

# City of Rolling Hills INCORPORATED JANUARY 24, 1957

NO. 2 PORTUGUESE BEND ROAD **ROLLING HILLS, CA 90274** (310) 377-1521 FAX (310) 377-7288

**AGENDA Regular Planning Meeting**  PLANNING COMMISSION **Tuesday, May 18, 2021** 

CITY OF ROLLING HILLS 6:30 PM

ADJOURNED REGULAR PLANNING COMMISSION MEETING This meeting is held pursuant to Executive Order N-29-20 issued by Governor Newsom on March 17, 2020. All Planning Commissioners will participate by teleconference. Public Participation: City Hall will be closed to the public until further notice. A live audio of the Planning Commission meeting will be available on the City's website (https://www.rolling-

hills.org/PC%20Meeting%20Zoom%20Link.pdf). The meeting agenda is also available on the City's website (https://www.rolling-hills.org/government/agenda/index.php). Join Zoom Meeting via https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dF bllFZz09 Meeting ID: 993 4388 2035 Passcode: 647943 Members of the public may submit comments in real time by emailing the City Clerk's office at cityclerk@cityofrh.net. Your comments will become a part of the official meeting record. You must provide your full name but do not provide any other personal information (i.e., phone numbers, addresses, etc) that you do not want to be published.

- 1. **CALL MEETING TO ORDER**
- 2. **ROLL CALL**
- 3. APPROVAL OF THE AGENDA
- 4. PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA
- **APPROVAL OF MINUTES** 5.
  - FEBRUARY 16, 2021 FIELD TRIP PLANNING COMMISSION MEETING MINUTES FEBRUARY 16, 2021 EVENING PLANNING COMMISSION MEETING MINUTES MARCH 16, 2021 FIELD TRIP PLANNING COMMISSION MEETING MINUTES MARCH 16, 2021 EVENING PLANNING COMMISSION MEETING MINUTES MARCH 30, 2021 EVENING ADJOURNED PLANNING COMMISSION MEETING **MINUTES**

#### **RECOMMENDATION:** Receive and file.

- 02-16-21 PC Evening Regular Meeting Minutes.P.docx
- 02-16-21 PC Field Trip Regular Meeting Minutes.P.docx
- 03-16-21 Evening PC Regular Meeting Minutes.P.docx
- 03-16-21 Field Trip PC Regular Meeting Minutes.P.docx

#### 6. <u>RESOLUTIONS</u>

NONE.

#### 7. PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING

7.A. ZONING CASE NO. 2021-01: REQUEST FOR: 1) CONDITIONAL USE PERMIT FOR A PROPOSED DETACHED GARAGE; 2) VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE, ENCROACHMENT INTO REQUIRED STABLE/CORRAL SETBACK FROM HABITABLE STRUCTURE AND GARAGE, AND FOR GRADING EXPORT; AND 3) SITE PLAN REVIEW FOR GRADING FOR PROPERTY LOCATED AT 23 CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).

RECOMMENDATION: Review and consider applicants' requests and staff's recommendation.

05-10-21\_23 Chuckwagon Rd.pdf Development Proposal Table.23Chuckwagon.pdf

#### 8. <u>NEW PUBLIC HEARINGS</u>

NONE.

8.A. ZONING CASE NO. 21-04: REQUEST FOR: 1) CONDITIONAL USE PERMITS FOR A PROPOSED SPORTS COURT AND MIXED USE STRUCTURE; AND 2) REQUEST FOR VARIANCES FOR: ENCROACHMENT INTO THE REQUIRED SETBACKS FOR THE SPORTS COURT AND MIXED USE STRUCTURE AND PAD COVERAGE EXCEEDANCE.

RECOMMENDATION: Review and consider approval of the proposed project.

ATTACHMENT A 15 Upper Blackwater Canyon Road Development\_Proposal\_Table.15 Upper Blackwater Canyon.pdf PC\_Resolution\_2021-05.pdf

#### 9. <u>NEW BUSINESS</u>

NONE.

#### 10. OLD BUSINESS

NONE.

#### 11. SCHEDULE FIELD TRIPS

11.A. 75 SADDLEBACK ROAD (ZONING CASE NO. 20-09)

RECOMMENDATION: NONE.

11.B. 2 SPUR LANE (ZONING CASE NO. 21-05)

RECOMMENDATION: NONE.

#### 12. ITEMS FROM STAFF

- 1. Trees and Views Committee Training on Wednesday, May 26, 2021 at 4 PM.
- 2. Trees and Views Committee Meeting on Tuesday, June 1, 2021 at 4 PM (field trip) and 5 PM (hearing).

3. 5th Cycle Housing Element will be presented on Tuesday, June 1, 2021 at 6 PM.

#### 13. ITEMS FROM THE PLANNING COMMISSION

#### 14. ADJOURNMENT

Next meeting: Wednesday, May 26, 2021at 4:00 PM via Zoom

https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFbllFZz09

Meeting ID: 993 4388 2035 Passcode: 647943

#### Notice:

In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this meeting due to your disability, please contact the City Clerk at (310) 377-1521 at least 48 hours prior to the meeting to enable the City to make reasonable arrangements to ensure accessibility and accommodation for your review of this agenda and attendance at this meeting.

Documents pertaining to an agenda item received after the posting of the agenda are available for review in the City Clerk's office or at the meeting at which the item will be considered.

All of the above resolutions and zoning case items have been determined to be categorically exempt pursuant to the California Environmental Quality Act (CEQA) Guidelines unless otherwise stated.



## City of Rolling Hills INCORPORATED JANUARY 24, 1957

**Agenda Item No.: 5.A Mtg. Date: 05/18/2021** 

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING

**COMMISSION** 

FROM: STEPHANIE GRANT, ADMINISTRATIVE CLERK

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: FEBRUARY 16, 2021 FIELD TRIP PLANNING COMMISSION MEETING

**MINUTES** 

FEBRUARY 16, 2021 EVENING PLANNING COMMISSION MEETING

**MINUTES** 

MARCH 16, 2021 FIELD TRIP PLANNING COMMISSION MEETING

**MINUTES** 

MARCH 16, 2021 EVENING PLANNING COMMISSION MEETING

**MINUTES** 

MARCH 30, 2021 EVENING ADJOURNED PLANNING COMMISSION

**MEETING MINUTES** 

**DATE:** May 18, 2021

**BACKGROUND:** 

NONE

**DISCUSSION:** 

NONE.

**FISCAL IMPACT:** 

NONE.

**RECOMMENDATION:** 

NONE.

#### **ATTACHMENTS:**

02-16-21 PC Evening Regular Meeting Minutes.P.docx

02-16-21 PC Field Trip Regular Meeting Minutes.P.docx

03-16-21 Evening PC Regular Meeting Minutes.P.docx

03-16-21 Field Trip PC Regular Meeting Minutes.P.docx

03-30-21 PC Adjourned Regular Meeting Minutes.P.docx

#### REGULAR MEETING

#### OF THE PLANNING COMMISSION CITY OF ROLLING HILLS 6:30 P.M.

#### TUESDAY, FEBRUARY 16, 2021 VIA TELECONFERENCE

#### 1. CALL MEETING TO ORDER

A regular meeting of the Planning Commission of the City of Rolling Hills was called to order by Chairman Chelf at 6:37 p.m. on Tuesday, February 16, 2021 via teleconference.

#### 2. ROLL CALL

Commissioners Present: Cardenas, Cooley, Kirkpatrick, and Chairman Chelf

Commissioners Absent: None.

Others Present: Meredith T. Elguira, Planning & Community Services Director

Jane Abzug, Assistant City Attorney Stephanie Grant, Administrative Clerk Matt Seaburn, Planning Commissioner

Bea Dieringer, Mayor Pro Tem Leah Mirsch, Councilmember Patrick Wilson, Councilmember

Jeff Pieper, Mayor

Elaine Jeng, City Manager

#### 3. APPROVAL OF THE AGENDA

**MOTION:** Commissioner Cardenas moved that the Planning Commission approve the agenda as presented and Commissioner Cooley seconded the motion, which carried without objection and the motion was carried by voice vote.

AYES: COMMISSIONERS: Cooley, Cardenas, Kirkpatrick, and Chairman Chelf.

NOES: COMMISSIONERS: None. ABSENT: COMMISSIONERS: None. COMMISSIONERS: None.

## RECOGNITION OF COMMISSIONER MATT SEABURN FOR HIS SERVICE TO THE CITY OF ROLLING HILLS.

The Planning Commission gave recognition to Commissioner Seaburn for his service and the City Manager, Elaine Jeng, presented him with a plaque. There were several City Councilmembers in attendance at this meeting that thanked him for his service.

#### 4. PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA

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Minutes Regular Planning Commission Meeting 02/16/2021 NONE.

#### 5. <u>APPROVAL OF MINUTES</u>

### 5A SPECIAL PLANNING COMMISSION MEETING MINUTES OF DECEMBER 22, 2020

**MOTION:** Commissioner Cardenas moved that the Planning Commission approve the December 22, 2020 Special Planning Commission Meeting minutes as presented and Commissioner Kirkpatrick seconded the motion.

AYES: COMMISSIONERS: Cooley, Cardenas, Kirkpatrick, and Chairman Chelf

NOES: COMMISSIONERS: None. ABSENT: COMMISSIONERS: None. COMMISSIONERS: None.

#### 6. <u>RESOLUTIONS</u>

NONE.

#### 7. PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING.

ZONING CASE NO. 20-08: CONSIDER APPROVAL OF A MODIFICATION TO PREVIOUSLY APPROVED ZONING CASE NO. 918 REQUIRING SITE PLAN REVIEW FOR 1) INCREASE TO SIZE OF THE RESIDENCE BY 1,100 SQUARE FEET, 2) INCREASE TO THE AMOUNT OF GRADING BY 7,520 CUBIC YARDS, 3) ADDITION OF NEW 5 FOOT MAXIMUM WALLS; AND REQUIRING CONDITIONAL USE PERMIT FOR A NEW CABANA EXCEEDING 200 SQUARE FEET FOR REVISED PROJECT LOCATED AT 20 UPPER BLACKWATER CANYON ROAD (LOT 101-RH), ROLLING HILLS, CA 90274 (IANNITTI).

The Planning Commissioners questioned the lengths and heights of the proposed walls. The Planning Commission recommended that the applicant work with staff to mitigate the impact of the proposed walls.

**MOTION**: Commissioner Cardenas motioned that the Planning Commission continue the item to the next scheduled field trip and public hearing and Commissioner Kirkpatrick seconded the motion, which carried with no objection and was carried by voice vote.

AYES: COMMISSIONERS: Cooley, Cardenas, Kirkpatrick and Chairman Chelf.

NOES: COMMISSIONERS: None. ABSENT: COMMISSIONERS: None. COMMISSIONERS: None.

**7B** ZONING CASE NO 20-10: CONSIDER APPROVAL OF RESOLUTION NO. 2021-02 APPROVING VARIANCE REQUEST FOR 1) ENCROACHMENT INTO THE FRONT AND REAR YARD SETBACKS FOR THE PROPOSED 1,021 RESIDENTIAL ADDITION. **SQUARE FOOT** TWO-CAR SWIMMING POOL WITH SPA, AND PATIO DECK; 2) EXCEEDING TOTAL LOT COVERAGE: AND 3) EXEMPTION FROM THE STABLE AND CORRAL REOUIREMENTS; AND SITE PLAN REVIEW FOR 1) EXCEEDING THE 999 SOUARE-FOOT MAXIMUM ADDITION ALLOWED BY RIGHT AND 2) REMOVING AND REPLACING EXISTING 5 FOOT HIGH WALL WITH THE SAME HEIGHT WALL IN THE SAME LOCATION LOCATED AT 3 OPEN BRAND ROAD, ROLLING HILLS, CA (ROSA).

There was one public comment from the applicant Mr. Michael Rosa. He addressed the wall located behind the garage by the service yard that extends along the driveway. Mr. Rosa assured that the wall would be screened from street view. According to Planning and Community Development Director Meredith Elguira, there were no other comments regarding the proposed project.

**MOTION:** Commissioner Cardenas moved that the Planning Commission approve Zoning Case No. 20-10 and Supplemental Resolution 2021-02 Commissioner Kirkpatrick seconded the motion, which carried with no objection and was carried by voice vote.

AYES: COMMISSIONERS: Cooley, Cardenas, Kirkpatrick and Chairman Chelf.

NOES: COMMISSIONERS: None. ABSENT: COMMISSIONERS: None. COMMISSIONERS: None.

#### 8. NEW PUBLIC HEARINGS

NONE.

#### 9. NEW BUSINESS

NONE.

#### 10. OLD BUSINESS

NONE.

#### 11. SCHEDULED FIELD TRIPS

- 11A 8 UPPER BLACKWATER CANYON ROAD.
- 11B 24 CINCHRING ROAD
- 11C 20 UPPER BLACKWATER CANYON ROAD

#### 12. <u>ITEMS FROM STAFF</u>

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#### 12A 5TH CYCLE HOUSING ELEMENT UPDATE (ORAL).

Planning and Community Services Director Meredith Elguira provided an update on the 5<sup>th</sup> Cycle Housing Element. It was presented to the City Council at the last meeting. The Planning Commission recommended that the market rate units be removed from the proposal and has been removed. The final will be presented to City Council for approval and adoption on February 22, 2021.

#### 12B SAFETY ELEMENT UPDATE (ORAL).

Staff presented the draft to the Fire Department, Police Department, Building & Safety, and Block Captains for review and feedback. The expected submittal date to CalOES/FEMA is the third quarter of the year for review and approval.

#### 12C SENATE BILL 9 AND SENATE BILL 10 (ORAL).

Planning Director Elguira gave an overview of how SB9 usurps local authority's decision on local land use decisions and its intent to increase housing density.

#### 12D PLANNING FILES RECORDS MANAGEMENT UPDATE (ORAL).

There are over 100 boxes of files that have been scanned and will be shredded. The public will now have online access to view Planning files. Architectural plans will not be accessible online because of copyright rules and thus, an authorization application is required for reproduction.

#### 12E PLANNING APPLICATION ONLINE SUBMITTAL (ORAL).

Staff had a soft launch and tested the online Planning application submittal program. Applicants are able to file their applications online.

#### 12F 6TH CYCLE HOUSING ELEMENT UPDATE (ORAL).

The City will be submitting the 5<sup>th</sup> Cycle Housing Element in a month or less. Staff will begin working on the 6<sup>th</sup> Cycle and will be presenting the RFP to the City Council next week. The deadline for the 6<sup>th</sup> Cycle is October 19, 2021.

#### 13. ITEMS FROM PLANNING COMMISSION

According to Planning Director Elguira, plans can be recycled and submitted electronically.

#### 14. <u>ADJOURNMENT</u>

Hearing no further business before the Planning Commission, Chair Chelf adjourned the meeting.

Next regular meeting: Tuesday, March 16, 2021 at 6:30 p.m. via City's website's link at:

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#### https://www.rolling-hills.org/government/agenda/index.php

Join Zoom Meeting via

 $\underline{https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFbllFZz09}$ 

Meeting ID: 993 4388 2035 Passcode: 647943

	Respectfully submitted,	
	Elaine Jeng Acting City Clerk	
Approved,		
Brad Chelf Chairman		

#### FIELD TRIP

#### OF THE PLANNING COMMISSION CITY OF ROLLING HILLS 7:30 A.M.

#### **TUESDAY, FEBRUARY 16, 2021**

#### 1. CALL MEETING TO ORDER

A field trip meeting of the Planning Commission of the City of Rolling Hills was called to order at 7:31 a.m. on Tuesday, February 16, 2021 at 3 Open Brand Road.

#### 2. ROLL CALL

Commissioners Present: Cooley and Kirkpatrick
Commissioners Absent: Cardenas and Chair Chelf

Others Present: Meredith Elguira, Planning and Community Services Director

Stephanie Grant, Administrative Clerk

#### 3. APPROVAL OF THE AGENDA

Approve as presented.

#### 4. SCHEDULED FIELD TRIPS

4A. ZONING CASE NO 20-10: CONSIDER APPROVAL OF RESOLUTION NO. 2021-02 APPROVING VARIANCE REQUEST FOR 1) ENCROACHMENT INTO THE FRONT AND REAR YARD SETBACKS FOR THEPROPOSED 1,021 SQUARE FOOT RESIDENTIAL ADDITION, TWO-CAR GARAGE, SWIMMING POOL WITH SPA, AND PATIO DECK; 2) EXCEEDING TOTAL LOT COVERAGE; AND 3) EXEMPTION FROM THE STABLE AND CORRAL REQUIREMENTS; AND SITE PLAN REVIEW FOR 1) EXCEEDING THE 999 SQUARE-FOOT MAXIMUM ADDITION ALLOWED BY RIGHT AND 2) REMOVING AND REPLACING EXISTING 5 FOOT HIGH WALL WITH THE SAME HEIGHT WALL IN THE SAME LOCATION LOCATED AT 3 OPEN BRAND ROAD, ROLLING HILLS, CA (ROSA).

The item was continued to the regular Planning Commission evening meeting on February 16, 2021 at 6:30 p.m. The absent Commissioners conducted their own site visits on their own and planned on presenting their reports at the evening meeting on February 16, 2021.

4B. ZONING CASE NO. 20-08: CONSIDER APPROVAL OF A MODIFICATION TO PREVIOUSLY APPROVED ZONING CASE NO. 918 REQUIRING SITE PLAN REVIEW FOR 1) INCREASE TO SIZE OF THE RESIDENCE BY 1,100 SQUARE FEET, 2) INCREASE TO THE AMOUNT OF GRADING BY 7,520 CUBIC YARDS, 3) ADDITION OF NEW 5 FOOT MAXIMUM WALLS; AND

REQUIRING CONDITIONAL USE PERMIT FOR A NEW CABANA EXCEEDING 200 SQUARE FEET FOR REVISED PROJECT LOCATED AT 20 UPPER BLACKWATER CANYON ROAD (LOT 101-RH), ROLLING HILLS, CA 90274 (IANNITTI).

The item was continued to the regular Planning Commission evening meeting on March 16, 2021 at 6:30 p.m. The absent Commissioners conducted an individual site visit on their own and planned on presenting their reports at the evening meeting on March 16, 2021.

#### 5. <u>ADJOURNMENT</u>

Hearing no further business before the meeting was adjourned at 8:01 a.m. The public hearing was continued to the evening of February 16, 2021 at 6:30 p.m. via teleconference.

	Respectfully submitted,
	Elaine Jeng
	Acting City Clerk
Brad Chelf Chairman	

# REGULAR MEETING OF THE PLANNING COMMISSION

#### CITY OF ROLLING HILLS 6:30 P.M.

#### TUESDAY, MARCH 16, 2021 VIA TELECONFERENCE

#### 1. CALL MEETING TO ORDER

A regular meeting of the Planning Commission of the City of Rolling Hills was called to order by Chairman Chelf at 6:37 p.m. on Tuesday, March 16, 2021 via teleconference.

#### 2. ROLL CALL

Commissioners Present: Douglass, Cardenas, Cooley, Kirkpatrick, and Chairman Chelf

Commissioners Absent: None

Staff Present: Meredith T. Elguira, Planning & Community Services Director

Jane Abzug, Assistant City Attorney Stephanie Grant, Administrative Clerk

#### 3. <u>APPROVAL OF THE AGENDA</u>

**MOTION:** Commissioner Cardenas moved that the Planning Commission approve the agenda as presented and Commissioner Cooley seconded the motion; all were in favor, which carried without objection.

AYES: COMMISSIONERS: Cooley, Cardenas, Douglass, Kirkpatrick and Chairman

Chelf.

NOES: COMMISSIONERS: None. ABSENT: COMMISSIONERS: None. COMMISSIONERS: None

#### 4. PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA

NONE.

#### 5. APPROVAL OF MINUTES

NONE.

#### 6. <u>RESOLUTIONS</u>

NONE.

#### 7. PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING.

-1-

Minutes Planning Commission Meeting 03/16/2021 ZONING CASE NO. 20-08: CONSIDER APPROVAL OF A MODIFICATION TO PREVIOUSLY APPROVED ZONING CASE NO. 918 REQUIRING SITE PLAN REVIEW FOR 1) INCREASE TO SIZE OF THE RESIDENCE BY 1,100 SQUARE FEET, 2) INCREASE TO THE AMOUNT OF GRADING BY 7,520 CUBIC YARDS, 3) ADDITION OF NEW 5 FOOT MAXIMUM WALLS; AND REQUIRING CONDITIONAL USE PERMIT FOR A NEW CABANA EXCEEDING 200 SQUARE FEET FOR REVISED PROJECT LOCATED AT 20 UPPER BLACKWATER CANYON ROAD (LOT 101-RH), ROLLING HILLS, CA 90274 (IANNITTI).

Resident Sue Breiholz expressed her concerns about the fence and shrubs on the easement trail located on Pine Tree Lane. She also expressed her concerns regarding the dangerous corner at Portuguese Bend onto Upper Blackwater Canyon Road.

Architect Dave Palacios confirmed that the driveway apron will be widened, and therefore the existing wall on the corner Portuguese Bend and Upper Blackwater Canyon Road will be removed. He also confirmed the shrubs and fence on Pine Tree Lane will be removed.

Planner Grant stated that the applicant completed all of the changes to the walls recommended by Planning Commissioners. The applicant worked with staff to mitigate the impact of the proposed walls by reducing the wall heights and lengths.

**MOTION:** Commissioner Cardenas moved that the Planning Commission move to adopt the modification to previously approved Zoning Case No. 918 and added an amendment to have staff prepare the resolution for adoption to modify the previously approved Zoning Case No. 918 and Commissioner Cooley seconded the motion, which carried with no objection and was carried by voice vote.

AYES: COMMISSIONERS: Cooley, Cardenas, Douglass, Kirkpatrick and Chairman

Chelf.

NOES: COMMISSIONERS: None. ABSENT: COMMISSIONERS: None. COMMISSIONERS: None.

#### 8. <u>NEW PUBLIC HEARINGS</u>

ZONING CASE NO. 20-07: CONSIDER ADOPTING A RESOLUTION FOR A CONDITIONAL USE PERMIT FOR A PROPOSED 435 SQUARE FOOT ADDITION EXCEEDING THE MAXIMUM 200 SQUARE FOOT ALLOWABLE STABLE SIZE AND A VARIANCE FOR ENCROACHMENT INTO THE FRONT YARD FOR THE PROPOSED ADDITIONS LOCATED AT 8 UPPER BLACKWATER CANYON ROAD, (84-1-RH), (HSIUNG).

Mark Walters, the contractor representing the applicant, stated the issues regarding the proposed project involves the Fire Department access, use of the private road, private driveway, CalWater Fire Flow Test, and sprinkler system of the stable.

Resident Sue Brieholz provided a brief history about what she knew about the rights of the private road and use of the driveway located on Lower Blackwater Canyon Road.

There was a public comment from resident Vukan Ruzic, regarding the use of his private road located at Lower Blackwater Canyon. His main concerns were the additional traffic, trucks, and the damage to the private road.

The Planning Commission requested additional research and clarification regarding the easements, private road and driveway access, Fire Department access, and size of the corral.

**MOTION:** Chair Chelf moved that the Planning Commission continue Zoning Case No. 20-07 until the next meeting on April 20, 2021 and Commissioner Cardenas seconded the motion, which carried with no objection and was carried by voice vote.

AYES: COMMISSIONERS: Cooley, Douglass, Cardenas, and Chairman Chelf.

NOES: COMMISSIONERS: None.
ABSENT: COMMISSIONERS: None.
COMMISSIONERS: Kirkpatrick.

#### 9. **NEW BUSINESS**

9A REPORT ON FINDINGS OF ACCESSORY DWELLING UNIT (ADU) SURVEY ADMINISTERED TO ROLLING HILLS RESIDENTS IN THE LAST QUARTER OF 2020.

Consultant Barry Miller provided a presentation on the findings of the Accessory Dwelling Unit (ADU) surveys.

#### 10. OLD BUSINESS

NONE.

#### 11. SCHEDULED FIELD TRIPS

11A 15 UPPER BLACKWATER CANYON ROAD.

11B 8 QUAIL RIDGE ROAD.

#### 12. <u>ITEMS FROM STAFF</u>

12A ZONING CODE AMENDMENT REVISING THE 30-DAY APPEAL PERIOD.

Planning Director Elguira recommended the revising the appeal period for approved projects from 30 days to 10 days. This will be presented to the Planning Commission at a later meeting.

#### 13. ITEMS FROM PLANNING COMMISSION

-3-

#### NONE.

#### 14. ADJOURNMENT

Chair Chelf welcomed Planning Commissioner Abby Douglas to her first meeting. Hearing no further business before the Planning Commission, Chair Chelf adjourned the meeting to April 20, 2021 at 6:30 p.m. via teleconference.

Next regular meeting: Tuesday, March 30, 2021 at 6:30 p.m. via City's website's link at: <a href="https://www.rolling-hills.org/government/agenda/index.php">https://www.rolling-hills.org/government/agenda/index.php</a>

Join Zoom Meeting via <a href="https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFbllFZz09">https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFbllFZz09</a> Meeting ID: 993 4388 2035 Passcode: 647943

	Respectfully submitted,
	Elaine Jeng Acting City Clerk
Approved,	
Brad Chelf Chairman	

#### FIELD TRIP

#### OF THE PLANNING COMMISSION CITY OF ROLLING HILLS 7:30 AM TUESDAY, MARCH 16, 2021

#### 1. CALL MEETING TO ORDER

A field trip meeting of the Planning Commission of the City of Rolling Hills was called to order by Chair Chelf at 7:31 a.m. on Tuesday, March 16, 2021 at 24 Cinchring Road.

#### 2. ROLL CALL

Commissioners Present: Douglass, Cooley, Cardenas, and Chair Chelf

Commissioners Absent: Kirkpatrick

Staff Present: Meredith Elguira, Planning and Community Services Director

Leah Mirsch, Councilmember

Stephanie Grant, Administrative Clerk

#### 3. APPROVAL OF THE AGENDA

Approved as presented.

#### 4. SCHEDULED FIELD TRIPS

**4A ZONING CASE NO. 932:** 24 CINCHRING ROAD REQUEST FOR A CONDITIONAL USE PERMIT FOR THE DETACHED MIXED-USE STRUCTURE; AND VARIANCES TO LOCATE THE MIXED-USE PARTIALLY IN THE FRONT YARD AREA AND FOR A WALL ALONG THE DRIVEWAY AND BEHIND THE PROPOSED STRUCTURE THAT EXCEED THE MAXIMUM PERMITTED HEIGHT ON A DEVELOPED LOT LOCATED AT 24 CINCHRING ROAD (LOT 18-3-CH), ROLLING HILLS, CA (NAKAMURA).

The item was continued to the regular Planning Commission evening meeting on March 16, 2021 at 6:30 p.m. The absent Commissioner conducted an individual site visit on his own and planned on presenting his reports at the evening meeting on March 16, 2021.

**4B ZONING CASE NO 20-08:** 20 UPPER BLACKWATER CANYON ROAD ZONING CASE NO. 20-08: CONSIDER A RESOLUTION FOR MODIFICATION TO PREVIOUSLY APPROVED ENTITLEMENTS REQUIRING SITE PLAN REVIEW FOR 1) INCREASE TO SIZE OF RESIDENCE BY 1,100 SQUARE FEET; 2) INCREASE TO THE AMOUNT OF

GRADING BY 7,520 CUBIC YARDS; AND 3) CONDITIONAL USE PERMIT FOR A NEW CABANA EXCEEDING 200 SQUARE FEET LOCATED AT 20 UPPER BLACKWATER CANYON ROAD (LOT 101-RH), ROLLING HILLS, CA 90274 (IANNITTI).

The item was continued to the regular Planning Commission evening meeting on March 16, 2021 at 6:30 p.m. The absent Commissioner conducted an individual site visit on his own and planned on presenting his report at the evening meeting on March 16, 2021.

4C FIELD TRIP SITE: ZONING CASE NO. 20-07: CONSIDER ADOPTING A RESOLUTION FOR A CONDITIONAL USE PERMIT REQUEST TO INCREASE STABLE SIZE BY 435 SQUARE FEET AND A VARIANCE REQUEST FOR ENCROACHMENT INTO THE FRONT YARD FOR THE PROPOSED ADDITIONS LOCATED AT 8 UPPER BLACKWATER CANYON ROAD, (84-1-RH), (HSIUNG).

The item was continued to the regular Planning Commission evening meeting on March 16, 2021 at 6:30 p.m. The absent Commissioner conducted an individual site visit on his own and planned on presenting his report at the evening meeting on March 16, 2021. The meeting was adjourned at 8:29 a.m.

#### 5. <u>ADJOURNMENT</u>

Hearing no further business before the meeting was adjourned at 8:29 a.m. The public hearing was continued to the evening of March 16, 2021 at 6:30 p.m. via teleconference.

	Respectfully submitted,
	Elaine Jeng Acting City Clerk
Brad Chelf Chairman	

# ADJOURNED REGULAR MEETING OF THE PLANNING COMMISSION CITY OF ROLLING HILLS 6:30 P.M. TUESDAY, MARCH 30, 2021 VIA TELECONFERENCE

#### 1. <u>CALL MEETING TO ORDER</u>

A regular meeting of the Planning Commission of the City of Rolling Hills was called to order by Vice Chair Kirkpatrick at 6:31 p.m. on Tuesday, March 30, 2021, via teleconference.

#### 2. ROLL CALL

Commissioners Present: Cardenas, Cooley, and Kirkpatrick

Commissioners Absent: Douglass and Chelf

Staff Present: Meredith T. Elguira, Planning & Community Services Director

Jane Abzug, Assistant City Attorney Stephanie Grant, Administrative Clerk

#### 3. <u>APPROVAL OF THE AGENDA</u>

Commissioner Cooley moved that the Planning Commission approve the agenda as presented and Commissioner Cardenas seconded the motion; all were in favor, which carried without objection.

AYES: COMMISSIONERS: Cardenas, Cooley, and Kirkpatrick

NOES: COMMISSIONERS: None

ABSENT: COMMISSIONERS: Douglass and Chair Chelf

ABSTAIN: COMMISSIONERS: None

#### 4. PUBLIC COMMENTS ON MINUTES AND ANY ITEM NOT ON THE AGENDA

**NONE** 

#### 5. APPROVAL OF MINUTES

**NONE** 

#### 6. **RESOLUTIONS**

**NONE** 

#### 7. PUBLIC HEARINGS ON ITEMS CONTINUED FROM PREVIOUS MEETING

-1-

#### **NONE**

#### 8. NEW PUBLIC HEARINGS

ZONING CASE NO. 932: REQUEST FOR SITE PLAN REVIEW FOR GRADING AND TWO WALLS ABOVE THREE FEET; A CONDITIONAL USE PERMIT FOR A DETACHED MIXED-USE STRUCTURE; VARIANCES TO LOCATE THE MIXED-USE STRUCTURE PARTIALLY IN THE FRONT YARD AREA AND TO ALLOW A WALL ALONG THE DRIVEWAY INTO THE FRONT YARD AND A WALL BEHIND THE PROPOSED MIXED-USE STRUCTURE TO EXCEED FIVE FEET ON A DEVELOPED LOT LOCATED AT 24 CINCHRING ROAD. THE PROJECT HAS BEEN DETERMINED TO BE EXEMPT FROM CALIFORNIA ENVIRONMENTAL QUALITY ACT PURSUANT TO SECTION 15303 (NAKAMURA).

Planning Director Elguira presented the item.

Resident Elliot Brunner stated his concerns regarding the proposed wall lengths & heights and driveway entrance.

Property owners' attorney Jeff Lewis stated that the project was previously approved.

Property owners' daughter Mitzi Nakamura responded to resident Brunner's concern regarding the driveway and stated that the driveway is in its original location.

Resident Jim Aichele stated that this project has been going on for long time.

Resident Elliot Brunner's letter was read into record.

The Planning Commission suggested that the applicant mitigate the proposed walls by adding landscaping.

**MOTION:** Commissioner Cardenas moved that the Planning Commission move to adopt Zoning Case No. 932 and Commissioner Cooley seconded the motion, which carried with no objection and was carried by voice vote.

AYES: COMMISSIONERS: Cooley, Cardenas and Kirkpatrick

NOES: COMMISSIONERS: None ABSENT: COMMISSIONERS: None

ABSTAIN: COMMISSIONERS: Douglass and Chairman Chelf.

#### 9. NEW BUSINESS

9A TREES AND VIEWS COMMITTEE ANNUAL ASSIGNMENT.

Commissioner Jana Cooley will serve on the Trees and Views Committee.

#### 10. OLD BUSINESS

**NONE** 

#### 11. SCHEDULED FIELD TRIPS

11A 15 UPPER BLACKWATER

#### 12. ITEMS FROM STAFF

12A FORM 700

The submittal deadline for the Fair Political Practices Commission (FPPC) Form 700 is April 1, 2021.

#### 13. ITEMS FROM PLANNING COMMISSION

**NONE** 

#### 14. ADJOURNMENT

Hearing no further business before the Planning Commission, Chair Chelf adjourned the meeting to April 20, 2021 at 6:30 p.m. via teleconference.

Next regular meeting: Tuesday, April 20, 2021 at 6:30 p.m. via City's website's link at: <a href="https://www.rolling-hills.org/government/agenda/index.php">https://www.rolling-hills.org/government/agenda/index.php</a>

Join Zoom Meeting via

https://us02web.zoom.us/j/99343882035?pwd=MWZXaG9ISWdud3NpajYwY3dFbll FZz09 Meeting ID: 993 4388 2035 Passcode: 647943

	Respectfully submitted,	
Approved,	Elaine Jeng Acting City Clerk	
Brad Chelf Chairman	_	

-3-



# City of Rolling Hills INCORPORATED JANUARY 24, 1957

Agenda Item No.: 7.A Mtg. Date: 05/18/2021

TO: HONORABLE **CHAIR AND MEMBERS OF** THE **PLANNING** 

COMMISSION

FROM: MEREDITH ELGUIRA, PLANNING DIRECTOR

THRU: **ELAINE JENG P.E., CITY MANAGER** 

SUBJECT: ZONING CASE NO. 2021-01: REQUEST FOR: 1) CONDITIONAL USE

> PERMIT FOR A PROPOSED DETACHED GARAGE; 2) VARIANCES FOR: LOT AND PAD COVERAGE EXCEEDANCE, ENCROACHMENT INTO REQUIRED STABLE/CORRAL SETBACK FROM HABITABLE STRUCTURE AND GARAGE, AND FOR GRADING EXPORT; AND 3) SITE PLAN REVIEW FOR GRADING FOR PROPERTY LOCATED AT 23

CHUCKWAGON ROAD, ROLLING HILLS, CA (RAMIREZ).

DATE: May 18, 2021

#### **BACKGROUND:**

#### LOCATION AND LOT DESCRIPTION

#### **Zoning and Land Size**

The property is zoned RAS-1 and has a net lot area of 23,288 square feet. The lot was developed with a 2,770 square-foot single family residence and a 439 square-foot attached two-car garage. There are two existing building pads on site. The existing residence and garage are located on the primary building pad (Pad #1), which has a total area of 7,581 square feet. The secondary building pad (Pad #2) has a total area of 3,914 square feet and is located on a lower elevation behind the existing residence. The proposed swimming pool, pool equipment, barbecue, patio and fire pit will be located on Pad #1. The secondary building pad is the proposed site for the detached two-car garage, Accessory Dwelling Unit (ADU) and the set aside area for future stable and corral.

#### REQUEST AND PLANNING COMMISSION ACTION

#### **Applicants' Project Scope**

Applicants are proposing to build: 800 square-foot Accessory Dwelling Unit (ADU), which does not require any discretionary approval, 419 square-foot detached two-car garage, 576 square-foot new swimming pool, 50 square-foot pool equipment area, 470 flatwork and 641 cubic yards of grading.

#### **Applicants' Requests**

#### Variances

Applicants are requesting Variances for: exceeding the 30% maximum building pad coverage for the pool addition on the first building pad and for the proposed garage and future stable on the second building pad; exporting 384 cubic yards of grading, exceeding 20% structural coverage; and for encroachment of the corral into the required 35-foot setback from the proposed garage and ADU.

#### Site Plan Review

Applicants are requesting a Site Plan Review (SPR) for the proposed 641 cubic yards of grading.

#### **Conditional Use Permit**

Applicants are requesting a Conditional Use Permit (CUP) for the proposed detached 419 square-foot two-car garage.

#### **DISCUSSION:**

#### MUNICIPAL CODE COMPLIANCE

#### Variances to Exceed the Maximum 30% Building Pad Coverage and 20% Structural Coverage.

Applicants are requesting to exceed the maximum 30% building pad coverage for Pad #1 and Pad #2 and to exceed the 20% maximum structural coverage for the entire lot. The proposed 576 square-foot swimming pool, pool equipment and deck are going to be located on Pad #1. Pad #1 area coverage will increase by 8.2% from 44.1% to 52.3%. The proposed building pad coverage for Pad #2 is 42.6%. The proposed overall development will exceed the allowable 20% structural coverage by 5.6%.

Many of the residents in the City of Rolling Hills enjoy the amenity of having a swimming pool on site. Applicants' lot is less than one acre in size and is one of the smaller lots in the City and this makes it difficult to comply with the strict application of the Code. The proposed development on Pad #1 is already on an existing disturbed area. The proposed flatwork and grading would allow applicants to install the pool on Pad #1 and enjoy the additional amenities of having a patio, fire pit and barbecue area. The proposed location of the pool would also afford applicants views of the City and beyond. The proposed development on Pad #1 is low to the ground and will not cause any view impacts to the adjacent neighbors. Lastly, the proposed grading for the pool and flatwork, and additional impermeable surface will not have any adverse impacts to existing drainage pattern in the area. As mentioned earlier, Pad #1 is an existing disturbed area already used for outdoor activities.

Applicants are also proposing to add an 800 square-foot Accessory Dwelling Unit on Pad #2. The proposed ADU meets code and does not require any discretionary approvals. In addition to the ADU, applicants are also proposing to add a 419 square-foot detached two-car garage. Applicants must also include a minimum 450 square-foot set aside area for a future stable. The proposed development with the set aside increases the pad coverage to 42.6% or 1,669 square feet (800 SF of which is for ADU). Per Code, although maximum lot area coverage may limit the size of an ADU, it cannot be smaller than 800 square feet. One off-street parking space is required for ADU.

Applicants are not proposing to build the stable and corral but they are required to allocate space for the uses and include them in the discretionary request if such uses exceed code requirements.

The proposed overall structural coverage total is 27.3% of the net area; an increase of 9.9% from existing coverage. The maximum allowed by code is 20%. The ADU is included in the 27.3% total coverage.

The City of Rolling Hills limits building size through the use of lot coverage, building pad coverage, and the allowance of one story structure. The subject lot has a net area of 23,288 square feet with

building Pad #2 consisting of 3,914 square feet. The proposed ADU (800 SF), two-car garage (419 SF) and stable set aside (450 SF) would exceed the allowable building pad coverage of 30% or 1,174 SF by 12.6% or 495 square feet.

Out of the three uses mentioned above for Pad #2, the only area required to be identified is for future equestrian use. Although it does not have to be built, the Code requires that a set aside of 450 SF needs to be included in any development plans being proposed if it exceeds code requirements. As of January 2020, through a State mandate, the City no longer has the authority to deny an applicant's request to build an ADU that complies with Code. In addition, the State prohibits cities from requiring applicants to limit the size of an ADU to less than 800 square feet unless it is a Junior ADU, which is attached to the main residence. Given the current regulation constraints, the only use that could be modified, to avoid relief from the code, is the proposed two-car garage. The City's ADU code requires one off-street parking but it does not have to enclosed, and thus, the proposal for a two car garage exceeds code requirements.

Staff's recommendation is to limit the garage size to a one-car garage. Although the addition of a one-car garage would still exceed the pad coverage, the proposed development is low in height and blends in with the proposed ADU style. Furthermore, decreasing the size of the garage would provide more space between the adjacent home northwest of the proposed development and the garage. A smaller garage would also address the over-development of the site and preserve one of the General Plan's goals of maintaining the rural character of the City. As mentioned earlier, the City regulates development through limiting lot and building pad coverage of structures therefore, limiting the size of the garage meets the intent of the Code and the General Plan. Staff recommends that the Planning Commission takes this into consideration when directing staff to prepare the resolution.

### Variance Request for Encroachment into the Required 35-Foot Setback Between a Future Corral and the Proposed Garage and ADU.

Applicants are requesting relief from the code for the required 35-foot setback between the future corral and proposed ADU. The set aside area for the corral is approximately 32 feet away from the ADU. The size of the lot contributes to improvement constraints of the site. ADU falls under ministerial review. Applicants have taken into consideration the neighborhood character and respected existing setbacks of developed parcels. The proposed siting of the proposed ADU and corral is the least impactful to applicants' adjacent neighbors and the community as a whole.

#### Site Plan Review Request for 1,336 Cubic Yards of Grading

Applicants are proposing 641 cubic yards of grading, 384 cubic yards will be exported. The proposed grading will require Building and Safety's approval for drainage. The proposed grading will not significantly change the terrain of the site because most of the site has been disturbed. Most of the grading will consist of maximum 2-foot cuts for the proposed flatwork.

#### **Conditional Use Permit Request for the Proposed Detached Garage**

Applicants are proposing to add a 419 square-foot detached garage. The proposed garage contributes to the exceedance of the building pad and structural coverage on Pad #2. The existing house has an existing two-car attached garage. The proposed two-car garage is not a requirement for the approval of the ADU. The ADU requires one off street parking.

#### **Environmental Review**

The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15304 (Minor Alterations to Land) of the CEQA Guidelines, which exempts minor alterations in the condition of land, including but not limited to grading on land with a slope of less than 10 percent. The grading taking place on the property is on land with a slope of less than 10 percent to account for the detached garage structure. The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences. The detached garage and pool qualify as new construction of small structures.

#### **Public Participation**

Three neighbors were present at the Planning Commission Field Trip held on April 20, 2021 and the adjacent neighbor at 25 Chuckwagon Road spoke at the Evening Meeting held on April 20, 2021. Additional calls were received to discuss the proposed project from those who attended and spoke at the meetings. Concerns about height, density, and frequency of use of the easement behind the property were discussed.

#### 17.38.050 - Required Variance findings.

In granting a variance, the Commission (and Council on appeal) must make the following findings:

- 1. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone;
- 2. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;
- 3. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;
- 4. That in granting the variance, the spirit and intent of this title will be observed;
- 5. That the variance does not grant special privilege to the applicant;
- 6. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities; and
- 7. That the variance request is consistent with the general plan of the City of Rolling Hills.

#### 17.46.050 - Required Site Plan Review findings.

- 1. The Commission shall be required to make findings in acting to approve, conditionally approve, or deny a site plan review application.
- 2. No project which requires site plan review approval shall be approved by the Commission, or by the City Council on appeal, unless the following findings can be made:
- 3. The project complies with and is consistent with the goals and policies of the general plan and all requirements of the zoning ordinance;
- 4. The project substantially preserves the natural and undeveloped state of the lot by minimizing building coverage. Lot coverage requirements are regarded as maximums, and the actual amount of lot coverage permitted depends upon the existing buildable area of the lot;
- 5. The project is harmonious in scale and mass with the site, the natural terrain and surrounding residences;
- 6. The project preserves and integrates into the site design, to the greatest extent possible, existing

- topographic features of the site, including surrounding native vegetation, mature trees, drainage courses and land forms (such as hillsides and knolls);
- 7. Grading has been designed to follow natural contours of the site and to minimize the amount of grading required to create the building area;
- 8. Grading will not modify existing drainage channels nor redirect drainage flow, unless such flow is redirected into an existing drainage course;
- 9. The project preserves surrounding native vegetation and mature trees and supplements these elements with drought-tolerant landscaping which is compatible with and enhances the rural character of the community, and landscaping provides a buffer or transition area between private and public areas;
- 10. The project is sensitive and not detrimental to the convenient and safe movement of pedestrians and vehicles; and
- 11. The project conforms to the requirements of the California Environmental Quality Act.
- 12. If all of the above findings cannot be made with regard to the proposed project, or cannot be made even with changes to the project through project conditions imposed by City staff and/or the Planning Commission, the site plan review application shall be denied.

#### 17.42.050 - Basis for approval or denial of Conditional Use Permit.

The Commission (and Council on appeal), in acting to approve a conditional use permit application, may impose conditions as are reasonably necessary to ensure the project is consistent with the General Plan, compatible with surrounding land use, and meets the provisions and intent of this title. In making such a determination, the hearing body shall find that the proposed use is in general accord with the following principles and standards:

- 1. That the proposed conditional use is consistent with the General Plan;
- 2. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures;
- 3. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed;
- 4. That the proposed conditional use complies with all applicable development standards of the zone district;
- 5. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities;
- 6. That the proposed conditional use observes the spirit and intent of this title.

#### **FISCAL IMPACT:**

None.

#### **RECOMMENDATION:**

Staff recommends that the Planning Commission review and consider applicants' request for relief from the code to allow: exceedance of the lot coverage and building pad coverage, encroachment into required corral setback, grading export, consider staff's recommendation to decrease the proposed garage size to a one-car garage, and direct staff to prepare a resolution reflecting the Planning Commission's final decision.

#### **ATTACHMENTS:**

05-10-21\_23 Chuckwagon Rd.pdf Development\_Proposal\_Table.23Chuckwagon.pdf

# New driveway, pool, accessory garage, & accessory dwelling unit for:

# Sandra & Mario Ramirez

# 23 Chuckwagon Road Rolling Hills, California 90274

ABBREVIATION			LEGEND		LIST OF BMPs (BEST MANAGEMENT PRACTICES	PROJECT INFORMATION	PROJECT DIRECTORY
AT B. ANCHOR BOLT C. ASPHALTIC CONCRETE	JAN. JST. JT.	JANITOR JOIST JOINT			1. CA1 DEWATERING OPERATIONS - REMOVE SEDIMENTS FROM GROUND WATER  2. CA2 PAVING OPERATIONS - REDUCE DISCHARGE OF POLLUTANTS FROM PAVING	PROJECT ADDRESS: 23 CHUCK ROAD ROLLING HILLS, CALIFORNIA 90274	OWNER:  SANDRA & MARIO RAMIREZ 23 CHUCKWAGON ROAD, ROLLING HILLS, CALIFORNIA 90274
COUS. ACOUSTICAL LT. ALTERNATE CS. ACRES .D. AREA DRAIN	К.С. КІТ.	KEENE'S CEMENT KITCHEN	INTERIOR ELEVATION	SHT. NO.	OPERATIONS  3. CA3 STRUCTURE CONSTRUCTION AND PAINTING PREVENT & REDUCE DISCHARGE FROM CONSTRUCTION SITES & PAINTING PROJECTS	PARCEL NUMBER: 7567-006-036	T: (310) 848-4031  ARCHITECT: OTTOLIA & BARNES ARCHITECTURE
.UM. ALUMINUM T. ASPHALT TILE DJ. ADJUSTABLE F.F. ABOVE FINISH FLOOR	LAM. LAV.	LAMINATE(D) LAVATORY		·	4. CA10 MATERIAL DELIVERY AND STORAGE - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL DELIVERY & STORAGE	CODE REQUIREMENTS: 2019 LOS ANGELS COUNTY BUILDING CODE 2019 LOS ANGELS COUNTY PLUMBING CODE 2019 LOS ANGELS COUNTY MECHANICAL CODE	5533 BAYRIDGE ROAD, RANCHO PALOS VERDES, CALIFORNIA DOMINGO OTTOLIA, AIA - C27790 DOROTHY BARNES - OTTOLIA, AIA - C28714 T: (310) 375-0107
F.S. ABOVE FINISH SURFACE	LGTH LIN. LKR.	LENGTH LINEN CABINET LOCKER	WINDOW LETTER		5. CA11 MATERIAL USE PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MATERIAL USE	2019 LOS ANGELS COUNTY ELECTRICAL CODE 2019 LOS ANGELS COUNTY RESIDENTIAL CODE 2019 LOS ANGELS COUNTY GREEN BUILDING STANDARDS CODE	F: (310) 802-3804 E: DCO@OBASTUDIO.COM  CIVIL PALOS VERDES ENGINEERING
. BOARD K. BLOCK KG. BLOCKING BEAM	MIN. MAS. MAX. MECH.	MINIMUM MASONRY MAXIMUM			<ul> <li>6. CA12 SPILL PREVENTION AND CONTROL - PREVENT &amp; REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER SYSTEMS WITH GOOD HOUSEKEEPING</li> <li>7. CA20 SOLID WASTE MANAGEMENT - PREVENT &amp; REDUCE DISCHARGE OF POLLUTANTS TO</li> </ul>	2019 CALIFORNIA ENERGY STANDARDS  CONSTRUCTION TYPE: VB	& STRUCTURAL  **ENGINEERING:*  27520 HAWTHORNE BLVD., SUITE 250  ROLLING HILLS ESTATES, CALIFORNIA 90274  WILLIAM BELL, REGISTER PROFESSIONAL ENGINEER - C88870
G. BOTTOM G. BUILDING BETWEEN	MECH. MEMB. MET. M.H.	MECHANICAL MEMBRANE METAL MANHOLE	DOOR NUMBER		STORM WATER SYSTEMS FROM SOLID WASTE OR CONSTRUCTION  8. CA21 HAZARDOUS WASTE MANAGEMENT	OCCUPANCY TYPE: R3	T: (310) 541-5055 F: (310)541-0321 E: RICK@PVEC.COM
CENTER LINE B. CATCH BASIN	MISC. M.O. M.R. MANUF.	MISCELLANEOUS MASONRY OPENING MOISTURE RESISTANT MANUFACTURER	SECTION DESIGNATION	ightharpoonup	PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM TOXIC MATERIALS  9. CA22 CONTAMINATED SOIL MANAGEMENT PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONTAMINATED	OCCUPANCY USE: SINGLE FAMILY RESIDENCE	SURVEYOR:  I/WS SURVEYING 2556 VIA TEJON, PALOS VERDES ESTATES CA 90274 BRUCE BORNEMANN, REGISTER PROFESSIONAL ENGINEER - 0
C CALIFORNIA BUILDING COD M. CEMENT R. CERAMIC .P. CAST IRON PIPE	N.I.C.	NOT IN CONTRACT	SHEET NUMBER		10. CA23 CONCRETE WASTE MANAGEMENT PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE	NO. OF STORIES: 1  HEIGHT: 16'-0"	T: (310)791-0904
G. CEILING O. CLOSET R. CLEAR	NO. NOM. N.T.S.	NUMBER NOMINAL NOT TO SCALE	WALL SECTION DESIGNATION SHEET NUMBER	igoreal	11. CA24 SANITARY/SEPTIC WASTE MANAGEMENT - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM SANITARY & SEPTIC SYSTEMS	PARCEL AREA: 29,120 SQ FT	
D. CLEAN OUT L. COLUMN M. COMMON NC. CONCRETE	OBSC. O.C.	OBSCURE ON CENTER			12. CA30 VEHICLE AND EQUIPMENT CLEANING - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CLEANING OF VEHICLES AND EQUIPMENT	<b>ZONE:</b> R3	GENERAL NOTES
NT. CONTINUOUS  /. COLD WATER  CERAMIC TILE  D. CUBIC YARD	O.D. OFF. OPG. OV.	OUTSIDE DIAMETER OFFICE OPENING OVEN	DETAIL NUMBER SHEET NUMBER	$\bigcirc$	13. CA31 VEHICLE AND EQUIPMENT FUELING - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM FUELING OF VEHICLES & EQUIPMENT	PROJECT SCOPE: THE PROPOSED SCOPE OF WORK IN THIS PERMIT IS LIMITED TO THE	1. ALL WORK SHALL CONFORM TO THE 2017 LOS ANGELES COUNTY BUILDING CODE, 7,2017 ANGELES PLUMBING CODE, 2017 LOS ANGELES MECHANICAL CODE,2017 LOS ANGELES ELECTRICAL CODE, THE CURRENT REQUIREMENTS OF THE CALIFORNIA ENERGY CODE AN OF LOS ANGELES FIRE CODE.
DETAIL DRINKING FOUNTAIN	OVFL. OPP.	OVERFLOW OPPOSITE			14. CA32 VEHICLE AND EQUIPMENT MAINTENANCE - PREVENT & REDUCE DISCHARGE OF POLLUTANTS TO STORM WATER FROM MAINTENANCE OF VEHICLES & EQUIPMENT  15. CA40 EMPLOYEE/SUBCONTRACTOR TRAINING	FOLLOWING:  NEW DRIVEWAY @ FRONT YARD	2. CONTRACTOR TO STAKE-OUT AND VERIFY WITH ARCHITECT THE BUILDING SETBACKS, PAROOF ELEVATIONS, AND DRIVEWAY PRIOR TO START OF CONSTRUCTION.
DOOR DIMENSION DIAMETER VG. DRAWING DOWNSPOUT	PL. PART'N PLAS. PLYWD.	PROPERTY LINE/PLATE PARTITION PLASTER PLYWOOD	GRID LINE	<del>-</del>	SWPPP STORM WATER POLLUTION PREVENTION PLAN  16. ESC1 SCHEDULING - SEQUENCING THE CONSTRUCTION PROJECT TO REDUCE THE AMOUNT OF SOIL EXPOSED TO EROSION	NEW POOL  NEW ACCESSORY BUILDING: 1,219 SQ. FT.  ACCESSORY DWELLING UNIT (ADU): 800 SQ, FT.	3. CONTRACTOR SHALL VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT OF ANY OMISSIONS, ERRORS, OR DISCREPANCIES.
V. DISHWASHER DOOR DIMENSION	PR. P.L.	PAIR PLASTIC LAMINATE	KEY NOTE	$\Diamond$	17. ESC2 PRESERVATION OF EXISTING VEGETATION MINIMIZE DAMAGE AND EROSION BY PRESERVING THE EXISTING VEGETATION	ACCESSORY GARAGE : 419 SQ. FT.	<ol> <li>SURFACE WATER SHALL DRAIN AWAY FROM BUILDING AT A MINIMUM OF 1/8" PER FOOT.</li> <li>CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES (WHETHER SHOWN HEREIN OR NOT PROTECT THEM FROM DAMAGE. CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR</li> </ol>
EACH C. ELECTRICAL V. ELEVATION	R. RAD. REINF.	RISER RADIUS REINFORCING		¥	18. ESC10 SEEDING AND PLANTING - MINIMIZE EROSION WITH SEEDING AND PLANTING  19. ESC11 MULCHING - FOR STABILIZING CLEARED AND FRESHLY SEEDED AREAS		REPLACEMENT IN CONJUNCTION WITH THE EXECUTION OF THIS WORK.  6. CONTRACTOR SHALL SIGN AND POST A NOTICE ON THE BUILDING CERTIFYING THAT THE INSTALLED INSULATION COMPLIES WITH THE CALIFORNIA STATE STANDARDS.
CL. ENCLOSURE H. EXHAUST ST. EXISTING	RESIL. RD. RM. R.O.	RESILIENT ROOF DRAIN ROOM ROUGH OPENING	EXTERIOR COLOR  & MATERIAL		20. ESC20 GEOTEXTILES AND MATS - FOR STABILIZATION OF SOILS  21. ESC21 DUST CONTROLS - REDUCE DUST AND SOIL EROSION		7. CONTRACTOR TO VERIFY ALL EXISTING PAD AND FINISH FLOOR ELEVATIONS. IF ANY DISCREPANCIES ARE DISCOVERED, CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE START OF CONSTRUCTION.
P. EXPANSION T. EXTERIOR EXPANSION JOINT	REF. REQ'D.	REFRIGERATOR REQUIRED			22. ESC22 TEMPORARY STREAM CROSSING RECOMMENDATIONS FOR INSTALLING A TEMPORARY CULVERT, FORD OR BRIDGE		8. ALL EXPOSED NON-PREFINISHED METAL IS TO BE PRIMED AND PAINTED INCLUDING SHOP FACTORY PRIMED SURFACES. ARCHITECT TO APPROVE FINAL COLOR.
FLOOR DRAIN C. FIRE EXTINGUISHER CABINI FINISH GRADE	Silvi.	SOLID CORE SHEET SIMILAR	EXISTING FINISH GRADE	100.00'	23. ESC23 CONSTRUCTION ROAD STABILIZATION - RECOMMENDATIONS FOR DUST AND EROSION CONTROL		9. CONTRACTOR MAY NOT CHANGE DESIGN MATERIALS OR DETAILS WITHOUT PERMISSION ARCHITECT.  40. WEITTEN RIMENSIONS TO TAKE PRESENTED OVER 2004 ED RIMENSIONS.
.C. FIRE HOSE CABINET FINISH FLOOR	SHTG. SQ. STD. STL.	SHEATHING SQUARE STANDARD STEEL	NEW FINISH GRADE	100.00'	24. ESC24 STABILIZED CONSTRUCTION ENTRANCE RECOMMENDATIONS FOR DUST, SEDIMENT AND EROSION CONTROL FOR PUBLIC STREETS  25. ESC30 EARTH DIKE - TEMPORARY BERM OR RIDGE OF COMPACTED SOIL		<ol> <li>WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DIMENSIONS.</li> <li>PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CONTRACTOR SHALL HAVE A CERT OF CURRENT WORKMEN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE BUILDING PROPERTY.</li> </ol>
RG. FLOORING G. FOOTING GL. FIXED GLASS FLOOR SINK	STRUCT. S.S. SUSP. SPECS.	STRUCTURAL STAINLESS STEEL SUSPENDED SPECIFICATIONS			26. ESC31 TEMPORARY DRAINS AND SWALES - TO DIVERT OFF-SITE RUNOFF AROUND A CONSTRUCTION SITE	VICINITY MAP	SHEET INDEX
UOR. FLUORESCENT D.C. FACE OF CONCRETE D.M. FACE OF MASONRY D.S. FACE OF STUD	STOR. S.T.C. S.F.	STORAGE SOUND TRANSMISSION CLASS SQUARE FOOT	WORK POINT, CONTROL POINT OR DATUM POINT	<b>\( \begin{array}{cccccccccccccccccccccccccccccccccccc</b>	27. ESC32 SLOPE DRAIN -TEMPORARY PIPE TO DIVERT RUNOFF FROM THE TOP OF A SLOPE TO THE BOTTOM WITHOUT CAUSING EROSION  28. ESC40 OUTLET PROTECTION - INSTALL RIP-RAP TO REDUCE SEDIMENT IN THE SOIL		CS1 COVER SHEET  SURVEY  1 OF 1 EXISTING SURVEY
.F. FACE OF FINISH . FINISH FLOOR FLOOR JOIST	TEL. TERR. T & G	TELEPHONE TERRAZZO TONGUE AND GROOVE		ROOM	29. ESC41 CHECK DAMS REDUCES VELOCITY OF CONCENTRATED STORM WATER FLOWS AND REDUCES EROSION	Chester field Ra	ARCHITECTURAL  A1.1 SITE PLAN & PLANNING INFORMATION
GAUGE LV. GALVANIZED GALVANIZED IRON	TOC TOW TYP.	TOP OF CONCRETE TOP OF WALL TYPICAL	ROOM NAME ROOM NUMBER	100	30. ESC 42 SLOPE ROUGHENING/ TERRACING - CREATES MICROCLIMATES FOR ESTABLISHING VEGETATION	SITE	A1.1 SITE PLAN & PLANNING INFORMATION  A1.2 SITE SECTIONS, VICINITY MAP, & BUILDING PAD DIAGRAM  A2.1 FLOOR PLAN & ROOF PLAN
GLASS GRADE P. BD. GYPSUM BOARD GARBAGE DISPOSAL	THRU TEMP. T.O.P. T.	THROUGH TEMPERED TOP OF PARAPET TREAD	MATCH LINE		31. ESC 50 SILT FENCE - FOR SEDIMENTATION CONTROL  32. ESC51 STRAW BALE BARRIERS - FOR SEDIMENTATION CONTROL		A2.2 ENLARGED GUARDRAIL PLAN & DETAILS A3.1 EXTERIOR ELEVATIONS
HOSE BIBB D. HARDWOOD	T.O.PL.	TOP OF PLATE	WAT OF LINE		33. ESC52 SAND BAG BARRIER - FOR SEDIMENTATION CONTROL  34. ESC53 BRUSH OR ROCK FILTER - FOR SEDIMENTATION CONTROL AND VELOCITY		LANDSCAPE L-1 PRELIMINARY LANDSCAPE PLAN
T. HEIGHT T. HIGH POINT R. HEADER	U. U.N.O. V.I.F.	URINAL UNLESS NOTED OTHERWISE VERIFY IN FIELD	EXIT SIGN DIRECTION TO EXIST	EXIT	REDUCTION  35. ESC54 STORM DRAIN INLET PROTECTION - DEVICES WHICH DETAIN SEDIMENT LADEN RUNOFF		CIVIL C-1 CIVIL TITLE SHEET
R. HEATER V. HOT WATER RIZ. HORIZONTAL HOLLOW CORE	VERT. VEST. V.C.T.	VERTICAL VESTIBULE VINYL COMPOSITION TILE			36. ESC55 SEDIMENT TRAP - SMALL EXCAVATED OR BERMED AREA FOR SEDIMENTATION	Hardelewar #800	C-2 GRADING & DRAINAGE PLAN C-3 CIVIL DETAILS  C-4 DRAINAGE IMPROVEMENT PLAN
D. INSIDE DIAMETER T. INTERIOR	W/ WAINS.	WITH WAINSCOT	REVISION REVISION NUMBER		37. ESC56 SEDIMENT BASIN - POND CREATED TO ALLOW EXCESSIVE SEDIMENT TO SETTLE	NORTH	U-4 DRAINAGE IIVIPROVEIVIENT PLAN
SUL. INSULATION V. INVERT P.S. IRON PIPE SIZE	W.C. WD. WH. WP.	WATER CLOSET WOOD WATER HEATER WATERPROOF		00		EASTMELD OR	

Domingo Ottolia, AIA C27790 Dorothy Barnes-Ottolia, AIA C28714

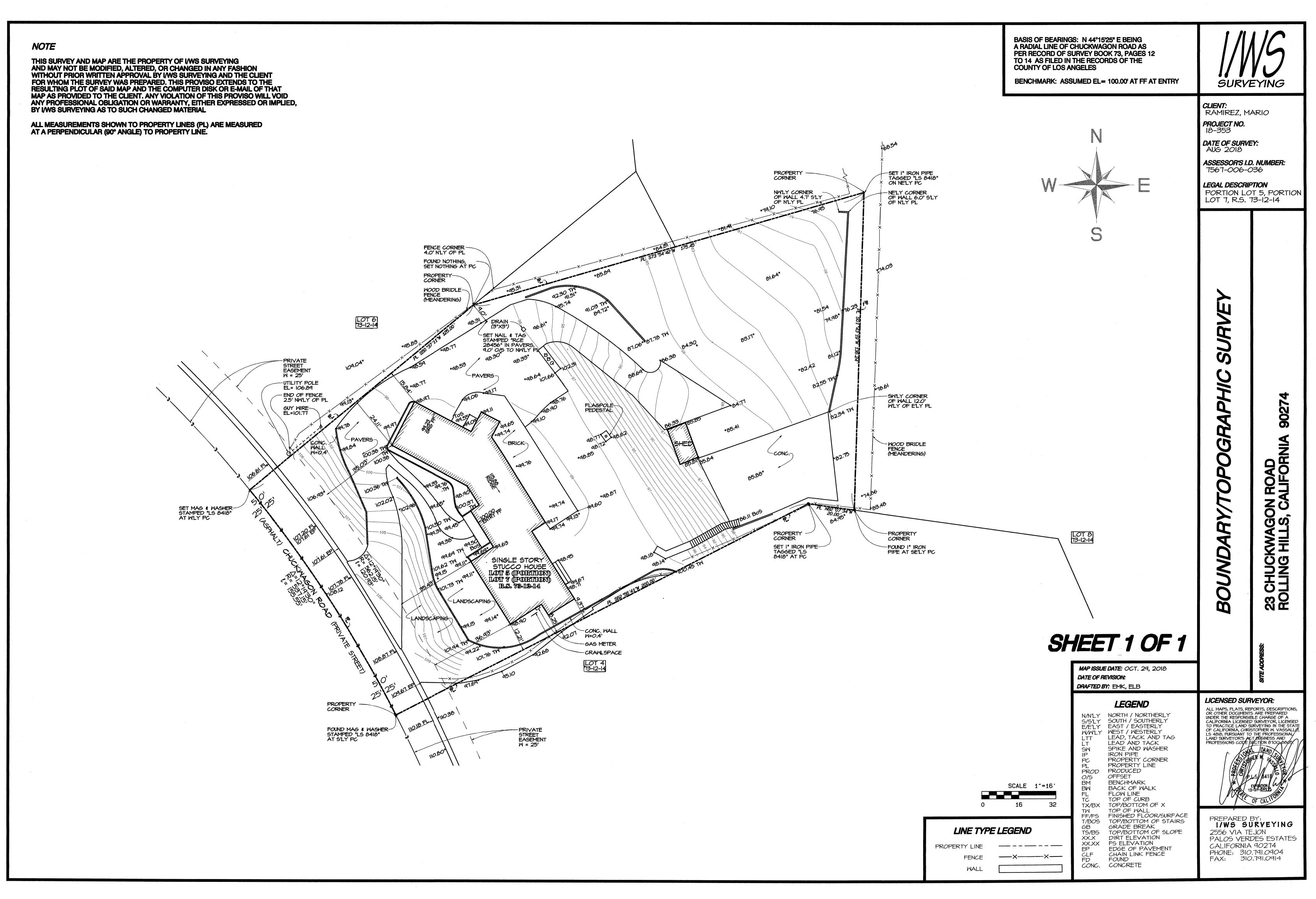


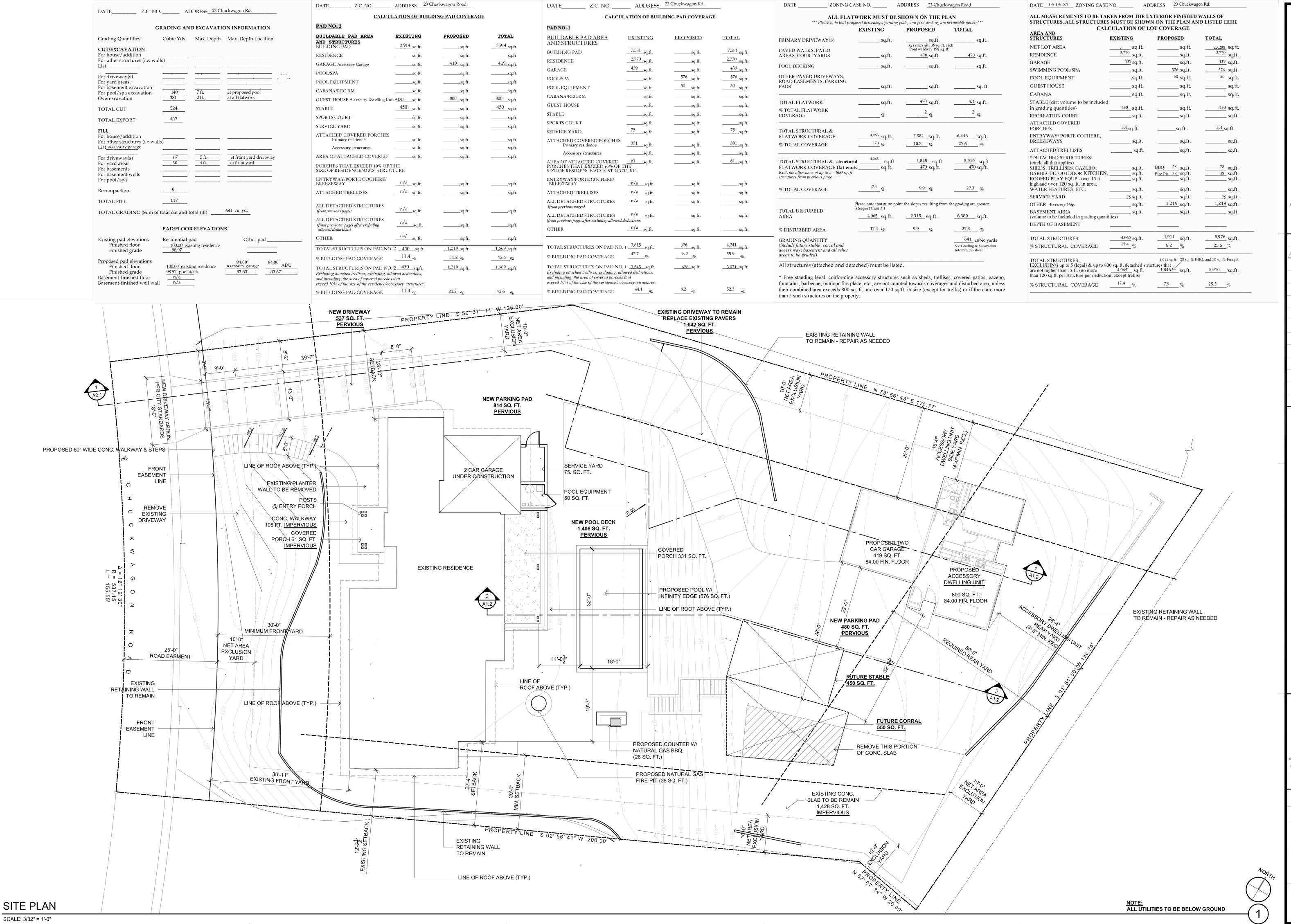
	or signature, contact Architect.			
No.	Submissions/Revisions	[		
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-		_		

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project number:

sheet title:





OTTOLIA & BARNES

Architecture

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No. Submissions/Revisions

- - -

pool, accessory garage & accessory dwelling unit (ADU) for:

andra and Mario Ramirez

23 Chuckwagon Road

Rolling Hills, California 90274

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05-10-21

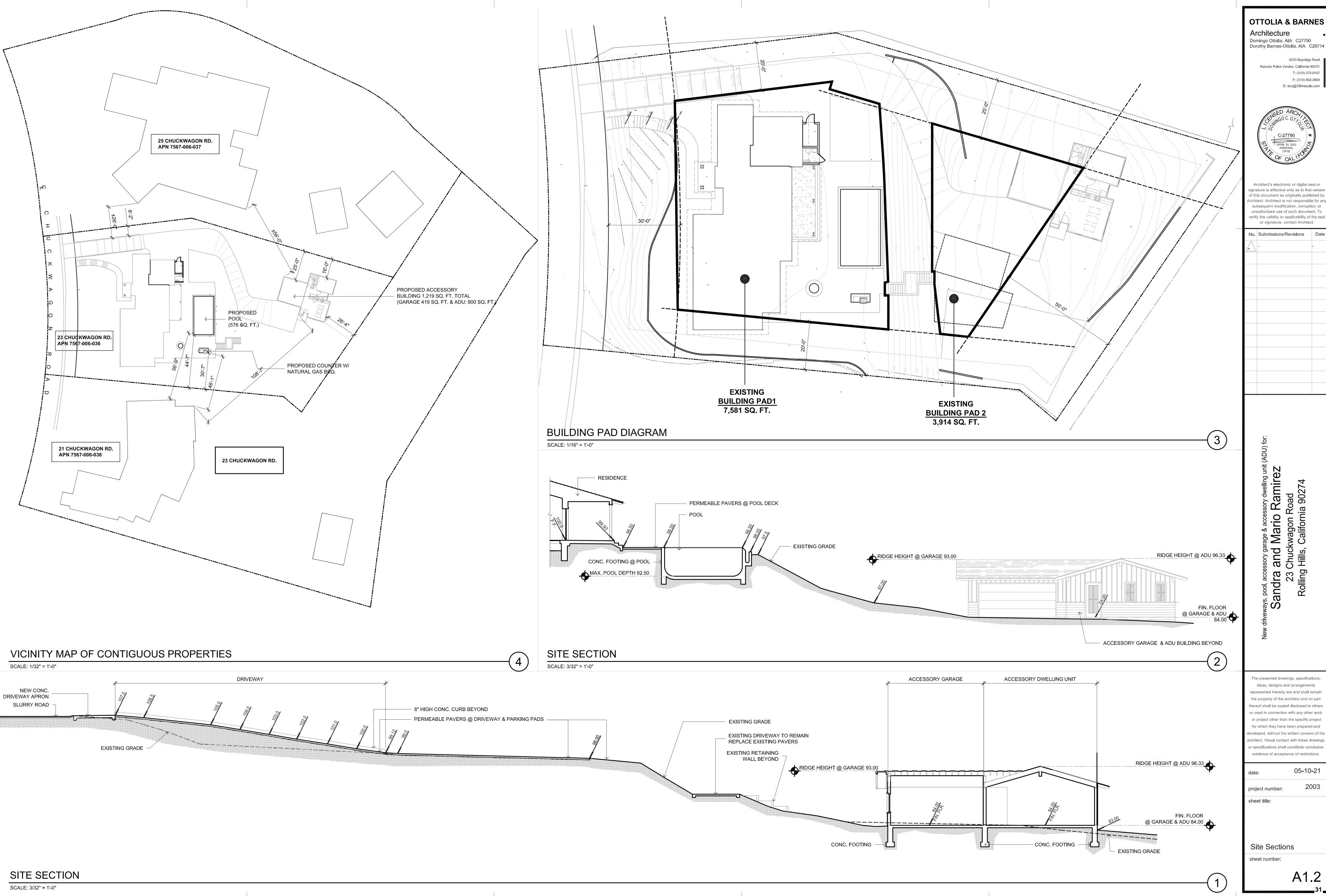
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sheet title:

Site Plan

sheet number:

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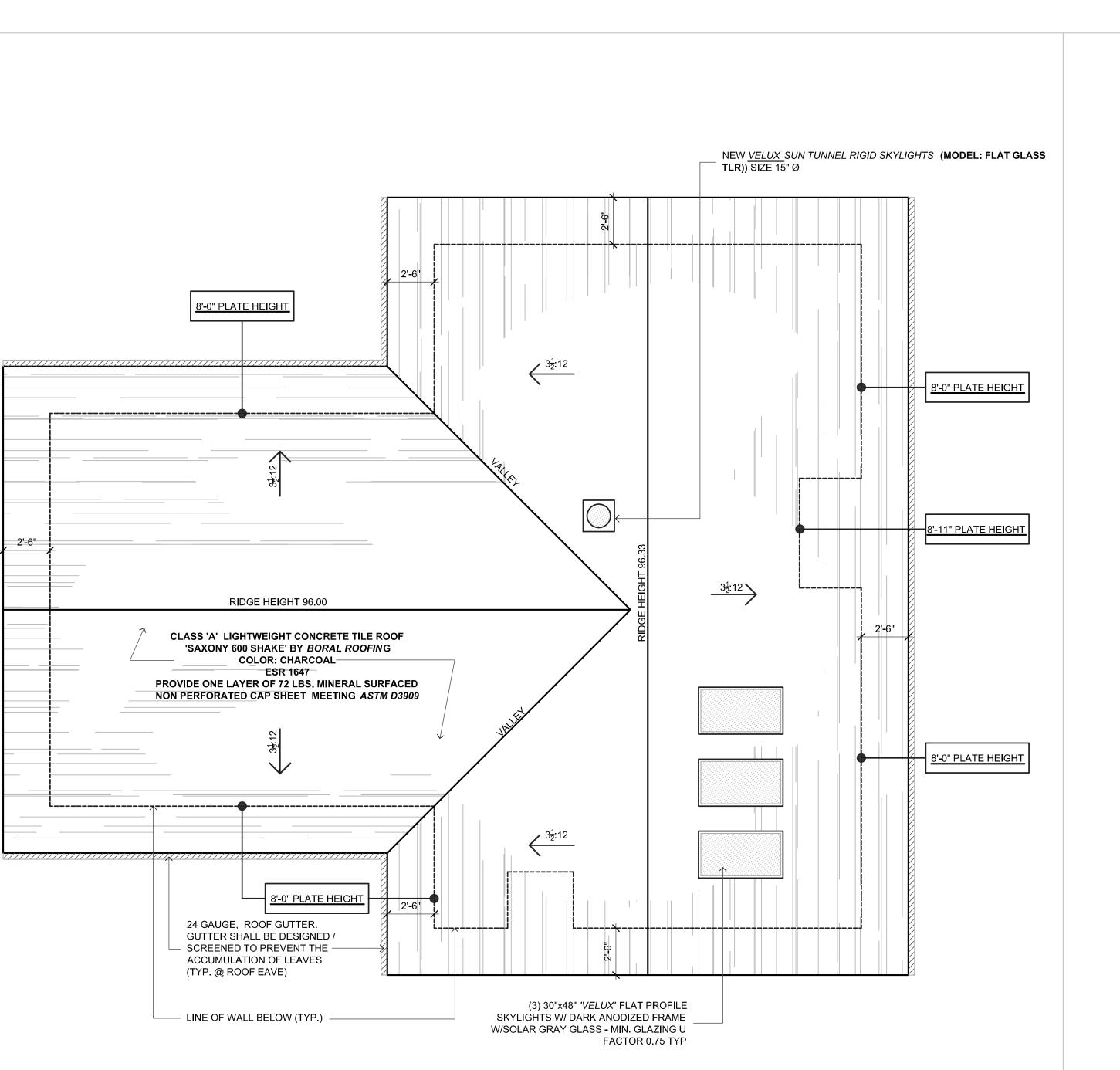
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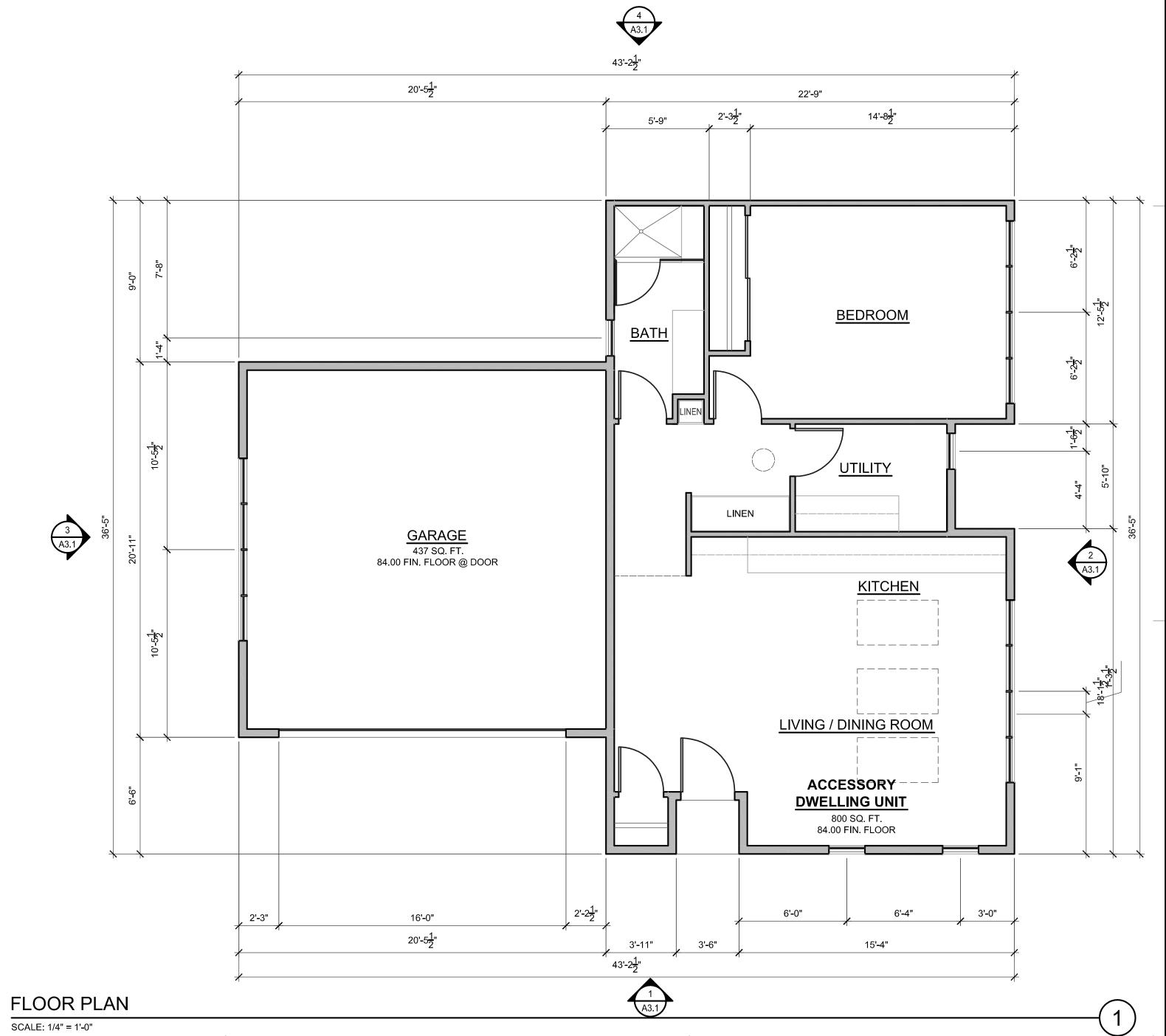
05-10-21

2003



**ROOF PLAN** 

SCALE: 1/4" = 1'-0"



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No. Submissions/Revisions Date

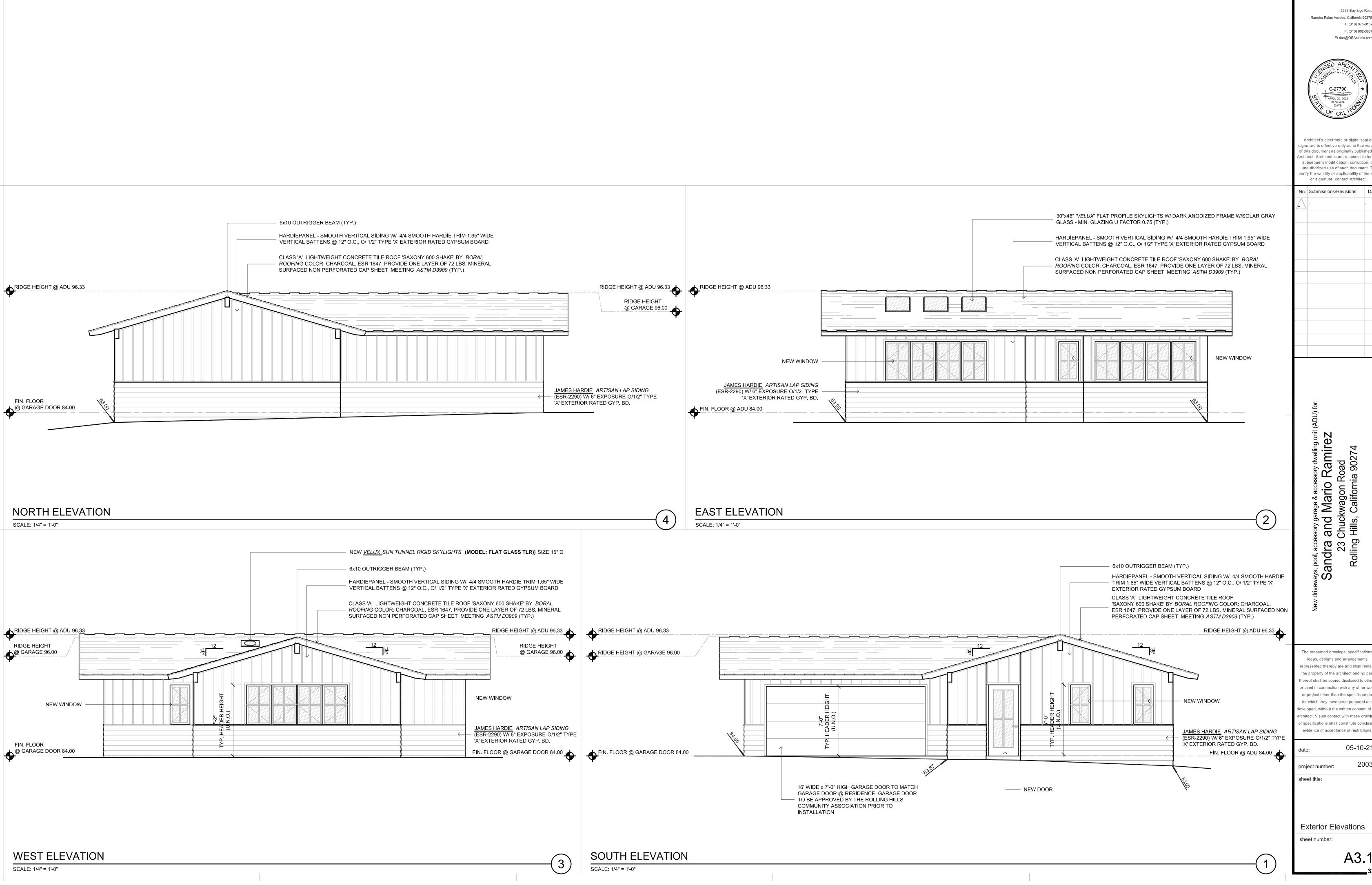
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> 05-10-21 2003

project number: sheet title:

Floor Plan & Roof Plan

A2.1



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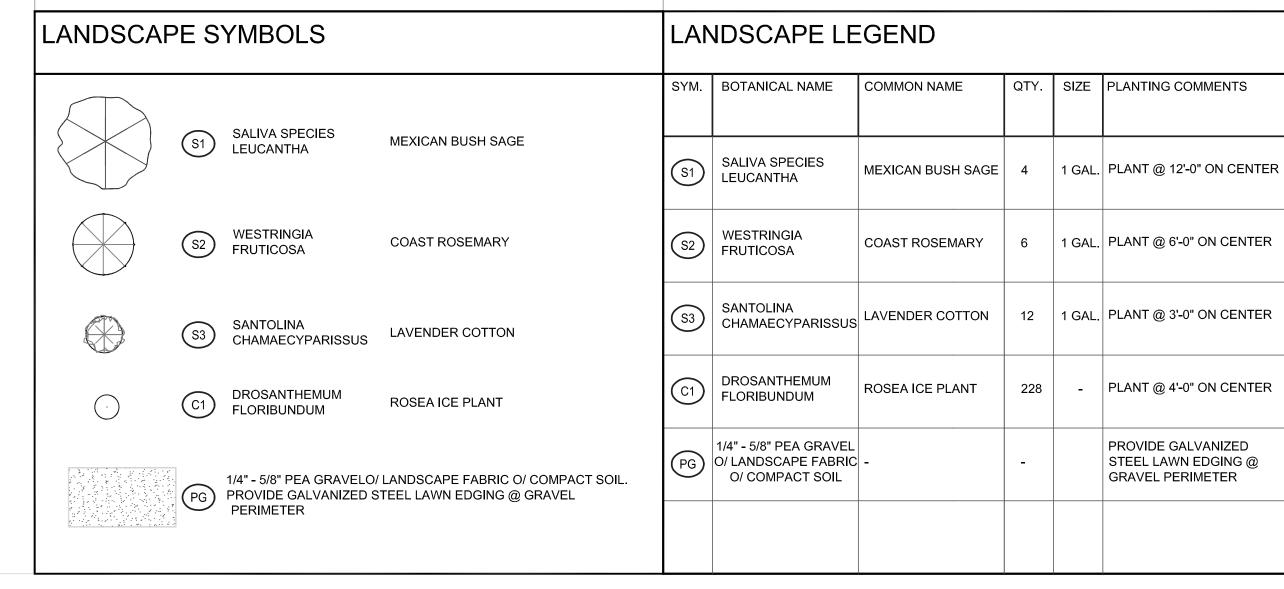
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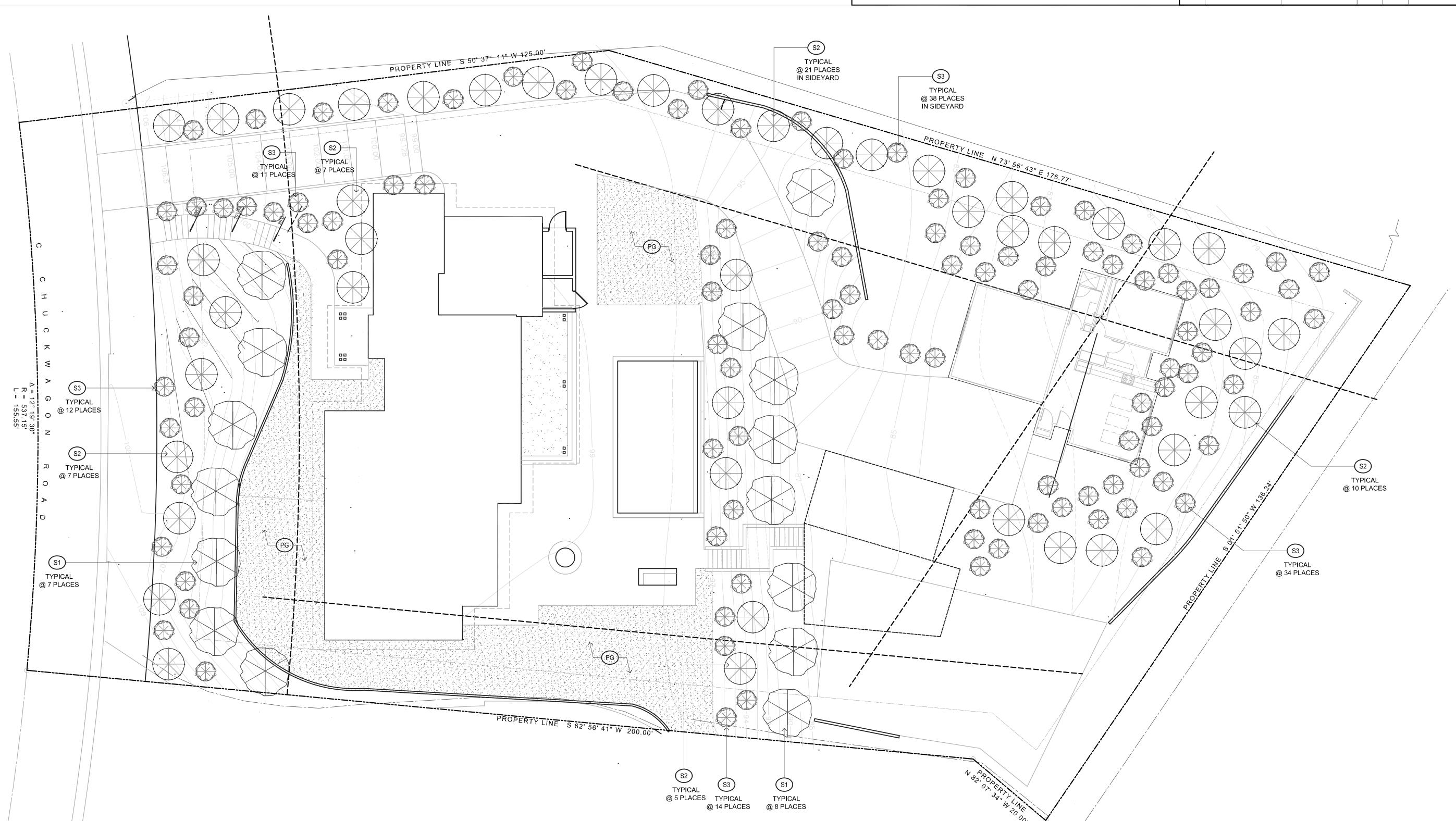
No. Submissions/Revisions Date

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05-10-21

2003





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No. Submissions/Revisions Date

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Domingo Ottolia, AIA C27790 Dorothy Barnes-Ottolia, AIA C28714

PRELIMINARY LANDSCAPE PLAN

SCALE: 3/32" = 1'-0"

The presented drawings, specifications, ideas, designs and arrangements

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evidence of acceptance of restrictions.

project number:

Preliminary

Landscape Plan

sheet title:

05-10-21

2003

Site Plan Review, Variance and Conditional Use Permit	EXISTING	PROPOSED	TOTAL
RA-S- 1 Zone Setbacks Front: 50 ft. from front easement line Side: 20 ft. from side property line Rear: 50 ft. from rear easement line	SINGLE FAMILY RESIDENCE, 2-CAR GARAGE	POOL, POOL EQUIPMENT, FLATWORK, DETACHED 2- CAR GARAGE AND ADU	
Net Lot Area	23,288 SF	0 SF	23,288 SF
Residence	2,770 SF	0 SF	2,770 SF
Attached Garage	439 SF	0 SF	439 SF
2nd Garage	0 SF	419 SF	419 SF
Swimming Pool/Spa	0 SF	576 SF	576 SF
Pool Equipment	0 SF	50 SF	50 SF
ADU	0 SF	800 SF	800 SF
Cabana	0 SF	0 SF	0 SF
Stable minimum: 450 SF	0 SF	450 SF	450 SF/550 SF
Corral minimum: 550 SF	0.01	100 01	(set aside)
Recreation Court	0 SF	0 SF	0 SF
Attached Covered Porches, Entryway, Porte Cochere, Breezeways	331 SF	0 SF	331 SF
Attached Trellis	0 SF	0 SF	0 SF
Detached Structures: Outdoor Kitchen	70 SF	BBQ 28 SF & Fire Pit 38 SF	61 SF
Water Features	0 SF	0 SF	0 SF
Service Yard	75 SF	0 SF	75 SF
Basement Area	0 SF	0 SF	0 SF
Grading (balanced on site)	Unknown	641 cubic yards	641 cubic yards (384 CY export)
Total Structure Area	4,065 SF	1,911 SF	5,976 SF
% Structural Coverage	17.4%	8.2%	25.6%
Total Structures Excluding: up to 5 legal and up to 800 SF detached structures that are not higher than 12 ft (no more than 120 SF per structure per deduction, except for trellis)	4,065 SF	1.845 SF	5,910 SF
Structural Lot Coverage (20% maximum)	17.4%	7.9%	25.3%
Total Structural and Flatwork Lot Coverage (35% maximum)	17.4%	9.9%	27.3%
Building Pad #1 Coverage (30%maximum) 7,581 SF	44.1 %	8.2%	52.3%
Building Pad #2 Coverage (30% maximum) 3,914 SF	2.6%	40%	42.6%
Total Disturbed Area SF	4,065 SF	2,315 SF	6,380 SF
Total Disturbed Area (40% maximum)	17.4%	9.9%	27.3%
Retaining/Garden Wall		Remove/replace same height	Repair same height/location
Roadway Access	Existing driveway approach	No change	No change



# City of Rolling Hills INCORPORATED JANUARY 24, 1957

Agenda Item No.: 8.A Mtg. Date: 05/18/2021

TO: **HONORABLE CHAIR AND MEMBERS OF** THE **PLANNING** 

COMMISSION

FROM: MEREDITH ELGUIRA, PLANNING DIRECTOR

THRU: **ELAINE JENG P.E., CITY MANAGER** 

SUBJECT: ZONING CASE NO. 21-04: REQUEST FOR: 1) CONDITIONAL USE

> PERMITS FOR A PROPOSED SPORTS COURT AND MIXED USE **STRUCTURE: AND REQUEST FOR** 2) **VARIANCES** FOR: ENCROACHMENT INTO THE REQUIRED SETBACKS FOR THE SPORTS COURT AND MIXED USE STRUCTURE AND PAD COVERAGE

EXCEEDANCE.

**DATE:** May 18, 2021

#### **BACKGROUND:**

#### LOCATION AND LOT DESCRIPTION

#### **Zoning and Land Size**

The property is zoned RAS-2 and has a net lot area of 191,262 square feet. The lot was developed with residential, garage, recreation room, observatory, and stable structures, which total 7,575 square feet. There are three existing building pads on site. The existing residence and garage are located on the primary building pad (Pad #1), which is 31,905 square feet. The secondary building pad (Pad #2) is 8,145 square feet and is located on a lower elevation behind the existing residence. The third building pad (Pad #3) is on the lowest existing building pad and is 15,168 square feet. The existing stable, which is proposed for mixed use conversion and 741 SF addition, and the proposed sports court are both located on Pad #3.

#### REQUEST AND PLANNING COMMISSION ACTION

#### **Applicants' Project Scope**

Applicants are proposing to add 741 SF to an existing 1,069 square-foot stable and convert it into 785 square-foot office with restroom and 794 square-foot recreation room. The proposed 741 square-foot addition will be built within the boundaries of the existing roof structure. Additionally, applicants are proposing a 6,384 sports court that will replace the existing corral. The proposed uses will require Conditional Use Permit. The proposed addition and sports court also require Variances for encroachment into the required side yard setback and for exceeding the maximum building pad coverage.

#### **Applicants' Requests**

### Variances

Applicants are requesting Variances for: encroachment into the side yard setback and exceedance of the 30% maximum building pad coverage.

### **Conditional Use Permit**

Applicants are requesting Conditional Use Permit (CUP) for the proposed sports court and mixed use.

### **DISCUSSION:**

### MUNICIPAL CODE COMPLIANCE

### Variances to Exceed the Maximum 30% Building Pad Coverage and Encroachment into the Required Setback.

Applicants are requesting to exceed the maximum 30% building pad coverage on Pad #3 by 24.2% to accommodate the proposed 6,384 SF sports court. The proposed sports court will be located on an existing building pad that is currently occupied by a corral. The proposed sports court's footprint will not exceed the current footprint of the existing corral.

The proposed sports court will encroach into the required side yard by approximately 13 feet. In addition, the proposed extension to the existing stable, although it will not exceed the leading edge of the existing stable, will encroach into the side yard setback by approximately six feet (6'). The encroachment of the proposed structures into the required side yard setback do not further exceed the existing structures' boundaries or leading structural edges. The fence that will surround the sports court will be located within the existing fencing that surround the corral. The proposed addition the the stable will align with the existing walls of the structure, which will enclose areas that are under the existing roof overhang. The proposed addition to the stable will transition seamlessly with the existing design of the structure.

### **Conditional Use Permit Request for the Proposed Detached Garage**

Applicants are proposing to convert an existing corral into 6,384 square-foot sports court and add 741 square feet to an existing stable and convert the use to office and recreation room. The proposed conversion of the corral to a sports court causes the lease amount of disturbance on site. The proposed sports court will not require grading because the current site is already flat and can accommodate the proposed use. Applicants are also adding landscaping around the proposed court to help screen the propose 10-foot high fence. The proposed landscape materials will require approval from the Fire Department and compliance with the State's water usage limit. The conversion of the stable to mixed use will have no adverse impact to surrounding uses and is not in conflict with allowed uses in the zone. In addition, applicants are proposing a set aside area for equestrian uses that meet code requirements.

### **Environmental Review**

The proposed project has been determined not to have a significant effect on the environment and is categorically exempt from the provisions of CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, which exempts accessory structures including garages, carports, patios, swimming pools, and fences.

### **Public Participation**

Resident James Black called staff to state he is in support of the project.

### 17.38.050 - Required Variance findings.

In granting a variance, the Commission (and Council on appeal) must make the following findings:

- 1. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone;
- 2. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question;
- 3. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity;
- 4. That in granting the variance, the spirit and intent of this title will be observed;
- 5. That the variance does not grant special privilege to the applicant;
- 6. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities; and
- 7. That the variance request is consistent with the general plan of the City of Rolling Hills.

### 17.42.050 - Basis for approval or denial of Conditional Use Permit.

The Commission (and Council on appeal), in acting to approve a conditional use permit application, may impose conditions as are reasonably necessary to ensure the project is consistent with the General Plan, compatible with surrounding land use, and meets the provisions and intent of this title. In making such a determination, the hearing body shall find that the proposed use is in general accord with the following principles and standards:

- 1. That the proposed conditional use is consistent with the General Plan;
- 2. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures;
- 3. That the site for the proposed conditional use is of adequate size and shape to accommodate the use and buildings proposed;
- 4. That the proposed conditional use complies with all applicable development standards of the zone district;
- 5. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities;
- 6. That the proposed conditional use observes the spirit and intent of this title.

### **FISCAL IMPACT:**

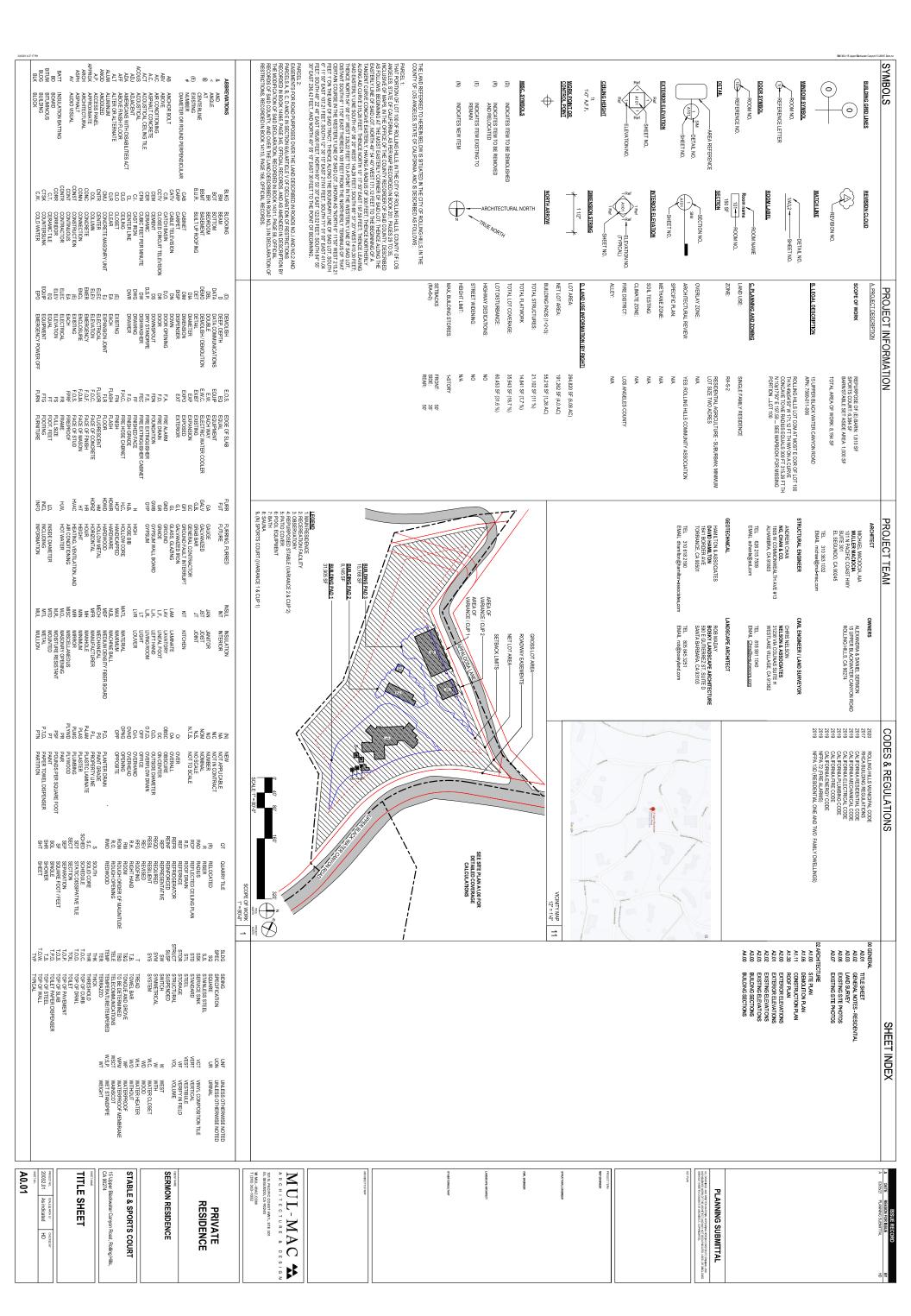
None.

### **RECOMMENDATION:**

Staff recommends that the Planning Commission consider and approve Resolution No. XXX approving the request for Conditional Use Permit for the sports court and mixed use, and Variances for encroachment into the side yard setback and exceedance of the maximum 30% building pad coverage.

### **ATTACHMENTS:**

ATTACHMENT A 15 Upper Blackwater Canyon Road Development\_Proposal\_Table.15 Upper Blackwater Canyon.pdf PC Resolution 2021-05.pdf



23. FAU, IN ATTIC
A. PROVIDE EXTROOD SHEATHING AT ENTIRE ATTIC SPACE.
A. PROVIDE EXTROOD SHEATHING AT ENTIRE ATTIC SPACE.
B. DOUBLE, LOISTS SUPPORTING FAU, UNIT AND PROVIDE SEISMIG SWAY BRACES.
C. PROVIDE ELECTRICAL, UNITET, LIGHT AND SMITCH & ACCESS
D. CONDENSATION DRAIN TO APPORTED PLUMBING FATURE REQUIRED. IF ANY.
E. PROVIDE A 30" X 30" WORKING SPACE IN PROVIDE THE FAU, WITH 30" HEADROOM.
F. PROVIDE SY SIDE ATTIC ACCESS WITH FOLD DOWN LADDER. 39. PROVIDE THE FOLLOWING AT ALL STARWAYSSTEPS:

A. MINIMUM 35" WIDE STARWAY AND LANDINGS.

B. MAXIMUM TAS RBEE, MINIMUM OF RUN FOR PRIVATE STARWAYS (T' RISE, 11" RUN FOR B. MAXIMUM AT SISE SERVING RI).

C. THE LAYBEST PASSED RIS NUM, FLUGHT OF STARS MAY NOT EXCEED THE SMALLEST BY

C. THE LAYBEST PASSED RIS NUM, FLUGHT OF STARS MAY NOT EXCEED THE SMALLEST BY 33. PROVIDE BASEBOARD AND WINDOW AND DOOR CASING AND CROWN MOULDING AS SELECTED BY ARCHITECT AND APPROVED BY OWNERS. 32. LAUNDRY ROOM DOOR SHALL HAVE 100 SQUARE INCH MINIMUM FOR DRYER MAKE UP AIR (CMC SECTION 908.2) WHERE OCCURS. 27. PROVIDE 1-1/8" PLWD. FLOOR SHEATHING TYPICAL. PROVIDE 5/8" PLYWOOD ROOF SHEATHING TYPICAL. 26. PROVIDE "SOKERN" FIREPLACES OR "DESA FIREPLACE" ESR-2542 OR APPROVED EQUAL AT METAL FIREPLACES WHERE OCCURS. 22 ALI HEATING SYSTEMS SHALL HAVE AUTOMATIC THERMOSTATS WITH A CLOCK MECHANISM WHIGH THE BUILDING OCCUPANT CAN IMANUALLY SET BACK; AND THERMOSTAT SET PONT AT LEAST 2 PERIODS WITHIN 24 HOURS, PER SECTION 150 (F) OF CEC. 16. PROVIDE A SECTIONAL ROLL-UP GARAGE DOOR WITH AUTOMATIC OPENER, AND DETAIL AS SHOWN ON ELEVATION. 15. PROVIDE R-11 OR R-13 INSULATION AT INTERIOR WALLS OF ALL BATHROOMS AND BEDROOMS. PROVIDE R-30 INSULATION BETWEEN FLOORS. 12. PROVIDE SOLID SURFACE COUNTERTOPS AT BATHROOMS PER FINISH SCHEDULE. ALL BATHROOM COUNTERTOPS HEIGHTS TO BE 36" HIGH. 38. SLOPE GRADE OR PAVING AWAY FROM BUILDING, MINIMUM 1% SLOPE. 34. PROVIDE STRAIGHT EDGE AT INTERIOR WALLS, TYPICAL 31. CONTROL VALVE FOR SHOWER AND TUB SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, SECTION 410.7 CPC. 30. PROVIDE A 12" MINIMUM ACCESS PANEL TO BATHTUB TRAP SUP JOINT CONNECTION OR USE RIGID TYPE CONNECTIONS. 29. BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLANLY VISIBLE FROM THE STREET, CTC SECTION 555. INTERNALLY ILLUMINATED ADDRESS SIGN SHALL INTO CONSUME AND CONSUME AND ADDRESS AND CONSUME ON JONGE THAN SAFITS OF POWER AS DETERMINED ACCORDING TO SECTION 130(0) - PER SECTION 150 (K) 14. 26. CLOTHES DRYER MOISTURE EXHAUST DUCTS ARE LIMITED TO 14 WITH TWO ELBOWS.
REDUCE THIS LENGTH BY 2" FOOR EACH ELBOW IN EXCESS OF TWO. DUCT SHALL BE
MINIMUM 4" DIAMETER SMOOTH METAL. 24. PROVIDE CIRCULATION INTAKE AIR SUPPLY DUCT OF 2 SQUARE INCHES PER 1000 BTU FOR F.A.U. 2. IMPORTANT NOTE: HVAC NISTALLER SHALL CONFER WITH ARCHITECT FOR NECESSARY 2. IMPORTANT NOTE: HVAC NISTALLER SHALL CONFER WITH ARCHITECT FOR NECESSARY 2. IMPORTANT OF THE NEW TOWN THE ARCHITECT OF THE ARCHITECT O I HANDRALL OR GLIARDRALL ON OPEN SIDE SHALL NOT ALLOW THAT IA 4" DIAMETER SHERE PASS THROUGH; AND THE OPEN SPACE AT TRISER, TREAD AND BOTTOM ELEMENT OF GUARDRALL SHALL NOT ALLOW A 6" DIAMETER SPHERE PASS THROUGH. 13. PROVIDE SOLID SURFACE COUNTERTOPS AT KITCHEN PER FINISH SCHEDULE. 37. PROVIDE WATER HEATER VENT TO OUTSIDE. 36. PROVIDE TANKLESS WATER HEATER UON. 35. PROVIDE SMOOTH TEXTURE AT ALL WALLS AND CEILINGS. 28. ALL WINDOWS AND DOORS SHALL HAVE CLAD FINISH, UON. 18. PROVIDE STANDING SEAM METAL ROOF W/ SEAMS @ 16" O.C. WHERE OCCURS. (DELETE?) 17. DOORS SHALL BE RECESSED AS SHOWN ON PLANS 14. PROVIDE SMOOTH STEEL TROWEL FINISH AT ALL STUCCO. 11. ALL PLUMBING WALLS SHALL BE 2 X 6 STUDS. 20. ALL HOSE BIBS SHALL BE PROTECTED BY BACK FLOW PREVENTION DEVICE. 10. PLUMB REFRIGERATOR SPACE FOR ICEMAKER. GLASS DOORS AND WALLS PANELS OF BATHTUBS AND SHOWER ENCLOSURES SHALL BE LAMINATED, FULLY TEMPERED OR WIRE GLASS. MATERAIS OTHER THAN STRUCTURAL ELEMBNTS SHALL BE MOISTURE RESISTANT. WALL COVERNOS SHALL BE CEMBNT PLASTER OR TILE. 77 "HIGH ABOVE DRAIN OF SHOWER OR TUB WITH SHOWER. THUSET TILE ONE'S MATER RESISTANT GYSUM BOARD AT WALLS. SET TILE OVER MIN. 3" MORTIAR BED OVER APPROVED SHOWER PAN AT FLOORS. DRIP PANS OR OTHER DEVICES FOR LAUNDRY ROOM, WATERS AND DISHWASHERS MUST BE APPROVED. GLASS, WHICH IS LESS THAN  $60^\circ$  FROM A FLOOR AND WITHIN A  $24^\star$  ARC OF A DOORWAY'S VERTICAL EDGE, MUST BE TEMPERED GLASS. PROVIDE A WATER SAVING LOW FLUSH WATER CLOSET. MAX. 1.6 GALLONS PER FLUSH. SHOWER HEADS (2.5 GALLONS PER MINUTE), & FAUCETS (2.2 GPM). LOCATION OF SERVICE SHALL BE APPROVED BY SOUTHERN CALIFORNIA EDISON COMPANY OR LADWP. PROVIDE A ONE HORSEPOWER WASTE DISPOSAL DOORS THAT SWING OVER A LANDING OR PORCH REQUIRE A LANDING EQUAL TO THE WIDTH OF THE FLOOR IN LENGTH AND NOT MORE THAN 172 BELOW THRESHOLD. DOORS THAT DO NOT SMINGS OVER A TOP S TEP OR LANDING MAY OPEN ON A LANDING OR TOP STEP THAT IS NOT MORE THAN 8" BELOW FLOOR LEVEL. ALL INTERIOR DOORS SHALL BE DOUGLAS FIR PANELED DOORS WITH 1-3/4" THICKNESS SOLID CORE APPROVED BY OWNER. HEADROOM OVER STAIRS TO BE 6"9" MINIMUM FROM NOSING OF TREAD GUARDRALL ON OPERS USE OF STAIRS OVER 30" ABOVE FLOOR OR AN AUGENT GRADE. MAY SERVE SK HAUDRALL ALSO. OLLY AT DEEP LOOR OR AN AUGENT GRADE. GUARDRALL MAY SERVE TO 38" INCHOLVY AT DEEP LOOF STAIRS. OLLY ANDRALL RECOURTED TOPA A DREAD BE SUBSESS OF TO 38" INSURE THAN DRALL ON STAIR STAIRS. BELIEVED NOSING 1 1/5" CLEARANCE TO MALL 17 TO 2" IN CROOSS SECTION WITH ENDS RETURNED TO WALL OR TERMINATE AT NEWEL OR SAFETT POST: SHOW HANDRALL CONTINUOUS FOR THE LENGTH OF THE STAIRS. BUCKOSED USAGE SPACE UNDER STAIRS TO BE PROTECTED BY 1-400 R FIRE STAIRS. BUTCH STAIRS TO MAKE TO MA REST RISE OR RUN IN A FLIGHT OF STAIRS MAY NOT EXCEED THE SMALLEST BY A MENNS OF EGRESS DOORS SHALL BE DETAILED AS FOLLOWS.

A. MIN. 37 (MAX. 48) CLEAR OPENING WIDTH OF EXIT DOORWAY. FOR SWINGING DOOR, CLEAR WIDTH IS MESSAGED BETWEEN HEE FACE OF HEDOOR AND THE STOP, WITH THE DOOR AND THE STOP, WITH THE DOOR AND THE STOP, WITH THE DOOR AND THE STOP AND THE STOP AND THE STOP AND THE STOP AND THE FACE OF HEDOOR AND THE STOP AND THE ST 4.0. EXTERIOR DOORS, DOORS BETWEEN HOUSE AND GARAGE AND THEIR HARDWARE SHALL COONFORM TO THE FOLLOWING SECURITY PROVISIONS:

A. DOORS SHALL BE COUPED WITH DEAL DOCKING LATCH AND DEAD BOLT WITH HARDSHED INSERT WITH "A MINIMAM THROW AND SE" MINIMAM BINBEDMENT INTO JAMB. BOTH ARE TO BE KEY O PEPRATED FROM THE OUTSIDE MINIMAM BINDED BOTH ARE TO BE KEY O PEPRATED FROM THE OUTSIDE BY MAND SO BOTH ARE TO BE KEY O PEPARTED FROM THE OUTSIDE BY MAND SO BOTH ARE TO BE KEY O PEPARTED BY AND SO BOTH ARE SO BAY SO BOTH ARE OF BEING SECURELY COVERED AND SILINGS GARAGE DOORS SHALL BE CAPABLE OF BEING SECURELY DOCKED WHEN NOT OTHERWISE LOCKED BY POWER OPERATION.

SLIDING GALASS DOORS AND SILINGS WINDOWS SHALL BE CAPABLE OF WITHSTANDING FORCED BY HAT ATTEMPTS AS OUTLINED IN 16706.7]. 49. SECTION 9.01; 100 SUSTAINABLE BUILDING RECUIREMENTS FOR R2 AND R3 OCCUPANCIES.
SECTION 419; IS HEREBY ADDED FRR THE ABOVE CLIMATIC FINDINGS AS FOLLOWS.
SUSTAINABLE BUILDING, ALL HEM R2 2 AND R3 OCCUPANCIES ARE REQUIRED TO
MOORPORATE ALL THE FOLLOWING SUSTAINABLE BUILDING PRACTICES IN ADDITION TO THE
REQUIREMENTS OF THE GEC., ITTLE 24; PAPR 6 INLESS WANDED WT HE BUILDING OFFICIAL.
1. INSULATE ALL HOT WATER PIPING
2. INSTIALL TOWN MENTING NISULATION IN REDUIRED AREAS OF WALLS, FLOORS,
CELINGS, AND ROOF,
3. USE LOW YOLATILE ORGANIC COMPUND (YOC) CALLANG,
4. PRE-PLIMBING PIPING AND SENSOR WIRRING FROM WATER HEATER TO ATTIC FOR
FUTURE COLAR WATER HEATING.
5. USE DUCT MASTIC ON ALL DUCT JOINTS.
6. INSTIALL ENERGY STAR\* ORE EQUIVALENT BATHROOM FAIN VENTED TO THE
OUTSIDE. ITE PULLUWING LOCATIONS:

A. IN EACH ROOM USED FOR SLEEPING PURPOSES.

A. IN EACH ROOM USED FOR SLEEPING PURPOSES.

C. IN EACH STORY, BASEMENT OR SPLIT LEVEL WITHIN A DWELLING UNIT.

D. IN ENCLOSED COMMON STAMPWELLS OF TWO OR MORE DWELLING UNITS.

WHERE MORE THAN ONE SMOKE ALABMIS REQUIRED TO BE INSTALLED IT SHALL BE INTERCONNECTED IN SUCH A MANNER SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.

IN INEW CONSTRUCTION, SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BULLONG WINNIG AND SHALL BE EQUIPPED WITH BATTERY BACKLIP AND LOW BATTERY SIGNAL. 42. SEE DETAIL FRAMING. 53. STRAJENT RUN STARWAYS SHALL BE DETAILED AS FOLLOWS:
A. MAX.7,775 AND MIN. 4" RISE HEIGHT.
B. MIN. 10" TREAD DEPTH.
C. MIN. 36" CLEAR WIDTH.
D. MIN. 56" CLEAR WIDTH.
EDGE OF THE NOSING. 54. STAIR TREADS AND RISERS SHALL BE DETAILED AS FOLLOWS.

A. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR TREAD
DEPTH SHALL NOT EXCESS DAYS IN ANY FLIGHT OF STAIR.

B. THE RADIUS OF CURVATURE AT THE LEADING EDGE OF THE TREAD OR BEVELING OF
NOSING SHALL NOT EXCESS DAY (1926 1094 33)
C. RISERS SHALL BE VERTICAL OR SLOPED A MAX. 30 DEGREES FROM THE VERTICAL, (CBC SI THE FIRE RESISTANCE RATING OF EXTERIOR WALL SHALL COMPLY WITH THE PROVISIONS OF FORE 70.4. SECTION 70.1. THE LEGAL AND TABLE BUT FIRE RESISTANCE RATIDE EXTERIOR WALL CONSTRUCTION SHALL BE WANTANED THROUGH CRAW, SPACES I DOR FRAMING, AND A TITC SPACES IN INCOMPANIES WITH 60.2. TO SEE THAT HER DENOETTONS LOTARIDE WHERE OPENINGS ARE REQUIRED TO BE PROTECTED SHALL BE MON-CONSISTED IN HERE OPENINGS ARE REQUIRED TO BE PROTECTED SHALL BE MON-CONSISTED IN HERE SPACED AND EXPORTED SHALL BE MON-CONSISTED IN A DESIGNATION ALL DETEROR WALLS WITH A FIRE SEPACHOT DISTANCE OF 9 OR LESS SHALL BE 1 HOUR FIRE-RESISTANCE RATING FOR EXPOSURE TO DISTANCE OF 9 OR LESS SHALL BE 1 HOUR FIRE-RESISTANCE RATING FOR EXPOSURE TO 46. ALL UTILITIES SERVING THE SITE SHALL BE INSTALLED PER CITY STANDARD, SUBJECT TO HELD INSPECTION AND VERHICATION, CONTACT SOUTHERN CALIFORNIA EDISON COMPANY OR DEPARTMENT OF WATER AND POWER. GARAGE DOOR EXTENSIONS SPRINGS SHALL BE FABRICATED FROM EITHER HARD DRAWN-SPRING WIRE OR OIL TEMPERED WIRE AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTION. GARAGE DOOR SPRINGS SHALL COMPLY WITH REQUIREMENTS OF CBC SECT. 1211. ROOMS CONTAINING BAHTUBS. SHOWERS, SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED. PROVIDE AN EXHAUST FAN WITH A MIN. CAPACITY OF 50 CHM. DUCTLESS FANS ARE UNACCEPTABLE. 51. SMOKE ALARMS (I.E. SMOKE DETECTORS) SHALL BE INSTALLED AND MAINTAINED AT ALL OF THE FOLLOWING LOCATIONS: 48, CHECK CITY RECORDS TO DETERMINE EXISTENCE OF CESSPOOL ON PROPERTY. ANY ESTING CESSPOOL SHALL BE LOCATED AND INSPECTED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED. 47. AN APPROVED BACKWATER VALVE IS REQUIRED FOR DRAINAGE PIPING SERVING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER, EXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE (UPC 710.1). 46. OBTAIN SANITATION DISTRICT APPROVAL FOR ANY NEW SEWER CONSTRUCTION. 43. SEE DETAIL 41. SEE SITE PLAN FOR ALL SETBACKS AND PARKING REQUIREMENTS. 56. THE WALKING SURFACE OF TREADS AND LANDINGS SHALL NOT BE SLOPED STEEPER THAN 2% (1:48) IN ANY DIRECTION. 44. SEE DETAIL PROVIDE EMERGENCY ESCAPE AND RESCUE FROM SLEEPING ROOMS MIN. NET CLEAR OPENING DIMENSIONS OF 24" HEIGHT, 20" CLEAR WIDTH, 5.7 SO, ET, AREA (5.0 SO, FT, AT GRADE FLOOR) AND 44" MAX TO BOTTOM OF CLEAR OPENING IS REQUIRED. WALLS AND SOFFITS WITHIN ENCLOSED USEABLE SPACE LINDER STARRWAYS SHALL BE PROTECTED AS FOLLOWS: INTERIOR STARS REQUIRE 0.5" GYPSUM BOARD ON THE ENCLOSED SIDE. LEADING EDGE OF TREAD SHALL NOT PROJECT MORE THAN 1.25" BEYOND TREAD BELON OPENING BETWEEN TREADS SHALL NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE. FOR TYPICAL DOOR AND WINDOWS. FOR TYPICAL CUTTING, BORING AND NOTCHING THROUGH WOOD FOR TYPICAL ONE-HOUR WALL AND CEILING DETAILS. HEADROOM MEASURED VERTICALLY FROM A LINE CONNECTING THE 55. PENETRATIONS IN FRE-RESISTANCE-RATED WALLS SHALL COMPLY WITH CBC 772.3.1.

THROUGH PENETRATIONS SHALL COMPLY WITH CBC 772.3.1.1.

A. STELL, FRENGUS OR COPPER PPES MAY PENETRATE RE-RESISTANCE RATED WALLS.

A. STELL, FRENGUS OR COPPER PPES MAY PENETRATE RE-RESISTANCE RATED WALLS.

THE REGAUS OR COPPER PPES MAY PENETRATE PENETRATES OF THE SOLIN, COPPER PPES MAY SHOULOWS

1. ITEM PENETRATIONS CONCRETE CROUTED AS FOLLOWS

1. ITEM PENETRATIONS CONCRETE CROUTED THE WALL DOES NOT EXCEED 144 SQ. IN.

CONCRETE, CROUT OR MORTAN IS PERMITTED WHERE IT IS NOTALLED THE FULL

THOCKIESS OF THE WALL OR THE THICKIESS REQUIRED TO MANITAIN THE FIRE

RESISTING RATING; CONCRETE CROUTED BY A SYSTEM MASTALLED AST SETSED IN

PENETRATIONS SHALL BE FRESTOPED BY A SYSTEM MASTALLED AST SETSED IN

ACCORDANCE WITH ASTIM ES 14 OR UL 1479, AND SHALL HAVE MAY FAITING OR WALLS BY STEEL

ELECTROAL BOXES ARE PRAINTED, MAY DE PRAINTED (CBC 772.3.1.2)

S. WHEN THE REQUIRED THE REASISTING ATTING THE THE ROSES MOT EXCEED 165 SQ. IN.

IN IN AREA AND THE TOTAL AREA OF SUCH OPENINGS DOES NOT EXCEED 165 SQ. IN.

IN IN AREA AND THE TOTAL AREA OF SUCH OPENINGS DOES NOT EXCEED 165 SQ. IN.

IN IN AREA AND THE STOTAL AREA OF SUCH OPENINGS DOES NOT EXCEED 165 SQ. IN.

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IN IN AREA AND THE STOTAL AREA OF SUCH OPENINGS DOES NOT EXCEED 165 SQ. IN.

IN IN AREA AND THE STOTAL BREED THE MALL MEMBRANE

BY ALBER SEEDING THE WALL SEPARATED BY A HORIZONTAL DISTANCE OF NOT LESS

THAN 14. IN THE STOTAL THE TOTAL THE TO 57. ATTACHED GARAGE OR CHAPORT TO DIMELLING SHALL BE SEPARATED AS FOLLOWS:
A. MIN. 1/2" GYPSIAM BOARD REQUIRED ON THE GARAGE SIDE SEPARATING DIMELLING AND
ATTIC, AREA FRANG GARAGE.
B. MIN. 3/8" GYPSIAM BOARD REQUIRED BETWEEN GARAGE OR CARPORT AND ALL
HABITAGE FROMS: LOCATED ABOVE GARAGE OR CARPORT (INCLUDING STRUCTURAL
MEMBERS SUPPORTING THE UPPER FLOOR, CELLING, POST AND BEAM).
C. MIN. 1/3" THICK SOLLID WOOD DOORS OR SOLLID OR HONEYCOME CORE STEEL DOOR, OR
MIN. 20 MINUTE ANTED FRE DOOR, ASEMBLY.
D. DOORS TO BE SEFFACION AND SEFFATOLING.
E. GARAGE SHALL NOT OPEN DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES.
F. MIN, 10/3" SHEET STEEL WITH NO OPENING FOR DUCTS IN WALLS AND CELLINGS THAT
PENETRATE INTO THE GARAGE. C. STORM DOSING-MASSEMBLES.

C. WHRAMED SWINGHED DOORS.

D. WHRAMED SWINGHES FOR HOT TUBS, WHRLPOOLS, SAUMAS, STEAM ROOMS BATH E. DOOR AND ENCLOSURES FOR HOT TUBS, WHILPOOLS, SAUMAS, STEAM ROOMS BATH I.B.S., AND SHOWERS.

F. FIXED OR OPERABLE FAMELS ADJACENT TO A DOOR WHERE THE REFORED EDGE OF THE GLAZING IS WITHIN 2" ARC OF EITHER VERTICAL EDGE OF THE GLAZING IS WITHIN 2" ARC OF EITHER VERTICAL EDGE OF THE GLAZING IS LESS THAN BY ABOVE THE WILKING SURFACE. READ CODE FOR EXCEPTIONS.

CLOSED DOSETIONA HOW MEREET THE BOTTOM THE DESCRIBED IN TEMSE AND F. WHICH BETS ALL OF THE FOLLOWING CONDITIONS.

G. FIXED OR OPERABLE FAMEL, OTHER THAN THE DESCRIBED IN TEMSE AND F. WHICH MEETS ALL OF THE FOLLOWING CONDITIONS.

G. FIXED OR OPERABLE THAN SHOWED GEALTER THAN 9 SO. FT.

B. EXPOSED DREAD OF AGARATER THAN 3"S ADOVE THE FLOOR.

G. EXPOSED DOFFIDES GEARATER THAN 3"S ADOVE THE FLOOR.

G. AVENDE OF THE FOLLOWING CONDITIONS. 1. VERTICALLY AT THE CEILNIG AND FLOOR LEVELS
2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10°
2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10°
2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10°
3. HORIZONTAL STATES AND SOME CONTROL OF THOOR SOACES AND CONCEALED HORIZONTAL SPACES (AND CONCEALED HORIZONTAL SPACES (AND ENTRUSES). AND ESTIMAL SPACES CONTROL AT SOFT 115, DROP CEILNIGS, COVE CEILNIGS, AND SIMILAR LOCATIONS.
3. CI, INCONCEALED SPACES ENTREMS 1731AS STRINGERS AT THE TOP AND SOTTOM OF THE RUN. ENCUSED SPACES INDERS 1731AS STALL ALSO COMPLY WITH GBC 1003-0.3.
3. D. DIWHEN MANULAR SPACE PROTECTION IS PROVIDED IN ACCORDANCE WITH AND THE PROTECTION SORT OF THE TOP AND SORT OF THE ALL EXT. 1, OR GBC 1724-2. FIREBLOOKING SHALL BE INSTALLED AT ALL DENNIS AROUND INSTALL SPESS DUTS'S CHIMINEYS, AND REPROADED IN ACCORDING THE MAIN AND THE PRODUCTS. H. GUARDS AND FAUNCS RECARDLESS OF AREA OR HEIGHT ABOYE A MAKINIOS SURFACE.

H. WILLS AND FRINCET RAL BALUSTER FAMELS AND MONSTRUCTURAL HAFILL FAMELS.

I. WILLS AND FRICES BALLOSING IMOOR AND OUTDOOR SUMMANING FOOLS AND SPAS.

WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT.

A. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN BY ANDEL A WALKING SURFACE ON THE POOLS OR SPA, SIDE OF GLAZING.

D. THE GLAZING IS WITHING FOO FA SWIMMING FOOL OR SPA WATER'S EDGE.

J. AUACEBUT TO STAMWAYS, LANDINGS AND RAMPS WITHIN 39" HORIZONTALLY OF A MAKING SURFACE OF THE GLASIS IS LESS THAM BOY ABOYE THE PLANE OF THE CADACEMT WALKING SURFACE (FLEAD THE CODE FOR EXCEPTIONS WITHIN STATIONS)

K. AUACEBUT TO STAMMAYS WITHIN BOY HORIZONTALLY OF THE BOTTOM TREAD OF A STAMWAY MAY DIRECTION WHEN THE EXPOSED SURFACE. (FLEAD THE CODE FOR EXCEPTIONS WITHIN STATIONS)

K. AUACEBUT TO STAMMAYS WITHIN BOY HORIZONTALLY OF THE BOTTOM TREAD OF A STAMWAY MAY DIRECTION WHEN THE FERDERS STAMMAY AND THE GLASS IS LESS THAN 80" ABOVE THE MOSE OF THE TREAD. 59. FIREBLOCKING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS IN ACCORDANCE WITH OSC 717.2.
A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED S AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS. 65. EACH PANE OF SAFTEY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE DENTIFIED BY AMAUFACTURERS DESIGNATION SECEPYNG WHO APPLIED THE DESIGNATION, THE MANUFACTURERS OR RISTALLER AND THE SAFETY GLAZING STANDARD. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSED OF SAFTEY GLAZING SLAZING IN:

A. SWING DOOMS. 6. ALI ELECTRICAL, TELEPHONE, CABLE TELEVISION SYSTEM, AND SIMILAR SERVICE WIRES AND CABLES SHALL BE INSTALLED UNDER GROUND, UNDERGROUND FIURE STUB OUT IS REQUIRED. 63. CURVED STAIRWAYS SHALL HAVE A MINIMUM 6" TREAD DEPH WITH A MINIMUM 10" TREAD GEPH MEAS LEADED AT RIGHT ANQUE TO THE TREAD'S LEADING EDGE AT A POINT 12" FROM THE SIDE WHERE THE TREATS ARE NARROWER (CBC 1009.3, 1009.7). 62. INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL COMPLY WITH CBC 804.2 THROUGH 804.4.1. 61. WALLS, FLOOR, AND CEILING SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC T-803.5. 60. DRAFTSTOPPING SHALL BE INSTALLED IN COMBUSTIABLE CONCEALED LOCATIONS IN ACCORDANCE WITH 662 717.3 AND 71.4 RESPECTIVELY, AT THE FOLL WING LOCATIONS:

A. IN FLOORACE WING ASSEMBLY AND LOCATED ABOVE AND IN LINE WITH THE DWELLING LOCATIONS:

A. IN FLOORACE WING ASSEMBLY AND LOCATED ABOVE AND IN LINE WITH THE DWELLING LOCATION IN DUPLEXES NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER INTERPARATION IN DUPLEXES NOT EQUIPPED WITH AN AUTOMATIC SPRINKLER NOT EXCEED 300/SO. FT. N DWELLING NOT EQUIPPED WITH AND AUTOMATIC SPRINKLER SYSTEM STATEMARS SHALL NOT BE LESS THAN 12" CYPSUM BOARD 36" WOOD ON BELAYKETS OF AMERICA WOOL OR GLASS FIVER, OR OTHER APPROVED MATERIALS DADGUNTELY SUPPORTED.

D. DEFUNDES IN THE PARTITIONS SHALL BE PROTEXTED BE SELF-CLOSING DOORS WITH ATOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PATRONS. SYSTEM
B. IN ATTICS AND CONCEALED ROOF SPACES SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQ. FT. IN DWELLING NOT EQUIPPED WITH AND AUTOMATIC D. A FIRE SPRINKLER SHALL BE PERMITTED TO BE UNPROTECTED PROVIDED SUCH A SPACE IS COVERED BY A METAL ESQLICHEON PLATE.

E. WHERE WALLS ARE PENETRATED BY OTHER MATERIALS OR OPENINGS LARGER THAT THOSE MENTIONED ABOVE. THEY MUST BE CAUAL FEED BY TESTS IN ACCORDANCE WITHOUT MACHINE MATERIALS OR DESIGNATION. WALLS ARE PENETRATED BY OTHER MATERIALS OR OPENINGS LARGER THAN MENTIONED ABOVE, THEY MUST BE QUALIFIED BY TESTS IN ACCORDANCE WITH LIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND SET DOOR ASSEMBLIES. SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS: 73. WEATHER PROOF ALL DECKS AND BALCONIES BY PROVIDING DEX-O-TEX (ESR-1757) OR AN APPROVED EQUAL, UON. 72, HANDRAU, S. SHALL BE DETAILED AS FOLLOWS.
CONTINUOUS HANDRAUL IS REQUIRED WHEN 4 OR MORE TREADS ARE PROVIDED (CBC 009.01).
B. MIN 34" TO MAX 3" HIGH ABOVET THE STAIR TREAD NOSING (CBC 011.27).
C. MIN 1.25" TO MAX 2" CIRCULAR CROSS SECTION FOR HANDGRE PORTION OF HANDRAU.
D. MIN 4" TO MAX 6.2" PERMIETER DIMENSION WITH MAX 2.2" CROSS SECTION FOR NOVEL PROVIDED HANDRAU.
D. MIN 4" TO MAX 6.2" PERMIETER DIMENSION WITH MAX 2.2" CROSS SECTION FOR NOVEL PROVIDED HANDRAU (CBC 011.2).
E. MIN 0.01" RADIUS FOR EDGE OF HANDRAL (NO SHARP CORNER). 8. ACCESS TO MECHANICAL APPLIANCES IN UNDER-ELOOR AREAS, IN ATTIC SPACES, AND ON ROOPS, OR ELEVATED STRUCTURES SHALL BE IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE. 79. AQMD NOTIFICATION IS REQUIRED 10 DAYS PRIOR TO BEGINNING ANY PARTIAL OR COMPLETE DEMOLITION WORK. 76. THIS PROJECT SHALL COMPLY WITH TITLE 24, AND 2016 CBC, 2013 CMC, 2016 CPC, 2016 CEC, 2016 CRC, AND 2016 CALIFORNIA ENERGY CODE. 74. ROOF DRAINAGE SYSTEM SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
A. SIZE THE ROOF DRAINS AND OVERFLOW DRAINS IN ACCORDANCE WITH CHAPTER 11 71. GUARDS SHALL BE DETAILED AS SUCH.

A. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, MEZZANINES, STAIRWAYS, RAMPS AND LANDINGS THAT ARE MORE THAN 30' ABOVE THE FLOOR OR 70. DRIVEWAY APPROACHES SHALL COMPLY WITH STANDARD DETAIL ST-1 OF THE DEPARTMENT OF PUBLIC WORKS, MAXIMUM SLOPE SHALL NOT EXCEED 15%. 88. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THE QUICK-ACTING VALVES FROM THE WASHER AND DISHWASHER, ETC, PER UPC SECTION 609.10. 86. CONTRACTOR SHALL PROVIDE COPIES OF THE <u>CALIFORNIA GUIDE TO HOME COMFORT</u> AND ENERGY SAVINGS. CF-1R, MF-1R, CF-6R AND IC-1 FORMS TO THE BUILDING OWNER. 84. PROPOSED UTILITY METERS NEED TO BE SCREENED IF LOCATED ON THE INTERIOR SIDE OF A DWELLING AND RECESSED BEHIND THE SETBACK. 78. ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS ARE INDICATED ON PLOT PLAN. 77. SEPARATE PERMITS ARE REQUIRED FOR RETAINING WALLS OR BLOCK FENCE WALLS. GRADING WORK, SPAS, POOLS, SEPARATE STRUCTURES, SHORING, SOLAR SYSTEMS, DEMOLITION, (ELECTRICAL, MECHANICAL, AND OR PLUMBING WORK) AND SEWER CAP OF EXISTING BUILDINGS. SE CONTRACTOR SHALL POST THE INSTALATION CERTIFICATE (CF-88) FORM AND INSULATION CERTIFICATE (CF-96M IN A CONSPICUOUS LOCATION OR KEPT WITH PLANS AND MADE AVAILABLE TO THE INSPECTOR. 83. 4" WASTE LINE SHALL BE USED FOR SERVING 4 OR MORE WATER CLOSETS PER CPC TABLE 703.2 FOOTNOTE 4. 180-PROVIDE PROOF OF SURVEY (PROPERTY CORNERS) VERHIFICATION BY THE CITY BUILDING 180-PROVIDE PROOF OF SURVEY (PROPERTY CORNERS) VERHIFICATION BY THE CITY BUILDING DIVISION. DEMO PERMIT REQUIRED FOR EXISTING STRUCTURE. 76. CHIMNE'S SHALL EXTEND A MIN. 2 ABOVE DAY PORTION OF THE BUILDING WITHIN 10' BUT NO LIESS THAN 3' ABOVE THE ROOF. CHIMNEYS SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR. 87. RADIANT BARRIER SHALL AN EMITTANCE OF 0.05 OR LESS. SLOPE GRADE AWAY FROM BUILDING MINIMUM 2% SLOPE (1/4" PER FOOT). 81. ALL NEW FIXTURES SHALL BE WATER CONSERVING. CPC 402.0 D. ROOF PRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY.

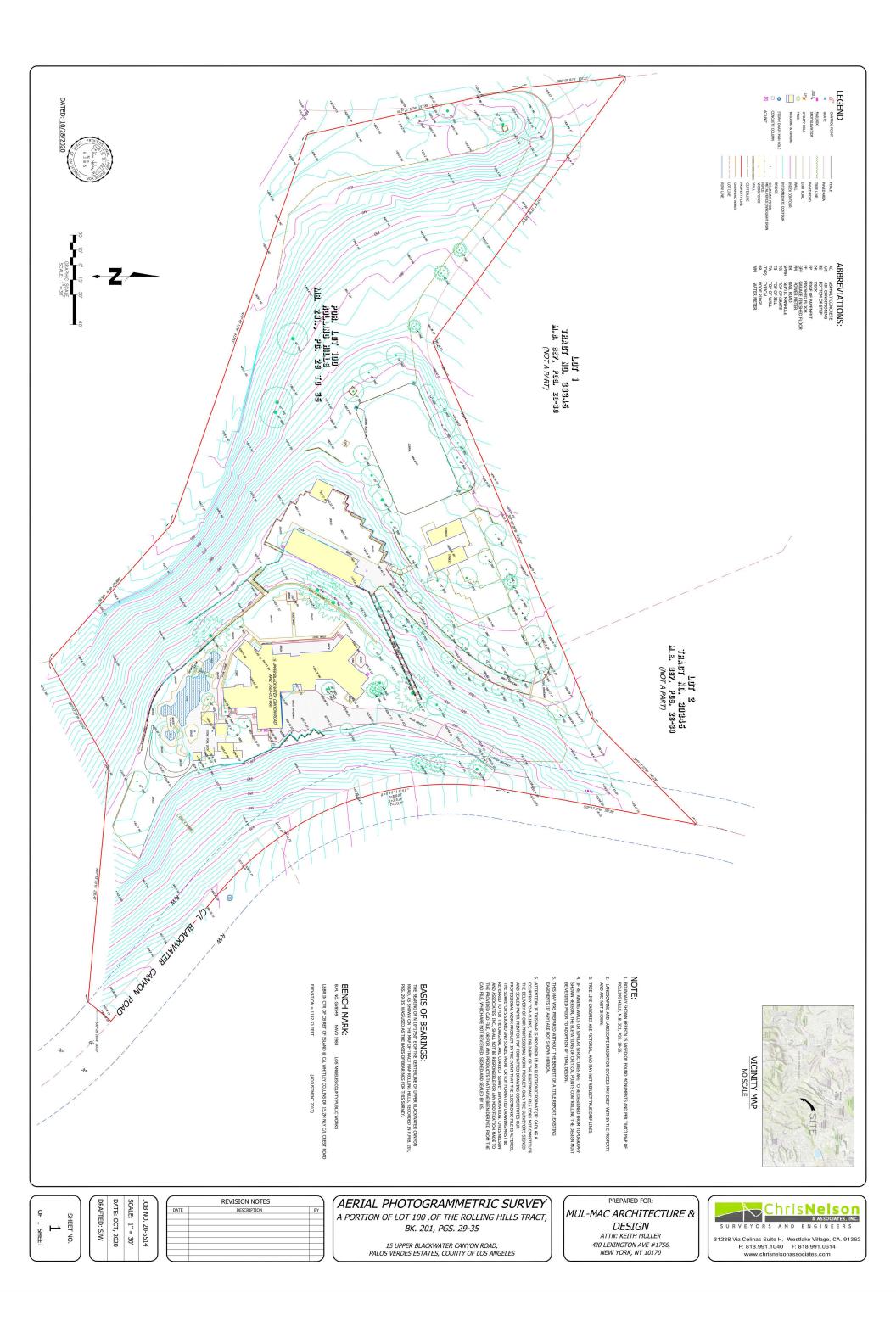
E. SECONDARY ROOF DRAINS HAWING THE SAME SIZE AS THE PRINARY ROOF DRAINS SHALLE BE INSTALLED WITH THE INLET FLOW LINE LOCATED A MIN. Z. ABOVE THE LOW POINT OF THE ROOF F. SCUPPERS THROUGH PARAPET WALLS ADJACENT TO THE LOW POINT OF THE ROOF MAY BE USED AS SECONDARY ROOF DRAINAGE, SCUPPER OPENINGS SHALL BE A MINIMUM OF 4" HIGH AND HAVE A WIDTH EQUAL TO THE CIRCUMFERENCE OF THE ROOF PRAIN REQUIRED FOR THE AREA SERVED.

G. OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE TO CPC T-11-1. GRADE JADON.

B. GLARD WHOSE TOP RAIL DOES NOT SERVE AS A HANDRAIL SHALL HAVE A HEIGHT OF AT HIGH ABOVE THE LEADING EDGE OF THE TREAD.

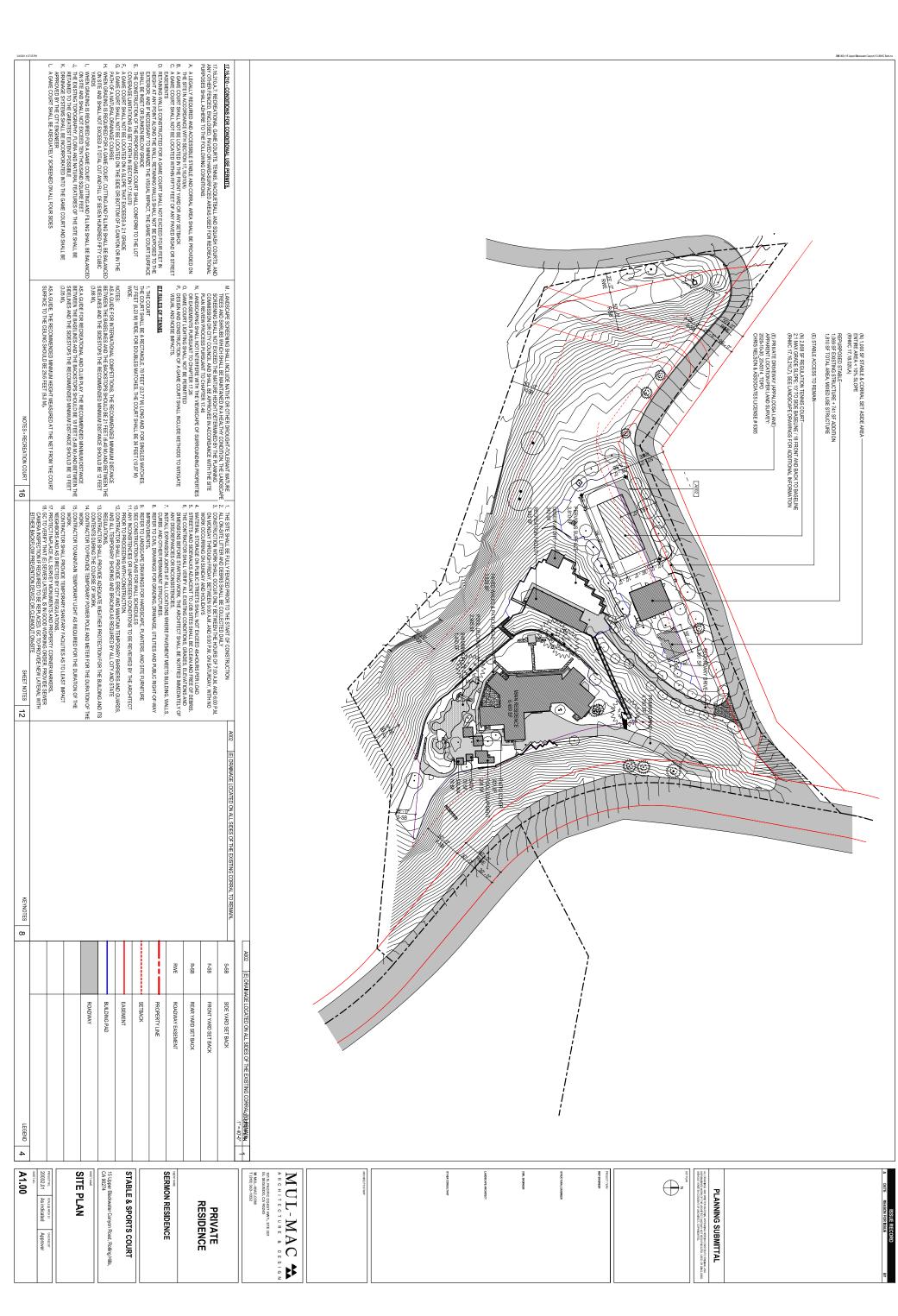
C. GLARD WHOSE TOP RAIL SERVES, SA HANDRAIL SHALL HAVE A HEIGHT OF 34" TO 38" HIGH ABOVE THE LEADING EDGE OF THE TREAD.

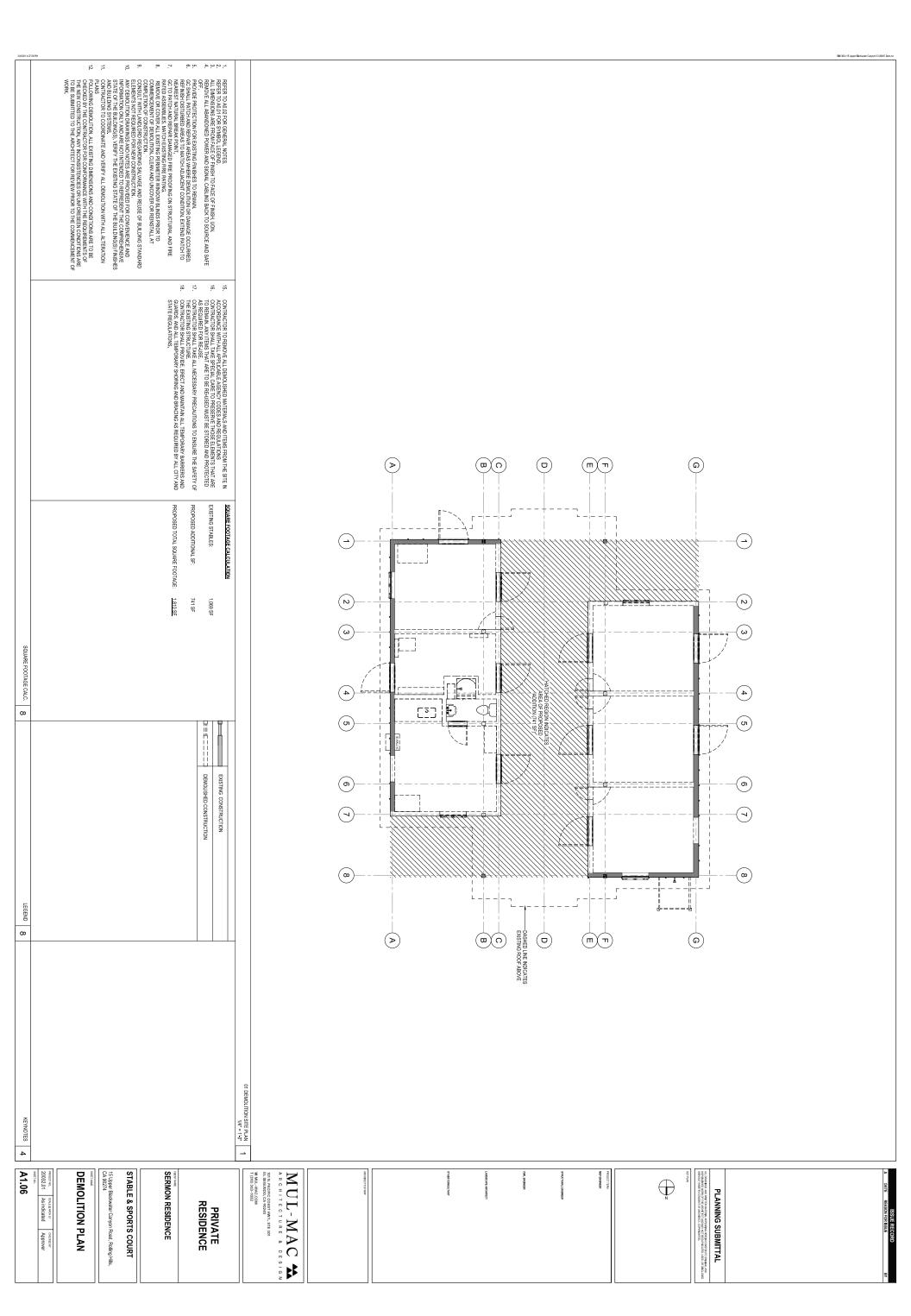
D. TRANGULARO PERMIN GROWED DY TREAD, STRA AND BOTTOM RAIL SHALL NOT PERMIN A6" DIAMETER SPHERE TO PASS THROUGH, CBC 1013.) B. SYSTEM SHALL BE SIZED FOR MIN RAIN INTENSITY OF 3" PER HOUR.
C. THE ROOF DRAIN AND OVERFLOW DRAIN MUST MAINTAIN INDEPENDENT LINES TO THE YARD BOX. A0.02 STABLE & SPORTS COURT GENERAL NOTES - RESIDENTIAL SERMON RESIDENCE MUL-MAC ★ **⊕**² PLANNING SUBMITTAL 12" = 1'-0" 39K OF THE ARCHITECT AND MAY NOT BE DUPLICATED. IN CONSERVE OF ARCHITECT, COPYRIGHTED. PRIVATE RESIDENCE Approver

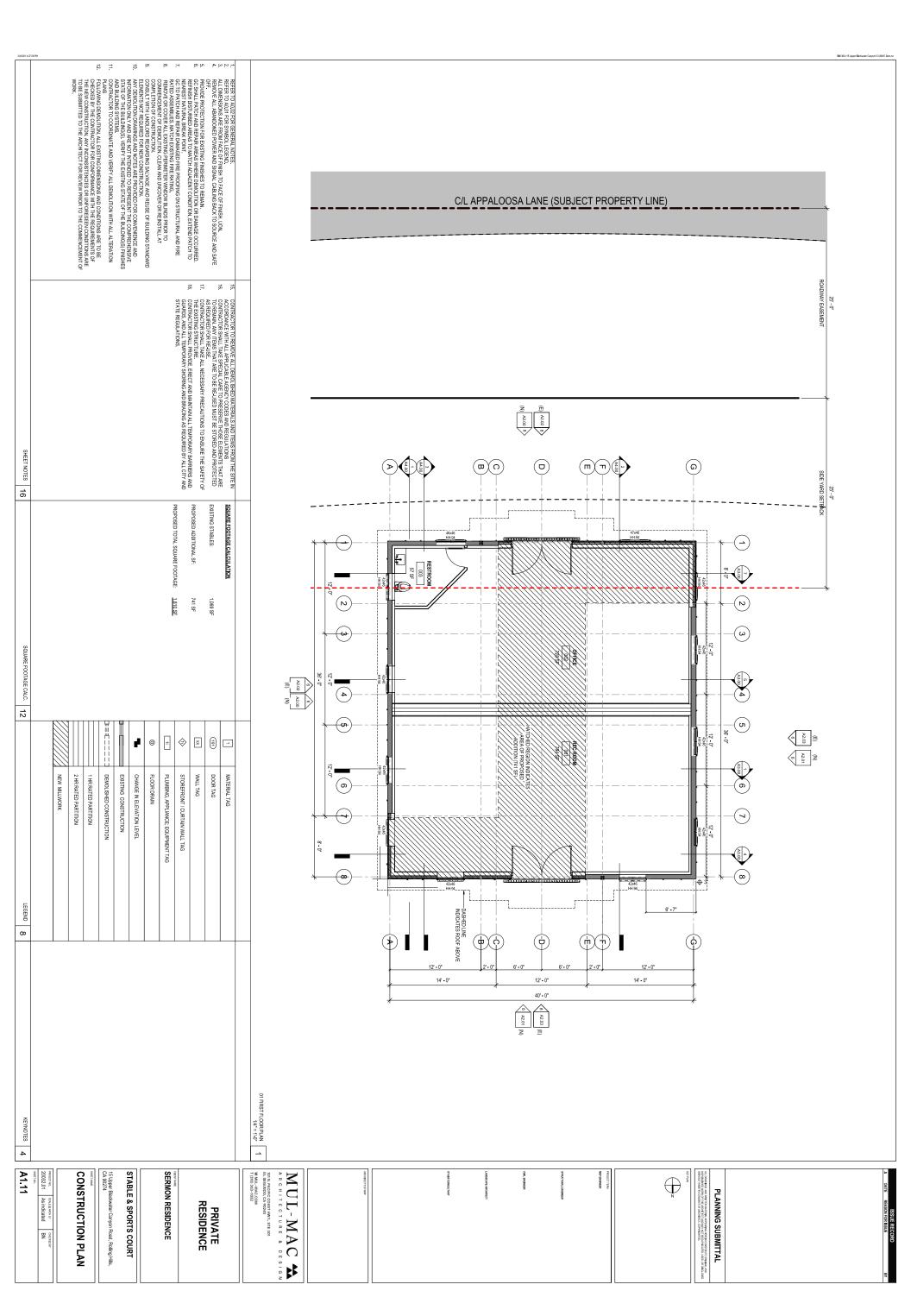


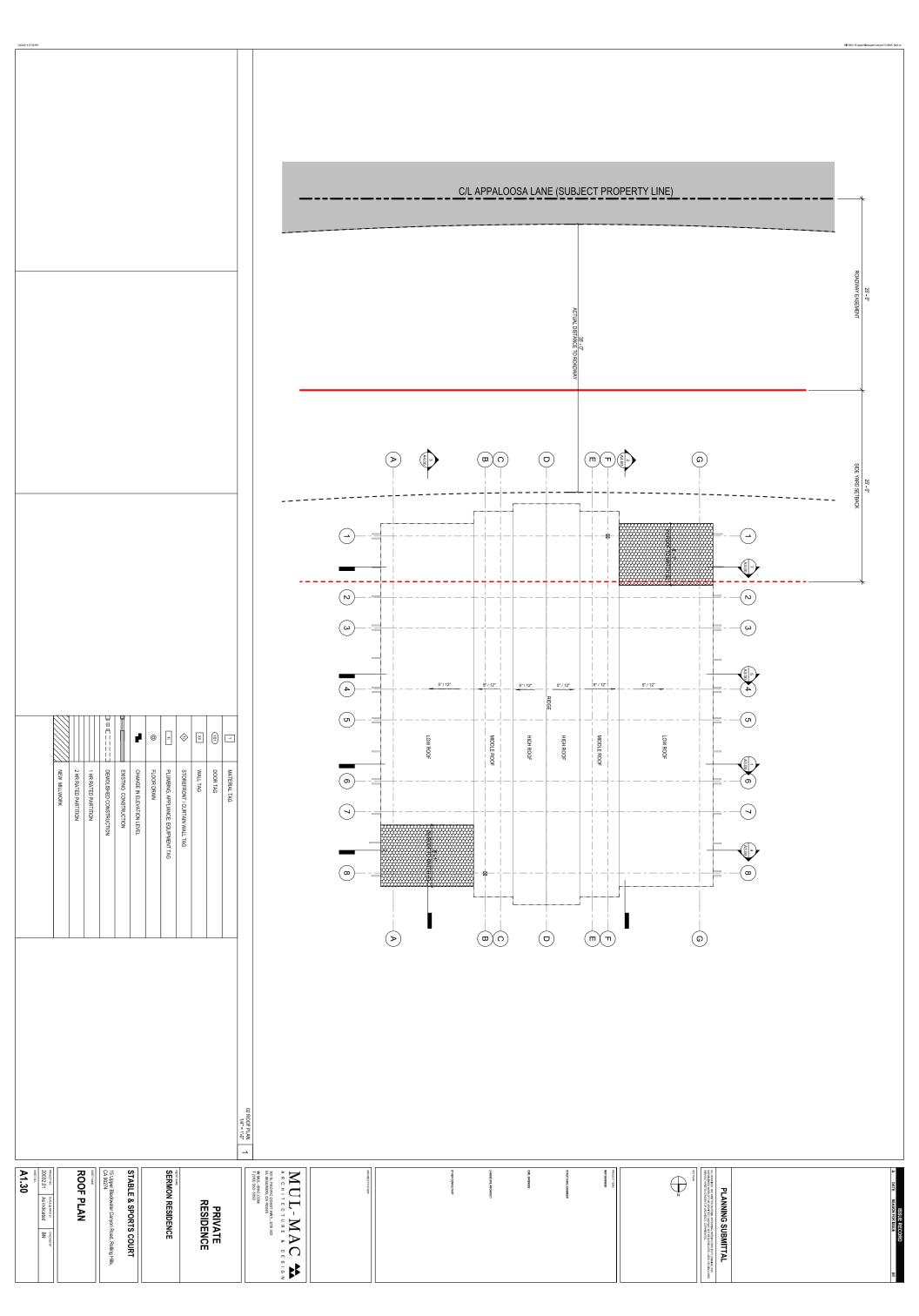


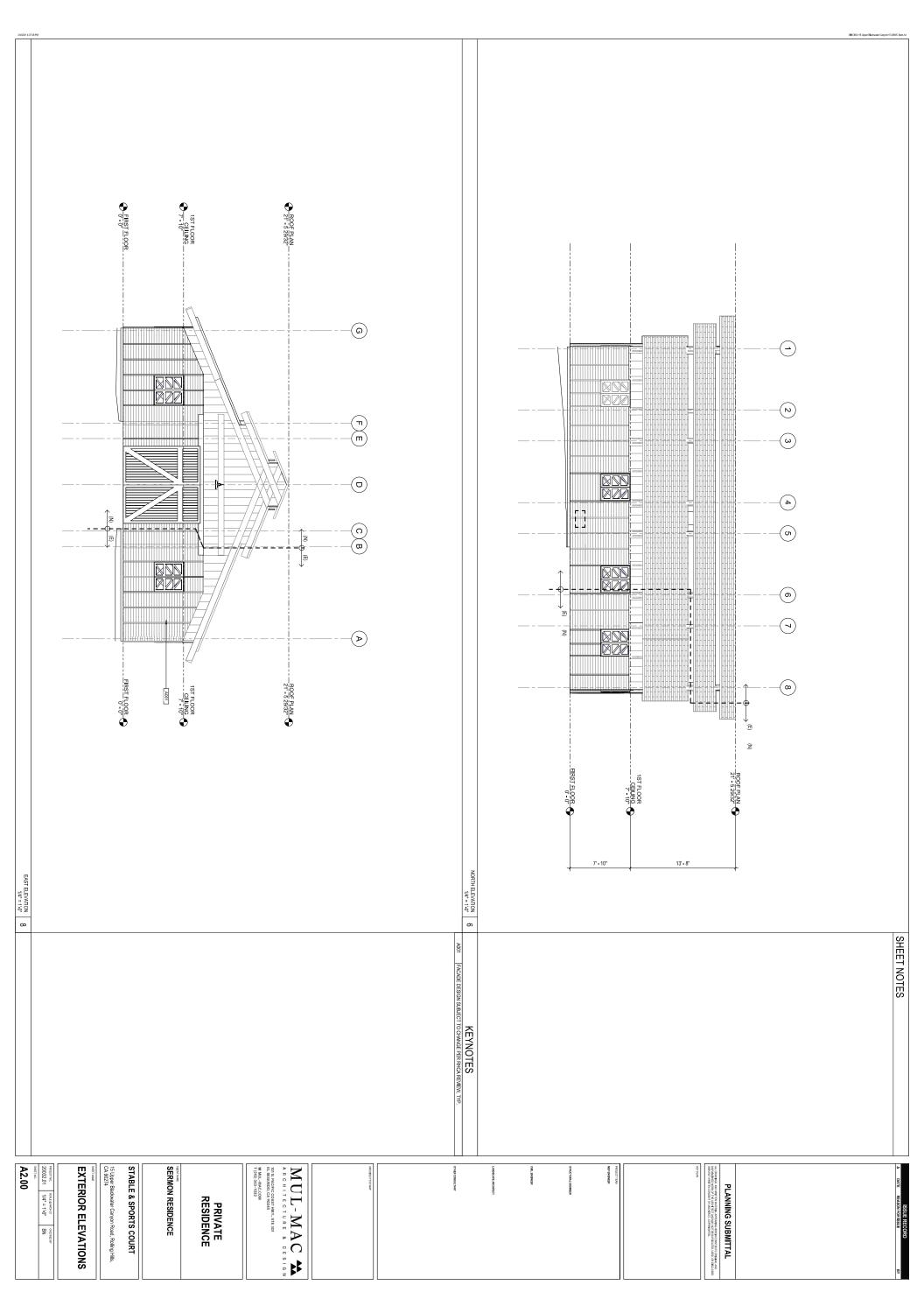


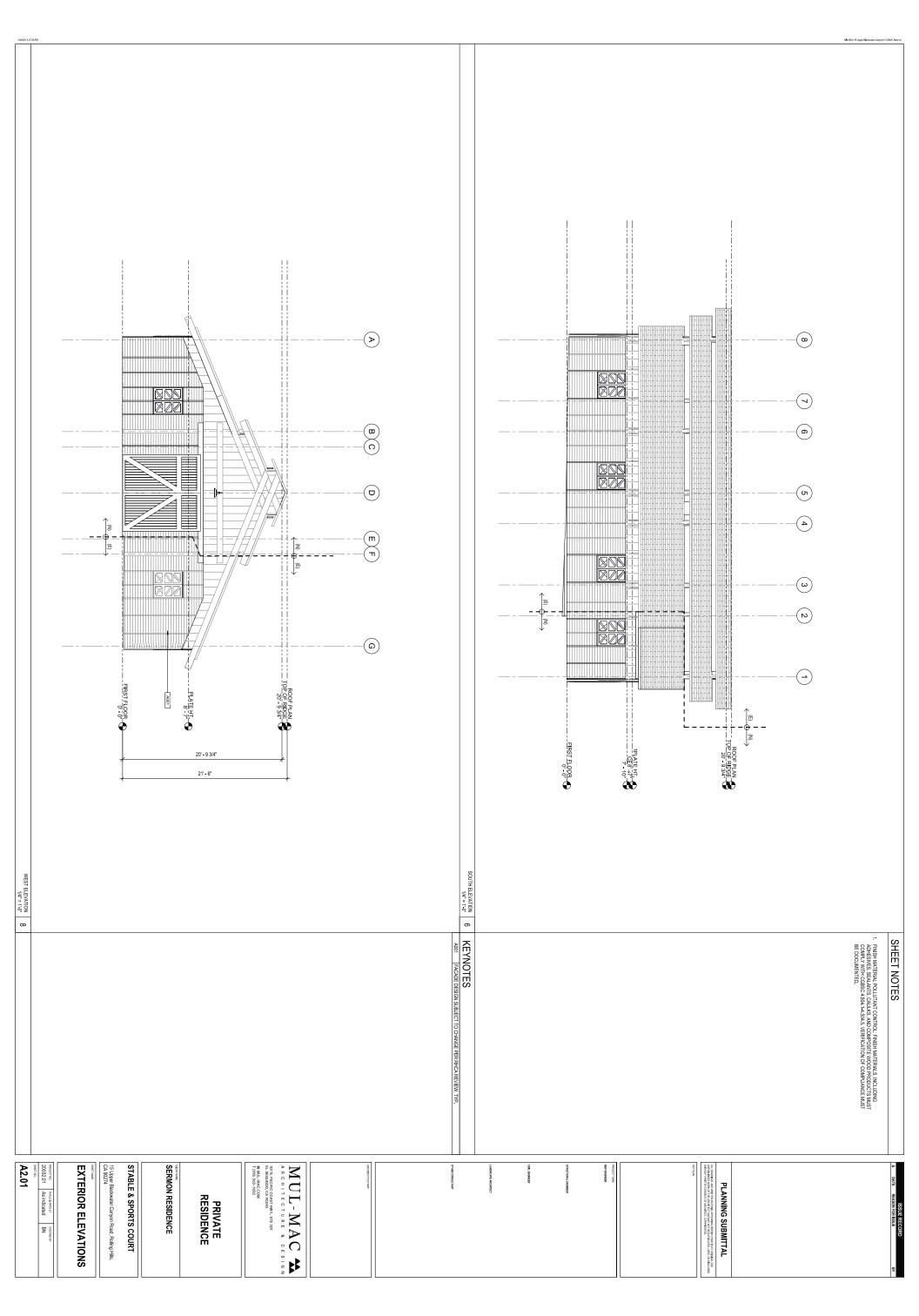


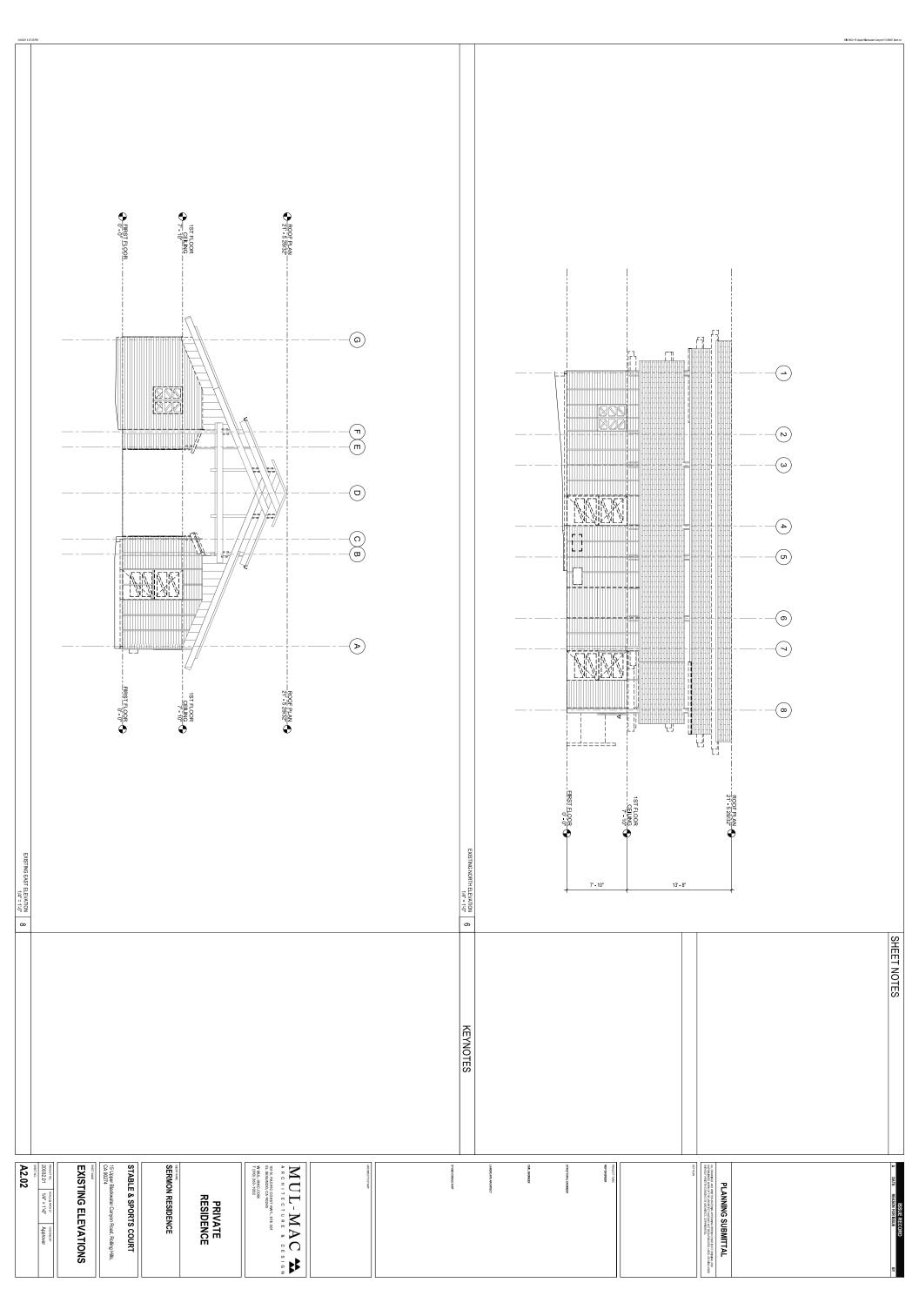


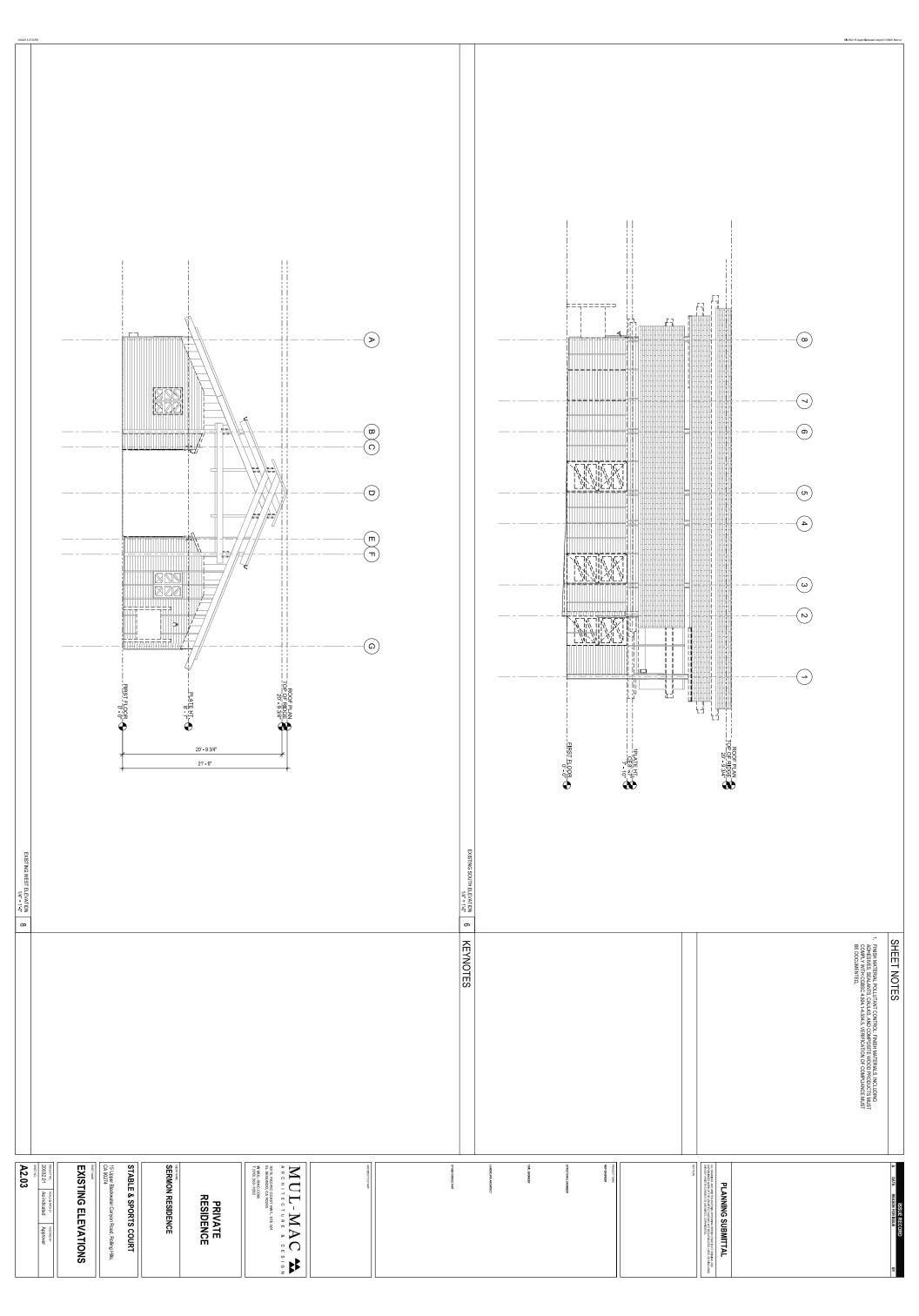


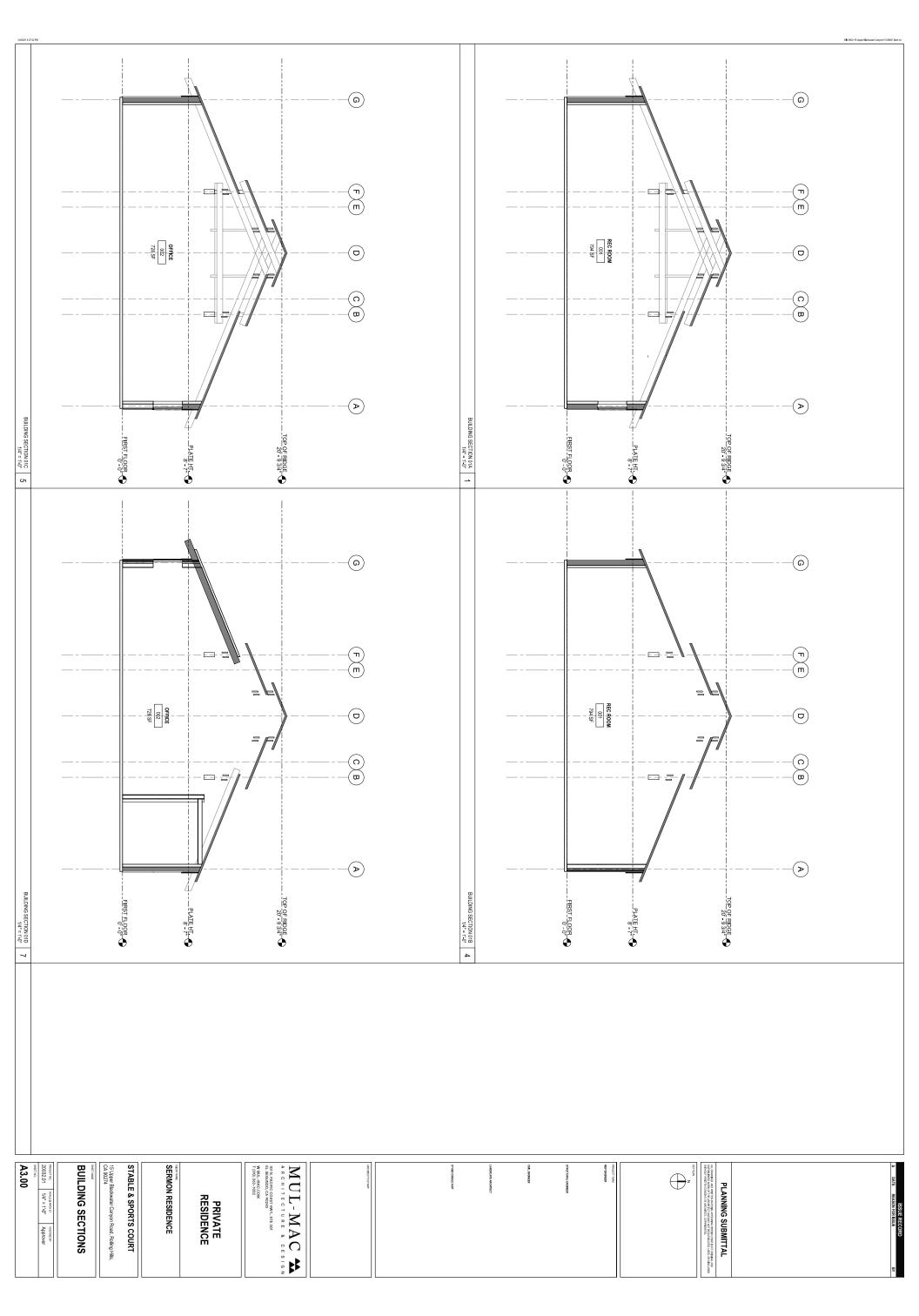


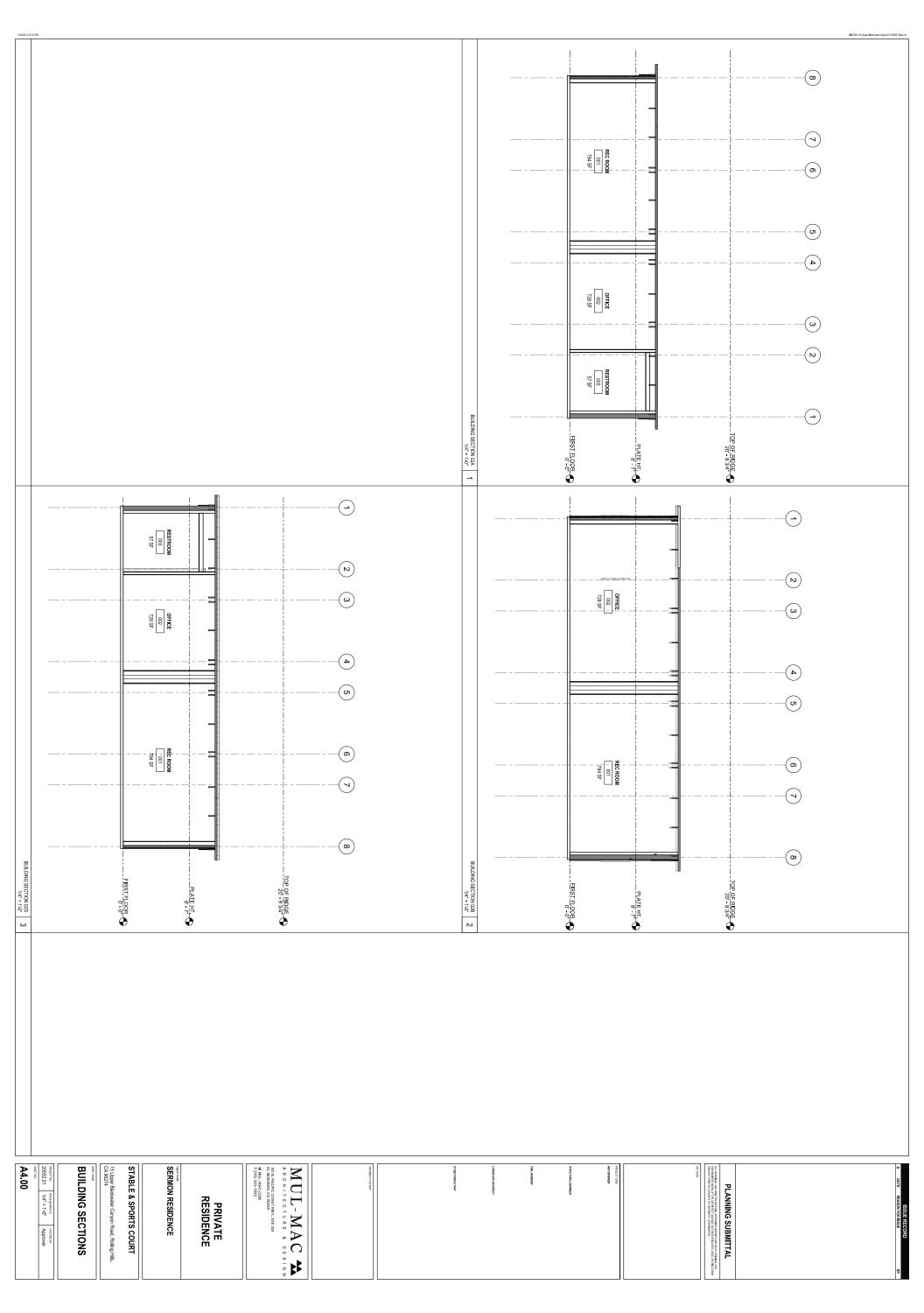


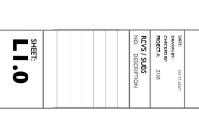
















4. CHECK OFF ANY OF THE FOLLOWING ELEMENTS THAT MAY BE PROPOSED, AND SHOW LOCATIONS ON PROJECT SITE PLAN: OTHER LANDSCAPE ELEMENTS

WATER FEATURE.
GARDEN WALL (less than 3-Ft tail)
SITTING WALL / BENCH
WALKWAY OR PATIO
TRELLS, CANOPY OR SIMILAR
STRUCTURE

FENCE

OTAL LANDSCAPING: NEW AND ALTERED AREAS	ANDSCAPED)
4,600 sq. ft.	4,000 sq. ft

THE FOLLOWING PROPOSED ELEMENTS MUST BE SHOWN ON THE SITE PLAN SUBMITTED WITH PLANNING APPLICATION PLANTING AREA NEW AREA(S) TO BE LANDSCAPED EXISTING LANDSCAPING TO BE ALTERED (RE-LANDSCAPED) 4,600

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DATE 03/04/2021 ZONING CASE NO.

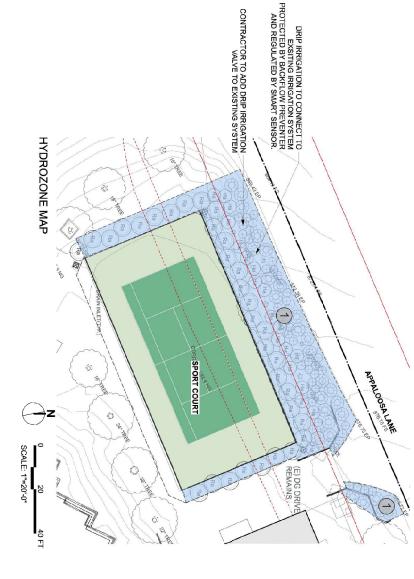
15 UPPER BLACKWATER CANYON RD ADDRESS ROLLING HILLS, CA 90274

CONCEPTUAL LANDSCAPE PLAN REQUIREMENTS



# HYDROZONE LEGEND

Hydrozone No. Shrubs WUCOLS Type Low



NOTE:

HYDROZONE LABELS/NUMBERS CORRESPOND TO VALVE # DESIGNATIONS

# MWELO CALCULATIONS

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

		All		Marin			
7.749	ETWU Total						
	0	0	lotals				
						pe Areas	Special Landscape Areas
	314.8	4,600		Totals			
7,749	314.8	4,600	0.19	0.81	Drip irrigation	0.15	1 / Shrubs
						ape Areas	Regular Landscape Areas
Use (ETWU)e				(IE)c		(PF)	Descriptiona
Total Water		Area (sq. ft.)	(PF/IE)	Efficiency	Methodb	Factor	/Planting
Estimated	ETAF x Area	Landscape	ETAF	rrigation	Irrigation	Plant	Hydrozone#

Hydrozone#/PlantingDescription

"RAMMAnnual Gadless Allawed" = ("Col (0:22) ((CTAY K.4) + (L-CTAY)s S.4.4)
where 0.82 is come-sion flacts that convexts are cinete per exce per year to gallons per square foot per year, LA s the total landscape area in scuare feet, S.1.A, is the total special landscape area in square feet, and CTAY is 55 for residencial areas and 0.85 for non-residential areas. w water use plantinas ledium water use planting bIrrigation Method overhead spray or drip

Cirrigation Efficiency
0.75 for spray head
0.81 for drip

dETWU[Annual Gallons Required]=
Fin x 0.62xFTAFx Arra
where 0.62 is a conversion fractor
that converts acre-inches per acre
per year to gallon's per square
root per year.

ETAF Calculations

Total ETAFx Area	314.8
Total Area	4,600
Average ETAF	0.19

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

# Signature I certify the 13.18 Wate

correct and agree to comply with the requirements of Chapter

# **GATION NOTES**

# CONTRACTOR SHALL VERIFY LOCATION AND WATER PRESSURE BY DIRECT MEASUEMENT IN FIELD.

LANDSCAPE IRRIGATION WATER EFFICIENT LANDSCAPE ORDINACE SUPPLEMENT INFORMATION:

COMPLIANCE STATEMENT

Sitewide ETAF

314.8 4,600 0.19

egular Landscape Area Total ETAFx Area otal Area

-ALL IRRIGATION EQUIPMENT SHALL BE INSTALLED WITHIN THE LIMIT OF WORK, 18" OFF ANY HARDSCAPE, AND WITHIN PLANTING AREAS.

-NOTIFY LA OF ANY DISCREPANCIES NOTED BETWEEN PLAN AND ACTUAL FIELD CONDITIONS.

-CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND SERVICES BEFORE COMMENCING WORK. THE LOCATION OF UTILITIES, STRUCTURES, AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY, ANY DISCREPANCY BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER OR OWNER'S REPPRESENTATIVE.

-LANDSCAPE ARCHITECT TO VERIFY THE LOCATION OF ALL VALVES AND HOSE BIRS PRIOR TO INSTALLATION. CONTRACTOR TO FLAG PROPOSED LOCATIONS FOR APPROVAL.

-LANDSCAPE CONTRACTOR TO INSTALL IRRIGATION SYSTEM AS REQUIRED TO PROVIDE PROPER COVERAGE AND DISTRIBUTION UNIFORMITY.

-CONTRACTOR SHALL VERIFY POINT OF CONNECTION WITH OWNER

-CONNECT INTO (E) SERVICE LINE WITH LINE SIZE BALL VALVE.

-PRESSURE REGULATING DEVICES ARE REQUIRED IF PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES. -WATER SUPPLIED BY CALIFORNIA WATER SERVICE COMPANY

DATE: 03.11.20
DRAWN BY:
CHECKED BY:
PROJECT #: 2106 REVS / SUBS

-A DIAGRAM OF THE IRRIGATION PI AN SHOWING HYDROZONES SHALL RE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES

APPLICANT & PROJECT INFORMATION

BOSKY LANDSCAPE ARCHITECTURE 805.845.3251

Phone: 805.845.3251
Address: 590 E GUTIERREZ ST, SUITE D, SANTA BARBARA, CA

type (new dweiling or rehab): NEW SPORT COURT

Project

This project does incorporate landscaping. (Please provide the information below specific to the landscape area which will be completed as part of this project and specify the compliance method to be used): The current project does not include landscaping, I am aware that future landscape installations may be required to comply with the City of Rolling Hills Water Efficient andscape Ordinance Chapter 13.18.

f Plan Area (sq. ft.): idscape Area (sq. ft.): 4,600 4,600 Turf Area (sq. ft.): 0 Special Landscape Area (sq. ft.):

Total La Non-Tu

ype (potable, recycled, well): POTABLE water purveyor (If not served by private well): CALIFORNIA WATER SERVICE COMPANY

Project

ATER USE, NATURALIZED PLANTING TO CONCEAL PROPOSED SPORT FROM VIEW AND REDUCE SOUND.

COURT

uthorized representative

3/11/21 Date

LANDSCAPE IRRIGATION PLAN

L2.0

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETTED AT THE TIME OF FINAL INSPECTION.

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANSDSCAPE CONTRACTOR FOR THE PROJECT.

HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

3/11/21 (Date)

SI TUDE (TURES) IN ACCORDANCE WITH MWELD SECTIONS 492.7(A)(1)(I) AND 492.7(A)(1)(R).

IRRIGATION SYSTEM HAS BEEN DESIGNED TO PREVENT RUNOFF, LOW HEAD DRAINAGE, OVERSPRAY, OR OTHER SMILAR CONDITIONS WHERE IRRIGATION WATER FLOWS ONTO NON-TARGETED AREAS (E.G., ADJACENT PROPERTY,

THE PLAN IMPLEMENTS TH EFFICIENT USE OF WATER.

AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND REPARED THIS REPARED THIS PLANS CONTAINED IN AB 1881. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE

ALL IRRIGATION EMISSION DEVICES WILL MEET THE CRITERIA AS SET FORTH IN MWELO SECTION 492.7(A)(1)(M) AND SHALL BE INSTALLED AND OPERATED ACCORDING TO MANUFACTURER'S INSTRUCTIONS' RECOMMENDATIONS.

AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER SEFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE ANDSCAPE DOCUMENT PACKAGE.

**BLACKWATER RESIDENCE** 15 Upper Blackwater Canyon Rd

Rolling Hills, CA 90274

sky Landscape Architecture tr. (805) 845-3251 hello@bcskyland.com

BOSKY

56

Variance and Conditional Use Permit	EXISTING	PROPOSED	TOTAL
RA-S-2 Zone Setbacks	SINGLE FAMILY	EX. STABLE CONVERSION	
Front: 50 ft. from front easement line	RESIDENCE, GARAGE,	TO MIXED USE	
Side: 35 ft. from side property line	REC ROOM,	(OFFICE/REC ROOM)	
Rear: 50 ft. from rear easement line	OBSERVATORY,	AND SPORTS COURT	
	STABLE, CORRAL		
Net Lot Area SF			191,262
Residence/Garage SF	6,555		6,555
Swimming Pool/Spa SF	1,430	0	1,430
Pool Equipment SF	298	0	298
Observatory SF	342	0	342
Recreation Facility SF	1,935	0	1,935
ADU SF	0	0	0
Cabana SF	0	0	0
Stable/Corral	1,069	741	1,810
Stable minimum: 450 SF (set aside)		450	450
Corral minimum: 550 SF (set aside)			
Recreation Court SF	0	6,384	6,384
Attached Covered Porches, Entryway,	502	0	F02
Porte Cochere, Breezeways SF	593	0	593
Attached Trellis SF	598	0	598
	320 SF Patio Cover		
Detached Structures: Outdoor Kitchen SF	76 SF Bath	0	472
	76 SF Sauna		
Water Features SF	0	0	0
Service Yard SF	0	0	0
Basement Area SF	322	0	322
Grading CY (balanced on site)	Unknown	0	0
Total Structure Area SF	13,977	7,575	21,552
% Structural Coverage	7.3%	3.7%	11%
Total Structures SF Excluding: up to 5 legal			
and up to 800 SF detached structures that			
are not higher than 12 ft (no more than 120 $$	12,139	7,575	19,714
SF per structure per deduction, except for			
trellis)			
Structural Lot Coverage (20% maximum)	6.3%	3.9%	11.2%
Total Structural and Flatwork Lot	14.1%	3.9%	18%
Coverage (35% maximum)	14.1 /0	3.9 /0	10 /0
Building Pad #1 Coverage	25.9%	0	25.9%
(30%maximum) <b>31,905 SF</b>			
Building Pad #2 Coverage	27.9%	0	27.9%
(30% maximum) <b>8,145 SF</b>			
Building Pad #3 Coverage	10.4%	43.2%	<u>54.2%</u>
(30% maximum) <b>15,168 SF</b>			
Total Disturbed Area SF	60,453	0	60,453
Total Disturbed Area	31.6%	0	31.6%
(40% maximum)			
Roadway Access	Existing driveway	No change	No change

### **RESOLUTION NO. 2021-05**

A RESOLUTION APPROVING VARIANCE REQUEST FOR 1) ENCROACHMENT INTO THE SIDE YARD SETBACK FOR THE PROPOSED SPORTS COURT AND MIXED USE WITH 741 SQUARE-FOOT ADDITION AND 2) EXCEEDANCE OF THE BUILDING PAD COVERAGE ON PAD NO. 3 BY THE 6,384 SPORTS COURT; AND CONDITIONAL USE PERMIT FOR THE MIXED USE AND SPORTS COURT LOCATED AT 15 UPPER BLACKWATER CANYON ROAD, ROLLING HILLS, CA (SERMON).

THE PLANNING COMMISSION OF THE CITY OF ROLLING HILLS DOES HEREBY FIND, RESOLVE AND ORDER AS FOLLOWS:

<u>Section 1.</u> An application was duly filed by Mr. and Mrs. Sermon requesting Variances for 1) encroachment into the side yard setback for the proposed sports court and mixed use (office and recreation rrom) and 2) exceedance of the building pad coverage on Pad No. 3, location of the proposed development; and Conditional Use Permit for the proposed sports court and mixed use located at 15 Upper Blackwater Canyon Road.

Section 2. The Planning Commission conducted duly noticed public hearings to consider the application on May 18, 2021 including a morning field trip and an evening meeting. The applicants were notified of the public hearings in writing by first class mail. Evidence was heard and presented from all persons interested in affecting said proposal and from members of the City staff and the Planning Commission having reviewed, analyzed and studied said proposal.

Section 3. The property is zoned RAS-2 and has a net lot area of 191,262 square feet. The lot is currently developed with a single family residence with attached garage, recreation room, observatory, pool, stable and corral. There are three existing building pads on site on different elevations. The existing residence, garage and pool are located on Pad No. 1. The secondary building pad, Pad No. 2, is on a lower elevation where the observatory and recreation room are located. The lowest pad, Pad No. 3, is where the stable and corral are located and where the proposed use conversion and 741 square-foot addition will occur.

<u>Section 4.</u> This project is also categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities) because it involves minor alteration of or addition to an existing private structure. The project consists of partial a 741 square-foot addition to an existing stable, new 6,384 square-foot sports court and conversion of the existing stable to office with a restroom, and recreation room.

Section 5. Sections 17.38.010 through 17.38.050 of the Rolling Hills Municipal Code permit approval of a Variance granting relief from the standards and requirements of the Zoning Ordinance when exceptional or extraordinary circumstances applicable to the property prevent the owner from making use of a parcel of property to the same extent enjoyed by similar properties in the same vicinity or zone. In proposing to encroach into the side yard setback for the proposed 741 square-foot addition and new 6,384 square-foot sports court and exceeding the building pad coverage, Variances are required to grant relief

from Section 17.16.110, 17.16.120, and 17.16.097 of the Zoning Ordinance.

With respect to the aforementioned request for a Variance from Zoning Ordinance, the Planning Commission finds as follows:

- A. That there are exceptional or extraordinary circumstances or conditions applicable to the property that do not apply generally to other properties in the same vicinity and zone in that the property is already developed with structures that encroach into the required setback and that the proposed development will not further exceed the leading edge of the existing structures; and the proposed development within the existing footprint of existing structures will cause the least development impact onsite and to surrounding properties;
- B. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other properties in the same vicinity and zone but which is denied the property in question due to the existing topography that make it difficult to comply with the City of Rolling Hills Municipal Code's development standards;
- C. That the granting of such variance will not be materially detrimental to the public welfare or injurious to properties or improvements in the vicinity in that the proposed development will comply with the required building code, will not have adverse visual impact to adjacent properties and is in keeping with the character and scale of the community;
- D. That in granting the variance, the spirit and intent of this title will be observed in that the proposed development does not prevent anyone from enjoying their property rights, the improvements are visually harmonious with adjacent properties and in scale with adjacent residential development;
- E That the variance does not grant special privilege to the applicant in that the proposed addition is in character and similar in scale with existing residential development and the applicant will have the opportunity to enjoy the same amenities enjoyed by other residents in the community;
- F. That the variance is consistent with the portions of the County of Los Angeles Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities. The proposed location of the project will not be sited near hazardous waste facilities and is surrounded by residential land use; and
- G. That the variance request is consistent with the general plan of the City of Rolling Hills in that the applicant will enjoy the same rights that residents in the community enjoy, the proposed improvements are in character and scale as the existing neighborhood, it preserves the rural character of the City.
- Section 6. The Rolling Hills Municipal Code require a Conditional Use Permit for a project a mixed use structure pursuant to RHMC Section 17.16.040(A)(3) subject to certain conditions pursuant to RHMC Section 17.16.210(A)(6). The project proposes to convert and existing stable to mixed use structure consisting of a 785 square foot office with restroom and 794 square foot recreation room. The Planning Commission makes the following findings:

- A. That the proposed conditional use (a mixed use structure) is consistent with the General Plan. The mixed use structure consisting of 785 square-foot office with restroom and 794 square-foot recreation room and sports court are consistent with similar uses in the community and is a permitted use with a CUP. Although the mixed use structure requires a variance to allow it in the side yard setback, the positioning of the mixed use is already within the stable's existing footprint. Therefore, it will not exceed the existing outermost configuration of the structures on the lot and will minimize the amount of disturbance on the lot. Further, adequate area remains on the property to construct a stable and corral in the future. Lastly, the proposed sports court will be surrounded by additional landscaping, which will minimize visual impact from public view.
- B. That the nature, condition and development of adjacent uses, buildings and structures have been considered, and that the use will not adversely affect or be materially detrimental to these adjacent uses, building or structures. The mixed use structures will be on a lower pad than the residence but is higher than the adjacent road elevation and is almost 200 feet from nearest residence. Due to the existing development, location, and configuration of the residence, the Applicants are limited in where a sports court could be constructed. In addition, the mixed use structure blend already exists and is in the scale of the existing development in the neighborhood.
- C. That the site for the proposed conditional use is of adequate size and shape to accommodate the uses proposed. The mixed use structure will be housed an existing stable that will be converted. The additional 741 square-foot addition will not exceed the existing outermost walls of the stable. Pad No. 3 will not need to be expanded to accommodate the required uses, it is the only area that will cause the least disturbance to the natural terrain of the site. There is no other location to place the proposed sports court onsite without causing significant change to the current terrain.
- D. That the proposed conditional use complies with all applicable development standards of the zone district. The mixed use structure complies with all applicable development standards of the zone district as approved by this Resolution. Although the mixed use structure requires a variance to allow it in the side yard, the positioning of a majority of the mixed use structure will be located within the existing stable. Therefore, it will not change the existing configuration significantly and will minimize the amount of disturbance on the lot. The proposed location of the sports court is within the boundaries of an existing corral. Thus, the project causes minimal impact to the previously disturbed site.
- E. That the proposed use is consistent with the portions of the Los Angeles County Hazardous Waste Management Plan relating to siting and siting criteria for hazardous waste facilities because the project site is not listed on the current State of California Hazardous Waste and Substances Sites List.
- F. That the proposed conditional use observes the spirit and intent of this title. The construction of the sports court, and conversion and addition to the stable allows the Applicants the ability to enjoy rights enjoyed by other residents in the City. Construction of the sports court in the side yard setback, allows the Applicants to minimize the amount of grading on the lot.
- Section 7. Based upon the foregoing findings, the Planning Commission hereby approves the Variance and Conditional Use Permit request in Zoning Case No. 21- 04 for 1) encroachment into the side yard setback for the proposed 741 square-foot addition to the existing stable and 6,384 square-foot sports court and 2) exceeding total building pad coverage; and Conditional Use Permit for the mixed use office and recreation room, and sports court, subject to the following conditions:

- A. This approval shall expire within two years from the effective date of approval if construction pursuant to this approval has not commenced within that time period, as required by Sections 17.38.070 and 17.46.080 of the Rolling Hills Municipal Code, or the approval granted is otherwise extended pursuant to the requirements of this section.
- If any condition of this resolution is violated, the entitlement granted by this resolution shall be suspended and the privileges granted hereunder shall lapse and upon receipt of written notice from the City, all construction work being performed on the subject property shall immediately cease, other than work determined by the City Manager or his/her designee required to cure the violation. The suspension and stop work order will be lifted once the Applicant cures the violation to the satisfaction of the City Manager or his/her designee. In the event that the Applicant disputes the City Manager or his/her designee's determination that a violation exists or disputes how the violation must be cured, the Applicant may request a hearing before the City Council. The hearing shall be scheduled at the next regular meeting of the City Council for which the agenda has not yet been posted, the Applicant shall be provided written notice of the hearing. The stop work order shall remain in effect during the pendency of the hearing. The City Council shall make a determination as to whether a violation of this Resolution has occurred. If the Council determines that a violation has not occurred or has been cured by the time of the hearing, the Council will lift the suspension and the stop work order. If the Council determines that a violation has occurred and has not yet been cured, the Council shall provide the Applicant with a deadline to cure the violation; no construction work shall be performed on the property until and unless the violation is cured by the deadline, other than work designated by the Council to accomplish the cure. If the violation is not cured by the deadline, the Council may either extend the deadline at the Applicant's request or schedule a hearing for the revocation of the entitlements granted by this Resolution pursuant to Chapter 17.58 of the Rolling Hills Municipal Code (RHMC).
- C. All requirements of the Building and Construction Ordinance, the Zoning Ordinance, LA County Building Code and of the zone in which the subject property is located must be complied with unless otherwise set forth in the Permit, or shown otherwise on an approved plan.
- D. The lot shall be developed and maintained in substantial conformance with the site plan on file dated April 15, 2021 except as otherwise provided in these conditions, Attachment A.
- E. Prior to submittal of final working drawings to the Building and Safety Department for issuance of building permits, the plans for the project shall be submitted to City staff for verification that the final plans are in compliance with the plans approved by the Planning Commission.
- F. The working drawings submitted to the Department of Building and Safety for plan check review must conform to the development plan approved with this application. A copy of the conditions of this Resolution shall be printed on plans approved when a building permit is issued and a copy of such approved plans, including conditions of approval, shall be available on the building site at all times.
- G. A licensed professional preparing construction plans for this project for Building Department review shall execute a Certificate affirming that the plans conform in all respects to this Resolution approving this project and including conformance with all of the conditions set forth therein and the City's Building Code and Zoning Ordinance.

Further, the person obtaining a building permit for this project shall execute a Certificate of Construction stating that the project will be constructed according to this Resolution and any plans approved therewith.

- H. Structural lot coverage shall not exceed 19,714 square feet, or 11.2% (with allowable deductions). Total lot coverage shall not exceed 18% or 19,714 square feet.
- I. The disturbed area of the lot shall not exceed 31.6% (of net lot area). No further disturbance is proposed.
- J. A minimum of five-foot level path and/or walkway, which does not have to be paved, shall be provided around the proposed mixed use for fire access.
- K. Notwithstanding Sections 17.46.020 and 17.46.070 of the Rolling Hills Municipal Code, any modification to this project or to the property, which would constitute additional structural development, grading, excavation of dirt and any modification including, but not be limited to retaining walls, drainage devices, pad elevation and any other deviation from the approved plan, shall require the filing of a new application for approval by the Planning Commission.
- L. *During construction*, conformance with the air quality management district requirements, stormwater pollution prevention practices, county and local ordinances and engineering practices so that people or property are not exposed to undue vehicle trips, noise, dust, and objectionable odors shall be required.
- M. *During and after construction*, all parking shall take place on the project site. During construction, to maximum extent feasible, employees of the contractor shall car- pool into the City.
- N. *During construction*, the property owners shall be required to schedule and regulate construction and related traffic noise throughout the day between the hours of 7 AM and 6 PM, Monday through Saturday only, when construction and mechanical equipment noise is permitted, so as not to interfere with the quiet residential environment of the City of Rolling Hills.
- O. The property owners shall be required to conform with the Regional Water Quality Control Board and County Public Works Department Best Management Practices (BMP's) requirements related to solid waste, drainage and storm water management.
- P. During construction, all parking shall take place on the project site and, If necessary, any overflow parking shall take place within nearby unimproved roadway easement adjacent to subject site. There shall be no blocking of adjacent driveways or of the roadway easement for passage of pedestrians and equestrians. During construction a flagmen shall be present to direct traffic when it is anticipated that a lane may be impeded.
- Q. A minimum of 65% of the construction material spoils shall be recycled and diverted. The hauler shall secure a "Construction and Demolition Permit" from the City of Rolling Hills, and provide the required documentation. The permit shall be pulled prior to issuance of the final Planning Approval.

- R. The contractor shall not use tools that could produce a spark, including for clearing and grubbing, during red flag warning conditions. Weather conditions can be found at: <a href="http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard\_definitions#FIRE">http://www.wrh.noaa.gov/lox/main.php?suite=safety&page=hazard\_definitions#FIRE</a>. It is the sole responsibility of the property owner and/or his/her contractor to monitor the red flag warning conditions. Should a red flag warning be declared and if work is to be conducted on the property, the contractor shall have readily available fire distinguisher.
- S. Prior to issuance of Final Planning Approval, shall submit approved landscape plans by the Fire Department and the City's Landscape Architect.
- T. Applicant shall pull Planning permit for temporary construction prior to issuance of Final Planning Approval.
- U. Prior to finaling of the project, "as constructed" plans, electronic copy and certifications shall be provided to the Planning Department and the Building Department to ascertain that the completed project is in compliance with the approved plans. In addition, any modifications made to the project during construction, shall be depicted "as built/as graded".
- V. Until the applicants execute an Affidavit of Acceptance of all conditions of this approval, the approvals shall not be effective. Such affidavit shall be recorded together with the resolution.

PASSED, APPROVED AND ADOPTED THIS 18th DAY OF MAY, 2021.

	BRAD CHELF, CHAIRMAN
ATTEST:	
JENALY SANDOVAL	

Any action challenging the final decision of the City made as a result of the public hearing on this application must be filed within the time limits set forth in section 17.54.070 of the Rolling Hills Municipal Code and Code of Civil Procedure Section 1094.6.

CITY CLERK

STATE OF CALIFORNIA COUNTY OF LOS ANGE CITY OF ROLLING HILI	ELES	) ) §§ )	
I certify that the foregoing	Resolution No. 20	021-05 entitled:	
ENCROACHMEN SPORTS COURT AND 2) EXCEED 3 BY THE 6,384 S	T INTO THE SID AND MIXED US ANCE OF THE B SPORTS COURT; SE AND SPORT	SE WITH 741 SQU UILDING PAD CO AND CONDITIO TS COURT LOC	K FOR THE PROPOSED  JARE-FOOT ADDITION  OVERAGE ON PAD NO.  NAL USE PERMIT FOR  CATED AT 15 UPPER
was approved and adopted the following roll call vote		ng of the Planning	Commission on May 18, 2021 by
AYES: NOES: ABSENT: ABSTAIN:			
and in compliance with the	laws of California	a was posted at the	following: Administrative
Offices.			
	JENALY SANDO CITY CLERK	OVAL	



## City of Rolling Hills INCORPORATED JANUARY 24, 1957

Agenda Item No.: 11.A Mtg. Date: 05/18/2021

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING

**COMMISSION** 

FROM: STEPHANIE GRANT, ADMINISTRATIVE CLERK

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: 75 SADDLEBACK ROAD (ZONING CASE NO. 20-09)

**DATE:** May 18, 2021

**BACKGROUND:** 

NONE.

**DISCUSSION:** 

NONE.

**FISCAL IMPACT:** 

NONE.

**RECOMMENDATION:** 

NONE.

**ATTACHMENTS:** 



### City of Rolling Hills INCORPORATED JANUARY 24, 1957

**Agenda Item No.: 11.B Mtg. Date: 05/18/2021** 

TO: HONORABLE CHAIR AND MEMBERS OF THE PLANNING

**COMMISSION** 

FROM: STEPHANIE GRANT, ADMINISTRATIVE CLERK

THRU: ELAINE JENG P.E., CITY MANAGER

SUBJECT: 2 SPUR LANE (ZONING CASE NO. 21-05)

**DATE:** May 18, 2021

**BACKGROUND:** 

NONE.

**DISCUSSION:** 

NONE.

**FISCAL IMPACT:** 

NONE.

**RECOMMENDATION:** 

NONE.

**ATTACHMENTS:**