



ROBBINSVILLE TOWNSHIP LAND USE BOARD MEETING
ROBBINSVILLE TOWNSHIP, MERCER COUNTY, NJ
TUESDAY, JUNE 18, 2024, AT 7:00 P.M.
PUBLIC MEETING ROOM IN MUNICIPAL BUILDING
2298 ROUTE 33, ROBBINSVILLE

AGENDA

- I. CALL TO ORDER
- II. ROLL CALL
- III. OPEN PUBLIC MEETINGS LAW STATEMENT: “Adequate notice of this meeting has been provided as required under Chapter 231 P.L. 1975 specifying the time and place with such notice as being sent to the Times of Trenton, and the Trentonian and posted on the Municipal Building Public Notice Meeting Bulletin Board.”
- IV. FLAG SALUTE
- V. CORRESPONDENCE
- VI. PUBLIC COMMENTS (for items not on the agenda)
- VII. BOARD COMMENTS
- VIII. APPROVAL OF MINUTES
- IX. RESOLUTION(S)
LZ23-07-01 Pintimalli (42 Robbinsville Edinburg Rd.) -Waiver of site plan. Use variance and bulk variance for a family farm stand.
- X. APPLICATION(S)
LU24-03-04 Princeton Memorial Park Crematorium (403 Gordon Rd.)-Proposal to establish a crematory facility that will serve the community. The application will include a new building and crematory equipment.
- XI. OTHER BUSINESS BEFORE THE BOARD
- XII. ADJOURNMENT

Note: This meeting shall end before or promptly at 10:00 p.m.
This agenda is subject to change prior to or at said meeting.

**ROBBINSVILLE TOWNSHIP ZONING BOARD
RESOLUTION LZ23-07-01**

IN THE MATTER OF FRANK & RITA PINTIMALLI FOR WAIVER OF SITE PLAN, A USE VARIANCE AND BULK VARIANCE FOR A FAMILY FARM STAND	FINDINGS OF FACT AND CONCLUSIONS OF LAW 42 Robbinsville-Edinburg Rd. Block 8, Lot 3.01 Robbinsville Township, Mercer County Zones: R-1.5 Low Density Residential Zoning District Application No. ZB 23-07-01 Approval Date: April 23, 2024
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BE IT RESOLVED, by the Robbinsville Township Zoning Board (“Board”) that the action taken on **April 23, 2024**, on the above referenced matter, is hereby memorialized by the adoption of this written resolution setting forth details of the Board’s review, findings of facts, and conclusions of law.

BACKGROUND

1. In 2006, the Applicant requested a Preliminary approval for a mixed-use Major Subdivision and use variance to create (8) new residential lots and (1) mixed-use lot consisting of the existing residential dwelling and farm stand, which was adopted on January 3, 2007.

The existing mixed-use lot (country store) is the subject of this application. The existing single-family residence is the principal permitted use. The lot also contains a permitted accessory use of a nursery center/landscaping business. The property hosts a permitted, non-conforming ‘farm stand’ use that sells baked goods and other pre-made items. The addition of deli type offerings was contemplated but not acted upon at the time of the hearing that granted approval for the existing uses.

At this time, the Applicant is seeking permission to add hot food options to the existing deli offerings. This requires the addition of kitchen equipment to the existing structure. This equipment will be contained inside the existing non-conforming structure and will not need an expansion to the structure, nor will it impact any of the existing setbacks or require and additional bulk ‘C’ variances. The Applicant is also seeking a Waiver of Site Plan for any upgrades related to ADA improvements.

2. The application was deemed **complete** on **March 26, 2024**.

3. The subject of this application is within the jurisdiction of this Board. The Board has acted within the time required by law.

VARIANCE & WAIVERS

4. The following **variances** are required with this application.
 - a. Due to intensification of the existing non-conforming use, Applicant will need a ‘D-2’ variance to permit the proposed deli operations.
 - b. Applicant provided testimony as to the requested ‘D-2’ use variance as it relates to the positive and negative variance criteria below. (see hearing section below)
 - c. In order to be entitled to ‘D-2’ use variance relief, Applicant must demonstrate that the application satisfies both the positive and negative criteria of the Municipal Land Use Law.

Positive Criteria: The Board has the power to grant ‘D-2’ variances for the expansion of lawfully created non-conforming uses “in particular cases and for special reasons.” This is considered the positive criteria for the grant of a ‘D-2’ variance. Special reasons for a ‘D-2’ variance may be found by the Board if it determines that the grant of the variance would minimize the existing nonconformity and make the use more compatible with the surrounding area. In *Burbridge v. Mine Hill Tp.*, (568 A.2d 527 (N.J. 1990)) the Court determined that aesthetic improvement alone could be a special reason that warrants a ‘D-2’ variance. However, the Court also held that “mere beautification” would not be sufficient to prove special reasons, but that the aesthetic improvement must relate to the overall visual capability of the use with the surrounding area and be shown to promote the general welfare of the community.

Negative Criteria: There are two prongs to the negative criteria that the Applicant must satisfy for ‘D-2’ variance:

- That the variance can be granted without substantial detriment to the public good. This prong requires an evaluation of the impact of the variance on surrounding properties and a determination as to whether or not it causes such damage to the character of the neighborhood as to constitute a substantial detriment to the public good.
- That the variance will not substantially impair the intent and purpose of the

zoning plan and ordinance.

Unlike a ‘D-1’ use variance, the Applicant is not required to address the enhanced burden of proof under *Medici v. BPR Co.*, 107 N.J. 1, 5 (198) for a ‘D-2’ variance.

- d. Applicant provided testimony regarding the existing deli operation in addition to the proposed hot food offerings. (see hearing section below)
 - e. Applicant provided testimony related to the statement in the Rider to Application referencing three separate business entities operating the proposed use. The relationship between these entities were clarified. (see hearing section)
 - f. Applicant provided testimony related to the operation of the proposed business as it relates to the existing uses on site. (see hearing section below)
5. The following **waivers** have been requested with this application.
- a. Relief is requested by Applicant for a Site Plan Waiver and is granted.

THE APPLICANT

6. The Applicants are Frank and Rita Pintimalli, of 4 Kyle Lane, Robbinsville, N.J. 08691.
7. The property in question is identified as Block 8, Lot 3.01, and is located at 42 Robbinsville-Edinburgh Road – Country Gardens.
8. The Applicant has certified that all property taxes for the subject property and all escrow fees required under the applicable ordinance(s) for such an application have been paid. This certification includes an agreement to pay all future monies due under the escrow ordinance for consultants and other professional work on the property.
9. The Applicant has submitted an affidavit of proof of service of Notice published in the *Asbury Park Press*. The proof of service comports with the notice before the board that this matter is of a character that the applicant has presented to the Board.

DOCUMENTS REVIEWED

10. The following documents were reviewed at the hearing for this application:
 - Township of Robbinsville General Land Use Application

- Rider to Application
- Site Plan Waiver Checklist
- Use Variance Checklist
- Waiver/Variance Request Form
- Affidavit of Ownership
- Consent to Entry
- Tax printout from website confirming taxes paid
- Tax and Utility Assessment Certification
- Fee Computations Worksheet
- Escrow Agreement
- Escrow Account Contact Information
- Certified Tax List Request
- Plans entitled, Updated Site Plan, dated March 20, 2023, prepared by Robert E. Korkuch, P.E., of Act Engineers, Inc., consisting of (1 sheet).
- Washington Township Zoning Board Resolution ZB2006-13, In the Matter of Frank and Rita Pintimalli for Preliminary Approval of a Mixed-Use Major Subdivision and Use Variance to Create Eight New Residential Lots and One Mixed Lot Consisting of the Existing Residential Dwelling and Farm Stand Market, adopted January 3, 2007, memorializing formal action taken by the Board at its regular meeting held on November 1, 2006.

BOARD PROFESSIONAL REPORTS

11. The following reports were reviewed during the Board hearing:

- Roberts Engineering Group, LLC, dated February 14, 2024.
- T&M Associates, dated February 1, 2024.

EXHIBITS

12. Exhibits that were reviewed by the Board:

- Exhibit A-1, Satellite image of the site (3 pages).

THE HEARING

13. The Applicant appeared at a hearing on this application on **April 23, 2024**. The Applicant was represented by Dino Spadaccini, Esq., who presented two (2) witnesses: Robert Korkuch, P.E., Applicant's Engineer/Planner; and Dominic Pintimalli, the Owner/Operator of the business.
- 1) **Robert Korkuch, P.E., Applicant's Engineer/Planner**, reviewed with the Board, the home and farm center and the positive/negative criteria.
 - 2) **Dominic Pintimalli, the Owner/Operator**, reviewed the daily operations with the Board, stating the hours are 7 a.m. to 6 p.m. Monday through Saturday and 7 a.m. to 5 p.m. on Sundays. He stated that there are times when the operation stays open later until 8 p.m. There are no signage changes. He also stated that they would receive a zoning permit for much of what the operation was. However, just to be safe, a deed to variance for expansion of the use was applied for. He also reviewed the year-round offerings from the deli including sandwiches and other items. He stated that he would comply with all memos in the file.
 - 3) **Dino Spadaccini, Esq., Applicant's Attorney**, reviewed the previous approvals for the site with the Board and the fact that the Storm Water Basin would continue to be operated by the HOA for the home development, behind the deli and home center.
14. **Three (3) Members of the public spoke on this application:**
- **Melissa Witriol**, of 2 Kyle Ln., who was concerned about the deed restrictions for the site and *restrictions were confirmed by the Applicant*.
 - **Brad Popovic**, of 6 Kyle Ln., who wanted the site to remain the way it was.
 - **Sneh Kadakia**, of 4 Kyle Ln., who also wanted to make sure that everything remained the same, *which was confirmed*.

BOARD PROFESSIONALS

1. Michael W. Herbert, Esq., Board Attorney
2. John Nunziato, P.E., P.P., Township Engineer
3. Carmela Roberts, P.E., C.M.E., C.P.W.M., Township Sewer Utility Engineer
4. Robert Hunter, P.E., P.P., CME, Township Planner

CONDITIONS OF APPROVAL

15. The Board finds that the Applicant must continue to address the concerns expressed in the course of the hearing and to limit relief to that which is reasonably necessary to satisfy Applicant's legitimate requirements. The relief granted is subject to the following conditions:
- 1) Applicant provided testimony that the hours of business are 7 a.m. to 6 p.m. Monday through Saturday and 7 a.m. to 5 p.m. on Sundays.
 - 2) Applicant shall investigate if the existing paved parking space count is sufficient for the proposed use. If the parking count is determined to be insufficient, the Applicant shall seek relief from the Board, if required, to use the unpaved banked parking area(s).
 - 3) If additional motor vehicle/impervious surface become necessary in the future, Applicants shall comply with all Site Plan and all applicable Stormwater Management requirements.
 - 4) Applicant shall post the recommended inspection fees with the Township Council.
 - 5) Applicant shall obtain any and all State, County and local approvals as may be required.
 - 6) If the Board were to approve this application, all Conditions of Approval not resolved within 190-days of the Memorialized Resolution, shall render the approval void.
 - 7) For record keeping purposes, Applicant shall submit an Operational Statement confirming the proposed uses and offerings that the businesses will provide.
 - 8) Applicant provided testimony that the existing sight triangle easement is and shall remain clear of obstructions.
 - 9) Applicant provided testimony stating that the only exterior improvements are ADA related striping and signage.
 - 10) Applicant shall contact the Board Secretary to reconcile any outstanding review escrow accounts prior to Final Plan Certification, Signature or the issuance of building permits, as applicable.
 - 11) Applicant shall address all necessary bonds, inspection escrows and related items.
 - 12) Any damage caused to existing Township-owned facilities (i.e., roadways, utilities, etc.) during construction shall be repaired and/or replaced in kind to the satisfaction of the Township Engineer.

- 13) The Applicant shall comply with all testimony placed upon the record.
- 14) Applicant must submit to the Township Zoning Department and this office evidence (if not already provided) of the following outside agency approvals prior to the Final Plan Certification or Signature:
 1. Mercer County Planning Board
 2. Mercer County Soil Conservation District
 3. Robbinsville Township Health Department
 4. New Jersey Department of Environmental Protection
 5. New Jersey Department of Transportation
 6. Any others as may be necessary.

FINDINGS AND CONCLUSIONS

- I. The Board finds that there is no negative impact upon the health, safety and welfare of the public and that the property was significantly upgraded. There is no negative impact upon local regulation of Land Use nor upon the Master Plan.
- II. The Board has heard from its Planning and Engineering Experts and from the neighbors and finds that the application should be granted, pursuant to the testimony of both the Applicant and the Board Professionals.
- III. Applicant is granted **waiver of Site Plan Use Variance and Bulk Variance** relief to conduct a deli and home and farm center business because the Applicant has proven the negative and positive criteria, required for such relief.

CONCLUSION

Based upon the foregoing, the Robbinsville Township Land Use Board at its **April 23, 2024** meeting, voted to approve the application for **Waiver of Site Plan Use Variance and Bulk Variance**.

This Resolution of Memorialization was adopted **June 18, 2024**.

The date of decision shall be **April 23, 2024**, except that the date of adoption of this memorializing resolution is the date of decision for the purpose of (1) mailing a copy of the decision to the applicant within ten (10) days of the date of the decision; (2) filing a copy of the decision with the administrative officer; and, (3) publication of a notice of this decision.

The date of the publication of the notice of decision shall be the date for the commencement of the vesting protection.

**ROLL CALL VOTE ON MOTION TO APPROVE
WAIVER OF SITE PLAN, A USE VARIANCE AND BULK VARIANCE
FOR A FAMILY FARM STAND
APRIL 23, 2024**

Member	Yes	No	Abstain	Absent
Frank Cettina, Chair	X			
Robert Buda	X			
Daniel Jackson	X			
Johnathon Camarda	X			
Danielle Spilatore	X			
Vincent Calgano	X			
Bill Berdan	X			
Michael Brennan	X			
Ravi Patni	X			
Christine Ciaccio	X			
Kathy Goodwine	X			

**ROLL CALL VOTE ON MOTION TO APPROVE RESOLUTION OF
MEMORIALIZATION ON
JUNE 18, 2024**

Member	Yes	No	Abstain	Absent
Frank Cettina, Chair				
Robert Buda				
Daniel Jackson				
Johnathon Camarda				
Danielle Spilatore				
Vincent Calgano				
Bill Berdan				
Michael Brennan				
Ravi Patni				
Christine Ciaccio				
Kathy Goodwine				

CERTIFICATION

I do hereby certify that the foregoing resolution was adopted by the Robbinsville Township Zoning Board at its regular meeting held on **April 23, 2024**. The Resolution memorializes the formal action taken by the Board at this regular meeting held on **June 18, 2024**.

Kate McStravick
Deputy Land Use Secretary

Frank Cettina
Chairman

**GENERAL LAND USE APPLICATION**

1. Applicant's Name:	Princeton Memorial Park Assoc. Inc.		
Contact Person:	Lawrence Nikola		
Address:	600 CR 520 Marlboro, NJ 07746		
Telephone:	732-834-9600		
Email:	ln@memprop.com & angela@memprop.com		
Relationship to Owner:	Officer		

2. Property Address:	403 Gordon Rd. Robbinsville, NJ 08691		
Development Name:	Robbinsville Township		
Zoning District:	Robbinsville Township		
Tax Map Page:	Block:	12	Lot(s): 6

3. Property Owner:	Jillisa Baum		
Contact Person:	Jillisa Baum		
Address:	600 CR 520 Marlboro, NJ 07746		
Telephone:	732-834-9600		
Email:	jill@memprop.com		

4. Name of Attorney:	George Dougherty		
Firm:	Katz & Dougherty LLC		
Address:	4020 Quakerbridge Rd., Lawrenceville, NJ 08619		
Telephone:	609-587-1199		
Email:	gtd@katzanddougherty.com		

5. Name of Engineer:	John J. Ploskonka, P.E. License #15511		
Firm:	Concept Engineering Consultants, P.A.		
Address:	123 Route 33, Suite 204 Manalapan, NJ 07726		
Telephone:	Office-732-792-2750	Cell- 732-841-6874	
Email:	Jploskonkacec@optonline.net		

6. Name of Architect:	Jeremiah J. Regan, AIA		
Firm:	JJR		
Address:	147 Brighton Ave, Long Branch, New Jersey 07740,		
Telephone:	732-870-2977		
Email:	jeremiahregan@aol.com		

7. Application Type:

(Check all applicable - a completed Checklist is required for each)

<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Certificate of Nonconformity Request
<input type="checkbox"/>	Conceptual/Informal Review
<input type="checkbox"/>	Extension of Prior Approvals
<input type="checkbox"/>	Home Occupation Permit
<input type="checkbox"/>	Interpretation of the Zoning Map or Ordinance
<input type="checkbox"/>	Site Plan - Preliminary Major Residential. No. of Units proposed:
<input type="checkbox"/>	Site Plan - Final Major Residential. No. of Units proposed:
<input checked="" type="checkbox"/>	Site Plan - Preliminary Major, Non-Residential. Total GFA proposed: 2
<input checked="" type="checkbox"/>	Site Plan - Final Major, Non-Residential. Total GFA proposed: 1350SF
<input type="checkbox"/>	Site Plan - Minor Site Plan
<input type="checkbox"/>	Site Plan - Administrative Site Plan Review (<input type="checkbox"/> check if related to a pool or sports court)
<input type="checkbox"/>	Site Plan - Waiver of Site Plan
<input type="checkbox"/>	Subdivision - Preliminary Major. Total No. of Lots proposed:
<input type="checkbox"/>	Subdivision - Final Major. Total No. of Lots proposed:
<input type="checkbox"/>	Subdivision - Minor. Total No. of Lots proposed:
<input checked="" type="checkbox"/>	Variances - Residential Bulk. No. of Bulk Variances: 1
<input type="checkbox"/>	Variances - Residential 'D'. No. of 'D' Variances: No. of Units:
<input type="checkbox"/>	Variances - Non-Residential 'D'. No. of 'D' Variances: Total GFA:
<input type="checkbox"/>	Other

* Check all applicable and submit appropriate Checklist for each application type

8. Is the property served by public sewer or septic system? Public Sewer Septic System

9. Is the property served by public water system or private well? Public Water Private Well

10. Has there been a previous appeal or approval for this property? No Yes
 If so, please describe: 36x48 Pole Barn installed 3/2021 Permit # 21-071

11. Provide a brief history of the site, its location and description of current uses of property:

Princeton Memorial Park (PMP) is a cemetery offering in-ground and above ground crypt and cremation niche burials since 1965. PMP operates as a non-profit 501(c)(13) corporation as required by the state of New Jersey. The cemetery has been actively operating performing interments, entombments, inurnments and performing maintenance and improvements to the grounds and structures since 1965. The current management of PMP has been in force since 10/01/2020.

12. Provide written narrative of proposal, be specific (include proposed development, use and/or description of operations):

Our intent is to establish a crematory facility that will serve our community with dignity, compassion, and professionalism. The application will include a new building and crematory equipment.

Copies of any applicable Checklists and the required submission items, including administrative forms, fees and digital copies, must be provided as one comprehensive submission at time of filing.

I have reviewed the By-Laws of the Planning and Zoning Boards, the general instructions to applicants, the application and accompanying documentation and consent to filing of the same with the Township of Robbinsville Planning Board/Zoning Board. I certify that all statements contained herein, any documents and plans filed herewith are true and correct to the best of my knowledge, information and belief. By signing as the applicant, I also certify that I am an authorized signatory and have full authority to execute this application.


Applicant's Signature

3/21/2024
Date

Lawrence Nikola, Manager
Applicant's Name & Title, printed

I do hereby accept the responsibilities as agent for this application (if different from applicant).

Agent's Signature

Date

Agent's Name & Title, printed

TOWNSHIP USE ONLY BELOW THIS LINE

Application No: _____

Fees Paid: _____

Date Received: _____

Escrow Paid: _____

Referred To: _____

(Planning Board or Zoning Board)



Planning and Zoning Office

WAIVER/VARIANCE REQUEST FORM

Applicant's Name: Princeton Memorial Park Assoc. Inc.

Address: 403 Gordon Rd. Robbinsville, NJ 08691

Development Name: _____

Township of Robbinsville Tax Block(s): 12 Lot(s): 6

This form is an integral part of any development checklist submitted to the Township of Robbinsville wherein waivers from design standards, waivers from application checklist submission items or variances are requested. All requests should be specific and should reference the relief requested by Ordinance, Codebook Section or Checklist item. This form must be completed for all requested or required waivers/variances and submitted with the application in order for the application to be considered complete.

It is the applicant's or its professionals' responsibility to complete this form in order for proper consideration to be given to the request. Adequate documentation and support data shall be provided with each request in order for the Township to determine the appropriateness of the request. Where technical references or support data are given, the request form shall be signed and sealed by the appropriate professional.

DESIGN WAIVER/VARIANCE REQUEST FORM (CONTINUED)

**Ordinance/Codebook
or Checklist Reference**

**Explanation and Support Data for Submission Waiver,
Design Waiver or Variance Request**



Planning and Zoning Office
2298 Route 33, Robbinsville, NJ 08691
Phone (709) 259-3600 Fax (709) 259-2128

AFFIDAVIT OF OWNERSHIP

State of New Jersey, County of Mercer, SS.:

Owner's name: Jillisa Baum of full
age, being duly sworn according to law on oath depose(s) and say(s) that he/she/they reside(s)
at 18 Lisa Lane in the
Township of Morganville in the County of Monmouth
and State of New Jersey that he/she/they is/are the owner in fee of all
that certain lot, piece or parcel of land situated, lying and being in the Township of Robbinsville,
New Jersey, and known and designated as:

Block(s) 12 Lot (s) 6 also known as (Address):
403 Gordon Rd. Robbinsville, New Jersey.

Sworn and subscribed before me this 21st day of March 2024.

Angela Torrillo
(Notary)

ANGELA TORRILLO
Notary Public, State of New Jersey
Commission # 50181629
My Commission Expires 01/13/2027

Jillisa Baum
(Owner's Signature)

Jillisa Baum, President
(Owner's Name, Title)

AUTHORIZATION

(If anyone other than above owner is making this application, the following authorization must be executed.)

To the Planning/Zoning Board:

Lawrence Nikola is hereby authorized to make this application.

Applicant's relationship to Owner: Father

L. Nikola
(Owner's Signature)

3/21/2024
(Date)



Planning and Zoning Office
2298 Route 33, Robbinsville, NJ 08691
Phone (609) 259-2600 Fax (609) 259-2128

CONSENT TO ENTRY

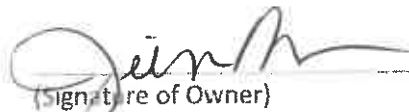
The undersigned hereby consents to the entry onto the property known as:

(Address) 403 Gordon Rd. Robbinsville, NJ 08691 also known as:

Block 12 Lot(s) 6 on the Tax Map of the

Township of Robbinsville, by the members of the Township of Robbinsville Planning Board or Zoning Board, consultants and professionals representing the Boards, members of the Township of Robbinsville Environmental Commission, and other officials of the Township pertaining to this application, to perform an inspection of the subject property in connection with the land use application which is submitted herewith for approval by the appropriate Township Land Use Board.

By signing this consent, I affirm that I have full authority to execute this consent.


(Signature of Owner)

3/21/2024

(Date)

Jillisa Baum, President
(Name, Title - printed)

18 Lisa Lane, Morganville, NJ 07751
(Address of Owner)



FEE COMPUTATION SCHEDULE

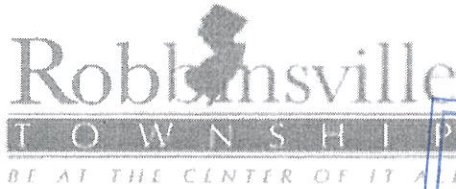
Applicant: Princeton Memorial Park Assoc. Inc. Date: _____
 Block: 12 Lot(s): 6
 Computed by: John J. Ploskonka Title: Engineer
 Lot Area: _____ Acres = _____ s.f. Parking spaces proposed: None
 Non-Residential Residential

	<u>Administrative Fees</u>	<u>Escrow Deposit</u>
SUBDIVISION (#of lots _____)		
Minor Subdivision	_____	_____
Preliminary Major	_____	_____
Final Major	_____	_____
SUBTOTAL	\$ _____	\$ _____
SITE PLAN		
Minor	_____	_____
Non-Residential (Gross Floor Area: <u>1350sf</u>)	_____	_____
Preliminary Major	\$2,955.00	\$2,500.00
Final Major	\$1,477.50	\$2,500.00
Residential (# of units _____)	_____	_____
Preliminary Major	_____	_____
Final Major	_____	_____
Waiver of Site Plan	_____	_____
Administrative Site Plan Review	_____	_____
Pool and Sports Courts	_____	_____
Other than Pools & Sports Courts	_____	_____
SUBTOTAL	\$ 4,432.50	\$ 5,000.00
VARIANCES		
Bulk/Hardship (# of bulk variances <u>1</u>)	_____	_____
Residential	_____	_____
Non-Residential	\$200.00	\$2,500.00
"D" Variances (# of 'D' variances _____)	_____	_____
Residential	_____	_____
Non-Residential (Gross Floor Area _____)	_____	_____
SUBTOTAL	\$ 200.00	\$ 2,500.00
OTHER		
Appeals and Interpretations	_____	_____
Certificate of Nonconformity	_____	_____
Conceptual/Informal Review	_____	_____
Design Waiver(s)	_____	_____
Educational Training Fee	30.00	_____
Home Occupation	_____	_____
Publication of Decision Fee	75.00	_____
Signage	_____	_____
Other	_____	_____
SUBTOTAL	\$ 105.00	\$ _____
TOTAL OF ABOVE	\$ 4,737.50 *	\$ 7,500.00 *

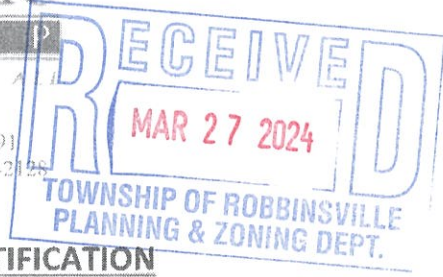
* Please submit two (2) checks payable to Township of Robbinsville, one for fees and one for escrow.

See §142-84 for Fee Ordinance

FILE



Planning and Zoning Office
2298 Route 33, Robbinsville, NJ 08691
Phone (609) 259-3600 Fax (609) 259-2125



TAX & UTILITY ASSESSMENT CERTIFICATION

Taxes and Utility Assessments must be certified as current when filing a General Land Use application and at time of hearing.

Include all affected lots.

Block 23, Lot 6
Block _____, Lot _____
Block _____, Lot _____
Block _____, Lot _____

Property Address: 403 Gordon Rd. Robbinsville, NJ 08691

Owner's Name: Jillisa Baum

Applicant's Name: Lawrence Nikola

FOR TAX OFFICE USE ONLY:

- Taxes are Current
- Taxes are Delinquent
- No Sewer Connection
- Sewer is Current
- Sewer is Delinquent

Taxes for the next quarter are due N/A
(Date)

CERTIFIED THAT TAXES AND UTILITY ASSESSMENTS HAVE BEEN PAID AND ARE CURRENT BY:

Kelly Frost
Office of the Tax Collector

4/3/2024
Date



Planning and Zoning Office
2298 Route 33, Robbinsville, NJ 08691
Phone (609) 259-3600 Fax (609) 259-2128

ESCROW AGREEMENT

This agreement made this _____ day of _____ 20____ between:

NAME: Princeton Memorial Park Assoc. Inc.

ADDRESS: 403 Gordon Rd. Robbinsville, NJ 08691

TYPE OF APPLICATION: _____ BLOCK 12 LOT 6

Hereinafter called "Applicant"

and:

The Township of Robbinsville, in the County of Mercer, a municipal corporation of the State of New Jersey; Hereinafter called "Township"

WITNESSETH:

THAT the Applicant has submitted a development application to the Township's Planning Board/Zoning Board for consideration in accordance with the New Jersey Municipal Land Use Law and the Township of Robbinsville Land Use and Development Ordinance and Applicant hereby covenants and agrees as follows:

1. Applicant agrees to pay all costs related to the Township's review and administration of the proposed application with said costs including but not limited to:
 - A. Conceptual review by the Technical Review Committee (TRC), Planning Board Work session, which entails professional consultant services as may be required by the Township;
 - B. Full application professional review by the Township's TRC and Planning Board/Zoning Board, which entails professional consultant costs for: Planner, Engineering, Legal and other extraordinary consultant services as may be required by the Township;
 - C. In house application review of the application by the Township's Department of Health and any other extraordinary review by any other department, office or municipal employee as may be required by the Township.
 - D. Administration and handling of the application by the Township's Planning Office/Zoning Office and/or Office of the Township Clerk with said costs including but not limited to: secretarial and clerical administrative handling, escrow account bookkeeping, accounts receivable and payable, TRC and Board meeting secretarial/recording services.
 - E. All tax map plotting services required to reflect approved conditions on the official Tax Maps of Robbinsville.

2. Applicant understands and agrees to pay all costs as set forth above from the date of initial application submission through the Township's signature of approved plans which shall include any costs for extensions and revalidations.
3. Applicant understands and agrees to deposit with the Township's Planning Office/Zoning Office an initial application filing fee in accordance with fees and permits section of the Ordinance upon submission of the application.
4. Applicant understands and agrees that the Township will draw down from said deposit to cover costs as set forth in Section 1 above.
5. Applicant understands and agrees to pay WITHIN TEN BUSINESS DAYS of receipt of the Township's statement/billing all additional costs as may be incurred and billed to the applicant by the township relative to the review and administration of the application even if the costs of said review and administration exceed the initial filing fee deposit.
6. Applicant understands and agrees that in the event Applicant fails to pay a billed amount, the Township may discontinue Planning Board/Zoning Board review and consideration on said application or if Planning Board/Zoning Board approval has been previously granted, the Township may deny issuance of a construction permit and/or certificate of occupancy or if permit has been previously issued Township may initiate a Stop Work Order.
7. Township agrees to refund to applicant any sum deposited with Township for review and administration of the application not spent nor needed by the Township.
8. Applicant agrees and understands that it is incumbent on the applicant to periodically monitor the status of said escrow account. Applicant should verify the escrow account balance one week prior to any public hearing. If an escrow account is deficient, the application may not be heard by the Board.
9. Applicant agrees and understands that it is the responsibility of the applicant to pay all escrow charges even if the applicant sells or conveys said property cited above to another party. An applicant may enter into an assignment agreement with any new developer, which would be reviewed by the Township Attorney for approvals.
10. Applicant will complete the attached Escrow Account Contact Information form. Applicant agrees and understands that if there is any change in Applicant/Developer or any change in the Applicant's/Developer's address or contact information, the Applicant is responsible to notify the Township of Robbinsville Finance Department and the Administrative Officer and will amend any necessary documents.

Lawrence Nikola

Applicant's Name - Print



Applicant's Signature

3/21/2024

Date

Administrative Officer

Date



BE AT THE CENTER OF IT ALL

Planning and Zoning Office
2298 Route 33, Robbinsville, NJ 08691
Phone (609) 259-3600 Fax (609) 259-2128

Application #: _____
Escrow Account #: _____

ESCROW ACCOUNT CONTACT INFORMATION

Name of Applicant: Princeton Memorial Park Assoc. Inc.
Project Address: 403 Gordon Rd. Robbinsville, NJ 08691
Project Block: 12 Lot(s): 6

Person or firm responsible for receiving and discussing financial/escrow account information (this would include receiving copies of any vouchers/invoices, account statements, requests to replenish the escrow account-per the escrow agreement, etc.):

Name: Jillisa Baum
E-mail address: jill@memprop.com
Address: 600 CR 520 Marlboro, NJ 07746
Phone number: 732-834-9600

Robbinsville Township will send all escrow documents via email and will request the Board's professionals do the same.

All correspondence concerning escrow accounts shall be directed to the Township of Robbinsville Finance Department. I understand that if there is any change in Applicant/Developer or any change in the Applicant's/Developer's address or contact information, I am responsible to notify the Township of Robbinsville Finance Department and the Administrative Officer and will amend any necessary documents.

By signing this form, I certify that I am an authorized signatory and have full authority to have/grant access to this Developer's escrow account information.

Jillisa Baum 3/21/2024
SIGNATURE DATE
Jillisa Baum, President
NAME, TITLE

For Dept. Use: Save to Server
 Copy to Finance
 Add to Escrow Sheet

Princeton Memorial Park

403 Gordon Road
Robbinsville, NJ 08691
(732) 820-0211

March 21, 2024

Proposed Operations Statement

The proposed use of the new building is to run and operate a crematorium. The building will house a Matthews Power-Pak II PLUS cremation unit and various other equipment to efficiently run the crematorium. The hours of operation for the crematorium will be 9-5 Monday thru Friday and we anticipate having 2 employees in charge of running and operating the crematorium. All required maintenance to the new building and grounds will be performed on a regular basis as is currently the case at the cemetery.


Lawrence Nikola



ANGELA TORRILLO
Notary Public, State of New Jersey
Commission # 50181629
My Commission Expires 01/13/2027

GEORGE DOUGHERTY LAW OFFICE, LLC
Attorney at Law
4020 QUAKERBRIDGE ROAD
MERCERVILLE, NEW JERSEY 08619
TELEPHONE: (609) 587-1199 TELEFAX: (609) 587-0550
www.KatzAndDougherty.com
E-mail: gtd@katzanddougherty.com
NJ Identification No.: 247791969

March 8, 2024

Paul V. Renaud III, Esq.
Director of Community Development
Township of Robbinsville

Re: Princeton Memorial Park Cemetery Crematory Permit
Application

Dear Paul:

As Princeton Memorial Park's Counsel, I am requesting that the Township Waive the Application's call for a Community Impact report based on the following factors:

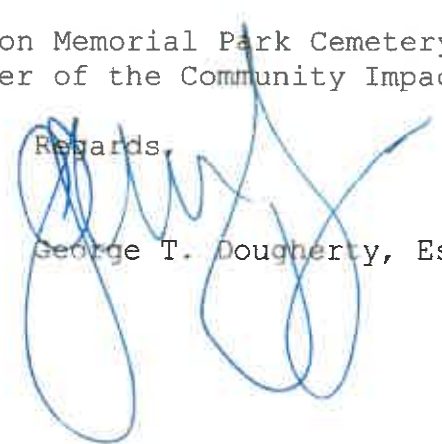
Princeton Memorial Park Cemetery is a non-profit, tax exempt and *beneficial* community resource which has served the Township for many decades.

The proposed facility will serve a growing public need without appreciable negative impact on community services, traffic, or site activities.

The Crematory will discretely receive its deliveries *via* hearses or similar vehicles at the building. Families will not be permitted to accompany the vehicle to the Crematory or to engage in any group activities there.

For these reasons, Princeton Memorial Park Cemetery respectfully requests a waiver of the Community Impact Statement.

Regards,


George T. Dougherty, Esq.

Cc: Larry Nikola

WAIVER/VARIANCE REQUEST LIST

The application for the crematorium is for an accessory building on a 19 acre parcel Princeton Memorial Park. Because of the small minor disturbance of the 19 acres, less than 5,000 sf, we are respectfully requesting a number of waivers which include the following:

Item 6: Tax & Utility Assessment Certification Form (Applicant part complete). – **Tax exempt cemetery.**

Item 12: “Zoning Permit Denial” or “Notice of Violation” (N.O.V.) from Zoning, Code or Construction Official – **This is pending.**

Item 13: Resolution(s) for all previous Planning/Zoning Board approvals – **No previous Resolutions available to us.**

Item 14: List of all necessary Outside Agency Approvals indicating status of approvals, including copies of each approval (NJDOT, NJDEP, Mercer County Planning Board, etc.) – **County Planning Board approval in process.**

Item 25: Existing and proposed spot elevations must be labeled: - **Disturbance of site is less than 5,000 sf out of 19 acres (grading being shown on the limited crematorium site).**

Item 26: Drainage leaving the lot should not impact neighbors: - **Minimum disturbance of site is less than 5,000 sf out of 19 acres.**

Item 27: Grading must be shown on the entire lot: - **Minimum disturbance of site is less than 5,000 sf out of 19 acres.**

Item 28: Swales - **Minimum disturbance of site is less than 5,000 sf out of 19 acres.**

Item 29: Proposed house – **No proposed home – crematorium building.**

Community Impact Statement – Waiver -- see letter from attorney George Dougherty.

Waiver for Variance

This is an accessory building, 1350 sf proposed whereas 576 sf is allowed. Variance sought.



Application:	
Date Rcvd.:	
Received by:	

ADMINISTRATIVE SITE PLAN CHECKLIST

1. Applicant's Name:	Princeton Memorial Park Assoc. Inc.
Contact Person:	Lawrence Nikola
Address:	600 CR 520 Marlboro, NJ 07746
Telephone:	732-834-9600
Email:	ln@memprop.com & angela@memprop.com
Relationship to Owner:	Officer

2. Property Address:	403 Gordon Rd. Robbinsville, NJ 08691
Development Name:	
Zoning District:	Robbinsville Township
Block(s):	12
Lot(s):	6

3. Property Owner:	Jillisa Baum
Contact Person:	Jillisa Baum
Address:	600 CR 520 Marlboro, NJ 07746
Telephone:	732-834-9600
Email:	jill@memprop.com

4. Name of Attorney:	George Dougherty
Firm:	Katz & Dougherty LLC
Address:	4020 Quakerbridge Rd., Lawrenceville, NJ 08619
Telephone:	609-587-1199
Email:	gtd@katzanddougherty.com

5. Has this property ever been subject of a previous application to the Planning or Zoning Board?	
If so, please describe (incl. Resolution #):	36x48 Pole Barn installed 3/2021 Permit # 21-071

6. Description of Property, brief history of the site, its location and description of current use(s) (may attach addendum):
Princeton Memorial Park (PMP) is a cemetery offering in-ground burials and above ground crypt and cremation niche burials since 1965. PMP operates as a non-profit 501(c)(13) corp as required by the state of NJ. The cemetery has been actively operating and performing interments, entombments, inurnments and performing maintenance and improvements to the grounds and structures since 1965. The current management of PMP has been in force since 10/01/2020.

7. Provide Detail of the Exact Nature of the Application (may attach addendum):
Our intent is to establish a crematory facility that will serve our community with dignity, compassion, and professionalism. The application will include a new building and crematory equipment.

8. Description of Relief Requested, including Section(s) of Ordinance variance is requested (may attach addendum):
C variance is required for the size of the proposed accessory structure (crematorium), whereas 576 sf is permitted. The structure is 1350 sf. (30' deep, 45' wide).

INSTRUCTIONS:

1. This checklist shall be completed by the applicant or its authorized representative and submitted with the application. This checklist shall be used in determining completeness or incompleteness of the application pursuant to Robbinsville Township's Land Use and Development Ordinance(s). The applicant is advised that failure to provide all data required on this checklist or failure to apply for the appropriated waivers will render the application incomplete. Applications will not be placed on an agenda until it has been deemed complete by the Administrative Officer.
2. Applicant to complete checklist column with an "X" in the appropriate column. A waiver should be requested for all checklist item you may consider "not applicable" ("n/a") and reason(s) you would consider it "not applicable." **** All waivers requested should be explained in detail on the Waiver/Variance Request Form.** Failure to provide a reason for the request will render the application incomplete.
3. The Technical Review Committee (TRC) will determine if any item where a waiver is requested shall be required to be provided and the application shall be considered incomplete if not provided.
4. The applicant shall submit three (3) collated copies of all correspondence (including cover and response letters) and administrative forms. The applicant shall submit three (3) signed and sealed copies of all maps, plans or reports and all additional submission item(s). All submissions must include a digital copy in pdf. format of all submission items (email to BoardSecretary@robbinsville.net, dropbox, thumb drive or disk). All re-submissions must include a point-by-point response letter addressing all comments from the Board's professionals or from the Technical Review Committee (TRC) Meeting. All submissions must be made as one comprehensive submission, not under separate cover.

The following shall be provided on a plan for the construction of a single-family home and any other non-commercial site improvements that do not require the approval of the Township's Boards of Jurisdiction. Any non-residential site improvements which may be exempt from formal site plan approval by the Planning Board or Zoning Board of Adjustment and may be eligible for administrative site plan approval shall utilize the appropriate Minor Site Plan or Site Plan Waiver Checklist.

I. ADMINISTRATIVE		Provided per Checklist	**Waiver Requested
<input type="checkbox"/>	1. Completed General Land Use Application Form.	✓	
<input type="checkbox"/>	2. Completed Fee Schedule Form.	✓	
<input type="checkbox"/>	3. Payment of Required Fees (two separate checks).	✓	
<input type="checkbox"/>	4. Completed Escrow Agreement Form with Escrow Contact Sheet.	✓	
<input type="checkbox"/>	5. Completed W-9 Form (for Escrow Account).	✓	
<input type="checkbox"/>	6. Tax & Utility Assessment Certification Form (Applicant part complete).		✓
<input type="checkbox"/>	7. Completed Waiver/Variance Request Form (no variances/waivers).	✓	
<input type="checkbox"/>	8. Completed Affidavit of Ownership Form (notarized).	✓	
<input type="checkbox"/>	9. Completed Disclosure Statement Form.	✓	
<input type="checkbox"/>	10. Completed Consent of Entry Form.	✓	
<input type="checkbox"/>	11. Completed Checklist(s) for All Applicable Requests.	✓	
<input type="checkbox"/>	12. "Zoning Permit Denial" or "Notice of Violation" (N.O.V.) from Zoning, Code or Construction Official.		
<input type="checkbox"/>	13. Resolution(s) for all previous Planning/Zoning Board approvals.		✓
<input type="checkbox"/>	14. List of all necessary Outside Agency Approvals indicating status of approvals, including copies of each approval (NJDOT, NJDEP, Mercer County Planning Board, etc.).	pending	
<input type="checkbox"/>	15. Proposed Operations Statement, including details of proposed use(s), hours of operation, number of employees, provisions for maintenance, etc., signed by Applicant and notarized.	✓	

<input type="checkbox"/>	16. Complete application, filed as one submission, with quantities and digital copies as noted in the Instructions, #4.	✓	
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II. ENGINEERING

Township Use Only		Provided per Checklist	**Waiver Requested
<input type="checkbox"/>	17. Plan designed, drawn, signed and sealed by N.J.P.E., L.S. or A.I.A. as appropriate, to scale, sheets numbered consecutively, folded, collated, bound, signed and sealed with a common preparation and/or revision date(s). Plan shall provide a north arrow reference.	✓ ✓	
<input type="checkbox"/>	18. Title block containing minimum data per current statutes.		
<input type="checkbox"/>	19. Bulk Requirements Schedule/Table indicating Zoning District shall be tabulated to show all bulk requirements of the zone or zones in which the site is located and the bulk data proposed by the application. This tabulation shall also identify compliance or noncompliance for all existing structures. All lot areas shown shall be identified as gross and net areas. Density shall be shown as defined by the Land Use and Development Ordinance. Bulk Requirements Schedule/Table shall identify permitted, existing and proposed improvement conditions. Any relief previously granted shall be indicated and referenced.	✓	
<input type="checkbox"/>	20. Plan shall provide existing/current and proposed site conditions, including, fencing, pavement, pools, all buildings and structures, utilities (septic, wells, etc.), metes and bounds for lot lines, and any details deemed necessary by the Township/Board Engineer.	✓ ✓ ✓	
<input type="checkbox"/>	21. Existing and proposed distances to property lines shall be shown.	✓ ✓ ✓	
<input type="checkbox"/>	22. Areas to remain undisturbed shall be labeled.		
<input type="checkbox"/>	23. Plan shall provide location of all existing and proposed easements (including wetlands, conservation, buffer, transition areas, etc.), public right-of-ways, etc., within 100' of the site.	✓ ✓	
<input type="checkbox"/>	24. Contours line at 1' intervals, except in areas steeper than 10%.	✓	
<input type="checkbox"/>	25. Existing and proposed spot elevations must be labeled: a. Top of curb and/or edge of pavement every 50'. b. All property corners. c. All building corners. d. High and low points. e. Drainage inlets, grate and invert, and stormwater. f. Driveway corners and change in grade. g. Corners of septic disposal areas and at septic tanks. h. Seasonal high-water table.		✓
<input type="checkbox"/>	26. Drainage leaving the lot should not impact neighbors: a. Any water leaving the lot must be directed to an approved constructed drainage system.		✓
<input type="checkbox"/>	27. Grading must be shown on the entire lot: a. Grading for a minimum of 20' beyond the property lines. b. Minimum 6" drop the first 20' from house, then 2% over land. c. Maximum 5:1 lawns. d. Additional grading information as determined by the Township/Board Engineer.		✓
<input type="checkbox"/>	28. Swales: a. Minimum one percent. b. No swales or excessive lot grading over septic fields. c. No swales over walkways or driveways. d. Minimum depth of swale: 8"		✓

<input type="checkbox"/>	29. Proposed house: a. Location of doorways. b. Basement of slab construction. c. All floor elevations.		✓
<input type="checkbox"/>	30. Proposed Driveway: a. Minimum 5' from property line. b. Paved or concrete driveway apron. c. Minimum slope: 1.5% d. Maximum slope: 10%	✓	
<input type="checkbox"/>	31. Typical construction details shall be provided on drawings designated as "Construction Details," including: a. Retaining wall details and stability calculations in over 3' high with typical section. b. Soil erosion control details, notes and schedules. c. Sidewalk, driveway apron, driveway, curb, etc.	✓	
<input type="checkbox"/>	32. Compliance with all Design Standards of the Land Use and Development Ordinance, or a waiver/variance requested on Waiver/Variance Request Form.	✓	

Person Preparing Checklist:	John J. Ploskonka, P.E
Firm:	Concept Engineering Consultants, P.A.
Address:	123 Route 33, Suite 204 Manalapan, NJ 07726
Telephone:	732-792-2750 office
Email:	jploskonkacec@optonline.net

CERTIFICATION:

I have prepared this checklist and confirm that I have provided a response to all waivers being requested and listed all variance relief sought on the Waiver/Variance Form. I certify that the checklist is complete and accurate.

15511
Signature/Certification of Person Preparing Checklist

3/21/24
Date

TOWNSHIP USE ONLY BELOW THIS LINE

Application No: _____ Fees Paid: _____

Date(s) Received: _____ Escrow Paid: _____

Approved for Administrative Site Plan (permitted use, no variances or granted by a Board): _____

If Denied, Referred To (Planning Board or Zoning Board): _____



John J. Ploskonka, P.E., P.P.
President

Bhaskar R. Halari, P.E.
V.P./Director of Engineering

Dana A. Kelly, Esq.
Director of Operations

**CONCEPT
ENGINEERING
CONSULTANTS, P.A.**

123 ROUTE 33
SUITE #204
MANALAPAN, NEW JERSEY 07726

Phone: (732)792-2750
Fax: (732)792-2740

March 19, 2024

Members of the Planning Board
Robbinsville Township Planning Board
344 Broadway
Robbinsville, NJ 08619

**RE: Environmental Impact Statement
Preliminary and Final Major Site Plan
Block 23, Lot 6
Princeton Memorial Park
Robbinsville Township
Mercer County**

Dear Members of the Board:

Concept Engineering, P.A. is representing the applicant, Princeton Memorial Park, on the above-referenced project. Below you will find a description of the project with existing features and proposed design along with our assessment of the environmental impact which may result from the construction of this project.

PROJECT DESCRIPTION

Existing Features

The applicant is proposing a Site Plan to contain a new crematorium building on Block 23, Lot 6 in the Township of Robbinsville (Figure 1 – Robbinsville Township Tax Map) and is comprised of 19.69 +/- acres. The tract is located on Gordon Rd. Adjacent land use to the north is undeveloped & residential, south is the NJ Turnpike, east is Sharon Elementary School and west of the site is the Community Park.

Existing features on site consist of open lawn areas, a cemetery (in use since 1965), an office building, a garage, two (2) mausoleum buildings, two (2) sheds, paved internal access drives, concrete walks and limited landscaping features. Water and sanitary sewerage service are provided to the two (2) mausoleum buildings by an on-site well and individual subsurface disposal system. The property gently slopes southwesterly. Per the zoning plan for Robbinsville Township, the site is located within RR (Rural Residential Zone). Proposed

improvements will conform to the provisions of this permitted conditional use of RR zoning and the currently existing use.

PROPOSED DESIGN

The applicant, Princeton Memorial Park, is proposing the construction of the following:

1. A new 1,350 S.F., slab on grade, crematorium building. No sanitary sewer or water hookups are proposed. Gas and electric service will be provided by PSE&G.
2. Paved driveway from the existing access drive.
3. Landscaping and lighting will be provided at the site as shown on the submitted plans.

The proposed design of the project will include above described improvements which are accessory to and similar to existing use on the site. The site design will be compatible with other existing features within Robbinsville Township. An appropriate landscape design will be provided to enhance and protect the property and the proposed structures from environmental impacts, such as stormwater runoff and soil erosion.

Concept Engineering P.A.'s environmental staff has reviewed any potential environmental impacts associated with the project design. After reviewing all aspects of the proposed development, it is our opinion that there will be a very minimal environmental impact imposed by the proposed improvements due to the following:

1. Existing topography on the site averages from 0 to 5 percent slopes. There are no steep slopes associated with this site. The proposed grading on-site will be as close to the natural grades as possible and have minimal impact on the site grading as it currently exists. Proposed grading will direct runoff to the south/southwest. Therefore, there will be no significant environmental impact to the on-site topography.
2. There will be no changes to on-site geology as a result of the proposed improvements.
3. On-site geohydrology will remain relatively unchanged as a result of the proposed improvements. No pumping of groundwater will result from the proposed improvements. There will be a very slight change to infiltration from on-site soils to the groundwater by the proposed minor additional impervious surface. It also noted that the proposed project is not considered a major storm water development under NJDEP storm water management rules as less than 0.25 acres of new motor vehicle/impervious surface is proposed and less than 1 acre of disturbance is proposed. Thus, no storm water management has been provided or required for this minor development under this application. The proposed project is exempt from mercer county soil erosion approval as the limit of disturbance is less than 5000 sf.

4. A tributary of New Sharon Branch UNT is the nearest water body located east of the site. According to the NJDEP GeoWeb the tributary of New Sharon Branch UNT is classified as FW-2 NT stream. According to NJDEP GIS data, New Sharon Branch UNT is not classified as Category 1 water course. Based on its distance, over a thousand feet, from the proposed construction it is not anticipated that the proposed project will impact the water quality of the tributary of New Sharon Branch UNT.
5. Water Quality –Do to the small size (1,900 SF) of the proposed new impervious it is not anticipated any roof runoff treatment will be required. If required roof runoff will be directed to individual drywells. Therefore, there will be no significant impact on water quality in the area.
6. Air Quality – While the local air quality may be temporarily affected by the emissions from construction vehicles and delivery trucks during the construction of the proposed improvements, the effect will be minimal as the emissions will not be excessive and dispersion of carbon monoxide is rapid over a spatial area. Air quality within Mercer County is generally acceptable and falls within the acceptable limits set by the Department of Environmental Protection, with the exception of ozone which is currently at non-attainment statewide. Ambient air quality is most influenced by vehicular emissions from prevailing traffic on area roadways. This project is not expected to generate additional trips per day as a result of the proposed improvements. A separate air quality permit will submitted to and approved by the NJDEP for emissions by the manufacturer of the crematorium prior to the construction of same. Once approved a copy of all NJDEP approvals will be provided to Robbinsville Township. It is not expected that this will have any significant effect on the ambient air quality locally.
7. The U.S.D.A. Soil Conservation Service Mercer County Soil Survey and the U.S. Soil Survey Geographic Database Program (SSURGO describe (2) soil series mapped on the subject property (Figure 4 – Soils Survey Map). These soil types are the following:

Matapeake loam, 2 to 5 percent slopes,

Mattapex and Bertie loams, 0 to 5 percent slopes

Sassafras sandy loam, 2 to 5 percent slopes,

These soils will only be slightly disturbed by the proposed improvements. The Mercer County Soil Survey indicates that the above, on-site, soil series are all non-hydric soils. These soils are very gently sloping, well drained to moderately well drained soils.

The predominant soils to be developed are the Sassafras sandy loam series of sandy loam soils. The permeability of the on-site soil is rapid in the subsoil and

the substratum. This indicates a moderate groundwater recharge capability. Therefore, there will be no significant impact on the on-site soils.

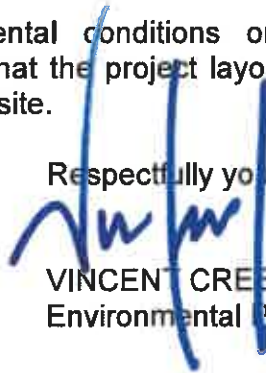
8. Currently the site consist of open lawn areas, a cemetery (in use since 1965), an office building, a garage, two (2) mausoleum buildings, two (2) sheds, paved internal access drives, concrete walks and limited landscaping features. There will be a very minimal impact to on-site vegetation, as proposed improvements will take place in an area with only minor existing landscaping. No specimen trees will be lost as a result of these proposed improvements. In order to introduce more vegetation in this area, a Landscape Plan is being submitted under separate cover which will provide additional plantings. Therefore, the proposed improvements will not have a significant impact to the on-site vegetation.
9. Wildlife and wildlife habitat are limited on-site due to the limited vegetation on-site along with the existing character of the property. Currently areas surrounding the site are developed in the existing features section of this report. A review of records from the NJDEP GeoWeb patched base search indicated no record of rare or endangered species or habitat present on site. It is not anticipated that the proposed site improvements will have any significant effect on the wildlife populations on-site as they have indeed already adapted to the limited vegetation on-site and those proximate to the site.
10. The ambient noise in the vicinity of the site is primarily a product of the vehicular traffic on Gordon Rd. and the NJ Turnpike. As previously mentioned, it is not anticipated that the proposed improvements to the site will create any significant change in the vehicular traffic in the area. Therefore, the construction of the proposed improvements will have no significant impact on the ambient noise in the area once construction is completed.
11. As the proposed use is for accessory to and similar to existing use. There will be no change to the population in the area. There will be fiscal impact on services, such as, county, schools, utilities and sanitation as result of the proposed improvements.

The demography of the area will not be affected, as the proposed improvements will be an accessory use to the site. Therefore, the proposed improvements should have no impact on population and no impact on demography.

12. The land use for the site conditionally conforms to the RR Zone use. The surrounding land uses to the north is undeveloped & residential, south is the NJ Turnpike, east is Sharon Elementary School and west of the site is the Community Park. Therefore, there will be no change in land use as a result of the proposed improvements
13. There are no unusual aesthetic features associated with the project site. Further it is not listed on the National or State Registers of Historic Places. Therefore, the proposed improvements will not result in any destruction or change to any unusual aesthetic or historical features on-site.
14. The site is not located in a flood zone
15. Figures 1 thru 4 are attached at the end of this report for your use in evaluating the site.

After a review of the environmental conditions on-site, as well as the proposed improvements, it is our conclusion that the project layout represents the most suitable and environmentally sound layout for the site.

Respectfully yours,



VINCENT CREEVY, P.L.S.
Environmental Project Manager

cc: Princeton Memorial Park



Phone:
 732-546-3800 NJ
 718-576-2033 NY
 215-867-8150 PA
 732-546-3334 FAX

PO Box 28
 MARLBORO, NJ 07746
 info@atlanticleak.com
 Lic. #13VH06621700

www.AtlanticLeak.com • www.PrivateUtilityLocators.com

Date 9/15 Time In 9 Time Out 12

JOB

Name Princeton Memorial Park
 Address 403 Gordon Rd
 City Robbinsville State NJ Zip 08691
 Phone _____ Cell 732 939 7666
 Site Contact Larry Nikola

BILLING

Name _____
 Address _____
 City _____ State _____ Zip _____
 Phone _____ Cell _____
 E-Mail _____

SERVICE

- UTILITY LOCATE
- UST LOCATE
- CONCRETE SCANNING
- OTHER _____

LOCATE

- GAS
- ELECTRIC
- COMMUNICATION
- OTHER _____
- WATER
- SEWER
- UST

CUSTOMER ACKNOWLEDGEMENT AND RESPONSIBILITIES

- AS-BUILT PLANS, SURVEYS OR UTILITY MAPS ONSITE YES NO PARTIAL / INCOMPLETE
- POTHOLE BEFORE DIGGING OR DRILLING TO VERIFY DEPTH & LOCATION OF UTILITIES
- STAY 24" FROM MARKINGS WHEN DIGGING OR DRILLING
- HAND DIG WITHIN 24" OF MARKED UTILITIES

x Nikola

FIELD REPORT AND RECOMMENDATIONS:

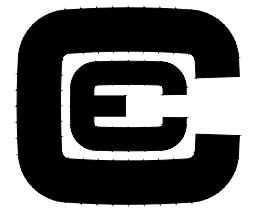
free dig zone. Radar use to define safe obstruction
No unexplained anomalies. Crematory location.

HALF DAY UP TO <u>4</u> HOURS \$ <u>975</u>	\$ <u>975</u>
FULL DAY UP TO _____ HOURS \$ _____	\$ _____
LOCATE FEE / _____	\$ _____
ADD'L HRS _____ @ \$ _____ PER HOUR	\$ _____
ADD'L EXPENSES _____	\$ _____
TRAVEL / ZONE CHARGE _____	\$ _____
TAX <u>Exempt</u> % (IF APPLICABLE)	\$ _____
TOTAL DUE	\$ <u>975</u>

This agreement will be expressly subject to the terms and conditions printed on the reverse side here-of.
 By signing below, customer agrees to the terms and price.

CUSTOMER SIGNATURE X Nikola

DATE _____



**CONCEPT
ENGINEERING
CONSULTANTS, P.A.**

MORE THAN 50 YEARS OF SERVICE

PROFESSIONAL ENGINEERS - LAND SURVEYORS
123 ROUTE #33, SUITE 204,
MANALAPAN, NJ 07726
PH : 732-792-2750 FAX : 732-792-2740

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PROJECT:
PRELIMINARY AND FINAL SITE
PLAN

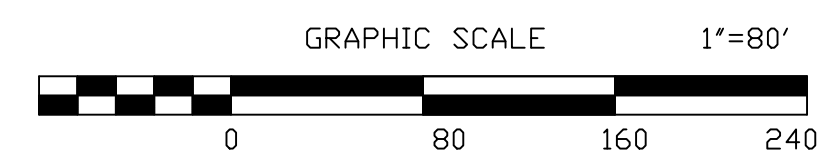
FOR
**PRINCETON
MEMORIAL PARK**

LOT 6 BLOCK 23

TOWNSHIP OF
ROBBINSVILLE
MERCER COUNTY
NEW JERSEY

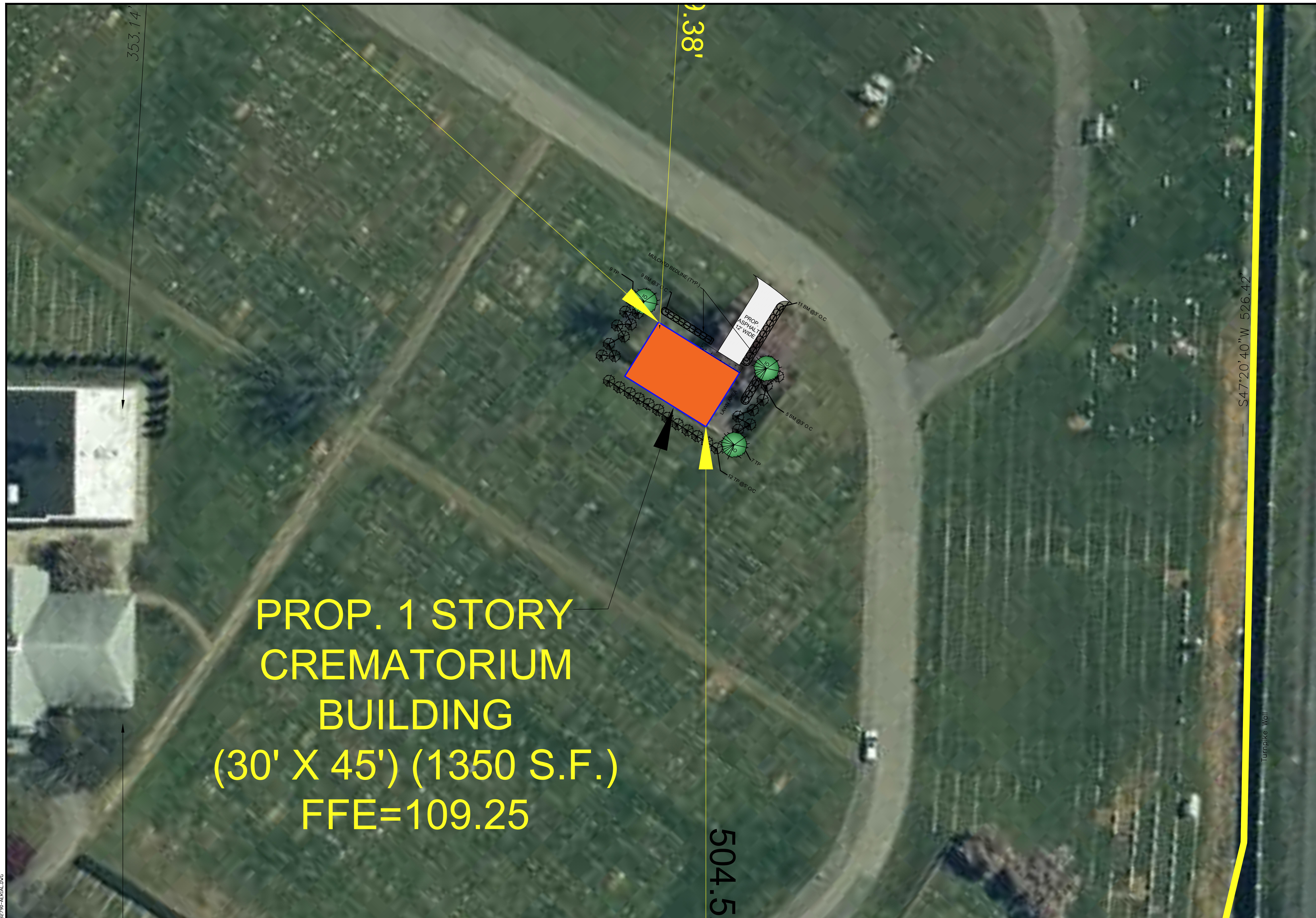
TITLE:
EXHIBIT-SITE PLAN
AERIAL 1

JOHN J. PLOSKONKA
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER: GE15511

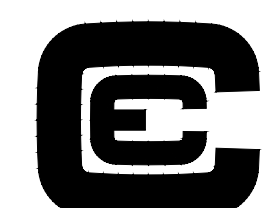


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CHECKED BY:	JJP		
DRAWING NAME:	32790.DWG		
PROJECT NUMBER:	32790		1

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**PROP. 1 STORY
CREMATORIUM
BUILDING
(30' X 45') (1350 S.F.)
FFE=109.25**



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PROJECT:
PRELIMINARY AND FINAL SITE PLAN
FOR
**PRINCETON
MEMORIAL PARK**

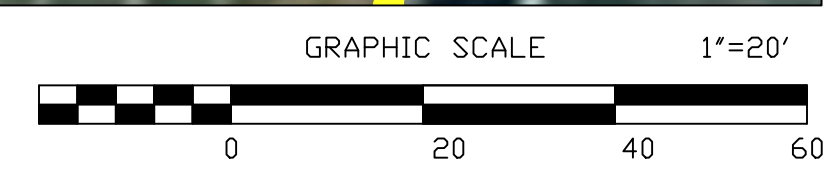
LOT 6 BLOCK 23

TOWNSHIP OF
ROBBINSVILLE
MERCER COUNTY
NEW JERSEY

TITLE:
EXHIBIT-SITE PLAN
AERIAL
-ENLARGEMENT

JOHN J. PLOSKONKA
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER: GE15511

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CHECKED BY:	JJP		
DRAWING NAME:	32790.DWG		
PROJECT NUMBER:	32790		1



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200 FT CERTIFIED OWNERS LIST

September 8, 2023 10:49 AM TOWNSHIP OF ROBBINSVILLE Block and Lot Listing Page No: 1

Block:	Lot:	Name	Street Address	City, State	Zip
23	6	PRINCETON MEMORIAL PARK	403 GORDON ROAD	ROBBINSVILLE NJ	08691
23	1	PRINCETON MEMORIAL PARK ASSOCIATION	403 GORDON ROAD	ROBBINSVILLE NJ	08691
23	2	ROBBINSVILLE BOARD OF EDUCATION	PO BOX 387	WINDSOR NJ	08561
24	1	TOWNSHIP OF ROBBINSVILLE	117 ROUTE 130	ROBBINSVILLE NJ	08691
23	1.01	TOWNSHIP OF ROBBINSVILLE	1 WASHINGTON BLVD., STE 9	ROBBINSVILLE NJ	08691
23	1.02	TOWNSHIP OF ROBBINSVILLE	1 WASHINGTON BLVD., STE 9	ROBBINSVILLE NJ	08691



September 8, 2023

I Tianna Thompson, Land Use Coordinator, do hereby certify the following to be a certified tax list of property owners within 200 feet of: Block 23, Lot 6 located in the Township of Robbinsville, County of Mercer.

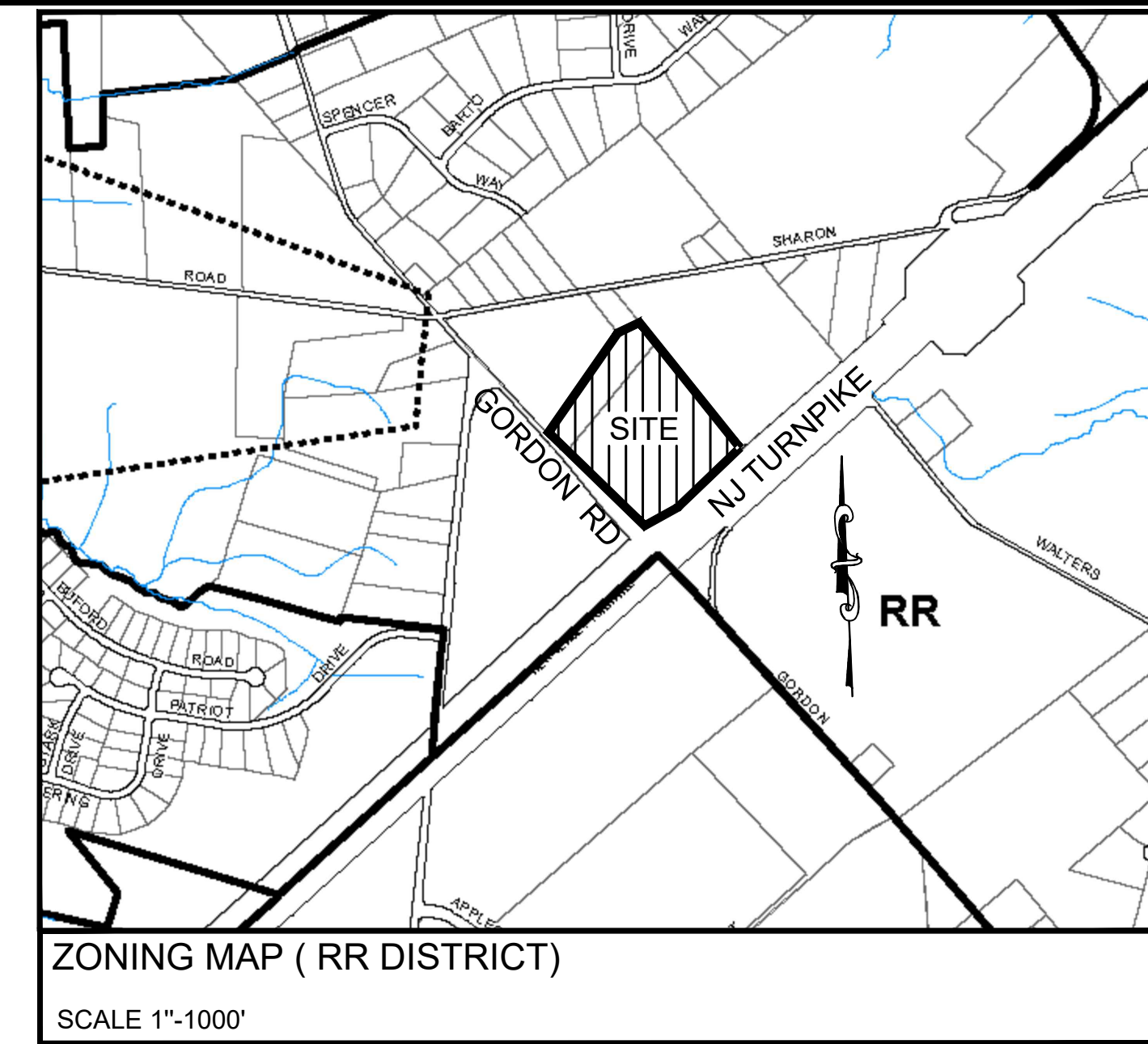
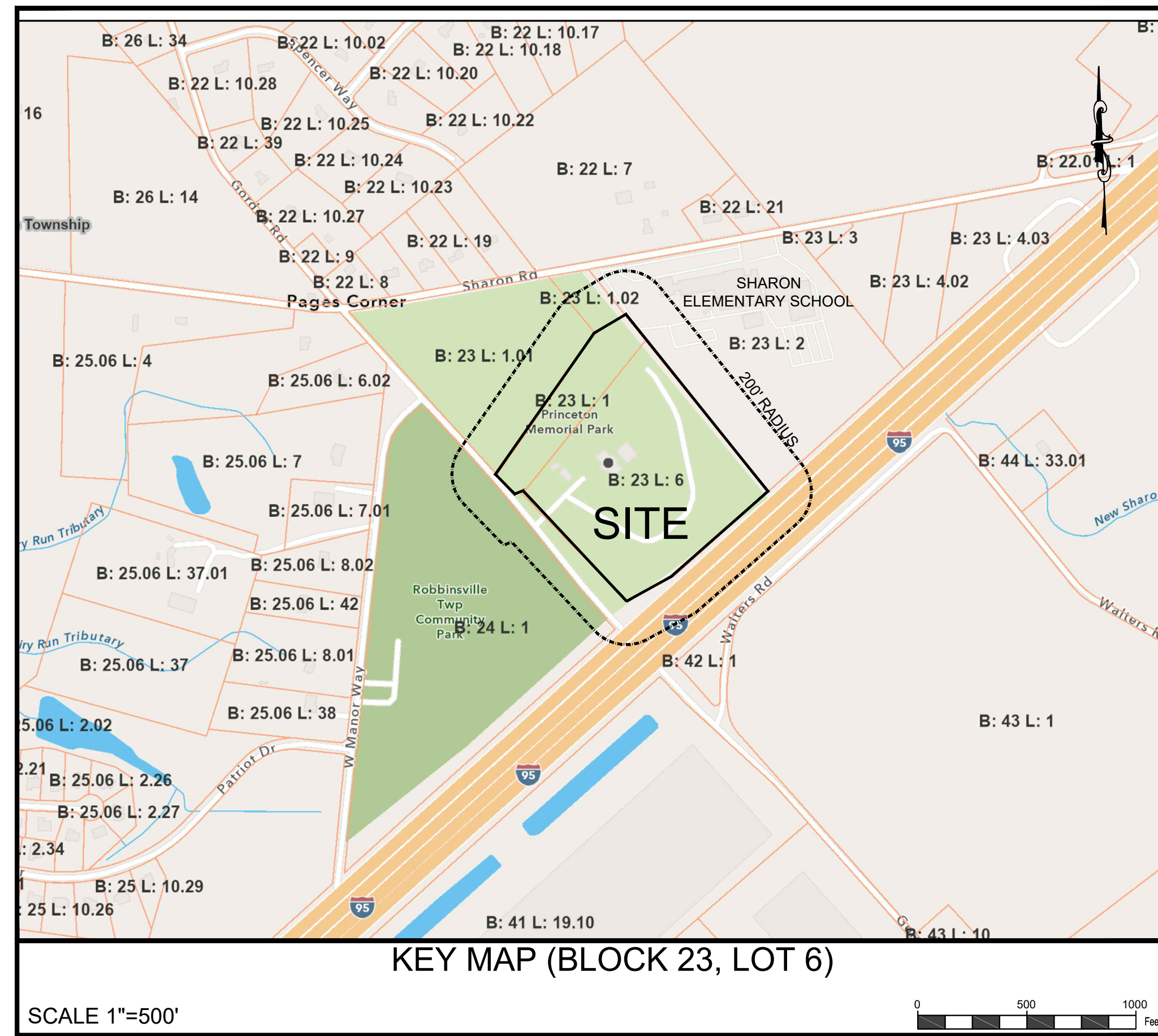
Mercer County Planning Board 640 S. Broad Street, P.O. Box 8068 Trenton, NJ 08650-0068	NIDOT PO Box 600 Trenton, NJ 08625
Randy N. Good Outside Plant Supervisor Manager Cablevision 2137 Hamilton Avenue Hamilton, NJ 08619	Public Service Electric & Gas Manager – Corporate Properties 80 Park Plaza, T6B Newark, NJ 07102
James Barbato, PE Regional Manager Aqua NJ, Inc. 10 Black Forest Road Hamilton, NJ 08691	Robert R. Erickson, PE, CCIM AT&T One AT&T Way Room 38216G Bedminster, NJ 07921
Version William Higgins, Senior Right-of-Way Agent 175 West Main Street Freehold, NJ 07728	Donald Olivo, Real Estate Dept. Jersey Central Power & Light 300 Madison Ave, PO Box 1911 Morristown, NJ 07962
Township of Robbinsville Division of Utilities 56 Robbinsville-Allentown Rd. Robbinsville, NJ 08691	See attached Property List

INDEX OF SHEETS

- 1 OF 7 COVER SHEET
- 2 OF 7 PLAN OF SURVEY
- 3 OF 7 SITE PLAN
- 4 OF 7 LANDSCAPE AND LIGHTING PLAN
- 5 OF 7 STANDARD CONSTRUCTION DETAILS
- 6 OF 7 SOIL EROSION AND SEDIMENT CONTROL PLAN
- 7 OF 7 SOIL EROSION AND SEDIMENT CONTROL NOTES

PRELIMINARY AND FINAL MAJOR SITE PLAN
PRINCETON MEMORIAL PARK
BLOCK 23, LOT 6

ROBBINSVILLE TOWNSHIP, MERCER COUNTY, NEW JERSEY



PROPERTY NOTES

- PROPERTY IS KNOWN AND DESIGNATED AS LOT 6 IN BLOCK 23 LOCATED IN THE TOWNSHIP OF ROBBINSVILLE, NJ, MERCER COUNTY, NJ.
- THE PROPERTY CONTAINS A TOTAL TRACT OF ±19.7 AC.
- THE PURPOSE OF THIS APPLICATION IS TO CONSTRUCT A 1,350 SF 1 STORY CREMATORIUM STRUCTURE.
- A 3.1' A "C" VARIANCE IS REQUIRED FOR THE SIZE OF THE PROPOSED ACCESSORY STRUCTURE. WHEREAS, A 576 SF STRUCTURE WITH NO DIMENSION GREATER THAN 24' IS PERMITTED AND A 1,350 SF STRUCTURE IS PROPOSED WITH DIMENSIONS OF 30 FT X 45 FT.
- 3.2 D-3 VARIANCE RELIEF IS REQUIRED FOR THE EXISTING CEMETERY USE AS THE CEMETERY DOES NOT MEET THE CONDITIONAL USE REQUIREMENTS PER TWP. 142-610. AS THERE ARE NO CEMETERY GATES ON SITE.
- THE PROPERTY IS LOCATED IN THE RURAL RESIDENTIAL (RR) ZONING DISTRICT.
- ZONE RR BULK DEVELOPMENT REGULATIONS

AREA	REQUIRED	PROVIDED
MIN. AREA	87,120 SF	857,473 SF
INTERIOR LOT REQUIREMENTS		
MIN LOT FRONTAGE	250 FT	824.90 FT
MIN LOT WIDTH	250 FT	864.65 FT
MIN LOT DEPTH	300 FT	870.53 FT
YARD REQUIREMENTS		
PRINCIPAL BUILDINGS		
MIN FRONT SETBACK	STAGGERED RANGING FROM 75-200 FT	200.29 FT (EX. OFFICE)
MIN SIDE SETBACK	50 FT	236.03 FT (EX. OFFICE)
MIN REAR SETBACK	50 FT	353.14 FT (EX. MAUSOLEUM)
MAX BUILDING COVERAGE	10%	1.38% (11,808 SF)
ACCESSORY BUILDINGS		
MIN FRONT SETBACK	60 FT	183.22 FT (EX. SHED)
MIN SIDE SETBACK	30 FT	109.92 FT (EX. SHED)
MIN STREET SIDE SETBACK	60 FT	685.00 FT (EX. SHED)
MIN REAR SETBACK	10 FT	647.00 FT (EX. SHED)
MAX BUILDING COVERAGE	2%	0.43% (3,695 SF)
MAX BUILDING HEIGHT (PRINCIPAL)		
STORIES	2.5	<2.5 (EXIST)
HEIGHT	35 FT	<35 (EXIST)
MIN USEABLE AREA	25,000SF	
PROPOSED CREMATORIUM STRUCTURE BUILDING HEIGHT	< 15 FT	
PROPOSED IMPERVIOUS AREA	1,900 SF	
PROPOSED AREA OF DISTURBANCE	4,200 SF	
PROPOSED CREMATORIUM STRUCTURE BUILDING HEIGHT	< 15 FT	
PROPOSED ACCESSORY STRUCTURE SETBACKS		
MIN. FRONT SETBACK	60 FT	502.52'(GORDON RD) 257.03 (NJ TURNPIKE)
MIN. SIDE SETBACK	30 FT	712.24'
MIN. REAR SETBACK	10 FT	297.68'
MAX. AREA OF ACCESSORY STRC.	576 SF	1350 SF (V)

6. THE PROPOSED PROJECT IS NOT CONSIDERED A MAJOR STORM WATER DEVELOPMENT UNDER NJDEP STORM WATER MANAGEMENT RULES AS LESS THAN .25 ACRES OF NEW MOTOR VEHICLE/IMPERVIOUS SURFACE IS PROPOSED AND LESS THAN 1 ACRE OF DISTURBANCE IS PROPOSED. THUS, NO STORM WATER MANAGEMENT HAS BEEN PROVIDED FOR THIS MINOR DEVELOPMENT UNDER THE APPLICATION.

7. THE PROPOSED PROJECT IS EXEMPT FROM MERCER COUNTY SOIL EROSION APPROVAL AS THE LIMIT OF DISTURBANCE IS LESS THAN 5000 SF.

8. FINAL LOCATION OF PROPOSED GAS SERVICE LATERAL AND GAS METER LOCATION TO BE DETERMINED BY UTILITY COMPANY.

9. ALL PROPOSED UTILITIES (GAS/ELECTRIC) ARE TO BE INSTALLED UNDERGROUND. FINAL LOCATION OF ALL UTILITIES AND METERS TO BE DETERMINED BY RESPECTIVE UTILITY COMPANY.

10. ALL ROOF DOWNSPOUTS TO BE TIED INTO TO PROPOSED 6" PVC ROOF LEADER AND CONNECTED TO THE PROPOSED INLET #1.

GENERAL NOTES

- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSE OF MUNICIPAL AGENCY REVIEW AND APPROVAL ONLY. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED BY THE ENGINEER AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION BY CONTACTING THE UNDERGROUND UTILITY PLANT LOCATION SERVICES (1-800-272-1000) TO OBTAIN A MARK OUT OF THE UTILITIES.
- WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIAL AND SIZE. TEST PIT INFORMATION SHALL BE GIVEN TO THE DESIGN ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON, AND/OR IF SUCH CONDITIONS IN THE CONTRACTOR'S OPINION SHOULD OR COULD RENDER THE DESIGNS SHOWN HEREON AS INAPPROPRIATE OR INEFFECTIVE.
- ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE ONE OR MORE OF THE FOLLOWING:
 - NJ DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS CURRENTLY AMENDED.
 - CURRENT, PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.

OWNER/APPLICANT:

APPLICANT: PRINCETON MEMORIAL PARK ASSOC. INC
ADDRESS: 600 CR. 520 MARLBORO, NJ 07746
EMAIL: LN@MEMPROP.COM
PHONE: 732-834-9600

OWNER: JILLISA BAUM
ADDRESS: 600 CR 520 MARLBORO, NJ 07746
EMAIL: JILL@MEMPROP.COM
PHONE: 732-834-9600

APPROVED AS A PRELIMINARY AND FINAL MAJOR SITE PLAN BY THE PLANNING BOARD OF THE TOWNSHIP OF ROBBINSVILLE, MERCER COUNTY, NEW JERSEY, AT A MEETING HELD ON _____

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

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PRELIMINARY AND FINAL SITE PLAN
FOR
PRINCETON MEMORIAL PARK

LOT 6 BLOCK 23

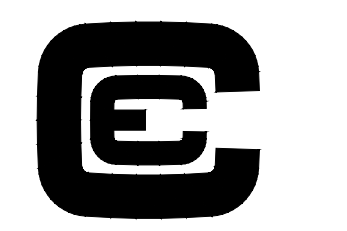
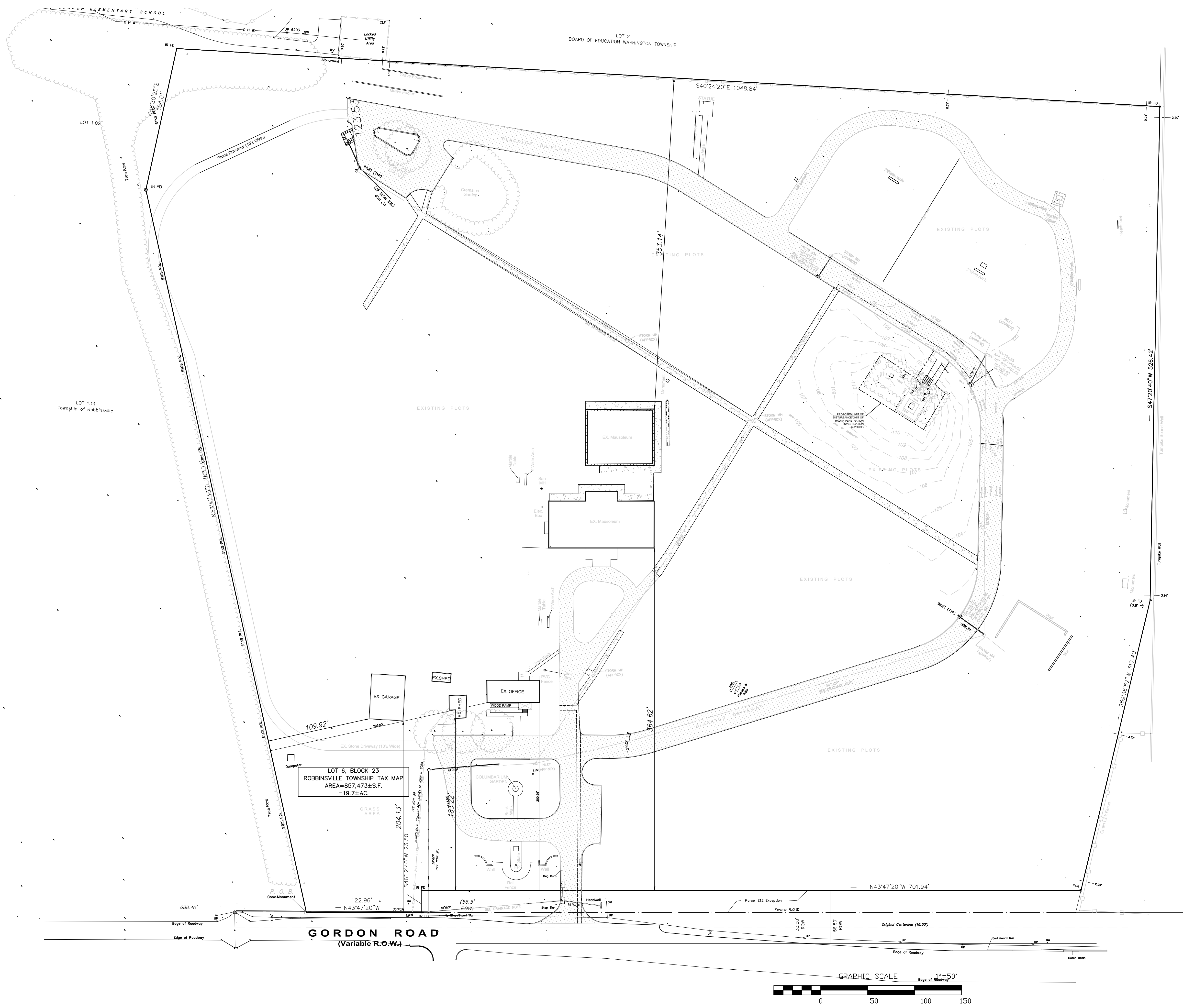
TOWNSHIP OF ROBBINSVILLE
MERCER COUNTY
NEW JERSEY

COVER SHEET

JOHN J. PLOSKONKA
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER: GE15511

DATE:	02/06/24	DRAWING:	
SCALE:	AS SHOWN		
DRAWN BY:	HM		1
CHECKED BY:	JJP		7
DRAWING NAME:	32790.DWG		
PROJECT NUMBER:	32790		

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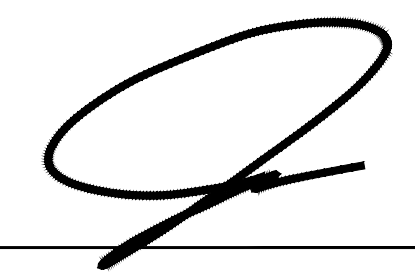
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PROJECT:
 PRELIMINARY AND FINAL SITE PLAN
 FOR
PRINCETON MEMORIAL PARK

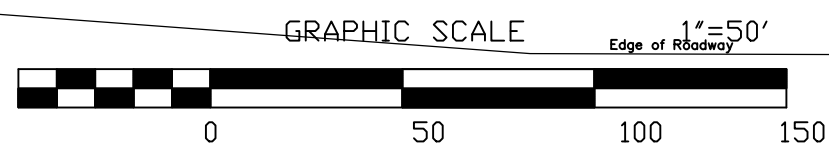
 LOT 6 BLOCK 23

 TOWNSHIP OF ROBBINSVILLE
 MERCER COUNTY
 NEW JERSEY

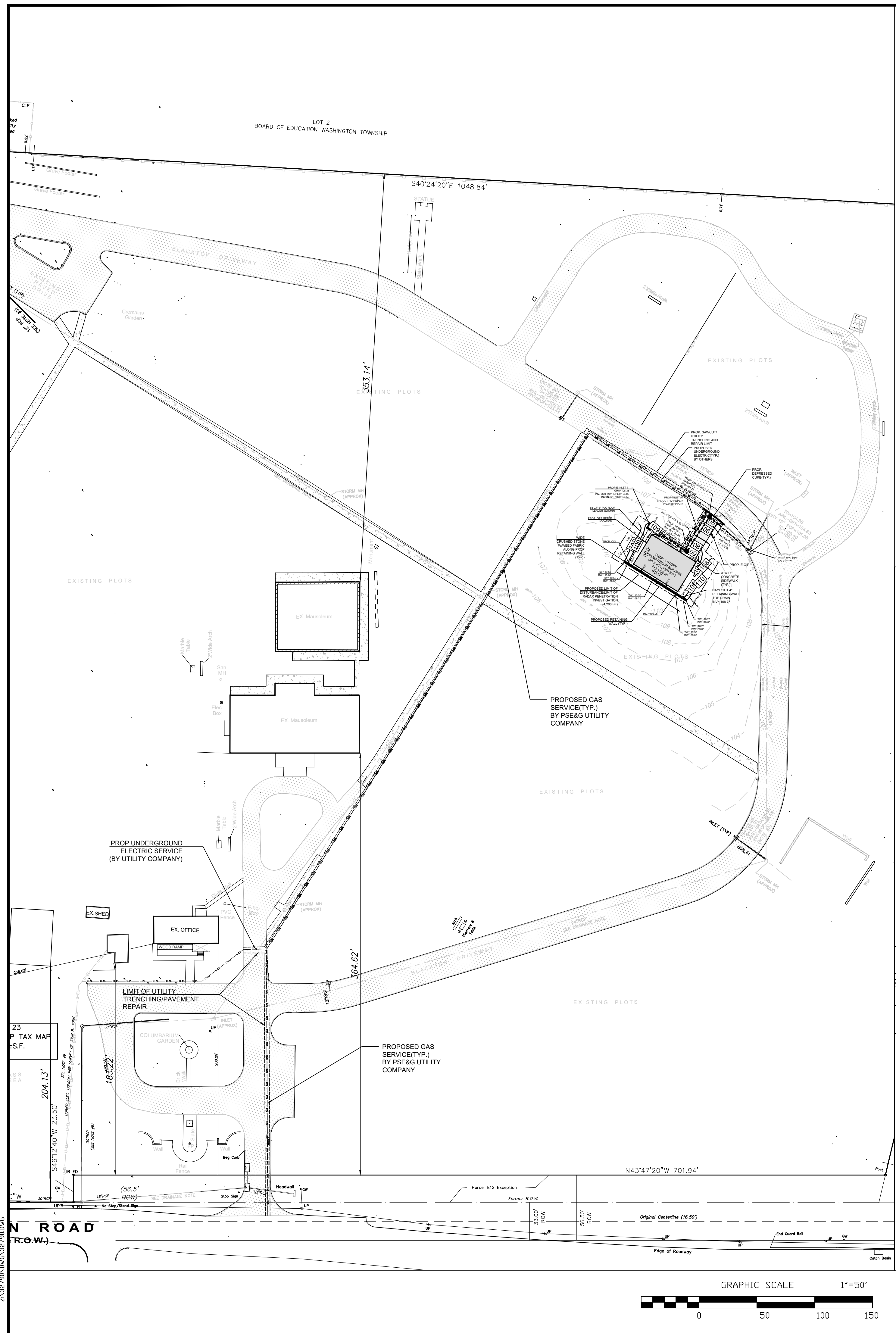
TITLE:
PLAN OF SURVEY


JOHN J. PLOSKONKA
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER: GE15511

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PROJECT NUMBER:	32790		



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PROPERTY NOTES

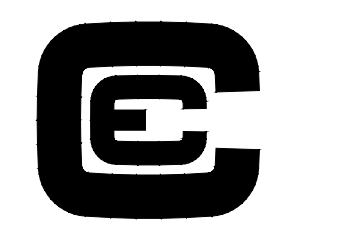
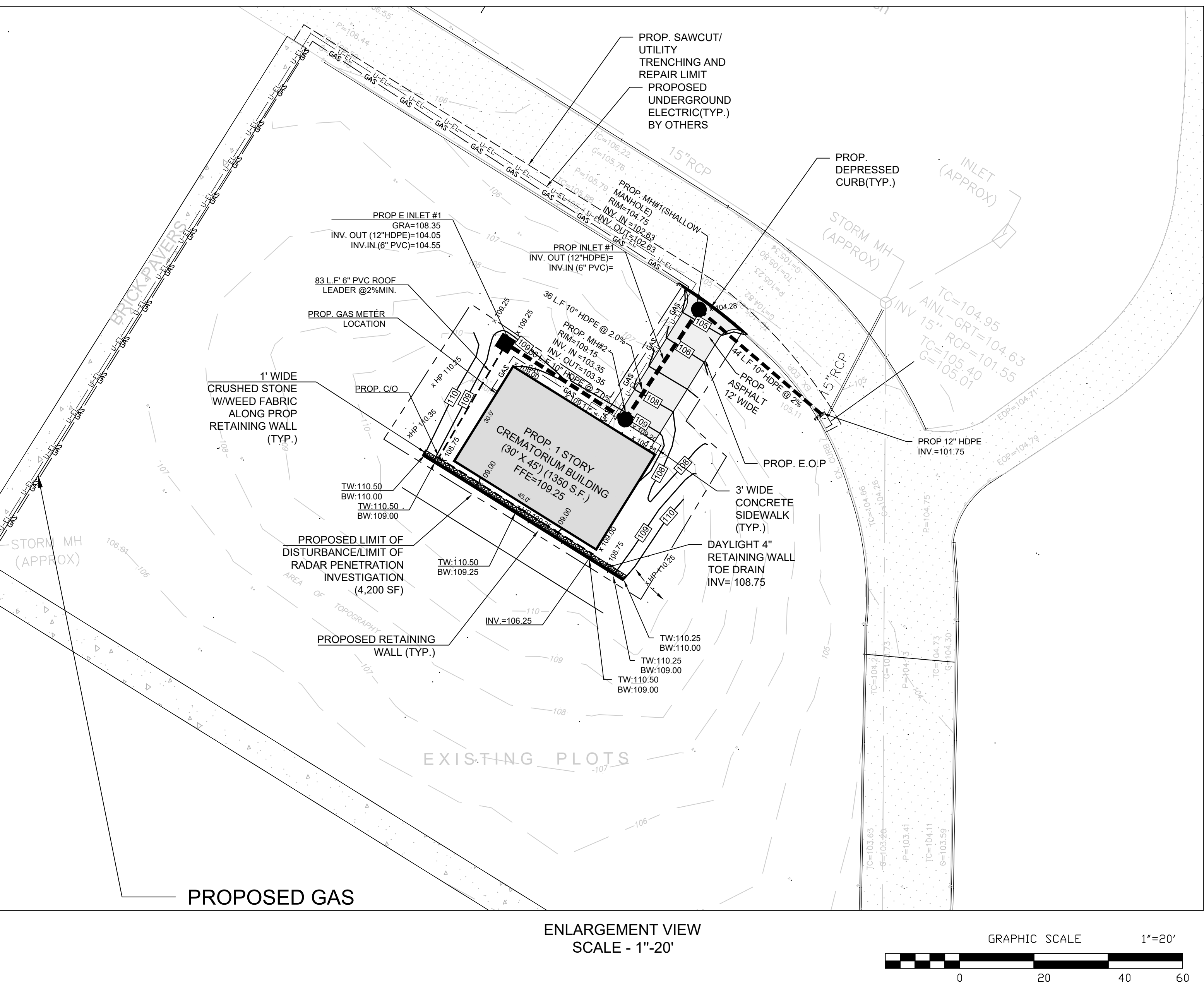
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- THE PROPERTY CONTAINS A TOTAL TRACT OF 419.7 AC.
- THE PURPOSE OF THIS APPLICATION IS TO CONSTRUCT A 1,350 SF 1 STORY CREMATORIUM STRUCTURE.
- A 1" VARIANCE IS REQUIRED FOR THE SIZE OF THE PROPOSED ACCESSORY STRUCTURE. INSTEAD, A 576 SF STRUCTURE WITH NO DIMENSION GREATER THAN 24' IS PERMITTED AND A 1,350 SF STRUCTURE IS PROPOSED WITH DIMENSIONS OF 30 FT X 45 FT.
- 3.2 D-3 VARIANCE RELIEF IS REQUIRED FOR THE EXISTING CEMETERY USE AS THE CEMETERY DOES NOT MEET THE CONDITIONAL USE REQUIREMENTS PER TWP 142-410. AS THERE ARE NO CEMETERY GATES ON SITE.
- THE PROPERTY IS LOCATED IN THE RURAL RESIDENTIAL (RR) ZONING DISTRICT.
- ZONE RR BLX DEVELOPMENT REGULATIONS

AREA	REQUIRED	PROVIDED
MIN. AREA	87,120 SF	857,473 SF
INTERIOR LOT REQUIREMENTS		
MIN LOT FRONTAGE	250 FT	824.90 FT
MIN LOT WIDTH	250 FT	864.65 FT
MIN LOT DEPTH	300 FT	870.53 FT
YARD REQUIREMENTS		
PRINCIPAL BUILDINGS		
MIN FRONT SETBACK	STAGGERED RANGING FROM 75-200 FT	200.29 FT (EX. OFFICE)
MIN. SIDE SETBACK	50 FT	236.03 FT (EX. OFFICE)
MIN. REAR SETBACK	50 FT	353.14 FT (EX. MAUSOLEUM)
MAX. BUILDING COVERAGE	10%	1,388 (11,808 SF)
ACCESSORY BUILDINGS		
MIN FRONT SETBACK	60 FT	183.22 FT (EX. SHED)
MIN. SIDE SETBACK	30 FT	109.92 FT (EX. SHED)
MIN. STREET SIDE SETBACK	60 FT	685.00 FT (EX. SHED)
MIN. REAR SETBACK	10 FT	847.00 FT (EX. SHED)
MAX. BUILDING COVERAGE	2%	14.3K (1,995 SF)
MAX. BUILDING HEIGHT (PRINCIPAL)	2.5	<2.5 (EXIST)
STORIES	2.5	<2.5 (EXIST)
HEIGHT	35 FT	<35 (EXIST)
MIN. USEABLE AREA	25,000SF	

PROPOSED CREMATORIUM STRUCTURE BUILDING HEIGHT < 15 FT
 PROPOSED IMPERVIOUS AREA - 1,900 SF
 PROPOSED AREA OF DISTURBANCE - 4,200 SF
 PROPOSED CREMATORIUM STRUCTURE BUILDING HEIGHT < 15 FT
 PROPOSED ACCESSORY STRUCTURE SETBACKS

	REQUIRED	PROVIDED
MIN. FRONT SETBACK	60 FT	502.52 (GORDON RD) 257.03 (NJ TURNPIKE)
MIN. SIDE SETBACK	30 FT	712.24'
MIN. REAR SETBACK	10 FT	297.68'
MAX. AREA OF ACCESSORY STRUC.	576 SF	1,350 SF (V)

- THE PROPOSED PROJECT IS NOT CONSIDERED A MAJOR STORM WATER DEVELOPMENT UNDER NJDEP STORM WATER MANAGEMENT RULES AS LESS THAN 25 ACRES OF NEW MOTOR VEHICLE IMPERVIOUS SURFACE IS PROPOSED AND LESS THAN 1 ACRE OF DISTURBANCE IS PROPOSED. THIS, NO STORM WATER MANAGEMENT HAS BEEN PROVIDED FOR THIS MINOR DEVELOPMENT UNDER THIS APPLICATION.
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- ALL ROOF DOWNSPOUTS TO BE TIED INTO PROPOSED 4" PVC ROOF LEADER AND CONNECTED TO THE PROPOSED INLET #1.



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PROJECT:

PRELIMINARY AND FINAL SITE PLAN

FOR

PRINCETON MEMORIAL PARK

LOT 6 BLOCK 23

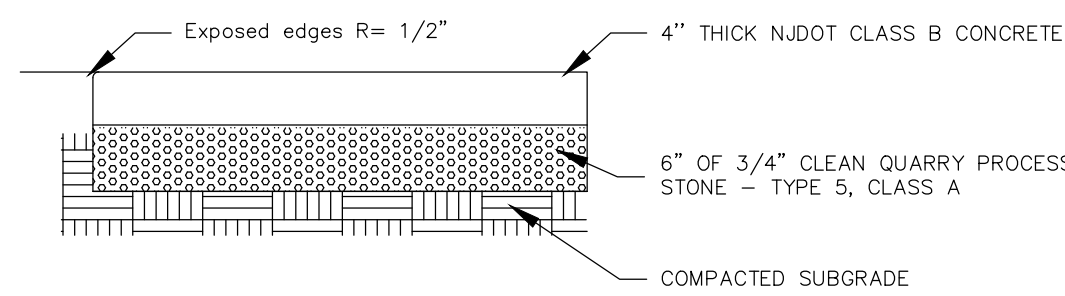
TOWNSHIP OF ROBINNSVILLE
MERCER COUNTY
NEW JERSEY

TITLE:

SITE PLAN

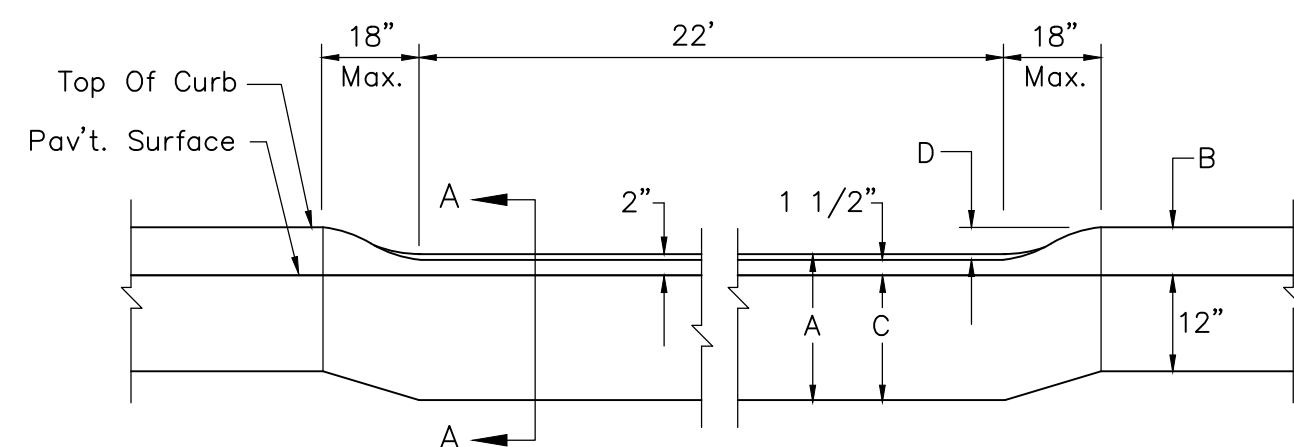
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CHECKED BY:	JJP		
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NOTES:
1.) SURFACE OF CONCRETE TO HAVE A LIGHT BROOM AND PICTURE FRAME FINISH.

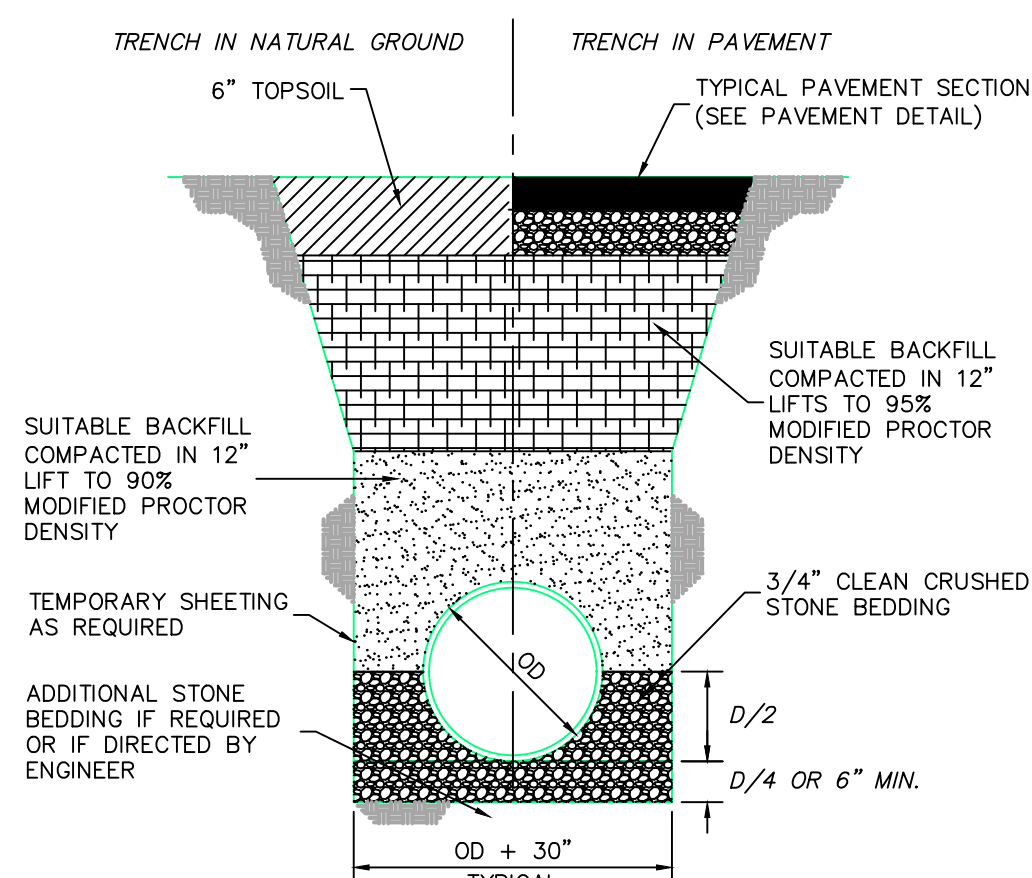
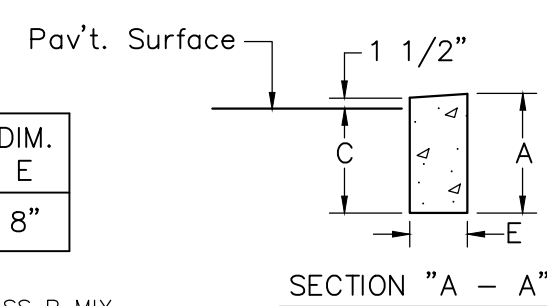
CONCRETE SIDEWALK DETAIL
NTS



CURB SIZE	DIM. A	DIM. B	DIM. C	DIM. D	DIM. E
8" x 18"	18"	6"	16"	4 1/2"	8"

NOTES:
1. CONCRETE SHALL BE NDOT CLASS B MIX.
2. CONCRETE SHALL HAVE BRUSH FINISH.

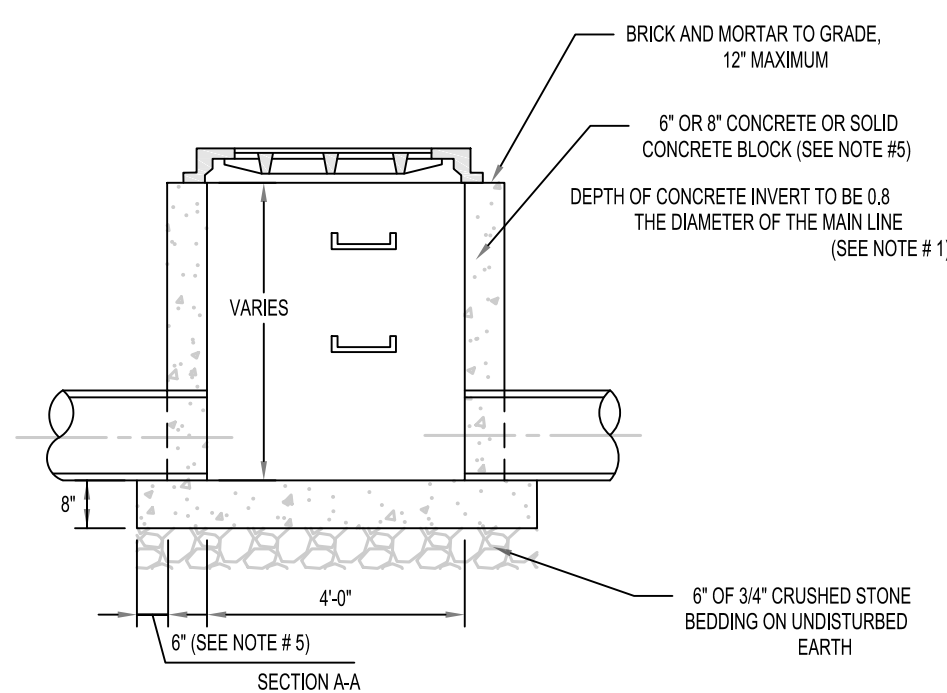
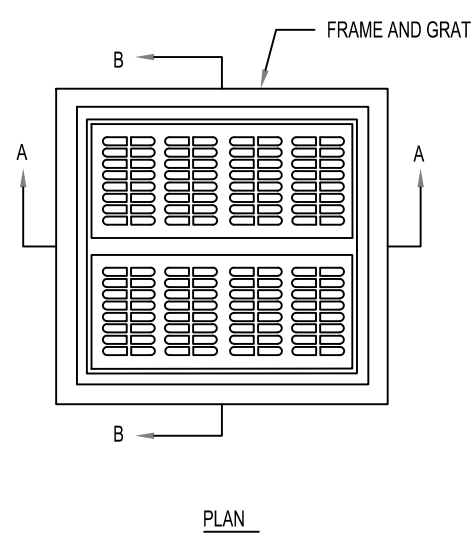
DEPRESSED CURB DETAIL(TYP.)
NTS



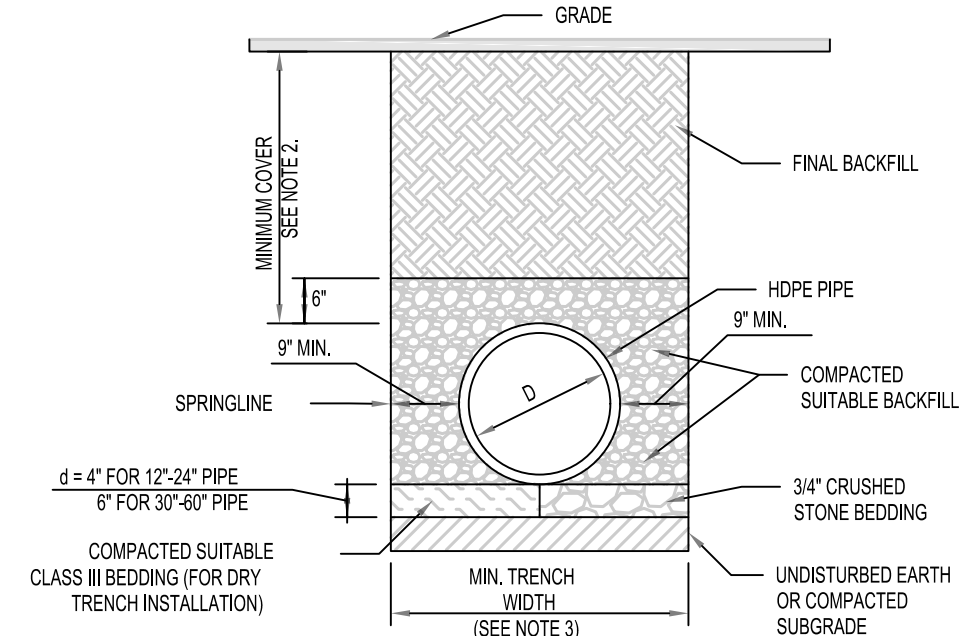
TYPICAL TRENCH + PIPE BEDDING DETAIL
NTS

NOTES:

- INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. BOTTOMS SHALL BE DISHED AND SLOPED TOWARDS THE OUTLET PIPE AT A RATE OF GRADE OF 2 INCHES PER FOOT.
- THIS INLET MAY BE CONSTRUCTED OF CONCRETE, PRECAST CONCRETE, OR SOLID CONCRETE BLOCK. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALLS JOINTS SHALL BE STRUCK AND POINTED.
- PROVIDE 7/8" DIA. X 1" X 12" ALUMINUM LADDER RUNGS, 12" O.C. OR COPOLYMER POLYPROPYLENE PLASTIC STEPS WITH 1/2" DIA. GRADE 60 STEEL REINFORCEMENT BY M.A. INDUSTRIES, P52/PF OR P52/B WITH PRECAST PRESS FIT INSERTS, 12" O.C. OR APPROVED EQUIVALENT.
- INLET FRAME AND GRATES TO BE CAMPBELL FOUNDRY PATTERN # 3425 OR APPROVED EQUAL.
- WHEN DEPTH IS GREATER THEN 12" THE WALLS SHOULD BE EITHER 8" THICK CONCRETE OR 8" SOLID CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
- ALL CONCRETE TO BE NDOT CLASS "B".
- IN ACID SOILS, TWO COATS OF BITUMASTIC WATER PROOFING SHALL BE APPLIED PER MANUFACTURERS SPECIFICATION.
- INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH H-20 LOADING REQUIREMENTS.

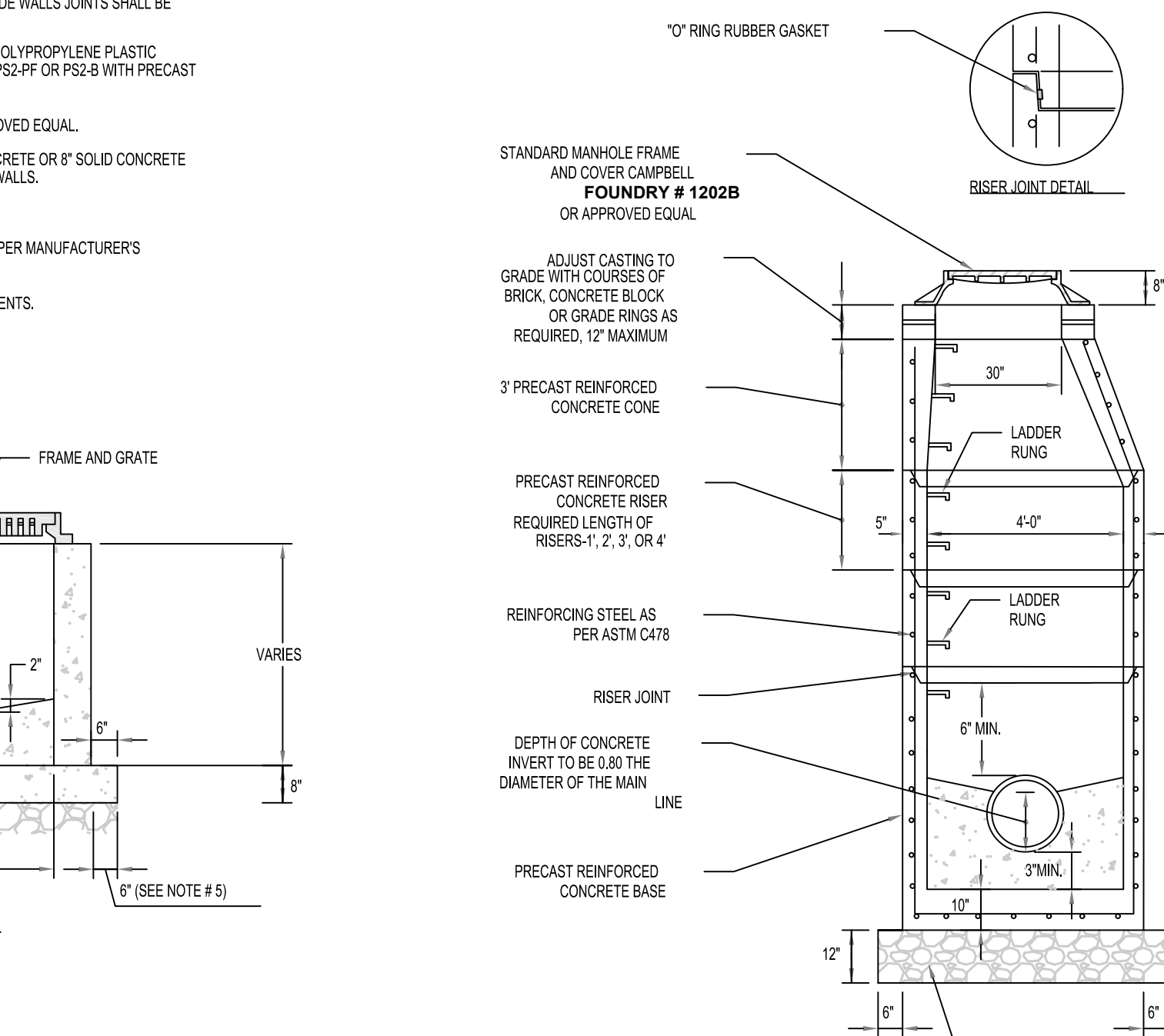


TYPE "E" INLET DETAIL
NTS



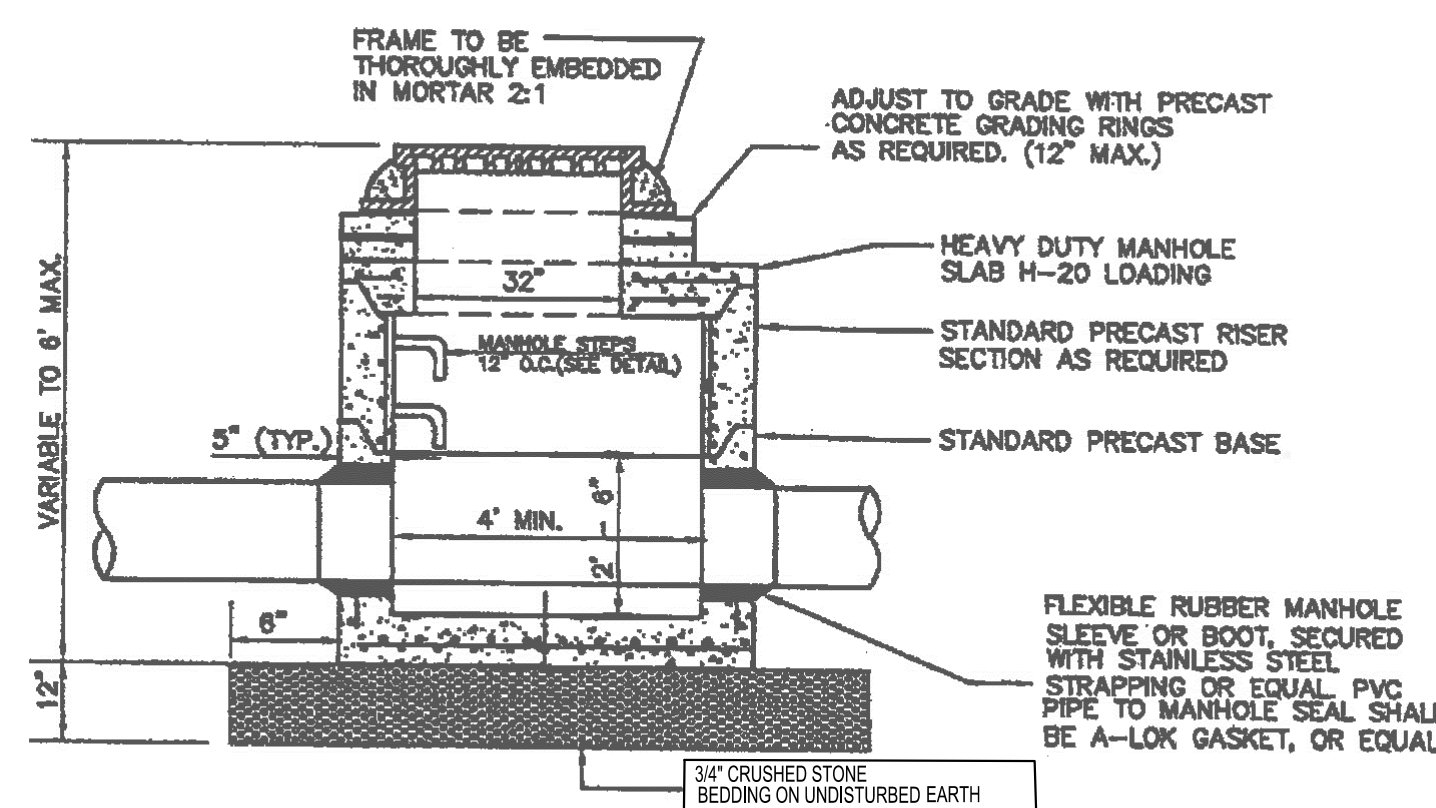
- NOTES:
- ALL PIPE SYSTEMS AND BACKFILL SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321.
 - MINIMUM COVER FOR HDPE PIPES IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR UP TO 60" DIAMETER PIPE. PIPE COVER IS MEASURED FROM TOP OF PIPE TO THE BOTTOM OF FLEXIBLE PAVEMENT, OR TO THE TOP OF RIGID PAVEMENT, OR TO THE GROUND SURFACE.
 - MINIMUM TRENCH WIDTH PER MANUFACTURERS RECOMMENDATIONS.

HDPE STORM PIPE BEDDING DETAIL

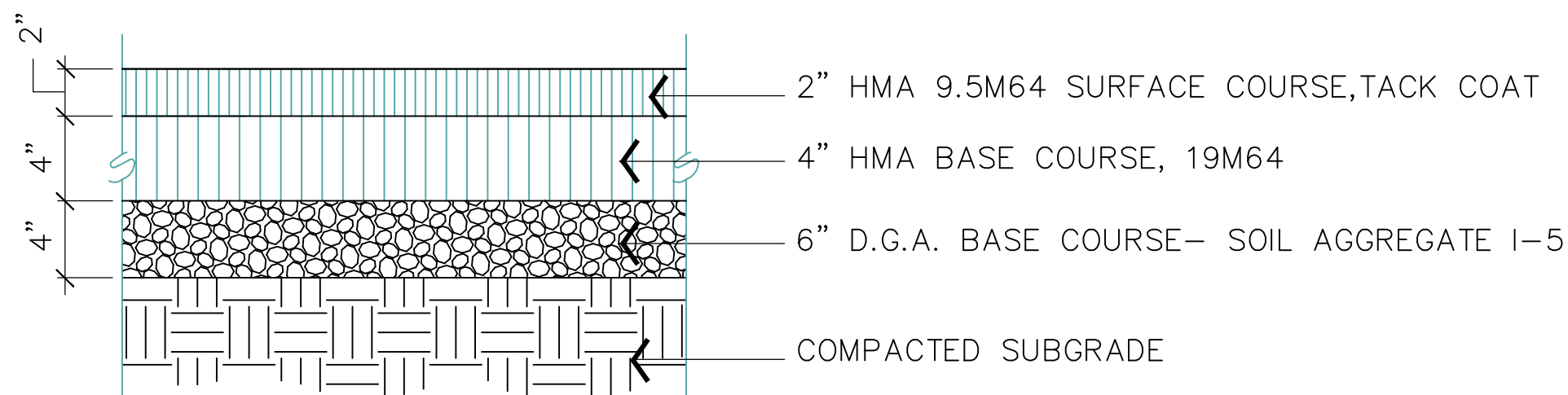


- NOTE:
- IN ACID SOILS, TWO COATS OF BITUMASTIC WATER PROOFING SHALL BE APPLIED PER MANUFACTURERS SPECIFICATION.
 - ALL CONCRETE TO BE NDOT CLASS "B".

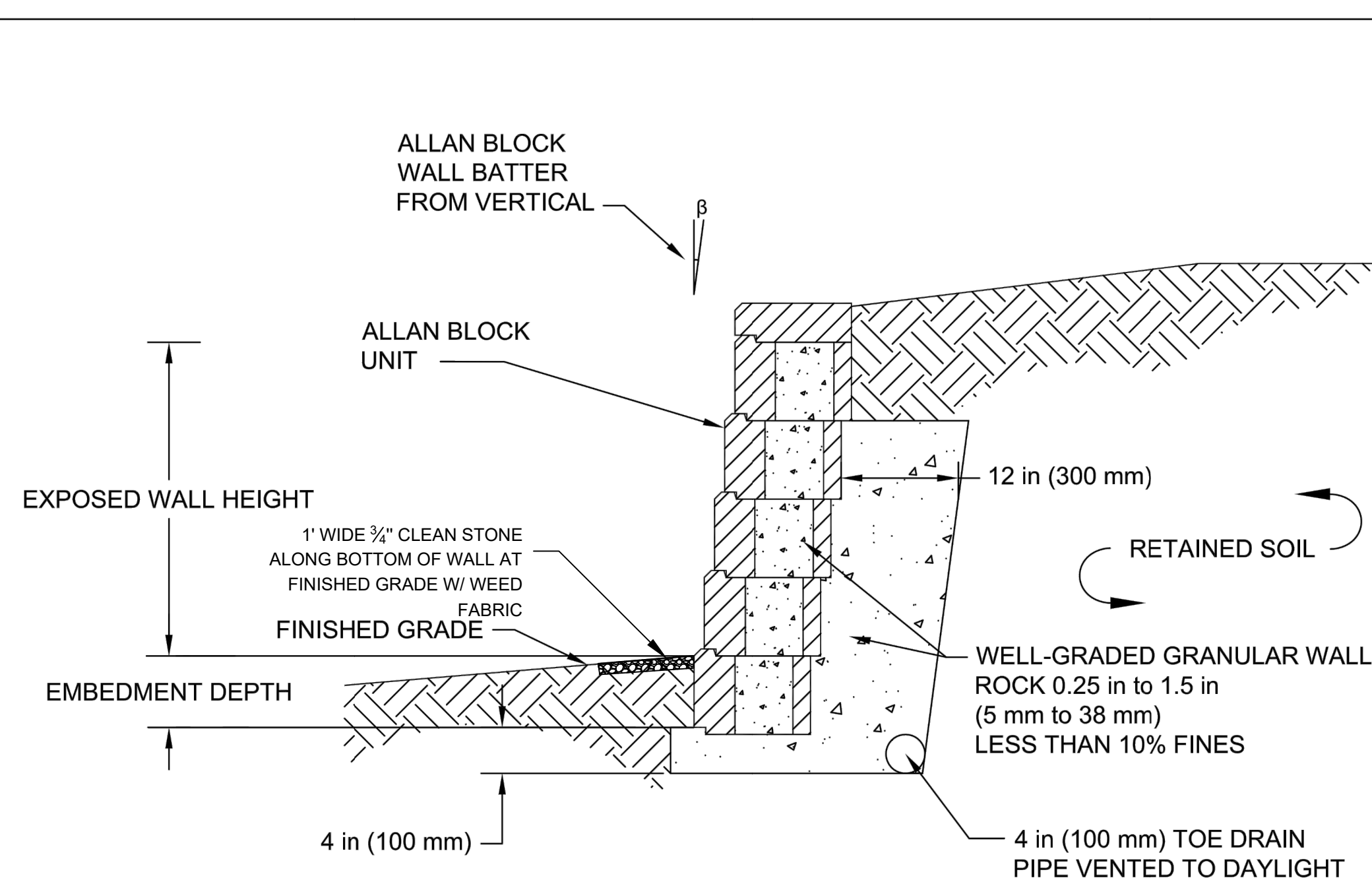
PRECAST CONCRETE STORM MANHOLE 4' DIA. DETAIL



STANDARD SHALLOW MANHOLE
N.T.S.



ASPHALT PAVEMENT
NTS



Designed By:	Title:	TYPICAL GRAVITY WALL SECTION	Date:
Checked By:		The purpose of this drawing is for preliminary design only. This drawing should not be used for final design or construction without the certification of a professional engineer registered in the state in which the wall will be built. The accuracy and use of details contained in this document are the sole responsibility of the user. The user must verify each detail for accuracy as they pertain to their particular project.	Project No:
Scale:			Drawing No:
NOT TO SCALE			

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811
PROTECT YOURSELF
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REV	DESCRIPTION	DATE / BY
1	ENG. REVIEW #1	05/13/24 HM
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PROJECT:
PRELIMINARY AND FINAL SITE PLAN
FOR
PRINCETON MEMORIAL PARK

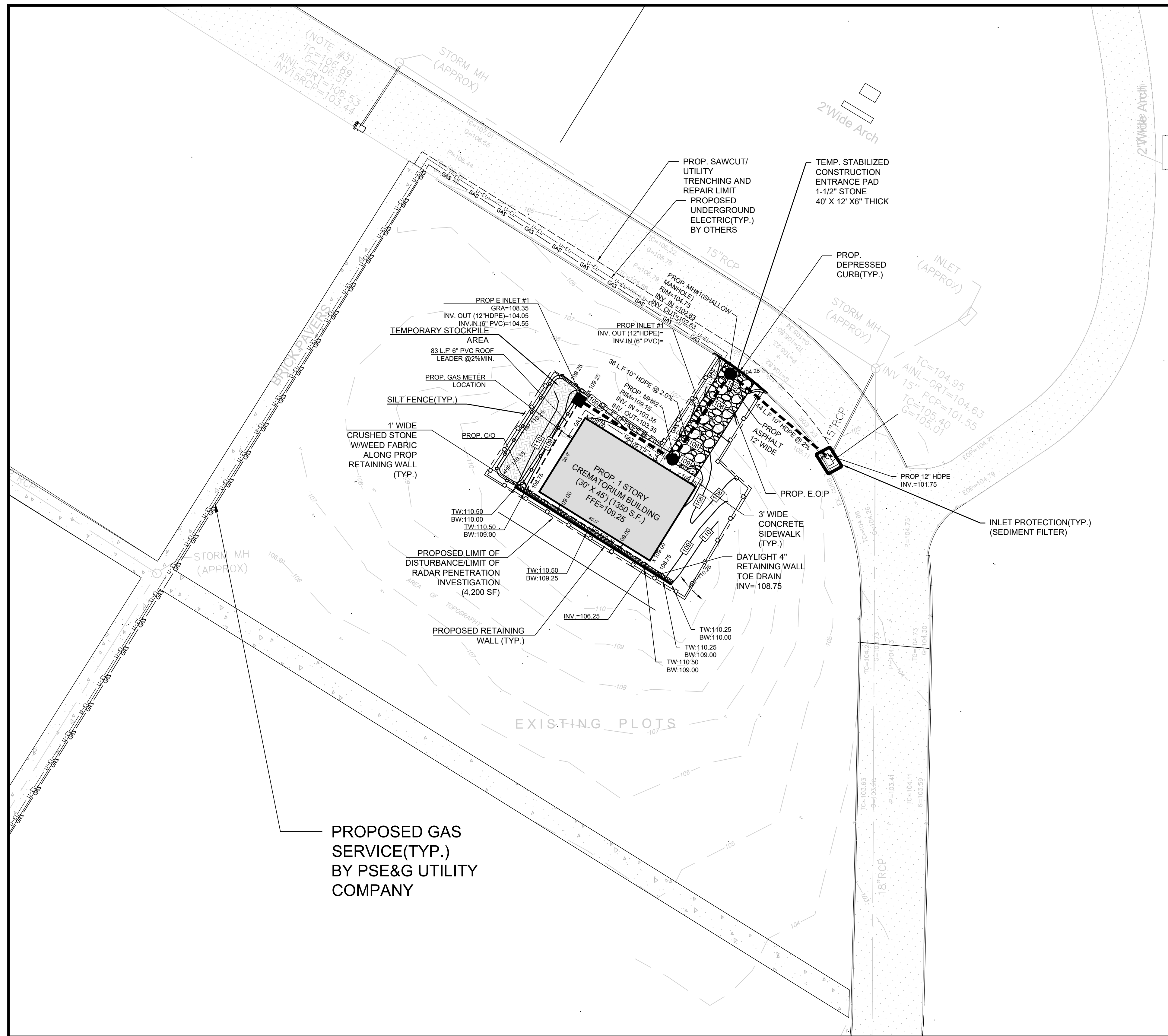
LOT 6 BLOCK 23

TOWNSHIP OF ROBBINSVILLE
MERCER COUNTY
NEW JERSEY

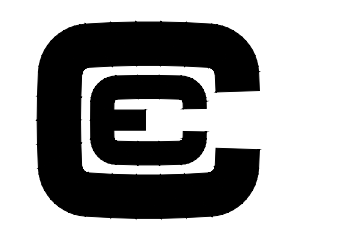
TITLE:
STANDARD CONSTRUCTION DETAILS

JOHN J. PLOSKONKA
NEW JERSEY PROFESSIONAL ENGINEER
LICENSE NUMBER: GE15511

DATE:	02/06/24	DRAWING:	
SCALE:	AS SHOWN		
DRAWN BY:	HIM		5
CHECKED BY:	JJP		
DRAWING NAME:	32750.DWG		
PROJECT NUMBER:	32750		7



TOTAL DISTURBANCE - 4,660SF (0.11 AC.)
 IMPERVIOUS AREA- 1,900 SF (0.044 AC.)



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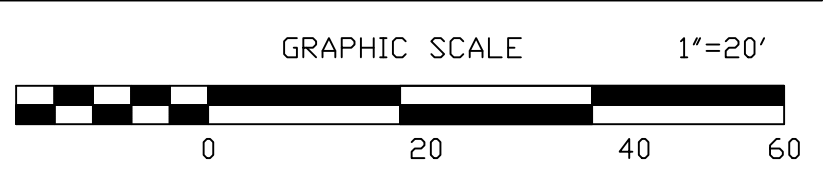
REV	DESCRIPTION	DATE / BY
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PROJECT:
 PRELIMINARY AND FINAL SITE PLAN
 FOR
PRINCETON MEMORIAL PARK
 LOT 6 BLOCK 23
 TOWNSHIP OF ROBBINSVILLE
 MERCER COUNTY
 NEW JERSEY

TITLE:
SOIL EROSION AND SEDIMENT CONTROL PLAN

JOHN J. PLOSKONKA
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE NUMBER: GE15511

DATE:	02/06/24	DRAWING:	6 7
SCALE:	AS SHOWN		
DRAWN BY:	HM		
CHECKED BY:	JJP		
DRAWING NAME:	32790.DWG		
PROJECT NUMBER:	32790		



Z:\32790.DWG\32790.DWG

SOIL EROSION AND SEDIMENT CONTROL NOTES

- The Freehold Soil Conservation District shall be notified forty-eight (48) hours in advance of any soil disturbing activity.
- All Soil Erosion and Sediment Control practices are to be installed prior to soil disturbance, or in their proper sequence, and maintained until permanent protection is established.
- Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards.
- Artificially Occupied Areas (AOA) shall be certified by the District before the project commences. AOA shall be certified by the District before the project commences. AOA shall be certified by the District before the project commences.
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TEMPORARY STABILIZATION SPECIFICATIONS

- Site Preparation**
 - Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading shall be done in accordance with Standards for Land Grading, pg. 19-1.
 - Install needed erosion control practices or facilities such as diversions, grade stabilization through 42.
 - Immediately prior to seeding, the surface should be scarified 6" to 12" where there has been soil compaction. This is permissible only where there is no danger to underground utilities (cables, irrigation systems, etc.).
- Seedbed Preparation**
 - Apply ground limestone and fertilizer according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample molarities are available from the local Rutgers Co-operative Extension offices.
 - Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-20-10 or equivalent water soluble nitrogen unless a soil test indicates otherwise.
 - Apply limestone at the rate determined by soil testing. Calcium carbonate is the equivalent and standard for measuring the ability of liming materials to neutralize soil acidity and supply calcium and magnesium to grasses and legumes.
- Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with a disc, spring-tooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.**
- Inspect seedbed just before seeding. If traffic has left the soil compacted, the area must be retilled in accordance with the above.
- Soils high in sulfides or having a pH of 4 or less refer to Standard for Management of High Acid Producing Soils, pg. 1-1.
- Limiting Rates shall be established via soil testing.
- Apply seed mixtures as follows:
 - ZONE 6b:**
 - Cool Season Mix
 - Perennial ryegrass at 100 pounds per acre or 1 pound per 1,000 square feet, March 1 thru May 15 and August 15 thru October 1, to a depth of 0.5 inches, OR;
 - Spring oats at 80 pounds per acre or 2 pounds per 1,000 square feet, March 1 thru May 15 and August 15 thru October 1, to a depth of 1 inch, OR;
 - Winter barley at 90 pounds per acre or 2.2 pounds per 1,000 square feet, August 15 thru October 1, to a depth of 1 inch, OR;
 - Annual ryegrass at 100 pounds per acre or 1 pound per 1,000 square feet, March 1 thru June 1 and August 1 thru September 15, to a depth of 0.5 inches, AND;
 - Winter cereal rye at 112 pounds per acre or 2.8 pounds per 1,000 square feet, August 1 thru November 15, to a depth of 1 inch, OR;
 - Warm Season Mix
 - Pearl millet at 20 pounds per acre or 0.5 pound per 1,000 square feet, May 15 thru August 15, to a depth of 1 inch, OR;
 - Millet (German or Hungarian) at 30 pounds per acre or 0.7 pound per 1,000 square feet, May 15 thru August 15, to a depth of 1 inch, OR;
- Mulch with unrotted salt hay or small grain straw immediately after seeding at a rate of 1.5 to 2 tons per acre or 70 to 90 pounds per 1,000 square feet and secure with peg and twine, mulch netting, crimpers or liquid mulch-binders.
- Where the season and other conditions may not be suitable for growing an erosion resistant cover or where stabilization is needed for a short period until more suitable protection can be applied, stabilization with mulch only may be utilized.

PERMANENT STABILIZATION SPECIFICATIONS

- Site Preparation**
 - Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading shall be done in accordance with Standard for Land Grading.
 - Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading.
 - Topsoil should be handled only when it is dry enough to work without damaging the substructure. A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be amended with organic matter, as needed, in accordance with the Standard for Topsoiling.
 - Install needed erosion control practices or facilities such as diversions, grade-stabilization structures, channel stabilization measures, sediment basins, and waterways.
- Seeded Preparation**
 - Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firm, according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample molarities are available from the local Rutgers Co-operative Extension offices (<http://ajpes.rutgers.edu/county/>). Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water soluble nitrogen unless a soil test indicates otherwise and incorporated into the surface 4 inches. If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half rate application of the same fertilizer within 3 to 5 weeks after seeding.
- Work lime and fertilizer into the topsoil as nearly as practical to a depth of 4 inches with a disc spring-tooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.
- High acid producing soil. Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seeded preparation. See Standard for Management of High Acid-Producing Soils for specific requirements.
- Apply seed mixtures as follows:
 - ZONE 6b, RESIDENTIAL AND COMMERCIAL AREAS:**
 - Perennial ryegrass at 45 pounds per acre or 1.0 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inches, AND
 - Hard fescue at 175 pounds per acre or 4.0 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inches, AND;
 - Kentucky bluegrass (blends) at 45 pounds per acre or 1.0 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inch.
 - ZONE 6a, DETENTION BASINS, SWALES, DITCHES, POND AND CHANNEL BANKS, BERMS, STRONG CREEPING RED FESCUE** at 130 pounds per acre or 3 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inches, AND;
 - Kentucky bluegrass at 50 pounds per acre or 1.1 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inch, AND;
 - Perennial ryegrass at 20 pounds per acre or 0.5 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inches, OR
 - Redtop at 10 pounds per acre or 0.25 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inch, PLUS;
 - White clover at 5 pounds per acre or 0.1 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inch.
- Mulch with unrotted salt hay or small grain straw immediately after seeding at a rate of 1.5 to 2 tons per acre or 70 to 90 pounds per 1,000 square feet and secure with peg and twine, mulch netting, crimpers or liquid mulch-binders.
- Where the season and other conditions may not be suitable for growing an erosion resistant cover or where stabilization is needed for a short period until more suitable protection can be applied, stabilization with mulch only may be utilized.

STABILIZATION WITH MULCH ONLY

- Site Preparation**
 - Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading shall be done in accordance with Standards for Land Grading.
 - Install needed erosion control practices or facilities such as diversions, grade stabilization structures, channel stabilization measures, sediment basins, and waterways. See Standards 11 through 42.
- Artificially Occupied Areas (AOA)** shall be certified by the District before the project commences. AOA shall be certified by the District before the project commences. AOA shall be certified by the District before the project commences.
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STANDARDS FOR DUST CONTROL

- To be utilized on exposed soil surfaces to prevent blowing and movement of dust to minimize on and off site damage and improve traffic safety.
- The following methods should be considered to control dust:
 - Mulches – see the standard for mulch.
 - Vegetative cover – see the standard for temporary vegetative cover and permanent cover.
 - Spay on adhesives – for use on mineral soils only. Not to be used on muck soils. Traffic must be kept off these areas.

Latex emulsion	Water	Apply rate
12.5:1	fine spray	235
4:1	fine spray	300
 - Tillage – this is a temporary emergency measure to roughen the surface and bring clods to the surface. This method should be used before soil starts blowing. Begin plowing in windward side of site. Chisel type plows with 12" spacing and spring tooth harrows may produce the desired effect.
 - Sprinkling – the site is sprinkled with water until damp as necessary to control dust.
 - Barriers – solid board fences, snow fences, burlap fences, crate walls, hay bales, and similar materials can be used to control air currents & soil blowing.
 - Calcium Chloride – should be used in accordance with the specified seed mixture. Time is of the essence to feed through commonly used spreaders at a rate that will keep surfaces moist but not cause pollution or plant damage. If used on steeper slopes, then use other practices to prevent washing into streams or accumulation around plants.
 - Stone – Cover surface with crushed stone or loose gravel.

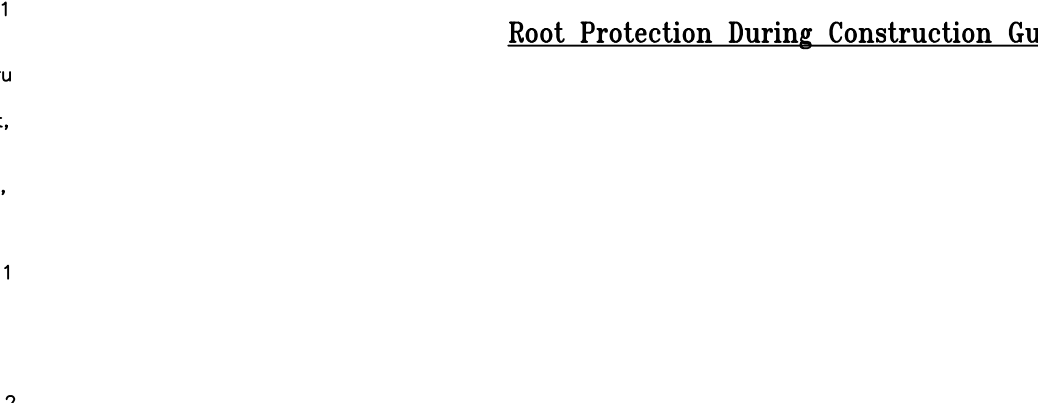
PROPOSED SEQUENCE OF DEVELOPMENT

- Provide tree protection fencing then perform site clearing operation. (1 day)
- Apply permanent seeding to a depth of 5 inches to the areas on the plans. (1 day)
- Install dug-in and staked hay bales or sediment barrier fencing as shown on the plans. (1 day)
- Install any utilities. (2 week)
- Install inlet filters as shown on plans.
- Begin building construction. (1 Month)
- Final grade driveway and other undisturbed areas. (5 days)
- Pave driveway. (2 day)
- Apply permanent seeding as per standards. (5 day)
- Perform soil compaction testing. (2 day)
- Finish building construction. (5 weeks)
- Install landscaping. (2 days)
- Remove silt/tree protection fence and inlet filters once permanent seeding is established. (1 day)

PERMANENT STABILIZATION SPECIFICATIONS

- Site Preparation**
 - Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application, and mulch anchoring. All grading shall be done in accordance with Standard for Land Grading.
 - Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading.
 - Topsoil should be handled only when it is dry enough to work without damaging the substructure. A uniform application to a depth of 5 inches (unsettled) is required on all sites. Topsoil shall be amended with organic matter, as needed, in accordance with the Standard for Topsoiling.
 - Install needed erosion control practices or facilities such as diversions, grade-stabilization structures, channel stabilization measures, sediment basins, and waterways.
- Seeded Preparation**
 - Uniformly apply ground limestone and fertilizer to topsoil which has been spread and firm, according to soil test recommendations such as offered by Rutgers Co-operative Extension. Soil sample molarities are available from the local Rutgers Co-operative Extension offices (<http://ajpes.rutgers.edu/county/>). Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water soluble nitrogen unless a soil test indicates otherwise and incorporated into the surface 4 inches. If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half rate application of the same fertilizer within 3 to 5 weeks after seeding.
- Work lime and fertilizer into the topsoil as nearly as practical to a depth of 4 inches with a disc spring-tooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.
- High acid producing soil. Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seeded preparation. See Standard for Management of High Acid-Producing Soils for specific requirements.
- Apply seed mixtures as follows:
 - ZONE 6b, RESIDENTIAL AND COMMERCIAL AREAS:**
 - Perennial ryegrass at 45 pounds per acre or 1.0 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inches, AND
 - Hard fescue at 175 pounds per acre or 4.0 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inches, AND;
 - Kentucky bluegrass (blends) at 45 pounds per acre or 1.0 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inch.
 - ZONE 6a, DETENTION BASINS, SWALES, DITCHES, POND AND CHANNEL BANKS, BERMS, STRONG CREEPING RED FESCUE** at 130 pounds per acre or 3 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inches, AND;
 - Kentucky bluegrass at 50 pounds per acre or 1.1 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inch, AND;
 - Perennial ryegrass at 20 pounds per acre or 0.5 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inches, OR
 - Redtop at 10 pounds per acre or 0.25 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inch, PLUS;
 - White clover at 5 pounds per acre or 0.1 pound per 1,000 square feet, March 1 thru October 15, to a depth of 0.25 to 0.5 inch.
- Mulch with unrotted salt hay or small grain straw immediately after seeding at a rate of 1.5 to 2 tons per acre or 70 to 90 pounds per 1,000 square feet and secure with peg and twine, mulch netting, crimpers or liquid mulch-binders.
- Where the season and other conditions may not be suitable for growing an erosion resistant cover or where stabilization is needed for a short period until more suitable protection can be applied, stabilization with mulch only may be utilized.

Root Protection During Construction Guide



MANAGEMENT OF HIGH ACID PRODUCING SOIL

- Limit the excavation area and exposure time when high acid producing soils are encountered.
- Topsoil stripped from the site shall be stored separately from temporarily stockpiled high acid producing soils.
- Stockpiles of high acid producing soil should be located on level land to minimize its movement, especially when this material has a high clay content.
- Temporarily stockpiled high acid producing soil material should be exposed more than 30 days should be covered with properly anchored, heavy grade sheets of polyethylene where possible. If not possible, stockpiles shall be covered with a minimum of 3 to 6 inches of wood chips to prevent erosion of the stockpile.
- Silt fence shall be installed at the toe of slope to contain movement of the stockpiled material. Topsoil shall not be applied to the stockpiles to prevent topsoil contamination with high acid producing soil.
- High acid producing soils with a pH of 4 or less, or containing iron sulfide, (including borrow from cuts) shall be ultimately placed or buried with limestone applied at the rate of 6 tons per acre (or 275 pounds per 1,000 square feet of surface area) and covered with a minimum of 12 inches of settled soil with a pH of 5 or more except as follows:
 - Areas where trees or shrubs are to be planted shall be covered with a minimum of 24 inches of soil with a pH of 5 or more.
 - Disposal areas shall not be located within 24 inches of any surface of a slope or bank, such as berms, stream banks, ditches and others to prevent potential lateral leaching damages.
- Equipment used for movement of high acid producing soils should be cleaned at the end of each day to prevent spreading of high acid soil materials to other parts of the site, into streams or stormwater conveyances and to protect machinery from accelerated rusting.
- Non vegetative erosion control practices (stone tracking pads, strategically placed limestone check dam, silt fence, wood chips) should be installed to limit the movement of high acid producing soils from, around or off the site.
- Following burial or removal of high acid producing soil, topsoiling and seeding of the site, (see Temporary Vegetative Cover for Soil Stabilization, pg. 7-1, Permanent Vegetative Cover for Soil Stabilization, pg. 4-1 and Topsoiling, pg. 8-1) monitoring should continue for approximately 6 to 12 months to assure there is adequate stabilization and that no high acid soil problems emerge. If problems still exist the affected area must be treated as indicated above to correct the problem.
- Monitoring of areas where high acid producing soil has been placed or buried should be performed for at least 2 years or longer if problems occur, to assure there is no migration of potential acid leachate.

METHODS AND MATERIALS FOR TOPSOILING

- Materials**
 - Topsoil should be friable, loamy, free of debris, objectionable weeds and stones, and contain no toxic substance or adverse chemical or physical condition that may be harmful to plant growth. Soluble salts should not be excessive (conductivity less than 0.5 millimhos per centimeter. More than 0.5 millimhos may desiccate seedlings and adversely impact growth). Imported topsoil shall have a minimum organic matter content of 2.75 percent. Organic matter content may be determined by the following methods:
 - Topsoil substitute is a soil material which may have been amended with sand, silt, clay, organic matter, fertilizer or lime and has the appearance of topsoil. Topsoil substitutes may be utilized on sites with insufficient topsoil for establishing permanent vegetation. All topsoil substitute materials shall meet the requirements of topsoil noted above. Soil tests shall be performed to determine the components of sand, silt, clay, organic matter, soluble salts and pH level.
 - Stripping and Stockpiling
 - Field exploration should be made to determine whether quantity and/or quality of surface soil justifies stripping.
 - Stripping shall be confined to the immediate construction area.
 - Where feasible, lime may be applied at a rate determined by soil tests to bring the soil pH to approximately 6.5.
 - A 4-6 inch stripping depth is common, but may vary depending on the particular soil.
 - Stockpiles of topsoil should be situated so as not to obstruct natural drainage or cause off-site environmental damage.
 - Stockpiles should be vegetated in accordance with standards previously described herein; see standards for Permanent (pg. 4-1) or Temporary (pg. 7-1) Vegetative Cover for Soil Stabilization. Weeds should not be allowed to grow on stockpiles.
 - Site Preparation
 - Grade at the onset of the optimal seeding period so as to minimize the duration and area of exposure of disturbed soil to erosion. Immediately proceed to establish vegetative cover in accordance with the specified seed mixture. Time is of the essence.
 - Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and anchoring, and maintenance.
 - See the Standard for Land Grading, pg. 19-1.
 - As guidance for ideal conditions, subsoil should be tested for lime requirement. Limestone, if needed, should be applied to bring soil to a pH of approximately 6.5 and incorporated into the soil as nearly as practical to a depth of 4 inches.
 - Prior to topsoiling, the subsoil shall be in compliance with the Standard for Land Grading, pg. 19-1.
 - Employ needed erosion control practices such as diversions, grade stabilization structures, channel stabilization measures, sedimentation basins, and waterways. See Standards 11 through 42.
- Applying Topsoil**
 - Topsoil should be handled only when it is dry enough to work without damaging soil structure; i.e., less than field capacity (see glossary).
 - A uniform application to an average depth of 5.0 inches, minimum of 4 inches, firm in place is required. Alternative depths may be considered where a special regulatory and/or industry design standards are appropriate such as on golf courses, sports fields, landfill capping, etc.. Soils with a pH of 4.0 or less or containing iron sulfide shall be covered with a minimum depth of 6 inches of soil having a pH of 5.0 or more, in accordance with the Standard for Management of High Acid Producing Soil (pg. 1-1).
 - Pursuant to the requirements in Section 7 of the Standard for Permanent Vegetative Stabilization, the contractor is responsible to ensure that permanent vegetative cover becomes established on at least 80% of the soils to be stabilized with vegetation. Failure to achieve the minimum coverage may require additional work to be performed by the contractor to include some or all of the following: supplemental seeding, application of lime and fertilizers, and/or the addition of organic matter (i.e. compost) as a top dressing. Such additional measures shall be based on soil tests such as those offered by Rutgers Cooperative Extension Service or other approved laboratory facilities qualified to test soil samples for agronomic properties.

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

Soil De-Compaction Testing Requirements

- Subgrade soils prior to the application of topsoil (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
- Areas of the site which are subject to compaction testing and/or mitigation are graphically denoted on the certified soil erosion control plan.
- Compaction testing locations are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction remediation form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
- In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

Compaction Testing Methods

Soil Compaction Testing Requirements

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- In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform

EXHIBIT-HYDRANT LOCATIONS 05-13-24

PRINCETON MEMORIAL PARK ASSOC INC. BLOCK 23 LOT 6 LU24-03-04



May 1, 2024

Tianna Thompson, Board Secretary
Robbinsville Township Technical Review Committee

RE: Princeton Memorial Park Assoc. Inc.
New Crematorium
Preliminary/Final Major Non-Residential Site Plan, Bulk Variance
Block 23, Lot 6
LU24-03-04

Dear TRC Members:

An application has been submitted for Preliminary/Final Site Plan approval for the construction of a new 1,350 square foot crematorium building within the Princeton Memorial Park cemetery. The proposed building will house a cremation unit and other related equipment. The applicant is seeking bulk variance relief for the proposed building; 576 square feet is permitted for an accessory structure where 1,350 is proposed. The property is located within the Rural Residential (RR) zoning district.

- I. The following material was submitted:
 - General Land Use Application dated 3/21/2024 prepared by Lawrence Nikola.
 - Administrative Site Plan Checklist dated 3/21/2024 prepared by John J. Ploskonka PE
 - Proposed Operations Statement dated 3/21/2024 prepared by Lawrence Nikola.
 - Environmental Impact Statement dated 3/19/2024 prepared by John J. Ploskonka, PE of Concept Engineering Consultants.
 - Ground Penetrating Radar report dated 9/15/2023 prepared by Atlantic Leak Detection & Utility Locating.
 - Preliminary/Final Major Site Plan dated 2/6/2024 prepared by John J. Ploskonka, PE of Concept Engineering Consultants.

- II. Completeness

The application is tentatively deemed incomplete by the Administrative Officer and shall be revised and resubmitted for review and comment prior to action by the Technical Review Committee.

- III. ZONING ANALYSIS

Property known as Princeton Memorial Park and is designated as lot 6 in block 23 located in RR (Rural Residential Zone), is a 20-acre existing cemetery that offers in-ground and above ground crypts and cremation niches since 1965. As per 142-13 D (3) in Robbinsville's land use code,

mausoleums and columbariums are permitted conditional uses with a minimum of four (4) acres and the site must be extensively landscaped with a gated entrance.

IV. Comments

1. Provide a completed Bulk Zoning Chart for the proposed accessory structure on the plan. **-PROPOSED ACCESORY BUILDING SETBACKS ADDED TO ZONING CHAR**
 2. Show/label setbacks to the proposed structure. **-LABELS ADDED TO SHEET #3**
 3. Cemeteries are a conditional use in the RR Zoning District provided the site is a minimum of 4 Ac., the site is extensively landscaped, and contains gates, per 142-61C. It does not appear that cemetery gates exist, therefore **D-3 variance relief is required. -NOTE ADDED TO COVER SHEET**
 4. The plans list the proposed building as 30 ft. x 45 ft. totaling 1,350 sq. ft. Per 142- 33(B)2, the maximum ground area of an accessory structure is 576 sq. ft. nor shall any dimension be longer than 24 ft. **'C' variance relief is required. -NOTE ADDED**
 5. Provide testimony to the Board that the project does not meet the requirements to be a major development and therefore the stormwater management rules are not applicable. **WILL PROVIDE TESTIMONY**
 6. Provide testimony to the Board if no stormwater management is proposed, the existing on-site drainage system is sufficient for the proposed impervious coverage and grading.
 - a) Our office suggests providing limited stormwater management. See chapter 9 of the BMP manual.
WE ARE PROPOSING TO TIE DIRECTLY INTO THE EXISTING STORMWATER MANAGEMENT SYSTEM. TESTIMONY TO BE PROVIDED THAT THE SYSTEM IS SUFFICIENT TO ACCOMDATE THIS SMALL INCREASE IN RUNOFF.
 7. Provide testimony to the Board that the proposed driveway provides sufficient parking for the structure. **-TESTIMONY SHALL BE PROVIDED**
 8. Provide testimony to the Board regarding all proposed site appurtenances including but not limited to site lighting, fencing, landscaping, etc. **-TESIMONY TO BE PROVIDED**
 9. Provide testimony to the Board that there are no burial plots within the proposed limit of disturbance. **-TESTIMONY TO BE PROVIDED**
 10. If exterior mechanical equipment (AC condenser, gas meter, etc.) is proposed, then provide their locations on the plan. If there is to be no exterior equipment, then provide a note on the plan. **-NO EXTERIOR EQUIPMENT IS PROPOSED BESIDE GAS METER (NOW SHOWN ON PLAN)**
 11. Revise the site plan to make sheet numbering consistent with the index. **-SHEET NUMBERS REVISED**
 12. The proposed grading shows a contour line labeled both 108' and 110'. Revise the plan to show the correct elevation on contours. **-CONTOUR LABELING REVISED**
 13. Revise the plan to show where the proposed electric service will connect to existing utilities. Provide testimony that the electric service will be underground. **-TESTIMONY TO BE PROVIDED. NOTE 9**
 14. Provide some level of landscaping along the rear of the proposed building.
-

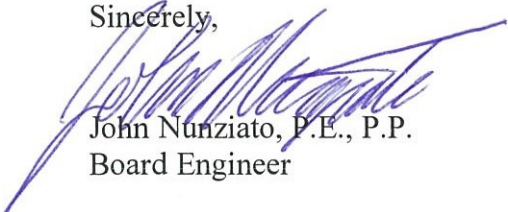
-GREEN GIANTS ADDED BEHIND BUILDING

15. Revise the landscaping plan details to have a darker pen weight; current details are difficult to read. **-REVISED LANDSCAPE SHEET FOR CLARITY AND TURNED OFF NON-RELEVANT LAYER**
 16. Relocate the tree protection detail to the landscaping plan. **-DETAIL RELOCATED**
 17. Provide a note and testify to the temperature color and hours of illumination of the proposed site lighting. – **COLOR TEMPERATURE NOTED AND TESTIMONY TO BE PROVIDED ON HOURS OF ILLUMINATION**
 18. Provide testimony describing the hours of operation and estimated weekly/monthly usage of the proposed structure. Discuss number of personnel, vehicles, vehicle route(s), smoke/odors, etc. **-TESTIMONY TO BE PROVIDED**
 19. The plan shows a leader callout for a concrete sidewalk, but no sidewalk is shown. Revise the plan accordingly. **-LABEL REVISED**
-
-

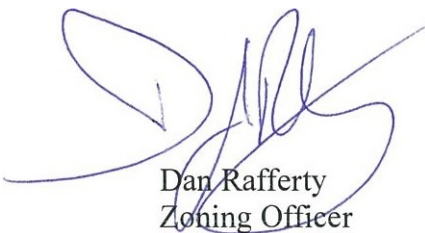
20. Revise the sidewalk detail to show Class B concrete and NJDOT specification for 3/4" crushed stone base. Our office suggests adding a note for a light broom and picture frame finish. **-DETAIL REVISED**
21. Revise the asphalt pavement detail: **PAVEMENT DETAIL REVISED**
 - a) Provide 6" of DGA base.
 - b) Base course mix is shown as I-5; base mix is 1-2. Specify HMA base mix using NJDOT metric nomenclature.
 - c) Specify HMA surface mix using NJDOT metric nomenclature.
22. Revise the depressed curb detail: **-DEPRESSED CURB DETAIL REVISED**
 - a) Specify that concrete shall be Class B mix brush finish.
 - b) Provide a dimension for the width of fully depressed curb.
 - c) The detail is labeled as (22) when there are not 22 details.
23. Revise the retaining wall detail to show crushed stone on weed fabric at bottom of wall grade. Show limits of stone/fabric on plan. **-LIMITS SHOWN**
24. Show the proposed location of daylighting the retaining wall toe drain on the plan. **-LOCATION LABELED**
25. Show the location of the nearest fire hydrant / FDC on the plan. If there is not one nearby, a new fire water main or tank and FDC may be required. **-EXHIBIT SUBMITTED SHOWING NEARBY FIRE HYDRANTS.**
26. Revise the soil erosion plan to show a callout for the sediment filter on the inlet in the roadway. **-CALLOUT ADDED TO SOIL EROSION SHEET**
27. Revise the plans to show the limits of sawcutting pavement and trenching for the proposed utilities. Provide details and notes for HMA patching and trench backfill. Trenches to be restored with 6" suitable topsoil and stabilized to Township Engineer's approval. **-DETAIL ADDED**
28. Provide colored dimensioned architectural renderings of the proposed structure and site. **-PROVIDED**
29. The applicant shall obtain and provide proof of approval from PSE&G prior to construction. **-WILL COMPLY**
30. The applicant shall obtain all other State, County and local approvals as may be required. **-WILL COMPLY**
31. If the Board were to approve this application, all conditions of approval not resolved within 190 days of the Memorialized Resolution, shall render the approval void.

Please revise the drawings and application(s) to satisfy the comments noted within this letter. Please submit 3 full-size paper copies and an electronic .pdf copy for further review.

Sincerely,



John Nunziato, P.E., P.P.
Board Engineer



Dan Rafferty
Zoning Officer

jn/dr

cc: Jerry Dasti, Esq.



PRINCETON MEMORIAL PARK CREMATORIUM

403 Gordon Road Robinsville Township, New Jersey



PRINCETON MEMORIAL PARK CREMATORIUM

403 Gordon Road Robinsville Township, New Jersey



Planning/Zoning/Engineering Office
2298 Route 33, Robbinsville, NJ 08691
phone (609) 259-3600 fax (609) 259-2128

May 23, 2024

Tianna Thompson, Board Secretary
Robbinsville Township Technical Review Committee

RE: Princeton Memorial Park Assoc. Inc.
New Crematorium
Preliminary/Final Major Non-Residential Site Plan, Bulk Variance
Block 23, Lot 6
LU24-03-04, Review #2

Dear TRC Members:

An application has been submitted for Preliminary/Final Site Plan approval for the construction of a new 1,350 square foot crematorium building within the Princeton Memorial Park cemetery. The applicant is seeking both bulk variance relief for the proposed building; 576 square feet is permitted for an accessory structure where 1,350 is proposed and D-3 variance relief for the conditional use not meeting all required conditions. The property is located within the Rural Residential (RR) zoning district.

- I. The following material was submitted:
- Response letter dated 5/1/2024.
 - Photograph exhibits showing the location of proposed crematorium in relation to Sharon School.
 - Exhibit dated 5/13/24 showing location of fire hydrants and proposed crematorium.
 - Architectural renderings of the proposed crematorium.
 - Preliminary/Final Major Site Plan dated 2/6/2024, revised 5/13/24, prepared by John J. Ploskonka, PE of Concept Engineering Consultants.

II. Completeness

The application is deemed complete by the Administrative Officer, 5/23/2024 and is scheduled for a Land Use Board hearing on Tuesday June 18, 2024.

III. ZONING ANALYSIS

The property is known as Princeton Memorial Park and is designated as lot 6 in block 23 located in RR (Rual Residential Zone), it is a 20-acre existing cemetery that offers in-ground and above ground crypts and cremation niches since 1965. As per 142-13 D (3) in Robbinsville's land use code, mausoleums and columbariums are permitted conditional uses with a minimum of four (4) acres and the site must be extensively landscaped with a gated entrance.

IV. Comments

1. Show/label setbacks to the proposed structure.
 2. Cemeteries are a conditional use in the RR Zoning District provided the site is a minimum of 4 Ac., the site is extensively landscaped, and contains gates, per 142-61C. It does not appear that cemetery gates exist, therefore **D-3 variance relief is required.**
 3. The plans list the proposed building as 30 ft. x 45 ft. totaling 1,350 sq. ft. Per 142-33(B)2, the maximum ground area of an accessory structure is 576 sq. ft. nor shall any dimension be longer than 24 ft. **‘C’ variance relief is required.**
 4. Provide testimony to the Board that the project does not meet the requirements to be a major development and therefore the stormwater management rules are not applicable.
 5. Provide testimony to the Board if no stormwater management is proposed, the existing on-site drainage system is sufficient for the proposed impervious coverage and grading.
 - a) Our office suggests providing limited stormwater management for water quantity and quality. Directing proposed runoff onto lawns or planted areas to promote infiltration is suggested.
 6. Verify the locations, sizing, and inverts of the proposed storm drainage system.
 7. Provide testimony to the Board that the proposed driveway provides sufficient parking for the structure.
 8. Provide testimony to the Board regarding all proposed site appurtenances including but not limited to site lighting, fencing, landscaping, etc.
 9. Provide testimony to the Board that there are no burial plots within the proposed limit of disturbance.
 10. Provide testimony describing exterior mechanical equipment (AC condenser, gas meter, etc.).
 11. Provide testimony describing the hours of operation and estimated weekly/monthly usage of the proposed structure. Discuss number of personnel, vehicles, vehicle route(s), smoke/odors, etc.
 12. Clarify roof leader and retaining wall drain piping and connection points.
 13. Provide colored dimensioned architectural renderings of the proposed structure and site, include all roof top equipment, exhausts, stacks, etc.
 14. The applicant shall obtain and provide proof of approval from PSE&G prior to construction.
 15. The applicant shall obtain all other State, County and local approvals as may be required.
 16. If the Board were to approve this application, all conditions of approval not resolved within 190 days of the Memorialized Resolution, shall render the approval void.
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Please revise the drawings and application(s) to satisfy the comments noted within this letter.
Please submit 3 full-size paper copies and an electronic .pdf copy for further review.

Sincerely,

John Nunziato, P.E., P.P.
Board Engineer

Nick Papasso
Assistant Township Engineer

cc: Michael Herbert, Esq.



Robbinsville Township Board of Health

Mercer County
2298 Route 33, Robbinsville, New Jersey 08691
Telephone (609) 936-8400, Fax (609) 799-2136

Memorandum

To: Tianna Thompson, Land Use Coordinator

From: Greg Guttadora, REHS 

RE: LU24-03-04 – Princeton Memorial Park Crematorium

Date: May 3, 2024

The Robbinsville Health Department has reviewed the Site Plan application proposal for the referenced site. Based on the information submitted, the Robbinsville Health Department has no objections to the proposed plans. The Health Department offer the following:

1. All crematoriums in NJ must first be approved and permitted by the NJ Cemetery Board.
2. The cremation furnace will need a Minor Source permit issued by the NJ Department of Environmental Protection. It should be noted that based on a short discussion with DEP staff, no pollution controls are required as long as the crematorium system is running as designed.
3. The Planning Board may want to postpone approval of these plans until the applicant has received the two noted approvals above.

This recommendation neither stated nor implied guarantees the approval of this application and does not relieve the applicant from seeking or gaining any other necessary approvals from other Agencies, Departments or Boards



BE AT THE CENTER OF IT ALL
Planning/Zoning/Engineering Office
2298 Route 33, Robbinsville, NJ 08691

Phone (609) 259-3600, ext. 1122 e-mail BoardSecretary@robbinsville.net

DISTRIBUTION OF PLANS

REVIEWS RECEIVED

To: John Nunziato, PE, PP, Township Engineer
Nick Papasso, EIT, Assistant Township Engineer
Dan Rafferty, Zoning Officer
Michael Herbert, Esq.
Environmental Commission
Board of Health
Fire Company
Construction Official
Public Works
Police Department
Tax Assessor
Affordable Housing

FYI Only

Date: April 2, 2024

From: Land Use Coordinator

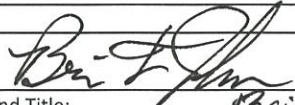
Re: **Application #:** LU24-03-04
Application for: Prelim and Final Major Site Plan
Applicant: Princeton Memorial Park Assoc.
Project: Princeton Memorial Park Assoc.(Crematorium)
Block: Block 12, Lot 6
Zone: 0
REVIEW #1
Escrow Account: R240304

Description: Proposal to establish a crematory facility that will serve the community. The application will include a new building and crematory equipment.

The Land Use Board has received the attached development proposal for its consideration. Please prepare a FULL TECHNICAL REVIEW and COMPLETENESS REVIEW for your discipline. Please submit your review letter no later than **May 3, 2024 as this application has been tentatively scheduled for TRC on 5/7/24.** You may provide your comments below or on a separate page. Thank you.

I have reviewed the above-referenced plans and have the following comments:

Will this building be utilized for any type of funeral or religious service for the deceased? If yes: I will need to see an engineered floor plan.

Signature: 
Print name and Title: Brian F. Johnson Fire Official Date: 4/24/24

Attachment(s)

Cc: Application File



BE AT THE CENTER OF IT ALL
Planning/Zoning/Engineering Office

2298 Route 33, Robbinsville, NJ 08691

Phone (609) 259-3600, ext. 1122 e-mail BoardSecretary@robbinsville.net

DISTRIBUTION OF PLANS

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I have reviewed the above-referenced plans and have the following comments:

When approved as a reminder you will have to apply to NJ DCA for plan Review.

Signature: Ray Carr Date: 4-3-24
Print name and Title: Ray Carr C/O

Attachment(s)

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I have reviewed the above-referenced plans and have the following comments:

No Comment

Signature: Chris Rupp Date: 4/25/24
Print name and Title: Chris Rupp Director of Public Works

Attachment(s)

Cc: Application File



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Project: Princeton Memorial Park Assoc.(Crematorium)
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I have reviewed the above-referenced plans and have the following comments:

No comments at this time

Signature: _____ Date: 4/4/24
Print name and Title: Greg Busa

Attachment(s)

Cc: Application File



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I have reviewed the above-referenced plans and have the following comments:

This property is a tax-exempt property. Therefore, they will qualify for the State COAH exemption and not have to pay the non-residential development fee.

Signature: Gail M Pfister Date: 4/4/2024
Print name and Title: GAIL M PFISTER, MHL/AA

Attachment(s)

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