



Planning Commission

Charter Township of Plymouth, MI

Wednesday, June 21, 2023

Regular Meeting of the Planning Commission
7:00 PM · Township Municipal Offices

AGENDA

Meeting called to order at _____ PM

1. Roll Call:

____ Dennis Cebulski, Chairperson
____ Kendra Barberena, Vice-Chairperson
____ Gail Grieger, Secretary
____ Bob Doroshewitz, Trustee

____ Tim Boyd
____ James Berry
____ John Itsell

2. Approval of the Agenda: June 21, 2023

Moved by: _____ Supported by: _____
Action Taken: _____

3. Approval of the Minutes: June 1, 2023

Moved by: _____ Supported by: _____
Action Taken: _____

4. Public Comment: *(for non-agenda items – maximum of three minutes per individual)*

Remote Viewing
www.bit.ly/PlymouthLiveStreams
Sign up for Notifications
www.plymouthtp.org/enotify
Current Project Plans
www.plymouthtp.org/government/departments/community_development/current_projects.php



5. Public Hearing(s):

A.	PC# 2484	Meijer Grocery Store and Gas Station – Special Land Use
	Applicant:	Meijer, Inc.
	Address:	47500 Five Mile Road
	Tax ID(s):	#78-006-99-0001-711
	Zoning:	IND, Industrial District
	Action Requested:	Special Land Use Approval
	Motion: <i>Open</i>	Moved by:
	<i>Public Hearing</i>	Support by:
	Motion: <i>Close</i>	Moved by:
	<i>Public Hearing</i>	Support by:
	Motion:	Moved by:
		Support by:
		Action Taken:

Public Comments & Commissioner Discussion Notes:

6. New Business:

A.	PC# 2479	Lot 1 Concept Drive – Site Plan
	Applicant:	PEA Group (on behalf of Concept District 1 LLC)
	Address:	41336 Concept Drive of the Metro Business Park
	Tax ID(s):	#78-025-01-0001-000
	Zoning:	IND, Industrial District
	Action Requested:	Tentative Site Plan Approval
	Motion:	Moved by:
		Support by:
		Action Taken:

Public Comments & Commissioner Discussion Notes:

7. Unfinished Business: None.

8. Miscellaneous Business / Communication:

- a. Receive and File: Monthly Planning Report – May 2023
- b. Planners Update and Discussion Only (*Information to be Provided at the Meeting*):
 - i. Joint Plymouth Community Parks and Recreation Master Plan Update
 - ii. Solar Energy Systems Text Amendment to the Zoning Ordinance
 - iii. UM Student Presentations

9. Commissioner Comments

10. Adjournment: Meeting adjourned at _____ PM

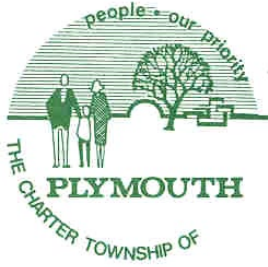
Moved by: _____ Supported by: _____
Action Taken: _____

Up-Coming Planning Commission Meeting:

July 19, 2023 at 7:00 PM

PLEASE TAKE NOTE: Plymouth Township will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at all Township meetings, to individuals with disabilities at the meetings/hearings upon two weeks' notice to the Township by writing or calling the following: Human Resources, 9955 N. Haggerty Road, Plymouth, MI 48170; (734) 354-3202 TDD units: 1-800-649-3777 (MI Relay Services).

The public is invited and encouraged to attend all meetings of the Plymouth Planning Commission.



Planning Commission Charter Township of Plymouth, MI

Thursday, June 1, 2023 Special Meeting Proposed Planning Commission Minutes 7:00 PM · Township Municipal Offices

Meeting called to order at 7:00 PM.

1. Roll Call:

- Commissioner Cebulski, Chair
- Commissioner Barberena, Vice Chair
- Commissioner Grieger, Secretary
- Commissioner Doroshewitz
- Commissioner Boyd
- Commissioner Itsell
- Commissioner Berry

Also Present: James Knittel, Police Chief

Kevin Bennett, Attorney
Laura Haw, Planner
Mark Collins, Engineer
Luisa Amici, Engineer
Denisa Terrell, Recording Secretary
Members of the Public: 42

2. Approval of the Agenda: June 1, 2023

Moved by Commissioner Barberena and seconded by Commissioner Boyd to approve the agenda for the Special Meeting of June 1, 2023, as presented.
All Ayes. Motion Passed.

3. Approval of Minutes: March 15, 2023

Moved by Commissioner Barberena and seconded by Commissioner Boyd to approve the minutes of March 15, 2023.
All Ayes. Motion Passed.

4. Approval of Minutes: April 19, 2023

Moved by Commissioner Barberena and seconded by Commissioner Boyd to approve the minutes of April 19, 2023.
All Ayes. Motion Passed.



Planning Commission

Charter Township of Plymouth, MI

5. **Approval of Minutes:** May 3, 2023
 Moved by Commissioner Barberena and seconded by Commissioner Boyd to approve the minutes of May 3, 2023.
 Berry abstained due to absence.
 All Ayes. Motion Passed.

6. **Approval of Minutes:** May 17, 2023
 Moved by: Commissioner Barberena and seconded by Commissioner Boyd to approve the minutes of May 17, 2023, with amendments.
 All Ayes. Motion Passed.

7. **Public Comment** *(for non-agenda items – maximum of three minutes per individual)*
 There were none.

8. **Public Hearing(s):** None.

9. **New Business:** None.

10. **Unfinished Business:**

PC# 2478	Northville Downs of Plymouth – PUD Site Development Plan
Applicant:	PEA Group, on behalf of Northville Downs
Address:	Southwest corner of 5 Mile and Ridge Roads
Tax ID(s):	R-78-001-99-0001-704, R-78-001-01-0001-000, R-78-001-01- 0002-000, R-78-001-01-0003-000, R-78-001-01-0004-000, R-78-001-01-0005-000, R-78-001-01-0006-000, R-78-001-01-0007-000, and R-78-001-01-0008-000
Zoning:	IND, Industrial District
Township Discussion	<p>Planner Laura Haw provided a summary of the PUD process. She outlined the previous Planning Commission meeting on February 15, where a Public Hearing was held, followed by the February 28th Board of Trustees meeting when PUD Option approval was granted. Ms. Haw reviewed the planner’s report and findings for the Planning Commission’s consideration including details on the fire and emergency access, lighting, and outstanding landscaping. Ms. Haw noted the landscaping items could be handled administratively. Ms. Haw then presented the revised building elevations. She provided the Planning Department’s recommendation of approval to the Board of Trustees, pending the resolution of several conditions.</p>

Attorney Kevin Bennett then cited the laws established for gambling in Michigan as it had been falsely stated that Northville Downs will have a casino. The laws prohibit establishing a new casino unless the location has a population of at least 800,000, the majority of voters expressed approval of gaming in the local city, and the casino must be approved in a statewide general election by a majority. Plymouth Township’s population is only 27,938 and does not meet the 800,000 threshold. There will not be a casino in Plymouth Township without a state-wide election with a majority approval and at least an 800,000 population.



Planning Commission Charter Township of Plymouth, MI

Township Discussion: Commission Doroshewitz inquired about the additional parking. It was advised that the additional parking is for overflow parking for special events.

Commissioner Barberena inquired if the public would have entrance to play pickleball. It was advised that pickleball will be available with control as with the soccer fields.

Public Comments

Howard Hamerink inquired about the traffic study completion dates as well as access points to the racetrack. He is concerned about traffic.

Bill asked Atty Bennett to provide clarity to the board concerning a possible casino as words can make a difference.

Mary Ann Adams expressed she does not want the racetrack in her community. The racetrack is not mentioned in the master plan.

Dale Barnhart inquired if a PUD overrules existing zoning, he also expressed concern about traffic. He would also like to restrict the size of the racetrack.

Gordan, indicated his backyard is N Territorial Rd expressed there will be degenerates in the building. He is also concerned about traffic.

Mary Pine expressed the PUD has been handled poorly. She is concerned about air quality.

Craig is concerned about a casino being in his backyard.

Shirley Peters is concerned about traffic and the community ambiance.

Bill requested to be able to view the Northville Downs business plans.

Ryan Schultz's letter was read into the record with opposition to the development as it will interrupt the community living experience.

Chairman Cebulski requested Planner Haw to review the entire PUD process. Ms. Haw referenced documents found on the Township website. She outlined that there were 8 criteria considered for a PUD. The development met the established criteria.

Commissioner Doroshewitz asked Attorney Bennett if language could be placed in the PUD to prevent a casino in twenty years. Attorney Bennett restated the law that precludes the establishment of a new casino in Plymouth Township.

Commissioner Boyd shared that the traffic study is on the Township website which explains the traffic findings.



Planning Commission Charter Township of Plymouth, MI

Action Taken:

Motion by Commission Barberena, with support by Commissioner Grieger to recommend approval of the PUD Development Plan to the Townships Board of Trustees for consideration contingent upon the following:

- A. That the outstanding items from the planners' report are addressed.
- B. That the outstanding items from the engineers' report are addressed.
- C. That there is a revised PUD contract that includes a provision for a community benefits agreement to be the submitted Township Attorney and must be determined by the Board and Attorney to be acceptable. All items of the PUD contract must be found satisfactory to the Township Attorney and Board of Trustees.
- D. That the final landscape plan is reviewed administratively.
- E. That relocating the Northville Downs sign from Northville to Plymouth Township is approved.
- F. That the PUD contract be revised to include verbiage that there is no expansion of gaming and that the Township Attorney determines the exact wording.

All Ayes. Motion Passed.

11. Miscellaneous Business / Communication: None.

12. Commissioner Comments: None.

13. Adjournment:

Moved by Commissioner Barberena and supported by Commissioner Itsell to adjourn the Planning Commission meeting at 8:53 PM.

All Ayes. Motion Passed.

Commissioner Gail Grieger, Secretary



MCKENNA

June 9, 2023

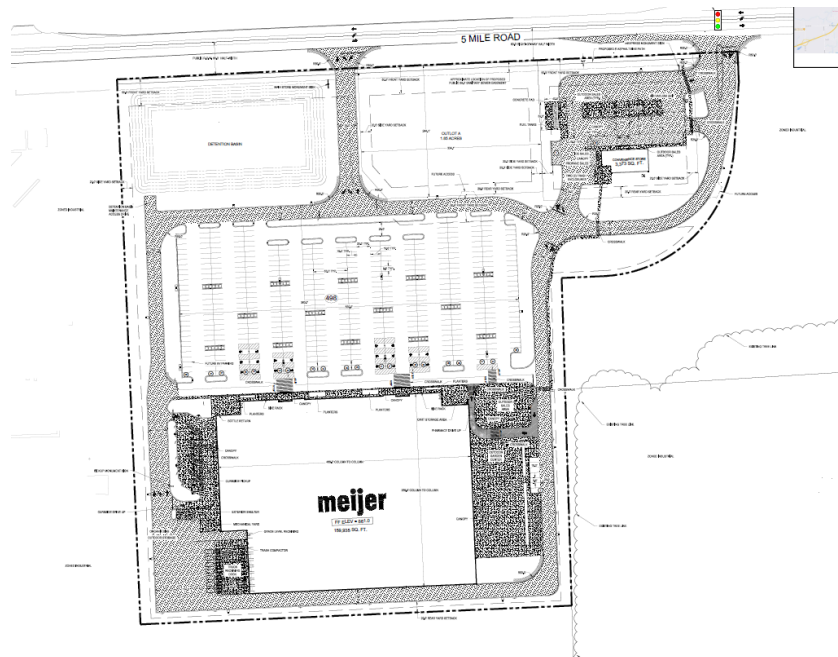
Planning Commission
Charter Township of Plymouth
9955 N. Haggerty Road
Plymouth, MI 48170

RE: Project: #2484 – Meijer Grocery Store and Convenience / Gas Station
Location: South side of Five Mile Road between Beck and Ridge Roads (R-78-006-99-0001-711)
Applicant: Chris Jones, Meijer, Inc.
Review: Special Land Use
Review No.: Written Review #1

Dear Commission Members,

We have reviewed the special land use application for a ±159,000 square foot Meijer (the “Project”). The proposed facility would consist of a grocery store, pharmacy with a drive-up window, an attached outdoor garden center, areas for outdoor sales and display, and a ±3,300 square foot convenience store with gas station which would include an outdoor sales and display area, ice storage chest, propane, and an air/vacuum unit.

The site, a portion of the previous Detroit House of Corrections site, covers 21.52 acres. The property is zoned the IND, Industrial District where a grocery store and convenience store/gas station is a special land use.



HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

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Special Land Use Review

This review is only for special land use; should the grocery store and convenience store/gas station use be approved, a separate application for the site plan would then be submitted to the Planning Commission for further review and consideration.

While a grocery store and convenience store/ gas station are not principal permitted uses in the Industrial District, special land uses in the Industrial District include other commercial and retails use, that in the determination of the Planning Commission, will be consistent with the purposes of Article 19 and not impair the present or potential use of adjacent properties.

[Section 2.7 of Zoning Ordinance No. 99](#) sets forth six standards for the Planning Commission to consider in evaluating a special land use request. These are restated below, with our comments following each for your consideration:

CRITERIA #1:

The use is of such location, size, and character that it will be in harmony with the appropriate and orderly development of the district in which it is situated and will not be detrimental to the orderly development of adjacent districts or uses.

Consideration #1.A: *The intensity and scale of the use in comparison to surrounding uses and conditions.*

The adjacent properties have the following zoning and Future Land Use designations:

Site	Zoning District	Future Land Use (2015 Master Plan)	Current Land Use
Subject Site	IND, Industrial	Light Industrial	Vacant
East	IND, Industrial	Light Industrial	Commercial, Industrial
South	IND, Industrial	Light Industrial	Vacant
West	IND, Industrial	Light Industrial	Vacant
North (Northville Twp.)	PROS, Public Recreation, Facilities & Open Space / PUD	N/A – under 2023 revisions	Residential, Recreation

Based on the surrounding properties, the Project's intensity and scale are fitting. In relation to properties in Northville Township to the north, the site is located south of Zhongding Group, Marv Gans Community Park, a neighborhood development, and commercial properties such as Tropical Smoothie Café that front Five Mile Road. Other commercial uses, including a hotel, are proposed nearby.

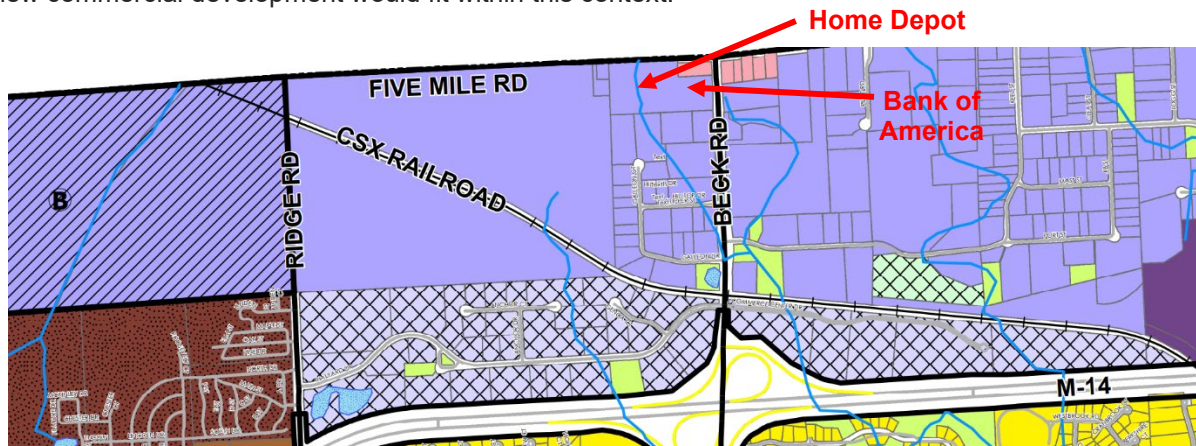
In Plymouth Township, the site is west of various commercial developments such as Home Depot, Bank of America, Taco Bell, and Panera Bread. Additionally, it is northwest of industrial developments such as Emergency Car Key Change and MAHLE Powertrain.



Consideration #1.B: Consistency of the use with the Master Plan.

According to the 2015 Future Land Use map, the subject site is classified as Light Industrial. The 2015 master plan states that one of the goals of the industrial districts is to strengthen the tax base and provide jobs, which the proposed Meijer would do for the community.

As per Criteria 6 below, the proposed use aligns with the purpose of Article 19 and would not impact the current or future use of neighboring properties. As it stands, the nearby area has mixed commercial and industrial uses. This can be seen within the 2015 Future Land Use Map, which designates properties along the Five Mile Road and Beck Road intersection as commercial (as depicted in pink below) and light industrial (light purple). The Home Depot and Bank of America, both commercial establishments, are two properties located to the east of the subject site that shares the same Industrial land use designation for present and future use. There are also other commercial sites situated further east along Five Mile, and new commercial development would fit within this context.



Plymouth Township Future Land Use Map (2015)

Also, as mentioned previously, residential developments are present to the north in Northville Township. The proposed Meijer could serve as a buffer between this residential development and the land to the south that is still industrially zoned.

As such, we find the proposed Project is consistent with nearby developments and the Master Plan.

Consideration #1.C: The impact of the use of natural features of the site and surrounding area.

The subject site is currently vacant with few remnants of the previous Detroit House of Corrections. Because of overgrowth during years of vacancy along with previous landscaping trees, the site contains some mature trees and other vegetation.

The applicant has not provided a tree survey at this time, which would indicate the size, location, and species of existing vegetation. A tree survey indicating existing trees and those to be removed will be required at the time of site plan review, should the special land use be approved.

As part of the project, a detention basin is proposed in the northwest portion of the site. Provided that a vegetated buffer, ideally of existing or native plants, is maintained around the stormwater basin, the use



of natural features in the surrounding area by neighboring properties is unlikely to be impacted. Typically, a 25-foot naturalized buffer is needed to adequately absorb stormwater runoff to prevent contamination of surface waters. Stormwater detention landscaping is not specified at this time and would be included in the site plan, should the special land use be approved.

Consideration #1.D: The intent of the Zoning District in which the use is proposed to be located.

The Project is located within the Industrial District, which is intended to accommodate a mixture of industrial, research, wholesale, and service uses for the community in an attractive and functional manner. We find a Meijer grocery store and corresponding gas station would benefit the industrial development in the area by providing services to industrial workers, this includes but is not limited to opportunities for shopping and refueling.

The proposed grocery store and convenience store / gas station would also not be disruptive to the existing developments, and instead would be complementary and consistent with existing land uses nearby, such as the Home Depot, Bank of America, and restaurants (Panera Bread, Taco Bell, Tropical Smoothie, etc.). Additional commercial development along the frontage of Five Mile would be beneficial, as the surrounding area still remains largely industrial.

CRITERIA #2:

The use is designed, located, and proposed to be operated so that the public health, safety, and welfare will be protected.

The proposed use can be successfully constructed and operated in support of public health, safety, and welfare. Details on site security have not been provided at this time, however, the applicant notes that the proposed use would provide well-lit parking areas and anti-theft protection measures.

The Project will also replace and clean up existing remnants of the Detroit House of Corrections. The applicant details that this includes the removal of abandoned structures and infrastructure and the construction of new facilities, public infrastructure, and a new stormwater management system that properly treats stormwater runoff. A Due Care Plan to minimize exposure to environmental contaminants that may currently exist on site will also be provided.

The Project can also increase the welfare of surrounding neighborhoods by providing a nearby full-service grocery store. Presently, the nearest comparable full-service grocery stores are Busch's and Fresh Thyme located off the Five Mile and Sheldon Intersection (~2.5 miles) and Westborn Market on Penniman in the City of Plymouth (~4 miles). It is worth noting that Meijer operates as a department store and also offers a range of household items, in addition to groceries. A Meijer store would offer valuable services to the residents of the west side of Plymouth and Northville Townships, as well as those residing in Salem Township.

There are no other similar department stores in the Township, as the closest Meijer stores are on Ford and Canton Center Roads in Canton Township (~8 miles) and near the Eight Mile and Haggerty Road intersection in Northville Township (~8 miles). The closest Walmart is approximately 11 miles away in Canton Township.

Please note, a traffic study has also been provided by the applicant and is under the review of the Township Engineer. The proposed roadway improvements must be approved by the Township Engineer and Wayne Count.



CRITERIA #3:

The use will be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area.

The Project will not diminish or adversely affect public services and facilities; public services and facilities would be enhanced with the extension of public sanitary sewer, public water main along Five Mile Road, and the public sidewalk along Five Mile Road. We defer to the Township Engineer for final approval.

CRITERIA #4:

The vehicular circulation for the proposed use will be in the best interest of the public health, safety, and welfare in relationship to egress/ingress to the site, vehicular turning movements related to street intersections and street gradient, site distance and potential hazards to the normal flow of traffic.

The site would be accessed via two curb cuts. Both are ingress/egress and the easternmost ingress/egress, located directly south of Johnson Creek Drive, features a proposed traffic signal. We defer to the Township Engineer for additional comments.

CRITERIA #5:

The location, use and assembly of persons in connection with the proposed use will not be hazardous to the planning unit in which the use is located or hazardous to a specific use or life and property within the planning unit, or be incongruous therewith or in conflict with the normal traffic of the planning unit.

The location, use, and assembly of persons in connection with the proposed use will not be hazardous to the area.

CRITERIA #6:

The proposed site layout is in compliance with the general site development standards of Article 29, Site Plan and Development Approval.

During the site plan review process, the property must be designed to comply with all relevant Ordinances, including parking, lighting, landscaping, screening, and signage. The applicant has not submitted for site plan review at this time. Once a site plan is submitted, compliance with the use standards of section 19.2 will also be required.

Use Standard #6.A: *The commercial use be consistent with the purpose of Article 19*

As outlined under Criteria 1.D, the intent of the Industrial District is to accommodate a mixture of industrial, research, wholesale, and service uses for the community in an attractive and functional manner. The site would not negatively impact this intent, as it would provide a service that is beneficial to the industrial developments nearby. Commercial uses have been built in current and future-designated industrial areas; this development is consistent with the development patterns of the Township.

Use Standard #6.B: *The use will not impair the present or potential use of adjacent properties.*

As previously discussed, the grocery store and convenience store / gas station would not be disruptive to the existing developments and instead would be complementary and consistent with existing land uses along the frontage of Five Mile Road. The development would also serve as a buffer and protect nearby residential developments from any negative impacts industrial development may present.



Recommendation

Pending any additional information presented during the public hearing, it is recommended that the Planning Commission grant special land use approval for the proposed Meijer grocery store and convenience store/gas station (PC #2484), contingent on approval of a site plan that addresses all planning, fire, and engineering requirements, and contingent that the traffic study and associated roadway improvements are found acceptable to the Township Engineer.

Please do not hesitate to contact us should you have any questions. Thank you!

Respectfully submitted,

McKENNA

Laura Haw, AICP, NCI
Senior Principal Planner

Andrew Littman
Senior Planner

Ashley Amey
Assistant Planner



PLYMOUTH TOWNSHIP FIRE DEPARTMENT

9955 N. Haggerty Rd
Plymouth, Michigan 48170-4673

(734) 354-3219 Fax: (734) 354-9672
Emergency - Dial 911

Occupant Name:	Meijer	Inspection Date:	6/15/2023
Address:	47500 Five Mile rd.	InspectionType:	Site Plan/Plan Review
Suite:		Inspected By:	Jeff Randall jrandall@plymouthtwp.org
Occ. Sq. Ft.:		Lockbox Location:	
Contacts:	-None-		

Insp. Result	Location	Code Set	Code
N/A	Floor 1	IFC 2012 Section 501 General	501.3 - Construction documents.
Pass	Floor 1	IFC 2012 Section 503 Fire Apparatus Access Roads	503.1 - Fire Access Roads
N/A	Floor 1	IFC 2012 Section 503 Fire Apparatus Access Roads	503.1.1 - Buildings and facilities.
Pass	Floor 1	IFC 2012 Section 503 Fire Apparatus Access Roads	503.2.5 - Dead ends.

No deficiencies found. Plans are approved as submitted.

Inspector:

Signature valid only in mobile-eye documents
Jeff Randall
6/15/2023

Ref: 4986

LEGAL DESCRIPTION:
(PER ATA NATIONAL TITLE GROUP, LLC (Issued by Old Republic National Title Insurance Company), Commitment Number 82-18606030-A, EFFECTIVE DATE DECEMBER 16TH, 2022.)

LAND IN THE TOWNSHIP OF PLYMOUTH, WAYNE COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:

PART OF THE THE NORTH 1/4 OF SECTION 20, TOWN 01 SOUTH, RANGE 08 EAST, PLYMOUTH TOWNSHIP, WAYNE COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE NORTH 1/4 CORNER OF SAID SECTION 20; THENCE SOUTH 01 DEGREES 18 MINUTES 52 SECONDS WEST, 60.00 FEET ALONG THE NORTH/SOUTH 1/4 LINE OF SECTION 20 TO THE POINT OF BEGINNING BEING A POINT ON THE PROPOSED SOUTH RIGHT-OF-WAY LINE OF FIVE MILE ROAD (60 FOOT HALF WIDTH); THENCE ALONG SAID LINE OF FIVE MILE ROAD SOUTH 89 DEGREES 48 MINUTES 50 SECONDS EAST, 911.64 FEET; THENCE SOUTH 00 DEGREES 11 MINUTES 11 SECONDS WEST, 56.80 FEET; THENCE SOUTH 06 DEGREES 39 MINUTES 09 SECONDS WEST, 122.71 FEET; THENCE 371.78 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, 255.00 FOOT RADIUS, CHORD BEARING SOUTH 48 DEGREES 25 MINUTES 10 SECONDS W, 339.71 FEET; THENCE NORTH 89 DEGREES 48 MINUTES 58 SECONDS WEST, 76.91 FEET; THENCE SOUTH 00 DEGREES 54 MINUTES 40 SECONDS WEST, 807.22 FEET; THENCE NORTH 89 DEGREES 48 MINUTES 48 SECONDS WEST, 800.89 FEET; THENCE NORTH 00 DEGREES 11 MINUTES 12 SECONDS EAST, 1010.45 FEET TO A POINT ON THE PROPOSED SOUTH RIGHT OF WAY LINE OF FIVE MILE ROAD (60 FOOT HALF); THENCE ALONG SAID RIGHT-OF-WAY LINE NORTH 89 DEGREES 46 MINUTES 22 SECONDS EAST, 241.05 FEET TO THE POINT OF BEGINNING.

SCHEDULE B-II ITEMS:
(PER ATA NATIONAL TITLE GROUP, LLC (Issued by Old Republic National Title Insurance Company), Commitment Number 82-18606030-A, EFFECTIVE DATE DECEMBER 16TH, 2022.)

ITEMS 1-7, 19-20, ARE NOT SURVEY RELATED ITEMS

- 8) CONVEYANCE AND LEASE OF MINERAL RIGHTS BY CITY OF DETROIT TO CONSUMERS POWER COMPANY AS REFLECTED IN CONVEYANCE AND LEASE RECORDED IN LIBER 15271, PAGE 484, AS AFFECTED BY SUBORDINATION AGREEMENT RECORDED IN LIBER 22436 PAGE 516, AND ALSO AS SUCH CONVEYANCE AND LEASE IS IMPACTED BY NOTICES OF CLAIM UNDER THE DOMINANT MINERAL ACT BY CONSUMERS POWER COMPANY RECORDED IN LIBER 29006, PAGE 664 AND LIBER 52630, PAGE 1410, WAYNE COUNTY RECORDS. (As shown, describes additional land to the east of subject parcel.)
- 9) RESERVATION OF ALL MINERALS, COAL, OIL AND GAS BY THE CITY OF DETROIT IN QUIT CLAIM DEED RECORDED IN LIBER 22436, PAGE 520, WAYNE COUNTY RECORDS. (Not plotted, blanket in nature.)
- 10) EASEMENT FOR UNDERGROUND GAS STORAGE RESERVED BY THE CITY OF DETROIT IN QUIT CLAIM DEED RECORDED IN LIBER 22436, PAGE 520, WAYNE COUNTY RECORDS. (Not plotted, blanket in nature.)
- 11) EASEMENT FOR WATER MAIN RECORDED IN LIBER 23699, PAGE 44, WAYNE COUNTY RECORDS. (As shown.)
- 12) EASEMENTS FOR PUBLIC UTILITIES AND INGRESS AND EGRESS RECITED IN QUIT CLAIM DEED RECORDED IN LIBER 24987, PAGE 57, WAYNE COUNTY RECORDS. (As shown.)
- 13) ROAD EASEMENT AGREEMENT BETWEEN THE COUNTY OF WAYNE AND THE STATE OF MICHIGAN RECORDED 13. IN LIBER 28126, PAGE 531, WAYNE COUNTY RECORDS. (As shown.)
- 14) SANITARY SEWER EASEMENT IN GROSS IN FAVOR OF PLYMOUTH CHARTER TOWNSHIP RECORDED IN LIBER 48682, PAGE 388, WAYNE COUNTY RECORDS, AS SHOWN ON THE SURVEY, BUT OMITTING THEREFROM ANY NOTIFICATION REQUIREMENT TO I) THE DIRECTOR OF THE DESIGN AND CONSTRUCTION DIVISION, FACILITIES ADMINISTRATION, DEPARTMENT OF TECHNOLOGY, MANAGEMENT AND BUDGET OR II) THE DEPARTMENT OF CORRECTIONS, IDENTIFIED UNDER THE TERMS AND CONDITIONS THAT GRANTEE MUST ABIDE BY, FOR REASON THAT THE CORRECTIONAL FACILITY IS NO LONGER OPERATIONAL AND/OR LOCATED ON THE SUBJECT PROPERTY (FACILITY HAS BEEN DEMOLISHED). (Not shown, located west of subject parcel.)
- 15) OIL AND GAS LEASE RECORDED IN LIBER 50913, PAGE 651, WAYNE COUNTY RECORDS, WAYNE COUNTY RECORDS. NOTE: THIS ITEM WILL BE DELETED UPON RECEIPT BY COMPANY OF AFFIDAVIT OF NON-PRODUCTION EXECUTED BY STATE OF MICHIGAN. (Not plotted, blanket in nature.)
- 16) RESERVATIONS UNTO THE STATE OF MICHIGAN, GRANTOR IN QUIT CLAIM DEED RECORDED IN LIBER 52431, PAGE 1402, WAYNE COUNTY RECORDS, WHEREIN THE MICHIGAN LAND BANK FAST TRACK AUTHORITY IS GRANTEE, OF A 50% INTEREST IN AND TO AL ROYALTIES UNDER OIL AND GAS LEASES, AND OF ALL ABORIGINAL ANTIQUITIES. (Not plotted, blanket in nature.)
- 17) TERMS, CONDITIONS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT EXECUTED BY AND BETWEEN HILLSIDE - RIDGE ROAD HOLDINGS EASE LLC, A MICHIGAN LIMITED LIABILITY COMPANY AND REDICO HOLDINGS, LLC RECORDED IN LIBER 54951, PAGE 801, WAYNE COUNTY RECORDS, AS SHOWN ON THE SURVEY. (Not shown, located west of subject parcel.)
- 18) MATTERS DISCLOSED BY PARCEL SPLIT SURVEY PREPARED BY ZEIMET WOZNAK DATED MARCH 20, 2018, BEING JOB NO. 17157, AND RECORDED APRIL 9, 2021 IN LIBER 56625, PAGE 1348, WAYNE COUNTY RECORDS. NOTE: THIS ITEM IS FOR INFORMATIONAL PURPOSES ONLY AND WILL NOT APPEAR ON THE POLICY/IES TO BE ISSUED. (Not plottable.)

SURVEYORS NOTES:

TABLE A ITEMS

- 2 ADDRESS OF SUBJECT PROPERTY IS 47500 FIVE MILE ROAD, PLYMOUTH, MI
- 3 FLOOD ZONE MAP IS DESIGNATED BY MAP NUMBER 26163C0020E, DATED 2-2-12. SUBJECT PROPERTY IS NOT IN FLOOD ZONE.
- 4 GROSS LAND AREA OF PARCEL IS ± 21.52 ACRES
- 7(A) NO BUILDINGS WERE PRESENT AT THE TIME OF SURVEY
- 8 IMPROVEMENTS ON PARCEL ARE AS SHOWN ON SURVEY
- 11 EVIDENCE OF UNDERGROUND UTILITIES ARE AS SHOWN ON SURVEY
- 16 THERE IS NO EVIDENCE OF RECENT CONSTRUCTION OR EARTHMOVING WORK
- 17 THE SURVEYOR IS UNAWARE OF CHANGES TO THE STREET RIGHT OF WAY LINES

SURVEYOR'S CERTIFICATE

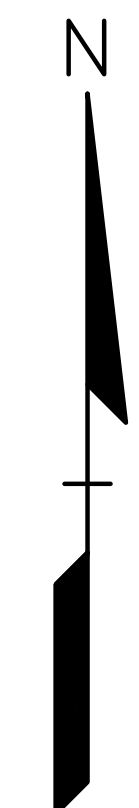
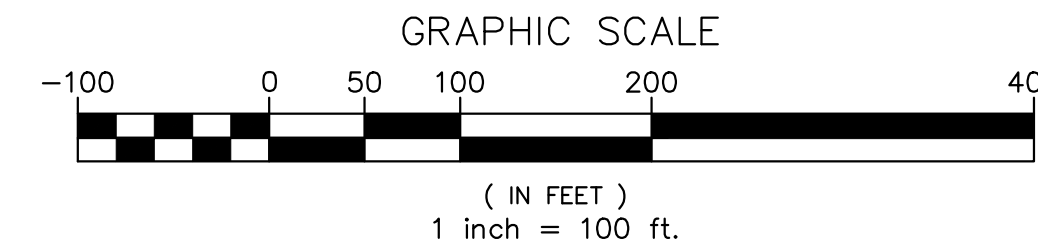
To: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
ATA NATIONAL TITLE GROUP
MEIJER, INC., a Michigan corporation

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 7(a), 8, 11(a), 11(b), 16 and 17. The field work was completed on APRIL 24TH, 2023.

PRELIMINARY

Todd Shelly, PS No. 400104111
Agent for PEA, Group.

Date of Plat or Map: JANUARY 27TH, 2023
(PRELIMINARY)



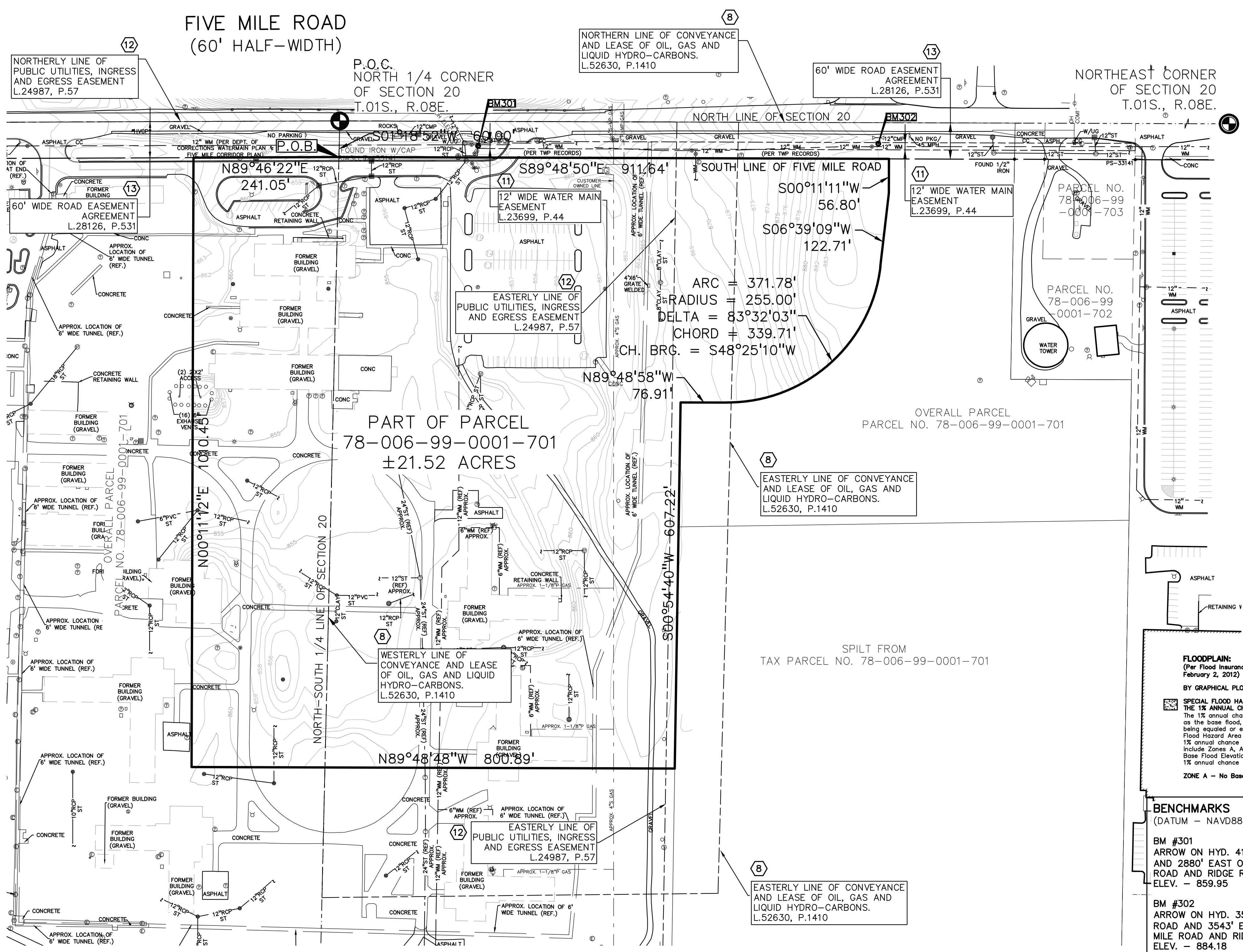
LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊕ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	Ⓡ RECORDED
⊗ NAIL FOUND	⊗ MONUMENT SET	Ⓢ MEASURED
⊗ NAIL & CAP SET		Ⓣ CALCULATED

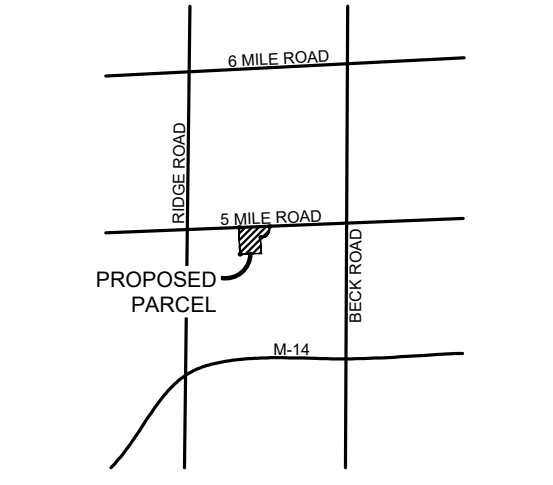
EXISTING

- OH-ELEC-W-O— ELEC. PHONE OR CABLE TV OH. LINE, POLE & GUY WIRE
- UG-CITY— ELEC. CABLE TV, CATV, FIBER/STAL
- UG-PHONE— TELEPHONE U.G. CABLE, FIBER/STAL & MANHOLE
- UG-ELEC— ELEC. U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS— GAS MAIN, VALVE & GAS LINE MARKER
- WATER— WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SEWER— SANITARY SEWER, CLEANOUT & MANHOLE
- STORM— STORM SEWER, CLEANOUT & MANHOLE
- COMBINED— COMBINED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN
- POST INDICATOR VALVE
- WATER VALVE BOX/IRRIANT VALVE BOX, SERVICE SHUTOFF
- MATERIAL, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN
- SOIL BORING

CONC. CONCRETE
ASPH. ASPHALT
GRAVEL GRAVEL/SPLIT



CAUTION!
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
REDICO
ONE TOWN SQUARE, SUITE 1600
SOUTHFIELD, MICHIGAN 48076

PROJECT TITLE
DEHOCO RETAIL DEVELOPMENT
5 MILE ROAD
PLYMOUTH TOWNSHIP, WAYNE COUNTY, MICHIGAN

REVISIONS

4-18-23	
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ORIGINAL ISSUE DATE:
JANUARY 27, 2023

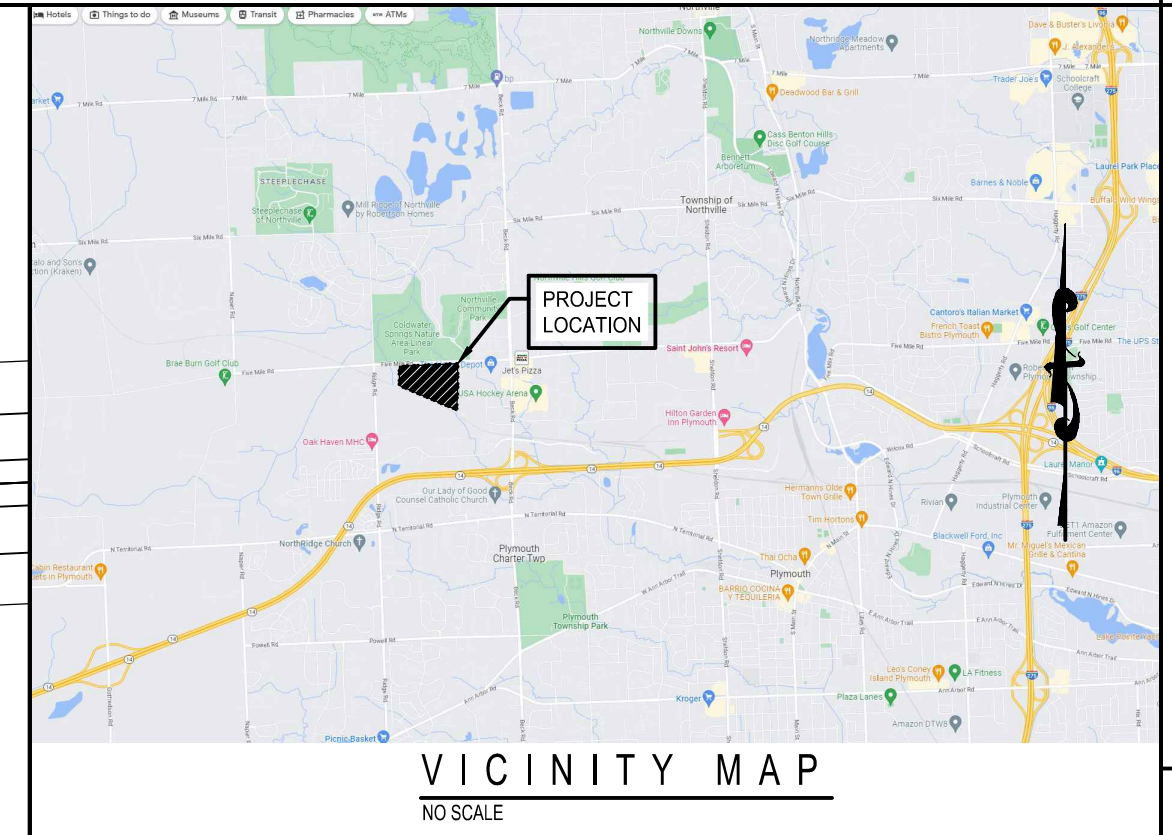
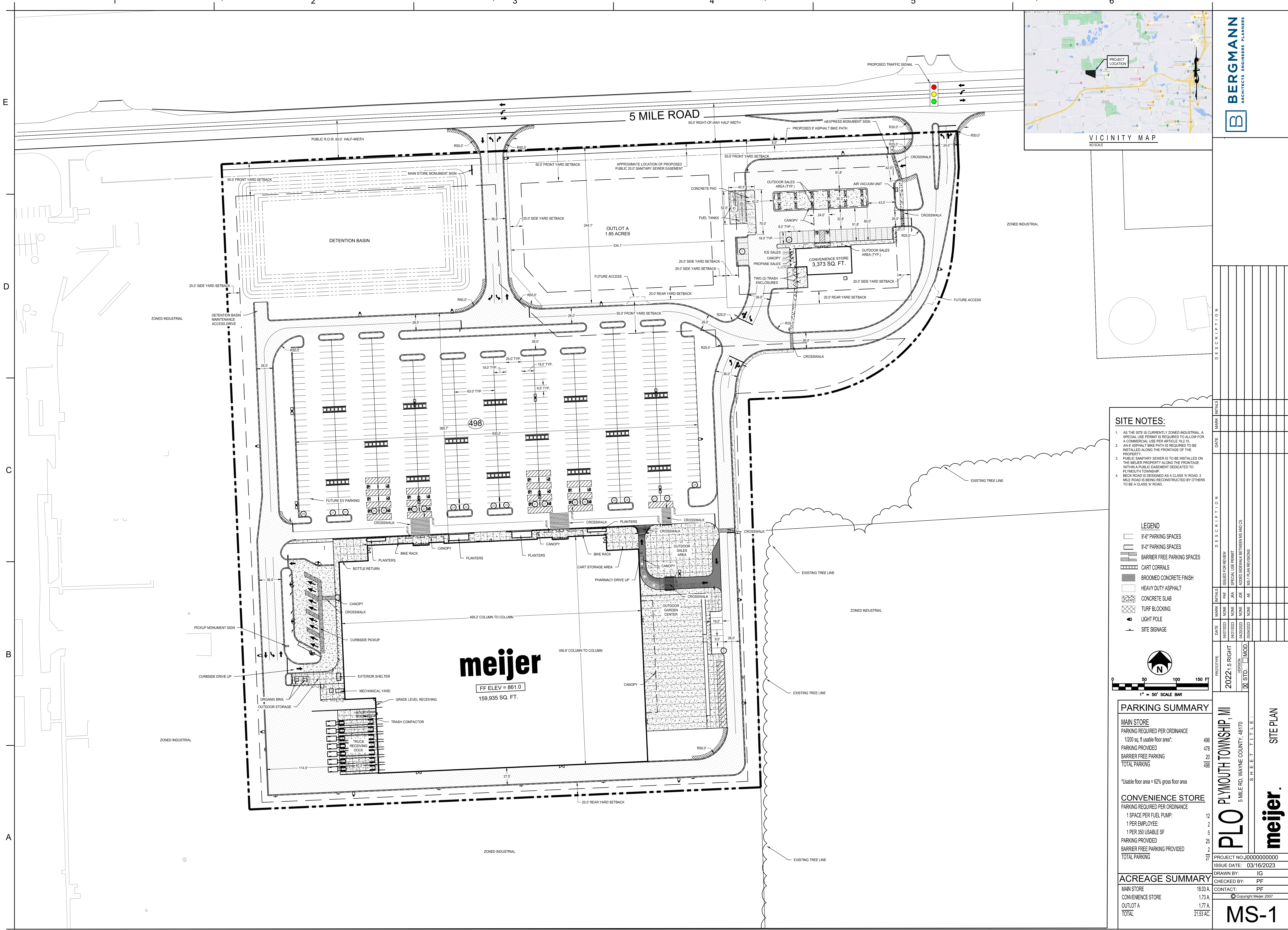
DRAWING TITLE
ALTA/NSPS LAND TITLE SURVEY

PEA JOB NO. 2023-0025-PR

P.M.	DLM
DN.	SRF
DES.	
DRAWING NUMBER:	



S:\PROJECTS\2023-0025-DEHOCO RETAIL DEVELOPMENT\SURVEY\23-0025ALTA.DWG

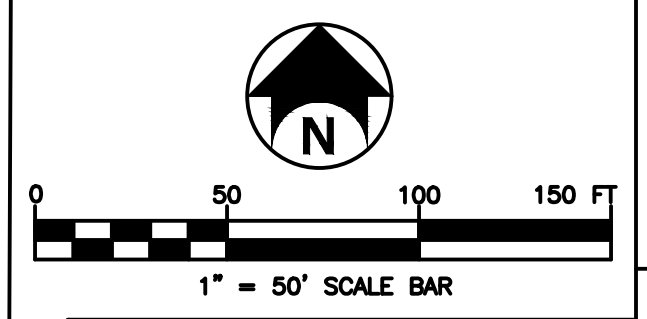


SITE NOTES:

- AS THE SITE IS CURRENTLY ZONED INDUSTRIAL, A SPECIAL USE PERMIT IS REQUIRED TO ALLOW FOR A COMMERCIAL USE PER ARTICLE 19.2.15.
- AN 8' ASPHALT BIKE PATH IS REQUIRED TO BE INSTALLED ALONG THE FRONTAGE OF THE PROPERTY.
- PUBLIC SANITARY SEWER IS TO BE INSTALLED ON THE MEIJER PROPERTY ALONG THE FRONTAGE WITHIN A PUBLIC EASEMENT DEDICATED TO PLYMOUTH TOWNSHIP. BECK ROAD IS DESIGNED AS A CLASS 'A' ROAD. 5 MILE ROAD IS BEING RECONSTRUCTED BY OTHERS TO BE A CLASS 'A' ROAD.

LEGEND

- 9'-6" PARKING SPACES
- 9'-0" PARKING SPACES
- BARRIER FREE PARKING SPACES
- CART CORRALS
- BROOMED CONCRETE FINISH
- HEAVY DUTY ASPHALT
- CONCRETE SLAB
- TURF BLOCKING
- LIGHT POLE
- SITE SIGNAGE



PARKING SUMMARY

MAIN STORE	
PARKING REQUIRED PER ORDINANCE	496
1/200 sq. ft. usable floor area*	478
PARKING PROVIDED	20
BARRIER FREE PARKING	488
TOTAL PARKING	488

*Usable floor area = 62% gross floor area

CONVENIENCE STORE

PARKING REQUIRED PER ORDINANCE	
1 SPACE PER FUEL PUMP:	12
1 PER EMPLOYEE:	2
1 PER 350 USABLE SF	5
PARKING PROVIDED	25
BARRIER FREE PARKING PROVIDED	2
TOTAL PARKING	27

ACREAGE SUMMARY

MAIN STORE	18.03 A.
CONVENIENCE STORE	1.73 A.
OUTLOT A	1.77 A.
TOTAL	21.53 AC.

DATE	MARK	INITIALS	DESCRIPTION

DATE	MARK	INITIALS	ISSUED FOR REVIEW	DESCRIPTION
04/07/2023	NOE	PHF	SPECIAL USE PERMIT	
04/07/2023	NOE	JRA	SPECIAL USE PERMIT	
04/07/2023	NOE	JDE	ADDED SIDEWALK BETWEEN MS AND CS	
04/04/2023	NOE	AE	MS-7 PLAN REVISIONS	

PROJECT NO. J0000000000

ISSUE DATE: 03/16/2023

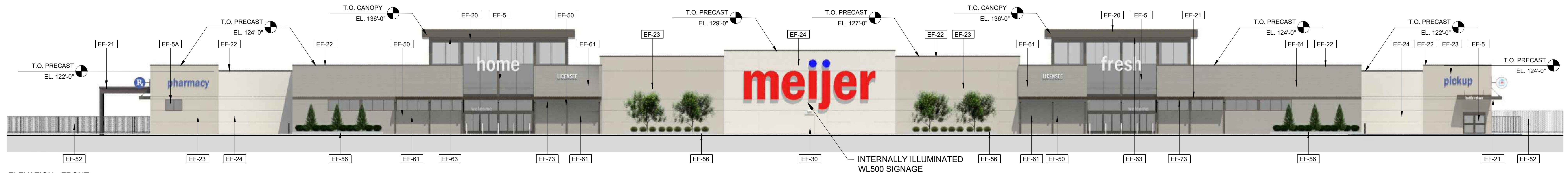
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CHECKED BY: PF

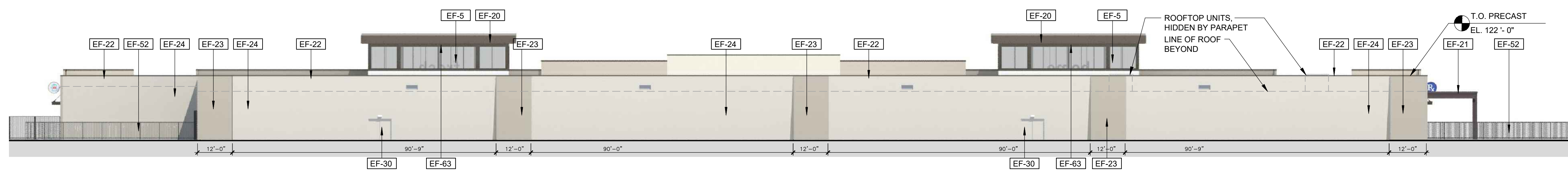
CONTACT: PF

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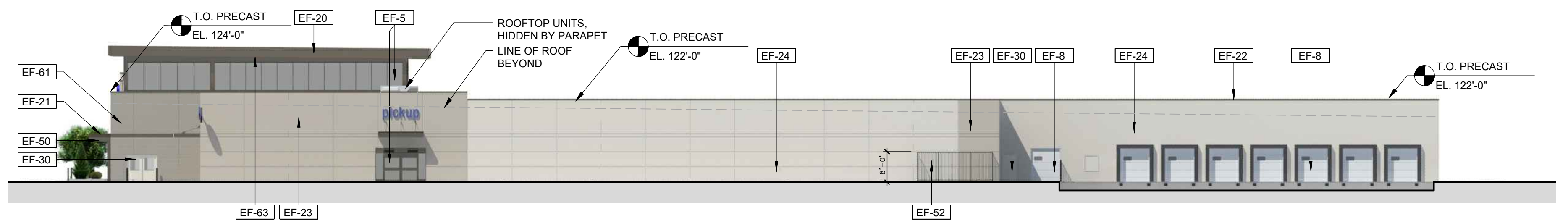
MS-1



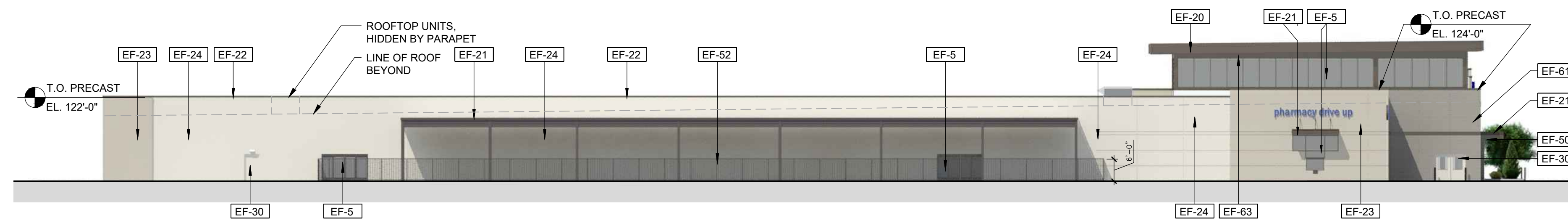
ELEVATION - FRONT



ELEVATION - BACK



ELEVATION - RECEIVING



ELEVATION - GARDEN CENTER

RENDERING FINISH LEGEND			
CODE	FINISH	PRODUCT	COLOR
EF-5	ENTRANCE AND STOREFRONT FRAMES - 1" INSULATED GUARDIAN GLASS - CRYSTAL GRAY SN88	--	DARK BRONZE ANODIZED ALUMINUM
EF-5A	1" INSULATED SPANDREL PANEL WITH CRYSTAL GRAY SN88 AND WARM GRAY SPANDREL PANEL	--	WARM GRAY
EF-8	SECTIONAL OVERHEAD DOORS	--	WHITE
EF-20	CANOPY FASCIA PANEL AND SOFFIT	PAC-CLAD	DARK BRONZE
EF-21	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT CANOPY	PAC-CLAD	DARK BRONZE
EF-22	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PAC-CLAD	DARK BRONZE
EF-23	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED / USE SHERWIN WILLIAMS SW 7641 CRUSHED ICE FOR MORTAR JOINT	AP	SW 7017 DORIAN GRAY
EF-24	INSULATED PRECAST CONCRETE WALL W/ EIFS FORMLINER #410	AP	SW 7015 REPOSE GRAY
EF-30	FIELD PAINTED STEEL - HOLLOW METAL DOORS & FRAMES	SHERWIN WILLIAMS	SW 7015 REPOSE GRAY
EF-50	STEEL SUPPORT	--	DARK BRONZE STEEL BEAM
EF-52	DECORATIVE FENCE	--	BLACK
EF-56	CONCRETE PLANTER	--	CAST IN PLACE CONCRETE PLANTER
EF-61	CONCRETE FORMLINER 2/82 COLORADO	RECKLI	SW 7018 DOVETAIL GRAY
EF-63	VENTED SOFFIT PANEL - UNA CLAD UC-500	FIRESTONE	DARK BRONZE
EF-73	FIELD PAINTED STEEL - METAL DECKING	SHERWIN WILLIAMS	DARK BRONZE

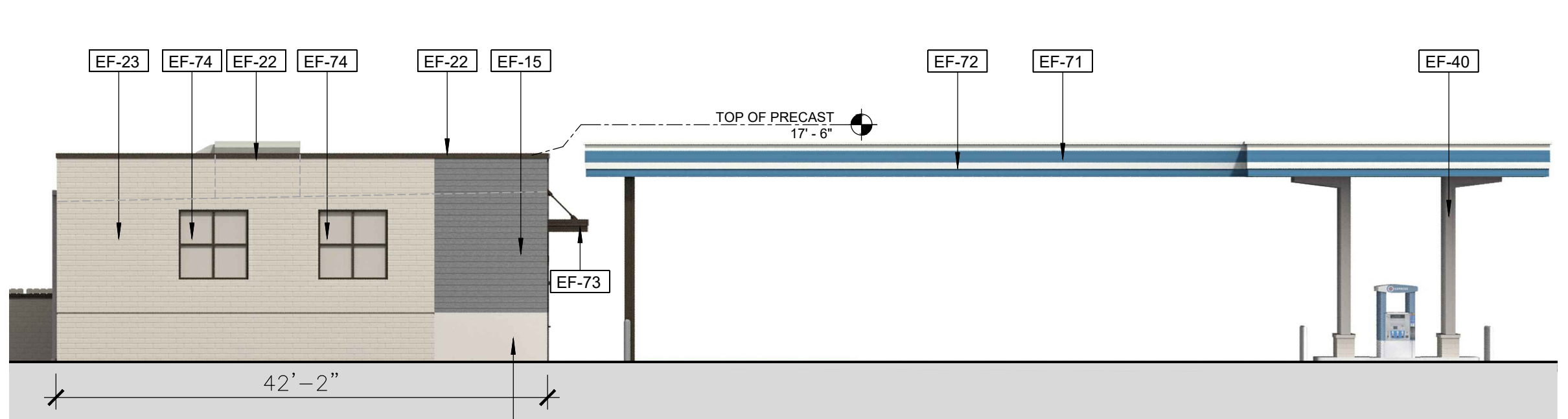
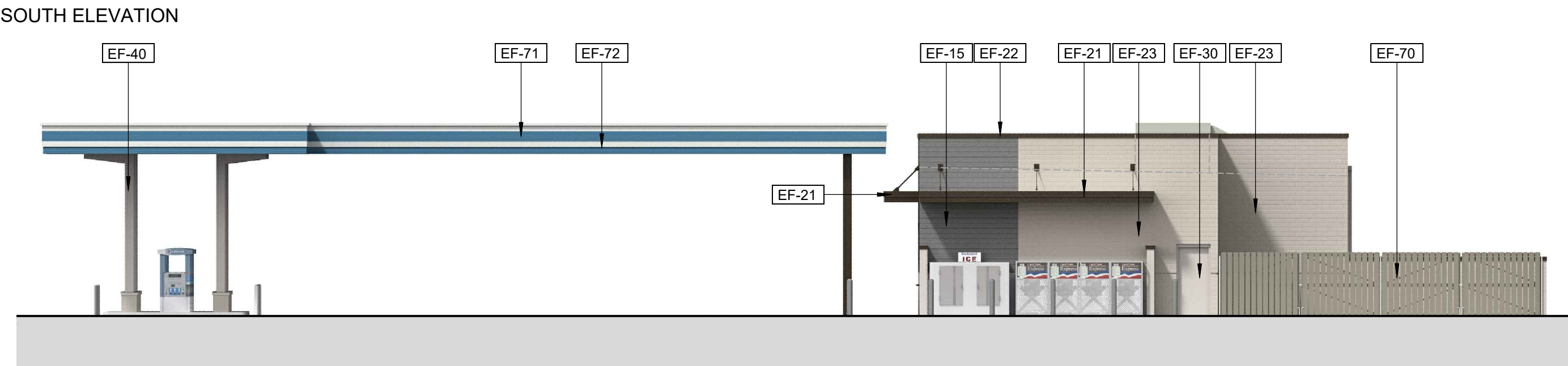
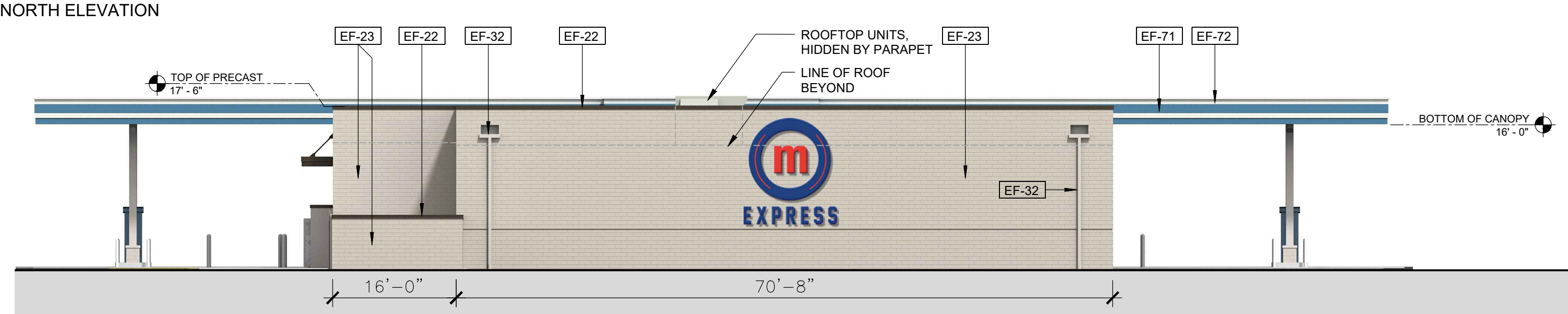


PLYMOUTH TWP., MICHIGAN

FIVE MILE & JOHNSON CREEK DRIVE
PLYMOUTH TWP., MI 48168

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF THE MATERIAL SAMPLES PROVIDED.





RENDERING FINISH LEGEND			
CODE	FINISH	PRODUCT	COLOR
EF-5	ENTRANCE AND STOREFRONT FRAMES - 1" INSULATED GUARDIAN GLASS - CRYSTAL GRAY SN88	--	DARK BRONZE ANODIZED ALUMINUM
EF-15	CONCRETE FORMLINER 2/82 COLORADO	RECKLI	SW 7018 DOVETAIL GRAY
EF-21	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT CANOPY	PAC-CLAD	DARK BRONZE
EF-22	SHEET METAL FLASHING AND TRIM - ROOF EDGE FLASHING	PAC-CLAD	DARK BRONZE
EF-23	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED / USE SHERWIN WILLIAMS SW 7641 CRUSHED ICE FOR MORTAR JOINT	AP	SW 7017 DORIAN GRAY
EF-24	EIFS FORMLINER #410	AP	SW 7015 REPOSE GRAY
EF-30	FIELD PAINTED STEEL - HOLLOW METAL DOORS & FRAMES	SHERWIN WILLIAMS	SW 7015 REPOSE GRAY
EF-32	SHEET METAL FLASHING AND TRIM - COPINGS, GUTTERS AND DOWNSPOUTS	PAC-CLAD	SW 7015 REPOSE GRAY
EF-40	FUEL ISLAND CANOPY COLUMNS	SHERWIN WILLIAMS	SW 7015 REPOSE GRAY
EF-70	WOOD FENCE	PPG PROLUXE	RUBBOL SOLID STAIN - BEACHWOOD
EF-71	FUEL ISLAND CANOPY GRAPHIC FILM	3M	SHADOW BLUE 177
EF-72	FUEL ISLAND CANOPY	ALPOLIC	SOG GREY
EF-73	FIELD PAINTED STEEL - METAL DECKING	SHERWIN WILLIAMS	DARK BRONZE
EF-74	METAL PANEL	ALPOLIC	SOG GREY

WEST ELEVATION

EAST ELEVATION



PLYMOUTH TWP., MICHIGAN

FIVE MILE & JOHNSON CREEK DRIVE
PLYMOUTH TWP., MI 48168

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF THE MATERIAL SAMPLES PROVIDED.





MCKENNA

June 15, 2023

Planning Commission
Charter Township of Plymouth
9955 N. Haggerty Road
Plymouth, MI 48170

Subject: PC# 2479 – Lot 1 of the Metro Business Park (41336 Concept Drive)
Site Plan Review #1 – Tentative
Parcel ID: R-78-025-99-0001-000

Dear Commissioners,

We have reviewed tentative site plan consideration for the following application: PEA Group, on behalf of John Breza with Concept District 1, LLC. (the “Applicant”), proposes to construct a two-story, 26,700 square foot building (7,392 square feet of office and 19,308 square feet of warehouse space, the “Project”). The subject site consists of one vacant parcel, 1.86 acres in size, that is located at the northeast corner of Haggerty Road and Concept Drive. The aerial image is below (Wayne County GIS, 2023).

The subject site is zoned the IND, Industrial District where the requested use, a speculative industrial user with office and warehouse space, is considered a permitted land use. Previously, this development received tentative site plan approval from the Planning Commission in March of 2021; however, the approval lapsed due to inactivity. Therefore, the applicant is resubmitting under a new application.



HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

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☎ 248.596.0930
MCKA.COM

Communities for real life.



Site Plan Review

We offer the following comments for your consideration; underlined items require additional discussion and/or identify outstanding items to be addressed.

ZONING & USE (SITE DESIGN)

The siting of all structures and all elements of the site design shall be harmoniously and efficiently organized in relation to topography, parcel configuration, adjacent properties, traffic operations, adjacent streets and driveways, pedestrian access, and the type and size of buildings. The site design shall ensure that adequate light and air are preserved so as not to be detrimental to the orderly and harmonious development of the Township.

Findings: The subject site is zoned the IND, Industrial District and has a future land use designation of IND, Industrial in the Master Plan. No rezoning is proposed; the project is consistent with the Zoning Map and Master Plan. Per the Ordinance, the Industrial District is intended to accommodate a number of research and office uses related to permitted industrial operations.

Should the eventual tenant of the building propose a use that is considered a special land use in the Industrial District, additional Planning Commission review would be triggered.

SITE APPEARANCE & COORDINATION

Site elements and the relationship between the various uses on the site shall be designed and located so that the proposed development is aesthetically pleasing and harmonious with adjacent existing and prospective development of contiguous properties and the general planning area. All site features, including vehicle and pedestrian circulation, building orientation, landscaping, lighting, utilities, recreation facilities, and open space shall be designed to coordinate with adjacent properties and uses.

Findings: The project complies with all dimensional standards; the dimensional requirements for the IND District (Article 19) and the proposed dimensions are listed in the following table:

Dimensional Standard	Required	Proposed	Comments
Minimum Lot Area	20,000 square feet	81,021 square feet	In compliance
Minimum Lot Frontage	100 ft.	486 ft.	In compliance
Minimum Front Yard Setback	40 ft.	73.91 ft. (Concept Drive) 41.72 ft. (Haggerty Road)	In compliance
Minimum Side Yard Setback	25 ft.	71.34 ft.	In compliance
Minimum Rear Yard Setback	40 ft.	44.68 ft.	In compliance
Maximum Height	35 ft.	36-ft.*	In compliance
Maximum Percent Lot Coverage	50%	±33% (26,700 square feet)	In compliance

**For each additional 1-ft. setback from Concept Drive, the building height can increase by 1-ft., up to 45-ft.*



PRESERVATION OF SITE FEATURES

The site design shall, to the extent feasible, conserve natural, cultural, historical and architectural site features, including but not limited to architecturally or historically significant buildings, archeological sites, wetlands, topography and wooded areas.

Findings:

Trees. The site is covered by 58 trees, as shown on the Tree Preservation Plan (sheet T-1.0), which contains a tree inventory that documents both the condition and size of trees preserved and those proposed to be removed.

30 regulated trees are proposed to be removed (a total of 294-inches diameter breast height, DBH, removed) and 20 trees are proposed to be saved (there are no regulated Heritage trees on-site). The Ordinance requires a replacement ratio of 1-inch caliper of replacement tree for each 4-inches of DBH removed (section 26.9.2.e), which would be approximately 73.5-inches, or 24 trees at ± 3 - inches caliper. The Plan proposes 24 replacement trees, in compliance.

Wetlands. No regulated wetlands exist on the subject site.

IMPACT ON PUBLIC SERVICES

Utility services, including sanitary, water and storm runoff, shall not exceed the existing or planned capacity of such services, and shall be developed in the best interest of the public health, safety and welfare of the community. The proposed development shall be designed and located so that public services, including streets and sidewalks, police and fire protection, and public schools have sufficient capacity to properly serve the development, and so that such services will not be adversely affected by the proposed development.

Findings: This item is subject to approval by the Township Fire Chief and Township Engineer.

VEHICULAR ACCESS & CIRCULATION

The vehicular circulation system planned for the proposed development shall be in the best interest of the public health, safety, and welfare in regard to on site circulation, onsite parking, the overall circulation of the neighborhood and community, egress/ingress to the site, vehicular turning movements related to parking areas, loading areas, street intersections, street gradient, site distance and potential hazards to the normal flow of traffic both on and off site.

Findings: The proposed access to the site is provided via two new driveways on Concept Drive, both on the south side of the site. The entrance driveways are paved with concrete and the interior drives and parking lot are paved with heavy-duty asphalt.

The applicant has submitted a Truck Turning Plan on sheet C-3.1 that considers truck turning movements and accessibility to and within the site by fire trucks, garbage trucks, and delivery vehicles.

One snow storage area has been proposed on the northeast corner of the site.



PEDESTRIAN ACCESS & CIRCULATION

The pedestrian circulation system planned for the proposed development shall be in the best interest of the public health, safety and welfare in regards to on site circulation and the overall pedestrian circulation of the neighborhood and community.

Findings: The subject site has an existing 5-foot sidewalk along Haggerty Road. Per section 28.16(1.a), the applicant must construct a 5-foot wide sidewalk along the Concept Drive frontage (310 linear feet). The applicant has expressed interest in submitting payment in lieu of constructing a sidewalk along Concept Drive, this is a condition of approval.

The applicant has proposed an interior sidewalk on the south side of the building; the width of this sidewalk is not labeled on the plans. The applicant must label the width of the internal sidewalks so that it may comply with section 28.16(1.b.) which states they must be a minimum of six feet in width.

EMERGENCY ACCESS & VULNERABILITY TO HAZARDS

All sites and buildings shall be designed to allow convenient and direct emergency access, and the emergency response needs of the proposed use(s) shall not exceed the Township's emergency response capabilities.

Findings: This item is subject to approval by the Township Fire Chief and Township Engineer.

LANDSCAPING, SCREENING & BUFFERING

Proposed landscaping, screening and buffer areas shall be appropriate and of such size, location, height and quantity to ensure that the proposed development will not be objectionable to nearby development or properties by reason of noise, fumes, flash of lights from automobiles or other lighting, interference with an adequate supply of light and air, an increase in the danger of fire, or other public safety hazard. Screening shall be provided in a manner that adequately buffers adjacent land uses and screens off-street parking, mechanical appurtenances, loading and unloading areas and storage areas from adjacent residential areas and public rights-of-way.

Findings: The table on the following page details the required and proposed site landscaping. Overall, we recommend additional landscaping is added to the site, including the following:

- Vegetation that provides year-round, vertical screening west of the parking area in the southwest corner of the site (to provide screening from the Haggerty Road right-of-way). The applicant has proposed Old Gold Juniper as a part of this screening. These provide sufficient horizontal, low evergreen screening. However, it would be beneficial to have some vertical evergreen screening as well.
- Street trees be added within the Haggerty Road right-of-way.
- We recommend the applicant attempt to add additional landscaping islands wherever possible.



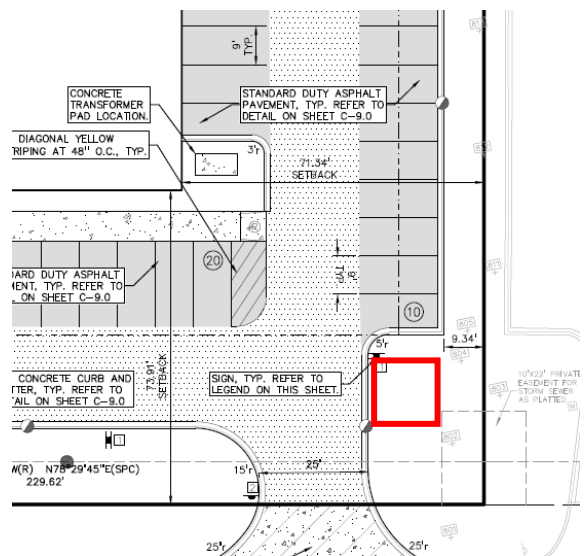
Landscape Standard	Required	Proposed	Comments
Replacement Tree Specifications	1:4-inches of DBH, 73.5-inches	24 trees (16 deciduous, 8 evergreen)	Complies.
Off-Street Parking Screening	10-foot buffer	10-foot buffer	Additional landscaping is recommended for screening, see notes above.
Interior Landscaping: Planting Islands	1 tree per 80 SF of parking island planting area	4 trees	320 SF / 80 SF = 4 trees, complies. Additionally, a general practice is for developments to provide 25 square feet of interior landscaping per parking space. With 59 parking spaces, 1,475 square feet is recommended, which is significantly higher than the proposed 320 square feet of parking islands.
Street Trees	1 tree per 40 feet of site frontage	8 trees (Concept Drive)	
7 Trees (Haggerty Road)	310 / 40 LF = 7.75 trees, Complies.		

PARKING & LOADING

Speculative Industrial facilities must provide one parking space per 350 square feet of usable floor area, which is 80% of the gross floor area. 26,700 gross square feet x 0.8 = 21,360 square feet of usable floor area / 350 = 61 spaces required. The applicant proposes 59 parking spaces including three dedicated barrier-free spaces, not complying with minimum ordinance standards.

The applicant is deficient in 2 parking spaces, however, we believe 59 spaces is sufficient for the site, given the majority of the building is occupied by warehouse space. The site has space for two additional parking spaces, which we recommend the applicant landbanks in case of future need (see potential land banked area in red to the right). The applicant must include this information on a revised site plan.

Per section 24.10(1), one loading space is required, plus one loading space for every 20,000 square feet in excess of the initial 20,000 square feet. With a 27,000-square-foot building, one loading zone, with a minimum size of 10 feet by 50 feet is required. Such a loading zone is provided on the northeastern corner of the facility, away from the sightlines of Haggerty Road and Concept Drive.





BUILDING DESIGN & ARCHITECTURE

Building design and architecture shall relate to and be harmonious with the surrounding neighborhood in terms of texture, scale, mass, proportion, materials, and color.

Findings: The applicant proposes a two-story building, consisting primarily of painted split-faced concrete block. The general design aligns with newer existing buildings throughout the industrial park, such as the Anderson Process building to the east. Additionally, the applicant has provided sight line diagrams (Sheet A4) from Concept Drive and Haggerty Road to depict that mechanical equipment placed atop the facility roof will be obscured from view.

Per section 28.14: Building Design Standards, a minimum of 75% of all building façades shall consist of masonry products, such as brick, cut stone, integral colored split face block, cast stone, limestone, granite, etc. The remaining 25% of the building may consist of cement board siding, stucco, etc. A breakdown of façade materials must be provided within the plans so that it can be determined whether the building complies with these standards.

Additionally, section 28.14 requires that building walls over 100 feet in length shall be broken up by varying rooflines, projections, recesses, wall inserts, arcades, windows or faux windows, architectural accents, and other details to create rhythm and interest. Additional changes in color, texture, and materials are encouraged.

We recommend the Commission provide direction to the applicant regarding the building design; especially as all building elevations are greater than 100 feet in length and the building fronts onto two public rights-of-way. One recommendation to bring the building closer in compliance with Ordinance minimums is to incorporate colored burnished block and brick, instead of painted, split-faced CMU.

Color and material samples must also be provided to the Planning Commission.

The applicant also proposes a dumpster enclosure with 6-foot high, interior masonry block walls and a cedar gate on a pressure-treated wood frame, all stained to match the architectural masonry of the principal building, at the northeast corner of the site. The dumpster enclosure proposes a heavy-duty concrete pad extending 15 feet from the enclosure gates. Per Section 28.9, the type, color, and pattern of enclosure materials shall match or complement the exterior façade materials of the principal building. While the cross-section on Sheet C-9.0 notes 'architectural masonry to match building', future clarification and revision will be necessary, dependent on the final design of the principal building.

The applicant must provide a color rendering of the building and the dumpster so that their appearance can be better understood.

EXTERIOR LIGHTING

All exterior lighting fixtures shall be designed, arranged, and shielded to minimize glare and light pollution, prevent night blindness and vision impairments, and maximize security.

Findings: The Photometric Plan (sheet SL-1.1) details nine LED wall packs along the exterior façades and five LED pole lights along the eastern and southern property lines. The proposed lighting levels comply with Zoning Ordinance standards.



Recommendation

*Based on the findings above, we recommend that the Planning Commission grant **tentative site plan approval** for Lot #1 of the Metro Business Park (PC #2479), contingent that the underlined items in this report are addressed prior to a final site plan submission to the Commission.*

Please do not hesitate to contact us if you have any questions. Thank you.

Respectfully submitted,

McKENNA

Laura E. Haw, AICP, NCI
Senior Principal Planner

Gage Belko
Associate Planner

Ashley Amey
Assistant Planner

Tentative Site Plan Review

June 15, 2023

The Planning Commission
Plymouth Charter Township
9955 North Haggerty Road
Plymouth, Michigan 48170

Re: Lot 1 Metro Plymouth Business Park – Tentative Site Plan Review
Application No. 2479-0423
SDA Review No. PL21-107

Dear Plymouth Township Planning Commission:

We have received the site plan submittal for the above referenced project prepared by PEA Group dated May 5, 2023 and received by our office on June 6, 2023. The plans were reviewed in accordance with current Plymouth Township Engineering Standards, Details, and Code of Ordinances and the following comments are our observations.

Recommendation

Approval of the Revised Tentative Site Plan is recommended, with items to be addressed before Final Site Plan approval.

Comments:

The Tentative Site Plan meets the general requirements of the Plymouth Township Code of Ordinances and the Engineering Design Manual.

Project Summary

- Construction of a warehouse, office and parking spaces at 41336 Concept Drive. Site access would be provided by two proposed access drives off Concept Drive. It is noted as 1.86 acres total area.
- Water service would be provided by an existing 12-inch extension from the existing 12-inch water main along the south side of Concept Drive. A proposed 2-inch domestic lead and 6-inch fire lead would be provided to serve the building, along with a proposed hydrant lead on the northwest of the site.
- Sanitary sewer service would be provided from the existing 8-inch sanitary sewer along the south side of Concept Drive. A proposed 6-inch sewer lead extension from the existing 6-inch lead would be provided to serve the building.
- Storm water would be collected by a single storm sewer collection system and discharged to an existing manhole and 24-inch pipe on the west side of the site. The stormwater will eventually go to a regional detention basin (not shown on the plans).

General

1. The plans indicate a paved parking area and plant landscaping within the 12' private easement limits for DTE (L.31332, P.332). Including proposed trees within the 15' private easement for

tree trimming (L.31332, P.332) adjacent to the DTE easement. Provide record of the existing easements to confirm that the proposed work can be done within the easements.

These comments are to assist in plan preparation in anticipation of your engineering review submittal and are not required at this time for site plan approval:

1. Provide cost estimate with unit cost for construction of all the underground utilities and paving and grading to be installed with this project. The engineering review and construction inspection fees that we will compute based on the said estimate must be submitted to the Township prior to engineering plan review and approval.
2. The 2021 Plymouth Township Standard Details sheets must be included on the plans.

Water Main

1. Sheet C-6.0: Revise note in plans to indicate installation by Plymouth Township for 2-inch water service connection per Standard Detail (W-S).
2. The proposed hydrant lead will need to be accompanied by a 12-foot easement.
3. The Plymouth Fire Marshall shall review and approve the hydrant coverage for the site.

These comments are to assist in plan preparation in anticipation of your engineering review submittal and are not required at this time for site plan approval:

1. Sheet C-6.0:
 - a) The proposed valve box shut-off shall be located at one (1) foot inside property line.
 - b) Hydrants shall be placed at least 25 feet from any exterior wall, or a distance greater than the wall height, whichever is larger. Plans indicate a 36-foot wall height, and the hydrant is approximately 29 feet.
 - c) The fire department siamese connection must be located within 125 feet of a hydrant.
 - d) An additional gate valve and box are required on all fire lines and must be located one-foot outside the watermain easement.

Sanitary Sewer

1. Reuse of the existing sanitary sewer lead will require an internal inspection of the existing lead to determine the suitability of the pipe. The results of the internal inspection (video) must be provided to the DPW for evaluation. The existing sanitary sewer service shall be cleaned and televised to ensure pipe conditions are acceptable for installing a CIPP liner; in this case, the entire length of the existing sanitary sewer service shall be televised and a video submitted to the Township for approval. If the lead is found to be in suitable condition and a minimum of 6" in diameter, the sanitary lead may be reused and lined with cast in place pipe. If the lead is in unsuitable condition, the lead must be repaired or a new lead constructed, as necessary.

Storm Drainage

1. The original north storm detention system for the Metro Business Park was designed assuming a drainage coefficient for lots 1-10 and 15-23 of 0.75 which is higher than proposed drainage coefficient for the proposed site lot 1 of 0.7. A current review and approval from Wayne County DPS will be required to confirm that no on-site storm detention or pretreatment prior to discharging to the regional detention basin will be required.

2. Offsite surface runoff shall not be trapped along the development perimeter. If the existing runoff from adjacent properties passes onto the proposed site, the proposed storm sewer system must be sized to accommodate.
3. On-site drainage must be captured within the proposed development via the storm sewer network and will not be allowed to drain to adjacent properties.
4. All storm water design calculations are to follow Plymouth Township and Wayne County Department of Public Services standards and details.

These comments are to assist in plan preparation in anticipation of your engineering review submittal and are not required at this time for site plan approval:

1. Sheet C-4.0: Slope grades are to be provided.
2. Sheet C-8.0: Revise boundaries for area 9. Parts of area 9 appear to contribute to other several other drainage areas. Please revise drainage plan to accurately account for all drainage areas.

Site Paving

1. The vehicle turning plan appears to demonstrate a marginal turning maneuver, in particular the fire truck. Clarify the reverse movements for visibility, label the wheel path as well as the vehicle body overhang path, and verify that the truck has enough clearance to turn around.
2. Sidewalk is required along the Concept Drive frontage. Payment in lieu of sidewalk construction can be discussed with the Township Planning Department.

Permits and Agreements Required

Based on those improvements depicted on the plans, the following permits may be required and will need to be provided to the Township during Engineering Plan Review. Any changes to the approved site plan from the following agencies that impact the design may require reapproval.

Plymouth Township:

Note - A current title policy for ownership verification shall be provided with all executed easement submittals. Easements must be on the Plymouth Township Standard Easement document and include an exhibit.

- A draft copy of the Storm Drain Agreement. Agreement shall be on Plymouth Township standard agreement form and include Exhibit A and B.
- A draft copy of the 12-foot wide easement for water main construction.

Wayne County:

- Wayne County Department of Public Services approval and permit.
- Soil Erosion and Sedimentation permit from Wayne County Department of Public Services, Land Resource Management Division.
- Wayne County Roads permit for any work within the County ROW.

The following must be submitted with the Revised Site Plan:

A letter from either the applicant or the applicant's engineer must be submitted with the Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

Please be aware that additional comments may arise with the submittal of the requested revisions and/or additional information.

The comments are not to be construed as approvals and are not necessarily conclusive. The final engineering plans for this development are to be prepared in accordance with the Plymouth Township Engineering Design Standards and 2021 Plymouth Township Standard Details. Sanitary sewer and water benefit fees may be applicable for this project.

If you have any questions regarding this letter, please contact Luisa Amici at (248) 844-5400 with any questions.

Sincerely,

SPALDING DEDECKER



Luisa Amici
Municipal Engineer



Adam Chludzinski
Project Engineer

cc: Patrick Fellrath, Director of Public Services, Charter Township of Plymouth
Carol Martin, Office Manager, Charter Township of Plymouth
Laura Haw, Planning Director for Plymouth Township
Nani Wolf, Plymouth Township Planner
Jeremy Schrot, Township Engineer
Adam Chludzinski / Mark Collins, Spalding DeDecker



PLYMOUTH TOWNSHIP FIRE DEPARTMENT

9955 N. Haggerty Rd
Plymouth, Michigan 48170-4673

(734) 354-3219 Fax: (734) 354-9672
Emergency - Dial 911

Occupant Name: INDSITE ASSOCIATES
Address: 41336 Concept Drive
Suite:

Inspection Date: 2/25/2021
InspectionType: Site Plan
Inspected By: Jeff Randall
jrandall@plymouthtwp.org

Occ. Sq. Ft.:

Lockbox Location:

Contacts: -None-

Insp. Result	Location	Code Set	Code
Pass	Floor 1	IFC 2012 Section 503 Fire Apparatus Access Roads	503.1 - Fire Access Roads
Pass	Floor 1	IFC 2012 Section 503 Fire Apparatus Access Roads	503.1.1 - Buildings and facilities.
Pass	Floor 1	IFC 2012 Section 507 Fire Protection Water Supplies	507.5.1 - Fire Hydrant Location

No deficiencies found. Plans are approved as submitted.

Inspector:



Jeff Randall
2/25/2021

Jeff Randall
2/25/2021

Ref: 2708



Monthly Planning & Zoning Report

May 2023

McKenna provides day-to-day assistance to the Township, applicants, and public regarding zoning, planning and economic development matters, including on-site office hours every morning and as-needed.

PLANNING, ZONING, DESIGN & ECONOMIC DEVELOPMENT ACTIVITY

As part of our services to the Township, McKenna reviews Planning Commission applications and provides recommendations on long range planning, land use, zoning, and design. The following is a summary of active development projects; **yellow highlighting indicates new updates for the month.**

PROJECT # / ADDRESS	SCOPE	STATUS / NEXT STEPS
#2312 <i>Ponds at Andover</i>	Residential development with 7 single-family, detached units.	CHO Agreement recorded on March 22, 2022. Final stamp pending.
#2332 <i>Boleski Funeral Home</i>	Final site plan, with conditions, granted by the Planning Commission on July 21, 2021.	Final stamp in progress.
#2346 <i>Phoenix Mill</i>	Redevelopment of the former Wayne County Road Yard, adjacent to Hines Park, into an office and event space.	Final site plan granted by the Planning Commission on May 19, 2021; final stamp under review.
#2394 <i>Pursell Place CHO</i>	Eight single-family residential subdivision at 46200 N. Territorial Road.	The final CHO was approved by the Board of Trustees on July 12, 2022; final stamp and project close out is pending.
#2416 <i>Halyard Ridge</i>	Site plan for a 280,000 SF industrial spec. building at 15000 Ridge Road.	Final site plan approval granted on March 16, 2022. Applicant to finalize engineering and submit for final stamp.
#2444 <i>Plymouth Walk PUD</i>	Site development plan submitted for a residential Planned Unit Development (PUD) with 369 units. Final plan approval was recommended to the Board by the Planning Commission on August 17, 2022.	<p>The application (development plan and PUD contract) was approved by the Board of Trustees on September 13, 2022. Final stamp and the recording of the PUD contract pending.</p> <p>The Brownfield Plan was approved on October 10, 2022 by the Brownfield Redevelopment Authority, and subsequently approved by the Board of Trustees on November 15, 2022.</p> <p>Lot split application submitted on November 30, 2022; under review. Engineering, Wayne County, and EGLE submittals also under review.</p>



PROJECT # / ADDRESS	SCOPE	STATUS / NEXT STEPS
#2445 11211 Haggerty	Lot split application for single-family residential developments.	Application undergoing discussions with Wayne County regarding the public road dedication process.
#2458 205 Ann Arbor Rd	Site plan for a second drive-through lane, dumpsters, and lighting at the existing Taco Bell restaurant.	Planning Commission tabled the application for up to 6 months at regular meeting on March 15, 2023. A revised site plan is anticipated for consideration at the August 2023 Planning Commission meeting.
#2459 Plymouth Exchange	Site plan for an industrial development consisting of three spec. buildings at the southeast corner of Five Mile and Napier Roads.	The Planning Commission granted final site plan approval, with conditions, on December 14, 2022. The applicant was granted several variances from the ZBA on January 5, 2023. Applicant to submit final plan set for administrative approval incorporating changes.
#2460 Ilmore Building Expansion	Site plan for a ±6,800 square foot building addition to the existing industrial facility at 43939 Plymouth Oaks Boulevard.	The Planning Commission approved the application on January 18, 2023; final stamp in progress.
#2461 Undercover Storage	Lot split for 40855 Schoolcraft Road to create two parcels: one for Undercover Storage and one for the Johnson Drain.	Approved; file to be closed.
#2464 Northville Downs Racetrack	PUD application for a racetrack development, located in the MITC.	Board of Trustees approved PUD Option on February 28, 2023. Planning Commission recommended approval of the development plan and PUD agreement, with conditions, at the May 31 meeting.
#2465 Bigby Coffee	Site plan application for a drive-thru coffee shop at 1311 Ann Arbor Road.	Planning Commission granted final site plan approval with conditions at the April 19 regular meeting. Awaiting revised plans for administrative check that conditions have been met.
#2466 Sarafund Auto 14760 Northville	Special land use application for used car sales and outdoor vehicle storage and an automobile commercial garage (oil change and repair).	Planning Commission tabled the application for up to 6-months at regular meeting on March 15, 2023. Applicant must re-submit before the deadline for the September 15 meeting, otherwise the file will be closed.
#2471 14900 Beck	Lot split application to subdivide 5-acres from the existing USA Hockey Arena site for outdoor vehicle storage and a self-storage facility.	Approved; file to be closed.
#2469 St. Kenneth Catholic Church	Land combination application for the principal church parcel and the church youth center parcel.	Application under review.
#2470 & #2477 Halyard Ridge	Special land use application and amended site plan application for an outdoor storage yard at 15000 Ridge Road.	Planning Commission granted tentative and final site plan approval at the April 19 regular meeting.
#2472 & #2473 Inn at St. Johns Townhomes	PUD Option and lot split application for a townhome development on a portion of the Inn at St John's golf course.	Board of Trustees granted PUD Option approval at the May 9 regular meeting.



PROJECT # / ADDRESS	SCOPE	STATUS / NEXT STEPS
#2474 Sparr's Greenhouse	Conditional rezoning application for Sparr's Greenhouse, 42510 Joy Rd, and adjacent parcels on Lilley Rd.	Planning Commission recommended denial at the April 19 regular meeting. Application will be considered at a future Board of Trustees meeting; date TBD.
#2475 & #2476 39601 Ann Arbor	Special land use application and amended site plan application for a drive-through Tim Horton's coffee shop.	Planning Commission granted Special Land Use approval with conditions + tentative and final site plan approval with conditions at the April 19 regular meeting. Awaiting revised plans for administrative check that conditions have been met.
#2480 Lot 14 Concept Drive	Tentative and final site plan application submitted for an industrial building at 41015 Concept Drive.	Planning Commission granted tentative and final site plan approval with conditions at May 17, 2023 regular meeting.
#2481 & #2482 Penske Trucking	Special land use application and site plan application for an outdoor storage facility at 40111-40251 Schoolcraft Road.	Planning Commission granted Special Land Use approval with conditions + tentative site plan approval with conditions at May 17, 2023 regular meeting.
#2484 Meijer	Special land use application for grocery and commercial store with a separate (outlot) gas station and convenience store at 47500 Five Mile Road.	Application under review; public hearing is scheduled for June 21 regular Planning Commission meeting.

RECOMMENDATIONS / NEXT MONTH'S OUTLOOK

DTE Electric Chargers. On August 25, 2022, the Township was awarded a \$110,000 rebate from DTE for the installation of two electric vehicle chargers at Township Hall (brand/model: ChargePoint Express Plus Level 3). Staff have requested that DTE extend the electric line and are awaiting a date and time from DTE. The chargers have arrived at Township Hall and are waiting for installation. Construction is underway as of May 1 to install the concrete pads which will support the chargers and transformer box.

Zoning Ordinance Text Amendment: Parking Standards. A text amendment to *Article 24: Parking* of the Zoning Ordinance is currently being drafted by the Planning Department. The Planning Commission continues to discuss this topic and will consider a full amendment text in 2023.

Planning Commission Training. In 2022, five Planning Commissioners successfully completed a several-month training hosted by Michigan State University's Citizen Planner Program; Commissioner Berry (appointed January 2023) will be enrolling in the course in 2023. The program offers land use education for locally appointed and elected planning officials and interested residents throughout the state. The program teaches the fundamentals on roles, responsibilities, and best practices for planning and zoning in Michigan.

CONTACT US

Should you have any questions on the above projects or would like additional information, please contact your Plymouth Township team at:

- Laura Haw, AICP, NCI (lhaw@mcka.com)
- Nani Wolf, AICP, CAPS (nwolf@mcka.com)