants and agents were in attendance at the hearings evidence was heard and presented from all person interested in affecting said proposal, and from members of the City staff.

On October 19, 2020, the applicant submitted an Administrative Review Application and plans to the Planning Department for a residential addition less than 999 square feet, remodel, 7 cubic yards of grading, and less than 50% demolition of exterior walls. The Administrative Review application and plans were approved by staff on November 3, 2020. The applicant submitted the approved plans for plan check to the Building and Safety Department. The Fire Department Plan check review triggered an expansion of the existing driveway. The applicant revised the approved plans and re-submitted to the Planning Department for approval. The expansion of the driveway also required Traffic Commission approval.

The site is currently undergoing active construction and was approved at ministerial level on March 26, 2021. The existing improvements on the property comprise of existing, approved and under construction elements of development including a remodel, residential addition less than 999 square feet, demolition, and re-roof.

Section 3. The property is zoned RAS-1 and the gross lot area is 2.04 acres or 88,740 square feet. The net lot area for development purposes is 1.9 acres or 82,874 square-feet. The lot is currently developed with an existing 4,104 square-foot residence, 575 square-foot garage, 316 square-foot shop/old

guest house, 134 square-foot detached studio, and 556 square foot basement area, 556 square foot basement, and 557 square-foot pool. There are two building pads, the existing residence and garage are located on the upper building pad (28,485 square feet), and the pool is located on the lower building pad (3,395 square feet).

Section 4. The Planning Commission finds that the project is exempt from the California Environmental Quality Act, (CEQA) pursuant to Class 3, Section 15303 (a) and (3) of the CEQA guidelines.

Section 5. Site Plan Review. The Rolling Hills Municipal Code requires a Site Plan Review for a project that proposes grading pursuant to RHMC Section 17.46.020(A)(1). The project proposes total grading of 71.6 cubic yards. The Planning Commission makes the following findings:

A. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance.

The property is 1.90 acres, which is within the requirements of the RAS-1 zone. The proposed 71.6 cubic yards of grading meet the requirements of the City. The existing 12-foot wide driveway had to be widened to 20-feet to comply with the Fire Department's access requirements. The grading is necessary for the widening of the driveway to meet Fire Code access requirements. The Fire Code requires a 20-foot driveway, clear of any horizontal or vertical obstructions, to accommodate the width and height of a fire truck and its equipment. In order to extend the existing driving, 18 cubic yards of gravel was imported to fill the strip. The total cut for the proposed project is 34 cubic yards: 18 cubic yards for the driveway and 16 cubic yards for the front patio. The total fill for the project is 34 cubic yards: 13 cubic yards for the under garage addition, 3.6 cubic yards for the basement, 3 cubic yards for the new planter area, and 18 cubic yards (maximum 24 inches) for the driveway. All grading activities will be balanced onsite

B. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot.

The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. The topography and the configuration of the lot have been considered, and it was determined that the proposed development will not adversely affect or be materially detrimental to adjacent uses, buildings, or structures, because the development will be constructed on the existing area that has already been developed and is below the allowable maximum 30% building pad coverage. The building pad coverage on Pad No. 1 is 28% (6,772 square feet) and Pad No. 1 is 16.99% (577 square feet). The lot is 1.90 acres net in size and is sufficiently large to accommodate the proposed uses.

The disturbed area of the lot is existing at 59.9% which was previously approved above the 40% maximum disturbance. All work for the proposed project will be constructed within the existing disturbed area.

C. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences. The proposed mixed-use development, as conditioned, is harmonious in scale and mass with the site. The proposed project is located out of sight of the street and will be visible to one neighbor, and is consistent with the scale of the neighborhood when compared to properties in the vicinity.

The site is currently under construction, and developed with a single family residence that has been partially demolished for renovation. The overall project upon completion will consist of a 3,859 main residence, 8,887 square foot garage, 552 square-foot shop, 1,036 square feet of covered porches, 109 square foot breezeway, 556 square foot basement, 20 foot wide fire approved driveway, and 180 square foot studio (proposed mixed-use). The development complies with the low profile residential development pattern of the community and will not give the property an over-built look. The mixed-use is low in profile, and the massing is will not be seen by the adjacent neighbors.

D. The project preserves and integrates into the site design, to the greatest extent possible, existing topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls).

The proposed remodel, addition, mixed-use structure, and grading will not further increase disturbance of the site. The grading is limited to a total of 71.6 cubic yards (3.5 cubic yards for the basement). In addition, the project will be conditioned to use native vegetation that will blend in with the surrounding area to preserve the natural sand native vegetation, while complying with the Fire Department's Fuel Modification requirements.

E. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area.

The development previously graded and disturbed. The majority of the grading that is required is to meet the emergency access and fill in the front patio, under the garage addition, 3.6 for the basement, and new planter area. The grading is very minimal and will not exceed 71.6 cubic yards.

F. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course.

The proposed grading will not modify existing drainage channels nor redirect drainage flow. The drainage will remain the same.

G. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas.

H. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles.

The development is sensitive and not detrimental to the convenience and safety of circulation for pedestrians and vehicles because the existing 20-foot wide driveway and apron has met all of the requirements of the L.A. County Fire Department and approved by the Traffic Commission. There is ample parking in the garage and parking for guests on site. There are not changes to the circulation patterns on the site.

I. The project conforms to the requirements of the California Environmental Quality Act.

The project is exempt from the California Environmental Quality Act, (CEQA) pursuant to Class 3, Section 15303 (a) and (3) of the CEQA guidelines.

Section 6. Conditional Use Permit. Section 17.12.130 of the Rolling Hills Municipal Code permits approval of a mixed-use structure with a Conditional Use Permit. The proposed 180 square foot mixed-use structure complies with all requirements of these sections. With respect to this request for a Conditional Use Permit, the Planning Commission finds as follows:

A. That the proposed conditional use is consistent with the General Plan.

That the proposed conditional use (a mixed-use structure) is consistent with the General Plan. The mixed use is a permitted use with a Conditional Use Permit.

B. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses.

The proposed size and height of the mixed use structure blends with the existing development and adjacent residences in the neighborhood.

C. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed.

The mixed-use structure is located on the existing primary building pad, which is on the same elevation of the shop, 7.5 feet below the floor level of garage. The net lot size of 1.90 acres and can accommodate the proposed use.

D. That the proposed conditional use complies with all applicable development standards of the zone district.

The project complies with the zoning regulations of the RAS-1 Zone with a Conditional Use Permit.

E. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

The proposed conditional uses are consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

F. That the proposed conditional use observes the spirit and intent of this title.

The property currently is being improved with a remodel and less than 999 square foot addition. The project promotes the City's goal for promoting equestrian uses and maintaining rural character. The proposed structure is 180 square feet and blends in with existing structures.

E. The proposed conditional use complies with all applicable development standards of the zone district and requires Conditional Use Permits pursuant to Section 17.12.130 of the Zoning Ordinance.

The project is harmonious in scale and mass with the site, the natural terrain, and surrounding residences in that the proposed use complies with the low profile residential development pattern of the community and will not give the property an over-built look. The gross lot is 2.04 acres net in size and is sufficiently sized to accommodate the proposed use.

Section 7. The City of Rolling Hills requires a Variance pursuant to Section 15.04.110(1) states no import of soil shall be permitted to any lot in the City, except where a variance pursuant to Chapter 17.38 has been approved. The LA County Fire Department required the expansion of the existing driveway for fire access. The applicant is requesting a Variance for the import of 18 cubic yards of gravel. With respect to the aforementioned request for a Variance from Zoning Ordinance, the Planning Commission finds as follows:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone.

The City requires a Variance for the import of any soils. The LA County Fire Department required the expansion the existing 12-foot wide driveway by 8 feet to meet the 20-foot wide fire code requirement. The 20-foot wide driveway has been constructed, the applicant is requesting a Variance for legalize the work.

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question.

In order to comply with the Zoning, the applicant is requesting a Variance to allow the import of 18 cubic yards of gravel. The import of 18 cubic yards of gravel is necessary for the widening of the driveway to accommodate Fire Department access and vehicular access to the house in case of an emergency.

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity.

The proposed development will comply with the required fire code, will not have adverse visual impact to adjacent properties and is in keeping with the character and scale of the community

D. That in granting the variance, the spirit and intent of this title will be observed. The granting of relief from the code will allow the applicant to enjoy the same rights enjoyed by other residents in the community.

The proposed addition required a Fire and Building Code compliant driveway. The granting of the variance will comply with the required health and safety measures required by the Fire Department.

E. That the variance does not grant special privilege to the applicant.

The proposed addition is in character and similar in scale with existing residential development and the applicant will have the opportunity to enjoy the same amenities enjoyed by other residents in the community.

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities.

The proposed project site is not on the current State of California Hazardous Waste and Substances Sites List.

G. That the variance request is consistent with the general plan of the City of Rolling Hills.

The proposed improvements are in character and scale as the existing neighborhood and preserves the rural character of the City.

Based upon the foregoing findings, and the evidence in the record, the Planning Commission hereby approves Zoning Case No. 21-05 request for a Conditional Use Permit for the construction of a 180 square feet mixed-use, a Site Plan Review for 71.6 cubic yards of grading, and a Variance for the import of 18 cubic yards of gravel, subject to the following conditions:

A. This approval shall expire within two years from the effective date of approval unless the approval granted is otherwise extended pursuant to the requirements of RHMC Sections 17.38.070 and 17.46.080.

B. If any condition of this resolution is violated, the entitlement granted by this resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed, if any, on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The stop work order will be lifted once the Applicant cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted, the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to Chapter 17.58 of the RHMC.

C. All requirements of the Building and Construction Ordinance, the Zoning Ordinance, and of the zone in which the subject property is located must be complied with unless otherwise set forth in this permit, or shown otherwise on an approved plan. Construction fencing may be required.

D. The lot shall be developed and maintained in substantial conformance with the site plan on file received on April 5, 2021 except as otherwise provided in these conditions. The working drawings submitted to the Department of Building and Safety for plan check review shall conform to the approved development plan. All conditions of the Site Plan Review approval shall be incorporated into the building permit working drawings, and where applicable complied with prior to issuance of a grading or building permit from the building department.

The conditions of approval of this Resolution shall be printed onto building plans submitted to the Building Department for review and shall be kept on site at all times.

Any modifications and/or changes to the approved project, including resulting from field conditions, shall be discussed and approved by staff prior to implementing the changes.

E. Prior to submittal of final working drawings to Building and Safety Department for issuance of building permits, the plans for the project shall be submitted to City staff for verification that the final plans are in compliance with the plans approved by the Planning Commission.

F. A licensed professional preparing construction plans for this project for Building Department review shall execute a Certificate affirming that the plans conform in all respects to this Resolution approving this project and all of the conditions set forth therein and the City's Building Code and Zoning Ordinance.

Further, the person obtaining a building and/or grading permit for this project shall execute a Certificate of Construction stating that the project will be constructed according to this Resolution and any plans approved therewith.

G. Structural lot coverage of the lot shall not exceed 7,756 square feet or 9.35% of the net lot area, in conformance with lot coverage limitations (20% maximum).

The total lot coverage proposed, including structures and flatwork, shall not exceed 15,802 square feet or 19.06%, of the net lot area, in conformance with lot coverage limitations (35% max).

H. 71.6 cubic yards of grading shall take place for the proposed project. The proposed grading of the lot, including the approved stable and corral set aside shall not exceed 59.9%.

I. A minimum of five-foot level path and/or walkway, which does not have to be paved, shall be provided around the entire perimeter of all structures, or as otherwise required by the Fire Department.

J. The applicant shall comply with all requirements of the Lighting Ordinance of the City of Rolling Hills (RHMC 17.16.190 E), pertaining to lighting on said property, roofing and material requirements of properties in the Very High Fire Hazard Severity Zone.

K. All utility lines to the residence, stable, and garage shall be placed underground, subject to all applicable standards and requirements.

L. A drainage plan, if required by the Building Department, shall be prepared and approved by City Staff prior to issuance of a construction permit. Such plan shall be subject to LA County Code requirements.

M. If applicable, the new landscaping shall be subject to the requirements of the City's Water Efficient Landscape Ordinance, (Chapter 13.18 of the RHMC).

N. The setback lines and roadway easement lines in the vicinity of the construction for this project shall remain marked throughout the construction.

O. Perimeter easements, including roadway easements and trails, if any, shall remain free and clear of any improvements including, but not be limited to fences-including construction fences, any hardscape, driveways, landscaping, irrigation and drainage devices, except as otherwise approved by the Rolling Hills Community Association.

P. Minimum of 65% of any construction materials must be recycled or diverted from landfills. The hauler of the materials shall obtain City's Construction and Demolition permits for waste hauling prior to start of work and provide proper documentation to the City.

Q. *During construction*, conformance with the air quality management district requirements, stormwater pollution prevention practices, county and local ordinances and engineering practices so that people or property are not exposed to undue vehicle trips, noise, dust, and objectionable odors shall be required.

R. *During construction*, the property owners shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

S. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: [http://www.wrnh.noaa.gov/lox/main.php?suite=safety&page=hazard\\_definitions#FIRE](http://www.wrnh.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE). It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions. Should a red flag warning be declared and if work is to be conducted on the property, the contractor shall have readily available fire extinguisher.

T. The property owners shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage and storm water drainage facilities management. Further the property owners shall be required to conform to the County Health Department requirements for a septic system, if a new septic system is required.

U. Prior to finaling of the project an "as constructed" set of plans and certifications, including certifications of ridgelines of the structures, shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted on the "as built" plan.

V. The applicant shall execute an Affidavit of Acceptance of all conditions of this permit pursuant to Zoning Ordinance, or the approval shall not be effective. The affidavit shall be recorded together with the resolution.

PASSED, APPROVED AND ADOPTED THIS 15TH DAY OF JUNE 2021.

---

BRAD CHELF, CHAIRMAN

ATTEST:

---

JANELY SANDOVAL, CITY CLERK

STATE OF CALIFORNIA                 )  
COUNTY OF LOS ANGELES         ) §§  
CITY OF ROLLING HILLS             )

I certify that the foregoing Resolution No. 2021-07 entitled:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS GRANTING APPROVAL FOR A CONDITIONAL USE PERMIT FOR AN ATTACHED MIXED-USE STRUCTURE; A VARIANCE FOR THE IMPORTATION OF GRAVEL; AND A SITE PLAN REVIEW FOR GRADING LOCATED AT 2 SPUR LANE (LOT 12-B-CH) ROLLING HILLS, CA (RAJEWSKI). THE PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT

was approved and adopted at a regular meeting of the Planning Commission on June 15, 2021 by the following roll call vote:

AYES:

NOES:

ABSENT:

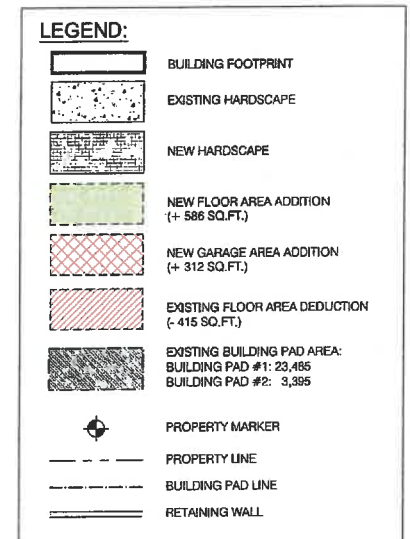
ABSTAIN:

and in compliance with the laws of California was posted at the following:

Administrative Offices.

---

JANELY SANDOVAL, CITY CLERK



**SECTION 1**  
SCALE: 1/4" = 1'-0"

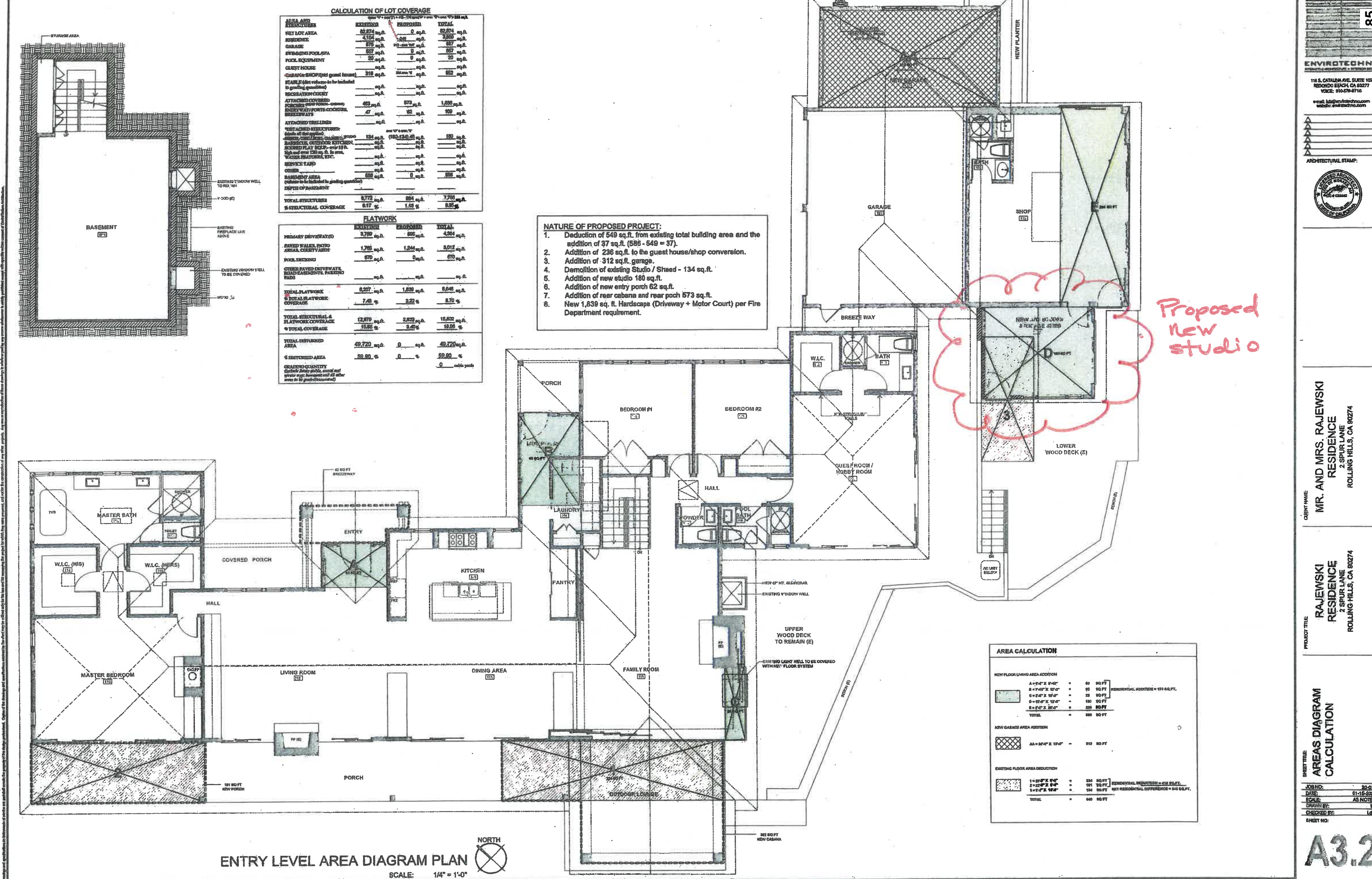
**GRADING AREA 1**  
SCALE: 1/8" = 1'-0"

**GRADING AREA 2**  
SCALE: 1/8" = 1'-0"

**PROPOSED SITE PLAN**  
SCALE: 1/16" = 1'-0"



A4.0



CALCULATION OF LOT COVERAGE		
AREA AND STRUCTURE	EXISTING	PROPOSED
LOT AREA	82,874 sq. ft.	0 sq. ft.
RESIDENCE	4,104 sq. ft.	0 sq. ft.
GARAGE	879 sq. ft.	0 sq. ft.
SWIMMING POOL/SPA	62 sq. ft.	0 sq. ft.
POOL EQUIPMENT	20 sq. ft.	0 sq. ft.
GUEST HOUSE	312 sq. ft.	0 sq. ft.
CARWASH/SHOP (old guest house)	312 sq. ft.	0 sq. ft.
STABLES (old vehicle to be included in grading calculation)	0 sq. ft.	0 sq. ft.
RECREATION COURT	0 sq. ft.	0 sq. ft.
ATTACHED COVERED PORCHES (new house - existing)	453 sq. ft.	573 sq. ft.
DRIVEWAY/PORTS COCKPITS, BREAKWAYS	47 sq. ft.	62 sq. ft.
ATTACHED TRELLISES	0 sq. ft.	0 sq. ft.
DETACHED STRUCTURES (shown on their respective sheets)	134 sq. ft.	134 sq. ft.
BARNSHED, OUTDOOR KITCHEN, RECREATION COURT, etc.	0 sq. ft.	0 sq. ft.
High and over 120 sq. ft. in area	0 sq. ft.	0 sq. ft.
WATER FEATURES, ETC.	0 sq. ft.	0 sq. ft.
SERVICE YARD	0 sq. ft.	0 sq. ft.
OTHER	0 sq. ft.	0 sq. ft.
BASMENT AREA (shown on its included in grading calculation)	650 sq. ft.	0 sq. ft.
DEPTH OF BASEMENT	0 sq. ft.	0 sq. ft.
TOTAL STRUCTURES	5,772 sq. ft.	694 sq. ft.
% STRUCTURAL COVERAGE	6.97 %	1.18 %

FLATWORK		
EXISTING	PROPOSED	TOTAL
PAVED DRIVEWAY(S)	3,792 sq. ft.	0 sq. ft.
PAVED WALK, PATIO, AREA, DRIVEWAYS	1,765 sq. ft.	1,244 sq. ft.
POOL DECKING	670 sq. ft.	0 sq. ft.
OTHER PAVED DRIVEWAYS, ROAD EASEMENTS, PARKING PADS	0 sq. ft.	0 sq. ft.
TOTAL FLATWORK	6,227 sq. ft.	1,244 sq. ft.
% TOTAL FLATWORK COVERAGE	7.45 %	2.22 %
TOTAL STRUCTURAL & FLATWORK COVERAGE	12,999 sq. ft.	2,538 sq. ft.
% TOTAL COVERAGE	15.66 %	3.40 %
TOTAL DISTURBED AREA	49,720 sq. ft.	0 sq. ft.
% DISTURBED AREA	59.90 %	0 %
CHANGING QUANTITY	0 sq. ft.	0 sq. ft.

- NATURE OF PROPOSED PROJECT:**
1. Deduction of 549 sq. ft. from existing total building area and the addition of 37 sq. ft. (586 - 549 = 37).
  2. Addition of 236 sq. ft. to the guest house/shop conversion.
  3. Addition of 312 sq. ft. garage.
  4. Demolition of existing Studio / Shed - 134 sq. ft.
  5. Addition of new studio 180 sq. ft.
  6. Addition of new entry porch 62 sq. ft.
  7. Addition of rear cabana and rear porch 573 sq. ft.
  8. New 1,839 sq. ft. Hardscape (Driveway + Motor Court) per Fire Department requirement.

AREA CALCULATION		
NEW FLOOR LIVING AREA ADDITION		
A = 14'-0" X 14'-0"	196 sq. ft.	RESIDENTIAL ADDITION = 170 sq. ft.
B = 14'-0" X 14'-0"	196 sq. ft.	
C = 14'-0" X 14'-0"	196 sq. ft.	
D = 14'-0" X 14'-0"	196 sq. ft.	
TOTAL	784 sq. ft.	
NEW GARAGE AREA ADDITION		
AA = 24'-0" X 14'-0"	336 sq. ft.	
EXISTING FLOOR AREA REDUCTION		
1 = 14'-0" X 14'-0"	196 sq. ft.	RESIDENTIAL REDUCTION = 416 sq. ft.
2 = 14'-0" X 14'-0"	196 sq. ft.	
3 = 14'-0" X 14'-0"	196 sq. ft.	
TOTAL	588 sq. ft.	

85

ENVIROTECHNO

118 S. CATALINA AVE. SUITE 102  
REDWOOD BEACH, CA 90277  
VOICE: 310-379-4716  
email: info@envirotechno.com  
website: envirotechno.com

ARCHITECTURAL STAMP:

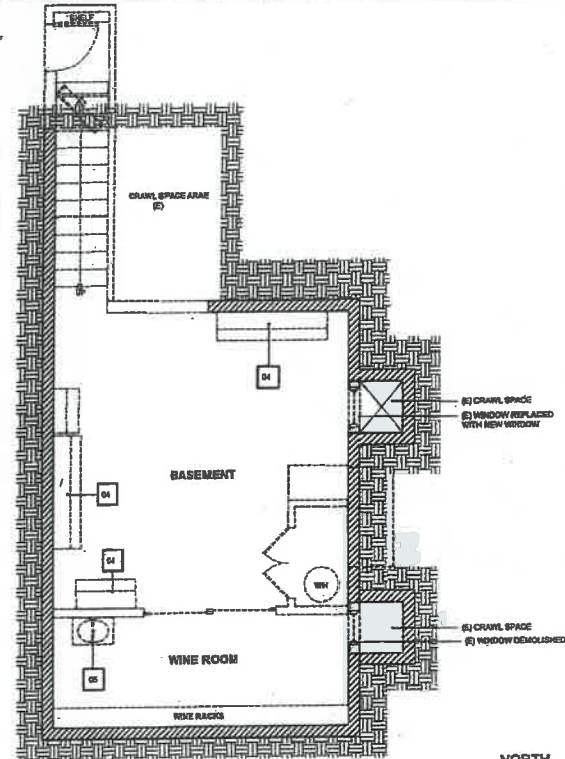
MR. AND MRS. RAJEWSKI  
RESIDENCE  
2 SPUR LANE  
ROLLING HILLS, CA 90274

PROJECT TITLE:  
RAJEWSKI  
RESIDENCE  
2 SPUR LANE  
ROLLING HILLS, CA 90274

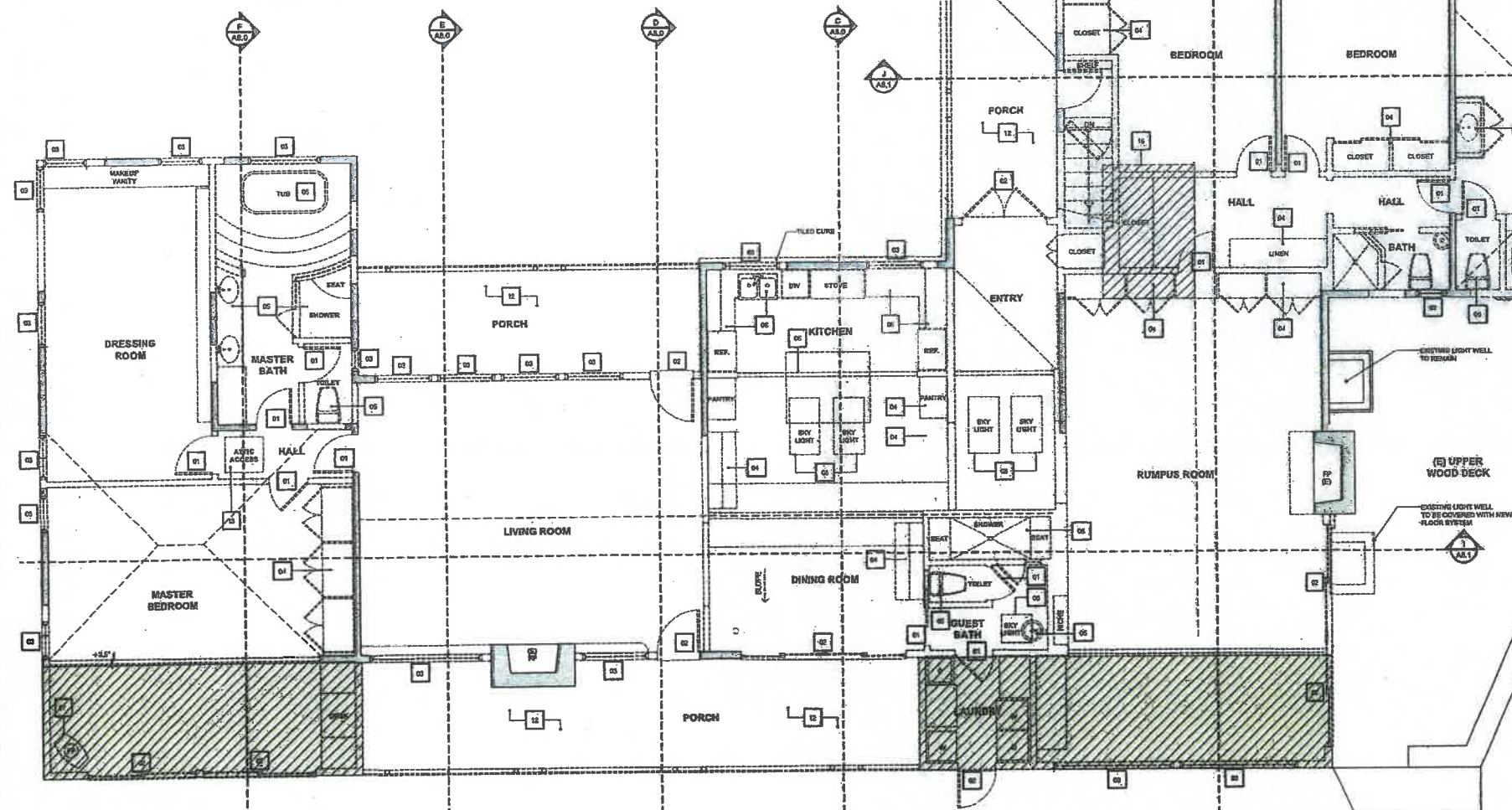
SHEET TITLE:  
AREAS DIAGRAM  
CALCULATION

JOB NO.: 30-011  
DATE: 01-18-2021  
SCALE: AS NOTED  
DRAWN BY: LF  
CHECKED BY: LF  
SHEET NO:

A3.2



**PROPOSED BASEMENT LEVEL  
DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"



**PROPOSED ENTRY LEVEL DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

# DEMOLITION NOTES

- CONTRACTOR TO VERIFY EXTENT OF EXISTING DEMOLITION THROUGHOUT.
- ON-DOOR OR (AND) RELOCATE ANY PLUMBING OR ELECTRICAL AFFECTED BY DEMOLITION.
- RELOCATE ALL SWITCHES AND ELECTRICAL OUTLETS AFFECTED BY NEW WORK. VERIFY NEW LOCATION WITH OWNER AND ARCHITECT.
- REFER TO ROOF PLAN AND 3D FOR PORTIONS OF ROOF TO BE REMOVED. REMOVE ALL EXISTING ROOF FLASH.
- REMOVE EXISTING STUCCO AND EXPOSE FRESH. PREPARE SURFACE FOR NEW EXTERIOR FINISH. SEE ELEVATION.
- REMOVE EXISTING MILLWORK / CROWN - COORDINATE WITH OWNER.
- REMOVE EXISTING FINISHED FLOOR AND PREPARE SURFACE FOR NEW FLOORING MATERIAL.
- REFER TO RELOCATED CEILING PLAN FOR NEW CEILING / SCOFF LAYOUT PRIOR TO DEMOLISHING ANY EXISTING CEILING AND SCOFFS.

## DEMOLITION LEGEND

- LEGEND:**
- EXISTING STUD WALL TO REMAIN
  - EXISTING STUD WALL TO BE DEMOLISHED
  - EXISTING FLOOR TO BE DEMOLISHED
  - EXISTING INTERNAL SPACE TO BE CONVERTED TO EXTERIOR SPACE

## DEMOLITION KEY NOTES

- REMOVE EXISTING INTERIOR DOOR
- REMOVE EXISTING EXTERIOR DOOR REFER TO DOOR SCHEDULE FOR POSSIBLE REUSE. COORDINATE WITH OWNER
- REMOVE EXISTING WINDOW REFER TO WINDOW SCHEDULE FOR POSSIBLE REUSE. COORDINATE WITH OWNER
- REMOVE EXISTING MILLWORK
- REMOVE EXISTING BATH FIXTURES AND CABINETS
- REMOVE EXISTING KITCHEN FIXTURES AND CABINETS
- REMOVE EXISTING PREPARE
- REMOVE EXISTING ENLIGHTS
- REMOVE EXISTING STAIRS AT BASEMENT
- REMOVE EXISTING EXTERIOR STAIRS FINISH - EXISTING STAIRS TO REMAIN
- REMOVE EXISTING FLOOR FINISH AND PREPARE SURFACE FOR NEW FLOORING MATERIAL
- REMOVE EXISTING FINISH TILE AND PREPARE SURFACE FOR NEW "DAPPOC" STONE FINISH - COORDINATE HEIGHT, TIE BASE AND DRAINAGE AWAY FROM BUILDING WITH LANDSCAPE ARCHITECT
- ATTIC ACCESS TO BE RELOCATED
- REMOVE EXISTING EXTERIOR STAIRS. REFER TO CONSTRUCTION PLAN FOR NEW LAYOUT
- REMOVE EXISTING EXISTING TRAILER POST
- CUT-OUT EXISTING FLOOR FINISH TO ACCOMMODATE NEW BASEMENT ACCESS STAIRS - REFER TO CONSTRUCTION PLAN
- EXISTING ELECTRICAL PANEL TO BE REMOVED AND RELOCATED



CLIENT NAME:  
**MR. AND MRS. RAJEWSKI  
RESIDENCE  
2 SPUR LANE  
ROLLING HILLS, CA 90274**

PROJECT TITLE:  
**RAJEWSKI  
RESIDENCE  
2 SPUR LANE  
ROLLING HILLS, CA 90274**

SHEET TITLE:  
**DEMOLITION PLAN**

JOB NO.: 20-011  
DATE: 01-15-2021  
SCALE: AS NOTED  
DRAWN BY: LHM  
CHECKED BY: LHM  
SHEET NO.:

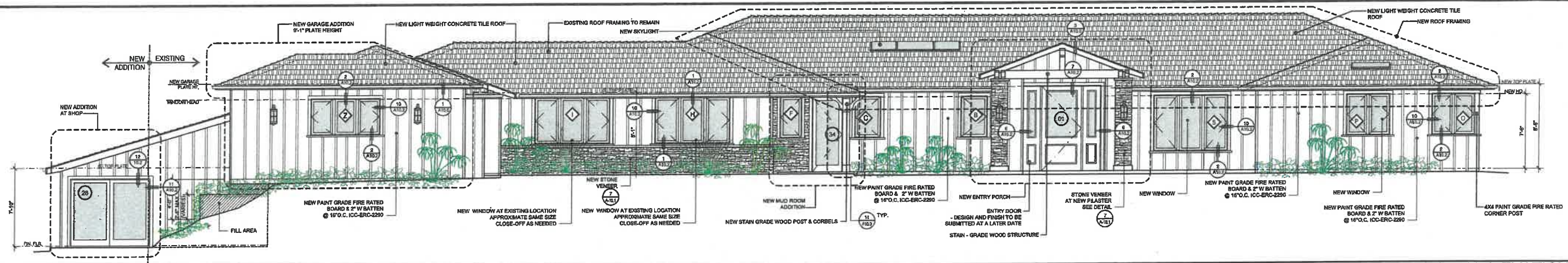
**A2.0**

**ENVIROTECHNO**  
INTERACTIVE ARCHITECTURE • INTERIOR DESIGN

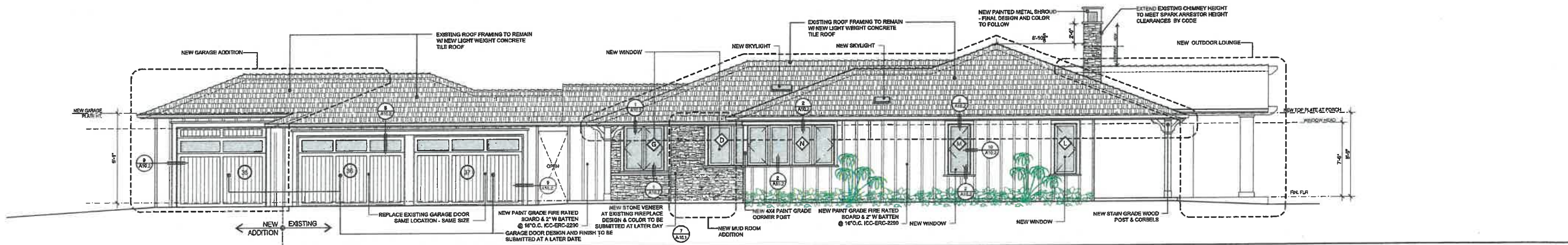
118 S. CATALINA AVE. SUITE 102  
REDONDO BEACH, CA 90277  
VOICE: 310-379-9716  
e-mail: info@envirotechno.com  
website: envirotechno.com

ARCHITECTURAL STAMP:

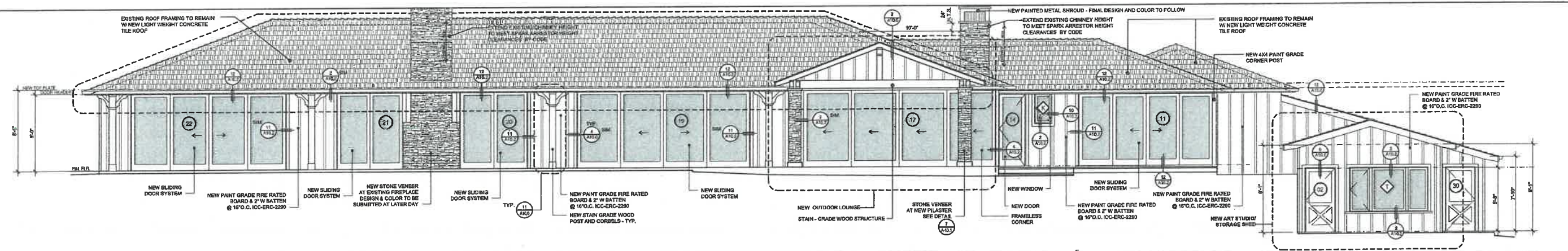
SEAL OF ARCHITECT  
STATE OF CALIFORNIA



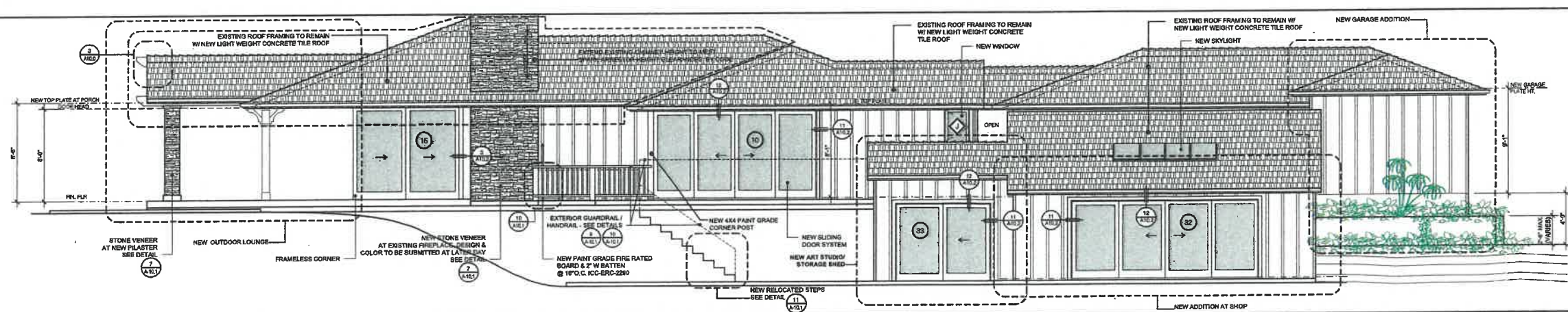
**NORTH ELEVATION** 1  
1/4" = 1'-0"



**EAST ELEVATION** 2  
1/4" = 1'-0"



**SOUTH ELEVATION** 3  
1/4" = 1'-0"



**WEST ELEVATION** 4  
1/4" = 1'-0"

CLIENT NAME:  
**MR. AND MRS. RAJEWSKI**  
**RESIDENCE**  
2 SPUR LANE  
ROLLING HILLS, CA 90274

PROJECT TITLE:  
**RAJEWSKI**  
**RESIDENCE**  
2 SPUR LANE  
ROLLING HILLS, CA 90274

SHEET TITLE:  
**ELEVATIONS**

JOB NO: 20-011  
DATE: 01-15-2021  
SCALE: AS NOTED  
DRAWN BY: BP  
CHECKED BY: LJM  
SHEET NO:

**A7.0**  
C.C.

BID SET - 01/15/2021

Drawings and specifications are instruments of service and shall remain the property of the design professional. Copies of the drawings and specifications retained by the client may be utilized only for the use and for the construction of any other projects. Any use or reproduction of these drawings in whole or in part by any means whatsoever is strictly prohibited except with specific written consent of Envirotechno Architecture.

QUAIL RIDGE ROAD

TO 2"x4" L.P. WITH  
1/4" DIA. TIE TO 1/2" DIA.  
PROPERTY CORNER

SPUR LANE

DRIVEWAY EXTENSION  
SUBJECT TO  
DISCRETIONARY  
APPROVAL

S36°34'20"E  
36.28'

EXISTING GATE

7'-6" 12'-6" 10" 3' 20'-0"

NEW 3'-10" STONE WALL

NEW GRADED STRIP TO  
DRIVEWAY WIDENING TO 20'  
PER FIRE DEPARTMENT  
REQUIREMENTS  
18 Cu. Yds FILL

NEW 3'-10" STONE WALL

NEW PLANTER WALL  
2'-6" MAXIMUM HEIGHT  
(VARIES)

NEW GRADING AREA  
4 Cu. Yds Under New Garage  
3 Cu. Yds New Planter

EXISTING (2) DISPERSAL SYSTEM  
25' Length X 2' Width X 3.5' Deep

EXISTING SEPTIC TANK  
8' Length X 4' Width X 4' Deep

FUTURE SEPTIC TANK LOCATION  
(IS 1500 G. TANK)  
10'-10" Length X 4'-10" Width X 5'-8" Deep  
FOR FUTURE EXPANSION  
PER PERCOLATION FEASIBILITY STUDY  
REPORT BY COAST GEOTECHNICAL, INC.  
W.O. 612121-01 DATED: 02/21/2021

THE STUDIO IS NOT PERMITTED  
SUBJECT TO CONDITIONAL USE PERMIT

FUTURE TWO LEACH LINES  
3' Wide x 36' Length  
FOR FUTURE EXPANSION  
PER PERCOLATION FEASIBILITY STUDY  
REPORT BY COAST GEOTECHNICAL, INC.  
W.O. 612121-01 DATED: 02/21/2021

CONSTRUCTION SHALL COMMENCE ONLY AFTER  
PLANNING COMMISSION APPROVAL

**PROPOSED SCOPE FOR  
REVIEW ON JUNE 15, 2021  
BY THE PLANNING  
COMMISSION**

**NOTE: ALL OTHER WORK  
SHOWN HAS BEEN  
APPROVED PREVIOUSLY  
AND IS CURRENTLY  
UNDER CONSTRUCTION.**

POSSIBLE FUTURE  
LOCATION FOR  
BARN AND CORRAL  
(1000 SQ. FT.)

EXISTING 3'-24" STONE WALL TO REMAIN

NEW GRADED TO PROVIDE  
FIRETRUCK ACCESS PER  
FIRE DEPARTMENT  
REQUIREMENTS  
6 Cu. Yds CUT

NEW STONE WALL  
2'-6" MAX

NEW CONCRETE  
MOTOR COURT

EXISTING PORCH  
(NOT INCLUDE ON BUILD PAD COVERAGE)

NEW ENTRY WAY  
(NOT INCLUDE ON BUILD PAD COVERAGE)

EXISTING PLANTER  
TO BE DEMOLISHED

NEW FLOOR AREA  
ADDITION

NEW FLOOR AREA  
ADDITION

NEW FLOOR AREA  
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NEW FLOOR AREA  
ADDITION

NEW FLOOR AREA  
ADDITION

DRIVEWAY WITH 18Cu.Yds FILL  
SCALE: 1/8" = 1'-0"

LEGEND:

- BUILDING FOOTPRINT
- EXISTING HARDSCAPE
- NEW HARDSCAPE
- NEW FLOOR AREA ADDITION  
(+ 586 SQ. FT.)
- NEW GARAGE AREA ADDITION  
(+ 312 SQ. FT.)
- EXISTING FLOOR AREA DEDUCTION  
(- 415 SQ. FT.)
- EXISTING BUILDING PAD AREA:  
BUILDING PAD #1: 23,485  
BUILDING PAD #2: 3,395
- PROPERTY MARKER
- PROPERTY LINE
- BUILDING PAD LINE
- RETAINING WALL

OUTDOOR LIVING

SECTION 1  
SCALE: 1/4" = 1'-0"

GRADING AREA 1  
SCALE: 1/8" = 1'-0"

GRADING AREA 2  
SCALE: 1/8" = 1'-0"

PROPOSED SITE PLAN  
SCALE: 1/16" = 1'-0"



CLIENT NAME:

MR. AND MRS. RAJEWSKI  
RESIDENCE  
2 SPUR LANE  
ROLLING HILLS, CA 90274

PROJECT TITLE:

RAJEWSKI  
RESIDENCE  
2 SPUR LANE  
ROLLING HILLS, CA 90274

SHEET TITLE:

PROPOSED  
SITE PLAN

JOB NO: 20-011  
DATE: 01-15-2021  
SCALE: AS NOTED  
DRAWN BY: BF  
CHECKED BY: LJM  
SHEET NO:

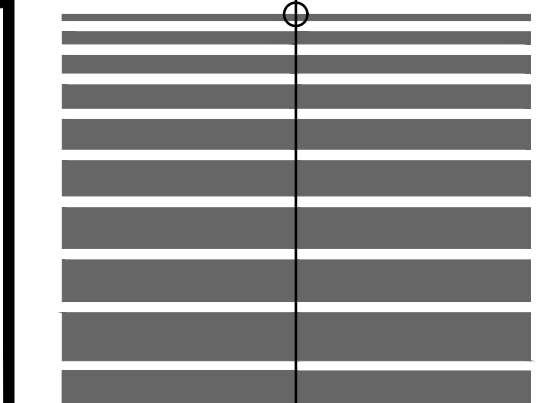
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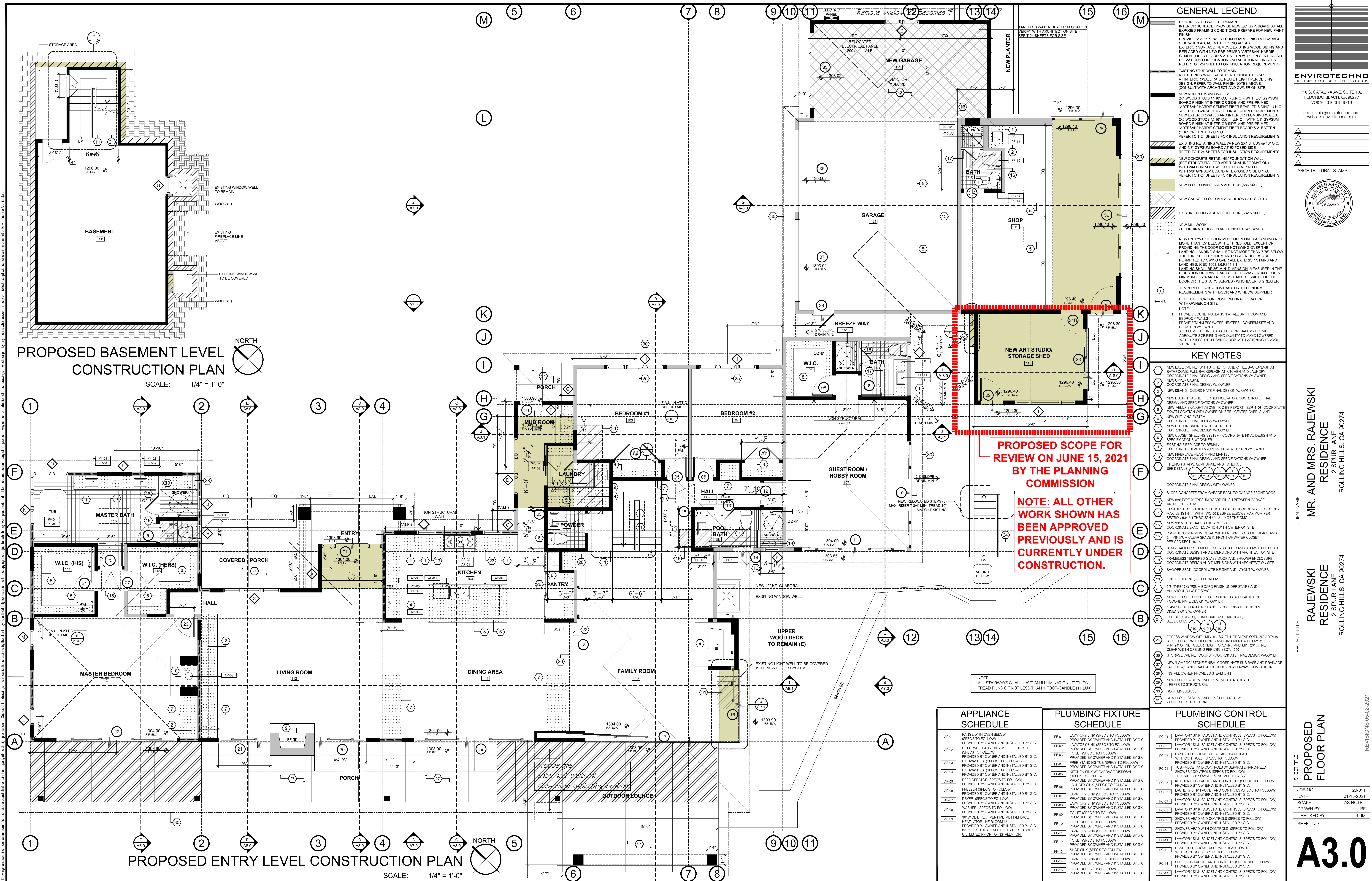
BID SET - 01/15/2021

ARCHITECTURAL STAMP:



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GENERAL LEGEND

- EXISTING STUD WALL TO REMAIN
- INTERIOR SURFACE: PROVIDE NEW 5/8" GYP. BOARD AT ALL EXPOSED FRAMING CONDITIONS. PREPARE FOR NEW PAINT FINISH
- PROVIDE 5/8" TYPE "X" GYPSUM BOARD FINISH AT GARAGE SIDE WHEN ADJACENT TO LIVING AREAS
- EXTERIOR SURFACE: REMOVE EXISTING WOOD SIDING AND REPLACE WITH NEW PRE-PRIME "ARTESAN" HARDE CEMENT FIBER BOARD & 2" BATTEN @ 12" ON CENTER. SEE ELEVATIONS FOR LOCATION AND ADDITIONAL FINISHES. REFER TO T-24 SHEETS FOR INSULATION REQUIREMENTS.
- EXISTING STUD WALL TO REMAIN
- AT EXTERIOR WALL RAISE PLATE HEIGHT TO 6'-6"
- AT INTERIOR WALL RAISE PLATE HEIGHT PER CEILING DESIGN. REFER TO WALL FINISH NOTES ABOVE. (CONSULT WITH ARCHITECT AND OWNER ON SITE)
- NEW NON-FLUING WALLS
- 2x4 WOOD STUDS @ 16" O.C. - U.N.O. - WITH 5/8" GYPSUM BOARD FINISH AT INTERIOR SIDE AND PRE-PRIME "ARTESAN" HARDE CEMENT FIBER BEVELED SIDING U.N.O. REFER TO T-24 SHEETS FOR INSULATION REQUIREMENTS.
- NEW EXTERIOR WALLS AND INTERIOR PLUMBING WALLS
- 2x6 WOOD STUDS @ 16" O.C. - U.N.O. - WITH 5/8" GYPSUM BOARD FINISH AT INTERIOR SIDE AND PRE-PRIME "ARTESAN" HARDE CEMENT FIBER BOARD & 2" BATTEN @ 12" ON CENTER - U.N.O.
- REFER TO T-24 SHEETS FOR INSULATION REQUIREMENTS.
- EXISTING RETAINING WALL W/ NEW 2x4 STUDS @ 16" O.C. AND 5/8" GYPSUM BOARD AT EXPOSED SIDE
- REFER TO T-24 SHEETS FOR INSULATION REQUIREMENTS.
- NEW CONCRETE RETAINING FOUNDATION WALL (SEE STRUCTURAL FOR ADDITIONAL INFORMATION)
- WITH 2x4 FUR-OUT WOOD STUDS AT 16" O.C.
- WITH 5/8" GYPSUM BOARD AT EXPOSED SIDE U.N.O. REFER TO T-24 SHEETS FOR INSULATION REQUIREMENTS.
- NEW FLOOR LIVING AREA ADDITION (588 SQ. FT.)
- NEW GARAGE FLOOR AREA ADDITION (312 SQ. FT.)
- EXISTING GARAGE FLOOR AREA DEDUCTION (-415 SQ. FT.)
- NEW MILLWORK
- COORDINATE DESIGN AND FINISHES WITH OWNER
- NEW ENTRY/EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1'-2" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7'-2" BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (CBC 1008.1.6.R311.3.1)
- LANDING SHALL BE 36" MIN. DIMENSION, MEASURED IN THE DIRECTION OF TRAVEL AND SLOPED AWAY FROM DOOR A MINIMUM OF 2% AND NO LESS THAN THE WIDTH OF THE DOOR OR THE STAIRS SERVED, WHICHEVER IS GREATER.
- TEMPERED GLASS - CONTRACTOR TO CONFIRM REQUIREMENTS WITH DOOR AND WINDOW SUPPLIER WITH OWNER ON SITE.
- NOTE:
- 1. PROVIDE SOUND INSULATION AT ALL BATHROOM AND BEDROOM WALLS
- 2. PROVIDE TANKLESS WATER HEATERS - CONFIRM SIZE AND LOCATION WITH OWNER
- 3. ALL PLUMBING LINES SHOULD BE "AQUAPLEX" - PROVIDE ADEQUATE SIZE PIPING AND QUALITY TO AVOID LOWERED WATER PRESSURE. PROVIDE ADEQUATE FASTENING TO AVOID VIBRATION.

KEY NOTES

- NEW BASE CABINET WITH STONE TOP AND 6" TILE BACKSPLASH AT BATHROOM, FULL BACKSPLASH AT KITCHEN AND LAUNDRY
- NEW NEW SLOTTED ABOVE - CO-ORDINATE FINAL DESIGN WITH OWNER
- NEW UPPER CABINET
- COORDINATE FINAL DESIGN WITH OWNER
- NEW ISLAND - COORDINATE FINAL DESIGN WITH OWNER
- NEW BUILT-IN CABINET FOR REFRIGERATOR. COORDINATE FINAL DESIGN AND SPECIFICATIONS WITH OWNER
- NEW NEW SLOTTED ABOVE - CO-ORDINATE FINAL DESIGN WITH OWNER
- COORDINATE FINAL DESIGN WITH OWNER
- NEW SHELVING SYSTEM
- NEW BUILT-IN CABINET WITH STONE TOP
- COORDINATE FINAL DESIGN WITH OWNER
- NEW CLOSET SHED SYSTEM - COORDINATE FINAL DESIGN AND SPECIFICATIONS WITH OWNER
- EXISTING FIREPLACE TO REMAIN
- COORDINATE FINAL DESIGN AND SPECIFICATIONS WITH OWNER
- NEW FIREPLACE HEARTH AND MANTEL NEW DESIGN WITH OWNER
- INTERIOR STAIRS, GUARDRAIL, AND HANDRAIL. SEE DETAILS
- COORDINATE FINAL DESIGN WITH OWNER
- SLOPE CONCRETE FROM GARAGE BACK TO GARAGE FRONT DOOR
- NEW 5/8" TYPE "X" GYPSUM BOARD FINISH BETWEEN GARAGE AND LIVING AREAS
- CLOTHES DRESSER EXHAUST DUCT TO RUN THROUGH WALL TO ROOF - MAX. LENGTH 14' WITH TWO 90 DEGREE ELBOWS MAXIMUM PER SECTION 504.3.1 THROUGH 504.3.1.2 OF THE CMC
- NEW 1/2" MIN. SQUARE ATIC ACCESS
- COORDINATE EXACT LOCATION WITH OWNER ON SITE
- PROVIDE 30" MINIMUM CLEAR WIDTH AT WATER CLOSET SPACE AND 24" MINIMUM CLEAR SPACE IN FRONT OF WATER CLOSET PER CBC SECT. 407.5
- SEMI-FRAMELESS TEMPERED GLASS DOOR AND SHOWER ENCLOSURE
- COORDINATE FINAL DESIGN AND DIMENSIONS WITH ARCHITECT ON SITE
- FRAMELESS TEMPERED GLASS DOOR AND SHOWER ENCLOSURE
- COORDINATE DESIGN AND DIMENSIONS WITH ARCHITECT ON SITE
- SHOWER SEAT - COORDINATE HEIGHT AND LAYOUT WITH OWNER
- LINE OF CEILING / SOFFIT ABOVE
- 5/8" TYPE "X" GYPSUM BOARD FINISH UNDER STAIRS AND ALL AROUND INSIDE SPACE
- NEW PRE-PRIME FULL HEIGHT SLIDING GLASS PARTITION
- COORDINATE DESIGN WITH OWNER
- "CAVE" DESIGN AROUND RANGE - COORDINATE DESIGN & DIMENSIONS WITH OWNER
- EXTERIOR STAIRS, GUARDRAIL, AND HANDRAIL. SEE DETAILS
- EGRESS WINDOW WITH MIN. 5.7 SQ. FT. NET CLEAR OPENING AREA (5 SQ. FT. FOR GRADE OPENINGS AND BASEMENT WINDOW WELLS). MIN. 20" OF NET CLEAR HEIGHT OPENING AND MIN. 20" OF NET CLEAR WIDTH OPENING PER CBC SECT. 1029
- NEW LOW-POC STONE FINISH. COORDINATE FINAL DESIGN WITH OWNER
- STORAGE CABINET DOORS - COORDINATE FINAL DESIGN WITH OWNER
- NEW LAMP-POC STONE FINISH. COORDINATE SUB BASE AND DRAINAGE LAYOUT WITH LANDSCAPE ARCHITECT - DRAIN AWAY FROM BUILDING.
- INSTALL OWNER PROVIDED STEAM UNIT.
- NEW FLOOR SYSTEM OVER REMOVED STAIR SHAFT
- REFER TO STRUCTURAL
- ROOF LINE ABOVE
- NEW FLOOR SYSTEM OVER EXISTING LIGHT WELL
- REFER TO STRUCTURAL

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CLIENT NAME:

**MR. AND MRS. RAJEWSKI**  
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PROJECT TITLE:

**RAJEWSKI**  
**RESIDENCE**  
2 SPUR LANE  
ROLLING HILLS, CA 90274

SHEET TITLE:

**PROPOSED**  
**FLOOR PLAN**

JOB NO: 20-011  
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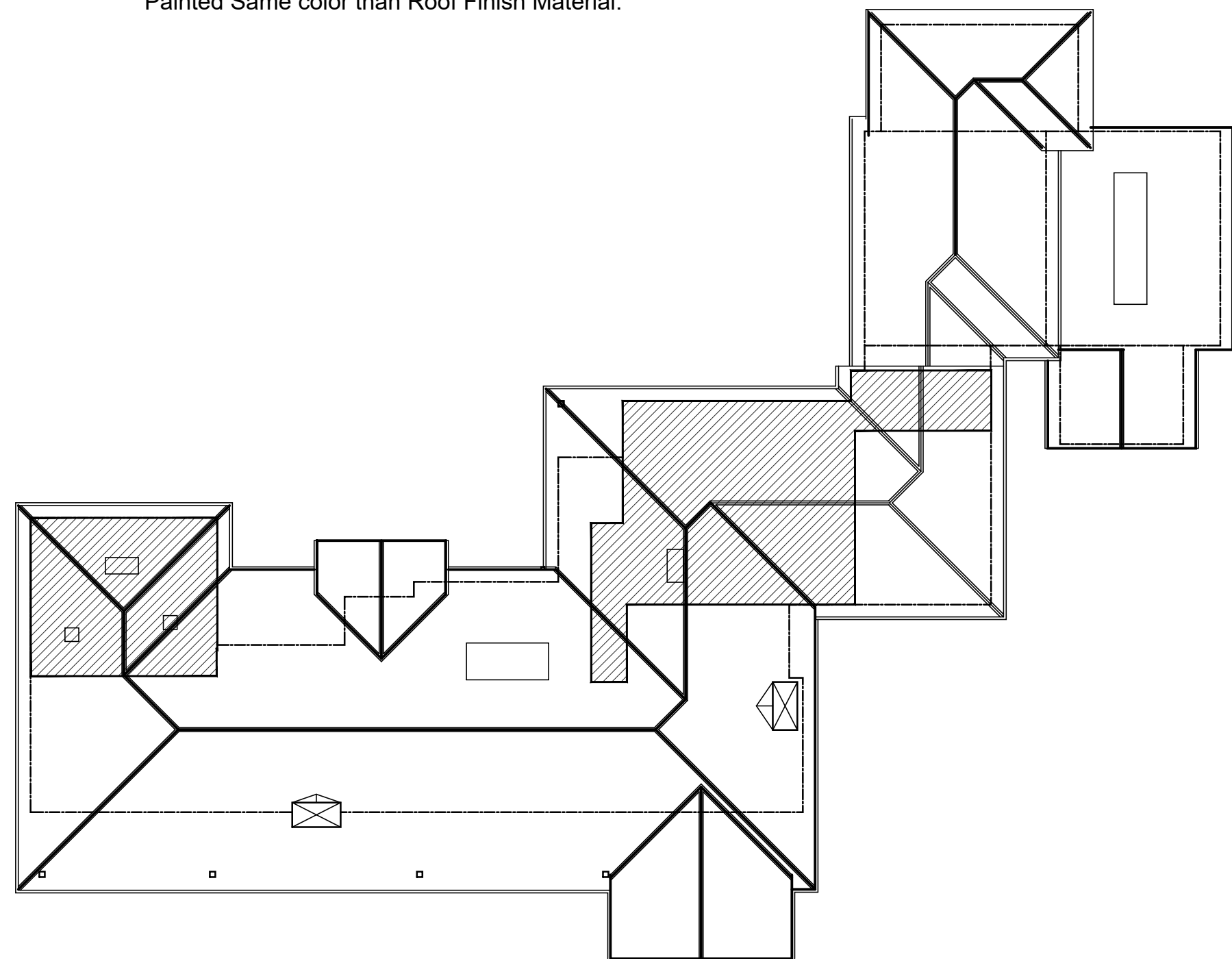
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REVISIONS 05-02-2021

ATTIC AREA

Attic Vent Calculations:  
Vent Area = 0.67 sq. ft.

Attic area = 1,529 sq. ft. / 150 = 10.19 sq. ft. of vents / 0.67 = 15.21 = 16 Vents provided  
attic vents - provided - Flat Style Vents by Ohagins Inc. (ICC-9650A) ;  
Painted Same color than Roof Finish Material.



NEW ROOF AT NEW GARAGE

NEW ROOF  
AT SHOP

NEW ROOF  
AT STUDIO

NEW ROOF AT NEW  
ENTRY PORCH

**PROPOSED SCOPE FOR  
REVIEW ON JUNE 15, 2021  
BY THE PLANNING  
COMMISSION**

**NOTE: ALL OTHER WORK  
SHOWN HAS BEEN  
APPROVED PREVIOUSLY  
AND IS CURRENTLY  
UNDER CONSTRUCTION.**

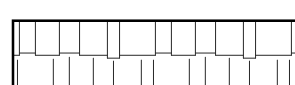
ROOF NOTES

1. ROOF COVERING SHALL BE CLASS 'A' AS SPECIFIED IN SECTION 1505.2
2. VALLEY FLASHINGS SHALL BE NO LESS THAN 0.019 INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER 36-IN. WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72-POUND MINERAL SURFACED NON-PERFORATED CAP SHEET MEETING ASTM D3269 RUNNING THE FULL LENGTH OF THE VALLEY
3. ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
4. VENT OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES AND UNDER FLOOR VENTS SHALL RESIST THE INTRUSION OF BURNING EMBERS AND FLAME THROUGH THE VENT OPENINGS. VENT OPENING SHALL COMPLY WITH THE FOLLOWING:
  - A. LISTED VENT COMPLYING WITH ASTM E2886 OR
  - B. PROTECTED BY CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH MIN. 1/16" AND MAX. 1/8" OPENINGS.
5. VENTS SHALL NOT BE INSTALLED ON UNDERSIDE OF EAVES AND CORNICES UNLESS ONE OF THE CONDITIONS SET FORTH IN SECTION 700A.3 OR R337.6.3 ARE MET.
6. UN-VENTED ENCLOSED RAFTER ASSEMBLIES AT 'CONTACT CEILING' SHALL BE COMPLETELY FILLED AT REQUIRED RATING PER T-24 SHEETS WITH OPEN CELL INSULATION AND SHALL COMPLY WITH SECTION R-606.5 - C.F.C. 2015.

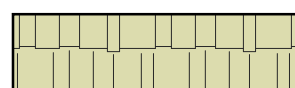
KEY NOTES

- |    |  |
|----|--|
| 01 | LINE OF BUILDING BELOW   |
| 02 | NEW 4" RECTANGULAR PAINTED, GALVANIZED ALUMINUM GUTTER. SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS - AT EXISTING ROOF EAVE ADD 2X PAINTED FASCIA BOARD   |
| 03 | NEW 4" RECTANGULAR PAINTED, GALVANIZED ALUMINUM DOWNSPOUT. COORDINATE FINAL LOCATION W/ OWNER ON SITE.   |
| 04 | EXTEND EXISTING CHIMNEY HEIGHT (10'-0" CLEAR AND 2'-0" HIGH FROM ANY ADJACENT ROOF) TO MEET SPARK ARRESTOR HEIGHT CLEARANCES REQUIRED BY CODE - PROVIDE NEW PAINTED METAL SHROUD - CONFIRM DESIGN AND FINISH W/ ARCHITECT  |
| 05 | CHIMNEY CRICKET AS NEED IT - SEE DETAIL  |
| 06 | 1'-6" x 1'-6" FLAT SKYLIGHT W/ SOLAR GREY GLASS AS MANUFACTURED BY VELLUX, ICC-ES LEGACY REPORT NER-216. GREY ANODIZED ALUMINUM SKYLIGHT MOUNTED ON A GREY ANODIZED ALUMINUM GLAZED WOOD FRAME CURB. SCREW TO CURB AND SEAL SCREW HEADS WITH SILICONE CAULKING - SEE DETAIL  |
| 07 | 4'-0" x 2'-0" FLAT SKYLIGHT W/ SOLAR GREY GLASS AS MANUFACTURED BY VELLUX, ICC-ES LEGACY REPORT NER-216. GREY ANODIZED ALUMINUM SKYLIGHT MOUNTED ON A GREY ANODIZED ALUMINUM GLAZED WOOD FRAME CURB. SCREW TO CURB AND SEAL SCREW HEADS WITH SILICONE CAULKING - SEE DETAIL. CONFIRM SIZE AND FINAL LOCATION W/ OWNER  |
| 08 | 10'-0" x 4'-6" FLAT SKYLIGHT W/ SOLAR GREY GLASS AS MANUFACTURED BY VELLUX, ICC-ES LEGACY REPORT NER-216. GREY ANODIZED ALUMINUM SKYLIGHT MOUNTED ON A GREY ANODIZED ALUMINUM GLAZED WOOD FRAME CURB. SCREW TO CURB AND SEAL SCREW HEADS WITH SILICONE CAULKING - SEE DETAIL. CONFIRM SIZE AND FINAL LOCATION W/ OWNER |
| 09 | 10'-0" x 4'-0" FLAT SKYLIGHT W/ SOLAR GREY GLASS AS MANUFACTURED BY VELLUX, ICC-ES LEGACY REPORT NER-216. GREY ANODIZED ALUMINUM SKYLIGHT MOUNTED ON A GREY ANODIZED ALUMINUM GLAZED WOOD FRAME CURB. SCREW TO CURB AND SEAL SCREW HEADS WITH SILICONE CAULKING - SEE DETAIL. CONFIRM SIZE AND FINAL LOCATION W/ OWNER |
| 10 | NEW SKYLIGHT CRICKET - SEE DETAIL  |
| 11 | LINE OF POST OR COLUMN BELOW   |

ROOF LEGEND



EXISTING ROOF STRUCTURE AND FINISH TO REMAIN  
PATCH AND REPAIR AS NEEDED

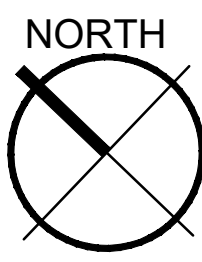


NEW ROOF STRUCTURE AND FINISH - WITH LIGHT WEIGHT TILE  
TO MATCH EXISTING - CLASS 'A'  
ICC - ES EVALUATION REPORT NO. ESR-1900 - LARR 25021  
CIRC. # 0919-0003

ATTIC VENTS BY OHAGINS PAINTED METAL VENT 'FLAT STYLE' TO  
MATCH ROOF TILE AND COLOR - (ICC - ES SB03 - 9650A)

PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



CLIENT NAME:  
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2 SPUR LANE  
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PROJECT TITLE:  
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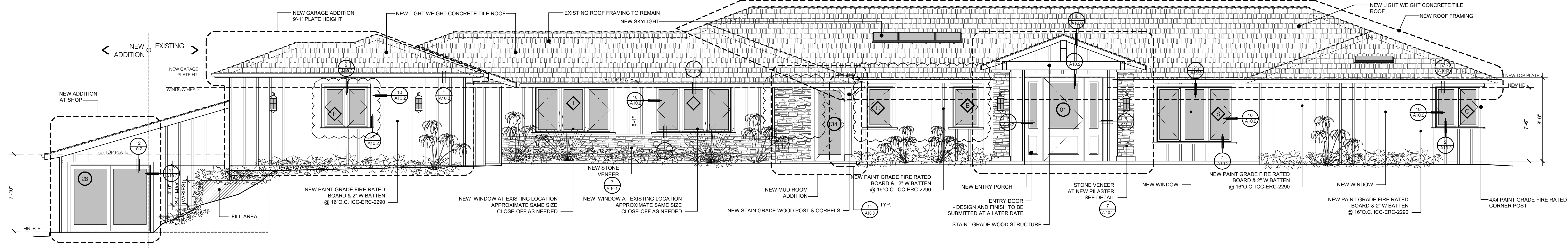
SHEET TITLE:  
**PROPOSED  
ROOF PLAN**

JOB NO: 20-011  
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SCALE: AS NOTED  
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CHECKED BY: LdM  
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**A6.0**

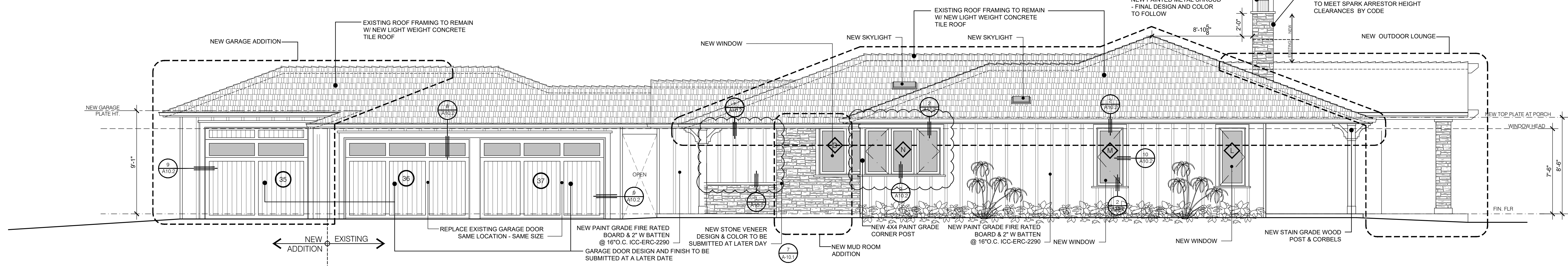
REVISIONS 05-02-2021

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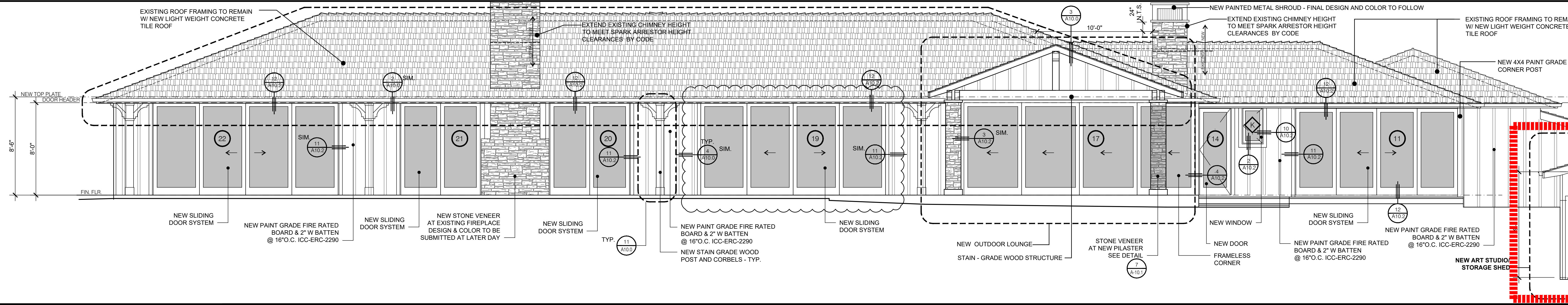
NORTH ELEVATION

1



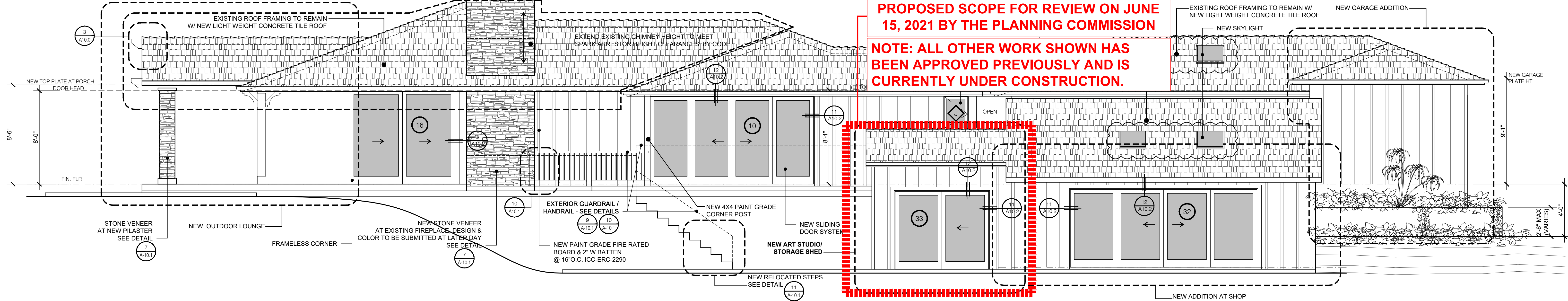
EAST ELEVATION

2



SOUTH ELEVATION

3



WEST ELEVATION

4

**PROPOSED SCOPE FOR REVIEW ON JUNE 15, 2021 BY THE PLANNING COMMISSION**  
**NOTE: ALL OTHER WORK SHOWN HAS BEEN APPROVED PREVIOUSLY AND IS CURRENTLY UNDER CONSTRUCTION.**

**PROPOSED SCOPE FOR REVIEW ON JUNE 15, 2021 BY THE PLANNING COMMISSION**  
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SHEET TITLE:  
**ELEVATIONS**

JOB NO: 20-011  
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REVISIONS 05-02-2021