

MEMBERS

GARY STANCELL, District 3

Chairman

DAVID COX, District 6

Vice Chairman

ROBERT BALLENTINE, District 1

PHILIP SMITH, District 4

JON HUMPHREY, District 5

PICKENS COUNTY

SOUTH CAROLINA



PLANNING COMMISSION

AGENDA

Pickens County Administration Building
Main Conference Room
222 McDaniel Avenue, Pickens, South Carolina

December 12, 2022

Planning Commission Workshop - 6:00
Planning Commission Meeting - 6:30 pm

I. Welcome and Call to Order

Moment of Silence
Pledge of Allegiance

II. Introduction of Members

III. Approval of Minutes

November 14, 2022

IV. Public Comments

Members of the public are invited to address the Planning Commission on relevant topics not on this agenda.

V. Public Hearings

SD-22-0009: Subdivision Review for the creation of 7 new single-family lots from a single 117-acre tract of land. The subject property is located at Ambler School Road. The applicant is Leland Nicholson. The property owner of record is Leland B. and Breattie K. Nicholson. TMS# 5104-00-95-9167.

LU-22-0011: Land Use Review for a communication tower on a 10-acre parcel of land. The subject property is located at 401 Six Mile Road in Six Mile. The applicant is ETS Construction. The property owner of record is Duke Energy. The TMS# is 4059-00-86-4317.

LU-22-0012: Land Use Review for an electrical substation on a 17.4-acre parcel of land. The subject property is located at 299 N. Fish Trap Road in Easley. The applicant is Richard Hiner. The property owner of record is Duke Energy Carolinas, LLC. The TMS# is 5059-09-06-9341

SD-22-0012: Subdivision Review for the creation of 1268 new single-family lots on what is currently three parcels totaling 664-acres of land. The subject properties are located at Lenhardt Road, Jim Hunt Road, Hinton Road, and Norman Drive. The development will include 946 single-family homes and 322 Townhomes. The applicant is Kevin Tumblin. The property owner of record is Alice Manufacturing Company, Inc. The TMS#s are 5130-00-56-5704, 5130-16-84-9381, and 5130-16-92-4623.

VI. New Business

VII. Commissioner and Staff Discussion

VIII. Adjourn

Pickens County Government does not discriminate on the basis of race, color, or national origin, under Title VI of the Civil Rights Act. Persons who believe their access to services or programs is limited in violation of the Title VI may contact the Title VI Coordinator at 864-898-5844.

The meeting site is accessible to persons with disabilities. Accommodations for persons with disabilities may be arranged in advance by calling the Title VI Coordinator at 864-898-5844.

222 MCDANIEL AVENUE, B-10 • PICKENS, SC 29671 • 864.898.5956 • WWW.CO.PICKENS.SC.US

PICKENS COUNTY PLANNING COMMISSION

MINUTES

of

September 12, 2022

6:30pm

PICKENS COUNTY ADMINISTRATION BUILDING Main Conference Room

NOTICE OF MEETING AND PUBLIC HEARING: Pursuant to Section 30-4-80 of the S.C. Code of Laws, annual notice of this Commission's meetings was provided by January 1, 2022 via the Pickens County Website and posted next to the Offices of the County Planning Department. In addition, the agenda for this meeting was posted outside the meeting place (Pickens County Administration Building Bulletin Board) and was emailed to all persons, organizations, and news media requesting notice. Notice for the public hearings was published in the *Pickens County Courier*, posted on the properties subject of public hearing(s), and emailed to all persons, organizations, and news media requesting notice pursuant to Section 1205(d)(1) of the Pickens County Unified Development Standards Ordinance.

MEMBERS PRESENT:

Gary Stancell, Chair
David Cox, Vice Chairman
Phil Smith
Jon Humphrey
Bobby Ballentine

STAFF PRESENT:

Ray Holliday, County Planner
Todd Steadman, Planner

Welcome and Call to Order

Mr. Stancell, the Presiding Official, called the meeting to order and asked those in attendance to join in a moment of silence and then asked everyone to recite the Pledge of Allegiance.

Mr. Stancell then asked for the members of the Commission to introduce themselves.

Approval of Minutes

Mr. Stancell called for approval of the minutes of the June 13, 2022 meeting.

Mr. Smith made a motion to approve the minutes. Mr. Humphrey seconded.

Mr. Stancell called for vote. The motion passed unanimously (5-0).

Mr. Stancell called for approval of the minutes of the August 8, 2022 meeting.

Mr. Humphrey made a motion to approve the minutes. Mr. Smith seconded.

Mr. Stancell called for vote. The motion passed unanimously (5-0).

Public Comments

Chairman Stancell asked if there was anyone present who wished to make a public comment. There were no public comments provided.

Public Hearings

Mr. Stancell opened the public hearing portion of the meeting and called for the first case being heard.

SD-22-0007: SD-22-0007: Subdivision Review for the creation of a new 99 home single-family subdivision. The subject property is located at 321 Fish Trap Road. The applicant is Freddy Taylor. The property owner of record is Iozzino Eugen Kenneth Trust. TMS# 5059-09-06-8947.

Developer James Curtis and Joe Metters with Ridgewater Engineering spoke about the project.

There was discussion about adding a secondary/emergency entrance. The developer said that due to limited frontage on Fish Trap there was not going to be a second entrance there but the potential for one was being designed at the end of one of the cul-de-sacs.

The developer confirmed that all lighting would be dark sky compliant.

There was discussion about sidewalks and the developer was not sure if they had them in this plan or not but when they do install them they are usually on one side of the street.

There was discussion about whether the entire site would be clear cut and the developer said that due to the topography most of the site would be clear cut with a fair amount of grading. However, the areas near the creek and stream would leave a 90' buffer.

There was discussion about the roadway ownership and the role of the HOA. The developer said they typically used a third party entity to run their HOA.

There was discussion of home size and cost and the current target is 1800-2600 square foot homes in the high \$200's to low \$300's.

Mr. Stancell asked if anyone else would like to speak or if there were any other questions or concerns related to this project. Hearing none Mr. Stancell called for a motion.

Mr. Ballentine made a motion to approve the project with the following conditions:

Approval as presented with the provision of a secondary emergency entrance (or the potential for one), to add sidewalks to one side of the street, for all street lighting to be Dark Sky Compliant, for there to be a buffer of some sort between North Fish Trap Road and the rear of the nine lots abutting North Fish Trap Road, to commit to planting a minimum of 200-2.5" caliper canopy trees, and to have participation in an HOA to be included as part of the deed.

Mr. Cox seconded the motion. Mr. Stancell called for discussion. There was none so he called for a vote. The motion passed unanimously (5-0).

Mr. Stancell opened the public hearing portion of the meeting and called for the second case being heard

SD-22-0008: Subdivision Review for the subdivision of an 18.3 acre parcel of land to form a total of 9 lots. The subject property is located on Horsepasture Road. The applicant is Heritage Forest, LLC. The property owner of record is Heritage Forest, LLC. TMS# 4124-00-93-5181

Mr. James Anthon and Roy Costner were present to speak on behalf of the project.

The applicant addressed the concern about fire protection stating that the Vineyards has assured them they were in a position to provide fire protection and that the sites were all within 1200' of a hydrant.

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2 There was discussion about the ownership of the road and Mr. Anthony clarified that this was not a DNR road but a
3 private road.
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5 There was clarification that lots 2A, 4A, and 5A were not buildable lots and were designated septic drain fields for lots
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14 Mr. Stancell then opened the public hearing session for an item of new business.
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16 **New Business:** Consideration of renaming the Pickens County Law Enforcement Center located at 216 C
17 David Stone Rd. to the C. David Stone Pickens County Law Enforcement Center.
18

19 There were no public comments.
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21 Mr. Steadman read the notes from Council that stated that under the advice of County Attorney Les Hendricks, and
22 per Rule 5.9 in Council Rules, that the renaming of the Law Enforcement Center to the C. David Stone Pickens
23 County Law Enforcement Center would need to go to the Planning Commission to be approved and then
24 come back to Council for a public hearing and a vote. This decision to remand the matter to the Planning
25 Commission received unanimous support by Council.
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35 It was requested that staff try to provide an explanation for this procedure/process at the next Planning
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43 There was none.
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45 **Adjourn**

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Submitted by:

Secretary

Date

Approved by:

Chairman

Date

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Submitted by:

Secretary

Date

Approved by:

Chairman

Date

SD-22-0009

Table Rock Ranch Subdivison

SD-22-0009: Table Rock Ranch Subdivision

Staff Report

Planning Commission Public Hearing:

December 12, 2022 6:30 PM

The following report constitutes an assessment and evaluation by Planning staff on the above mentioned request.

Applicant: Leland Nicholson
71 Mainsail Drive
Salem SC 29676

Property Owner(s): Leland B. and Breattie K. Nicholson

Property Location: Ambler School Road

Acreage: 117

Tax Map Number: 5104-00-95-6197

County Council District 3

Land Use Request: Creation of a 7 new single-family lot subdivision.

Variance Request(s) from Planning Commission: None

Request Overview:

The subject property is currently a 117-acre tract. The owner would like to carve out 7 mini-farm single-family home sites ranging from 12- to 24-acres with setbacks, restrictions on subdividing, and HOA covenants. The project will use wells and septic.

Current Property Use:

The property is listed on the Assessor's site as vacant.

Surrounding Area:

The subject property fronts Ambler School Road about 1000 feet from 425 Ambler School Road. The property is designated as "Rural Places" on the Comp Plan which calls for large home sites and low density. The property is surrounded on all sides by agricultural uses, vacant land, or low-density development.

Utilities & Infrastructure**Transportation:**

The property is served by Ambler School Road which is a County maintained roadway.

Water: Properties to be serviced by wells.

Sewerage: Properties to be serviced by individual septic systems.

Property Development History:

This property appears to have been vacant for as far back as the Assessor's records go.

Comments from Reviewing Agencies:

SCDOT: N/A.

Pickens County Engineer:

The City Engineer and Director of Roads and Bridges confirmed that the existing entrance into the site does not meet the required sight distance of 315-feet. It was further noted that there is no location on the frontage of this property that will meet these guidelines. Since this is an existing entrance the consensus view is that the owner can continue to use the entrance, can maintain it with gravel and can install a sign identifying the subdivision, however, any paving of the entrance or relocation of the entrance will require an encroachment permit and that under current conditions and standards an encroachment permit would not be approved by Pickens County due to the lack of adequate sight line.

Schools:

N/A

Staff Analysis of Standards for Land Use Approval:

Staff analysis of the application is made based upon the findings criteria as set forth in Section 1205(f) of the UDSO. The applicant has submitted his/her response to the same findings criteria.

- A. Is the proposed use consistent with other uses in the area or the general development patterns occurring in the area?*

The proposed use, if developed according to existing county standards and according to the applicant's submitted proposal, will be consistent with uses in the immediate area and the direction set by the Comp Plan.

- B. Will the proposed use adversely affect the existing use or usability of adjacent or nearby property?*

With strict adherence to the development standards for the proposed uses, the proposed use should not adversely affect the existing use of adjacent property.

- C. Is the proposed use compatible with the goals, objectives, purpose and intent of the Comprehensive Plan?*

The proposed use is consistent with the adopted Future Land Use/Character Area map of the Comprehensive Plan. The Character Area designation for the area is Rural Places.

- D. Will the proposed use not cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?*

If developed according to adopted development standards, the project should not cause a burden on existing facilities or services.

- E. Is the property suitable for the proposed use relative to the requirements set forth in this development ordinance such as off-street parking, setbacks, buffers, and access?*

Yes. The applicant's proposal before the Commission will meet the respective standards as set forth in the Unified Development Standards Ordinance of Pickens County.

- F. Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?*

As proposed by the applicant and as outlined in the UDSO for such uses, the proposed development of the property in question should provide for a balance of competing interests.

General Requirements for Residential Developments

Residential Lot Area

Conventional Developments

½-acre lot minimum (when served by well and septic)

Development as Proposed

12-acre lot minimum

Residential Dwelling Unit Density

Conventional Developments

2 dwelling units (du)/acre (when served by well and septic)

Development as Proposed

.085 du/acre

Setbacks

Conventional Developments

20' front, 7' side, 10' rear

Development as Proposed

50' Front, 100' side, 100' rear

Maximum # of Lots Allowed

Conventional Developments

234 (when served by well and septic)

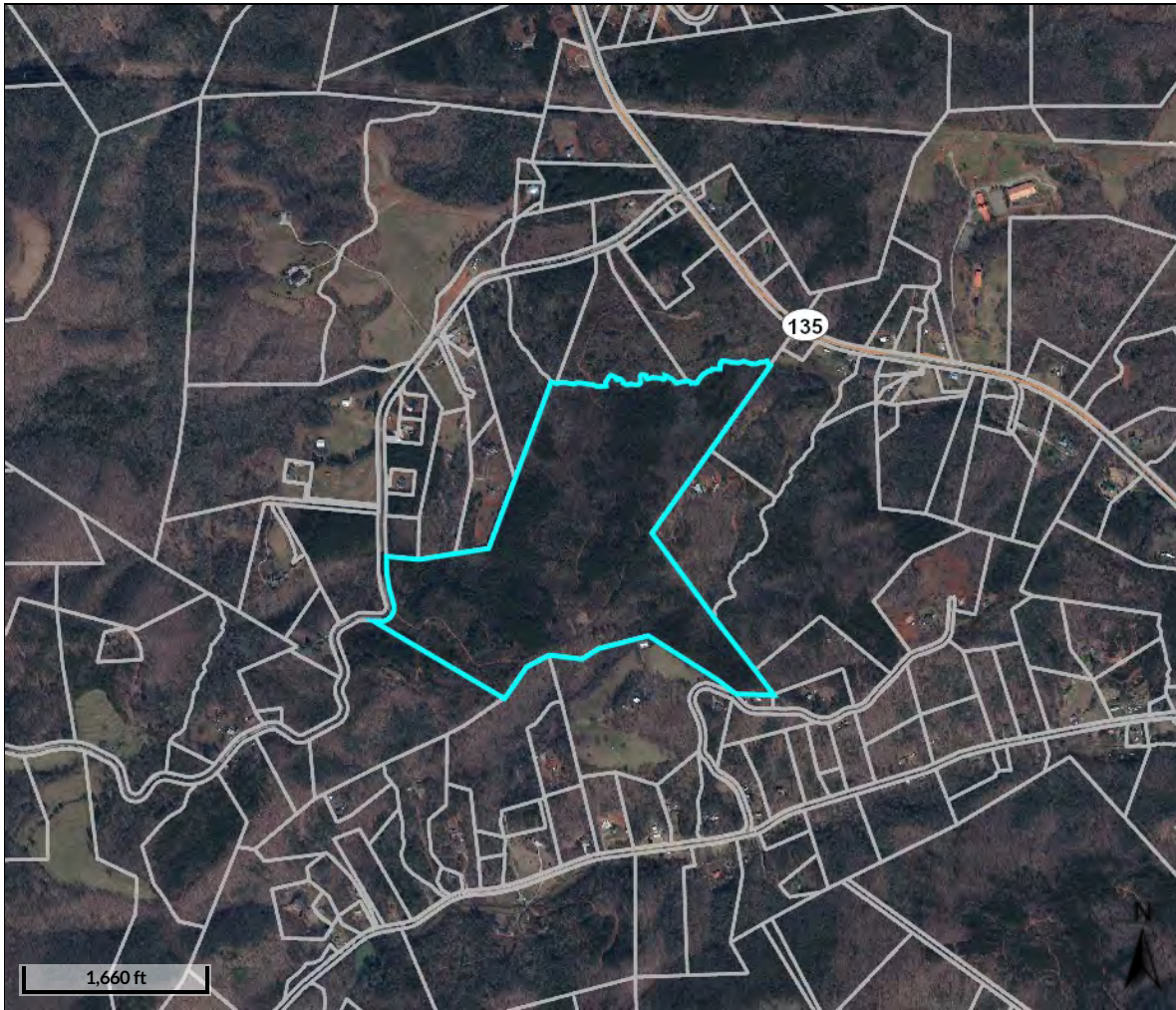
Development as Proposed

7 Lots

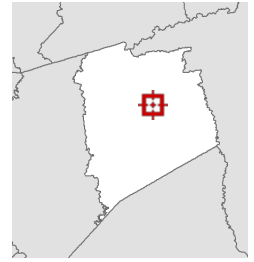
Planning Staff Recommendation:

APPROVAL, WITH CONDITIONS



Staff recommends approval of the subdivision as presented with the understanding that until and/or if an encroachment permit is issued by the County, the driveway entrance shall stay where it is and only be maintained as a gravel road and that all current and future property owners assume the risk of living on a drive that does not meet minimum standards of the County in regard to line of sight. The driveway/road on private property can be paved.



Overview



Legend

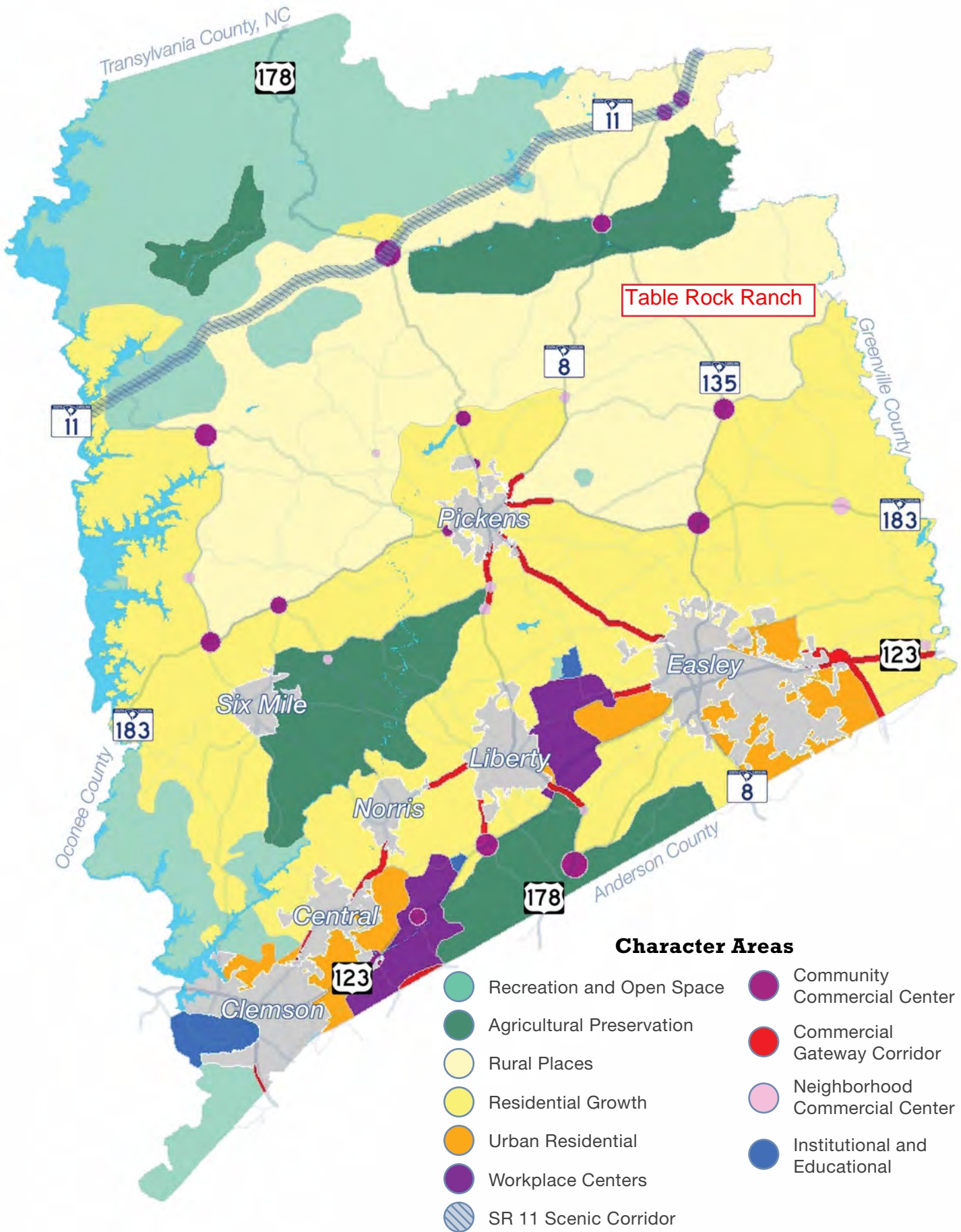
-  Parcels
-  Roads

Parcel ID	5104-00-95-6197	Account	Residential	Ownership	EVANS MARY	Documents			
Account No	R0092469	Type			ANN	Date	Price	Doc	Vacant or Improved
Property		Class	n/a		ANTHONY				
Address		Acreage	117.58		C/O SUE	5/10/2021	\$0	613/95	Vacant
District	A11-Pumpkintown	LEA	0004		ROHRBAUGH	10/2/2020	\$0	612/6	Vacant
Brief	SE/SIDE AMBLER SCHOOL RD PLAT	Code			45614 ANGIE				
Tax Description	603/161 PLAT 612/6 PLAT 613/95 TR	Value	\$10,815		LANE				
	A				NORWOOD,				
	(Note: Not to be used on legal documents)				NC 28128				

Date created: 9/7/2022

Last Data Uploaded: 9/7/2022 1:00:25 AM

Developed by  **Schneider**
GEOSPATIAL



PICKENS COUNTY

SOUTH CAROLINA

ENGINEERING DEPARTMENT

186B County Farm, Pickens, SC 29671
864-898-5966



August 19, 2022

Pickens County Community Development
222 McDaniel Avenue, B-10
Pickens, SC 29671
Attn: Mr. Todd Steadman

Re: Table Rock Ranch – Sight Distance at Existing Road

Mr. Steadman,

Mr. Joey Gray, Roads & Bridges Permit Manager, met Mr. Leland Nicholson onsite to check the sight distance of the entrance to the existing gravel road at Ambler School Road. Mr. Gray confirmed that the entrance of the gravel road does not meet the required sight distance of 335-ft. They discussed moving the entrance to a different location along Ambler School Road, but Mr. Gray stated that there was nowhere along the road frontage of the property that met sight distance requirements.

Since this is an existing entrance, the Pickens County Roads & Bridges and Engineering Departments cannot stop Mr. Nicholson from using it to access his property. However, Pickens County has confirmed that this entrance does not meet sight distance requirements and assumes no liability in the event that an accident should occur as a result of using this entrance. If any modifications are made to the entrance that would require an encroachment permit from Pickens County, the permit will not be approved due to the lack of sight distance.

As stated in the pre-application meeting on Wednesday, August, 18th, the Planning Commission should be made aware of this information.

If you have any questions, please feel free to contact this Department.

Sincerely,

Rodney Robinson
Pickens County Staff Engineer

Cc: Ray Holliday, Pickens County Community Development
Allison Fowler, Pickens County Community & Tourism Development
Renee Gray, Pickens County Roads & Bridges Department
Michael Clark, Pickens County Roads & Bridges Department

APPLICATIONS FOR LAND USE AND SUBDIVISION REVIEW HEARINGS



Thank you for your interest in Pickens County, South Carolina. This packet includes the necessary documents for Land Use Reviews to be heard by the Pickens County Planning Commission.

Should you need further assistance, please feel free to contact a member of the Planning Staff between the hours of 8:00 a.m. and 5:00 p.m., Monday through Friday at (864) 898-5956

This institution is an equal opportunity provider and employer.

If you wish to file a Civil Rights program complaint of discrimination, complete the USDA Program Discrimination Complaint Form, found online at http://www.ascr.usda.gov/complaint_filing_cust.html, or at any USDA office, or call (866) 632-9992 to request the form. You may also write a letter containing all of the information requested in the form. Send your completed complaint form or letter to us by mail at U.S. Department of Agriculture, Director, Office of Adjudication, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410, by fax (202) 690-7442 or email at program.intake@usda.gov.



PICKENS COUNTY

SOUTH CAROLINA



COMMUNITY DEVELOPMENT

BUILDING CODES ADMINISTRATION • STORMWATER MANAGEMENT • PLANNING

APPLICATION FOR:

☐ Land Use Review /Subdivision Review

☐ Subdivision Variance

Case No.: _____ - _____ - _____

Note to Applicant: All applications must be typed or legibly printed and all entries must be completed on all the required application forms. If you are uncertain to the applicability of an item, please contact a member of the Planning Staff. Incomplete applications or applications submitted after the posted deadlines will be delayed.

Name of Applicant _____

Mailing Address _____

Telephone _____ Email _____

Applicant is the: Owner's Agent _____ Property Owner _____

Property Owner(s) of Record _____

Mailing Address _____

Telephone _____ Email _____

Authorized Representative _____

Mailing Address _____

Telephone _____ Email _____

Address/Location of Property _____

Existing Land Use _____ Proposed Land Use _____

Tax Map Number(s) _____

Total Size of Project (acres) _____ Number of Lots _____

Utilities:

Proposed Water Source: ☐ Wells ☐ Public Water Water District: _____

Proposed Sewer: ☐ Onsite Septic ☐ Public Sewer Sewer District: _____

REQUEST FOR VARIANCE (IF APPLICABLE):

Is there a variance request from the subdivision regulations or county road ordinance? ☐ Yes ☐ No

If YES, applicant must include explanation of request and give appropriate justifications.

RESTRICTIVE COVENANT STATEMENT

Pursuant to South Carolina Code of Laws 6-29-1145:

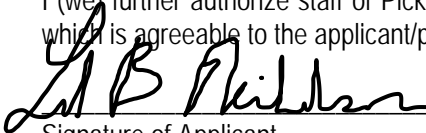
I (we) certify as property owner(s) or as authorized representative for this request that the referenced property:

- ☐ **IS** subject to recorded restrictive covenants and that the applicable request(s) is permitted, or not otherwise in violation, of the same recorded restrictive covenants.
- ☐ **IS** subject to recorded restrictive covenants and that the applicable request(s) was not permitted, however a waiver has been granted as provided for in the applicable covenants. *(Applicant must provide an original of the applicable issued waiver)*
- ☒ **IS NOT** subject to recorded restrictive covenants

SIGNATURE(S) OF APPLICANTS(S):

I (we) certify as property owners or authorized representative that the information shown on and any attachment to this application is accurate to the best of my (our) knowledge, and I (we) understand that any inaccuracies may be considered just cause for postponement of action on the request and/or invalidation of this application or any action taken on this application.


I (we) further authorize staff of Pickens County to inspect the premises of the above-described property at a time which is agreeable to the applicant/property owner.


Signature of Applicant

Date

PROPERTY OWNER'S CERTIFICATION

The undersigned below, or as attached, is the owner of the property considered in this application and understands that an application affecting the use of the property has been submitted for consideration by the Pickens County Planning Commission.


Signature of Owner(s)

Date

PICKENS COUNTY STAFF USE ONLY

Application Processing

Date Received _____ Received By _____

Pre-Application meeting held with _____ on _____

Application Forwarded to (date):

DHEC _____ ☐ N/ACounty Engineer _____ ☐ N/ASCDOT _____ ☐ N/ALocal VFD _____ ☐ N/ASchool Board _____ ☐ N/A

Hearing and Action

Planning Commission Hearing Date _____

Deadline for Notice to Paper _____ to run _____

Letter of Hearing Sent to Applicant _____

Sign Placement Deadline _____

Planning Commission Action(date)_____

☐ Approval ☐ Approval w/ modifications ☐ Denial
Modifications _____

Notice of Action to Applicant _____



Pickens County, South Carolina LAND USE REVIEW Application Process and Requirements

This application applies to the following uses when proposed in the unincorporated areas of the county:

- A. Hazardous Waste and Nuclear Waste Disposal Sites
 - B. Motorized Vehicle Tracks (commercial)
 - C. Mining and Extraction Operations
 - D. Gun Clubs, Skeet Ranges, Outdoor Firing Ranges
 - E. Stockyards, Slaughterhouses, Feedlots, Kennels and Animal Auction Houses
 - F. Golf Courses
 - G. Certain Public Service Uses
 - Land Fills
 - Water and Sewage Treatment facilities
 - Electrical Substations
 - Prisons
 - Recycling Stations
 - Transfer Stations
 - Schools
 - Water and Sewer Lines
 - H. Large Scale Projects
 - Any project that is capable of generating 1,000 average daily vehicle trips or more.
 - A truck or bus terminal, including service facilities designed principally for such uses.
 - Outdoor sports or recreational facilities that encompass one (1) or more acres in parking and facilities.
 - I. Major Subdivisions
 - J. Communication Towers
 - K. Tattoo Facilities
 - L. Mobile Home Parks/Manufactured Home Parks
 - M. Sexually Oriented Business
 - N. Salvage, junk, and scrap yards
 - O. Uses within the Airport District
-

APPLICATION PROCESS

1. A Pre-Application meeting with a Planning Staff member is required before an application can be submitted and accepted. For certain requests, this pre-application meeting will involve several county departments. For this reason, this meeting will need to take place well in advance of filing an application with the Planning Department so that all questions can be asked of staff prior to the formal submittal of any application.
2. An application is submitted, along with any required filing fee, to the Planning Department according to the set deadline schedule (see attached schedule).
3. The Planning Department shall review the application for completeness within 5 business days of submission. In complete or improper applications will be returned to the applicant.
4. If the application is considered complete and proper then the planning staff will further review the application and may make a written recommendation. The written recommendation is available to the applicant approximately five days before the Planning Commission's public hearing. Copies of the report may be obtained from the Planning Department.
5. Legal notice is required to be printed in a newspaper of general circulation in Pickens County. This notice currently appears in the Pickens County Courier at least 15 days before public hearings in the legal notice section.
6. A public hearing sign is erected on the property at least 15 days before the public hearing. This sign will be erected and removed by the applicant or applicant's agent.

7. The Planning Commission reviews the proposed land use request and takes action on the request following the public hearing. The Planning Commission meets the second Monday of each month. Meetings are held at 6:30 P.M. at the County Administration Building, Main Conference Room, Pickens, South Carolina
 8. The Commission shall review and evaluate each application with respect to all applicable standards contained within the Unified Development Standards Ordinance (UDSO). At the conclusion of its review, the Planning Commission may approve the proposal as presented, approve it with specified modifications, or disapprove it.
 9. In consideration of a land use permit, the Planning Commission shall consider factors relevant in balancing the interest in promoting the public health, safety, or general welfare against the right of the individual to the unrestricted use of property and shall consider specific, objective criteria. Due weight or priority shall be given to those factors that are appropriate to the circumstances of each proposal.
 10. A decision of the Planning Commission may be appealed as provided for in Title 6, Chapter 29 of the South Carolina Code.
 11. Within 15 days of the Planning Commission taking action on the request, planning staff will send the applicant a Notice of Action.
 12. Any applicant wishing to withdraw a proposed land use permit prior to final action by the Planning Commission shall file a written request for withdrawal with the Director of Community Development.
 - If the request for withdrawal is received prior to the publication of notice for the public hearing, the Director of Community Development shall withdraw the application administratively without any restriction on the re-filing of a proposed land use permit on the property in the future.
 - If notice has been published (or is irretrievably set for publication) and the application has not been heard by the Planning Commission, the application shall remain on the Planning Commission's public hearing agenda and the withdrawal request shall be considered for approval or denial, with or without prejudice, by the Planning Commission.
 13. All associated fees are non-refundable. If a case is withdrawn or postponed at the request of the applicant, after the notice has been placed with the newspaper, the applicant is responsible for all associated cost of processing and advertising the application; the County must be reimbursed for these cost by the applicant.
-

The items listed below are necessary to process a Land Use Review application. Please see the attached schedule of filing deadlines and meeting dates. A pre-application conference with Planning Staff to discuss the proposal is required.

Any amendments to an application must be submitted to the Planning Department for staff review at least 10 days prior to the Planning Commission hearing.

REQUIRED ITEMS

1) **APPLICATION FORM:**

One (1) copy of the appropriate Application form with all required attachments and additional information must be submitted.

2) **LETTER OF INTENT:**

A. One (1) copy of a Letter of Intent (must be typed or legibly printed).

B. The Letter of Intent must give details of the proposed use of the property and should include at least the following information:

1. A statement as to what the property is to be used for;
2. The acreage or size of the tract;
3. The land use requested;
4. The number of lots and number of dwelling units or number of buildings proposed;
5. Building size(s) proposed;
6. If a variance of the subdivision regulations is also being requested, a brief explanation must also be included.

3) SKETCH PLAN (major subdivisions):

- A. An application for a land use permit for a major subdivision shall be accompanied by a sketch plan.
- B. A sketch plan must be prepared by a professional engineer, a registered land surveyor, a landscape architect, or a certified land planner. The applicant may prepare the concept plan if approved by the Community Development Director.
- C. The sketch plan shall be drawn to approximate scale on a boundary survey of the tract or on a property map showing the approximate location of the boundaries and dimensions of the tract.
- D. The sketch plan shall show, at a minimum, the following:
 1. Proposed name of the development
 2. Acreage of the entire development
 3. Location map
 4. Proposed lot layout
 5. Minimum lot size with anticipated overall density (lots/acre)
 6. Setbacks, with front setbacks shown, side and rear may be stated
 7. All proposed rights-of-way with applicable widths
 8. Natural features located on the property
 9. Man-made features both within and adjacent to the property including:
 - a. Existing streets and names (with ROW shown)
 - a. City and County boundary lines
 - b. Existing buildings to remain
 10. Proposed areas of public dedication (conservation areas/open space)
 11. Flood plains and areas prone to flooding
 12. Such additional information as may be useful to permit an understanding of the proposed use and development of the property.

4) SKETCH PLAN (multi-family and non-residential):

- A. An application for a land use permit for a multi-family project or a non-residential project shall be accompanied by a sketch plan.
- B. A sketch plan must be prepared by a professional engineer, a registered land surveyor, a landscape architect, or a certified land planner. The applicant may prepare the sketch plan if approved by the Community Development Director.
- C. The sketch plan shall be drawn to approximate scale on a boundary survey of the tract or on a property map showing the approximate location of the boundaries and dimensions of the tract.
- D. The sketch plan shall show, at a minimum, the following:

1. Proposed name of the development
2. Acreage of the entire development
3. Location map
4. Proposed building(s) location(s)
5. Anticipated property density stated as a FAR (Floor to Area Ratio)
6. Setbacks, with front setbacks shown, side and rear may be stated
7. Proposed parking areas
8. Proposed property access locations
9. Natural features located on the property
10. Man-made features both within and adjacent to the property including:
 - a. Existing streets and names (with ROW shown)
 - b. City and County boundary lines
 - c. Existing buildings to remain
11. Required and proposed buffers and landscaping
12. Flood Plains and areas prone to flooding
13. Such additional information as may be useful to permit an understanding of the proposed use and development of the property.

5). ATTACHEMENTS

All attachments must be included in order for the application to be considered complete

Attachment A – "Standards For Land Use Approval Consideration"

Attachment B – "Application Checklist"



Pickens County, South Carolina
Attachment A
LAND USE REVIEW
Standards of Land Use Approval Consideration

In consideration of a land use permit, the Planning Commission shall consider factors relevant in balancing the interest in promoting the public health, safety, and general welfare against the right of the individual to the unrestricted use of property and shall specifically consider the following objective criteria. Due weight or priority shall be given to those factors that are appropriate to the circumstances of each proposal.

Please respond to the following standards in the space provided or you may use an attachment as necessary:

- (A) Is the proposed use consistent with other uses in the area or the general development patterns occurring in the area?

- (B) Will the proposed use not adversely affect the existing use or usability of adjacent or nearby property?

- (C) Is the proposed use compatible with the goals, objectives, purpose and intent of the Comprehensive Plan?

- (D) Will the proposed use not cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?

- (E) Is the property suitable for the proposed use relative to the requirements set forth in this development ordinance such as off-street parking, setbacks, buffers, and access?

- (F) Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?



Pickens County, South Carolina
Attachment B
LAND USE REVIEW
Application Checklist

The following is a checklist of information required for submission of a Land Use Review application. Incomplete applications or applications submitted after the deadline will be delayed.

_____ Completed application form

_____ Letter of intent

_____ Sketch Plan (major subdivisions) – 8 copies and one (1) reduction to 8 ½" x 11"

_____ Sketch Plan (for multi-family and non-residential) – 8 copies and one (1) reduction to 8 ½" x 11"

_____ Attachment "A"

8/23/2022

Leland B Nicholson
71 Mainsail Drive
Salem, SC 29676

Mr. Todd Steadman
Community Development Director – Pickens County
222 McDaniel Avenue, B-10
Pickens, SC 29671

Subject: "Table Rock Ranch" Plan A -- 117 Acre 7 plat Ambler School Rd Development Letter of Intent

Dear Mr. Steadman,

Thank you for your time and input last Thursday during the Pre-Planning meeting of the Pickens County Staff. I appreciate the time and professional attention given to this proposal by all. This is a revised Letter of Intent based on the input received. I am submitting this prior to the September 5th deadline in hopes of presenting at the October 10th Planning Commission Meeting as discussed. We are currently assuming that this will be considered a Major Subdivision under UDSO 502 (b) and 503 (b) (1) Conventional Subdivision.

This proposal is for a high-quality subdivision of 117 acres into 7 mini-farm single family home sites ranging from 12 to 24 acres with high-quality visual appeal setbacks, subdividing restrictions, HOA buildout and use covenants, and a 50-foot easement Common Road located at the existing "Old Woods Road" access point and to be owned and maintained by the HOA.

The land in question is the 117 acres known as Parcel ID 5104-00-95-6197 and account R0092469. It is currently vacant and agricultural. The land will be preserved as agricultural but become single-family home plats while preserving its natural beauty and providing excellent views of Table Rock, Pinnacle and/or Caesar's Head for each plat. It will remain extremely low density and have a minimal impact on the land, traffic, and storm water relative to many other development alternatives.

qpublic.schneidercorp.com/Application.aspx?AppID=927&LayerID=18058&PageTypeID=1&PageID=8074

lic.net™ Pickens County, SC

Home Map Search Results Report Sales Search Sales List Sales Result Comp Search Comp Search Results View Taxes Forms

Parcel ID: 5104-00-95-6197
Account No: R0092469
Property Address: A11-Pumpkintown
District: SE/SIDE AMBLER SCHOOL RD PLAT 603/161 PLAT 612/6 PLAT 613/95 TRA
Tax Description: 613/95 TRA

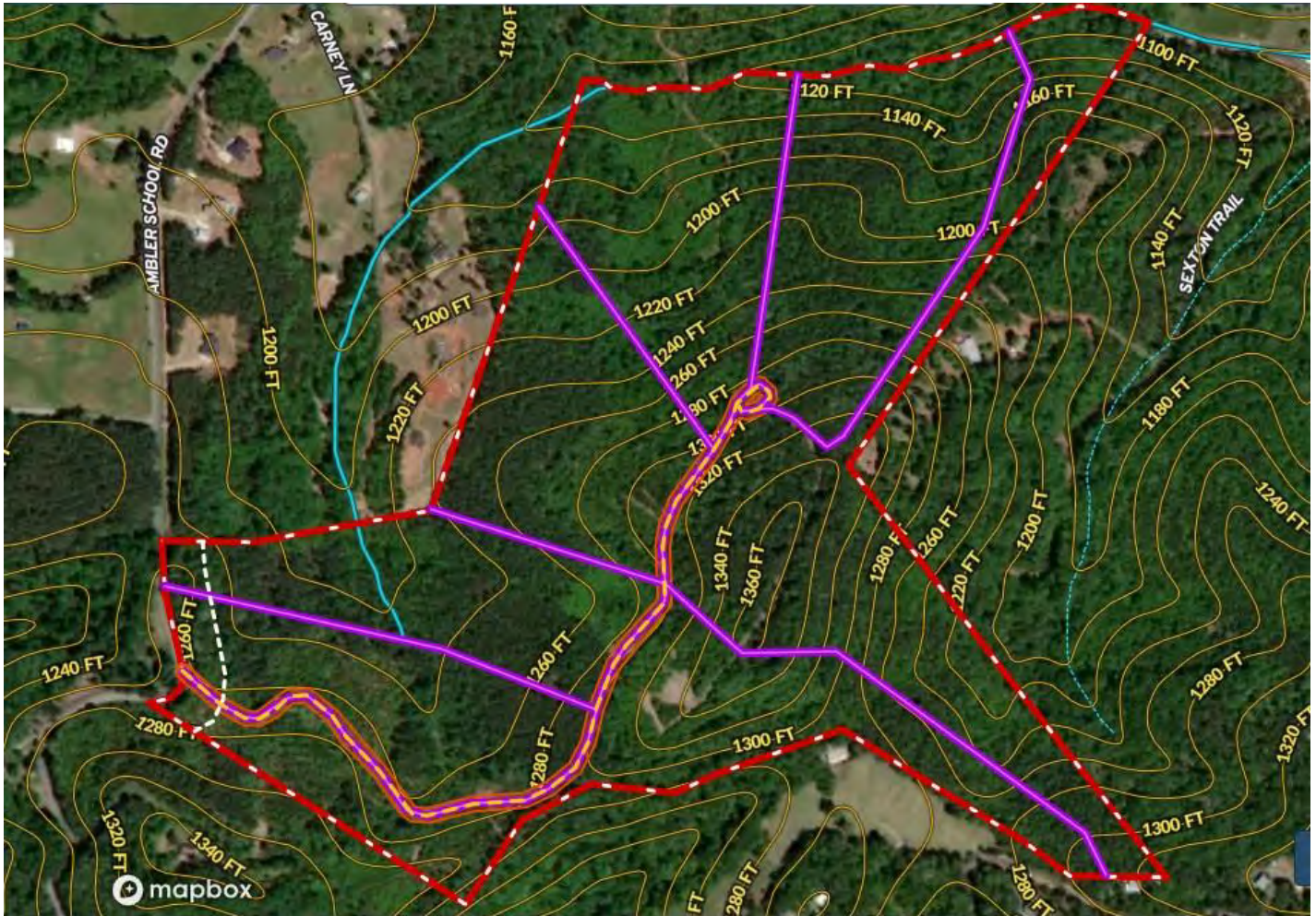
Account Type: Residential
Class: n/a
Acreage: 117.58
LEA Code: 0003.2
Value: \$0

Ownership: EVANS MARY ANN ANTHONY
C/O SUE ROHRBAUGH
45614 ANGIE LANE
NORWOOD, NC 28128

Documents:
Date: 5/10/2021
Price: \$0
Doc: 613/95
Vacant or Improved: Vacant

Results:
Parcel Id - 5104-00-95-6197
Acct No - R0092469
Owner - EVANS MARY ANN ANTHONY
C/O SUE ROHRBAUGH
ROHRBAUGH SUE A
Acres - 117.58
LEA Code - 0003.2
View Report | Google Maps opens in a new tab

Here is an image from MapRight of the land and plan showing 7 plats and a Common Road with a 50-foot easement and cul-de-sac:



Here is the information on the 6 points that are to be covered in the letter of intent:

1. Statement on use: The intent is to allow seven individual families to own their own mini-farms and single-family homes in a nice environment within Pickens County.
 - a. Seven plats and Title verbiage to prevent any of the seven plats to be subdividable in the future.
 - b. One principal residence per plat with provision for an optional secondary family/guest non-revenue-generating residence with the same quality building specifications.
 - c. Common Road renamed from Old Woods Road to Table Rock Ranch and one access to Ambler School Road at the current entrance to Ambler School Road for all 7 plats. HOA to own and pay for the maintenance of the Common Road and the 50-foot easement. The easement will include access to driving, underground utilities, and horseback riding. HOA covenants include a monthly assessment of \$100/plat to fund Common Road maintenance.
 - d. Significant Title and HOA covenants to maintain a high-quality environment to include, at a minimum:
 - No mobile or manufactured homes.
 - Minimum 3000 square foot and maximum 5000 square foot footprint residences.
 - Maximum of 2 3000 square foot footprint out-buildings per each 5 whole acres.
 - See also "3. Land use" below.
2. Acreage: 117 acres.
3. Land use:

- a. Agricultural and single-family residential.
 - b. Anticipated less than 4.2% disturbance/coverage of land area with a maximum of less than 6.79% disturbance/coverage per covenants.
 - c. Setbacks of 150 feet from Ambler School Road, 50 feet from external boundaries and 100 feet from any internal plat border for any structures, parking, storage, or junk other than fences and driveways/gateways.
 - d. Each plat is restricted to maintain a minimum of 20% of its acreage as woods and 60% vegetated or mulched.
 - e. Three storm water detention ponds to be constructed by the plat owners at the time of home construction per the included Professional Engineering sketch.
4. Number of lots: Seven. Lots are approximately 12, 13, 14, 15, 18, 19 and 23 acres and non-subdividable.
 5. Building sizes: 3000 to 5000 square foot footprint homes per plat. Possible secondary residence of the same size. Maximum of two 3000 square foot footprint outbuildings per each 5 acres.
 6. There is no current subdivision and, therefore, no variance to subdivision regulations. The number of lots is less than ten and might also qualify under Section 310 (2) a vs. a full Planning Commission process if that is decided.

This proposal should be in keeping with the higher aims of Pickens County Planning desirability for development of semi-rural areas and meet or exceed the standards of the UDSO.

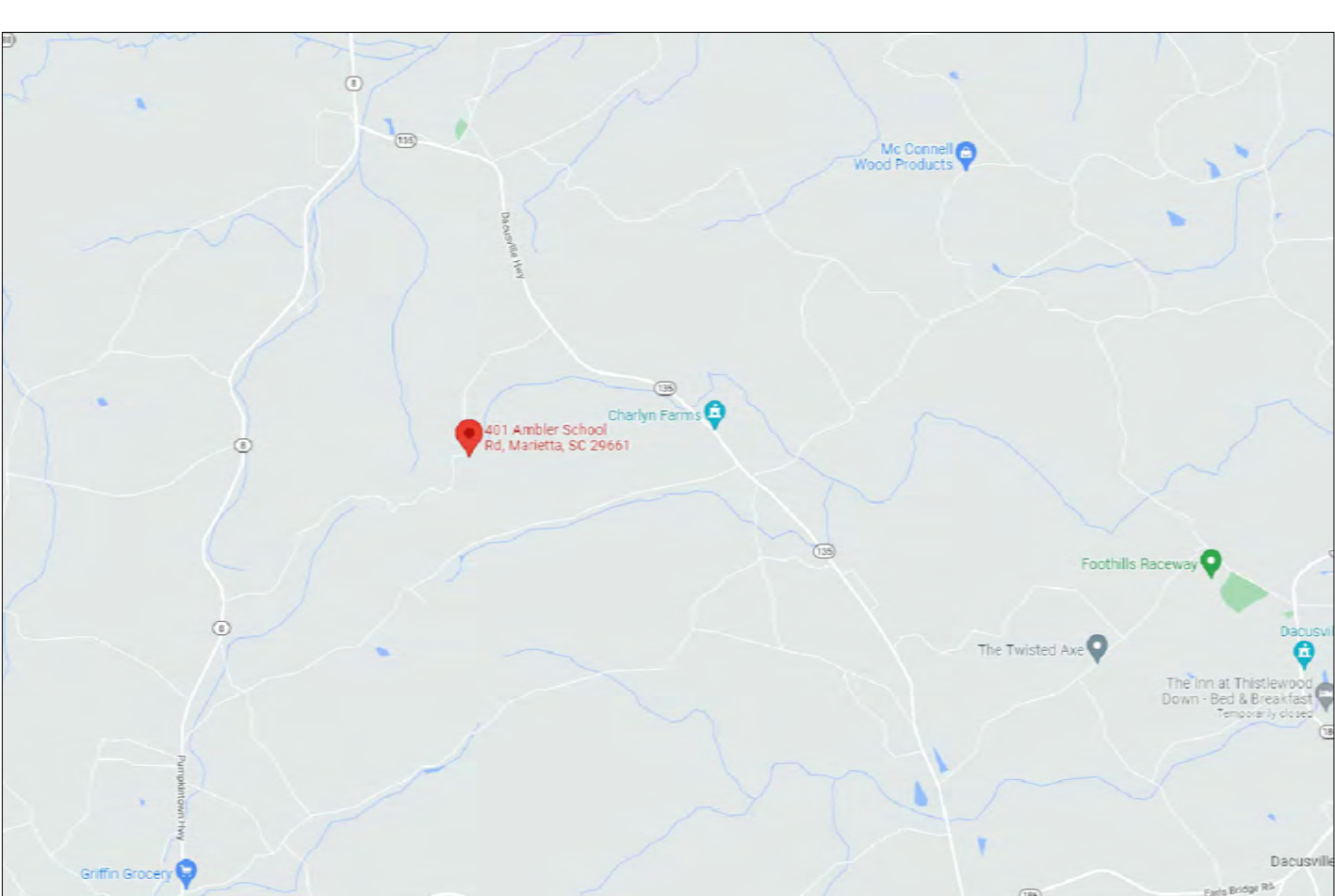
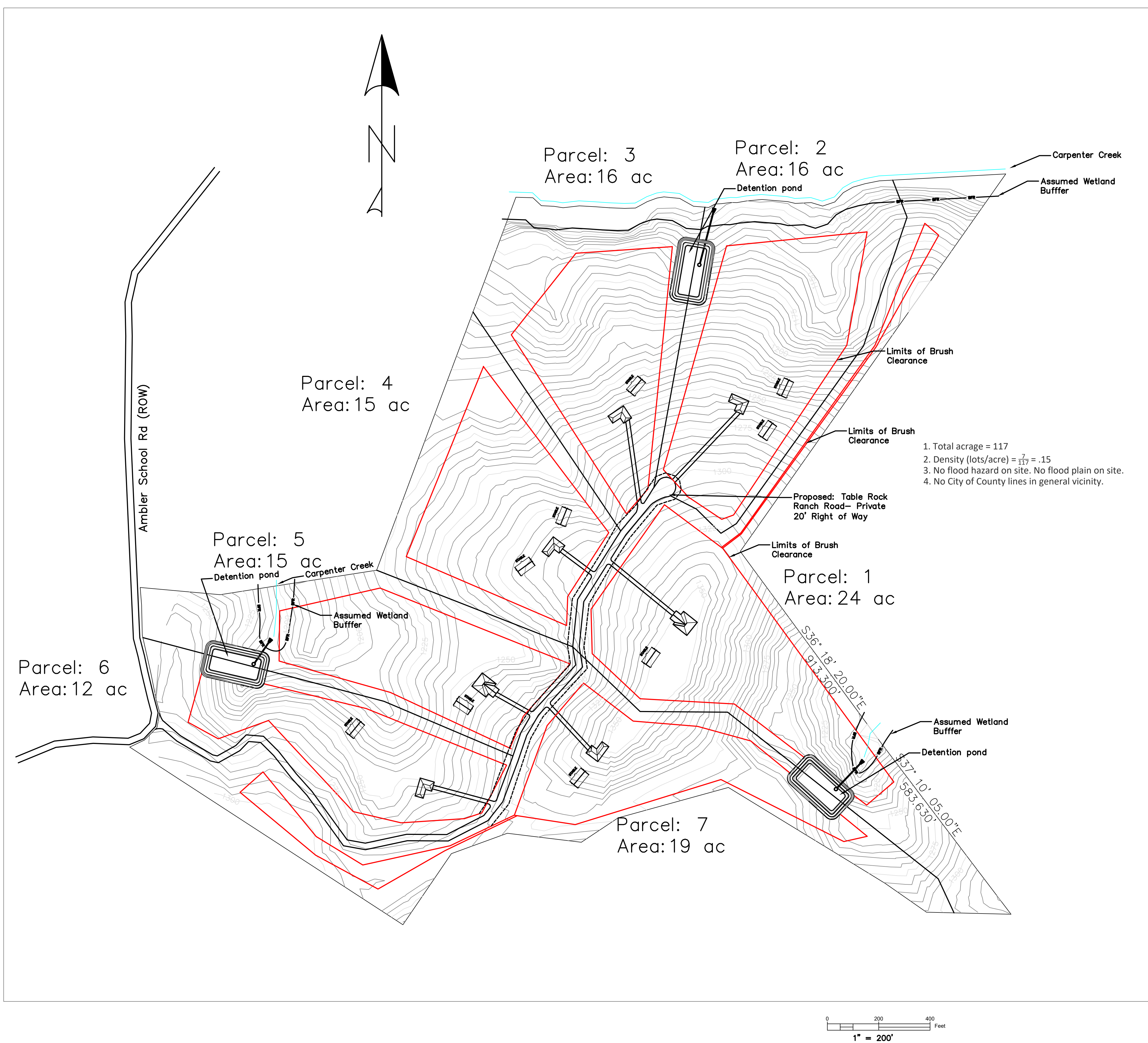
In case this application can't be approved essentially as is without considerable additional up-front costs, we will submit an alternative 3-plat plan that we would like to have approved. The 3-plat plan only involves a Shared Driveway provision, doesn't include many Title restrictions except the setbacks and restriction of not subdividing into plats of less than 5 acres, doesn't include an HOA, and should fall under the Multiple Lot Rural Split provisions of the USDO.

Again, thank you for your help and consideration.

Best regards,

Lee Nicholson

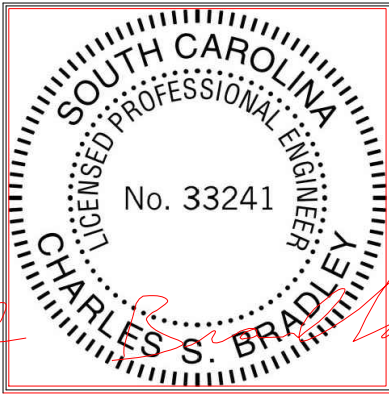
THIS DRAWING AND THE DESIGN SHOWN THEREON ARE THE PROPERTY OF RED OAK CIVIL LLC -- THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT WRITTEN CONSENT OF RED OAK CIVIL LLC IS PROHIBITED AND INFRINGEMENTS WILL BE SUBJECT TO LEGAL ACTION.



Notes

1. It is not the intent to clear the entire site. Limits of brush clearing line represents the approximate limit of clearance.
2. Set backs will be at a minimum in accordance with Pickens County UDSO Section 408. Front (Table Rock Ranch Road) 20 ft, Back 10 ft, Side 7 ft.
3. Detention Ponds will be used for stormwater management quality and quantity. No new outfalls will be created. Outfalls will be to existing Creeks or Waters of the State.
- 4.

1. Total acreage = 117
2. Density (lots/acre) = $\frac{7}{117} = .15$
3. No flood hazard on site. No flood plain on site.
4. No City of County lines in general vicinity.



07/24/22

Red Oak Civil LLC
Engineering
(864)325-6210

Table Rock Ranch
Proposed Address:
401 Ambler School Rd
Marietta, SC 29661

REVISIONS

A/E JOB NUMBER:

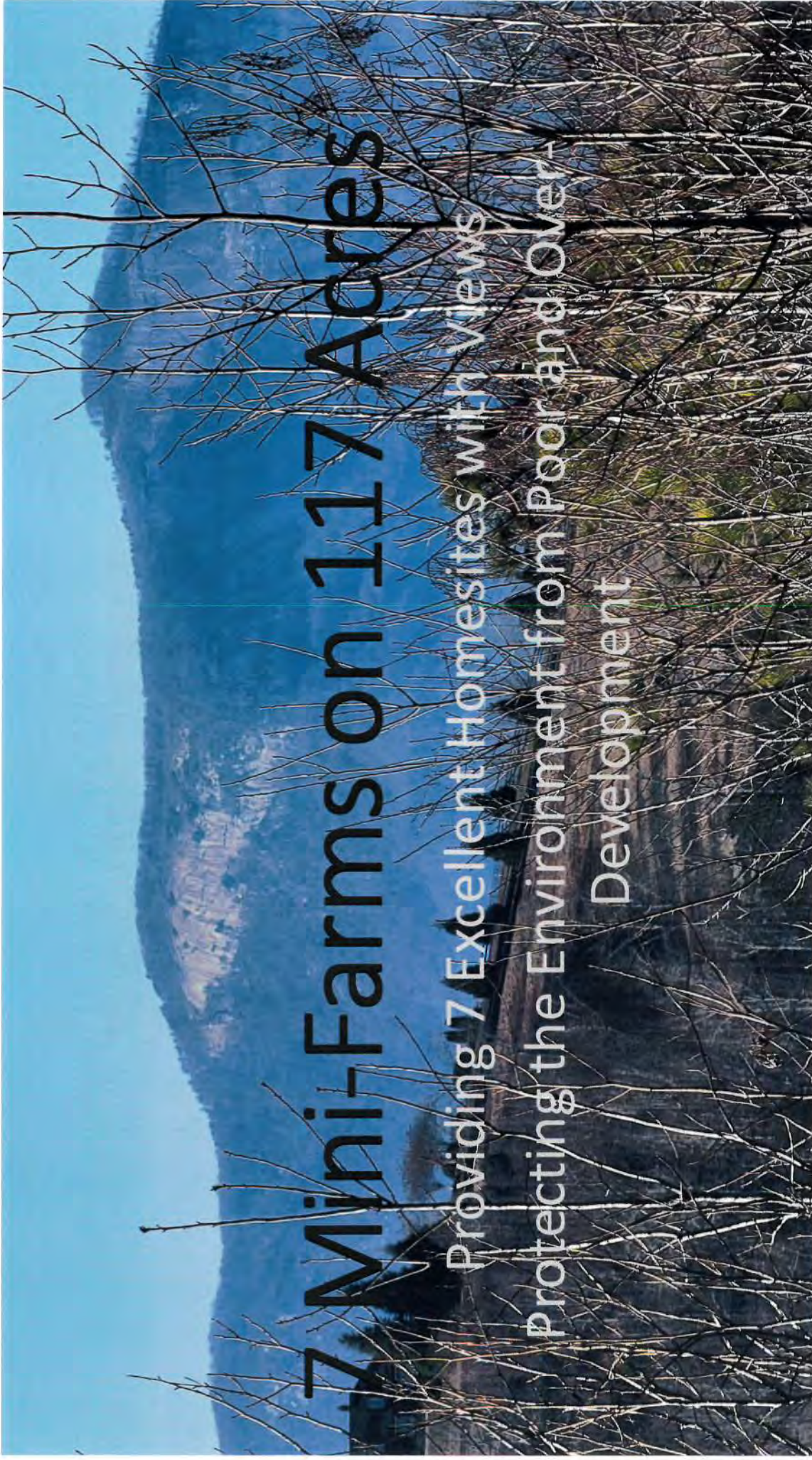
DATE:

SKETCH PLAN (major subdivisions):

- A. An application for a land use permit for a major subdivision shall be accompanied by a sketch plan. Included in the application document.
- B. A sketch plan must be prepared by a professional engineer, a registered land surveyor, a landscape architect, or a certified land planner. The applicant may prepare the concept plan if approved by the Community Development Director.
- C. The sketch plan shall be drawn to approximate scale on a boundary survey of the tract or on a property map showing the approximate location of the boundaries and dimensions of the tract.
- D. The sketch plan shall show, at a minimum, the following:
1. Proposed name of the development: **Table Rock Ranch**
 2. Acreage of the entire development: **117 acres**
 3. Location map: Parcel 5104-00-95-6197
<https://mapright.com/ranching/maps/085cb998e7e9233c6a9bda2693f9223c/share/unbranded>
 4. Proposed lot layout: See actual PE sketch included with this application and, for a non-PE view: <https://mapright.com/ranching/maps/085cb998e7e9233c6a9bda2693f9223c/share/unbranded>
 5. Minimum lot size with anticipated overall density (lots/acre): **12.56 acres minimum lot. 0.0598 lots per acre.**
 6. Setbacks, with front setbacks shown, side and rear may be stated: **150 feet from Ambler School Road. 50 feet from external boundaries. 100 feet from internal boundaries.**
 7. All proposed rights-of-way with applicable widths: **Common Road 14 feet wide on a 50-foot easement centered on the left line. 60-foot diameter cul-de-sac at the end of the road with a 50 foot radius easement centered in the cul-de-sac.**
 8. Natural features located on the property: **Carpenter Creek starting point and rejoins property along one border.**
 9. Man-made features both within and adjacent to the property including: **Common Road. Future possible home sites and outbuildings – estimated locations only. Detention ponds.**
 - a. Existing streets and names (with ROW shown): **Common Road shown as Old Woods Road on plat and proposed to be renamed Table Rock Ranch.**
 - a. City and County boundary lines. None in the vicinity.
 - b. Existing buildings to remain: **None. No plans to remove an old cabin, but will probably be removed longer term.**
 10. Proposed areas of public dedication (conservation areas/open space): **None.**
 11. Flood plains and areas prone to flooding: **None.**
 12. Such additional information as may be useful to permit an understanding of the proposed use and development of the property.

7 Mini-Farms on 117 Acres

Providing 7 Excellent Homesites with Views
Protecting the Environment from Poor and Over-
Development



Agenda

- Overview
- Layouts
- HOA
- Questions
- Next Steps



Overview

- Table Rock Ranch HOA, LLC
- Plats 12, 13, 14, 15, 18, 19 & 23 acres (non-subdividable)
- Setbacks 150 ft from Ambler School Road, 50 ft external, 100 ft internal
- 20% minimum woods & 60% minimum vegetated, pasture, or mulched land
- One principal residence per plat (with one secondary/plat OK)
 - 3000 square foot footprint min and 5000 maximum
 - No mobile homes, etc.
- Two out-buildings per 5 acres max
 - Maximum 3000 square foot footprint
 - No mobile homes
- Common road – “Table Rock Ranch”
 - Currently “Old Woods Road”
 - 50-foot easement
 - 14 feet wide, 60 foot diameter cul-de-sac, 4+ inches compacted gravel
 - Owned and maintained by HOA
- Storm Water: 6.79% land disturbance max 4.20% probable, 3 detention ponds per PE
- Septic, Wells or Rain Harvesting, Underground Electric



Public.net Pickens County, SC

Layers

- ☒ Layers
- ☐ Home
- ☐ Map
- ☐ Search
- ☐ Results
- ☐ Report
- ☐ Sales Search
- ☐ Sales List
- ☐ Sales Result
- ☐ Comp Search
- ☐ Comp Search Results
- ☐ View Taxes
- ☐ Forms

Quick Links:

- [Property Search](#)
- [View Map](#)

Layers:

- ☒ Parcels
- ☐ Parcel Numbers
- ☐ Owner Names
- ☐ 911 Address
- ☐ Yearly Sales
- ☐ Subdivisions
- ☐ Tax Districts
- ☐ Municipalities
- ☐ Lots
- ☐ Historical Lot Lines
- ☐ Easements
- ☐ Land Hooks
- ☐ Roads
- ☐ USA Major Highways
- ☐ Railroads
- ☐ Flood
- ☐ Streams and Rivers

Results:

Parcel Id - 5104-00-95-6197
Act No - R0092469
Owner - EVANS MARY ANN ANTHONY
ROHRBAUGH C/O SUE ROHRBAUGH
Acres - 117.58
LEA Code - 0004
[View Report](#) | [Geotile Maps](#)

R0092469

R0092469
EVANS MARY ANN ANTHONY
C/O SUE ROHRBAUGH
ROHRBAUGH SUE A
117.58 Acres Value \$10,815
LEA Code - 0004
[View Taxes](#) | [View Forms](#)
[View Report](#) | [Geotile Maps](#)

Parcel ID	Account No	Account Type	Residential Ownership	Documents	Date	Price Doc	Vacant or Improved
5104-00-95-6197	R0092469	n/a	ANTHONY C/O SUE ROHRBAUGH	5/10/2021 \$0	613.95	Vacant	
District	A11-Pumpkin town	Acreege	45614 ANGIE LANE	10/2/2020 \$0	612.76	Vacant	
Brief	SE/SIDE AMBLER SCHOOL RD PLAT 603/161 PLAT 612/6 PLAT 613/95 TRA	LEA Code	NORWOOD, NC 28128				
Tax Description		Value	\$10,815				

Layout – qPublic 2 of 2

qpublic.schneidercorp.com/Application.aspx?AppID=927&LayerID=18058&PageTypeID=1&PageID=8074

Amazon YML COVID-19 NathanAMP CLI Personal NFCC&MM Sub Gmail Drive djia Google OneDrive ITTech Budget Tennis

Log In Search

Results:

Parcel Id - 5104-00-95-6197
 Act No - R0092469
 Owner - EVANS MARY ANN ANTHONY
 C/O SUE ROHREBAUGH
 ROHREBAUGH SUE A
 Acres - 117.58
 LEA Code - 0003.2
[View Report](#) | [Schedule Map Job](#)

Home Map Search Results Report Sales Search Sales List Sales Result Comp Search Comp Search Results View Taxes Forms

Parcel ID 5104-00-95-6197
 Account No R0092469
 Property Address A11: Pumpkintown SE/SIDE AMBLER SCHOOL RD PLAT 603/161 PLAT 612/6 PLAT
 District Brief SE/SIDE AMBLER SCHOOL RD PLAT 603/161 PLAT 612/6 PLAT
 Tax Description 613/95 TR A

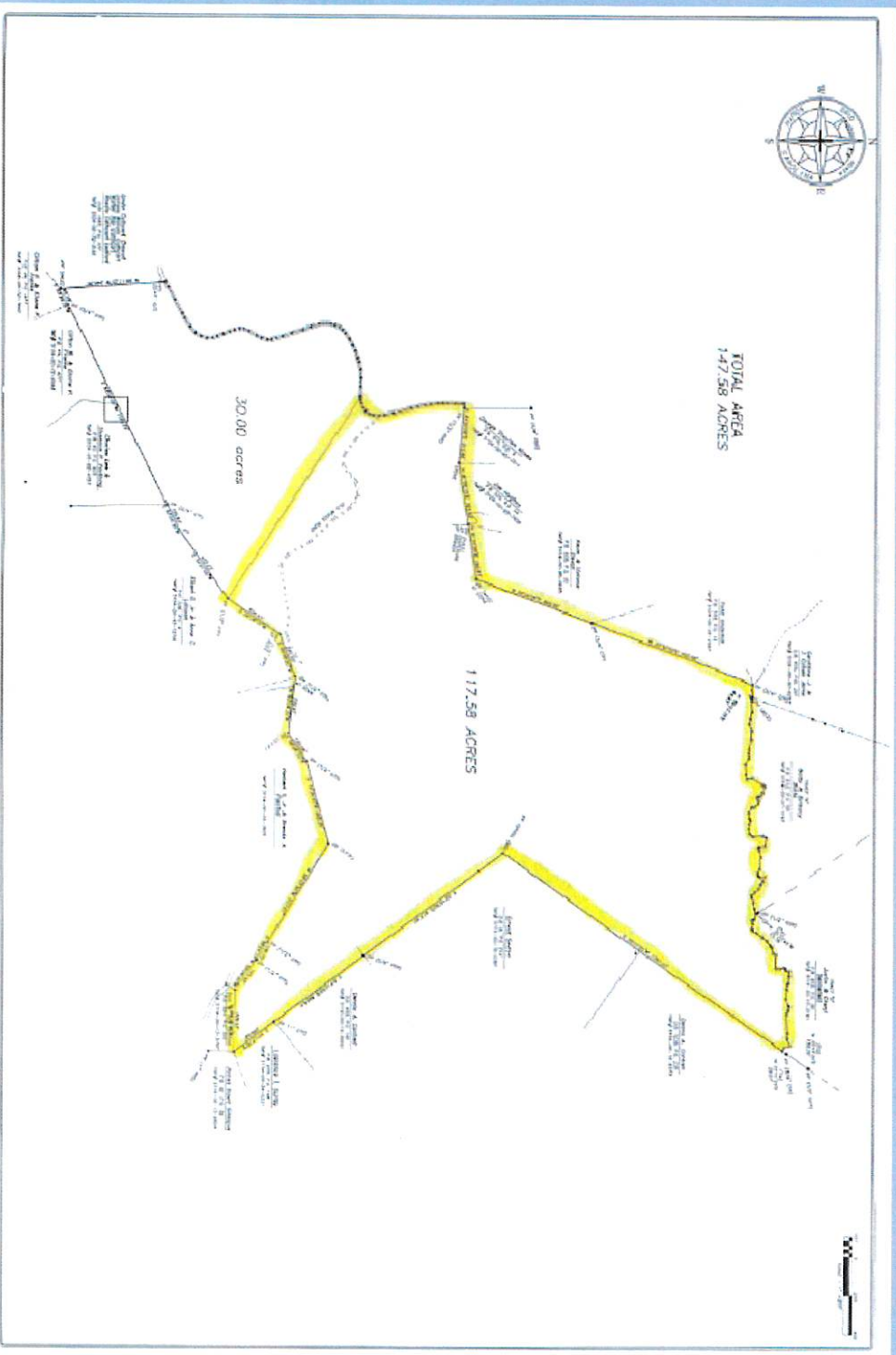
Account Type Residential
 Class n/a
 Acreage 117.58
 LEA Code 0003.2
 Value \$0

Ownership EVANS MARY ANN ANTHONY
 C/O SUE ROHREBAUGH
 45614 ANGIE LANE
 NORWOOD, NC 28128

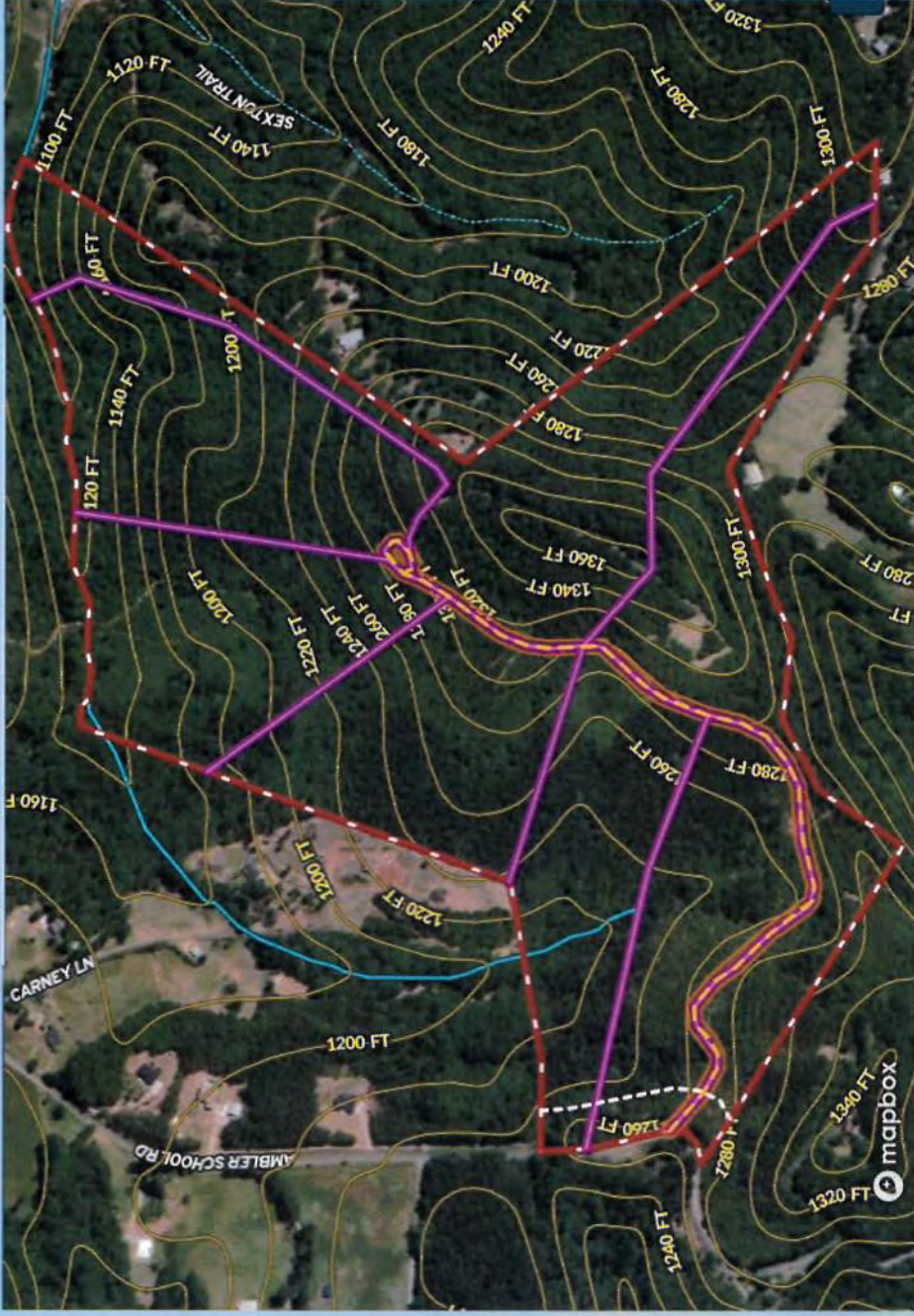
Documents Date Price Doc
 5/10/2021 \$0 613/95 Vacant
 10/2/2020 \$0 612/6 Vacant

Parcel Id - 5104-00-95-6197
 Act No - R0092469
 Owner - EVANS MARY ANN ANTHONY
 C/O SUE ROHREBAUGH
 ROHREBAUGH SUE A
 Acres - 117.58
 LEA Code - 0003.2
[View Report](#) | [Schedule Map Job](#)

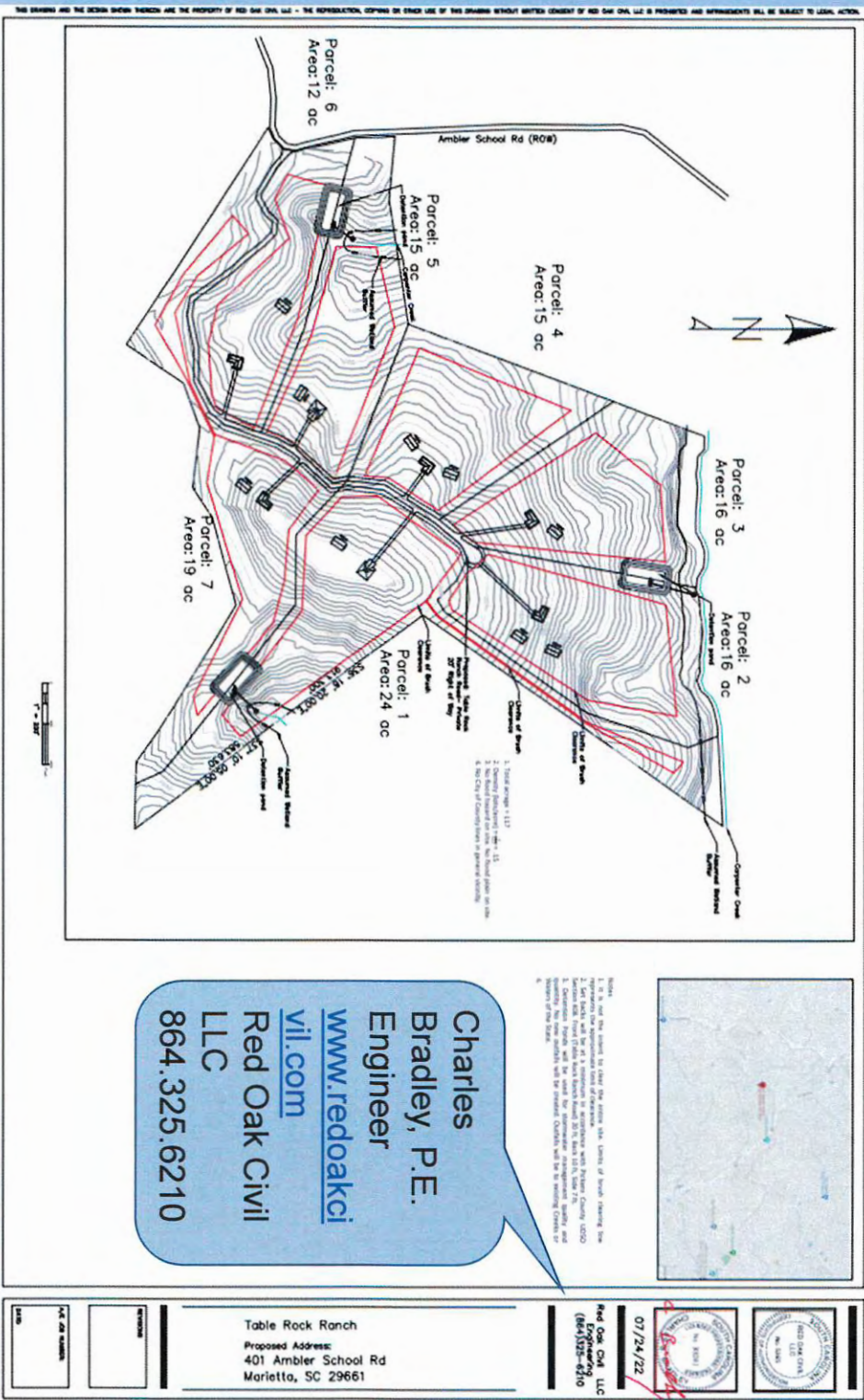
Layout - Plat



Layout – MapRight with Plats and Topo



Layout – PE Sketch



Layout – Land Disturbance

117 Acre Ambler School Road Run Off Disturbance

Maximum build out case

Acres to Sq Feet		117		5096520		6.79	
Description		Length	Width	Max Square Feet/Each	Maximum Number	Total Sq Feet	Percent of Acreage
Common road - Currently gravel with possible future hard surface		4000	20	80000	1	80000	1.57
Driveways -- Gravel or hard surface		600	14	8400	7	58800	1.15
Main homes roof area footprint		50	100	5000	14	70000	1.37
Septic tank field area 6 BR/home		50	50	2500	14	35000	0.69
Out buildings roof area footprint		50	60	3000	34	102000	2.00
Other				0		0	0.00

Likely build out case

Acres to Sq Feet		117		5096520		4.20	
Description		Length	Width	Max Square Feet/Each	Maximum Number	Total Sq Feet	Percent of Acreage
Common road - Currently gravel with possible future hard surface		4000	20	80000	1	80000	1.57
Driveways -- Gravel or hard surface		400	14	5600	7	39200	0.77
Main homes roof area footprint		50	80	4000	10	40000	0.78
Septic tank field area 6 BR/home		50	50	2500	10	25000	0.49
Out buildings roof area footprint		50	30	1500	20	30000	0.59
Other				0		0	0.00

HOA – Quality Neighborhood

Items mentioned previously, plus restrictions on:

- Building quality and numbers
- Construction
- Land usage
- Vehicle parking
- Junk location and removal
- Animals: number, mix, control, and placement
- Safety
- Noise and light pollution
- Firearms



Questions?
Next Steps?



LU-22-0011

**Six Mile Mountain
Communication Tower**

LU-22-0011: Six Mile Mountain Communication Tower

Staff Report

Planning Commission Public Hearing: December 12, 2022 6:30 PM

The following report constitutes an assessment and evaluation by Planning staff on the above mentioned request.

Applicant: ETS Construction
Eric Dickerson
3227 Wellington Court
Raleigh, NC 27615

Property Owner(s): Duke Energy

Property Location: 401 Six Mile Mountain Road

Acreage: 10

Tax Map Number: 4059-00-86-4317

County Council District: 2

Land Use Request: **LU-22-0011:** Land Use Review for a communication tower on a 10-acre parcel of land. The subject property is located at 401 Six Mile Road in Six Mile. The applicant is ETS Construction. The property owner of record is Duke Energy. The TMS# is 4059-00-86-4317. The proposal meets all requirements of the UDSO with the exception cited below.

Variance Request(s) from Planning Commission: Approval of this tower will require deviating from 311 (f) (1) a. which reads: *Each tower shall be located no less than a distance equal to the height of the tower from any property used for single-family residential purposes.* **The proposed 300' tower appears to be 270' from a residential structure that is located on an adjacent parcel owned by James Bay and therefore does not meet the strict application of the criteria of this ordinance.**

Request Overview:

The applicant currently has a tower atop Six Mile Mountain. The tower needs to be replaced and updated. They considered sharing the functions of one of the other approved and existing towers on Six Mile Mountain but found that option unsuitable due to the condition of the towers. Pickens County Emergency Services is in support of this request as Duke Power will be allowing them to utilize the tower for their emergency services communication. The proposal meets all the UDSO requirements with the exception of the distance from the base of the tower to the nearest residential structure. The applicant maintains that the fall zone of the tower renders that requirement unnecessary.

Current Property Use:

The property is listed on the Assessor's site as vacant however the south-eastern portion of the subject property currently houses a tower and support facilities.

Surrounding Area:

The subject property is surrounded by vacant land to the east, south, and north. There is a single family home located on the parcel to the east of the subject property.

Utilities & Infrastructure

Transportation: The property is served by Six Mile Mountain Road which is a private road.

Water: N/A

Sewerage: N/A

Property Development History:

This property appears to have been vacant until 1999 when Duke Energy acquired the land and erected a tower.

Comments from Reviewing Agencies:

SCDOT: N/A

Pickens County Engineer: The County Engineer does not have any issues with the project as proposed and defers to the engineer of record in regard to the fall zone.

Schools: N/A

Staff Analysis of Standards for Land Use Approval:

Staff analysis of the application is made based upon the findings criteria as set forth in Section 1205(f) of the UDSO. The applicant has submitted his/her response to the same findings criteria.

- A. Is the proposed use consistent with other uses in the area or the general development patterns occurring in the area?*

Due to the unique nature of the site (a mountain top) the proposed use is not consistent with the development patterns of the surrounding area.

- B. Will the proposed use adversely affect the existing use or usability of adjacent or nearby property?*

With strict adherence to the development standards the proposed use should not adversely affect the existing use of adjacent property with the possible exception of the visual impact the tower has.

- C. Is the proposed use compatible with the goals, objectives, purpose and intent of the Comprehensive Plan?*

The proposed use is not consistent with the adopted Future Land Use/Character Area map of the Comprehensive Plan. The Character Area designation for the area is Residential Growth. However, the Comp Plan and UDSO both cite the necessity of a robust infrastructure and communication network which this project assists in fulfilling.

- D. Will the proposed use not cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?*

The project should not cause a burden on existing facilities or services.

- E. Is the property suitable for the proposed use relative to the requirements set forth in this development ordinance such as off-street parking, setbacks, buffers, and access?*

With the exception of the distance from the tower base to the nearest residential structure the applicant's proposal meets the respective standards of the Unified Development Standards Ordinance of Pickens County.

- F. Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?*

In light of the existing structures on site and the inability to share facilities and the need for an updated communication tower, the request proposed by the applicant provides for a balance of competing interests.

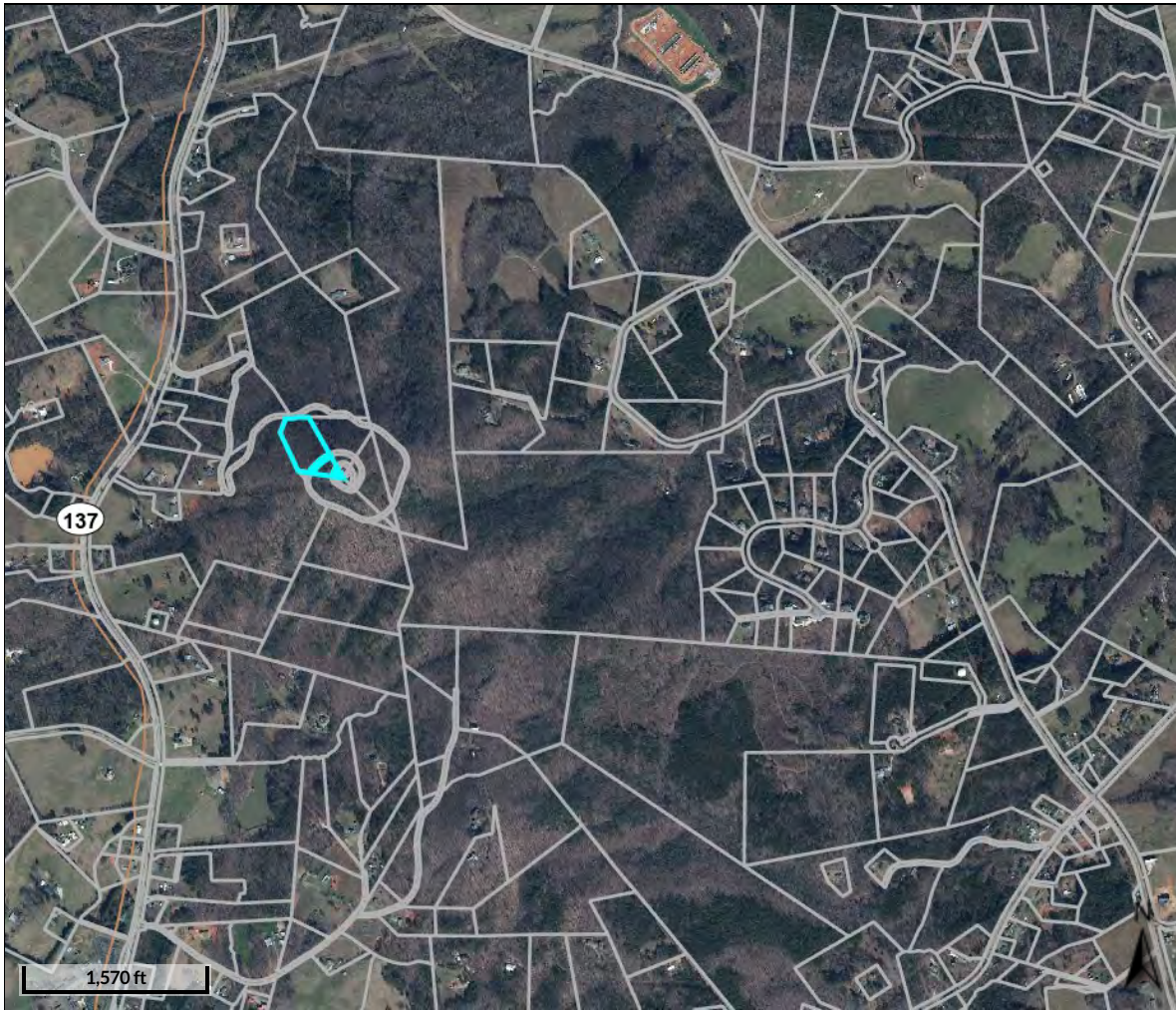
Planning Staff Recommendation:

Approval as presented.

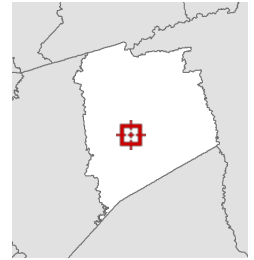
LU-22-0011



Pickens County, SC



Overview



Legend

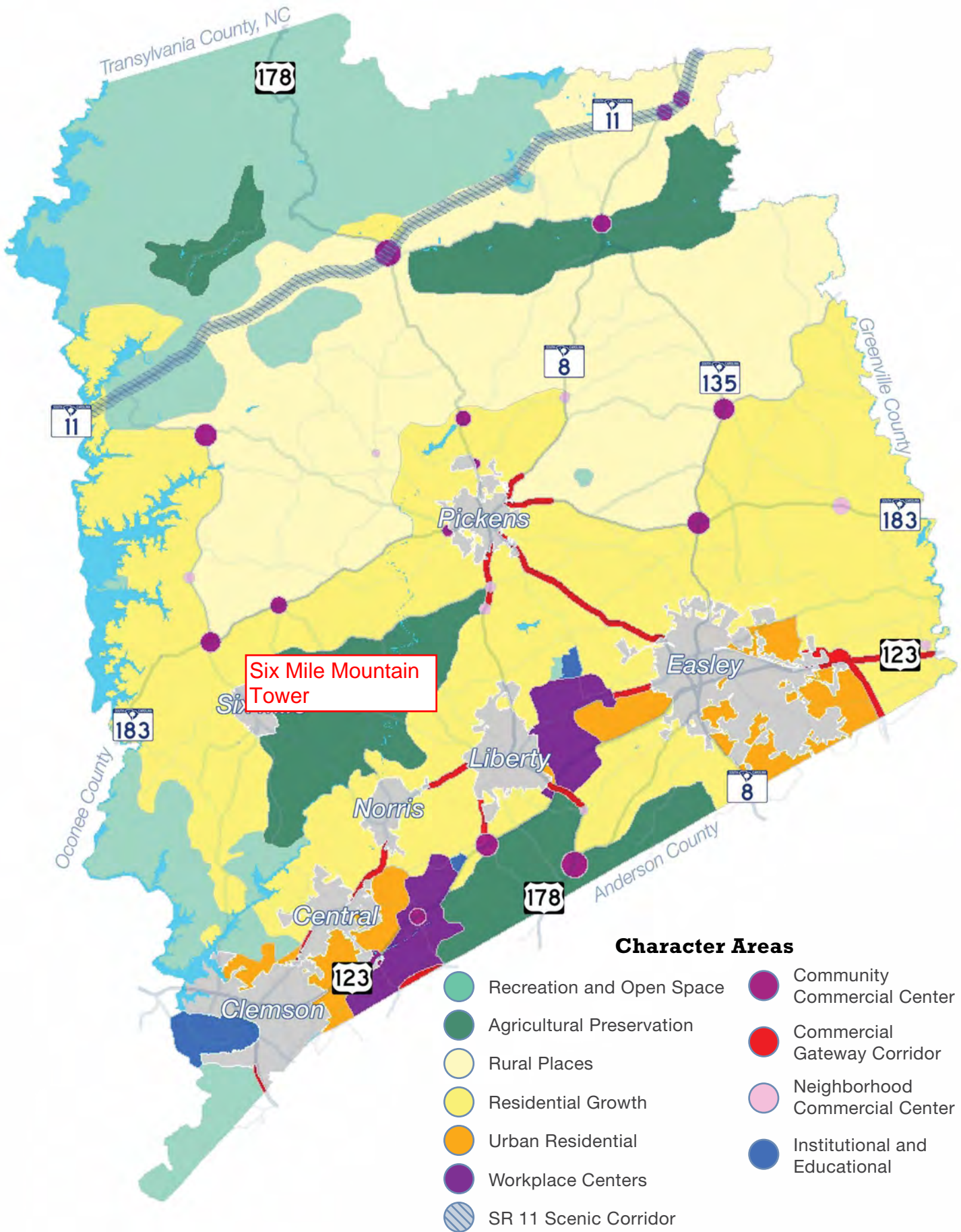
- Parcels
- Roads

Parcel ID	4059-00-86-4317	Account	State	Ownership	DUKE ENERGY	Documents			
Account No	R0003771	Type	Assessed		CORP	Date	Price	Doc	Vacant or Improved
Property	401 SIX MILE MOUNTAIN RD	Class	n/a		PO BOX 1007				
Address	SIX MILE	Acreage	3		CHARLOTTE,	3/3/1999	\$30,000	473/207	Vacant
District	A16-Six Mile	LEA Code	n/a		NC 28201	2/4/1999	\$5	473/203	Vacant
Brief	E/SIDE HWY 137 TR-A	Value	\$19,500						
Tax Description	(Note: Not to be used on legal documents)								

Date created: 11/8/2022

Last Data Uploaded: 11/8/2022 12:42:34 AM

Developed by Schneider
GEOSPATIAL





PICKENS COUNTY

SOUTH CAROLINA



COMMUNITY DEVELOPMENT

BUILDING CODES ADMINISTRATION • STORMWATER MANAGEMENT • PLANNING

APPLICATION FOR:

☒ Land Use Review /Subdivision Review

☐ Subdivision Variance

Case No.: _____ - _____ - _____

Note to Applicant: All applications must be typed or legibly printed and all entries must be completed on all the required application forms. If you are uncertain to the applicability of an item, please contact a member of the Planning Staff. Incomplete applications or applications submitted after the posted deadlines will be delayed.

Name of Applicant ETS Construction, Inc. / J. Eric Dickerson

Mailing Address 3227 Wellington Court, Raleigh, NC 27615

Telephone 919-280-4191 / 315-214-1616 Email eric.dickerson@ets-pllc.com / casey.wood@ets-pllc.com

Applicant is the Owner's Agent X Property Owner _____

Property Owner(s) of Record Duke Energy

Mailing Address PO BOX 1007, Charlotte, NC 28201

Telephone 704-868-6302 Email dale.brooks@duke-energy.com

Authorized Representative ETS Construction, Inc. / J. Eric Dickerson

Mailing Address 3227 Wellington Court, Raleigh, NC 27516

Telephone 919-280-4191 / 315-214-1616 Email eric.dickerson@ets-pllc.com / casey.wood@ets-pllc.com

Address/Location of Property Six Mile Rd, Six Mile, SC 29682 / Parcel # 4059-00-86-4317

Existing Land Use N/A Proposed Land Use 300' SST Compound

Tax Map Number(s) Parcel # 4059-00-86-4317

Total Size of Project (acres) 10 Acres Number of Lots 1

Utilities

Proposed Water Source ☐ Wells ☐ Public Water Water District _____

Proposed Sewer ☐ Onsite Septic ☐ Public Sewer Sewer District _____

July 2020

Page 1 of 6

REQUEST FOR VARIANCE (IF APPLICABLE):

Is there a variance request from the subdivision regulations or county road ordinance? ☐ Yes ☒ No

If YES, applicant must include explanation of request and give appropriate justifications.

RESTRICTIVE COVENANT STATEMENT

Pursuant to South Carolina Code of Laws 6-29-1145:

I (we) certify as property owner(s) or as authorized representative for this request that the referenced property:

- ☐ IS subject to recorded restrictive covenants and that the applicable request(s) is permitted, or not otherwise in violation, of the same recorded restrictive covenants.
- ☐ IS subject to recorded restrictive covenants and that the applicable request(s) was not permitted, however a waiver has been granted as provided for in the applicable covenants. (Applicant must provide an original of the applicable issued waiver)
- ☒ IS NOT subject to recorded restrictive covenants

SIGNATURE(S) OF APPLICANTS(S):

I (we) certify as property owners or authorized representative that the information shown on and any attachment to this application is accurate to the best of my (our) knowledge, and I (we) understand that any inaccuracies may be considered just cause for postponement of action on the request and/or invalidation of this application or any action taken on this application.

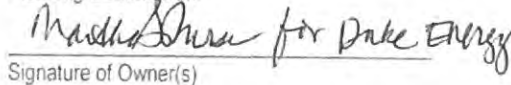
I (we) further authorize staff of Pickens County to inspect the premises of the above-described property at a time which is agreeable to the applicant/property owner.


Signature of Applicant

November 4, 2022
Date

PROPERTY OWNER'S CERTIFICATION

The undersigned below, or as attached, is the owner of the property considered in this application and understands that an application affecting the use of the property has been submitted for consideration by the Pickens County Planning Commission.


Signature of Owner(s)

11/4/2022
Date

PICKENS COUNTY STAFF USE ONLY

Application Processing	Date Received _____	Received By _____	Planning Commission Hearing Date _____
	Pre-Application meeting held with _____ on _____		Deadline for Notice to Paper _____ to run _____
	Application Forwarded to (date) _____		Letter of Hearing Sent to Applicant _____
	DHEC _____ <input type="checkbox"/> N/A		Sign Placement Deadline _____
	County Engineer _____ <input type="checkbox"/> N/A		Planning Commission Action (date) _____
	SCDOT _____ <input type="checkbox"/> N/A		<input type="checkbox"/> Approval <input type="checkbox"/> Approval w/ modifications <input type="checkbox"/> Denial
Local VFD _____ <input type="checkbox"/> N/A		Modifications _____	
School Board _____ <input type="checkbox"/> N/A		Notice of Action to Applicant _____	
Hearing and Action			



Pickens County, South Carolina
LAND USE REVIEW
Application Process and Requirements

This application applies to the following uses when proposed in the unincorporated areas of the county:

- A. Hazardous Waste and Nuclear Waste Disposal Sites
 - B. Motorized Vehicle Tracks (commercial)
 - C. Mining and Extraction Operations
 - D. Gun Clubs, Skeet Ranges, Outdoor Firing Ranges
 - E. Stockyards, Slaughterhouses, Feedlots, Kennels and Animal Auction Houses
 - F. Golf Courses
 - G. Certain Public Service Uses
 - Land Fills
 - Water and Sewage Treatment facilities
 - Electrical Substations
 - Prisons
 - Recycling Stations
 - Transfer Stations
 - Schools
 - Water and Sewer Lines
 - H. Large Scale Projects
 - Any project that is capable of generating 1,000 average daily vehicle trips or more.
 - A truck or bus terminal, including service facilities designed principally for such uses.
 - Outdoor sports or recreational facilities that encompass one (1) or more acres in parking and facilities.
 - I. Major Subdivisions
 - J. Communication Towers
 - K. Tattoo Facilities
 - L. Mobile Home Parks/Manufactured Home Parks
 - M. Sexually Oriented Business
 - N. Salvage, junk, and scrap yards
 - O. Uses within the Airport District
-

APPLICATION PROCESS

1. A Pre-Application meeting with a Planning Staff member is required before an application can be submitted and accepted. For certain requests, this pre-application meeting will involve several county departments. For this reason, this meeting will need to take place well in advance of filing an application with the Planning Department so that all questions can be asked of staff prior to the formal submittal of any application.
2. An application is submitted, along with any required filing fee, to the Planning Department according to the set deadline schedule (see attached schedule).
3. The Planning Department shall review the application for completeness within 5 business days of submission. Incomplete or improper applications will be returned to the applicant.
4. If the application is considered complete and proper then the planning staff will further review the application and may make a written recommendation. The written recommendation is available to the applicant approximately five days before the Planning Commission's public hearing. Copies of the report may be obtained from the Planning Department.
5. Legal notice is required to be printed in a newspaper of general circulation in Pickens County. This notice currently appears in the Pickens County Courier at least 15 days before public hearings in the legal notice section.
6. A public hearing sign is erected on the property at least 15 days before the public hearing. This sign will be erected and removed by the applicant or applicant's agent.

7. The Planning Commission reviews the proposed land use request and takes action on the request following the public hearing. The Planning Commission meets the second Monday of each month. Meetings are held at 6:30 P.M. at the County Administration Building, Main Conference Room, Pickens, South Carolina
 8. The Commission shall review and evaluate each application with respect to all applicable standards contained within the Unified Development Standards Ordinance (UDSO). At the conclusion of its review, the Planning Commission may approve the proposal as presented, approve it with specified modifications, or disapprove it.
 9. In consideration of a land use permit, the Planning Commission shall consider factors relevant in balancing the interest in promoting the public health, safety, or general welfare against the right of the individual to the unrestricted use of property and shall consider specific, objective criteria. Due weight or priority shall be given to those factors that are appropriate to the circumstances of each proposal.
 10. A decision of the Planning Commission may be appealed as provided for in Title 6, Chapter 29 of the South Carolina Code.
 11. Within 15 days of the Planning Commission taking action on the request, planning staff will send the applicant a Notice of Action.
 12. Any applicant wishing to withdraw a proposed land use permit prior to final action by the Planning Commission shall file a written request for withdrawal with the Director of Community Development.
 - If the request for withdrawal is received prior to the publication of notice for the public hearing, the Director of Community Development shall withdraw the application administratively without any restriction on the re-filing of a proposed land use permit on the property in the future.
 - If notice has been published (or is irretrievably set for publication) and the application has not been heard by the Planning Commission, the application shall remain on the Planning Commission's public hearing agenda and the withdrawal request shall be considered for approval or denial, with or without prejudice, by the Planning Commission.
 13. All associated fees are non-refundable. If a case is withdrawn or postponed at the request of the applicant, after the notice has been placed with the newspaper, the applicant is responsible for all associated cost of processing and advertising the application; the County must be reimbursed for these cost by the applicant.
-

The items listed below are necessary to process a Land Use Review application. Please see the attached schedule of filing deadlines and meeting dates. A pre-application conference with Planning Staff to discuss the proposal is required.

Any amendments to an application must be submitted to the Planning Department for staff review at least 10 days prior to the Planning Commission hearing.

REQUIRED ITEMS

1) **APPLICATION FORM:**

One (1) copy of the appropriate Application form with all required attachments and additional information must be submitted.

2) **LETTER OF INTENT:**

A. One (1) copy of a Letter of Intent (must be typed or legibly printed).

B. The Letter of Intent must give details of the proposed use of the property and should include at least the following information:

1. A statement as to what the property is to be used for;
2. The acreage or size of the tract;
3. The land use requested;
4. The number of lots and number of dwelling units or number of buildings proposed;
5. Building size(s) proposed;
6. If a variance of the subdivision regulations is also being requested, a brief explanation must also be included.

3) SKETCH PLAN (major subdivisions):

- A. An application for a land use permit for a major subdivision shall be accompanied by a sketch plan.
- B. A sketch plan must be prepared by a professional engineer, a registered land surveyor, a landscape architect, or a certified land planner. The applicant may prepare the concept plan if approved by the Community Development Director.
- C. The sketch plan shall be drawn to approximate scale on a boundary survey of the tract or on a property map showing the approximate location of the boundaries and dimensions of the tract.
- D. The sketch plan shall show, at a minimum, the following:
 1. Proposed name of the development
 2. Acreage of the entire development
 3. Location map
 4. Proposed lot layout
 5. Minimum lot size with anticipated overall density (lots/acre)
 6. Setbacks, with front setbacks shown, side and rear may be stated
 7. All proposed rights-of-way with applicable widths
 8. Natural features located on the property
 9. Man-made features both within and adjacent to the property including:
 - a. Existing streets and names (with ROW shown)
 - a. City and County boundary lines
 - b. Existing buildings to remain
 10. Proposed areas of public dedication (conservation areas/open space)
 11. Flood plains and areas prone to flooding
 12. Such additional information as may be useful to permit an understanding of the proposed use and development of the property.

4) SKETCH PLAN (multi-family and non-residential):

- A. An application for a land use permit for a multi-family project or a non-residential project shall be accompanied by a sketch plan.
- B. A sketch plan must be prepared by a professional engineer, a registered land surveyor, a landscape architect, or a certified land planner. The applicant may prepare the sketch plan if approved by the Community Development Director.
- C. The sketch plan shall be drawn to approximate scale on a boundary survey of the tract or on a property map showing the approximate location of the boundaries and dimensions of the tract.
- D. The sketch plan shall show, at a minimum, the following:

1. Proposed name of the development
2. Acreage of the entire development
3. Location map
4. Proposed building(s) location(s)
5. Anticipated property density stated as a FAR (Floor to Area Ratio)
6. Setbacks, with front setbacks shown, side and rear may be stated
7. Proposed parking areas
8. Proposed property access locations
9. Natural features located on the property
10. Man-made features both within and adjacent to the property including:
 - a. Existing streets and names (with ROW shown)
 - b. City and County boundary lines
 - c. Existing buildings to remain
11. Required and proposed buffers and landscaping
12. Flood Plains and areas prone to flooding
13. Such additional information as may be useful to permit an understanding of the proposed use and development of the property.

5). ATTACHEMENTS

All attachments must be included in order for the application to be considered complete

Attachment A – "Standards For Land Use Approval Consideration"

Attachment B – "Application Checklist"



Pickens County, South Carolina

Attachment A

LAND USE REVIEW

Standards of Land Use Approval Consideration

In consideration of a land use permit, the Planning Commission shall consider factors relevant in balancing the interest in promoting the public health, safety, and general welfare against the right of the individual to the unrestricted use of property and shall specifically consider the following objective criteria. Due weight or priority shall be given to those factors that are appropriate to the circumstances of each proposal.

Please respond to the following standards in the space provided or you may use an attachment as necessary:

- (A) Is the proposed use consistent with other uses in the area or the general development patterns occurring in the area?

The land use application is made for a 300' telecommunications tower to aid in public utility.

- (B) Will the proposed use not adversely affect the existing use or usability of adjacent or nearby property?

This tower will be installed within a fenced in Duke Energy owned compound and will help aid in public utility. The tower itself will be self-contained and off the road and have no direct impact to the adjoining land.

- (C) Is the proposed use compatible with the goals, objectives, purpose and intent of the Comprehensive Plan?

The proposed compound is designed within the limitations of the Comprehensive Plan.

- (D) Will the proposed use not cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?

The proposed will not cause an excessive or burdensome use of public facilities or services. This tower is designed by a professional engineer and will aid in public utility.

- (E) Is the property suitable for the proposed use relative to the requirements set forth in this development ordinance such as off-street parking, setbacks, buffers, and access?

The installation of this tower will not cause congestion on public roads. All construction vehicles and equipment will be parked at the tower site and not on public roads. This will be an unmanned tower site that will not require any employees to need additional parking space post installation. There is an existing access road, so there will be no independence to traffic during any part of construction or through use.

- (F) Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?

This tower location is designed to satisfy the space requirements of it's use and has an appropriate fall zone that complies with Pickens County regulations.



Pickens County, South Carolina
Attachment B
LAND USE REVIEW
Application Checklist

The following is a checklist of information required for submission of a Land Use Review application. Incomplete applications or applications submitted after the deadline **will be delayed.**

 x Completed application form

 x Letter of intent

 x Sketch Plan (major subdivisions) – 8 copies and one (1) reduction to 8 ½" x 11"

 x Sketch Plan (for multi-family and non-residential) – 8 copies and one (1) reduction to 8 ½" x 11"

 x Attachment "A"



ETS Construction, Inc
3227 Wellington Court
Raleigh, NC 27615

October 24, 2022

Pickens County
222 McDaniel Avenue, B-2
Pickens, SC 29671

Subject: Letter of Intent

Dear Members of the Pickens County Planning Commission:

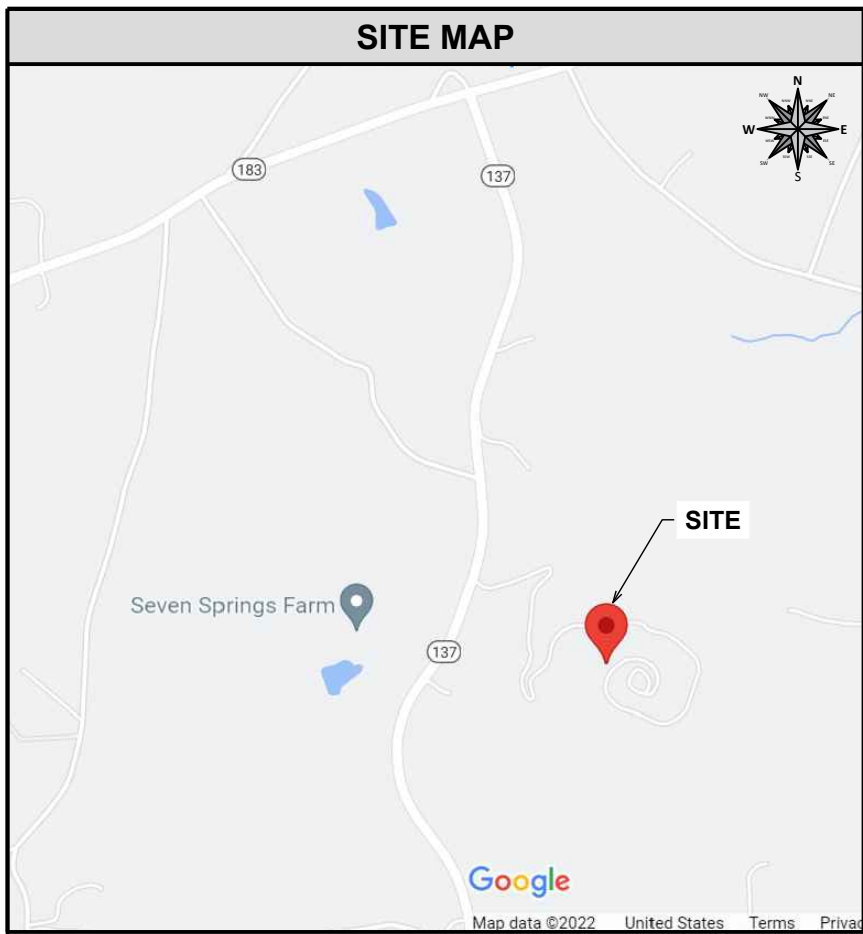
It is the intent of ETS Construction, Inc.; on behalf of Duke Energy, to install a 300' self-support tower, 50kW generator, 500-gallon propane tank, and 12' x 16' pre-manufactured unmanned equipment shelter. The chain-link fenced compound will be on the parcel # 4059-00-86-4317; owned by Duke Energy, on Six Mile Rd in Pickens, SC. Total parcel area is 131,933.43 square feet and the chain-link fenced area, where construction is taking place, is 4,241.62 square feet.

There will be approximately 4-8 construction personnel on site throughout the duration of this project. Hours of operation will be approximately 7am to 7pm; weather and daylight depending. Currently, pending any changes that may arise throughout the duration of the project, ETS plans to complete the project within 6 months of the start date.

If you have any further questions, please contact Casey Wood (315) 214-1616 or casey.wood@ets-pllc.com. You may also contact Eric Dickerson at (919) 280-4191 or eric.dickerson@ets-pllc.com.

Sincerely,

J. Eric Dickerson
ETS Construction, Inc
3227 Wellington Court
Raleigh, NC 27615
P: 919-280-4191
E: eric.dickerson@ets-pllc.com



GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, THEREFORE HANDICAP ACCESS IS NOT REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

SCOPE OF WORK

INSTALLATION OF A NEW DUKE ENERGY TELECOMMUNICATIONS TOWER SITE WITH A 300' ± SELF-SUPPORT TOWER, 13'-1"x17'-1" PREFABRICATED EQUIPMENT SHELTER, GENERATOR AND A PROPANE TANK WITHIN A CHAIN-LINK FENCED COMPOUND.

- CODE COMPLIANCE
- ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE FOLLOWING CODES:
- 2021 S.C. BUILDING CODE (2021 IBC W/ AMENDMENTS)
 - 2021 S.C. FIRE CODE (2021 IFC W/ AMENDMENTS)
 - 2021 S.C. FUEL GAS CODE (2021 IFGC W/ AMENDMENTS)
 - 2021 S.C. MECHANICAL CODE (2021 IMC W/ AMENDMENTS)
 - 2021 S.C. PLUMBING CODE (2021 IPC W/ AMENDMENTS)
 - 2020 S.C. ELECTRICAL CODE (2020 NEC W/ AMENDMENTS)
 - 2021 S.C. INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- South Carolina

811

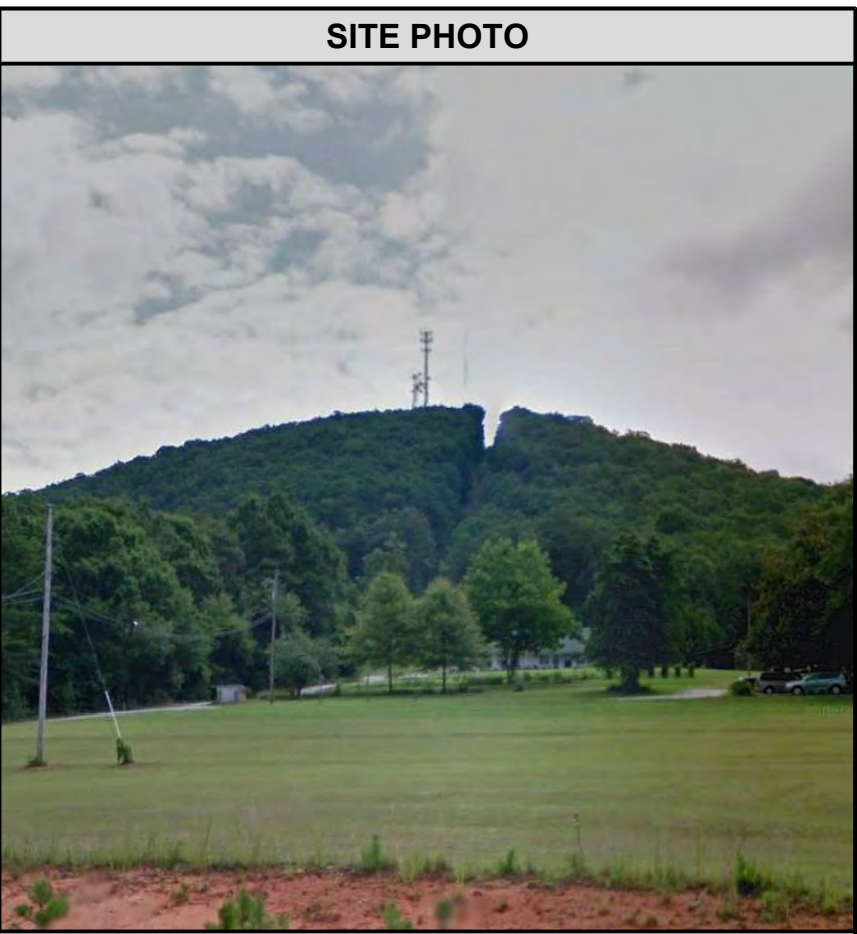
Call 811 Before you Dig

SITE NAME:
SIX MILE MOUNTAIN MW

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682

LATITUDE & LONGITUDE:
N 34° 49' 59.32" , W 82° 48' 16.18"

INDEX OF SHEETS	
T-1	TITLE PAGE
1 OF 1	SURVEY
GN-1 : GN-3	GENERAL NOTES I : GENERAL NOTES III
C-1.0	OVERALL PROPERTY PLAN
C-1.1	DETAILED SITE PLAN
C-1.2	DIMENSIONED COMPOUND PLAN
C-1.3	DIMENSIONED EQUIPMENT PLAN
C-2.1	GRADING & DRAINAGE PLAN
C-2.2	RETAINING WALL PLAN
C-2.3	DIMENSIONED RETAINING WALL PLAN
C-2.4	RETAINING WALL SECTION ELEVATION
C-2.5	RETAINING WALL DETAILS
C-2.6	SILT FENCE DETAILS
C-2.7	GRADING DETAILS I
C-2.8	GRADING DETAILS II
C-3	TOWER ELEVATION
C-4.1	ANTENNA SCHEDULE
C-4.2	TRANSMISSION LINE SCHEDULE
C-4.3	ANTENNA LAYOUTS I
C-4.4	ANTENNA LAYOUTS II
C-4.5	ANTENNA LAYOUTS III
C-5.1	SHELTER DETAILS
C-5.2	SHELTER FOUNDATION DETAILS
C-5.3	GENERATOR & BOLLARD DETAILS
C-5.4	PROPANE TANK DETAILS
C-5.5	ICE BRIDGE DETAILS
C-5.6	FENCE DETAILS
E-1	ELECTRICAL NOTES
E-2	SHELTER PANEL SCHEDULE
E-3	ELECTRICAL PLAN
E-4	ONE-LINE DIAGRAM
E-5	ALARM WIRING DETAILS
E-6	FIBER ROUTING PLAN
E-7	UTILITY DETAILS
G-1	GROUNDING PLAN
G-2.1 : G-2.4	GROUNDING DETAILS I : GROUNDING DETAILS IV



SITE SUMMARY

SITE TYPE:	NEW CONSTRUCTION
STRUCTURE TYPE:	SELF-SUPPORT
STRUCTURE OWNER:	DUKE ENERGY
STRUCTURE HEIGHT (AGL):	300' ±
OCCUPANCY TYPE:	UTILITY & MISCELLANEOUS (U)
STRUCTURE LATITUDE:	N 34° 49' 59.32" (34.833144°)
STRUCTURE LONGITUDE:	W 82° 48' 16.18" (-82.804494°)
JURISDICTION:	PICKENS COUNTY
COUNTY:	PICKENS
PARCEL ID:	4059-00-86-4317
GROUND ELEV. (NAVD 88):	1,506.61'
POWER PROVIDER:	DUKE ENERGY

PREPARED BY:

ENGINEERED
TOWER SOLUTIONS

3227 WELLINGTON COURT
RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:

DUKE
ENERGY®

SITE NAME:
SIX MILE
MOUNTAIN MW

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144° , -82.804494°

SEAL:

11/02/2022

COA:

REV	DATE	DETAILS
0	10/26/2022	CONSTRUCTION
1	11/02/2022	CONSTRUCTION
2		
3		

DRAWN BY: CP

CHECKED BY: DG

SHEET TITLE:

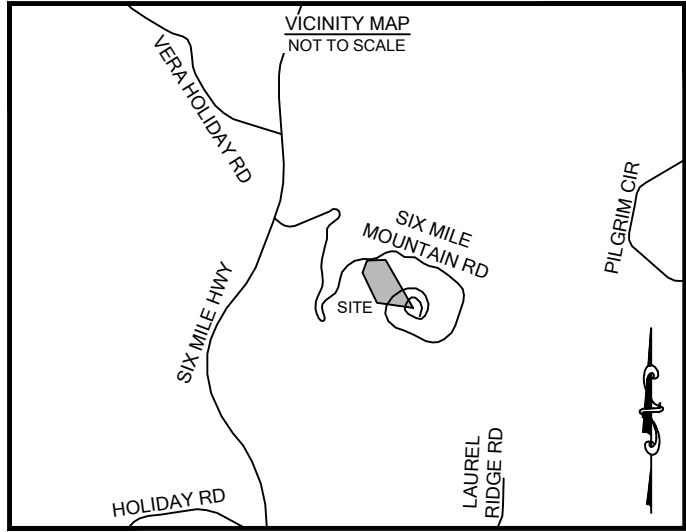
TITLE PAGE

SHEET #

T-1

CURRENT REV #: 1

ETS #: 21095122



LEGEND

- ⊗ PROPERTY MONUMENT FOUND
- LINE SURVEYED
- - - LINE NOT SURVEYED
- ⊞ UTILITY HAND HOLE
- ⌒ UTILITY POLE
- TELCO PEDESTAL
- ⌒ UTILITY POLE GUY ANCHOR
- AC HVAC UNIT
- IRF IRON REBAR FOUND
- CMF CONCRETE MONUMENT FOUND
- OHE- OVERHEAD UTILITY LINES

GENERAL NOTES

- THIS SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY CO., UNDER THE SUPERVISION OF THOMAS S. SPEIGHT, PLS.
- THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
- THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING FIELD EVIDENCE, EXISTING DEEDS AND PLATS OF PUBLIC RECORD, AND INFORMATION SUPPLIED TO THE SURVEYOR BY THE CLIENT
- VERTICAL DATUM IS (NAVD88) , THE LATITUDE, LONGITUDE AND STATE PLANE COORDINATES IF SHOWN ARE (NAD83/NSRS2011/SPC).
- FIELD EQUIPMENT USED: TRIMBLE TOTAL STATION, TRIMBLE VRS.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, MEASURED IN INTERNATIONAL FEET, AND ALL BEARINGS ARE BASED ON GPS OBSERVATION, NAD83/NSRS2011/SPC, UNLESS OTHERWISE NOTED.
- PROPERTY OWNER: N/F DUKE POWER COMPANY.
- THE AREA OF SURVEY LIES IN ZONE "X", PER NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP 45077C0260E, DATED DECEMBER 21, 2017.
- PROPERTY INFORMATION DERIVED FROM PICKENS COUNTY GIS.

0.33' FROM CORNER
N/F
JAMES B FRITZSCHE
DB 171 PG 104
PARCEL #: 4059-00-86-0625

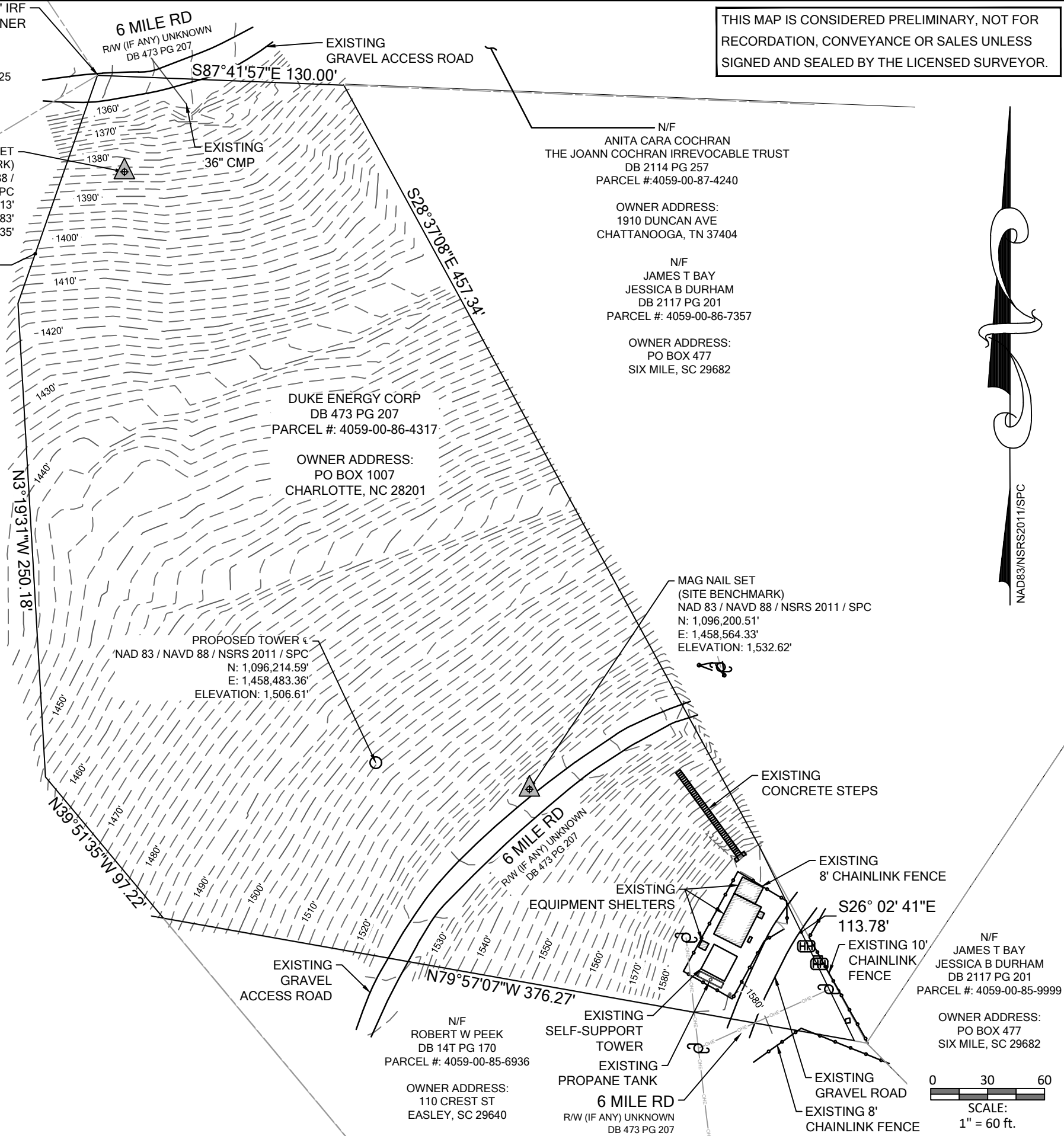
OWNER ADDRESS:
212 HAMMETT RD
GREER, SC 29650

MAG NAIL SET
(SITE BENCHMARK)
NAD 83 / NAVD 88 /
NSRS 2011 / SPC
N: 1,096,526.13'
E: 1,458,350.83'
ELEVATION: 1,383.35'

N19° 12' 57"E
127.26'

N/F
MIRIAM A MCCALL
LAREN EUGENE ALEXANDER
DB 1968 PG 179
PARCEL #: 4059-00-75-7558

OWNER ADDRESS:
5012 SIX MILE HWY
SIX MILE, SC 29682



THIS MAP IS CONSIDERED PRELIMINARY, NOT FOR
RECORDATION, CONVEYANCE OR SALES UNLESS
SIGNED AND SEALED BY THE LICENSED SURVEYOR.

N/F
ANITA CARA COCHRAN
THE JOANN COCHRAN IRREVOCABLE TRUST
DB 2114 PG 257
PARCEL #:4059-00-87-4240

OWNER ADDRESS:
1910 DUNCAN AVE
CHATTANOOGA, TN 37404

N/F
JAMES T BAY
JESSICA B DURHAM
DB 2117 PG 201
PARCEL #: 4059-00-86-7357

OWNER ADDRESS:
PO BOX 477
SIX MILE, SC 29682

DUKE ENERGY CORP
DB 473 PG 207
PARCEL #: 4059-00-86-4317

OWNER ADDRESS:
PO BOX 1007
CHARLOTTE, NC 28201

PROPOSED TOWER
NAD 83 / NAVD 88 / NSRS 2011 / SPC
N: 1,096,214.59'
E: 1,458,483.36'
ELEVATION: 1,506.61'

MAG NAIL SET
(SITE BENCHMARK)
NAD 83 / NAVD 88 / NSRS 2011 / SPC
N: 1,096,200.51'
E: 1,458,564.33'
ELEVATION: 1,532.62'

N/F
ROBERT W PEEK
DB 14T PG 170
PARCEL #: 4059-00-85-6936

OWNER ADDRESS:
110 CREST ST
EASLEY, SC 29640

N/F
JAMES T BAY
JESSICA B DURHAM
DB 2117 PG 201
PARCEL #: 4059-00-85-9999

OWNER ADDRESS:
PO BOX 477
SIX MILE, SC 29682

0 30 60
SCALE:
1" = 60 ft.

BCSC
BATEMAN CIVIL SURVEY COMPANY

Bateman Civil Survey Co, PC
2524 Reliance Ave. Apex, NC 27539
Phone: 919.577.1080 Fax: 919.577.1081
NCBLS FIRM # C-2378

APPLICANT:
**ENGINEERED TOWER
SOLUTIONS, PLLC**
3227 WELLINGTON COURT
RALEIGH, NC 27615

LAND OWNER:
DUKE ENERGY CORP.
PO BOX 1007
CHARLOTTE, NC 28201

DRAWN BY: ELS
CHECKED BY: TSS
DRAWING DATE: 08/04/21

I, THOMAS S. SPEIGHT, HEREBY CERTIFY TO
ETS - ENGINEERING TOWER SOLUTIONS,
PLLC. THAT THIS MAP IS A CORRECT
REPRESENTATION OF THE LAND PLATTED
AND HAS BEEN PREPARED IN CONFORMITY
WITH THE REQUIREMENTS OF THE
STANDARDS OF PRACTICE MANUAL FOR
SURVEYING IN SOUTH CAROLINA, AND
MEETS OR EXCEEDS THE REQUIREMENTS
OF A CLASS Ea AS SPECIFIED THEREIN.
WITNESS MY HAND AND SEAL THIS
DAY OF _____, 2021.

THOMAS S. SPEIGHT
PROFESSIONAL LAND SURVEYOR
SC NO. 7562
SOUTH CAROLINA CERTIFICATE OF
AUTHORIZATION NO. 003006 FOR BATEMAN
CIVIL SURVEY COMPANY, PC

REVISIONS	NO.	DATE	DESCRIPTION	ADDED PROPOSED TOWER CENTERLINE				
	1	10/22/21						

TOWNSHIP: SIX MILE MOUNTAIN
COUNTY: PICKENS
STATE: SOUTH CAROLINA

SIX MILE
ETS# 21095122

DATE OF SURVEY: 7-26-21

BCSC JOB # 210590

SHEET TITLE: SURVEY

SHEET NUMBER 1 OF 2

GENERAL NOTES	GENERAL NOTES (CONTINUED)	ANTENNA MOUNTING NOTES
<div>1. ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND CARRIER PROJECT SPECIFICATIONS.</div> <div>2. GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND SHALL CONFIRM THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.</div> <div>3. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. GENERAL CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK.</div> <div>4. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES, AND APPLICABLE REGULATIONS.</div> <div>5. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED IN THESE DRAWINGS.</div> <div>6. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISHED SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.</div> <div>7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.</div> <div>8. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN IN THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.</div> <div>9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.</div> <div>10. GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER DISCIPLINES.</div> <div>11. ERECTION SHALL BE DONE IN WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMEN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE. ALL MEMBERS SHALL BE LAID PLUMB AND TRUE AS INDICATED IN THE DRAWINGS.</div> <div>12. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH UL LISTED MATERIALS APPROVED BY LOCAL JURISDICTION. CONTRACTOR SHALL KEEP AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DEBRIS.</div> <div>13. THE SCOPE OF WORK FOR THIS PROJECT IS REPRESENTED BY DARK SHADED LINES AND NOTES. CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.</div> <div>14. CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO THE COMMENCEMENT OF WORK.</div> <div>15. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.</div> <div>16. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.</div> <div>17. GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND CONTRACTORS TO THE SITE AND/OR BUILDING.</div> <div>18. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.</div> <div>19. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.</div> <div>20. THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NO LESS THAN 2-A OT 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.</div>	<div>21. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION, B) CONFINED SPACE, C) ELECTRICAL SAFETY, AND D) TRENCHING & EXCAVATION.</div> <div>22. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE RESPONSIBLE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.</div> <div>23. THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION.</div> <div>24. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.</div> <div>25. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUNDING. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.</div> <div>26. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 80 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.</div> <div>27. ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.</div> <div>28. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE GENERAL CONTRACTOR AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.</div> <div>29. CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES TO THE GENERAL CONTRACTOR UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.</div> <div>30. CONTRACTOR SHALL LEAVE PREMISES IN A CLEAN CONDITION.</div> <div>31. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITAT (NO HANDICAP ACCESS REQUIRED).</div> <div>32. STRUCTURE IS LIMITED TO PERIODIC MAINTENANCE AND INSPECTION, APPROXIMATELY 2 TIMES PER MONTH, BY CARRIER TECHNICIANS.</div> <div>33. NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED.</div> <div>34. ALL MATERIAL SHALL BE FURNISHED AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CARRIER GROUNDING STANDARD. IN CASE OF A CONFLICT BETWEEN THE CONSTRUCTION SPECIFICATION AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN.</div> <div>35. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.</div> <div>36. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.</div> <div>37. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE SITE OWNER. CONTRACTORS SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.</div> <div>38. ALL CABLE INSTALLATIONS TO FOLLOW MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.</div> <div>39. NO WHITE STROBE LIGHTS ARE PERMITTED. LIGHTING IF REQUIRED, WILL MEET FAA STANDARDS AND REQUIREMENTS.</div>	<div>1. ALL STEEL MATERIALS SHALL BE GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALVANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS NOTED OTHERWISE.</div> <div>2. ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINC-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS NOTED OTHERWISE.</div> <div>3. DAMAGED GALVANIZED SURFACES SHALL BE REPAIRED BY COLD GALVANIZING IN ACCORDANCE WITH ASTM A780.</div> <div>4. ALL ANTENNA MOUNTS SHALL BE INSTALLED WITH LOCK NUTS, DOUBLE NUTS AND SHALL BE TORQUED TO MANUFACTURER'S RECOMMENDATIONS.</div> <div>5. CONTRACTOR SHALL INSTALL ANTENNA PER MANUFACTURER'S RECOMMENDATION FOR INSTALLATION AND GROUNDING.</div> <div>6. PRIOR TO SETTING ANTENNA AZIMUTHS AND DOWNTILTS, ANTENNA CONTRACTOR SHALL CHECK THE ANTENNA MOUNT FOR TIGHTNESS AND ENSURE THAT THEY ARE PLUMB. ANTENNA AZIMUTHS SHALL BE SET FROM TRUE NORTH AND BE ORIENTED WITHIN +/- 5% AS DEFINED BY THE RFDS. ANTENNA DOWNTILTS SHALL BE WITHIN +/- 0.5% AS DEFINED BY THE RFDS. REFER TO ND-00246.</div>

TORQUE REQUIREMENTS

1. ALL RF CONNECTIONS SHALL BE TIGHTENED BY A TORQUE WRENCH.

2. ALL RF CONNECTIONS, GROUNDING HARDWARE AND ANTENNA HARDWARE SHALL HAVE A TORQUE MARK INSTALLED IN A CONTINUOUS STRAIGHT LINE FROM BOTH SIDES OF THE CONNECTION.

3. RF CONNECTION BOTH SIDES OF THE CONNECTOR.

4. GROUNDING AND ANTENNA HARDWARE ON THE NUT SIDE STARTING FROM THE THREADS TO THE SOLID SURFACE. EXAMPLE OF SOLID SURFACE: GROUND BAR, ANTENNA BRACKET METAL.

5. ALL 8M ANTENNA HARDWARE SHALL BE TIGHTENED TO 9 LB-FT (12 NM).

6. ALL 12M ANTENNA HARDWARE SHALL BE TIGHTENED TO 43 LB-FT (58 NM).

7. ALL GROUNDING HARDWARE SHALL BE TIGHTENED UNTIL THE LOCK WASHER COLLAPSES AND THE GROUNDING HARDWARE IS NO LONGER LOOSE.

8. ALL DIN TYPE CONNECTIONS SHALL BE TIGHTENED TO 18-22 LB-FT (24.4-29.8 NM).

9. ALL N TYPE CONNECTIONS SHALL BE TIGHTENED TO 15-20 LB-IN (1.7-2.3 NM).

COAXIAL CABLE NOTES

1. TYPES AND SIZES OF THE ANTENNA CABLE ARE BASED ON ESTIMATED LENGTHS. PRIOR TO ORDERING CABLE, CONTRACTOR SHALL VERIFY ACTUAL LENGTH BASED ON CONSTRUCTION LAYOUT AND NOTIFY THE PROJECT MANAGER IF ACTUAL LENGTHS EXCEED ESTIMATED LENGTHS.

2. CONTRACTOR SHALL VERIFY THE DOWN-TILT OF EACH ANTENNA WITH A DIGITAL LEVEL.

3. CONTRACTOR SHALL CONFIRM COAX COLOR CODING PRIOR TO CONSTRUCTION. REFER TO "ANTENNA SYSTEM LABELING STANDARD" ND-00027 LATEST VERSION.

4. ALL JUMPERS TO THE ANTENNAS SHALL BE 1/2" DIA. LDF AND SHALL NOT EXCEED 6'-0".

5. ALL COAXIAL CABLE SHALL BE SECURED TO THE DESIGNED SUPPORT STRUCTURE, IN AN APPROVED MANNER, AT DISTANCES NOT TO EXCEED 4'-0" OC.

6. CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS REGARDING BOTH THE INSTALLATION AND GROUNDING OF ALL COAXIAL CABLES, CONNECTORS, ANTENNAS, AND ALL OTHER EQUIPMENT.

7. CONTRACTOR SHALL WEATHERPROOF ALL ANTENNA CONNECTORS WITH SELF AMALGAMATING TAPE. WEATHERPROOFING SHALL BE COMPLETED IN STRICT ACCORDANCE WITH INDUSTRY STANDARDS.


















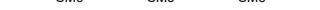
























GENERAL CABLE AND EQUIPMENT NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ANTENNA, TMAS, DIPLEXERS, AND COAX CONFIGURATION, MAKE AND MODELS PRIOR TO INSTALLATION.

2. ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

3. CONTRACTOR SHALL REFERENCE THE STRUCTURAL ANALYSIS/DESIGN DRAWINGS FOR DIRECTIONS ON CABLE DISTRIBUTION/ROUTING.

<div>GENERAL CABLE AND EQUIPMENT NOTES</div> <div><div><div><div><div>1.</div><div>ALL OUTDOOR RF CONNECTORS/CONNECTIONS SHALL BE WEATHERPROOFED, EXCEPT THE RET CONNECTORS, USING BUTYL TAPE AFTER INSTALLATION AND FINAL CONNECTIONS ARE MADE. BUTYL TAPE SHALL HAVE A MINIMUM OF ONE-HALF TAPE WIDTH OVERLAP ON EACH TURN AND EACH LAYER SHALL BE WRAPPED THREE TIMES. WEATHERPROOFING SHALL BE SMOOTH WITHOUT BUCKLING. BUTYL BLEEDING IS NOT ALLOWED.</div></div><div><div>2.</div><div>IF REQUIRED TO PAINT ANTENNAS AND/OR COAX:<div><div>2.1.</div><div>TEMPERATURE SHALL BE ABOVE 50° F.</div></div><div><div>2.2.</div><div>PAINT COLOR MUST BE APPROVED BY BUILDING OWNER/LANDLORD.</div></div><div><div>2.3.</div><div>FOR REGULATED TOWERS, FAA/FCC APPROVED PAINT IS REQUIRED.</div></div><div><div>2.4.</div><div>DO NOT PAINT OVER COLOR CODING OR ON EQUIPMENT MODEL NUMBERS.</div></div></div><div><div>3.</div><div>ALL PROPOSED GROUND BAR DOWNLEADS ARE TO BE TERMINATED TO THE EXISTING ADJACENT GROUND BAR DOWNLEADS A MINIMUM DISTANCE OF 4'-0" BELOW GROUND BAR. TERMINATIONS MAY BE EXOTHERMIC OR COMPRESSION.</div></div><div><div>4.</div><div>ALL CONNECTIONS FOR HANGERS, SUPPORTS, BRACING, ETC. SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION & RECOMMENDATIONS.NO BOLT THREADS TO PROTRUDE MORE THAN 1-1/2" [.038M].</div></div><div><div>5.</div><div>90 SHORT SWEEPS UNDER ANTENNA ARM. ALL CABLES MUST ONLY TRANSITION ON THE INSIDE OR BOTTOM OF ARMS (NO CABLE ON TOP OF ARMS).</div></div><div><div>6.</div><div>USE 90 CONNECTOR AT CABLE CONNECTION TO ANTENNAS.</div></div><div><div>7.</div><div>PLACE GPS ON ARM WITH SOUTHERN SKY EXPOSURE AT MINIMUM 6' [1.83] FROM TRANSMIT ANTENNA, WHICH IS 24" [.61M] AWAY FROM CENTER OF POLE.</div></div><div><div>8.</div><div>USE 1/2" [.013M] CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.</div></div><div><div>9.</div><div>FILL VOID AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTRUSION.</div></div></div></div></div><div>FIBER & POWER CABLE MOUNTING</div><div><div><div>1.</div><div>THE FIBER OPTIC TRUNK CABLES SHALL BE INSTALLED INTO CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY. WHEN INSTALLING FIBER OPTIC TRUNK CABLES INTO A CABLE TRAY SYSTEM, THEY SHALL BE INSTALLED INTO AN INTER DUCT AND A PARTITION BARRIER SHALL BE INSTALLED BETWEEN THE 600 VOLT CABLES AND THE INTER DUCT IN ORDER TO SEGREGATE CABLE TYPES. OPTIC FIBER TRUNK CABLES SHALL HAVE APPROVED CABLE RESTRAINTS EVERY (60) SIXTY FEET AND SECURELY FASTENED TO THE CABLE TRAY SYSTEM. NFPA 70 (NEC) ARTICLE 770 RULES SHALL APPLY.</div></div><div><div>2.</div><div>THE TYPE TC-ER CABLES SHALL BE INSTALLED INTO CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY AND SHALL BE SECURED AT INTERVALS NOT EXCEEDING (6) SIX FEET. AN EXCEPTION; WHERE TYPE TC-ER CABLES ARE NOT SUBJECT TO PHYSICAL DAMAGE, CABLES SHALL BE PERMITTED TO MAKE A TRANSITION BETWEEN CONDUITS, CHANNEL CABLE TRAYS, OR CABLE TRAY WHICH ARE SERVING UTILIZATION EQUIPMENT OR DEVICES, A DISTANCE (6) SIX FEET SHALL NOT BE EXCEEDED WITHOUT CONTINUOUS SUPPORTING. NFPA 70 (NEC) ARTICLES 336 AND 392 RULES SHALL APPLY.</div></div><div><div>3.</div><div>WHEN INSTALLING OPTIC FIBER TRUNK CABLES OR TYPE TC-ER CABLES INTO CONDUITS, NFPA 70 (NEC) ARTICLE 300 RULES SHALL APPLY.</div></div></div><div>STRUCTURAL STEEL NOTES</div><div><div><div>1.</div><div>THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATION FOR MANUAL OF STEEL CONSTRUCTION, LOAD AND RESISTANCE FACTOR DESIGN, 15TH EDITION.</div></div><div><div>2.</div><div>UNLESS OTHERWISE NOTED, ALL STRUCTURAL ELEMENTS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:<div>STRUCTURAL STEEL:<div><div><div>•</div><div>ANGLE: ASTM A36</div></div><div><div>•</div><div>PIPE/TUBE: ASTM A500-50</div></div><div><div>•</div><div>PLATE: ASTM A36</div></div></div><div><div>A.</div><div>ALL BOLTS, ASTM A325 TYPE I GALVANIZED HIGH STRENGTH BOLTS.</div></div><div><div>B.</div><div>ALL U-BOLTS, ASTM A193 GRADE B7</div></div><div><div>C.</div><div>ALL NUTS, ASTM A563 CARBON AND ALLOY STEEL NUTS.</div></div><div><div>D.</div><div>ALL WASHERS, ASTM F436 HARDENED STEEL WASHERS.</div></div></div></div></div><div><div>3.</div><div>ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH AISC SPECIFICATION FOR MANUAL OF STEEL CONSTRUCTION, LOAD AND RESISTANCE FACTOR DESIGN, 15TH EDITION.</div></div><div><div>4.</div><div>HOLES SHALL NOT BE FLAME CUT THRU STEEL UNLESS APPROVED BY THE ENGINEER.</div></div><div><div>5.</div><div>HOT-DIP GALVANIZE ALL ITEMS UNLESS OTHERWISE NOTED, AFTER FABRICATION WHERE PRACTICABLE. GALVANIZING: ASTM A123, ASTM, A153/A153M OR ASTM A653/A653M, G90, AS APPLICABLE.</div></div><div><div>6.</div><div>REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A780 OR BY APPLICATION OF STICK OR THICK PASTED MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED AND REMOVE SLAG FROM WELDS. HEAT SURFACES TO WHICH STICK OR PASTE MATERIAL IS APPLIED, WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS IN STICK OR PASTED; SPREAD MOLTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIPE OFF EXCESS MATERIAL.</div></div><div><div>7.</div><div>A NUT LOCKING DEVICE SHALL BE INSTALLED ON ALL PROPOSED AND/OR REPLACED BOLTS.</div></div><div><div>8.</div><div>ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH TO EXCLUDE THE THREADS FROM THE SHEAR PLANE.</div></div><div><div>9.</div><div>ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE END OF THE BOLT BE AT LEAST FLUSH WITH THE FACE OF THE NUT. IT IS NOT PERMITTED FOR THE BOLT END TO BE BELOW THE FACE OF THE NUT AFTER TIGHTENING IS COMPLETED.</div></div><div><div>10.</div><div>GALVANIZED ASTM A325 BOLTS SHALL NOT BE REUSED.</div></div></div></div> <div>BOLT TIGHTENING PROCEDURE</div> <div><div><div>1.</div><div>CONNECTION BOLTS SUBJECT TO DIRECT TENSION SHALL BE INSTALLED AND TIGHTENED AS PER SECTION 8.2 OF THE AISC SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A490 BOLTS, LOCATED IN THE AISC MANUAL OF STEEL CONSTRUCTION. THE INSTALLATION PROCEDURE IS PARAPHRASED AS FOLLOWS:</div></div><div><div>2.</div><div>FASTENERS SHALL BE INSTALLED IN PROPERLY ALIGNED HOLES AND TIGHTENED BY ONE OF THE METHODS DESCRIBED IN SUBSECTION 8.2.1 THROUGH 8.2.4.<div>8.2.1 TURN-OF-THE-NUT TIGHTENING. BOLTS SHALL BE INSTALLED IN ALL HOLES OF THE CONNECTION AND BROUGHT TO A SNUG TIGHT CONDITION AS DEFINED IN SECTION 8.1, UNTIL ALL THE BOLTS ARE SIMULTANEOUSLY SNUG TIGHT AND THE CONNECTION IS FULLY COMPACTED. FOLLOWING THIS INITIAL OPERATION ALL BOLTS IN THE CONNECTION SHALL BE TIGHTENED FURTHER BY THE APPLICABLE AMOUNT OF ROTATION SPECIFIED ABOVE. DURING THE TIGHTENING OPERATION THERE SHALL BE NO ROTATION OF THE PART NOT TURNED BY THE WRENCH. TIGHTENING SHALL PROGRESS SYSTEMATICALLY FROM THE MOST RIGID PART OF THE JOINT IN A MANNER THAT WILL MINIMIZE RELAXATION OF PREVIOUSLY PRETENSIONED BOLTS.</div></div></div><div><div>3.</div><div>TIGHTEN CONNECTION BOLTS BY AISC - "TURN OF THE NUT" METHOD, USING THE CHART BELOW.<div><div><div>BOLT LENGTHS UP TO AND INCLUDING FOUR DIA.</div><div><div><div>½"</div><div>BOLTS UP TO AND INCLUDING 2.0 INCH LENGTH</div><div>+½ TURN BEYOND SNUG TIGHT</div></div><div><div>⅝"</div><div>BOLTS UP TO AND INCLUDING 2.5 INCH LENGTH</div><div>+½ TURN BEYOND SNUG TIGHT</div></div><div><div>¾"</div><div>BOLTS UP TO AND INCLUDING 3.0 INCH LENGTH</div><div>+½ TURN BEYOND SNUG TIGHT</div></div><div><div>⅞"</div><div>BOLTS UP TO AND INCLUDING 3.5 INCH LENGTH</div><div>+½ TURN BEYOND SNUG TIGHT</div></div><div><div>1"</div><div>BOLTS UP TO AND INCLUDING 4.0 INCH LENGTH</div><div>+½ TURN BEYOND SNUG TIGHT</div></div></div><div><div>BOLT LENGTHS OVER FOUR DIA. BUT NOT EXCEEDING EIGHT DIA.</div><div><div><div>½"</div><div>BOLTS 2.25 TO 4.0 INCH LENGTH</div><div>+½ TURN BEYOND SNUG TIGHT</div></div><div><div>⅝"</div><div>BOLTS 2.75 TO 5.0 INCH LENGTH</div><div>+½ TURN BEYOND SNUG TIGHT</div></div><div><div>¾"</div><div>BOLTS 3.25 TO 6.0 INCH LENGTH</div><div>+½ TURN BEYOND SNUG TIGHT</div></div><div><div>⅞"</div><div>BOLTS 3.75 TO 7.0 INCH LENGTH</div><div>+½ TURN BEYOND SNUG TIGHT</div></div><div><div>1"</div><div>BOLTS 4.25 TO 8.0 INCH LENGTH</div><div>+½ TURN BEYOND SNUG TIGHT</div></div></div></div></div></div><div>ALL OTHER BOLTED CONNECTIONS SHALL BE BROUGHT TO A SNUG TIGHT CONDITION AS DEFINED IN SECTION 8.1 OF THE SPECIFICATION.</div></div></div><div>FOUNDATION NOTES</div><div><div><div>FOUNDATION GENERAL NOTES</div><div><div><div>1.</div><div>FOUNDATION INSTALLATION SHALL BE SUPERVISED BY PERSONNEL KNOWLEDGEABLE AND EXPERIENCED WITH THE PROPOSED FOUNDATION TYPE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICES AND IN A GOOD WORKMANLIKE MANNER.</div></div><div><div>2.</div><div>CONTRACTOR TO VERIFY DIMENSIONS WITH ORIGINAL TOWER DRAWINGS. ETS SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN FIELD MEASURED DIMENSIONS AND ORIGINAL TOWER DRAWINGS.</div></div><div><div>3.</div><div>FOUNDATION DESIGN MODIFICATIONS MAY BE REQUIRED IN THE EVENT THE DESIGN PARAMETERS ARE NOT APPLICABLE FOR THE SUBSURFACE CONDITIONS ENCOUNTERED DURING CONSTRUCTION.</div></div><div><div>4.</div><div>FOR FOUNDATION TOLERANCES, SEE ORIGINAL TOWER DRAWINGS.</div></div><div><div>5.</div><div>THE FOUNDATION MODIFICATION DESIGN IS IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRINCIPLES AND PRACTICES WITHIN THE LIMITS OF SUBSURFACE DATA PROVIDED.</div></div><div><div>6.</div><div>THE FOUNDATION DEPTH INDICATED IS BASED ON THE GRADE LINE DESCRIBED IN THE REFERENCE GEOTECHNICAL REPORT. FOUNDATION MODIFICATION MAY BE REQUIRED IN THE EVENT CUT OR FILL OPERATIONS HAVE TAKEN PLACE SUBSEQUENT TO THE GEOTECHNICAL INVESTIGATION.</div></div><div><div>7.</div><div>THE FOUNDATION DESIGN ASSUMES THAT INSTALLATION METHODS WILL INCORPORATE THE PROCEDURES RECOMMENDED IN THIS REPORT.</div></div><div><div>8.</div><div>THE FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS, AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON THE CONDITIONS AT THE SITE.</div></div><div><div>9.</div><div>THE FOUNDATION DESIGN ASSUMES NO CONSTRUCTION JOINTS, HOWEVER, CONSTRUCTION JOINTS SHALL BE PERMITTED UPON APPROVAL BY THE OWNER/ENGINEER.</div></div></div><div><div>EXCAVATION</div><div><div><div>1.</div><div>WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND SAFETY REGULATIONS. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION, AND UTILITIES SHALL BE ESTABLISHED PRIOR TO BEGINNING WORK.</div></div><div><div>2.</div><div>THE SIDES OF THE EXCAVATION SHALL BE ROUGH AND FREE OF CUTTINGS.</div></div><div><div>3.</div><div>LOOSE MATERIAL TO BE REMOVED FROM THE BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT.</div></div></div><div><div>REINFORCING STEEL</div><div><div><div>1.</div><div>THE REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-615, GRADE 60. IT SHALL BE DEFORMED AND SPLICES SHALL NOT BE ALLOWED UNLESS OTHERWISE NOTED.</div></div><div><div>2.</div><div>WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.</div></div><div><div>3.</div><div>REINFORCING CAGES SHALL BE BRACED TO RETAIN PROPER DIMENSIONS DURING HANDLING AND THROUGHOUT PLACEMENT OF CONCRETE. WHEN TEMPORARY CASING IS UTILIZED, BRACING SHALL BE ADEQUATE TO RESIST FORCES OCCURRING FROM FLOWING CONCRETE DURING CASING EXCAVATION.</div></div><div><div>4.</div><div>SPACERS SHALL BE ATTACHED INTERMITTENTLY THROUGHOUT THE ENTIRE LENGTH OF TIEBACK REINFORCING TO INSURE CONCENTRIC PLACEMENT OF CASING IN EXCAVATIONS. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3" UNLESS OTHERWISE NOTED. APPROVED SPACERS SHALL BE USED TO INSURE A 3" MINIMUM COVER FOR REINFORCEMENT.</div></div><div><div>6.</div><div>THE CONCRETE COVER FROM THE TOP OF THE FOUNDATION TO THE ENDS OF THE VERTICAL REINFORCEMENT SHALL NOT BE LESS THAN 3".</div></div></div></div></div><div>FOUNDATION NOTES (CONTINUED)</div><div><div><div>CONCRETE</div><div><div><div>1.</div><div>WORK SHALL BE IN ACCORDANCE WITH THE ACI 318-14, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY".</div></div><div><div>2.</div><div>THE CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000-PSI IN 28 DAYS.</div></div><div><div>3.</div><div>ANY CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED AS REQUIRED BY ACI 318-14.</div></div><div><div>4.</div><div>PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318-14 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE.</div></div><div><div>5.</div><div>CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOIL, AND OTHER OCCURRENCES THAT MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.</div></div><div><div>6.</div><div>FREE FALL CONCRETE MAY BE USED PROVIDED FALL IS VERTICAL DOWN WITHOUT HITTING THE SIDES OF THE EXCAVATION, FORMWORK, REINFORCING BARS, FORM TIES, CAGE BRACING, OR OTHER OBSTRUCTIONS. UNDER NO CIRCUMSTANCES SHALL CONCRETE FALL THROUGH WATER.</div></div><div><div>7.</div><div>THE MAXIMUM SIZE OF THE AGGREGATE SHALL NOT EXCEED A SIZE SUITABLE FOR THE INSTALLATION METHODS UTILIZED OR 2/3-CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING. THE MAXIMUM SIZE MAY BE INCREASED TO 2/3-CLEAR DISTANCE PROVIDED WORKABILITY AND METHODS OF CONSOLIDATION SUCH AS VIBRATING WILL PREVENT HONEYCOMBS AND VOIDS.</div></div></div></div><div><div>FINISHING</div><div><div><div>1.</div><div>THE TOP OF THE FOUNDATION SHALL BE SLOPED TO DRAIN WITH A FLOATED FINISH.</div></div><div><div>2.</div><div>THE EXPOSED EDGES OF THE CONCRETE SHALL BE CHAMFERED 1" X 1".</div></div></div><div><div>EPOXY NOTES</div><div><div><div>1.</div><div>EPOXY AGENTS SHOULD BE ALLOWED TO CURE ACCORDING TO MANUFACTURERS RECOMMENDATIONS.</div></div><div><div>2.</div><div>ALL HARDWARE ASSEMBLY AND MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED; ANY CONTRADICTION BETWEEN THE MANUFACTURER'S RECOMMENDATIONS AND THESE DRAWINGS ARE TO BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ENGINEER AND OWNER.</div></div><div><div>3.</div><div>ANY CONTRACTOR INSTALLING ADHESIVE ANCHORING SYSTEMS SHALL BE TRAINED, IN PERSON BY A MANUFACTURER'S REPRESENTATIVE, ON THE PROPER INSTALLATION TECHNIQUES. THIS TRAINING SHALL INCLUDE PROPER DRILLING, HOLE CLEANING, AND INSTALLATION METHODS FOR THE ADHESIVE ANCHORING SYSTEM AND CONSTRUCTION CONDITIONS ON THIS PROJECT. ALL TRAINING TO BE CONDUCTED PRIOR TO CREWS STEPPING ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT MANUFACTURER REPRESENTATIVE TO SET UP TRAINING, ETS IS NOT RESPONSIBLE FOR ANY COST OCCURRED FOR OR DURING ADHESIVE ANCHORING SYSTEM TRAINING.</div></div></div></div><div><div>SOIL COMPACTION</div><div><div><div>1.</div><div>SUBGRADE PREPARATION<div><div><div>1.1.</div><div>SHAPE TOP OF SUBGRADE TO THE LINES AND GRADES SHOWN ON THE DRAWINGS.</div></div><div><div>1.2.</div><div>MAINTAIN TOP OF SUBGRADE IN A FREE-DRAINING CONDITION.</div></div><div><div>1.3.</div><div>DO NOT STOCKPILE MATERIALS ON TOP OF SUBGRADE UNLESS AUTHORIZED BY CONSTRUCTION MANAGER.</div></div><div><div>1.4.</div><div>FOR SUBGRADES CONSISTING OF IN-PLACE NATIVE SOILS, SOILS SHALL BE FREE OF CUTTING AND OTHER LOOSE MATERIAL AND SHALL MEET THE MINIMUM BEARING CAPACITY REQUIREMENTS NOTES UNDER SOIL STRENGTH</div></div><div><div>1.5.</div><div>FOR SUBGRADES CONSISTING OF PLACED STRUCTURAL FILL, STRUCTURAL FILL SHOULD BE PLACED IN 6 INCH LIFTS AND COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS OBTAINED BY THE STANDARD PROCTOR METHOD</div></div><div><div>1.6.</div><div>CONSTRUCT TOP OF SUBGRADE WITHIN ONE INCH OF ESTABLISHED GRADE AND CROSS-SECTION.</div></div></div></div></div></div><div>SOIL STRENGTH</div><div><div><div>1.</div><div>FOUNDATION DESIGN IS BASED ON A 2000 PSF SOIL BEARING CAPACITY. IF OTHER CONDITIONS EXIST, FOUNDATION SHALL BE REDESIGNED. CONTRACTOR SHALL HAVE SOIL BEARING CAPACITY VERIFIED BY A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES.</div></div></div></div><div>WELDING NOTES</div><div><div><div>1.</div><div>ALL WELDING SHALL BE IN ACCORDANCE WITH THE AWS D1.1/D1.1M: 2015 "STRUCTURAL WELDING CODE-STEEL".</div></div><div><div>2.</div><div>ALL WELDING SHALL BE PERFORMED BY AWS CERTIFIED WELDERS.</div></div><div><div>3.</div><div>CONTRACTOR SHALL RETAIN AN AWS CERTIFIED WELD INSPECTOR TO PERFORM VISUAL INSPECTIONS ON FIELD WELDS. A LETTER AND REPORT SHALL BE ISSUED TO THE CONTRACTOR. CONTRACTOR SHALL SUBMIT LETTER AND REPORT TO TOWER OWNER.</div></div><div><div>4.</div><div>GRIND THE SURFACE ADJACENT TO THE WELD FOR A DISTANCE OF 2" MINIMUM ALL AROUND. GRIND THE SURFACE OF THE ROD TO BE INSTALLED FOR A DISTANCE OF 2" MINIMUM ALL AROUND THE AREA TO BE WELDED. ENSURE BOTH AREAS ARE 100% FREE OF ALL GALVANIZING. SURFACES TO BE WELDED SHALL BE FREE FROM SCALE, SLAG, RUST, MOISTURE, GREASE OR ANY OTHER FOREIGN MATERIAL THAT WOULD PREVENT PROPER WELDING.</div></div><div><div>5.</div><div>DO NOT WELD IF THE TEMPERATURE OF THE STEEL IN THE VICINITY OF THE WELD AREA IS BELOW 0°F. WHEN THE TEMPERATURE IS BETWEEN 0°F AND 32°F, PREHEAT AND MAINTAIN THE STEEL IN THE VICINITY OF THE WELD AREA AT 70°F DURING THE WELDING PROCESS.</div></div><div><div>6.</div><div>DO NOT WELD ON WET OR FROST-COVERED SURFACES & PROVIDE ADEQUATE PROTECTION FROM HIGH WINDS.</div></div><div><div>7.</div><div>FOR ALL WELDING, USE E70XX ELECTRODES.</div></div><div><div>8.</div><div>AFTER FINAL INSPECTION, THE AREA OF THE WELDS, THE INSTALLATION AND ALL SURFACES DAMAGED BY WELDING OR GRINDING SHALL RECEIVE A COLD-GALVANIZED COATING. THIS COATING SHALL BE APPLIED BY BRUSH. THE GALVANIZING COMPOUND SHALL CONTAIN A MINIMUM OF 95% ± PURE ZINC. THE FINISHED COATING SHALL BE A MINIMUM THICKNESS OF 3 MILS.</div></div></div></div><div>PREPARED BY:</div><div><div><div><div><div><div></div><div>ENGINEERED TOWER SOLUTIONS</div></div><div>3227 WELLINGTON COURT RALEIGH, NC 27615 919-782-2710 www.ets-pltc.com</div></div></div></div></div><div>PREPARED FOR:</div><div><div><div><div><div></div><div>DUKE ENERGY®</div></div></div></div></div><div>SITE NAME:</div><div>SIX MILE MOUNTAIN MW</div><div>SITE ADDRESS:</div><div>6 MILE ROAD SIX MILE, SC 29682</div><div>LATITUDE/LONGITUDE:</div><div>34.833144°, -82.804494°</div><div>SEAL:</div><div><div><div><div><div><div></div><div>SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER No. 23934 FREDERIC G. BOST</div><div>11/02/2022</div></div></div></div></div></div><div>COA:</div><div><div><div><div><div><div></div><div>SOUTH CAROLINA FREDERIC GEOFF BOST ENGINEERED TOWER SOLUTIONS, PLLC NO. 4634 CERTIFICATE OF AUTHORIZATION</div></div></div></div></div></div><div><table><tr><th>REV</th><th>DATE</th><th>DETAILS</th></tr><tr><td>0</td><td>10/26/2022</td><td>CONSTRUCTION</td></tr><tr><td>1</td><td>11/02/2022</td><td>CONSTRUCTION</td></tr><tr><td>2</td><td></td><td></td></tr><tr><td>3</td><td></td><td></td></tr></table></div><div><table><tr><td>DRAWN BY: CP</td><td>CHECKED BY: DG</td></tr></table></div><div>SHEET TITLE:</div><div>GENERAL NOTES II</div><div><table><tr><td>SHEET #</td><td>CURRENT REV #:</td></tr><tr><td>GN-2</td><td>1</td></tr><tr><td></td><td>ETS #: 21095122</td></tr></table></div></div></div></div></div>	REV	DATE	DETAILS	0	10/26/2022	CONSTRUCTION	1	11/02/2022	CONSTRUCTION	2			3			DRAWN BY: CP	CHECKED BY: DG	SHEET #	CURRENT REV #:	GN-2	1		ETS #: 21095122
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ABBREVIATIONS				LINETYPES			
ABC	AGGREGATE BASE COURSE	FT.	FOOT, FEET	RT	RIGHT		PARENT PROPERTY BOUNDARY
ABS	AIR BREAK SWITCH	FTG.	FOOTING	R/W	RIGHT OF WAY		ADJACENT PROPERTY BOUNDARY
A.C.	ASBESTOS CEMENT	GA	GAGE	RWM	RIGHT OF WAY MONUMENT		EASEMENT
A/C	AIR CONDITIONING	GAL.	GALLON	SAN	SANITARY SEWER		LEASE AREA
A.D.	AREA DRAIN	GALV.	GALVANIZED	SB	SOIL BORING		RIGHT OF WAY
A.F.F.	ABOVE FINISHED FLOOR	GC	GENERAL CONTRACTOR	SCH	SCHEDULE		SILT FENCE
ALT.	ALTERNATE	G.F.E.	GOVERNMENT FURNISHED EQUIPMENT	SET	SETBACK		CHAIN-LINK FENCE
ALUM.	ALUMINUM	GIS	GEOGRAPHIC INFORMATION SYSTEM	SF	SQUARE FEET		UNDERGROUND WATER
AMP.	AMPERES	GL	GAS LINE	SHT	SHEET		UNDERGROUND POWER
A.O.	ACCESS OPENING	GM	GAS METER	SIA	SIAMESE CONNECTION		OVERHEAD POWER
APPROX.	APPROXIMATELY	G.P.H.	GALLONS/HOUR	SIG	SIGNAL		ALTERNATING CURRENT POWER
ARCH.	ARCHITECTURAL	G.P.M.	GALLONS/MINUTE	SOTF	SECURITY OPERATIONS TRAINING FACILITY		DIRECT CURRENT POWER
ASPH.	ASPHALT	GND.	GROUND	SP	SIGNAL POLE		FIBER/DC POWER COMPOSITE CABLE
A.T.P.	ANTI-TERRORISM FORCE PROTECTION	GOV'T	GOVERNMENT	SPECS	SPECIFICATIONS		HYBRID CABLE
A.W.W.A.	AMERICAN WATER WORKS ASSOCIATION	GV	GATE VALVE	SQFT	SQUARE FEET		UNDERGROUND FIBER
BLDG.	BUILDING	GW	GUY WIRE	SR	STATE ROAD		OVERHEAD FIBER
BM.	BENCH MARK	HC	HANDICAP	SS	SANITARY SEWER		MULTI-MODE FIBER
BOC	BACK OF CURB	HCP	HANDICAP PARKING	STA.	STATION		SINGLE-MODE FIBER
BOL	BOLLARD	HCR	HANDICAP RAMP	STD.	STANDARD		FIBER TRUNK - 6 STRAND
BRG.	BEARING	HDW	HEADWALL	STM	STORM		FIBER TRUNK - 12 STRAND
BVC	BEGIN VERTICAL CURVE	HP	HIGH POINT	STL	STEEL		FIBER TRUNK - 24 STRAND
BVCE	BEGIN VERTICAL CURVE ELEVATION	HSS	HIGH STRENGTH STEEL	SW	SIDEWALK		FIBER TRUNK - 48 STRAND
BVCS	BEGIN VERTICAL CURVE STATION	HT	HEIGHT	SWM.	STORMWATER MANAGEMENT		FIBER TRUNK - 96 STRAND
C&G	CURB AND GUTTER	HYD	HYDRANT	T	TANGENT		FIBER TRUNK - 144 STRAND
CATV	CABLE TELEVISION	ID.	INSIDE DIAMETER	TBM	TEMPORARY BENCHMARK		FIBER TRUNK - 288 STRAND
CAP.	CAPACITY	INTX.	INTERSECTION	TERR	TERRA COTTA PIPE		GROUND WIRE
C.B.	CATCH BASIN	INV.	INVERT	TEL	TELEPHONE		GAS LINE
CBL	CABLE	ISL	ISLAND	TOC	TOP OF CURB		ETHERNET CABLE
CEM.	CEMENT	ITL.	INDEPENDENT TESTING LABORATORY	TOB	TOP OF BANK		CAT6 CABLE
CER.	CERAMIC	J.B.	JUNCTION BOX	TOS	TOP OF SLOPE		CAT5 CABLE
C.F.M.	CUBIC FEET/MINUTE	JCT.	JUNCTION	TOW	TOP OF WALL		ALARM CABLE
C.F.S.	CUBIC FEET/SECOND	JSOC	JOINT SPECIAL OPERATIONS COMMAND	TP	TELEPHONE POLE		CONDUIT
C.I.	CURB INLET	JT.	JOINT	TRANS	TRANSFORMER		COAX FEEDLINE
C.I.P.	CAST IRON PIPE	K	K VALVE	TYP.	TYPICAL		COAX FEEDLINE / JUMPER - TFT-402
CIRC.	CIRCULATING	KVA	KILOVOLT AMPERE	U/C	UNDER CONSTRUCTION		COAX FEEDLINE / JUMPER - PTS1-50
C.A.	CONSTRUCTION JOINT/CONTRACTION JOINT	KW	KILOWATT	U/G	UNDERGROUND		COAX FEEDLINE / JUMPER - LMR-240
C.L.	CENTER LINE	L	LENGTH	UNO	UNLESS NOTED OTHERWISE		COAX FEEDLINE / JUMPER - LDF4-50
C.A.	CONCRETE MONUMENT	LF	LINEAR FEET	UP	UTILITY POLE		COAX FEEDLINE / JUMPER - LDF1-50
C.M.P.	CONCRETE METAL PIPE	LGT	LIGHT	VC	VERTICAL CURVE		COAX FEEDLINE / JUMPER - HL4RPV
C.M.U.	CONCRETE MASONRY UNIT	LP	LIGHT POLE	VCP	VITRIFIED CLAY PIPE		COAX FEEDLINE / JUMPER - FSJ4-50
C.O.	CLEAN OUT	LT	LEFT	VIF	VERIFY IN FIELD		COAX FEEDLINE / JUMPER - FSJ1-50
COL.	COLUMN	MAX	MAXIMUM	WL	WATER LINE		COAX FEEDLINE / JUMPER - AL4RPV
CONC.	CONCRETE	MED	MEDIAN	WM	WATER METER		
COND.	CONDENSATE	MH	MANHOLE	WSEL	WATER SURFACE ELEVATION		
CONN.	CONNECTION	MIN	MINIMUM	WV	WATER VALVE		
CONST.	CONSTRUCTION	MJ	MECHANICAL JOINT	WTR	WATER		
CONT.	CONTINUOUS	MON	MONUMENT	WWF	WIRE WELD FABRIC		
COR	CONTRACTING OFFICERS REPRESENTATIVE	MTL	METAL				
C.TO C.	CENTER TO CENTER	MW	MONITOR WELL / MICROWAVE				
C.Y.	CUBIC YARD	M.U.T.C.D	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES				
DET.	DETAIL	N/A	NOT APPLICABLE				
DI	DROP INLET	NAD 27	NORTH AMERICAN DATUM 1927				
DIA.	DIAMETER	NAD 83	NORTH AMERICAN DATUM 1983				
DIFF.	DIFFUSER	NBL	NORTH BOUND LINE				
DIM.	DIMENSION	NC	NORMAL CROWN				
D.I.P.	DUCTILE IRON PIPE	NEMA	NATIONAL ELECTRICAL MANUFACTURES ASSOCIATION				
DISC.	DISCONNECT						
D.J.	DUMMY JOINT	NIC	NOT IN CONTRACT				
DN.	DOWN	NIP	NEW IRON PIPE				
DR.	DRAIN	N.T.S.	NOT TO SCALE				
D.S.	DOWN SPOUT	O.U.	ON CENTER				
DW	DOMESTIC WATER	O.V.	OUTSIDE DIAMETER				
DWG.(S)	DRAWING(S)	OH	OVERHEAD				
EA.	EACH	OHE	OVERHEAD ELECTRIC				
E.F.	EXHAUST FAN	ONUS.	OLD NORTH UTILITY SERVICE				
EG.	EXISTING GRADE	OVH	OVERHANG				
E.I.P.	EXISTING IRON PIPE	P/A	PARKING AREA				
E.J.	EXPANSION JOINT	PC	POINT OF CURVATURE				
ELEC.	ELECTRIC	PCC	POINT OF COMPOUND CURVATURE				
EL.	ELEVATION	PED	PEDESTAL				
E.M.	ELECTRIC METER	PER.	PERIMETER				
EOP	EDGE OF PAVEMENT	PGL	PROPOSED GRADE LINE				
EQUIP.	EQUIPMENT	PI	POINT OF INTERSECTION				
EVC	END VERTICAL CURVE	PINC	POINT OF INTERSECTION ON CURVE				
EVCE	END VERTICAL CURVE ELEVATION	PIV	POST INDICATOR VALVE				
EVCS	END VERTICAL CURVE STATION	PIV ELEV	POINT OF VERTICAL INTERSECTION ELEVATION				
EXH.	EXHAUST	PLT	PLATE				
EXP.JT.	EXPANSION JOINT	PSF	POUNDS PER SQUARE FOOT				
EXT.	EXTERIOR	PSF	POUNDS/SQUARE FOOT				
EX./EXIST.	EXISTING	PSI	POUNDS/SQUARE INCH				
FC	FACE OF CURB	PIV STA	POINT OF VERTICAL INTERSECTION STATION				
F.D.	FLOOR DRAIN	PT	POINT				
F.D.C.	FIRE DEPARTMENT CONNECTION	PVMT	PAVEMENT				
F.E.S.	FLARED END SECTION	RAD.	RADIUS				
F.F.E.	FINISHED FLOOR ELEVATION	RCP	REINFORCED CONCRETE PIPE				
FG	FINISHED GRADE	REINF.	REINFORCING				
FH	FIRE HYDRANT	REQ.	REQUIRED				
FIN.	FINISH FLOOR	REV	REVISED				
FM	FORCE MAIN	R.P.Z.	REDUCED PRESSURE ZONE				
FOC	FACE OF CURB						

PREPARED BY:



3227 WELLINGTON COURT
RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:



SITE NAME:

SIX MILE MOUNTAIN MW

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



11/02/2022

COA:



REV	DATE	DETAILS
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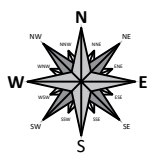
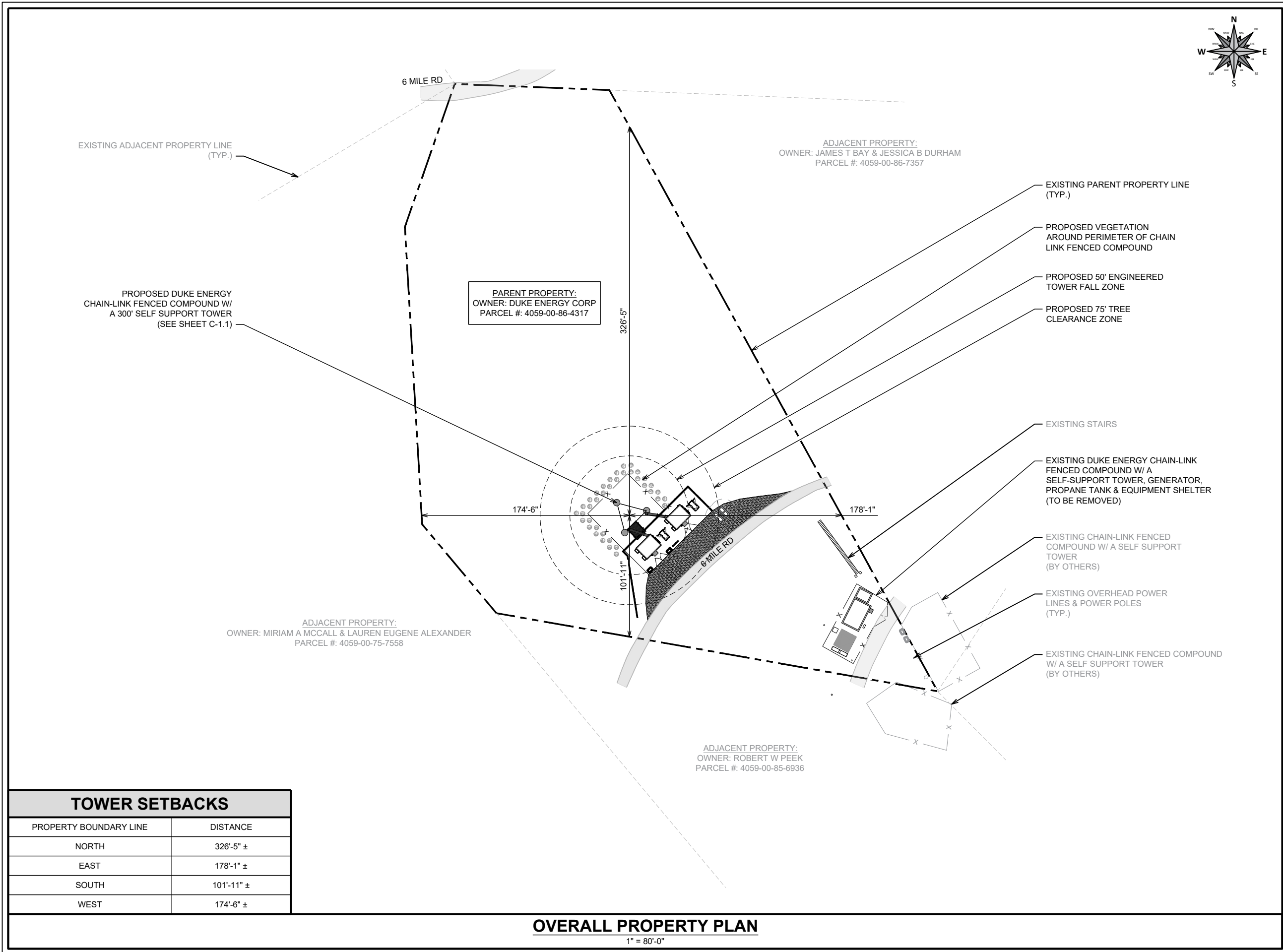
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SHEET TITLE:

GENERAL NOTES III

SHEET #	CURRENT REV #:
GN-3	1
	ETS #: 21095122



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**ENGINEERED
TOWER SOLUTIONS**

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RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:

**DUKE
ENERGY®**

SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:

**SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 23934
FREDERIC G. BOST
11/02/2022**

COA:

**SOUTH CAROLINA
FREDERIC GEOFF BOST
ENGINEERED TOWER
SOLUTIONS, PLLC
NO. 4634
CERTIFICATE OF AUTHORIZATION**

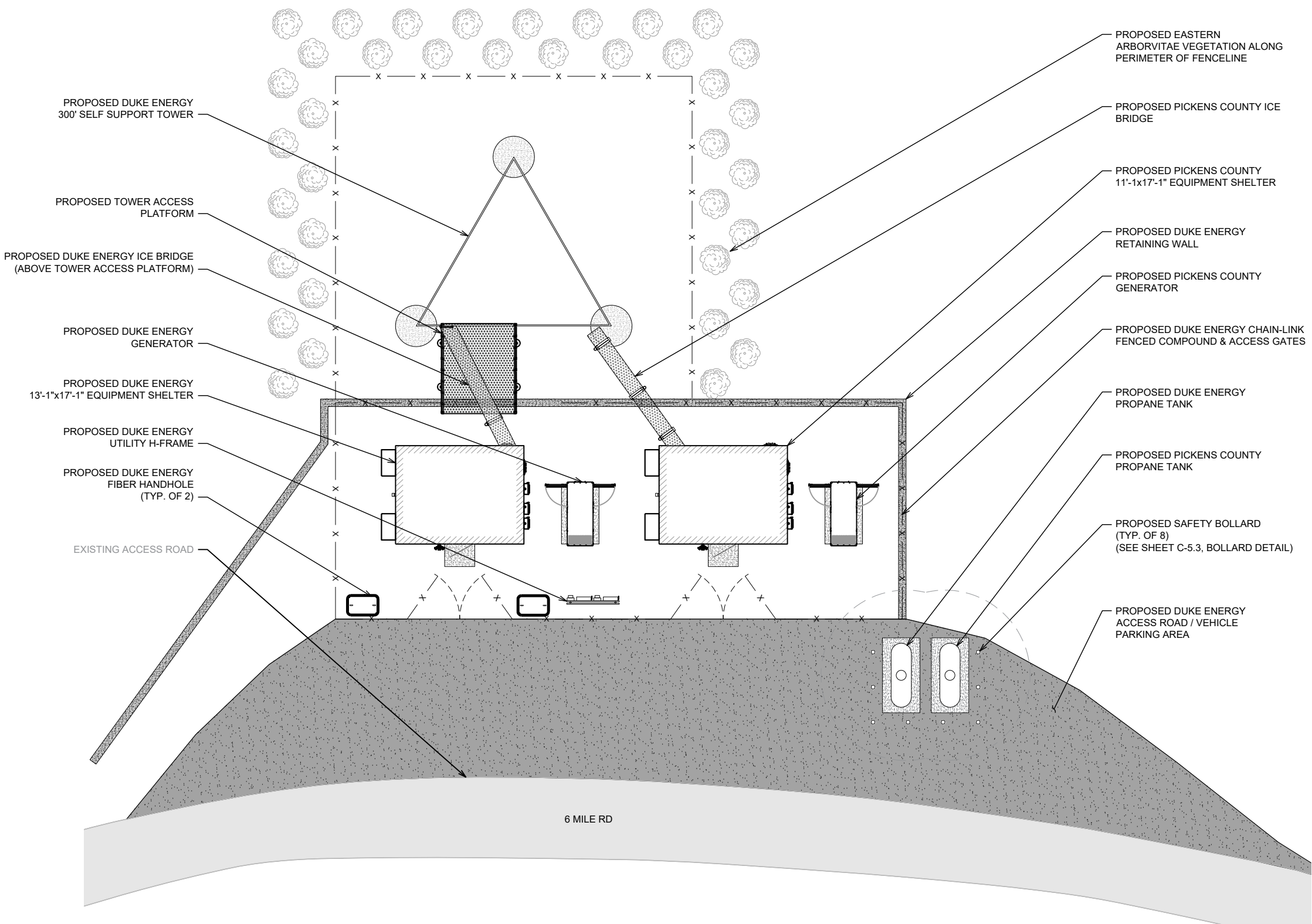
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SHEET TITLE:

**OVERALL
PROPERTY PLAN**

SHEET #	C-1.0	CURRENT REV #:	1
		ETS #:	21095122



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919-782-2710
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PREPARED FOR:



SITE NAME:
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SEAL:



COA:



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SHEET TITLE:

**DETAILED SITE
PLAN**

SHEET # **C-1.1** CURRENT REV #: 1
ETS #: 21095122

DETAILED SITE PLAN

1" = 15'-0"

NOTE:
PROPOSED LANDSCAPING NOT SHOWN FOR CLARITY.




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PREPARED FOR:



SITE NAME:

SIX MILE
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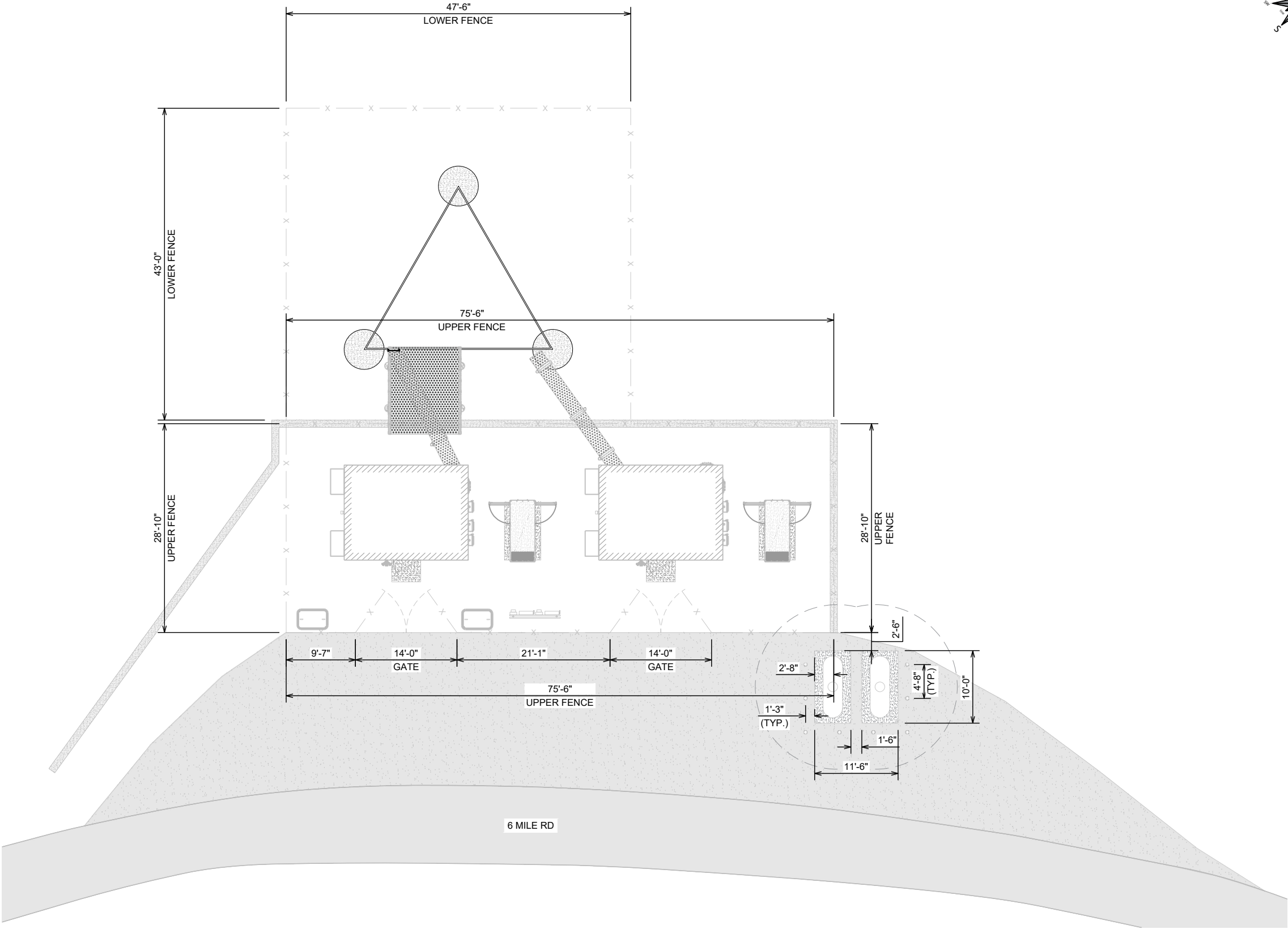
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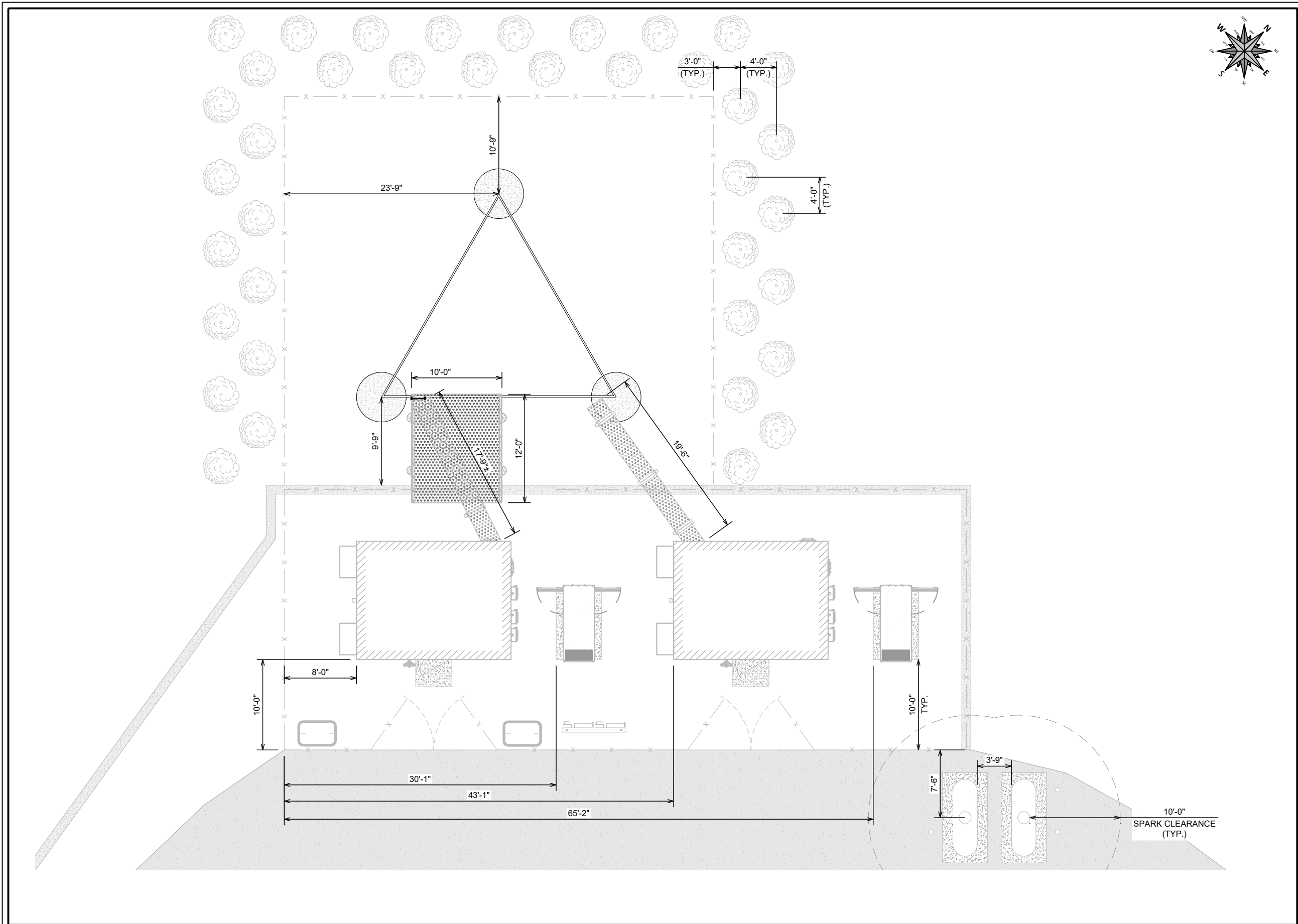
SHEET TITLE:

DIMENSIONED
COMPOUND PLAN

SHEET #	C-1.2	CURRENT REV #:	1
		ETS #:	21095122



DIMENSIONED COMPOUND PLAN
1" = 15'-0"




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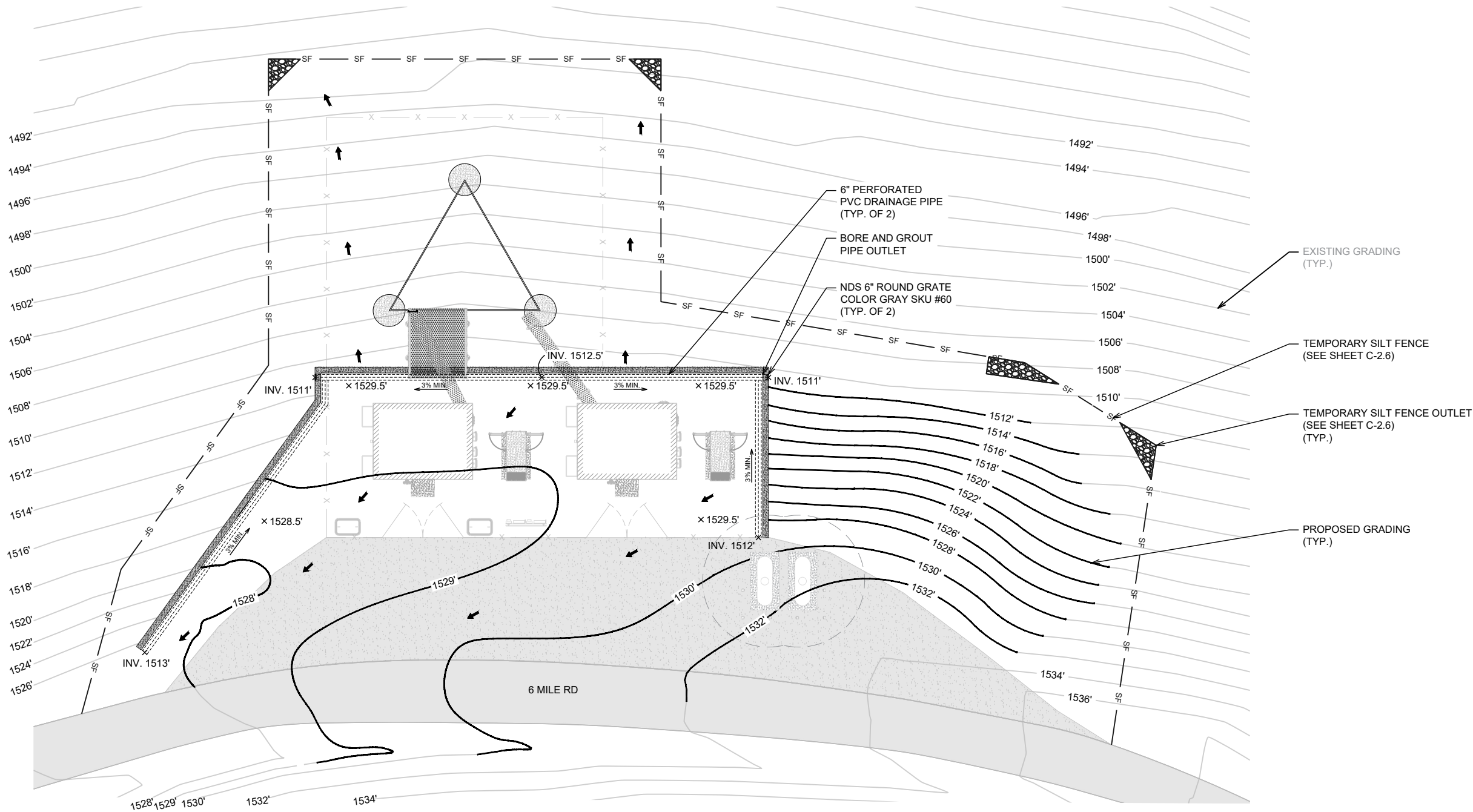
DRAWN BY: CP CHECKED BY: DG

SHEET TITLE:

**DIMENSIONED
EQUIPMENT PLAN**

SHEET #	C-1.3	CURRENT REV #:	1
		ETS #:	21095122

NOTE:
PROPOSED LANDSCAPING NOT SHOWN FOR CLARITY.



KEY:
← DRAINAGE DIRECTION

GRADING & DRAINAGE PLAN
1" = 20'-0"

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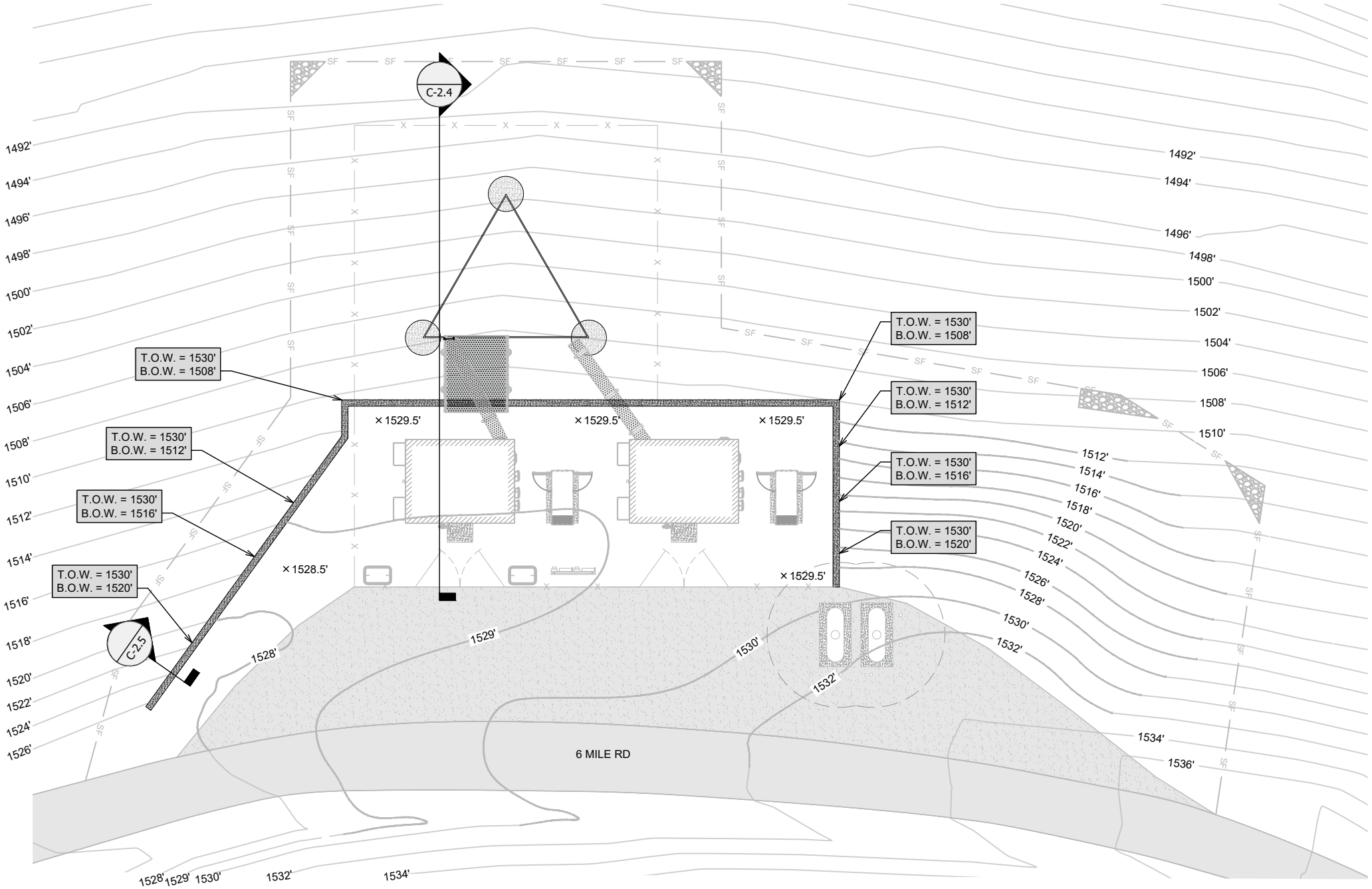
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SHEET TITLE:

**GRADING &
DRAINAGE PLAN**

SHEET # **C-2.1** CURRENT REV #: 1
ETS #: 21095122

NOTE:
PROPOSED LANDSCAPING NOT SHOWN FOR CLARITY.



RETAINING WALL PLAN
1" = 20'-0"


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**DUKE
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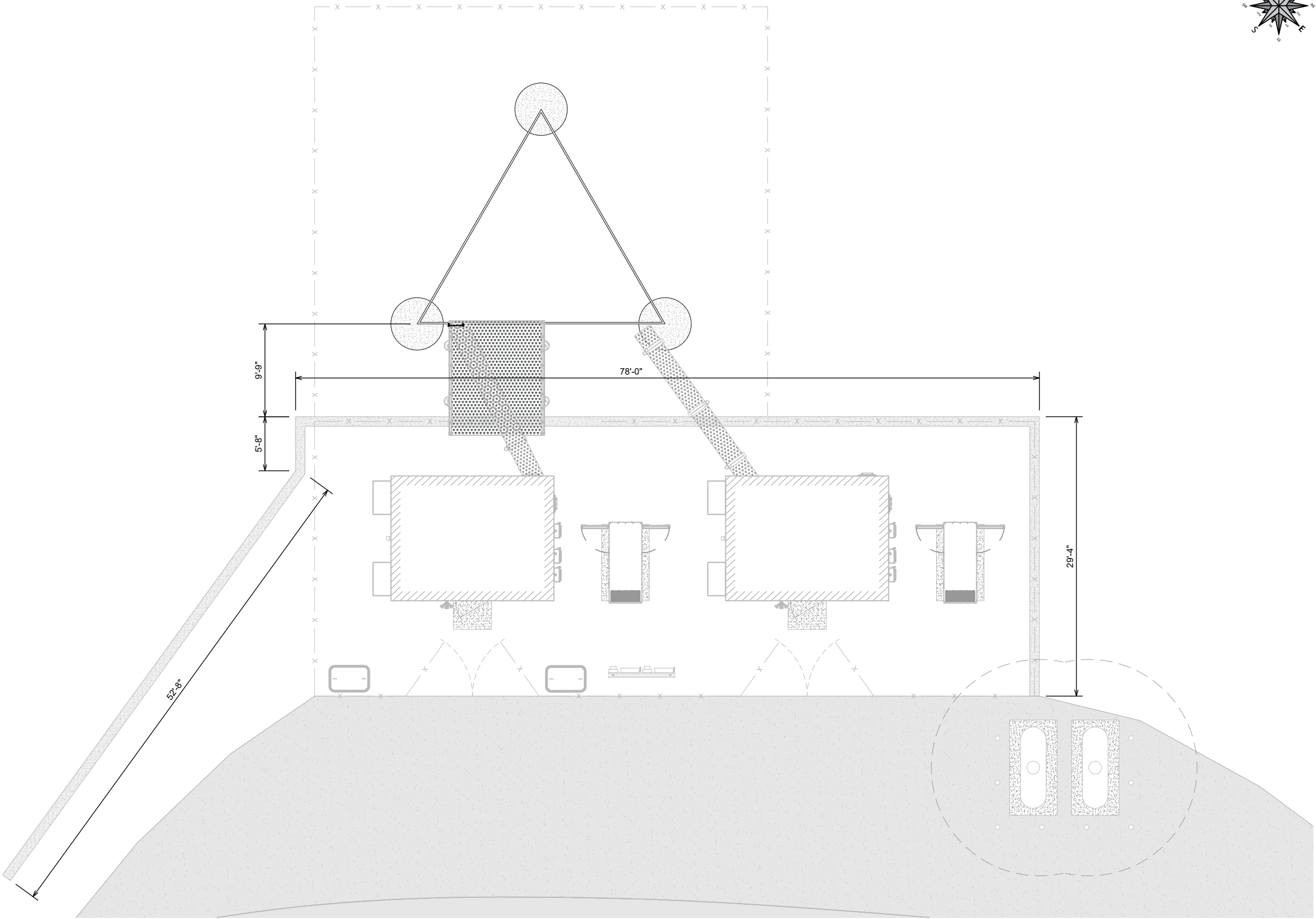
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SHEET TITLE:

**RETAINING
WALL PLAN**

SHEET # **C-2.2** CURRENT REV #: 1
ETS #: 21095122

NOTE:
PROPOSED LANDSCAPING NOT SHOWN FOR CLARITY.



DIMENSIONED RETAINING WALL PLAN

3/32" = 1'-0"

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SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:

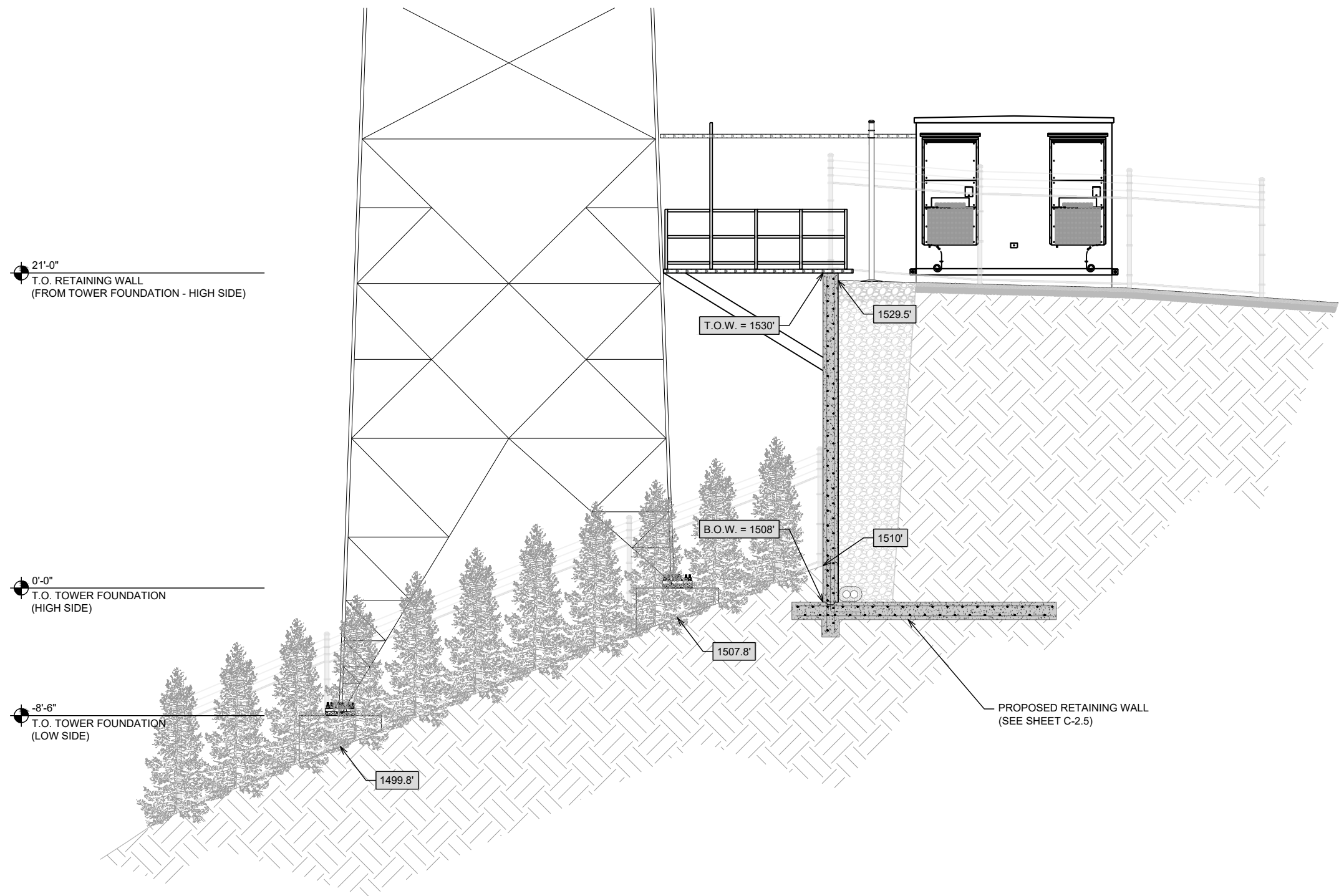


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SHEET TITLE:
**DIMENSIONED
RETAINING WALL
PLAN**

SHEET # **C-2.3** CURRENT REV #: 1
ETS #: 21095122



RETAINING WALL SECTION ELEVATION
1/8" = 1'-0"


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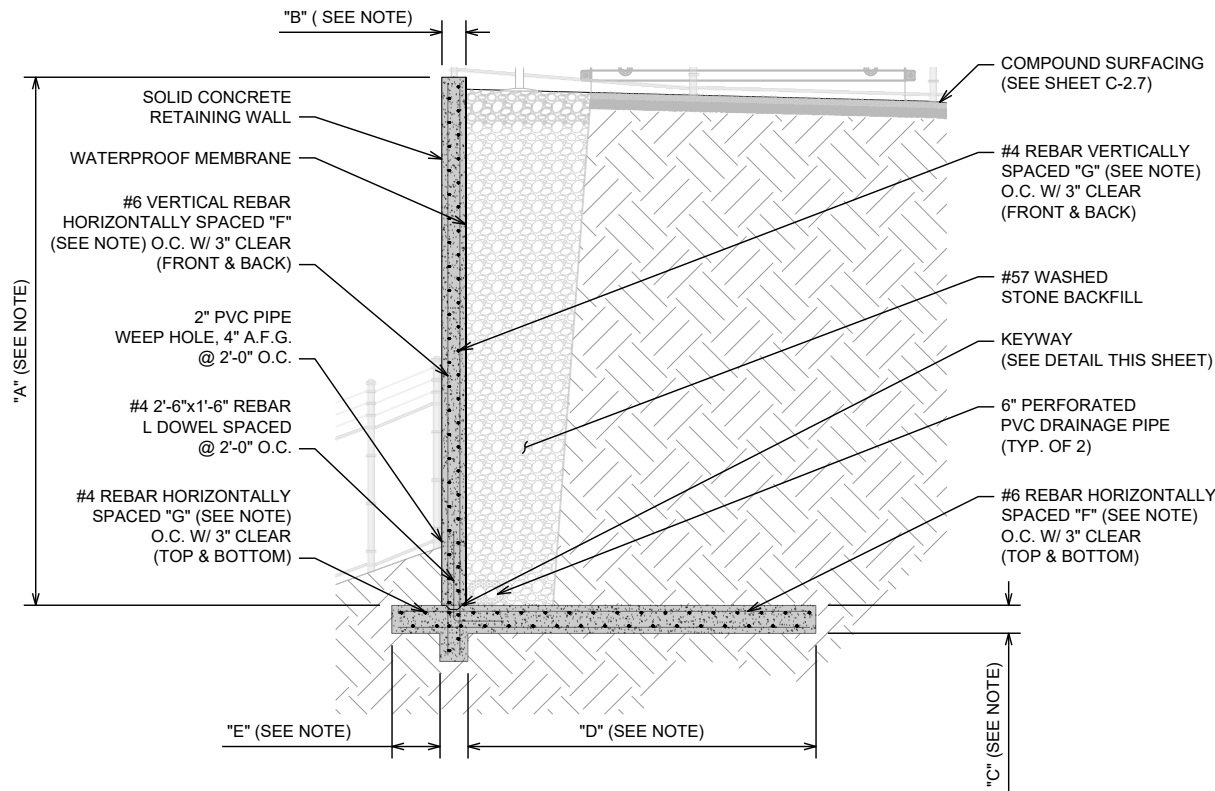
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SHEET TITLE:
**RETAINING WALL
SECTION ELEVATION**

SHEET # **C-2.4** CURRENT REV #: 1
ETS #: 21095122

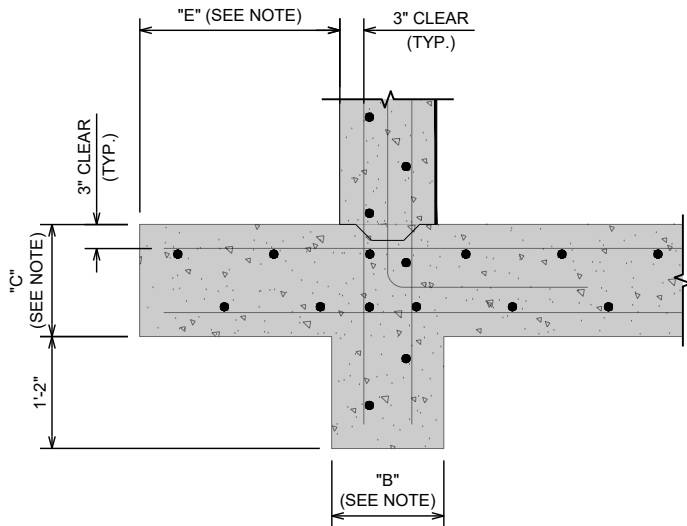
NOTE:
*DIMENSION VALUE VARIES WITH WALL HEIGHT. SEE RETAINING WALL DIMENSIONS TABLE FOR VALUE.



RETAINING WALL SECTION

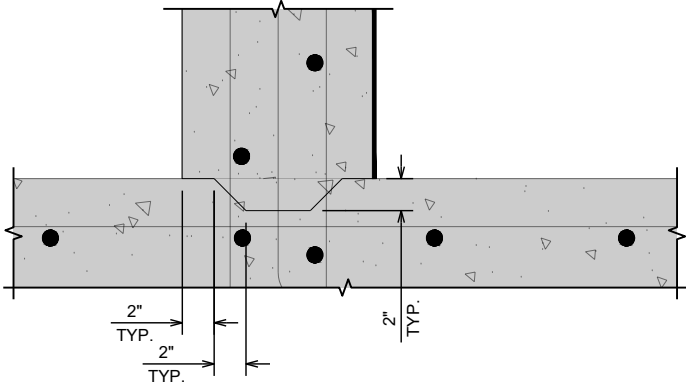
1/8" = 1'-0"

NOTE:
* DIMENSION VALUE VARIES WITH WALL HEIGHT. SEE RETAINING WALL DIMENSIONS TABLE FOR VALUE.



FOOTER DETAIL

1/2" = 1'-0"



KEYWAY DETAIL

1" = 1'-0"

B.O.W. (NAVD 88) PER SHEET C-2.2	WALL DIMENSION VALUES						
	A	B	C	D	E	F	G
1508'	22'	1'-6"	2'-0"	11'-0"	4'-0"	9"	12"
1512'	18'	1'-6"	2'-0"	9'-0"	2'-0"	9"	12"
1516'	14'	1'-0"	1'-6"	7'-0"	2'-0"	12"	15"
1520'	10'	1'-0"	1'-0"	5'-0"	2'-0"	12"	15"

RETAINING WALL DIMENSIONS TABLE

N.T.S.

RETAINING WALL NOTES:

1. THE FINISHED GRADE ON THE LOW SIDE OF THE WALL SHALL BE SLIGHTLY GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE BASE OF THE WALL.
2. THE SUBGRADE ON THE HIGH SIDE OF THE WALL SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH CMU BLOCK MANUFACTURER'S SPECIFICATIONS.
4. LIMITS OF EXCAVATION TO INSTALL GEOGRID NOT TO EXCEED HEIGHT OF WALL.
5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION AND THE STATE OF SOUTH CAROLINA STANDARDS AND SPECIFICATIONS.
6. CONTRACTOR SHALL HAVE SOUTH CAROLINA ONE CALL (1-888-721-7877) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
7. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.

RETAINING WALL NOTES

N.T.S.

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RALEIGH, NC 27615
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www.ets-pllc.com

PREPARED FOR:



SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
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SEAL:



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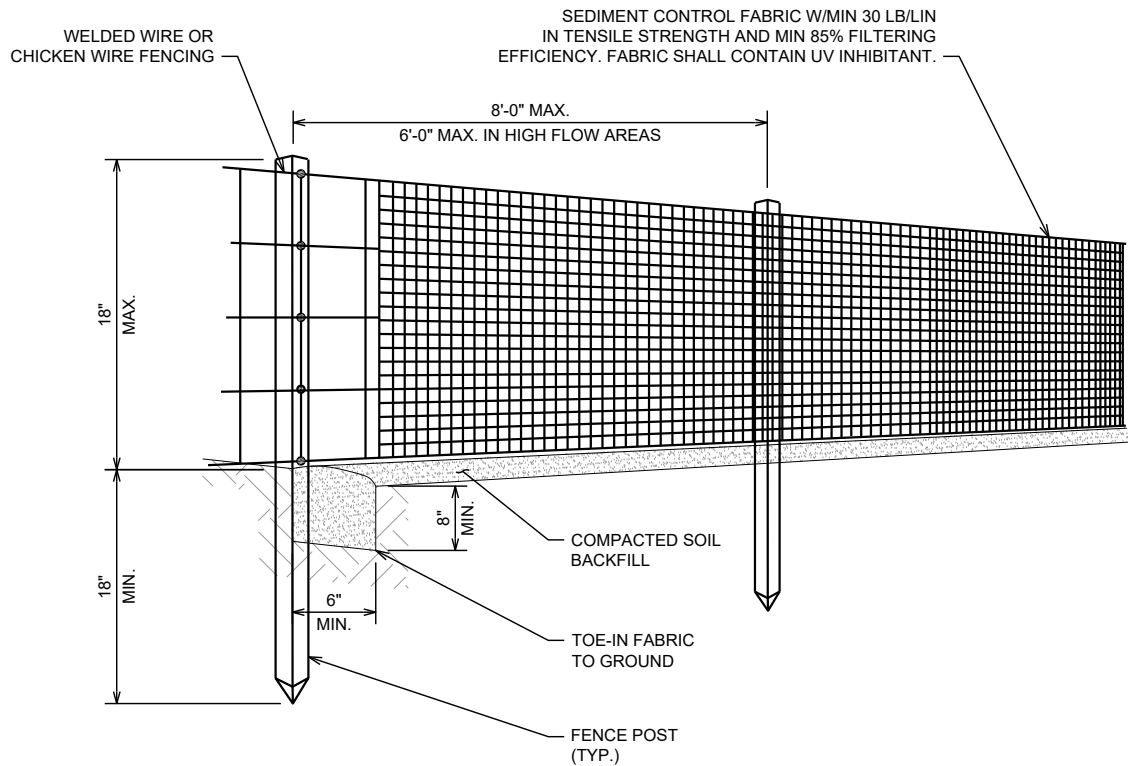
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SHEET TITLE:

**RETAINING WALL
DETAILS**

SHEET # **C-2.5** CURRENT REV #: 1
ETS #: 21095122

- NOTES:
- SEE SILT FENCE NOTES



SILT FENCE
N.T.S.

GRADING AND DRAINAGE NOTES:

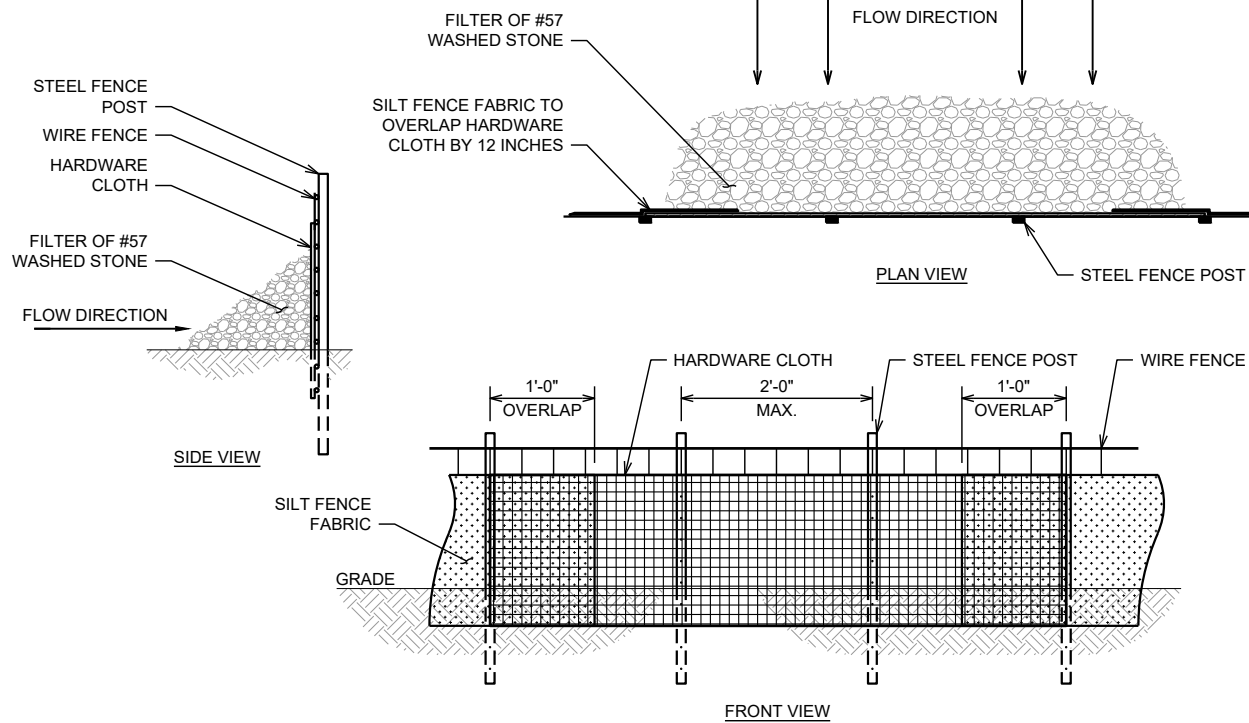
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT AND TOWER AREA.
- THE SUBGRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- GRASSED AREAS DISTURBED BY THE WORK OF THIS CONTRACT SHALL BE GRADED TO UNIFORM SLOPE, FERTILIZED, SEEDED AND COVERED WITH MULCH.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE NORTH CAROLINA GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- AUTHORIZATION FOR ACCESS TO AND WORK WITHIN PUBLIC ROAD R.O.W. SHALL BE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL ADHERE TO ALL SPECIAL REQUIREMENTS SPECIFIED IN THE AUTHORIZATION.
- ALL OTHER VEGETATIVE COVER DAMAGED OR REMOVED DURING CONSTRUCTION ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR (UNLESS OTHERWISE NOTED).
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.

SILT FENCE NOTES:

- CONSTRUCT THE SILT FENCE OF FILTER CLOTH WITH A MINIMUM TENSILE STRENGTH OF 50 LB/LIN IN.
- SILT FENCE HEIGHT SHALL BE A MINIMUM OF 15 INCHES ABOVE GROUND HEIGHT, BUT SHALL NOT EXCEED 18 INCHES.
- CONSTRUCT SILT FENCE OF A CONTINUOUS ROLL CUT THE LENGTH OF THE BARRIER TO AVOID JOINTS. FABRIC TO BE FASTENED SECURELY TO FENCE POSTS WITH 1 INCH STAPLES OR TIE WIRES.
- SUPPORT FABRIC WITH WOVEN WIRE MESH 14.5 GAUGE, 6" MAX. MESH OPENING. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH 1 INCH STAPLES OR TIE WIRES.
- POSTS FOR SEDIMENT FENCES SHALL BE 4 INCH DIAMETER PINE, 2 INCH DIAMETER OAK OR 1.33 LB/LINEAR FOOT STEEL. MINIMUM LENGTH SHALL BE 4 POSTS SHALL BE SPACED NO MORE THAN 8 FEET APART AND THEY SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 18 INCHES.
- EXCAVATE A TRENCH APPROXIMATELY 4 INCHES WIDE AND 8 INCHES DEEP ALONG THE PROPOSED LINE OF POSTS AND UP SLOPE FROM THE BARRIER. BACKFILL THE TRENCH WITH COMPACTED SOIL OR GRAVEL PLACED OVER THE FILTER FABRIC.
- DO NOT ATTACH FILTER FABRIC TO EXISTING FENCES, TREES, ETC.
- REMOVE FENCING FOLLOWING STABILIZATION OF SLOPES AND ALL DISTURBED AREAS.

NOTES
N.T.S.

- NOTES:
- APPLICABLE FOR DRAINAGE AREAS NO MORE THAN 1/4 ACRE.
 - USE AS A REPAIR OF SILT FENCE FAILURES.
 - BURY WIRE FENCE, HARDWARE CLOTH, AND SILT FENCE FABRIC 6 INCHES.



TEMPORARY SILT FENCE OUTLET
N.T.S.

NOT USED
N.T.S.

PREPARED BY:



PREPARED FOR:



SITE NAME:
SIX MILE MOUNTAIN MW

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



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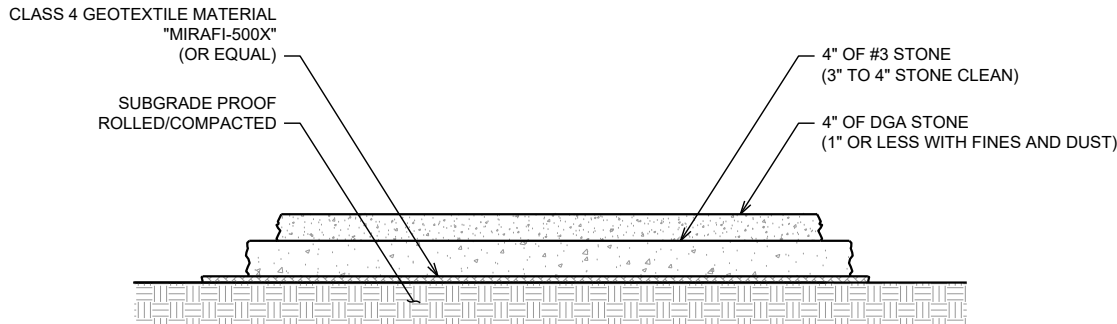
SHEET TITLE:

SILT FENCE DETAILS

SHEET # **C-2.6** CURRENT REV #: 1
ETS #: 21095122

NOTES:

1. CLEAR AND GRUB EXISTING VEGETATION.
2. MAINTAIN EXISTING DRAINAGE PATTERNS.
3. MINIMUM OF 6" OF 1-1/2" CRUSHED ROCK.
4. MIRAFI 500X (OR EQUIVALENT) GEOTEXTILE FABRIC.
5. SUBGRADE TO BE COMPACTED TO 95% DENSITY (MINIMUM) STANDARD PROCTOR DENSITY.
6. USE OF SWALES AND/OR DRAINAGE DITCHES FOR PROPER WATER RUNOFF AS NEEDED.
7. AGGREGATE IS BASED ON STANDARD AASHTO.
8. SLOPE NOT TO EXCEED 1/4" PER FOOT TO MAX. GRADE OF 6" FROM CENTER OF COMPOUND TO EACH FENCE LINE.



COMPOUND & PARKING LOT SURFACING

N.T.S.

GRADING AND DRAINAGE NOTES:

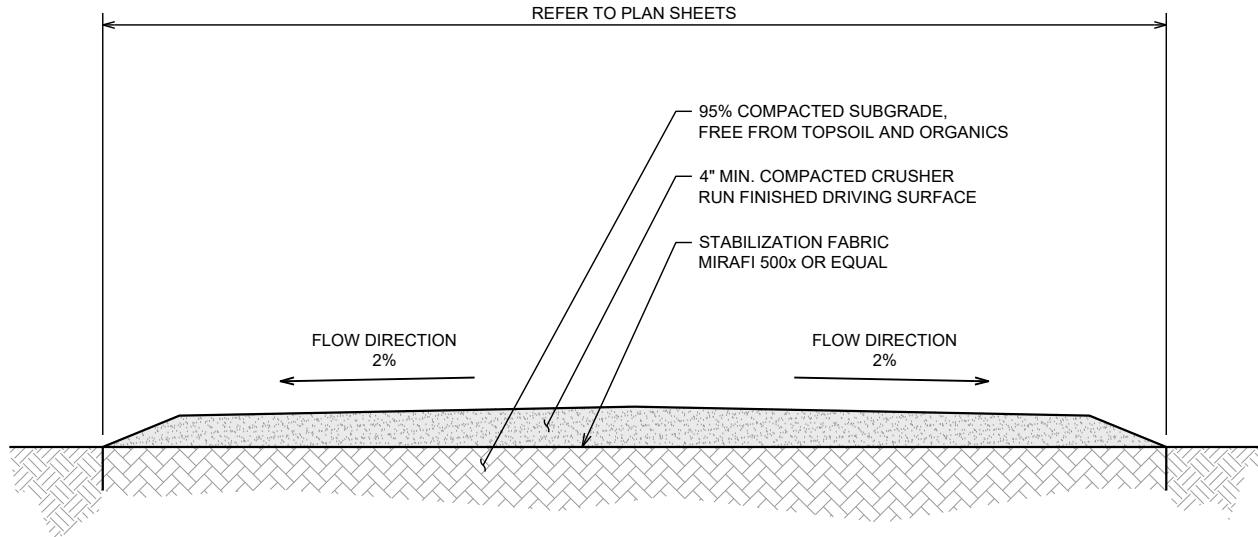
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2. THE SUBGRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
3. GRASSED AREAS DISTURBED BY THE WORK OF THIS CONTRACT SHALL BE GRADED TO UNIFORM SLOPE, FERTILIZED, SEEDED AND COVERED WITH MULCH.
4. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE NORTH CAROLINA GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
5. AUTHORIZATION FOR ACCESS TO AND WORK WITHIN PUBLIC ROAD R.O.W. SHALL BE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL ADHERE TO ALL SPECIAL REQUIREMENTS SPECIFIED IN THE AUTHORIZATION.
6. ALL OTHER VEGETATIVE COVER DAMAGED OR REMOVED DURING CONSTRUCTION ACTIVITIES SHALL BE REPLACED IN KIND BY THE CONTRACTOR (UNLESS OTHERWISE NOTED).
7. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
8. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
9. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.

NOTES

N.T.S.

NOTES:

- SEE ALL EXISTING SUBGRADE AND CRUSHER RUN GRAVEL SURFACING SHALL BE COMPACTED TO 95% MINIMUM STANDARD PROCTOR DENSITY AS SPECIFIED BY ASTM D698 AND AASHTO T99.
- THE CONTRACTOR IS REQUIRED TO TEST AND SUBMIT COMPACTION TEST RESULTS FOR ALL EXISTING SUBGRADE AND CRUSHER RUN GRAVEL SURFACING IN THE CLOSEOUT PACKAGE SUPPLIED TO AMERICAN TOWER.
- CONTRACTOR SHALL VERIFY DITCH LOCATIONS (IF REQUIRED) WITH SITE GRADING PLANS.
- ROAD CROSS SECTION VARIES. CONTRACTOR SHALL REVIEW GRADING PLAN FOR CROSS SLOPE AREAS. MAINTAIN A MINIMUM 2% CROSS SLOPE.



ACCESS DRIVE SECTION

N.T.S.

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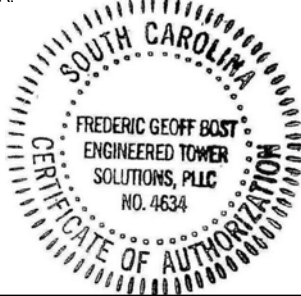
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**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
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SIX MILE, SC 29682
LATITUDE/LONGITUDE:
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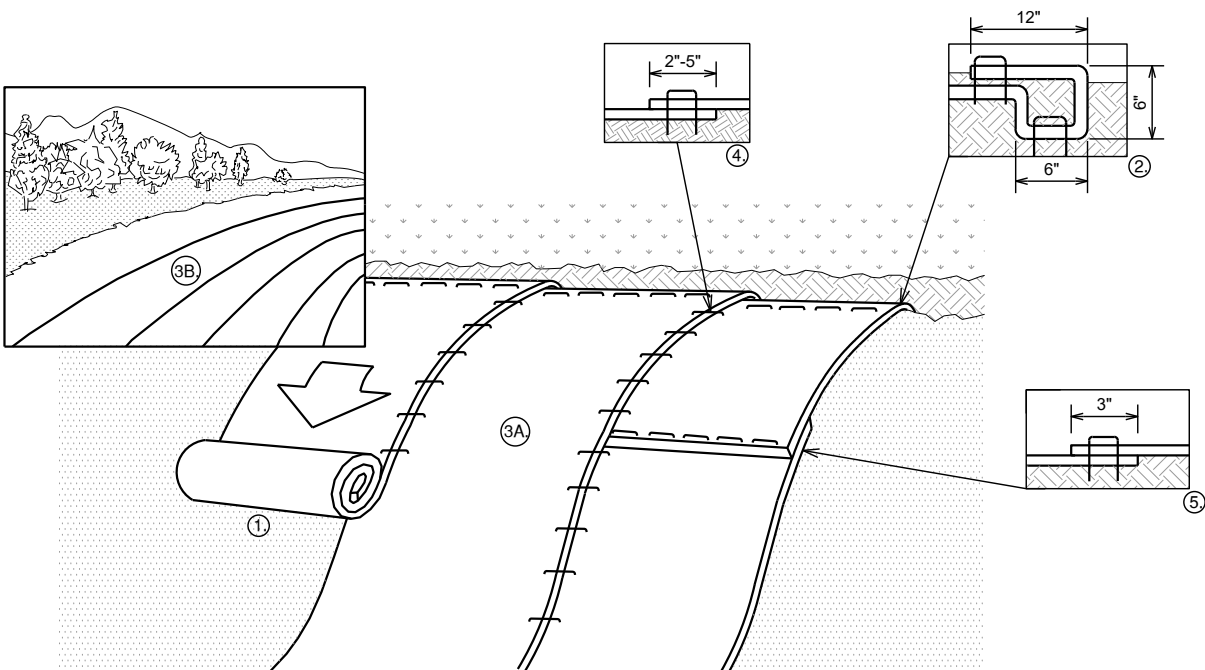
SHEET TITLE:

**GRADING
DETAILS I**

SHEET # **C-2.7** CURRENT REV #: 1
ETS #: 21095122

NOT USED

N.T.S.



SLOPE INSTALLATION
N.T.S.

SLOPE INSTALLATION NOTES:

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP's IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF RECP's EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP's WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP's BACK OVER SEED AND COMPACTED SOIL. SECURE RECP's OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP's.
3. ROLL THE RECP's (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. CONSECUTIVE RECP's SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP's WIDTH.
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP's.

CHANNEL INSTALLATION NOTES:

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP's), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE RECP's IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECP's EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP's WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMAPCT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP's BACK OVER SEED AND COMPACTED SOIL. SECURE RECP's OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) ACROSS THE WIDTH OF THE RECP's.
3. ROLL CENTER RECP's IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. RECP's WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP's MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. PLACE CONSECUTIVE RECP's END OVER END (SHINGLE STYLE) WITH A 4" - 6" (10 CM -15 CM) OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER TO SECURE RECP's.
5. FULL LENGTH EDGE OF RECP's AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. ADJACENT RECP's MUST BE OVERLAPPED APPROXIMATELY 2" - 5" (5 CM -12.5 CM) (DEPENDING ON RECP's TYPE) AND STAPLED.
7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9 M - 12 M) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" (10 CM) APART AND 4" (10 CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
8. THE TERMINAL END OF THE RECP's MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY ANCHOR THE RECP's.

NOTES
N.T.S.

NOT USED
N.T.S.

NOT USED
N.T.S.

PREPARED BY:



3227 WELLINGTON COURT
RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:



SITE NAME:
SIX MILE MOUNTAIN MW

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



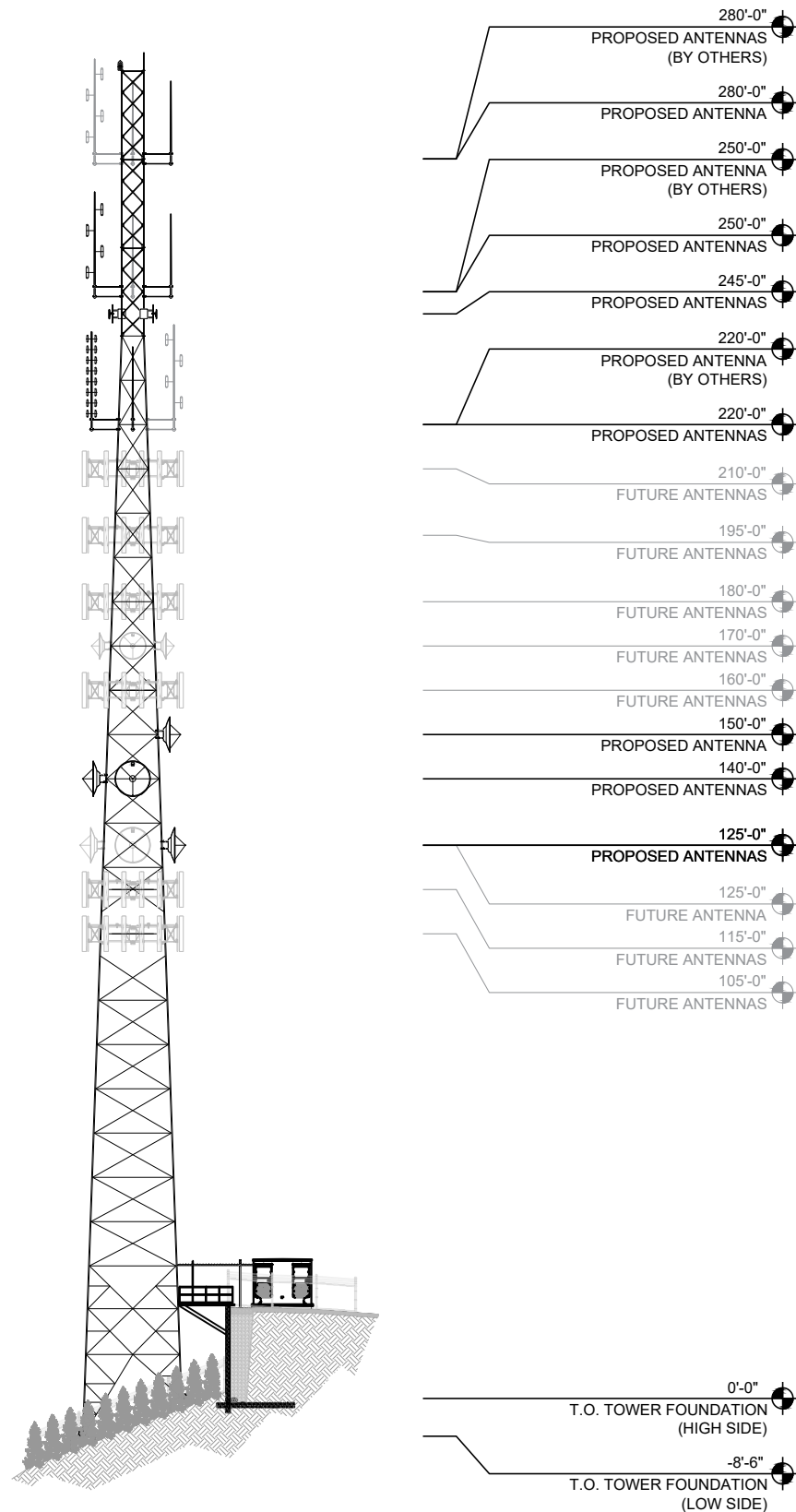
REV	DATE	DETAILS
0	10/26/2022	CONSTRUCTION
1	11/02/2022	CONSTRUCTION
2		
3		

DRAWN BY: CP CHECKED BY: DG

SHEET TITLE:


GRADING DETAILS II

SHEET #	C-2.8	CURRENT REV #:	1
		ETS #:	21095122



TOWER ELEVATION
1" = 40'-0"


PREPARED BY:



**ENGINEERED
TOWER SOLUTIONS**

3227 WELLINGTON COURT
RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:



**DUKE
ENERGY®**

SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682

LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



11/02/2022

COA:



REV	DATE	DETAILS
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DRAWN BY: CP CHECKED BY: DG

SHEET TITLE:

TOWER ELEVATION

SHEET #	C-3	CURRENT REV #:	1
		ETS #:	21095122

PROPOSED ANTENNA SCHEDULE												
OWNER	SYSTEM	SIZE (FT)	TYPE	MANUFACTURER	PART #	ELEV. (FT)	LOC.	AZ.	FREQ.	FCC LIC.	TX POWER	MOUNT
--	AIR TERMINAL	4.0	--	--	--	300'-0"	C	--	--	--	--	--
DUKE	LMR	16.0	OMNI	DBSPECTRA	DS8A10P36U-D	280'-0"	A	--	TBD	TBD	TBD	6' SIDE ARM
DUKE	LMR	--	TTA	DBSPECTRA	DS7TMD17C	280'-0"	A	--	--	--	--	6' SIDE ARM
PICKENS	PICKENS 150 (RX)	21.0	OMNI	COMMSCOPE	DB224	280'-0"	B	--	--	TBD	TBD	6' SIDE ARM
PICKENS	PICKENS 800 (RX)	16.0	OMNI	DBSPECTRA	DS8A10P36U-D	280'-0"	C	--	TBD	TBD	TBD	6' SIDE ARM
PICKENS	PICKENS 800 (TTA)	--	TTA	DBSPECTRA	DS7TMD17C	280'-0"	C	--	--	--	--	6' SIDE ARM
DUKE	LMR (TX)	16.0	OMNI	DBSPECTRA	DS8A10P36U-D	250'-0"	A	--	TBD	TBD	TBD	6' SIDE ARM
DUKE	LOAD MGMT	21.0	OMNI	COMMSCOPE	DB224	250'-0"	B	--	153.635	TBD	TBD	6' SIDE ARM
PICKENS	PICKENS 800 (TX)	16.0	OMNI	DBSPECTRA	DS8A10P36U-D	250'-0"	C	--	TBD	TBD	TBD	6' SIDE ARM
DUKE	CAMBIUM	4.0 x 2.0	PANEL	CAMBIUM	PMP450M	245'-0"	A,C	0°,90°,180°,270°	5.8	N/A	36 dBm EIRP	COMMSCOPE P-200 2' STAND OFFS
DUKE	NUCLEAR 900	16.0	OMNI	DBSPECTRA	DS8A10P36U-D	220'-0"	C	--	952/928	TBD	TBD	6' SIDE ARM
DUKE	NUCLEAR 450	19.4	OMNI	COMMSCOPE	DB420-B	220'-0"	A	--	451/456	TBD	TBD	6' SIDE ARM
PICKENS	PICKENS 150 (TX)	21.0	OMNI	COMMSCOPE	DB224	220'-0"	B	--	--	TBD	TBD	6' SIDE ARM
DUKE	FUTURE LTE	TBD	TBD	TBD	TBD	210'-0"	A,B,C	0°,90°,180°,270°	TBD	TBD	TBD	TBD
DUKE	FUTURE LTE	TBD	TBD	TBD	TBD	195'-0"	A,B,C	0°,90°,180°,270°	TBD	TBD	TBD	TBD
DUKE	FUTURE LTE	TBD	TBD	TBD	TBD	180'-0"	A,B,C	0°,90°,180°,270°	TBD	TBD	TBD	TBD
DUKE	FUTURE MICROWAVE	6.0	DISH	RFS	PADX6-W57AC	170'-0"	A	TBD	TBD	TBD	30 dBm	PIPE MOUNT-R5-LL
DUKE	FUTURE MICROWAVE	6.0	DISH	RFS	PADX6-W57AC	170'-0"	B	TBD	TBD	TBD	30 dBm	PIPE MOUNT-R5-LL
DUKE	FUTURE MICROWAVE	6.0	DISH	RFS	PADX6-W57AC	170'-0"	C	TBD	TBD	TBD	30 dBm	PIPE MOUNT-R5-LL
TBD	FUTURE ANTENNAS	TBD	TBD	TBD	TBD	160'-0"	TBD	TBD°	TBD	TBD	TBD	TBD
DUKE	SANDY SPRINGS	6.0	DISH	RFS	PADX8-W57AC	150'-0"	C	175°	L6 GHz	TBD	30 dBm	PIPE MOUNT-R5-LL
DUKE	SASSAFRAS MTN	8.0	DISH	RFS	PADX6-W57AC	140'-0"	A	5°	5.8	N/A	30 dBm	PIPE MOUNT-R5-LL
DUKE	SENECA TIE	6.0	DISH	RFS	PADX6-W57AC	140'-0"	C	224°	5.8	N/A	30 dBm	PIPE MOUNT-R5-LL
DUKE	FUTURE BAD CREEK	6.0	DISH	RFS	PADX6-W57AC	125'-0"	A	317°	L6 GHz	TBD	30 dBm	PIPE MOUNT-R5-LL
DUKE	FUTURE MICROWAVE	6.0	DISH	RFS	PADX6-W57AC	125'-0"	B	TBD	TBD	N/A	30 dBm	PIPE MOUNT-R5-LL
DUKE	WALHALLA TIE	6.0	DISH	RFS	PADX6-W57AC	125'-0"	C	246°	5.8	N/A	30 dBm	PIPE MOUNT-R5-LL
TBD	FUTURE ANTENNAS	TBD	TBD	TBD	TBD	115'-0"	TBD	TBD°	TBD	TBD	TBD	TBD
TBD	FUTURE ANTENNAS	TBD	TBD	TBD	TBD	105'-0"	TBD	TBD°	TBD	TBD	TBD	TBD

NOTES:

- VERIFY FINAL DESIGN AND LOADING WITH DUKE ENERGY PRIOR TO CONSTRUCTION
- VERIFY FINAL DESIGN AND LOADING WITH STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION

ANTENNA SCHEDULE

N.T.S.

PREPARED BY:



3227 WELLINGTON COURT
RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:



SITE NAME:

SIX MILE MOUNTAIN MW

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



11/02/2022

COA:



REV	DATE	DETAILS
0	10/26/2022	CONSTRUCTION
1	11/02/2022	CONSTRUCTION
2		
3		

DRAWN BY: CP

CHECKED BY: DG

SHEET TITLE:

ANTENNA SCHEDULE

SHEET # C-4.1

CURRENT REV #: 1
ETS #: 21095122

PROPOSED TRANSMISSION LINE SCHEDULE							
OWNER	SYSTEM	LOCATION	SIZE	DIELECTRIC	MANUFACTURER	PART #	COLOR CODING
DUKE	LMR (RX)	WAVEGUIDE	(1) 1/2" JUMPER TO TTA	FOAM	EUPEN	JUMPER: EC4-300-DMDM	GRAY + BLUE
DUKE	LMR	WAVEGUIDE	(1) 7/8" (1) 1/2"	FOAM	EUPEN	EC5-50A (7/8") EC4-50 (1/2")	GRAY + BLUE GRAY + WHITE
DUKE	LMR (TX)	WAVEGUIDE	(1) 1-5/8"	FOAM	EUPEN	EC7-50A	GRAY + RED
DUKE	LOAD MGMT	WAVEGUIDE	(1) 7/8"	FOAM	EUPEN	EC5-50A	BROWN + BROWN
DUKE	CAMBIUM	WAVEGUIDE	(4) CAT5	TBD	CAMBIUM	TBD	GREEN + RED = NORTH AP GREEN + WHITE = EAST AP GREEN + BLUE = SOUTH AP GREEN + BROWN = WEST AP
DUKE	NUCLEAR 900	WAVEGUIDE	(1) 1-5/8"	FOAM	EUPEN	EC7-50A	WHITE + VIOLET
DUKE	NUCLEAR 450	WAVEGUIDE	(1) 7/8"	FOAM	EUPEN	EC5-50A	YELLOW + VIOLET
DUKE	SASSAFRAS MTN	WAVEGUIDE	(2) EU63	AIR	EUPEN	EU63	BLUE + VIOLET (V) BLUE + YELLOW (H)
DUKE	SANDY SPRINGS	WAVEGUIDE	(2) EU63	AIR	EUPEN	EU63	BLUE + BLUE (V) BLUE + ORANGE (H)
DUKE	SENECA TIE	WAVEGUIDE	(2) EU63	AIR	EUPEN	EU63	BLUE + VIOLET (V) BLUE + YELLOW (H)
DUKE	WALHALLA TIE	WAVEGUIDE	(2) EU63	AIR	EUPEN	EU63	BLUE + VIOLET (V) BLUE + YELLOW (H)

- NOTES:
- VERIFY FINAL DESIGN AND LOADING WITH DUKE ENERGY PRIOR TO CONSTRUCTION
 - VERIFY FINAL DESIGN AND LOADING WITH STRUCTURAL ANALYSIS PRIOR TO CONSTRUCTION
 - PROPOSED TRANSMISSION LINE SCHEDULE ONLY SHOWS DUKE EQUIPMENT. VERIFY ADDITIONAL CARRIER TRANSMISSION LINE EQUIPMENT AND COLOR CODING PRIOR TO INSTALLATION.

TRANSMISSION LINE SCHEDULE

N.T.S.

PREPARED BY:



3227 WELLINGTON COURT
RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:



SITE NAME:
SIX MILE MOUNTAIN MW

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



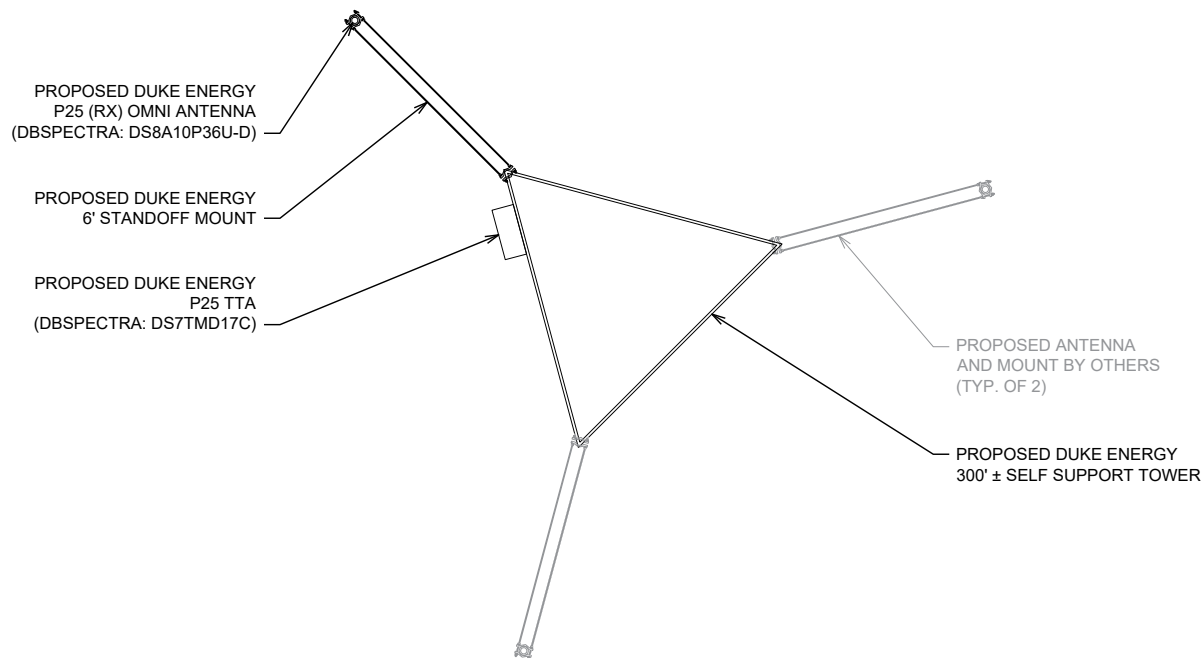
REV	DATE	DETAILS
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SHEET TITLE:

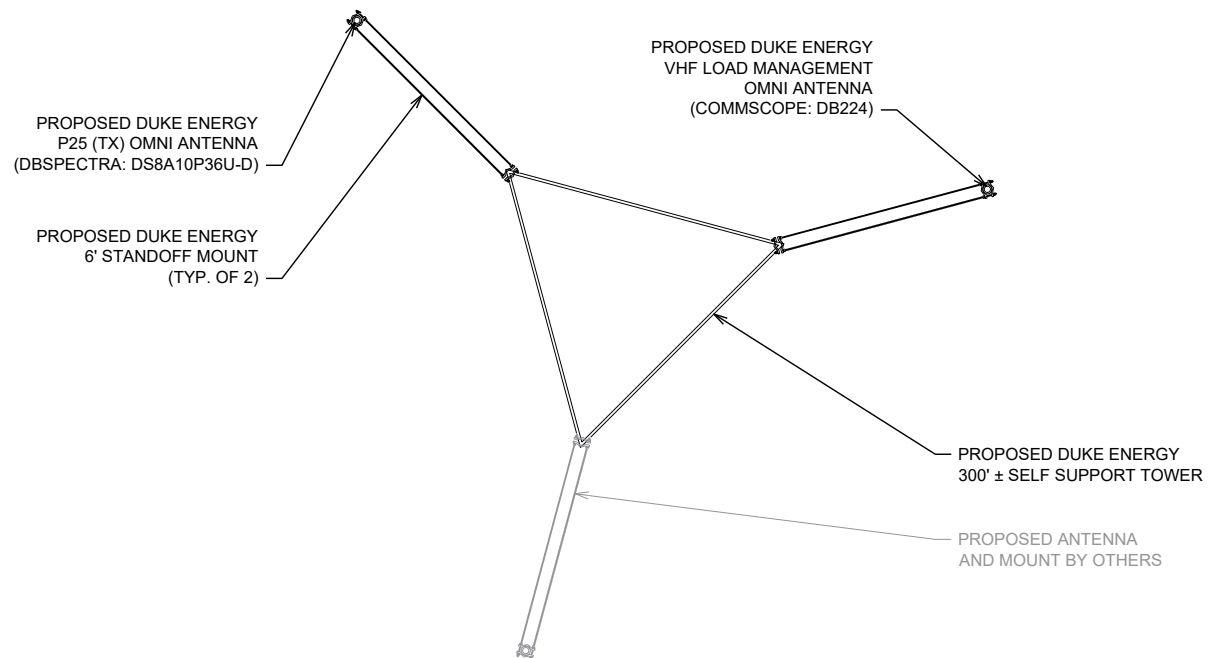
TRANSMISSION LINE SCHEDULE

SHEET #	C-4.2	CURRENT REV #:	1
		ETS #:	21095122



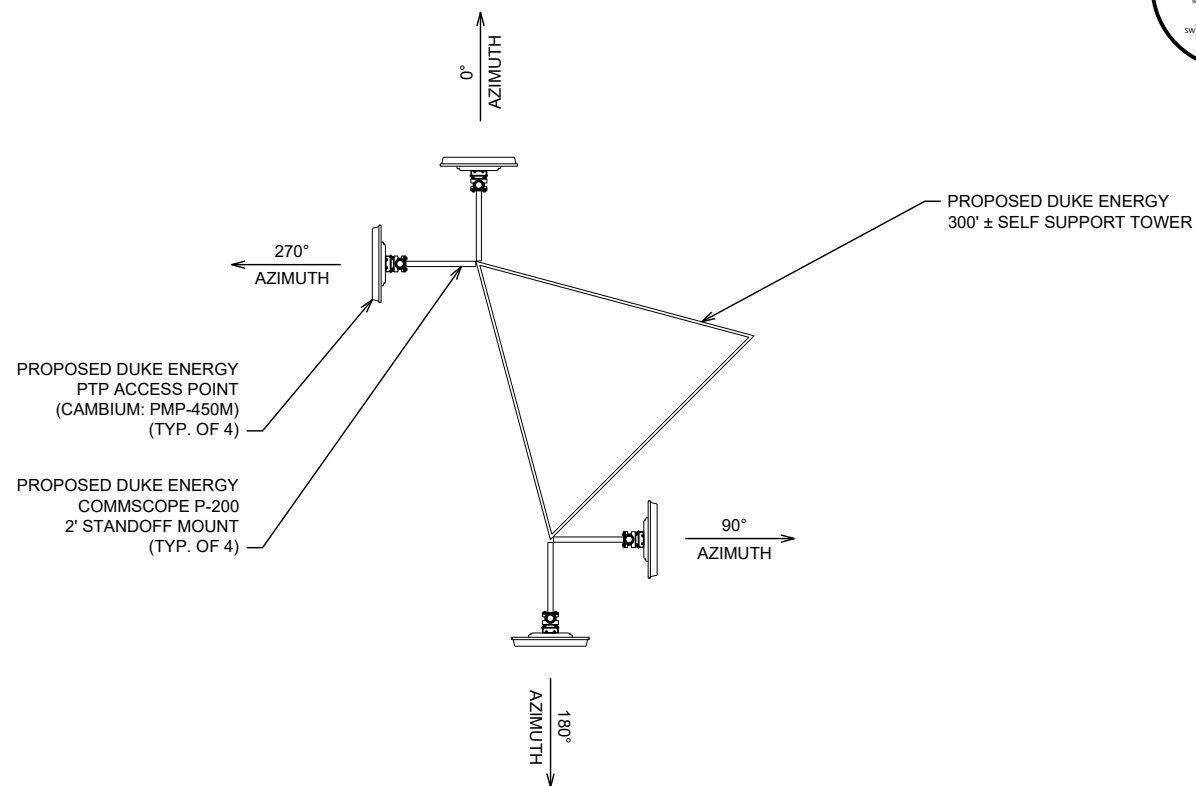
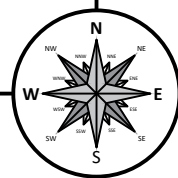
ANTENNA LAYOUT @ 280'

3/16" = 1'-0"



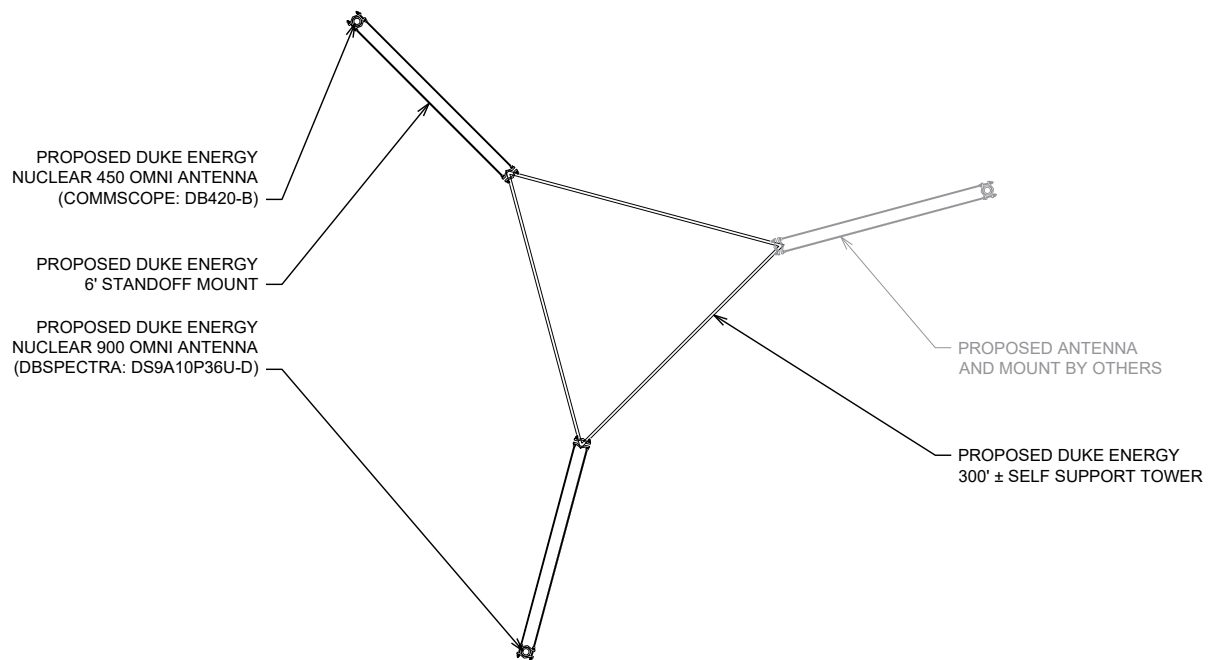
ANTENNA LAYOUT @ 250'

3/16" = 1'-0"



ANTENNA LAYOUT @ 245'

3/16" = 1'-0"



ANTENNA LAYOUT @ 220'

3/16" = 1'-0"

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PREPARED FOR:



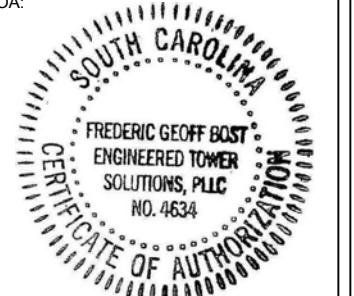
SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



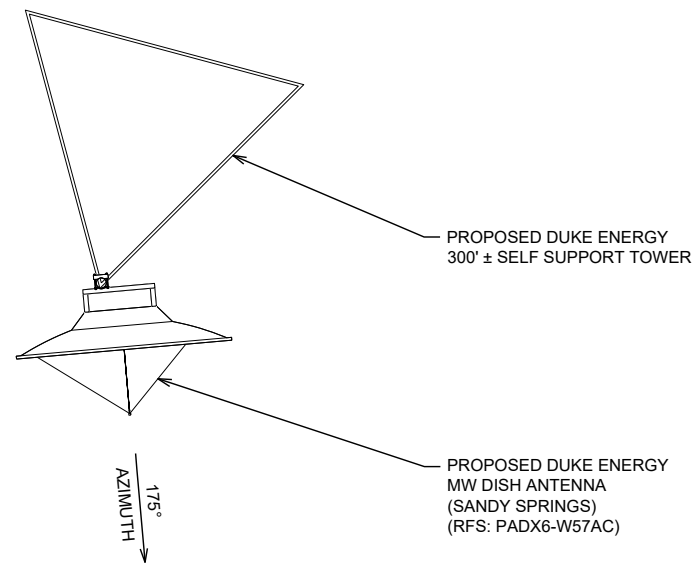
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DRAWN BY: CP CHECKED BY: DG

SHEET TITLE:

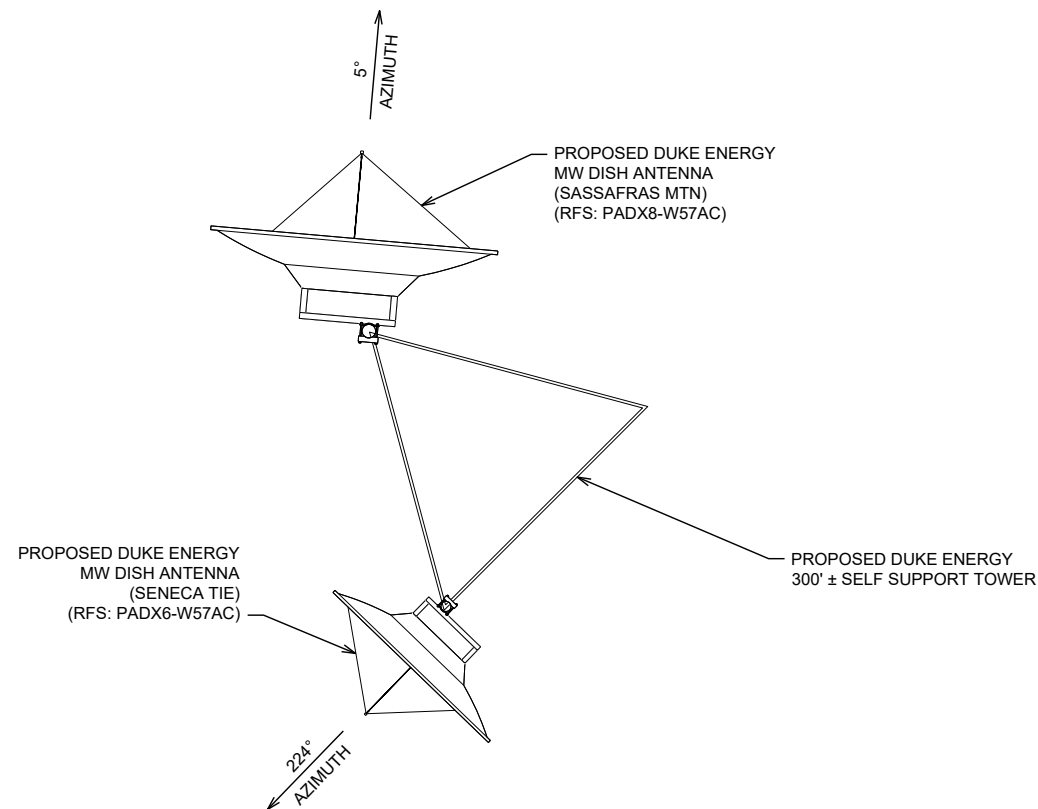
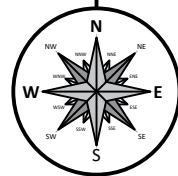
**ANTENNA
LAYOUTS I**

SHEET # **C-4.3** CURRENT REV #: 1
ETS #: 21095122



ANTENNA LAYOUT @ 150'

3/16" = 1'-0"



ANTENNA LAYOUT @ 140'

3/16" = 1'-0"

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RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:



SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



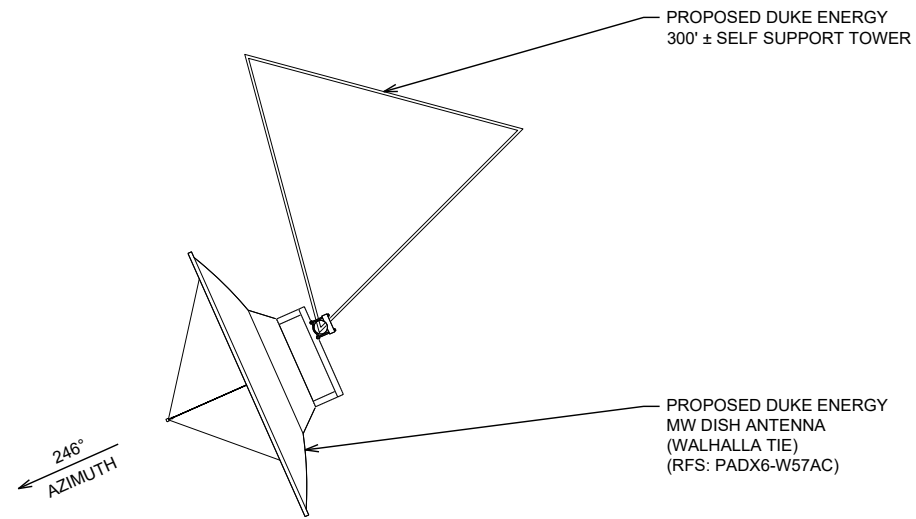
REV	DATE	DETAILS
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3		

DRAWN BY: CP CHECKED BY: DG

SHEET TITLE:

**ANTENNA
LAYOUTS II**


SHEET # **C-4.4** CURRENT REV #: 1
ETS #: 21095122



ANTENNA LAYOUT @ 125'
3/16" = 1'-0"


NOT USED
N.T.S.

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RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:



SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682

LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



REV	DATE	DETAILS
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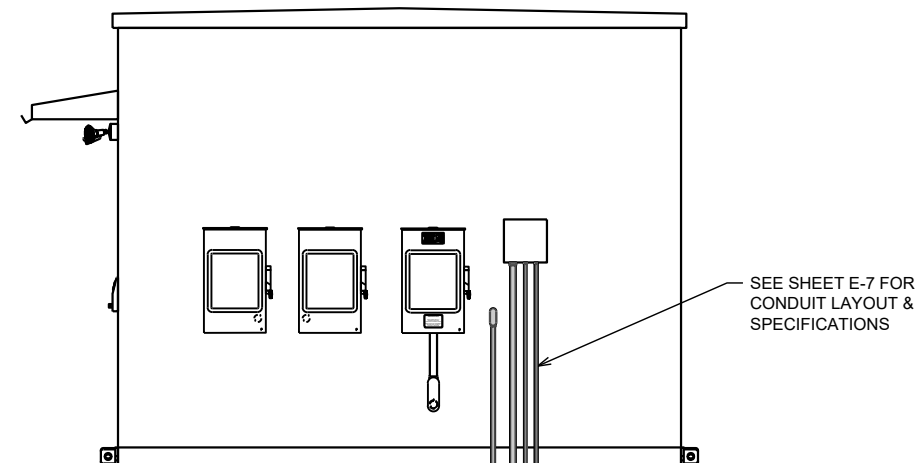
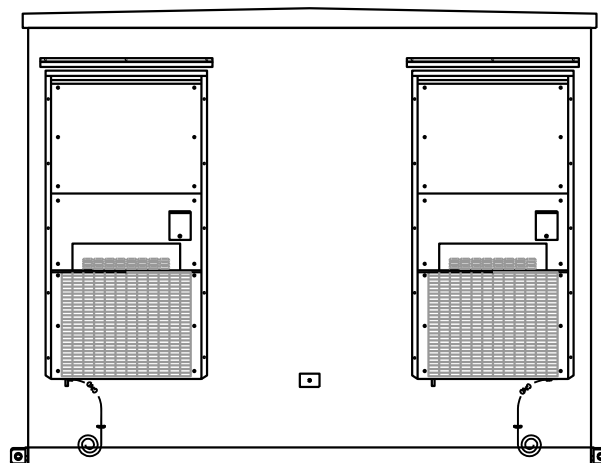
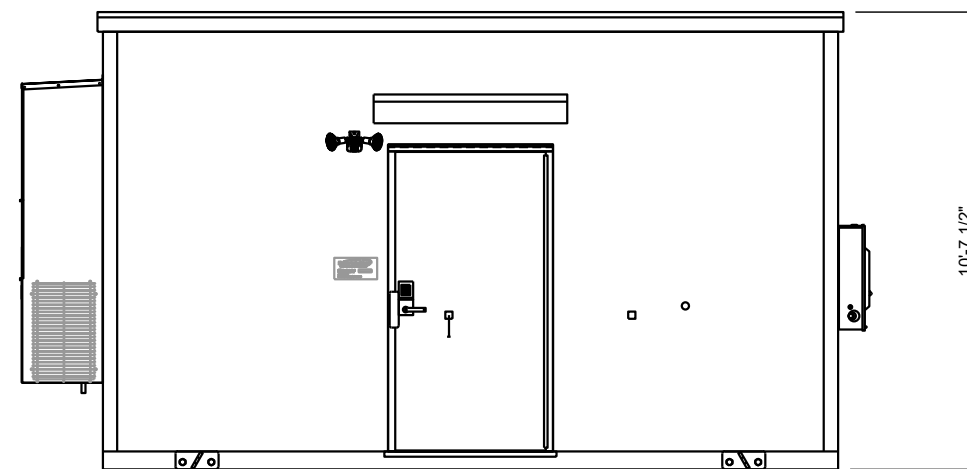
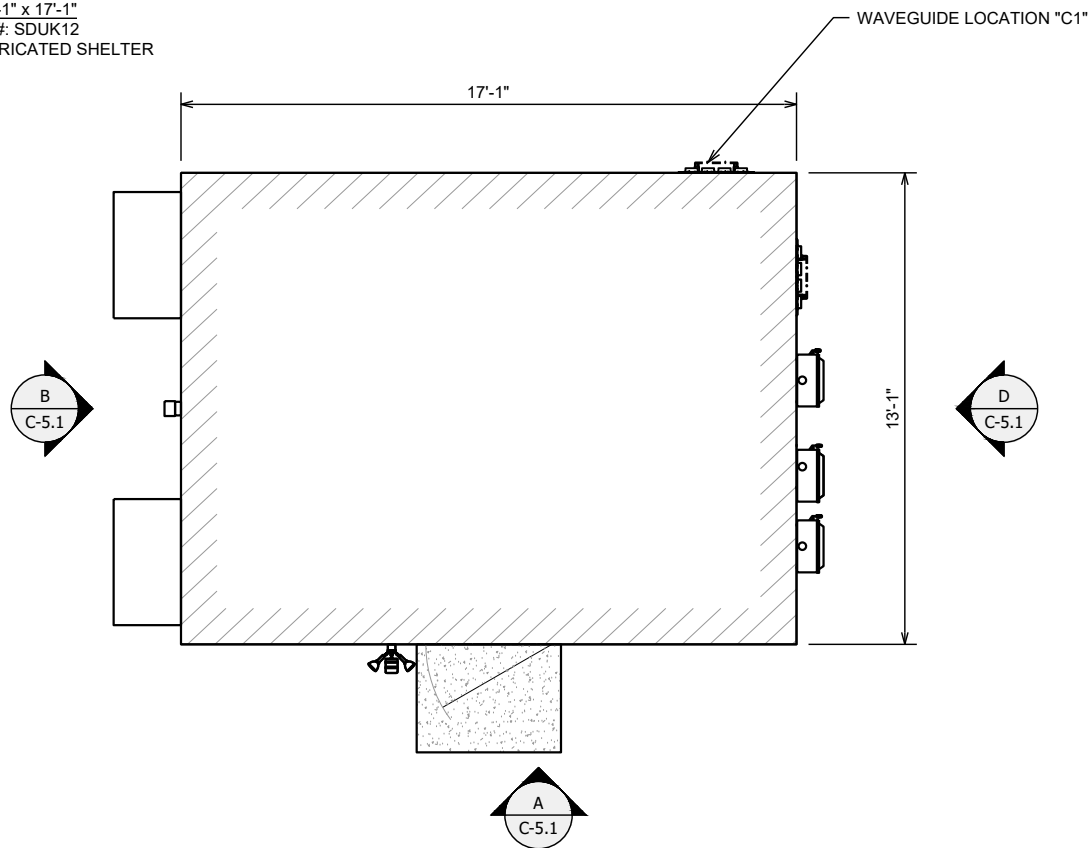
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SHEET TITLE:

**ANTENNA
LAYOUTS III**

SHEET # **C-4.5** CURRENT REV #: 1
ETS #: 21095122

SABRE: 13'-1" x 17'-1"
• MODEL #: SDUK12
• PREFABRICATED SHELTER



PREPARED BY:



3227 WELLINGTON COURT
RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:



SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



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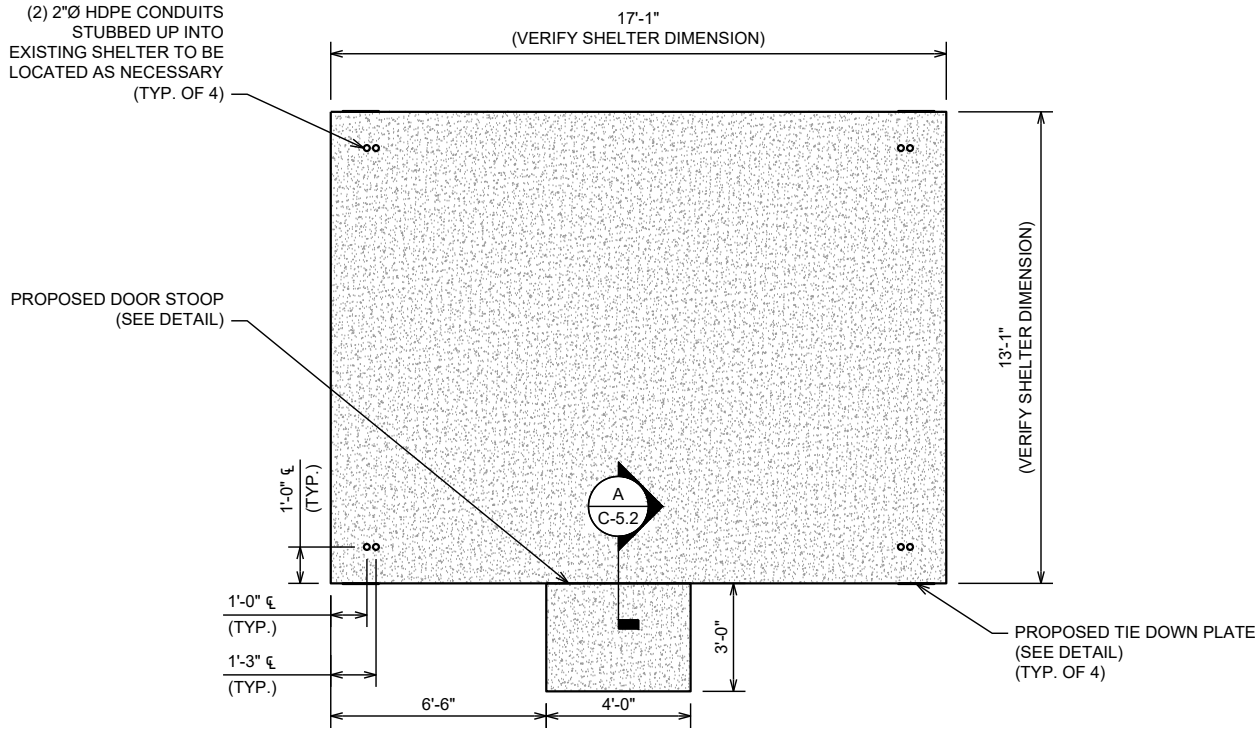
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SHEET TITLE:

SHELTER DETAILS

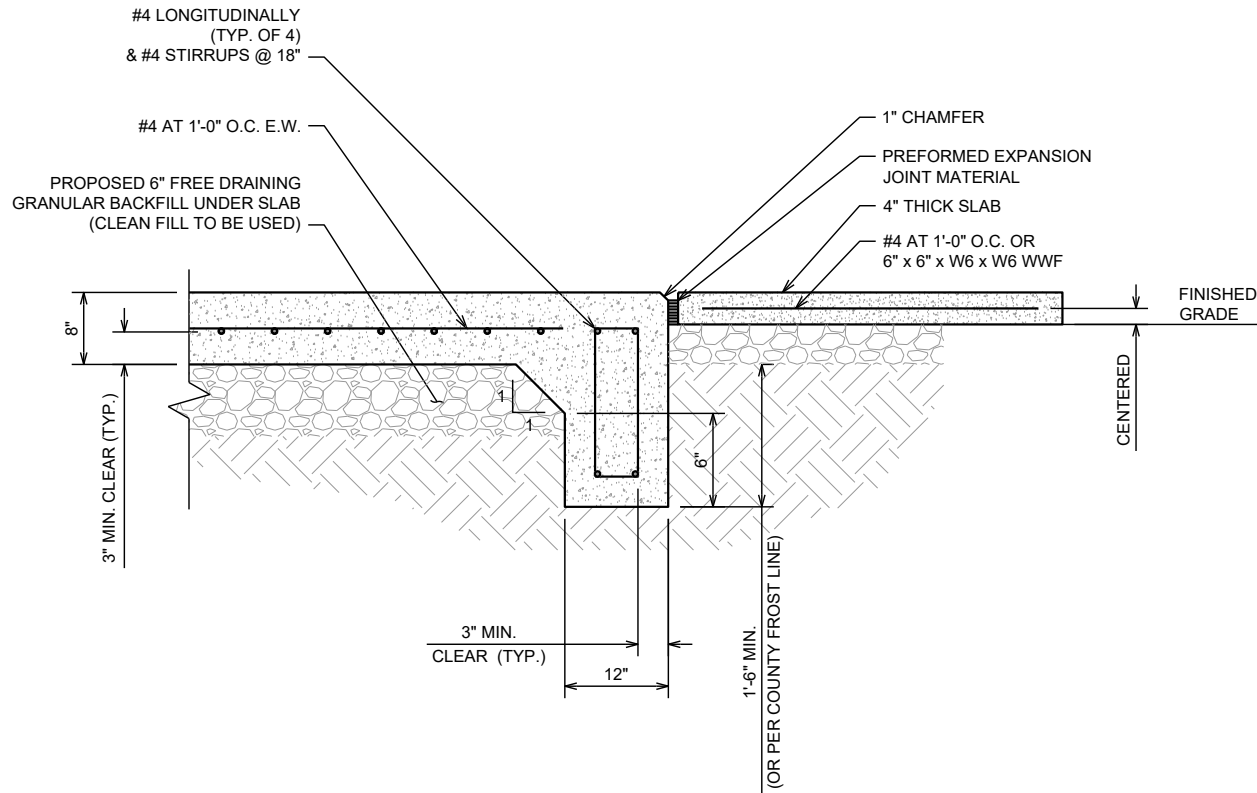
SHEET # **C-5.1** CURRENT REV #: 1
ETS #: 21095122

- NOTES
- SURFACE OF FINISHED SLAB SHALL BE LEVEL AND FLAT WITHIN 1/4"
 - CONTRACTOR TO VERIFY WITH MANUFACTURER ACTUAL DIMENSIONS OF SHELTER PRIOR TO LAYING FOUNDATION
 - SEE SHEET GN-3 FOR CONCRETE AND FOUNDATION NOTES



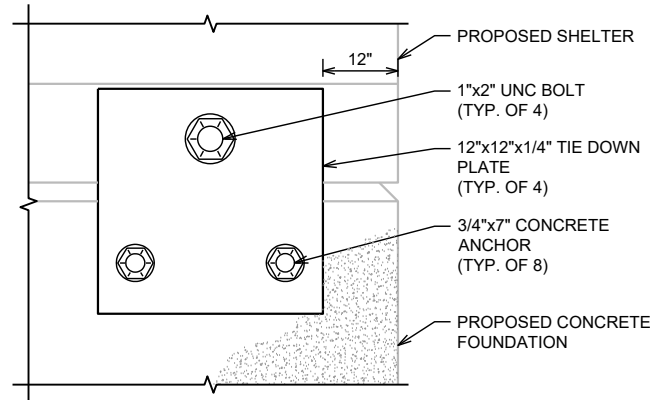
SHELTER CONCRETE FOUNDATION PLAN

N.T.S.



SECTION A DETAIL

N.T.S.



TIE DOWN PLATE DETAIL

N.T.S.

NOT USED

N.T.S.

PREPARED BY:



3227 WELLINGTON COURT
RALEIGH, NC 27615
919-782-2710
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PREPARED FOR:



SITE NAME:
**SIX MILE
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DRAWN BY: CP CHECKED BY: DG

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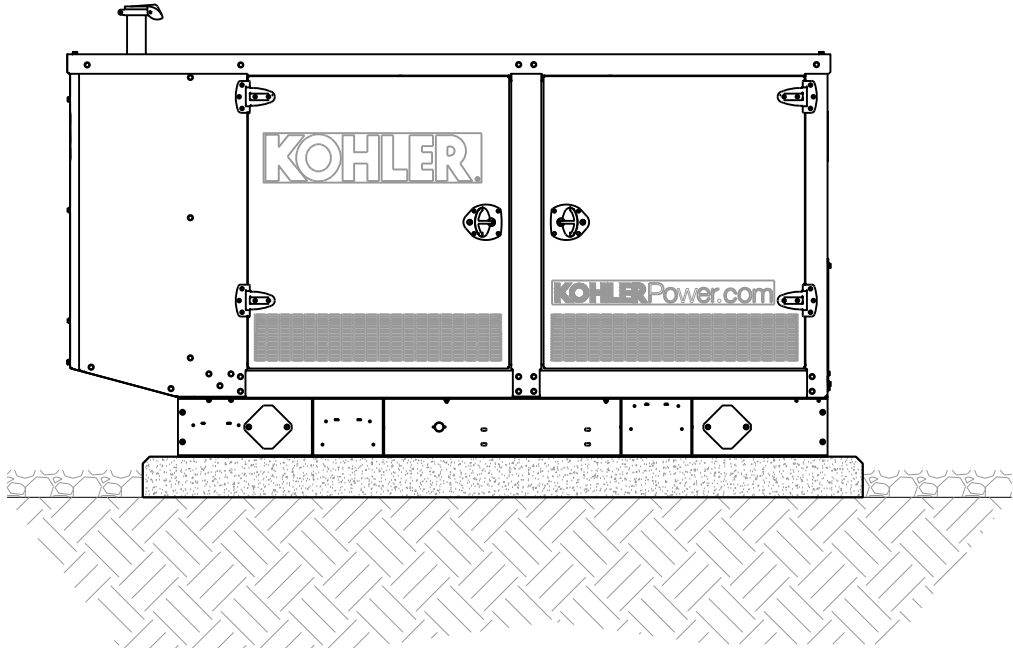
**SHELTER
FOUNDATION
DETAILS**

SHEET # **C-5.2** CURRENT REV #: 1
ETS #: 21095122

KOHLER MODEL - KG50

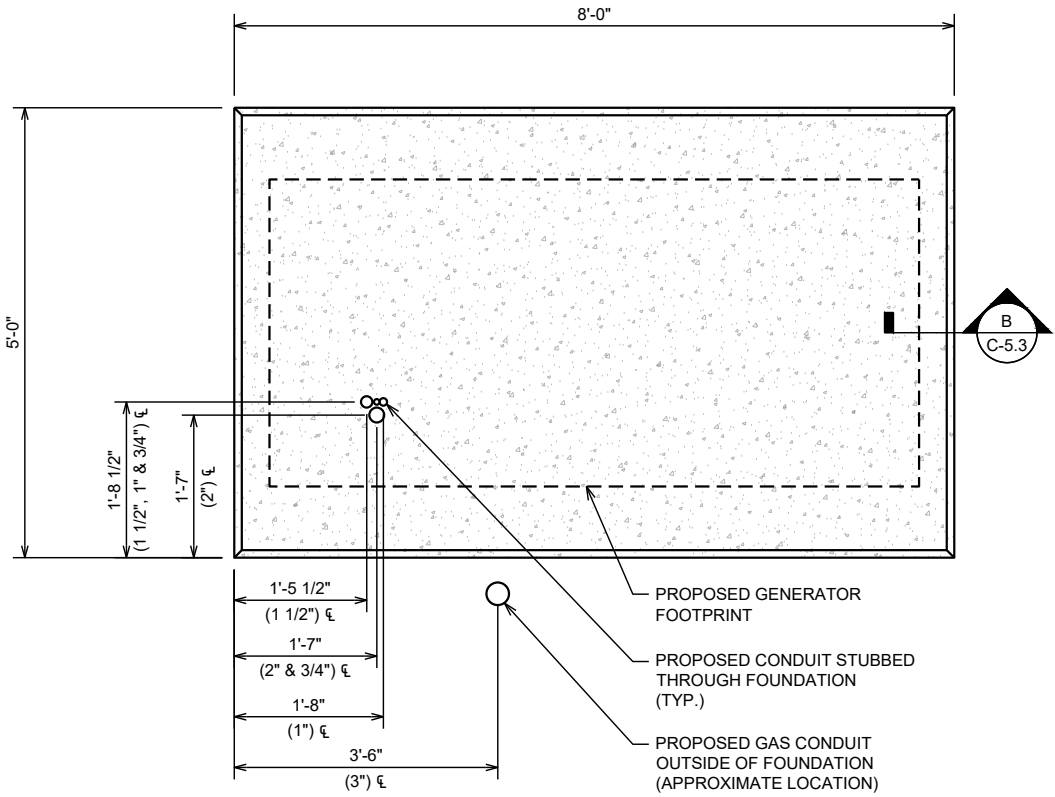
- LP GENERATOR
- 4P8X ALTERNATOR

HEIGHT	WIDTH	DEPTH	WEIGHT
46.1"	40.9"	86.6"	1900 LBS



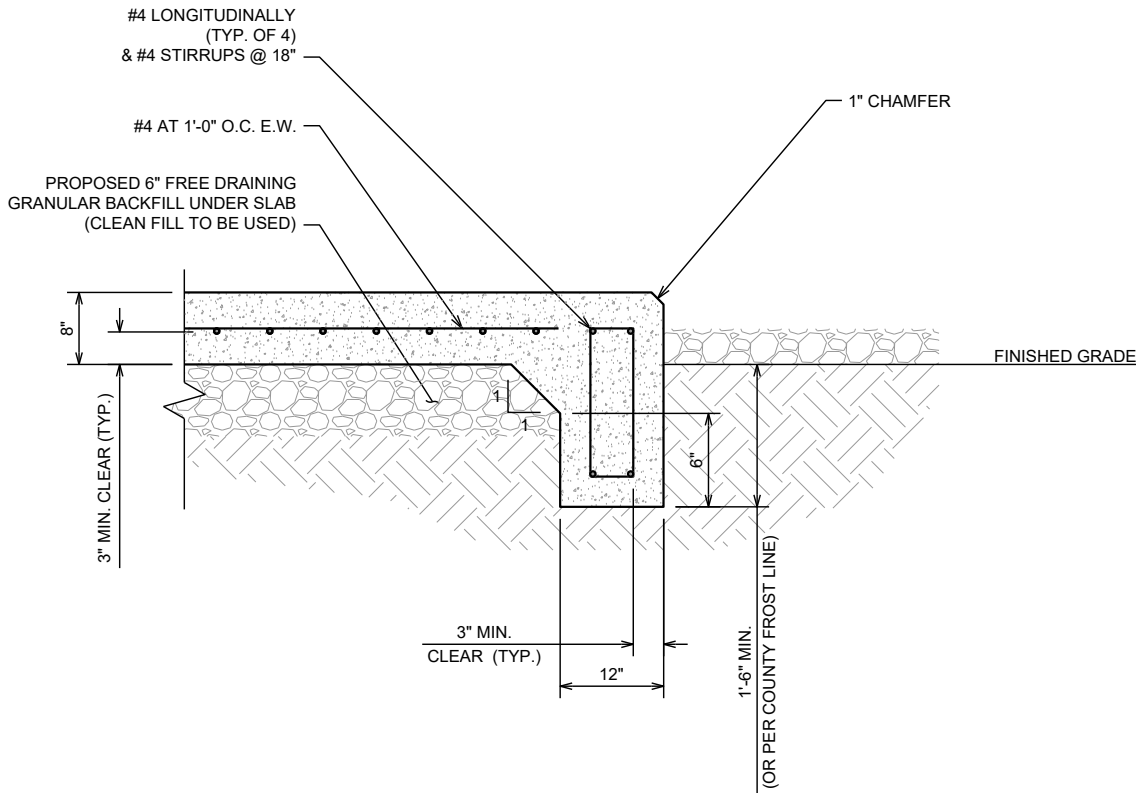
GENERATOR PAD ELEVATION

N.T.S.



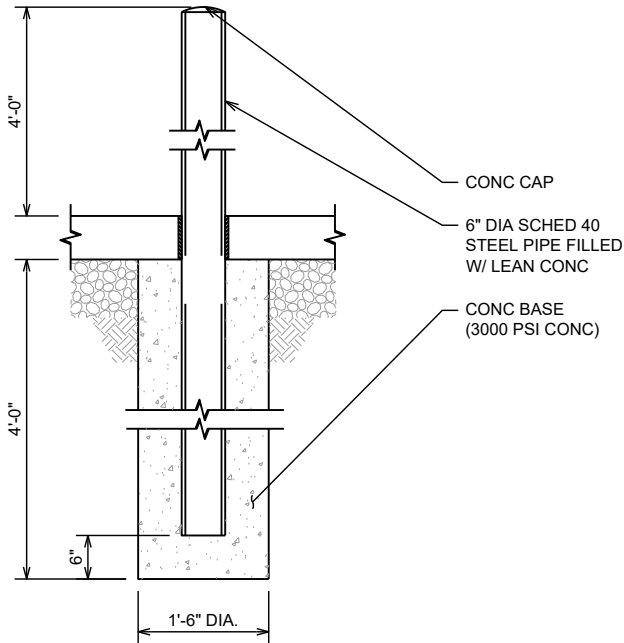
GENERATOR PAD PLAN

N.T.S.



SECTION B DETAIL

N.T.S.



BOLLARD DETAIL

N.T.S.

PREPARED BY:



3227 WELLINGTON COURT
RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:



SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



REV	DATE	DETAILS
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1	11/02/2022	CONSTRUCTION
2		
3		

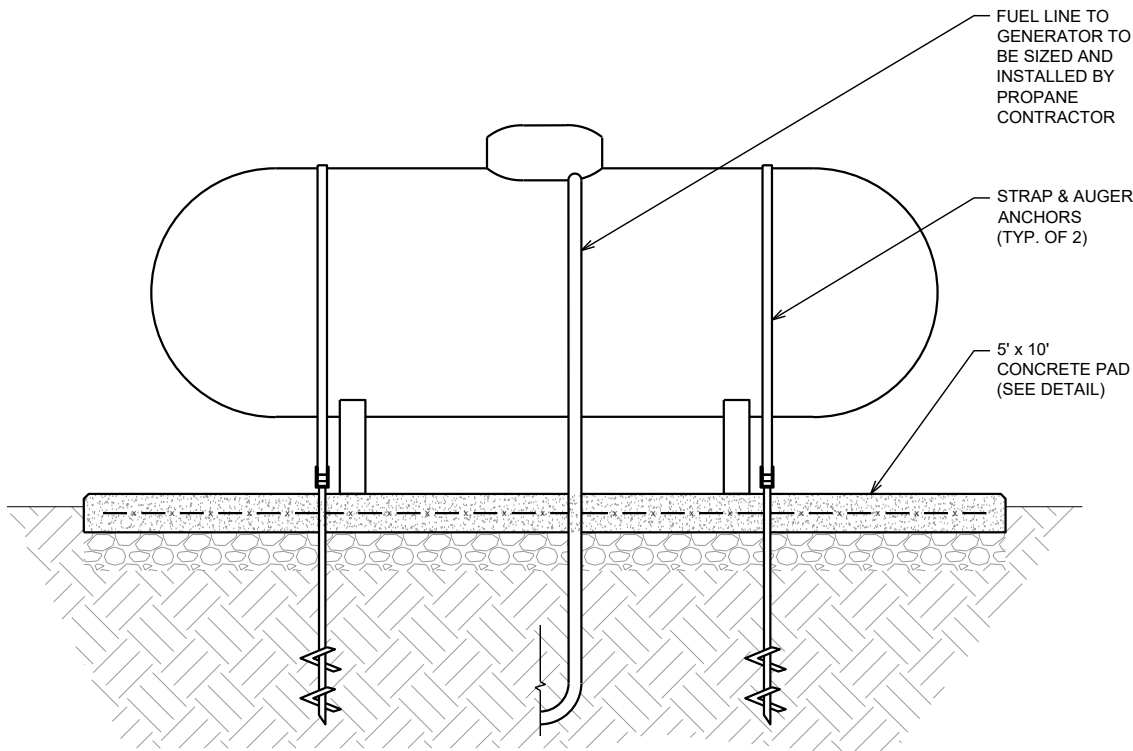
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SHEET TITLE:

**GENERATOR &
BOLLARD DETAILS**

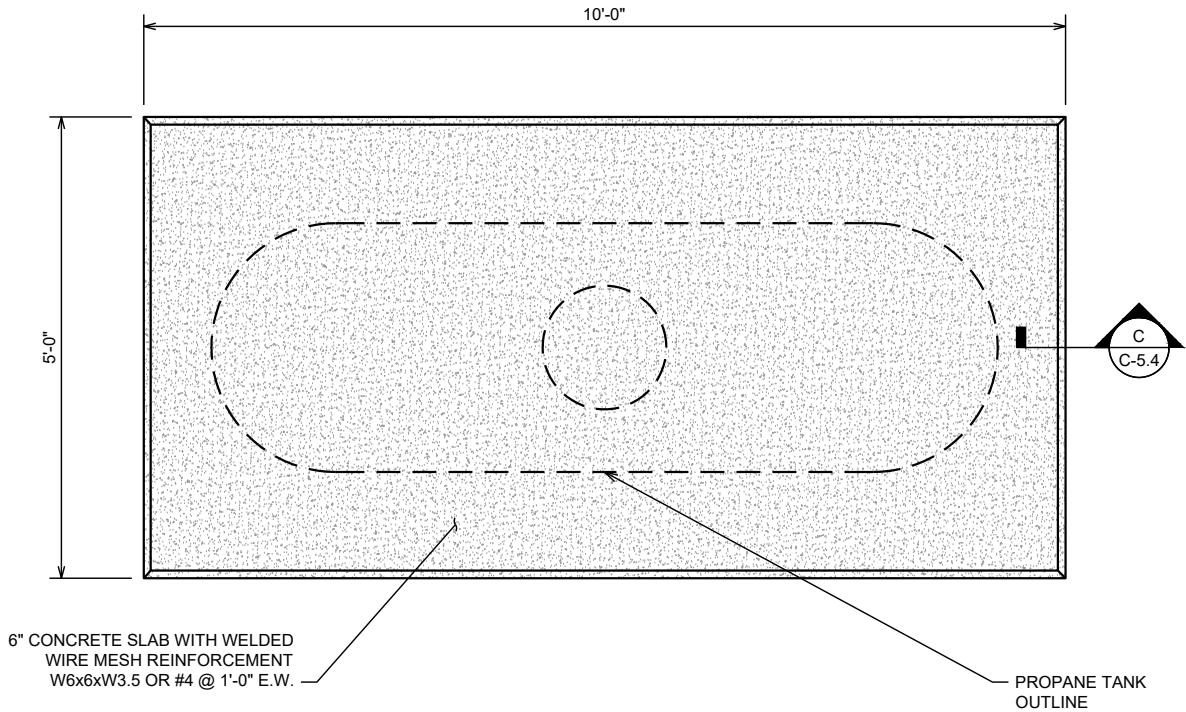
SHEET # **C-5.3** CURRENT REV #: 1
ETS #: 21095122

- NOTES
- INSTALLATION SHALL BE IN ACCORDANCE WITH NFPA-58 LP GAS CODE
 - CONNECT GROUNDING CONDUCTOR TO FUEL TANK BY CLAMPING IT TO THE FILLER PIPE.



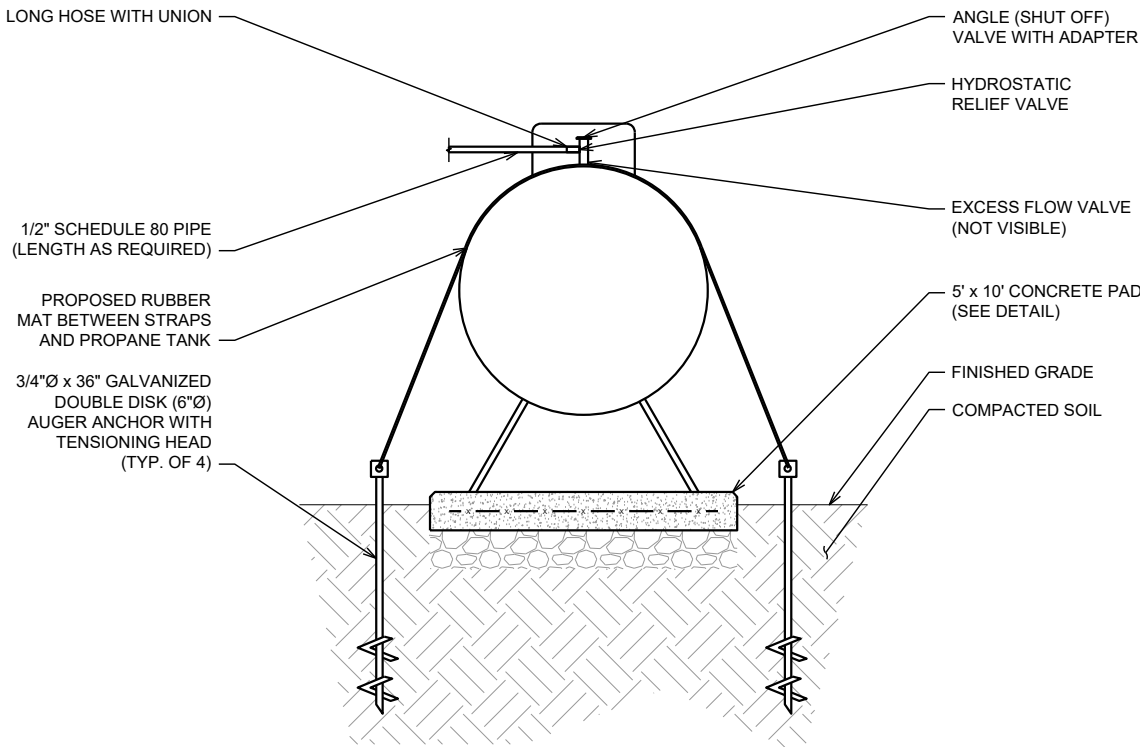
PROPANE TANK PAD ELEVATION

N.T.S.



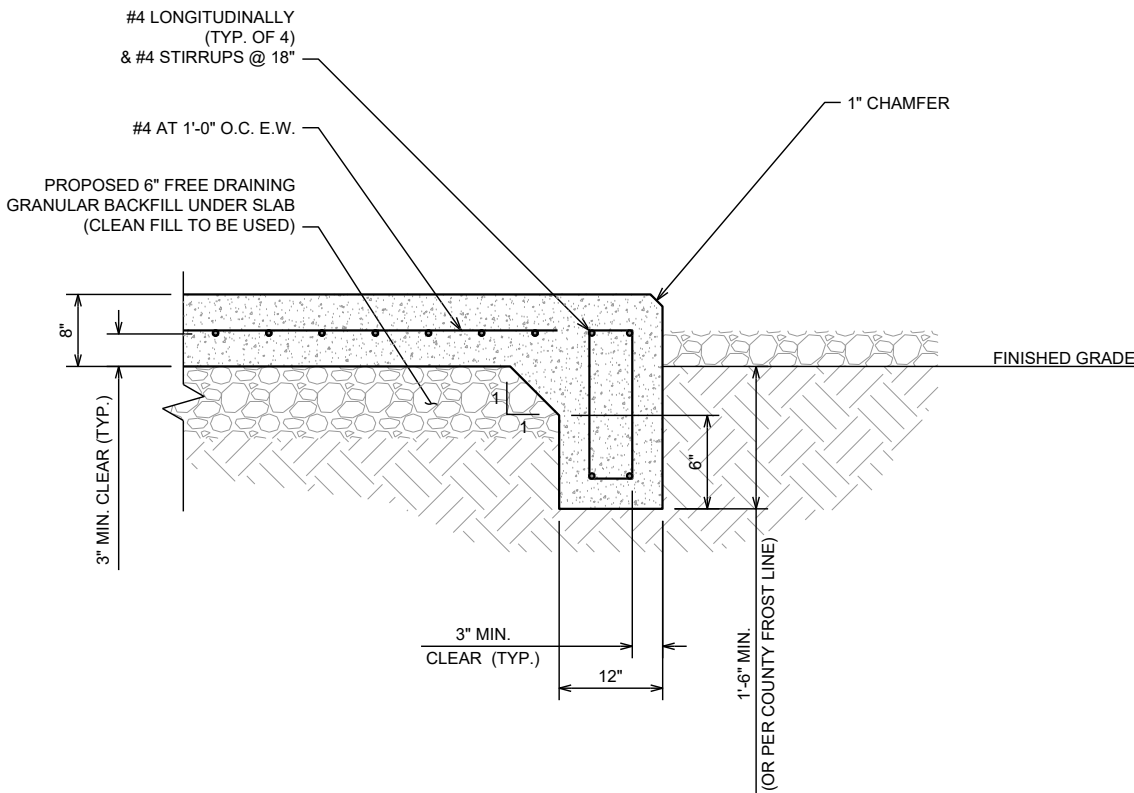
PROPANE TANK PAD PLAN

N.T.S.



PROPANE TANK PAD ELEVATION

N.T.S.



SECTION C DETAIL

N.T.S.

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PREPARED FOR:



SITE NAME:
**SIX MILE
MOUNTAIN MW**

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SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



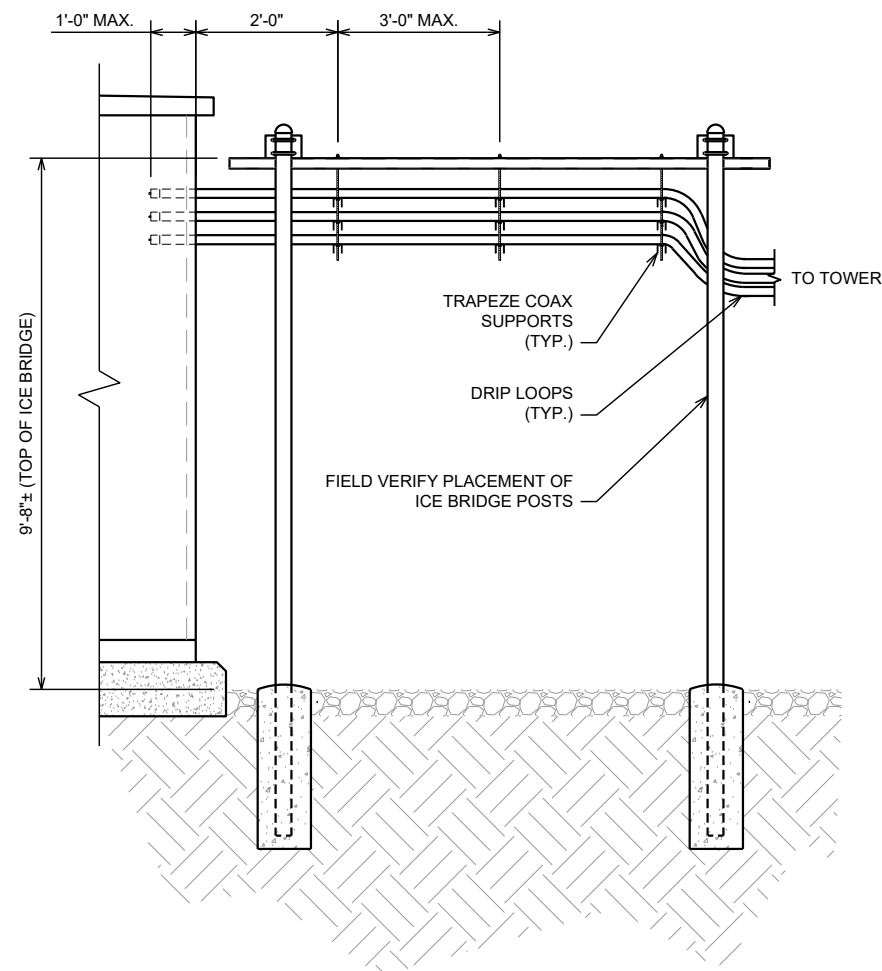
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3		

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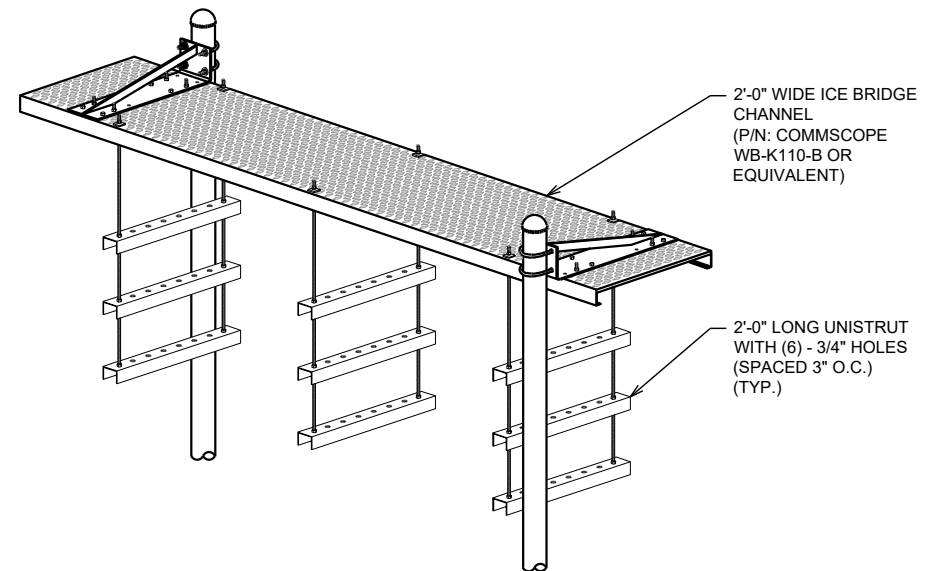
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**PROPANE TANK
DETAILS**

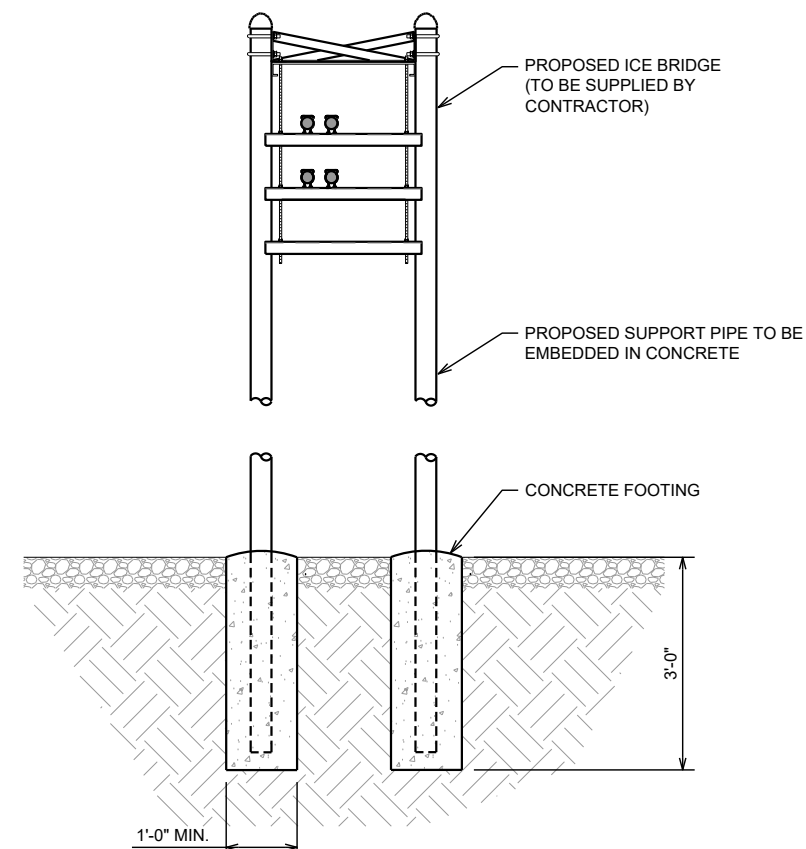
SHEET # **C-5.4** CURRENT REV #: 1
ETS #: 21095122



ICE BRIDGE DETAIL
N.T.S.



ISOMETRIC VIEW
N.T.S.



SIDE VIEW
N.T.S.

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SITE NAME:
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34.833144°, -82.804494°

SEAL:



COA:



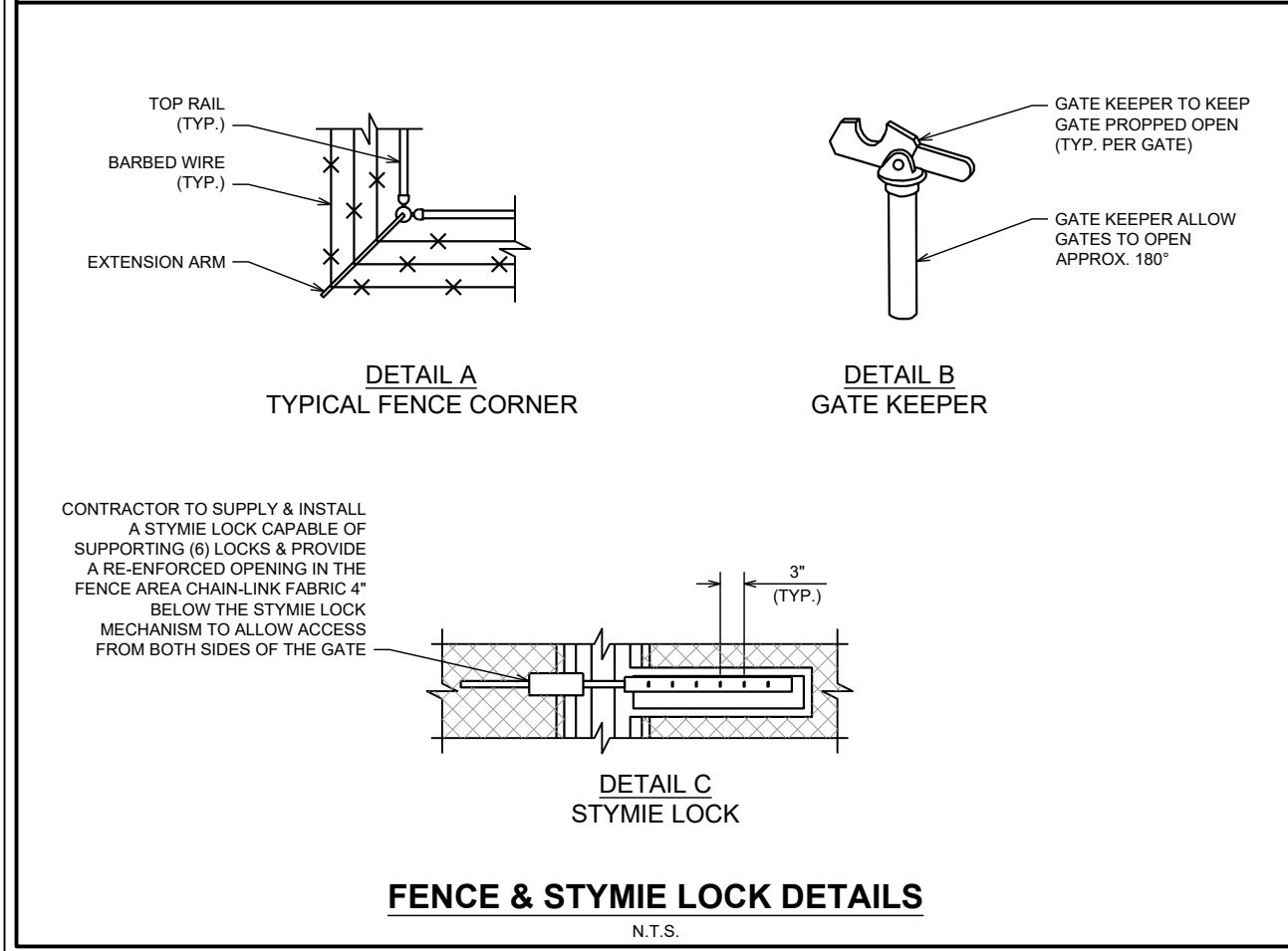
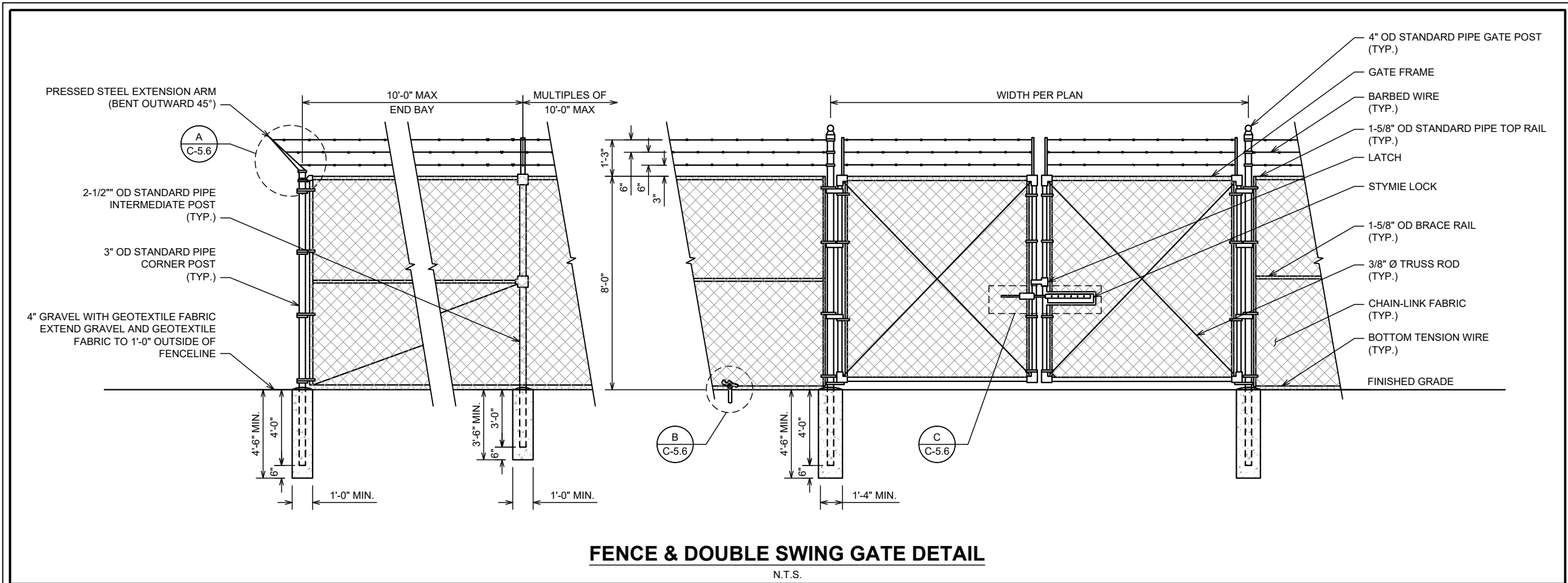
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3		

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SHEET TITLE:

**ICE BRIDGE
DETAILS**

SHEET # **C-5.5** CURRENT REV #: 1
ETS #: 21095122



- NOTES**
1. ALL MATERIAL AND HARDWARE FOR THE CHAIN-LINK FENCE SHALL BE A HOT DIP GALVANIZED FINISH.
 2. CHAIN-LINK FABRIC TO BE 8'-0" HIGH, 9 GA. WIRE, 2" MESH WITH TWISTED SELVAGE TOP AND BOTTOM (PER ASTM A392).
 3. BARBED WIRE TO CONSIST OF 3 NO. 12-1/2" GA. GALVANIZED STEEL WORE WITH 4-POINT BARBS OF NO. 14 GA. GALVANIZED STEEL.
 4. POST, RAIL AND GATE FITTINGS TO BE PRESSED STEEL OR MALLEABLE CASTING (PER ASTM A153).
 5. ALL POSTS SHALL HAVE WEATHER CAPS INSTALLED.
 6. POSTS TO SET IN 3,000 PSI CONCRETE. BOTTOM OF CONCRETE TO BE 6" MIN. FROM BOTTOM OF POST.
 7. TIE WIRES TO BE 9 GA. ALUMINUM SPACES AT 12" OC POSTS/GATES AND 24" OC RAILS/WIRE.
 8. TENSION BARS TO BE 3/16" x 3/4" CARBON STEEL ATTACHED TO TERMINAL POSTS BY MEANS OF BEVELED EDGE BANDS.
 9. PROVIDE (2) GATE KEEPER HOLD OPEN DEVICES FOR SWING GATES. GATE KEEPERS TO ALLOW GATES TO OPEN APPROXIMATELY 180 DEGREES.
 10. CONTRACTOR TO SUPPLY AND INSTALL A STYMIELOCK CAPABLE OF SUPPORTING (6) LOCKS AND PROVIDE A RE-ENFORCED OPENING IN THE CHAIN-LINK FENCE AREA FABRIC OF 4" BELOW THE STYMIE LOCK MECHANISM TO ALLOW ACCESS FROM BOTH SIDES OF THE GATE.
 11. SITE OWNER / CARRIER TO PROVIDE A STANDARD LOCK FOR THE GATE.
 12. ALL FENCE POST FOUNDATIONS SHALL BE ROUNDED AT TOP AS SHOWN TO DIVERT WATER AWAY FROM THE POSTS.
 13. THE FABRIC SHALL BE SET SO THERE IS NO GAP BETWEEN THE CHAIN-LINK FENCE FABRIC AND THE FINISHED GRADE.
 15. 4" OD STANDARD PIPE FOR GATE POSTS.
 16. 3" OD STANDARD PIPE FOR ALL CORNER AND END POSTS.
 17. 2-1/2" OD STANDARD PIPE FOR ALL INTERMEDIATE POSTS.
- NOTES**
- N.T.S.

PREPARED BY:

ENGINEERED TOWER SOLUTIONS

3227 WELLINGTON COURT
RALEIGH, NC 27615
919-782-2710
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PREPARED FOR:

DUKE ENERGY

SITE NAME:
SIX MILE MOUNTAIN MW

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:

SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 23934
FREDERIC G. BOST
11/02/2022

COA:

SOUTH CAROLINA
FREDERIC GEOFF BOST
ENGINEERED TOWER SOLUTIONS, PLLC
NO. 4634
CERTIFICATE OF AUTHORIZATION

REV	DATE	DETAILS
0	10/26/2022	CONSTRUCTION
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3		

DRAWN BY: CP CHECKED BY: DG

SHEET TITLE:

FENCE DETAILS

SHEET # **C-5.6** CURRENT REV #: 1
ETS #: 21095122

ELECTRICAL NOTES	ELECTRICAL NOTES	ABBREVIATIONS
<div>1. SCOPE</div> <div>A. SHALL INCLUDE ALL LABOR, MATERIALS AND APPLIANCES REQUIRED FOR THE FURNISHING, INSTALLING AND TESTING, COMPLETE AND READY FOR OPERATION OF ALL WORK SHOWN ON THE DRAWING AS SPECIFIED HEREIN:</div> <div>A.a. ELECTRIC SERVICE</div> <div>A.b. CONDUIT AND RECEWAY</div> <div>A.c. CONDUCTORS</div> <div>A.d. MISCELLANEOUS MATERIALS</div> <div>A.e. TELEPHONE CONDUITS</div> <div>A.f. LIGHTNING ARRESTING SYSTEM</div> <div>2. CODES</div> <div>A. THE INSTALLATION SHALL COMPLY WITH ALL LAWS APPLYING TO ELECTRICAL INSTALLATION IN EFFECT WITH THE REGULATIONS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL SAFETY CODE AND THE ICC, ADMINISTRATIVE RULES WITH THE NATIONAL ELECTRIC CODE, AND ANY LOCAL CODES AND ORDINANCES WITH THE REGULATION OF THE SERVING UTILITY COMPANY. ALL PERMITS REQUIRED SHALL BE OBTAINED AND, AFTER COMPLETION OF WORK, THE OWNER SHALL BE FURNISHED A CERTIFICATE OF FINAL INSPECTION AND APPROVAL.</div> <div>3. TESTING</div> <div>A. UPON COMPLETION OF THE INSTALLATION, OPERATE AND ADJUST ALL EQUIPMENT AND SYSTEMS TO MEET SPECIFIED PERFORMANCE REQUIREMENTS. ALL TESTING SHALL BE DONE BY QUALIFIED PERSONNEL.</div> <div>4. GUARANTEE</div> <div>A. IN ADDITION TO THE GUARANTEE OF THE EQUIPMENT BY THE MANUFACTURER, EACH PIECE OF EQUIPMENT SPECIFIED HEREIN SHALL ALSO BE GUARANTEED FOR DEFECTS OF MATERIAL OR WORKMANSHIP OCCURRING DURING A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF THE WORK BY THE OWNER. WITHOUT EXPENSE TO THE OWNER ALL WARRANTEE CERTIFICATES & GUARANTEES FURNISHED BY THE MANUFACTURERS SHALL BE TURNED OVER TO THE OWNER.</div> <div>5. COORDINATION</div> <div>A. TOWER SUBCONTRACTOR SHALL COORDINATE ALL WORK WITH THE POWER AND TELEPHONE COMPANIES AND SHALL COMPLY WITH ALL SERVICE REQUIREMENTS OF EACH UTILITY COMPANY, IF REQUIRED.</div> <div>6. EXAMINATION OF SITE</div> <div>A. PRIOR TO BEGINNING WORK, THE TOWER SUBCONTRACTOR SHALL VISIT THE SITE OF THE JOB AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE ELECTRICAL INSTALLATION AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. FAILURE TO COMPLY WITH THE INTENT OF THIS PARAGRAPH WILL IN NO WAY RELIEVE THE TOWER SUBCONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM OR SYSTEMS.</div> <div>7. CUTTING, PATCHING AND EXCAVATION</div> <div>A. COORDINATION OF ALL SLEEVES, CHASES, ETC., WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF ANY PORTION OF THE WORK. ALL CUTTING AND PATCHING OF WALLS, PARTITIONS, FLOORS, AND CHASES IN CONCRETE, WOOD, STEEL OR MASONRY SHALL BE DONE AS PROVIDED ON THE DRAWINGS.</div> <div>B. ALL NECESSARY EXCAVATIONS AND BACKFILLING INCIDENTAL TO THE WORK UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWING SHALL BE PROVIDED BY THIS CONTRACTOR.</div> <div>C. SEAL ALL PENETRATION THROUGH WALL AND FLOORS WITH APPROVED GROUT.</div> <div>8. RACEWAYS</div> <div>A. ALL CONDUCTORS SHALL BE INSTALLED IN CONDUIT. ALL CONDUIT SHALL BE GALVANIZED RIGID CONDUIT OR SCH40 PVC. AS INDICATED ON THE DRAWINGS.</div> <div>B. WHERE INSTALLED ON EXTERIORS AND EXPOSED TO DAMAGE, ALL CONDUIT SHALL BE GALVANIZED RIGID CONDUIT. ALUMINUM CONDUIT SHALL NOT BE ALLOWED.</div> <div>C. CONCEALED CONDUIT IN WALLS OR INTERIOR SPACES ABOVE GRADE MAY BE EMT.</div> <div>D. UNDERGROUND CONDUITS SHALL BE GALVANIZED RIGID CONDUIT OR SCHEDULE 40 PVC AS INDICATED ON THE DRAWINGS.</div> <div>E. ALL CONDUIT RUNS SHALL USE APPROVED COUPLINGS AND CONNECTORS. PROVIDE INSULATED BUSHING FOR ALL CONDUIT TERMINATIONS. ALL CONDUIT RUNS IN A WET LOCATION SHALL HAVE WATERPROOF FITTINGS.</div> <div>F. PROVIDE SUPPORTS FOR ALL CONDUITS IN ACCORDANCE WITH NEC REQUIREMENTS. ALL CONDUITS SHALL BE SIZED AS REQUIRED BY NEC.</div> <div>G. BURIAL DEPTH OF ALL CONDUITS SHALL BE AS REQUIRED BY CODE FOR EACH SPECIFIC CONDUIT TYPE AND APPLICATION.</div> <div>H. CONDUIT ROUTES ARE SCHEMATIC. TOWER SUBCONTRACTOR SHALL FIELD VERIFY BEFORE</div>	<div>BID. COORDINATE ROUTE WITH WIRELESS CARRIER AND BUILDING OWNER.</div> <div>9. EXTERIOR CONDUIT</div> <div>A. ALL EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL</div> <div>B. SCHEDULE 40 ELECTRICAL CONDUIT WILL BE BURIED TO A DEPTH OF AT LEAST 3 FEET. METALLIC CAUTION TAPE, OR NONMETALLIC CAUTION TAPE WITH 12 AWG TRACING WIRE, WILL BE BURIED TO A DEPTH OF 2 FEET. TRENCHES WILL BE TAMPED AT 12 INCH INTERVALS TO PRECLUDE FUTURE SINKING. TOPSOIL WILL BE PRESERVED AND REPLACED. ALL DISTURBED AREAS SHALL BE RE-SEEDED AND STRAWED PER THE FORT BRAGG SEEDING SPECIFICATION. PULL CORDS WILL BE TIED OFF ON BOTH ENDS OF THE CONDUIT RUNS.</div> <div>10.EQUIPMENT</div> <div>A. ALL DISCONNECT SWITCHES SHALL BE SERVICE ENTRANCE RATED, HEAVY DUTY TYPE.</div> <div>B. NEW CIRCUIT BREAKERS SHALL BE RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AS DETERMINED BY THE LOCAL UTILITY. TOWER SUBCONTRACTOR SHALL VERIFY MAXIMUM AVAILABLE FAULT CURRENT, AND COORDINATE INSTALLATION WITH THE LOCAL UTILITY BEFORE STARTING WORK.</div> <div>11.CONDUCTORS</div> <div>A. FURNISH AND INSTALL CONDUCTORS CALLED FOR IN THE DRAWINGS. ALL CONDUCTORS SHALL HAVE TYPE THWN (MIN) (75 DEGREE) INSULATION, RATED FOR 600 VOLTS.</div> <div>B. ALL CONDUCTORS SHALL BE UL LISTED AND SHALL BE PROVIDED AND INSTALLED AS FOLLOWS:</div> <div>B.a. MINIMUM WIRE SIZE SHALL BE #12 AWG.</div> <div>B.b. ALL CONDUCTORS SIZE #8 AND LARGER SHALL BE STRANDED. CONDUCTORS SIZED #10 AND SMALLER MAY BE SOLID OR STRANDED.</div> <div>B.c. CONNECTION FOR #10 AWG AND SMALLER SHALL BE BY TWISTING TIGHT AND INSTALLING INSULATED PRESSURE OR WIRE NUT CONNECTIONS.</div> <div>B.d. CONNECTION FOR #8 AWG AND LARGER SHALL BE BY USE OF STEEL CRIMP-ON SLEEVES WITH NYLON INSULATOR.</div> <div>C. ALL CONDUCTORS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC STANDARDS.</div> <div>D. THE RACEWAY SYSTEM SHALL BE COMPLETE BEFORE INSTALLING CONDUCTORS.</div> <div>12.PENETRATIONS</div> <div>E. TOWER SUBCONTRACTOR SHALL COMPLY WITH UL PENETRATION DETAILS FOR PENETRATIONS OF ALL RATED WALLS, ROOF, ETC.</div>	<div>A AMPERE</div> <div>AFG ABOVE FINISHED GRADE</div> <div>ATS AUTOMATIC TRANSFER SWITCH</div> <div>AWG AMERICAN WIRE GAUGE</div> <div>BCW BARE COPPER WIRE</div> <div>BFG BELOW FINISHED GRADE</div> <div>BKR BREAKER</div> <div>C CONDUIT</div> <div>CKT CIRCUIT</div> <div>DISC DISCONNECT</div> <div>EMT ELECTRIC METALLIC TUBING</div> <div>FSC FLEXIBLE STEEL CONDUIT</div> <div>GEN GENERATOR</div> <div>GPS GLOBAL POSITIONING SYSTEM</div> <div>GRC GALVANIZED RIGID CONDUIT</div> <div>KA KILO AMP</div> <div>KW KILOWATTS</div> <div>NEC NATIONAL ELECTRIC CODE</div> <div>PH PHASE</div> <div>PNL PANEL</div> <div>PNLBD PANELBOARD</div> <div>PVC POLYVINYL CHLORIDE</div> <div>RGS RIGID GALVANIZED STEEL</div> <div>SCCR SHORT CIRCUIT CURRENT RATING</div> <div>SW SWITCH</div> <div>UL UNDERWRITERS LABORATORIES</div> <div>V VOLTAGE</div> <div>VA VOLTAGE AMP</div> <div>W WATTS</div> <div>XFMR TRANSFORMER</div> <div>XMTR TRANSMITTER</div>

LEGEND

⊗

EXISTING UTILITY POLE

Ⓛ

LIGHT

Ⓚ

RECEPTACLE

⤵

BREAKER

⚡

TRANSFORMER

Ⓜ

METER

⌋

PANEL

⚡

DISCONNECT

⚡-Ⓚ

FUSED DISCONNECT

⚡

LIGHTNING ARRESTOR

Ⓜ

GENERATOR

⚡

GROUND

Ⓚ

GROUND TO NEUTRAL BOND

⊕

GROUND ROD

⊗

GROUND ROD WITH INSPECTION WELL

●































CADWELD BOND

■

MECHANICAL BOND

▲

COMPRESSION BOND

				PANEL NAME:			PP1										
				VOLTAGE:			120	/						240			
				PHASE:			1										
				WIRE:			3										
				BUS AMPERAGE:			200										
				MAIN CB AMPERAGE:			200										
				SUPPLY AMPERAGE:			200										
				MIN. SHORT CIRCUIT RATING:			10	kAIC									
LOAD SERVED		VA (WATTS)		WIRE	BREAKER		CKT #	PHASE		CKT #	BREAKER		WIRE	VA (WATTS)		LOAD SERVED	
		L1	L2		POLE	TRIP					POLE	TRIP		L1	L2		
HVAC #1		2800		--	2	60A	1		A		2	2	60A	--	2800		HVAC #2
			2800				3		B		4					2800	
LIGHTS		308		--	1	20A	5		A		6	1	20A	--	360		QUAD REC
QUAD REC X2			720	--	1	20A	7		B		8	1	20A	--		360	QUAD REC
QUAD REC X3		1080		--	1	20A	9		A		10	1	20A	--	360		QUAD REC
SMOKE DETECTOR			120	--	1	20A	11		B		12	1	20A	--		360	QUAD REC
SPARE		--		--	1	20A	13		A		14	1	20A	--	360		QUAD REC
TWISTLOCK REC			180	--	1	20A	15		B		16	1	20A	--		360	QUAD REC
TWISTLOCK REC		1750		--	2	30A	17		A		18	1	20A	--	360		QUAD REC
			1750				19		B		20	--	20A	--		--	SPARE
TWISTLOCK REC		1750		--	2	30A	21		A		22	1	20A	--	--		SPARE
			1750				23		B		24	2	60A	--		10	SURGE ARRESTOR
TWISTLOCK REC		1750		--	2	30A	25		A		26				10		
			1750				27		B		28	--	--	--		--	OPEN
TWISTLOCK REC		1750		--	2	30A	29		A		30	--	--	--	--		OPEN
			1750				31		B		32	--	--	--		--	OPEN
TWISTLOCK REC		1750		--	2	30A	33		A		34	--	--	--	--		OPEN
			1750				35		B		36	--	--	--		--	OPEN
EXTERIOR GFCI		180		--	1	20A	37		A		38	--	--	--	--		OPEN
OPEN			--	--	--	--	39		B		40	--	--	--		--	OPEN
OPEN		--		--	--	--	41		A		42	--	--	--	--		OPEN
VOLT AMPS		13,118	12,570	CALCULATION						L1		L2		4,250	3,890	VOLT AMPS	
				TOTAL VOLT AMPERES						17,368.0		16,460.0					
				TOTAL AMPS PER LEG						144.73		137.17					
				CONNECTED AMPS						141.0							
				DEMAND AMPS						151.8							
				SPARE AMPS						48.2							

SHELTER PANEL SCHEDULE

N.T.S.


PREPARED BY:



ENGINEERED
TOWER SOLUTIONS

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PREPARED FOR:



DUKE
ENERGY®

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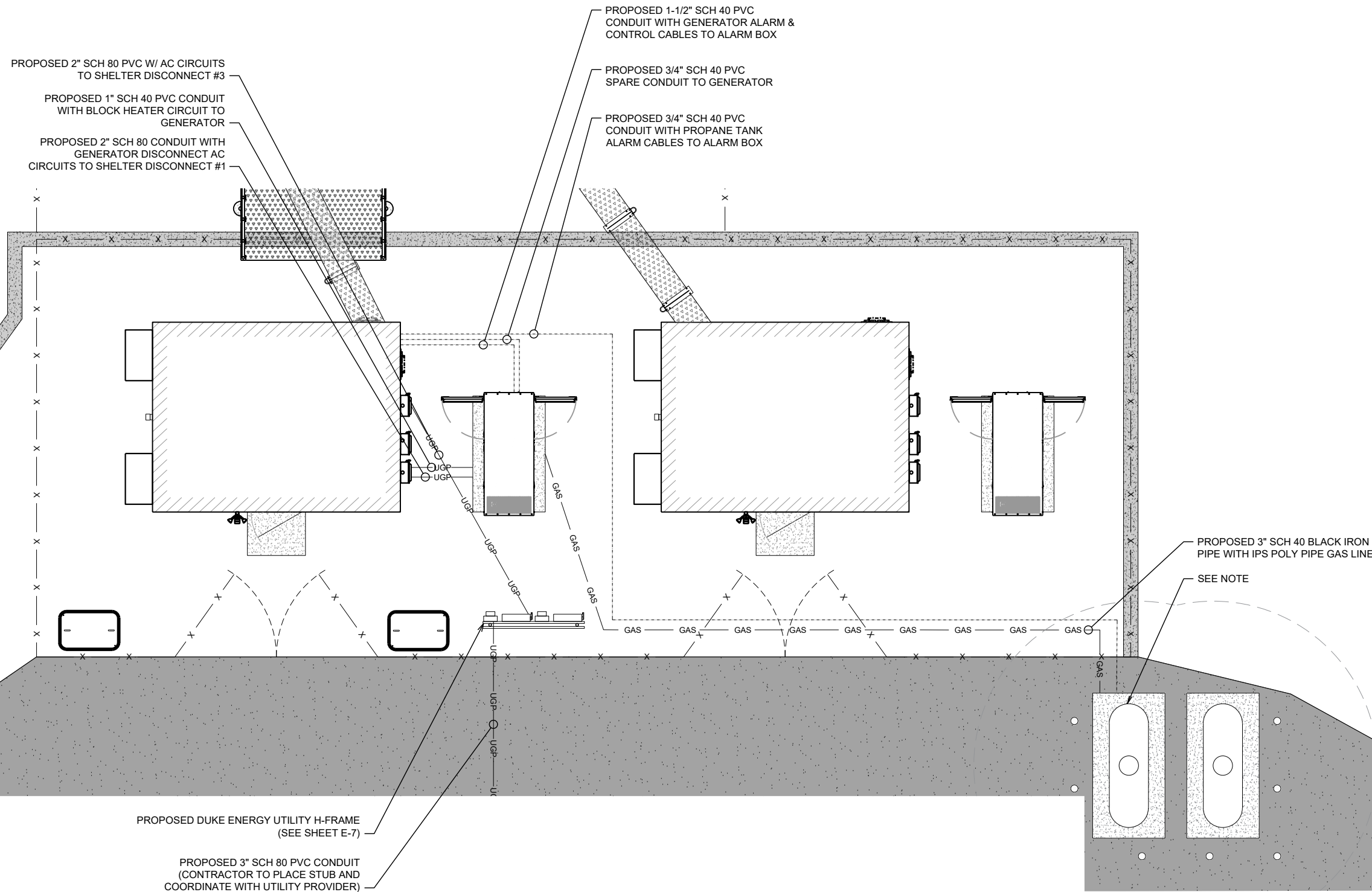
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CHECKED BY: DG

SHEET TITLE:

SHELTER PANEL
SCHEDULE

SHEET #	E-2	CURRENT REV #: 1
		ETS #: 21095122



NOTE

STUB CONDUITS 6" ABOVE FINISHED GRADE. FINISH CONNECTION PER GENERATOR MANUFACTURER'S SPECIFICATIONS. ONLY STRANDED CONDUCTOR SHALL BE USED FOR ALL CONNECTIONS TO GENERATOR.

ELECTRICAL PLAN

1/8" = 1'-0"

PREPARED BY:



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RALEIGH, NC 27615
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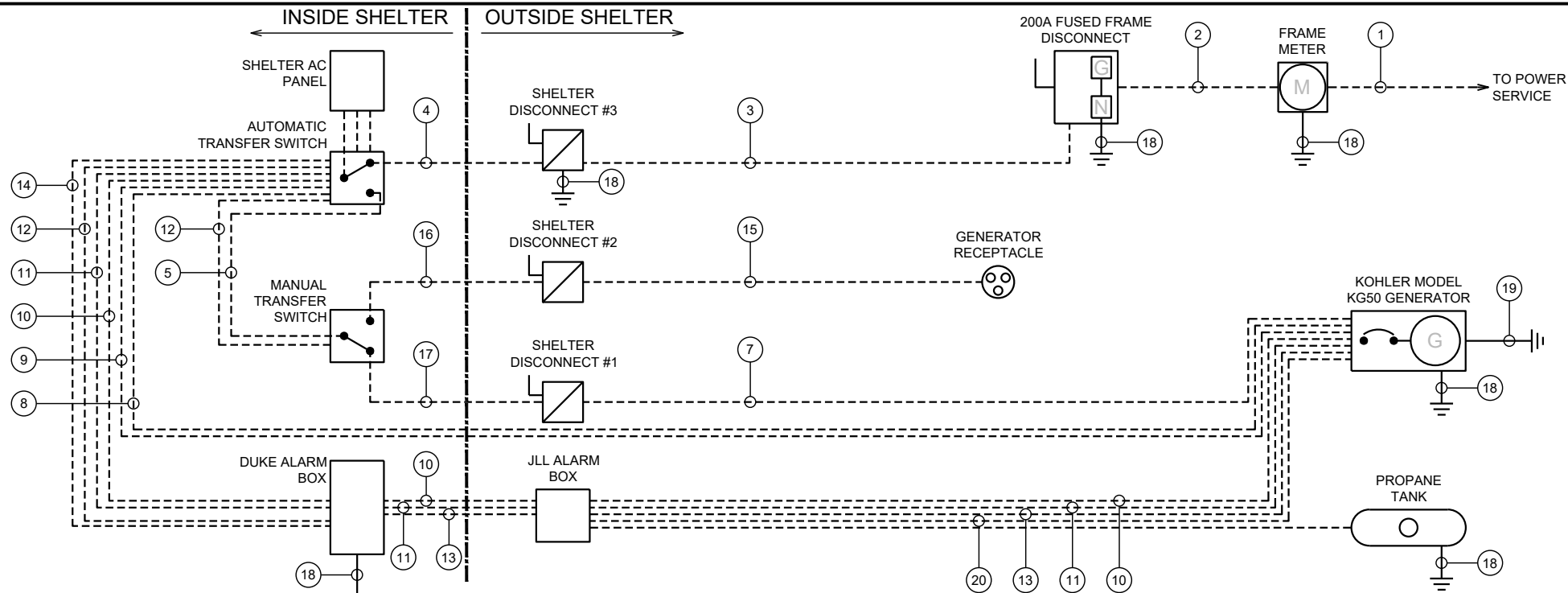
SHEET TITLE:

ELECTRICAL PLAN

SHEET # **E-3** CURRENT REV #: 1
ETS #: 21095122

NOTES:

- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE
- ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES, AND EQUIPMENT SHALL BE LABELED/LISTED BY UL OR A NORTH CAROLINA APPROVED THIRD PARTY TESTING AGENCY
- SUBCONTRACTOR TO LEAVE EXTRA PULL TAPE FOR FUTURE CABLE INSTALL BY OTHERS
- OTHERS WILL BE ROUTING CABLE FROM THE JLL BOX THROUGH CONDUIT TO THE PROPANE TANK FOR LPG LEVEL MONITORING
- ONLY CONTROL AND ALARM CABLES (ITEMS #10-13) WITH EITHER PASS THROUGH OR LAND IN THE DUKE ENERGY ALARM BOX. AC CABLES (ITEMS #8-9) WILL BE ROUTED FROM AUTOMATIC TRANSFER SWITCH TO GENERATOR IN ITS OWN DEDICATED 1" CONDUIT
- SEE SHEET E-2 FOR SHELTER PANEL SCHEDULE
- SEE SHEET E-3 FOR ROUTE DETAILS



ONE-LINE DIAGRAM

CIRCUIT SCHEDULE

	FROM	TO	CONDUCTOR	RACEWAY	BY	FUNCTION	NOTES
1	SOURCE	METER	(3) 3/0 (1) #4 G	3" SCH 80 PVC	LOCAL UTILITY	POWER SOURCE	2 1/2" SCH 80 PVC RISER TO METER, 3" SCH 80 PVC UNDERGROUND
2	METER	FRAME DISCONNECT SWITCH	(3) 3/0 (1) #4 G	2" SCH 80 PVC	SUBCONTRACTOR	METER DISCONNECT	
3	FRAME DISCONNECT SWITCH	#3 SHELTER DISCONNECT SWITCH	(3) 3/0 (1) #4 G	2" SCH 80 PVC	SUBCONTRACTOR	MAIN DISCONNECT	
4	#3 SHELTER DISCONNECT SWITCH	AUTOMATIC TRANSFER SWITCH	(3) 3/0 (1) #4 G	2" RGSC	SHELTER MANUFACTURER	SERVICE ENTRANCE	
5	AUTOMATIC TRANSFER SWITCH	MANUAL TRANSFER SWITCH	(3) 3/0 (1) #4 G	2" RGSC	SHELTER MANUFACTURER	TEMPORARY EMERGENCY POWER	
6	AUTOMATIC TRANSFER SWITCH	AC POWER PANEL	(3) 3/0 (1) #4 G	2" RGSC	SHELTER MANUFACTURER	AC POWER TO BREAKERS	
7	STANDBY GENERATOR	#1 SHELTER DISCONNECT SWITCH	(3) 3/0 (1) #4 G	2" SCH 80 PVC	SUBCONTRACTOR	AUTO EMERGENCY POWER	
8	AC POWER PANEL	STANDBY GENERATOR CONTROL BOARD	(2) #12	1" SCH 40 PVC	SUBCONTRACTOR	BATTERY CHARGER	ROUTE CABLES THROUGH AUTOMATIC TRANSFER SWITCH TO GENERATOR USING DEDICATED 1" CONDUITS
9	AC POWER PANEL	STANDBY GENERATOR CONTROL BOARD	(2) #12 (1) #12 G	1" SCH 40 PVC	SUBCONTRACTOR	ENGINE HTR/COOLANT	
10	STANDBY GENERATOR CONTROL BOARD	AUTOMATIC TRANSFER SWITCH	(2) #14 (DC)	1-1/2" SCH 40 PVC	SUBCONTRACTOR	CONTROL	ROUTE VIA DUKE ENERGY ALARM BOX. CABLE WILL BE ROUTED THROUGH 2 SEPARATE CONDUITS. AUTOMATIC TRANSFER SWITCH TO DUKE ENERGY ALARM BOX AND THEN JLL ALARM BOX TO GENERATOR
11	STANDBY GENERATOR CONTROL BOARD	AUTOMATIC TRANSFER SWITCH	2-WIRE RS485	1-1/2" SCH 40 PVC	SUBCONTRACTOR	CONTROL	
12	MANUAL TRANSFER SWITCH	DUKE ENERGY ALARM BOX	(4) #18	1" PVC	SUBCONTRACTOR	MANUAL TRANSFER SWITCH ALARM	ROUTE VIA AUTOMATIC TRANSFER SWITCH. SEE E-## ON WHERE TO LAND CABLES IN DUKE ENERGY ALARM BOX. CABLE PART #: BELDEN 83351E
13	STANDBY GENERATOR CONTROL BOARD	DUKE ENERGY ALARM BOX	(15) #18	1-1/2" SCH 40 PVC	SUBCONTRACTOR	GENERATOR ALARMS	SEE E-5 ON WHERE TO TERMINATE CABLES WITHIN DUKE ENERGY ALARM BOX CABLE PART #: BELDEN 8874MN
14	AUTOMATIC TRANSFER SWITCH	DUKE ENERGY ALARM BOX	(8) #18	1" PVC	SUBCONTRACTOR	AUTOMATIC TRANSFER SWITCH ALARMS	SEE E-5 ON WHERE TO TERMINATE CABLES WITHIN DUKE ENERGY ALARM BOX CABLE PART #: BELDEN 8448
15	PORTABLE GENERATOR RECEPTACLE	#2 SHELTER DISCONNECT SWITCH	(3) 3/0 (1) #4 G	2" RGSC	SHELTER MANUFACTURER	PORTABLE EMERGENCY POWER	
16	#2 SHELTER DISCONNECT SWITCH	MANUAL TRANSFER SWITCH	(3) 3/0 (1) #4 G	2" RGSC	SHELTER MANUFACTURER	PORTABLE EMERGENCY POWER	
17	#1 SHELTER DISCONNECT SWITCH	MANUAL TRANSFER SWITCH	(3) 3/0 (1) #4 G	2" RGSC	SHELTER MANUFACTURER	AUTO EMERGENCY POWER	
18	EQUIPMENT	GROUND RING	#2 THHN	NONE	SUBCONTRACTOR	GROUND CONNECTION	
19	GENERATOR	GROUND RING	2/0 BCW	NONE	SUBCONTRACTOR	GROUND CONNECTION	
20	STANDBY GENERATOR CONTROL BOARD	JLL ALARM BOX	(10) #18	1-1/2" SCH 40 PVC	SUBCONTRACTOR	GENERATOR ALARMS	LEAVE CABLE 20 IN JLL ALARM BOX, CABLE PART #: BELDEN 5308UE

PREPARED BY:



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RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:



SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



REV	DATE	DETAILS
0	10/26/2022	CONSTRUCTION
1	11/02/2022	CONSTRUCTION
2		
3		

DRAWN BY: CP CHECKED BY: DG

SHEET TITLE:

ONE-LINE DIAGRAM

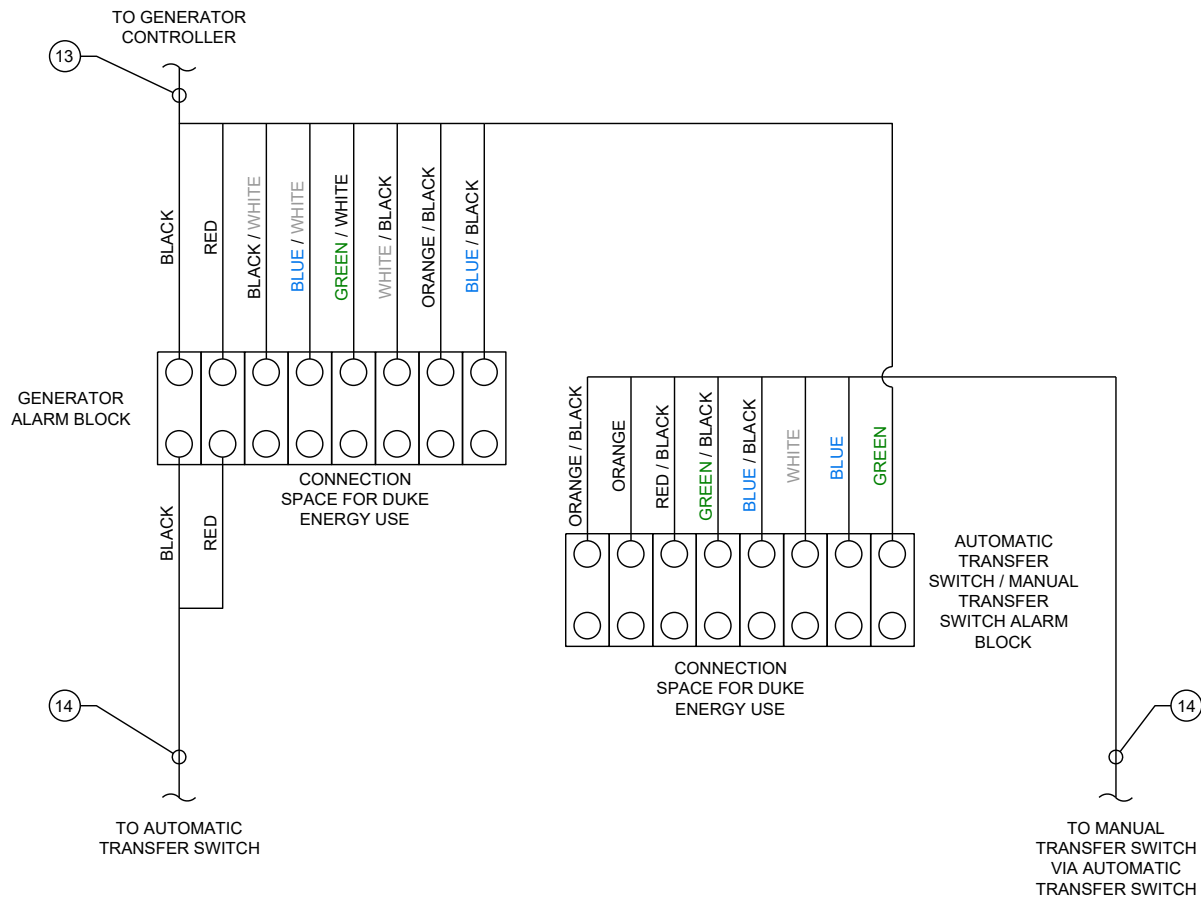
SHEET # **E-4** CURRENT REV #: 1
ETS #: 21095122

AUTOMATIC TRANSFER SWITCH AND MANUAL TRANSFER SWITCH BLOCK ALARM ASSIGNMENT (CABLE COLOR)

1. START (BLACK)
2. STOP (RED)
3. ENGN (BLACK / WHITE)
4. ENGJ (BLUE / WHITE)
5. EETA / COMMON (GREEN / WHITE)
6. NOT IN AUTO (WHITE / BLACK)
7. FAIL TO START (ORANGE / BLACK)
8. COMMON FAULT (BLUE / BLACK)

GENERATOR ALARM TERMINAL BLOCK ALARM ASSIGNMENT (CABLE COLOR)

9. ACPF (ORANGE / BLACK)
10. ENGR (ORANGE)
11. PRE HIGH ENGINE TEMP (RED / BLACK)
12. TVSJ (GREEN / BLACK)
13. EPOT (BLUE / BLACK)
14. MTSN (WHITE)
15. LOW ENGINE TEMP (BLUE)
16. GROUND (GREEN)

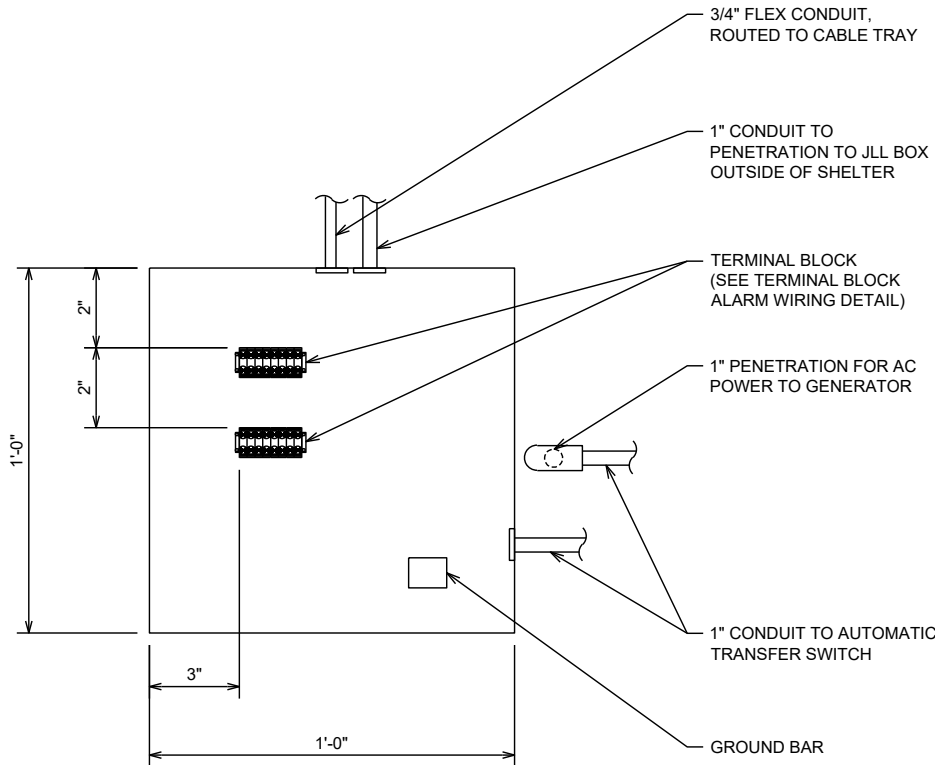


NOTES

1. SEE REFERENCE DOCUMENT (ENGINE CONTROL & ALARM DIAGRAMS) FOR EQUIPMENT SIDE TERMINATIONS
2. NUMBERING TO FOLLOW WHAT IS DEPICTED IN TERMINAL BLOCK ALARM WIRING DETAIL. SUBCONTRACTOR TO LABEL BLOCK POSITIONS FOR EACH TERMINAL BLOCK (P/N: UTILITECH GTB-408-UT)
3. SEE SHEET E-4 FOR CABLE TYPE AND DESTINATION ROUTING
4. ITEM 13 (P/N: BELDEN 8874MN) 15 CONDUCTOR #18 AWG SHIELDED. SUBCONTRACTOR TO CUT TO LENGTH AND COIL EXTRA CONDUCTORS. THIS CABLE WILL TERMINATE ON THE GENERATOR ALARM BLOCK AND LAND INSIDE THE GENERATOR.
5. ITEM 14 (P/N: BELDEN 8448) 8 CONDUCTOR #18 AWG. SUBCONTRACTOR TO CUT TO LENGTH AND COIL EXTRA CONDUCTORS. THIS CABLE WILL TERMINATE ON THE AUTOMATIC TRANSFER SWITCH/MANUAL TRANSFER SWITCH ALARM BLOCK AND LAND INSIDE THE AUTOMATIC TRANSFER SWITCH. SUBCONTRACTOR TO FOLLOW DUKE ENERGY ALARM WIRING DIAGRAM TO TERMINATE ALARM WIRING WITHIN THE AUTOMATIC TRANSFER SWITCH.

TERMINAL BLOCK ALARM WIRING

N.T.S.



NOTES

1. DETAIL SHOWING JUNCTION BOX WITH COVER REMOVED (P/N: EATON 12126HC)
2. SUBCONTRACTOR TO GROUND JUNCTION BOX TO SHELTER GROUND

DUKE ENERGY ALARM BOX INSTALLATION

N.T.S.

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SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



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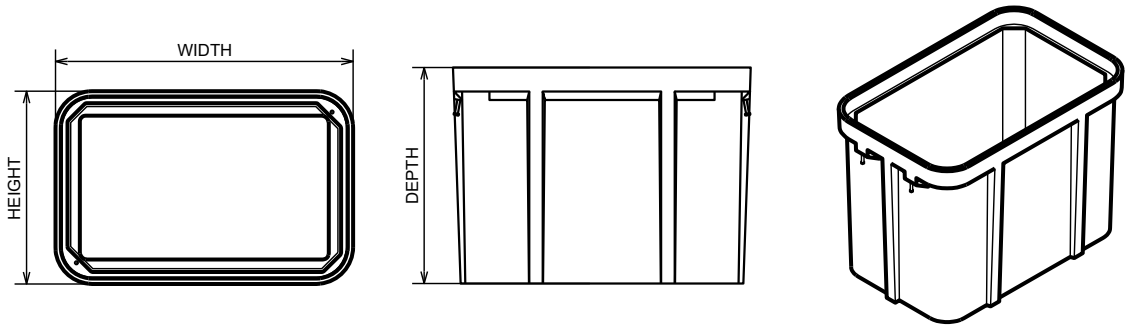
SHEET TITLE:

**ALARM WIRING
DETAILS**

SHEET # **E-5** CURRENT REV #: 1
ETS #: 21095122

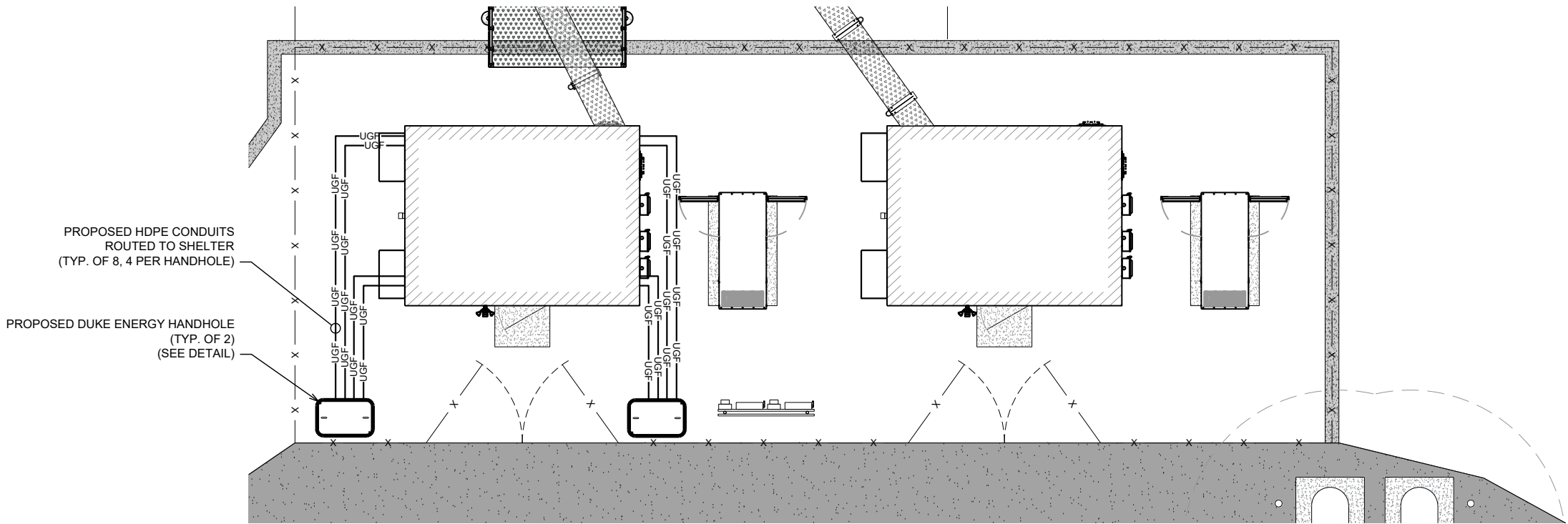
HUBBEL POWER SYSTEMS - PG3048BA36

HEIGHT	WIDTH	DEPTH	WEIGHT
34.125"	49.625"	36.000"	376.95 LBS



SERVICE BOX DETAIL
N.T.S.

NOT USED
N.T.S.



FIBER ROUTING PLAN
1" = 10'-0"

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PREPARED FOR:



SITE NAME:
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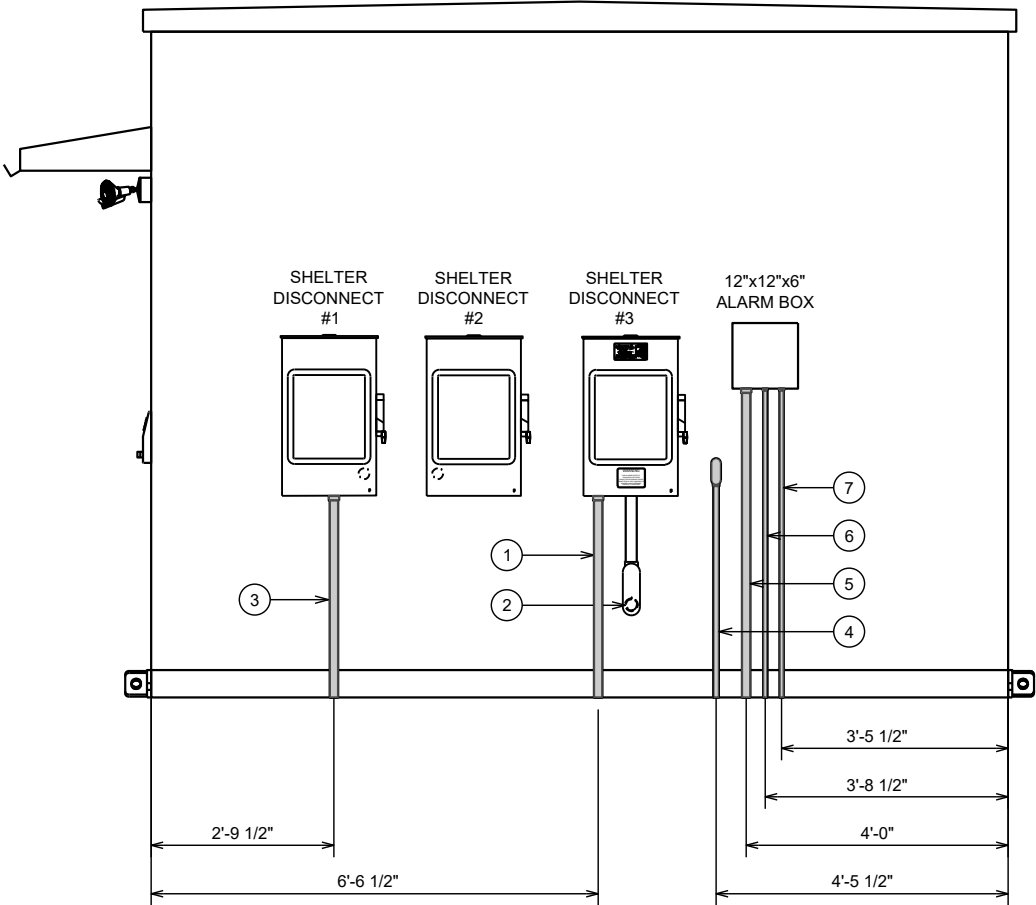
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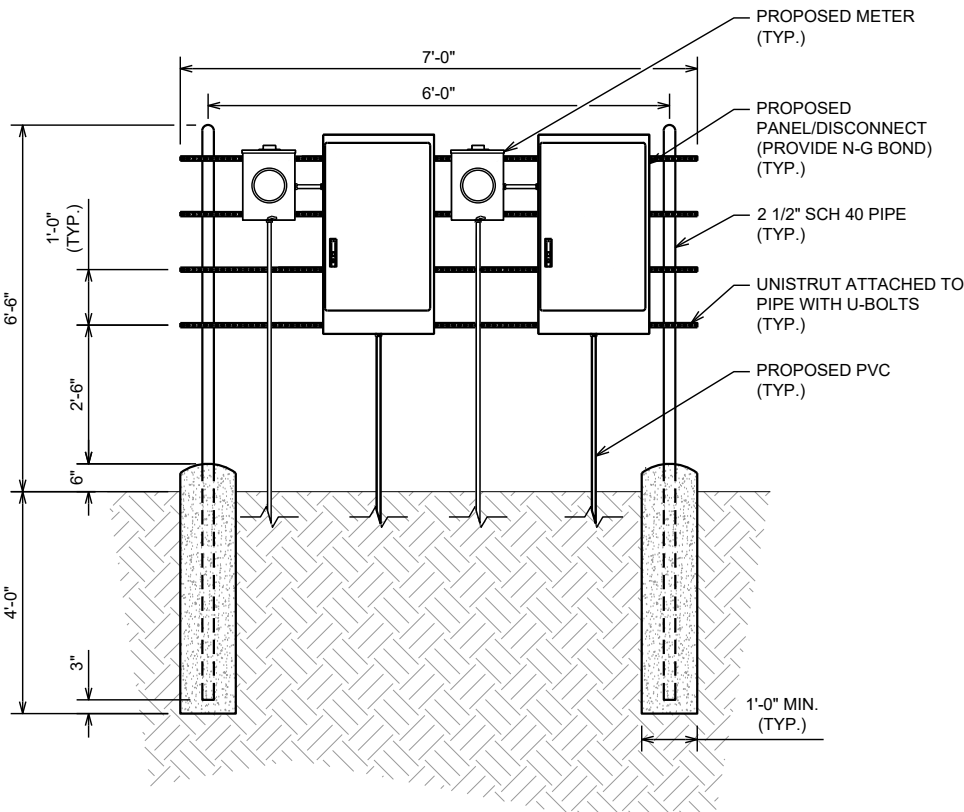
**FIBER ROUTING
PLAN**

SHEET #	E-6	CURRENT REV #:	1
		ETS #:	21095122

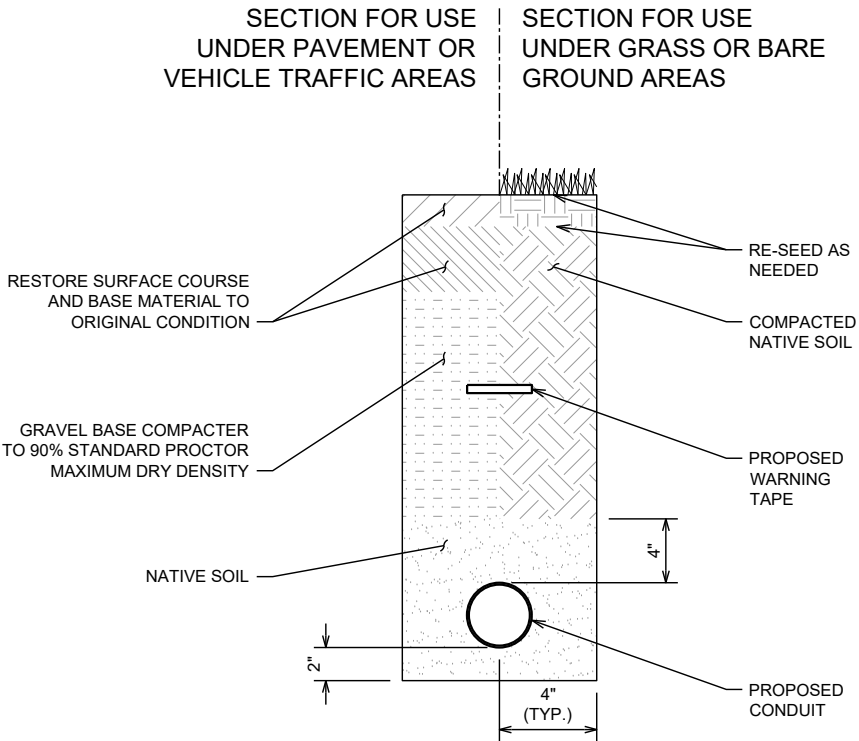
PVC SCHEDULE			
	CONDUIT	TO	PURPOSE
1	2" SCH 80 PVC	FRAME DISCONNECT SWITCH	MAIN AC SERVICE
2	2" RGSC	AUTOMATIC TRANSFER SWITCH	MAIN AC SERVICE FEED INTO SHELTER
3	2" SCH 80 PVC	GENERATOR DISCONNECT SWITCH	GENERATOR AC POWER FEED
4	1" SCH 40 PVC	GENERATOR	AC POWER FEED TO BLOCK HEATER & BATTERY CHARGER
5	1-1/2" SCH 40 PVC	GENERATOR	ALARMING
6	3/4" SCH 40 PVC	GENERATOR	SPARE CONDUIT
7	3/4" SCH 40 PVC	PROPANE TANK ALARMS	ALARMING



ELEVATION D
N.T.S.



UTILITY H-FRAME DETAIL
N.T.S.




TRENCH DETAIL
N.T.S.

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**ENGINEERED
TOWER SOLUTIONS**

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RALEIGH, NC 27615
919-782-2710
www.ets-pllc.com

PREPARED FOR:

**DUKE
ENERGY®**

SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



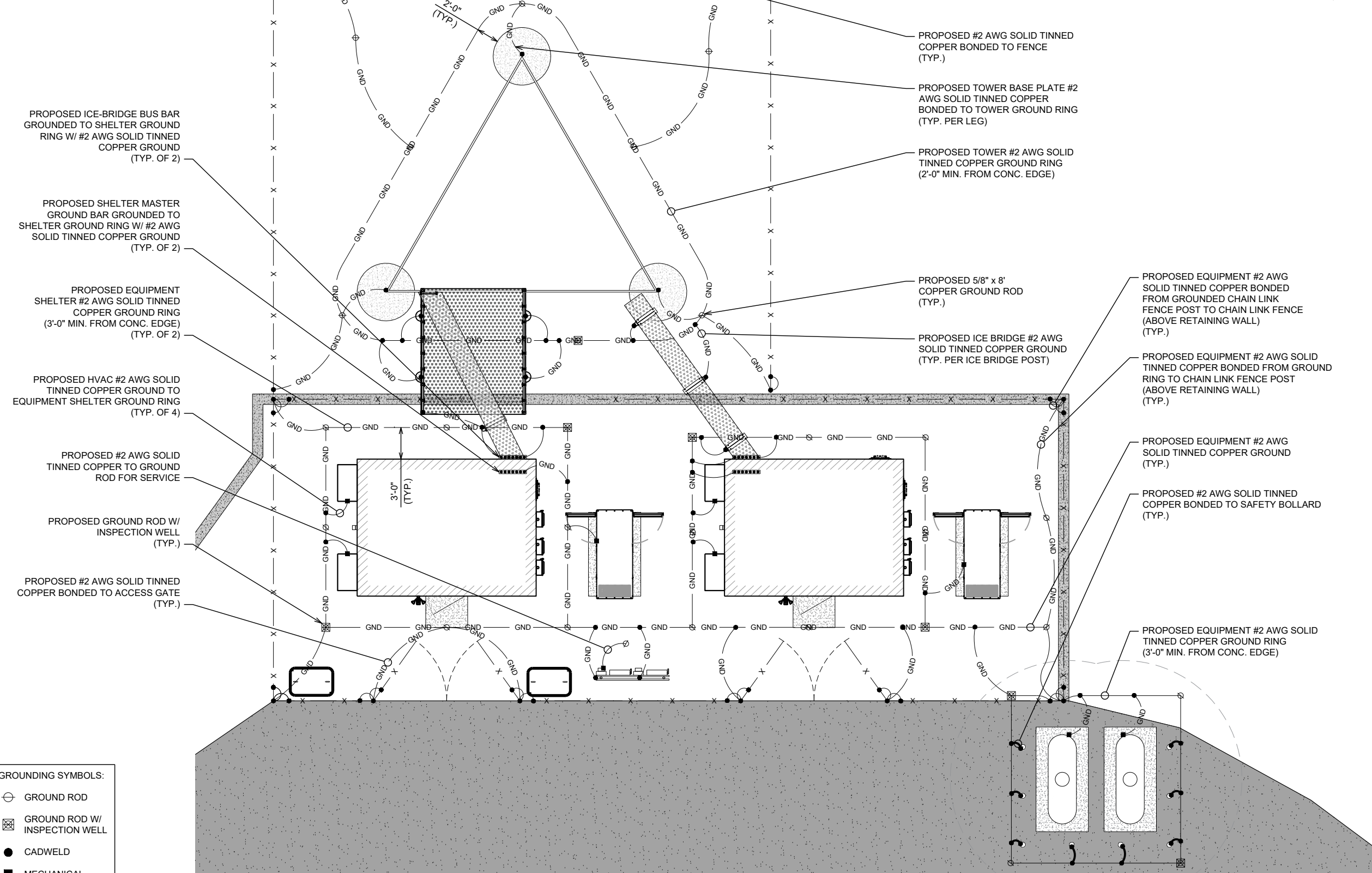
REV	DATE	DETAILS
0	10/26/2022	CONSTRUCTION
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3		

DRAWN BY: CP CHECKED BY: DG

SHEET TITLE:
UTILITY DETAILS

SHEET # **E-7** CURRENT REV #: 1
ETS #: 21095122

NOTE:
PROPOSED LANDSCAPING NOT SHOWN FOR CLARITY.



GROUNDING SYMBOLS:

- ⊕ GROUND ROD
- ⊗ GROUND ROD W/ INSPECTION WELL
- CADWELD
- MECHANICAL

GROUNDING PLAN
1" = 10'-0"

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MOUNTAIN MW**

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SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:

**SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
No. 23934
FREDERIC G. BOST
11/02/2022**

COA:

**SOUTH CAROLINA
FREDERIC GEOFF BOST
ENGINEERED TOWER
SOLUTIONS, PLLC
NO. 4634
CERTIFICATE OF AUTHORIZATION**

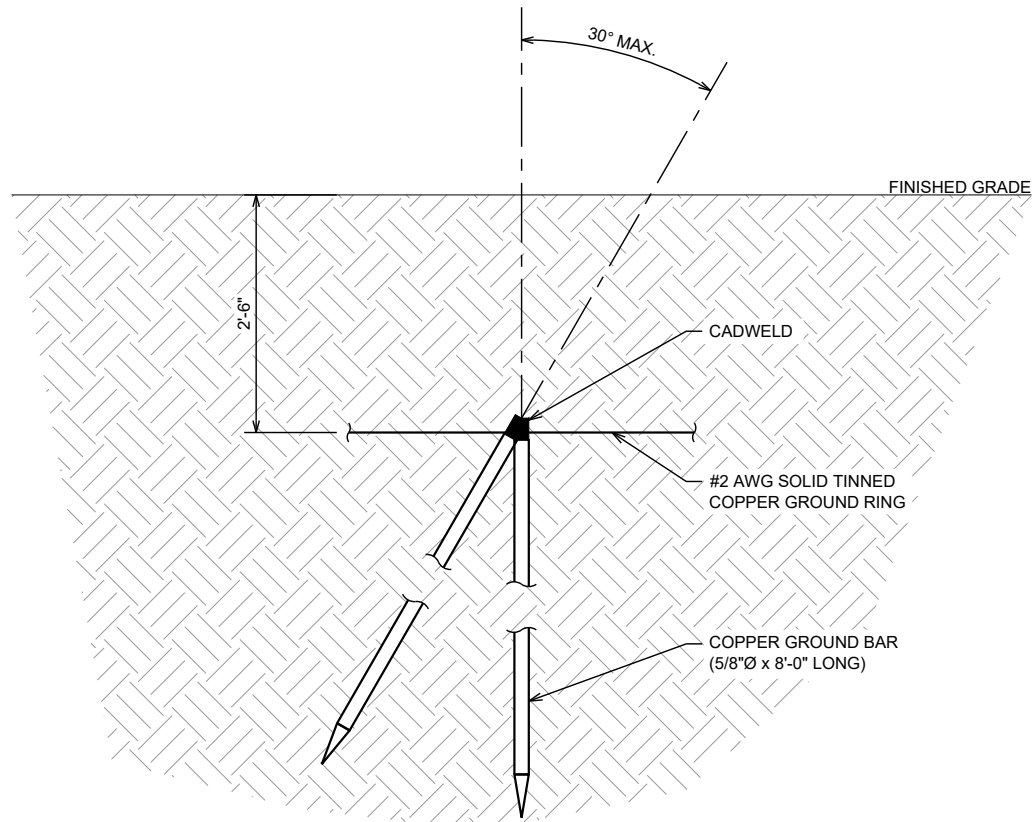
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SHEET TITLE:

GROUNDING PLAN

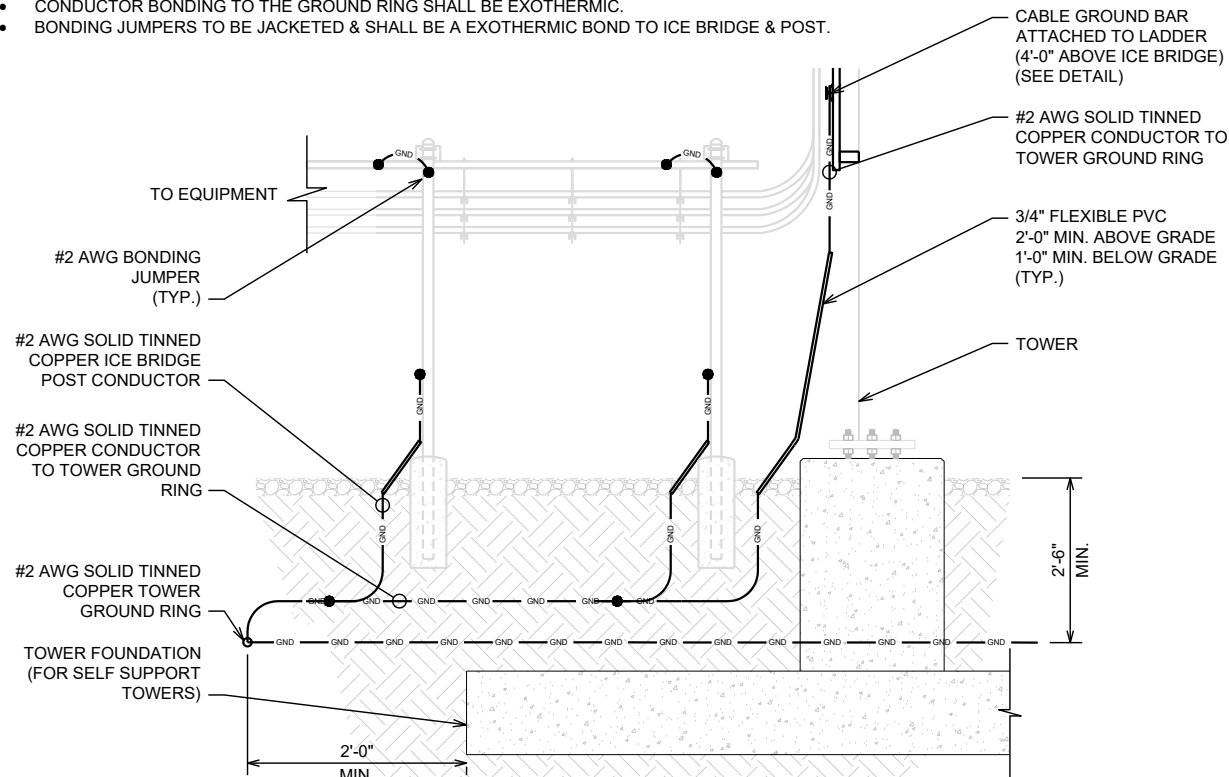
SHEET #	G-1	CURRENT REV #:	1
		ETS #:	21095122



COPPER-CLAD STEEL GROUND ROD
N.T.S.

NOTES:

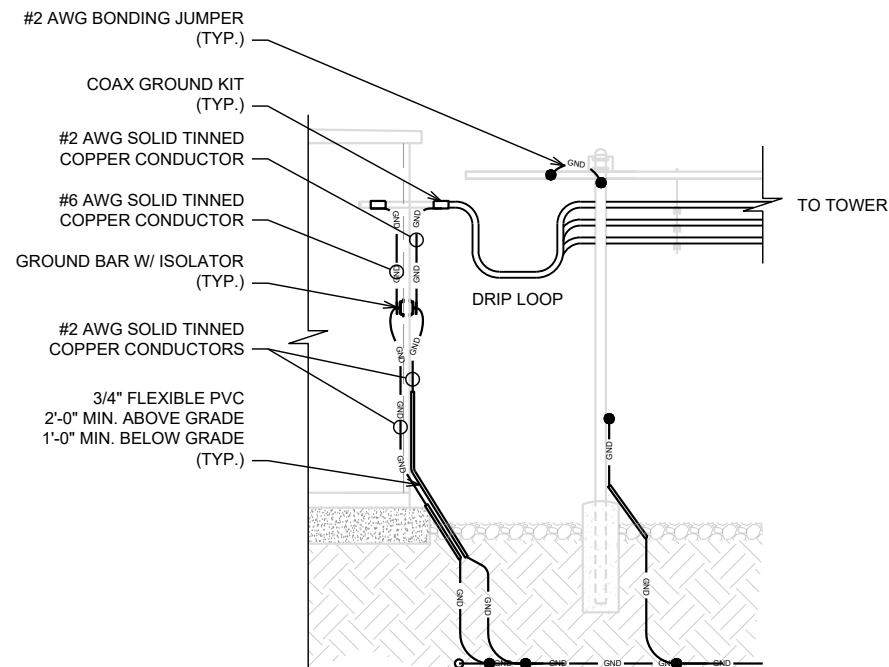
- GROUNDING & BONDING CONDUCTOR BENDING RADIUS SHALL NOT BE LESS THAN 8" (90° ANGLE).
- EACH ICE BRIDGE POST MUST BE GROUNDED.
- CONDUCTOR BONDING TO THE GROUND RING SHALL BE EXOTHERMIC.
- BONDING JUMPERS TO BE JACKETED & SHALL BE A EXOTHERMIC BOND TO ICE BRIDGE & POST.



ICE BRIDGE GROUNDING @ TOWER
N.T.S.

NOTES:

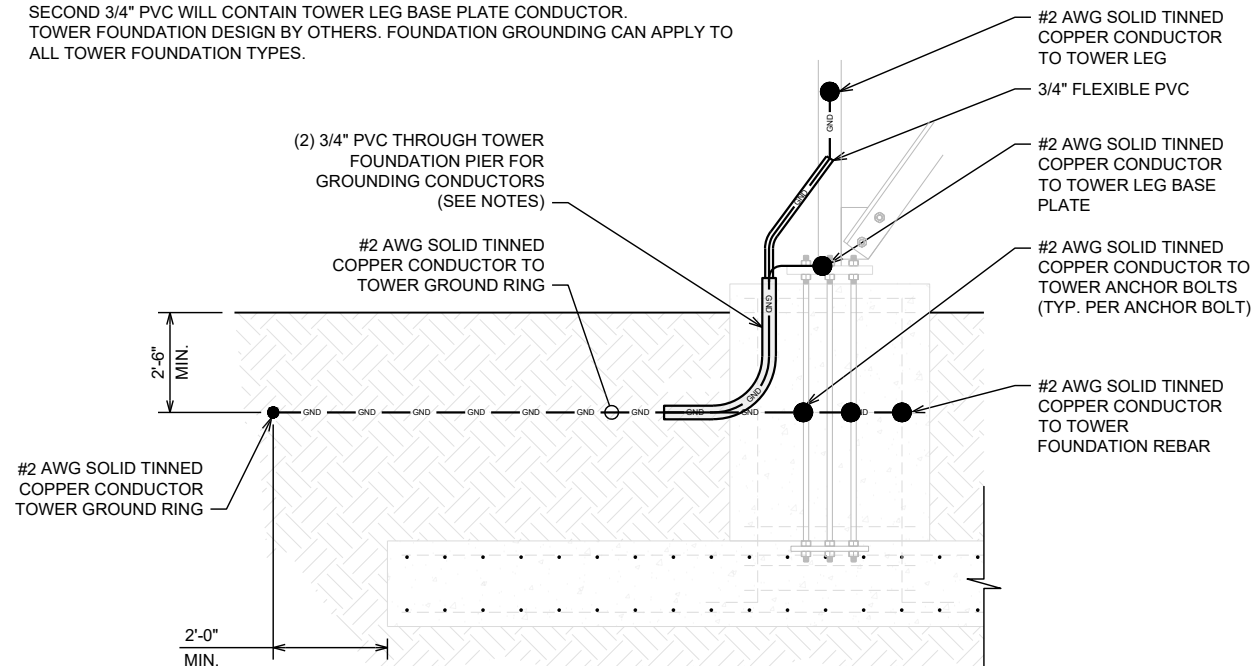
- GROUNDING & BONDING CONDUCTOR BENDING RADIUS SHALL NOT BE LESS THAN 8" (90° ANGLE).
- EACH ICE BRIDGE POST MUST BE GROUNDED.
- CONDUCTOR BONDING TO THE GROUND RING SHALL BE EXOTHERMIC.
- BONDING JUMPERS TO BE JACKETED & SHALL BE A EXOTHERMIC BOND TO ICE BRIDGE & POST.



ICE BRIDGE GROUNDING @ SHELTER
N.T.S.

NOTES:

- GROUNDING & BONDING CONDUCTOR BENDING RADIUS SHALL NOT BE LESS THAN 8" (90° ANGLE).
- EACH TOWER LEG MUST BE GROUNDED AS SHOWN.
- CONDUCTOR BONDING TO THE GROUND RING SHALL BE EXOTHERMIC.
- CONDUCTOR BONDING TO ANCHOR BOLTS & REBAR SHALL BE MECHANICAL CLAMPS.
- FIRST 3/4" PVC WILL CONTAIN TOWER DOWN CONDUCTOR.
- SECOND 3/4" PVC WILL CONTAIN TOWER LEG BASE PLATE CONDUCTOR.
- TOWER FOUNDATION DESIGN BY OTHERS. FOUNDATION GROUNDING CAN APPLY TO ALL TOWER FOUNDATION TYPES.



TOWER LEG GROUNDING
N.T.S.

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PREPARED FOR:



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**SIX MILE
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DRAWN BY: CP CHECKED BY: DG

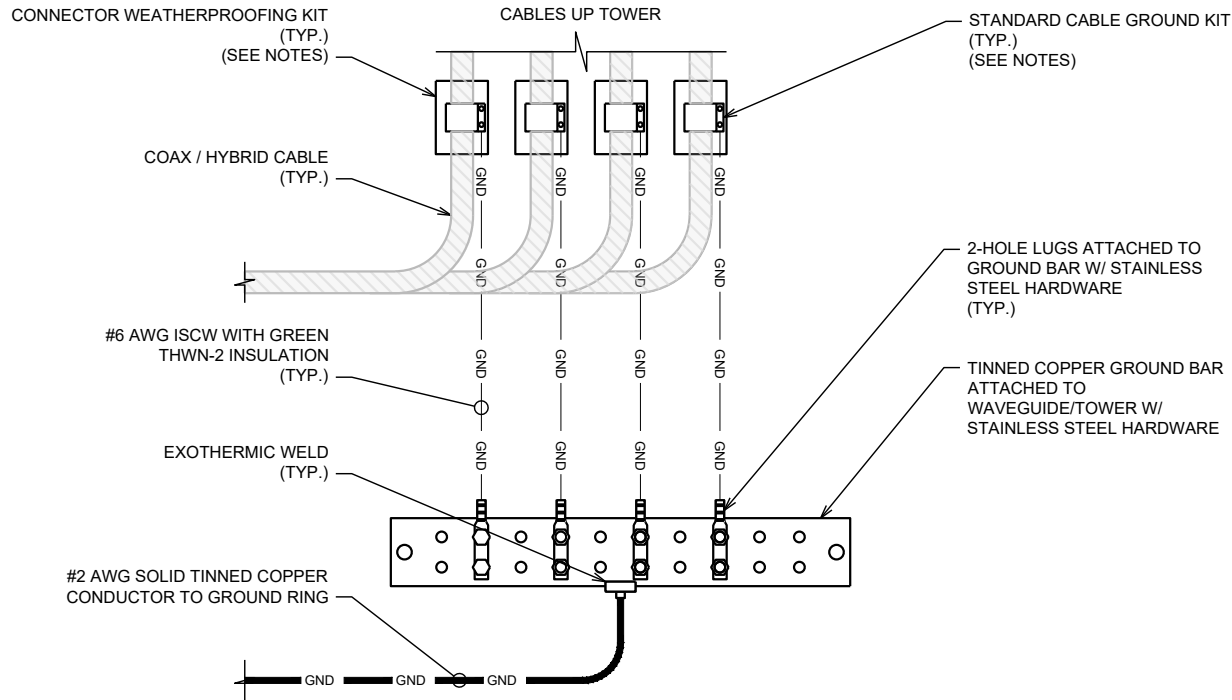
SHEET TITLE:

**GROUNDING
DETAILS II**

SHEET # **G-2.2** CURRENT REV #: 1
ETS #: 21095122

NOTES:

- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
- GROUND BAR SHOULD BE INSTALLED AT A POINT WHERE GROUND KIT CONDUCTORS DO NOT HAVE TO BE EXTENDED.
- WEATHER PROOFING SHALL BE ANDREWS (TYPE & PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER).
- GROUNDING & BONDING CONDUCTOR BENDING RADIUS SHALL NOT BE LESS THAN 8" (90° ANGLE).

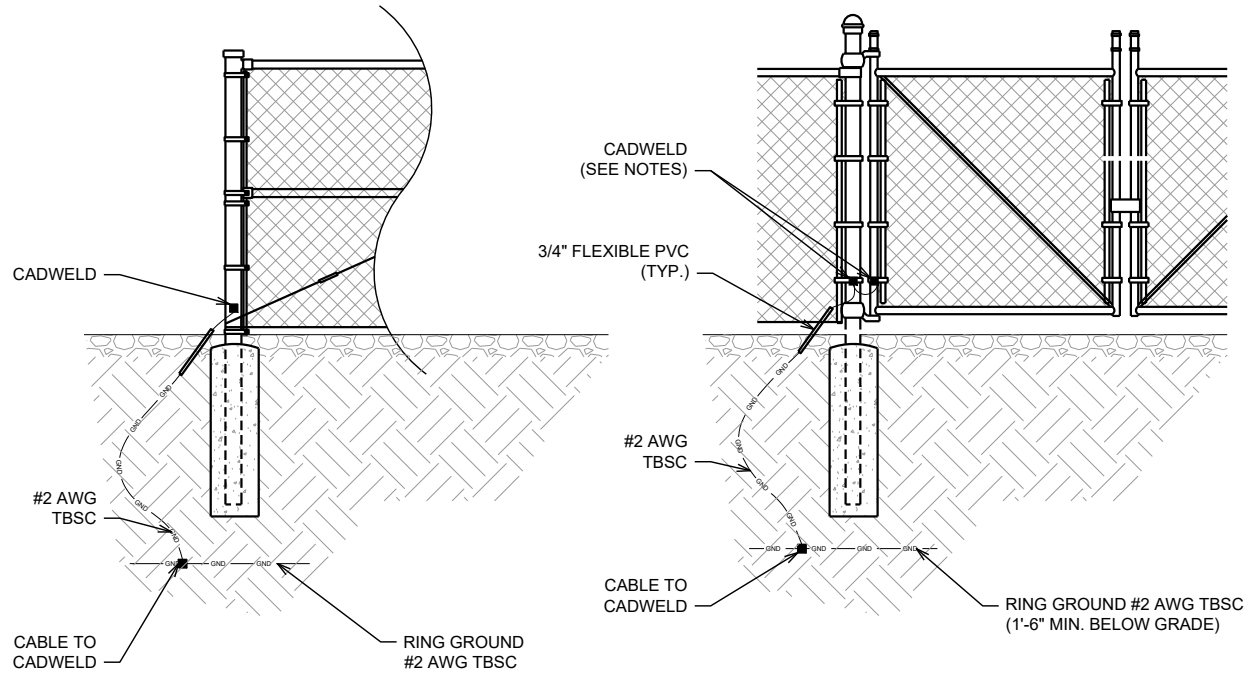


CABLE TO BASE GROUND BAR

N.T.S.

NOTES:

- VERTICAL POSTS SHALL BE BONDED TO THE GROUND RING AT EACH CORNER AND AT EACH GATE POST. AT MINIMUM, ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 - FOOT STRAIGHT RUN OF FENCE.
- THE #2 AWG TBSC, FROM THE GROUND RING SHALL BE CADWELD TO THE POST ABOVE GROUND.
- GATE JUMPER SHALL BE #4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAIDED FLAT STRAP WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING
- GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULL OPEN IN EITHER DIRECTION

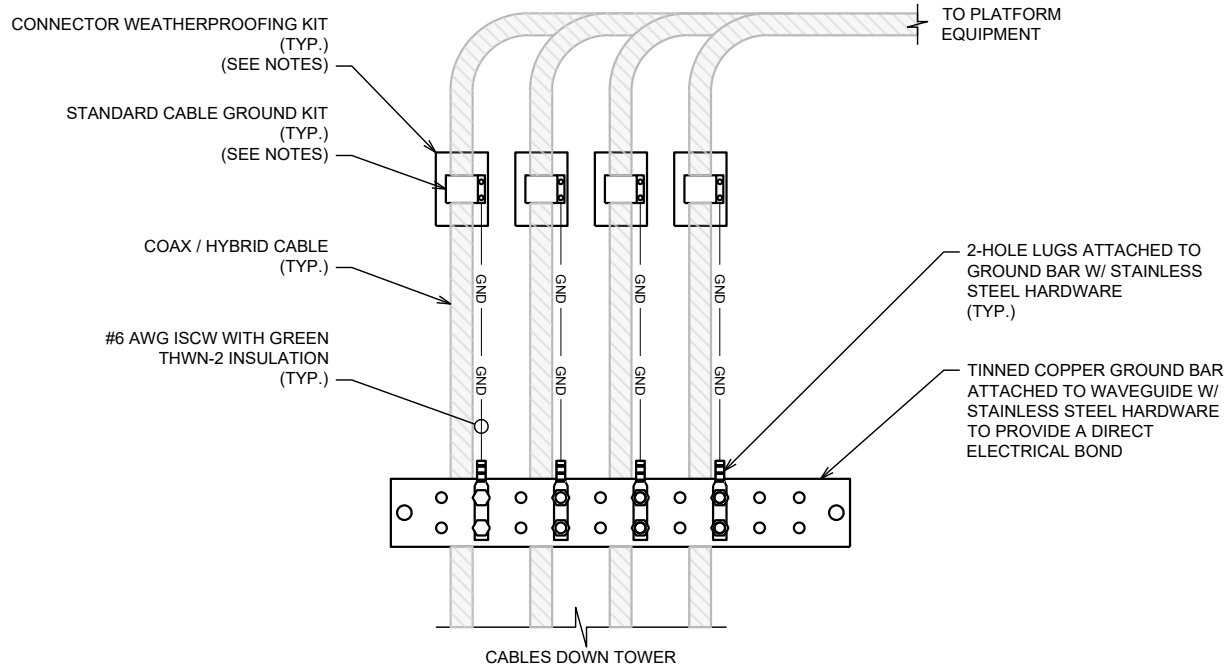


FENCE GROUNDING DETAILS

N.T.S.

NOTES:

- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO ANTENNA GROUND BAR.
- GROUND BAR SHOULD BE INSTALLED AT A POINT WHERE GROUND KIT CONDUCTORS DO NOT HAVE TO BE EXTENDED.
- WEATHER PROOFING SHALL BE ANDREWS (TYPE & PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER).
- GROUNDING & BONDING CONDUCTOR BENDING RADIUS SHALL NOT BE LESS THAN 8" (90° ANGLE).

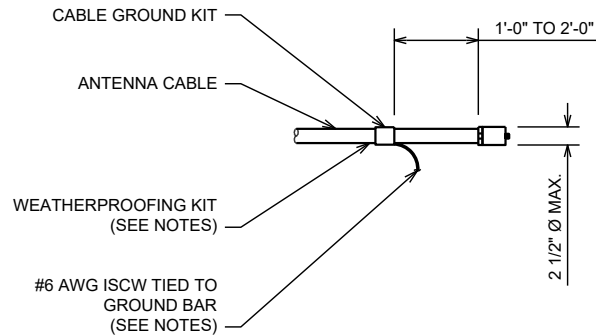


CABLE TO TOP GROUND BAR

N.T.S.

NOTES:

- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR
- GROUNDING KIT SHALL BE ANDREW SUREGROUND TYPE KIT WITH TWO-HOLE LUG
- WEATHER PROOFING SHALL INCORPORATE PPC WEATHERPROOFING TAPE KIT; COLD SHRINK SHALL NOT BE USED



CABLE GROUNDING DETAIL

N.T.S.

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PREPARED FOR:



SITE NAME:
**SIX MILE
MOUNTAIN MW**

SITE ADDRESS:
6 MILE ROAD
SIX MILE, SC 29682
LATITUDE/LONGITUDE:
34.833144°, -82.804494°

SEAL:



COA:



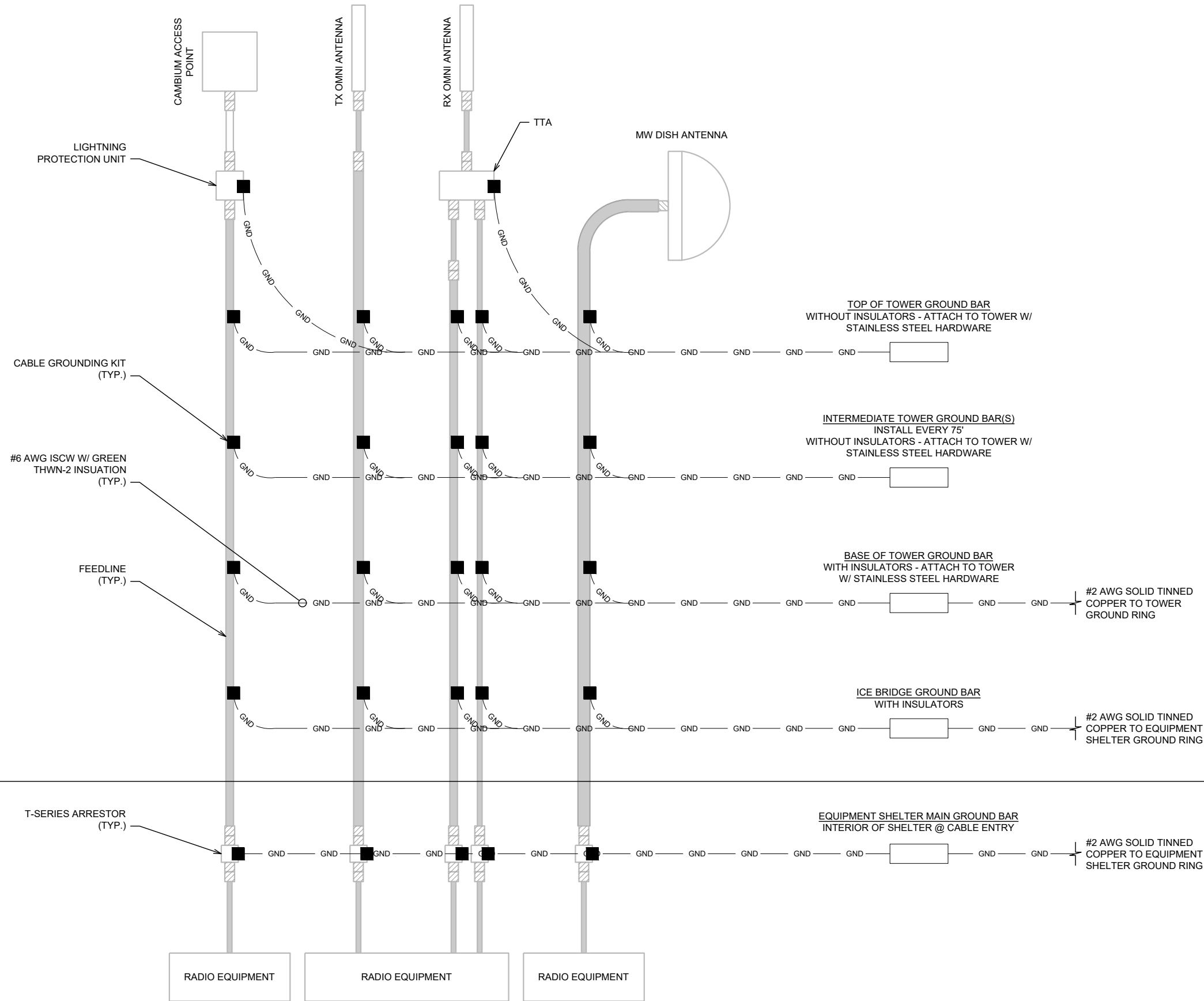
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2		
3		

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SHEET TITLE:

**GROUNDING
DETAILS III**

SHEET # **G-2.3** CURRENT REV #: 1
ETS #: 21095122



TYPICAL ANTENNA CABLE AND GROUNDING SCHEMATIC

N.T.S.


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919-782-2710
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PREPARED FOR:



DUKE
ENERGY®

SITE NAME:
**SIX MILE
MOUNTAIN MW**


SITE ADDRESS:
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SIX MILE, SC 29682
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SEAL:



11/02/2022

COA:



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2		
3		

DRAWN BY: CP CHECKED BY: DG

SHEET TITLE:

**GROUNDING
DETAILS IV**

SHEET #	CURRENT REV #:
G-2.4	1
	ETS #: 21095122



Date: **November 8, 2022**

David A. Fulmer
Duke Energy
550 S Tryon St.
Charlotte, NC 28202
C: (704) 281-7398
E: david.fulmer@duke-energy.com

Engineered Tower Solutions, PLLC
3227 Wellington Court
Raleigh, NC 27615
(919) 782-2710

Subject:	Fall Zone Letter	
Duke Energy Designation:	Duke Energy Site Name:	Six Mile Mountain MW
Engineering Firm Designation:	ETS, PLLC Job Number:	21095122.STR.6982 Rev. 1
Site Data:	6 Mile Road, Six Mile, Pickens County, SC 29682 Latitude 34° 49' 59.32", Longitude -82° 48' 16.18" 300 Foot – Proposed Self Support Tower	

Dear David Fulmer,

Engineered Tower Solutions is pleased to submit this “**Fall Zone Letter**” to comment on the above-mentioned tower.

Per information provided by Duke Energy, Sabre Industries has designed the proposed 300-ft Self Support Tower. When a design wind event occurs, there are additional safety factors that allow the structure to remain in satisfactory condition with no signs of failure. If, however, the severity of the wind event reaches the stress levels which could induce a failure, the fall zone is designed to be less than or equal to 50-ft from the center of the tower's base.

We at the *Engineered Tower Solutions* appreciate the opportunity of providing our continuing professional services to you. If you have any questions or need further assistance on this or any other projects, please give us a call.

Fall Zone Letter prepared by:

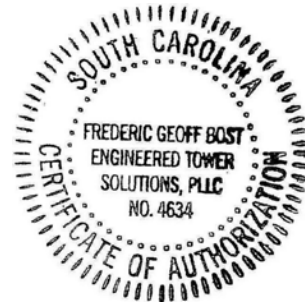
J. Scott Hilgoe, PE
Structural Engineering Manager

Respectfully submitted by:

Christopher G. Ply, PE, SE
President / vCEO



11/08/22



LU-22-0012

**Duke Power Substation
Fish Trap Road**

LU-22-0012: Fish Trap Road Substation

Staff Report

Planning Commission Public Hearing:

December 12, 2022 6:30 PM

The following report constitutes an assessment and evaluation by Planning staff on the above mentioned request.

Applicant: Richard Hiner
2801 Yorkmont Rd.
Ste. 100
Charlotte, NC 28208

Property Owner(s): Duke Energy Carolinas, LLC

Property Location: 299 N. Fish Trap Road

Acreage: 6.77 acres of 17.4-acre parcel

Tax Map Number: 5059-09-06-9341

County Council District: 6

Land Use Request: **LU-22-0012:** Land Use Review for an electrical substation on a 17.4-acre parcel of land. The applicant intends to use 6.8 acres of the 17.4-acre parcel. The subject property is located at 299 N. Fish Trap Road in Easley. The applicant is Richard Hiner. The property owner of record is Duke Energy Carolinas, LLC. The TMS# is 5059-09-06-9341.

Variance Request(s) from Planning Commission: None

Request Overview:

Duke Energy wants to build a substation at this location to handle the increased energy demand expected to accompany the growth in this area. The site plan as submitted meets the requirements of the UDSO.

Current Property Use:

The property is listed on the Assessor's site as vacant and shows as such in the aerial photographs.

Surrounding Area:

The subject property is surrounded by vacant land to the north, south, and west and a mix of residential and vacant land to the east.

Utilities & Infrastructure

Transportation: The property is served by N. Fish Trap Road which is a State Road.

Water: N/A

Sewerage: N/A

Property Development History: This property appears to have been vacant for as far back as the Assessor's records go.

Comments from Reviewing Agencies:

SCDOT: The applicant has reached out to the SCDOT to discuss an encroachment permit. No issues are anticipated.

Pickens County Engineer: The County Engineer does not have any issues with the project as proposed.

Schools: N/A

Analysis of Standards for Land Use Approval:

Staff analysis of the application is made based upon the findings criteria as set forth in Section 1205(f) of the UDSO. The applicant has submitted his/her response to the same findings criteria.

- A. Is the proposed use consistent with other uses in the area or the general development patterns occurring in the area?*

The proposed use is not consistent with uses in the immediate area or the general development patterns in the area.

- B. Will the proposed use adversely affect the existing use or usability of adjacent or nearby property?*

With strict adherence to the development standards the proposed use should not adversely affect the existing use of adjacent property other than the visual impact.

- C. Is the proposed use compatible with the goals, objectives, purpose and intent of the Comprehensive Plan?*

The proposed use is not consistent with the adopted Future Land Use/Character Area map of the Comprehensive Plan. The Character Area designation for the area is Residential Growth. However, the Comp Plan and UDSO both cite the necessity of a robust infrastructure which this project assists in fulfilling.

- D. Will the proposed use not cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?*

If developed according to the County development standards, the project should not cause a burden on existing facilities or services.

- E. Is the property suitable for the proposed use relative to the requirements set forth in this development ordinance such as off-street parking, setbacks, buffers, and access?*

The applicant's proposal meets the respective standards of the Unified Development Standards Ordinance of Pickens County.

- F. Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?*

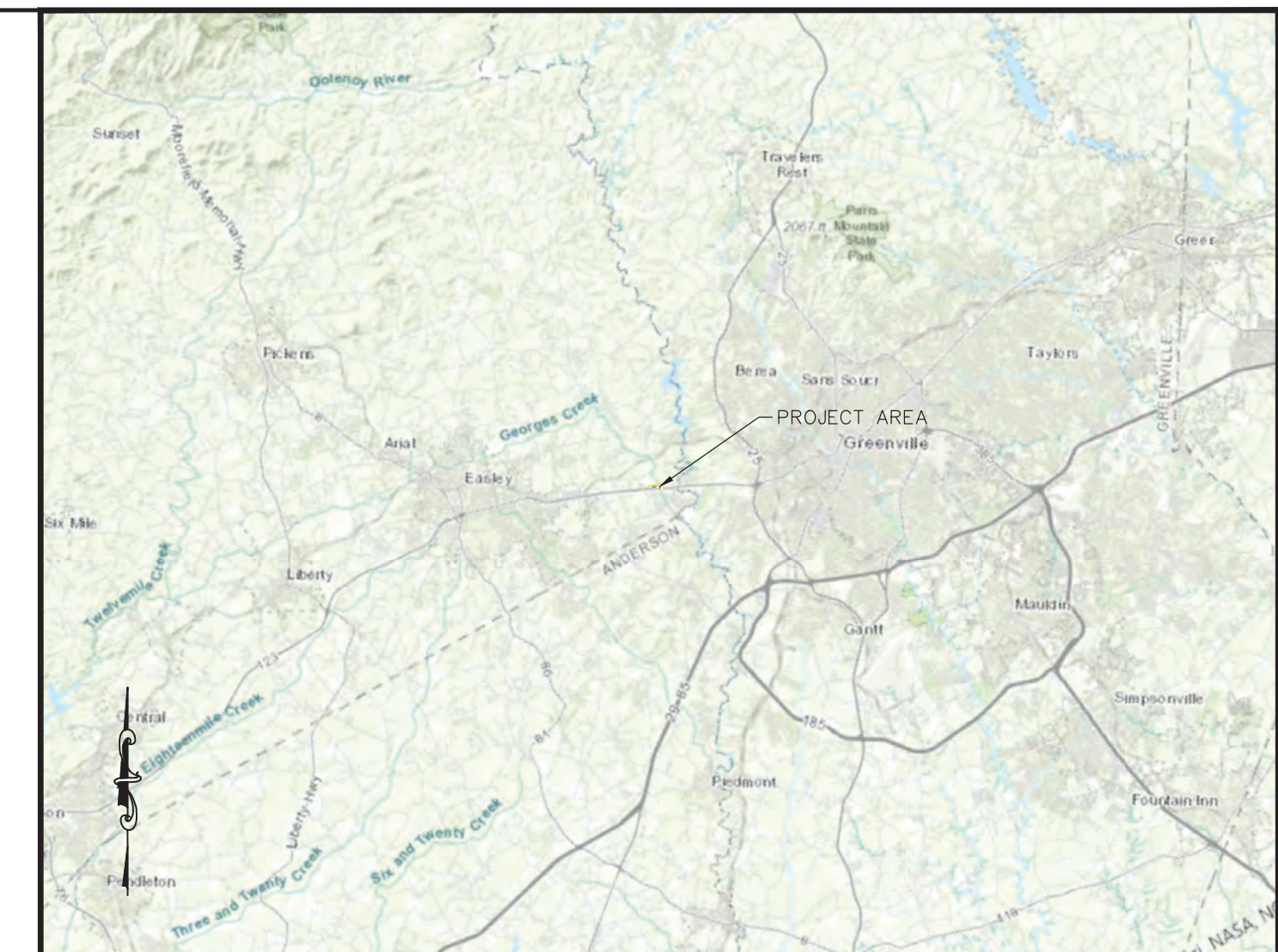
The proposed development should provide for a balance of competing interests.

Planning Staff Recommendation:

Staff recommends approval as presented with the request that all lighting be limited to 25' in height and be Dark Sky compliant, that a vegetative buffer be preserved or added and maintained between the facility and N. Fish Trap Road, and that vehicular access to the remaining 10-acres of the property be accommodated.

FISH TRAP RETAIL SUBSTATION DESIGN

PICKENS COUNTY
EASLEY, SC



VICINITY MAP



PROPERTY MAP

SITE DATA:

TOTAL PROPOSED SITE AREA:	13.26 ACRES
TOTAL DISTURBED AREA:	6.75 ACRES
PARCEL ZONING:	AGRICULTURAL / VACANT
EXISTING IMPERVIOUS AREA:	0.00 ACRES
RIVER BASIN:	SALUDA

PARCEL DATA:

OWNER:	DUKE ENERGY CAROLINAS, LLC 526 SOUTH CHURCH STREET CHARLOTTE, NC 28202
TAX MAP NUMBER:	5059-09-06-9341
TOTAL AREA:	17.39 ACRES
PARCEL ZONING:	RURAL AGRICULTURE

SURVEY:

PREPARED BY: MASER CONSULTING
5275 PARKWAY PLAZA BOULEVARD
SUITE 100
CHARLOTTE, NC 28217

PROPERTY ADDRESS:

PROPOSED FISH TRAP RETAIL SUBSTATION: 299 N FISH TRAP RD, EASLEY, PICKENS COUNTY, SC

LEGEND:

PROPERTY LINES

ROAD R/W LIMITS

PROPOSED DISTRIBUTION LINE

EXISTING LINE R/W LIMITS

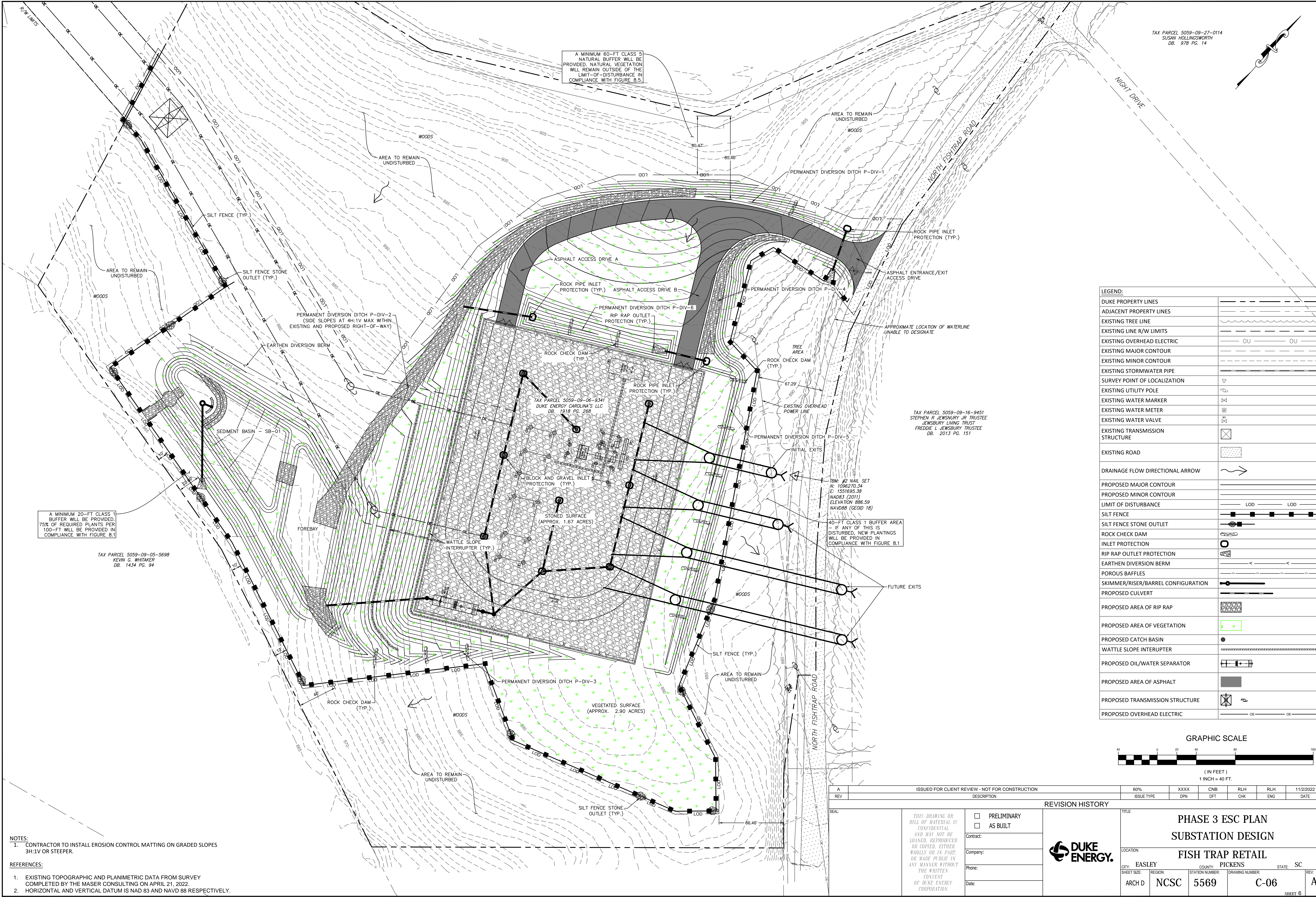
EXISTING DISTRIBUTION LINE

EXISTING TRANSMISSION LINE

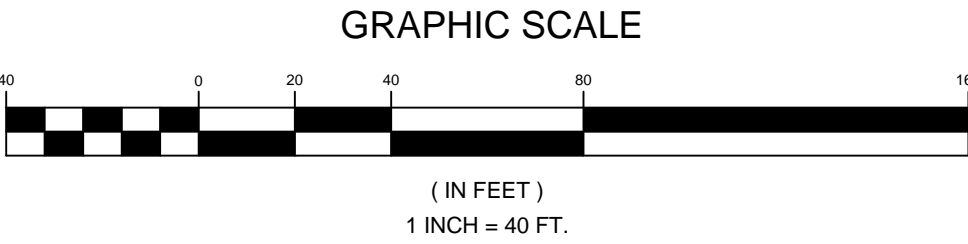
STATION FENCE

Sheet List Table	
Sheet Number	Sheet Title
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C-04	PHASE 1 ESC PLAN
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C-09	ESC DETAILS 3
C-10	ESC DETAILS 4
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C-17	SPCC DETAILS

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LEGEND:	
DUKE PROPERTY LINES	
ADJACENT PROPERTY LINES	
EXISTING TREE LINE	
EXISTING LINE R/W LIMITS	
EXISTING OVERHEAD ELECTRIC	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
EXISTING STORMWATER PIPE	
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EXISTING UTILITY POLE	
EXISTING WATER MARKER	
EXISTING WATER METER	
EXISTING WATER VALVE	
EXISTING TRANSMISSION STRUCTURE	
EXISTING ROAD	
DRAINAGE FLOW DIRECTIONAL ARROW	
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PROPOSED MINOR CONTOUR	
LIMIT OF DISTURBANCE	
SILT FENCE	
SILT FENCE STONE OUTLET	
ROCK CHECK DAM	
INLET PROTECTION	
RIP RAP OUTLET PROTECTION	
EARTHEN DIVERSION BERM	
POROUS BAFFLES	
SKIMMER/RISE/BARREL CONFIGURATION	
PROPOSED CULVERT	
PROPOSED AREA OF RIP RAP	
PROPOSED AREA OF VEGETATION	
PROPOSED CATCH BASIN	
WATTLE SLOPE INTERRUPTER	
PROPOSED OIL/WATER SEPARATOR	
PROPOSED AREA OF ASPHALT	
PROPOSED TRANSMISSION STRUCTURE	
PROPOSED OVERHEAD ELECTRIC	

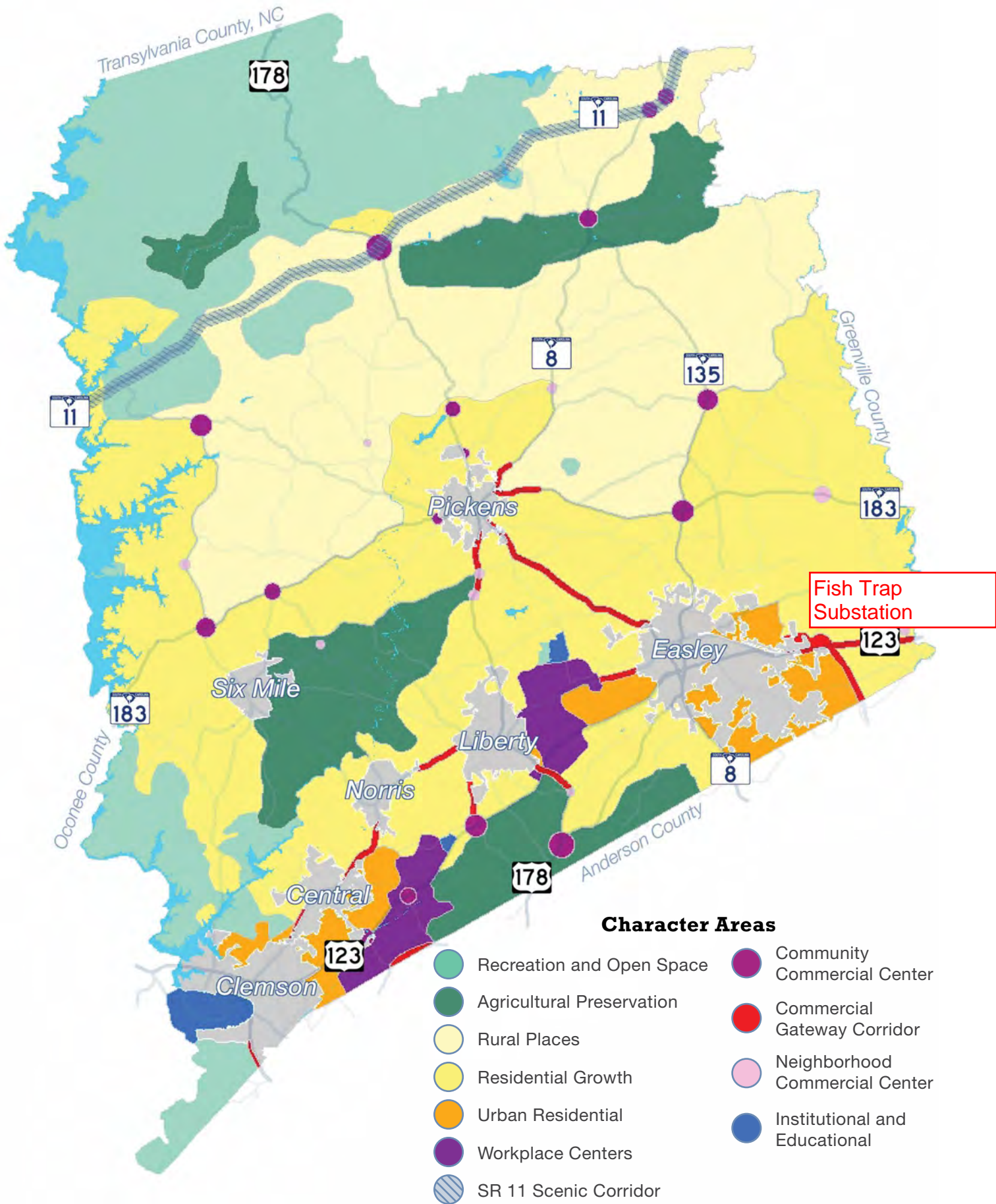


NOTES:
1. CONTRACTOR TO INSTALL EROSION CONTROL MATTING ON GRADED SLOPES 3H:1V OR STEEPER.

REFERENCES:
1. EXISTING TOPOGRAPHIC AND PLANIMETRIC DATA FROM SURVEY COMPLETED BY THE MASER CONSULTING ON APRIL 21, 2022.
2. HORIZONTAL AND VERTICAL DATUM IS NAD 83 AND NAVD 88 RESPECTIVELY.

A REV		ISSUED FOR CLIENT REVIEW - NOT FOR CONSTRUCTION				60%	XXXX	CNB	RLH	RLH	11/2/2022
		DESCRIPTION				ISSUE TYPE	DPN	DFT	CHK	ENG	DATE
REVISION HISTORY											
SEAL:		THIS DRAWING OR BILL OF MATERIAL IS CONFIDENTIAL AND MAY NOT BE LOANED, REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, OR MADE PUBLIC IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF DUKE ENERGY CORPORATION.		<input type="checkbox"/> PRELIMINARY <input type="checkbox"/> AS BUILT		DUKE ENERGY.		TITLE: PHASE 3 ESC PLAN SUBSTATION DESIGN			
Contract:		Company:		Phone:		Date:		LOCATION: EASLEY, PICKENS, SC		CITY: EASLEY, PICKENS, SC	
SHEET SIZE: ARCH D		REGION: NCSC		STATION NUMBER: 5569		DRAWING NUMBER: C-06		SHEET 6		REV: A	

C-06 REV: A





PICKENS COUNTY

SOUTH CAROLINA



COMMUNITY DEVELOPMENT

BUILDING CODES ADMINISTRATION • STORMWATER MANAGEMENT • PLANNING

APPLICATION FOR:

☒ Land Use Review /Subdivision Review

☐ Subdivision Variance

Case No.: _____ - _____ - _____

Note to Applicant: All applications must be typed or legibly printed and all entries must be completed on all the required application forms. If you are uncertain to the applicability of an item, please contact a member of the Planning Staff. Incomplete applications or applications submitted after the posted deadlines will be delayed.

Name of Applicant Richard L. Hiner, P.E. (WSP USA)

Mailing Address 2801 Yorkmont Rd, Ste 100, Charlotte, NC 28208

Telephone 704-533-3630 Email richard.hiner@wsp.com

Applicant is the: Owner's Agent ☒ Property Owner ☐

Property Owner(s) of Record Duke Energy Carolinas LLC

Mailing Address 526 S. Church St., Charlotte, NC 28202

Telephone (980) 336-3634 Email kevin.mason@duke-energy.com

Authorized Representative Richard L Hiner, PE (Engineer of Record)

Mailing Address 2801 Yorkmont Rd., Ste 100, Charlotte, NC 28208

Telephone (704) 533-3630 Email Richard.Hiner@wsp.com

Address/Location of Property 299 N Fishtrap Rd., Easley, SC 29640-7362

Existing Land Use Vacant Land/Agricultural Proposed Land Use Electrical Substation

Tax Map Number(s) 5059-09-06-9341 (W/SIDE N FISH TRAP RD PLAT 610/127 PLAT 606/230)

Total Size of Project (acres) 6.77 ac (of 17.39 ac Parcel) Number of Lots N/A

Utilities:

Proposed Water Source: ☐ Wells ☐ Public Water Water District: N/A

Proposed Sewer: ☐ Onsite Septic ☐ Public Sewer Sewer District: N/A

REQUEST FOR VARIANCE (IF APPLICABLE):

Is there a variance request from the subdivision regulations or county road ordinance? ☐ Yes ☒ No

If YES, applicant must include explanation of request and give appropriate justifications.

RESTRICTIVE COVENANT STATEMENT

Pursuant to South Carolina Code of Laws 6-29-1145:

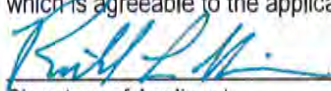
I (we) certify as property owner(s) or as authorized representative for this request that the referenced property:

- ☐ **IS** subject to recorded restrictive covenants and that the applicable request(s) is permitted, or not otherwise in violation, of the same recorded restrictive covenants.
- ☐ **IS** subject to recorded restrictive covenants and that the applicable request(s) was not permitted, however a waiver has been granted as provided for in the applicable covenants. *(Applicant must provide an original of the applicable issued waiver)*
- ☒ **IS NOT** subject to recorded restrictive covenants

SIGNATURE(S) OF APPLICANTS(S):

I (we) certify as property owners or authorized representative that the information shown on and any attachment to this application is accurate to the best of my (our) knowledge, and I (we) understand that any inaccuracies may be considered just cause for postponement of action on the request and/or invalidation of this application or any action taken on this application.

I (we) further authorize staff of Pickens County to inspect the premises of the above-described property at a time which is agreeable to the applicant/property owner.



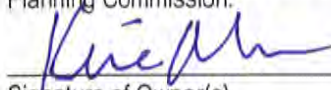
Signature of Applicant

11/03/2022

Date

PROPERTY OWNER'S CERTIFICATION

The undersigned below, or as attached, is the owner of the property considered in this application and understands that an application affecting the use of the property has been submitted for consideration by the Pickens County Planning Commission.



Signature of Owner(s)

11/7/2022

Date

PICKENS COUNTY STAFF USE ONLY

Date Received _____ Received By _____

Pre-Application meeting held with _____ on _____

Application Forwarded to (date):

DHEC _____ ☐ N/ACounty Engineer _____ ☐ N/ASCDOT _____ ☐ N/ALocal VFD _____ ☐ N/ASchool Board _____ ☐ N/A

Planning Commission Hearing Date _____

Deadline for Notice to Paper _____ to run _____

Letter of Hearing Sent to Applicant _____

Sign Placement Deadline _____

Planning Commission Action(date) _____

☐ Approval ☐ Approval w/ modifications ☐ Denial
 Modifications _____

Notice of Action to Applicant _____

Application Processing

Hearing and Action



Pickens County, South Carolina
Attachment A
LAND USE REVIEW
Standards of Land Use Approval Consideration

In consideration of a land use permit, the Planning Commission shall consider factors relevant in balancing the interest in promoting the public health, safety, and general welfare against the right of the individual to the unrestricted use of property and shall specifically consider the following objective criteria. Due weight or priority shall be given to those factors that are appropriate to the circumstances of each proposal.

Please respond to the following standards in the space provided or you may use an attachment as necessary:

- (A) Is the proposed use consistent with other uses in the area or the general development patterns occurring in the area?

The proposed land use will be for an electrical substation and differs from the general development patterns occurring in the area. This project is necessary to provide adequate power distribution in the region.

- (B) Will the proposed use not adversely affect the existing use or usability of adjacent or nearby property?

The construction of this electrical substation should not adversely affect the existing use or usability of adjacent or nearby properties.

- (C) Is the proposed use compatible with the goals, objectives, purpose and intent of the Comprehensive Plan?
Given that the availability of electrical power is central to supporting development, the addition of this electrical substation should enhance the goals, objectives, purpose, and intent of the Comprehensive Plan.

- (D) Will the proposed use not cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?

Traffic to and from the proposed electrical substation should be minimal as it is an unmanned facility, thus, no additional use of public facilities should result from its construction.

- (E) Is the property suitable for the proposed use relative to the requirements set forth in this development ordinance such as off-street parking, setbacks, buffers, and access?

The property is suitable for the proposed use and the proposed substation pad can meet the requirements for parking, setbacks, buffers, and access.

- (F) Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?

The construction of an electrical substation in this area will promote the public health, safety, and general welfare by providing access to electrical power.



526 South Church St.
Charlotte, NC 28202
Mail Code: EC09Q
980-373-3634
Kevin T. Mason

November 7, 2022

Todd Steadman
Planner-Planning Department
222 McDaniel Ave, B-10
Pickens, SC 29671
Ph: 864-898-5263
tsteadman@co.pickens.sc.us

RE: Letter-of-Intent
Fish Trap Retail Substation
299 Fishtrap Rd, Easley, SC 29640
Parcel No. 5059-09-06-9341 (W/SIDE N FISH TRAP RD PLAT 610/127 PLAT 606/230)

Mr. Steadman,

The property located at 299 Fishtrap Rd, Easley, SC 29640 is a 17.39-acre parcel which is currently vacant and is owned by Duke Energy Carolinas LLC. Duke Energy proposes to construct an electrical substation (Fish Trap Retail Substation) on approximately 6.76 acres of the eastern portion of this parcel which will function as an integral part of the electrical distribution system in Pickens County. The development on the site will consist of the construction of an access road, a substation pad, installation substation electrical equipment and distribution lines, and a detention basin to manage stormwater. There will be no occupied buildings at this site and the site will be unmanned. since the proposed development is not a subdivision, Duke Energy requests a variance from the subdivision regulations for this site.

Please notify myself or Mayur Patel (Mayur.Patel@duke-energy) at Duke Energy if there are any further questions regarding this matter.

Sincerely,

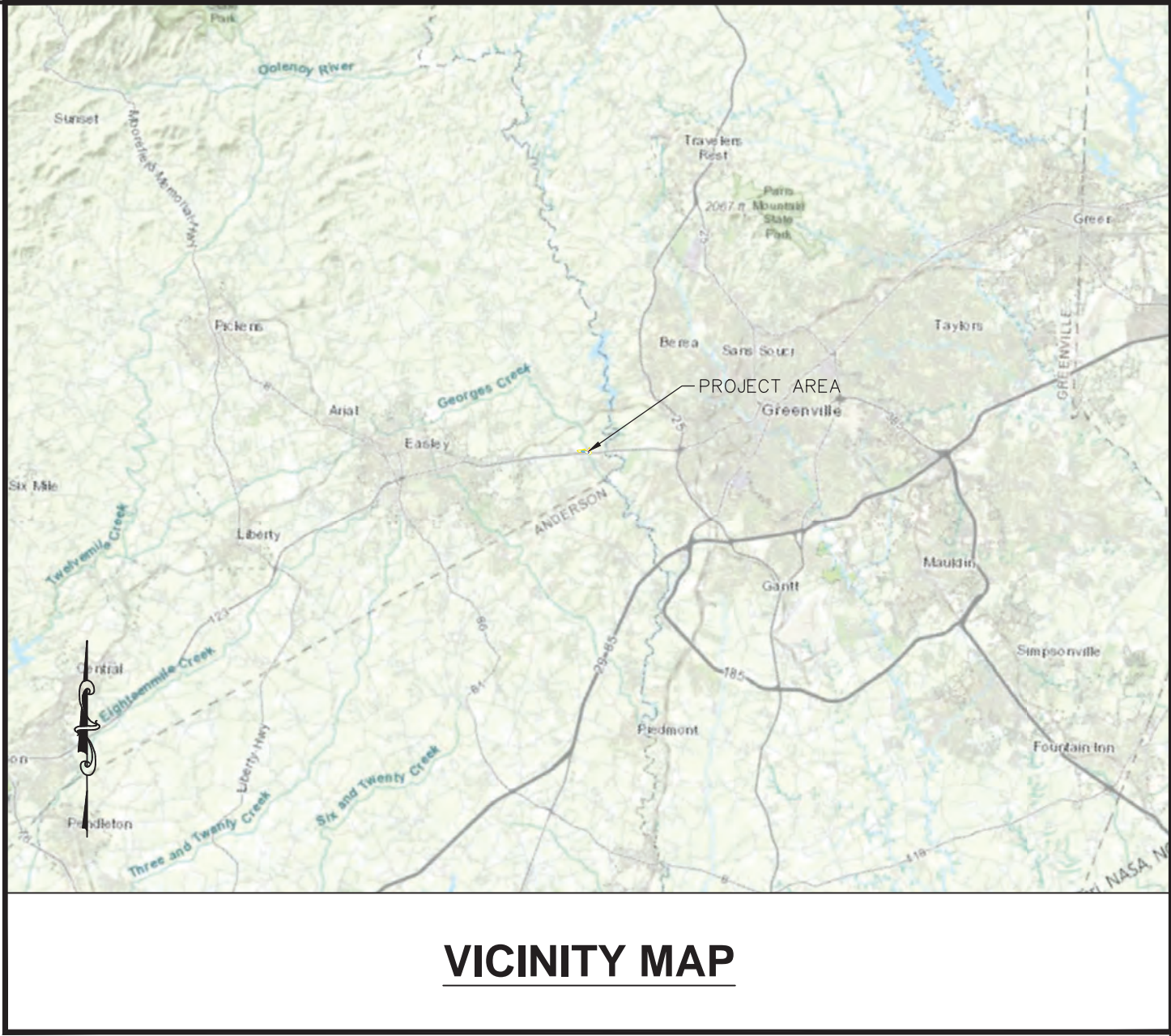
A handwritten signature in blue ink, appearing to read "Kevin Mason", written in a cursive style.

Kevin Mason, Sr. Transmission Permitting Manager

CC: Brandon Lewis (Duke Energy)
Mayur Patel (Duke Energy)
Darrin Cardwell (Duke Energy)

FISH TRAP RETAIL SUBSTATION DESIGN

PICKENS COUNTY EASLEY, SC



VICINITY MAP

LEGEND:

PROPERTY LINES	_____
ROAD R/W LIMITS	_____
PROPOSED DISTRIBUTION LINE	- - - - -
EXISTING LINE R/W LIMITS	_____
EXISTING DISTRIBUTION LINE	- - - - -
EXISTING TRANSMISSION LINE	_____
STATION FENCE	— x — x — x — x —

SITE DATA:

TOTAL PROPOSED SITE AREA:	13.26 ACRES
TOTAL DISTURBED AREA:	6.75 ACRES
PARCEL ZONING:	AGRICULTURAL / VACANT
EXISTING IMPERVIOUS AREA:	0.00 ACRES
RIVER BASIN:	SALUDA

PARCEL DATA:

OWNER:	DUKE ENERGY CAROLINAS, LLC 526 SOUTH CHURCH STREET CHARLOTTE, NC 28202
TAX MAP NUMBER:	5059-09-06-9341
TOTAL AREA:	17.39 ACRES
PARCEL ZONING:	RURAL AGRICULTURE

SURVEY:

PREPARED BY:	MASER CONSULTING 5275 PARKWAY PLAZA BOULEVARD SUITE 100 CHARLOTTE, NC 28217
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PROPERTY ADDRESS:

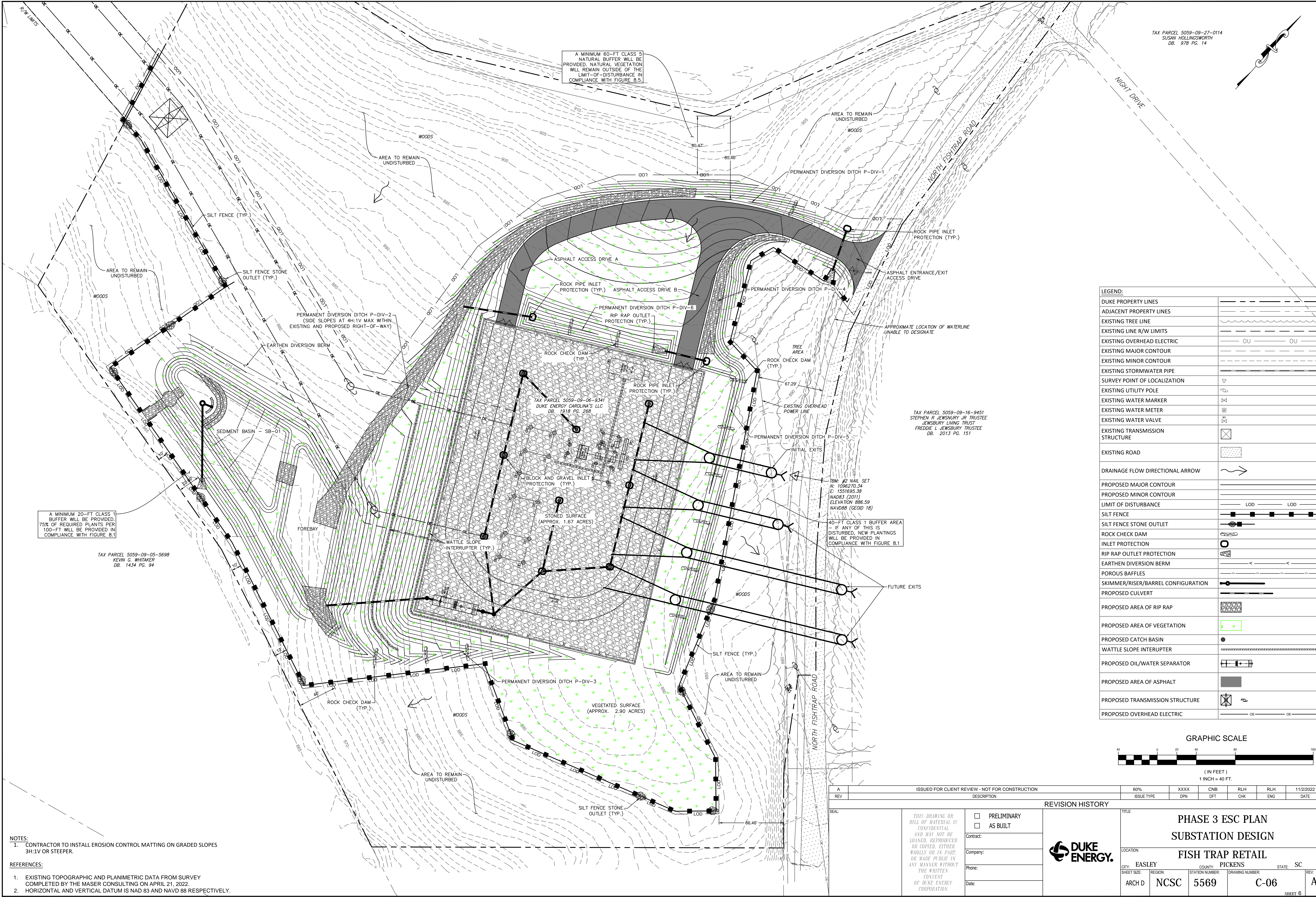
PROPOSED FISH TRAP RETAIL SUBSTATION:	299 N FISH TRAP RD, EASLEY, PICKENS COUNTY, SC
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PROPERTY MAP

Sheet List Table	
Sheet Number	Sheet Title
C-01	COVER SHEET
C-02	GENERAL NOTES
C-03	EXISTING CONDITIONS
C-04	PHASE 1 ESC PLAN
C-05	PHASE 2 ESC PLAN
C-06	PHASE 3 ESC PLAN
C-07	ESC DETAILS 1
C-08	ESC DETAILS 2
C-09	ESC DETAILS 3
C-10	ESC DETAILS 4
C-11	STORMWATER DRAINAGE AND SPCC PLAN
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C-14	OWS INSTALLATION DETAIL
C-15	HIGHLAND TANK DETAILS 1
C-16	HIGHLAND TANK DETAILS 2
C-17	SPCC DETAILS

A	ISSUED FOR CLIENT REVIEW - NOT FOR CONSTRUCTION				60%	XXXX	CNB	RLH	RLH	10/26/2022		
REV	DESCRIPTION				ISSUE TYPE	DPN	DFT	CHK	ENG	DATE		
REVISION HISTORY												
SEAL: <div>THIS DRAWING OR BILL OF MATERIAL IS CONFIDENTIAL AND MAY NOT BE LOANED, REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, OR MADE PUBLIC IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF DUKE ENERGY CORPORATION.</div>		<input type="checkbox"/> PRELIMINARY			TITLE: COVER SHEET SUBSTATION DESIGN							
		<input type="checkbox"/> AS BUILT										
		Contract:			LOCATION: FISH TRAP RETAIL							
		Company:										
		Phone:										
Date:		CITY: EASLEY COUNTY: PICKENS STATE: SC										
				SHEET SIZE: ARCH D		REGION: NCSC		STATION NUMBER: 5569		DRAWING NUMBER: C-01		REV: A
										SHEET 1		



A MINIMUM 60-FT CLASS 5 NATURAL BUFFER WILL BE PROVIDED. NATURAL VEGETATION WILL REMAIN OUTSIDE OF THE LIMIT-OF-DISTURBANCE IN COMPLIANCE WITH FIGURE 8.5.

TAX PARCEL 5059-09-27-0114
SUSAN HOLLINGSWORTH
DB. 978 PG. 14

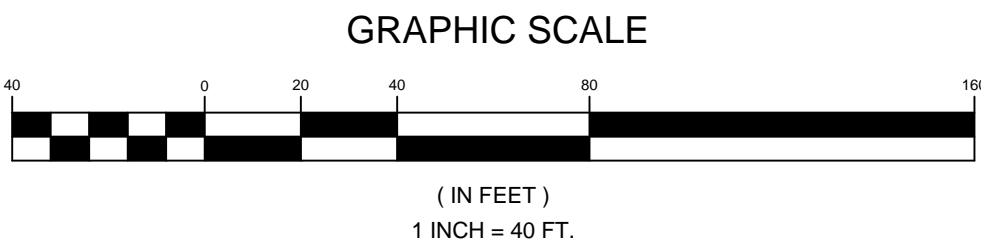
TAX PARCEL 5059-09-16-9451
STEPHEN R. JEWELRY JR. TRUSTEE
JEWELRY LIVING TRUST
FREDDIE L. JEWELRY TRUSTEE
DB. 2013 PG. 151

TAX PARCEL 5059-09-06-9341
DUKE ENERGY CAROLINA'S LLC
DB. 1218 PG. 268

TAX PARCEL 5059-09-05-5698
KEVIN G. WHITAKER
DB. 1434 PG. 94


A MINIMUM 20-FT CLASS 5 BUFFER WILL BE PROVIDED. 75% OF REQUIRED PLANTS PER 100-FT WILL BE PROVIDED IN COMPLIANCE WITH FIGURE 8.1.

LEGEND:	
DUKE PROPERTY LINES	
ADJACENT PROPERTY LINES	
EXISTING TREE LINE	
EXISTING LINE R/W LIMITS	
EXISTING OVERHEAD ELECTRIC	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
EXISTING STORMWATER PIPE	
SURVEY POINT OF LOCALIZATION	
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EXISTING TRANSMISSION STRUCTURE	
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POROUS BAFFLES	
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PROPOSED CATCH BASIN	
WATTLE SLOPE INTERRUPTER	
PROPOSED OIL/WATER SEPARATOR	
PROPOSED AREA OF ASPHALT	
PROPOSED TRANSMISSION STRUCTURE	
PROPOSED OVERHEAD ELECTRIC	



NOTES:
1. CONTRACTOR TO INSTALL EROSION CONTROL MATTING ON GRADED SLOPES 3H:1V OR STEEPER.

REFERENCES:
1. EXISTING TOPOGRAPHIC AND PLANIMETRIC DATA FROM SURVEY COMPLETED BY THE MASER CONSULTING ON APRIL 21, 2022.
2. HORIZONTAL AND VERTICAL DATUM IS NAD 83 AND NAVD 88 RESPECTIVELY.

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		Contract:									
		Company:									
		Phone:									
		Date:									
TITLE:						PHASE 3 ESC PLAN					
						SUBSTATION DESIGN					
LOCATION:						FISH TRAP RETAIL					
CITY: EASLEY						COUNTY: PICKENS		STATE: SC		REV:	
SHEET SIZE:		REGION:		STATION NUMBER:		DRAWING NUMBER:		A		REV:	
ARCH D		NCSC		5569		C-06		SHEET 6			

SD-22-0012

Lenhardt Road Subdivision

SD-22-0012: Lenhardt Road Subdivision

Staff Report

Planning Commission Public Hearing: December 12, 2022 6:30 PM

The following report constitutes an assessment and evaluation by Planning staff on the above mentioned request.

Applicant: Kevin Tumblin
323 West Stone Avenue
Greenville, SC 29609

Property Owner(s): Alice Manufacturing Company, In.

Property Location: Lenhardt Road, Jim Hunt Road, Hinton Road, and Norman Road

Acreage: 664

Tax Map Number: 5130-00-56-5704, 5130-16-84-9381, and 5130-16-92-4623

County Council District: 6

Land Use Request: New Open Space Subdivision to include 1268 total units with 946 single-family homes and 322 Townhomes

Variance Request(s) from Planning Commission: N/A

Request Overview

The subject property is three-tracts owned by the same entity equaling about 664-acres. The owner would like to build 1268 rental units with 946 single-family homes and 322 Townhomes. This is being proposed as an Open Space Subdivision. This requires 133 acres of open space. 206 acres are being provided. Amenity areas are planned throughout the site to include recreation fields, walking trails, and traditional amenity areas such as pools and playgrounds. Townhomes will have pull under parking with additional parking provided for townhome guests. The minimum lot size for an Open Space Development is 5000 square feet. The average lot size for this project is 10,000 square feet. All other setbacks and ordinance standards have been met. This project is being proposed to be developed in phases.

Current Property Use:

The property is listed on the Assessor's site as vacant.

Surrounding Area:

The subject property is surrounded by a mix of vacant and low-density residential on all sides.

Utilities & Infrastructure

Transportation: The property is served by Lenhardt Road, Jim Hunt Road, Hinton Road, and Norman Road all of which are County Roads.

Water: Easley combined.

Sewerage: Easley combined.

Property Development History:

This property appears to have been mostly vacant for as far back as the Assessor's records go. There are some abandoned farm buildings as well as what appears to be some abandoned mobile homes.

Comments from Reviewing Agencies:

SCDOT: N/A

Pickens County Engineer:

The County Engineer does not have any issues with the project as proposed but has requested a traffic impact study and the likely improvements of all adjacent County Roads.

Schools: The applicant has reached out to the School District to get a letter stating their ability to accommodate this development.

Analysis of Standards for Land Use Approval:

Staff analysis of the application is made based upon the findings criteria as set forth in Section 1205(f) of the UDSO. The applicant has submitted his/her response to the same findings criteria.

- A. Is the proposed use consistent with other uses in the area or the general development patterns occurring in the area?*

The proposed use, if developed according to existing county standards and according to the applicant's submitted proposal, will be consistent with uses in the immediate area and the direction set by the Comp Plan.

- B. Will the proposed use adversely affect the existing use or usability of adjacent or nearby property?*

With strict adherence to the development standard the proposed use should not adversely affect the existing use of adjacent property.

- C. Is the proposed use compatible with the goals, objectives, purpose and intent of the Comprehensive Plan?*

The proposed use is consistent with the adopted Future Land Use/Character Area map of the Comprehensive Plan. The Character Area designation for the area is Residential Growth.

- D. Will the proposed use not cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?*

If developed according to adopted development standards, the project should not cause a burden on existing facilities or services.

- E. Is the property suitable for the proposed use relative to the requirements set forth in this development ordinance such as off-street parking, setbacks, buffers, and access?*

Yes. The applicant's proposal before the Commission will meet the respective standards in the Unified Development Standards Ordinance of Pickens County.

- F. Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?*

As proposed by the applicant and as outlined in the UDSO the proposed development of the property in question should provide for a balance of competing interests.

General Requirements for Residential Developments

20% Open Space Area Required:

132.8-acres

Open space provided:

206-acres

Residential Lot Area

Open Space Subdivisions

5000 square-foot lot minimum (when served by well and septic)

Development as Proposed

5000 square-foot lot minimum with an average of 8400 square feet for single-family.

Residential Dwelling Unit Density

Open Space Subdivisions

8.7 dwelling units (du)/acre allowed (when served by public sewer and water)

Townhomes – 4 units per acre allowed

108.5 acres required for 944 single-family homes

80 acres of land required for 322 townhomes

188.5 acres of land required to meet total density standards

Development as Proposed

206-acres open space

537-acres for residential use

Setbacks

Open Space Developments

Single-Family - 20' front, 0' side, 0' rear

Townhomes – Not defined

Development as Proposed

Single- Family - 20' Front, 5' side, 10' rear

TBD

Maximum # of Lots Allowed

Open Space Development Allowance:

4678 lots allowed at 5000 square feet per acre and 537 acres of land allocated for building.

Development as Proposed:

1268 Dwelling units.

Planning Staff Recommendation:

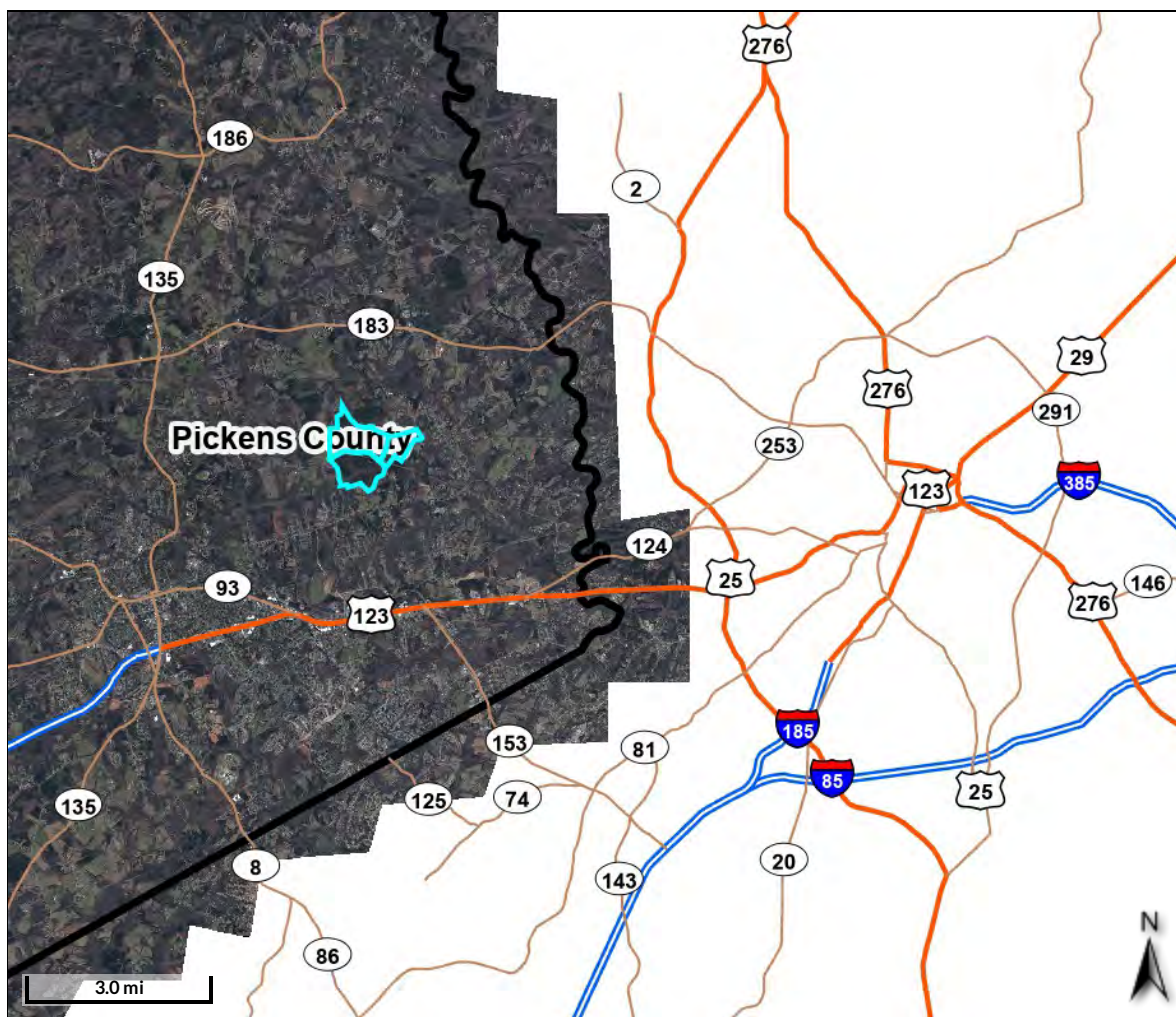
APPROVAL, WITH CONDITIONS

Approval as presented with the request that sidewalks be installed on both sides of the street, all street lighting be limited to 25' and be Dark Sky compliant, and that a total of 2536 -2.5" caliper trees be planted (equivalent to 2 per dwelling unit) in the open spaces and/or rights of way.

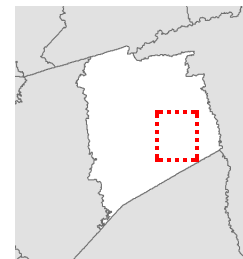
SD-22-0012



Pickens County, SC



Overview



Legend

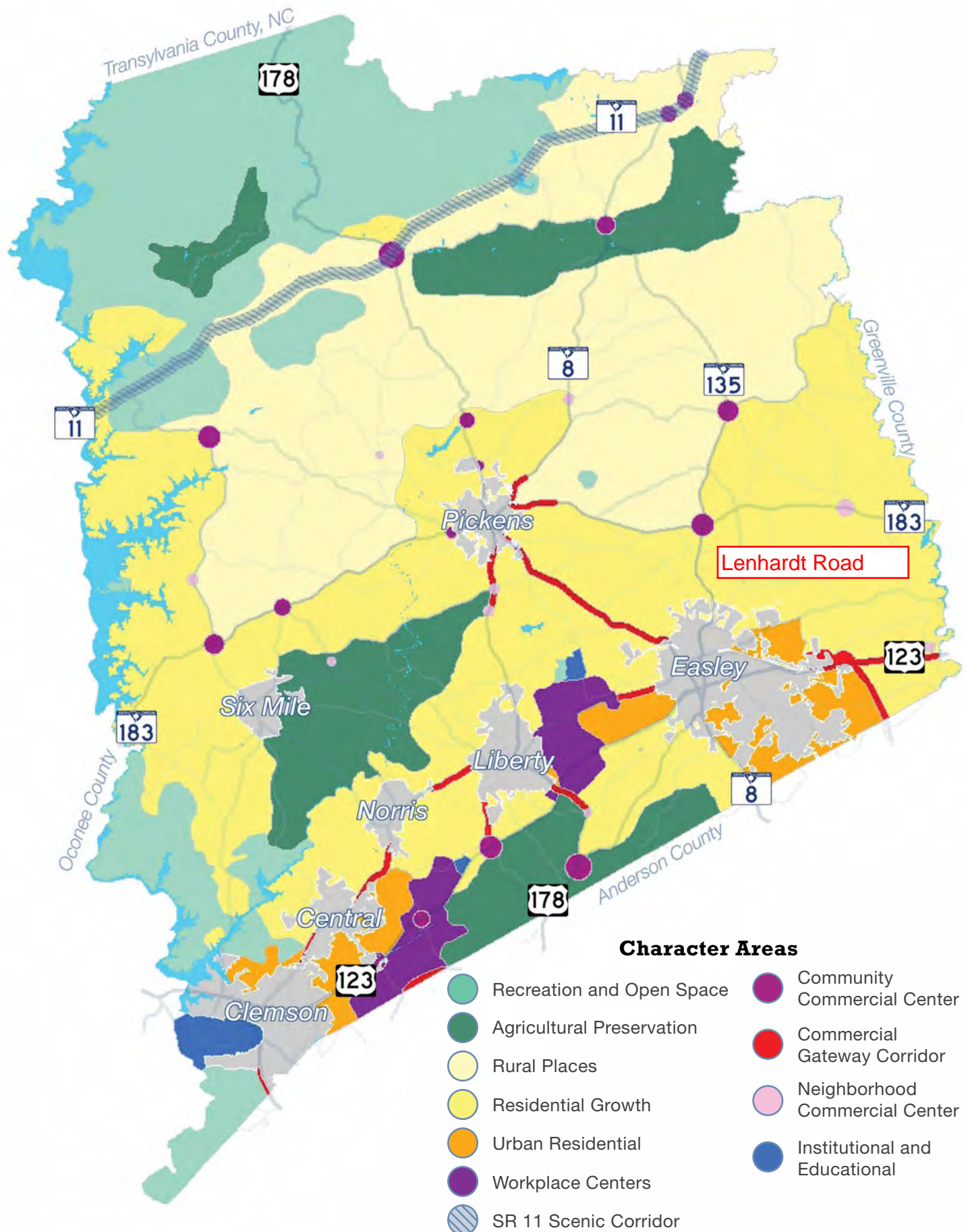
- Parcels
- USA Major Highways**
 - Limited Access
 - Highway
 - Major Road
 - Local Road
 - Minor Road
 - Other Road
 - Ramp
 - Ferry
 - Pedestrian Way

Parcel ID	5130-00-56-5704	Account	Vac Land MH	Ownership	ALLCO INC	Documents			
Account No	R0012169	Type			110 EAST COURT	Date	Price	Doc	Vacant or Improved
Property	1169 LENHARDT RD	Class	4% AG Yard		ST STE 202				
Address	EASLEY		Improvement		GREENVILLE, SC	n/a	\$		n/a
District	G10-Georges Creek/Crosswell	Acreage	574		29601	n/a	\$		n/a
Brief	NE/SIDE LENDHART RD	LEA Code	0005						
Tax Description		Value	\$170,300						
(Note: Not to be used on legal documents)									

Date created: 11/9/2022

Last Data Uploaded: 11/8/2022 9:06:24 PM

Developed by Schneider
GEOSPATIAL





PICKENS COUNTY

SOUTH CAROLINA



COMMUNITY DEVELOPMENT

BUILDING CODES ADMINISTRATION • STORMWATER MANAGEMENT • PLANNING

APPLICATION FOR:

☒ **Land Use Review /Subdivision Review**

☐ **Subdivision Variance**

Case No.: _____ - _____ - _____

Note to Applicant: All applications must be typed or legibly printed and all entries must be completed on all the required application forms. If you are uncertain to the applicability of an item, please contact a member of the Planning Staff. Incomplete applications or applications submitted after the posted deadlines will be delayed.

Name of Applicant D. Kevin Tumblin

Mailing Address 323 West Stone Ave. Greenville, SC 29609

Telephone 864-918-9874 Email ktumblin@freelandsc.com

Applicant is the: Owner's Agent ☒ Property Owner _____

Property Owner(s) of Record Alice Manufacturing Co. Inc.

Mailing Address 110 East Court St., Suite 202, Greenville, SC 29601

Telephone 864-859-6323 Email HR@alicecompany.com

Authorized Representative D. Kevin Tumblin (Freeland & Associates, Inc.)

Mailing Address 323 West Stone Avenue, Greenville, SC 29609

Telephone 864-918-9874 Email ktumblin@freelandsc.com

Address/Location of Property Lenhardt Rd, Jim Hunt Rd, Hinton Rd, Norman Dr

Existing Land Use Vacant Proposed Land Use Single Family Detached and Attached Residential

Tax Map Number(s) 5130-00-56-5704, 5130-16-84-9381, and 5130-16-92-4623

Total Size of Project (acres) 664 Number of Lots 1,268

Utilities:

Proposed Water Source: ☐ Wells ☒ Public Water Water District: Easley Combined Utilities

Proposed Sewer: ☐ Onsite Septic ☒ Public Sewer Sewer District: Easley Combined Utilities

REQUEST FOR VARIANCE (IF APPLICABLE):

Is there a variance request from the subdivision regulations or county road ordinance? ☐ Yes ☐ No
 If YES, applicant must include explanation of request and give appropriate justifications.

RESTRICTIVE COVENANT STATEMENT

Pursuant to South Carolina Code of Laws 6-29-1145:

I (we) certify as property owner(s) or as authorized representative for this request that the referenced property:

- ☐ **IS** subject to recorded restrictive covenants and that the applicable request(s) is permitted, or not otherwise in violation, of the same recorded restrictive covenants.
- ☐ **IS** subject to recorded restrictive covenants and that the applicable request(s) was not permitted, however a waiver has been granted as provided for in the applicable covenants. (*Applicant must provide an original of the applicable issued waiver*)
- ☐ **IS NOT** subject to recorded restrictive covenants

SIGNATURE(S) OF APPLICANTS(S):

I (we) certify as property owners or authorized representative that the information shown on and any attachment to this application is accurate to the best of my (our) knowledge, and I (we) understand that any inaccuracies may be considered just cause for postponement of action on the request and/or invalidation of this application or any action taken on this application.

I (we) further authorize staff of Pickens County to inspect the premises of the above-described property at a time which is agreeable to the applicant/property owner.

 Signature of Applicant

 Date

PROPERTY OWNER'S CERTIFICATION

The undersigned below, or as attached, is the owner of the property considered in this application and understands that an application affecting the use of the property has been submitted for consideration by the Pickens County Planning Commission.

E. Sarah M. [Signature]
 Signature of Owner(s)

NOVEMBER 3, 2022
 Date

PICKENS COUNTY STAFF USE ONLY

Date Received _____ Received By _____

Pre-Application meeting held with _____ on _____

Application Forwarded to (date):

DHEC _____ ☐ N/A

County Engineer _____ ☐ N/A

SCDOT _____ ☐ N/A

Local VFD _____ ☐ N/A

School Board _____ ☐ N/A

Planning Commission Hearing Date _____

Deadline for Notice to Paper _____ to run _____

Letter of Hearing Sent to Applicant _____

Sign Placement Deadline _____

Planning Commission Action(date) _____

☐ Approval ☐ Approval w/ modifications ☐ Denial
 Modifications _____

Notice of Action to Applicant _____

Application Processing

Hearing and Action



Pickens County, South Carolina

Attachment A

LAND USE REVIEW

Standards of Land Use Approval Consideration

In consideration of a land use permit, the Planning Commission shall consider factors relevant in balancing the interest in promoting the public health, safety, and general welfare against the right of the individual to the unrestricted use of property and shall specifically consider the following objective criteria. Due weight or priority shall be given to those factors that are appropriate to the circumstances of each proposal.

Please respond to the following standards in the space provided or you may use an attachment as necessary:

- (A) Is the proposed use consistent with other uses in the area or the general development patterns occurring in the area?

Yes

- (B) Will the proposed use not adversely affect the existing use or usability of adjacent or nearby property?

It will not.

- (C) Is the proposed use compatible with the goals, objectives, purpose and intent of the Comprehensive Plan?

Yes

- (D) Will the proposed use not cause an excessive or burdensome use of public facilities or services, including but not limited to streets, schools, water or sewer utilities, and police or fire protection?

It will not.

- (E) Is the property suitable for the proposed use relative to the requirements set forth in this development ordinance such as off-street parking, setbacks, buffers, and access?

Yes

- (F) Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?

Yes



November 3, 2022

Todd Steadman
Pickens County
222 McDaniel Avenue, B-10
Pickens, SC 29671

**Re: Westridge Subdivision
Pickens, SC**

Dear Mr. Steadman:

We are pleased to offer this letter of intent for the above reference project. Below is the pertinent information for this proposed development.

Property Use

This property will be used for a single family attached/detached residential subdivision.

Property Acreage

This property is 664 acres.

Land Use

The land use request is for single family attached and detached residential lots.

Number of Lots

There will be 1,268 new lots.

Building Size

The homes will range in sizes from approximately 1,442 sf to 4,164 sf.

Sincerely,
Freeland & Associates

A handwritten signature in black ink that reads "D. Kevin Tumblin".

D. Kevin Tumblin, PE, PLS
Vice President of Engineering

NOTES:

1. ALL COMMON AREA, OPEN SPACE AND DETENTION TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. COMMON AREA AND OPEN SPACE CANNOT BE SUBDIVIDED OR USED FOR ANY OTHER PURPOSE.

2. AS A MINIMUM, 5-FOOT DRAINAGE & UTILITY EASEMENTS ESTABLISHED ALONG ALL SIDE & INTERIOR REAR PROPERTY LINES. 10-FOOT EASEMENTS ESTABLISHED ALONG EXTERIOR BOUNDARY OF SUBDIVISION UNLESS ADJOINING PROPERTY OWNERS HAVE ESTABLISHED EASEMENTS.

5. THIS LAYOUT IS A CONCEPT PLAN FOR REVIEW AND DISCUSSION ONLY.

6. THIS LAYOUT WAS NOT PREPARED WITH A REAL SURVEY BY THIS FIRM.

7. PROPOSED ROADS HAVE A PUBLIC 50' R/W AND 24" PAVEMENT.

8. THIS LAYOUT DOES NOT ADDRESS ALL STATE OR LOCAL ORDINANCES.

9. DOUBLE FRONTAGE LOTS CAN BE ACCESSED BY ONLY ONE STREET.

10. FIVE FOOT SIDEWALK ON ONE SIDE OF ALL ROADS.

11. LANDSCAPE PLAN WILL BE GENERATED BY A LANDSCAPE ARCHITECT AT A LATER DATE. THERE WILL BE A MINIMUM OF 2 CANOPY TREES PER LOT.

SITE DATA

ADDRESS: LENHARDT ROAD
JIM HUNT ROAD
HINTON ROAD
NORMAN DRIVE

TAX MAP: 5130-00-56-5704
5130-16-84-9381
5130-16-92-4623

ZONING: N/A

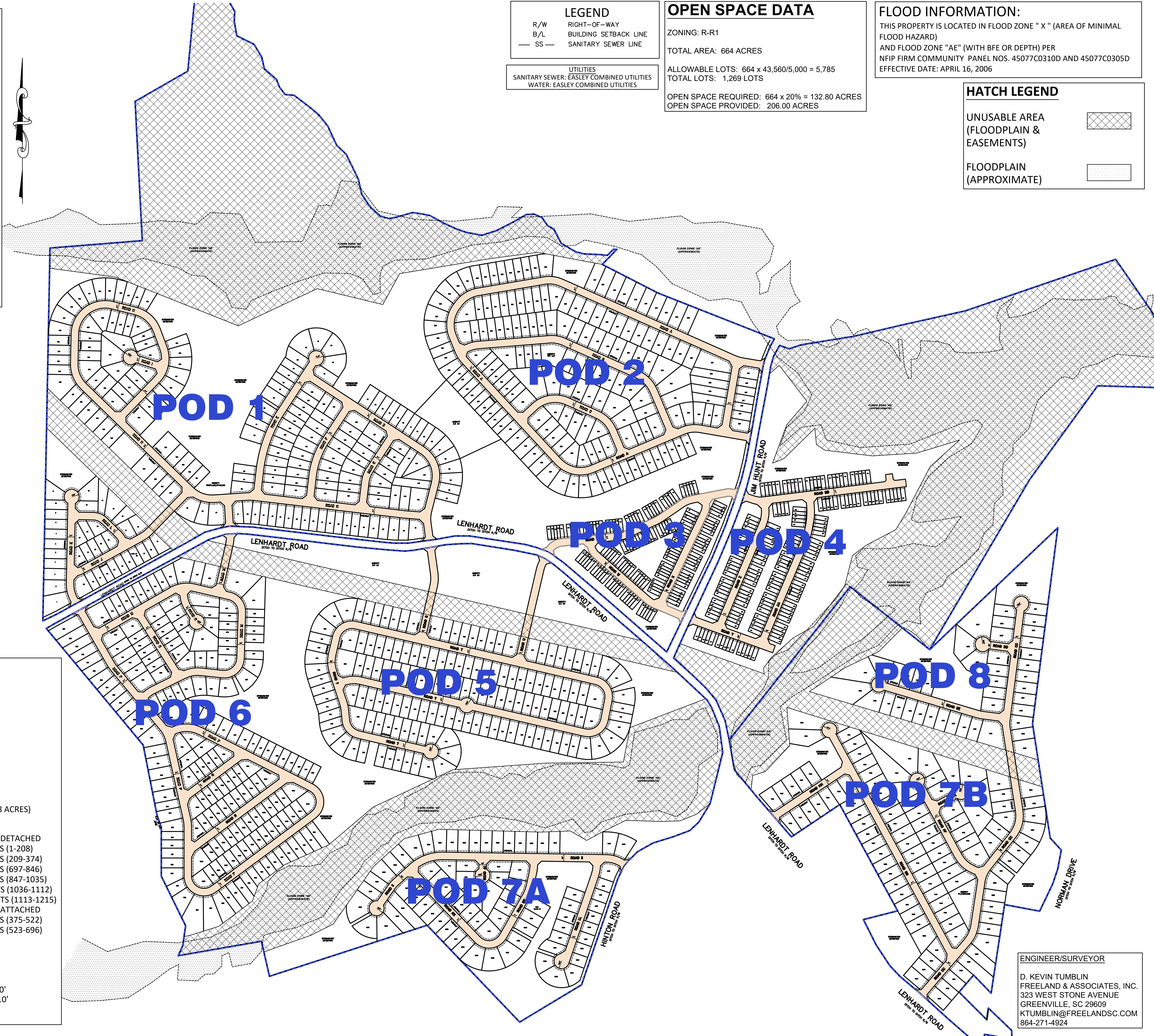
TOTAL AREA: 664 ACRES
(DEVELOPABLE - 458 ACRES)

NUMBER OF LOTS: 1,268 TOTAL
946 SINGLE FAMILY DETACHED
POD 1 (55') 213 LOTS (1-208)
POD 2 (55') 171 LOTS (209-374)
POD 5 (60') 150 LOTS (697-846)
POD 6 (55') 189 LOTS (847-1035)
POD 7A (75') 78 LOTS (1036-1112)
POD 7B (75') 145 LOTS (1113-1215)
322 SINGLE FAMILY ATTACHED
POD 3 (20') 148 LOTS (375-522)
POD 4 (24') 174 LOTS (523-696)

DENSITY: 1.91 UNITS/ACRE

ROAD: 53,560 (PUBLIC)

SETBACKS: EXISTING ROADS - 20'
INTERNAL FRONT - 10'
INTERNAL SIDE - 0'
INTERNAL SIDE - 0'



LEGEND

R/W RIGHT-OF-WAY
B/L BUILDING SETBACK LINE
SS SANITARY SEWER LINE

UTILITIES
SANITARY SEWER: EASLEY COMBINED UTILITIES
WATER: EASLEY COMBINED UTILITIES

OPEN SPACE DATA

ZONING: R-R1

TOTAL AREA: 664 ACRES

ALLOWABLE LOTS: 664 x 43,560/5,000 = 5,785
TOTAL LOTS: 1,269 LOTS

OPEN SPACE REQUIRED: 664 x 20% = 132.80 ACRES
OPEN SPACE PROVIDED: 206.00 ACRES

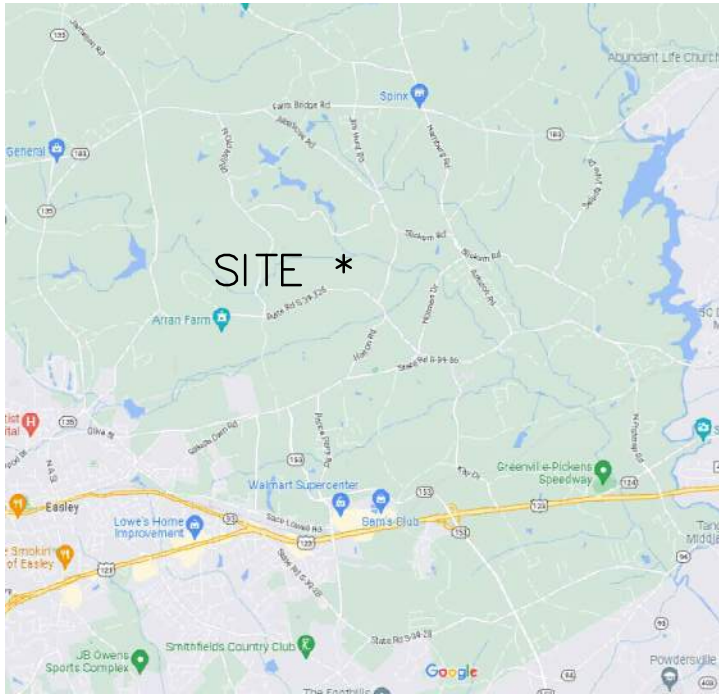
FLOOD INFORMATION:

THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) AND FLOOD ZONE "AE" (WITH BFE OR DEPTH) PER NFIP FIRM COMMUNITY PANEL NOS. 45077C0310D AND 45077C0305D EFFECTIVE DATE: APRIL 16, 2006

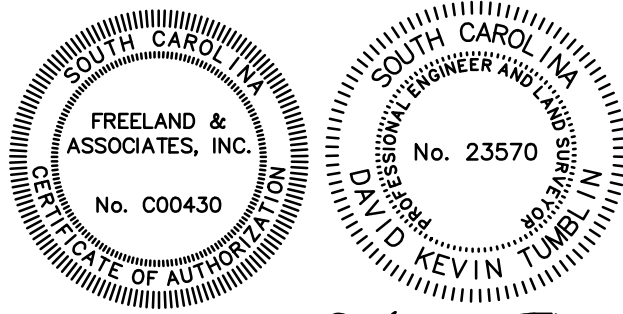
HATCH LEGEND

UNUSABLE AREA (FLOODPLAIN & EASEMENTS)

FLOODPLAIN (APPROXIMATE)



LOCATION MAP



PRELIMINARY

SHEET 1 OF 9

WESTRIDGE

ALICE MANUFACTURING CO. INC.
110 EAST COURT ST., STE 202
GREENVILLE, SC 29601
(864) 858-6323
OWNER

FREELAND & ASSOCIATES, INC.
323 WEST STONE AVE.
GREENVILLE, S.C. 29609
(864) 271-4924 FAX (864) 233-0315
SURVEYOR/ENGINEER

NO. OF ACRES: 664 ACRES
(DEVELOPABLE - 458 ACRES)

LF OF NEW ROAD: 53,560 (PUBLIC)

NO. OF LOTS: 1,268 TOTAL

DATE: 10-31 22

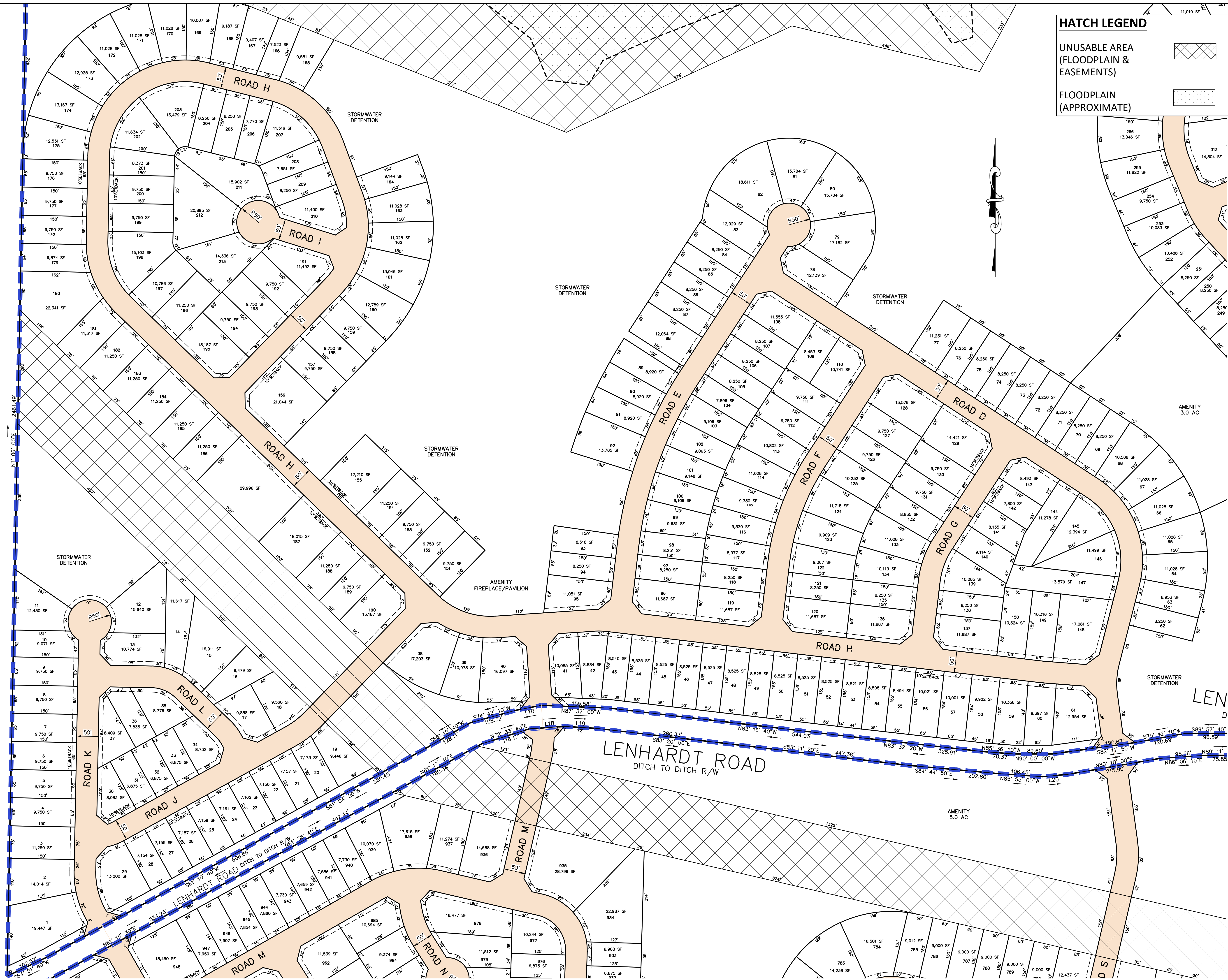
ZONED: N/A

TITLE SHEET NOT TO SCALE

WESTRIDGE-PRELIM

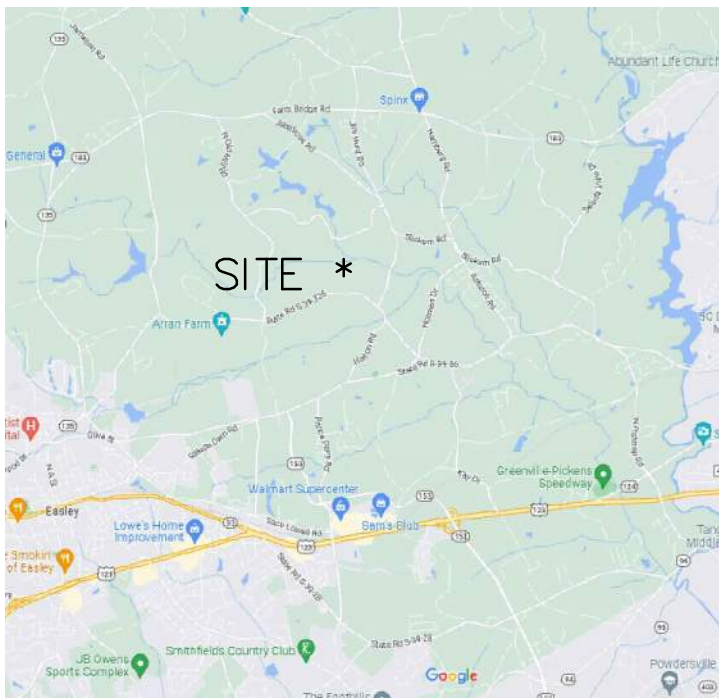
ENGINEER/SURVEYOR

D. KEVIN TUMBLIN
FREELAND & ASSOCIATES, INC.
323 WEST STONE AVENUE
GREENVILLE, SC 29609
KTUMBLIN@FREELANDSC.COM
864-271-4924



HATCH LEGEND

- UNUSABLE AREA (FLOODPLAIN & EASEMENTS)
- FLOODPLAIN (APPROXIMATE)

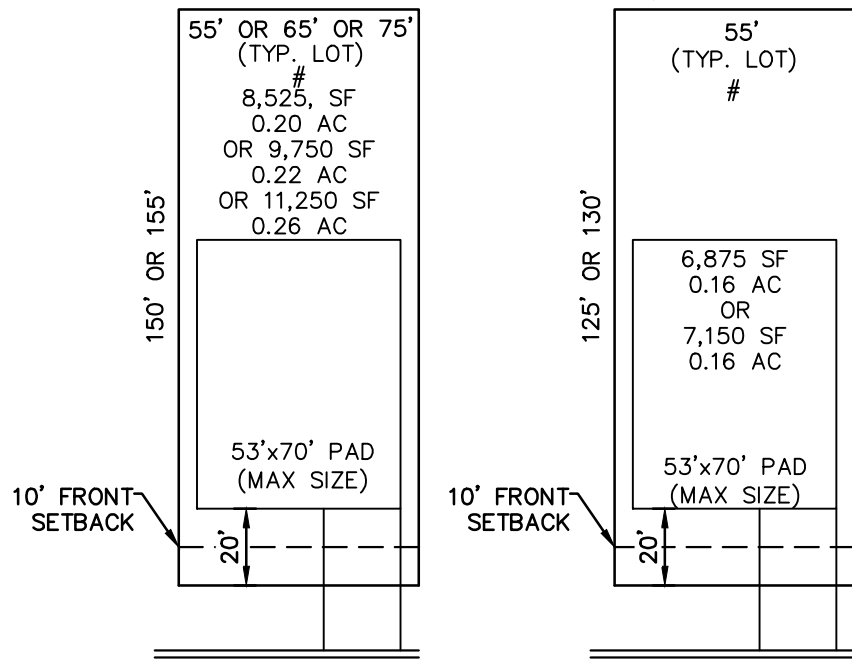


LOCATION MAP

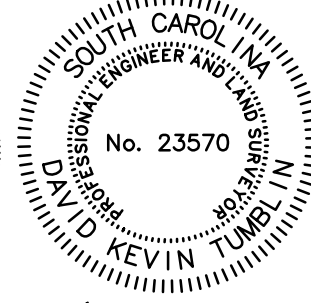


TYPICAL LOT LAYOUT
POD 1

MINIMUM LOT SIZE: 6,875 SF
AVERAGE LOT SIZE: 10,200 SF



Parcel Line Table			L12	65.80	S57° 06' 43"E
Line #	Length	Direction	L13	58.32	S31° 20' 43"E
L1	45.66	S83° 29' 03"E	L14	49.11	S39° 03' 47"W
L2	57.27	N45° 28' 38"E	L15	65.21	S27° 54' 46"W
L3	22.68	N90° 00' 00"E	L16	16.66	N25° 01' 53"E
L4	59.97	S28° 58' 03"W	L17	55.39	N24° 43' 00"E
L5	43.18	S13° 00' 09"W	L18	81.44	N86° 11' 18"E
L6	87.32	N54° 11' 50"W	L19	71.64	S86° 32' 02"E
L7	39.24	N58° 30' 45"W	L20	58.76	N84° 42' 48"E
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L11	56.22	S64° 55' 52"E			



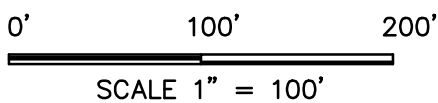
POD 1

PRELIMINARY

SHEET 2 OF 9

WESTRIDGE

ALICE MANUFACTURING CO. INC. 110 EAST COURT ST., STE 202 GREENVILLE, SC 29601 (864) 859-6323		FREELAND & ASSOCIATES, INC. 323 WEST STONE AVE. GREENVILLE, SC 29609 (864) 271-4924 FAX (864) 233-0315	
OWNER		SURVEYOR/ENGINEER	
NO. OF ACRES: 664 ACRES (DEVELOPABLE - 458 ACRES)		LF OF NEW ROAD: 53,560 (PUBLIC)	
NO. OF LOTS: 1,268 TOTAL		DATE: 10-31-22	
		ZONED: N/A	

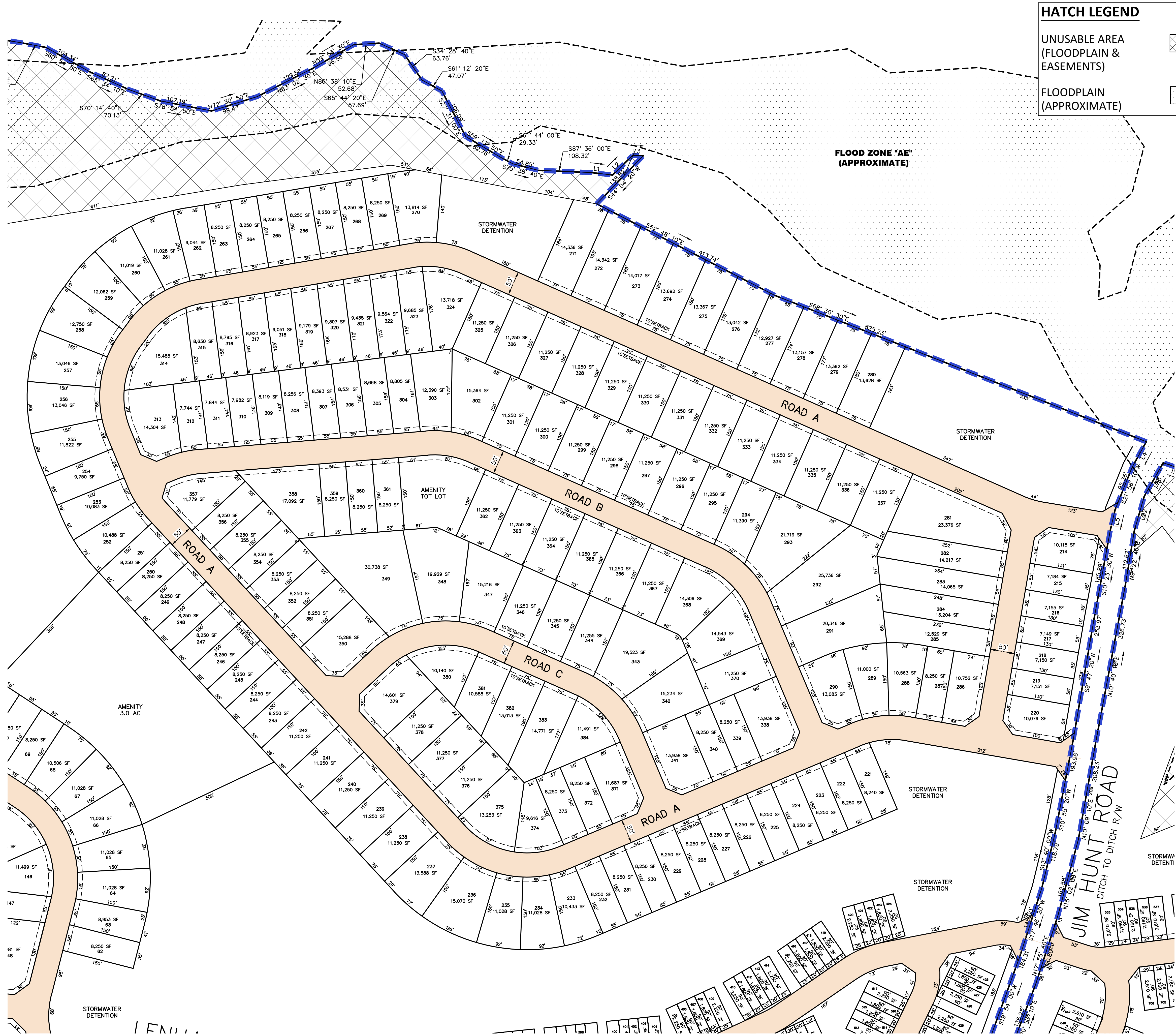


SCALE 1" = 100'

WESTRIDGE-PRELIM

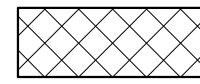
NOTE: 5' SIDEWALK ON ONE SIDE OF ALL ROADS.

Parcel Line Table		
Line #	Length	Direction
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L8	76.57	N68° 30' 41"W
L9	81.70	N74° 41' 17"W
L10	61.60	S78° 53' 38"W
L11	56.22	S64° 55' 52"E
L12	65.80	S57° 06' 43"E
L13	58.32	S31° 20' 43"E
L14	49.11	S39° 03' 47"W
L15	65.21	S27° 54' 46"W
L16	16.66	N25° 01' 53"E
L17	55.39	N24° 43' 00"E
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L22	74.09	N16° 04' 12"E
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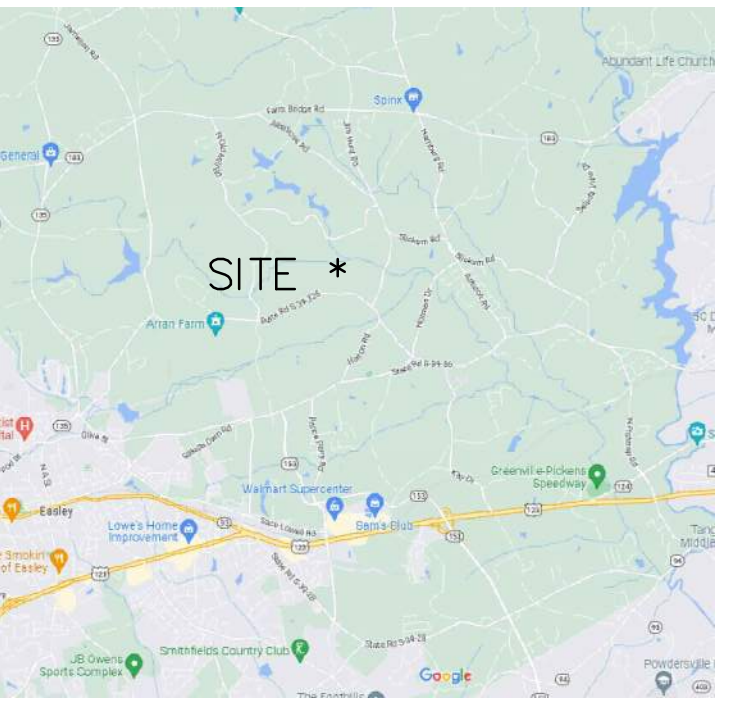
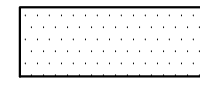


HATCH LEGEND

UNUSABLE AREA
(FLOODPLAIN &
EASEMENTS)



FLOODPLAIN
(APPROXIMATE)



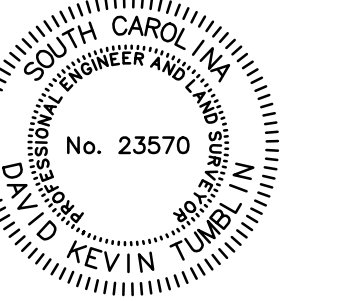
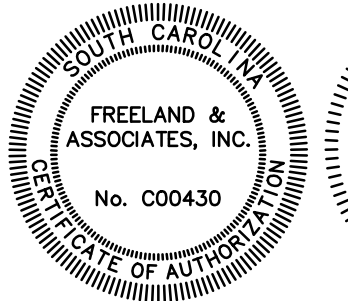
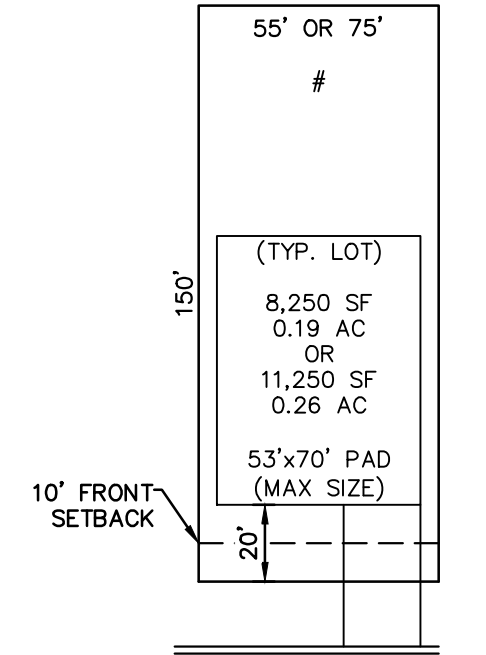
LOCATION MAP



TYPICAL LOT LAYOUT

POD 2

MINIMUM LOT SIZE: 8,250 SF
AVERAGE LOT SIZE: 9,985 SF



D. Kevin Tomlin

POD 2 PRELIMINARY

SHEET 3 OF 9

WESTRIDGE

ALICE MANUFACTURING CO. INC.
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GREENVILLE, SC 29601
(864) 859-6323

FREELAND & ASSOCIATES, INC.
323 WEST STONE AVE.
GREENVILLE, S.C. 29609
(864) 271-4924 FAX (864) 233-0315

OWNER

SURVEYOR/ENGINEER

NO. OF ACRES: 664 ACRES
(DEVELOPABLE - 458 ACRES)

LF OF NEW ROAD: 53,560 (PUBLIC)

NO. OF LOTS: 1,268 TOTAL

DATE: 10-31-22

ZONED:

N/A

0' 100' 200'
SCALE 1" = 100'

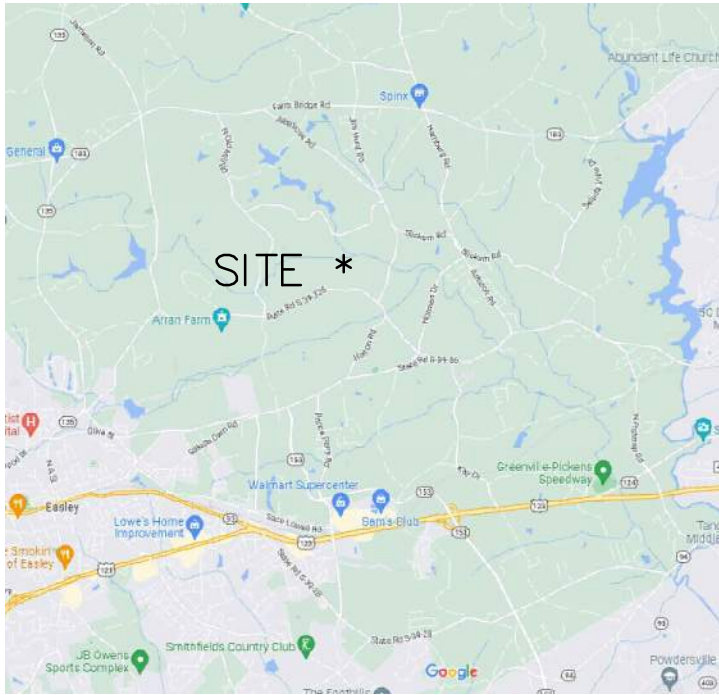
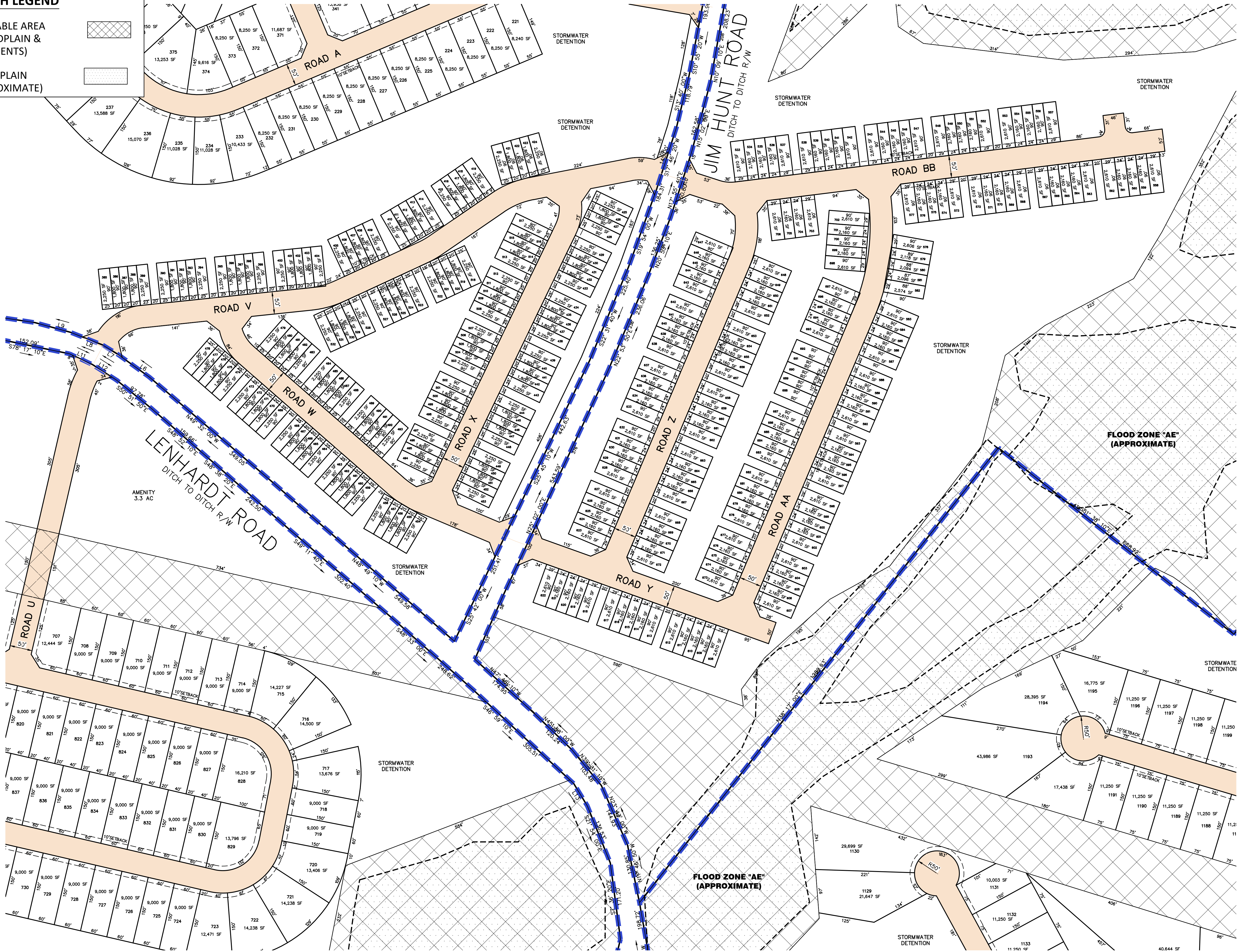
NOTE: 5' SIDEWALK ON ONE SIDE OF ALL ROADS.

WESTRIDGE-PRELIM

HATCH LEGEND

UNUSABLE AREA
(FLOODPLAIN &
EASEMENTS)

FLOODPLAIN
(APPROXIMATE)

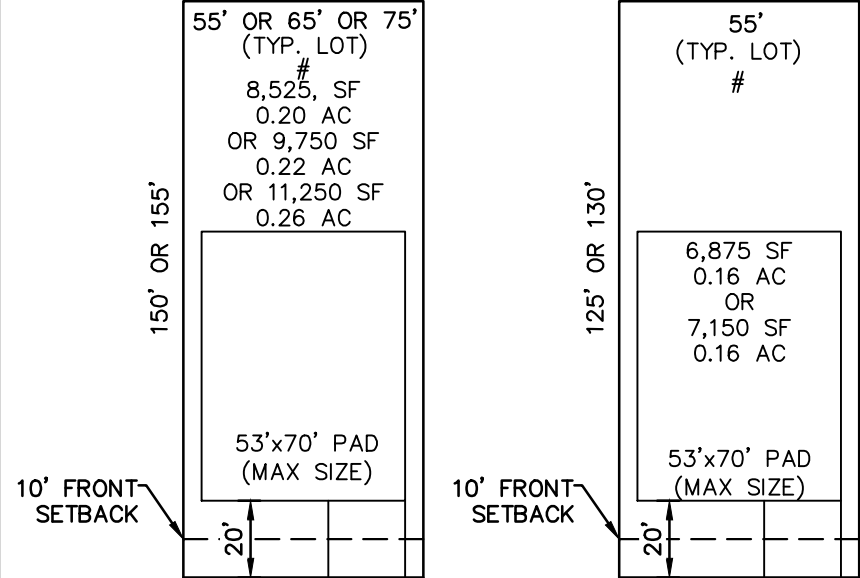


LOCATION MAP

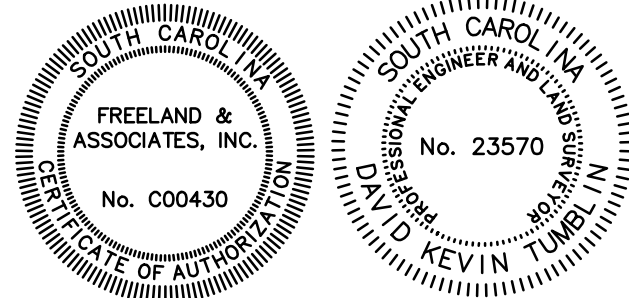


**TYPICAL LOT LAYOUT
POD 1**

MINIMUM LOT SIZE: 6,875 SF
AVERAGE LOT SIZE: 10,200 SF



Parcel Line Table					
Line #	Length	Direction	L13	58.32	S31° 20' 43"E
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L11	56.22	S64° 55' 52"E			
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**PODS 3 & 4
PRELIMINARY**

SHEET 4 OF 9

WESTRIDGE

ALICE MANUFACTURING CO. INC.
110 EAST COURT ST., STE 202
GREENVILLE, SC 29601
(864) 859-6323

FREELAND & ASSOCIATES, INC.
323 WEST STONE AVE.
GREENVILLE, S.C. 29609
(864) 271-4924 FAX (864) 233-0315

OWNER: ALICE MANUFACTURING CO. INC.

NO. OF ACRES: 664 ACRES

NO. OF LOTS: 1,268 TOTAL

DATE: 10-31-22

LF OF NEW ROAD: 53,560 (PUBLIC)

DEVELOPABLE - 458 ACRES

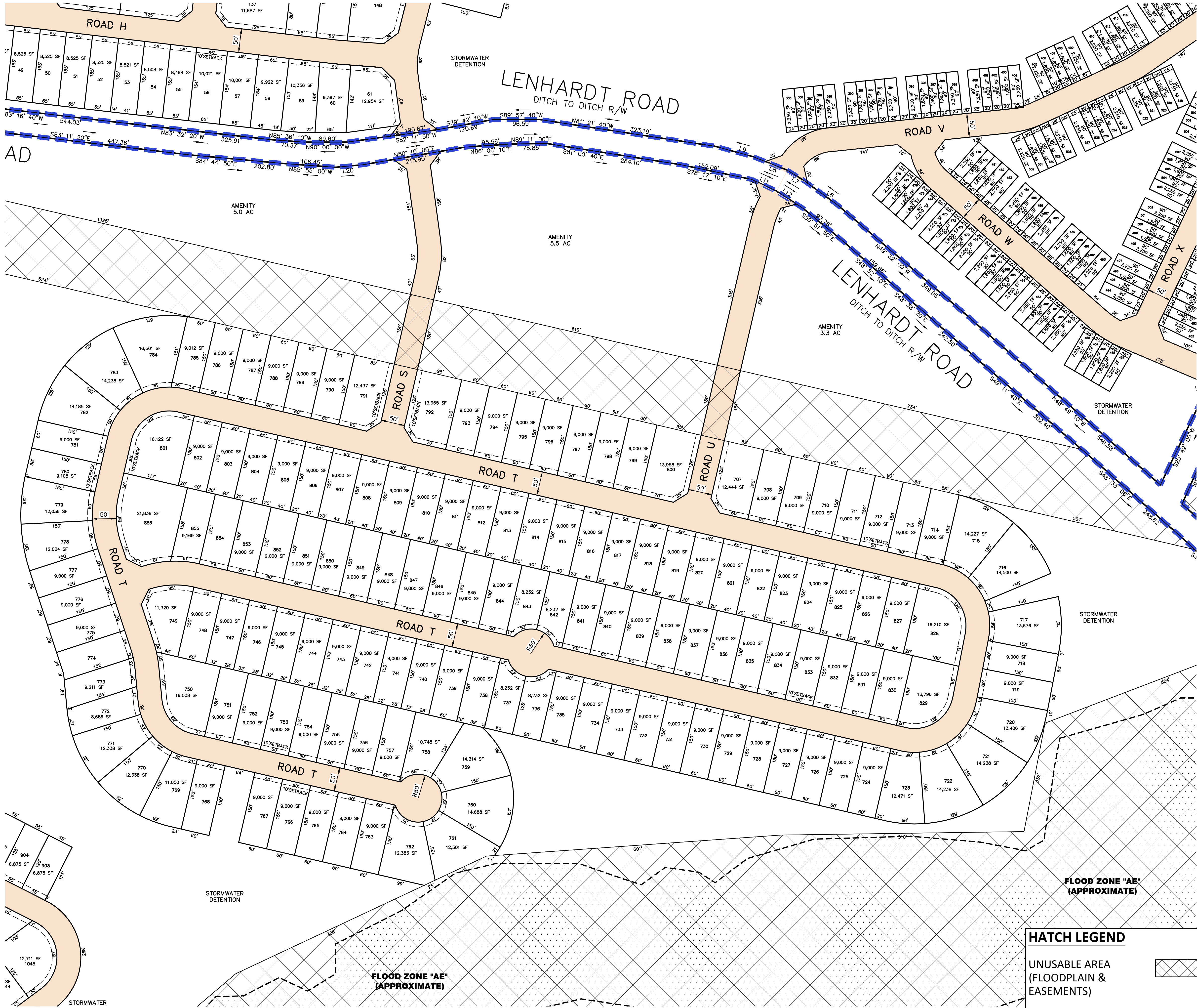
ZONED: N/A

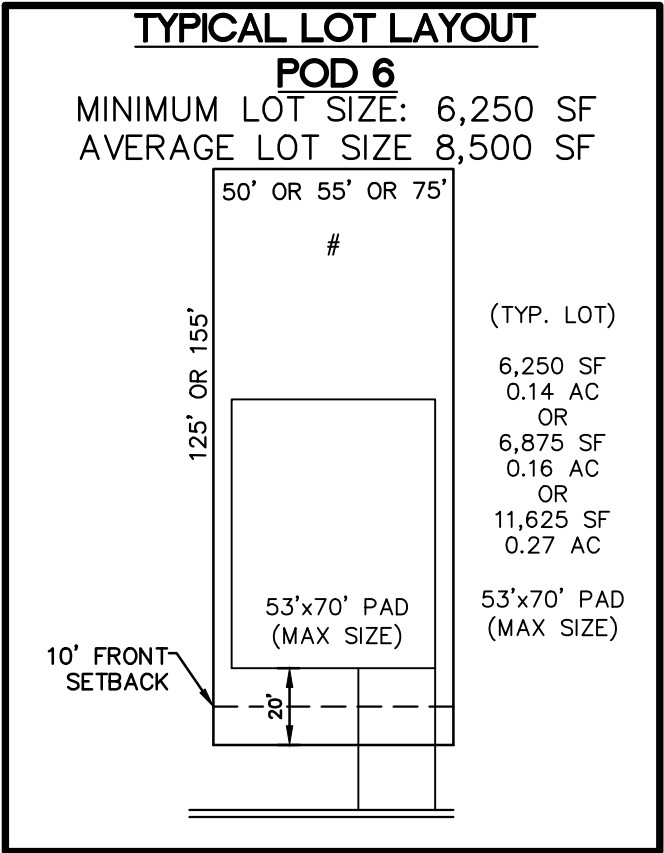
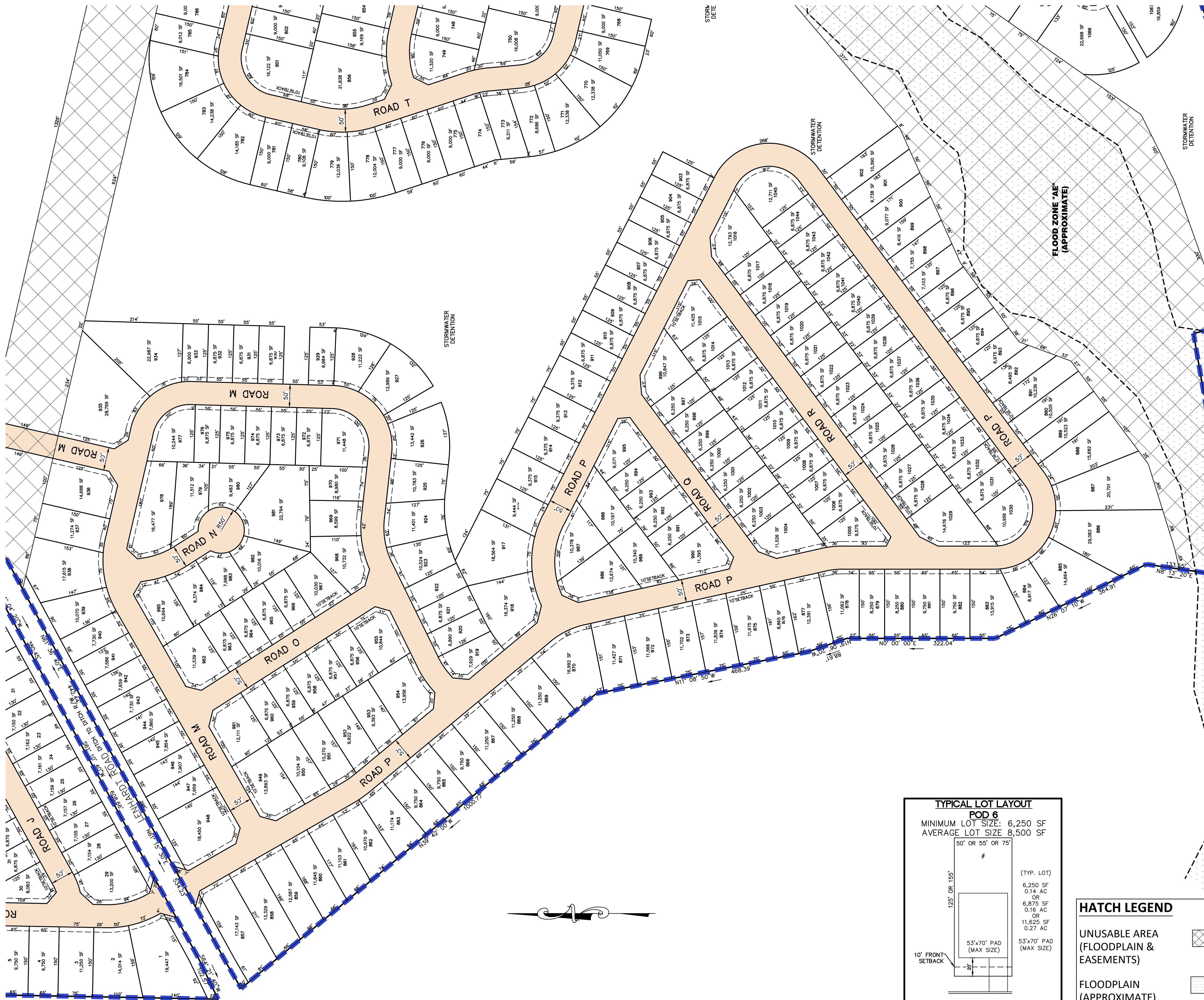
0' 100' 200'
SCALE 1" = 100'

WESTRIDGE-PRELIM

NOTE: 5' SIDEWALK ON ONE SIDE OF ALL ROADS.

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L23	79.71	N29° 27' 40"E	

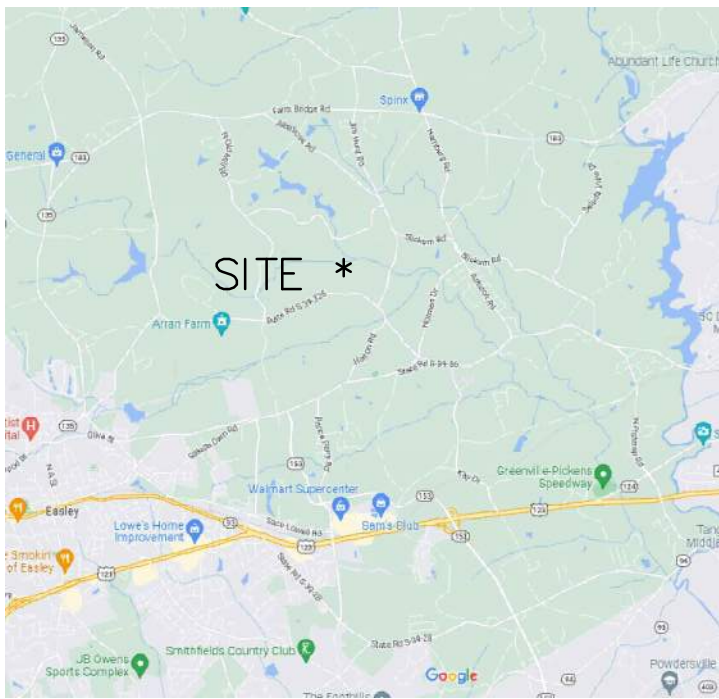




HATCH LEGEND

UNUSABLE AREA (FLOODPLAIN & EASEMENTS)	
FLOODPLAIN (APPROXIMATE)	

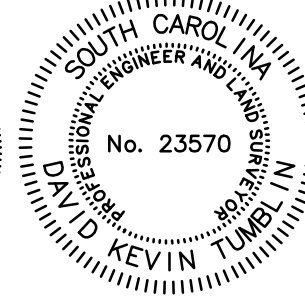
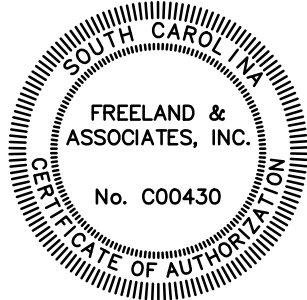
NOTE: 5' SIDEWALK ON ONE SIDE OF ALL ROADS.



LOCATION MAP



Parcel Line Table		
Line #	Length	Direction
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D. Kevin Tindler

POD 6

PRELIMINARY

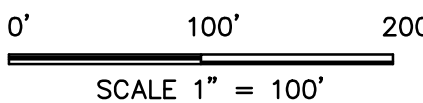
SHEET 6 OF 9

WESTRIDGE

Alice Manufacturing Co. Inc. 110 East Court St., Ste 202 Greenville, SC 29601 (864) 859-6323	Freeland & Associates, Inc. 323 West Stone Ave. Greenville, S.C. 29609 (864) 271-4924 FAX (864) 233-0315
OWNER	SURVEYOR/ENGINEER

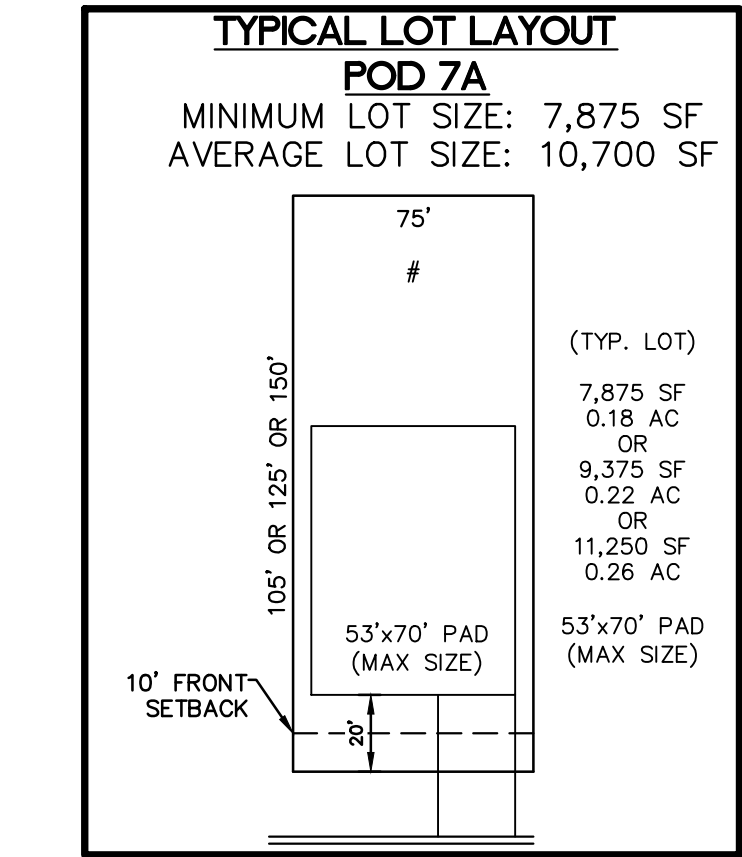
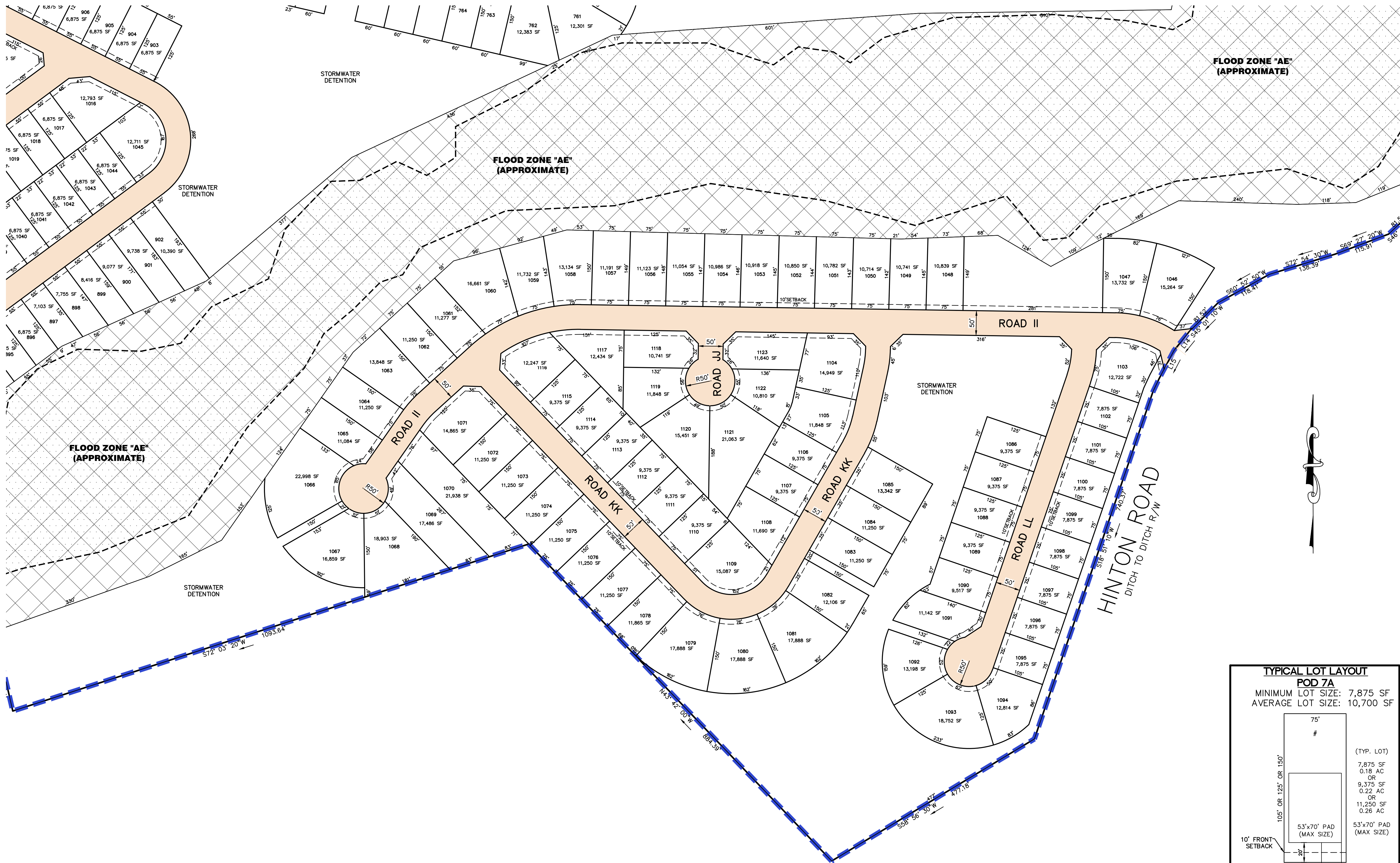
NO. OF ACRES: 664 ACRES (DEVELOPABLE - 458 ACRES)	LF OF NEW ROAD: 53,560 (PUBLIC)
NO. OF LOTS: 1,268 TOTAL	DATE: 10-31-22

ZONED: N/A

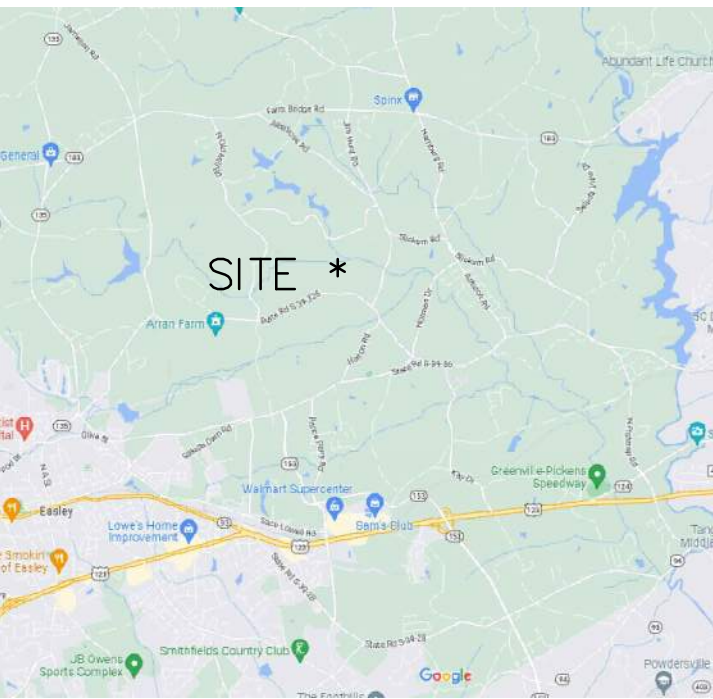


SCALE 1" = 100'

WESTRIDGE-PRELIM



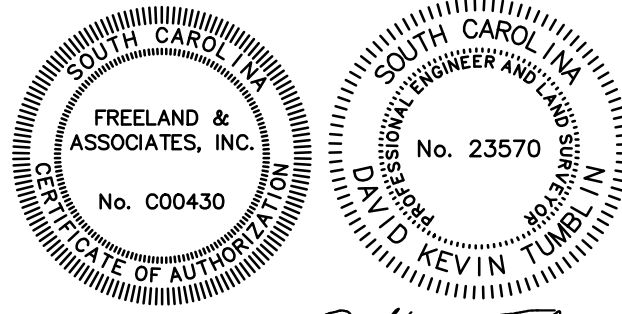
HATCH LEGEND	
UNUSABLE AREA (FLOODPLAIN & EASEMENTS)	
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POD 7A
PRELIMINARY
SHEET 7 OF 9

WESTRIDGE

ALICE MANUFACTURING CO. INC.
110 EAST COURT ST., STE 202
GREENVILLE, SC 29601
(864) 859-6323
OWNER

FREELAND & ASSOCIATES, INC.
323 WEST STONE AVE.
GREENVILLE, S.C. 29609
(864) 271-4924 FAX (864) 233-0315
SURVEYOR/ENGINEER

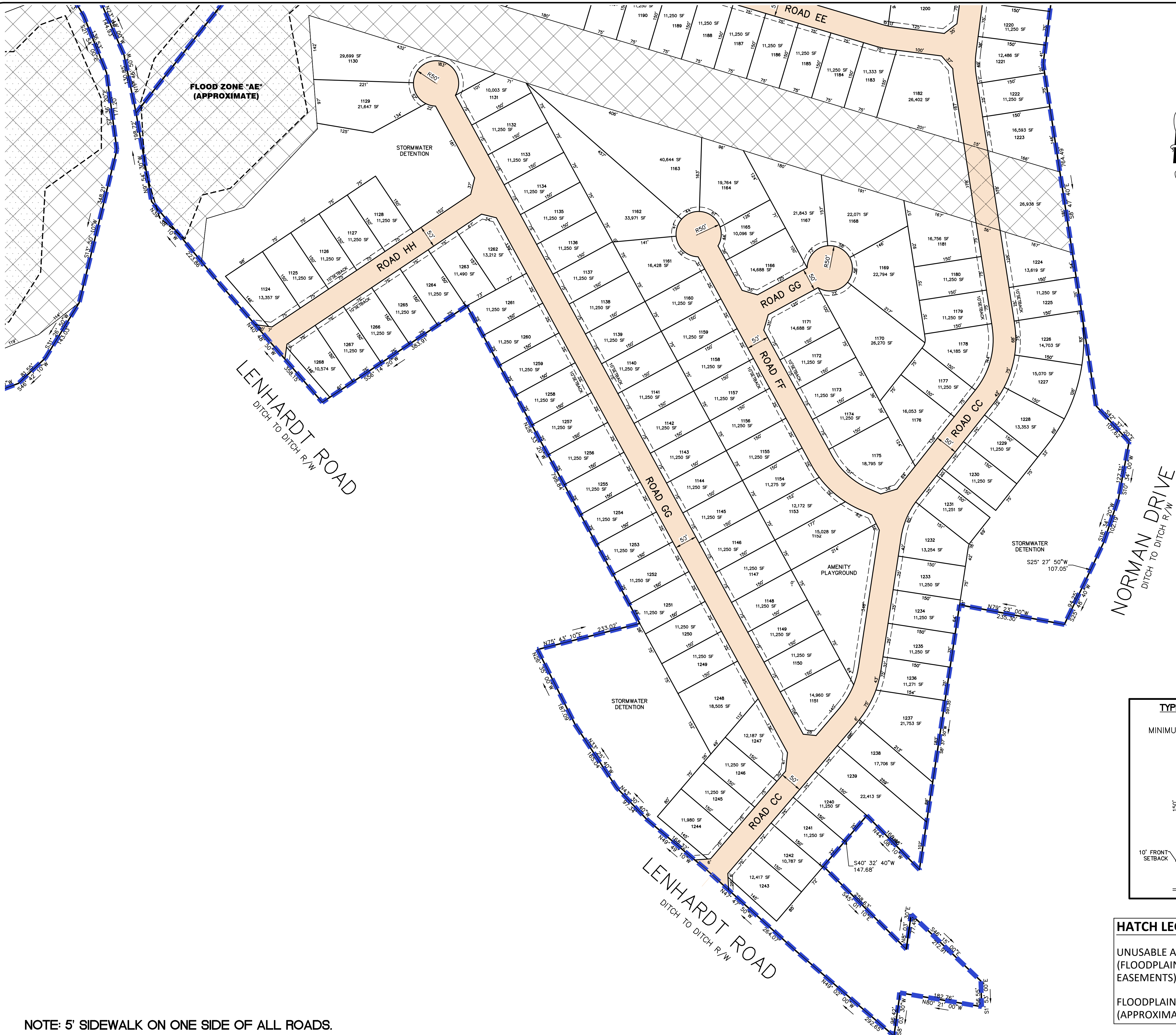
NO. OF ACRES: 664 ACRES LF OF NEW ROAD: 53,560 (PUBLIC)
(DEVELOPABLE - 458 ACRES)
NO. OF LOTS: 1,268 TOTAL DATE: 10-31 22

ZONED: N/A

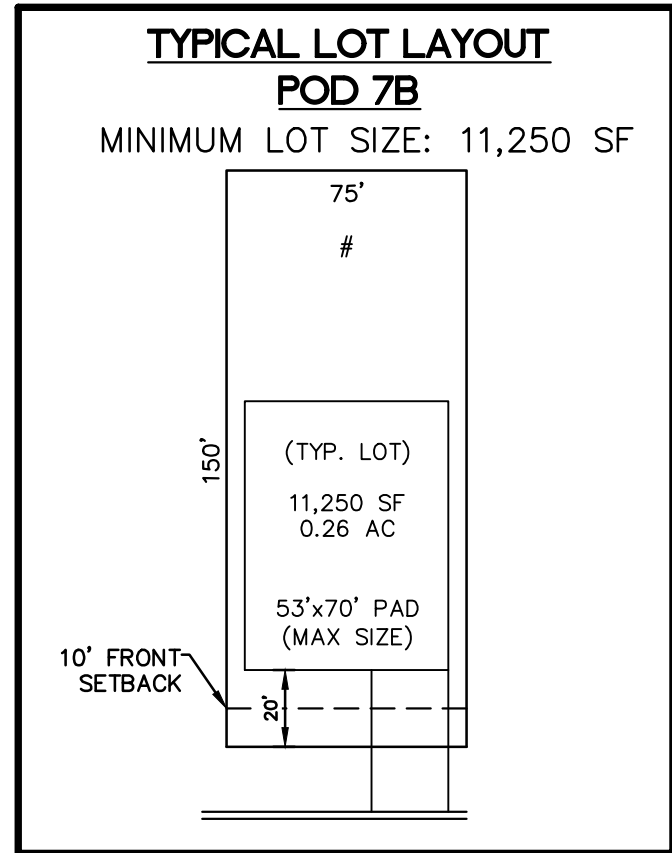
0' 100' 200'
SCALE 1" = 100'

WESTRIDGE-PRELIM

NOTE: 5' SIDEWALK ON ONE SIDE OF ALL ROADS.

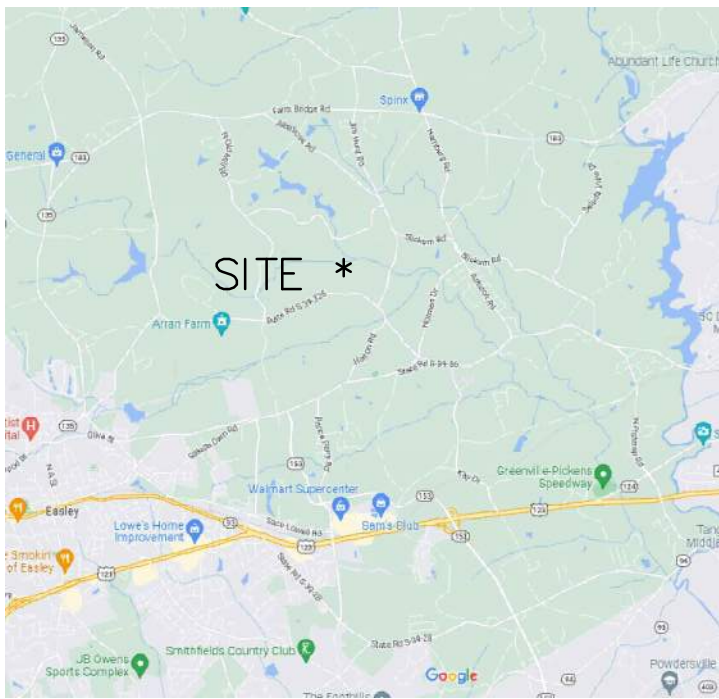


NOTE: 5' SIDEWALK ON ONE SIDE OF ALL ROADS.



HATCH LEGEND

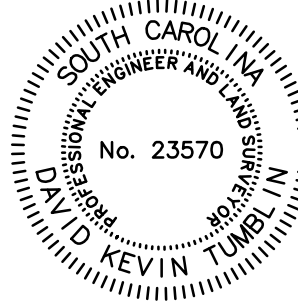
UNUSABLE AREA (FLOODPLAIN & EASEMENTS)	
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D. Kevin Tumbler

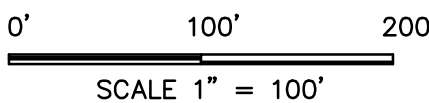
POD 7B
PRELIMINARY
SHEET 8 OF 9

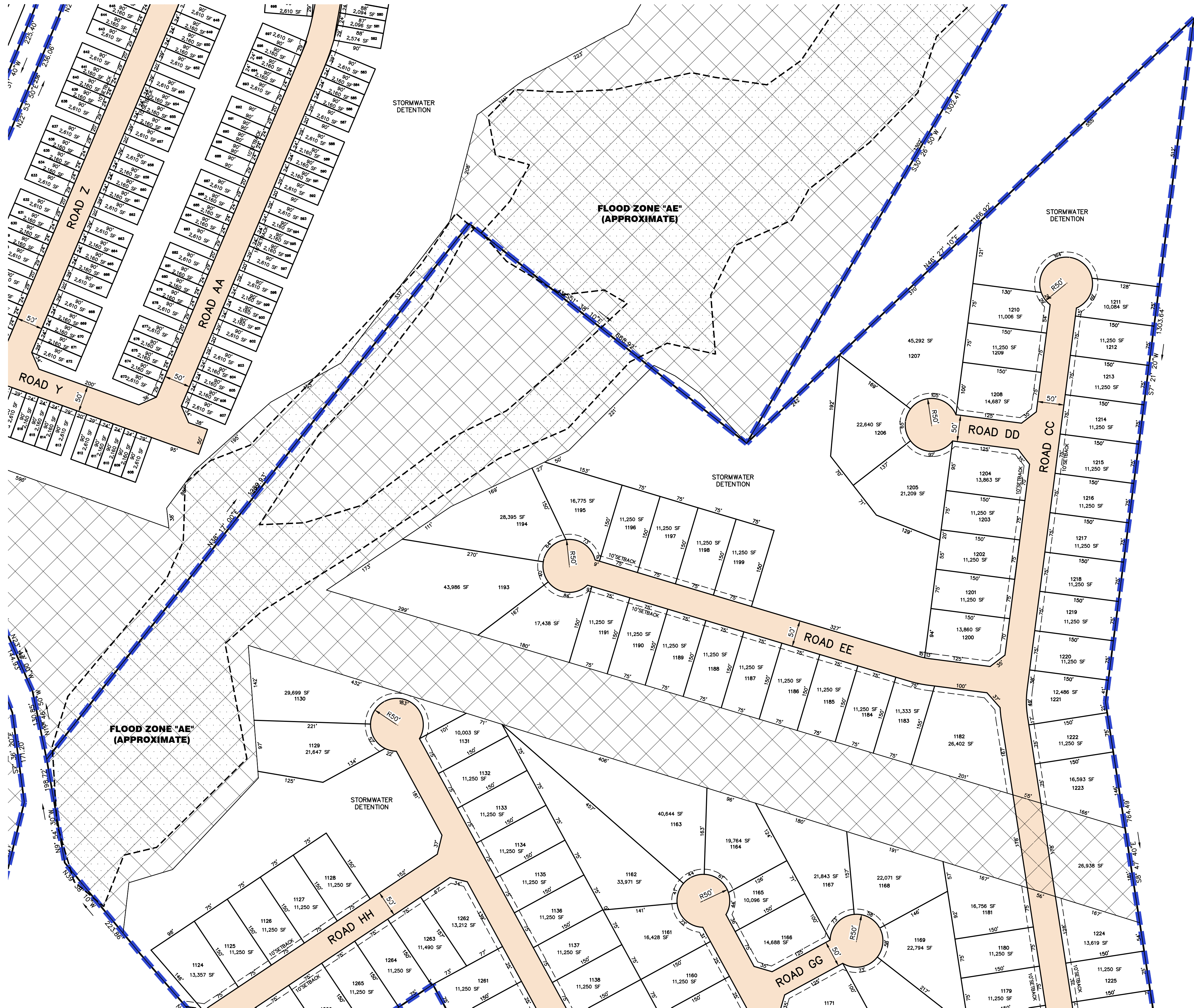
WESTRIDGE

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OWNER	SURVEYOR/ENGINEER

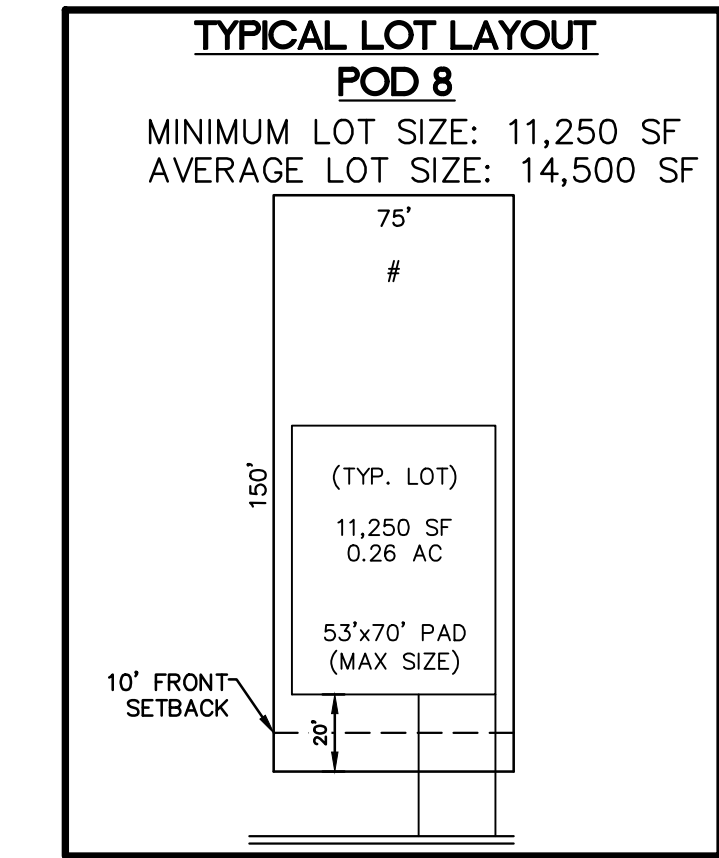
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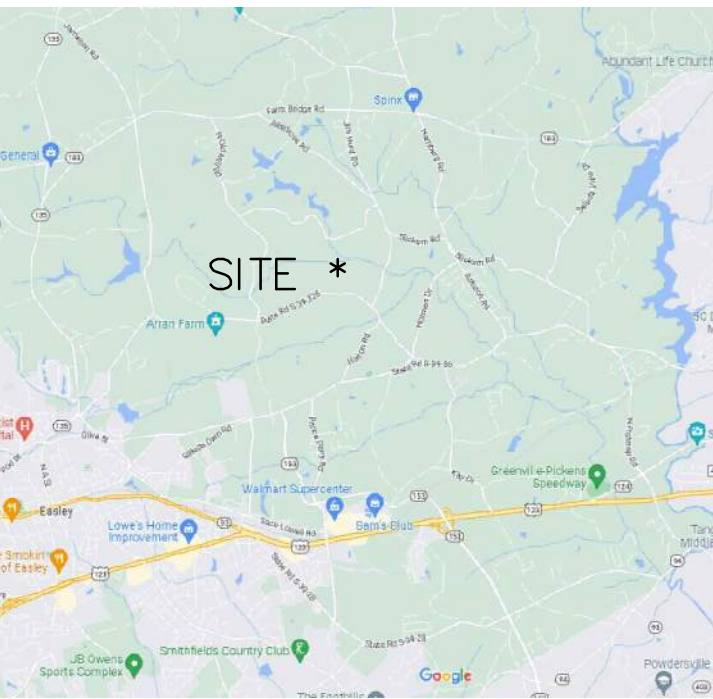




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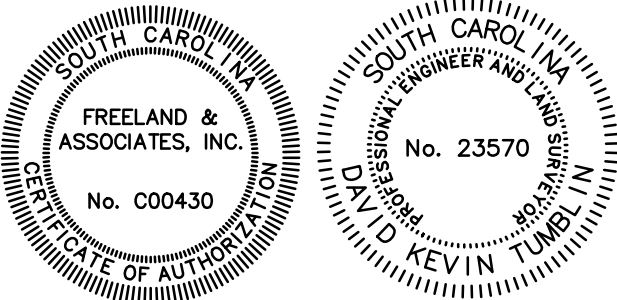
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UNUSABLE AREA (FLOODPLAIN & EASEMENTS)	
FLOODPLAIN (APPROXIMATE)	



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POD 8
PRELIMINARY
SHEET 9 OF 9

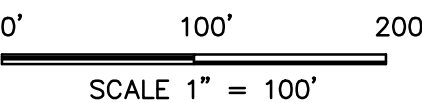
WESTRIDGE

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GREENVILLE, SC 29601
(864) 859-6323
OWNER

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(DEVELOPABLE - 458 ACRES)
NO. OF LOTS: 1,268 TOTAL DATE: 10-31-22

ZONED: N/A



SCALE 1" = 100'

WESTRIDGE-PRELIM



School District of Pickens County

Building success beyond the classroom

To Whom it May Concern,

Please accept this letter on behalf of the School District of Pickens County. The district has no objection to the proposed development of 946 single family lots and 322 townhomes that Ryan Homes is proposing to build around 1169 Lenhardt Road in the Easley Area. Given the planned timeframe of construction and rollout of each pod the zoned schools (Crosswell, Gettys, Easley) that would be affected should be able to handle any immediate increase in students at this current time.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Young'.

Josh Young
Associate Superintendent of Administration

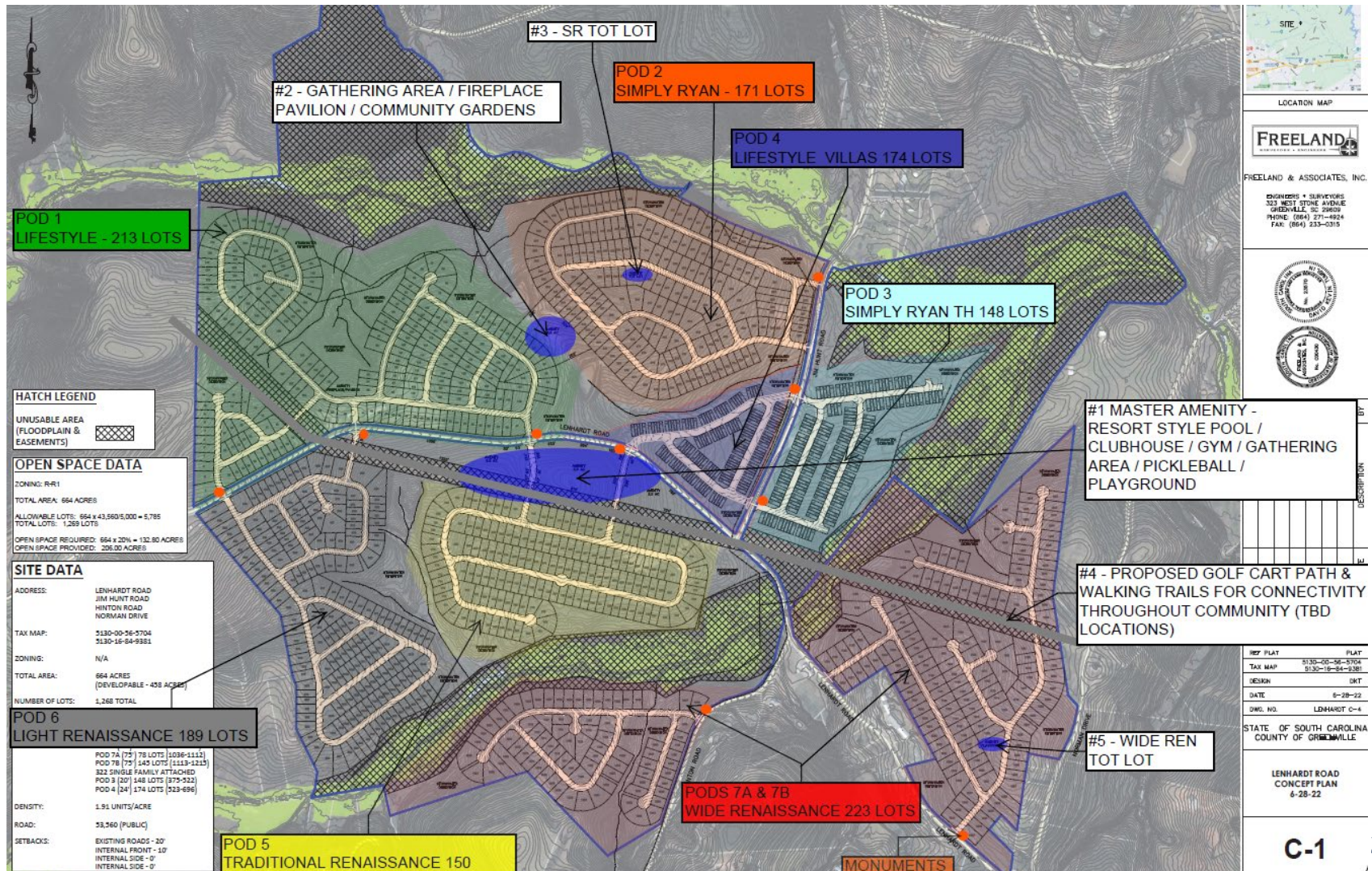


Westridge

Easley, SC

Ryan
Homes

SITE PLAN



RENAISSANCE (MOVE UP HOMEBUYER) SAMPLE OFFERING



LIFESTYLE - PATIO AND VILLA (MOVE DOWN HOMEBUYER) SAMPLE OFFERING



SIMPLY RYAN – SINGLE FAMILY AND TOWNHOME (FIRST TIME HOMEBUYER) SAMPLE OFFERING



AMENITY EXAMPLES

MASTER AMENITY AREA

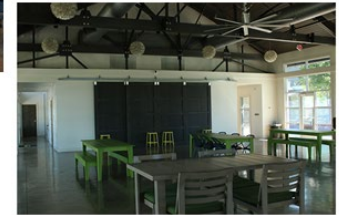
Primary Amenity



NVR - Business Use Only

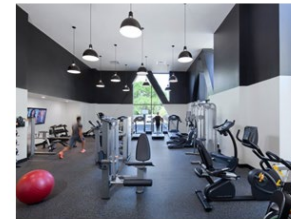


NVR - Business Use Only



NVR - Business Use Only

Exercise Room



NVR - Business Use Only

Kid Friendly Recreational Pool with Splash Area



AMENITY EXAMPLES

MASTER AMENITY AREA

Pickle/Tennis ball courts



Large Tot Lot



Rec Fields



Gathering Spaces



AMENITY EXAMPLES

SECONDARY AMENITIES

Covered Pavilion and Fireplace



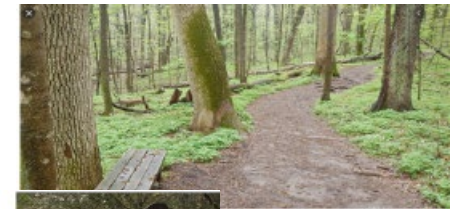
Community Gardens



Dog Park with Shaded Seating



Walking Trails



Pump Park



WESTRIDGE

SITE DATA

ADDRESS: LENHARDT ROAD
JIM HUNT ROAD
HINTON ROAD
NORMAN DRIVE

TAX MAP: 5130-00-56-5704
5130-16-84-9381
5130-16-92-4623

LOT COUNT: 1,268 TOTAL

946 SFD
POD 1 (55') 213 LOTS (1-213)
POD 2 (55') 171 LOTS (214-384)
POD 5 (60') 150 LOTS (707-856)
POD 6 (55') 189 LOTS (857-1045)
POD 7A (75') 78 LOTS (1046-1123)
POD 7B (75') 145 LOTS (1124-1268)

322 SFA
POD 3 (20') 148 LOTS (385-532)
POD 4 (24') 174 LOTS (533-706)



- POD 1
- POD 2
- POD 3
- POD 4
- POD 5
- POD 6
- POD 7A
- POD 7B

- AMENITY AREA
- WALKING TRAILS
- DETENTION AREA

Kevin Tumblin

From: Rodney Robinson <RodneyR@co.pickens.sc.us>
Sent: Wednesday, November 09, 2022 2:09 PM
To: Kevin Tumblin
Subject: RE: Westridge (Lenhardt Road)

Kevin,

From the preliminary meeting and discussions, it looks like Lenhardt Rd would need to be upgraded to handle the increase in traffic from the development. That section of Lenhardt likely needs repaving. As we discussed in the meeting, the size of the development pods would require turn lanes based on the UDSO requirements. But with as many entrances as there will be, seems to be more appropriate to widen the road. As for Jim Hunt and Hinton, I'm not sure if upgrades would be needed for them...may just be turn lanes. We can discuss further once the TIS is complete.

Thanks,



RODNEY ROBINSON
ENGINEERING DEPARTMENT
OFFICE 864-898-5966
CELL 864-506-5272
RODNEYR@CO.PICKENS.SC.US

From: Kevin Tumblin [mailto:KTumblin@freelandsc.com]
Sent: Wednesday, November 9, 2022 1:44 PM
To: Rodney Robinson
Subject: Westridge (Lenhardt Raod)

Email Security Warning

THE FOLLOWING MESSAGE WAS SENT FROM AN EXTERNAL E-MAIL ADDRESS.
EXERCISE EXTREME CAUTION WHEN OPENING ATTACHMENTS, CLICKING LINKS, OR
EXCHANGING INFORMATION.

Rodney,

See #6 below in regards to this project. Let me know if you have any additional concerns before the planning commission meeting. I checked on the SCDOT website and it looks like this section of Lenhardt Road is a Pickens county road. We'll certainly cooperate with you guys to get what you need. Jim Hunt is a county road it appears. Same with Hinton Road. So again, we're going to get a