

FINAL SITE PLANS

# NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP

49500 THROUGH 49900 TECHNE DRIVE  
PLYMOUTH TOWNSHIP, WAYNE COUNTY, MICHIGAN

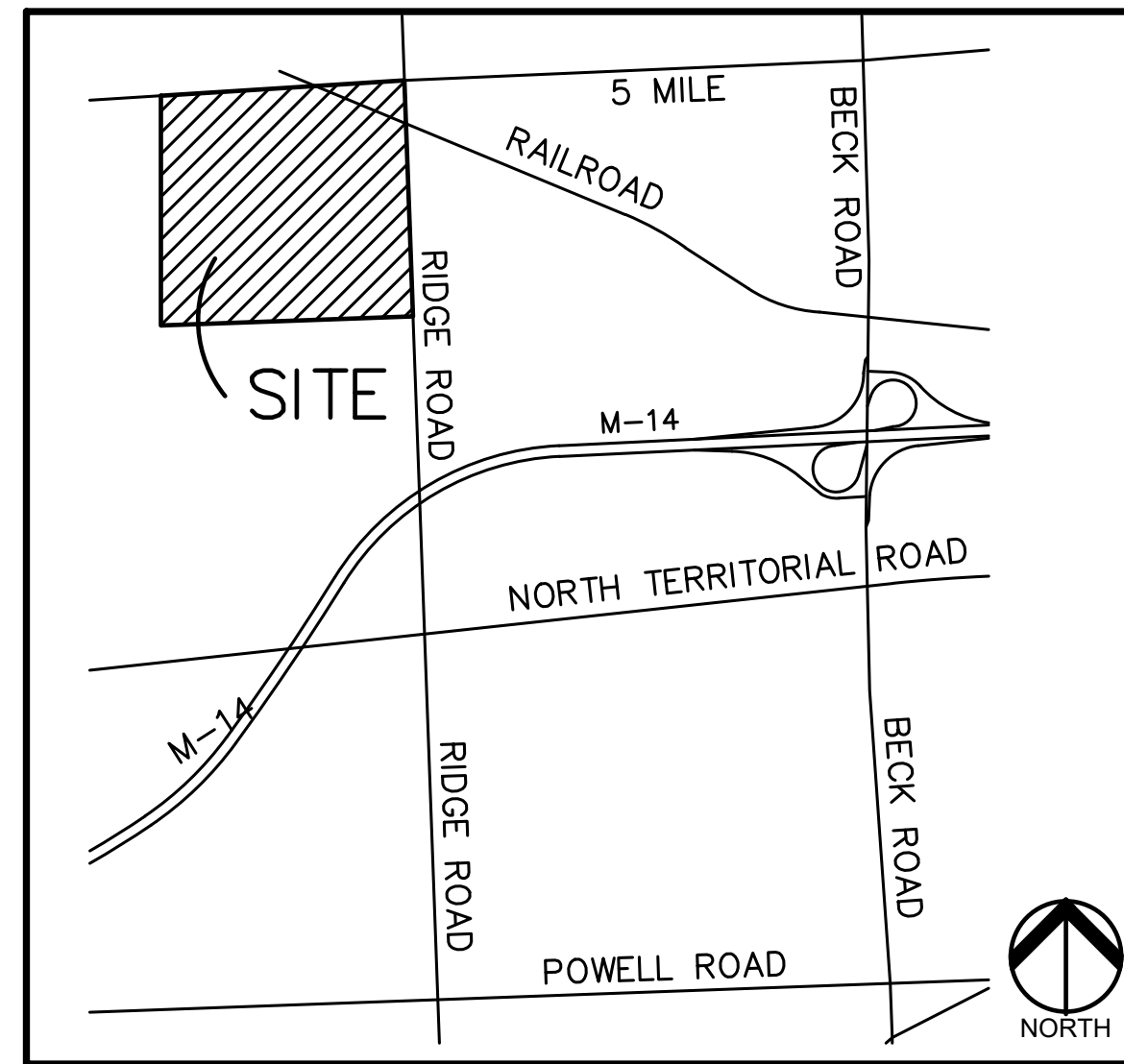
PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL
		SITE PLAN APPROVAL
		TOWNSHIP ENGINEERING APPROVAL
		WAYNE COUNTY SESC PERMIT
		WAYNE COUNTY ENGINEERING
		NPDES PERMIT
		EGLW WATER MAIN PERMIT
		EGLW WETLANDS PERMIT

**LEGAL DESCRIPTION**  
(Per PEA)

PART OF THE NORTH 1/2 OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 8 EAST, PLYMOUTH TOWNSHIP, WAYNE COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE ALONG THE EAST LINE OF SAID SECTION 19, S00°05'01"W, 527.36 FEET; THENCE S88°31'32"W, 60.02 FEET TO THE WEST RIGHT-OF-WAY LINE OF RIDGE ROAD (120' WIDE); AND THE POINT-OF-BEGINNING; THENCE ALONG SAID LINE S00°05'01"W, 2124.86 FEET TO THE EAST-WEST 1/4 LINE OF SAID SECTION; THENCE ALONG SAID LINE S88°36'35"W, 2896.59 FEET PASSING THROUGH THE CENTER POST OF SAID SECTION; THENCE ALONG THE CENTERLINE OF JOHNSON CREEK THE FOLLOWING TWO (2) COURSES N25°39'34"E, 1692.40 FEET; N38°58'31"E, 1420.36 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF 5 MILE ROAD (120' WIDE); THENCE ALONG SAID LINE N88°31'32"E, 307.99 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF CHESAPEAKE AND OHIO RAILROAD (99' WIDE); THENCE ALONG SAID LINE S65°21'35"E, 1061.37 FEET TO THE POINT-OF-BEGINNING, CONTAINING 125.16 ACRES OF LAND, MORE OR LESS.

**WAYNE COUNTY D.P.S. GENERAL NOTES:**

- ALL WORK WITHIN THE WAYNE COUNTY ROAD RIGHT-OF-WAY (ROW) AND DRAIN EASEMENT SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND GENERAL SPECIFICATIONS, INCLUDING SOIL EROSION AND SEDIMENTATION CONTROL OF THE WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES AND MDO 2012 SPECIFICATIONS FOR CONSTRUCTION.
- THESE PLANS ARE NOT VALID WITHOUT ATTACHMENT OF THE WAYNE COUNTY PERMIT SPECIFICATIONS FOR CONSTRUCTION WITHIN THE ROAD RIGHT-OF-WAY, PARKS, DRAIN EASEMENT OR SANITARY SEWER UNDER JURISDICTION OF THE WAYNE COUNTY (07/01/93) REVISED 12/15/2004.
- CONTRACTOR SHALL CONTACT MISS DIG AT 811 TO IDENTIFY AND FLAG/MARK THE LOCATIONS OF ALL UNDERGROUND UTILITIES AT THE PROPOSED CONSTRUCTION AREAS PRIOR TO START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND RESOLVE ANY CONFLICT BETWEEN THE PROPOSED WORK AND THE EXISTING UNDERGROUND OR ABOVE GROUND UTILITIES.
- CONTRACTOR SHALL MAINTAIN 18" MINIMUM VERTICAL CLEARANCE AND 3 FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN THE PROPOSED AND EXISTING UTILITIES. ANY PROPOSED UTILITY PERMITTED TO CROSS UNDER THE ROAD OR DRAIN MUST BE PLACED A MINIMUM OF 7 FEET BELOW THE LOWEST POINT OF THE ROAD, OR 6 FEET BELOW THE DRAIN BOTTOM. OVERHEAD WIRES/CABLES MUST BE INSTALLED 18 FEET MINIMUM ABOVE THE ROAD CENTERLINE. TO RELOCATE ANY UTILITY WITHIN THE ROAD R.O.W., THE CONTRACTOR SHALL COORDINATE THE RELOCATION WITH THE UTILITY COMPANY AND AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
- ALL SURVEY MONUMENTS/CORNERS AND BENCH MARKS LOCATED WITHIN THE CONSTRUCTION AREA MUST BE PRESERVED IN ACCORDANCE WITH PUBLIC ACT 74 AS AMENDED (INCLUDING ACT 34, P.A. 2000) AND AS PER WAYNE COUNTY PERMIT RULE 1.5. THE PERMIT HOLDER AND CONTRACTOR SHALL COORDINATE THE WORK WITH A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF MICHIGAN DURING CONSTRUCTION ACTIVITIES FOR THE PURPOSE OF WITNESSING, PRESERVING OR REPLACING SURVEY MONUMENTS AND MONUMENT BOXES.
- EXPOSURE OF ANY UTILITIES UNDER THE PAVEMENT WILL NOT BE PERMITTED UNLESS APPROVED BY THE WAYNE COUNTY ENGINEER. PAVEMENT REMOVAL AND REPLACEMENT SHALL BE PERFORMED PER APPLICABLE WAYNE COUNTY STANDARD DETAILS AND AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS WITHIN THE WAYNE COUNTY ROAD RIGHT-OF-WAY AND DRAIN EASEMENT WITH 3" OF TOPSOIL, THM SEED MIX AND MULCH. SLOPES STEEPER THAN 1 ON 3 SHALL BE RESTORED BY PLACING SOD ON 2" OF TOPSOIL.
- ALL BACKFILLS UNDER OR WITHIN 3 FEET OF THE PROPOSED OR EXISTING PAVEMENT, CURB OR SIDEWALK SHALL CONFORM TO THE WAYNE COUNTY TRENCH 'B' BACKFILL REQUIREMENTS. TRENCH 'A' BACKFILL MAY BE USED WITHIN THE ROAD R.O.W. AREAS UNDER CONDITIONS OTHER THAN THOSE SPECIFIED FOR TRENCH 'B'.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING OR REPLACING ALL DISTURBED LANDSCAPED AREAS, SPRINKLER SYSTEMS, FENCES, SIGNS, MAIL BOXES, ETC. WITHIN THE WAYNE COUNTY ROAD R.O.W. AND/OR AS DIRECTED BY THE COUNTY ENGINEER.
- CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES, OTHERWISE, DETOURING TRAFFIC MUST BE PER APPROVED PLANS. ALL SIGNING AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE M.U.T.C.D.
- MAINTAIN A SAFE AND ADEQUATE TRAVEL ROUTE FOR PEDESTRIANS AT ALL TIMES THROUGHOUT THE PROJECT DURATION.
- TUNNELING, BORING AND JACKING OPERATIONS SHALL BE IN ACCORDANCE WITH THE WAYNE COUNTY SPECIFICATIONS AND DETAILS. BORE PITS SHALL BE PLACED AT MINIMUM 10 FEET FROM THE BACK OF CURB OR EDGE OF PAVEMENT.
- REMOVE ALL ABANDONED CONDUITS FROM THE COUNTY ROAD R.O.W. OR AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
- CONTRACTOR SHALL PROVIDE COLD WEATHER PROTECTION FOR ALL PROPOSED CONCRETE WORK (PAVEMENTS, SIDEWALKS, DRIVE APPROACHES, ETC.) AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
- OVERNIGHT VEHICLE PARKING AND STORAGE OF CONSTRUCTION MATERIALS AND EQUIPMENT ARE NOT PERMITTED WITHIN THE WAYNE COUNTY ROADS R.O.W.
- CONTRACTOR SHOULD OBTAIN SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM THE WAYNE COUNTY DPS-ESG. CONTACT THE WAYNE COUNTY SOIL EROSION OFFICE AT (734) 326-3936.
- CONTRACTOR SHALL NOTIFY THE WAYNE COUNTY TRAFFIC SIGNAL SHOP AT (734) 955-2154 AT LEAST 3 DAYS PRIOR TO START OF WORK AT/NEAR ANY SIGNALIZED INTERSECTIONS.
- CONTRACTOR SHALL NOTIFY WAYNE COUNTY 72 HOURS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE PERMIT OFFICE AT (734) 595-6504 EXT. 2009



LOCATION MAP  
NO SCALE

INDEX OF DRAWINGS	
SHEET NUMBER	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	OVERALL TOPOGRAPHIC SURVEY
C-1.1	TOPOGRAPHIC SURVEY - 1
C-1.2	TOPOGRAPHIC SURVEY - 2
C-1.3	TOPOGRAPHIC SURVEY - 3
C-1.4	TOPOGRAPHIC SURVEY - 4
C-2.1	DEMOLITION PLAN - 1
C-2.2	DEMOLITION PLAN - 2
C-2.3	DEMOLITION PLAN - 3
C-3.0	OVERALL SITE PLAN
C-3.1	DIMENSION AND PAVING PLAN - 1
C-3.2	DIMENSION AND PAVING PLAN - 2
C-3.3	DIMENSION AND PAVING PLAN - 3
C-3.4	DIMENSION AND PAVING PLAN - 4
C-3.5	SIGHT PROFILE SECTION 'A-A'
C-3.6	STADIUM LIGHTING PLAN
C-3.7	STADIUM LIGHTING CONTROLS
23-10448 V3	PHOTOMETRIC PLAN
C-4.1	GRADING PLAN - SHEET 1
C-4.2	GRADING PLAN - SHEET 2
C-4.3	GRADING PLAN - SHEET 3
C-4.4	GRADING PLAN - SHEET 4
C-4.5	GRADING PLAN - SHEET 5
C-4.6	GRADING PLAN - SHEET 6
C-4.7	GRADING PLAN - SHEET 7
C-4.8	GRADING PLAN - SHEET 8
C-4.9	GRADING PLAN - SHEET 9
C-4.10	GRADING PLAN - SHEET 10
C-4.11	GRADING PLAN - SHEET 11
C-4.12	GRADING PLAN - SHEET 12
C-5.1	SESC PLAN - SHEET 1
C-5.2	SESC PLAN - SHEET 2
C-5.3	SESC PLAN - SHEET 3
C-5.4	SESC PLAN - SHEET 4
C-5.5	EROSION CONTROL DETAILS
C-6.0	OVERALL UTILITY PLAN
C-7.0	SANITARY SEWER PLAN
C-8.1	WATER MAIN PLAN AND PROFILE - SHEET 1
C-8.2	WATER MAIN PLAN AND PROFILE - SHEET 2
C-8.3	WATER MAIN PLAN AND PROFILE - SHEET 3
C-8.4	WATER MAIN PLAN AND PROFILE - SHEET 4
C-8.5	WATER MAIN PLAN - SHEET 5

C-9.1	STORM SEWER PLAN - SHEET 1
C-9.2	STORM SEWER PLAN - SHEET 2
C-9.3	STORM SEWER PLAN - SHEET 3
C-9.4	STORM SEWER PROFILES - SHEET 1
C-9.5	STORM SEWER PROFILES - SHEET 2
C-10.1	DRAINAGE PLAN
C-10.2	STORM CALCULATIONS
C-11.1	NOTES AND DETAILS - SHEET 1
C-11.2	NOTES AND DETAILS - SHEET 2
C-11.3	WAYNE COUNTY DETAILS - SHEET 1
C-11.4	WAYNE COUNTY DETAILS - SHEET 2
C-12.1	RIDGE ROAD RIGHT-OF-WAY PLAN - SHEET 1
C-12.2	RIDGE ROAD RIGHT-OF-WAY PLAN - SHEET 2
C-12.3	RIDGE ROAD RIGHT-OF-WAY PLAN - SHEET 3

L-1.0	OVERALL LANDSCAPE PLAN
L-1.1	LANDSCAPE PLAN - SHEET 1
L-1.1A	LANDSCAPE PLAN - PLANTS AT BLDG, PARKING
L-1.2	LANDSCAPE PLAN - SHEET 2
L-1.3	LANDSCAPE PLAN - SHEET 3
L-1.4	LANDSCAPE PLAN - SHEET 4
L-1.5	LANDSCAPE DETAILS
L-2.1	LANDSCAPE SPECIFICATIONS
L-2.2	LANDSCAPE SPECIFICATIONS

ARCHITECTURAL PLANS	
A.101	FLOOR PLAN GRADE LEVEL (GAMING/GRANDSTAND BLDG)
A.102	SECOND LEVEL FLOOR PLAN (GAMING/GRANDSTAND BLDG)
A.106	THIRD LEVEL FLOOR PLAN (GAMING/GRANDSTAND BLDG)
A.201	EXTERIOR ELEVATIONS (GAMING/GRANDSTAND BLDG)
A.101S	HORSE STABLE FLOOR PLAN
A.201S	EXTERIOR ELEVATIONS (HORSE STABLE BLDG)
A.101M	FLOOR PLAN AND ELEVATIONS (MAINTENANCE BUILDING)

W-1	PLYMOUTH TOWNSHIP STANDARD DETAILS
W-2	STANDARD WATER MAIN DETAILS
W-S	STANDARD WATER MAIN DETAILS
W-S	STANDARD SANITARY SEWER AND WATER SERVICE DETAILS
S-1	STANDARD SANITARY SEWER DETAILS
S-2	STANDARD SANITARY SEWER DETAILS
GDS	GRADING, DRAINAGE, AND SURFACING STANDARD DETAILS

**DESIGN TEAM**

OWNER	DEVELOPER	CIVIL ENGINEER
NORTHVILLE DOWNS 301 S. CENTER STREET NORTHVILLE, MI 48167 CONTACT: JOHN CARLO PHONE: 513.520.8636 EMAIL: MOUSETRAP1@YAHOO.COM	MILITELLO PROPERTY GROUP 268 MAIN STREET, SUITE 301 BUFFALO, NY 14202 CONTACT: WILLIAM D. HIBBARD, PE, MBA ASSOCIATE BROKER PRINCIPAL PHONE: 716.856.2872 (MAIN) 716-316-6094 (CELL) EMAIL: BILL@MILITELLO.COM	PEA GROUP 58105 VAN DYKE RD. WASHINGTON TWP., MI 48094 CONTACT: BECKY KLEIN, PE, LEED AP BD+C PHONE: 844.813.2949 EMAIL: BKLEIN@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT	
G.A.V. ASSOCIATES, INC. 24001 ORCHARD LAKE ROAD, SUITE 180A FARMINGTON, MI 48336 CONTACT: AL VALENTINE PHONE: 248.985.9101 (MAIN) 248.752.1247 (CELL) EMAIL: AL@GAVASSOCIATES.COM	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM	



REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	3/31/2023
SPA RESUBMITTAL	5/2/2023
SPA RESUBMITTAL	5/19/2023

NOT FOR CONSTRUCTION

**BENCHMARKS**  
(GPS DERIVED - NAVD88)

BM #301  
NORTH RIM OF SANITARY MANHOLE, EAST 30.55 FEET FROM THE CENTERLINE OF RIDGE ROAD AND SOUTH 36.00 FEET FROM THE CENTERLINE OF 5 MILE ROAD.  
ELEV. - 841.48

BM #302  
NORTH RIM OF SANITARY MANHOLE, EAST 33.00 FEET FROM THE CENTERLINE OF RIDGE ROAD AND NORTH 364.00 FEET FROM THE EAST 1/4 POST.  
ELEV. - 844.05

NORTH 1/4 POST  
SECTION 19  
T01S, R08E

NORTHVILLE TOWNSHIP  
ZONED ORT  
"OFFICE, RESEARCH, AND  
TECHNOLOGY" DISTRICT

NORTHEAST CORNER  
SECTION 19  
T01S, R08E

**LEGEND:**

- OH-ELEC-W-O- EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV- EX. U.G. CABLE TV & PEDESTAL
- UG-COMM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- - - - - EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN & LIGHTPOLE
- EX. FENCE
- EX. GUARD RAIL
- EX. SPOT ELEVATION
- EX. CONTOUR
- EX. WETLAND

- IRON FOUND / SET
- NAIL FOUND / NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND / SET
- SECTION CORNER FOUND
- R M C RECORDED / MEASURED / CALCULATED

**REFERENCE DRAWINGS:**

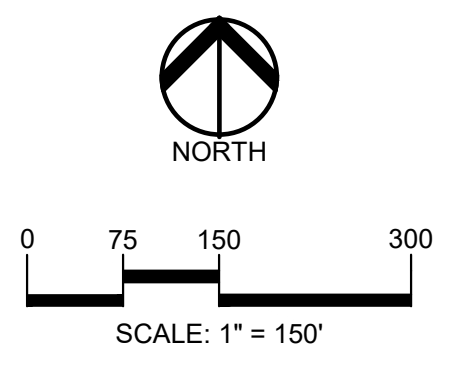
WATER MAIN "FIVE MILE PLYMOUTH TOPOGRAPHIC SURVEY", PEA GROUP, JOB NO. 2018-234

GAS "FIVE MILE PLYMOUTH TOPOGRAPHIC SURVEY", PEA GROUP, JOB NO. 2018-234

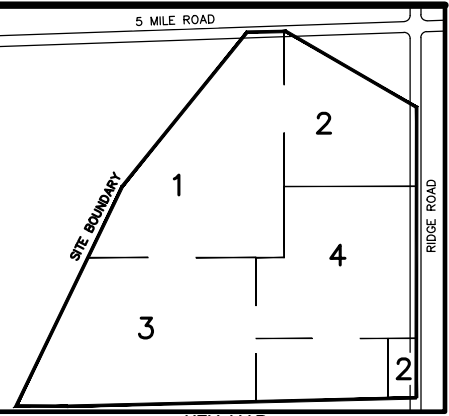
FLOOD PLAIN FEMA F.I.R.M. MAP #26163C0020E, DATED 2-2-12

SURVEY "FIVE MILE PLYMOUTH TOPOGRAPHIC SURVEY", PEA GROUP, JOB NO. 2018-234

SURVEY "HILLSIDE RIDGE CORP.-LOT 4", PEA GROUP, JOB NO. 2021-0634, DATED 12-22-21



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**JR MILITELLO REALTY**  
288 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

REVISIONS	
SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
MARCH 31, 2023

DRAWING TITLE  
**OVERALL TOPOGRAPHIC SURVEY**

PEA JOB NO.	2022-1338
P.M.	BL
DN.	BLA
DES.	BK

DRAWING NUMBER:  
**C-1.0**

**LEGAL DESCRIPTION**  
(Per PEA)  
PART OF THE NORTH 1/2 OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 8 EAST, PLYMOUTH TOWNSHIP, WAYNE COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19; THENCE ALONG THE EAST LINE OF SAID SECTION 19, S00°05'01"W, S27.36 FEET; THENCE S88°31'32"W, 60.02 FEET TO THE WEST RIGHT-OF-WAY LINE OF RIDGE ROAD (120' WIDE); AND THE POINT-OF-BEGINNING; THENCE ALONG SAID LINE S00°05'01"W, 2124.86 FEET TO THE EAST-WEST 1/4 LINE OF SAID SECTION; THENCE ALONG SAID LINE S88°36'35"W, 2896.59 FEET PASSING THROUGH THE CENTER POST OF SAID SECTION; THENCE ALONG THE CENTERLINE OF JOHNSON CREEK THE FOLLOWING TWO (2) COURSES: S42°39'34"E, 1032.40 FEET, N38°58'31"E, 1420.36 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF 5 MILE ROAD (120' WIDE); THENCE ALONG SAID LINE N88°19'22"E, 307.99 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF CHESAPEAKE AND OHIO RAILROAD (99' WIDE); THENCE ALONG SAID LINE S65°21'35"E, 1061.37 FEET TO THE POINT-OF-BEGINNING, CONTAINING 125.16 ACRES OF LAND, MORE OR LESS.

**FLOODPLAIN:**  
(Per Flood Insurance Rate Map Number 26163C-0020E, Effective on February 2, 2012, and per LOMR 21-05-1510P dated May 6, 2022)

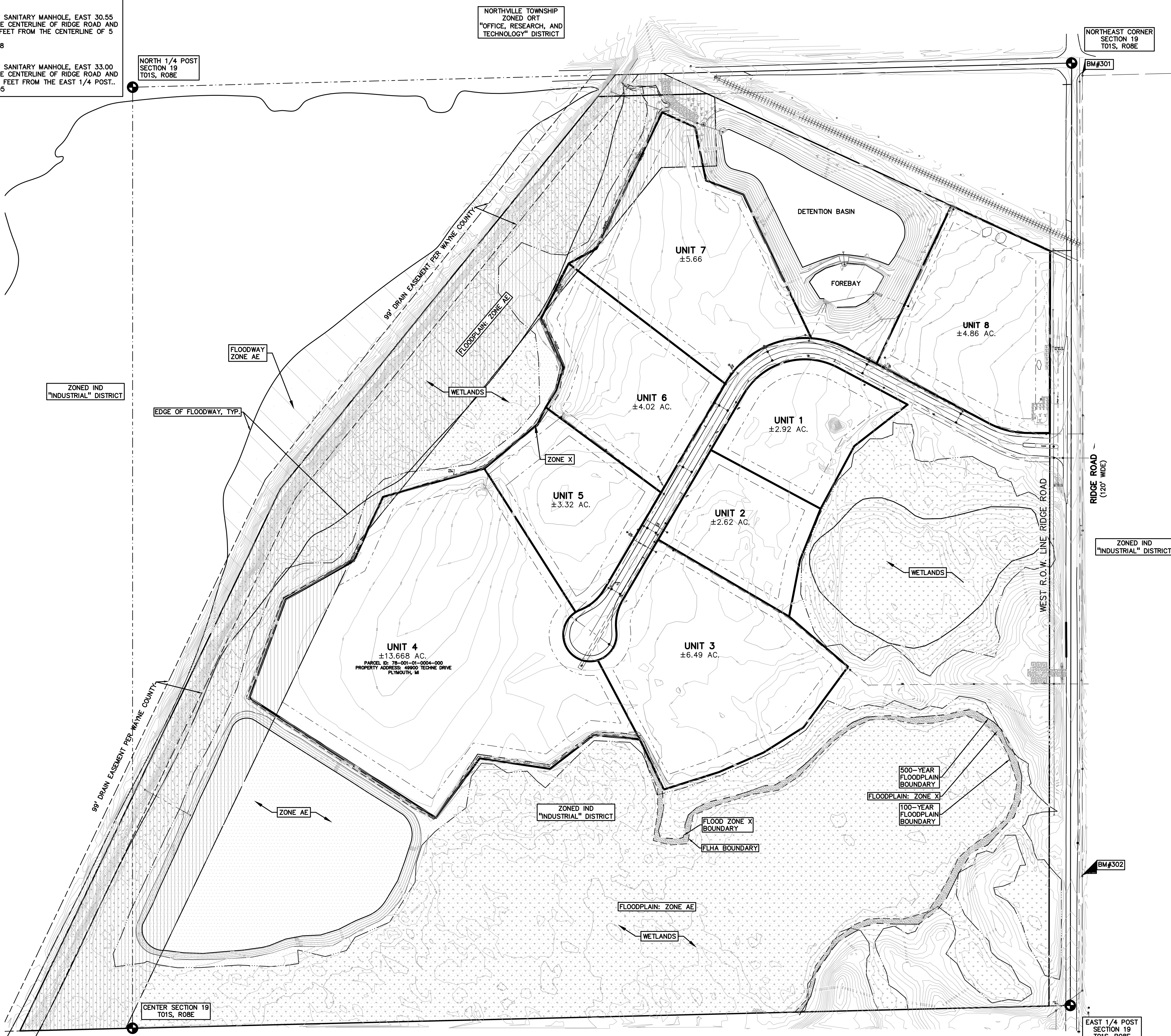
**SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**  
The 1% annual chance flood (100 year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

**ZONE AE - Base Flood Elevations determined.**

**FLOODWAY AREAS IN ZONE AE**  
The floodway is the channel of stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

**OTHER FLOOD AREAS**  
ZONE X - Area of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

**OTHER AREAS**  
ZONE X - Area to be determined outside of the 0.2% annual chance floodplain.

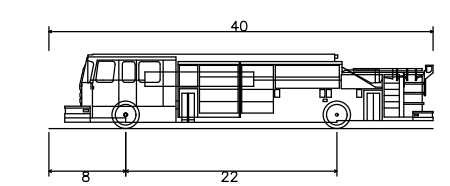


S:\PROJECTS\2022\2022-1338 RIDGE ROAD INDUSTRIAL REDEVELOPMENT\DWG\CONSTRUCTION\C-1.0\TOPO-22-1338.dwg PLOT DATE: 07/19/2023 2:08 PM 101 Binary data

**LEGEND:**

	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	GRAVEL
	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN
	SETBACK LINE
	SIGN LIGHTPOLE
	FENCE GUARD RAIL

**FIRE TRUCK PROFILE:**



Pumper Fire Truck	40.00ft
Overall Length	40.00ft
Overall Width	8.00ft
Overall Body Height	7.25ft
Min. Side Ground Clearance	8.16ft
Track Width	22.00ft
Lock-to-lock time	25.00
Max. Wheel Angle	25.00°

- GENERAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - NO PARKING-FIRE LANE SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
  - REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
  - REFER TO NOTES & DETAILS SHEET FOR ON-SITE PLANNED RAMP DETAILS.

- GENERAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT OSHA, WAYNE COUNTY AND MUNICIPALITY STANDARDS AND REGULATIONS.
  - THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
  - ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL TOWNSHIP INSPECTION FEES.
  - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. IF NO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
  - CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE AT THE CONTRACTORS EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE OF THE CONTRACTOR.
  - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGUN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
  - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). THE DESIGN ENGINEER, OWNER, TOWNSHIP AND STATE SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
  - THE USE OF CRUSHED CONCRETE IS PROHIBITED ON THE PROJECT WITHIN 100 FEET OF ANY WATER COURSE (STREAM, RIVER, COUNTY DRAIN, ETC.) AND LAKE, REGARDLESS OF THE APPLICATION OR LOCATION OF THE WATER COURSE OR LAKE RELATIVE TO THE PROJECT LIMITS.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WEIERS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

**SITE DATA TABLE:**

SITE AREA: 125.16 ACRES NET AND GROSS  
PARCEL I.D.: 78-001-99-0001-702 (PT)  
ZONING: IND - INDUSTRIAL  
PROPOSED USE: PLANNED UNIT DEVELOPMENT

**BUILDING INFORMATION:**  
MAXIMUM ALLOWABLE BUILDING HEIGHT = 35 FT. (2 STORIES)

GRANDSTANDING	27,932 SF	3 STORIES	46 FT
BARN	35,475 SF	1 STORY	22.25 FT
MAINTENANCE BUILDING	3,200 SF	1 STORY	19.75 FT

TOTAL BUILDING AREA: 66,607 S.F. (1.53 AC) (1.21% OF TOTAL SITE)  
TOTAL PAVED AREA: 365,946 S.F. (8.40 AC) (6.89% OF TOTAL SITE)  
TOTAL IMPERVIOUS AREA: 432,553 S.F. (9.93 AC) (7.90% OF TOTAL SITE)

WETLAND AREA: 2,275,236 S.F. (52.23 AC) (41.73% OF TOTAL SITE)

ALLOWABLE LOT COVERAGE: N/A  
BUILDING LOT COVERAGE = 1.22%

**SETBACK REQUIREMENTS:**

FRONT (NORTH)	25'	927.71'
FRONT (EAST)	25'	705.95'
SIDE (WEST)	25'	412.15'
SIDE (SOUTH)	25'	1196.28'

**PARKING CALCULATIONS:**  
STADIUM PARKING: 1 SPACE PER EVERY 3 SEATS  
REQUIRED PARKING SPACES: 480/3 = 160 SPACES  
PROVIDED PARKING SPACES: 276 SPACES (INCLUDING 9 ADA) PLUS 197 SPECIAL EVENT OVERFLOW SPACES  
BARN: 1 SPACE PER 3 PERSONS ALLOWED BY FIRE CODE.  
REQUIRED PARKING SPACES: 803 = 27 SPACES  
PROVIDED PARKING SPACES: 8 SPACES (INCLUDING 2 ADA) PLUS 44 CAR AND TRAILER PARKING SPACE

**LOADING CALCULATIONS:**  
LOADING REQUIRED = 500 SF LOADING AREA PER EACH 20000 SF BUILDING AREA  
LOADING PROVIDED = 2000 SF LOADING AREA REQUIRED  
LOADING PROVIDED = 1000 SF AT RACING BUILDING, 1000 SF AT BARN

**SITE SOILS INFORMATION:**  
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR WAYNE COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:

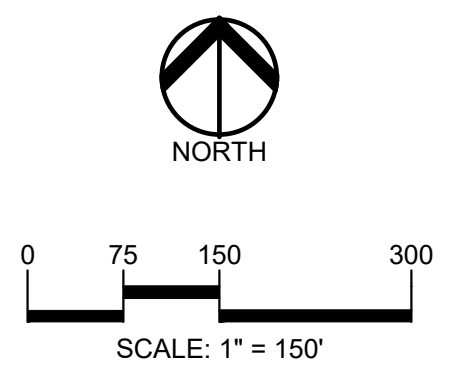
- BOYER LOAMY SAND, 0 TO 6 PERCENT SLOPES
- EDWARD MUCKS
- GILFORD SANDY LOAM
- GLYWOOD LOAM, 2 TO 6 PERCENT SLOPES
- HOUGHTON MUCK
- MORLEY LOAM, 6 TO 12 PERCENT SLOPES
- MORLEY LOAM, 12 TO 18 PERCENT SLOPES
- PELLA SILT LOAM
- PEWANO LOAM
- SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
- WASEPI LOAMY SAND, 0 TO 2 PERCENT SLOPES

**COMMUNITY AMENITIES:**

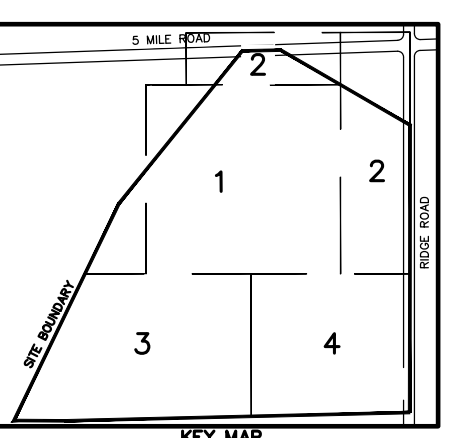
**SPORT FIELDS:**  
FLEX SPACE SUFFICIENT FOR 3 REGULATION SOCCER FIELDS (OR OTHER SPORTS)  
TOTAL AREA PROVIDED = 6.08 ACRES (264,600 S.F.)

**SPORT PATIO:**  
FENCED FLEX SPACE SUFFICIENT FOR 4 REGULATION PICKLEBALL COURTS (OR OTHER SPORTS)  
TOTAL AREA PROVIDED = 7,950 S.F.

**WALKING PATH:**  
8 FOOT WIDE ADA-COMPLIANT ASPHALT PATH  
TOTAL LENGTH = 1.2 MILES (6,230 LF / 49,840 S.F.)  
POND SEATING AREA = 190 S.F.  
BOARDWALK 1 = 95 LF (695 S.F.)  
BOARDWALK 2 = 115 LF (1,030 S.F.)



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



**CLIENT:**  
JR MILITELLO REALTY  
268 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

**PROJECT TITLE:**  
NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

**REVISIONS**

SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

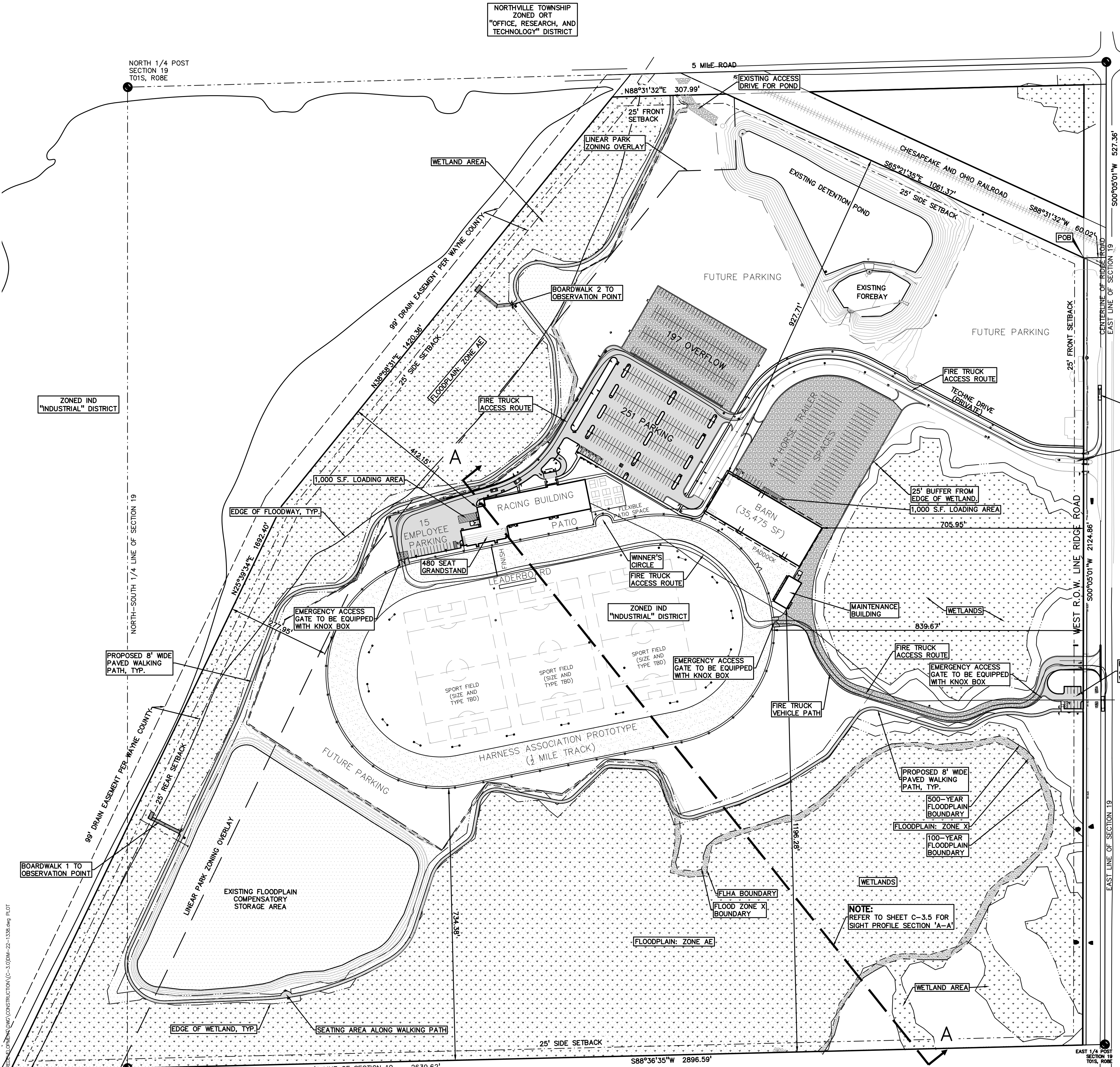
**ORIGINAL ISSUE DATE:**  
MARCH 31, 2023

**DRAWING TITLE:**  
OVERALL SITE PLAN

**PEA JOB NO. 2022-1338**

P.M.	BK
D.N.	BLA
DES.	BK

**DRAWING NUMBER:**



- FIRE DEPARTMENT NOTES:**
- ALL GATES ALONG THE DESIGNATED EMERGENCY ACCESS ROUTE SHALL BE ACCESSIBLE VIA KNOX BOXES.
  - ALL PORTIONS OF THE DESIGNATED FIRE TRUCK ACCESS ROUTE SHALL BE CAPABLE OF SUPPORTING A VEHICLE OF UP TO 75,000 LBS WEIGHT.
  - AN EMERGENCY EVACUATION PLAN SHALL BE DEVELOPED IN CONJUNCTION WITH THE PLYMOUTH TOWNSHIP FIRE DEPARTMENT SPECIFYING THAT FOR ANY EMERGENCY OCCURRING DURING OPERATIONAL HOURS, STAFF WILL IMMEDIATELY ENSURE THAT ALL GATES ALONG THE EMERGENCY ACCESS ROUTE ARE OPEN.

**FLOODPLAIN:**  
(Per Flood Insurance Rate Map Number 26163C-0020E, Effective on February 2, 2012, and per LOMR 21-05-1510P dated May 6, 2022)

**SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**  
The 1% annual chance flood (100 year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, AP3, V and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

**ZONE AE - Base Flood Elevations determined.**

**FLOODWAY AREAS IN ZONE AE**  
The floodway is the channel of stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

**OTHER FLOOD AREAS**  
ZONE X - Area of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

**OTHER AREAS**  
ZONE X - Area to be determined outside of the 0.2% annual chance floodplain.

S:\PROJECTS\2022\0222-1338-0020E-INDUSTRIAL CONSTRUCTION\C-3.020M-22-1338.dwg PLOT DATE: 05/19/2023 2:17 PM 05/19/2023

MATCHLINE - SEE SHEET 2

**LEGEND:**

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- GRAVEL
- WETLAND
- CONCRETE CURB AND GUTTER
- REVERSE GUTTER PAN
- SETBACK LINE
- SIGN LIGHTPOLE
- GUARD RAIL

**NOTE:**  
REFER TO SHEET C-3.2 FOR GENERAL PAVING NOTES.  
REFER TO SHEET C-3.2 FOR WAYNE COUNTY CONSTRUCTION NOTES

**SIDEWALK RAMP LEGEND:**

- SIDEWALK RAMP TYPE 'R'
- SIDEWALK RAMP TYPE 'P'
- CURB DROP ONLY

**SIGN LEGEND:**

- 'NO PARKING FIRE LANE' SIGN
- 'STOP' SIGN
- 'BARRIER FREE PARKING' SIGN
- 'VAN ACCESSIBLE' SIGN
- TRAILHEAD SIGN
- 'NO BICYCLES BEYOND THIS POINT' SIGN
- INFORMATIONAL SIGN
- 'DO NOT ENTER' SIGN
- 'PATH ENDS' SIGN

NORTH

0 25 50 100

SCALE: 1" = 50'

**811** Know what's below. Call before you dig.

**CAUTION!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

KEY MAP

**CLIENT**  
JR MILITELLO REALTY  
268 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

**PROJECT TITLE**  
NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

**REVISIONS**

SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
MARCH 31, 2023

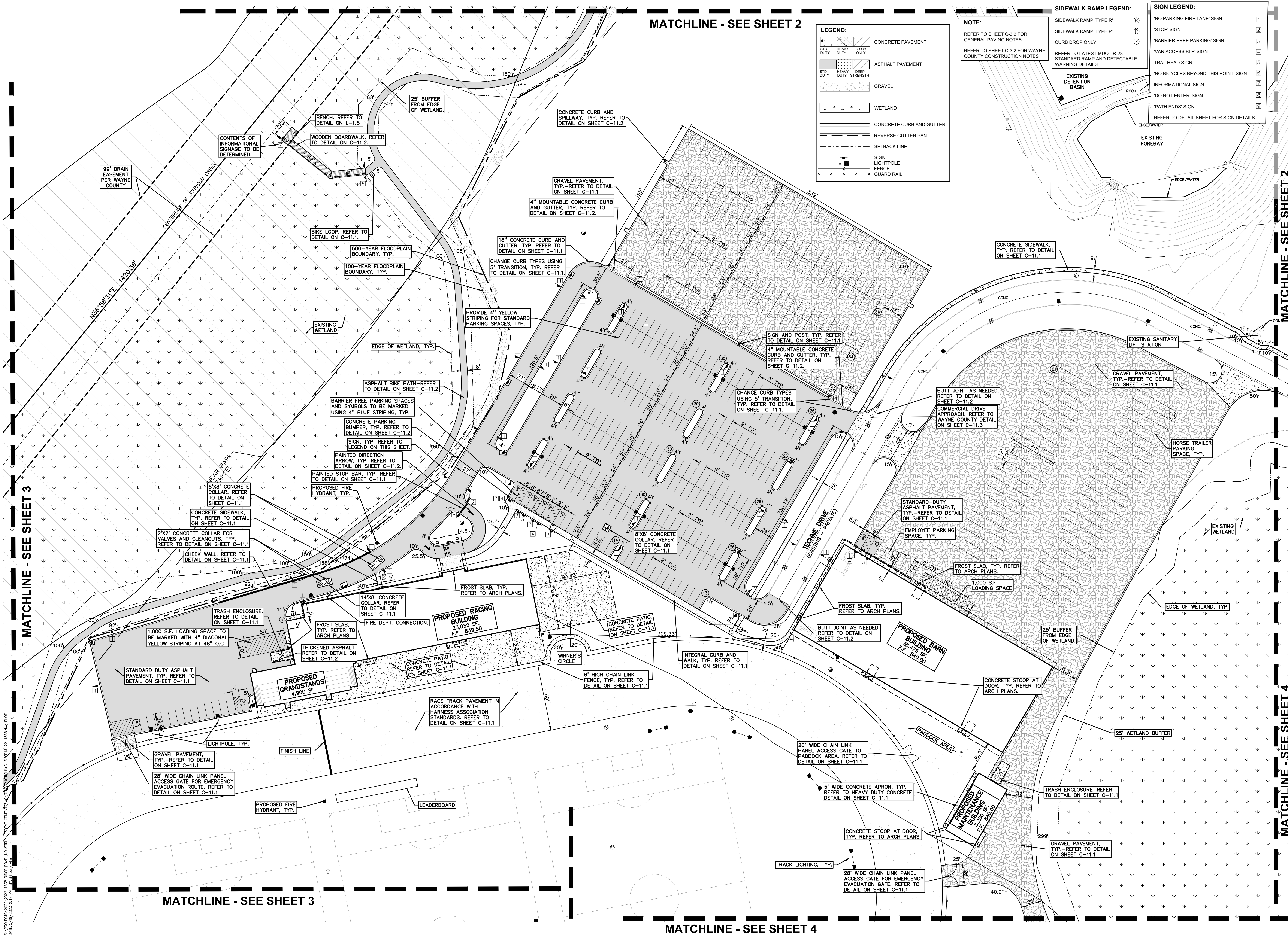
DRAWING TITLE  
**DIMENSION AND PAVING PLAN - 1**

PEA JOB NO. 2022-1338

P.M.	BK
DN.	BLA
DES.	BK

DRAWING NUMBER:

C-3.1



MATCHLINE - SEE SHEET 3

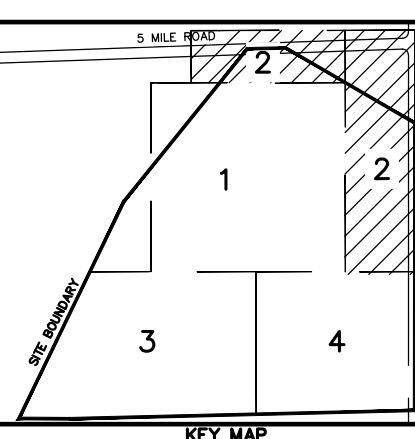
MATCHLINE - SEE SHEET 3

MATCHLINE - SEE SHEET 4

MATCHLINE - SEE SHEET 2

MATCHLINE - SEE SHEET 4

S:\PROJECTS\2022\02024-1338 RIDGE ROAD INDUSTRIAL DEVELOPMENT\DWG\PEA\2023\03\23-03-31\2023-03-31.dwg



CLIENT  
**JR MILITELLO REALTY**  
288 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

REVISIONS

SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
MARCH 31, 2023  
DRAWING TITLE  
**DIMENSION AND PAVING PLAN - 2**

PEA JOB NO. 2022-1338

P.M.	BK
DN	BLA
DES.	BK

DRAWING NUMBER:

**LEGEND:**

CONCRETE PAVEMENT	CONCRETE PAVEMENT
ASPHALT PAVEMENT	ASPHALT PAVEMENT
GRAVEL	GRAVEL
WETLAND	WETLAND
CONCRETE CURB AND GUTTER	CONCRETE CURB AND GUTTER
REVERSE GUTTER PAN	REVERSE GUTTER PAN
SETBACK LINE	SETBACK LINE
SIGN	SIGN
LIGHTPOLE	LIGHTPOLE
FENCE	FENCE
GUARD RAIL	GUARD RAIL

**SIGN LEGEND:**

'NO PARKING FIRE LANE' SIGN	1
'STOP' SIGN	2
'BARRIER FREE PARKING' SIGN	3
'VAN ACCESSIBLE' SIGN	4
TRAILHEAD SIGN	5
'NO BICYCLES BEYOND THIS POINT' SIGN	6
INFORMATIONAL SIGN	7

REFER TO DETAIL SHEET FOR SIGN DETAILS

**SIDEWALK RAMP LEGEND:**

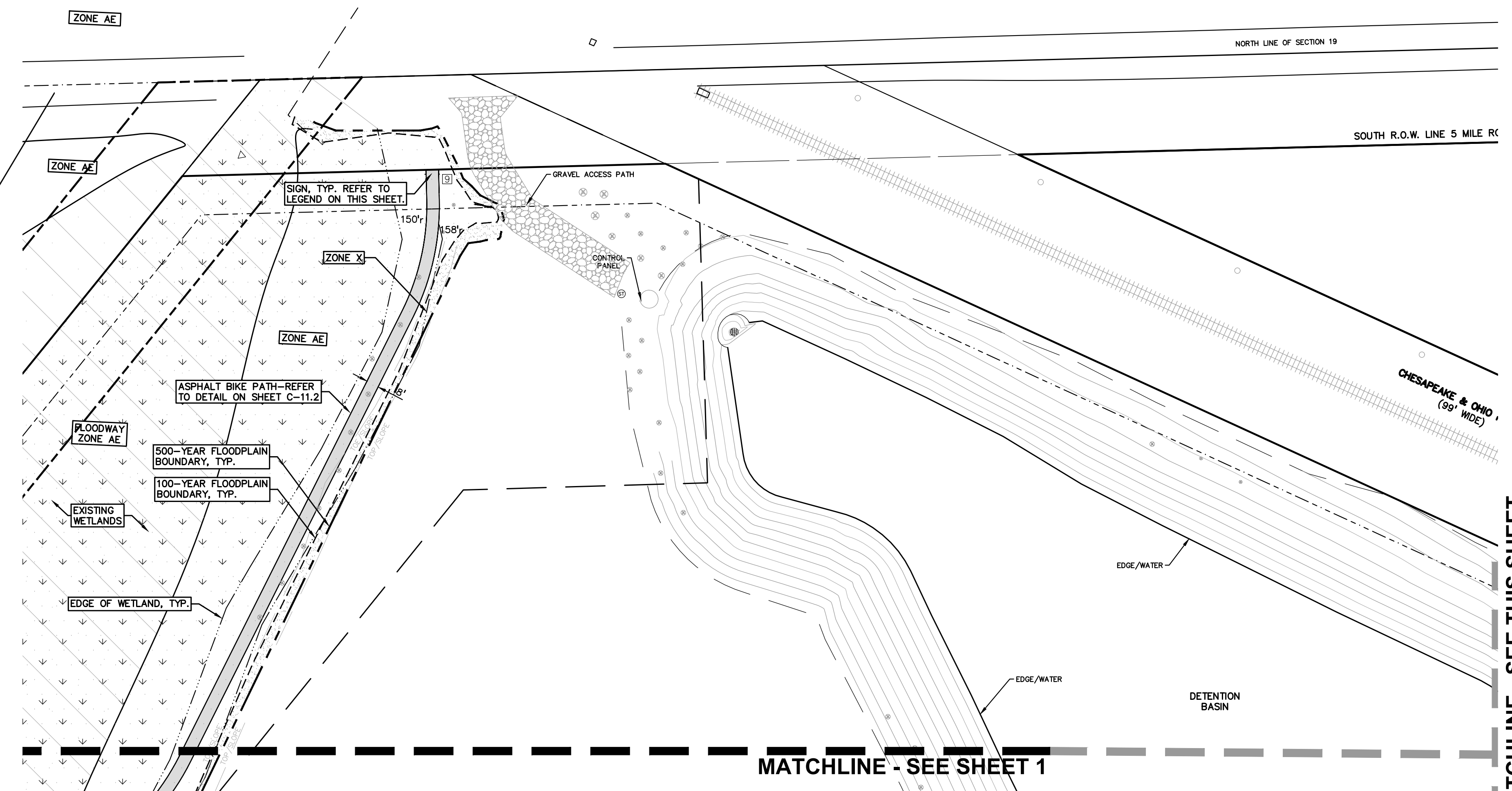
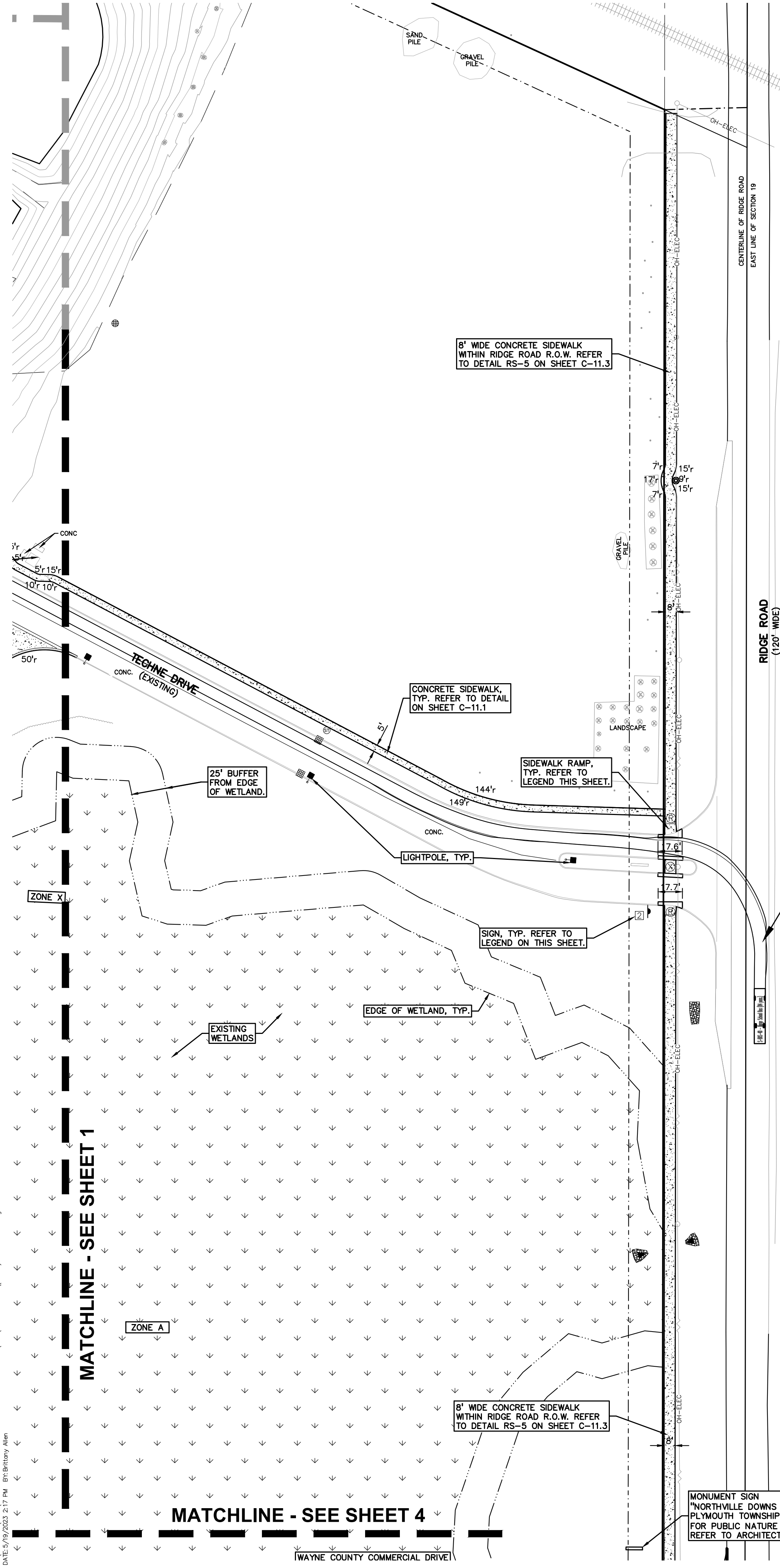
SIDEWALK RAMP 'TYPE R'	R
SIDEWALK RAMP 'TYPE P'	P
CURB DROP ONLY	X

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

- PAVING NOTES:**
- IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
  - REFER TO ARCHITECTURAL PLANS FOR DETAILS OF FROST SLAB AT EXTERIOR BUILDING DOORS.
  - CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS SHOULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
  - ALL EXPANSION JOINTS AND CONCRETE PAVEMENT JOINTS TO BE SEALED.
  - CONCRETE CURBING JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
    - JOINTS WHEN ADJACENT TO ASPHALT PAVEMENT
      - PLACE CONTRACTION JOINTS AT 10' INTERVALS
      - PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
      - PLACE 1" EXPANSION JOINT:
        - AT SPRING POINTS OF INTERSECTIONS OR ONE OF THE END OF RADIUS LOCATIONS IN A CURVE
        - AT 400' MAXIMUM INTERVALS ON STRAIGHT RUNS
        - AT THE END OF RADIUS AT OPPOSITE ENDS IN A CURBED LANDSCAPE ISLAND
    - JOINTS WHEN TIED TO CONCRETE PAVEMENT
      - PLACE CONTRACTION JOINTS OPPOSITE ALL TRANSVERSE CONTRACTION JOINTS IN PAVEMENT
      - PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
      - PLACE 1" EXPANSION JOINT OPPOSITE ALL TRANSVERSE EXPANSION JOINTS IN PAVEMENT
      - CURB AND GUTTER AND CONCRETE SHALL BE TIED TOGETHER SIMILAR TO A LONGITUDINAL LANE TIE JOINT (MDOT B1 JOINT)
  - IN BETWEEN POURS OF PROPOSED CONCRETE CURBING (CONSTRUCTION JOINT):
    - CARRY THE REBAR CONTINUOUSLY BETWEEN POURS
    - IF THE REBAR IS NOT LONG ENOUGH TO CARRY CONTINUOUSLY, THEN TIE TWO PIECES OF REBAR PER THE LATEST MDOT SPECIFICATIONS
  - CONCRETE SIDEWALK JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
    - PLACE TRANSVERSE CONTRACTION JOINTS EQUAL TO THE WIDTH OF THE WALK WHEN WIDTH IS LESS THAN 8'
    - PLACE TRANSVERSE AND LONGITUDINAL CONTRACTION JOINTS EQUAL TO 1/2 THE WIDTH OF THE WALK WHEN WIDTH IS EQUAL TO OR GREATER THAN 8'
    - PLACE 1" EXPANSION JOINT WHERE ABUTTING SIDEWALK RAMP AND/OR RADIUS IN INTERSECTION
    - PLACE TRANSVERSE 1/2" EXPANSION JOINT AT MAXIMUM OF 100' SPACING
    - PLACE 1/2" EXPANSION JOINT WHEN ABUTTING A FIXED STRUCTURE, OTHER PAVEMENT (CONCRETE PAVEMENT AND DRIVE APPROACHES), UTILITY STRUCTURES, LIGHT POLE BASES AND COLUMNS

- WAYNE COUNTY CONSTRUCTION NOTES:**
- SAWCUT FULL DEPTH THE EXISTING PAVEMENT TO THE NEAREST JOINT WITHIN WAYNE COUNTY ROAD RIGHT-OF-WAY AND REMOVE THE EXISTING PAVEMENT AND CURBS AS DIRECTED BY WAYNE COUNTY ENGINEER.
  - CONSTRUCT WAYNE COUNTY ROAD PAVEMENT PER WAYNE COUNTY STANDARDS DETAIL "PR-1" OR "PR-2" AS APPLICABLE, OR AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
  - PLACE 9" OF 21AA AGGREGATE COMPACTED TO MINIMUM 95% DENSITY OF MAXIMUM UNIT WEIGHT OR AS DIRECTED BY WAYNE COUNTY ENGINEER.
  - CONSTRUCT WAYNE COUNTY ROAD PAVEMENT REPAIRS WITH MINIMUM OF 2.0" HMA TOP (T) ON MINIMUM 10" NON-REINFORCED CONCRETE W/C 35 P MIX (3500 PSI AT 28 DAYS) AND INTEGRAL STRAIGHT CURB TYPE "4" AS PER WAYNE COUNTY STANDARD DETAIL "RS-3" OR AS DIRECTED BY WAYNE COUNTY ENGINEER.
  - TIE THE NEW PAVEMENT TO THE EXISTING PAVEMENT WITH #5 EPOXY COATED BARS AT MAXIMUM 43-INCH ON CENTER LONGITUDINALLY AND AT 18-INCH ON CENTER TRANSVERSELY AS PER WAYNE COUNTY STANDARD DETAIL "RS-2" OR AS DIRECTED BY THE COUNTY ENGINEER.
  - PLACE THE CONSTRUCTION JOINTS OF THE NEW PAVEMENT TO MATCH THE EXISTING PAVEMENT JOINTS OR AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
  - REPLACE ANY DAMAGED CURBS AS A RESULT OF THIS PROJECT ACTIVITY AS PER WAYNE COUNTY STANDARD DETAIL "D-7" OR AS DIRECTED BY THE COUNTY ENGINEER.
  - ANY DAMAGED UNDERDRAIN AS A RESULT OF THIS PROJECT ACTIVITY SHALL BE RECONSTRUCTED AS PER WAYNE COUNTY DETAIL "S-14" OR AS DIRECTED BY THE COUNTY ENGINEER.
  - ANY DAMAGED SIDEWALK AS A RESULT OF THIS PROJECT ACTIVITY SHALL BE RECONSTRUCTED AS PER WAYNE COUNTY DETAIL "RS-5" OR AS DIRECTED BY THE COUNTY ENGINEER.
  - MAINTAIN A MAXIMUM 2% TRANSVERSE SLOPE ON THE SIDEWALK.
  - ANY DAMAGED SIDEWALK RAMPS SHOULD BE REPLACED TO MATCH THE ADA REQUIREMENTS AS PER MDT STANDARD DETAIL "R-28-1".
  - STRUCTURE ADJUSTMENT SHALL BE DETERMINED AT THE SITE BY WAYNE COUNTY ENGINEER.
  - RELOCATE, RESTORE, OR REPLACE ANY TRAFFIC SIGNS THAT ARE AFFECTED BY THIS CONSTRUCTION AS DIRECTED BY THE WAYNE COUNTY ENGINEER.
  - RELOCATE ANY EXISTING UTILITY THAT IS IN CONFLICT WITH THE PROPOSED WORK AS DIRECTED BY THE COUNTY ENGINEER AND UTILITY COMPANY REPRESENTATIVE.

NOTE: WORK WITHIN THE RIDGE ROAD RIGHT-OF-WAY IS THE RESPONSIBILITY OF WAYNE COUNTY AND REQUIRES A PERMIT.



S:\PROJECTS\2022\0252-138 RIDGE ROAD INDUSTRIAL REDEVELOPMENT\DWG\CONSTRUCTION\C-3.02M-22-138M.dwg PLOT DATE: 05/19/23 11:17 AM

MATCHLINE - SEE SHEET 1

MATCHLINE - SEE SHEET 4

MATCHLINE - SEE THIS SHEET

MONUMENT SIGN  
"NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP - PARKING FOR PUBLIC NATURE TRAIL"  
REFER TO ARCHITECTURAL PLANS.

**LEGEND:**

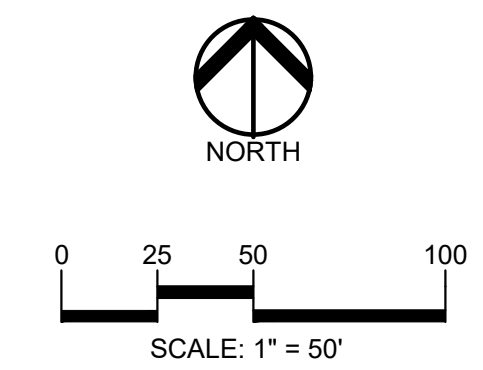
	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	GRAVEL
	WETLAND
	CONCRETE CURB AND GUTTER
	REVERSE GUTTER PAN
	SETBACK LINE
	SIGN LIGHTPOLE
	FENCE
	GUARD RAIL

**SIGN LEGEND:**

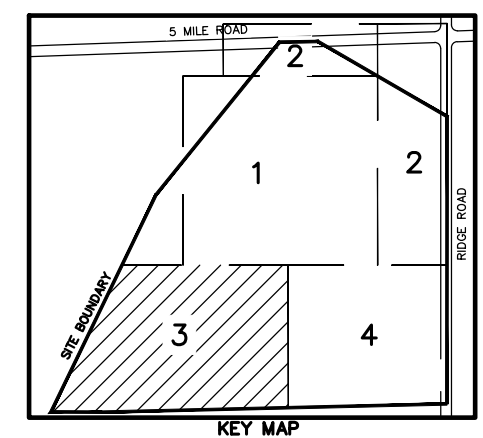
'NO PARKING FIRE LANE' SIGN	1
'STOP' SIGN	2
'BARRIER FREE PARKING' SIGN	3
'VAN ACCESSIBLE' SIGN	4
TRAILHEAD SIGN	5
'NO BICYCLES BEYOND THIS POINT' SIGN	6
INFORMATIONAL SIGN	7

REFER TO DETAIL SHEET FOR SIGN DETAILS

**NOTE:**  
 REFER TO SHEET C-3.2 FOR GENERAL PAVING NOTES.  
 REFER TO SHEET C-3.2 FOR WAYNE COUNTY CONSTRUCTION NOTES



**CAUTION!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



**CLIENT**  
**JR MILITELLO REALTY**  
 268 MAIN STREET  
 SUITE 300  
 BUFFALO, NY 14202

**PROJECT TITLE**  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
 FIVE MILE AND RIDGE ROAD  
 PLYMOUTH, MI

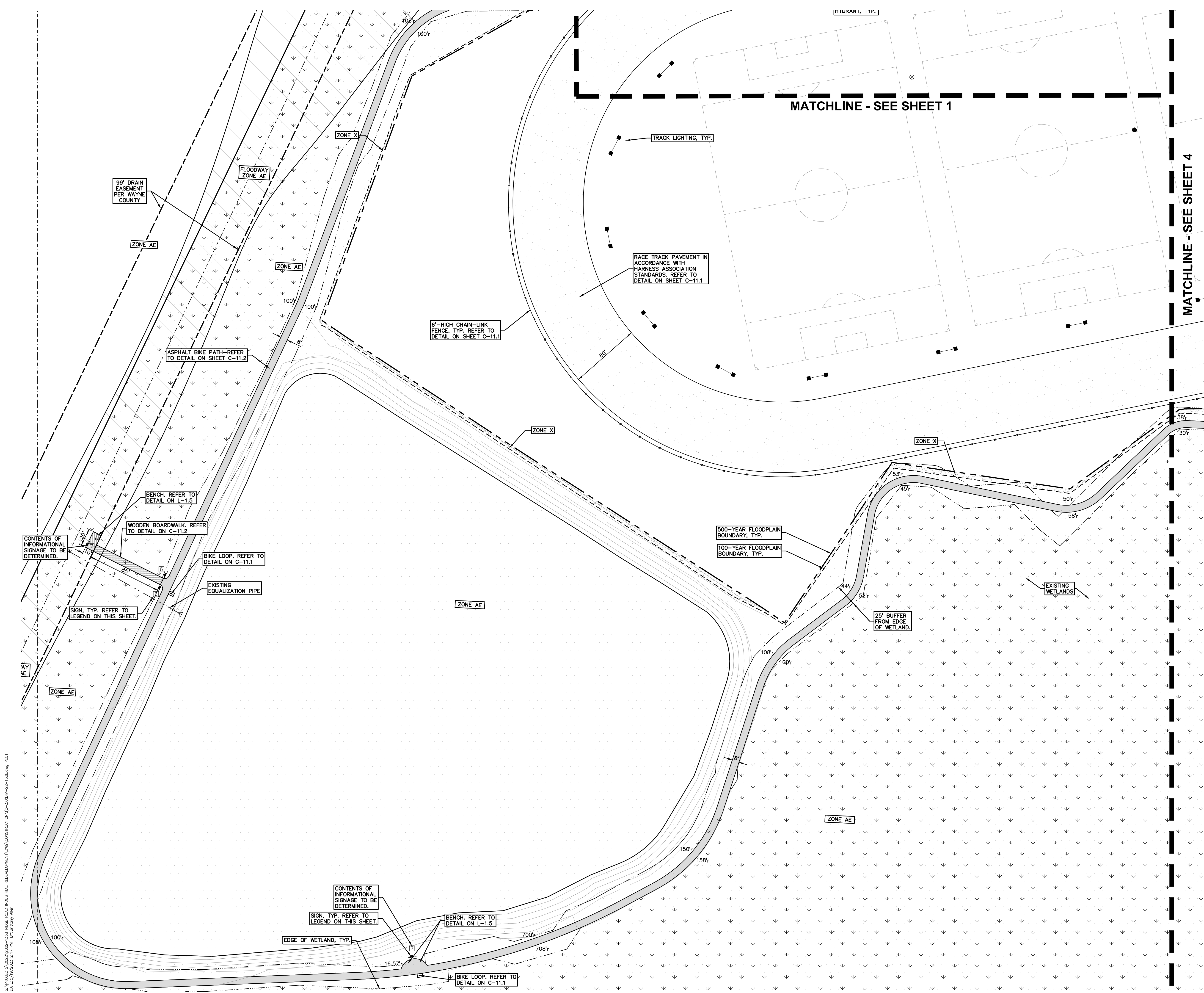
**REVISIONS**

SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

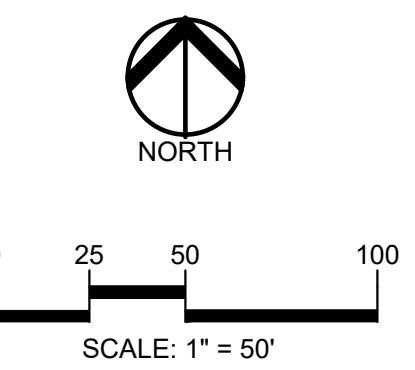
**ORIGINAL ISSUE DATE:**  
 MARCH 31, 2023  
**DRAWING TITLE**  
**DIMENSION AND PAVING PLAN - 3**

PEA JOB NO.	2022-1338
P.M.	BK
DN.	BLA
DES.	BK
DRAWING NUMBER:	

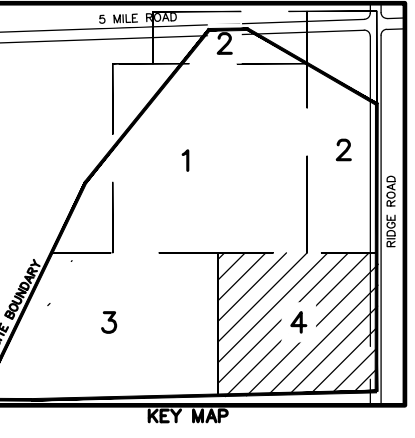
**C-3.3**



S:\PROJECTS\2022\2022-1338 RIDGE ROAD INDUSTRIAL REDEVELOPMENT\DWG\CONSTRUCTION\C-3.03DM-22-1338.dwg PLOT  
 DATE: 05/19/2023 2:17 PM 10:00 AM



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**JR MILITELLO REALTY**  
288 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

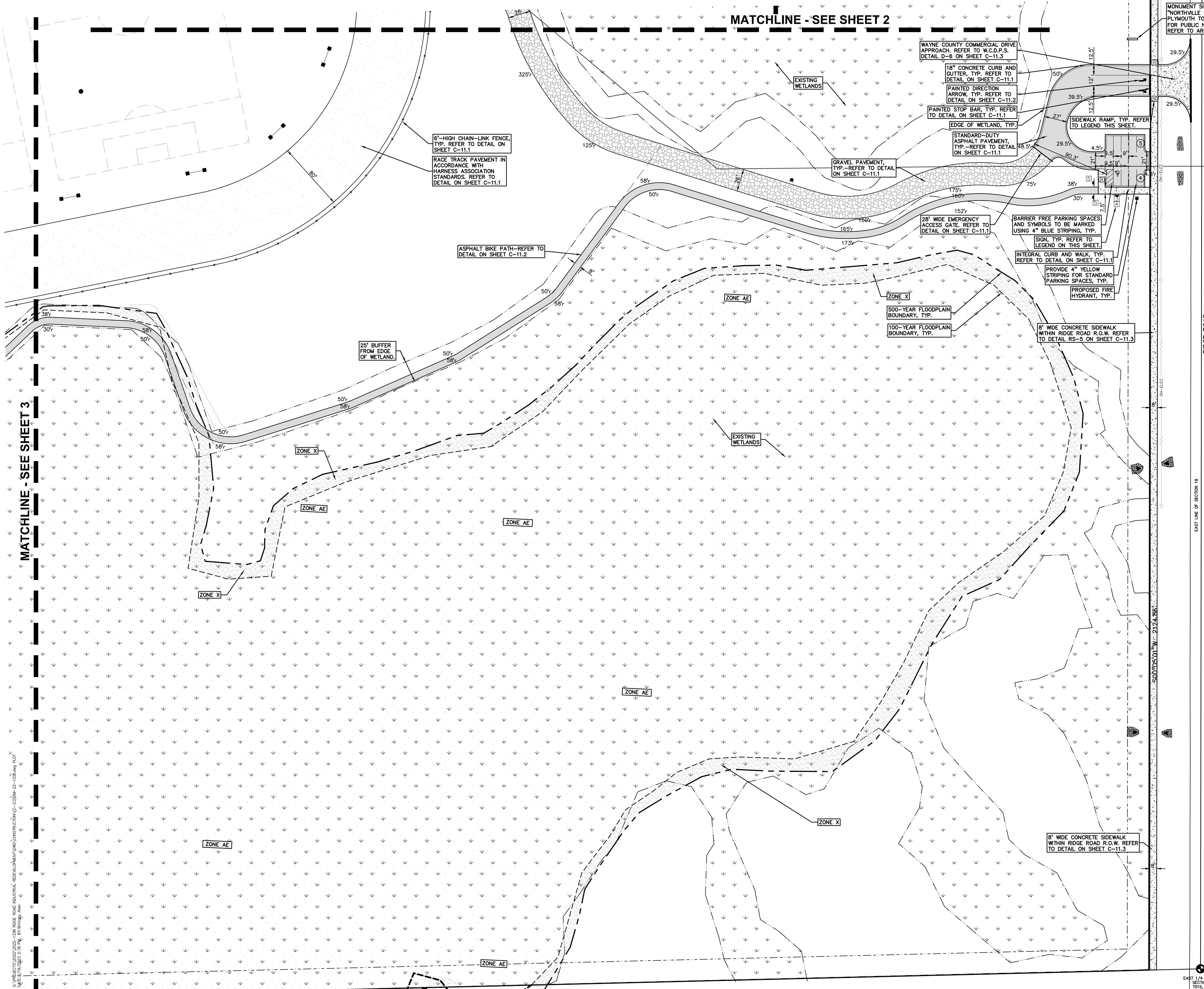
PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

REVISIONS	
SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
MARCH 31, 2023  
DRAWING TITLE  
**DIMENSION AND PAVING PLAN - 4**

PEA JOB NO.	2022-1338
P.M.	BK
DN.	BLA
DES.	BK

DRAWING NUMBER:  
**C-3.4**



**LEGEND:**

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- GRAVEL
- WETLAND
- CONCRETE CURB AND GUTTER
- REVERSE GUTTER PAN
- SETBACK LINE
- SIGN
- LIGHTPOLE FENCE
- GUARD RAIL

**SIDEWALK RAMP LEGEND:**

- SIDEWALK RAMP TYPE R
- SIDEWALK RAMP TYPE P
- CURB DROP ONLY

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

**SIGN LEGEND:**

- NO PARKING FIRE LANE SIGN
- STOP SIGN
- BARRIER FREE PARKING SIGN
- VAN ACCESSIBLE SIGN
- TRAILHEAD SIGN
- NO BICYCLES BEYOND THIS POINT SIGN
- INFORMATIONAL SIGN

REFER TO DETAIL SHEET FOR SIGN DETAILS

**NOTE:**

REFER TO SHEET C-3.2 FOR GENERAL PAVING NOTES.

REFER TO SHEET C-3.2 FOR WAYNE COUNTY CONSTRUCTION NOTES

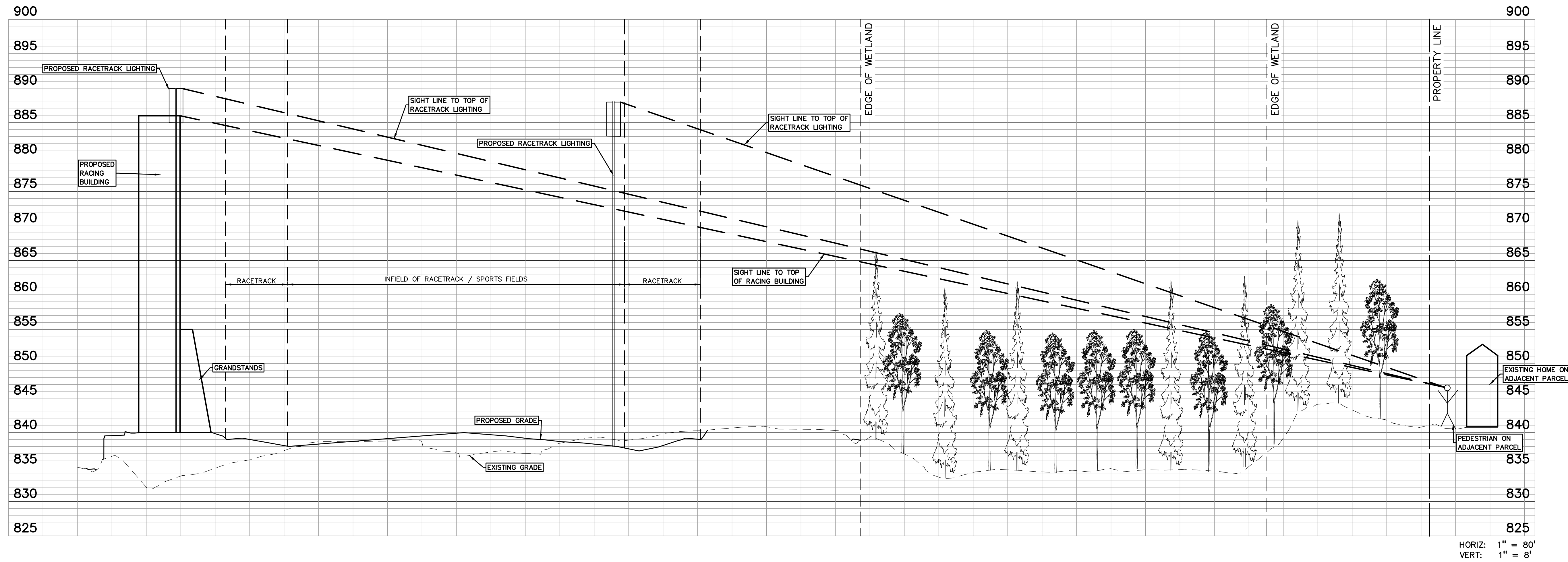
**NOTE:**

ALL WORK WITHIN THE RIDGE ROAD R.O.W. REQUIRES A PERMIT FROM WAYNE COUNTY AND REQUIRES A PERMIT FROM THE STATE OF MICHIGAN.

S:\PROJECTS\2022\2022-1338 RIDGE ROAD INDUSTRIAL REDEVELOPMENT\CONSTRUCTION\C-103M-22-1338.dwg PLOT  
DATE: 05/19/23 2:10 PM  
DRAWING NO: 2022-1338



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OR COMPLETENESS OF ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



HORIZ: 1" = 80'  
VERT: 1" = 8'

CLIENT  
**JR MILITELLO REALTY**  
268 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

REVISIONS	
SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
MARCH 31, 2023  
DRAWING TITLE  
**SIGHT PROFILE SECTION 'A-A'**

PEA JOB NO.	2022-1338
P.M.	BK
DN.	BLA
DES.	BK
DRAWING NUMBER:	

**C-3.5**



**Northville Downs**

**Horse Racing Track**

04/20/2023

Job Number: 982287

Prepared by: CO

Powered by Wisconsin Lighting Lab, Inc.

NOTES

\*Luminaire testing data is based on Illuminating Engineering Society (IES) standards under simulated and laboratory conditions. This design is based on information supplied by others, and individual field measurements may vary from computer simulation calculations due to variations in field conditions, environmental conditions and other variable field characteristics. Typical field foot candle measurements may vary +/- 10%. For sports lighting, field measurements should be taken in accordance with IESNA RP-115. Conformance to field and local codes is the responsibility of the owner and their representatives. The layout may not meet CA Title 24 and/or other local energy codes. If specific compliance is required, those details must be provided to your facility design representative.

\*\*Satisfactory performance and safe use of LED sports lighting fixtures is dependent upon light poles, brackets, anchorage and other structural components being of adequate design and condition. The total combined (below suspended area (SBA) pole weight of all fixtures, brackets and assemblies mounted to a light pole cannot exceed the EPC and weight rating for a specified pole. For sports lighting retrofit applications, it is the customer's responsibility to have a qualified inspector and/or engineer confirm the structural adequacy of the existing light poles assemblies. We are happy to quote new light poles and brackets if you have concerns about your existing materials/brand.

- General Electrical Requirements:
- 3 phase, 4-wire, 480V at service entrance
  - Service entrance supplied voltage to be within 0%
  - 2 (2) SPDs installed near service entrance
  - 2 #4 conductors at each pole base
  - 3 wire, 277V at pole base (Line - Neutral - Ground)
  - 3% permissible voltage drop from service entrance and pole base
  - 3 wire, 110-277V at wireless control base station (exact location TBD)
  - Typical grounding electrode at pole base, bonded

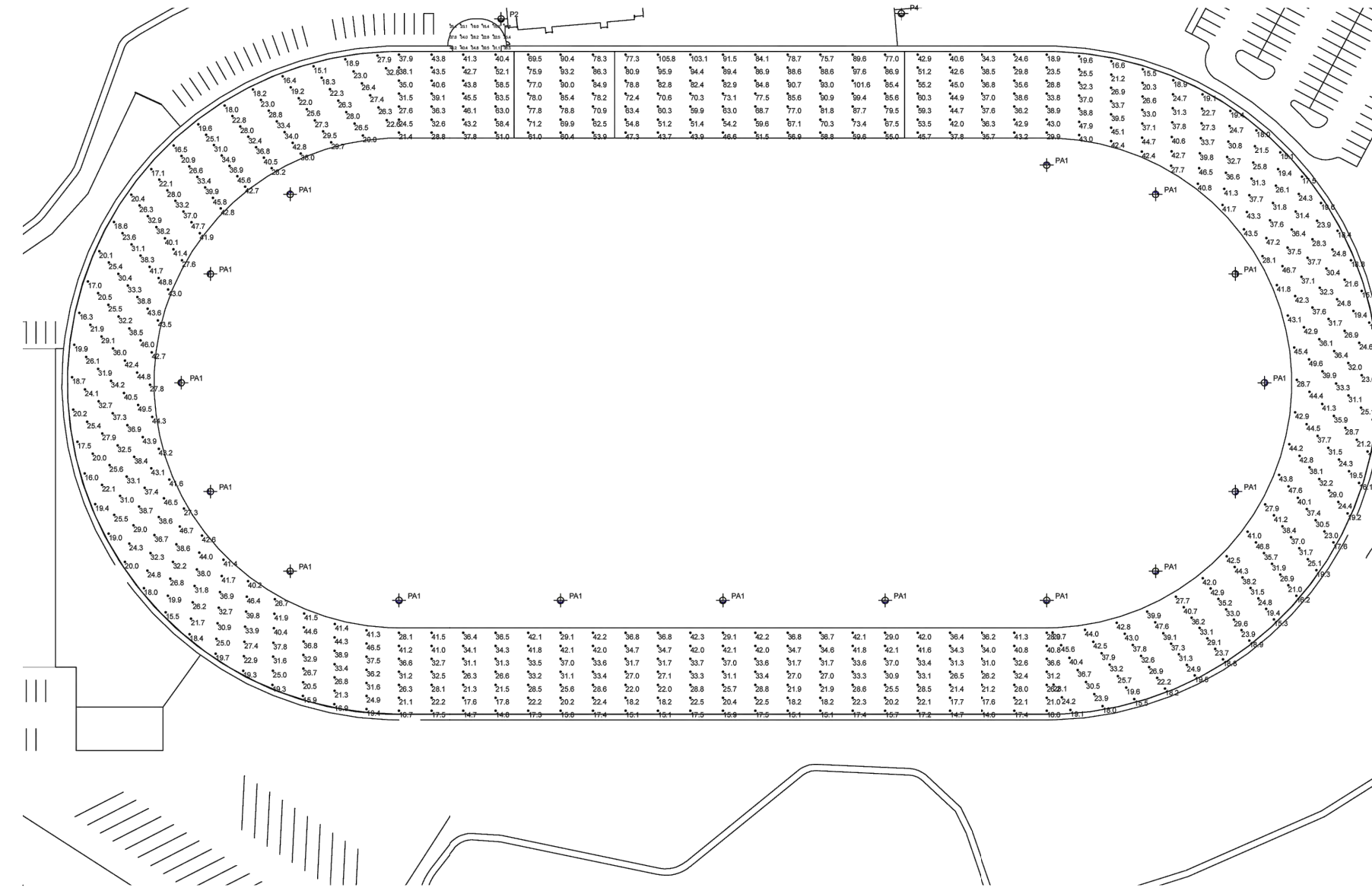
1

Specifications subject to change without notice.

308 N. Brooke St. | Fond du Lac, WI 54935  
 quotes@willbrands.com | www.willbrands.com 608292



Photometrics



2

Specifications subject to change without notice.

308 N. Brooke St. | Fond du Lac, WI 54935  
 quotes@willbrands.com | www.willbrands.com 608292



Calculations

Pole Schedule

Qty	Label	Description
1	P4	50' POLE, ACR8/ACR8/ACR6/ACR2, PDH, RPC, 20 TOTAL KB8 FIXTURES
1	P3	50' POLE, ACR8/ACR8/ACR6/ACR6, PDH, RPC, 24 TOTAL KB8 FIXTURES
1	P2	50' POLE, ACR8/ACR8/ACR6/ACR2, PDH, RPC, 20 TOTAL KB8 FIXTURES
16	PA1	50' STEEL POLE, ACR8, PDH, RPC, 8 TOTAL KB8 FIXTURES

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Winners Circle	Illuminance	Fc	27.93	44.2	15.2	1.84	2.91
Finish Line	Illuminance	Fc	75.56	105.8	43.7	1.73	2.42
Race Track	Illuminance	Fc	31.55	63.5	14.6	2.16	4.35

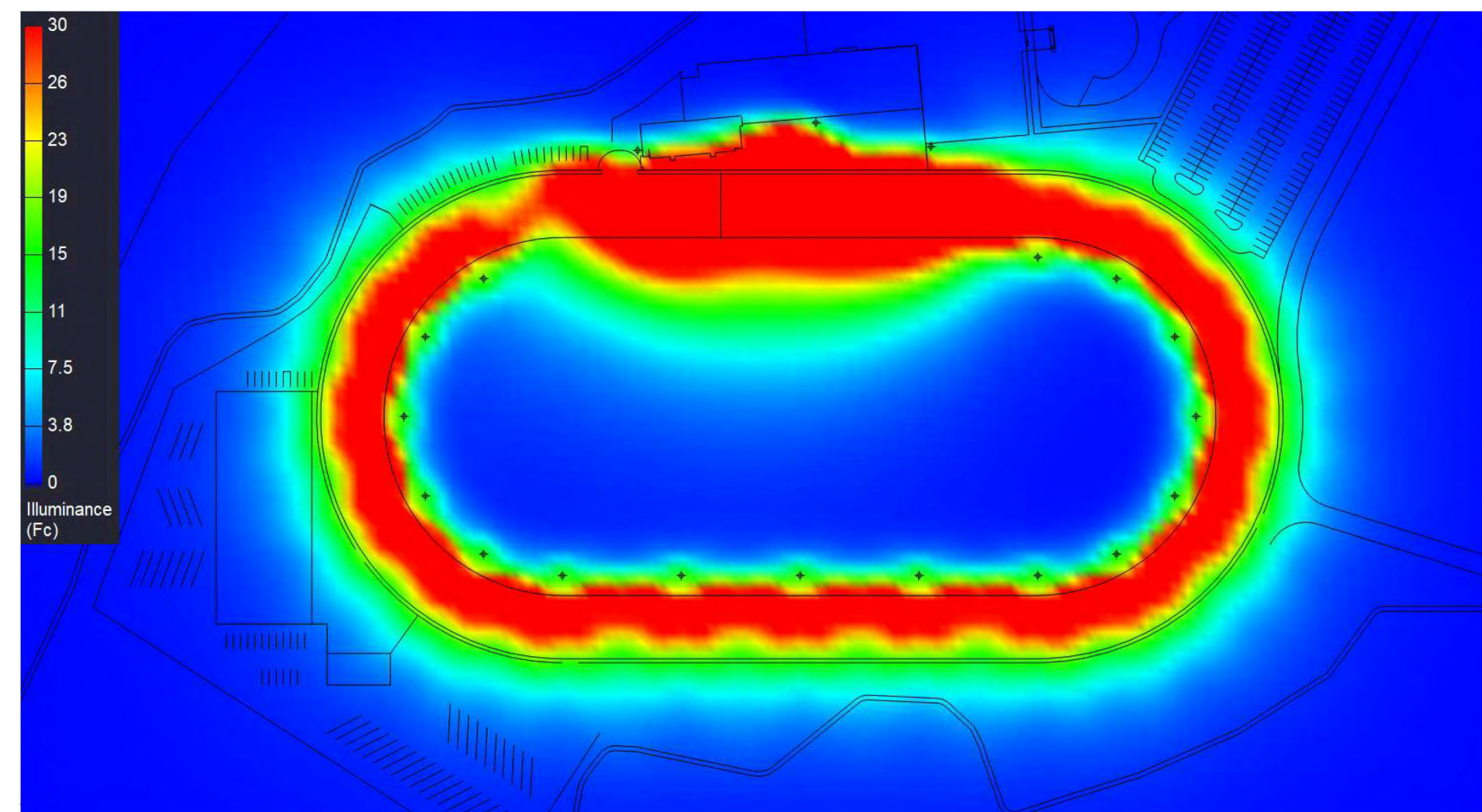
3

Specifications subject to change without notice.

308 N. Brooke St. | Fond du Lac, WI 54935  
 quotes@willbrands.com | www.willbrands.com 608292



Renderings



4

Specifications subject to change without notice.

308 N. Brooke St. | Fond du Lac, WI 54935  
 quotes@willbrands.com | www.willbrands.com 608292



STADIUM LIGHTING NOTES:

1. ALL STADIUM LIGHTING SHALL BE CONTROLLED PROGRAMMATICALLY VIA A WIRELESS CONTROLLER.
2. LIGHTING SHALL BE SET FOR NIGHT EVENTS TO TURN ON NO MORE THAN 30 MINUTES PRIOR TO THE SCHEDULED START OF THE EVENT, AND TO TURN OFF NO MORE THAN 30 MINUTES AFTER THE SCHEDULED END OF THE EVENT.
3. OWNERSHIP SHALL PROVIDE A SCHEDULE OF PLANNED NIGHT EVENTS, INCLUDING PLANNED LIGHTING START AND STOP TIMES, FOR EACH NEW SEASON OF OPERATION.
4. THE TOWNSHIP AND OWNERSHIP SHALL WORK TOGETHER ON SCHEDULING COMMUNITY EVENTS THAT WISH TO USE STADIUM LIGHTING, TO COORDINATE MUTUALLY AGREED-UPON START AND STOP TIMES FOR STADIUM LIGHTING.



**CAUTION!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**JR MILITELLO REALTY**  
 288 MAIN STREET  
 SUITE 300  
 BUFFALO, NY 14202

PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
 FIVE MILE AND RIDGE ROAD  
 PLYMOUTH, MI

REVISIONS	
SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
 MARCH 31, 2023

DRAWING TITLE  
**STADIUM LIGHTING PLAN**

PEA JOB NO. 2022-1338

P.M.	BL
DN.	BLA
DES.	BK

DRAWING NUMBER:

**C-3.6**

WILLsport™ GFX Wireless Lighting Controls

Catalog #	
Project	
Comments	
<b>Part #</b>	<b>Description</b>
WS-GFX	WILLsport™ GFX Wireless Lighting System
WS-GFX-WLC	Wireless Lighting Console
WS-GFX-SCORE	Touchscreen + Tabletop/Wall Mount



Highlights

The WILLsport GFX Wireless Lighting Console is the central point of control for your lighting system. Boasting multiple user interface options and a powerful built-in lighting engine, this secure onsite device provides round-the-clock control of athletic lighting applications. The factory-commissioned lighting platform offers plug-and-play access to bold light shows and automated scheduling capabilities. With wired and wireless configuration options, it's suitable for both retrofit and new installations.

Features

- Designed, engineered, and assembled in Wisconsin, USA from premium domestic and imported components
- Factory commissioned
- Multiple touch screen mounting options
- Reliable wireless lighting system control
- Built-in entertainment programs
- Automated simple-scheduling features
- Sub-field zone control
- Local on-site security
- IP67 rated outdoor enclosure
- RGB lighting control ready

Specifications - Console

<b>Dimensions</b>	13.2" H x 11.2" W x 7.7" D (336.3 x 285.5 x 195.6 mm)
<b>Input Power</b>	36W
<b>Input Voltage</b>	120V AC
<b>Operating Environment</b>	0 to 45 °C; 10 to 90% non-condensing
<b>Radio</b>	2.4 GHz CRMX

Lighting System Controls

The intuitive user interface provides multiple points of control and automation for the lighting system.

Simple Scheduling Functionality

Automate your field lighting with simple scheduling functionality built into the GFX lighting control system. Common scheduling examples include:

- Timer with 2-minute dim warning
- Sunrise, sunset, and/or time-triggered lighting events
- Recurring events (daily/weekly)
- Calendar event scheduling

Factory-Commissioned Entertainment Programs

Coordinated entertainment programs to add a show-stopping element to your athletic facility.

- Lighting** - All fixtures randomly turn ON/OFF to create a camera flash effect on the playing field.
- Tornado** - All fixtures adjust light levels to create a swirling effect around the playing field.
- Night Rider** - All fixtures adjust light levels to create a back and forth effect across the playing field.
- Pulse** - All fixtures simultaneously increase and decrease light levels to create a pulsing effect on the playing field.

Scene Control

Put focus on the action before/during/after the game with scene control.

- Gametime
- Player Intros
- Halftime Show
- National Anthem
- Game Over / Security Lighting

Multi-Field Control

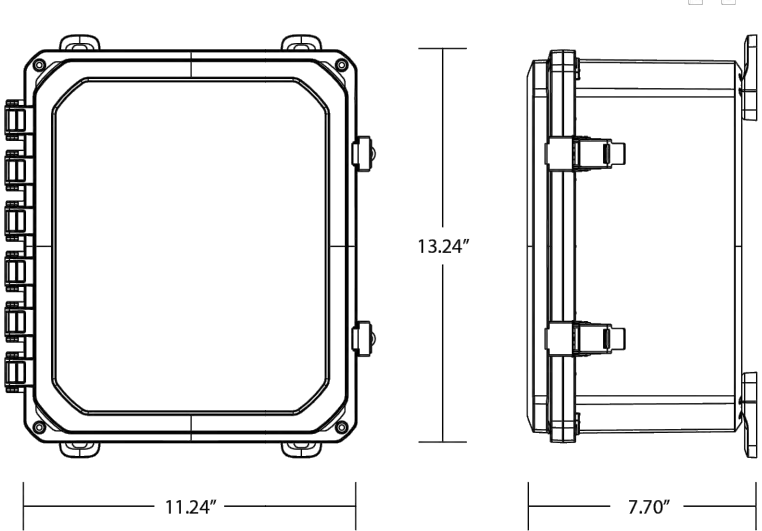
Utilize WILL's GFX technology to control multiple fields or facility resources with the same system.

- Wagon-wheel ballfield configurations
- Multi-field athletic complexes
- Multi-sport facilities
- Site support lighting (walkways, area lighting, etc)

Specifications - Touchscreen

<b>Dimensions</b>	7.0" H x 9.9" W x 0.9" D (178mm x 252mm x 24mm)
<b>Input Power</b>	18W max
<b>Input Voltage</b>	12V/2A AC/DC Adapter supplied
<b>Operating Environment</b>	0 to 45 °C; 10 to 90% non-condensing
<b>Radio</b>	802.11 a/b/g/n/ac
<b>Certifications</b>	FCC, CE, & RoHS

Dimensional Diagrams



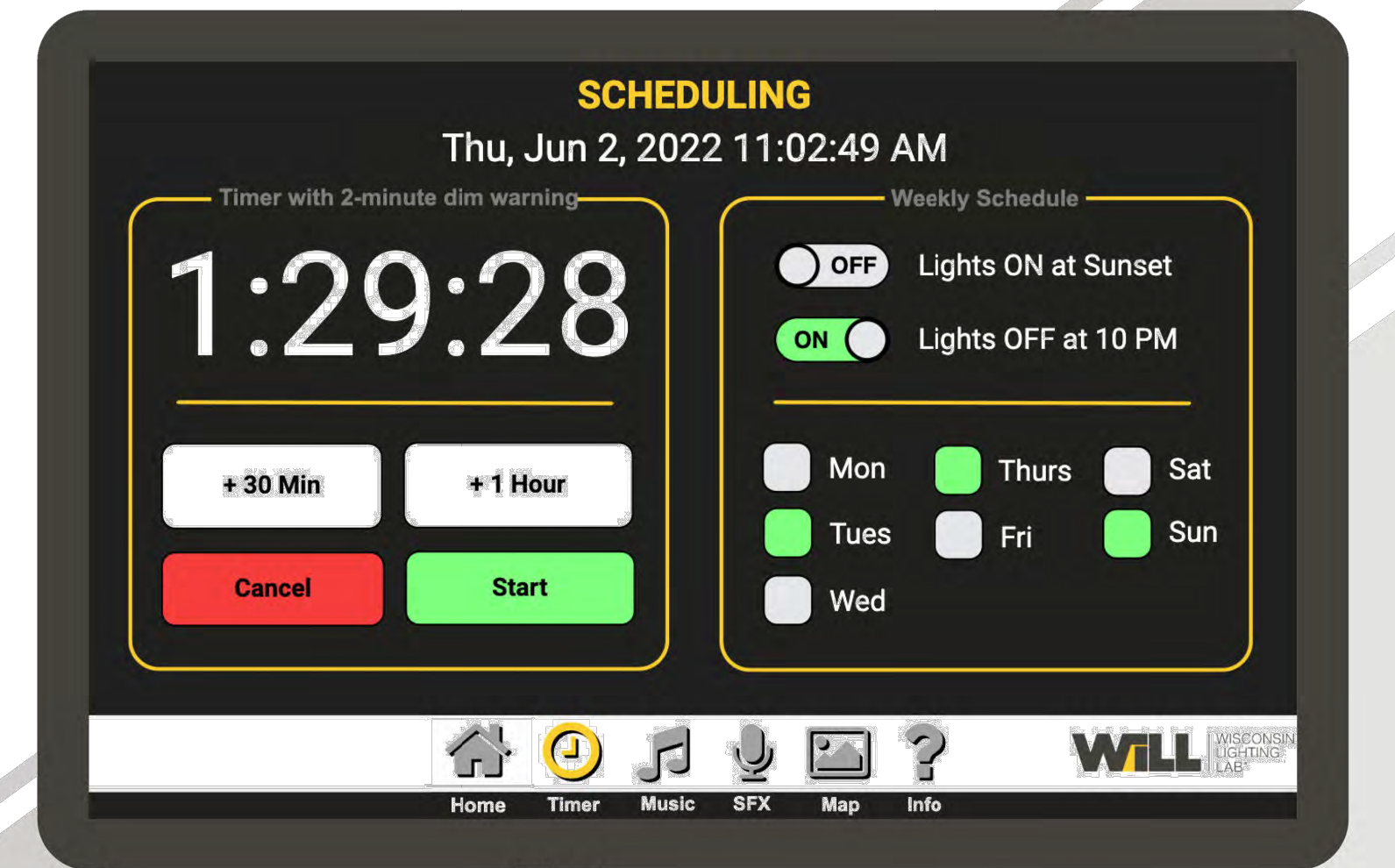
RGB Ready

Enhance your lighting application with the addition of dynamic color control to your GFX system.

- Wireless and/or wired RGB lighting control
- Millions of colors
- Great for accent + architectural applications
- Direct factory integration + support

SIMPLE SCHEDULING BUILT-IN FACTORY SUPPORTED SCHEDULING SERVICES\*

- Sunrise, Sunset, and/or Time-Triggered Lighting Events
- On/Off Timers with 2-Minute Dim Warning for Facility Users
- Calendar Event Scheduling
- Recurring Events (Daily/Weekly/Monthly)
- Contact WILL's Dedicated Factory Support Team
- applications@willbrands.com
- (866) 308-9455



\*Data Connection Required



CAUTION!! THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT JR MILITELLO REALTY 268 MAIN STREET SUITE 300 BUFFALO, NY 14202

PROJECT TITLE NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP FIVE MILE AND RIDGE ROAD PLYMOUTH, MI

REVISIONS SPA RESUBMITTAL 05/02/23 SPA RESUBMITTAL 05/19/23

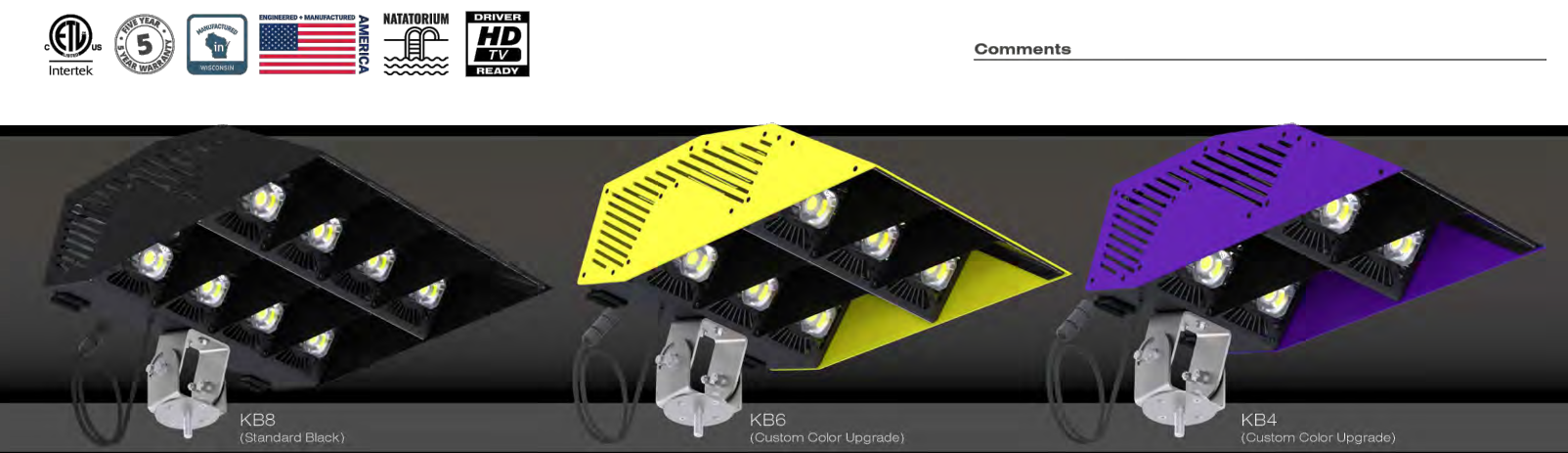
ORIGINAL ISSUE DATE: MARCH 31, 2023

DRAWING TITLE STADIUM LIGHTING CONTROLS

PEA JOB NO. 2022-1338 P.M. BK D.N. BLA DES. BK DRAWING NUMBER:

C-3.7

WILLsport™ KBX LED LIGHTING W/ OPTIONAL RPCX REMOTE PWR-CTL SYSTEM



Highlights

- Designed, engineered, and manufactured in Wisconsin, USA from premium domestic and imported components
- IES files, photometric reports, and lighting simulations available from factory design team
- Output options up to 115,000 lumens
- Easy driver and LED module access for technology upgrades and maintenance
- Remote power-control industrial cabinet options from factory
- Wireless control options including entertainment, RGB, dimming, zones, and schedules
- Pre-aimed adjustable mount according to factory lighting design
- Rugged aluminum chassis construction with integrated Glaservik system

Compliance & Warranty

- ETL Certification for UL STD 1598 & CSA STD C22.2 # 250.0 for dry/damp/wet locations
- Remote power-control, pending
- Meets Bay Area American Act requirements
- Standard 5-year limited warranty with extended factory warranties available

Light Engine & Electrical

- Premium high-efficiency Chip-on-Board (COB) LEDs wired and bonded directly to circuit board to deliver compact lumen density and added reliability
- Self-sealing optical assembly constructed of optical-grade silicone with 93% typical lighting transmission
- 40°C to 50°C ambient operating temperature options
- Standard AC input voltage of 120-277V 50/60 Hz up to 480V available
- Isolated 0-10V dim-to-off with standby power ≤ 1.5W (standard) and PWM/3-timer-modes dimmable (optional)
- Power factor of 0.90 min
- Total harmonic distortion of 20% max
- Drivers include integral input Surge Protection of Differential Mode 6kV, Common Mode 15kV per EN 61000-4-5
- KB486: Thermally protected secondary 20kA surge suppression (optional)
- KB8: Thermally protected secondary 10kA surge suppression (optional)
- Always-on auxiliary power: 12VDC, 200mA
- Local specifying engineer recommended for product selection and local compliance
- Licensed electrician required for installation

Construction & Finish (Light Fixture)

- Rugged aluminum chassis with excellent heat/impact resistance and hinged electrical access
- Proprietary anodized heat sink design with thermally isolated LED modules resulting in calculated L70 LED life over 200,000 hours
- Standard powder coat facilities are UL 1332 (DTPV2) certified for application of organic finish coatings for outdoor enclosures
- Anodized light engine plate and heat sinks meet MIL-A-8625 Type II (Class 1 & 2) standards and are RoHS, REACH, ELV, and WEEE compliant
- High-grade stainless steel hardware for superior strength and corrosion resistance
- Driver components are fully encased in potting material for moisture and vibration resistance

Power & Control Options

- RGB color mixing and DMX integrations
- Dynamic scene entertainment packages
- Synapse® wireless system for large-scale control of zones, dimming, schedules, and sensors
- Wired and wireless configurations available
- Turkey factory commissioning with on site support options

Construction & Finish (Optional Remote PWR-CTL)

- Bottom cabinet(s): Aluminum industrial power-control cabinet with NEMA 3R rating
- Top distribution hub(s): Polycarbonate enclosure with NEMA 1, 2, 4, 4X, and IP66 rating
- Small, medium, large, and custom cabinet configurations available
- Standard powder coat facilities are UL 1332 (DTPV2) certified for application of organic finish coatings for outdoor enclosures
- High-grade stainless steel hardware for superior strength and corrosion resistance
- See drawings below for additional component and wiring details

Light Poles & Arms

- WILL offers one of the most comprehensive light pole, bracket, and arm catalogs in the industry
- Aluminum, steel, fiberglass, and concrete materials
- Custom fabrication, finishing, and accessories available
- Dedicated light pole application support team

EPA Chart

Base Model	0° Tilt	10° Down Tilt	20° Down Tilt	25° Down Tilt	15° Up Tilt	25° Up Tilt
WSK84	1.39	1.39	1.39	1.39	1.39	1.46
WSK86	1.43	1.39	1.39	1.37	1.7	2.1
WSK88	1.85	1.54	1.69	2.06	2.26	2.75

Specifications & Typical Lamp Output

Base Model	Fixture Weight (Onboard Drivers) (lb)	Fixture Weight (Remote Drivers) (lb)	System Watts (W)	Engine Qty (A)	Engine Qty (B)	Drive Current (A)	Lumens (lm)	lm/W
WSK84-470	38	32	442	4	2.0	2.0	57,700	131
WSK86-630	49	41	628	6	3.0	3.0	85,000	158
WSK88-640	63	51	884	8	2.0	2.0	115,000	130

Base Model	Fixture Weight (Onboard Drivers) (lb)	Fixture Weight (Remote Drivers) (lb)	System Watts (W)	Engine Qty (A)	Engine Qty (B)	Drive Current (A)	Max RED Estimate (627nm typ.) Lumens (lm)	Max GREEN Estimate (530nm typ.) Lumens (lm)	Max BLUE Estimate (470nm typ.) Lumens (lm)	Max WHITE Estimate (470nm typ.) Lumens (lm)
WSK84-250	38	32	246	4	0.5	5.768	64	8,060	106	3,392
WSK86-370	49	41	370	6	0.5	8.552	64	12,090	106	3,089
WSK88-500	63	51	493	8	0.5	11.526	64	16,120	106	6,784

Base Model	Fixture Weight (Onboard Drivers) (lb)	Fixture Weight (Remote Drivers) (lb)	System Watts (W)	Engine Qty (A)	Engine Qty (B)	Drive Current (A)	Max RED Estimate (627nm typ.) Lumens (lm)	Max GREEN Estimate (530nm typ.) Lumens (lm)	Max BLUE Estimate (470nm typ.) Lumens (lm)	Max WHITE Estimate (470nm typ.) Lumens (lm)
WSK84-300	38	32	308	2	2	2.884	64	4,030	106	3,696
WSK86-500	49	41	519	3	3	4.226	64	6,045	106	2,564
WSK88-715	63	51	716	4	4	5.768	64	8,060	106	3,392

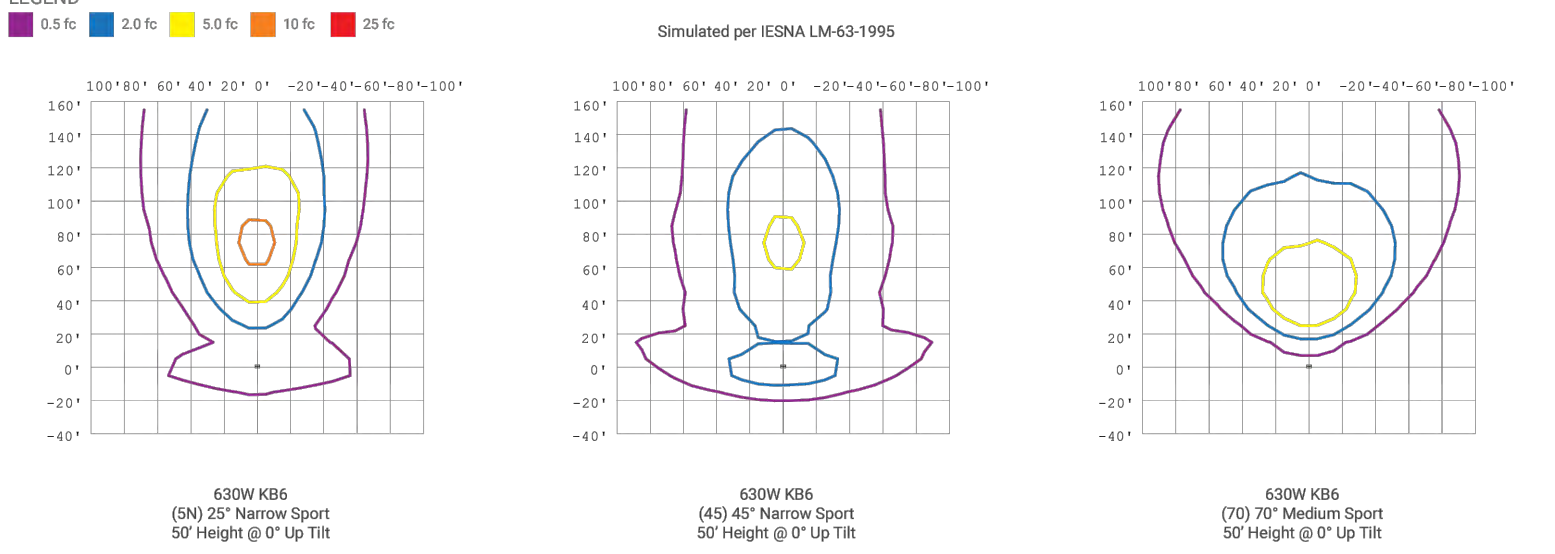
Note: Typical lumen values are based on lab and simulated photometric tests. Actual performance may differ resulting from optical configuration, color temp and CRI, glare management, owner environment, and application. Note: Data based on 25°C ambient operating temperature.

Lumen Multiplier & Maintenance (Full WHITE)

Ambient Temperature	Lumen Multiplier	T8-T1 Lumen Maintenance (50,000 Hours)	Engine Qty (A)	Engine Qty (B)	Calculated L80 (hrs)	Calculated L70 (hrs)
0°C / 32°F	1.04	91.71	60,000		296,000	
10°C / 50°F	1.02	91.71	60,000		296,000	
25°C / 77°F	1.00	91.71	60,000		296,000	
30°C / 86°F	0.99	91.71	60,000		296,000	
35°C / 95°F	0.99	91.71	60,000		296,000	
40°C / 104°F	0.98	91.71	60,000		296,000	
45°C / 113°F	0.96	89.26	46,000		157,000	
50°C / 122°F	0.96	88.26	42,000		144,000	

Note: Values calculated according to IESNA TM-21-11 methodology.

Photometric Diagrams



**General Note**

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

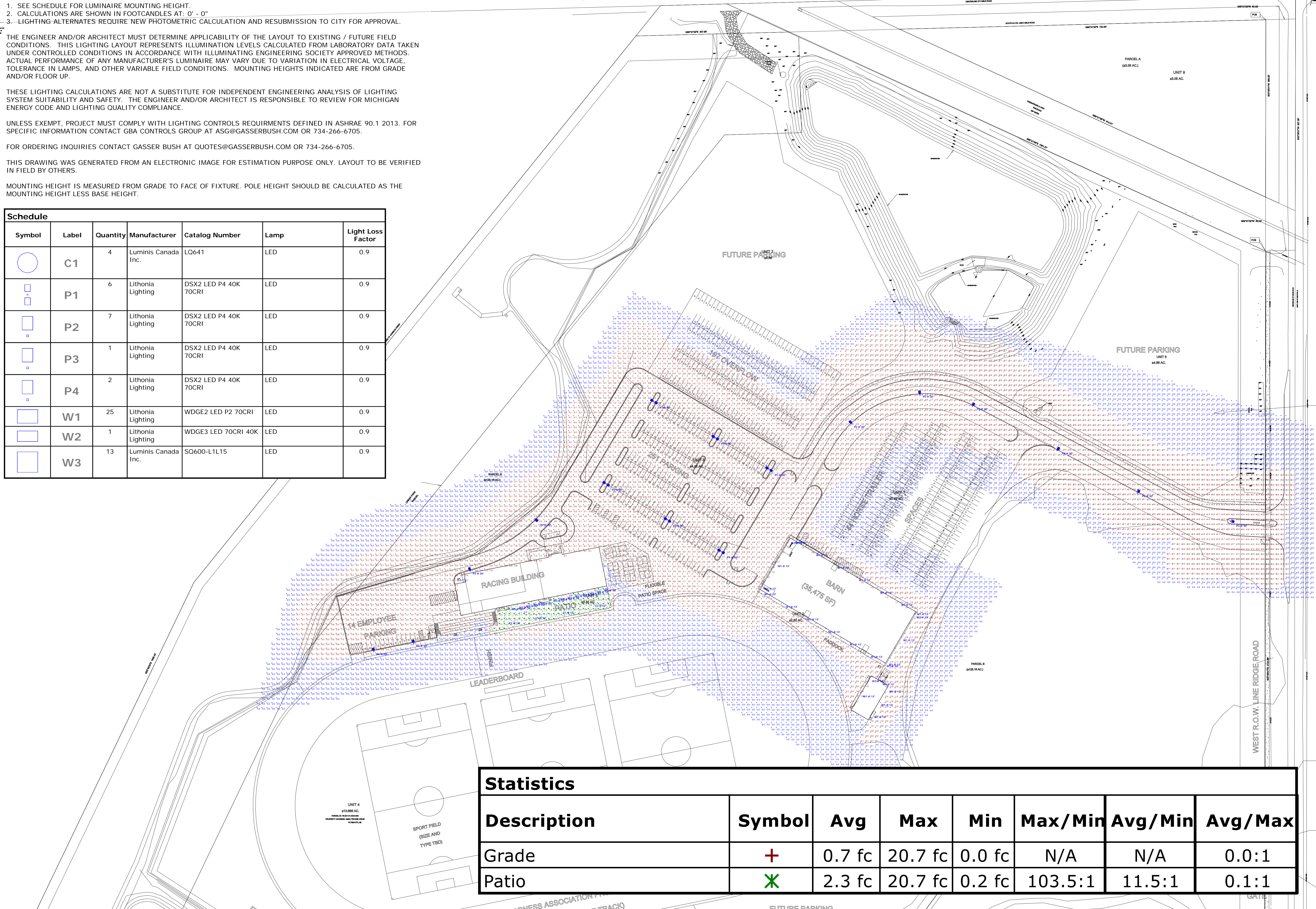
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Light Loss Factor
	C1	4	Luminis Canada Inc.	LQ641	LED	0.9
	P1	6	Lithonia Lighting	DSX2 LED P4 40K 70CRI	LED	0.9
	P2	7	Lithonia Lighting	DSX2 LED P4 40K 70CRI	LED	0.9
	P3	1	Lithonia Lighting	DSX2 LED P4 40K 70CRI	LED	0.9
	P4	2	Lithonia Lighting	DSX2 LED P4 40K 70CRI	LED	0.9
	W1	25	Lithonia Lighting	WDGE2 LED P2 70CRI	LED	0.9
	W2	1	Lithonia Lighting	WDGE3 LED 70CRI 40K	LED	0.9
	W3	13	Luminis Canada Inc.	SO600-L1L15	LED	0.9

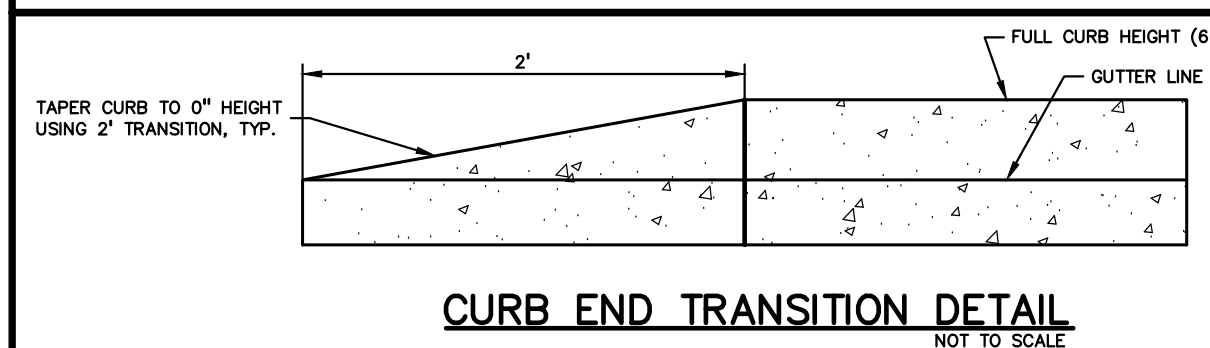
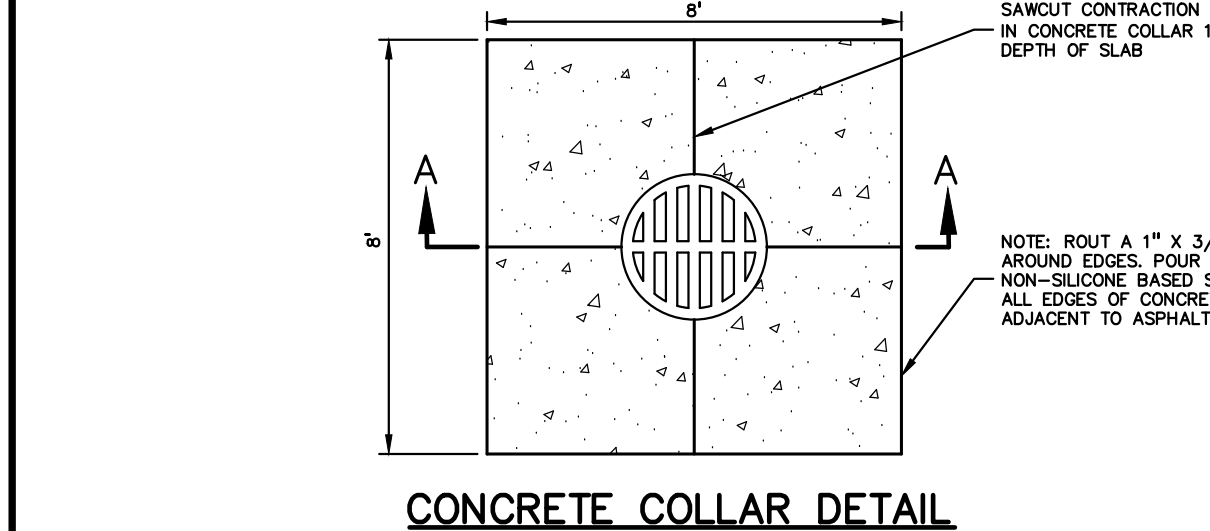
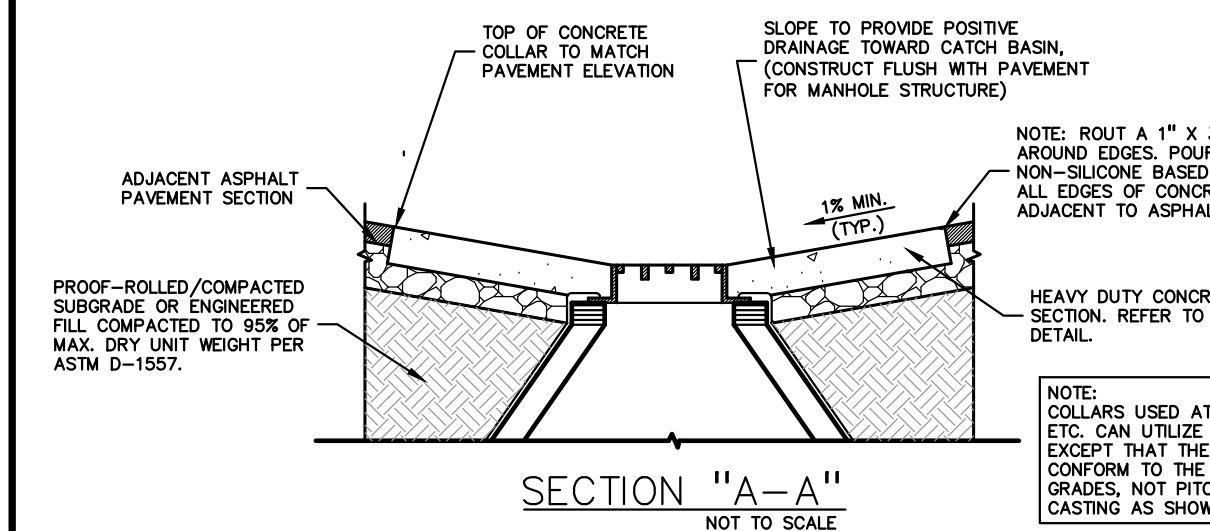
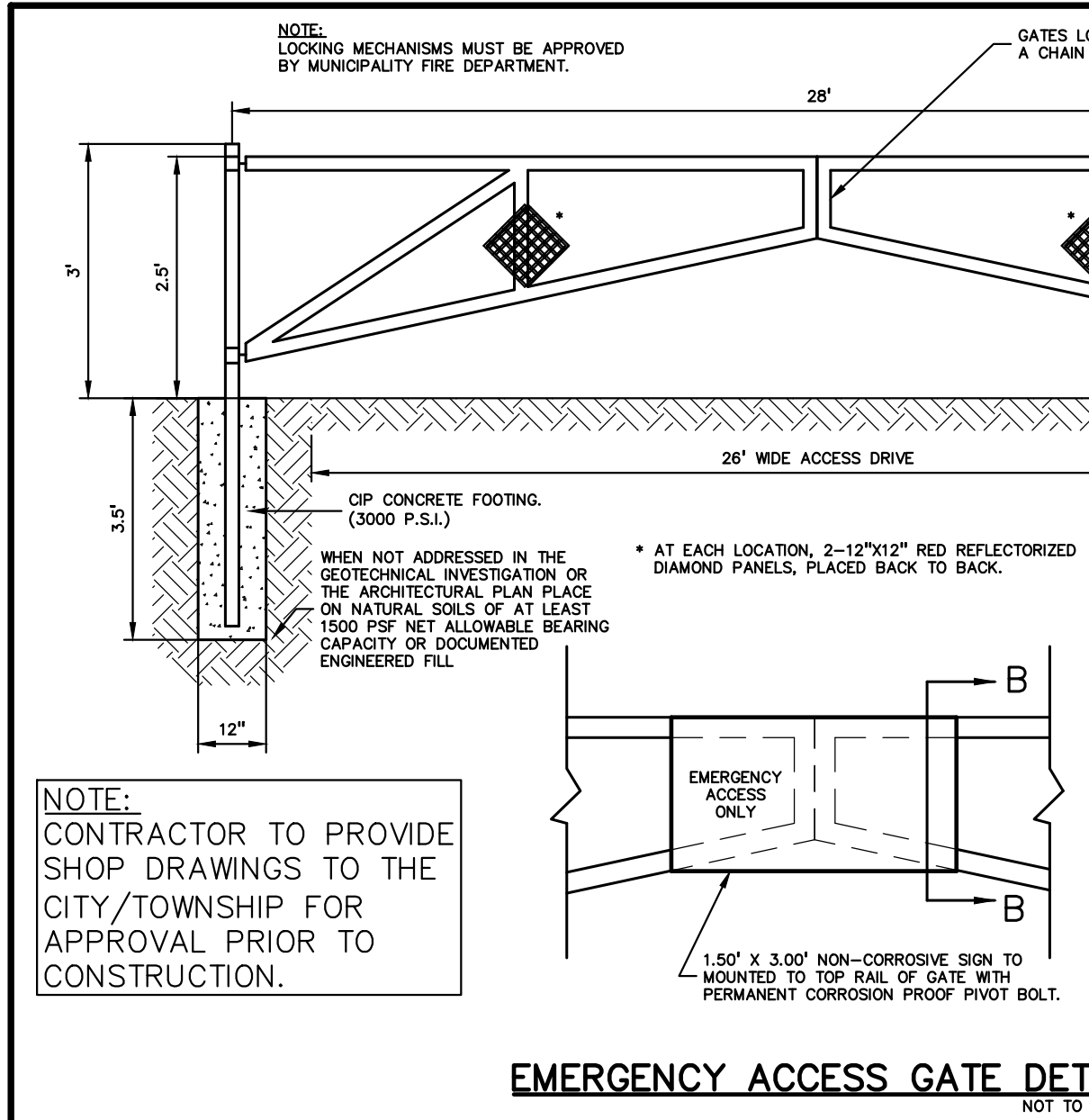


Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Grade	+	0.7 fc	20.7 fc	0.0 fc	N/A	N/A	0.0:1
Patio	X	2.3 fc	20.7 fc	0.2 fc	103.5:1	11.5:1	0.1:1

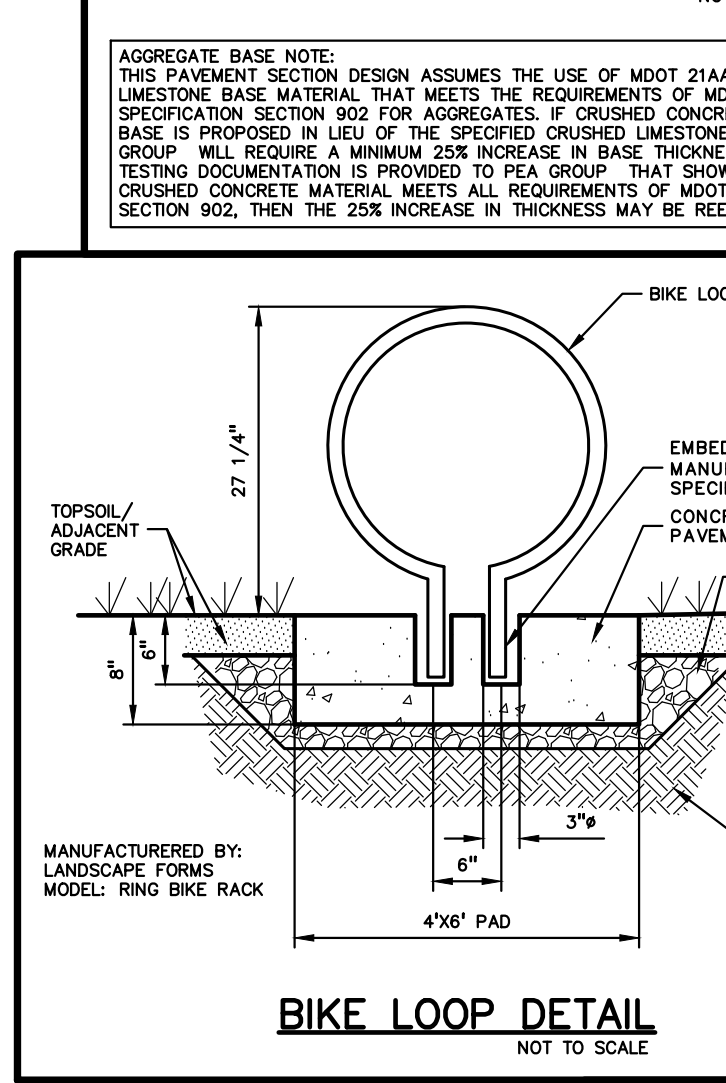
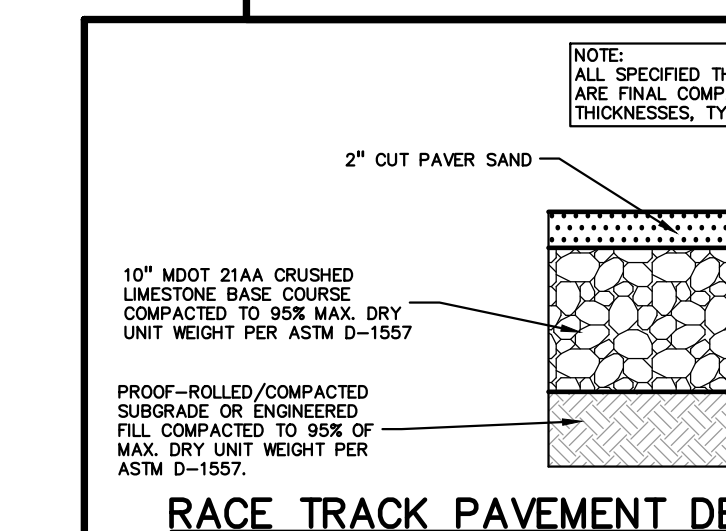
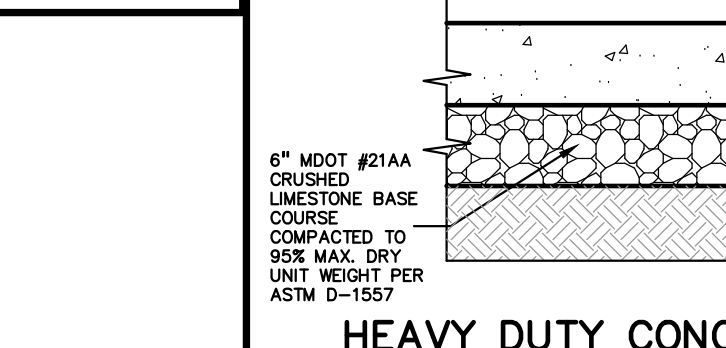
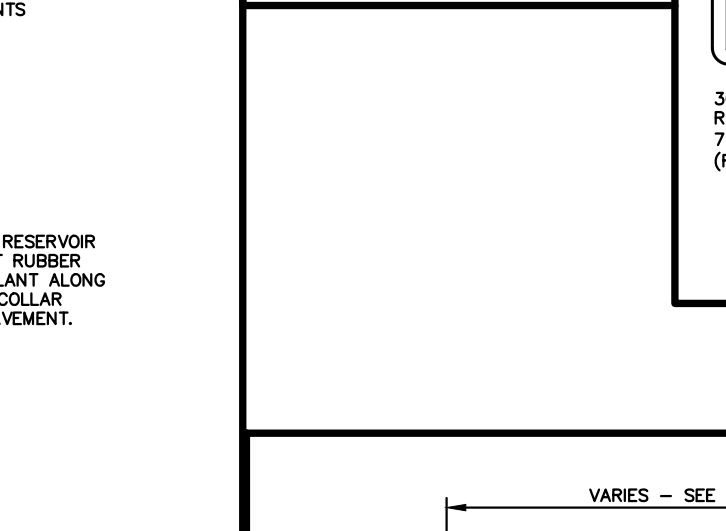
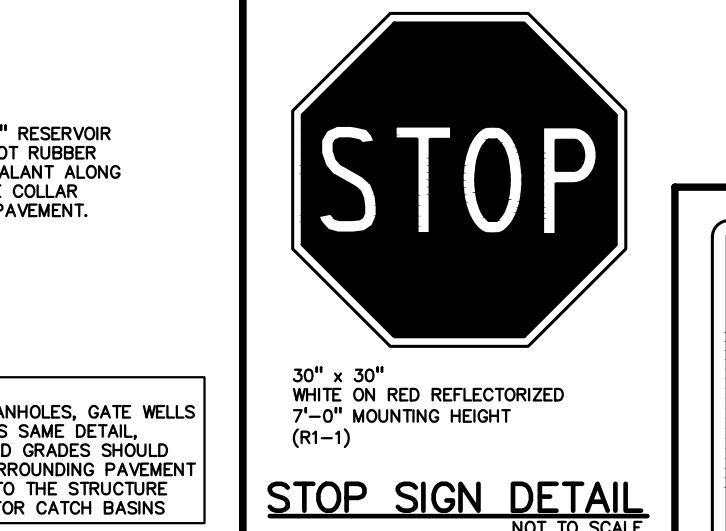
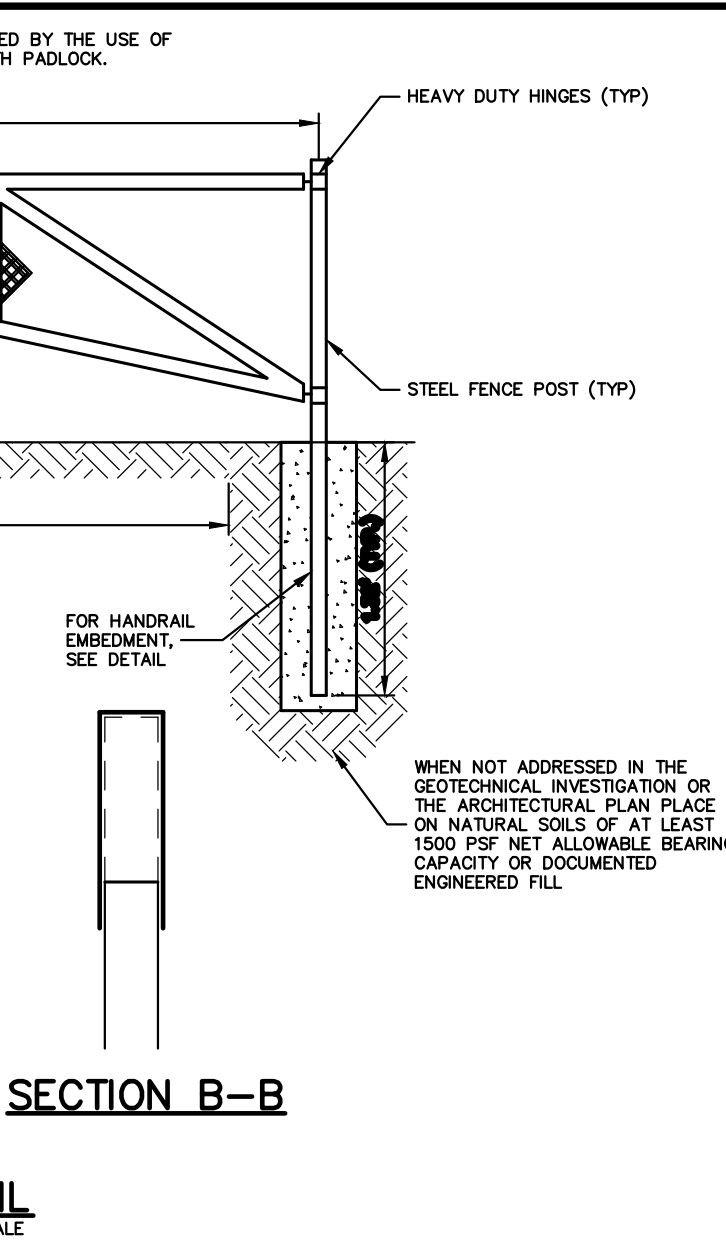


NORTHVILLE DOWNS  
PHOTOMETRIC PLAN  
PREPARED FOR: GAV ASSOCIATES  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM

Designer  
DS  
Date  
02/10/2023  
rev. 04/26/2023  
Scale  
Not to Scale  
Drawing No.  
#23-10448 V4



- CONSTRUCTION MATERIAL SUBMITTALS**
- UNLESS OTHERWISE IN THE PROJECT SPECIFICATIONS, THE CONTRACTOR SHALL ONLY SUBMIT THE FOLLOWING CONSTRUCTION MATERIAL SUBMITTALS, AS APPLICABLE TO THE PLANS, FOR REVIEW BY THE ENGINEER. UNLESS APPROVED IN ADVANCE AND IN WRITING BY THE ENGINEER, ANY MATERIAL SUBMITTALS PROVIDED TO THE ENGINEER FOR REVIEW IN ADDITION TO THIS LIST SHALL BE RETURNED TO THE CONTRACTOR WITHOUT A REVIEW BEING PERFORMED.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES
  - UTILITY TRENCH BACKFILL MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
  - RIP RAP MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
  - STORM AND SANITARY SEWER PIPING INCLUDING JOINTS
  - STORM AND SANITARY SEWER STRUCTURES
  - STORM AND SANITARY SEWER STRUCTURE FRAME AND COVERS INCLUDING CLEAN OUTS
  - WATER DISTRIBUTION SYSTEM PIPING INCLUDING JOINTS
  - WATER DISTRIBUTION SYSTEM STRUCTURES
  - WATER DISTRIBUTION SYSTEM STRUCTURE FRAME AND COVERS
  - WATER DISTRIBUTION SYSTEM SHUT OFF BOXES
  - WATER DISTRIBUTION SYSTEM FIRE HYDRANTS
  - WATER DISTRIBUTION SYSTEM GATE VALVES
  - PAVEMENT AGGREGATE BASE MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
  - PAVEMENT MIX DESIGNS SUBMITTED FOR REVIEW BY THE ENGINEER MUST FOLLOW THE CURRENT MDOT REVIEW CHECKLISTS AS SUMMARIZED BELOW AND ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER:
    - 8.1. CONCRETE MIX DESIGN REVIEW CHECKLIST (FORM 2000)
    - 8.2. SUPERPAVE MIX DESIGN CHECKLIST (FORM 1862)
    - 8.3. MARSHALL MIX DESIGN CHECKLIST (FORM 1849)
  - SITE FENCING AND GATES INCLUDING FOOTINGS
  - ANY ITEMS SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY STATE FOR THE CONTRACTOR TO SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO:
    - RETAINING WALL MATERIAL AND STRUCTURAL CALCULATIONS
    - ANY SPECIALTY ITEMS SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY DO NOT STATE FOR THE CONTRACTOR TO SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW BUT THE CONTRACTOR REQUESTS TO BE REVIEWED. THE CONTRACTOR'S REQUEST FOR REVIEW MUST BE IN WRITING AND APPROVED BY THE ENGINEER PRIOR TO SUBMITTING THE INFORMATION.



**NO BICYCLES BEYOND THIS POINT**

**NO BICYCLES BEYOND THIS POINT SIGN DETAIL**  
NOT TO SCALE

**TRAILHEAD SIGN DETAIL**  
NOT TO SCALE

**DO NOT ENTER SIGN DETAIL**  
NOT TO SCALE

**HEAVY DUTY CONCRETE DETAIL**  
NOT TO SCALE

**RACE TRACK PAVEMENT DETAIL**  
NOT TO SCALE

**BIKE LOOP DETAIL**  
NOT TO SCALE

**NO PARKING FIRE LANE**

**NO PARKING SIGN DETAIL**  
NOT TO SCALE

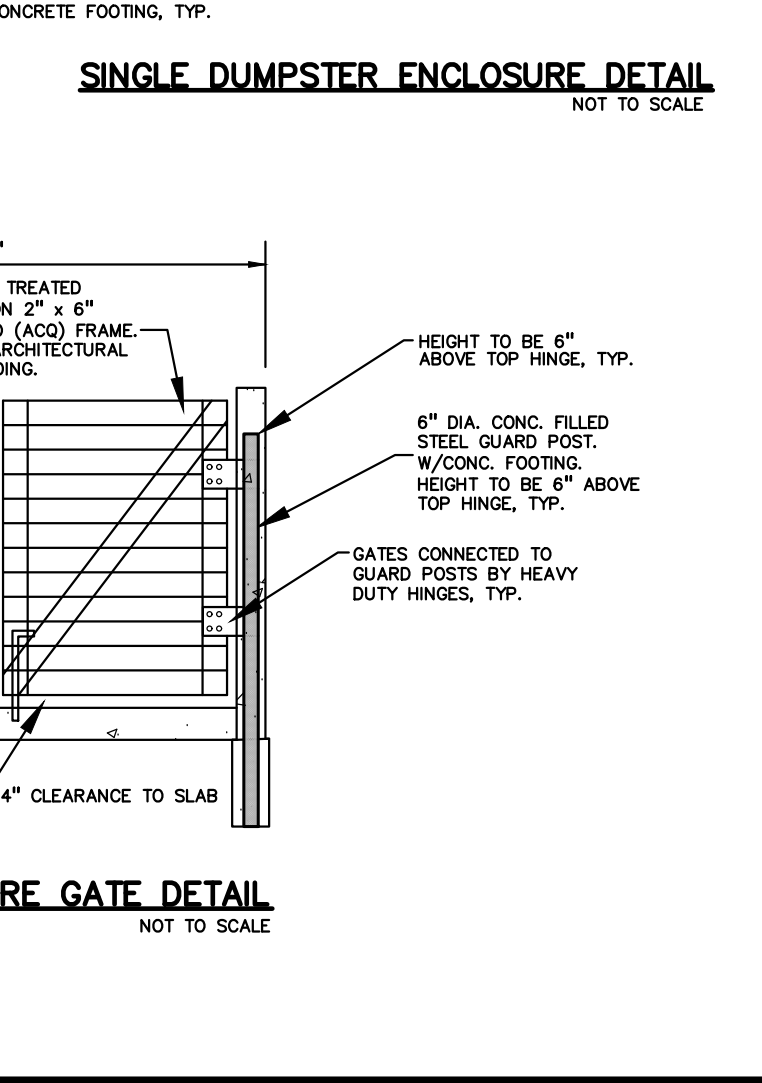
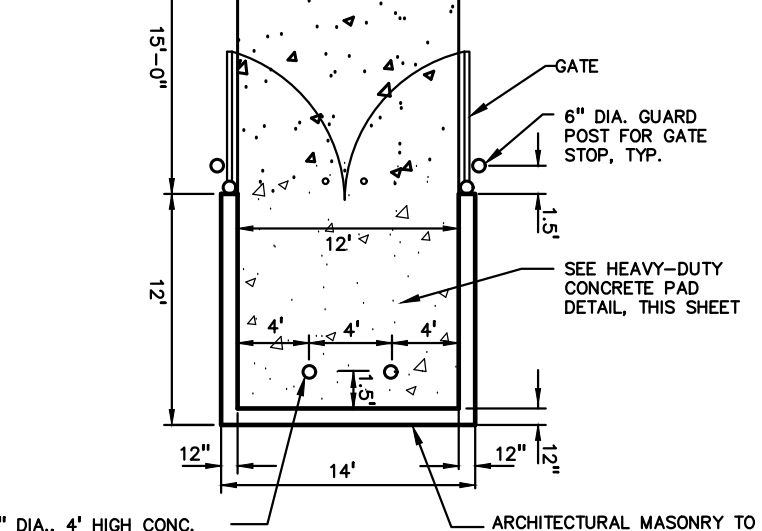
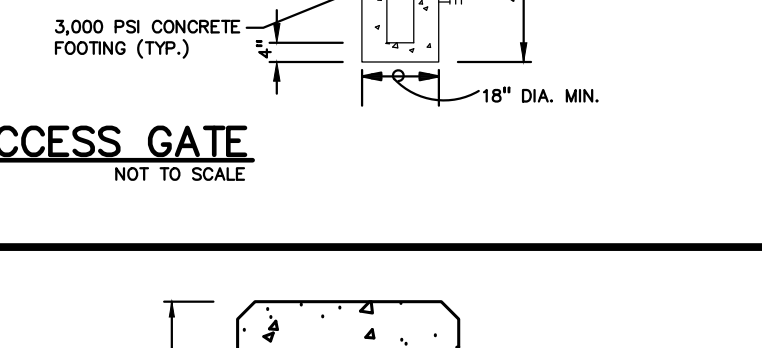
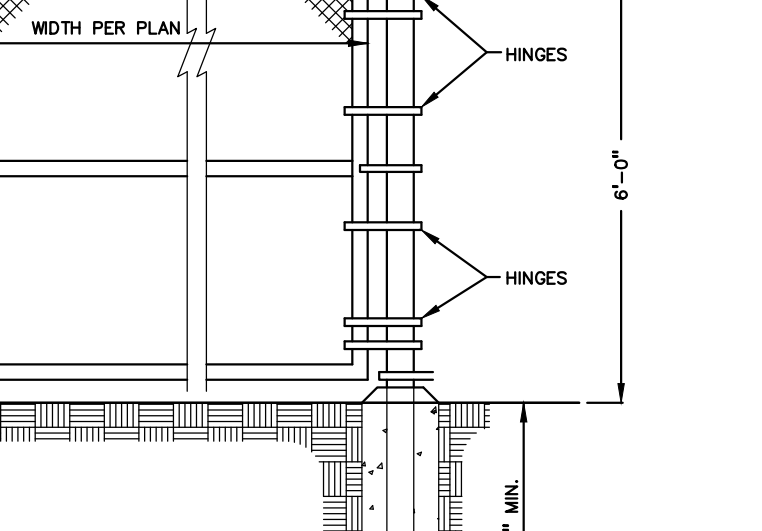
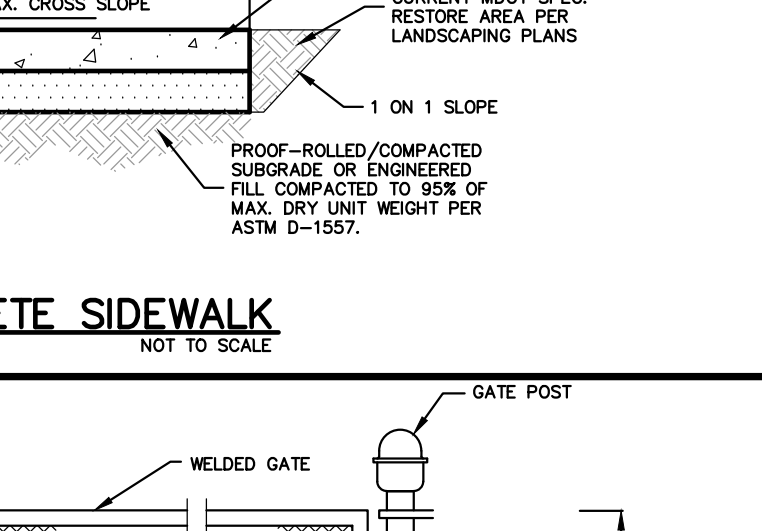
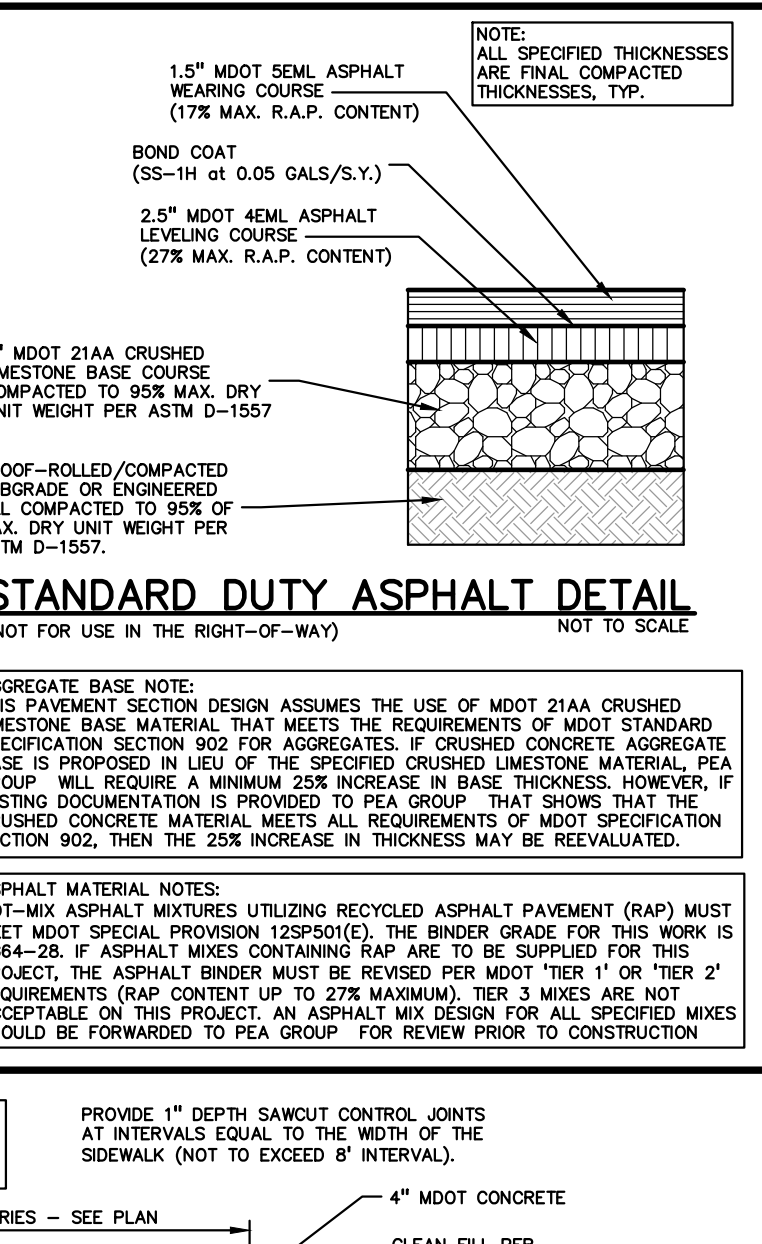
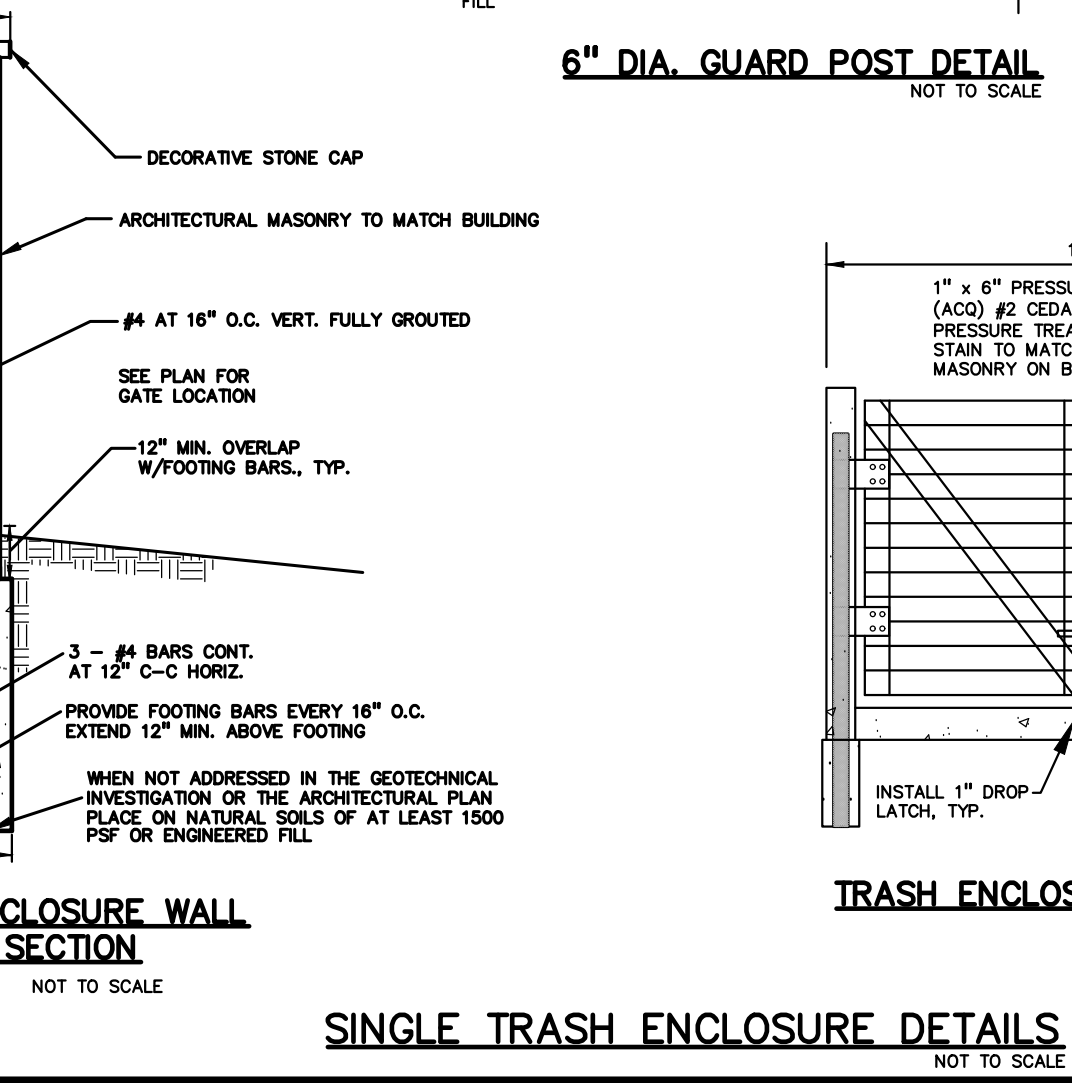
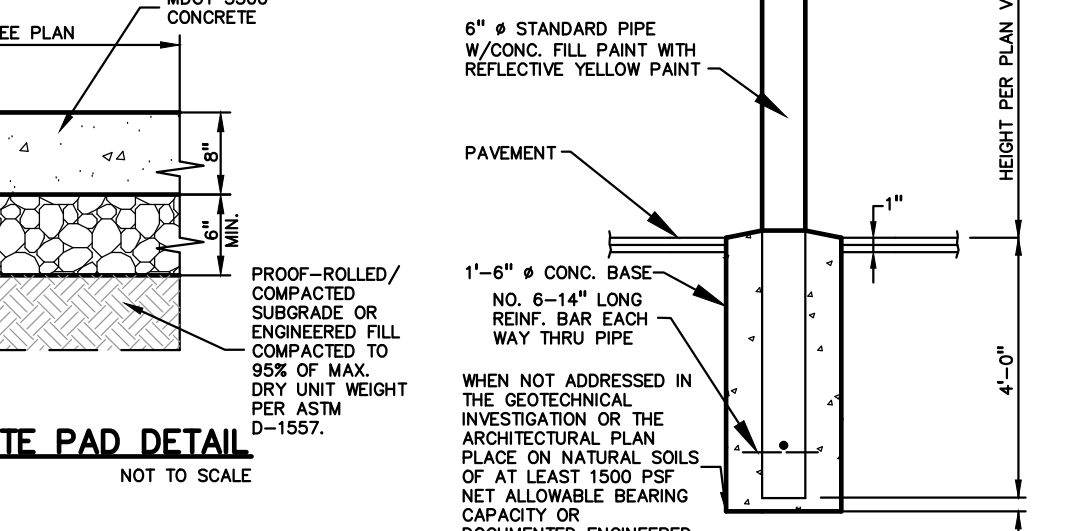
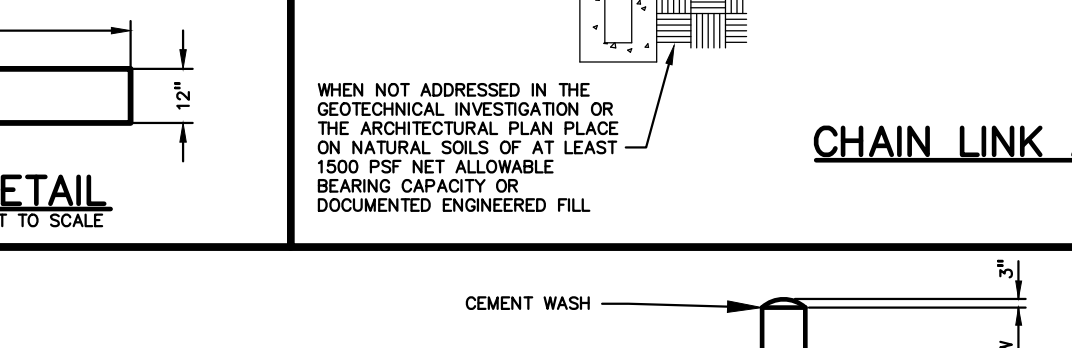
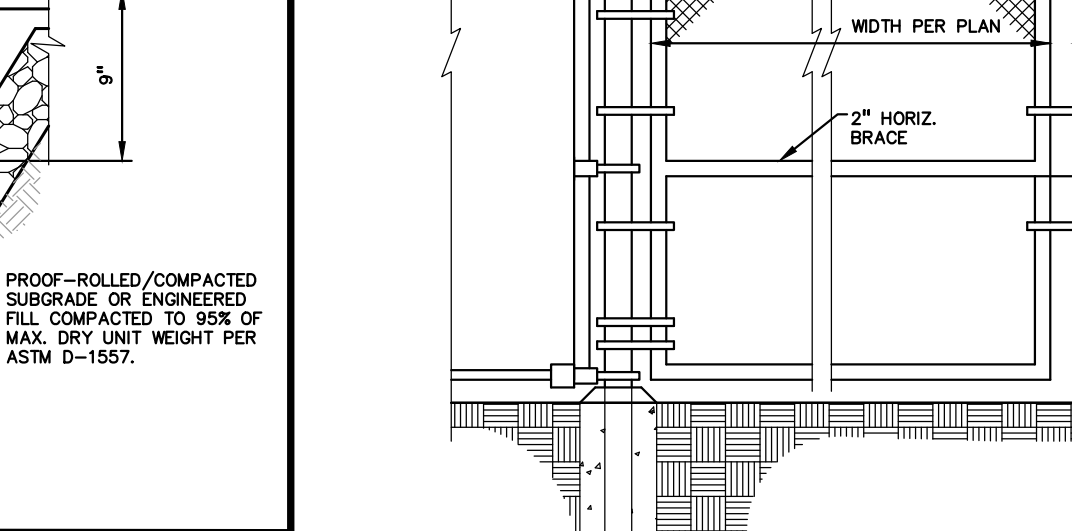
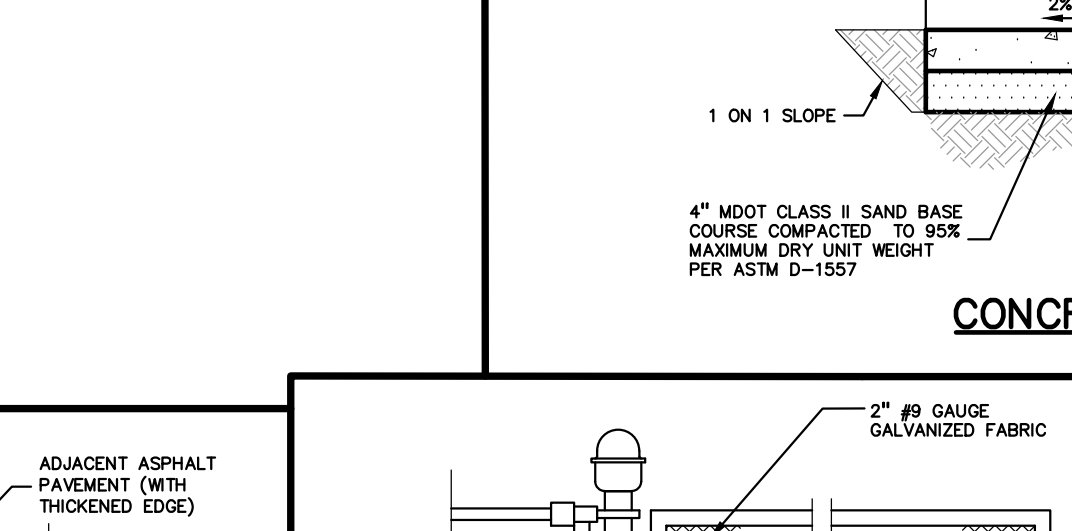
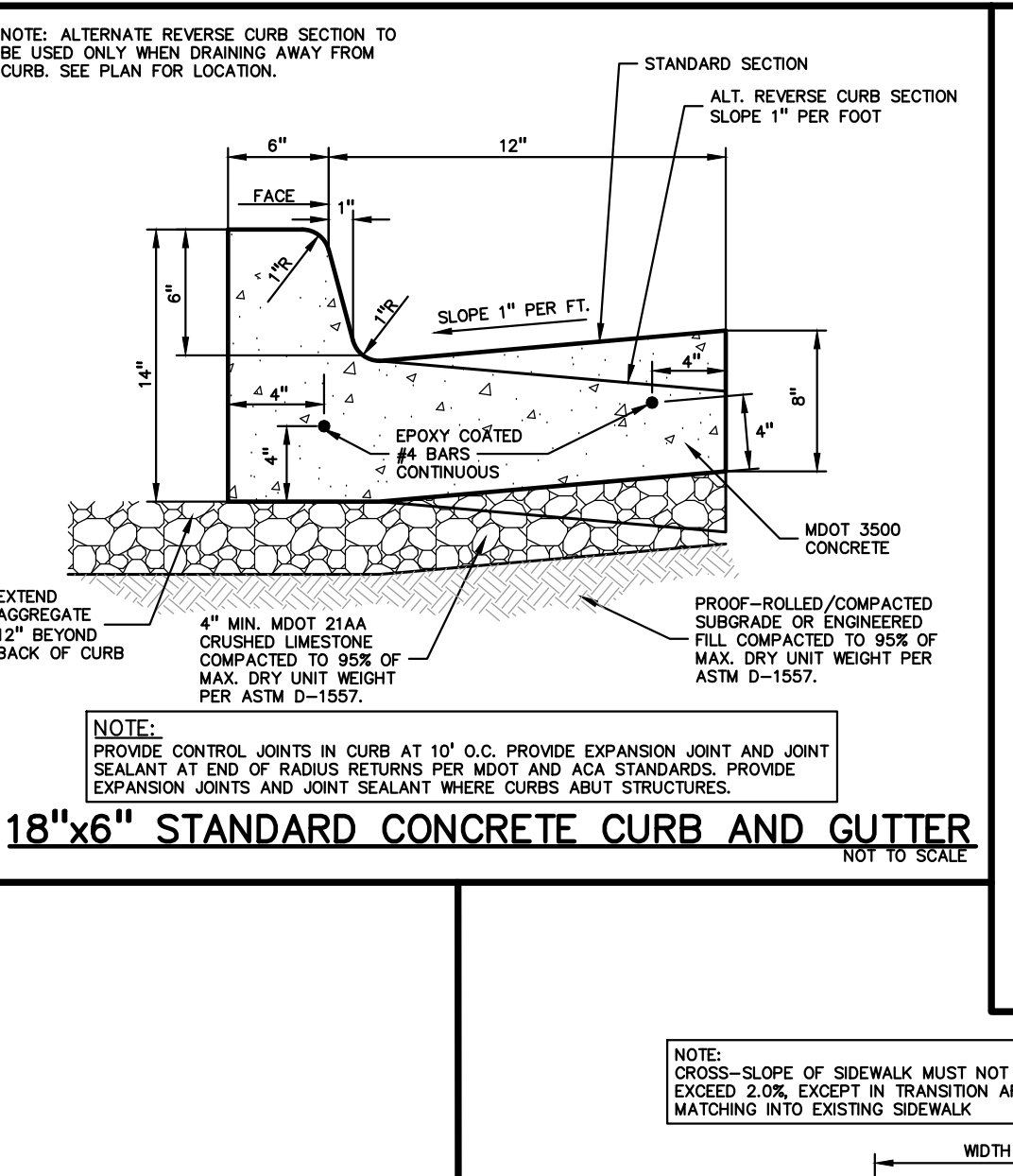
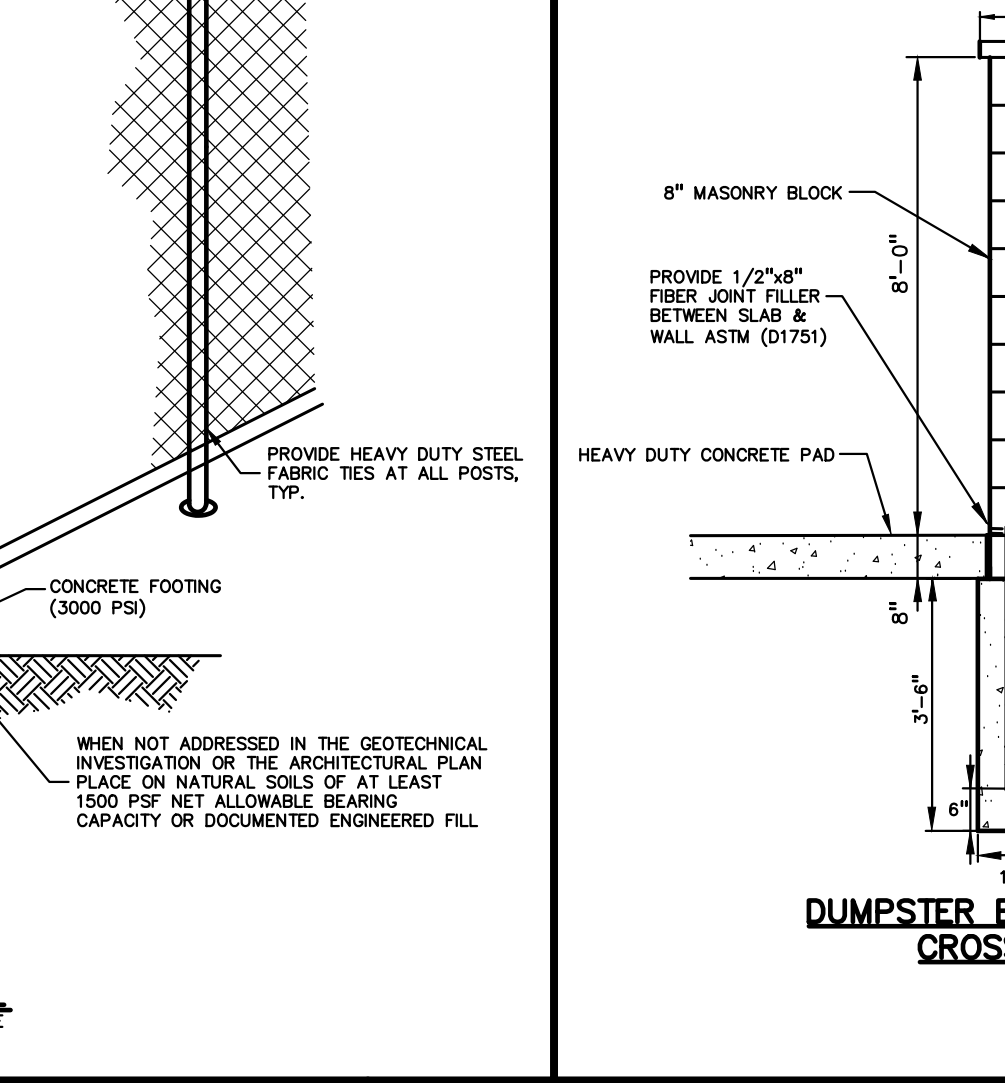
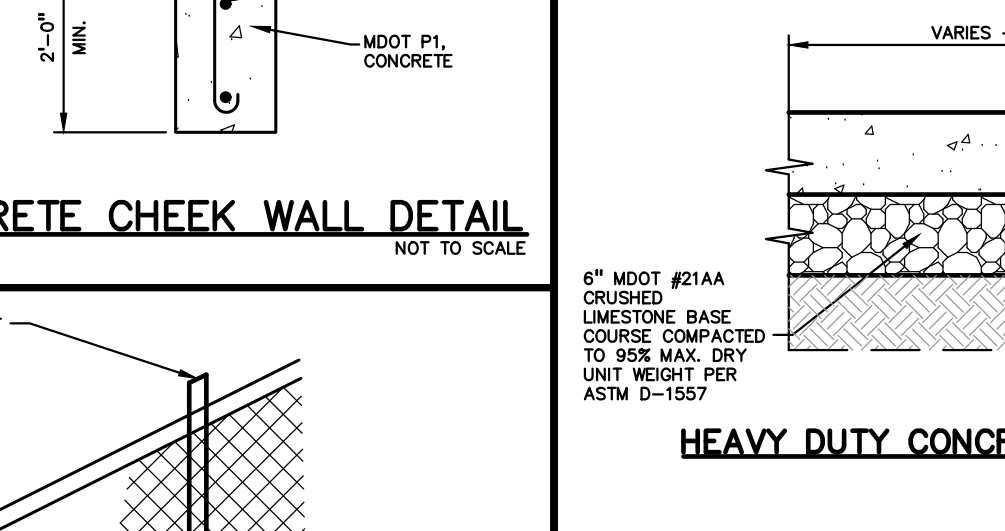
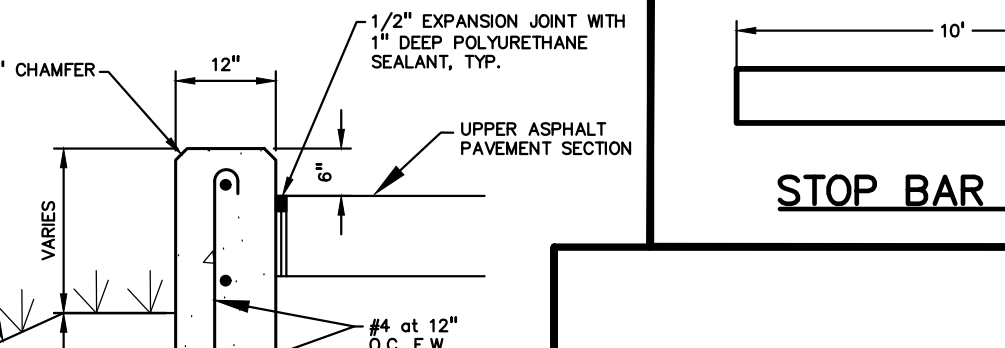
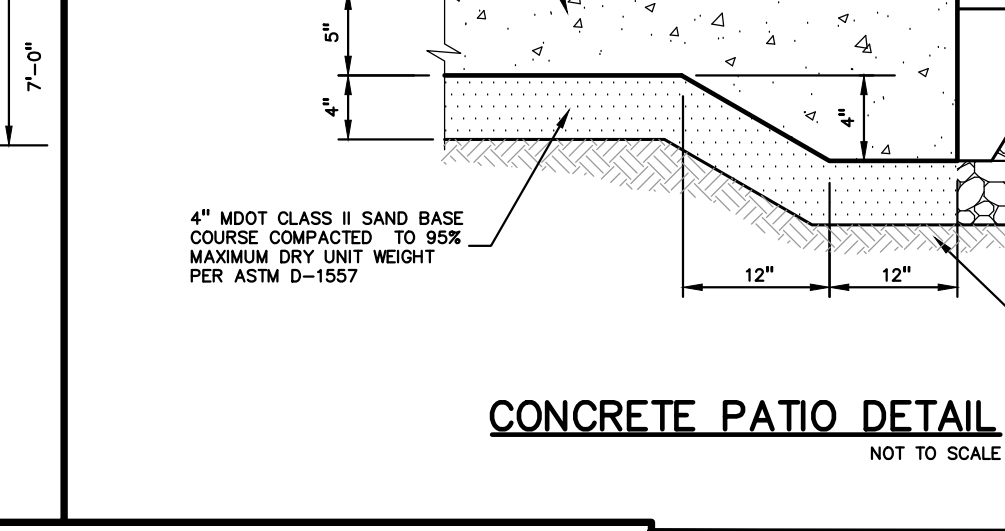
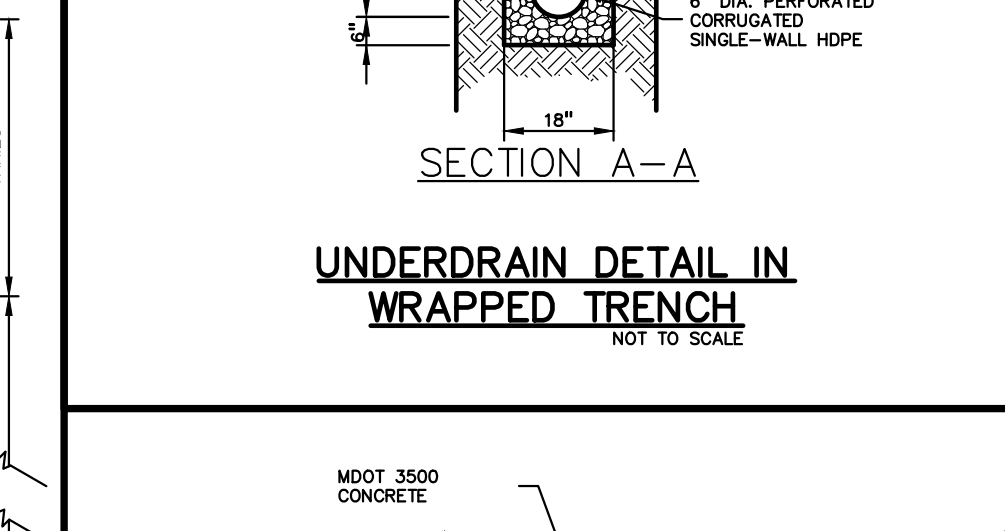
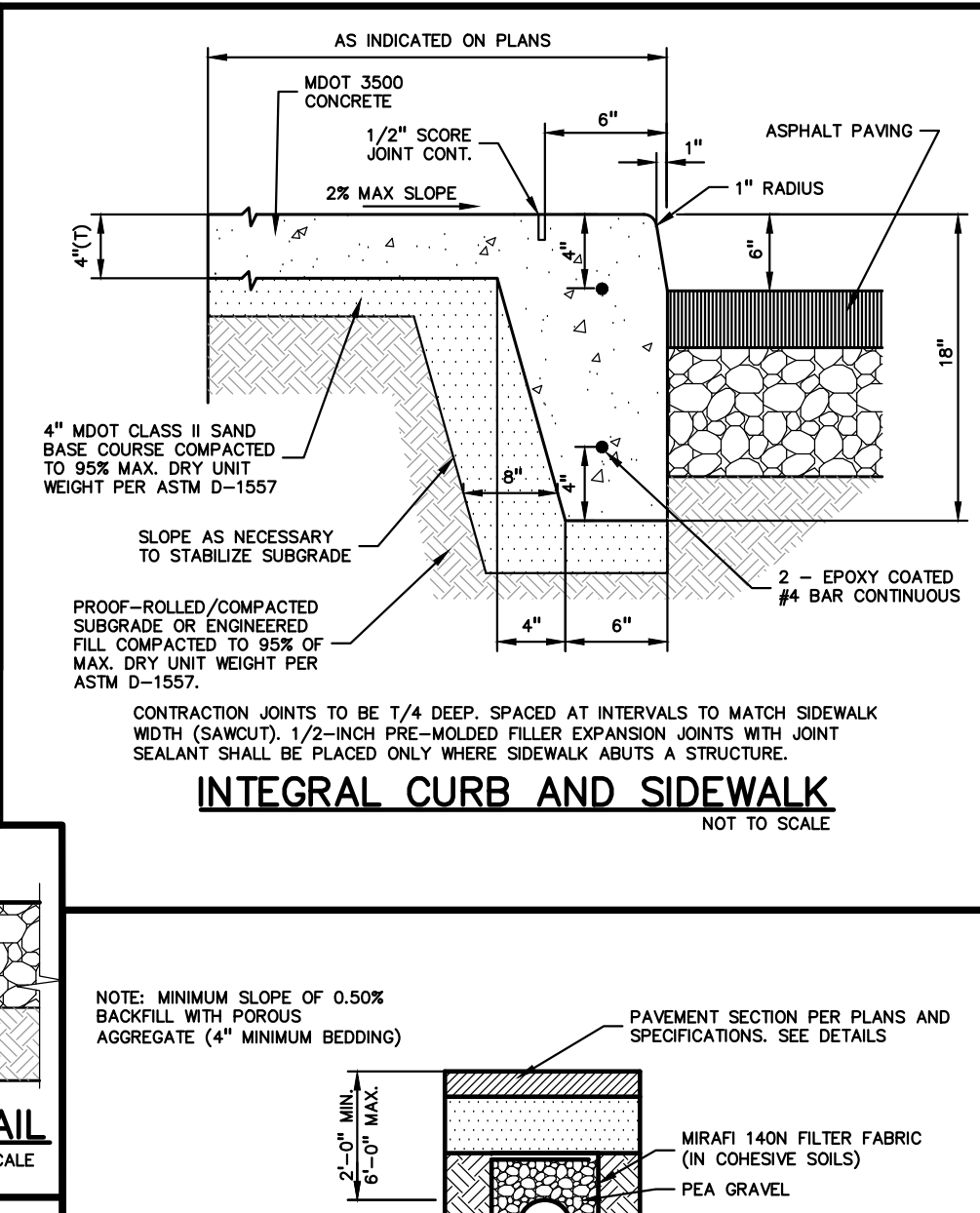
**TRAILHEAD SIGN DETAIL**  
NOT TO SCALE

**DO NOT ENTER SIGN DETAIL**  
NOT TO SCALE

**HEAVY DUTY CONCRETE DETAIL**  
NOT TO SCALE

**RACE TRACK PAVEMENT DETAIL**  
NOT TO SCALE

**BIKE LOOP DETAIL**  
NOT TO SCALE



**STANDARD DUTY ASPHALT DETAIL**  
NOT TO SCALE

**CONCRETE SIDEWALK**  
NOT TO SCALE

**CHAIN LINK ACCESS GATE**  
NOT TO SCALE

**STOP BAR DETAIL**  
NOT TO SCALE

**HEAVY DUTY CONCRETE PAD DETAIL**  
NOT TO SCALE

**811** Know what's below. Call before you dig.

**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE ONLY AS SHOWN OR APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

**CLIENT**  
**JR MILITELLO REALTY**  
288 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

**PROJECT TITLE**  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

**REVISIONS**

SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

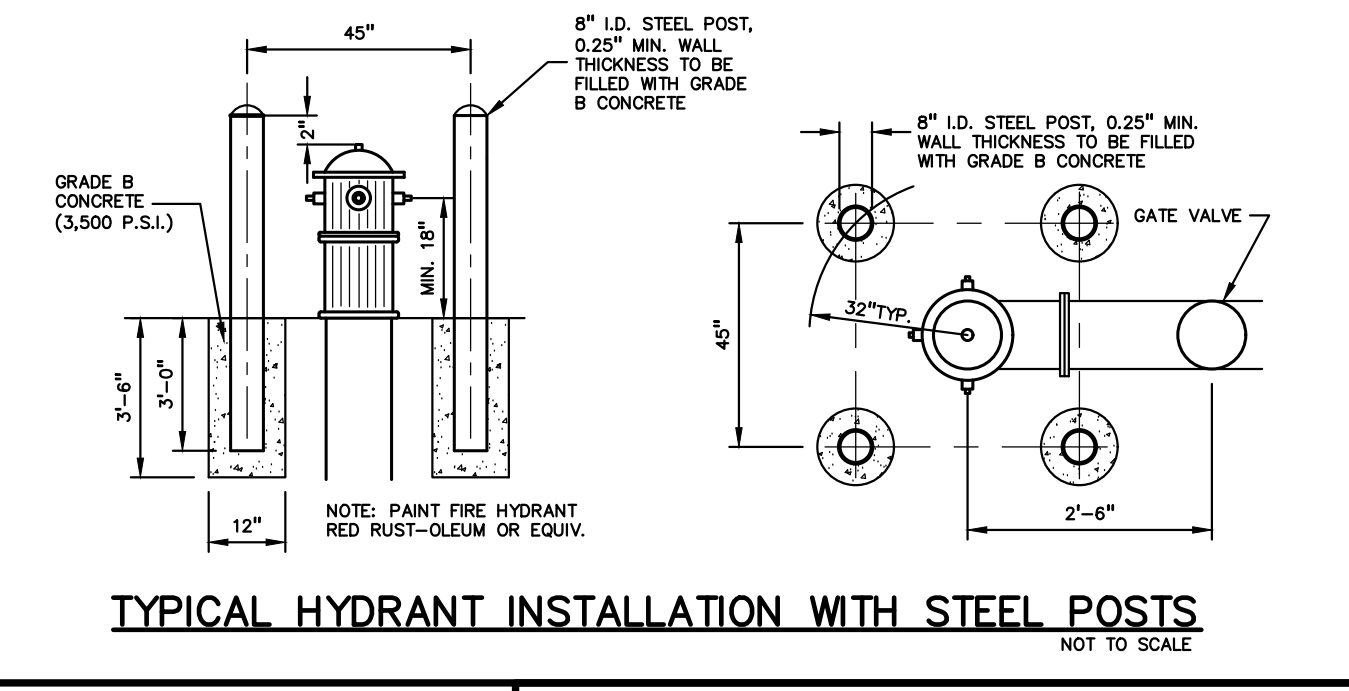
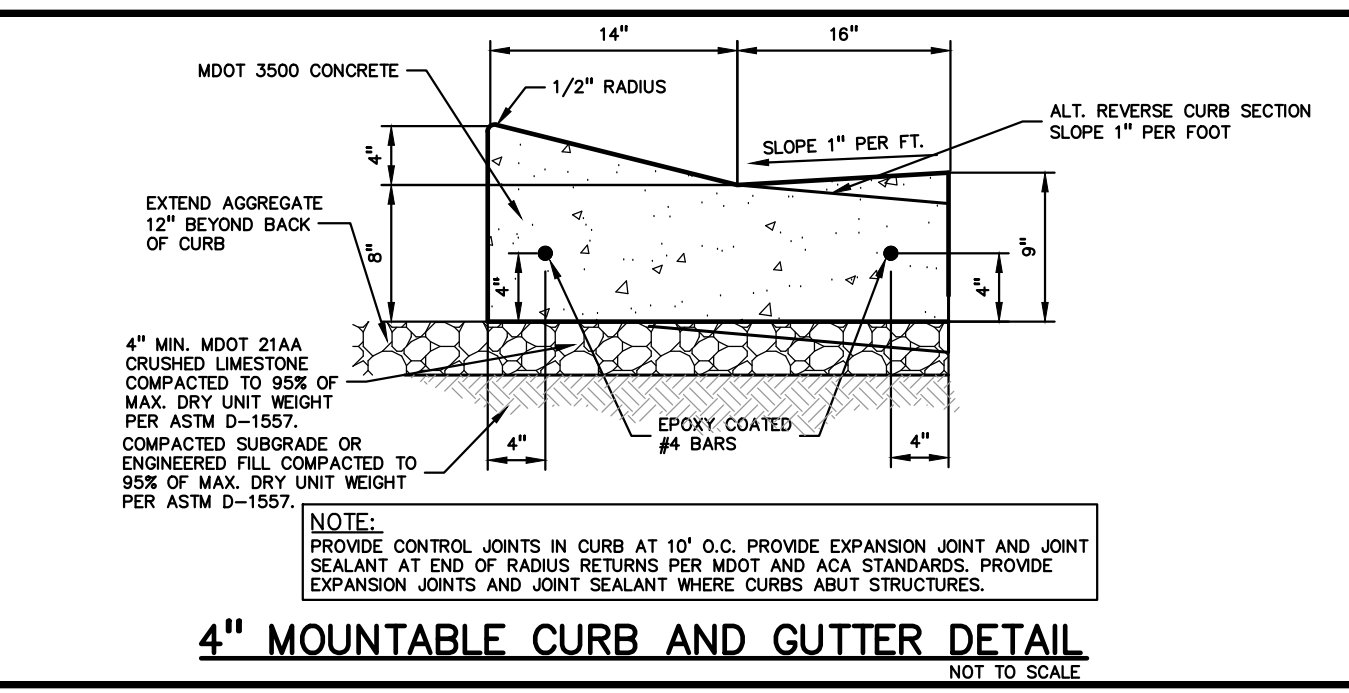
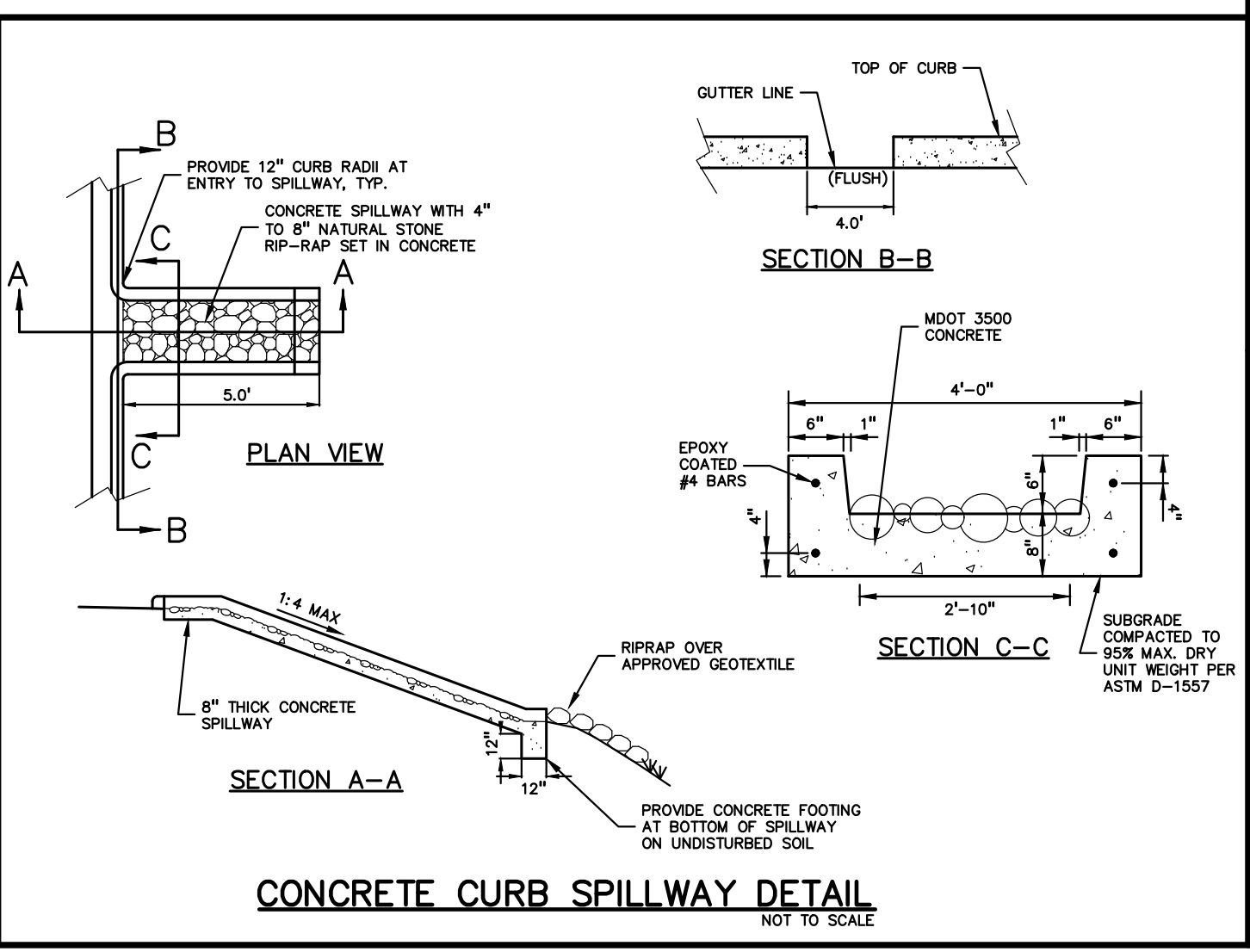
**ORIGINAL ISSUE DATE:**  
MARCH 31, 2023

**DRAWING TITLE**  
**NOTES AND DETAILS - SHEET 1**

**PEA JOB NO.** 2022-1338

**P.M.** BK  
**DN.** BLA  
**DES.** BK

**DRAWING NUMBER:**



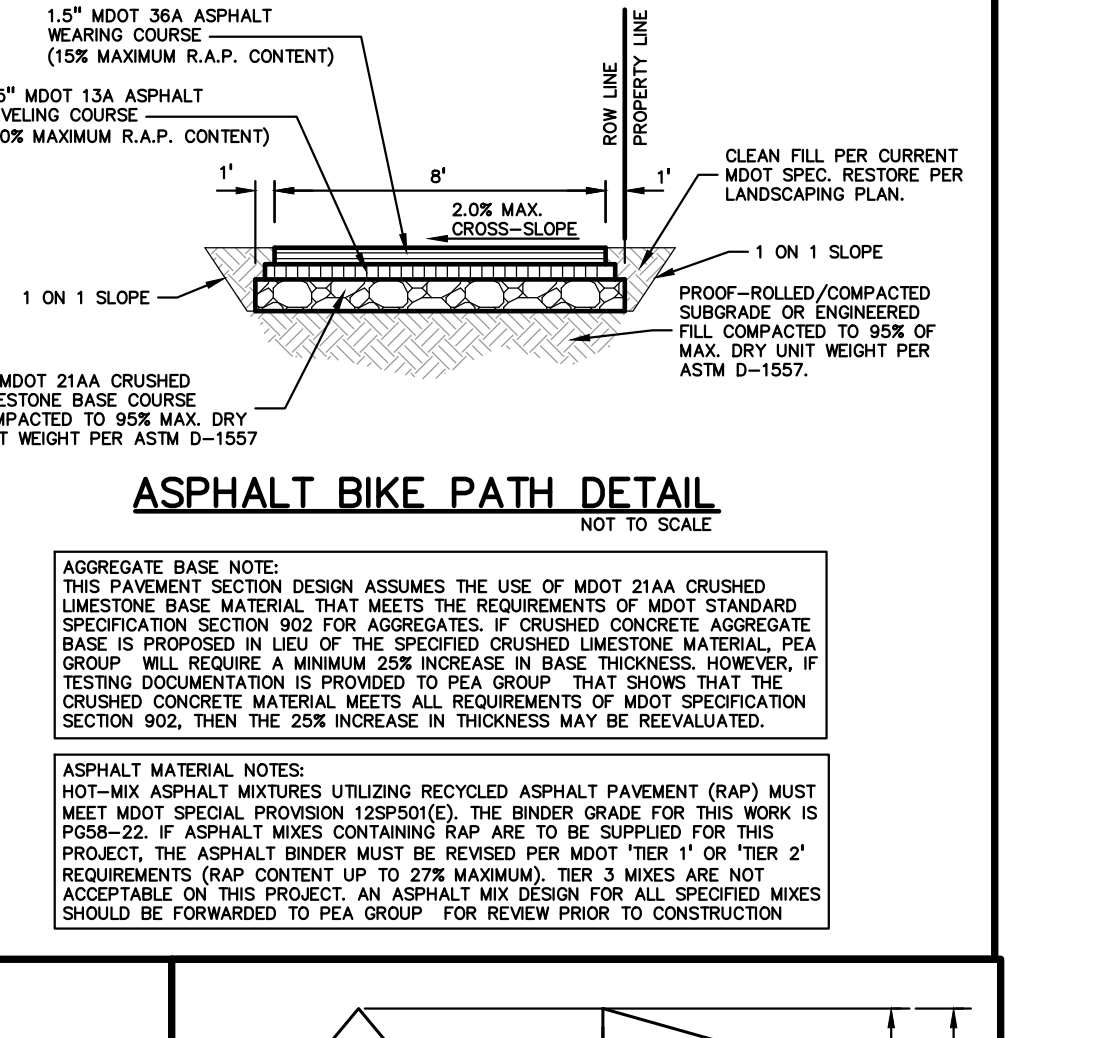
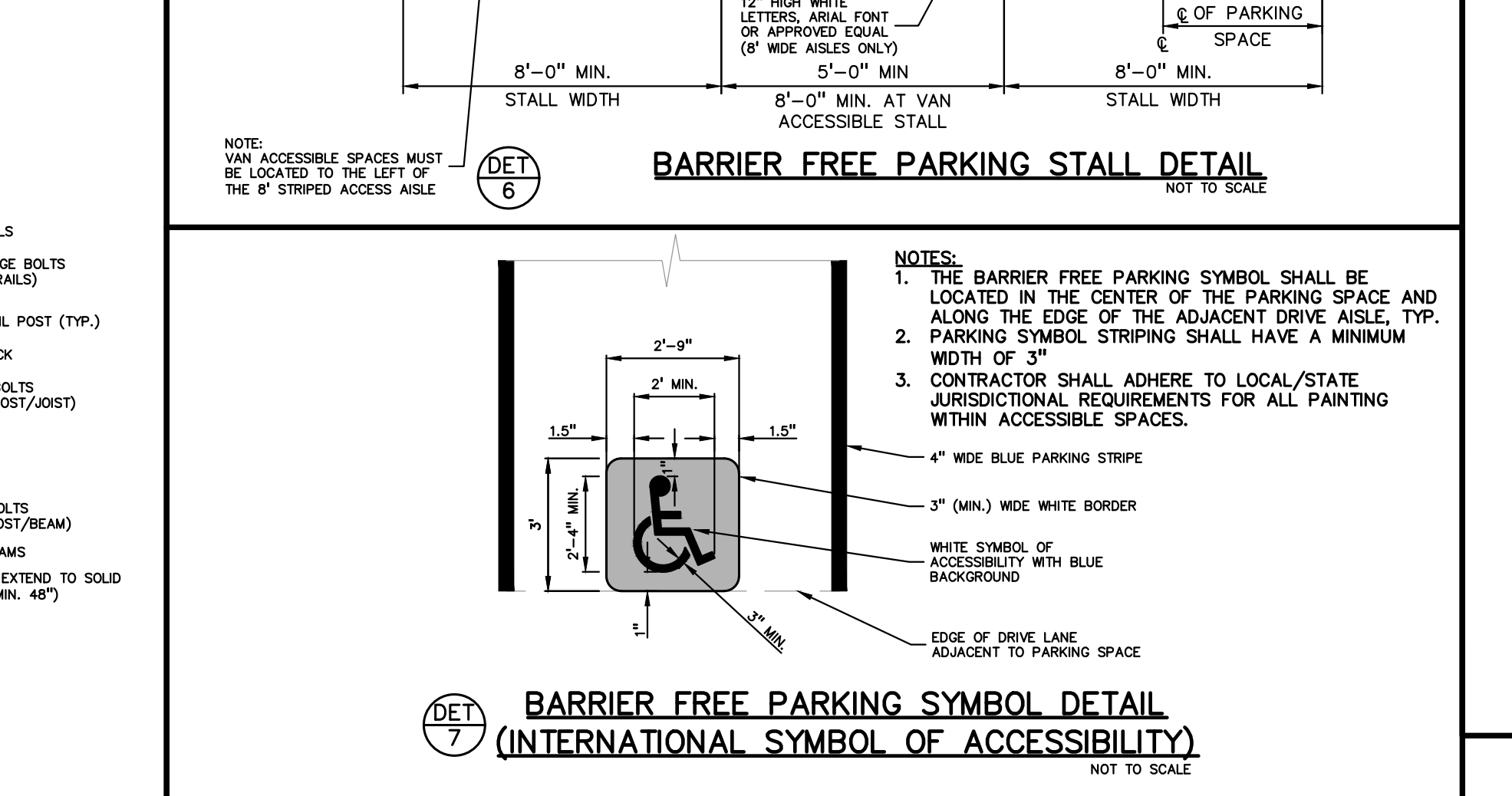
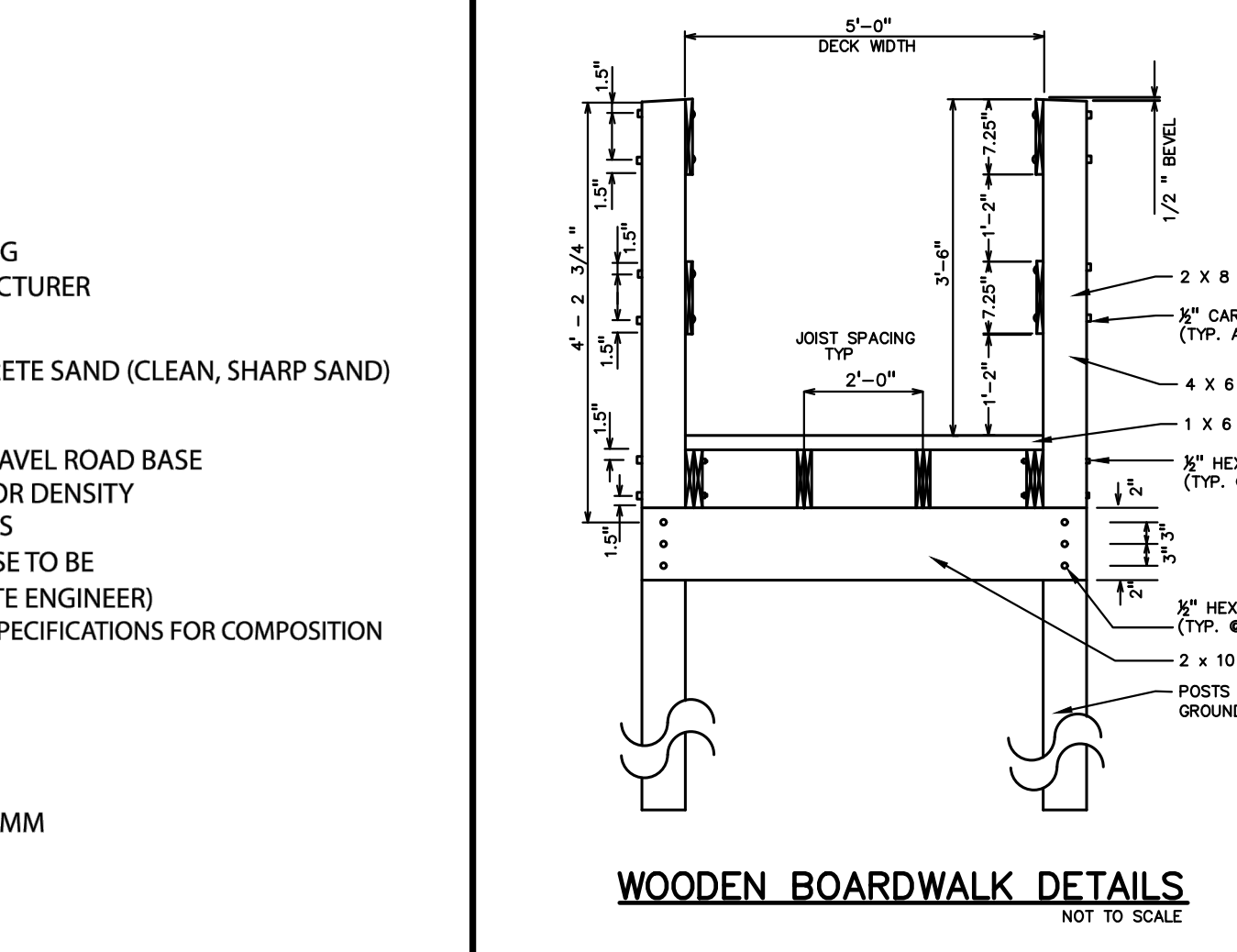
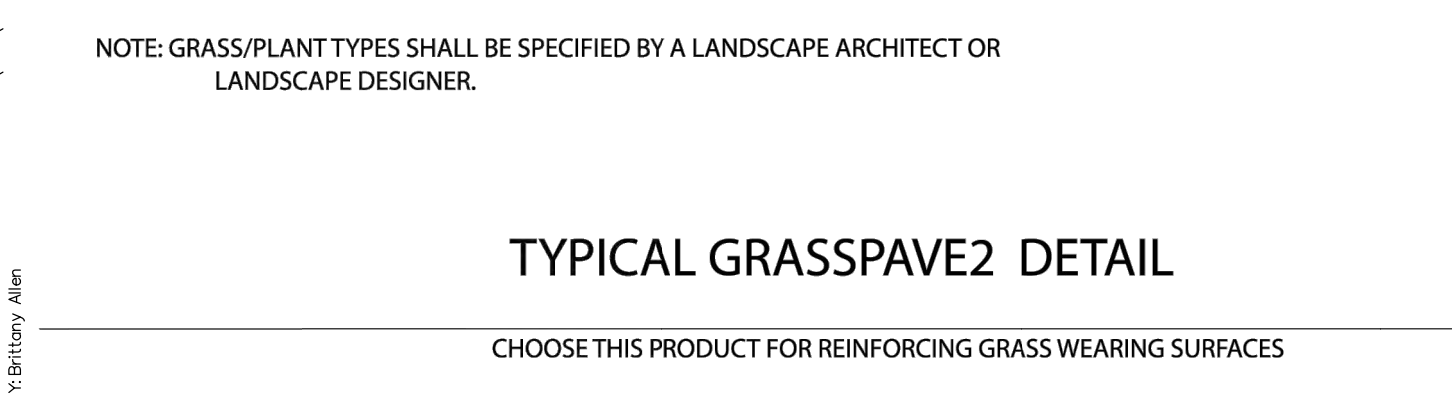
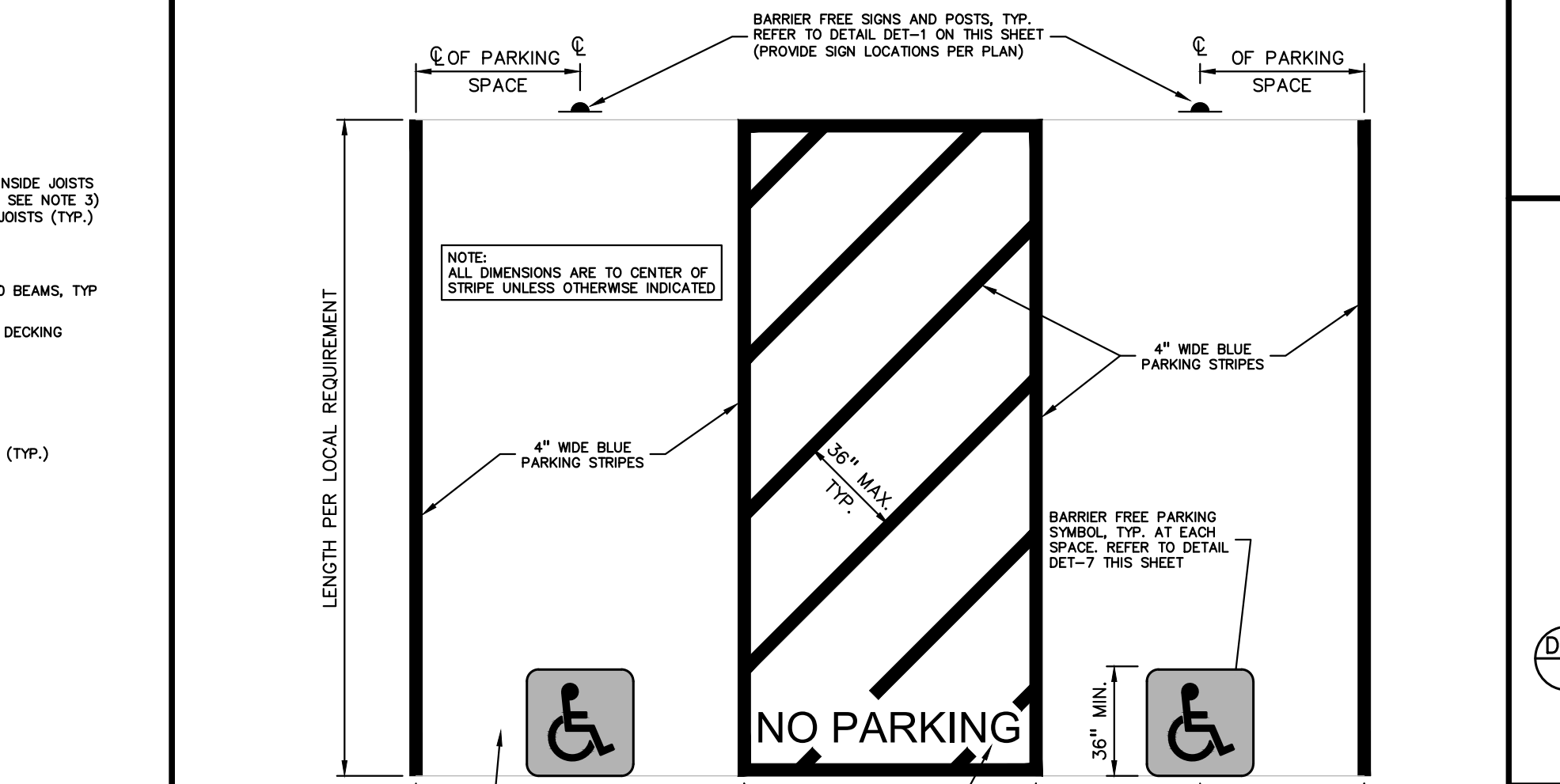
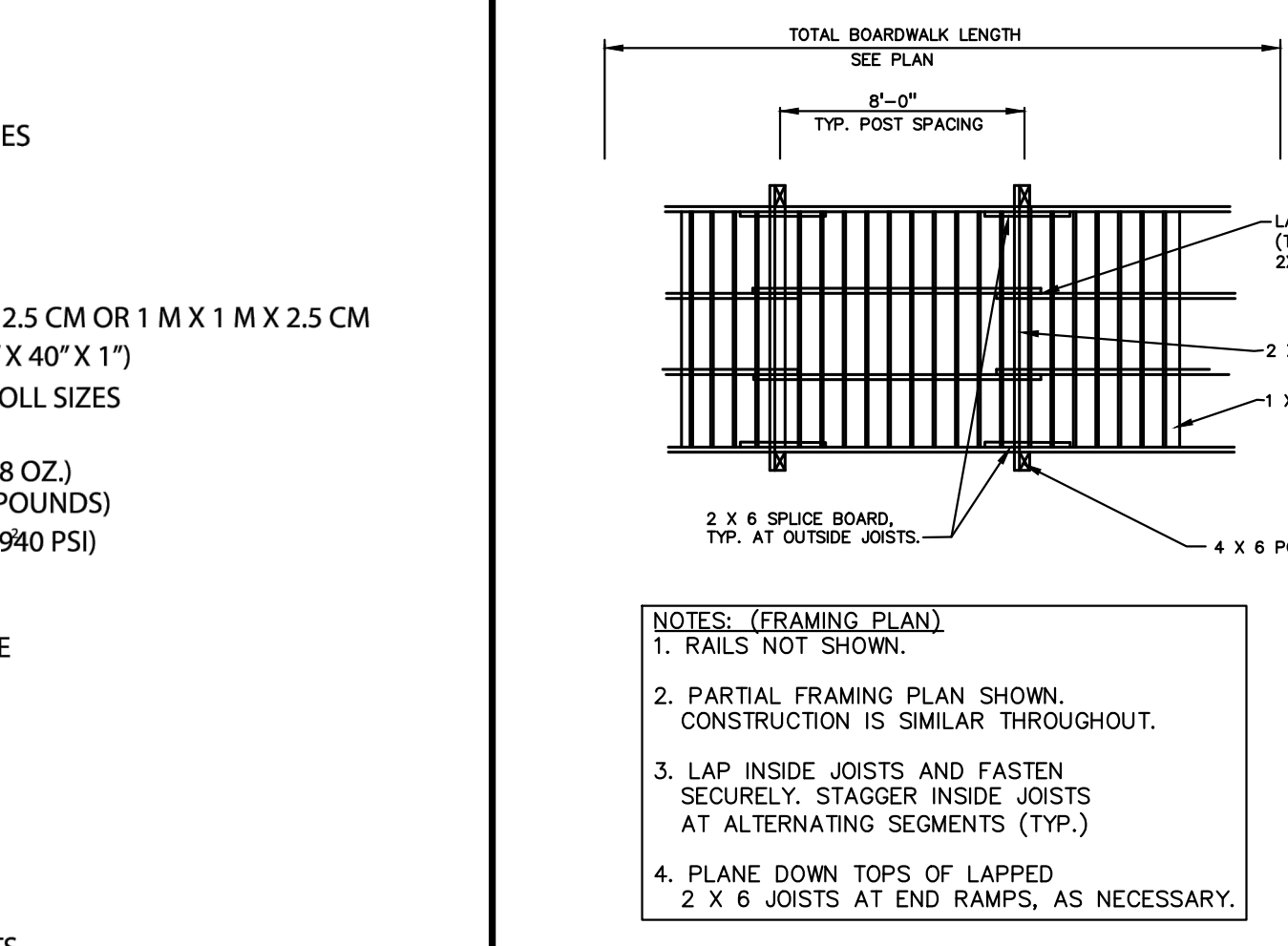
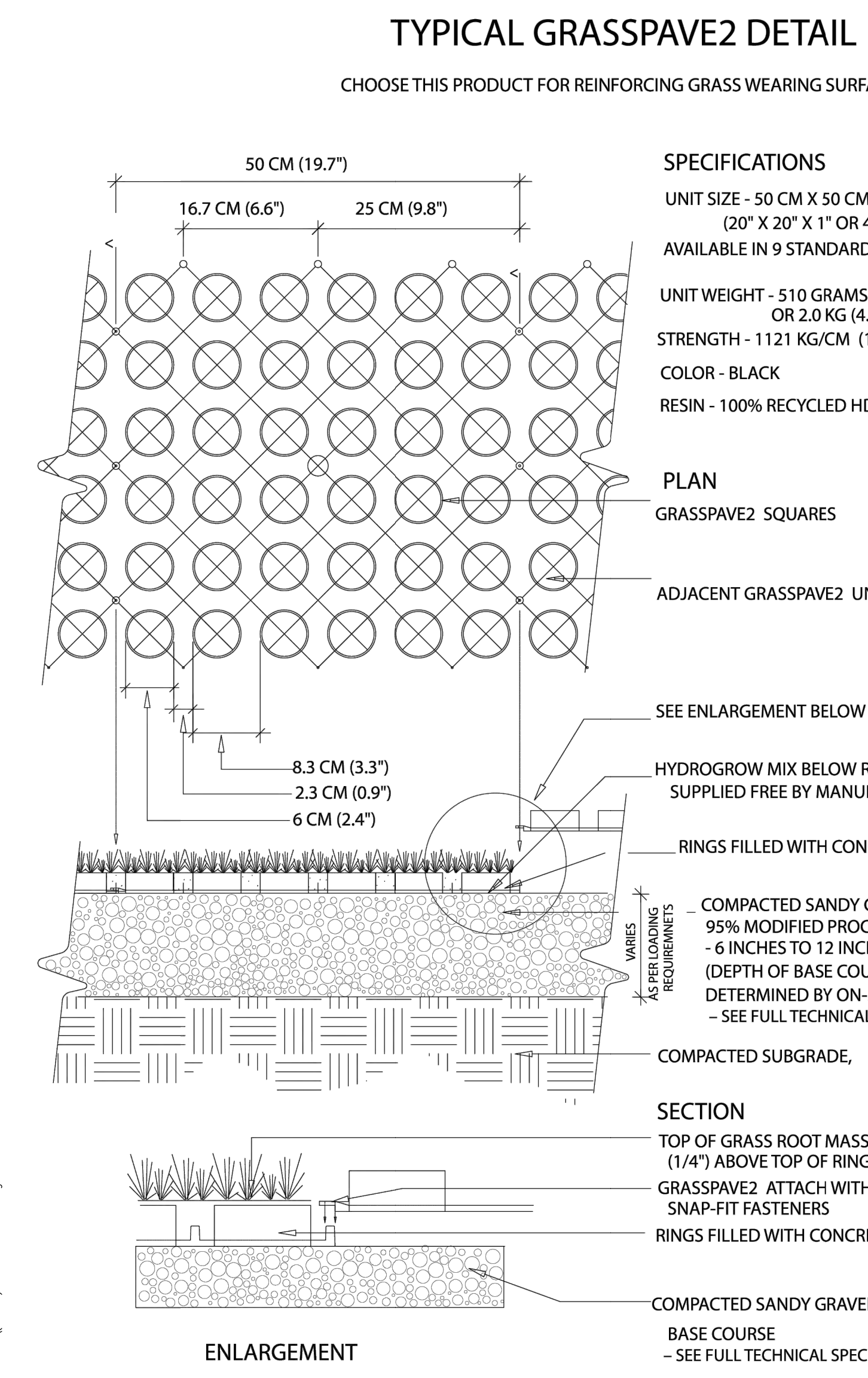
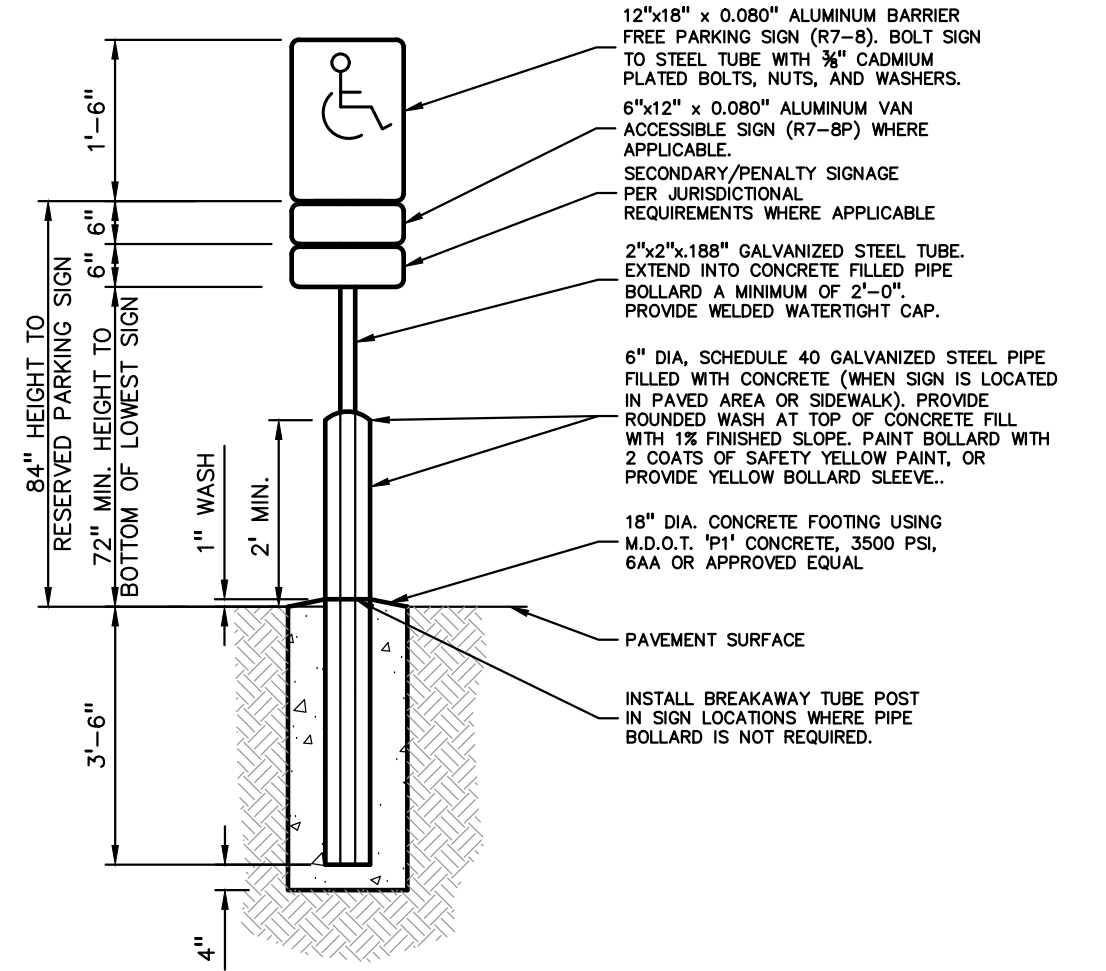
**GENERAL BARRIER FREE NOTES:**

THE FOLLOWING NOTES PROVIDE AN OUTLINE OF SOME OF THE REQUIREMENTS CONTAINED WITHIN THE "STANDARDS FOR ACCESSIBLE DESIGN - AMERICANS WITH DISABILITIES ACT 2010", AND "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES", ICC/ANSI A117.1-2009. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE REQUIREMENTS PRESENTED WITHIN THESE DOCUMENTS, WHICH ARE AVAILABLE IN FULL UPON REQUEST.

- AN ACCESSIBLE ROUTE CONSISTS OF WALK SURFACES, CURB RAMPS AND RAMPS. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES, ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE BUILDING OR FACILITY ENTRANCE THEY SERVE.
- THE RUNNING SLOPE OF ALL WALKING SURFACES SHALL NOT EXCEED 5% (1:20) AND THE CROSS-SLOPE SHALL NOT EXCEED 2% (1:48).
- WALKING SURFACES MUST BE LEVEL WITH PERMITTED VERTICAL CHANGES IN LEVEL NOT TO EXCEED 1/4", OR BEVELED CHANGES IN LEVEL NOT TO EXCEED 1/2". REFER TO DETAIL DET-8 THIS SHEET. ANY CHANGE IN LEVEL GREATER THAN 1/2" MUST BE RAMPED.
- TURNING SPACES ALONG ACCESSIBLE ROUTES MUST BE AT LEAST 5 FEET WIDE IN ALL DIRECTIONS AND NOT EXCEED 2% SLOPE (1:48) IN ANY DIRECTION.
- ACCESSIBLE ROUTES WILL BE DESIGNED TO BE A MINIMUM OF 5 FEET WIDE. THE MINIMUM CLEAR WIDTH IS 3 FEET.
- RAMPS ALONG ACCESSIBLE ROUTES WILL HAVE A RUNNING SLOPE GREATER THAN 5% (1:20) AND LESS THAN 8.3% (1:12).
- THE CROSS-SLOPE OF RAMP RUNS SHALL NOT EXCEED 2% (1:48).
- THE MINIMUM CLEAR WIDTH OF ANY RAMP IS 36 INCHES.
- THE MAXIMUM RISE FOR ANY RAMP (NOT INCLUDING CURB RAMPS) SHALL NOT EXCEED 30 INCHES. LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF EACH RAMP. LANDINGS SHALL HAVE A CROSS-SLOPE NOT EXCEEDING 2% (1:48), SHALL BE 5 FEET LONG AND AT LEAST AS WIDE AS THE RAMP CLEAR WIDTH. IF THERE IS A CHANGE OF DIRECTION AT A LANDING, THEN THE LANDING MUST BE AT LEAST 5 FEET WIDE AND 5 FEET LONG.
- HANDRAILS ARE REQUIRED FOR ANY RAMP (NOT INCLUDING CURB RAMPS) WITH A RISE GREATER THAN 6 INCHES. ALL HANDRAILS ARE REQUIRED TO HAVE EDGE PROTECTION UNLESS ADJOINING ANOTHER ACCESS POINT OR IF THE VERTICAL DROP-OFF AT THE EDGE OF THE RAMP DOES NOT EXCEED 1/2" IN 10 FEET. EDGE PROTECTION CAN BE PROVIDED BY MEANS OF A 4" MIN. CURB OR BARRIER.
- CURB RAMPS ALONG ACCESSIBLE ROUTES SHALL NOT RISE MORE THAN 6 INCHES, NOR BE STEEPER THAN 8.3% (1:12). APPROACHING SLOPES TO THE RAMP CANNOT EXCEED 5%, WHICH INCLUDES SIDEWALKS, PAVEMENT, GUTTERS ETC.
- IF CURB RAMP SIDES ARE FLARED, THE FLARES SHALL NOT BE STEEPER THAN 10% (1:10).
- LANDINGS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE A MINIMUM OF 36" AND WILL BE AS WIDE AS THE CURB RAMP.
- CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
- HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
- WHERE DETECTABLE WARNING IS REQUIRED AT CURB RAMPS, THE DETECTABLE WARNING SHALL BE 24" MINIMUM IN DEPTH AND SHALL EXTEND THE FULL WIDTH OF THE RAMP. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE CURB LINE.
- ACCESSIBLE PARKING SPACES ON SITE SHALL BE PROVIDED AS REQUIRED IN SECTION 502 OF THE A.D.A. IF THE SITE HAS MORE THAN ONE PARKING FACILITY, EACH FACILITY IS REQUIRED TO MEET THESE REQUIREMENTS SEPARATELY. THE REQUIRED NUMBER OF SPACES SHALL BE BASED ON THE TOTAL NUMBER OF PARKING SPACES IN EACH PARKING FACILITY ON SITE.
- FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, ONE VAN ACCESSIBLE SPACE SHALL BE PROVIDED.
- ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO A BUILDING ENTRANCE. IF THERE IS MORE THAN ONE ACCESSIBLE ENTRANCE, PARKING SHALL BE DISPERSED ALONG THE SHORTEST ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCES.
- BARRIER FREE CAR PARKING SPACES SHALL BE A MINIMUM OF 8 FEET WIDE WITH AN ACCESS AISLE 5 FEET WIDE MINIMUM. VAN ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 11 FEET WIDE WITH A 5' WIDE ACCESS AISLE. VAN ACCESSIBLE SPACES ARE ALSO ACCEPTABLE WITH AN 8 FOOT WIDTH AND 8 FOOT WIDE ACCESS AISLE. THE ACCESS AISLE IN ALL CASES MUST EXTEND THE FULL LENGTH OF THE PARKING SPACE.
- SURFACE SLOPES WITHIN THE PARKING SPACES AND AISLES SHALL NOT EXCEED 2% (1:48).
- ACCESSIBLE AREAS INCLUDING PARKING SPACES, AISLES AND PATHWAYS, REQUIRE A MINIMUM VERTICAL CLEARANCE OF 88 INCHES.
- ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS. THE SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN PARKING SPACES ARE REQUIRED TO BE DESIGNATED AS "VAN ACCESSIBLE". REFER TO DETAILS ON THIS SHEET.

**BARRIER FREE SIGN NOTES:**

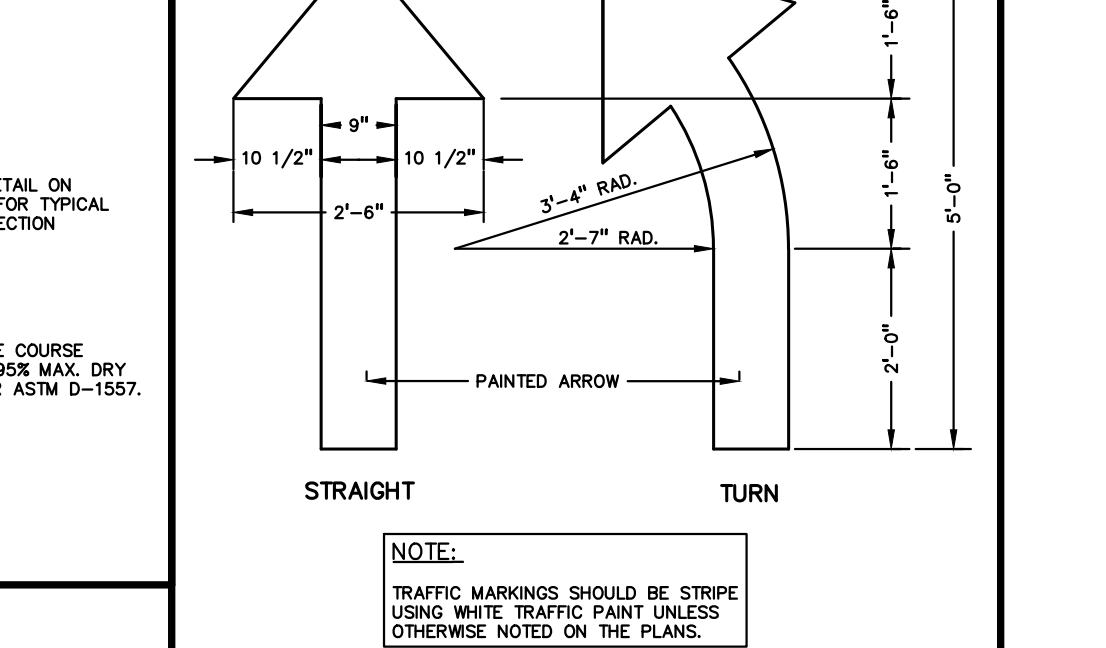
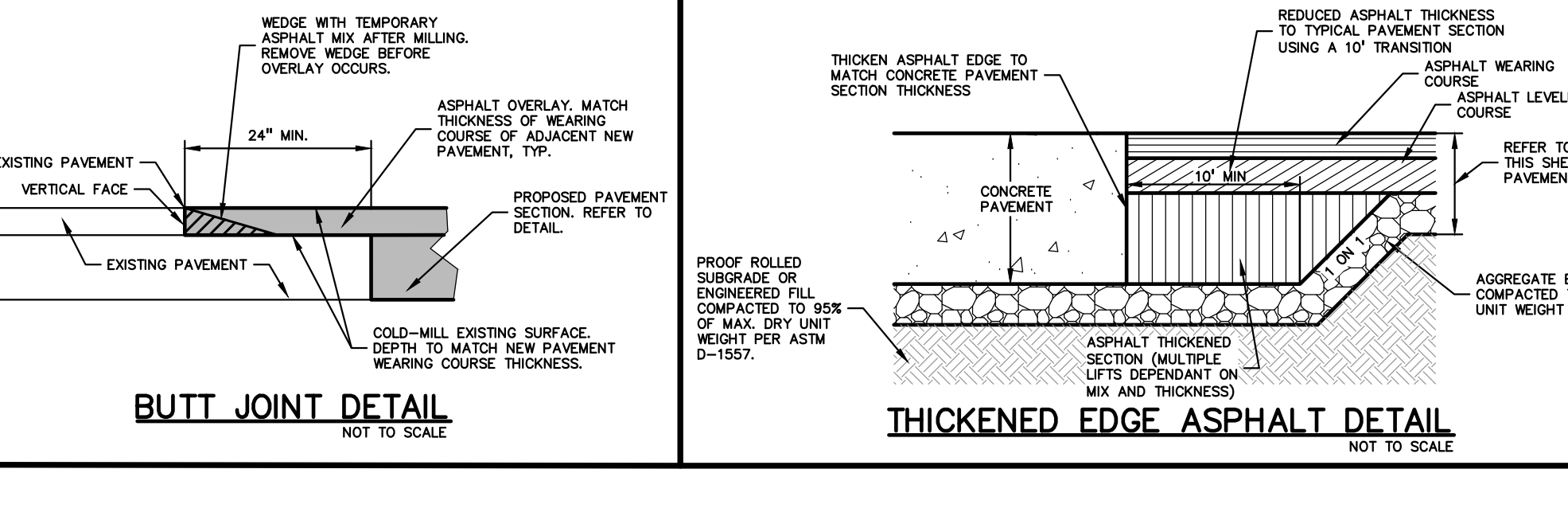
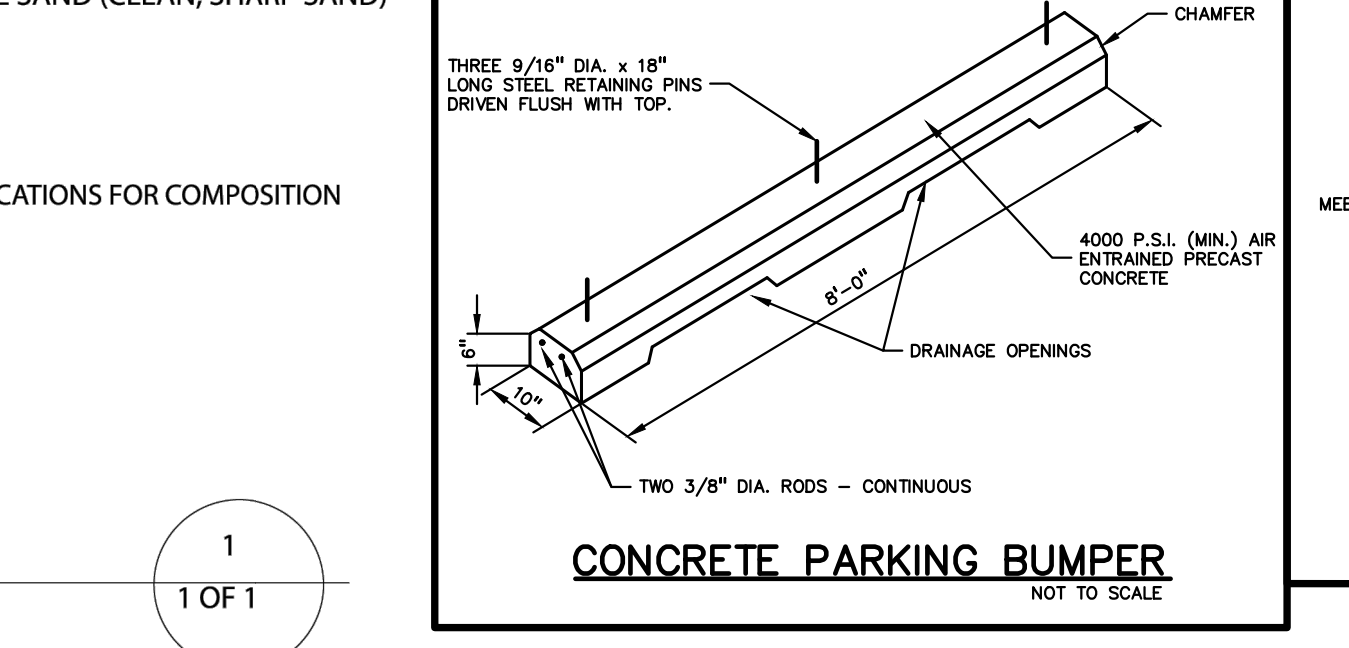
- ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE.
- ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
- WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
- SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS A MINIMUM OF 12".
- ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST.
- IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHALL BE USED.
- ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH A.D.A. GUIDELINES AND LOCAL REQUIREMENTS.



NOT TO SCALE

**INVISIBLE STRUCTURES, INC.**

16265 E. 33RD DR., SUITE 20  
AURORA, COLORADO 80011  
800-233-1510 OR 303-233-8383  
FAX: 800-233-1522 OR 303-233-8282  
www.invisiblestructures.com  
rev. 1/18



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER IMPLIED OR MAILED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**JR MILITELLO REALTY**  
468 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

**REVISIONS**

SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

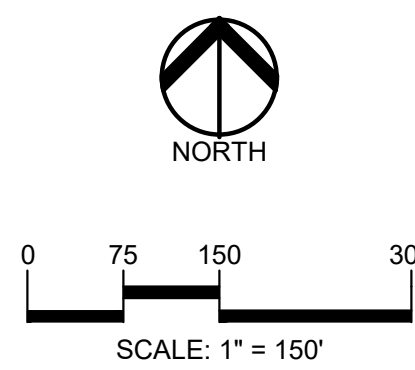
ORIGINAL ISSUE DATE:  
MARCH 31, 2023

DRAWING TITLE  
**NOTES AND DETAILS - SHEET 2**

PEA JOB NO. 2022-1338

P.M.	BK
DN	BLA
DES.	BK

DRAWING NUMBER:



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**JR MILITELLO REALTY**  
268 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

REVISIONS

SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
MARCH 31, 2023

**OVERALL LANDSCAPE PLAN**

PEA JOB NO.	2022-1338
P.M.	BK
D.N.	BGG
DES.	JLE

DRAWING NUMBER:  
**L-1.0**

**LANDSCAPE CALCULATIONS:**  
PER PLYMOUTH TOWNSHIP ZONING ORDINANCE-IND INDUSTRIAL ZONE, PROPOSED USE PLANNED UNIT DEVELOPMENT

**TREE REPLACEMENT REQUIRED:**  
PROVIDE 1" CAL REPLACEMENT FOR EVERY 4" DBH REMOVED FOR TREES WITHIN WOODED AREAS OR INDIVIDUAL TREES 24" OR LARGER IN FAIR OR BETTER CONDITION. TREES ON THE TWPS. NOT DESIRABLE TREE LIST NIC FOR REPLACEMENT.  
36 TREES REMOVED WITH 577" DBH  
577" DBH REMOVED / 4 = 144.25  
(50%) DEC 3" CAL OR EVG 8' HT = 144.24 x 50% / 3" CAL = 25, 3" DEC. OR 8' EVG.  
(30%) DEC 3.5" CAL OR EVG 10' HT = 144.25 x 30% / 3.5" CAL = 13, 3.5" DEC. OR 10' EVG.  
(20%) DEC 4" CAL OR EVG 12' HT = 144.25 x 20% / 4" CAL = 8, 4" DEC. OR 12' EVG.  
**REQUIRED:**  
25 TREES (18, DEC 3" CAL AND 7, 8' EVG.)  
13 TREES (13, 10' EVG.)  
8 TREES (8, DEC 4" CAL)  
**PROVIDED:** 26 PREVIOUSLY INSTALLED DEC.  
20 PREVIOUSLY INSTALLED EVG.

**STREET TREES AT RIDGE ROAD**  
**REQUIRED:**  
1 DEC. TREE / 40 LF OF LENGTH OF SITE FRONTAGE  
2,800 LF / 40 = 70 TREES (EXCLUDING LIMIT 9' FRONTAGE ON BOTH RIDGE AND FIVE MILE ROADS)  
(50%) 70 x 5: DEC. 3" CAL OR EVG. 8' HT. = 35 TREES  
(30%) 70 x 3: DEC. 3.5" CAL OR EVG. 10' HT. = 21 TREES  
(20%) 70 x 2: DEC. 4" CAL OR EVG. 12' HT. = 14 TREES  
**REQUIRED:**  
35 TREES (21, DEC. 3" CAL AND 14, EVG. 8' HT.)  
21 TREES (1, DEC. 3.5" CAL AND 20, EVG. 10' HT.)  
14 TREES (8 DEC. 4" CAL AND 6, EVG. 12' HT.)  
**PROVIDED:** 28 PREVIOUSLY INSTALLED DEC.  
40 PREVIOUSLY INSTALLED EVG.  
NEW PROPOSED: 1 DEC. NORTH EAST CORNER RIDGE ROAD FROM THE ENTRY SOUTH, EXISTING TREES/WOODLANDS TO REMAIN ADJ. TO PATH AND ROAD.

**DETENTION POND PLANTINGS**  
**REQUIRED:**  
55 DECIDUOUS TREES, 20 EVG. TREES AND 100 SHRUBS PER CITY'S REQUEST AT POND  
**PROVIDED:** 55 PREVIOUSLY INSTALLED DEC.  
20 PREVIOUSLY INSTALLED EVG.  
100 PREVIOUSLY INSTALLED SHRUBS.

**PROPOSED NEW INTERIOR STREET TREES AT PAVED PORTION OF TECHNE DRIVE, AT APPROXIMATELY 1 TREE PER 50 LF**  
1291 LF / 50 = 26 TREES  
**PROVIDED:** 42 PROPOSED NEW STREET TREES ALONG TECHNE DRIVE

**PROPOSED NEW PARKING LOT TREES AT NORTH PAVED PARKING AREA**  
**REQUIRED:**  
1 DEC. TREE / 80 SF OF PLANTING AREA WITHIN THE ISLAND NORTH PAVED PARKING AREA ISLANDS:  
3750 SF (SEE SHT L-1.1 FOR ISLAND SF AREA) / 80 = 47 TREES  
**PROVIDED:** 50 PROPOSED NEW PARKING LOT TREES

**PATH TREES PER PLYMOUTH TWPS. REQUEST**  
NOT TO BE PLANTED IN WETLAND BOUNDARY  
**PROVIDED:** 57 PROPOSED NEW PATH TREES

"PREVIOUSLY INSTALLED TREES AND SHRUBS" COMPLETED IN PREVIOUS PROJECT IN 2019  
TREE REMOVAL AND REPLACEMENT COMPLETED IN PREVIOUS PROJECT IN 2019

**MAINTENANCE PLAN:**  
LAWNS SHALL BE MOWED AND TRIMMED ON A WEEKLY BASIS WITH FALL AND SPRING CLEAN UP AND MAINTAINED TO BE DISEASE FREE.  
LAWN, TREES & LANDSCAPE AREAS SHALL HAVE ACCESS TO A READILY AVAILABLE & ACCEPTABLE WATER SUPPLY UNTIL ESTABLISHED.  
SEED LAWN, TREES & LANDSCAPING SHALL BE WATERED WELL UNTIL ESTABLISHED, APPROXIMATELY 1 YEAR. SPECIAL ATTENTION & EXTRA WATERING IS GIVEN TO LAWN AND PLANT MATERIAL DURING TIMES OF DROUGHT.  
LAWN & LANDSCAPE SHALL BE MAINTAINED IN A REASONABLE HEALTHY CONDITION, FREE FROM REFUSE AND DEBRIS. UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN 6 MONTHS OF DAMAGE OR DEATH OR NEXT APPROPRIATE PLANTING PERIOD.  
SEASONAL APPROPRIATE PRUNING SHALL BE DONE WHEN NECESSARY FOR SAFETY OF PEDESTRIANS AND MAINTAINING VEHICULAR SIGHT LINES. TREES SHALL BE REPLACED IF DISEASED OR DEAD.

**NOTES:**  
LANDSCAPE AREAS SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE OF DEBRIS AND REFUSE.  
PRUNING SHALL BE MINIMAL TO ASSURE THE PROPER MATURATION OF PLANTS.  
LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM.  
SPREAD 4" TOPSOIL FOR SEED AREAS THROUGHOUT SITE, SINCE ALL TOPSOIL HAS BEEN REMOVED FROM SITE.

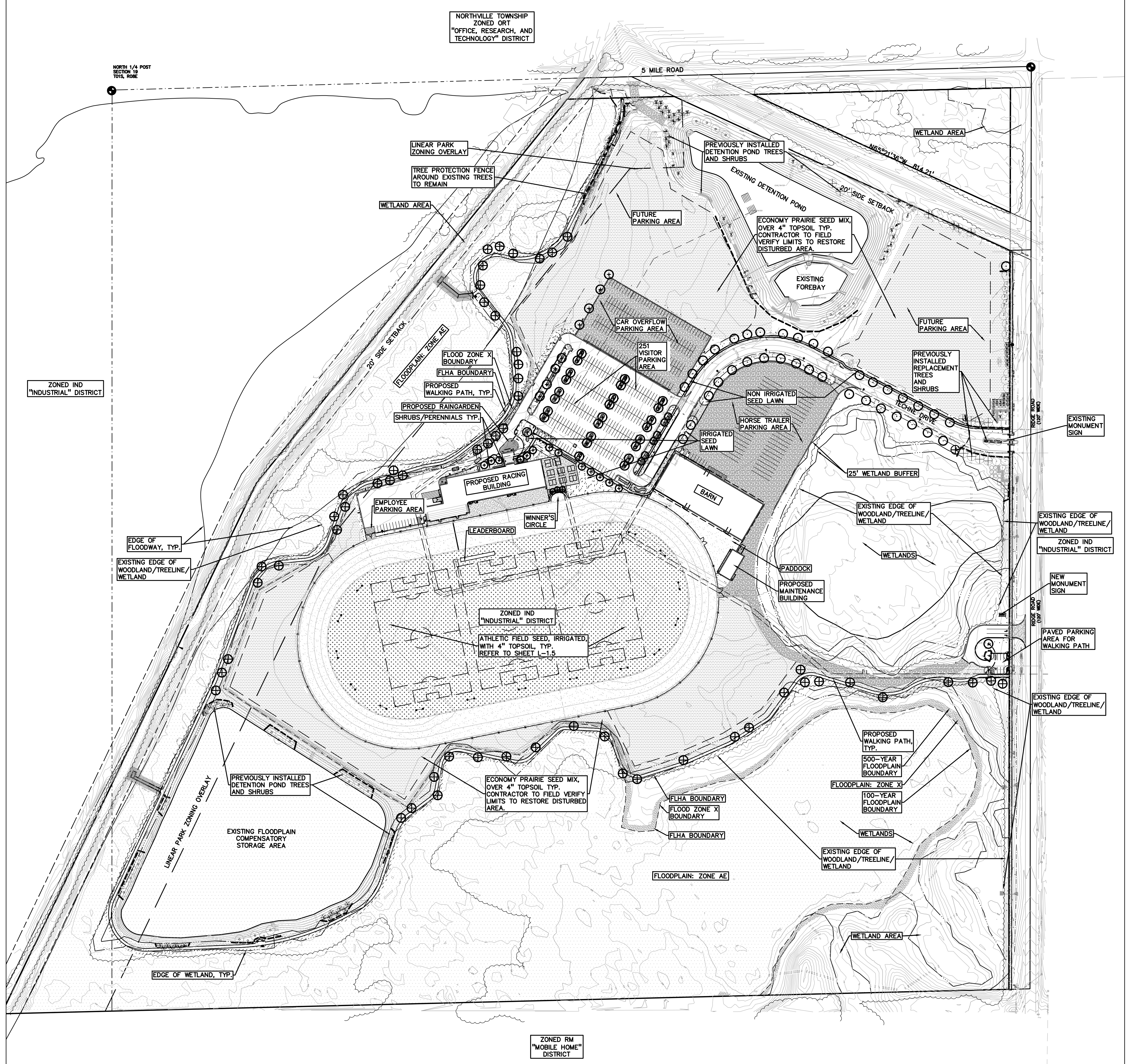
**OVERALL TREE RATIO:**  
150 TREES TOTAL  
150 x .5 = 75, 3" CAL. OR 8' HT. TREES  
150 x .3 = 45, 3.5" CAL. OR 10' HT. TREES  
150 x .2 = 30, 4" CAL. TREES OR 12' HT. TREES  
**PROVIDED:**  
(64) 3" CAL. DEC. TREES AND (11) 8' HT. (45) 3.5" CAL. DEC. TREES.  
(30) 4" CAL. DEC. TREES  
**ADDITIONAL:**  
DECIDUOUS AND EVERGREEN SHRUBS AND PERENNIALS

- ⊕ = PREVIOUSLY INSTALLED REPLACEMENT TREES
- ⊕ = RELOCATED PREVIOUSLY INSTALLED REPLACEMENT TREE (1 AT NORTH SIDE OF ENTRY AT TECHNE DR. FOR PARKING)
- ⊙ = PREVIOUSLY INSTALLED STREET TREES
- ⊙ = PROPOSED NEW STREET TREE (1 TREE AT RIDGE ROAD NORTH END) SEE ENLARGED PLANS FOR TREE SPECIES AND QTY
- ⊙ = PROPOSED NEW INTERIOR STREET TREE AT TECHNE DR. SEE ENLARGED PLANS FOR TREE SPECIES AND QTY
- ⊕ = PROPOSED NEW PARKING LOT TREES SEE ENLARGED PLANS FOR TREE SPECIES AND QTY
- ⊕ = RELOCATED PREVIOUSLY INSTALLED PARKING LOT TREE (1 AT GRAVEL PARKING AREA OFF RIDGE ROAD)
- ⊕ = PREVIOUSLY INSTALLED DETENTION POND TREES / SHRUBS
- ⊕ = RELOCATED PREVIOUSLY INSTALLED DETENTION POND TREE (1 AT SW DETENTION AREA FOR PATH)
- ⊕ = PROPOSED PATH TREES PER TOWNSHIP REQUEST
- ⊕ = IRRIGATED SEED LAWN (VERIFY LIMITS)
- ⊕ = NON-IRRIGATED SEED LAWN (VERIFY LIMITS OF DISTURBANCE)
- ⊕ = ACCESS PATH (REFER TO ENGINEERING DRAWINGS)
- ⊕ = ATHLETIC FIELD SEED MIX (IRRIGATED) SEE SHEET L-1.5 FOR SEED SPEC. INFO (VERIFY LIMITS OF DISTURBANCE)
- ⊕ = EMERGENT WETLAND SEED MIX SEE SHEET L-1.5 FOR SEED SPEC. INFO (VERIFY LIMITS OF DISTURBANCE)
- ⊕ = ECONOMY PRAIRIE SEED MIX SEE SHEET L-1.5 FOR SEED SPEC. INFO (VERIFY LIMITS OF DISTURBANCE)
- ⊕ = SHRUBS AND PERENNIALS SEE SHEETS L-1.1- L-1.2
- - - = TREE PROTECTION FENCE

FOR THE EXISTING NORTH AND SOUTH DETENTION AREAS SUPPLEMENTAL PLUGS:  
USE 300 PLUGS EACH EXISTING BASIN.  
PLUGS TO BE SELECTED FROM THE STORMWATER LIST SEE SHEET L-1.1 AND L-1.3  
SEE SHEET L-1.5 FOR PLUG INFO  
SEE SHEET L-1.1 - L-1.4 FOR PROPOSED TREE TYPE AND QTY.  
SEE SHEET L-1.5 FOR LANDSCAPE DETAILS AND SEED MIX INFO.  
SEE IRRIGATION PLANS FOR IRRIGATED AREAS

**GENERAL PLANTING NOTES:**

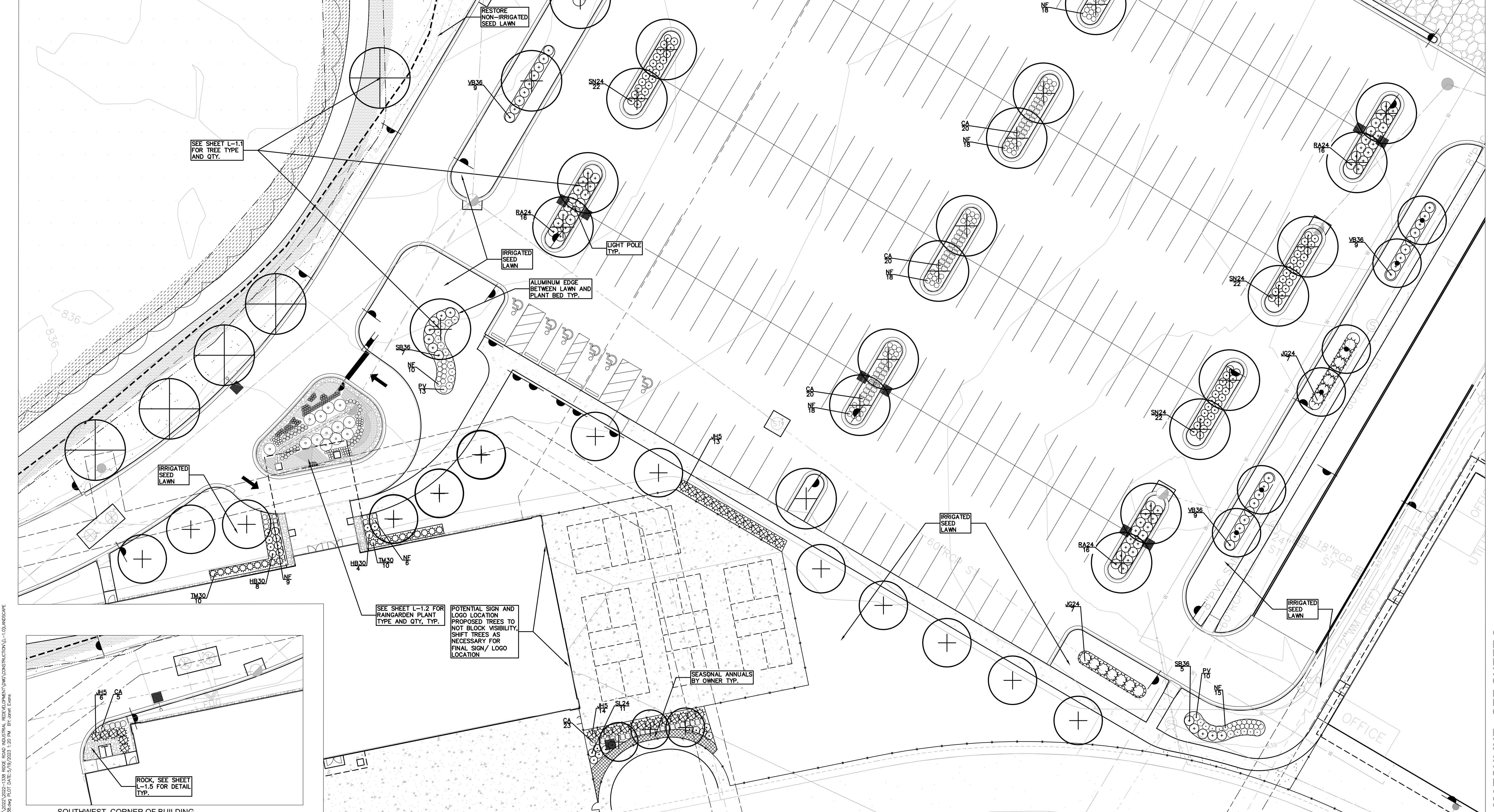
1. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION TO BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
3. ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
5. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
6. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
7. ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
8. ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
9. ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
10. ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
11. NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
12. ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
13. IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
14. ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT. SEE SPECIFICATIONS. SHREDDED PALETTE AND D'IED MULCH WILL NOT BE ACCEPTED.
15. ALL LANDSCAPED AREAS SHALL RECEIVE 4" COMPACTED TOPSOIL.
16. SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
17. FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
18. CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
19. TREES SHALL NOT CONFLICT / BLOCK PROPOSED REGULATORY / DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.



S:\PROJECTS\2022\2022-1338 RIDGE ROAD INDUSTRIAL REDEVELOPMENT\LANDSCAPE\LANDSCAPE PLAN.dwg (Drawing) PLOT DATE: 05/19/2023 10:58 AM - JLE

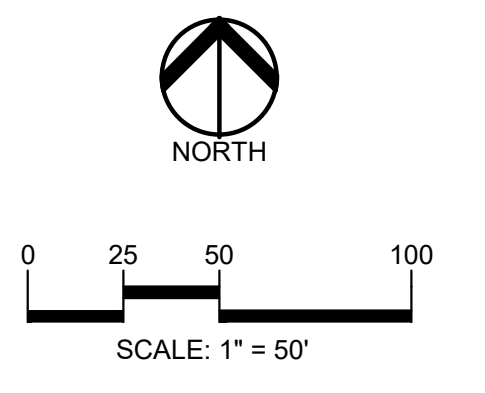
BUILDING PARKING LOT SHRUBS/ PERENNIALS PLANT LIST : L-1.1A

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC :
12	HB30	Bobo Hydrangea	<i>Hydrangea paniculata 'Bobo'</i>	30" Ht.	Cont.
33	JH5	Hetz Columnar Juniper	<i>Juniperus chinensis 'Hetzii Columnaris'</i>	5'	B&B
26	JG24	Sea Green Juniper	<i>Juniperus chinensis 'Sea Green'</i>	24" Sprd	Cont.
64	RA24	Gro Low Sumac	<i>Rhus aromatica 'Gro-Low'</i>	24" Ht.	Cont.
12	SB36	Blooming Lilac	<i>Syringa x penda 'Blooming'</i>	36" Ht.	Cont.
11	SL24	Little Princess Japanese Spirea	<i>Spiraea japonica 'Little Princess'</i>	24" Ht.	Cont.
88	SN24	Neon Flash Spirea	<i>Spiraea japonica 'Neon Flash'</i>	24" Ht.	Cont.
20	TM30	Dense Yew	<i>Taxus x media 'Densiflora'</i>	30" Ht.	Cont.
36	VB36	Blue Muffin Viburnum	<i>Viburnum dentatum 'Christom'</i>	36" Ht.	Cont.
302	TOTAL SHRUBS				
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC :
108	CA	Feather Reed Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	1 Gal.	Cont.
112	NF	Walkers low Catmint	<i>Nepeta x faassenii 'Walkers Low'</i>	1 Gal.	Cont.
23	PV	Shenandoah Switch Grass	<i>Panicum virgatum 'Shenandoah'</i>	1 Gal.	Cont.

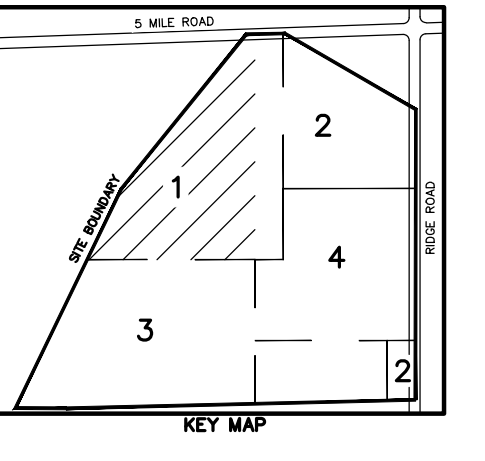


**KEY:**

- = PROPOSED NEW INTERIOR STREET TREE AT TECHNE DR.
- = PROPOSED NEW PARKING LOT TREES
- = PROPOSED PATH TREES PER TOWNSHIP REQUEST
- = IRRIGATED SEED LAWN
- = RESTORE NON-IRRIGATED SEED LAWN
- = EMERGENT WETLAND SEED MIX (SEE SHEET L-1.5 FOR SEED SPEC. INFO (VERIFY LIMITS OF DISTURBANCE.))
- = ECONOMY PRAIRIE SEED MIX (SEE SHEET L-1.5 FOR SEED SPEC. INFO (VERIFY LIMITS OF DISTURBANCE.))
- = SEASONAL ANNUALS BY OWNER
- = SHRUBS AND PERENNIALS



**CAUTION!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR WARRANTY IS MADE AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



**CLIENT**  
**JR MILITELLO REALTY**  
 288 MAIN STREET  
 SUITE 300  
 BUFFALO, NY 14202

**PROJECT TITLE**  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
 FIVE MILE AND RIDGE ROAD  
 PLYMOUTH, MI

REVISIONS	DATE
SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
 MARCH 31, 2023  
 DRAWING TITLE  
**LANDSCAPE PLAN - PLANTS AT BLDG. PARKING**

PEA JOB NO.	2022-1338
P.M.	BK
DN.	BGG
DES.	JLE
DRAWING NUMBER:	

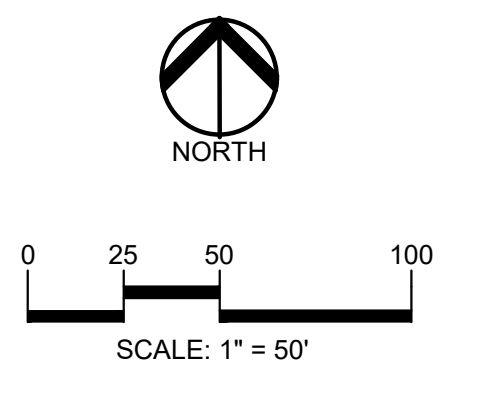
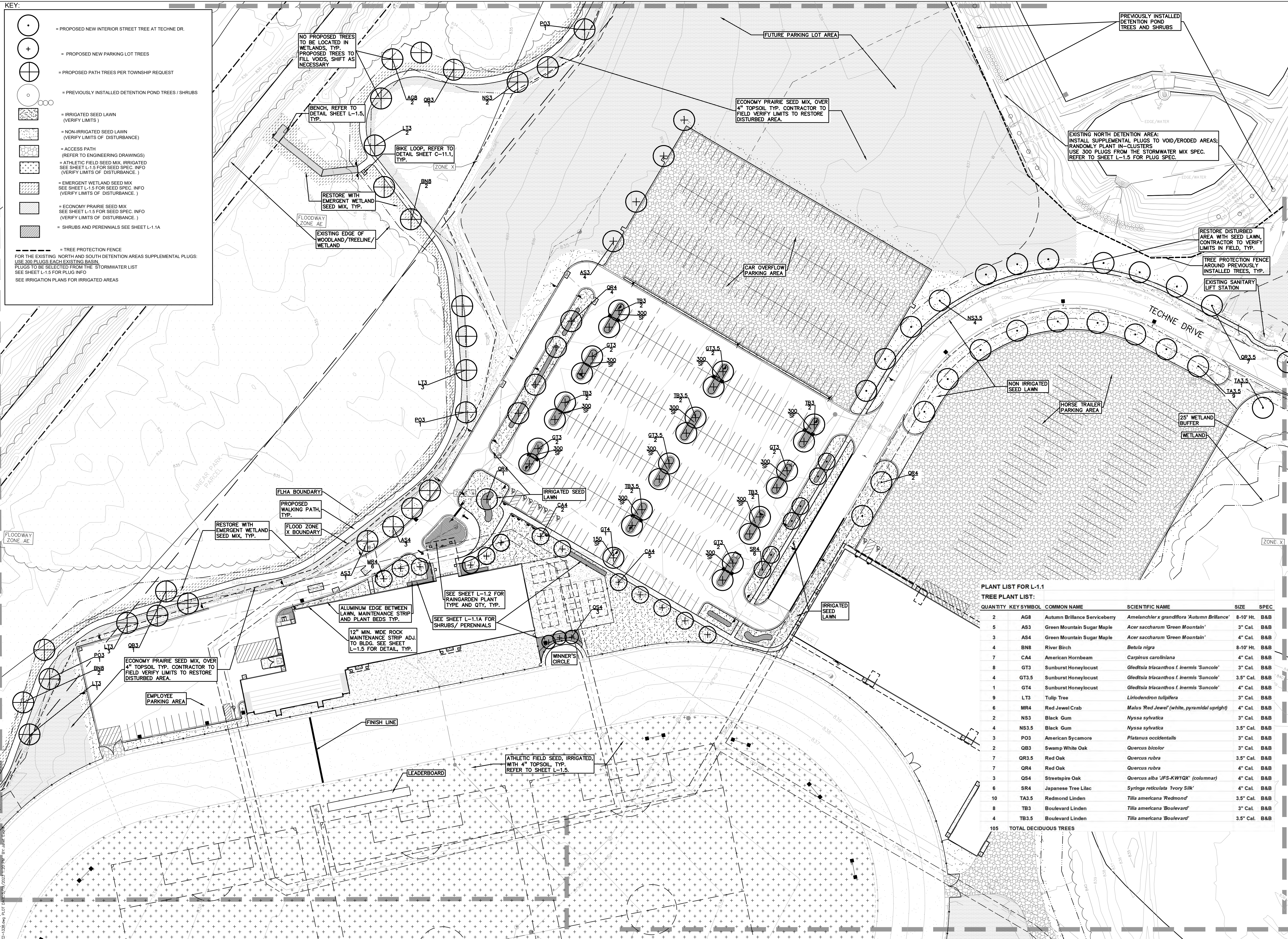
S:\PROJECTS\2022\2022-1338 RIDGE ROAD INDUSTRIAL REDEVELOPMENT\LANDSCAPE\CONSTRUCTION\L-1.0 LANDSCAPE PLAN FOR BUILDING PLANT DATE: 05/19/2023 1:50 PM BGG:bkj

SOUTHWEST CORNER OF BUILDING

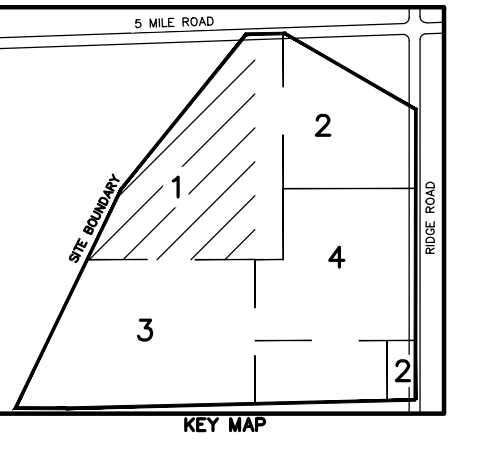
MATCHLINE - SEE SHEET 3

MATCHLINE - SEE SHEET 2

- KEY:**
- = PROPOSED NEW INTERIOR STREET TREE AT TECHNE DR.
  - = PROPOSED NEW PARKING LOT TREES
  - = PROPOSED PATH TREES PER TOWNSHIP REQUEST
  - = PREVIOUSLY INSTALLED DETENTION POND TREES / SHRUBS
  - = IRRIGATED SEED LAWN (VERIFY LIMITS)
  - = NON-IRRIGATED SEED LAWN (VERIFY LIMITS OF DISTURBANCE)
  - = ACCESS PATH (REFER TO ENGINEERING DRAWINGS)
  - = ATHLETIC FIELD SEED MIX, IRRIGATED (SEE SHEET L-1.5 FOR SEED SPEC. INFO (VERIFY LIMITS OF DISTURBANCE.))
  - = EMERGENT WETLAND SEED MIX (SEE SHEET L-1.5 FOR SEED SPEC. INFO (VERIFY LIMITS OF DISTURBANCE.))
  - = ECONOMY PRAIRIE SEED MIX (SEE SHEET L-1.5 FOR SEED SPEC. INFO (VERIFY LIMITS OF DISTURBANCE.))
  - = SHRUBS AND PERENNIALS SEE SHEET L-1.1A
  - = TREE PROTECTION FENCE FOR THE EXISTING NORTH AND SOUTH DETENTION AREAS SUPPLEMENTAL PLUGS. USE 300 PLUGS EACH EXISTING BASIN. PLUGS TO BE SELECTED FROM THE STORMWATER LIST SEE SHEET L-1.5 FOR PLUG INFO. SEE IRRIGATION PLANS FOR IRRIGATED AREAS.



**CAUTION!!**  
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR WARRANTY IS MADE AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**JR MILITELLO REALTY**  
 288 MAIN STREET  
 SUITE 300  
 BUFFALO, NY 14202

PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
 FIVE MILE AND RIDGE ROAD  
 PLYMOUTH, MI

**REVISIONS**

SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
 MARCH 31, 2023  
 DRAWING TITLE  
**LANDSCAPE PLAN - SHEET 1**

PEA JOB NO. 2022-1338  
 P.M. BK  
 DN. BGG  
 DES. JLE  
 DRAWING NUMBER:

**L-1.1**

**PLANT LIST FOR L-1.1**  
**TREE PLANT LIST:**

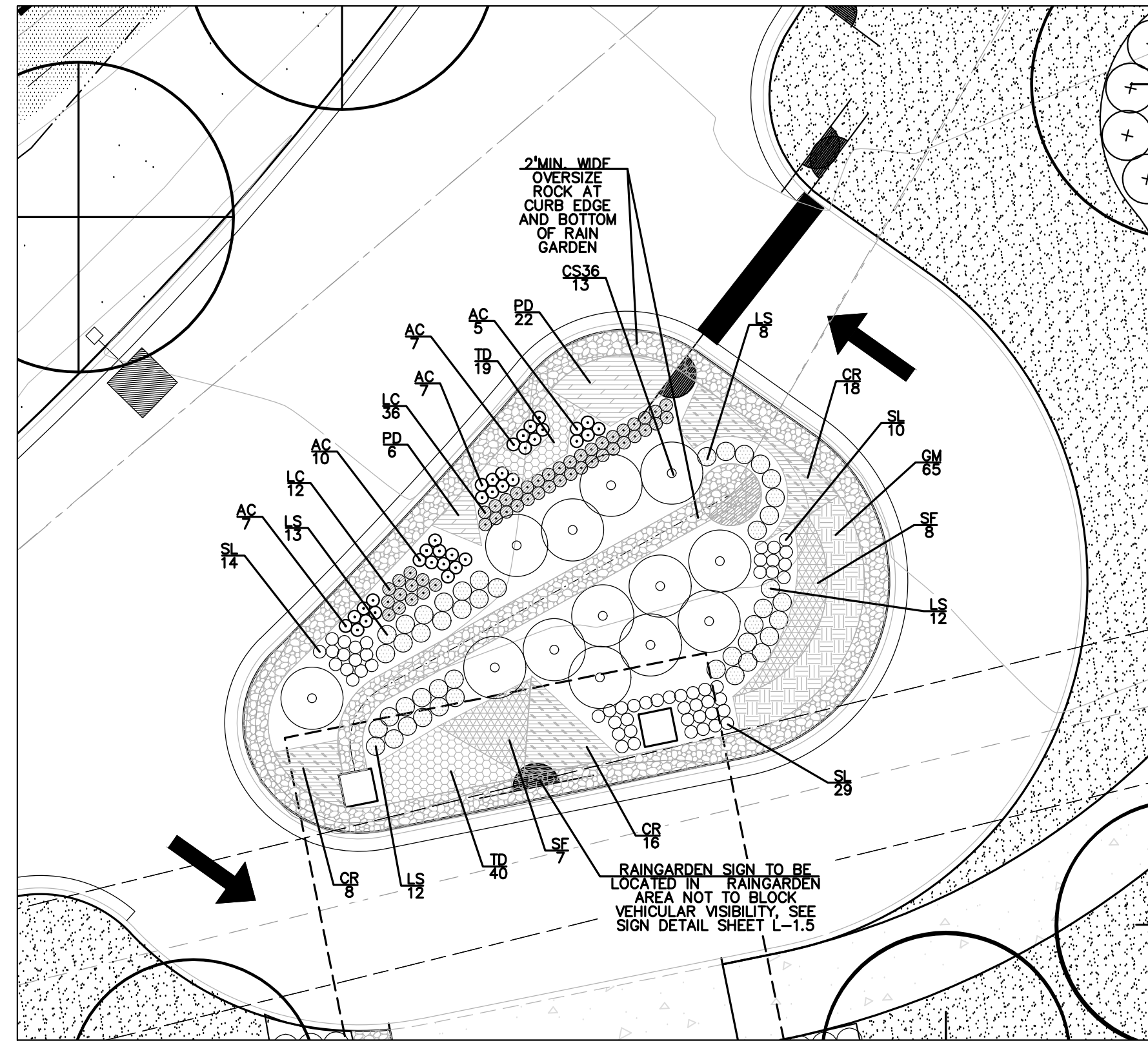
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
2	AG8	Autumn Brilliance Serviceberry	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	8-10' Ht.	B&B
5	AS3	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	3" Cal.	B&B
3	AS4	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	4" Cal.	B&B
4	BN8	River Birch	<i>Betula nigra</i>	8-10' Ht.	B&B
7	CA4	American Hornbeam	<i>Carpinus caroliniana</i>	4" Cal.	B&B
8	GT3	Sunburst Honeylocust	<i>Gleditsia triacanthos f. inermis 'Suncole'</i>	3" Cal.	B&B
4	GT3.5	Sunburst Honeylocust	<i>Gleditsia triacanthos f. inermis 'Suncole'</i>	3.5" Cal.	B&B
1	GT4	Sunburst Honeylocust	<i>Gleditsia triacanthos f. inermis 'Suncole'</i>	4" Cal.	B&B
9	LT3	Tulip Tree	<i>Liriodendron tulipifera</i>	3" Cal.	B&B
6	MR4	Red Jewel Crab	<i>Malus 'Red Jewel' (white, pyramidal upright)</i>	4" Cal.	B&B
2	NS3	Black Gum	<i>Nyssa sylvatica</i>	3" Cal.	B&B
4	NS3.5	Black Gum	<i>Nyssa sylvatica</i>	3.5" Cal.	B&B
3	PO3	American Sycamore	<i>Platanus occidentalis</i>	3" Cal.	B&B
2	QB3	Swamp White Oak	<i>Quercus bicolor</i>	3" Cal.	B&B
7	QR3.5	Red Oak	<i>Quercus rubra</i>	3.5" Cal.	B&B
7	QR4	Red Oak	<i>Quercus rubra</i>	4" Cal.	B&B
3	QS4	Streetspire Oak	<i>Quercus alba 'JFS-KW10X' (columnar)</i>	4" Cal.	B&B
6	SR4	Japanese Tree Lilac	<i>Syringa reticulata ' Ivory Silk'</i>	4" Cal.	B&B
10	TA3.5	Redmond Linden	<i>Tilia americana 'Redmond'</i>	3.5" Cal.	B&B
8	TB3	Boulevard Linden	<i>Tilia americana 'Boulevard'</i>	3" Cal.	B&B
4	TB3.5	Boulevard Linden	<i>Tilia americana 'Boulevard'</i>	3.5" Cal.	B&B
105		TOTAL DECIDUOUS TREES			

S:\PROJECTS\2022\2022-1338\LANDSCAPE\LANDSCAPE PLAN - SHEET 1.dwg 12/22/23 10:28 AM JLE

MATCHLINE - SEE SHEET 2

MATCHLINE - SEE SHEET 3





RAIN GARDEN DETAIL

SCALE: 1" = 10'

RAIN GARDEN PLANT LIST: L-1.2

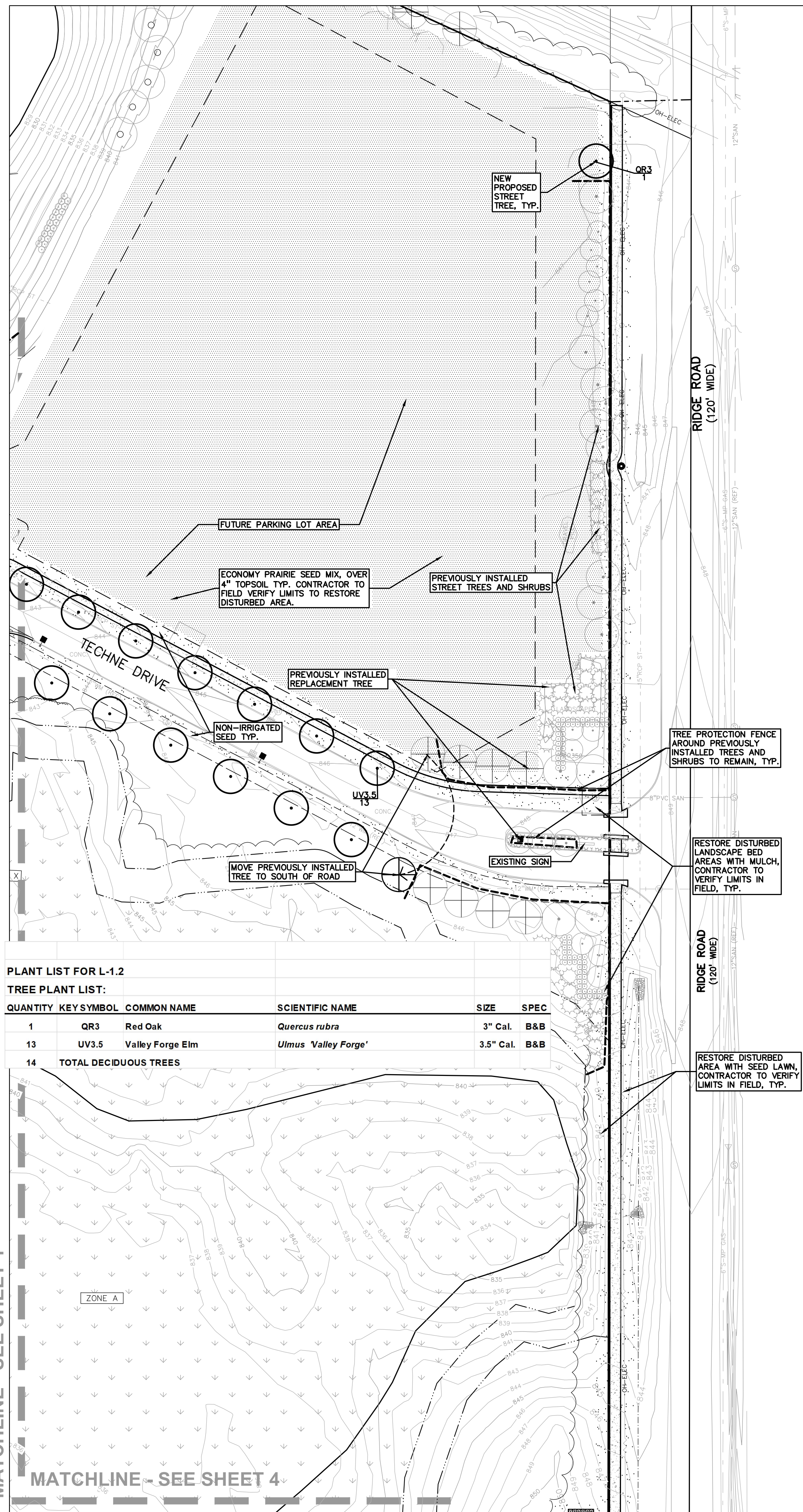
SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
13	CS36	Bergeson Compact Dogwood	<i>Cornus sericea</i> 'Bergeson'	36" Ht.	Cont.
13	TOTAL SHRUBS				

PERENNIAL PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
36	AC	Wild Columbine	<i>Aquilegia canadensis</i>	1 Gal.	Cont.
42	CR	Rosy Sedge	<i>Carex rosea</i>	1 Gal.	Cont.
65	GM	Wild Geranium	<i>Geranium maculatum</i>	1 Gal.	Cont.
48	LC	Cardinal Flower	<i>Lobelia cardinalis</i>	1 Gal.	Cont.
45	LS	Great Blue Lobelia	<i>Lobelia siphilitica</i>	1 Gal.	Cont.
28	PD	Blue Phlox	<i>Phlox divaricata</i>	1 Gal.	Cont.
15	SF	Broad-leaved Goldenrod	<i>Solidago flexicaulis</i>	1 Gal.	Cont.
53	SL	Side-flowering Aster	<i>Symphotrichum lateriflorum</i>	1 Gal.	Cont.
59	TD	Early Meadow Rue	<i>Thalictrum dioicum</i>	1 Gal.	Cont.
391	TOTAL PERENNIALS				

MATCHLINE - SEE SHEET 1



PLANT LIST FOR L-1.2

TREE PLANT LIST:

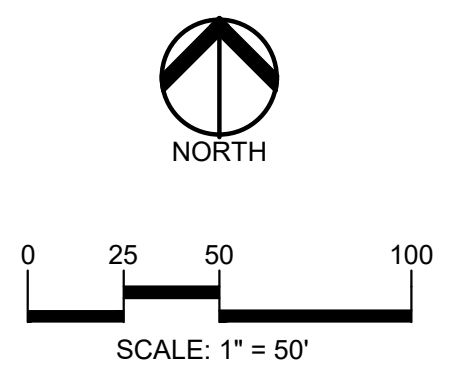
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
1	QR3	Red Oak	<i>Quercus rubra</i>	3" Cal.	B&B
13	UV3.5	Valley Forge Elm	<i>Ulmus 'Valley Forge'</i>	3.5" Cal.	B&B
14	TOTAL DECIDUOUS TREES				

MATCHLINE - SEE SHEET 4

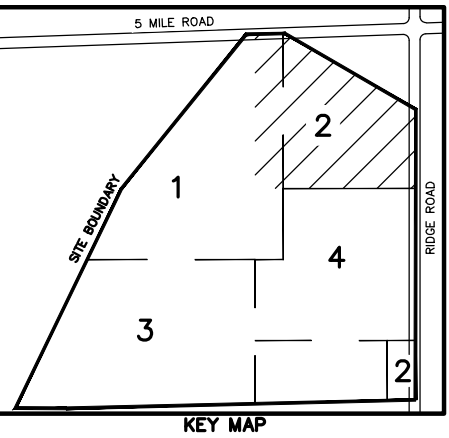
KEY:

- = PREVIOUSLY INSTALLED REPLACEMENT TREES
- = RELOCATED PREVIOUSLY INSTALLED REPLACEMENT TREE FOR NEW PROPOSED PARKING AREA NORTH SIDE OF ENTRY AT TECHNE DRIVE
- = PREVIOUSLY INSTALLED STREET TREES
- = PROPOSED NEW STREET TREE AT RIDGE ROAD, NORTH END
- = PROPOSED NEW INTERIOR STREET TREE AT TECHNE DR.
- = DECIDUOUS SHRUBS
- = PERENNIALS
- = IRRIGATED SEED LAWN
- = NON-IRRIGATED SEED LAWN (CONTRACTOR SHALL REPLACE ALL DISTURBED AREAS WITH LAWN. FIELD VERIFY LIMITS OF DISTURBANCE.)
- = ECONOMY PRAIRIE SEED MIX (CONTRACTOR SHALL REPLACE ALL DISTURBED AREAS WITH LAWN. FIELD VERIFY LIMITS OF DISTURBANCE.)
- = TREE PROTECTION FENCE

SEE IRRIGATION PLANS FOR IRRIGATED AREAS



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR OTHER RESPONSIBILITY IS ASSUMED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**JR MILITELLO REALTY**  
288 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

REVISIONS	
SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
MARCH 31, 2023  
DRAWING TITLE  
**LANDSCAPE PLAN - SHEET 2**

PEA JOB NO.	2022-1338
P.M.	BK
DN.	BG
DES.	JLE

DRAWING NUMBER:  
**L-1.2**

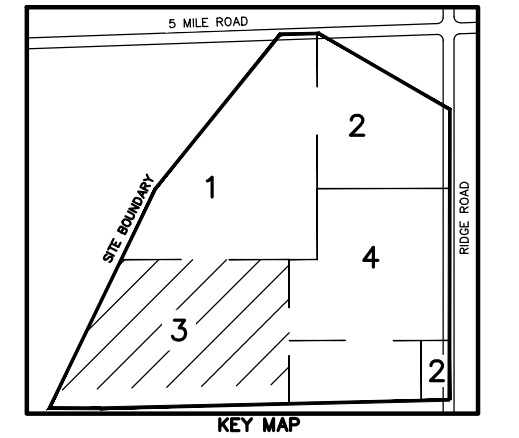
S:\PROJECTS\2022\2022-1338 RIDGE ROAD INDUSTRIAL REDEVELOPMENT\DWG\CONSTRUCTION\L-1.0 LANDSCAPE PLAN.dwg (Drawing) PLOT DATE: 05/19/2023 11:27 AM (JLE) User: jle



0 25 50 100  
SCALE: 1" = 50'



**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**JR MILITELLO REALTY**  
288 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

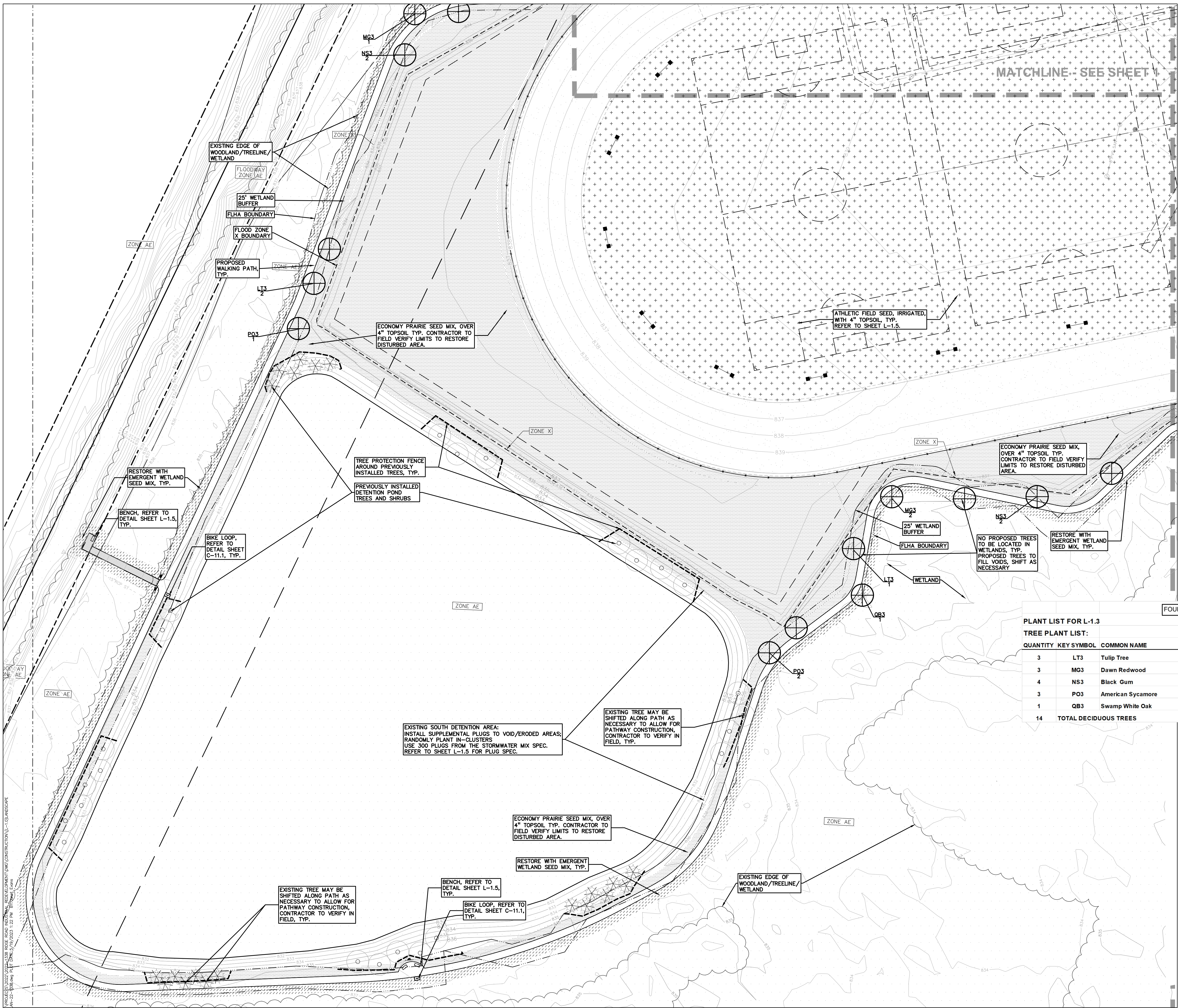
PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

REVISIONS		
SPA RESUBMITTAL	05/02/23	
SPA RESUBMITTAL	05/19/23	

ORIGINAL ISSUE DATE:  
MARCH 31, 2023  
DRAWING TITLE  
**LANDSCAPE PLAN - SHEET 3**

PEA JOB NO.	2022-1338
P.M.	BK
DN.	BGG
DES.	JLE

DRAWING NUMBER:  
**L-1.3**



**KEY:**

- = PREVIOUSLY INSTALLED DETENTION POND TREES / SHRUBS
- = PROPOSED PATH TREES PER TOWNSHIP REQUEST
- = ATHLETIC FIELD SEED MIX, IRRIGATED (SEE SHEET L-1.5 FOR SEED SPEC. INFO (VERIFY LIMITS OF DISTURBANCE.))
- = EMERGENT WETLAND SEED MIX (SEE SHEET L-1.5 FOR SEED SPEC. INFO (VERIFY LIMITS OF DISTURBANCE.))
- = ECONOMY PRAIRIE SEED MIX (SEE SHEET L-1.5 FOR SEED SPEC. INFO (VERIFY LIMITS OF DISTURBANCE.))
- = TREE PROTECTION FENCE
- SEE IRRIGATION PLANS FOR IRRIGATED AREAS

FOR THE EXISTING NORTH AND SOUTH DETENTION AREAS SUPPLEMENTAL PLUGS:  
USE 300 PLUGS EACH EXISTING BASIN.  
PLUGS TO BE SELECTED FROM THE STORMWATER LIST SEE SHEET L-1.5 FOR PLUG INFO

FOUR POTENTIAL TREES TO BE RELOCATED AT PATH, THIS SHEET, VERIFY

PLANT LIST FOR L-1.3

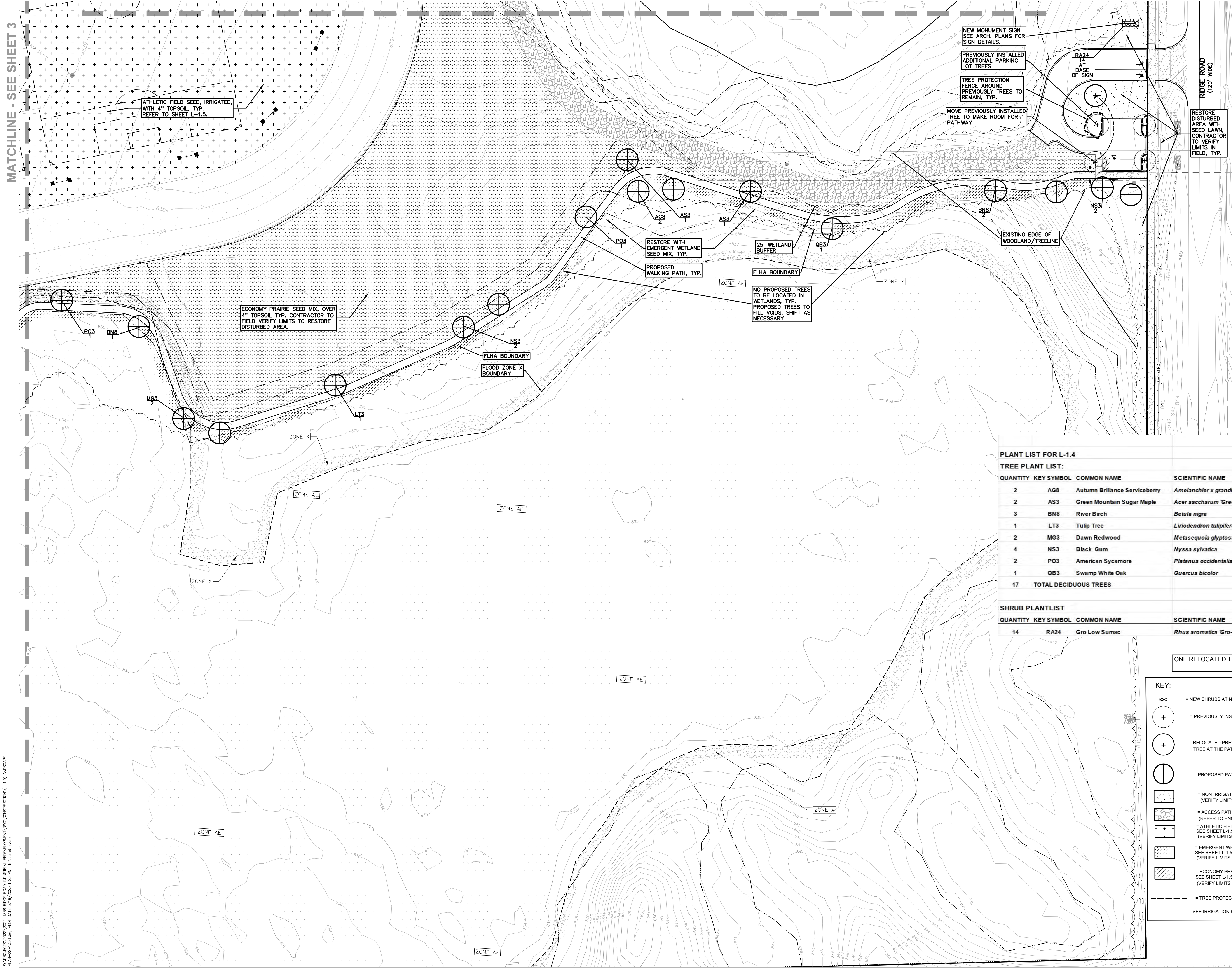
TREE PLANT LIST:					
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
3	LT3	Tulip Tree	<i>Liriodendron tulipifera</i>	3" Cal.	B&B
3	MG3	Dawn Redwood	<i>Metasequoia glyptostroboides</i>	3" Cal.	B&B
4	NS3	Black Gum	<i>Nyssa sylvatica</i>	3" Cal.	B&B
3	PO3	American Sycamore	<i>Platanus occidentalis</i>	3" Cal.	B&B
1	QB3	Swamp White Oak	<i>Quercus bicolor</i>	3" Cal.	B&B
14	TOTAL DECIDUOUS TREES				

FOUR POTENTIAL TREES TO BE RELOCATED AT PATH, VERIFY

MATCHLINE - SEE SHEET 4

MATCHLINE - SEE SHEET 1

S:\PROJECTS\2022\0222-NORTHVILLE DOWNS\LANDSCAPE\CONSTRUCTION\LANDSCAPE-1\01-LANDSCAPE PLAN-1.dwg 05/19/23 10:58 AM



NEW MONUMENT SIGN  
SEE ARCH. PLANS FOR  
SIGN DETAILS.

PREVIOUSLY INSTALLED  
ADDITIONAL PARKING  
LOT TREES

TREE PROTECTION  
FENCE AROUND  
PREVIOUSLY TREES TO  
REMAIN, TYP.

MOVE PREVIOUSLY INSTALLED  
TREE TO MAKE ROOM FOR  
PATHWAY

RESTORE  
DISTURBED  
AREA WITH  
SEED LAWN,  
CONTRACTOR  
TO VERIFY  
LIMITS IN  
FIELD, TYP.

ATHLETIC FIELD SEED, IRRIGATED,  
WITH 4" TOPSOIL, TYP.  
REFER TO SHEET L-1.5.

ECONOMY PRAIRIE SEED MIX, OVER  
4" TOPSOIL TYP. CONTRACTOR TO  
FIELD VERIFY LIMITS TO RESTORE  
DISTURBED AREA.

RESTORE WITH  
EMERGENT WETLAND  
SEED MIX, TYP.

PROPOSED  
WALKING PATH, TYP.

25' WETLAND  
BUFFER

FLHA BOUNDARY

NO PROPOSED TREES  
TO BE LOCATED IN  
WETLANDS, TYP.  
PROPOSED TREES TO  
FILL VOIDS, SHIFT AS  
NECESSARY

EXISTING EDGE OF  
WOODLAND/TREELINE

PLANT LIST FOR L-1.4

TREE PLANT LIST:

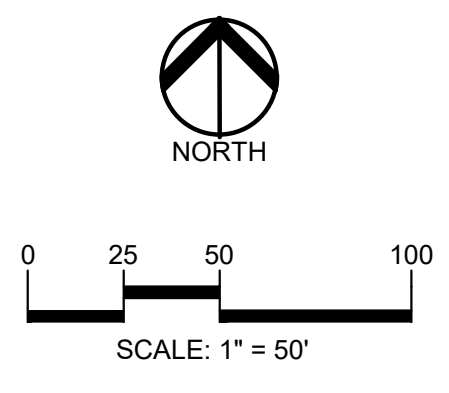
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
2	AG8	Autumn Brilliance Serviceberry	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	8-10' Ht.	B&B
2	AS3	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	3" Cal.	B&B
3	BN8	River Birch	<i>Betula nigra</i>	8-10' Ht.	B&B
1	LT3	Tulip Tree	<i>Liriodendron tulipifera</i>	3" Cal.	B&B
2	MG3	Dawn Redwood	<i>Metasequoia glyptostroboides</i>	3" Cal.	B&B
4	NS3	Black Gum	<i>Nyssa sylvatica</i>	3" Cal.	B&B
2	PO3	American Sycamore	<i>Platanus occidentalis</i>	3" Cal.	B&B
1	QB3	Swamp White Oak	<i>Quercus bicolor</i>	3" Cal.	B&B
17		TOTAL DECIDUOUS TREES			

SHRUB PLANTLIST

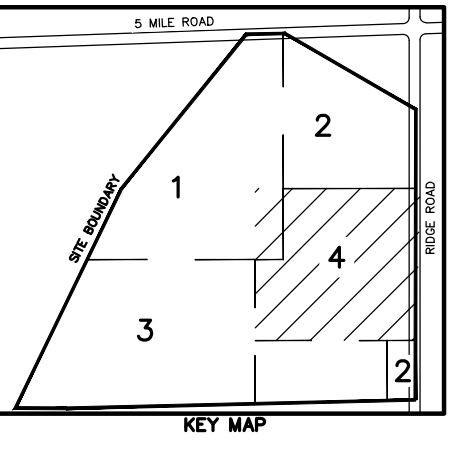
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
14	RA24	Gro Low Sumac	<i>Rhus aromatica 'Gro-Low'</i>	24" Ht.	Cont.

ONE RELOCATED TREE AT PATH AT GRAVEL PARKING LOT  
AND NEW SHRUBS AT NEW SIGN

- KEY:
- = NEW SHRUBS AT NEW MONUMENT SIGN, SIGN BY ARCH.
  - ⊕ = PREVIOUSLY INSTALLED PARKING LOT TREE
  - ⊕ = RELOCATED PREVIOUSLY INSTALLED PARKING LOT TREE  
1 TREE AT THE PATH AT THE GRAVEL PARKING AREA OFF RIDGE RD.
  - ⊕ = PROPOSED PATH TREES PER TOWNSHIP REQUEST
  - ▨ = NON-IRRIGATED SEED LAWN  
(VERIFY LIMITS OF DISTURBANCE)
  - ▨ = ACCESS PATH  
(REFER TO ENGINEERING DRAWINGS)
  - ▨ = ATHLETIC FIELD SEED MIX, IRRIGATED  
SEE SHEET L-1.5 FOR SEED SPEC. INFO  
(VERIFY LIMITS OF DISTURBANCE.)
  - ▨ = EMERGENT WETLAND SEED MIX  
SEE SHEET L-1.5 FOR SEED SPEC. INFO  
(VERIFY LIMITS OF DISTURBANCE.)
  - ▨ = ECONOMY PRAIRIE SEED MIX  
SEE SHEET L-1.5 FOR SEED SPEC. INFO  
(VERIFY LIMITS OF DISTURBANCE.)
  - - - = TREE PROTECTION FENCE  
SEE IRRIGATION PLANS FOR IRRIGATED AREAS



CAUTION!!  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR WARRANTY IS MADE AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**JR MILITELLO REALTY**  
268 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

REVISIONS

SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
MARCH 31, 2023  
DRAWING TITLE  
**LANDSCAPE PLAN - SHEET 4**

PEA JOB NO. 2022-1338

P.M.	BK
DN.	BG
DES.	JLE

S:\PROJECTS\2022\2022-1338 RIDGE ROAD AND CENTRAL REDEVELOPMENT\LANDSCAPE\CONSTRUCTION\L-1.0 LANDSCAPE PLAN FOR CONSTRUCTION.dwg DATE: 05/19/2023 11:13 AM BY: JLE

FOR RESTORATION OF WETLAND AREAS AT BOARD WALK AREAS ETC. INSTALL AND PREP PER MANUFACTURES SPECIFICATIONS. PROVIDE EROSION MAT ON SLOPES AND AREAS OF WASH OUT TYP. STANTEC OR APPROVED EQUAL.

FOR THE EXISTING NORTH AND SOUTH DETENTION AREAS SUPPLEMENTAL PLUGS. USE 300 PLUGS EACH EXISTING BASIN. PLUGS TO BE SELECTED FROM THE BELOW STORMWATER LIST. SELECT MIN. OF 2 GRASS, SEDGE, RUSH AND FORD SPECIES. INSTALL AND PREP PER MANUFACTURES SPECIFICATIONS. STANTEC OR APPROVED EQUAL.

PER PLYMOUTH TWPS.: NO ANNUAL RYE PERMITTED IN TEMPORARY COVER SEED MIX. USE CANADA WILD RYE INSTEAD. TEMPORARY COVER MIX TO INCLUDE SMALL AMOUNTS OF WHITE CLOVER. CLOVER NOT TO BE DOMINANT SEED MIX IN TEMP. COVER.

**Emergent Wetland Seed Mix**  
Stantec Native Plant Nursery 574-586-2412  
stantec.com/native-plant-nursery

Botanical Name	Common Name
<b>Permanent Grasses/Sedges/Rushes:</b>	
<i>Boboschoenus fluviatilis</i>	River Bulrush
<i>Carex comosa</i>	Britly Sedge
<i>Carex lasiocaris</i>	Common Lake Sedge
<i>Carex lurida</i>	Bottlebrush Sedge
<i>Carex stricta</i>	Common Tussock Sedge
<i>Carex vulpinoidea</i>	Brown Fox Sedge
<i>Eleocharis palustris</i>	Great Spike Rush
<i>Juncus effusus</i>	Common Rush
<i>Leersia oryzoides</i>	Rice Cut Grass
<i>Schoenoplectus acutus</i>	Hard-stemmed Bulrush
<i>Schoenoplectus americanus</i>	Chairsmaker's Rush
<i>Schoenoplectus tabernaemontani</i>	Softstem Bulrush
<b>Temporary Cover:</b>	
<i>Avena sativa</i>	Common Oat
<i>Elymus canadensis</i>	Canada Wild Rye
<i>Trifolium repens</i>	White Clover (Small Amount)
<b>Forbs:</b>	
<i>Accos americanus</i>	Sweet Flag
<i>Alisma spp.</i>	Water Plantain (Various Mix)
<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Butorhiza occidentalis</i>	Butorhiza
<i>Decodon verticillatus</i>	Swamp Loosestrife
<i>Eutrochium maculatum</i>	Spotted Joe-Pye Weed
<i>Hibiscus spp.</i>	Rosemallow (Various Mix)
<i>Iris virginica</i>	Blue Flag
<i>Lobelia cardinalis</i>	Cardinal Flower
<i>Lobelia siphilitica</i>	Great Blue Lobelia
<i>Lycopus americanus</i>	Common Water Horehound
<i>Mimulus ringens</i>	Monkey Flower
<i>Peltandra virginica</i>	Arrow Arum
<i>Penthorum sedoides</i>	Ditch Stonecrop
<i>Polygonum spp.</i>	Pinkweed (Various Mix)
<i>Potamogeton nodosus</i>	Pickeral Weed
<i>Sagittaria latifolia</i>	Common Arrowhead
<i>Sparganium eurycarpum</i>	Common Bur Reed
<i>Verberna hastata</i>	Blue Vervain

**Stormwater Seed Mix**  
Stantec Native Plant Nursery 574-586-2412  
stantec.com/native-plant-nursery

Botanical Name	Common Name
<b>Permanent Grasses/Sedges/Rushes:</b>	
<i>Boboschoenus fluviatilis</i>	River Bulrush
<i>Carex cristifolia</i>	Crested Oval Sedge
<i>Carex lurida</i>	Bottlebrush Sedge
<i>Carex vulpinoidea</i>	Brown Fox Sedge
<i>Elymus virginicus</i>	Virginis Wild Rye
<i>Glyceria striata</i>	Fowl Manna Grass
<i>Common Rush</i>	Common Rush
<i>Rice Cut Grass</i>	Rice Cut Grass
<i>Switch Grass</i>	Switch Grass
<i>Softstem Bulrush</i>	Softstem Bulrush
<i>Dark Green Rush</i>	Dark Green Rush
<i>Wool Grass</i>	Wool Grass
<b>Temporary Cover:</b>	
<i>Avena sativa</i>	Common Oat
<i>Elymus canadensis</i>	Canada Wild Rye
<i>Trifolium repens</i>	White Clover (Small Amount)
<b>Forbs &amp; Shrubs:</b>	
<i>Water Plantain (Various Mix)</i>	Water Plantain (Various Mix)
<i>Swamp Milkweed</i>	Swamp Milkweed
<i>Bidens (Various Mix)</i>	Bidens (Various Mix)
<i>Sneezeweed</i>	Sneezeweed
<i>Blue Flag</i>	Blue Flag
<i>Common Water Horehound</i>	Common Water Horehound
<i>Monkey Flower</i>	Monkey Flower
<i>Riddell's Goldenrod</i>	Riddell's Goldenrod
<i>Ditch Stonecrop</i>	Ditch Stonecrop
<i>Pinkweed (Various Mix)</i>	Pinkweed (Various Mix)
<i>Sweet Black-Eyed Susan</i>	Sweet Black-Eyed Susan
<i>Brown-Eyed Susan</i>	Brown-Eyed Susan
<i>Common Arrowhead</i>	Common Arrowhead
<i>Wis Sienna</i>	Wis Sienna
<i>New England Aster</i>	New England Aster
<i>Purple Meadow Rue</i>	Purple Meadow Rue

**Economy Prairie Seed Mix**  
Stantec Native Plant Nursery 574-586-2412  
stantec.com/native-plant-nursery

Botanical Name	Common Name
<b>Permanent Grasses/Sedges/Rushes:</b>	
<i>Big Bluestem</i>	Big Bluestem
<i>Side Oats Grama</i>	Side Oats Grama
<i>Prairie Sedge Mix</i>	Prairie Sedge Mix
<i>Canada Wild Rye</i>	Canada Wild Rye
<i>Switch Grass</i>	Switch Grass
<i>Little Bluestem</i>	Little Bluestem
<i>Indian Grass</i>	Indian Grass
<b>Temporary Cover:</b>	
<i>Common Oat</i>	Common Oat
<i>Canada Wild Rye</i>	Canada Wild Rye
<i>White Clover (Small Amount)</i>	White Clover (Small Amount)
<b>Forbs &amp; Shrubs:</b>	
<i>Common Milkweed</i>	Common Milkweed
<i>Butterfly Weed</i>	Butterfly Weed
<i>Partridge Pea</i>	Partridge Pea
<i>Sand Conegrass</i>	Sand Conegrass
<i>Broad-leaved Purple Coneflower</i>	Broad-leaved Purple Coneflower
<i>Faise Sunflower</i>	Faise Sunflower
<i>Wild Lupine</i>	Wild Lupine
<i>Wild Bergamot</i>	Wild Bergamot
<i>Foxtail Bear Tongue</i>	Foxtail Bear Tongue
<i>Common Mountain Mint</i>	Common Mountain Mint
<i>Yellow Coneflower</i>	Yellow Coneflower
<i>Black-Eyed Susan</i>	Black-Eyed Susan
<i>Shiny Goldenrod</i>	Shiny Goldenrod
<i>Smooth Blue Aster</i>	Smooth Blue Aster
<i>New England Aster</i>	New England Aster

FOR THE ATHLETIC FIELD: IN-FIELD AREA AT THE HORSE TRACK. SPORTS TURF PROVIDED BY RHINO SEED, WITH EROSION MAT, 800-482-3130 RHINOSEED.COM OR APPROVED EQUAL. INSTALL AND PREP PER MANUFACTURES SPECIFICATIONS. RHINO SEED OR APPROVED EQUAL.

**Sports Turf 50/50 Mix**

25%	Elite Kentucky Bluegrass
25%	Elite Kentucky Bluegrass
25%	Turf Type Perennial Ryegrass
25%	Turf Type Perennial Ryegrass

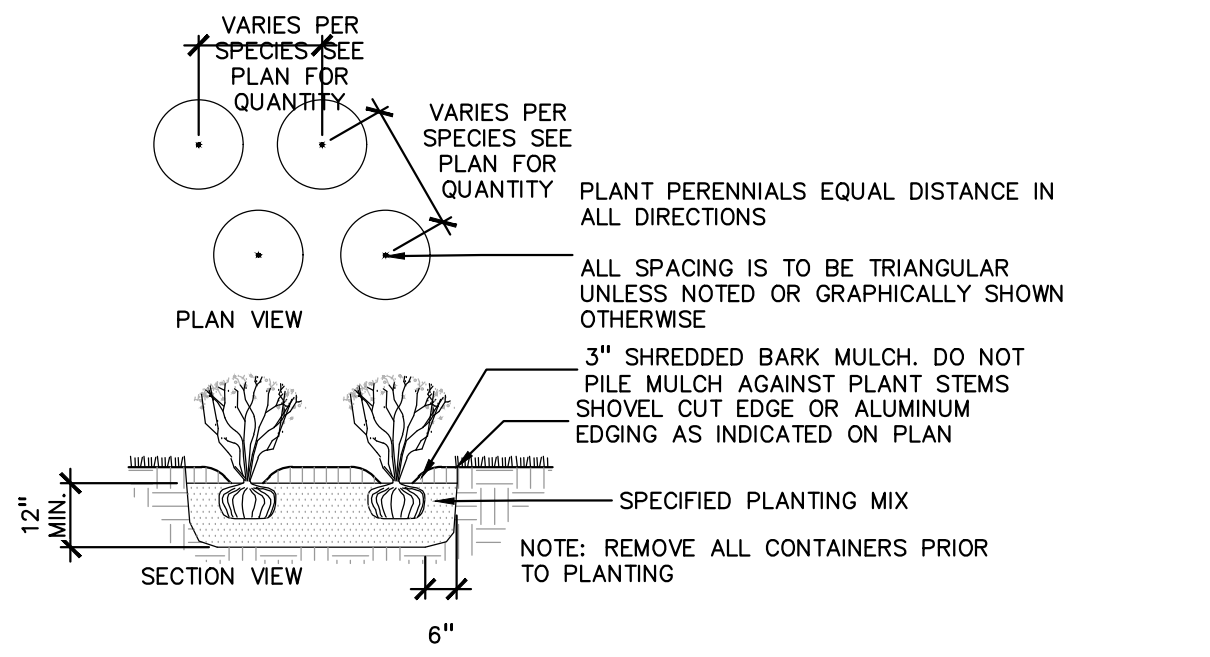
BENCH: 77"L X 24.25"D X 32.75"H, BACKED RATIO BENCH (BACKLESS OPTION AVAILABLE) OR APPROVED EQUAL BY FORMS+SURFACES. PHONE: 800.451.0410

SEAT MATERIAL: STAINLESS STEEL SEAT FINISH: POWDERCOAT, ALUMINUM TEXTURE FRAME MATERIAL: ALUMINUM FRAME FINISH: POWDERCOAT, ALUMINUM TEXTURE QUANTITY: 4 TOTAL CLIENT TO CONFIRM QUANTITIES AND EXACT PLACEMENT

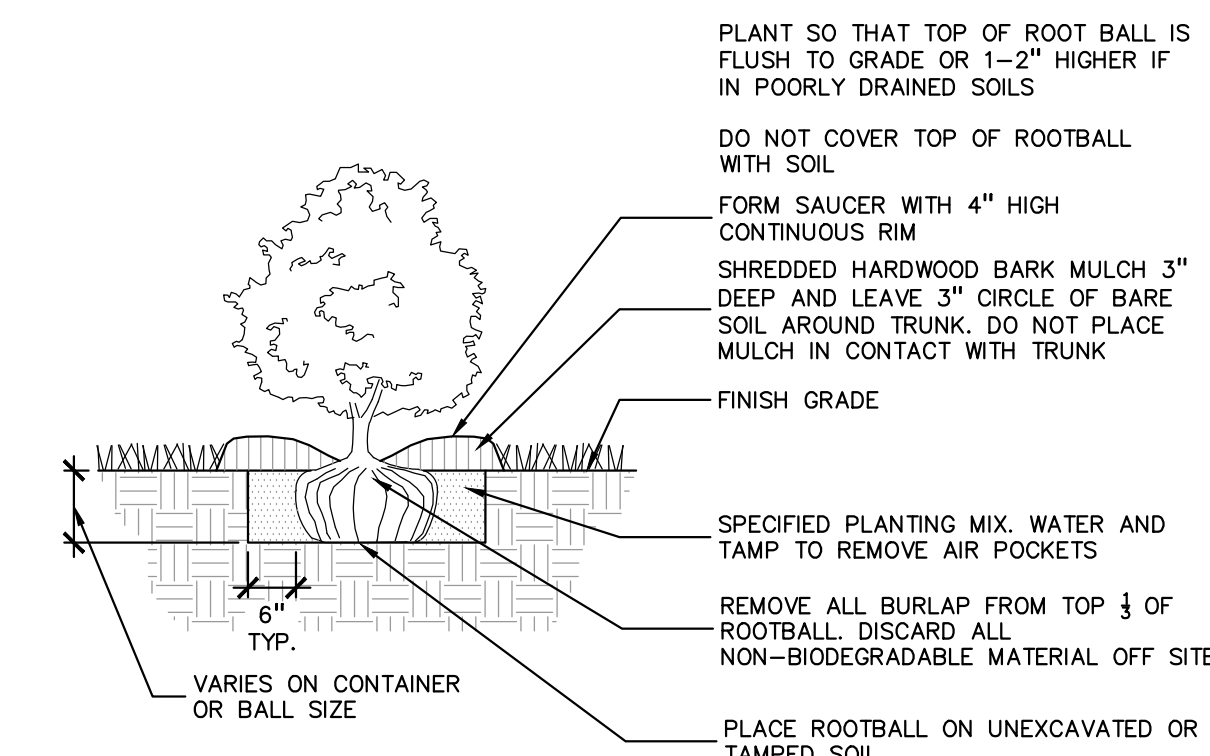
8 ORNAMENTAL BENCH DETAIL  
NOT TO SCALE



5 PERENNIAL PLANTING DETAIL  
SCALE: 1" = 2'-0"



4 SHRUB PLANTING DETAIL  
SCALE: 1" = 2'-0"



SEE LANDSCAPE SPECIFICATION SHEET L-2.1 LAWN SEEDING FOR MORE INFORMATION

Irrigated Lawn Seed Mixture proportioned by volume as indicated below:

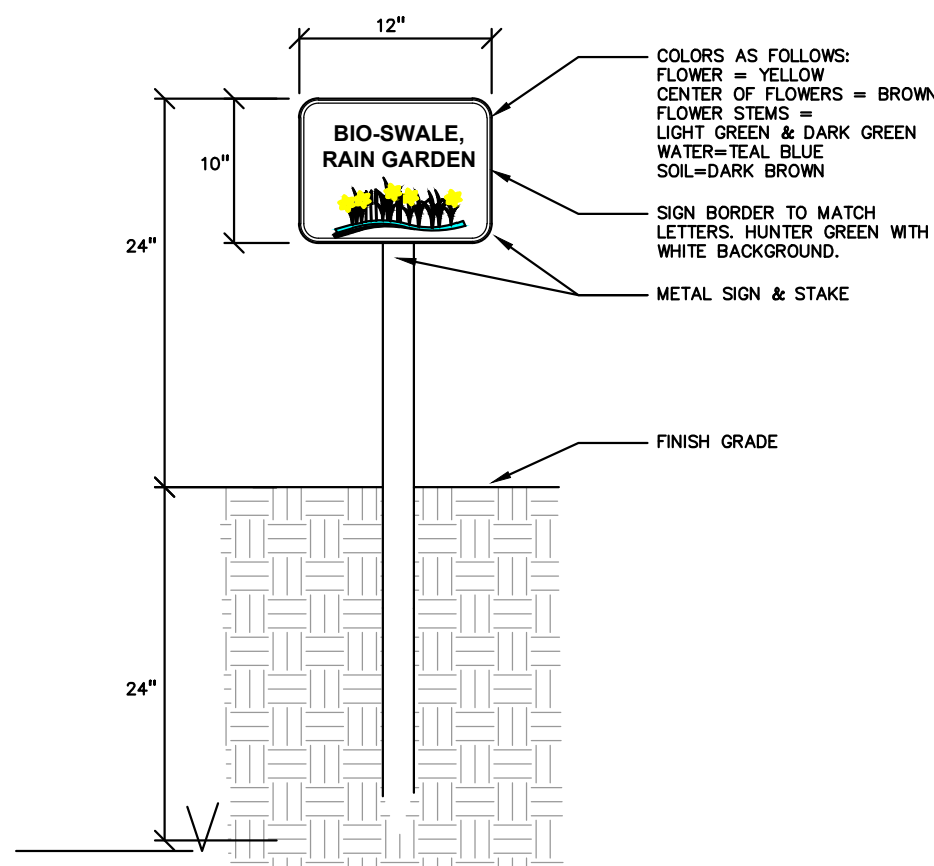
SEED TYPE	PROPORTION	PURITY	GERMINATION
Kentucky Bluegrass	50%	90%	75%
Penn Lawn Fescue	30%	95%	80%
Canada Wild Rye-native	20%	95%	80%

Non-Irrigated Seed Mixture proportioned by volume as indicated below:

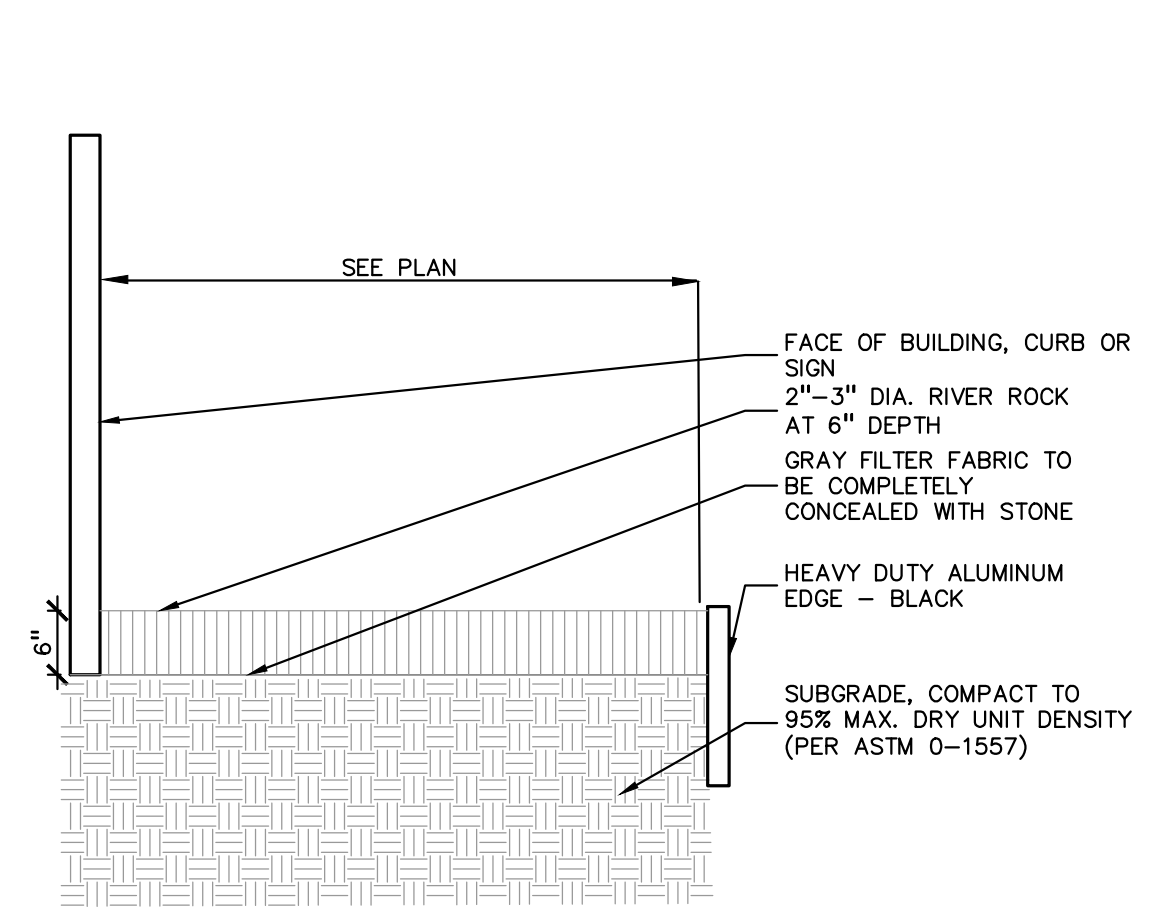
SEED TYPE	PROPORTION	PURITY	GERMINATION
Penn Lawn Fescue	60%	90%	85%
Kentucky 28# Common Bluegrass	20%	90%	90%
Pennfine Perennial Rye	20%	90%	90%

PER PLYMOUTH TWPS.: NO ANNUAL RYE PERMITTED IN TEMPORARY COVER SEED MIX. USE CANADA WILD RYE INSTEAD. TEMPORARY COVER MIX TO INCLUDE SMALL AMOUNTS OF WHITE CLOVER. CLOVER NOT TO BE DOMINANT SEED MIX IN TEMP. COVER.

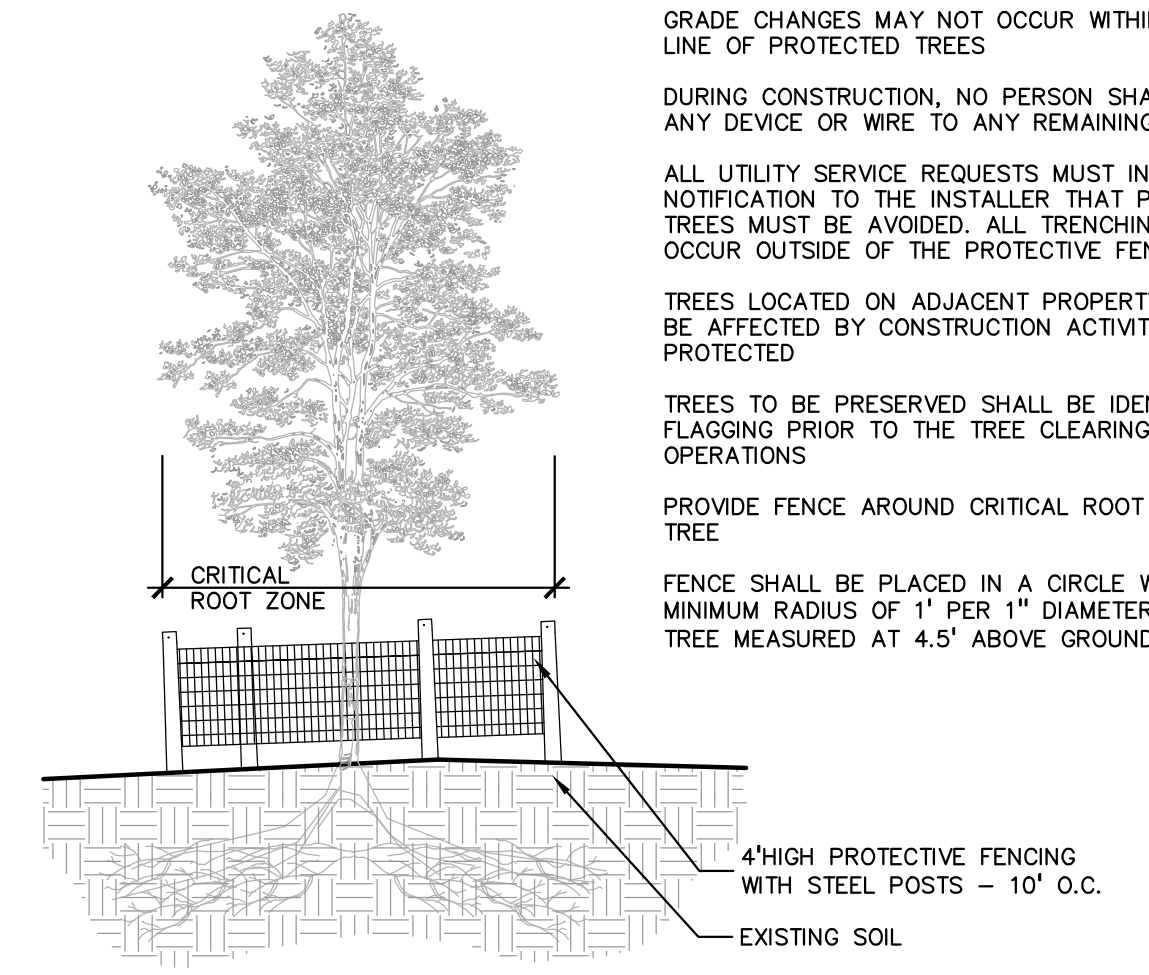
7 RAINGARDEN LANDSCAPE MARKER DETAIL  
NOT TO SCALE



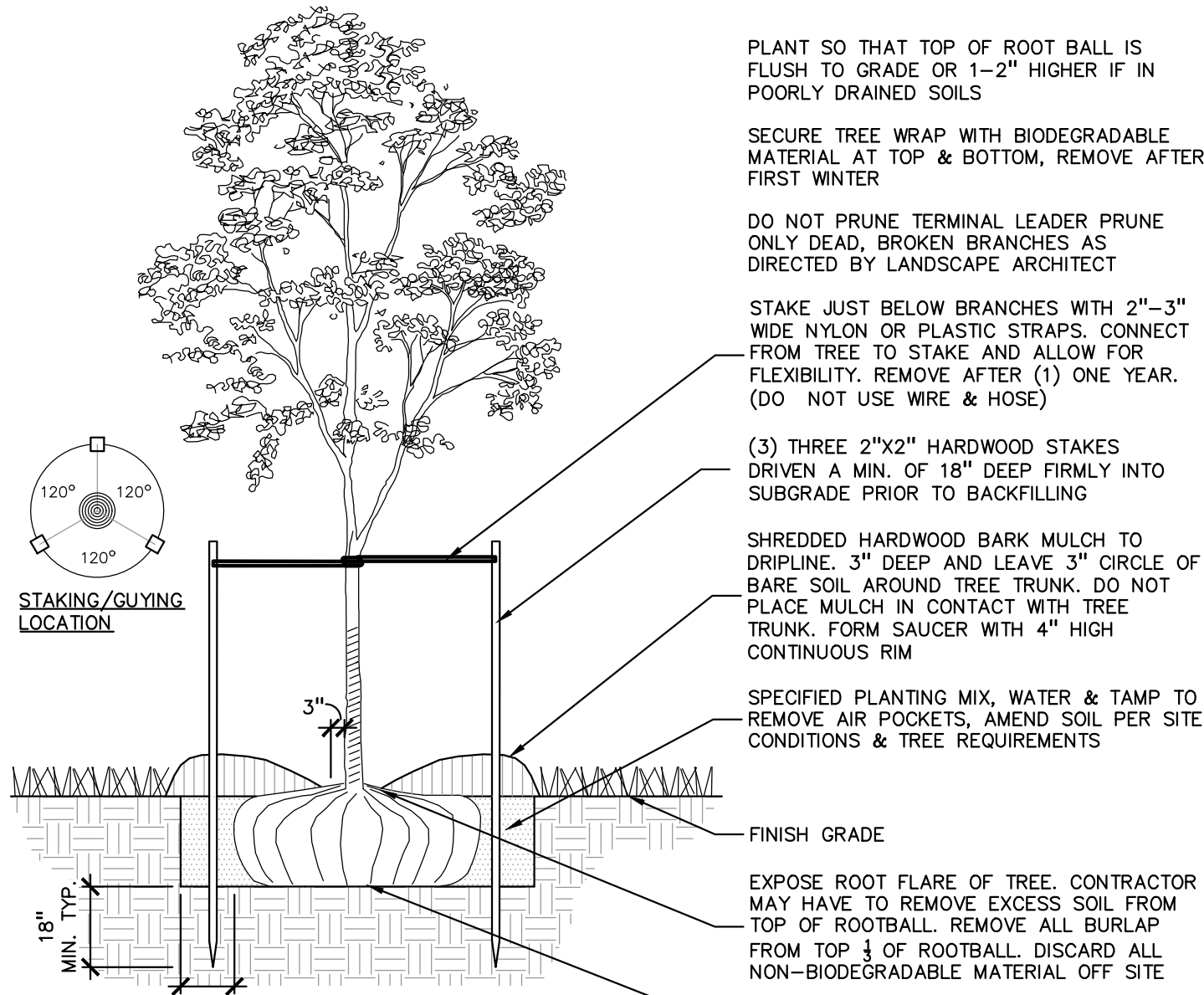
3 RIVER ROCK EDGE DETAIL  
SCALE: 1 1/2" = 1'-0"



2 TREE PROTECTION DETAIL  
SCALE: 1" = 3'-0"



1 DECIDUOUS TREE PLANTING DETAIL  
SCALE: 1" = 3'-0"



CAUTION!  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT  
**JR MILITELLO REALTY**  
268 MAIN STREET  
SUITE 300  
BUFFALO, NY 14202

PROJECT TITLE  
**NORTHVILLE DOWNS AT PLYMOUTH TOWNSHIP**  
FIVE MILE AND RIDGE ROAD  
PLYMOUTH, MI

REVISIONS	
SPA RESUBMITTAL	05/02/23
SPA RESUBMITTAL	05/19/23

ORIGINAL ISSUE DATE:  
MARCH 31, 2023  
DRAWING TITLE  
**LANDSCAPE DETAILS**

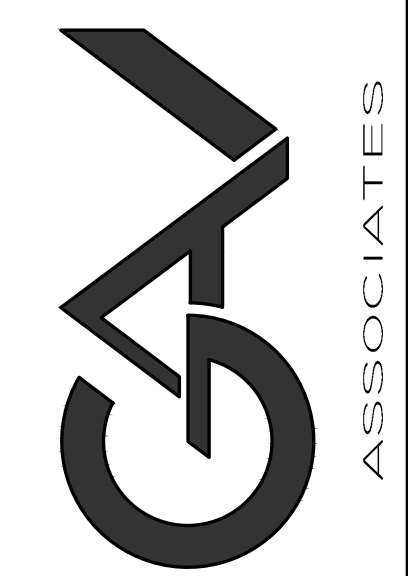
PEA JOB NO.	2022-1338
P.M.	BK
DN.	BGG
DES.	JLE
DRAWING NUMBER:	

ISSUED FOR	DATE
PUD REVIEW	1.16.23
SPA	3.31.23

**ARCHITECTURAL DESIGN**

RESIDENTIAL  
COMMERCIAL  
INDUSTRIAL

G.A.V. ASSOCIATES, INC  
2401 ORCHARD LAKE RD. STE. 100A  
FARMINGTON, MICHIGAN 48338  
PH: (248) 388-9101  
WEB: WWW.GAVASSOCIATES.COM



AARON CONTRACTING  
PO BOX 590039  
LIVONIA, MI 48153  
248.388.3192

PROPOSED NEW FACILITY FOR:  
NORTHVILLE DOWNS at PLYMOUTH TWP.  
FIVE MILE & RIDGE ROAD  
PLYMOUTH TWP., MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
AV	AV	

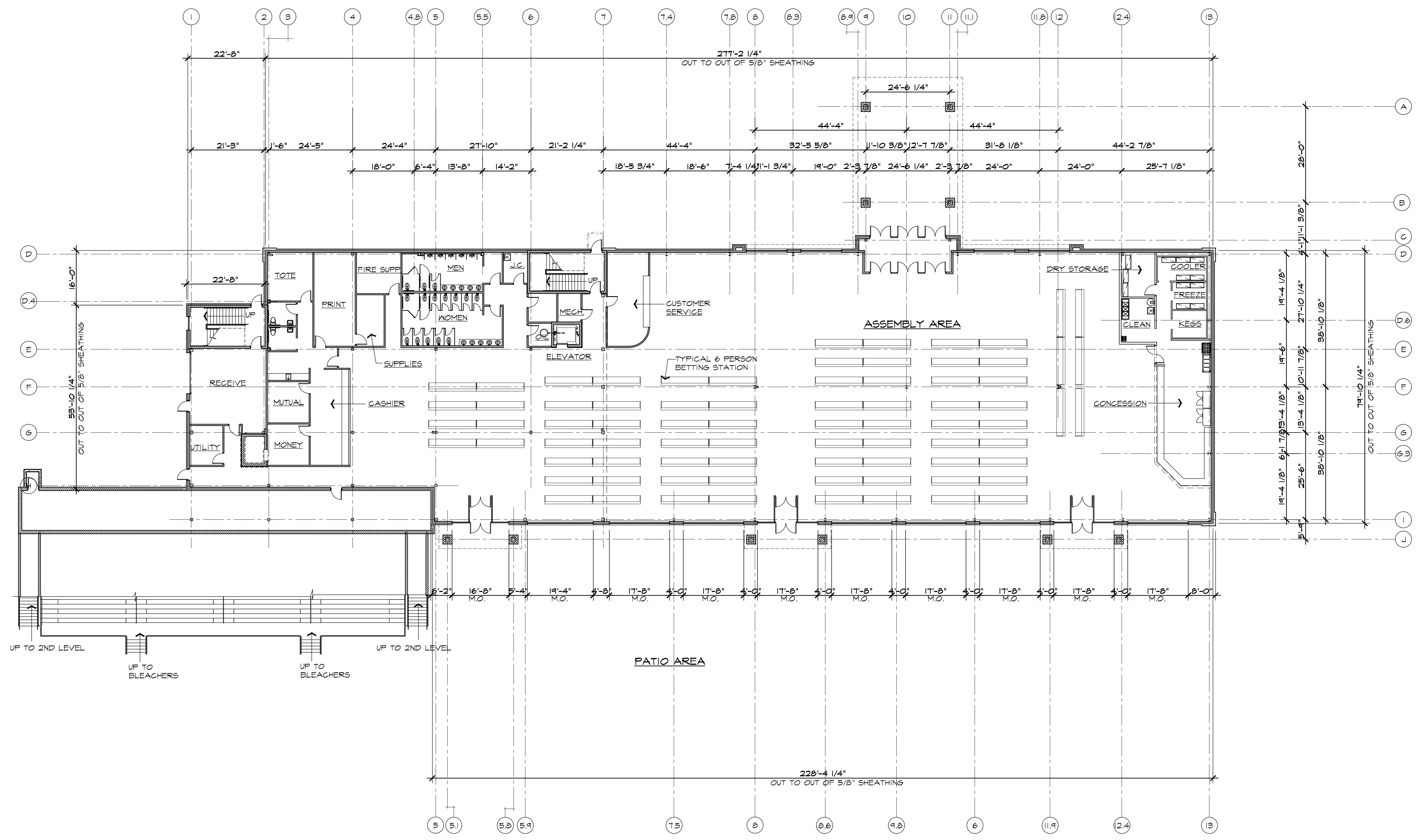
SCALE : PER PLAN

FILE NAME :

JOB # 22143

SHEET TITLE  
FLOOR PLAN

SHEET #  
A.101

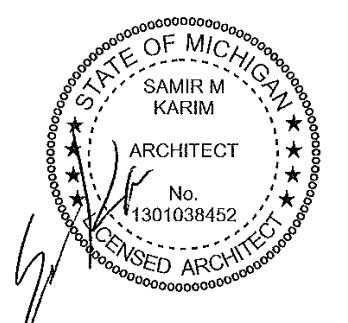


NORTH  
**FLOOR PLAN GRADE LEVEL**  
23,032 GROSS S.F.

SCALE: 1/16" = 1'-0"

- NOTE:**
- USE GROUP: MIXED NONSEPARATED A-2 / A-5
  - CONSTRUCTION CLASSIFICATION: 11B

GAMING / GRANDSTAND BLDG.

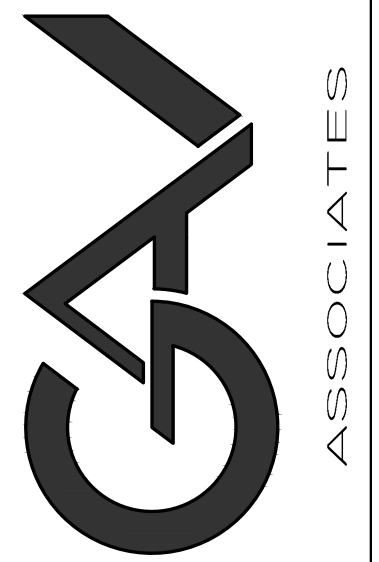


ISSUED FOR	DATE
PUD REVIEW	1.16.23
SPA	3.31.23

**ARCHITECTURAL DESIGN**

RESIDENTIAL  
COMMERCIAL  
INDUSTRIAL

G.A.V. ASSOCIATES, INC  
2401 ORCHARD LAKE RD. STE. 100A  
FARMINGTON, MICHIGAN 48338  
PH: (248) 985-9101  
WEB: WWW.GAVASSOCIATES.COM



AARON CONTRACTING  
PO BOX 590034  
LIVONIA, MI 48158  
248.388.3192

PROPOSED NEW FACILITY FOR:  
NORTHVILLE DOWNS at PLYMOUTH TWP.  
FIVE MILE & RIDGE ROAD  
PLYMOUTH TWP., MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
AV	AV	

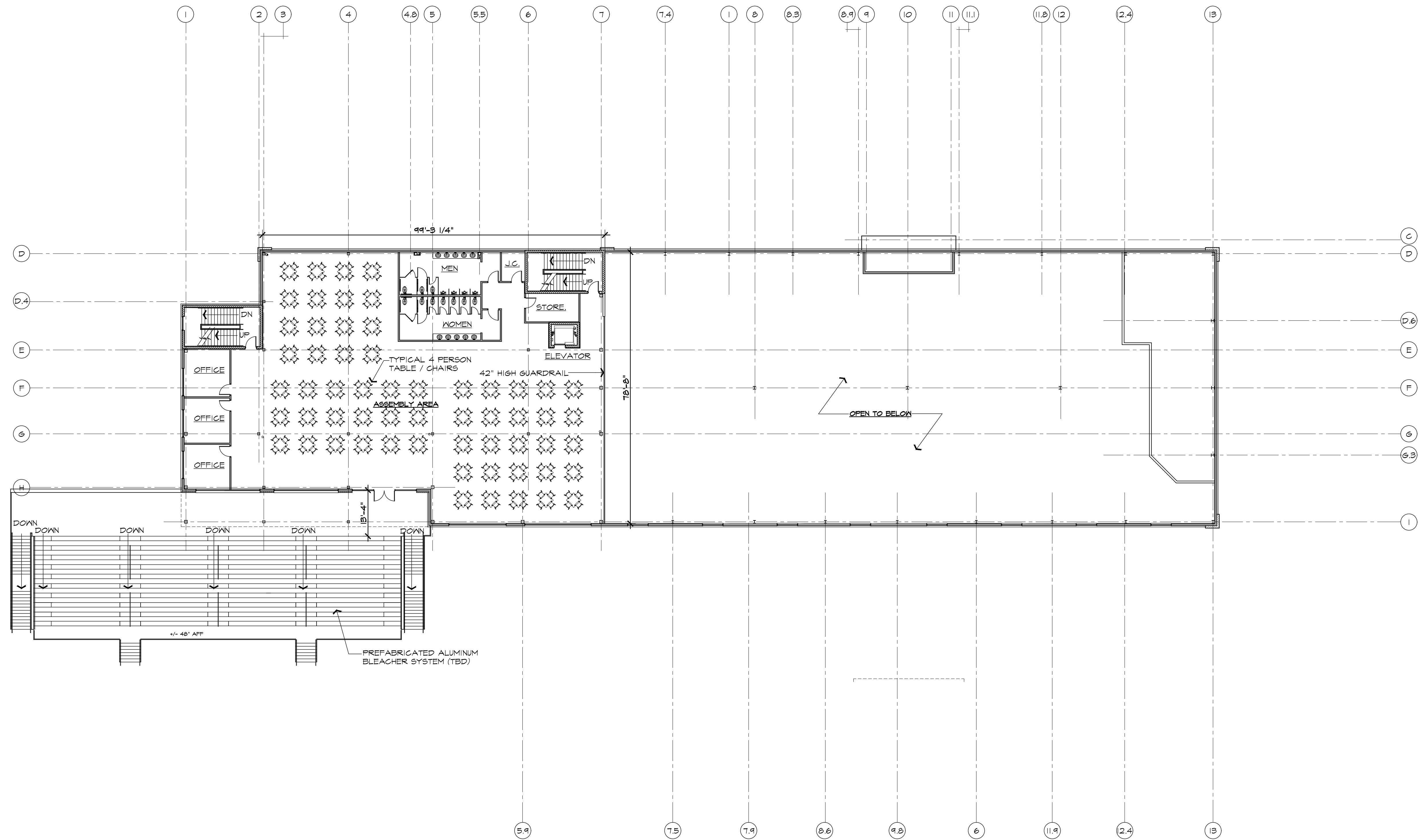
SCALE : PER PLAN

FILE NAME :

JOB # 22143

SHEET TITLE  
FLOOR  
PLAN

SHEET #  
A.102

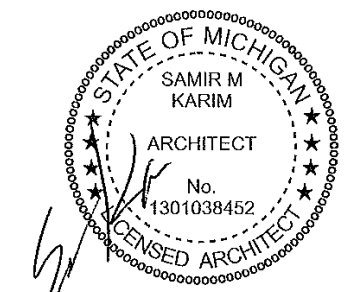


**SECOND LEVEL FLOOR PLAN GRANDSTAND**

SCALE: 1/16" = 1'-0"

**NOTE:**

1. USE GROUP: MIXED NONSEPARATED A-2 / A-5
2. CONSTRUCTION CLASSIFICATION: 11B
3. FULLY FIRE SUPPRESSED BUILDING



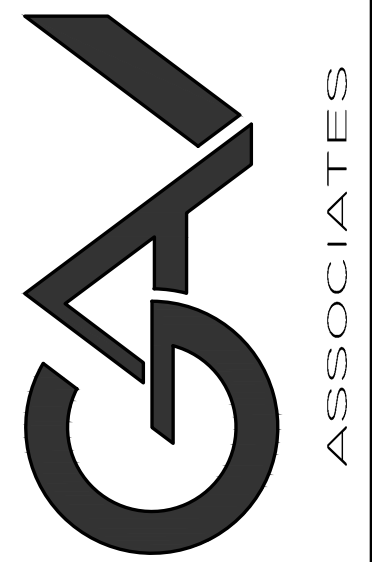
GAMING / GRANDSTAND BLDG.

ISSUED FOR	DATE
PUD REVIEW	1.16.23
SPA	3.31.23

**ARCHITECTURAL DESIGN**

RESIDENTIAL  
COMMERCIAL  
INDUSTRIAL

G.A.V. ASSOCIATES, INC  
2401 ORCHARD LAKE RD. STE. 100A  
FARMINGTON, MICHIGAN 48338  
PH: (248) 985-9101  
WEB: WWW.GAVASSOCIATES.COM



AARON CONTRACTING  
PO BOX 590039  
LIVONIA, MI 48158  
248.388.3192

PROPOSED NEW FACILITY FOR:  
NORTHVILLE DOWNS at PLYMOUTH TWP.  
FIVE MILE & RIDGE ROAD  
PLYMOUTH TWP., MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
AV	AV	

SCALE : PER PLAN

FILE NAME :

JOB # 22143

SHEET TITLE  
THIRD  
LEVEL  
PLAN  
SHEET #

A.106

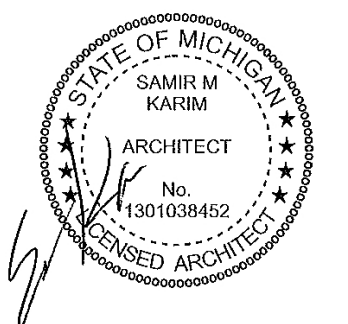


- WALL TYPE**
- ◆ 1/2" GYP BD EA SIDE ON 3-5/8" 256A MTL STUDS @ 16" O.C. UP TO +/- 10'-0" U.N.O.
  - ◆ SAME AS #1 WITH MINERAL WOOL BATTS
  - ◆ 1/2" GYP BD EA SIDE ON 3625162-33 MTL STUDS @ 16" O.C. EXTEND TO DECK ABOVE
  - ◆ SAME AS #2 WITH MINERAL WOOL BATTS
  - ◆ 5/8" GYP BD EA SIDE ON 6005162-43 MTL STUDS @ 16" O.C. UP TO UNDERSIDE OF ROOF DECK. PROVIDE SLOTTED DEFLECTION TRACK AT DECK. PROVIDE MINERAL WOOL SOUND BATTS
  - ◆ SAME AS #3 WITH MINERAL WOOL BATTS
  - ◆ 5/8" GYP BD ON 1 1/2" METAL FURRING ON 8" BLOCK
  - ◆ 5/8" TYPE X GYP BD EA SIDE ON 3625162-33 MTL STUDS @ 16" O.C. EXTEND TO DECK ABOVE, ONE HOUR FIRE RATED
  - ◆ 1/2" GYP BD EA SIDE ON 3625162-33 MTL STUDS @ 16" O.C. EXTEND TO +/- 10'-0" PROVIDE MINERAL WOOL SOUND BATTS
  - ◆ 12" BLOCK WALL WITH #5 BAR 48" O.C. #8 LADDER REINFORCING 16" O.C.



**THIRD LEVEL FLOOR PLAN**

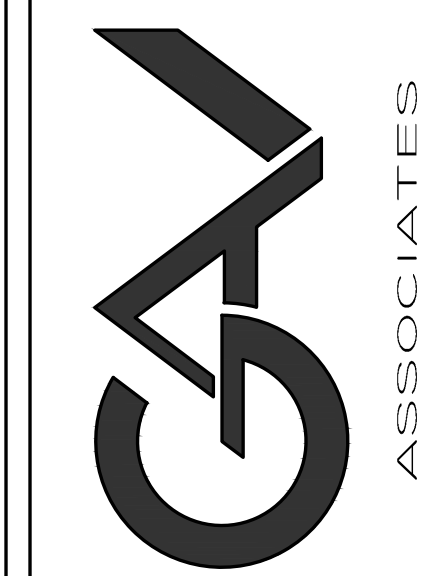
SCALE: 1/8" = 1'-0"



ISSUED FOR	DATE
PUD REVIEW	1.16.23

**ARCHITECTURAL DESIGN**  
 RESIDENTIAL  
 COMMERCIAL  
 INDUSTRIAL

G.A.V. ASSOCIATES, INC  
 2401 ORCHARD LAKE RD. STE. 100A  
 FARMINGTON, MICHIGAN 48338  
 PH: (248) 985-9101  
 WEB: WWW.GAVASSOCIATES.COM



AARON CONTRACTING  
 PO BOX 590039  
 LIVONIA, MI 48158  
 248.388.3192

PROPOSED NEW FACILITY FOR:  
 NORTHVILLE DOWNS at PLYMOUTH TWP.  
 FIVE MILE & RIDGE ROAD  
 PLYMOUTH TWP., MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
AV	AV	

SCALE : PER PLAN

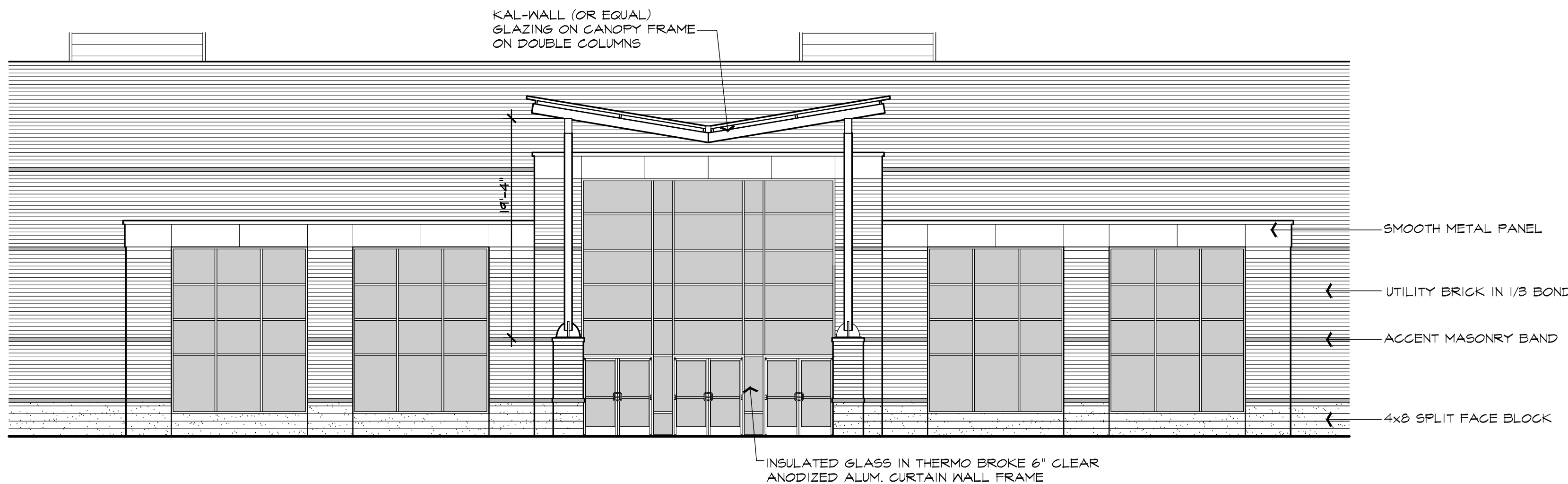
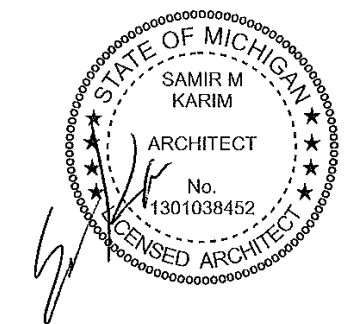
FILE NAME :

JOB # 22143

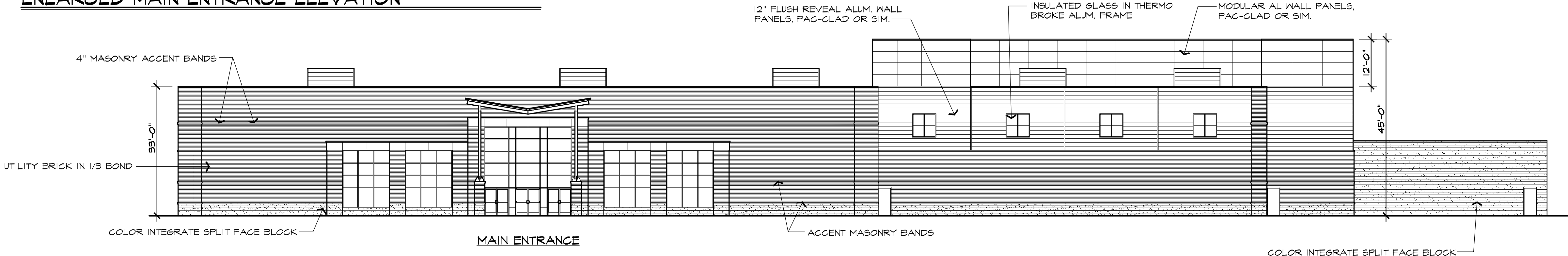
SHEET TITLE  
 EXTERIOR ELEVATIONS

SHEET #

A.201



**ENLARGED MAIN ENTRANCE ELEVATION**



**NORTH ELEVATION**

FACADE MATERIAL PERCENTAGE (GLASS NOT INCLUDED) SCALE: 1/16" = 1'-0"

SPLIT FACE BLOCK: 1,680 S.F. = 15%

UTILITY BRICK: 6,335 S.F. = 57%

MODULAR METAL PANEL: 1,500 S.F. = 14%

HORIZONTAL METAL PANEL: 1,400 S.F. = 13%



**WEST ELEVATION**

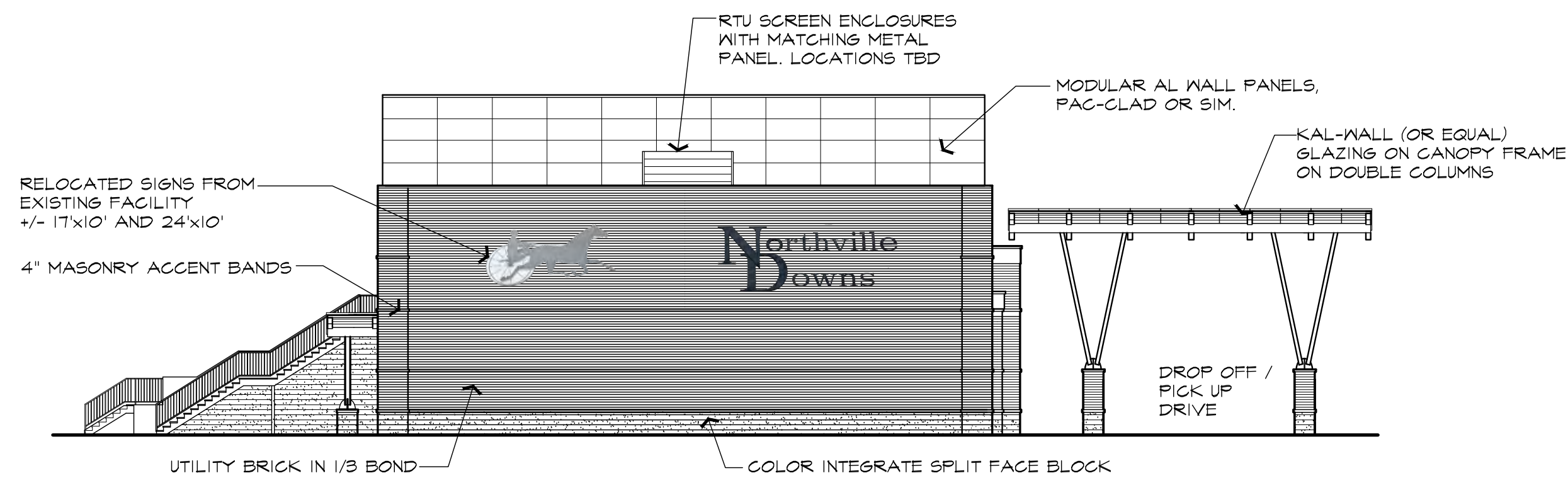
FACADE MATERIAL PERCENTAGE (GLASS NOT INCLUDED) SCALE: 1/16" = 1'-0"

SPLIT FACE BLOCK: 560 S.F. = 17%

UTILITY BRICK: 960 S.F. = 28.5%

MODULAR METAL PANEL: 800 S.F. = 24%

HORIZONTAL METAL PANEL: 1,024 S.F. = 30.5%



**EAST ELEVATION**

FACADE MATERIAL PERCENTAGE SCALE: 1/16" = 1'-0"

SPLIT FACE BLOCK: 460 S.F. = 12%

UTILITY BRICK: 2,315 S.F. = 63%

MODULAR METAL PANEL: 455 S.F. = 25%

**MATERIAL COLORS**

MODULAR AL WALL PANELS, PAC-GLAD "MILITARY BLUE" COLOR (BLUE-GREY)

12" FLUSH REVEAL ALUM. WALL PANELS, PAC-GLAD "CITYSCAPE" COLOR (LITE GREY)

SPLIT FACE BLOCK, FENDT BLOCK #407 LITE GREY

GLEN-GREY BELSIAN GREY SMOOTH UTILITY BRICK LAID IN 1/3 BOND

GLASS FRAME, CLEAR ALUMINUM (SILVER) GLASS TO BE SMOKE TINT

**NOTE:**

- ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM VISION, QUANTITY AND LOCATION TO BE DETERMINED.
- ALL PROPOSED SIGNAGE TO BE SUBMITTED UNDER A SEPARATED PERMIT

**SOUTH ELEVATION**

FACADE MATERIAL PERCENTAGE (GLASS NOT INCLUDED) SCALE: 1/16" = 1'-0"

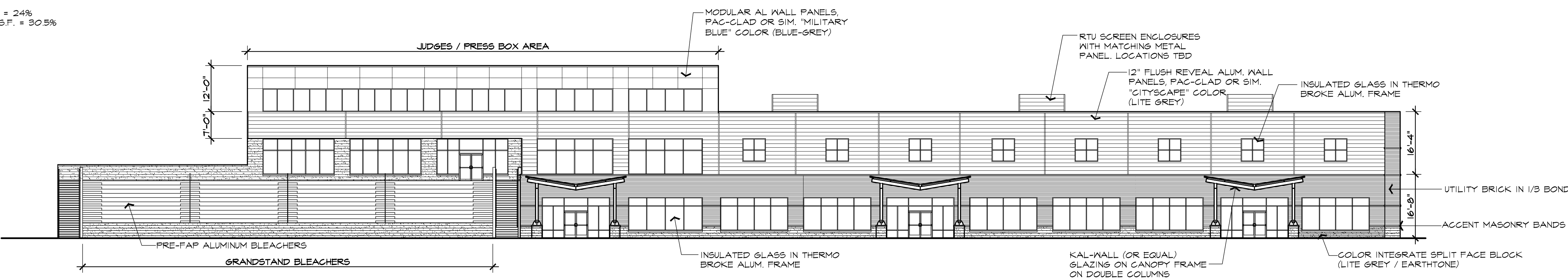
SPLIT FACE BLOCK: 1,015 S.F. = 14%

UTILITY BRICK: 1,750 S.F. = 25%

MODULAR METAL PANEL: 833 S.F. = 12%

HORIZONTAL METAL PANEL: 3,462 S.F. = 49%

NOTE: GRANDSTAND BLEACHERS NOT INCLUDED IN CALCULATION



GAMING / GRANDSTAND BLDG.



ISSUED FOR	DATE
PUD REVIEW	1.16.23
SPA	3.31.23

**ARCHITECTURAL DESIGN**

RESIDENTIAL  
COMMERCIAL  
INDUSTRIAL

G.A.V. ASSOCIATES, INC  
2401 ORCHARD LAKE RD. STE. 100A  
FARMINGTON, MICHIGAN 48338  
PH: (248) 985-9101  
WEB: WWW.GAVASSOCIATES.COM



AARON CONTRACTING  
PO BOX 590039  
LIVONIA, MI 48159  
248.388.3192

PROPOSED STABLE FACILITY FOR:  
NORTHVILLE DOWNS at PLYMOUTH TWP.  
FIVE MILE and RIDGE ROAD  
PLYMOUTH TWP, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
AV	AV	

SCALE : PER PLAN

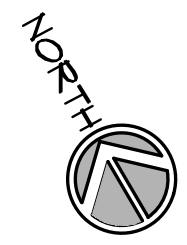
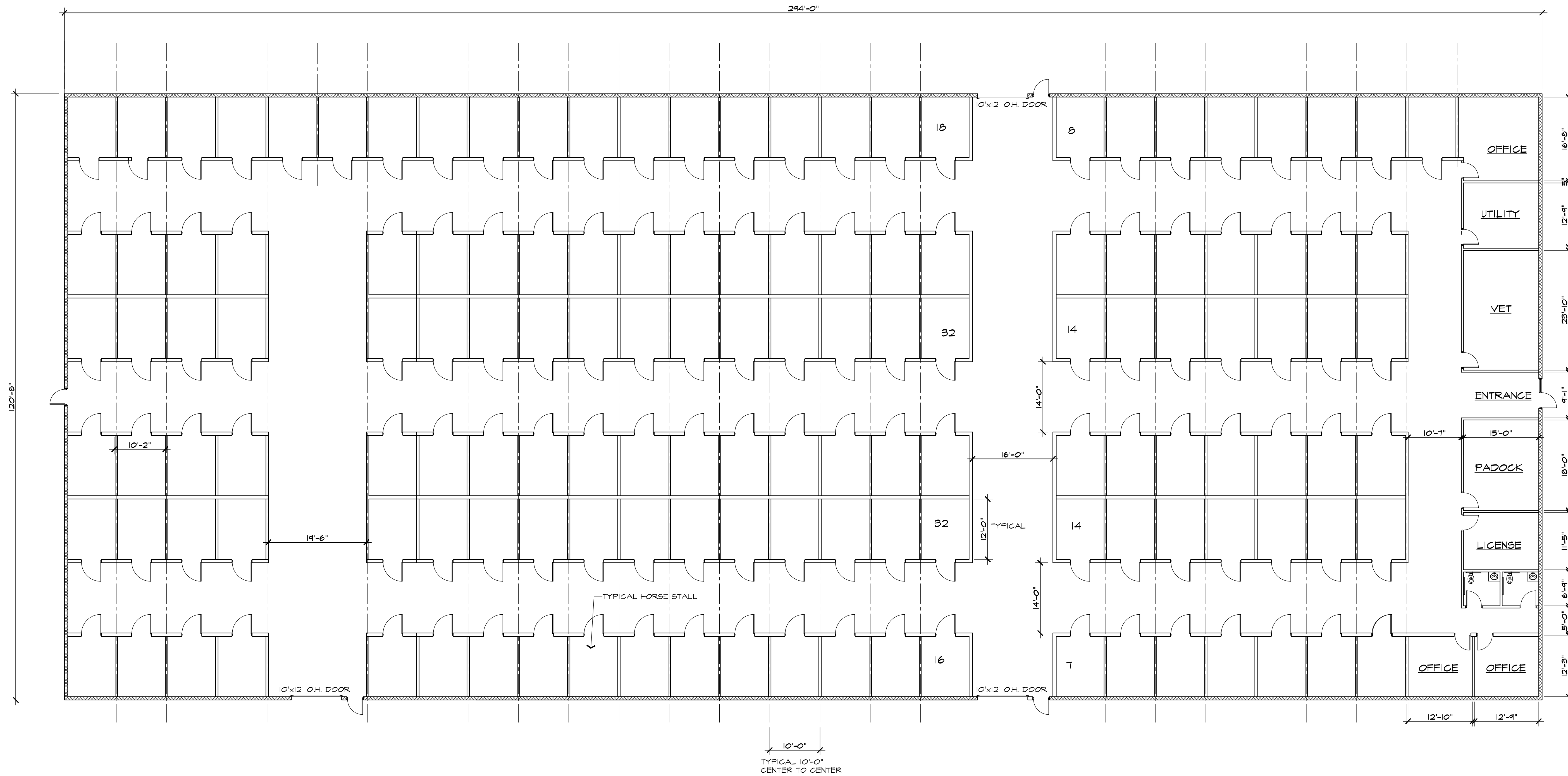
FILE NAME :

JOB # 22143

SHEET TITLE  
FLOOR  
PLAN

SHEET #

A.I.O.I.S



REFERENCE NORTH

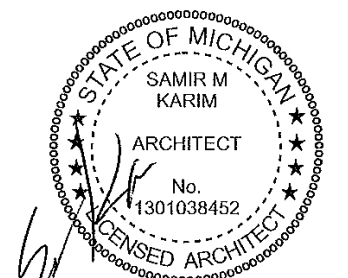
**HORSE STABLE FLOOR PLAN**

141 STALLS TOTAL  
35,477 S.F.

SCALE: 3/32" = 1'-0"

- NOTE:**
1. USE GROUP: U (UTILITY AND MISCELLANEOUS)
  2. CONSTRUCTION CLASSIFICATION: IIB
  3. FULLY FIRE SUPPRESSED BUILDING

HORSE STABLE BLDG.



ISSUED FOR	DATE
PUD REVIEW	1.16.23
SPA	3.31.23
	5.12.23

**ARCHITECTURAL DESIGN**

RESIDENTIAL  
COMMERCIAL  
INDUSTRIAL

G.A.V. ASSOCIATES, INC  
2401 ORCHARD LAKE RD. STE. 100A  
FARMINGTON, MICHIGAN 48338  
PH: (248) 986-9101  
WEB: WWW.GAVASSOCIATES.COM



AARON CONTRACTING  
PO BOX 590039  
LIVONIA, MI 48158  
248.368.3192

PROPOSED STABLE FACILITY FOR:  
NOTHYVILLE DOWNS at PLYMOUTH TWP.  
FIVE MILE and RIDGE ROAD.

DRAWN:	DESIGNED:	CHECKED:
AV	AV	

SCALE : PER PLAN

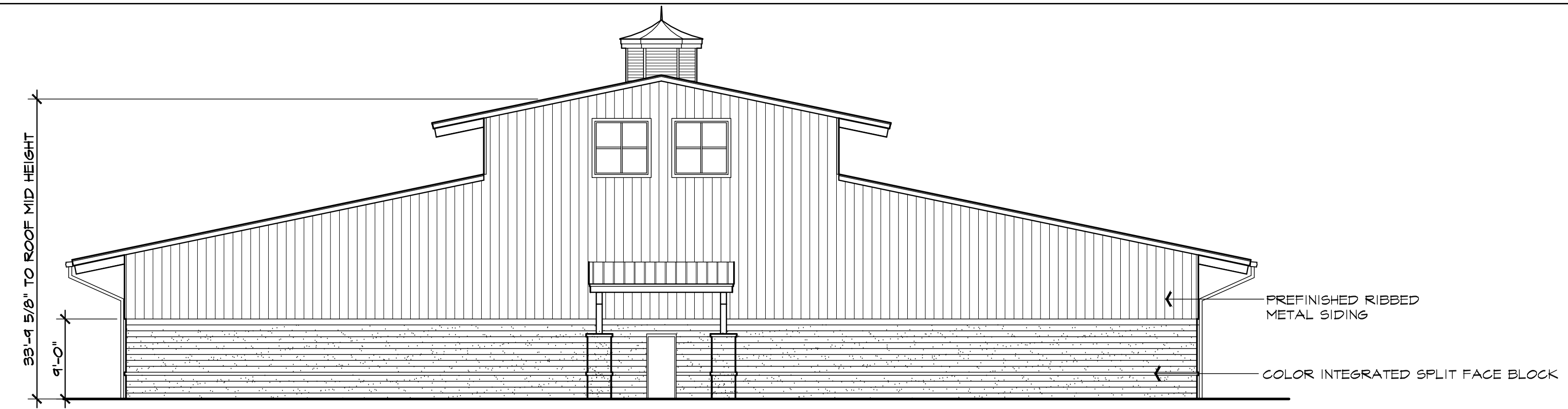
FILE NAME :

JOB # 22143

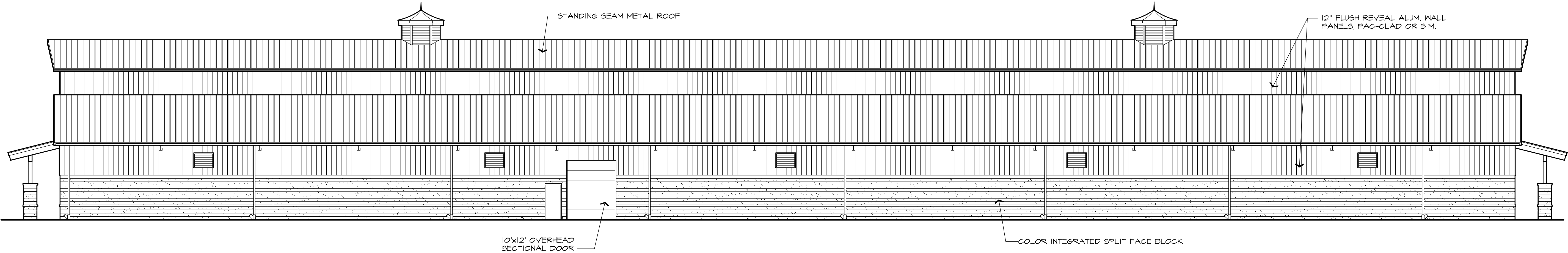
SHEET TITLE  
EXTERIOR  
ELEVATIONS

SHEET #

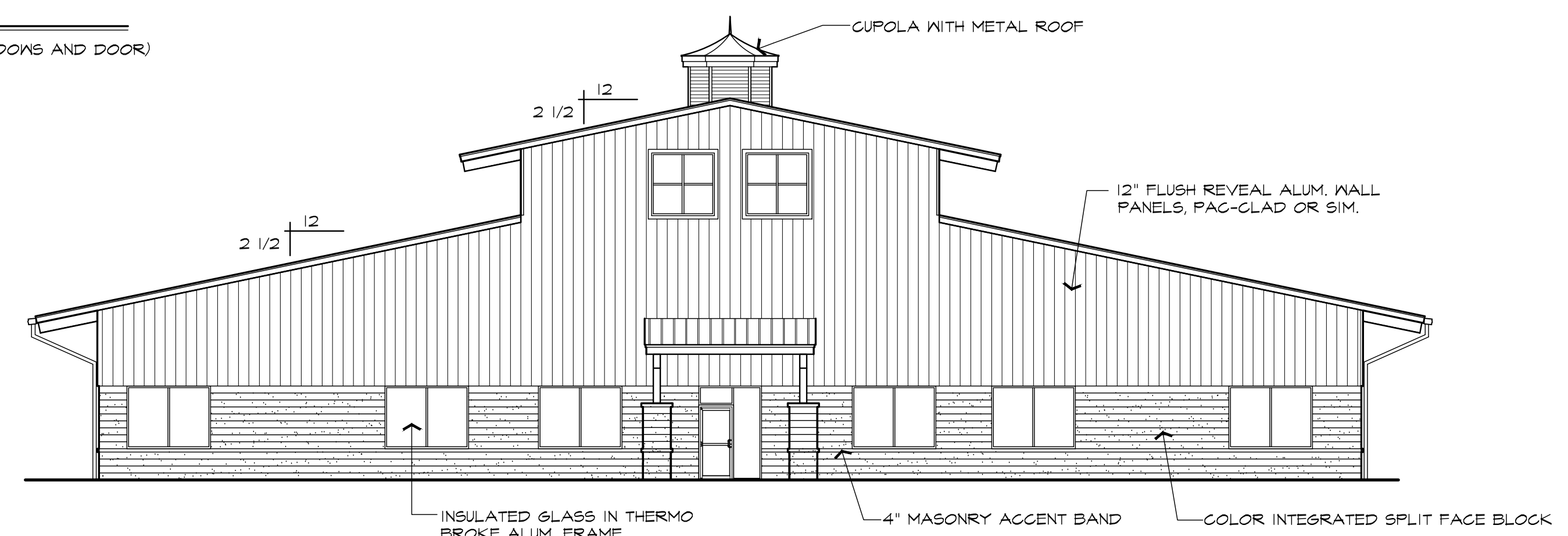
A.2015



**WEST ELEVATION**  
**FAÇADE MATERIAL PERCENTAGE** (NOT INCLUDING WINDOWS AND DOOR)  
 SPLIT FACE BLOCK: 1,065 S.F. = 37%  
 VERTICAL METAL PANEL: 1,843 S.F. = 63%

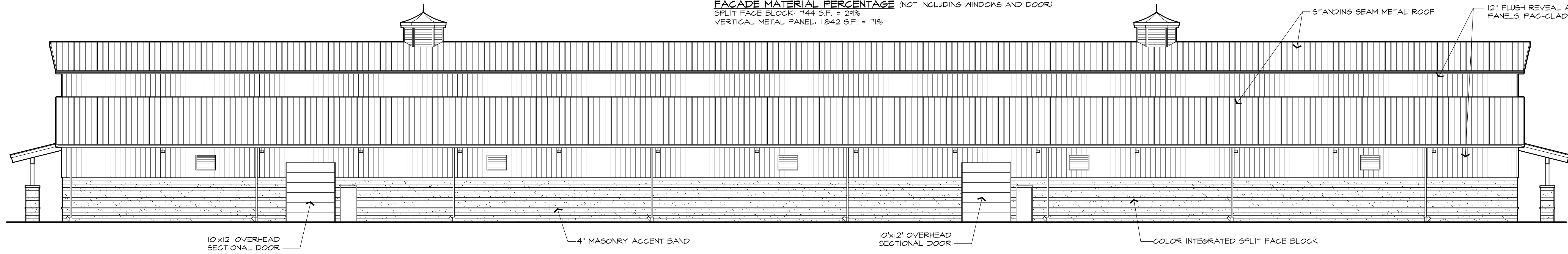


**NORTH ELEVATION**  
**FAÇADE MATERIAL PERCENTAGE** (NOT INCLUDING WINDOWS AND DOOR)  
 SPLIT FACE BLOCK: 2,250 S.F. = 44%  
 VERTICAL METAL PANEL: 2,916 S.F. = 51%



**EAST ELEVATION**  
**FAÇADE MATERIAL PERCENTAGE** (NOT INCLUDING WINDOWS AND DOOR)  
 SPLIT FACE BLOCK: 1,44 S.F. = 24%  
 VERTICAL METAL PANEL: 1,842 S.F. = 71%

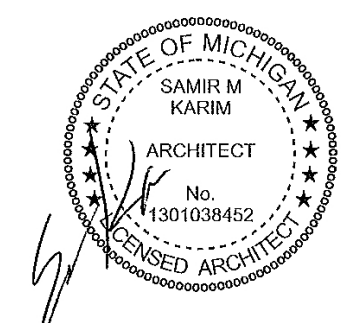
**MATERIAL COLORS**  
 METAL SIDING / TRIM, SANDSTONE (LT BROWN)  
 SPLIT FACE BLOCK, FENDT BLOCK, TAN (MEDIUM BROWN MIX)  
 GLASS FRAME CLEAR ALUMINUM (SILVER)  
 GLASS TO BE SMOKE TINT



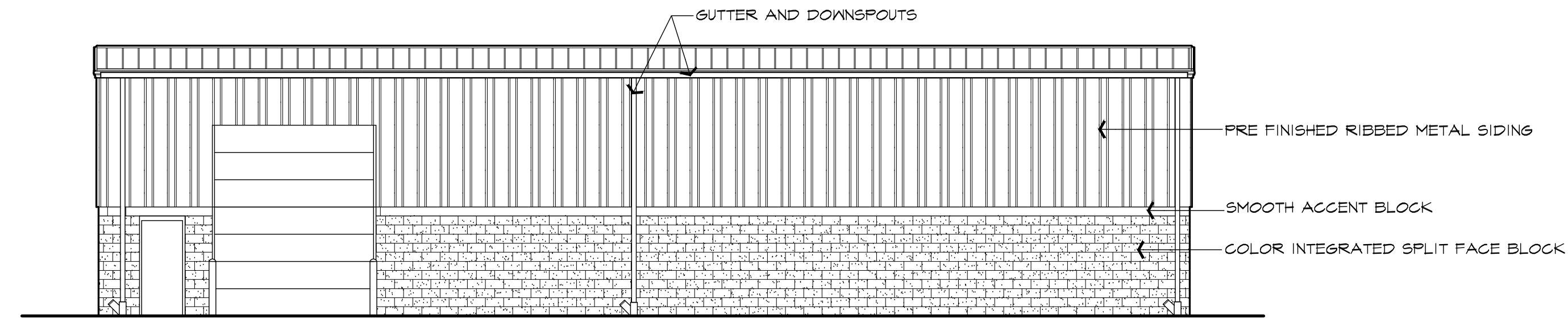
**SOUTH ELEVATION**  
**FAÇADE MATERIAL PERCENTAGE** (NOT INCLUDING WINDOWS, DOOR AND ROOF)  
 SPLIT FACE BLOCK: = 49%  
 VERTICAL METAL PANEL: = 51%

**NOTE:**  
 1. AT THIS TIME NO ROOF TOP EQUIPMENT IS PROPOSED, IF ANY BECOMES NECESSARY IT SHALL BE SCREENED FROM VISION.

HORSE STABLE BLDG.

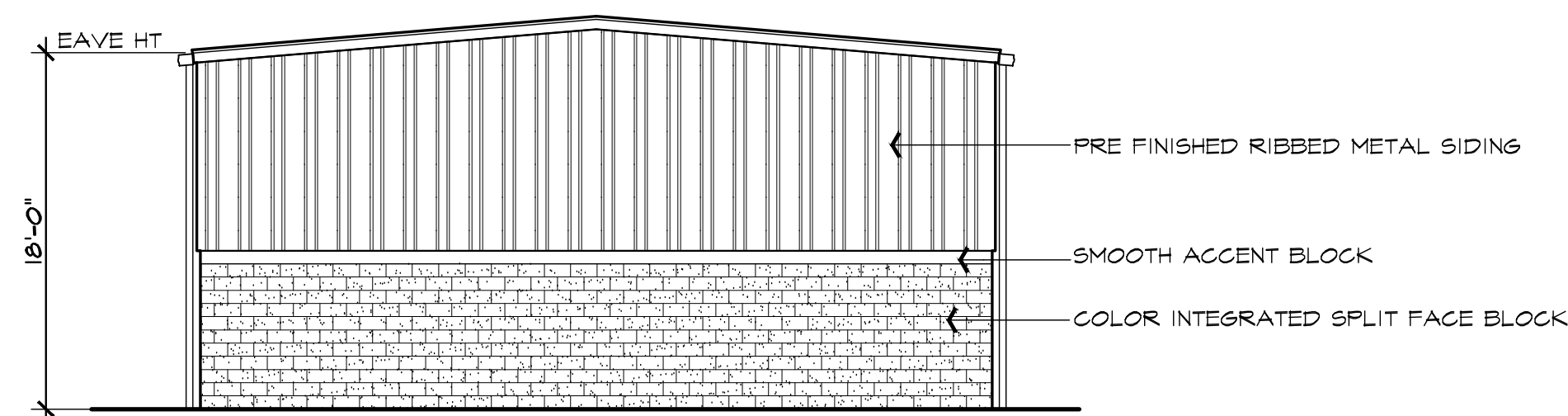


ISSUED FOR	DATE
PUD REVIEW	1.16.23
SPA	3.31.23



**WEST ELEVATION**

**FACADE MATERIAL PERCENTAGE** (NOT INCLUDING WINDOWS AND DOOR)  
 SPLIT FACE BLOCK: 2,150 S.F. = 44%  
 MODULAR METAL PANEL: 2,276 S.F. = 51%

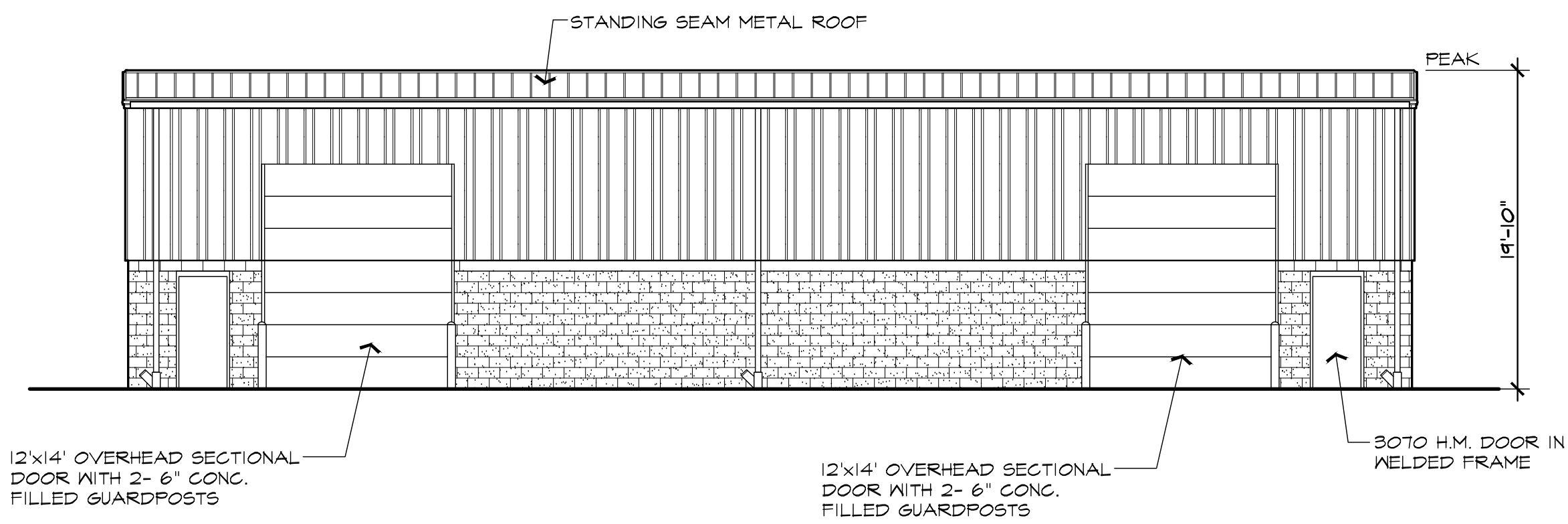


**NORTH & SOUTH ELEVATIONS**

**FACADE MATERIAL PERCENTAGE**  
 SPLIT FACE BLOCK: 2,150 S.F. = 44%  
 MODULAR METAL PANEL: 2,276 S.F. = 51%

**MATERIAL COLORS**

METAL SIDING / TRIM, SANDSTONE (LT BROWN)  
 SPLIT FACE BLOCK, FENDT BLOCK, TAN (MEDIUM BROWN MIX)  
 OVERHEAD DOORS, LT BROWN

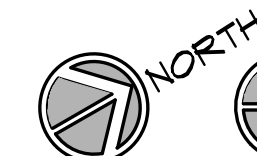
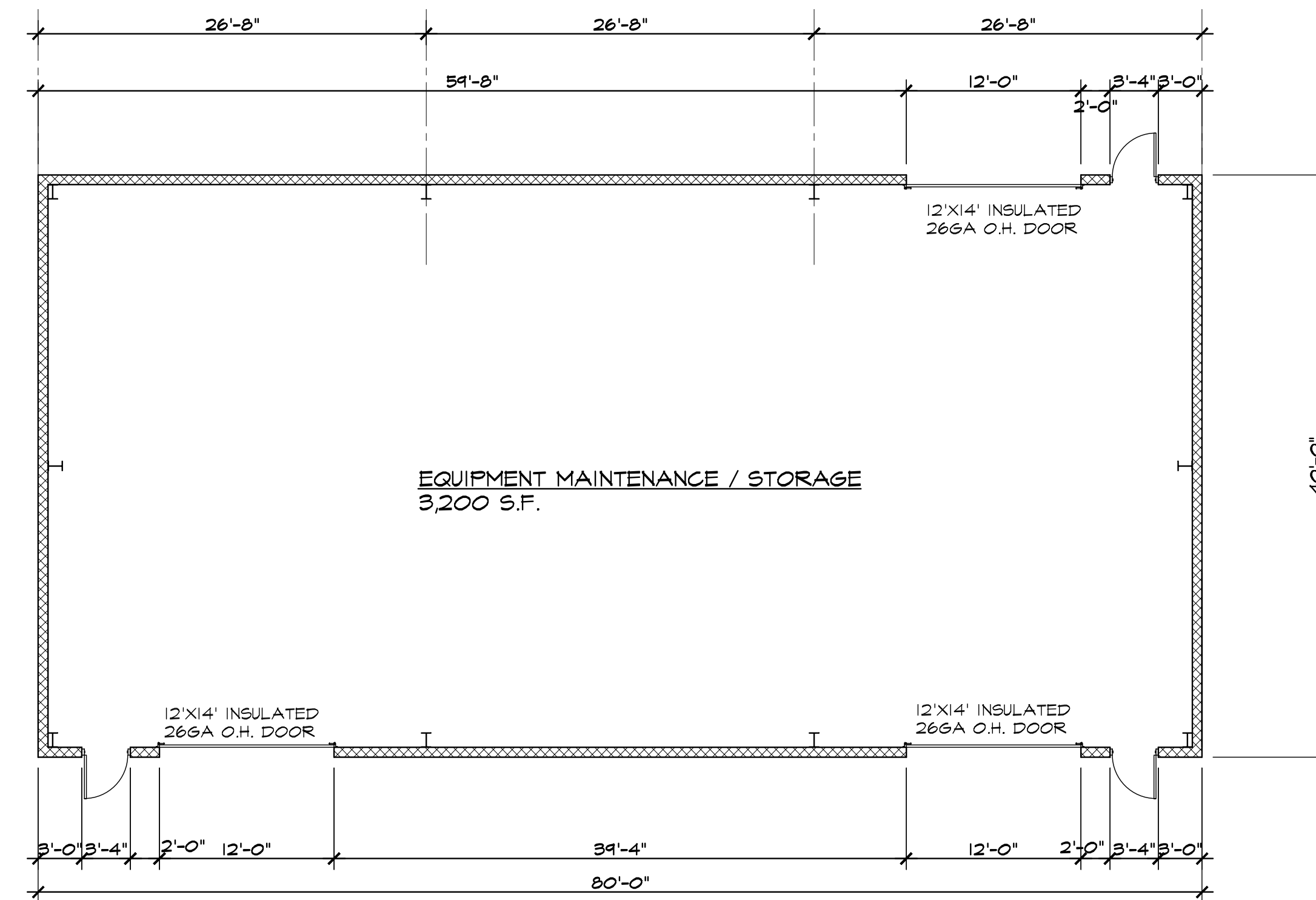


**EAST ELEVATION**

**FACADE MATERIAL PERCENTAGE** (NOT INCLUDING WINDOWS AND DOOR)  
 SPLIT FACE BLOCK: 2,150 S.F. = 44%  
 MODULAR METAL PANEL: 2,276 S.F. = 51%

**NOTE:**

- ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM VISION. QUANTITY AND LOCATION TO BE DETERMINED.
- ALL PROPOSED SIGNAGE TO BE SUBMITTED UNDER A SEPARATED PERMIT



REFERENCE NORTH

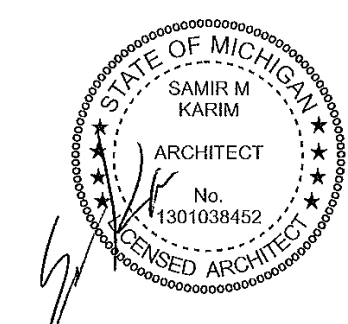
**MAINTENANCE BLDG. FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**NOTE:**

- USE GROUP: S-1
- CONSTRUCTION CLASSIFICATION: IIB
- NON-FIRE SUPPRESSED BUILDING

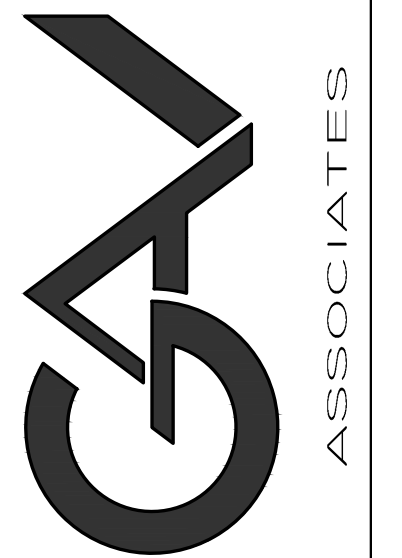
**MAINTENANCE BUILDING**



**ARCHITECTURAL DESIGN**

RESIDENTIAL  
 COMMERCIAL  
 INDUSTRIAL

G.A.V. ASSOCIATES, INC  
 2401 ORCHARD LAKE RD. STE. 100A  
 FARMINGTON, MICHIGAN 48338  
 PH: (248) 985-9101  
 WEB: WWW.GAVASSOCIATES.COM



AARON CONTRACTING  
 PO BOX 590039  
 LIVONIA, MI 48158  
 248.388.3192

PROPOSED MAINTENANCE BLDG. FOR:  
 NORTHVILLE DOWNS at PLYMOUTH TWP.  
 FIVE MILE and RIDGE RD.  
 PLYMOUTH TWP., MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
AV	AV	

SCALE : PER PLAN

FILE NAME :

JOB # 22143

SHEET TITLE  
 FLOOR  
 PLAN

SHEET #

A.I.O.M