



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

NO. 2 PORTUGUESE BEND ROAD
ROLLING HILLS, CA 90274
(310) 377-1521
FAX (310) 377-7288

AGENDA
Regular Planning Meeting

PLANNING COMMISSION
Tuesday, May 18, 2021

CITY OF ROLLING HILLS
6:30 PM

ADJOURNED REGULAR PLANNING COMMISSION MEETING This meeting is held pursuant to Executive Order N-29-20 issued by Governor Newsom on March 17, 2020. All Planning Commissioners will participate by teleconference. Public Participation: City Hall will be closed to the public until further notice. A live audio of the Planning Commission meeting will be available on the City's website (<https://www.rolling-hills.org/PC%20Meeting%20Zoom%20Link.pdf>). The meeting agenda is also available on the City's website (<https://www.rolling-hills.org/government/agenda/index.php>). Join Zoom Meeting via <https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFbltFZz09> Meeting ID: 993 4388 2035 Passcode: 647943 Members of the public may submit comments in real time by emailing the City Clerk's office at cityclerk@cityofrh.net. Your comments will become a part of the official meeting record. You must provide your full name but do not provide any other personal information (i.e., phone numbers, addresses, etc) that you do not want to be published.

1. **CALL MEETING TO ORDER**
2. **ROLL CALL**
3. **APPROVAL OF THE AGENDA**
4. **PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA**
5. **APPROVAL OF MINUTES**
 - 5.A. FEBRUARY 16, 2021 FIELD TRIP PLANNING COMMISSION MEETING MINUTES
FEBRUARY 16, 2021 EVENING PLANNING COMMISSION MEETING MINUTES
MARCH 16, 2021 FIELD TRIP PLANNING COMMISSION MEETING MINUTES
MARCH 16, 2021 EVENING PLANNING COMMISSION MEETING MINUTES
MARCH 30, 2021 EVENING ADJOURNED PLANNING COMMISSION MEETING MINUTES
RECOMMENDATION: Receive and file.
[02-16-21 PC Evening Regular Meeting Minutes.P.docx](#)
[02-16-21 PC Field Trip Regular Meeting Minutes.P.docx](#)
[03-16-21 Evening PC Regular Meeting Minutes.P.docx](#)
[03-16-21 Field Trip PC Regular Meeting Minutes.P.docx](#)

6. **RESOLUTIONS**

NONE.

7. **PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING**

7.A. ZONING CASE NO. 2021-01: REQUEST FOR: 1) CONDITIONAL USE PERMIT FOR A PROPOSED DETACHED GARAGE; 2) VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE, ENCROACHMENT INTO REQUIRED STABLE/CORRAL SETBACK FROM HABITABLE STRUCTURE AND GARAGE, AND FOR GRADING EXPORT; AND 3) SITE PLAN REVIEW FOR GRADING FOR PROPERTY LOCATED AT 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).

RECOMMENDATION: Review and consider applicants' requests and staff's recommendation.

05-10-21_23 Chuckwagon Rd.pdf

Development_Proposal_Table.23Chuckwagon.pdf

8. **NEW PUBLIC HEARINGS**

NONE.

8.A. ZONING CASE NO. 21-04: REQUEST FOR: 1) CONDITIONAL USE PERMITS FOR A PROPOSED SPORTS COURT AND MIXED USE STRUCTURE; AND 2) REQUEST FOR VARIANCES FOR: ENCROACHMENT INTO THE REQUIRED SETBACKS FOR THE SPORTS COURT AND MIXED USE STRUCTURE AND PAD COVERAGE EXCEEDANCE.

RECOMMENDATION: Review and consider approval of the proposed project.

ATTACHMENT A 15 Upper Blackwater Canyon Road

Development_Proposal_Table.15 Upper Blackwater Canyon.pdf

PC_Resolution_2021-05.pdf

9. **NEW BUSINESS**

NONE.

10. **OLD BUSINESS**

NONE.

11. **SCHEDULE FIELD TRIPS**

11.A. 75 SADDLEBACK ROAD (ZONING CASE NO. 20-09)

RECOMMENDATION: NONE.

11.B. 2 SPUR LANE (ZONING CASE NO. 21-05)

RECOMMENDATION: NONE.

12. **ITEMS FROM STAFF**

1. Trees and Views Committee Training on Wednesday, May 26, 2021 at 4 PM.

2. Trees and Views Committee Meeting on Tuesday, June 1, 2021 at 4 PM (field trip) and 5 PM (hearing).

3. 5th Cycle Housing Element will be presented on Tuesday, June 1, 2021 at 6 PM.

13. ITEMS FROM THE PLANNING COMMISSION

14. ADJOURNMENT

Next meeting: Wednesday, May 26, 2021 at 4:00 PM via Zoom

<https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFblIFZz09>

Meeting ID: 993 4388 2035 Passcode: 647943

Notice:

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting due to your disability, please contact the City Clerk at (310) 377-1521 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility and accommodation for your review of this agenda and attendance at this meeting.

Documents pertaining to an agenda item received after the posting of the agenda are available for review in the City Clerk's office or at the meeting at which the item will be considered.

All of the above resolutions and zoning case items have been determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines unless otherwise stated.



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 5.A

Mtg. Date: 05/18/2021

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: STEPHANIE GRANT , ADMINISTRATIVE CLERK

THRU: ELAINE JENG P.E., CITY MANAGER

**SUBJECT: FEBRUARY 16, 2021 FIELD TRIP PLANNING COMMISSION MEETING MINUTES
FEBRUARY 16, 2021 EVENING PLANNING COMMISSION MEETING MINUTES
MARCH 16, 2021 FIELD TRIP PLANNING COMMISSION MEETING MINUTES
MARCH 16, 2021 EVENING PLANNING COMMISSION MEETING MINUTES
MARCH 30, 2021 EVENING ADJOURNED PLANNING COMMISSION MEETING MINUTES**

DATE: May 18, 2021

BACKGROUND:

NONE

DISCUSSION:

NONE.

FISCAL IMPACT:

NONE.

RECOMMENDATION:

NONE.

ATTACHMENTS:

[02-16-21 PC Evening Regular Meeting Minutes.P.docx](#)
[02-16-21 PC Field Trip Regular Meeting Minutes.P.docx](#)
[03-16-21 Evening PC Regular Meeting Minutes.P.docx](#)
[03-16-21 Field Trip PC Regular Meeting Minutes.P.docx](#)
[03-30-21 PC Adjourned Regular Meeting Minutes.P.docx](#)

**REGULAR MEETING
OF THE PLANNING COMMISSION
CITY OF ROLLING HILLS
6:30 P.M.
TUESDAY, FEBRUARY 16, 2021
VIA TELECONFERENCE**

1. CALL MEETING TO ORDER

A regular meeting of the Planning Commission of the City of Rolling Hills was called to order by Chairman Chelf at 6:37 p.m. on Tuesday, February 16, 2021 via teleconference.

2. ROLL CALL

Commissioners Present:	Cardenas, Cooley, Kirkpatrick, and Chairman Chelf
Commissioners Absent:	None.
Others Present:	Meredith T. Elguira, Planning & Community Services Director Jane Abzug, Assistant City Attorney Stephanie Grant, Administrative Clerk Matt Seaburn, Planning Commissioner Bea Dieringer, Mayor Pro Tem Leah Mirsch, Councilmember Patrick Wilson, Councilmember Jeff Pieper, Mayor Elaine Jeng, City Manager

3. APPROVAL OF THE AGENDA

MOTION: Commissioner Cardenas moved that the Planning Commission approve the agenda as presented and Commissioner Cooley seconded the motion, which carried without objection and the motion was carried by voice vote.

AYES:	COMMISSIONERS: Cooley, Cardenas, Kirkpatrick, and Chairman Chelf.
NOES:	COMMISSIONERS: None.
ABSENT:	COMMISSIONERS: None.
ABSTAIN:	COMMISSIONERS: None.

RECOGNITION OF COMMISSIONER MATT SEABURN FOR HIS SERVICE TO THE CITY OF ROLLING HILLS.

The Planning Commission gave recognition to Commissioner Seaburn for his service and the City Manager, Elaine Jeng, presented him with a plaque. There were several City Councilmembers in attendance at this meeting that thanked him for his service.

4. PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA

-1-

Minutes
Regular Planning Commission Meeting
02/16/2021

NONE.

5. APPROVAL OF MINUTES

5A SPECIAL PLANNING COMMISSION MEETING MINUTES OF DECEMBER 22, 2020

MOTION: Commissioner Cardenas moved that the Planning Commission approve the December 22, 2020 Special Planning Commission Meeting minutes as presented and Commissioner Kirkpatrick seconded the motion.

AYES: COMMISSIONERS: Cooley, Cardenas, Kirkpatrick, and Chairman Chelf
NOES: COMMISSIONERS: None.
ABSENT: COMMISSIONERS: None.
ABSTAIN: COMMISSIONERS: None.

6. RESOLUTIONS

NONE.

7. PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING.

7A ZONING CASE NO. 20-08: CONSIDER APPROVAL OF A MODIFICATION TO PREVIOUSLY APPROVED ZONING CASE NO. 918 REQUIRING SITE PLAN REVIEW FOR 1) INCREASE TO SIZE OF THE RESIDENCE BY 1,100 SQUARE FEET, 2) INCREASE TO THE AMOUNT OF GRADING BY 7,520 CUBIC YARDS, 3) ADDITION OF NEW 5 FOOT MAXIMUM WALLS; AND REQUIRING CONDITIONAL USE PERMIT FOR A NEW CABANA EXCEEDING 200 SQUARE FEET FOR REVISED PROJECT LOCATED AT 20 UPPER BLACKWATER CANYON ROAD (LOT 101-RH), ROLLING HILLS, CA 90274 (IANNITTI).

The Planning Commissioners questioned the lengths and heights of the proposed walls. The Planning Commission recommended that the applicant work with staff to mitigate the impact of the proposed walls.

MOTION: Commissioner Cardenas motioned that the Planning Commission continue the item to the next scheduled field trip and public hearing and Commissioner Kirkpatrick seconded the motion, which carried with no objection and was carried by voice vote.

AYES: COMMISSIONERS: Cooley, Cardenas, Kirkpatrick and Chairman Chelf.
NOES: COMMISSIONERS: None.
ABSENT: COMMISSIONERS: None.
ABSTAIN: COMMISSIONERS: None.

7B ZONING CASE NO 20-10: CONSIDER APPROVAL OF RESOLUTION NO. 2021-02 APPROVING VARIANCE REQUEST FOR 1) ENCROACHMENT INTO THE FRONT AND REAR YARD SETBACKS FOR THE PROPOSED 1,021 SQUARE FOOT RESIDENTIAL ADDITION, TWO-CAR GARAGE, SWIMMING POOL WITH SPA, AND PATIO DECK; 2) EXCEEDING TOTAL LOT COVERAGE; AND 3) EXEMPTION FROM THE STABLE AND CORRAL REQUIREMENTS; AND SITE PLAN REVIEW FOR 1) EXCEEDING THE 999 SQUARE-FOOT MAXIMUM ADDITION ALLOWED BY RIGHT AND 2) REMOVING AND REPLACING EXISTING 5 FOOT HIGH WALL WITH THE SAME HEIGHT WALL IN THE SAME LOCATION LOCATED AT 3 OPEN BRAND ROAD, ROLLING HILLS, CA (ROSA).

There was one public comment from the applicant Mr. Michael Rosa. He addressed the wall located behind the garage by the service yard that extends along the driveway. Mr. Rosa assured that the wall would be screened from street view. According to Planning and Community Development Director Meredith Elguira, there were no other comments regarding the proposed project.

MOTION: Commissioner Cardenas moved that the Planning Commission approve Zoning Case No. 20-10 and Supplemental Resolution 2021-02 Commissioner Kirkpatrick seconded the motion, which carried with no objection and was carried by voice vote.

AYES: COMMISSIONERS: Cooley, Cardenas, Kirkpatrick and Chairman Chelf.
NOES: COMMISSIONERS: None.
ABSENT: COMMISSIONERS: None.
ABSTAIN: COMMISSIONERS: None.

8. NEW PUBLIC HEARINGS

NONE.

9. NEW BUSINESS

NONE.

10. OLD BUSINESS

NONE.

11. SCHEDULED FIELD TRIPS

**11A 8 UPPER BLACKWATER CANYON ROAD.
11B 24 CINCHRING ROAD
11C 20 UPPER BLACKWATER CANYON ROAD**

12. ITEMS FROM STAFF

-3-

12A 5TH CYCLE HOUSING ELEMENT UPDATE (ORAL).

Planning and Community Services Director Meredith Elguira provided an update on the 5th Cycle Housing Element. It was presented to the City Council at the last meeting. The Planning Commission recommended that the market rate units be removed from the proposal and has been removed. The final will be presented to City Council for approval and adoption on February 22, 2021.

12B SAFETY ELEMENT UPDATE (ORAL).

Staff presented the draft to the Fire Department, Police Department, Building & Safety, and Block Captains for review and feedback. The expected submittal date to CalOES/FEMA is the third quarter of the year for review and approval.

12C SENATE BILL 9 AND SENATE BILL 10 (ORAL).

Planning Director Elguira gave an overview of how SB9 usurps local authority's decision on local land use decisions and its intent to increase housing density.

12D PLANNING FILES RECORDS MANAGEMENT UPDATE (ORAL).

There are over 100 boxes of files that have been scanned and will be shredded. The public will now have online access to view Planning files. Architectural plans will not be accessible online because of copyright rules and thus, an authorization application is required for reproduction.

12E PLANNING APPLICATION ONLINE SUBMITTAL (ORAL).

Staff had a soft launch and tested the online Planning application submittal program. Applicants are able to file their applications online.

12F 6TH CYCLE HOUSING ELEMENT UPDATE (ORAL).

The City will be submitting the 5th Cycle Housing Element in a month or less. Staff will begin working on the 6th Cycle and will be presenting the RFP to the City Council next week. The deadline for the 6th Cycle is October 19, 2021.

13. ITEMS FROM PLANNING COMMISSION

According to Planning Director Elguira, plans can be recycled and submitted electronically.

14. ADJOURNMENT

Hearing no further business before the Planning Commission, Chair Chelf adjourned the meeting.

Next regular meeting: Tuesday, March 16, 2021 at 6:30 p.m. via City's website's link at:

<https://www.rolling-hills.org/government/agenda/index.php>

Join Zoom Meeting via

<https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFblFZz09>

Meeting ID: 993 4388 2035 Passcode: 647943

Respectfully submitted,

Elaine Jeng
Acting City Clerk

Approved,

Brad Chelf
Chairman

**FIELD TRIP
OF THE PLANNING COMMISSION
CITY OF ROLLING HILLS
7:30 A.M.
TUESDAY, FEBRUARY 16, 2021**

1. CALL MEETING TO ORDER

A field trip meeting of the Planning Commission of the City of Rolling Hills was called to order at 7:31 a.m. on Tuesday, February 16, 2021 at 3 Open Brand Road.

2. ROLL CALL

Commissioners Present:	Cooley and Kirkpatrick
Commissioners Absent:	Cardenas and Chair Chelf
Others Present:	Meredith Elguira, Planning and Community Services Director Stephanie Grant, Administrative Clerk

3. APPROVAL OF THE AGENDA

Approve as presented.

4. SCHEDULED FIELD TRIPS

4A. ZONING CASE NO 20-10: CONSIDER APPROVAL OF RESOLUTION NO. 2021-02 APPROVING VARIANCE REQUEST FOR 1) ENCROACHMENT INTO THE FRONT AND REAR YARD SETBACKS FOR THE PROPOSED 1,021 SQUARE FOOT RESIDENTIAL ADDITION, TWO-CAR GARAGE, SWIMMING POOL WITH SPA, AND PATIO DECK; 2) EXCEEDING TOTAL LOT COVERAGE; AND 3) EXEMPTION FROM THE STABLE AND CORRAL REQUIREMENTS; AND SITE PLAN REVIEW FOR 1) EXCEEDING THE 999 SQUARE-FOOT MAXIMUM ADDITION ALLOWED BY RIGHT AND 2) REMOVING AND REPLACING EXISTING 5 FOOT HIGH WALL WITH THE SAME HEIGHT WALL IN THE SAME LOCATION LOCATED AT 3 OPEN BRAND ROAD, ROLLING HILLS, CA (ROSA).

The item was continued to the regular Planning Commission evening meeting on February 16, 2021 at 6:30 p.m. The absent Commissioners conducted their own site visits on their own and planned on presenting their reports at the evening meeting on February 16, 2021.

4B. ZONING CASE NO. 20-08: CONSIDER APPROVAL OF A MODIFICATION TO PREVIOUSLY APPROVED ZONING CASE NO. 918 REQUIRING SITE PLAN REVIEW FOR 1) INCREASE TO SIZE OF THE RESIDENCE BY 1,100 SQUARE FEET, 2) INCREASE TO THE AMOUNT OF GRADING BY 7,520 CUBIC YARDS, 3) ADDITION OF NEW 5 FOOT MAXIMUM WALLS; AND

REQUIRING CONDITIONAL USE PERMIT FOR A NEW CABANA EXCEEDING 200 SQUARE FEET FOR REVISED PROJECT LOCATED AT 20 UPPER BLACKWATER CANYON ROAD (LOT 101-RH), ROLLING HILLS, CA 90274 (IANNITTI).

The item was continued to the regular Planning Commission evening meeting on March 16, 2021 at 6:30 p.m. The absent Commissioners conducted an individual site visit on their own and planned on presenting their reports at the evening meeting on March 16, 2021.

5. ADJOURNMENT

Hearing no further business before the meeting was adjourned at 8:01 a.m. The public hearing was continued to the evening of February 16, 2021 at 6:30 p.m. via teleconference.

Respectfully submitted,

Elaine Jeng
Acting City Clerk

Brad Chelf
Chairman

**REGULAR MEETING
OF THE PLANNING COMMISSION
CITY OF ROLLING HILLS
6:30 P.M.
TUESDAY, MARCH 16, 2021
VIA TELECONFERENCE**

1. CALL MEETING TO ORDER

A regular meeting of the Planning Commission of the City of Rolling Hills was called to order by Chairman Chelf at 6:37 p.m. on Tuesday, March 16, 2021 via teleconference.

2. ROLL CALL

Commissioners Present:	Douglass, Cardenas, Cooley, Kirkpatrick, and Chairman Chelf
Commissioners Absent:	None
Staff Present:	Meredith T. Elguira, Planning & Community Services Director Jane Abzug, Assistant City Attorney Stephanie Grant, Administrative Clerk

3. APPROVAL OF THE AGENDA

MOTION: Commissioner Cardenas moved that the Planning Commission approve the agenda as presented and Commissioner Cooley seconded the motion; all were in favor, which carried without objection.

AYES:	COMMISSIONERS: Cooley, Cardenas, Douglass, Kirkpatrick and Chairman Chelf.
NOES:	COMMISSIONERS: None.
ABSENT:	COMMISSIONERS: None.
ABSTAIN:	COMMISSIONERS: None

4. PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA

NONE.

5. APPROVAL OF MINUTES

NONE.

6. RESOLUTIONS

NONE.

7. PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING.

-1-

7A ZONING CASE NO. 20-08: CONSIDER APPROVAL OF A MODIFICATION TO PREVIOUSLY APPROVED ZONING CASE NO. 918 REQUIRING SITE PLAN REVIEW FOR 1) INCREASE TO SIZE OF THE RESIDENCE BY 1,100 SQUARE FEET, 2) INCREASE TO THE AMOUNT OF GRADING BY 7,520 CUBIC YARDS, 3) ADDITION OF NEW 5 FOOT MAXIMUM WALLS; AND REQUIRING CONDITIONAL USE PERMIT FOR A NEW CABANA EXCEEDING 200 SQUARE FEET FOR REVISED PROJECT LOCATED AT 20 UPPER BLACKWATER CANYON ROAD (LOT 101-RH), ROLLING HILLS, CA 90274 (IANNITTI).

Resident Sue Breiholz expressed her concerns about the fence and shrubs on the easement trail located on Pine Tree Lane. She also expressed her concerns regarding the dangerous corner at Portuguese Bend onto Upper Blackwater Canyon Road.

Architect Dave Palacios confirmed that the driveway apron will be widened, and therefore the existing wall on the corner Portuguese Bend and Upper Blackwater Canyon Road will be removed. He also confirmed the shrubs and fence on Pine Tree Lane will be removed.

Planner Grant stated that the applicant completed all of the changes to the walls recommended by Planning Commissioners. The applicant worked with staff to mitigate the impact of the proposed walls by reducing the wall heights and lengths.

MOTION: Commissioner Cardenas moved that the Planning Commission move to adopt the modification to previously approved Zoning Case No. 918 and added an amendment to have staff prepare the resolution for adoption to modify the previously approved Zoning Case No. 918 and Commissioner Cooley seconded the motion, which carried with no objection and was carried by voice vote.

AYES: COMMISSIONERS: Cooley, Cardenas, Douglass, Kirkpatrick and Chairman Chelf.
NOES: COMMISSIONERS: None.
ABSENT: COMMISSIONERS: None.
ABSTAIN: COMMISSIONERS: None.

8. NEW PUBLIC HEARINGS

8A ZONING CASE NO. 20-07: CONSIDER ADOPTING A RESOLUTION FOR A CONDITIONAL USE PERMIT FOR A PROPOSED 435 SQUARE FOOT ADDITION EXCEEDING THE MAXIMUM 200 SQUARE FOOT ALLOWABLE STABLE SIZE AND A VARIANCE FOR ENCROACHMENT INTO THE FRONT YARD FOR THE PROPOSED ADDITIONS LOCATED AT 8 UPPER BLACKWATER CANYON ROAD, (84-1-RH), (HSIUNG).

Mark Walters, the contractor representing the applicant, stated the issues regarding the proposed project involves the Fire Department access, use of the private road, private driveway, CalWater Fire Flow Test, and sprinkler system of the stable.

-2-

Resident Sue Brieholz provided a brief history about what she knew about the rights of the private road and use of the driveway located on Lower Blackwater Canyon Road.

There was a public comment from resident Vukan Ruzic, regarding the use of his private road located at Lower Blackwater Canyon. His main concerns were the additional traffic, trucks, and the damage to the private road.

The Planning Commission requested additional research and clarification regarding the easements, private road and driveway access, Fire Department access, and size of the corral.

MOTION: Chair Chelf moved that the Planning Commission continue Zoning Case No. 20-07 until the next meeting on April 20, 2021 and Commissioner Cardenas seconded the motion, which carried with no objection and was carried by voice vote.

AYES: COMMISSIONERS: Cooley, Douglass, Cardenas, and Chairman Chelf.
NOES: COMMISSIONERS: None.
ABSENT: COMMISSIONERS: None.
ABSTAIN: COMMISSIONERS: Kirkpatrick.

9. NEW BUSINESS

9A REPORT ON FINDINGS OF ACCESSORY DWELLING UNIT (ADU) SURVEY ADMINISTERED TO ROLLING HILLS RESIDENTS IN THE LAST QUARTER OF 2020.

Consultant Barry Miller provided a presentation on the findings of the Accessory Dwelling Unit (ADU) surveys.

10. OLD BUSINESS

NONE.

11. SCHEDULED FIELD TRIPS

11A 15 UPPER BLACKWATER CANYON ROAD.
11B 8 QUAIL RIDGE ROAD.

12. ITEMS FROM STAFF

12A ZONING CODE AMENDMENT REVISING THE 30-DAY APPEAL PERIOD.

Planning Director Elguira recommended the revising the appeal period for approved projects from 30 days to 10 days. This will be presented to the Planning Commission at a later meeting.

13. ITEMS FROM PLANNING COMMISSION

-3-

NONE.

14. ADJOURNMENT

Chair Chelf welcomed Planning Commissioner Abby Douglas to her first meeting. Hearing no further business before the Planning Commission, Chair Chelf adjourned the meeting to April 20, 2021 at 6:30 p.m. via teleconference.

Next regular meeting: Tuesday, March 30, 2021 at 6:30 p.m. via City's website's link at:
<https://www.rolling-hills.org/government/agenda/index.php>

Join Zoom Meeting via
<https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFblIFZz09>
Meeting ID: 993 4388 2035 Passcode: 647943

Respectfully submitted,

Elaine Jeng
Acting City Clerk

Approved,

Brad Chelf
Chairman

**FIELD TRIP
OF THE PLANNING COMMISSION
CITY OF ROLLING HILLS
7:30 AM
TUESDAY, MARCH 16, 2021**

1. CALL MEETING TO ORDER

A field trip meeting of the Planning Commission of the City of Rolling Hills was called to order by Chair Chelf at 7:31 a.m. on Tuesday, March 16, 2021 at 24 Cinchring Road.

2. ROLL CALL

Commissioners Present:	Douglass, Cooley, Cardenas, and Chair Chelf
Commissioners Absent:	Kirkpatrick
Staff Present:	Meredith Elguira, Planning and Community Services Director Leah Mirsch, Councilmember Stephanie Grant, Administrative Clerk

3. APPROVAL OF THE AGENDA

Approved as presented.

4. SCHEDULED FIELD TRIPS

4A ZONING CASE NO. 932: 24 CINCHRING ROAD REQUEST FOR A CONDITIONAL USE PERMIT FOR THE DETACHED MIXED-USE STRUCTURE; AND VARIANCES TO LOCATE THE MIXED-USE PARTIALLY IN THE FRONT YARD AREA AND FOR A WALL ALONG THE DRIVEWAY AND BEHIND THE PROPOSED STRUCTURE THAT EXCEED THE MAXIMUM PERMITTED HEIGHT ON A DEVELOPED LOT LOCATED AT 24 CINCHRING ROAD (LOT 18-3-CH), ROLLING HILLS, CA (NAKAMURA).

The item was continued to the regular Planning Commission evening meeting on March 16, 2021 at 6:30 p.m. The absent Commissioner conducted an individual site visit on his own and planned on presenting his reports at the evening meeting on March 16, 2021.

4B ZONING CASE NO 20-08: 20 UPPER BLACKWATER CANYON ROAD
ZONING CASE NO. 20-08: CONSIDER A RESOLUTION FOR MODIFICATION TO PREVIOUSLY APPROVED ENTITLEMENTS REQUIRING SITE PLAN REVIEW FOR 1) INCREASE TO SIZE OF RESIDENCE BY 1,100 SQUARE FEET; 2) INCREASE TO THE AMOUNT OF

GRADING BY 7,520 CUBIC YARDS; AND 3) CONDITIONAL USE PERMIT FOR A NEW CABANA EXCEEDING 200 SQUARE FEET LOCATED AT 20 UPPER BLACKWATER CANYON ROAD (LOT 101-RH), ROLLING HILLS, CA 90274 (IANNITTI).

The item was continued to the regular Planning Commission evening meeting on March 16, 2021 at 6:30 p.m. The absent Commissioner conducted an individual site visit on his own and planned on presenting his report at the evening meeting on March 16, 2021.

4C FIELD TRIP SITE: ZONING CASE NO. 20-07: CONSIDER ADOPTING A RESOLUTION FOR A CONDITIONAL USE PERMIT REQUEST TO INCREASE STABLE SIZE BY 435 SQUARE FEET AND A VARIANCE REQUEST FOR ENCROACHMENT INTO THE FRONT YARD FOR THE PROPOSED ADDITIONS LOCATED AT 8 UPPER BLACKWATER CANYON ROAD, (84-1-RH), (HSIUNG).

The item was continued to the regular Planning Commission evening meeting on March 16, 2021 at 6:30 p.m. The absent Commissioner conducted an individual site visit on his own and planned on presenting his report at the evening meeting on March 16, 2021. The meeting was adjourned at 8:29 a.m.

5. **ADJOURNMENT**

Hearing no further business before the meeting was adjourned at 8:29 a.m. The public hearing was continued to the evening of March 16, 2021 at 6:30 p.m. via teleconference.

Respectfully submitted,

Elaine Jeng
Acting City Clerk

Brad Chelf
Chairman

**ADJOURNED REGULAR MEETING
OF THE PLANNING COMMISSION
CITY OF ROLLING HILLS
6:30 P.M.
TUESDAY, MARCH 30, 2021
VIA TELECONFERENCE**

1. CALL MEETING TO ORDER

A regular meeting of the Planning Commission of the City of Rolling Hills was called to order by Vice Chair Kirkpatrick at 6:31 p.m. on Tuesday, March 30, 2021, via teleconference.

2. ROLL CALL

Commissioners Present:	Cardenas, Cooley, and Kirkpatrick
Commissioners Absent:	Douglass and Chelf
Staff Present:	Meredith T. Elguira, Planning & Community Services Director Jane Abzug, Assistant City Attorney Stephanie Grant, Administrative Clerk

3. APPROVAL OF THE AGENDA

Commissioner Cooley moved that the Planning Commission approve the agenda as presented and Commissioner Cardenas seconded the motion; all were in favor, which carried without objection.

AYES:	COMMISSIONERS: Cardenas, Cooley, and Kirkpatrick
NOES:	COMMISSIONERS: None
ABSENT:	COMMISSIONERS: Douglass and Chair Chelf
ABSTAIN:	COMMISSIONERS: None

4. PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA

NONE

5. APPROVAL OF MINUTES

NONE

6. RESOLUTIONS

NONE

7. PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING

NONE

8. NEW PUBLIC HEARINGS

8A ZONING CASE NO. 932: REQUEST FOR SITE PLAN REVIEW FOR GRADING AND TWO WALLS ABOVE THREE FEET; A CONDITIONAL USE PERMIT FOR A DETACHED MIXED-USE STRUCTURE; VARIANCES TO LOCATE THE MIXED-USE STRUCTURE PARTIALLY IN THE FRONT YARD AREA AND TO ALLOW A WALL ALONG THE DRIVEWAY INTO THE FRONT YARD AND A WALL BEHIND THE PROPOSED MIXED-USE STRUCTURE TO EXCEED FIVE FEET ON A DEVELOPED LOT LOCATED AT 24 CINCHRING ROAD. THE PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15303 (NAKAMURA).

Planning Director Elguira presented the item.

Resident Elliot Brunner stated his concerns regarding the proposed wall lengths & heights and driveway entrance.

Property owners' attorney Jeff Lewis stated that the project was previously approved.

Property owners' daughter Mitzi Nakamura responded to resident Brunner's concern regarding the driveway and stated that the driveway is in its original location.

Resident Jim Aichele stated that this project has been going on for long time.

Resident Elliot Brunner's letter was read into record.

The Planning Commission suggested that the applicant mitigate the proposed walls by adding landscaping.

MOTION: Commissioner Cardenas moved that the Planning Commission move to adopt Zoning Case No. 932 and Commissioner Cooley seconded the motion, which carried with no objection and was carried by voice vote.

AYES: COMMISSIONERS: Cooley, Cardenas and Kirkpatrick

NOES: COMMISSIONERS: None

ABSENT: COMMISSIONERS: None

ABSTAIN: COMMISSIONERS: Douglass and Chairman Chelf.

9. NEW BUSINESS

9A TREES AND VIEWS COMMITTEE ANNUAL ASSIGNMENT.

Commissioner Jana Cooley will serve on the Trees and Views Committee.

10. OLD BUSINESS

NONE

11. SCHEDULED FIELD TRIPS

11A 15 UPPER BLACKWATER

12. ITEMS FROM STAFF

12A FORM 700

The submittal deadline for the Fair Political Practices Commission (FPPC) Form 700 is April 1, 2021.

13. ITEMS FROM PLANNING COMMISSION

NONE

14. ADJOURNMENT

Hearing no further business before the Planning Commission, Chair Chelf adjourned the meeting to April 20, 2021 at 6:30 p.m. via teleconference.

Next regular meeting: Tuesday, April 20, 2021 at 6:30 p.m. via City's website's link at:
<https://www.rolling-hills.org/government/agenda/index.php>

Join Zoom Meeting via
<https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFbllFZz09> Meeting ID: 993 4388 2035 Passcode: 647943

Respectfully submitted,

Elaine Jeng
Acting City Clerk

Approved,

Brad Chelf
Chairman



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 7.A

Mtg. Date: 05/18/2021

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: MEREDITH ELGUIRA, PLANNING DIRECTOR

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: ZONING CASE NO. 2021-01: REQUEST FOR: 1) CONDITIONAL USE PERMIT FOR A PROPOSED DETACHED GARAGE; 2) VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE, ENCROACHMENT INTO REQUIRED STABLE/CORRAL SETBACK FROM HABITABLE STRUCTURE AND GARAGE, AND FOR GRADING EXPORT; AND 3) SITE PLAN REVIEW FOR GRADING FOR PROPERTY LOCATED AT 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).

DATE: May 18, 2021

BACKGROUND:

LOCATION AND LOT DESCRIPTION

Zoning and Land Size

The property is zoned RAS-1 and has a net lot area of 23,288 square feet. The lot was developed with a 2,770 square-foot single family residence and a 439 square-foot attached two-car garage. There are two existing building pads on site. The existing residence and garage are located on the primary building pad (Pad #1), which has a total area of 7,581 square feet. The secondary building pad (Pad #2) has a total area of 3,914 square feet and is located on a lower elevation behind the existing residence. The proposed swimming pool, pool equipment, barbecue, patio and fire pit will be located on Pad #1. The secondary building pad is the proposed site for the detached two-car garage, Accessory Dwelling Unit (ADU) and the set aside area for future stable and corral.

REQUEST AND PLANNING COMMISSION ACTION

Applicants' Project Scope

Applicants are proposing to build: 800 square-foot Accessory Dwelling Unit (ADU), which does not require any discretionary approval, 419 square-foot detached two-car garage, 576 square-foot new swimming pool, 50 square-foot pool equipment area, 470 flatwork and 641 cubic yards of grading.

Applicants' Requests

Variances

Applicants are requesting Variances for: exceeding the 30% maximum building pad coverage for the pool addition on the first building pad and for the proposed garage and future stable on the second

building pad; exporting 384 cubic yards of grading, exceeding 20% structural coverage; and for encroachment of the corral into the required 35-foot setback from the proposed garage and ADU.

Site Plan Review

Applicants are requesting a Site Plan Review (SPR) for the proposed 641 cubic yards of grading.

Conditional Use Permit

Applicants are requesting a Conditional Use Permit (CUP) for the proposed detached 419 square-foot two-car garage.

DISCUSSION:

MUNICIPAL CODE COMPLIANCE

Variances to Exceed the Maximum 30% Building Pad Coverage and 20% Structural Coverage.

Applicants are requesting to exceed the maximum 30% building pad coverage for Pad #1 and Pad #2 and to exceed the 20% maximum structural coverage for the entire lot. The proposed 576 square-foot swimming pool, pool equipment and deck are going to be located on Pad #1. Pad #1 area coverage will increase by 8.2% from 44.1% to 52.3%. The proposed building pad coverage for Pad #2 is 42.6%. The proposed overall development will exceed the allowable 20% structural coverage by 5.6%.

Many of the residents in the City of Rolling Hills enjoy the amenity of having a swimming pool on site. Applicants' lot is less than one acre in size and is one of the smaller lots in the City and this makes it difficult to comply with the strict application of the Code. The proposed development on Pad #1 is already on an existing disturbed area. The proposed flatwork and grading would allow applicants to install the pool on Pad #1 and enjoy the additional amenities of having a patio, fire pit and barbecue area. The proposed location of the pool would also afford applicants views of the City and beyond. The proposed development on Pad #1 is low to the ground and will not cause any view impacts to the adjacent neighbors. Lastly, the proposed grading for the pool and flatwork, and additional impermeable surface will not have any adverse impacts to existing drainage pattern in the area. As mentioned earlier, Pad #1 is an existing disturbed area already used for outdoor activities.

Applicants are also proposing to add an 800 square-foot Accessory Dwelling Unit on Pad #2. The proposed ADU meets code and does not require any discretionary approvals. In addition to the ADU, applicants are also proposing to add a 419 square-foot detached two-car garage. Applicants must also include a minimum 450 square-foot set aside area for a future stable. The proposed development with the set aside increases the pad coverage to 42.6% or 1,669 square feet (800 SF of which is for ADU). Per Code, although maximum lot area coverage may limit the size of an ADU, it cannot be smaller than 800 square feet. One off-street parking space is required for ADU.

Applicants are not proposing to build the stable and corral but they are required to allocate space for the uses and include them in the discretionary request if such uses exceed code requirements.

The proposed overall structural coverage total is 27.3% of the net area; an increase of 9.9% from existing coverage. The maximum allowed by code is 20%. The ADU is included in the 27.3% total coverage.

The City of Rolling Hills limits building size through the use of lot coverage, building pad coverage, and the allowance of one story structure. The subject lot has a net area of 23,288 square feet with

building Pad #2 consisting of 3,914 square feet. The proposed ADU (800 SF), two-car garage (419 SF) and stable set aside (450 SF) would exceed the allowable building pad coverage of 30% or 1,174 SF by 12.6% or 495 square feet.

Out of the three uses mentioned above for Pad #2, the only area required to be identified is for future equestrian use. Although it does not have to be built, the Code requires that a set aside of 450 SF needs to be included in any development plans being proposed if it exceeds code requirements. As of January 2020, through a State mandate, the City no longer has the authority to deny an applicant's request to build an ADU that complies with Code. In addition, the State prohibits cities from requiring applicants to limit the size of an ADU to less than 800 square feet unless it is a Junior ADU, which is attached to the main residence. Given the current regulation constraints, the only use that could be modified, to avoid relief from the code, is the proposed two-car garage. The City's ADU code requires one off-street parking but it does not have to be enclosed, and thus, the proposal for a two car garage exceeds code requirements.

Staff's recommendation is to limit the garage size to a one-car garage. Although the addition of a one-car garage would still exceed the pad coverage, the proposed development is low in height and blends in with the proposed ADU style. Furthermore, decreasing the size of the garage would provide more space between the adjacent home northwest of the proposed development and the garage. A smaller garage would also address the over-development of the site and preserve one of the General Plan's goals of maintaining the rural character of the City. As mentioned earlier, the City regulates development through limiting lot and building pad coverage of structures therefore, limiting the size of the garage meets the intent of the Code and the General Plan. Staff recommends that the Planning Commission takes this into consideration when directing staff to prepare the resolution.

Variance Request for Encroachment into the Required 35-Foot Setback Between a Future Corral and the Proposed Garage and ADU.

Applicants are requesting relief from the code for the required 35-foot setback between the future corral and proposed ADU. The set aside area for the corral is approximately 32 feet away from the ADU. The size of the lot contributes to improvement constraints of the site. ADU falls under ministerial review. Applicants have taken into consideration the neighborhood character and respected existing setbacks of developed parcels. The proposed siting of the proposed ADU and corral is the least impactful to applicants' adjacent neighbors and the community as a whole.

Site Plan Review Request for 1,336 Cubic Yards of Grading

Applicants are proposing 641 cubic yards of grading, 384 cubic yards will be exported. The proposed grading will require Building and Safety's approval for drainage. The proposed grading will not significantly change the terrain of the site because most of the site has been disturbed. Most of the grading will consist of maximum 2-foot cuts for the proposed flatwork.

Conditional Use Permit Request for the Proposed Detached Garage

Applicants are proposing to add a 419 square-foot detached garage. The proposed garage contributes to the exceedance of the building pad and structural coverage on Pad #2. The existing house has an existing two-car attached garage. The proposed two-car garage is not a requirement for the approval of the ADU. The ADU requires one off street parking.

Environmental Review

The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15304 (Minor Alterations to Land) of the CEQA Guidelines, which exempts minor alterations in the condition of land, including but not limited to grading on land with a slope of less than 10 percent. The grading taking place on the property is on land with a slope of less than 10 percent to account for the detached garage structure. The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences. The detached garage and pool qualify as new construction of small structures.

Public Participation

Three neighbors were present at the Planning Commission Field Trip held on April 20, 2021 and the adjacent neighbor at 25 Chuckwagon Road spoke at the Evening Meeting held on April 20, 2021. Additional calls were received to discuss the proposed project from those who attended and spoke at the meetings. Concerns about height, density, and frequency of use of the easement behind the property were discussed.

17.38.050 - Required Variance findings.

In granting a variance, the Commission (and Council on appeal) must make the following findings:

1. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone;
2. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;
3. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;
4. That in granting the variance, the spirit and intent of this title will be observed;
5. That the variance does not grant special privilege to the applicant;
6. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities; and
7. That the variance request is consistent with the general plan of the City of Rolling Hills.

17.46.050 - Required Site Plan Review findings.

1. The Commission shall be required to make findings in acting to approve, conditionally approve, or deny a site plan review application.
2. No project which requires site plan review approval shall be approved by the Commission, or by the City Council on appeal, unless the following findings can be made:
3. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance;
4. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot;
5. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences;
6. The project preserves and integrates into the site design, to the greatest extent possible, existing

topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls);

7. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area;
8. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course;
9. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas;
10. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles; and
11. The project conforms to the requirements of the California Environmental Quality Act.
12. If all of the above findings cannot be made with regard to the proposed project, or cannot be made even with changes to the project through project conditions imposed by City staff and/or the Planning Commission, the site plan review application shall be denied.

17.42.050 - Basis for approval or denial of Conditional Use Permit.

The Commission (and Council on appeal), in acting to approve a conditional use permit application, may impose conditions as are reasonably necessary to ensure the project is consistent with the General Plan, compatible with surrounding land use, and meets the provisions and intent of this title. In making such a determination, the hearing body shall find that the proposed use is in general accord with the following principles and standards:

1. That the proposed conditional use is consistent with the General Plan;
2. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures;
3. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed;
4. That the proposed conditional use complies with all applicable development standards of the zone district;
5. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities;
6. That the proposed conditional use observes the spirit and intent of this title.

FISCAL IMPACT:

None.

RECOMMENDATION:

Staff recommends that the Planning Commission review and consider applicants' request for relief from the code to allow: exceedance of the lot coverage and building pad coverage, encroachment into required corral setback, grading export, consider staff's recommendation to decrease the proposed garage size to a one-car garage, and direct staff to prepare a resolution reflecting the Planning Commission's final decision.

ATTACHMENTS:

[05-10-21_23 Chuckwagon Rd.pdf](#)

[Development_Proposal_Table.23Chuckwagon.pdf](#)

Sandra & Mario Ramirez

OTTOLIA & BARNES

Architecture

5533 Bayridge Road
Rancho Palos Verdes, California 90275
T: (310) 375-0107
F: (310) 802-3804
E: doc@OBastudio.com



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New driveways, pool, accessory garage & accessory dwelling unit (ADU) for:
Sandra and Mario Ramirez
23 Chuckwagon Road
Rolling Hills, California 90274

The prepared drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain the property of the architect and no part thereof shall be copied disclosed to others or used in connection with any other work or project other than the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of restrictions.

date: 05-10-21

project number: 2003

sheet title:

Cover Sheet

sheet number:

CS1

THIS SURVEY AND MAP ARE THE PROPERTY OF I/WS SURVEYING AND MAY NOT BE MODIFIED, ALTERED, OR CHANGED IN ANY FASHION WITHOUT PRIOR WRITTEN APPROVAL BY I/WS SURVEYING AND THE CLIENT FOR WHOM THE SURVEY WAS PREPARED. THIS PROVISION EXTENDS TO THE RESULTING PLOT OF SAID MAP AND THE COMPUTER DISK OR E-MAIL OF THAT MAP AS PROVIDED TO THE CLIENT. ANY VIOLATION OF THIS PROVISION WILL VOID ANY PROFESSIONAL OBLIGATION OR WARRANTY, EITHER EXPRESSED OR IMPLIED, BY I/WS SURVEYING AS TO SUCH CHANGED MATERIAL.

**BASIS OF BEARINGS: N 44°15'25" E BEING
A RADIAL LINE OF CHUCKWAGON ROAD AS
PER RECORD OF SURVEY BOOK 73, PAGES 12
TO 14 AS FILED IN THE RECORDS OF THE
COUNTY OF LOS ANGELES**

BENCHMARK: ASSUMED EL= 100.00' AT FF AT ENTRY

IWS
SURVEYING

CLIENT:
RAMIREZ, MARIO

PROJECT NO.
18-353

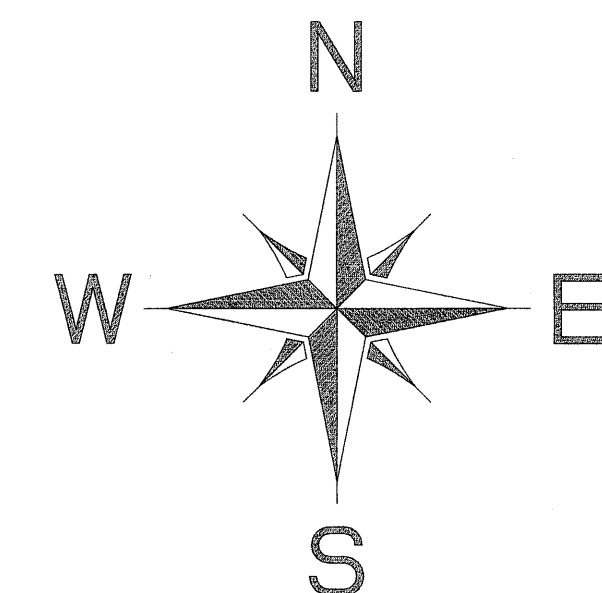
DATE OF SURVEY:
AUG 2018

ASSESSOR'S I.D. NUMBER:
T567-006-036

LEGAL DESCRIPTION
PORTION LOT 5, PORTION
LOT 7, R.S. 13-12-14

BOUNDARY/TOPOGRAPHIC SURVEY

**23 CHUCKWAGON ROAD
ROLLING HILLS, CALIFORNIA 90274**

SITE ADDRESS:

SHEET 1 OF 1

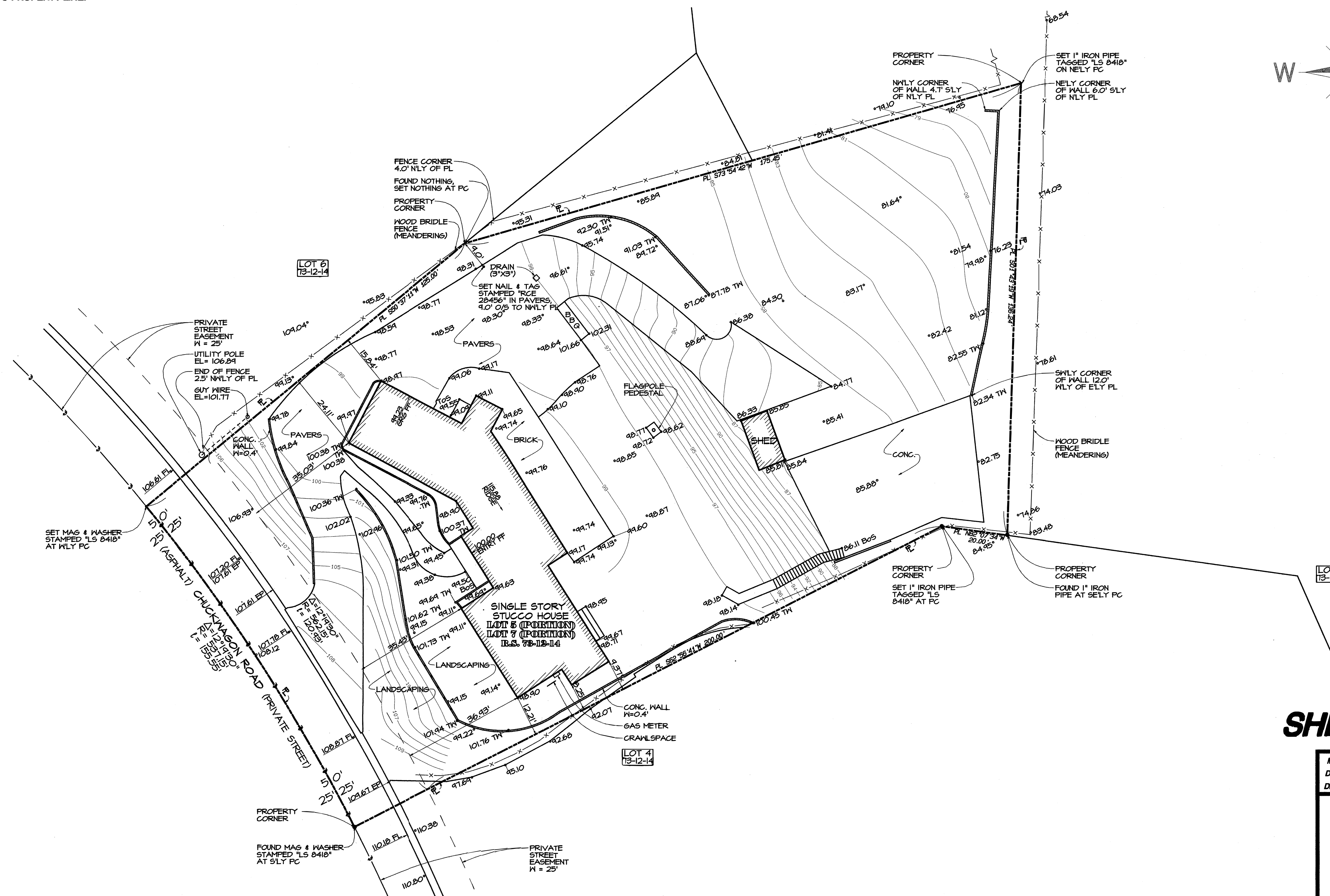
MAP ISSUE DATE: OCT. 29, 2018
DATE OF REVISION:
DRAFTED BY: EMK, ELB

N\NLY NORTH / NORTHERLY
 S\NLY SOUTH / SOUTHERLY
 E\ELY EAST / EASTERLY
 W\WLY WEST / WESTERLY
 LTT LEAD, TACK AND TAG
 LTN LEAD AND TACK
 SPIKE AND WASHER
 IC IRON PIPE
 PC PROPERTY CORNER
 PL PROPERTY LINE
 PROD PRODUCED
 O/S OFFSET
 BM BENCHMARK
 BW BACK OF WALK
 FLN FLOW LINE
 TC TOP OF CURB
 T/BX/T TOP/BOTTOM OF X
 TN TOP OF WALL
 F/F FINISH FLOOR/SURFACE
 T/BOS TOP/BOTTOM OF STAIRS
 GB GRADE BREAK
 TS/BOS TOP/BOTTOM OF SLOPE
 DIRT ELEVATION
 XXXX FS ELEVATION
 EP EDGE OF PAVEMENT
 CLF CHAIN LINK FENCE
 F FOUND
 CONC CONCRETE


LICENSED SURVEYOR:
ALL MAPS, PLATS, REPORTS, DESCRIPTIONS,
OR OTHER DOCUMENTS ARE PREPARED
UNDER THE RESPONSIBLE CHARGE OF A
CALIFORNIA LICENSED SURVEYOR, LICENSED
TO PRACTICE LAND SURVEYING IN THE STATE
OF CALIFORNIA, CHRISTOPHER W. VASSALLO,
LS 4818, PURSUANT TO THE PROFESSIONAL
LAND SURVEYOR'S ACT BUSINESS AND
PROFESSIONS CODE SECTION 8100-8905

PROFESSIONAL LAND SURVEYOR
CHRISTY M. VASSALLO
P.L.S. 8418
EXPIRATION
12-31-2016
STATE OF CALIFORNIA

PREPARED BY:
I/WS SURVEYING
2556 VIA TEJON
PALOS VERDES ESTATES
CALIFORNIA 90274
PHONE: 310.791.0904
FAX: 310.791.0914



SCALE 1"=16'



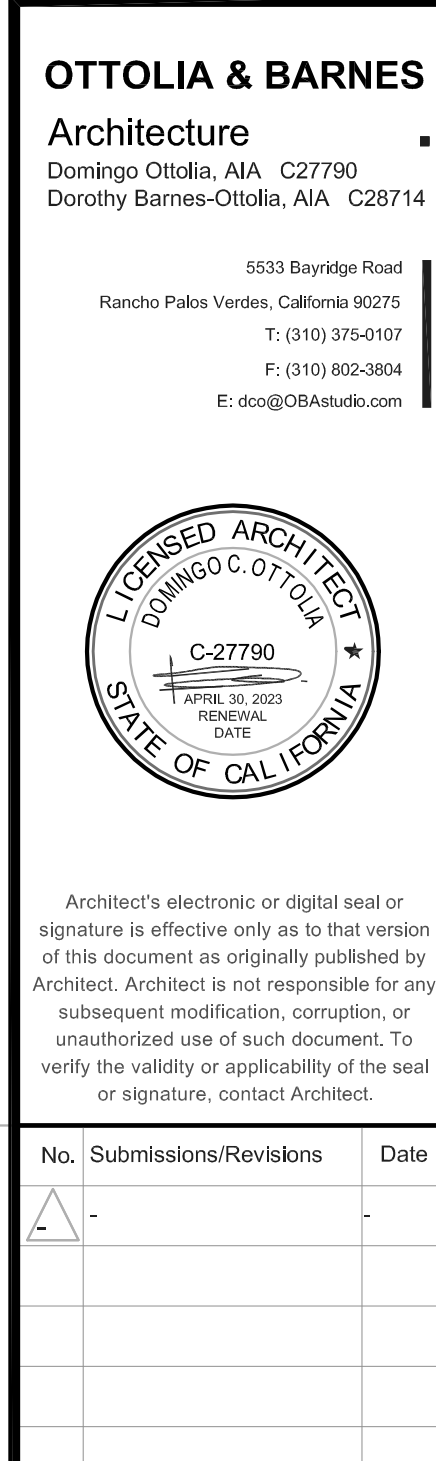
0 16 32

PROPERTY LINE -----
FENCE ---X---X---
WALL []

DATE	Z.C. NO.	ADDRESS	25 Chackwagagon Road	
CALCULATION OF BUILDING PAD COVERAGE				
PAD NO. 2				
BUILDABLE PAD AREA AND STRUCTURES	EXISTING	PROPOSED	TOTAL	
BUILDING PAD	3.914 sq.ft.	_____ sq.ft.	3.914 sq.ft.	
RESIDENCE	_____ sq.ft.	_____ sq.ft.	_____ sq.ft.	
GARAGE Accessory Garage	_____ sq.ft.	419 sq.ft.	419 sq.ft.	
POOL/SPA	_____ sq.ft.	_____ sq.ft.	_____ sq.ft.	
POOL EQUIPMENT	_____ sq.ft.	_____ sq.ft.	_____ sq.ft.	
CABANA/REC.RM	_____ sq.ft.	_____ sq.ft.	_____ sq.ft.	
GUEST HOUSE Accessory Dwelling Unit ADU	_____ sq.ft.	800 sq.ft.	800 sq.ft.	
STABLE	450 sq.ft.	_____ sq.ft.	450 sq.ft.	
SPORTS COURT	_____ sq.ft.	_____ sq.ft.	_____ sq.ft.	
SERVICE YARD	_____ sq.ft.	_____ sq.ft.	_____ sq.ft.	
ATTACHED COVERED PORCHES				
Primary residence	_____ sq.ft.	_____ sq.ft.	_____ sq.ft.	
Accessory structures	_____ sq.ft.	_____ sq.ft.	_____ sq.ft.	
AREA OF ATTACHED COVERED	_____ sq.ft.	_____ sq.ft.	_____ sq.ft.	
PORCHES THAT EXCEED 10% OF THE SIZE OF RESIDENCE/ACCS. STRUCTURE				
ENTRYWAY/PORTE COCHERE/ BREEZEWAY	n/a sq.ft.	_____ sq.ft.	_____ sq.ft.	
ATTACHED TRELLISES	n/a sq.ft.	_____ sq.ft.	_____ sq.ft.	
ALL DETACHED STRUCTURES <i>(from previous pages)</i>				
	n/a sq.ft.	_____ sq.ft.	_____ sq.ft.	
ALL DETACHED STRUCTURES <i>(from previous pages after excluding allowed deductions)</i>				
	n/a sq.ft.	_____ sq.ft.	_____ sq.ft.	
OTHER	na/	_____ sq.ft.	_____ sq.ft.	
TOTAL STRUCTURES ON PAD NO. 2	450 sq.ft.	1,219 sq.ft.	1,669 sq.ft.	
% BUILDING PAD COVERAGE	11.4 %	31.2 %	42.6 %	
TOTAL STRUCTURES ON PAD NO. 2				
	450 sq.ft.	1,219 sq.ft.	1,669 sq.ft.	
Excluding attached trellises, excluding, allowed deductions, and including, the area of covered porches that exceed 10% of the size of the residence/accessory structures.				
% BUILDING PAD COVERAGE	11.4 %	31.2 %	42.6 %	

ZONING CASE NO. _____		ADDRESS _____		ZC Truckwagon CO.	
ALL FLATWORK MUST BE SHOWN ON THE PLAN <i>*** Please note that proposed driveways, parking pads, and pool decking are permissible.</i>					
	EXISTING	PROPOSED	TOTAL		
PRIMARY DRIVEWAY(S)	_____ sq.ft.	_____ sq.ft.			
		(2) stairs @ 130 sq. ft. each from walkway 198 sq. ft.			
PAVED WALKS, PATIO AREAS, COURTYARDS	_____ sq.ft.	470 sq.ft.			
POOL DECKING	_____ sq.ft.	_____ sq.ft.			
OTHER PAVED DRIVEWAYS, ROAD EASEMENTS, PARKING PADS	_____ sq.ft.	_____ sq.ft.			
TOTAL FLATWORK	_____ sq.ft.	470 sq.ft.			
% TOTAL FLATWORK COVERAGE	_____ %	2			
TOTAL STRUCTURAL & FLATWORK COVERAGE	4,065 sq.ft.	2,381 sq.ft.	6,446		
% TOTAL COVERAGE	17.4 %	10.2 %	27.6 %		
TOTAL STRUCTURAL & structural FLATWORK COVERAGE flat work	4,065 sq.ft.	1,845 sq.ft.	5,910		
Excl. the allowance of up to 5 - 800 sq. ft. disturbance from previous page.	_____ sq.ft.	470 sq.ft.	_____		
% TOTAL COVERAGE	17.4 %	9.9 %			
Please note that at no point the slopes resulting from the grading (steeper) than 3:1					
TOTAL DISTURBED AREA	4,065 sq.ft.	2,315 sq.ft.	6,380		
% DISTURBED AREA	17.4 %	9.9 %	27.3 %		
GRADING QUANTITY (include future stable, coral and access ways; hawmest and all other areas to be graded)			6		See Grading Information
All structures (attached and detached) must be listed.					
* Free standing legal, conforming accessory structures such as sheds, trellises, covered fountains, backdoor, outdoor fire place, etc., are not counted towards coverages, and their combined area exceeds 800 sq. ft., are over 120 sq.ft. in size (except for trellis) or than 5 such structures on the property.					

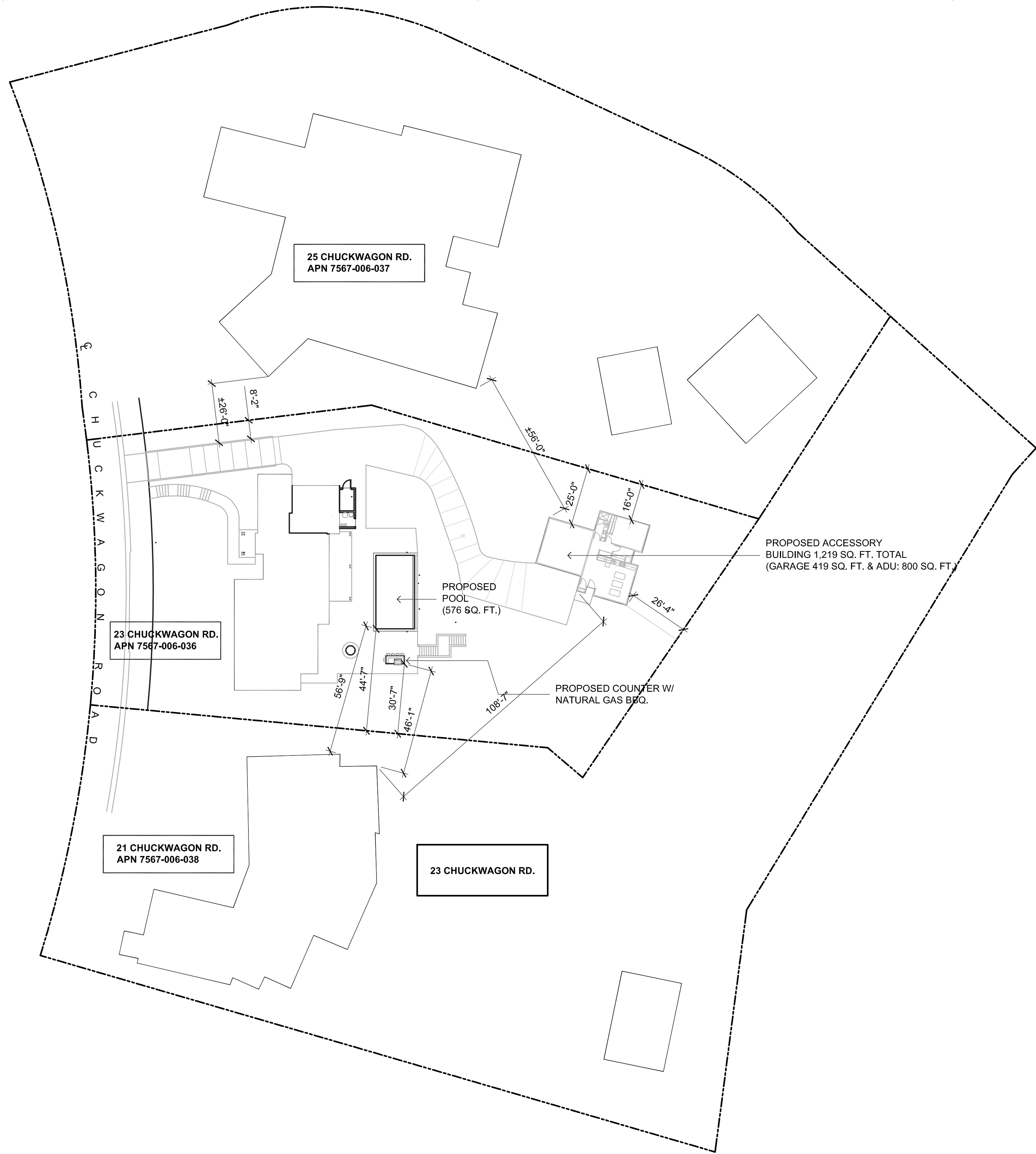
TOTAL	
23,288	sq.ft.
2,770	sq.ft.
439	sq.ft.
576	sq.ft.
50	sq.ft.
	sq.ft.
450	sq.ft.
	sq.ft.
331	sq.ft.
	sq.ft.
	sq.ft.
28	sq.ft.
38	sq.ft.
	sq.ft.
	sq.ft.
75	sq.ft.
1,219	sq.ft.
	sq.ft.
5,976	sq.ft.
25.6	%
and 38 sq. ft. Fire pit	
5,910	sq. ft.
25.3	%



The presented drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain the property of the architect and no part thereof shall be copied disclosed to others or used in connection with any other work or project other than the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of restrictions.

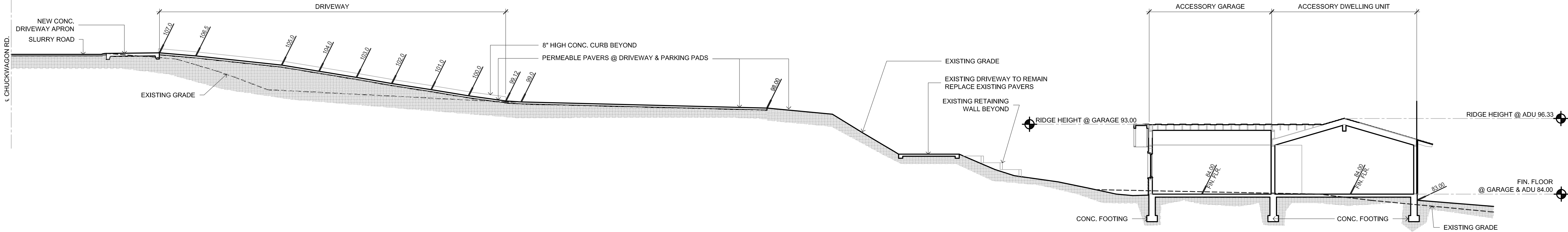
sheet number:

A1.1



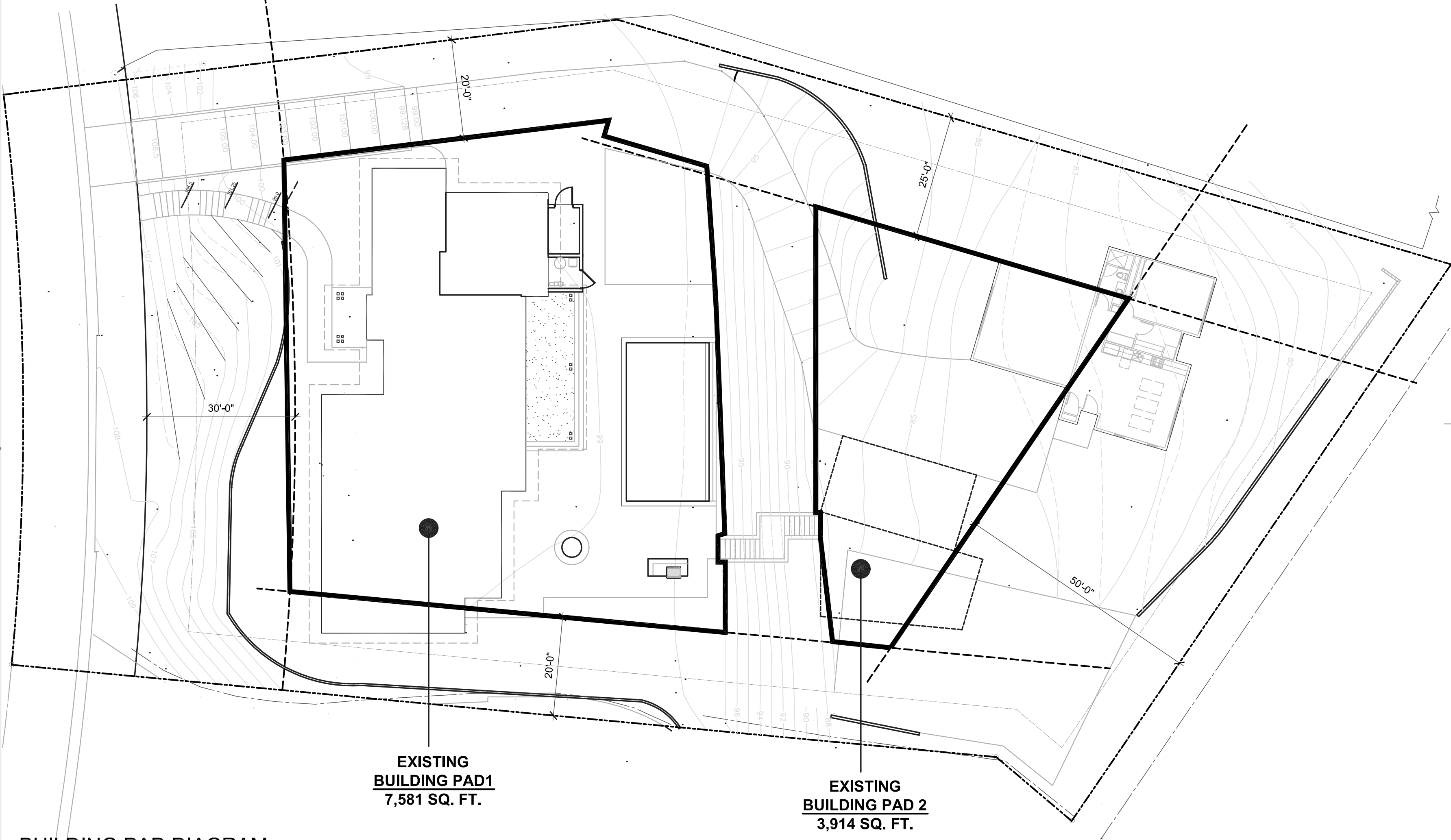
VICINITY MAP OF CONTIGUOUS PROPERTIES

SCALE: 1/32" = 1'-0"



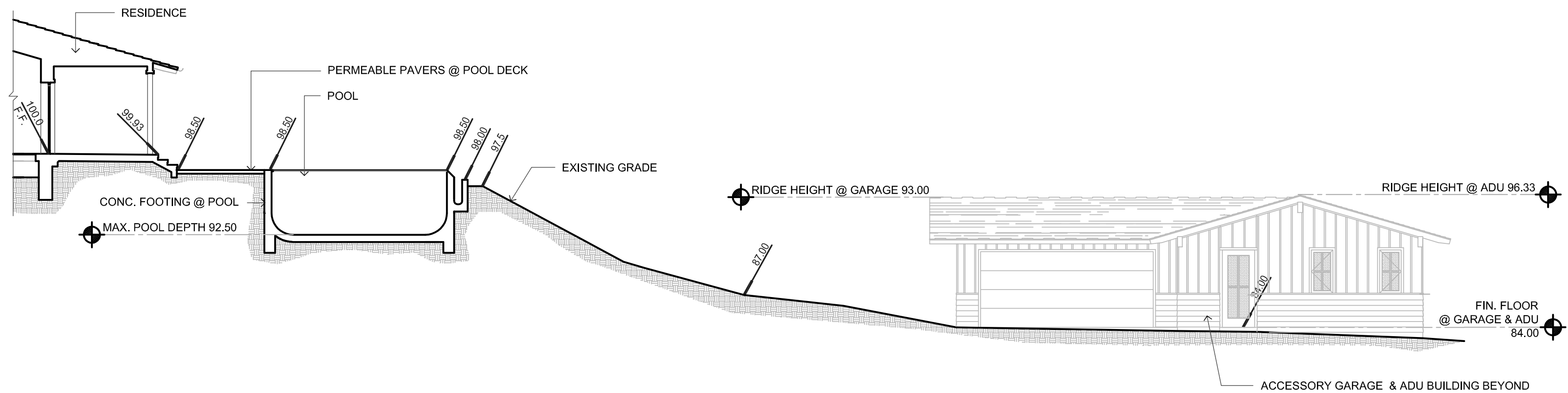
SITE SECTION

SCALE: 3/32" = 1'-0"



BUILDING PAD DIAGRAM

SCALE: 1/16" = 1'-0"



SITE SECTION

SCALE: 3/32" = 1'-0"

OTTOLIA & BARNES

Architecture

Domingo Ottolia, AIA: C27790

Dorothy Barnes-Ottolia, AIA: C28714

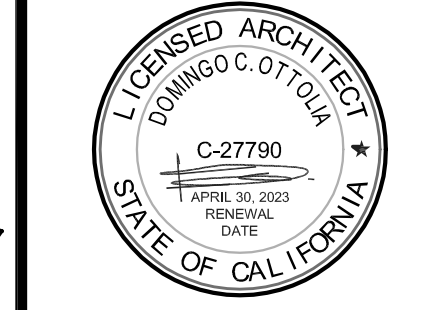
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Rancho Palos Verdes, California 90275

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E: doo@OBAstudio.com



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No.	Submissions/Revisions	Date
1		
2		
3		
4		

New driveways, pool, accessory garage & accessory dwelling unit (ADU) for:
Sandra and Mario Ramirez
23 Chuckwagon Road
Rolling Hills, California 90274

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date: 05-10-21

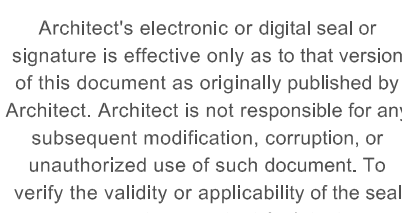
project number: 2003

sheet title:

Site Sections

sheet number:

A1.2

[illegible]

New driveways, pool, accessory garage & accessory dwelling unit (ADU) for:
Sandra and Mario Ramirez
23 Chuckwagon Road
Rolling Hills, California 90274

The presented drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain the property of the architect and no part thereof shall be copied disclosed to others or used in connection with any other work or project other than the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of restrictions.

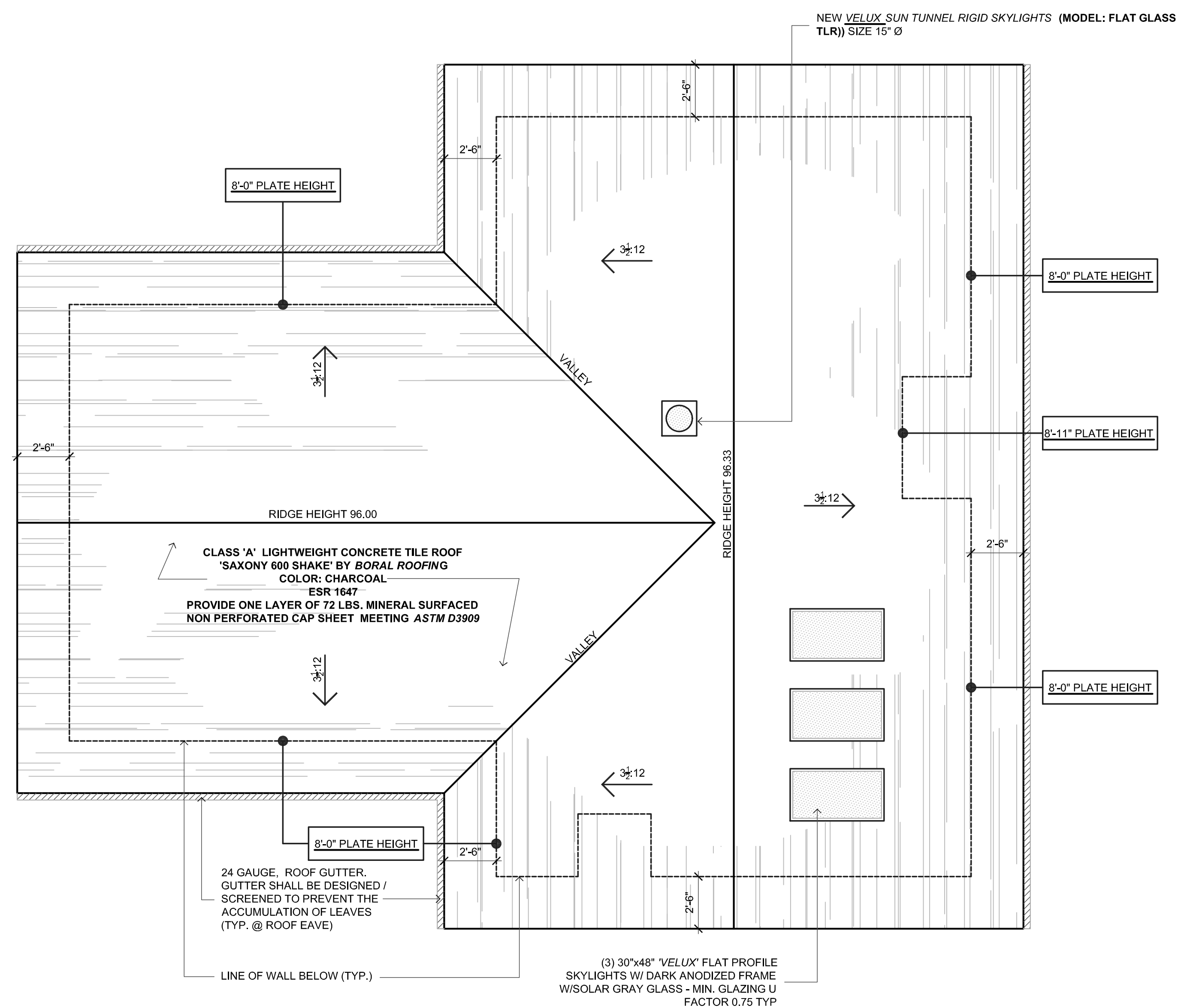
date:	05-10-21
project number:	2003
sheet title:	

Floor Plan & Roof Plan

sheet number:

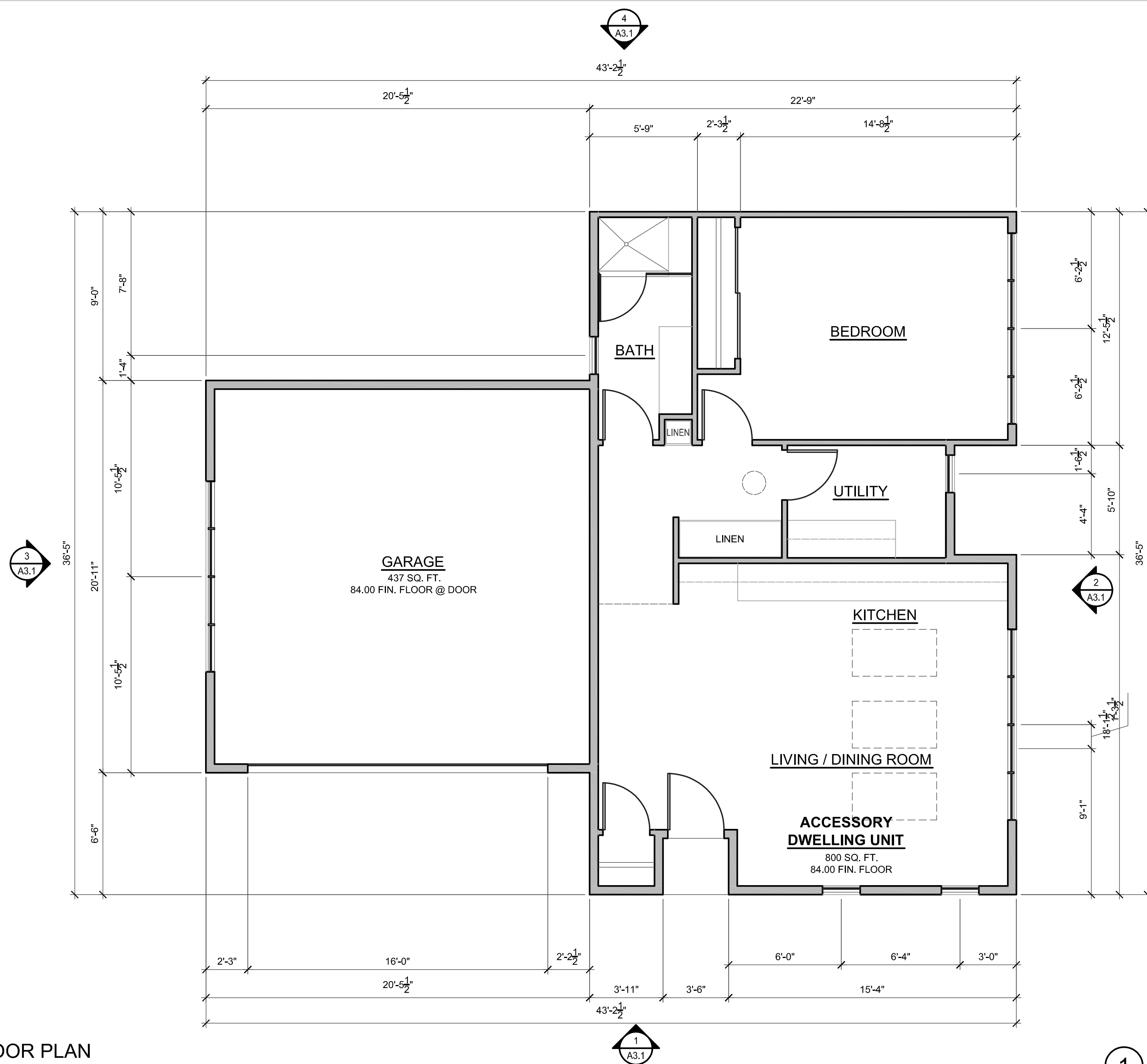
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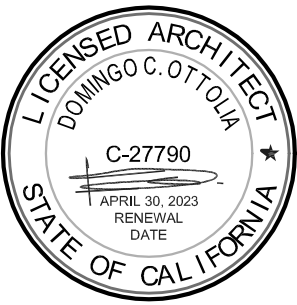
SCALE: 1/4" = 1'-0"

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SCALE: 1/4" = 1'-0"

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No.	Submissions/Revisions	Date
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New driveways, pool, accessory garage & accessory dwelling unit (ADU) for:
Sandra and Mario Ramirez
23 Chuckwagon Road
Rolling Hills, California 90274

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date: 05-10-21

project number: 2003

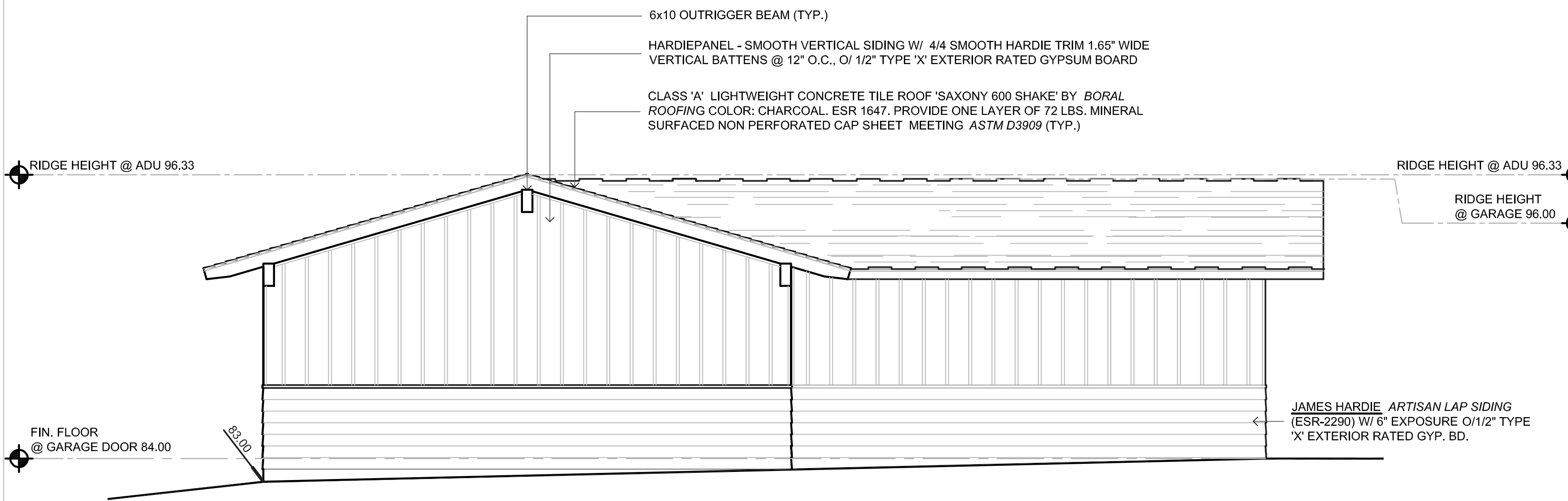
sheet title:

Exterior Elevations

sheet number:

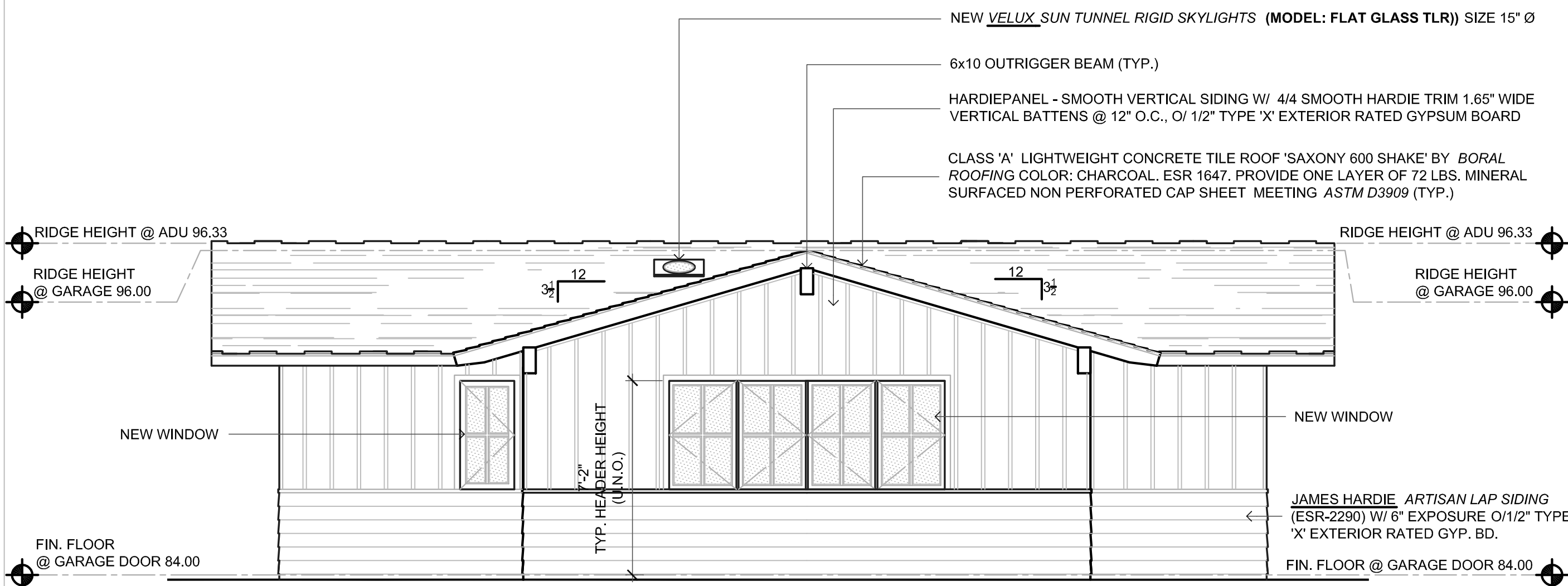
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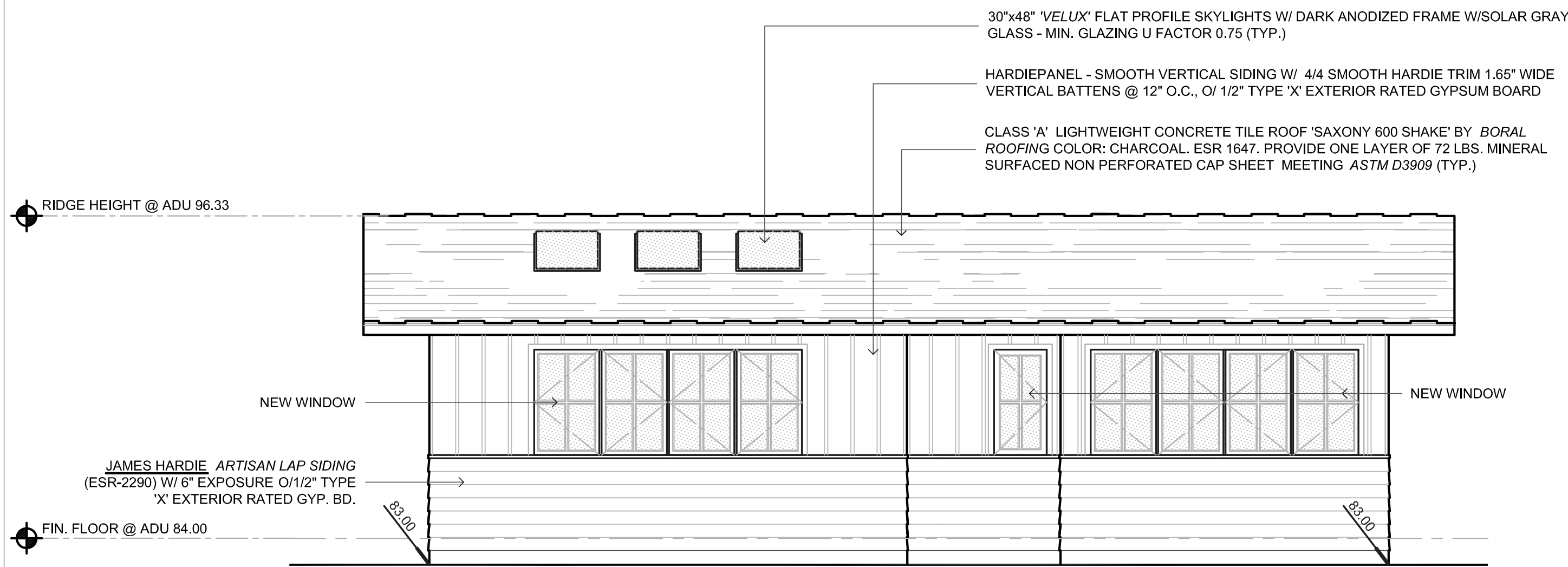
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



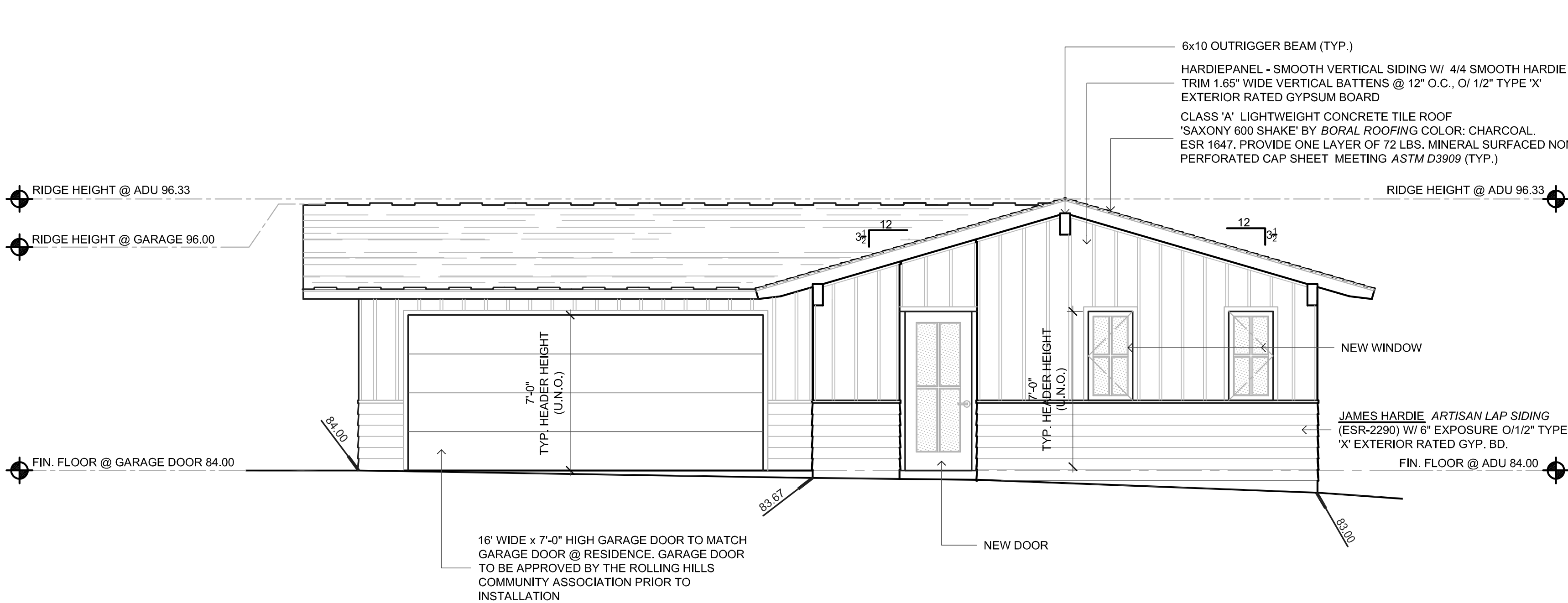
WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

Site Plan Review, Variance and Conditional Use Permit	EXISTING	PROPOSED	TOTAL
RA-S- 1 Zone Setbacks Front: 50 ft. from front easement line Side: 20 ft. from side property line Rear: 50 ft. from rear easement line	SINGLE FAMILY RESIDENCE, 2-CAR GARAGE	POOL, POOL EQUIPMENT, FLATWORK, DETACHED 2-CAR GARAGE AND ADU	
Net Lot Area	23,288 SF	0 SF	23,288 SF
Residence	2,770 SF	0 SF	2,770 SF
Attached Garage	439 SF	0 SF	439 SF
2nd Garage	0 SF	419 SF	419 SF
Swimming Pool/Spa	0 SF	576 SF	576 SF
Pool Equipment	0 SF	50 SF	50 SF
ADU	0 SF	800 SF	800 SF
Cabana	0 SF	0 SF	0 SF
Stable minimum: 450 SF Corral minimum: 550 SF	0 SF	450 SF	450 SF/550 SF (set aside)
Recreation Court	0 SF	0 SF	0 SF
Attached Covered Porches, Entryway, Porte Cochere, Breezeways	331 SF	0 SF	331 SF
Attached Trellis	0 SF	0 SF	0 SF
Detached Structures: Outdoor Kitchen	70 SF	BBQ 28 SF & Fire Pit 38 SF	61 SF
Water Features	0 SF	0 SF	0 SF
Service Yard	75 SF	0 SF	75 SF
Basement Area	0 SF	0 SF	0 SF
Grading (balanced on site)	Unknown	641 cubic yards	641 cubic yards (384 CY export)
Total Structure Area	4,065 SF	1,911 SF	5,976 SF
% Structural Coverage	17.4%	8.2%	25.6%
Total Structures Excluding: up to 5 legal and up to 800 SF detached structures that are not higher than 12 ft (no more than 120 SF per structure per deduction, except for trellis)	4,065 SF	1.845 SF	5,910 SF
Structural Lot Coverage (20% maximum)	17.4%	7.9%	25.3%
Total Structural and Flatwork Lot Coverage (35% maximum)	17.4%	9.9%	27.3%
Building Pad #1 Coverage (30% maximum) 7,581 SF	44.1 %	8.2%	52.3%
Building Pad #2 Coverage (30% maximum) 3,914 SF	2.6%	40%	42.6%
Total Disturbed Area SF	4,065 SF	2,315 SF	6,380 SF
Total Disturbed Area (40% maximum)	17.4%	9.9%	27.3%
Retaining/Garden Wall		Remove/replace same height	Repair same height/location
Roadway Access	Existing driveway approach	No change	No change



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 8.A

Mtg. Date: 05/18/2021

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: MEREDITH ELGUIRA, PLANNING DIRECTOR

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: ZONING CASE NO. 21-04: REQUEST FOR: 1) CONDITIONAL USE PERMITS FOR A PROPOSED SPORTS COURT AND MIXED USE STRUCTURE; AND 2) REQUEST FOR VARIANCES FOR: ENCROACHMENT INTO THE REQUIRED SETBACKS FOR THE SPORTS COURT AND MIXED USE STRUCTURE AND PAD COVERAGE EXCEEDANCE.

DATE: May 18, 2021

BACKGROUND:

LOCATION AND LOT DESCRIPTION

Zoning and Land Size

The property is zoned RAS-2 and has a net lot area of 191,262 square feet. The lot was developed with residential, garage, recreation room, observatory, and stable structures, which total 7,575 square feet. There are three existing building pads on site. The existing residence and garage are located on the primary building pad (Pad #1), which is 31,905 square feet. The secondary building pad (Pad #2) is 8,145 square feet and is located on a lower elevation behind the existing residence. The third building pad (Pad #3) is on the lowest existing building pad and is 15,168 square feet. The existing stable, which is proposed for mixed use conversion and 741 SF addition, and the proposed sports court are both located on Pad #3.

REQUEST AND PLANNING COMMISSION ACTION

Applicants' Project Scope

Applicants are proposing to add 741 SF to an existing 1,069 square-foot stable and convert it into 785 square-foot office with restroom and 794 square-foot recreation room. The proposed 741 square-foot addition will be built within the boundaries of the existing roof structure. Additionally, applicants are proposing a 6,384 sports court that will replace the existing corral. The proposed uses will require Conditional Use Permit. The proposed addition and sports court also require Variances for encroachment into the required side yard setback and for exceeding the maximum building pad coverage.

Applicants' Requests

Variances

Applicants are requesting Variances for: encroachment into the side yard setback and exceedance of the 30% maximum building pad coverage.

Conditional Use Permit

Applicants are requesting Conditional Use Permit (CUP) for the proposed sports court and mixed use.

DISCUSSION:

MUNICIPAL CODE COMPLIANCE

Variances to Exceed the Maximum 30% Building Pad Coverage and Encroachment into the Required Setback.

Applicants are requesting to exceed the maximum 30% building pad coverage on Pad #3 by 24.2% to accommodate the proposed 6,384 SF sports court. The proposed sports court will be located on an existing building pad that is currently occupied by a corral. The proposed sports court's footprint will not exceed the current footprint of the existing corral.

The proposed sports court will encroach into the required side yard by approximately 13 feet. In addition, the proposed extension to the existing stable, although it will not exceed the leading edge of the existing stable, will encroach into the side yard setback by approximately six feet (6'). The encroachment of the proposed structures into the required side yard setback do not further exceed the existing structures' boundaries or leading structural edges. The fence that will surround the sports court will be located within the existing fencing that surround the corral. The proposed addition the the stable will align with the existing walls of the structure, which will enclose areas that are under the existing roof overhang. The proposed addition to the stable will transition seamlessly with the existing design of the structure.

Conditional Use Permit Request for the Proposed Detached Garage

Applicants are proposing to convert an existing corral into 6,384 square-foot sports court and add 741 square feet to an existing stable and convert the use to office and recreation room. The proposed conversion of the corral to a sports court causes the least amount of disturbance on site. The proposed sports court will not require grading because the current site is already flat and can accommodate the proposed use. Applicants are also adding landscaping around the proposed court to help screen the proposed 10-foot high fence. The proposed landscape materials will require approval from the Fire Department and compliance with the State's water usage limit. The conversion of the stable to mixed use will have no adverse impact to surrounding uses and is not in conflict with allowed uses in the zone. In addition, applicants are proposing a set aside area for equestrian uses that meet code requirements.

Environmental Review

The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences.

Public Participation

Resident James Black called staff to state he is in support of the project.

17.38.050 - Required Variance findings.

In granting a variance, the Commission (and Council on appeal) must make the following findings:

1. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone;
2. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;
3. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;
4. That in granting the variance, the spirit and intent of this title will be observed;
5. That the variance does not grant special privilege to the applicant;
6. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities; and
7. That the variance request is consistent with the general plan of the City of Rolling Hills.

17.42.050 - Basis for approval or denial of Conditional Use Permit.

The Commission (and Council on appeal), in acting to approve a conditional use permit application, may impose conditions as are reasonably necessary to ensure the project is consistent with the General Plan, compatible with surrounding land use, and meets the provisions and intent of this title. In making such a determination, the hearing body shall find that the proposed use is in general accord with the following principles and standards:

1. That the proposed conditional use is consistent with the General Plan;
2. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures;
3. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed;
4. That the proposed conditional use complies with all applicable development standards of the zone district;
5. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities;
6. That the proposed conditional use observes the spirit and intent of this title.

FISCAL IMPACT:

None.

RECOMMENDATION:

Staff recommends that the Planning Commission consider and approve Resolution No. XXX approving the request for Conditional Use Permit for the sports court and mixed use, and Variances for encroachment into the side yard setback and exceedance of the maximum 30% building pad coverage.

ATTACHMENTS:

[ATTACHMENT A 15 Upper Blackwater Canyon Road
Development_Proposal_Table.15 Upper Blackwater Canyon.pdf
PC_Resolution_2021-05.pdf](#)

PROJECT TYPE SP SPECIALIZED	STRUCTURAL NUMBER	DATE 2003.07.17	APPROVAL Approver	SHEET NO. A0.02

GENERAL NOTES - RESIDENTIAL				
STABLE & SPORTS COURT				
15 Upper Blackwater Canyon Road, Rolling Hills, CA 90274				
SEMNON RESIDENCE				
PRIVATE RESIDENCE				
MUL-MAC ARCHITECTURE & DESIGN				
101 N. PACIFIC COAST HWY., STE 301 EL SEGBORO, CA 92545 W.MUL-MAC.COM T (951) 343-1032				
Landscape Architect				
DATE: 2003.07.17				
PROJECT TYPE: SP				
SHEET NO.: A0.02				

PLANING SUBMITTAL	
N	
DATE: 2003.07.17	
PROJECT TYPE: SP	
SHEET NO.: A0.02	

															
PROPOSED SET ASIDE AREA				EXISTING CORRAL - VIEW FROM APPALOOSA				PROPOSED FUTURE SET ASIDE - VIEW FROM APPALOOSA				EXISTING STABLE - VIEW FROM APPALOOSA			
															
EXISTING CORRAL				EXISTING CORRAL				EXISTING CORRAL				EXISTING CORRAL			
															
EXISTING LANDSCAPE - PROPERTY LINE				EXISTING LANDSCAPE - VIEW FROM APPALOOSA				EXISTING LANDSCAPE - PROPERTY LINE				EXISTING CORRAL			
															
EXISTING STABLES - SOUTHEAST VIEW				EXISTING BREEZEWAY - NORTH VIEW				EXISTING STABLES - NORTHWEST VIEW				EXISTING STABLES - SOUTHWEST FACADE			

3 DATE REASON FOR ISSUE		87
ISSUE RECORD		
PLANNING SUBMITTAL		
ALL DRAWINGS SHALL BE THE PROPERTY OF MUL-MAC ARCHITECTURE & DESIGN, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MUL-MAC ARCHITECTURE & DESIGN, INC.		
N		
PROJECT TEAM NO. CHAIRMAN		
STRUCTURAL ENGINEER		
ONE ENGINEER		
LANDSCAPE ARCHITECT		
OTHER COMMENTS		
PROJECT'S NAME		
MUL-MAC ARCHITECTURE & DESIGN 1071 N. PACIFIC COAST HWY., STE. 101 EL SEQUOIO, CA 95024 WWW.MUL-MAC.COM TEL: (916) 363-1002		
PRIVATE RESIDENCE		
SERMON RESIDENCE		
STABLE & SPORTS COURT 15 Upper Blackwater Canyon Road, Rolling Hills, CA 90274		
EXISTING SITE PHOTOS		
PROJECT NO. 200302.01	SHEET NO. A0.06	DATE 2/20/2024

A	DATE	ISSUE RECORD	BY
PLANNING SUBMITTAL			
<p>All drawings shall comply with the rules and regulations of the City of Los Angeles Department of Building and Safety, Division of Building Standards, and the California Building Code, as amended.</p>			
PROJECT NAME WFF PARKWAY			
STRUCTURAL NUMBER			
DATE SUBMITTED			
LANDSCAPE ARCHITECT			
OWNER COMMENTS			
OTHER COMMENTS			
ADDITIONAL SHEETS			
MUL-MAC ARCHITECTURE & DESIGN 101 N. PACIFIC COAST HWY., STE 101 EL SEGUINDO, CA 90245 W MUL-MAC.COM T (310) 348-1022			
PRIVATE RESIDENCE SERMON RESIDENCE			
CLIENT NAME STABLE & SPORTS COURT 15 Upper Blackwater Canyon Road, Rolling Hills, CA 90274			
SHEET NAME DEMOLITION PLAN			
DESIGNED BY 200302.LOT	TITLE & PROJECT As indicated	REVISIONS Approver	DRAWN NO. A1.06

PLANNING SUBMITTAL

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PROJECT TEAM

NO. DRAWINGS

STRUCTURAL ENGINEER

ONE ENGINEER

LANDSCAPE ARCHITECT

OTHER CONSULTANT

PROJECT'S OWNER

MUL-MAC

ARCHITECTURE & DESIGN

101 N. PACIFIC COAST HWY., STE. 301
EL SEGUNDO, CA 90245
WWW.MUL-MAC.COM
TEL: (310) 343-1032

OWNER NAME

SEMMON RESIDENCE

STABLE & SPORTS COURT

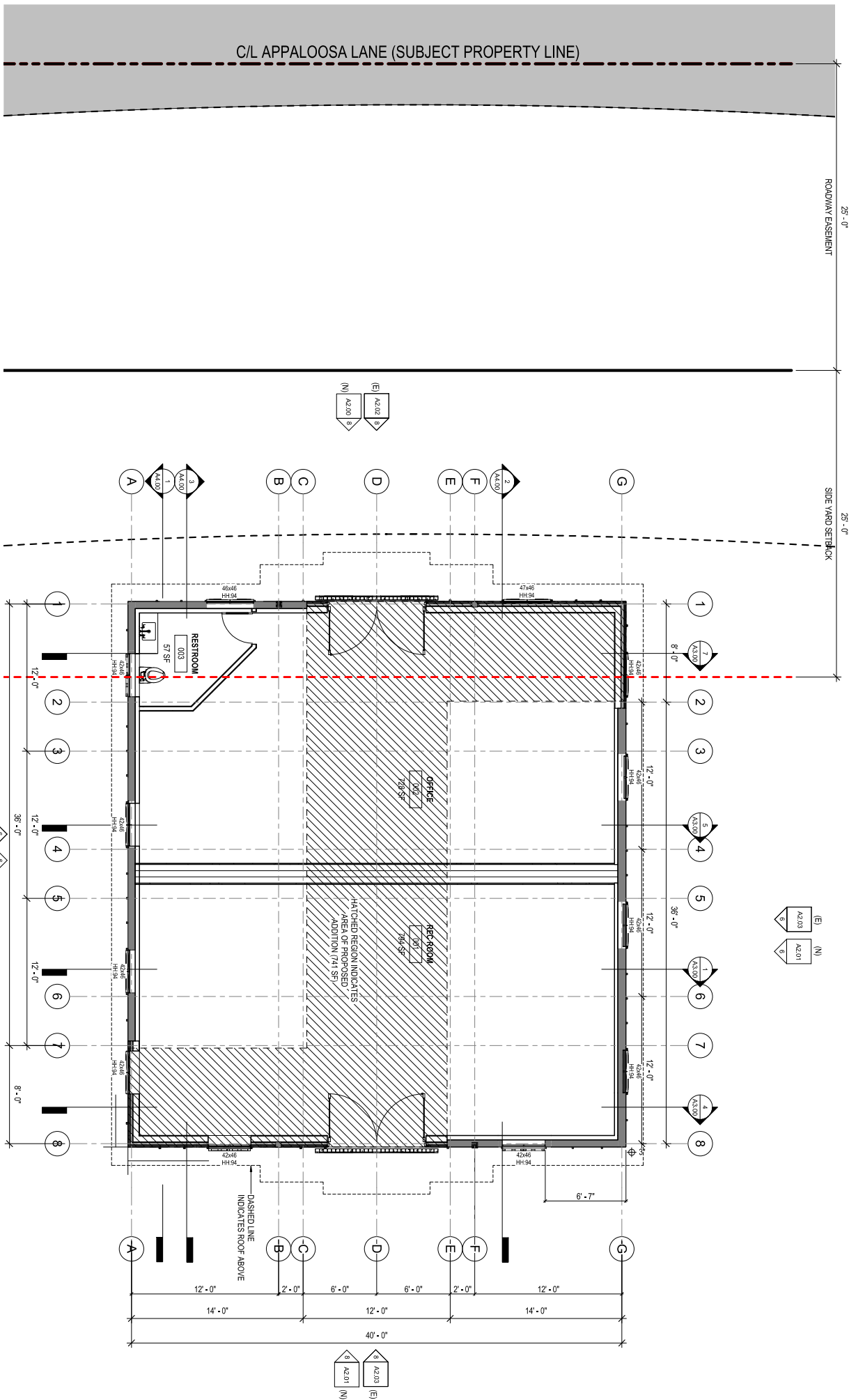
15 Upper Blackwater Canyon Road, Rolling Hills, CA 90274

CONSTRUCTION PLAN

PROJECT NO.	SCALE	DATE
200302.01	AS PROVIDED	BN

SHEET NO.

A1.11



01 FIRST FLOOR PLAN

1/4" = 1'-0"

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- REFER TO A4.02 FOR GENERAL NOTES.
- REFER TO A4.01 FOR SYMBOL LEGEND.
- ALL DIMENSIONS ARE FROM FACE OF FINISH UNL.
- REMOVE ALL ABANDONED POWER AND SIGNAL CABLEING BACK TO SOURCE AND SAFE OFF.
- PROVIDE PROTECTION FOR EXISTING FINISHES TO REMAIN.
- SHALL PATCH AND REPAIR AREAS WHERE DEMOLITION OR DAMAGE OCCURRED. REFINISH NATURAL BREAK POINT.
- GC TO PATCH AND REPAIR DAMAGED FIRE PROOFING ON STRUCTURAL AND FIRE RATED ASSEMBLIES, MATCH EXISTING FIRE RATING.
- REMOVE OR COVER ALL EXISTING PERIMETER WINDOW PLUMBS PRIOR TO DEMOLITION OF EXISTING WINDOW.
- CONTRACTOR SHALL CLEAN AND UNCOVER OR REINSTALL AT COMPLETION OF CONSTRUCTION.
- ELEMENTS NOT REQUIRED FOR NEW CONSTRUCTION.
- ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING. VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.
- CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
- FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNEXPECTED CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.

- CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
- TO REMAIN, ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.
- CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.

SQUARE FOOTAGE CALCULATION	
EXISTING STABLES:	1,069 SF
PROPOSED ADDITIONAL SF:	741 SF
PROPOSED TOTAL SQUARE FOOTAGE:	1,810 SF

#	MATERIAL TAG
(10)	DOOR TAG
(X)	WALL TAG
(D)	STOREFRONT / CURTAIN WALL TAG
(E)	PLUMBING, APPLIANCE, EQUIPMENT TAG
(F)	FLOOR DRAIN
(G)	CHANGE IN ELEVATION LEVEL
(H)	EXISTING CONSTRUCTION
(I)	DEMOLISHED CONSTRUCTION
(J)	1 HR RATED PARTITION
(K)	2 HR RATED PARTITION
(L)	NEW MILLWORK

SHEET NOTES

16

SQUARE FOOTAGE CALC.

12

LEGEND

8

KEYNOTES

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PROJECT TEAM
NOT SHOWN

STRUCTURAL ENGINEER

ONE ENGINEER

LANDSCAPE ARCHITECT

OTHER CONSULTANT

ARCHITECT'S SEAL

MUL-MAC

ARCHITECTURE & DESIGN

1071 N. PACIFIC COAST HWY., STE. 301
EL SEQUOIO, CA 95045
WWW.MUL-MAC.COM
TEL: (925) 363-1032

CLIENT NAME
**PRIVATE
RESIDENCE**

CLIENT NAME
SERMON RESIDENCE

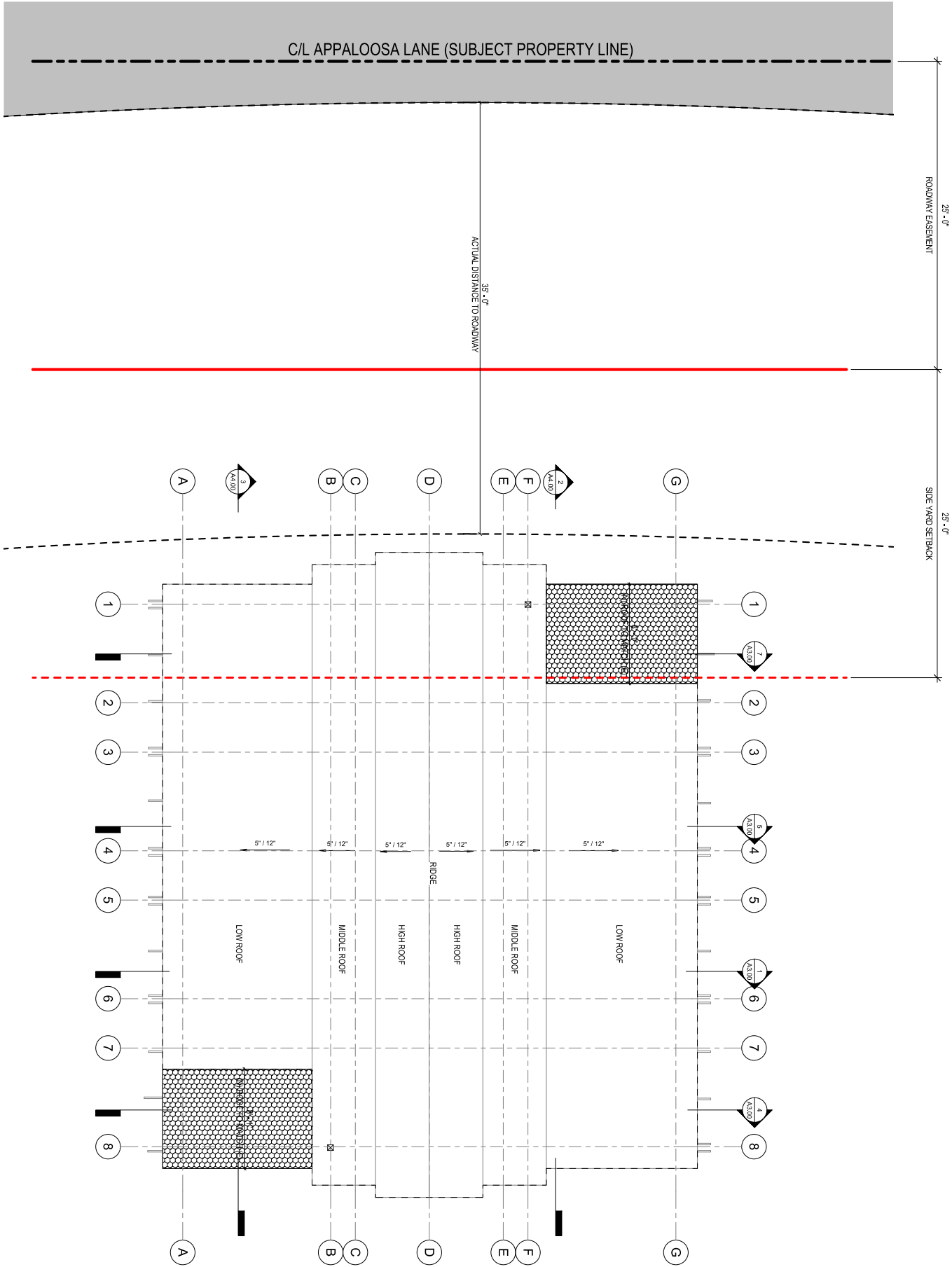
SHEET NAME
STABLE & SPORTS COURT

15 Upper Blackwater Canyon Road, Rolling Hills,
CA 90274

ROOF PLAN

PROJECT NO.	SCALE	DATE
200302.01	AS PROVIDED	BN
SHEET NO.		

A1.30



02 ROOF PLAN
1/4" = 1'-0"

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?	MATERIAL TAG
TR	DOOR TAG
XX	WALL TAG
◇	STOREFRONT / CURTAIN WALL TAG
□	PLUMBING, APPLIANCE, EQUIPMENT TAG
⊙	FLOOR DRAIN
■	CHANGE IN ELEVATION LEVEL
▨	EXISTING CONSTRUCTION
▨	DEMOLISHED CONSTRUCTION
▨	1 HR RATED PARTITION
▨	2 HR RATED PARTITION
▨	NEW MILLWORK

SHEET NOTES

ISSUE RECORD			BT
A	DATE	REASON FOR ISSUE	

PLANNING SUBMITTAL

All drawings shall be submitted to the Planning Department for review and approval. The Planning Department may require additional information or revisions to the drawings. The Planning Department may require the applicant to provide a letter of explanation for any revisions. The Planning Department may require the applicant to provide a letter of explanation for any revisions.

NOTES

PROJECT TEAM

NOT DRAWN

STRUCTURAL ENGINEER

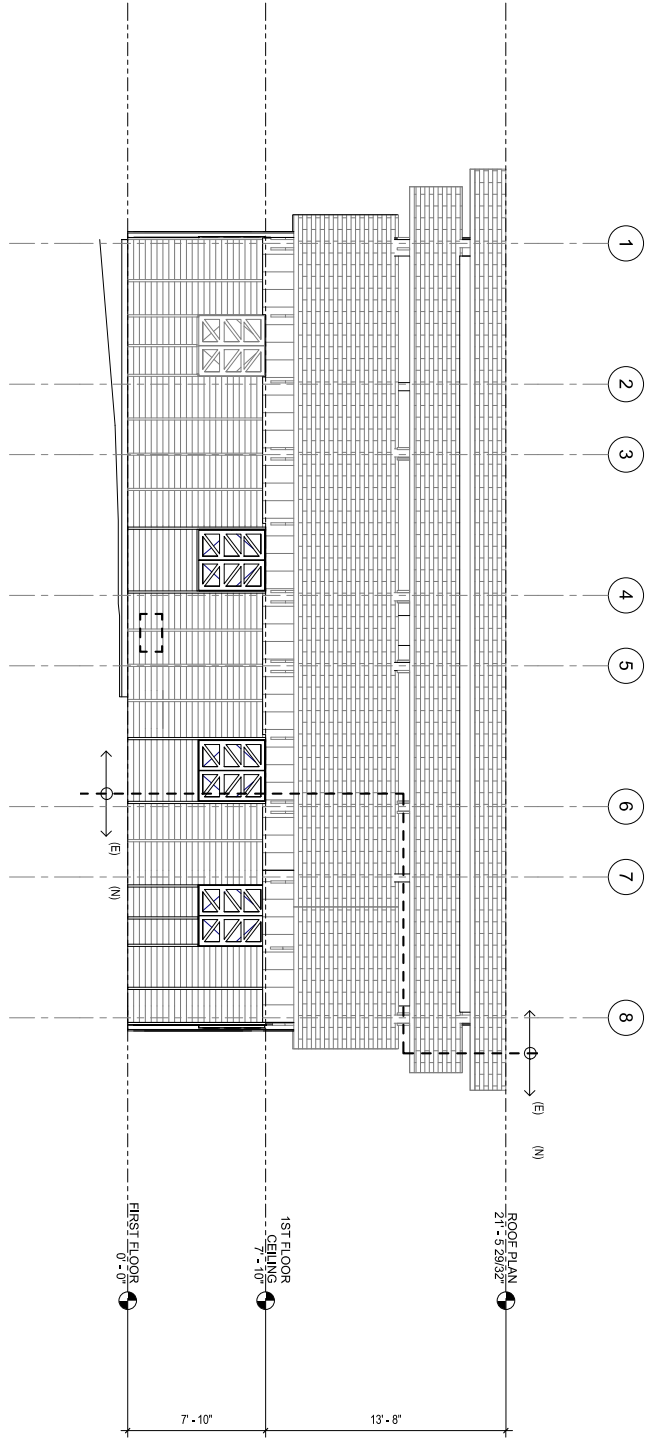
ONE ENGINEER

LANDSCAPE ARCHITECT

OTHER COMMENTS

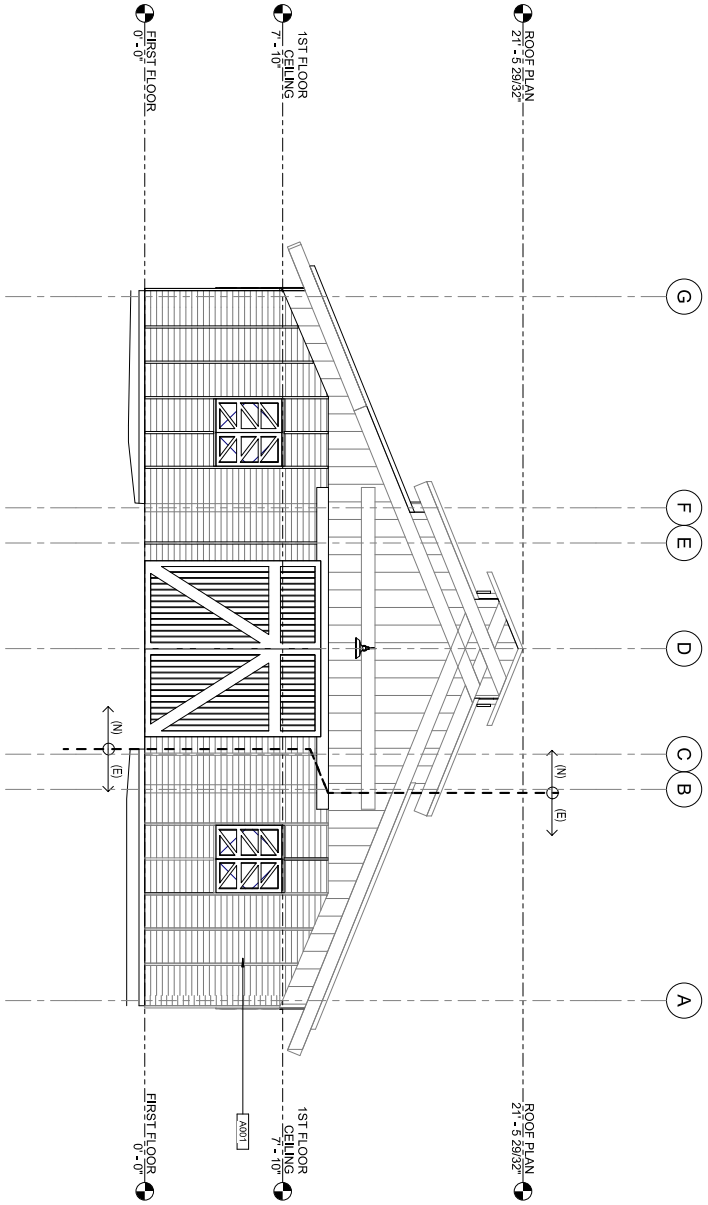
KEYNOTES

A001 FACADE DESIGN SUBJECT TO CHANGE PER RICA REVIEW, TYP.



NORTH ELEVATION
1/4\"/>

6



EAST ELEVATION
1/4\"/>

8

MUL-MAC
ARCHITECTURE & DESIGN
101 N. PACIFIC COAST HWY., STE. 301
EL SEGUNDO, CA 90245
W MUL-MAC.COM
T (310) 343-1032

**PRIVATE
RESIDENCE**

SERMON RESIDENCE

STABLE & SPORTS COURT

15 Upper Blackwater Canyon Road, Rolling Hills,
CA 90274

EXTERIOR ELEVATIONS

PROJECT NO.	SCALE	DATE	REVISION
200302.01	1/4\"/>	BN	

SHEET NO.

A2.00

A		DATE		ISSUE RECORD		BY	
<div> <div>PROJECT NAME</div> <div>WFO PARKWAY</div> </div>							
<div> <div>STRUCTURAL NUMBER</div> <div></div> </div>							
<div> <div>DATE SUBMITTED</div> <div></div> </div>							
<div> <div>LANDSCAPE ARCHITECT</div> <div></div> </div>							
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<div> <div>OWNER COMMENTS</div> <div></div> </div>							
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<div> <div>MUL-MAC ARCHITECTURE & DESIGN</div> <div>101 N. PACIFIC COAST HWY., STE 101 EL SEGUNDO, CA 90245 W.MUL-MAC.COM T (310) 345-1022</div> </div>							
<div> <div>PRIVATE RESIDENCE</div> <div></div> </div>							
<div> <div>SERMON RESIDENCE</div> <div></div> </div>							
<div> <div>STABLE & SPORTS COURT</div> <div>15 Upper Blackwater Canyon Road, Rolling Hills, CA 90274</div> </div>							
<div> <div>EXTERIOR ELEVATIONS</div> <div></div> </div>							
<div> <div>PROJECT NO.</div> <div>200301.01</div> </div>		<div> <div>TITLE & PROJECT</div> <div>As indicated</div> </div>		<div> <div>DATE SUBMIT</div> <div>BN</div> </div>		<div> <div>PROJECT NO.</div> <div>A201</div> </div>	

A		DATE		ISSUE RECORD		BY	
PLANNING SUBMITTAL							
We warrant that this plan and specifications were prepared by us or under our direct supervision and control, and that we are duly licensed and qualified to do so. We warrant that this plan and specifications comply with all applicable laws, codes, ordinances, and regulations. We warrant that this plan and specifications are complete and correct as of the date of preparation. We warrant that this plan and specifications are not to be used for any other purpose without our written consent. We warrant that this plan and specifications are not to be used for any other purpose without our written consent. We warrant that this plan and specifications are not to be used for any other purpose without our written consent.							
NOT SCALE							
PROJECT NAME							
SHEET NUMBER							
STRUCTURAL NUMBER							
DATE NUMBER							
LANDSCAPE ARCHITECT							
OWNER ADDRESS							
OWNER PHONE/FAX							
ARCHITECT'S SIGNATURE							
MUL-MAC ARCHITECTURE & DESIGN 101 N. PACIFIC COAST HWY., STE 301 EL SEGUNDO, CA 90245 W Mul-MAC.COM T (310) 365-1032							
PRIVATE RESIDENCE							
SERMON RESIDENCE							
CLIENT NAME							
STABLE & SPORTS COURT							
15 Upper Blackwater Canyon Road, Rolling Hills, CA 90274							
EXISTING ELEVATIONS							
PROJECT NAME							
DRAWING NO.							
TOTAL SHEETS							
DATE							
APPROVED							
APPROVER							
SHEET NO.							
202002.01							
A2.02							

ISSUE RECORD	
3	DATE
REASON FOR ISSUE	
4	BY

1. FINISH MATERIAL POLLUTANT CONTROL - FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, COATINGS, AND COMPOSITE WOOD PRODUCTS MUST COMPLY WITH CCRSC 4.504.1-4.504.5. VERIFICATION OF COMPLIANCE MUST BE DOCUMENTED.

PLANNING SUBMITTAL

ALL DRAWINGS SHALL BE PREPARED BY THE ARCHITECT OR ANOTHER PERSON UNDER THE ARCHITECT'S CLOSE PERSONAL SUPERVISION AND SHALL BE SIGNED AND SEALED BY THE ARCHITECT. THE ARCHITECT'S SIGNATURE SHALL BE AFFIXED TO THE DRAWING.

DATE: 01/15/2024

PROJECT NAME

NO. DRAWING

STRUCTURAL ENGINEER

ONE ENGINEER

LANDSCAPE ARCHITECT

OTHER COMMENTS

PROJECT'S NAME

MUL-MAC
ARCHITECTURE & DESIGN

1071 N. PACIFIC COAST HWY., STE. 101
EL SEGUNDO, CA 90245
W.MUL-MAC.COM
TEL: (310) 343-1032

PRIVATE
RESIDENCE

SERMON RESIDENCE

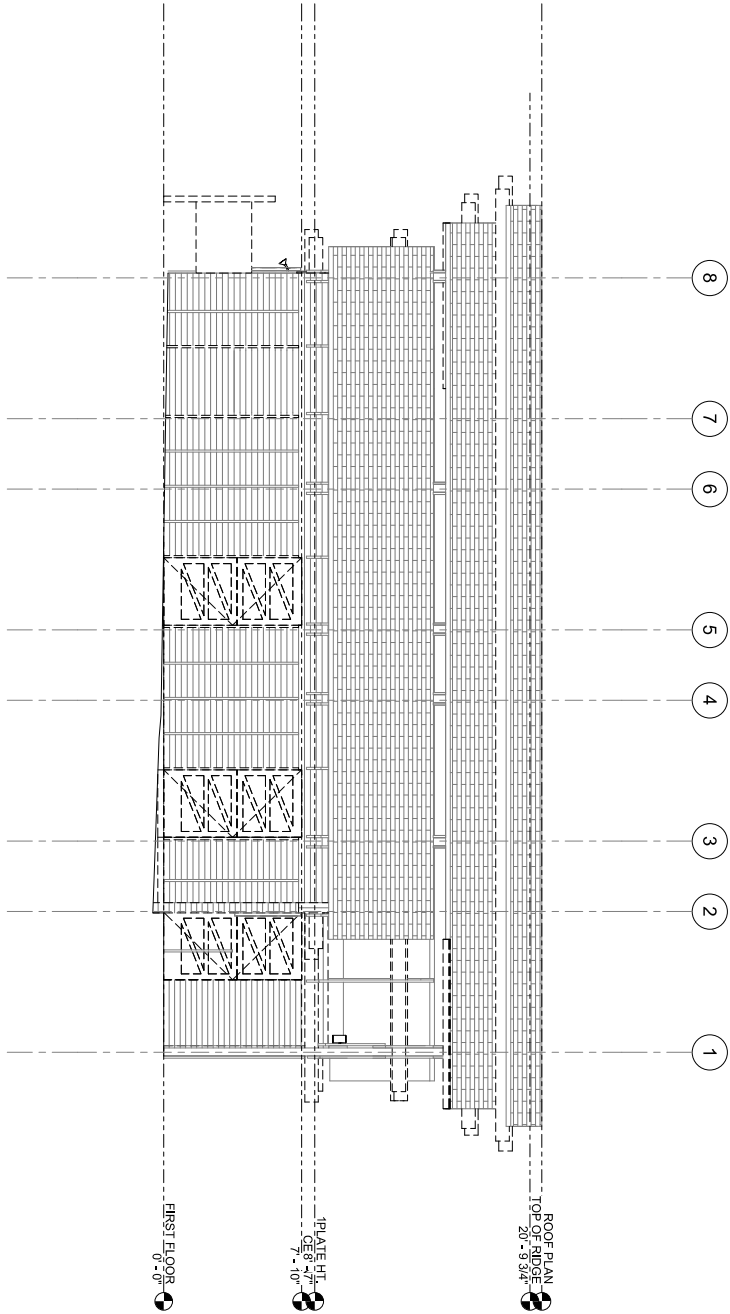
STABLE & SPORTS COURT

15 Upper Blackwater Canyon Road, Rolling Hills,
CA 90274

EXISTING ELEVATIONS

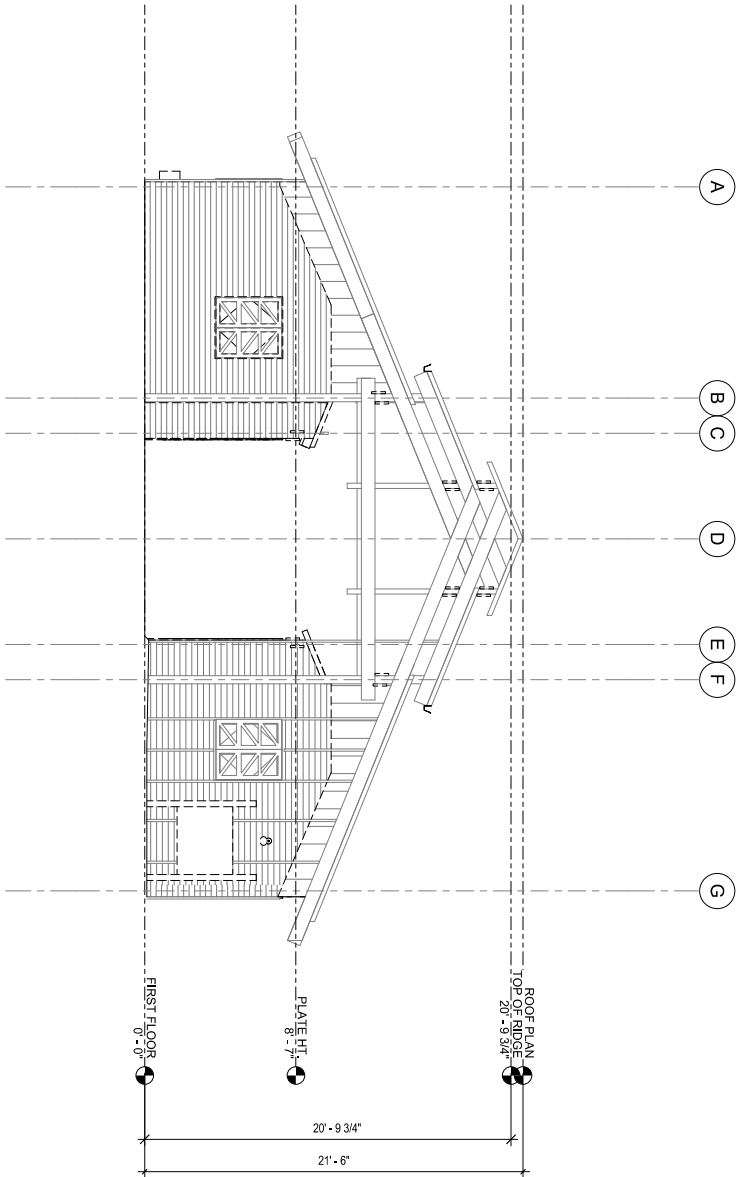
DESIGNED BY: AS NOTED
2003.01
APPROVED BY: APPROVER

SHEET NO. A2.03



EXISTING SOUTH ELEVATION
1/4" = 1'-0"

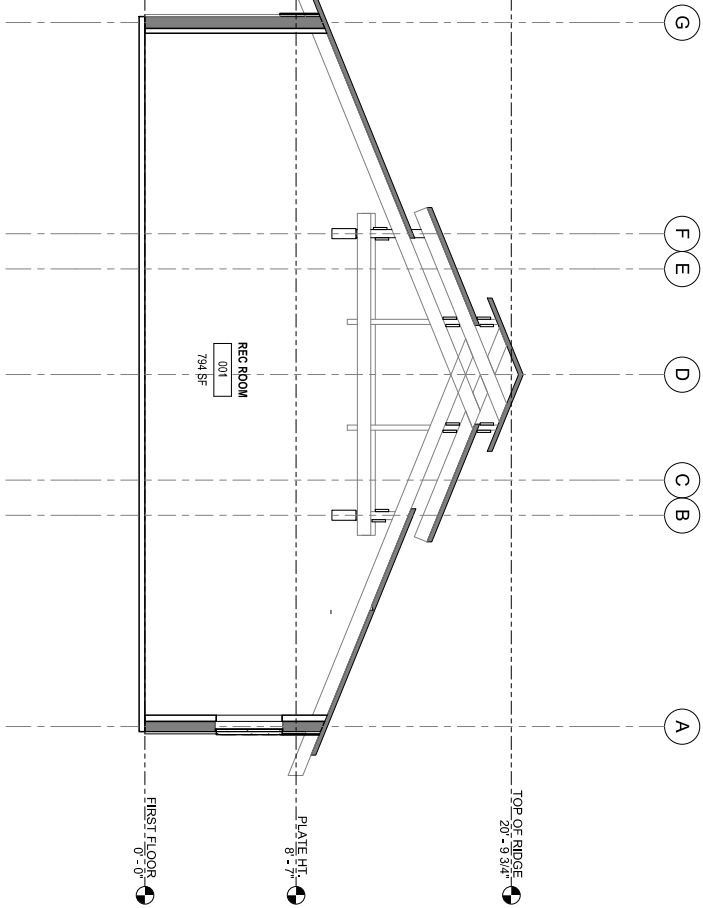
KEYNOTES



EXISTING WEST ELEVATION
1/4" = 1'-0"

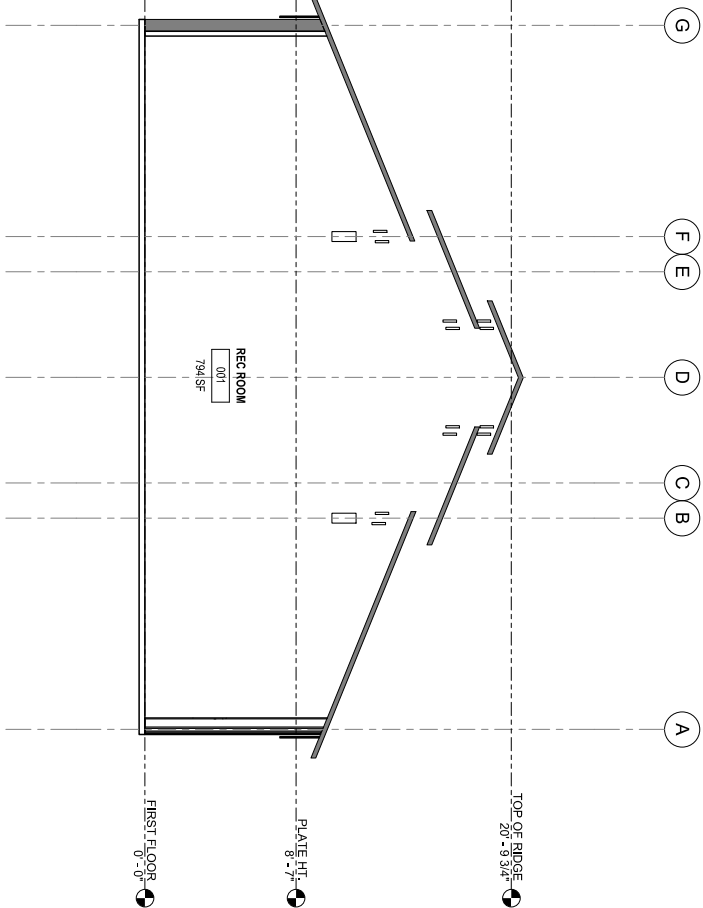
8

A2.03



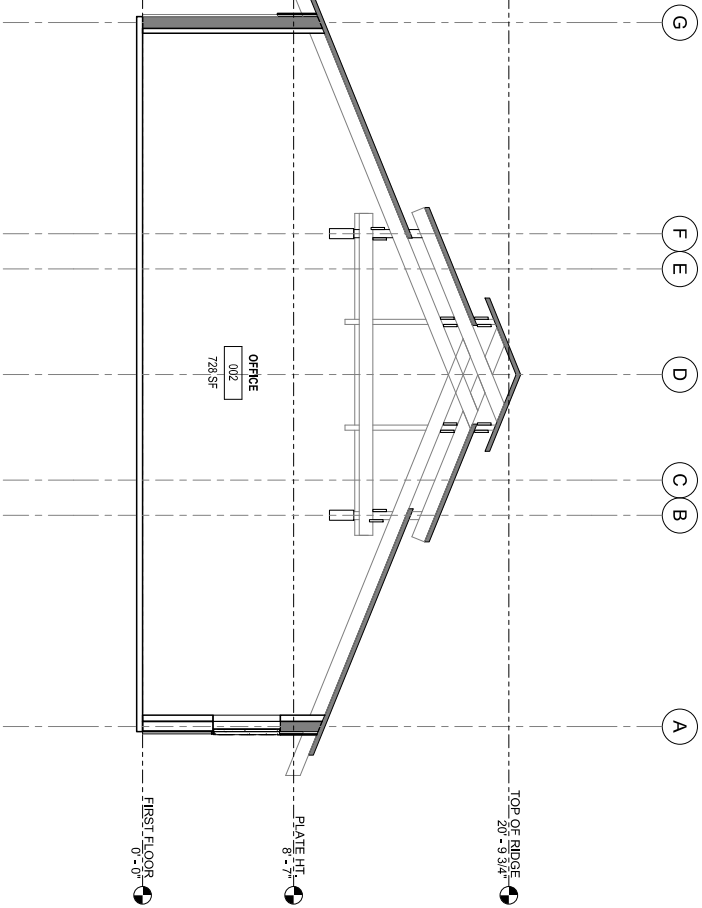
BUILDING SECTION 01A
1/4" = 1'-0"

1



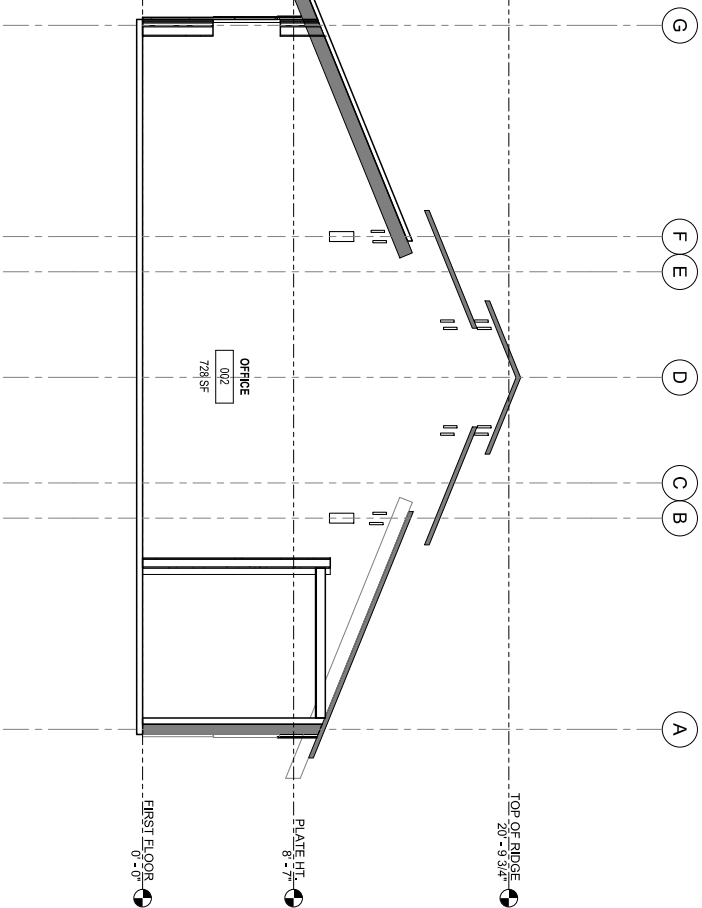
BUILDING SECTION 01B
1/4" = 1'-0"

4



BUILDING SECTION 01C
1/4" = 1'-0"

5



BUILDING SECTION 01D
1/4" = 1'-0"

7

PLANNING SUBMITTAL

All drawings shall be prepared by the architect and shall be the property of the architect. The architect shall be responsible for the accuracy and completeness of the drawings. The architect shall not be responsible for the accuracy or completeness of the drawings prepared by others. The architect shall not be responsible for the accuracy or completeness of the drawings prepared by others.

NOT FOR CONSTRUCTION



PROJECT TEAM
NO. DRAWING

STRUCTURAL ENGINEER

ONE ENGINEER

LANDSCAPE ARCHITECT

OTHER CONSULTANTS

ARCHITECT'S SEAL

MUL-MAC
ARCHITECTURE & DESIGN
101 N. PACIFIC COAST HWY., STE. 301
EL SEGUNDO, CA 90245
WWW.MUL-MAC.COM
TEL: (310) 343-1032

**PRIVATE
RESIDENCE**

SERMON RESIDENCE

STABLE & SPORTS COURT
15 Upper Blackwater Canyon Road, Rolling Hills,
CA 90274

BUILDING SECTIONS

DESIGNED BY: SCALE: 1/4" = 1'-0"
200302.01
DATE: 2/20/2011
BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

SHEET NO. **A3.00**



BOSKY
LANDSCAPE
ARCHITECTURE
www.boskyland.com

Robert J. Bosky, Landscape Architect
License No. 45519
45519
509 E. California Street, Suite D
Santa Barbara, CA 93103
www.boskyland.com



BLACKWATER RESIDENCE
15 Upper Blackwater Canyon Rd
Rolling Hills, CA 90274

DATE:	03/11/2021
DRAWN BY:	
CHECKED BY:	
PROJECT #:	2106
REV'S / SUBS	
NO. DESCRIPTION	

SHEET:
L1.0

SITE CONTEXT

DATE: 03/04/2021 ZONING CASE NO. ADDRESS: 15 UPPER BLACKWATER CANYON RD ROLLING HILLS, CA 90274

CONCEPTUAL LANDSCAPE PLAN REQUIREMENTS

THE FOLLOWING PROPOSED ELEMENTS MUST BE SHOWN ON THE SITE PLAN SUBMITTED WITH PLANNING APPLICATION

PLANTING AREA

- | | | |
|---|-------|---------|
| 1. NEW AREAS TO BE LANDSCAPED | 0 | sq. ft. |
| 2. EXISTING LANDSCAPING TO BE ALTERED (REF. LANDSCAPED) | 4,600 | sq. ft. |
| 3. TOTAL LANDSCAPING, NEW AND ALTERED AREAS | 4,600 | sq. ft. |

OTHER LANDSCAPE ELEMENTS

4. CHECK OFF ANY OF THE FOLLOWING ELEMENTS THAT MAY BE PROPOSED, AND SHOW LOCATIONS ON PROJECT SITE PLAN:

- WATER FEATURE: ☐ ☐ ☐ ☒
- GARDEN WALL (less than 3'-11" tall) ☐
- SITTING WALL / BENCH ☐
- WALKWAY OR PATIO ☐
- TRELLIS, CANOPY OR SIMILAR STRUCTURE ☒
- SEE 10' SPORT COURT FENCE



Variance and Conditional Use Permit	EXISTING	PROPOSED	TOTAL
RA-S-2 Zone Setbacks Front: 50 ft. from front easement line Side: 35 ft. from side property line Rear: 50 ft. from rear easement line	SINGLE FAMILY RESIDENCE, GARAGE, REC ROOM, OBSERVATORY, STABLE, CORRAL	EX. STABLE CONVERSION TO MIXED USE (OFFICE/REC ROOM) AND SPORTS COURT	
Net Lot Area SF			191,262
Residence/Garage SF	6,555		6,555
Swimming Pool/Spa SF	1,430	0	1,430
Pool Equipment SF	298	0	298
Observatory SF	342	0	342
Recreation Facility SF	1,935	0	1,935
ADU SF	0	0	0
Cabana SF	0	0	0
Stable/Corral	1,069	741	1,810
Stable minimum: 450 SF (set aside) Corral minimum: 550 SF (set aside)		450	450
Recreation Court SF	0	6,384	6,384
Attached Covered Porches, Entryway, Porte Cochere, Breezeways SF	593	0	593
Attached Trellis SF	598	0	598
Detached Structures: Outdoor Kitchen SF	320 SF Patio Cover 76 SF Bath 76 SF Sauna	0	472
Water Features SF	0	0	0
Service Yard SF	0	0	0
Basement Area SF	322	0	322
Grading CY (balanced on site)	Unknown	0	0
Total Structure Area SF	13,977	7,575	21,552
% Structural Coverage	7.3%	3.7%	11%
Total Structures SF Excluding: up to 5 legal and up to 800 SF detached structures that are not higher than 12 ft (no more than 120 SF per structure per deduction, except for trellis)	12,139	7,575	19,714
Structural Lot Coverage (20% maximum)	6.3%	3.9%	11.2%
Total Structural and Flatwork Lot Coverage (35% maximum)	14.1%	3.9%	18%
Building Pad #1 Coverage (30% maximum) 31,905 SF	25.9%	0	25.9%
Building Pad #2 Coverage (30% maximum) 8,145 SF	27.9%	0	27.9%
Building Pad #3 Coverage (30% maximum) 15,168 SF	10.4%	43.2%	<u>54.2%</u>
Total Disturbed Area SF	60,453	0	60,453
Total Disturbed Area (40% maximum)	31.6%	0	31.6%
Roadway Access	Existing driveway	No change	No change

RESOLUTION NO. 2021-05

A RESOLUTION APPROVING VARIANCE REQUEST FOR 1) ENCROACHMENT INTO THE SIDE YARD SETBACK FOR THE PROPOSED SPORTS COURT AND MIXED USE WITH 741 SQUARE-FOOT ADDITION AND 2) EXCEEDANCE OF THE BUILDING PAD COVERAGE ON PAD NO. 3 BY THE 6,384 SPORTS COURT; AND CONDITIONAL USE PERMIT FOR THE MIXED USE AND SPORTS COURT LOCATED AT 15 UPPER BLACKWATER CANYON ROAD, ROLLING HILLS, CA (SERMON).

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

Section 1. An application was duly filed by Mr. and Mrs. Sermon requesting Variances for 1) encroachment into the side yard setback for the proposed sports court and mixed use (office and recreation room) and 2) exceedance of the building pad coverage on Pad No. 3, location of the proposed development; and Conditional Use Permit for the proposed sports court and mixed use located at 15 Upper Blackwater Canyon Road.

Section 2. The Planning Commission conducted duly noticed public hearings to consider the application on May 18, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studied said proposal.

Section 3. The property is zoned RAS-2 and has a net lot area of 191,262 square feet. The lot is currently developed with a single family residence with attached garage, recreation room, observatory, pool, stable and corral. There are three existing building pads on site on different elevations. The existing residence, garage and pool are located on Pad No. 1. The secondary building pad, Pad No. 2, is on a lower elevation where the observatory and recreation room are located. The lowest pad, Pad No. 3, is where the stable and corral are located and where the proposed use conversion and 741 square-foot addition will occur.

Section 4. This project is also categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) because it involves minor alteration of or addition to an existing private structure. The project consists of partial a 741 square-foot addition to an existing stable, new 6,384 square-foot sports court and conversion of the existing stable to office with a restroom, and recreation room.

Section 5. Sections 17.38.010 through 17.38.050 of the Rolling Hills Municipal Code permit approval of a Variance granting relief from the standards and requirements of the Zoning Ordinance when exceptional or extraordinary circumstances applicable to the property prevent the owner from making use of a parcel of property to the same extent enjoyed by similar properties in the same vicinity or zone. In proposing to encroach into the side yard setback for the proposed 741 square-foot addition and new 6,384 square-foot sports court and exceeding the building pad coverage, Variances are required to grant relief

from Section 17.16.110, 17.16.120, and 17.16.097 of the Zoning Ordinance.

With respect to the aforementioned request for a Variance from Zoning Ordinance, the Planning Commission finds as follows:

A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone in that the property is already developed with structures that encroach into the required setback and that the proposed development will not further exceed the leading edge of the existing structures; and the proposed development within the existing footprint of existing structures will cause the least development impact onsite and to surrounding properties;

B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question due to the existing topography that make it difficult to comply with the City of Rolling Hills Municipal Code's development standards;

C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity in that the proposed development will comply with the required building code, will not have adverse visual impact to adjacent properties and is in keeping with the character and scale of the community;

D. That in granting the variance, the spirit and intent of this title will be observed in that the proposed development does not prevent anyone from enjoying their property rights, the improvements are visually harmonious with adjacent properties and in scale with adjacent residential development;

E. That the variance does not grant special privilege to the applicant in that the proposed addition is in character and similar in scale with existing residential development and the applicant will have the opportunity to enjoy the same amenities enjoyed by other residents in the community;

F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities. The proposed location of the project will not be sited near hazardous waste facilities and is surrounded by residential land use; and

G. That the variance request is consistent with the general plan of the City of Rolling Hills in that the applicant will enjoy the same rights that residents in the community enjoy, the proposed improvements are in character and scale as the existing neighborhood, it preserves the rural character of the City.

Section 6. The Rolling Hills Municipal Code require a Conditional Use Permit for a project a mixed use structure pursuant to RHMC Section 17.16.040(A)(3) subject to certain conditions pursuant to RHMC Section 17.16.210(A)(6). The project proposes to convert an existing stable to mixed use structure consisting of a 785 square foot office with restroom and 794 square foot recreation room. The Planning Commission makes the following findings:

A. That the proposed conditional use (a mixed use structure) is consistent with the General Plan. The mixed use structure consisting of 785 square-foot office with restroom and 794 square-foot recreation room and sports court are consistent with similar uses in the community and is a permitted use with a CUP. Although the mixed use structure requires a variance to allow it in the side yard setback, the positioning of the mixed use is already within the stable's existing footprint. Therefore, it will not exceed the existing outermost configuration of the structures on the lot and will minimize the amount of disturbance on the lot. Further, adequate area remains on the property to construct a stable and corral in the future. Lastly, the proposed sports court will be surrounded by additional landscaping, which will minimize visual impact from public view.

B. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures. The mixed use structures will be on a lower pad than the residence but is higher than the adjacent road elevation and is almost 200 feet from nearest residence. Due to the existing development, location, and configuration of the residence, the Applicants are limited in where a sports court could be constructed. In addition, the mixed use structure blend already exists and is in the scale of the existing development in the neighborhood.

C. That the site for the proposed conditional use is of adequate size and shape to accommodate the uses proposed. The mixed use structure will be housed an existing stable that will be converted. The additional 741 square-foot addition will not exceed the existing outermost walls of the stable. Pad No. 3 will not need to be expanded to accommodate the required uses, it is the only area that will cause the least disturbance to the natural terrain of the site. There is no other location to place the proposed sports court onsite without causing significant change to the current terrain.

D. That the proposed conditional use complies with all applicable development standards of the zone district. The mixed use structure complies with all applicable development standards of the zone district as approved by this Resolution. Although the mixed use structure requires a variance to allow it in the side yard, the positioning of a majority of the mixed use structure will be located within the existing stable. Therefore, it will not change the existing configuration significantly and will minimize the amount of disturbance on the lot. The proposed location of the sports court is within the boundaries of an existing corral. Thus, the project causes minimal impact to the previously disturbed site.

E. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List.

F. That the proposed conditional use observes the spirit and intent of this title. The construction of the sports court, and conversion and addition to the stable allows the Applicants the ability to enjoy rights enjoyed by other residents in the City. Construction of the sports court in the side yard setback, allows the Applicants to minimize the amount of grading on the lot.

Section 7. Based upon the foregoing findings, the Planning Commission hereby approves the Variance and Conditional Use Permit request in Zoning Case No. 21- 04 for 1) encroachment into the side yard setback for the proposed 741 square-foot addition to the existing stable and 6,384 square-foot sports court and 2) exceeding total building pad coverage; and Conditional Use Permit for the mixed use office and recreation room, and sports court, subject to the following conditions:

A. This approval shall expire within two years from the effective date of approval if construction pursuant to this approval has not commenced within that time period, as required by Sections 17.38.070 and 17.46.080 of the Rolling Hills Municipal Code, or the approval granted is otherwise extended pursuant to the requirements of this section.

B. If any condition of this resolution is violated, the entitlement granted by this resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicant cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted, the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to Chapter 17.58 of the Rolling Hills Municipal Code (RHMC).

C. All requirements of the Building and Construction Ordinance, the Zoning Ordinance, LA County Building Code and of the zone in which the subject property is located must be complied with unless otherwise set forth in the Permit, or shown otherwise on an approved plan.

D. The lot shall be developed and maintained in substantial conformance with the site plan on file dated April 15, 2021 except as otherwise provided in these conditions, Attachment A.

E. Prior to submittal of final working drawings to the Building and Safety Department for issuance of building permits, the plans for the project shall be submitted to City staff for verification that the final plans are in compliance with the plans approved by the Planning Commission.

F. The working drawings submitted to the Department of Building and Safety for plan check review must conform to the development plan approved with this application. A copy of the conditions of this Resolution shall be printed on plans approved when a building permit is issued and a copy of such approved plans, including conditions of approval, shall be available on the building site at all times.

G. A licensed professional preparing construction plans for this project for Building Department review shall execute a Certificate affirming that the plans conform in all respects to this Resolution approving this project and including conformance with all of the conditions set forth therein and the City's Building Code and Zoning Ordinance.

Further, the person obtaining a building permit for this project shall execute a Certificate of Construction stating that the project will be constructed according to this Resolution and any plans approved therewith.

H. Structural lot coverage shall not exceed 19,714 square feet, or 11.2% (with allowable deductions). Total lot coverage shall not exceed 18% or 19,714 square feet.

I. The disturbed area of the lot shall not exceed 31.6% (of net lot area). No further disturbance is proposed.

J. A minimum of five-foot level path and/or walkway, which does not have to be paved, shall be provided around the proposed mixed use for fire access.

K. Notwithstanding Sections 17.46.020 and 17.46.070 of the Rolling Hills Municipal Code, any modification to this project or to the property, which would constitute additional structural development, grading, excavation of dirt and any modification including, but not be limited to retaining walls, drainage devices, pad elevation and any other deviation from the approved plan, shall require the filing of a new application for approval by the Planning Commission.

L. *During construction*, conformance with the air quality management district requirements, stormwater pollution prevention practices, county and local ordinances and engineering practices so that people or property are not exposed to undue vehicle trips, noise, dust, and objectionable odors shall be required.

M. *During and after construction*, all parking shall take place on the project site. During construction, to maximum extent feasible, employees of the contractor shall car- pool into the City.

N. *During construction*, the property owners shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.

O. The property owners shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage and storm water management.

P. During construction, all parking shall take place on the project site and, If necessary, any overflow parking shall take place within nearby unimproved roadway easement adjacent to subject site. There shall be no blocking of adjacent driveways or of the roadway easement for passage of pedestrians and equestrians. During construction a flagmen shall be present to direct traffic when it is anticipated that a lane may be impeded.

Q. A minimum of 65% of the construction material spoils shall be recycled and diverted. The hauler shall secure a "Construction and Demolition Permit" from the City of Rolling Hills, and provide the required documentation. The permit shall be pulled prior to issuance of the final Planning Approval.

R. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard_definitions#FIRE. It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions. Should a red flag warning be declared and if work is to be conducted on the property, the contractor shall have readily available fire extinguisher.

S. Prior to issuance of Final Planning Approval, shall submit approved landscape plans by the Fire Department and the City's Landscape Architect.

T. Applicant shall pull Planning permit for temporary construction prior to issuance of Final Planning Approval.

U. Prior to finaling of the project, "as constructed" plans, electronic copy and certifications shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted "as built/as graded".

V. Until the applicants execute an Affidavit of Acceptance of all conditions of this approval, the approvals shall not be effective. Such affidavit shall be recorded together with the resolution.

PASSED, APPROVED AND ADOPTED THIS 18th DAY OF MAY, 2021.

BRAD CHELF, CHAIRMAN

ATTEST:

JENALY SANDOVAL
CITY CLERK

Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in section 17.54.070 of the Rolling Hills Municipal Code and Code of Civil Procedure Section 1094.6.

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) §§
CITY OF ROLLING HILLS)

I certify that the foregoing Resolution No. 2021-05 entitled:

A RESOLUTION APPROVING VARIANCE REQUEST FOR 1) ENCROACHMENT INTO THE SIDE YARD SETBACK FOR THE PROPOSED SPORTS COURT AND MIXED USE WITH 741 SQUARE-FOOT ADDITION AND 2) EXCEEDANCE OF THE BUILDING PAD COVERAGE ON PAD NO. 3 BY THE 6,384 SPORTS COURT; AND CONDITIONAL USE PERMIT FOR THE MIXED USE AND SPORTS COURT LOCATED AT 15 UPPER BLACKWATER CANYON ROAD, ROLLING HILLS, CA (SERMON).

was approved and adopted at a regular meeting of the Planning Commission on May 18, 2021 by the following roll call vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

and in compliance with the laws of California was posted at the following: Administrative
Offices.

JENALY SANDOVAL
CITY CLERK



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 11.A

Mtg. Date: 05/18/2021

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: STEPHANIE GRANT , ADMINISTRATIVE CLERK

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: 75 SADDLEBACK ROAD (ZONING CASE NO. 20-09)

DATE: May 18, 2021

BACKGROUND:

NONE.

DISCUSSION:

NONE.

FISCAL IMPACT:

NONE.

RECOMMENDATION:

NONE.

ATTACHMENTS:



City of Rolling Hills

INCORPORATED JANUARY 24, 1957

Agenda Item No.: 11.B

Mtg. Date: 05/18/2021

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING COMMISSION

FROM: STEPHANIE GRANT , ADMINISTRATIVE CLERK

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: 2 SPUR LANE (ZONING CASE NO. 21-05)

DATE: May 18, 2021

BACKGROUND:

NONE.

DISCUSSION:

NONE.

FISCAL IMPACT:

NONE.

RECOMMENDATION:

NONE.

ATTACHMENTS: