



AGENDA
PLANNING AND ZONING MEETING
Norwalk City Hall, 705 North Ave
Monday, November 13, 2017
5:45 P.M.

1. Call meeting to order at 5:45 P.M.
2. Approval of Agenda
3. Approval of Minutes
 - a. October 9, 2017
 - b. October 23, 2017
4. Chairperson – Welcome of Guests
5. Public Comment – 3-minute limit for items not on the agenda (No action taken)
6. New Business
 - a. Public hearing and consideration of a PUD zoning amendment to rezone property on the north side of Colonial Circle from TC Town Center Commercial to R-3 Medium Density Residential.
 - b. Public hearing and consideration of a PUD zoning amendment to rezone property on the south side of Colonial Circle from TC Town Center Commercial to R-3 Medium Density Residential.
 - c. Request from United Properties to review the grading plan for Lot 1 of Marketplace at Echo Valley Plat 2
 - d. Request from Kruse Construction LLC to approve the final plat for Timber View Plat 2.
 - e. Request from Diligent Warrior Run LLC to approve the final plat for Warrior Run Estates Plat 2.
 - f. Request from Clark Development Corp LLC to approve the site plan for Sunset Corner.
 - g. Request from McDonald's USA, LLC to approve the site plan amendment McDonald's Restaurant site located at 2901 Sunset Drive
 - h. Review sign ordinance language in relation to project finance signs
7. City Council Update – Stephanie Riva, Planning and Zoning Commission Liaison
8. Economic Development Update – Hollie Askey, Economic Development Director
9. Future Business Items
 - a. Stark Property
 - b. North Shore Preliminary Plat
 - c. Farms of Holland Plat 3 Final Plat
 - d. Private Street Code Language
 - e. Affordable Housing Research
10. Next Meeting Date: November 27, 2017
11. Adjournment

REGULAR NORWALK PLANNING AND ZONING MEETING 10-09-2017

Call to order

The regular meeting of the Norwalk Planning and Zoning Commission was held at the Norwalk City Hall, 705 North Avenue, Monday, October 09, 2017. The meeting was called to order at 5:45 p.m. by Chairperson Judy McConnell. Those present at roll call were Judy McConnell, Donna Grant, Barbara Belizzi, John Fraser, Elizabeth Thompson, and Brandon Foldes. Absent: Jim Huse.

Staff present included: Luke Parris, Community Development Director, Laura Staples, Community Development Assistant and Elliot Klimowski, Intern.

Approval of Agenda – 17-88

Motion by Fraser and seconded by Thompson to approve the agenda. Approved 6-0.

Approval of Minutes – 17-89

Motion by Fraser and seconded by Thompson to approve the minutes from the September 25th, 2017 meeting. Approved 6-0.

Chairperson McConnell welcomed the 8 guests present. With no one wishing to discuss matters not on the agenda, the business portion of the meeting was opened.

New Business

Request from Diligent Warrior Run, LLC to approve the preliminary plat and site plan for the Greens at Warrior Run Plat 1 –17-90

This request from Diligent would create 39 residential lots and street right-of-way for E. 28th Street in the Warrior Run development east of town located on E. 27th Street. This would be a townhome development, R-3 and R-4 zoning. Parkland is not currently designated for this plat and that causes concern for both Fraser and McConnell. Paul Claussen from Civil Engineering Consultants, 2400 86th Street Des Moines, IA spoke on behalf of Diligent Warrior Run Plat 1. Claussen has explained the City's concerns regarding parkland dedication to Diligent Warrior Run and Diligent has been working with Luke Parris towards figuring out an agreement. Parris explained that an agreement has not been locked down at present but it will be a condition recommended by Staff.

Belizzi motioned to approve the request by Diligent Warrior Run, LLC with staff recommendations. Grant seconded.
Approved 6 -0

Jim Huse arrived at 5:51 p.m.

Request from Platinum Homes, LLC to approve the preliminary plat for Arbor Glynn Plat 4 —17-91

This request would create 15 residential lots and private street right-of-way for Marie Avenue off of Pine Avenue. Marie Avenue will be a private road after approval of the Final Plat. P&Z Commissioners inquire about the potential issue of using private streets for right-of-way access. Parris does not see it as creating an issue. Brad Cooper, Cooper Crawford and Associates, LLC, 475 S. 50th Street, West Des Moines, IA approached the dais and spoke. Cooper agreed with Parris in regards to not foresee the travel on the private street as an issue. There is no parkland designated for this plat. Cooper also stated that the parkland dedication would be addressed prior to final platting. Michael Grubb, 326 Elm Avenue approached the dais and spoke to the concern of water retention and explained that 40 feet of his backyard is being used to detain water due to a shale pile that created a swale and has become more of an issue with each passing year. Grubb would like action taken as well as a proactive approach to correct issues with this development so this will not cause issues for others like he has encountered. Cooper addressed Grubbs concern and explained that a different swale will be created which should correct the watershed issue and direct the flow to the water detention basin area in the Arbor Glynn development. Christy Grubb,

326 Elm Avenue approached the dais to express the concern of the water in her backyard not only in the summer but also in the winter, this has occurred for the 7 years of ownership and according to the Grubbs, the issue is their responsibility. Parris explained the review process that takes place presently is meant to uncover issues before the development is to start, unfortunately there have been cases where dirt has been moved before an item was brought to the City for review and problems have been created because of that. David Broomhall, 311 Marie Avenue, Norwalk spoke regarding the same issue.

Grant made a motion to approve with the concentration kept on water run off as is. Belizzi seconded. McConnell was not in agreement with the approval due to the water drainage and grading issue that continues to be a problem for the residents in the surrounding development.

6-1 approved.

Future Business Items-

Stark Property

Platting and site plan for Certified Industrial Site

Sunset Crest Platting & Site Plans

Sunset Corner Site Plan

North Shore Preliminary Plat

Warrior Run Plat 2 Final Plat

Rolling Green Plat 6 Final Plat

Orchard Trail Plat 5 Final Plat

Farms of Holland Plat 3 Final Plat

Affordable Housing Research

City Council Update-

No Council update.

Next meeting Date – October 23, 2017.

Adjournment – 17-92

Motion by Grant and seconded by Huse to adjourn the meeting at 6:53 p.m. Approved 7 -0.

Judy McConnell, Chairperson

Luke Parris, Community Development Director

REGULAR NORWALK PLANNING AND ZONING MEETING 10-23-2017

Call to order

The regular meeting of the Norwalk Planning and Zoning Commission was held at the Norwalk City Hall, 705 North Avenue, Monday, October 23, 2017. The meeting was called to order at 5:45 p.m. by Chairperson Judy McConnell. Those present at roll call were Jim Huse, Judy McConnell, Elizabeth Thompson, Brandon Foldes, John Fraser, and Barbara Belizzi. Absent: Donna Grant

Staff present included: Luke Parris, Community Development Director, Nancy Kuhl, Parks and Recreation Director, Hollie Askey, Economic Development Director, Elliot Klimowski, Intern and Laura Staples, Assistant Community Development Coordinator.

Donna Grant arrived at 5:46 p.m.

Approval of Agenda – 17-93

Motion by Foldes and seconded by Bellizzi to approve the agenda. Approved 7-0.

Approval of Minutes – 17-94

Staff noted that due to issues with the recording that the minutes for October 9, 2017 were not ready and that they would be presented at the November 13, 2017 meeting for approval.

Chairperson McConnell welcomed the 10 guests present. With no one wishing to discuss matters not on the agenda, the business portion of the meeting was opened.

New Business

Presentation – Draft Norwalk Park Master Plan – Tim West, PLA, LEED AP, Landscape Architect with Snyder & Associates – 17-95

Tim West, Snyder & Associates, presented information on the draft Norwalk Park Master Plan.

Public hearing and consideration of a zoning amendment to rezone property along W North Avenue, west of the City Water Tower, from A-R to R-1 Single-Family Residential – 17-96

This item was a public hearing and consideration of a request from the Norwalk Community School District to approve the rezoning of the new elementary school site, from A-R to R-1.

Chair McConnell opened the public hearing at 6:23 p.m.

Staff presented the details of the request, which included the rezoning of approximately 20 acres west of the City water tower to R-1 to allow for the construction of the new elementary school.

Chair McConnell closed the public hearing at 6:28 p.m.

Chair McConnell called for a motion.

Bellizzi motioned to approve the request per staff recommendations and Huse seconded that motion. 7-0 approved.

Public hearing and consideration of a PUD Amendment request to change zoning of property around Colonial Circle from TC - Town Center to R-3 Medium Density Residential – 17-97

This item was a public hearing and consideration of a request from the Hubbell Realty to consider an amendment to the Legacy PUD to rezone a parcel on the north side of Colonial Circle from TC to R-3 and to rezone a parcel on the south side of Colonial Circle from TC to R-3.

Chair McConnell opened the public hearing at 6:29 p.m.

Staff presented the details of the request, which included the rezoning of northern parcel to allow for a continuation of the Brownstones at the Legacy townhomes. The rezoning of the southern parcel was to allow for bi-attached townhomes. The request for the southern parcel included unique bulk regulations for setbacks to allow for a public street and public right-of-way through the center of the development. Similar style development had utilized private streets and Hubbell proposed a public street as an option to address community concerns regarding private streets.

Foldes asked about the appropriateness of changing from a commercial use to more residential uses. Staff noted that they have received many inquiries about commercial development in Norwalk over the past 12 months and received little interest in development on Colonial Circle.

Brad Brockman, McClure Engineering Company, presented on behalf of the applicant. Mr. Brockman echoed the concerns on the viability of commercial development in the area and noted that Hubbell had been working on finding the right uses to continue development in the Legacy.

Richard Glade, 612 Sawgrass Drive, spoke against the project, noting that the public street should be wider and that it would not be fair to existing homeowners on Sawgrass that live on a private street but still pay the same taxes.

Chris Turk, 644 Nantucket Place, asked about the mixed use option for development in the area. Staff noted that the current TC zoning allows for mixed use, but the requested change would not.

Grant left at 6:54 p.m.

Michelle Dooley, 741 Sawgrass Drive, spoke about the current bad traffic on Sawgrass Drive. Ms. Dooley stated that Hubbell should keep their promise of commercial development around Colonial Circle.

Tara Katschman, 616 Nantucket Place, asked about the process of submitting a protest. Staff noted that a protest just needs to be submitted prior to the City Council consideration of the item.

Chair McConnell closed the public hearing at 7:03 p.m.

Foldes mentioned concerns about the change in use and potential loss of commercial ground within the City.

McConnell called for a motion.

No motion was made. The item failed for lack of motion.

City Council Update-

Councilmember Riva provided an update on several City Council topics.

Bellizzi left at 7:13 p.m.

Economic Development Update

Hollie Askey, Economic Development Director, provide an update on current Economic Development projects

Future Business Items-

Stark Property
Sunset Crest Platting
Sunset Corner Site Plan
North Shore Preliminary Plat
Warrior Run Plat 2 Final Plat
Timber View Plat 2 Final Plat
Farms of Holland Plat 3 Final Plat
Affordable Housing Research

Next meeting Date – November 13, 2017.

Adjournment – 17-98

Motion by Frazer and seconded by Huse to adjourn the meeting at 7:28 p.m. Approved 5 -0.

Judy McConnell, Chairperson

Luke Parris, Community Development Director



**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 6A
For Meeting of 11.13.2017

ITEM TITLE: Public hearing and consideration of a PUD zoning amendment to rezone property on the north side of Colonial Circle from TC Town Center Commercial to R-3 Medium Density Residential.

CONTACT PERSON: Luke Parris, AICP – Community Development Director

SUMMARY EXPLANATION:

The Legacy development was originally approved as a PUD in May of 2001. The original Master Plan for the development identified the construction of Colonial Circle and the adjacent properties as a Town Center concept, with primarily commercial uses and opportunities for second story residential. In 2002, an amendment was approved to the Legacy PUD that allowed for the development of the Legacy Clubhouse at the corner of Colonial Circle & Lexington Drive, and for the development of townhomes along Lexington Drive and Sawgrass. In 2008, the City approved another amendment to the Legacy PUD that delineated 5 separate Town Center commercial lots on the interior of the Colonial Circle with an opportunity for City park space in the center.

The status of the area today is Colonial Circle has been construction on all sides except for the southern connection. The Unity Point Clinic was built on the northeast interior of Colonial Circle in 2009. To the northeast of the Unity Point Clinic is a multi-tenant office building that was built in 2000. The Legacy Clubhouse was constructed at the corner of Lexington Drive and Colonial Circle. Townhouse units were built on Sawgrass, to the west and south of the Legacy Clubhouse.

The proposed amendment requests that the undeveloped land at the northeast corner of Lexington Drive and Colonial Circle be allowed to develop as a continuation of the Brownstones at the Legacy. This area is currently in Parcel 2 and identified as Town Center Commercial. The change would remove the land from Parcel 2 and add it into Parcel 12. Parcel 12 is the area designated for the R-3 Brownstones at the Legacy development. This change would allow for a continuation of Brownstone style townhomes that would front to Colonial Circle and Lexington Drive. In addition to the allowed use change, the amendment also proposes a 25' building setback from Lexington Drive right-of-way and 15' building setback from Colonial Circle right-of-way. The typical building setback for R-3 development is 30' from the public right-of-way.

The City's Comprehensive Plan and the updated 2016 Future Land Use Plan are consistent with the existing Legacy PUD and identify these areas as potential commercial development. The Future Land Use Plan identifies adjacent areas as High Density Residential. The Future Land Use Plan identifies potential development areas with a broad brush approach and it is reasonable to consider if adjacent uses would be compatible in the proposed area. In this instance, the Future Land Use Plan took the development plan for the Legacy and literally applied to as a proposed land use.

ALTERNATIVES:

1. Recommend approval of the rezoning to the City Council
2. Recommend approval of the rezoning to the City Council with conditions
3. Take no action at this time.

STAFF ANALYSIS AND RECOMMENDATION:

Review of the Comprehensive Plan and Future Land Use initially identifies an inconsistency with the Future Land Use Plan showing Commercial and the property owner requesting a change to residential development. However, this is a function of the Future Land Use Plan utilizing the Legacy PUD as a basis for land use classification.

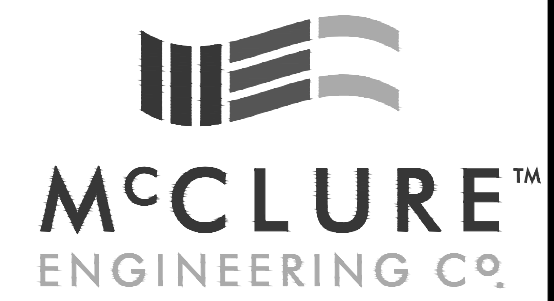
Hubbell Realty, current owners of the land, has expressed difficulty in developing the area as the intended Town Center Commercial concept and initiated the PUD amendment request to change to a residential product. While the request does not match exactly with Future Land Use Plan, it is consistent with the current residential developments within the Legacy.

Staff does not have concerns regarding the reduced front setback. Staff opinion is that the 25' setback from Lexington Drive will preserve the current street corridor design while the 15' setback from Colonial Circle will help create a better interaction between the townhomes and the sidewalks and streets in the ROW.

Staff recommends approval of the PUD amendment request.



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| Concept Summary | |
| Total Area | = 2.55 Acres |
| Total Units | = 35 Units |
| Density | = 13.33 DU/Ac. |
| Parking Summary | |
| Garages | = 35 x 2 stalls = 70 |
| Driveway | = 13 x 2 stalls = 26 |
| Guest Parking | = 13 |
| Total | = 109 Parking Spaces (3.1 per Unit) |

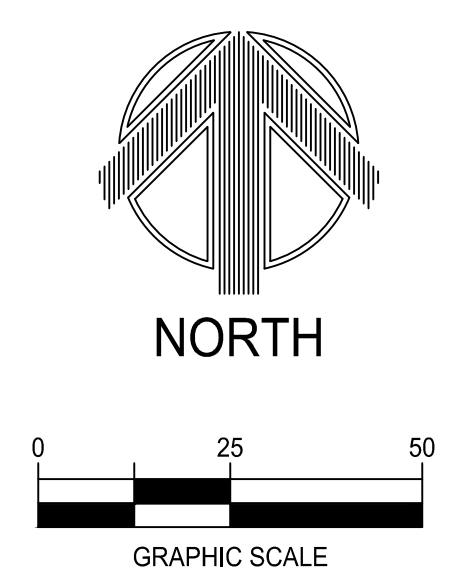


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Concept 1



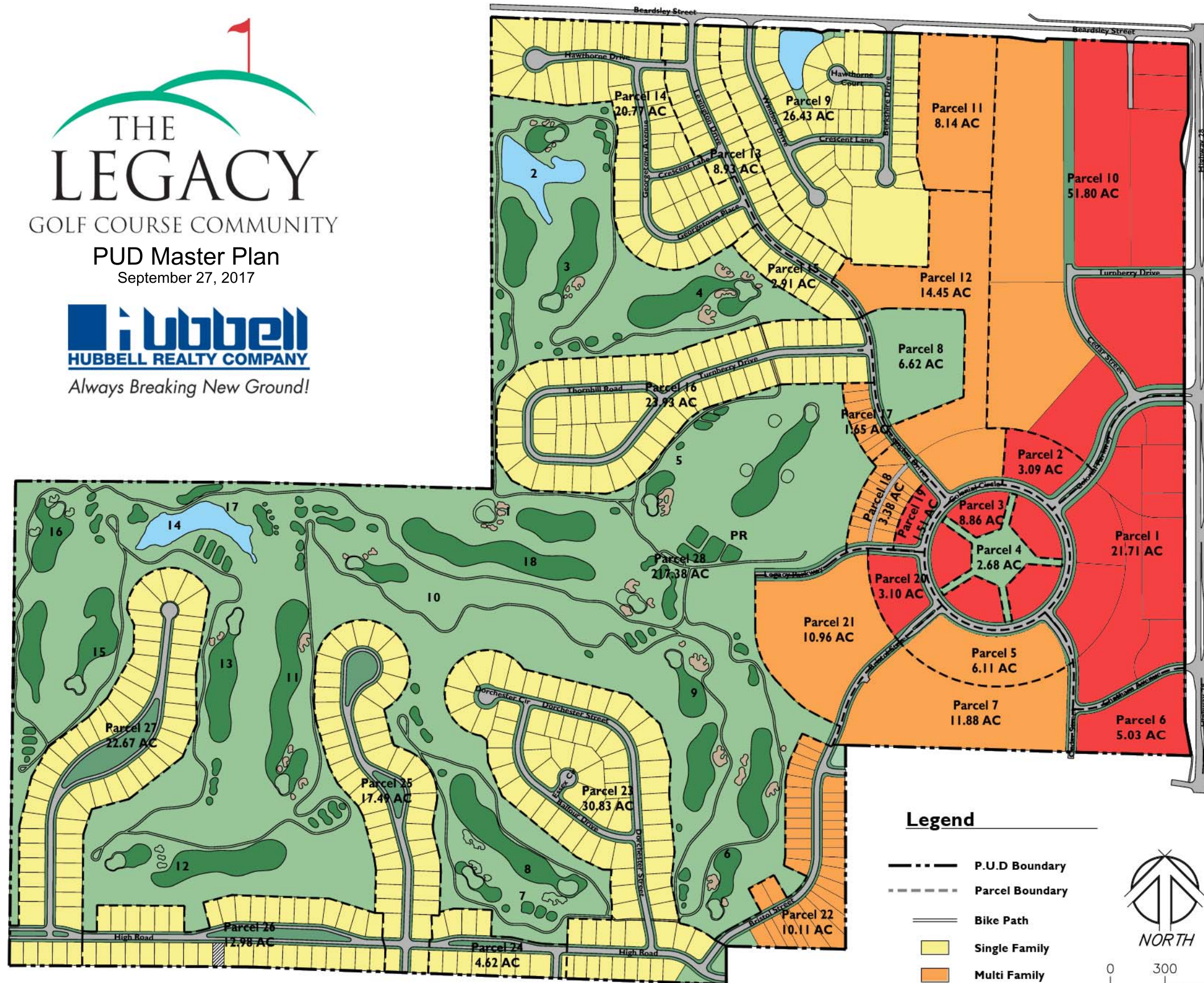
Legacy Brownstones Addition
Colonial Meadows Plat 5
Lot 2
Norwalk, IA
March 20, 2017

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| REVISIONS | |
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| ENGINEER C Smith | DRAWN BY C Smith |
| CHECKED BY | FIELD BOOK NO. |
| DRAWING NO. CP-01 | SHEET NO. 01 / 01 |

THE
LEGACY
GOLF COURSE COMMUNITY
PUD Master Plan
September 27, 2017

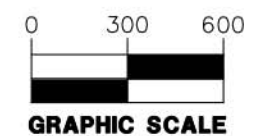


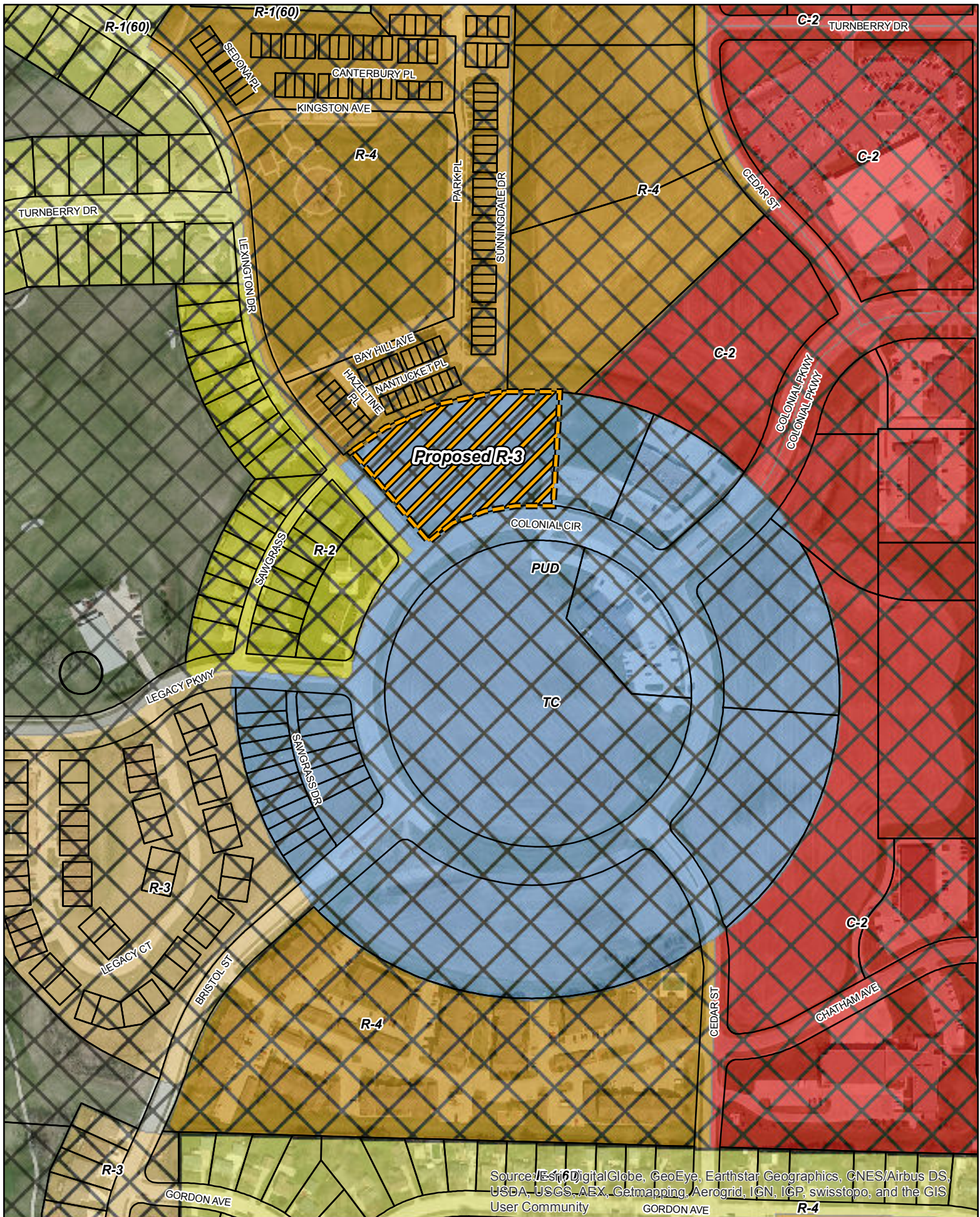
Always Breaking New Ground!



Legend

- P.U.D Boundary
- Parcel Boundary
- Bike Path
- Single Family
- Multi Family
- Commerical
- Flex Space



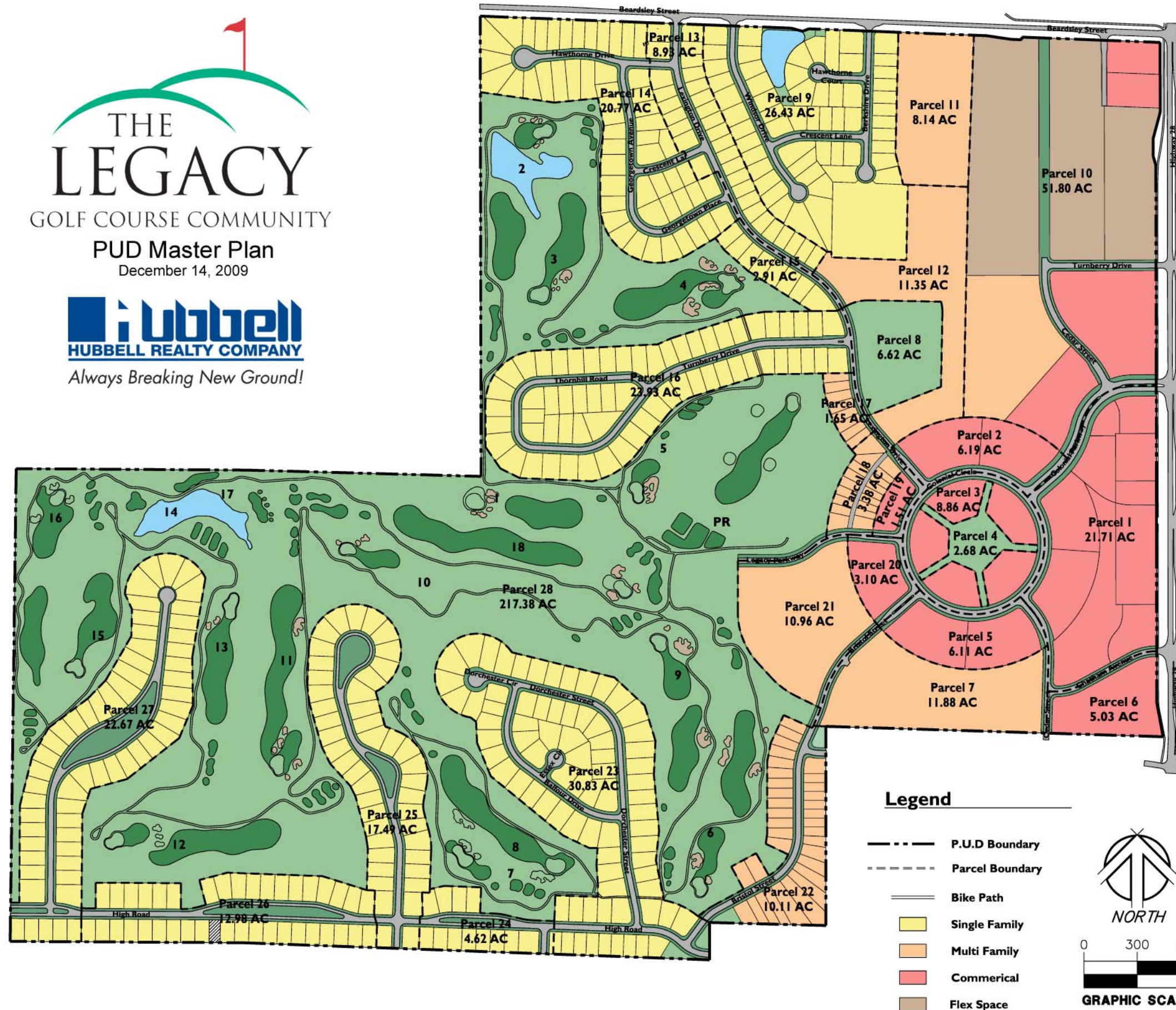


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

THE
LEGACY
GOLF COURSE COMMUNITY
PUD Master Plan
December 14, 2009

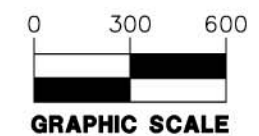


Always Breaking New Ground!



Legend

- P.U.D Boundary
- - - Parcel Boundary
- Bike Path
- Single Family
- Multi Family
- Commercial
- Flex Space





**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 6B
For Meeting of 11.13.2017

ITEM TITLE: Public hearing and consideration of a PUD zoning amendment to rezone property on the south side of Colonial Circle from TC Town Center Commercial to R-3 Medium Density Residential.

CONTACT PERSON: Luke Parris, AICP – Community Development Director

SUMMARY EXPLANATION:

The Legacy development was originally approved as a PUD in May of 2001. The original Master Plan for the development identified the construction of Colonial Circle and the adjacent properties as a Town Center concept, with primarily commercial uses and opportunities for second story residential. In 2002, an amendment was approved to the Legacy PUD that allowed for the development of the Legacy Clubhouse at the corner of Colonial Circle & Lexington Drive, and for the development of townhomes along Lexington Drive and Sawgrass. In 2008, the City approved another amendment to the Legacy PUD that delineated 5 separate Town Center commercial lots on the interior of the Colonial Circle with an opportunity for City park space in the center.

The status of the area today is Colonial Circle has been construction on all sides except for the southern connection. The Unity Point Clinic was built on the northeast interior of Colonial Circle in 2009. Northeast of the Unity Point Clinic is a multi-tenant office building that was built in 2000. The Legacy Clubhouse was constructed at the corner of Lexington Drive and Colonial Circle. Townhouse units were built on Sawgrass, to the west and south of the Legacy Clubhouse.

The proposed amendment is related to undeveloped ground to the south of Colonial Circle, along the currently undeveloped portion of the street, just north of the High Pointe Apartments between Bristol Street and Cedar Street. This area is currently identified as Parcel 5 for Town Center Commercial. The change would remove Parcel 5 from the Town Center Commercial and create new standards for an R-3 Medium Density Townhome development. This concept would be similar to the existing Legacy Circle Villas townhomes on Sawgrass. After discussions with the City, the Developer is now proposing that the central street will be a private drive. A concept of the development is provided in the attachments. The details of the required standard changes are:

- Front setbacks for units that front to Colonial Circle would be reduced to 10 feet, as opposed to the typical 30' required by the R-3 zoning district.
- The eastern, western, and southern setbacks would be set to 25 feet.
- Northern units will have a 23.3 foot separation from the edge of the private drive.
- Southern units will have a 33 foot separation from the edge of the private drive.
- Units would require a minimum building separation of 15 feet.
- A 5' public sidewalk would be constructed on the south side of the private drive.
- An 8' trail would be continued along Colonial Circle, matching the existing trail developed to the west.
- The private drive would be 26' wide with 6" curb built to City standards of a City street.

The City's Comprehensive Plan and the updated 2016 Future Land Use Plan are consistent with the existing Legacy PUD and identify these areas as potential commercial development. The Future Land Use Plan identifies adjacent areas as High Density Residential. The Future Land Use Plan identifies potential development areas with a broad brush approach

and it is reasonable to consider if adjacent uses would be compatible in the proposed area. In this instance, the Future Land Use Plan took the development plan for the Legacy and literally applied to as a proposed land use.

ALTERNATIVES:

1. Recommend approval of the rezoning to the City Council
2. Recommend approval of the rezoning to the City Council with conditions
3. Take no action at this time.

STAFF ANALYSIS AND RECOMMENDATION:

Review of the Comprehensive Plan and Future Land Use initially identifies an inconsistency with the Future Land Use Plan showing Commercial and the property owner requesting a change to residential development. However, this is a function of the Future Land Use Plan utilizing the Legacy PUD as a basis for land use classification.

Hubbell Realty, current owners of the land, has expressed difficulty in developing the area as the intended Town Center Commercial concept and initiated the PUD amendment request to change to a residential product. While the request does not match exactly with Future Land Use Plan, it is consistent with the current residential developments within the Legacy.

Staff does not have concerns regarding the reduced front setback. Staff opinion is that the 10' setback from Colonial Circle will help create a better interaction between the townhomes and the sidewalks and streets in the ROW.

The project is now showing the internal street as a private drive. Hubbell had previously worked with City staff on a concept that would include a public ROW and public street. After discussions with staff, Hubbell has decided to propose the internal street as private. During site plan development and review, staff and Hubbell will work on strategies to discourage the use of the private drive as a through connection.

Staff recommends approval of the PUD amendment request.



building strong communities.

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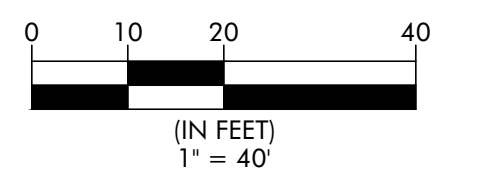
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PRELIMINARY CONCEPT EXHIBIT



NORTH

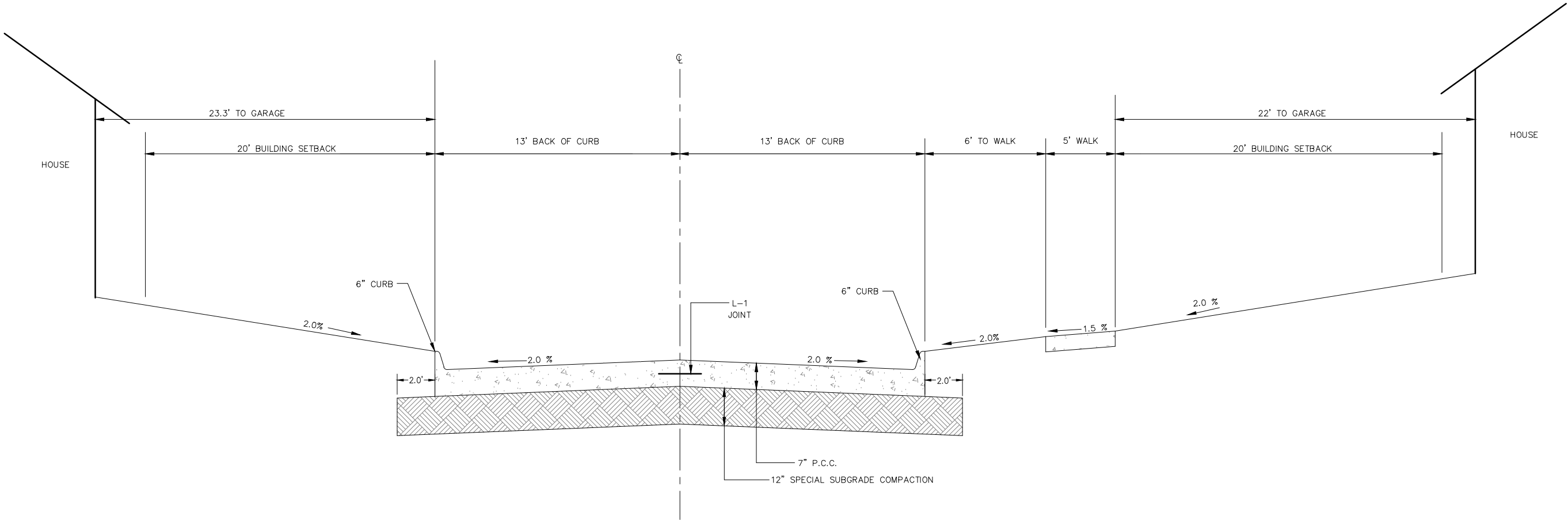


LEGACY CIRCLE VILLAS PLAT 2

NORWALK, IOWA
20217030
NOVEMBER 6, 2017

REVISIONS

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LEGACY CIRCLE VILLAS 2 - TYPICAL PAVEMENT SECTION
26' BACK TO BACK PORTLAND CEMENT CONCRETE PAVEMENT

NO SCALE

PRELIMINARY CONCEPT
EXHIBIT

LEGACY CIRCLE
VILLAS PLAT 2

NORWALK, IOWA
2021 7030
NOVEMBER 6, 2017

REVISIONS
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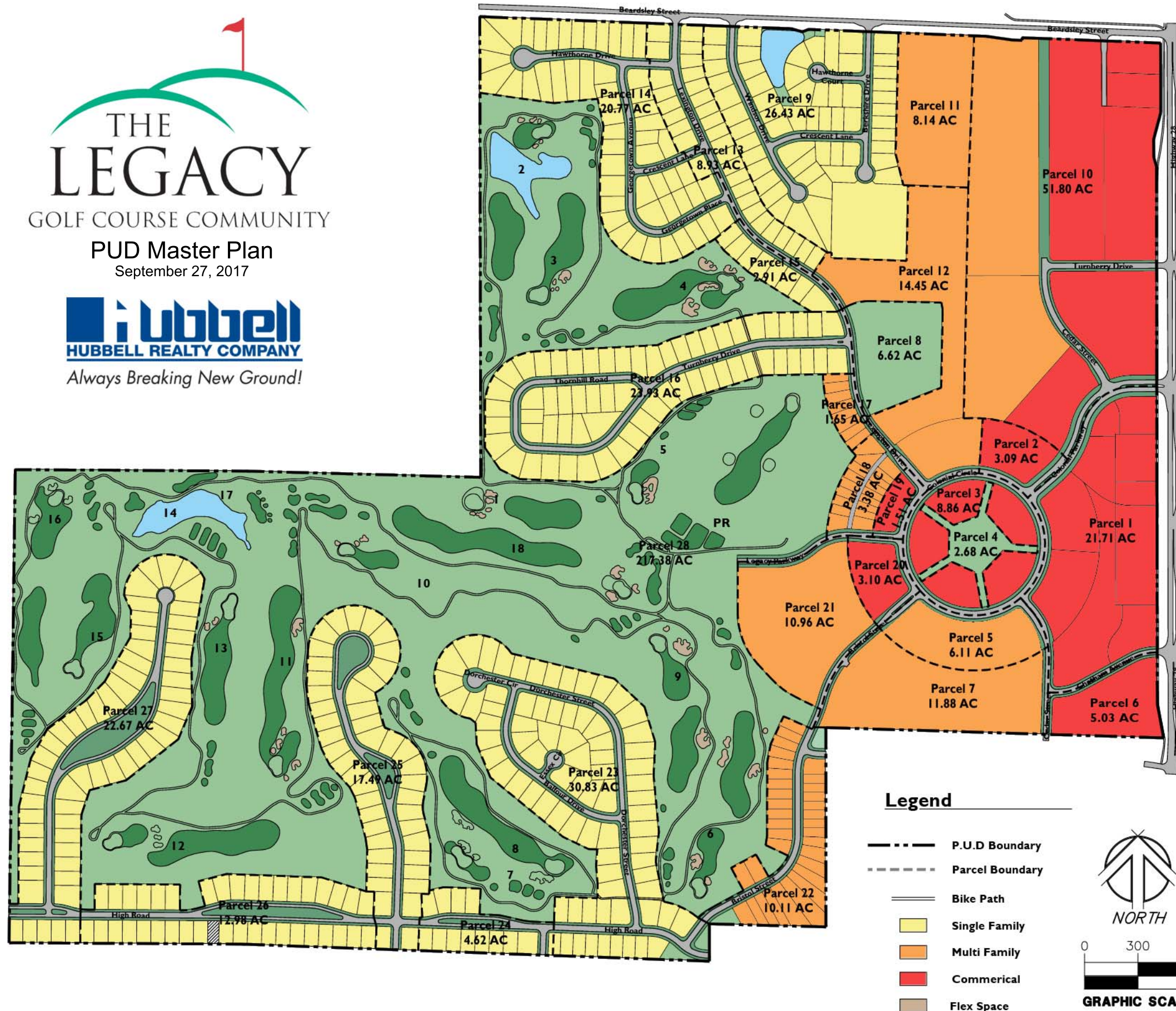
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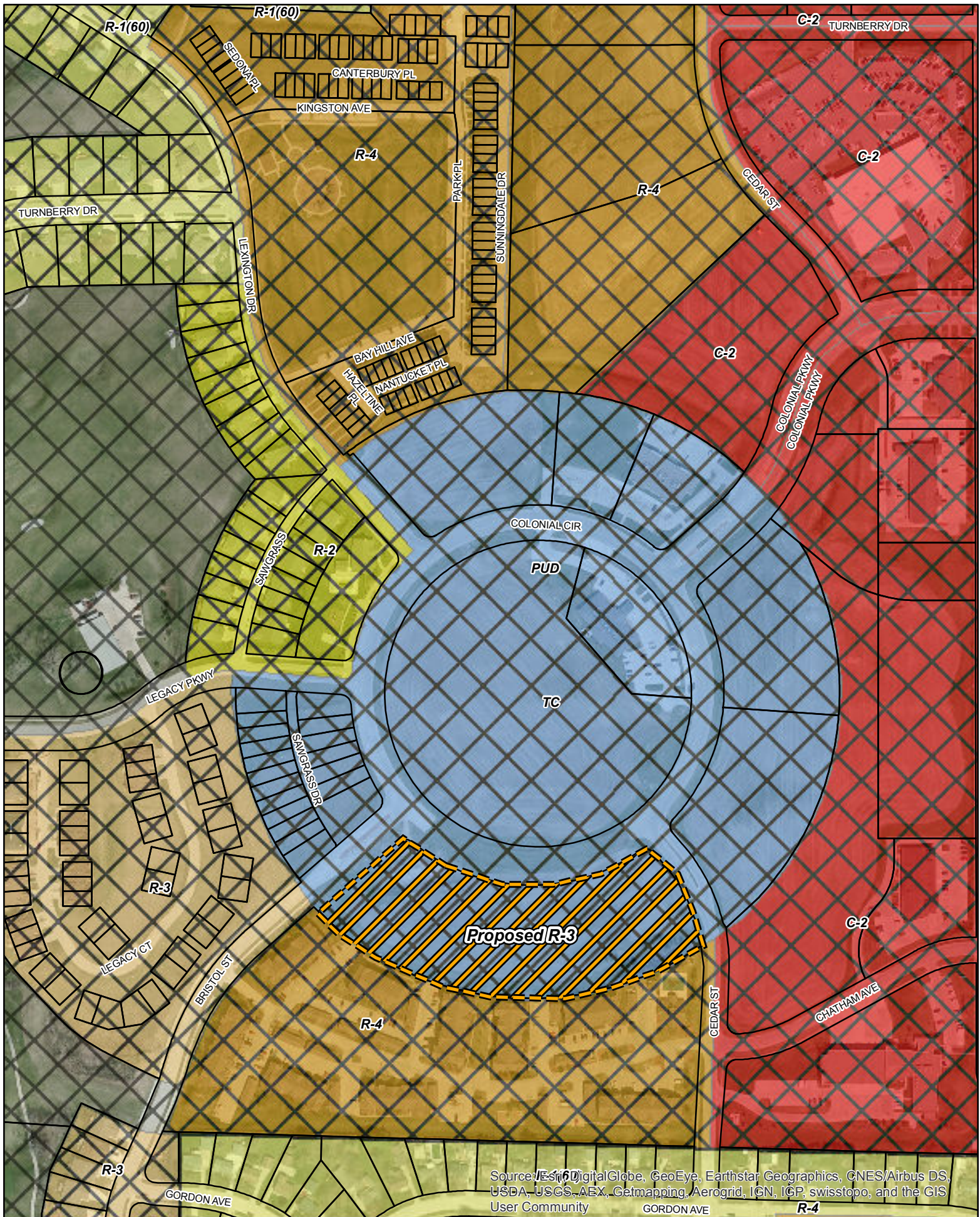
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THE
LEGACY
GOLF COURSE COMMUNITY
PUD Master Plan
September 27, 2017



Always Breaking New Ground!



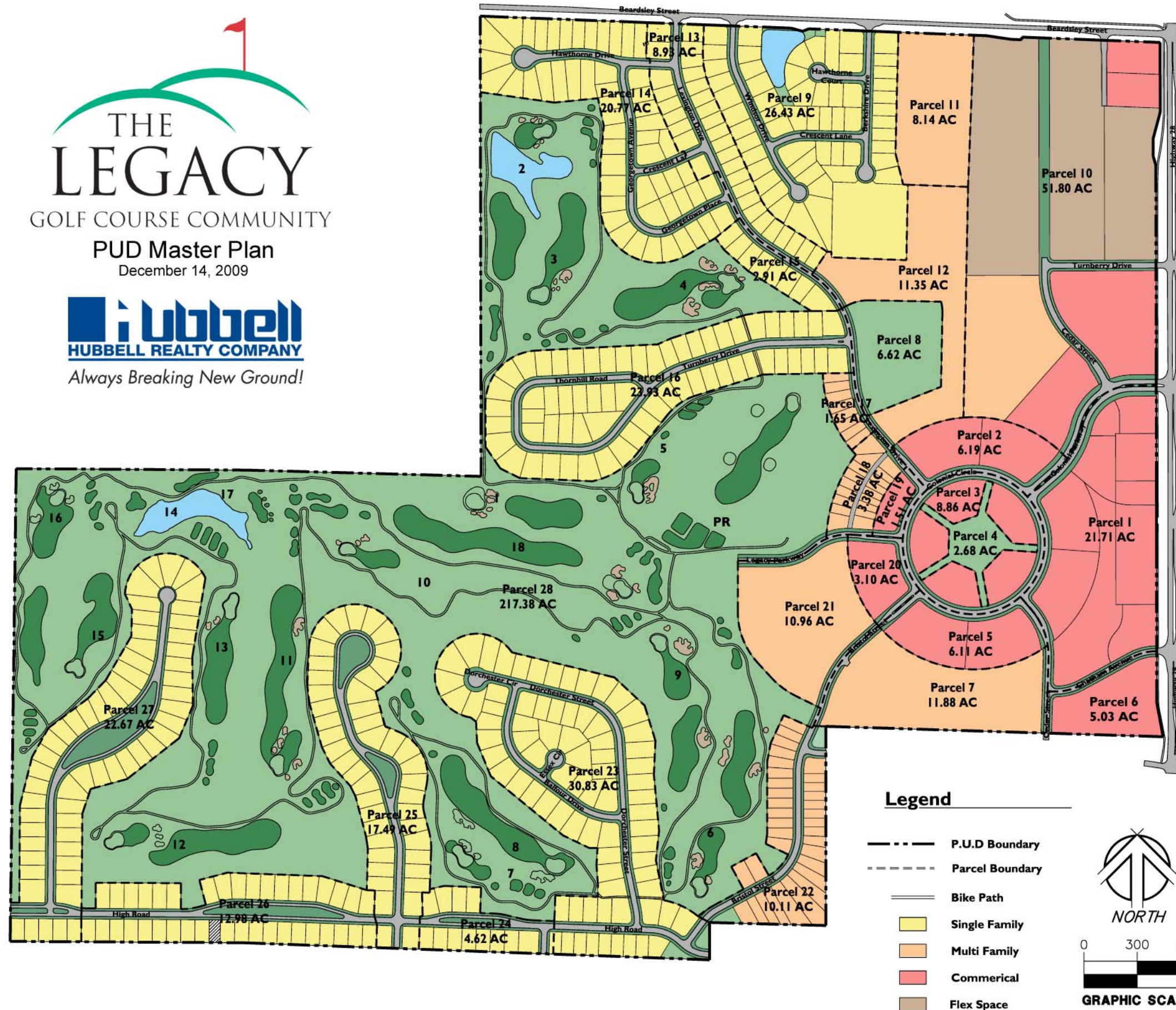


Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

THE
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GOLF COURSE COMMUNITY
PUD Master Plan
December 14, 2009

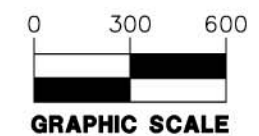


Always Breaking New Ground!



Legend

- P.U.D. Boundary
- - - Parcel Boundary
- Bike Path
- Single Family
- Multi Family
- Commercial
- Flex Space





**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 6C
For Meeting of 11.13.2017

ITEM TITLE: Request from United Properties to review the grading plan for Lot 1 of Marketplace at Echo Valley Plat 2.

CONTACT PERSON: Luke Parris, AICP – Community Development Director

APPLICANT(S): United Properties Invest Co LC Civil Design Advantage
4521 Fleur Drive, Suite C 3405 SE Crossroads Drive, Suite G
Des Moines, IA 50321 Grimes, IA 50111

GENERAL DESCRIPTION: Civil Design Advantage has submitted a grading plan on behalf of United Properties Invest Co LC for property on the east side of Marketplace Drive. The developer has requested the ability to begin site grading to establish the permanent storm water detention basin for the Marketplace at Echo Valley development, and to establish a graded pad site for future development.

The City only allows site grading in conjunction with an approved development plan or in conjunction with an approved grading plan. The developer has asked that the City approve the grading plan so that the permanent basin can be finished and the pad site created. Development of the pad site would still require City review and approval of all required platting and site plan documents.

Approval of the grading plan would allow the developer to start site grading as soon as possible.

STAFF ANALYSIS: The grading plan shows proposed grading of the permanent detention basin on along the eastern boundary of the Marketplace at Echo Valley development. The City Engineer has reviewed the design of the basin and determined that it meets City requirements for detention. Future development within the area will need to provide storm water calculations to verify that the permanent basin can accommodate storm water runoff.

The grading plan also shows the grading of a pad site on an area labeled as Lot 1 of the Marketplace at Echo Valley Plat 2. City review concurs with the design of the pad site to direct the storm water from the site to the detention basin. Review of the plan focused strictly on the grading of the site. Other site features shown on the grading plan were conceptual in nature and not part of any approval of the grading plan. Future development of Lot 1 will include platting and site plan review of all aspects of the site, including potential grade changes based on the criteria of a future user.

The procedure for approval of a grading plan is review and recommendation from the Planning & Zoning Commission to the Community Development Director. Approval of the grading plan is done administratively at the staff level by the Director.

**STAFF
RECOMMENDATION:**

The staff recommends approval of the grading plan noting the following:

- That the site grading will follow all City code regulations.
- That all proper storm water controls shall be installed and in place during all grading operations.
- That additional development review, recommendation by Commission, and approval by Council will be required for the future development of the area.

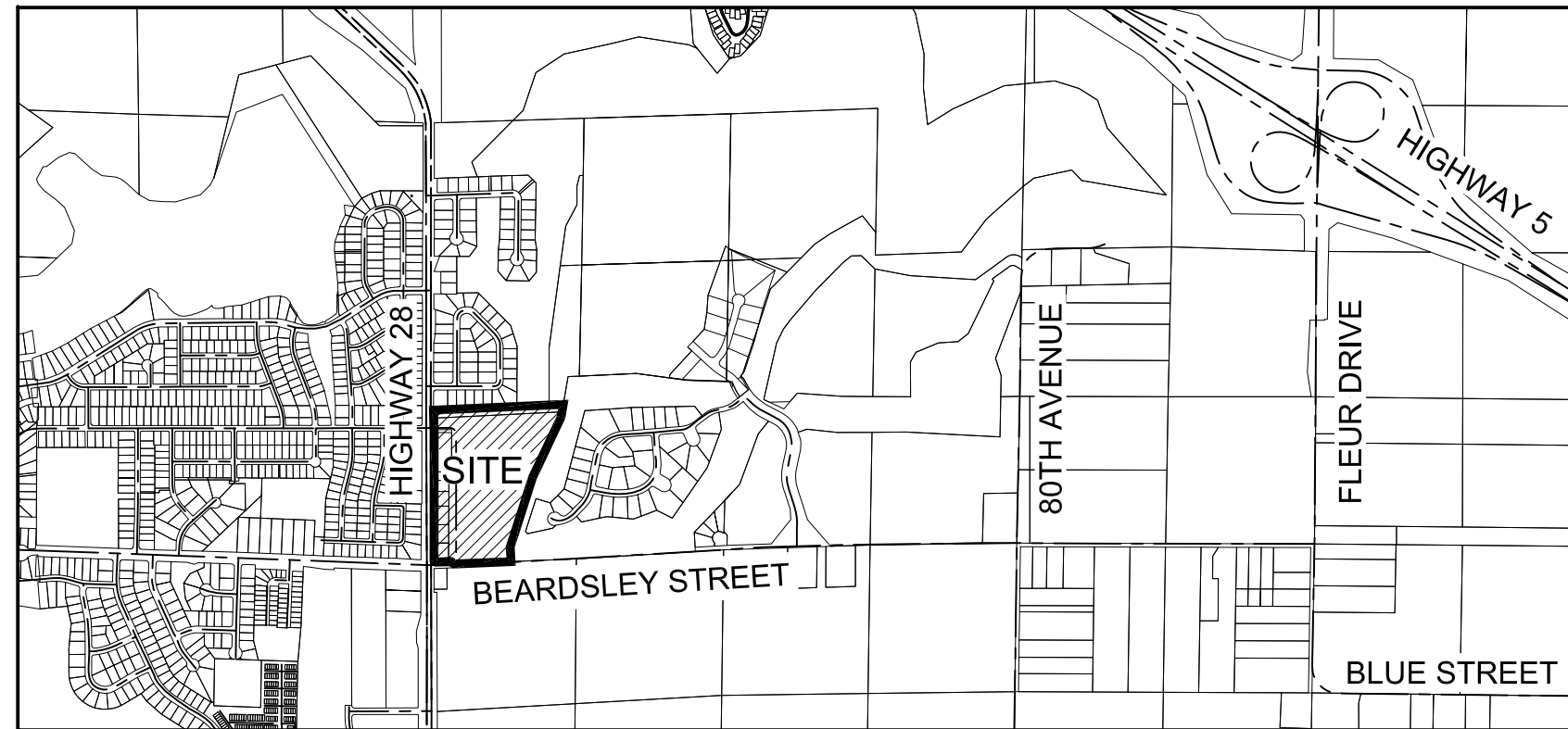
PUBLIC IMPROVEMENT PLANS FOR:

LOT 1 MARKETPLACE AT ECHO VALLEY PLAT 2

NORWALK, IOWA

VICINITY MAP

NOT TO SCALE



NORWALK, IOWA

INDEX OF SHEETS

| NO. | DESCRIPTION |
|-----|--------------------------------|
| 1 | TITLE SHEET |
| 2 | QUANTITIES AND REFERENCE NOTES |
| 3 | GRADING PLAN |
| 4 | PLAN AND PROFILE SHEET |

GENERAL LEGEND

| PROPOSED | EXISTING |
|------------------------------|---------------------------|
| SECTION LINE | SANITARY MANHOLE |
| CENTER LINE | WATER VALVE BOX |
| RIGHT OF WAY | FIRE HYDRANT |
| PERMANENT EASEMENT | WATER CURB STOP |
| TEMPORARY EASEMENT | WELL |
| TYPE SW-501 STORM INTAKE | STORM SEWER MANHOLE |
| TYPE SW-503 STORM INTAKE | STORM SEWER SINGLE INTAKE |
| TYPE SW-505 STORM INTAKE | STORM SEWER DOUBLE INTAKE |
| TYPE SW-506 STORM INTAKE | FLARED END SECTION |
| TYPE SW-513 STORM INTAKE | DECIDUOUS TREE |
| TYPE SW-401 STORM MANHOLE | CONIFEROUS TREE |
| TYPE SW-402 STORM MANHOLE | DECIDUOUS SHRUB |
| TYPE SW-301 SANITARY MANHOLE | CONIFEROUS SHRUB |
| STORM/SANITARY CLEANOUT | ELECTRIC POWER POLE |
| WATER VALVE | GUY ANCHOR |
| FIRE HYDRANT ASSEMBLY | STREET LIGHT |
| SIGN | POWER POLE W/ TRANSFORMER |
| DETECTABLE WARNING PANEL | UTILITY POLE W/ LIGHT |
| WATER CURB STOP | ELECTRIC BOX |
| STORM SEWER STRUCTURE NO. | ELECTRIC TRANSFORMER |
| STORM SEWER PIPE NO. | ELECTRIC MANHOLE OR VAULT |
| SANITARY SEWER STRUCTURE NO. | TRAFFIC SIGN |
| SANITARY SEWER PIPE NO. | TELEPHONE JUNCTION BOX |
| SANITARY SEWER WITH SIZE | TELEPHONE MANHOLE/VAULT |
| SANITARY SERVICE | TELEPHONE POLE |
| STORM SEWER | GAS VALVE BOX |
| STORM SERVICE | CABLE TV JUNCTION BOX |
| WATERMAIN WITH SIZE | CABLE TV MANHOLE/VAULT |
| WATER SERVICE | MAIL BOX |
| SAWCUT (FULL DEPTH) | BENCHMARK |
| SILT FENCE | SOIL BORING |
| USE AS CONSTRUCTED | UNDERGROUND TV CABLE |
| MINIMUM PROTECTION ELEVATION | GAS MAIN |
| TOP OF PROPOSED GROUND | FIBER OPTIC |
| TOP OF CURB | UNDERGROUND TELEPHONE |
| FORM GRADE | OVERHEAD ELECTRIC |
| | UNDERGROUND ELECTRIC |
| | FIELD TILE |
| | SANITARY SEWER W/ SIZE |
| | STORM SEWER W/ SIZE |
| | WATER MAIN W/ SIZE |

OWNER / DEVELOPER

UNITED PROPERTIES INVEST CO LC
C/O MICHAEL COPPOLA
4521 FLEUR DRIVE, SUITE C
DES MOINES, IOWA 50321

UTILITY NOTE

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

SUBMITTAL DATES

FIRST SUBMITTAL: 10/31/17
SECOND SUBMITTAL: 11/06/17

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

ZONING

ECHO VALLEY COMMUNITY PLANNED UNIT DEVELOPMENT
PARCEL J - MIX OF C-3, R-4, R-3 & R-2

BENCHMARKS

BM#1
BURY BOLT ON HYDRANT NE CORNER OF BEARDSLEY STREET AND MASTELLER ROAD.
ELEVATION=895.14

BM#2:
BURY BOLT HYDRANT ON WEST SIDE OF ECHO RIDGE TRAIL 500'+/- NORTH OF BEARDSLEY STREET. ELEVATION=936.02



1-800-292-8989

www.iowaonecall.com



CIVIL DESIGN ADVANTAGE

3405 SE CROSSROADS DR. SUITE G GRIMES, IOWA 50111

PH: (515) 369-4400 Fax: (515) 369-4410

PROJECT NO. 1710.591

THE 2017 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTAL SPECIFICATIONS SHALL APPLY TO ALL WORK ON THIS PROJECT EXCEPT AS MODIFIED HEREIN.

| | | |
|-----------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|
| | I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. | |
| | R. DEAN ROGHAIR, P.E. | DATE |
| MY LICENSE RENEWAL DATE IS DECEMBER 31, 2017 PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS | | |

FILE: H:\2017\170689\170689-COV-BET-HSS.DWG
DATE PLOTTED: 11/6/2017 2:50 PM
PLOTTER: HP
DESIGNED BY: BRAND KUEHL
COMMENTS:
END

TRAFFIC CONTROL NOTES

ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.

THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.

SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.

THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE 2017 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTAL SPECIFICATIONS. CONSTRUCTION SHALL ALSO CONFORM WITH THE SOILS REPORT.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.
- THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY (48 HRS NOTICE) THE FOLLOWING:
A. CITY OF NORWALK
B. APPROPRIATE UTILITY COMPANIES
C. OWNER
D. CIVIL DESIGN ADVANTAGE
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING HIS EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN ALL SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT. INCLUDING STAGING OF CONSTRUCTION DETAILS.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- THE CONTRACTOR MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR THE CITY, TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY. THIS WILL BE INCIDENTAL TO THE PROJECT.
- SPECIAL CARE SHALL BE TAKEN WHEN FORMING AT INTERSECTIONS SO THE PROFILES SHOWN ON THE PLANS AND THE ELEVATIONS SHOWN ON THE INTERSECTION DETAILS ARE OBTAINED. SHORT LENGTHS OF FORMS OR FLEXIBLE FORMS MAY BE NECESSARY AT THESE LOCATIONS.
- TO OBTAIN THE CORRECT FORM GRADES AT LOW POINTS WHERE INTAKES ARE LOCATED, THE CONTRACTOR MUST EXERCISE ADDITIONAL CARE WHEN PAVING FULL WIDTH PAVEMENTS. THIS MAY REQUIRE POURING ONE HALF OF THE PAVEMENT AT A TIME OR OTHER METHODS APPROVED BY THE ENGINEER.

ESTIMATED PROJECT QUANTITIES

| ITEM NO. | ITEM DESCRIPTION | UNIT | QUANTITY |
|----------|---------------------------------------------------|------|----------|
| 1 | COMBINED CLEARING AND GRUBBING | LS | 1 |
| 2 | TOPSOIL, STRIPPING, SALVAGING AND SPREAD | LS | 1 |
| 3 | EXCAVATION, CLASS 10 | LS | 1 |
| 4 | STORM SEWER, TRENCHED, RCP, 24 IN. DIA. | LF | 129 |
| 5 | STORM SEWER, TRENCHED, RCP, 30 IN. DIA. | LF | 202 |
| 6 | PIPE APRON W/APRON GUARD AND FOOTING, RCP, 24 IN. | EA | 2 |
| 7 | PIPE APRON W/APRON GUARD AND FOOTING, RCP, 30 IN. | EA | 1 |
| 8 | INTAKE, SW-513 MODIFIED | EA | 1 |
| 9 | MANHOLE, TYPE SW-401, 60 IN. DIA. (STORM SEWER) | EA | 1 |
| 10 | CONVENTIONAL SEEDING, FERTILIZING, AND MULCHING | AC | 3 |
| 11 | RIP RAP, CLASS "E" | TON | 50 |
| 12 | TURF REINFORCEMENT MAT (TRM), LANDLOK 300 | SF | 570 |

ESTIMATE REFERENCE INFORMATION

| Data listed below is for informational purpose only and shall not constitute a basis for any extra work orders. | |
|-----------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ITEM NO. | DESCRIPTION |
| 1 | THE 2017 EDITION OF THE SUDAS STANDARD SPECIFICATIONS MANUAL AND ALL CITY SUPPLEMENTAL SPECIFICATIONS SHALL APPLY TO ALL WORK PERFORMED ON THIS PROJECT EXCEPT AS MODIFIED HEREIN. ALL REFERENCES TO SECTIONS AND FIGURES ARE TO THE SUDAS STANDARD SPECIFICATIONS. CLEAR AND GRUB ALL AREAS AFFECTED BY GRADING OPERATIONS. THE CONTRACTOR SHALL FIELD VERIFY CLEARING AND GRUBBING NEEDS PRIOR TO BIDDING. INCLUDES REMOVAL OF ANY EXISTING FIELD FENCE, CULVERTS AND CONCRETE. ALL MATERIAL THAT IS REMOVED FROM THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR. DO NOT DISTURB CROPS OUTSIDE OF THE PROJECT LIMITS. |
| 2 | STRIP, SALVAGE AND SPREAD THE TOP 6 INCHES OF TOPSOIL. RESPREAD TOPSOIL WITHIN THE RIGHT OF WAY, ON BACKSLOPES AND IN DEVELOPED AREAS A MINIMUM OF 6 INCHES THICK. RESPREAD TOPSOIL IN AREAS THAT ARE FARMED A MINIMUM OF 12 INCHES THICK. TOPSOIL TO BE RESPREAD SHALL BE FREE OF ROCK AND DEBRIS AND BE SUITABLE FOR THE GROWTH OF GRASS. COORDINATE LOCATION OF STOCKPILE WITH OWNER. |
| 3 | EXCAVATION INCLUDES ALL WORK NECESSARY TO ACHIEVE PROPER GRADES AS SHOWN IN THE PLANS. NO PAYMENT FOR OVERHAUL SHALL BE ALLOWED. SHRINKAGE WAS ASSUMED TO BE 25%. |
| 4-5 | REFER TO FIG. 3010.101 AND 3010.102 FOR PIPE EMBEDMENT AND BACKFILL DETAILS. GRANULAR PIPE BEDDING SHALL BE CONSIDERED INCIDENTAL. WRAP ALL PIPE JOINTS IN ENGINEERING FABRIC. PIPE LENGTH INCLUDES PIPE APRONS. |
| 6-7 | THE LAST THREE SECTIONS AND APRON SHALL BE CONNECTED WITH PIPE CONNECTORS. REFER TO FIG. 4030.221 - RCP APRON SECTION FOOTING FOR FOOTING CONSTRUCTION DETAILS. REFER TO IDOT STANDARD ROAD PLAN DR-201 - CONCRETE APRONS FOR APRON DIMENSIONS. REFER TO IDOT STANDARD ROAD PLAN DR-213 - PIPE APRON GUARD FOR CONSTRUCTION DETAILS. ALL APRONS SHALL HAVE APRON GUARDS. RCP APRON FOOTING, PIPE APRON GUARD AND PIPE CONNECTORS TO BE CONSIDERED INCIDENTAL. |
| 8 | REFER TO FIG. 6010.513 - OPEN-SIDED AREA INTAKE FOR CONSTRUCTION DETAILS |
| 9 | REFER TO FIG. 6010.401 - CIRCULAR STORM SEWER MANHOLE (SW-401) FOR CONSTRUCTION DETAILS. CASTING IN PAVEMENT SHALL BE TYPE F RING AND COVER. |
| 10 | SEED MIXTURE SHALL CONFORM TO THE SPECIFICATION FOR TYPE (2) PERMANENT COOL SEASON MIXTURE FOR SLOPES AND DITCHES. |
| 11 | REFER TO FIG. 9040.110 - RIP RAP FOR PIPE OUTLET ONTO FLAT GROUND AND FIG 9040.111 - RIP RAP FOR PIPE OUTLET INTO CHANNEL FOR CONSTRUCTION DETAILS. CLASS "E" RIP RAP SHALL BE A MINIMUM OF 18 INCHES THICK. ENGINEERING FABRIC SHALL BE INSTALLED UNDER ALL RIP RAP. ENGINEERING FABRIC SHALL BE CONSIDERED INCIDENTAL. |
| 12 | REFER TO GRADING PLAN FOR LOCATIONS. TURF REINFORCEMENT MATS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. |

- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE PROPOSED AND EXISTING RIGHT OF WAY, CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS.
- PLAN AND PROFILE SHEETS INCLUDED IN THE PROJECT ARE FOR THE PURPOSE OF ALIGNMENT, LOCATION AND SPECIFIC DIRECTIONS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT. IRRELEVANT DATA ON THESE SHEETS IS NOT TO BE CONSIDERED A PART OF THIS CONTRACT.
- THE CONTRACTOR IS REQUIRED TO BE FAMILIAR WITH AND COMPLY WITH OSHA STANDARDS. NOTHING WITHIN THESE PLANS SHALL RELIEVE THE CONTRACTOR OF THIS REQUIREMENT.
- CIVIL DESIGN ADVANTAGE WILL PROVIDE ALL CONSTRUCTION STAKING ON THIS PROJECT. NOTIFY MIKE BROONER (369-4400) A MINIMUM OF 48 HOURS BEFORE CONSTRUCTION STAKES ARE REQUIRED.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES REQUIRED ON THE STORM WATER POLLUTION PREVENTION PLAN.
- ALL MATERIAL TESTING SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWNGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- REMOVE DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE R.O.W.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- IN THE EVENT OF A DISCREPANCY BETWEEN DETAILED PLANS AND QUANTITIES, THE DETAILED PLANS SHALL GOVERN.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO THE ENGINEER FOR NOTATION ON AS-BUILTS.
- ALL SERVICE CONNECTIONS TO MAINS SHALL BE A MINIMUM OF 18 INCHES FROM JOINTS AND STRUCTURES.
- EXTERNAL CHIMNEY SEALS ARE REQUIRED ON ALL SANITARY MANHOLES.

2

4

1710.591

LOT 1 MARKETPLACE AT
ECHO VALLEY PLAT 2
QUANTITIES AND REFERENCE NOTES

NORWALK, IOWA

CSA

CIVIL DESIGN ADVANTAGE

3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER:
TECH:

REVISIONS

DATE

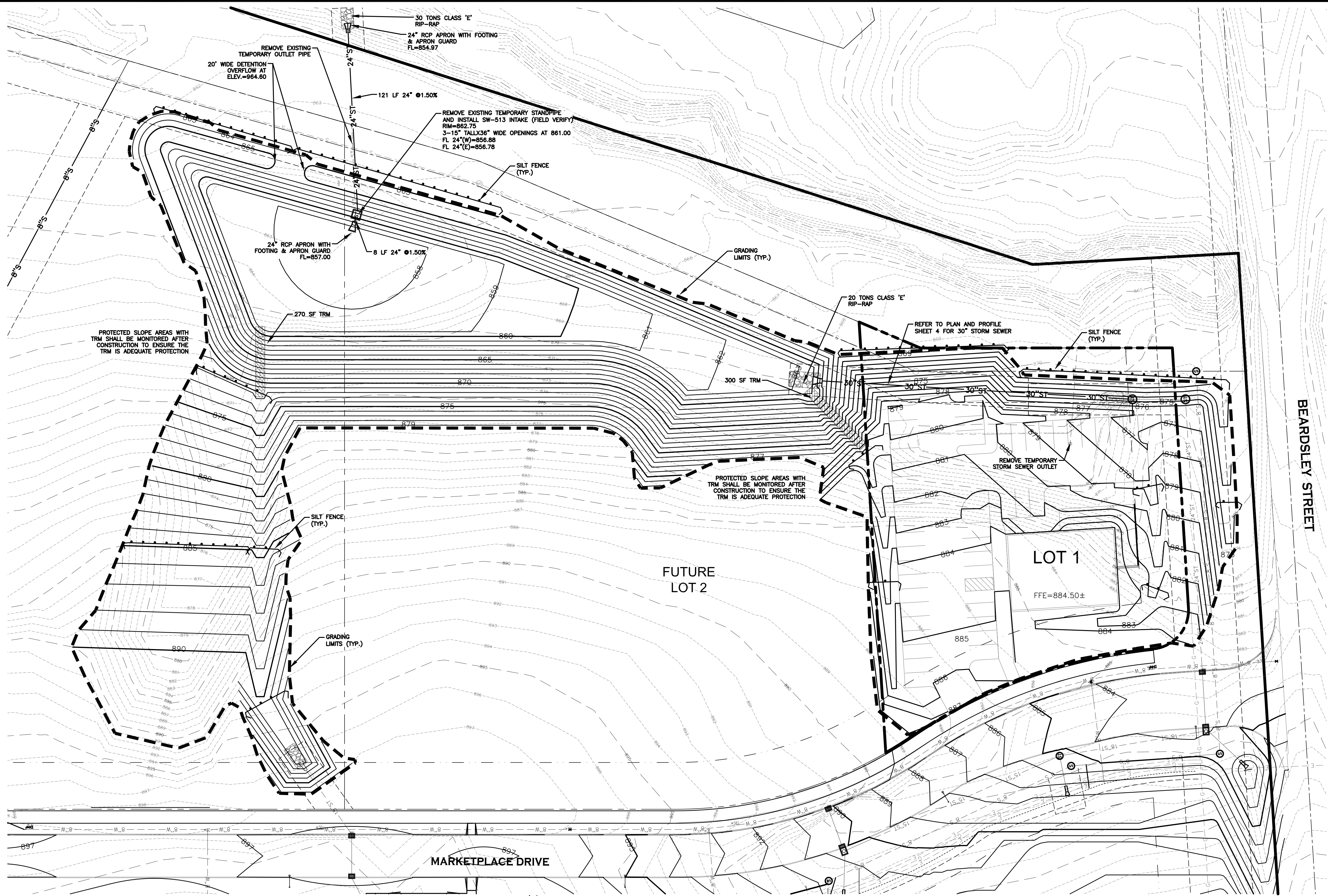
11/06/17

10/31/17

SECOND SUBMITTAL

FIRST SUBMITTAL

FILE: H:\2017\1710591\DWG\1710591-GRADING.DWG
DATE PLOTTED: 11/17/2017 9:09 AM
PLOTTER: BRAD MUEHL



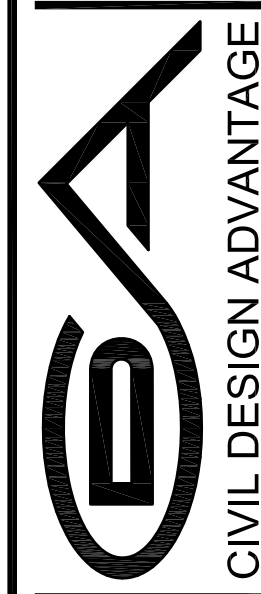
GENERAL NOTES

REFER TO SHEET 2

SWPPP NOTE

REFER TO THIS SHEET FOR EROSION CONTROL MEASURES. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR MARKET PLACE AT ECHO VALLEY FOR EROSION CONTROLS AND POLLUTION PREVENTION REQUIREMENTS.

LOT 1 MARKETPLACE AT ECHO VALLEY PLAT 2 GRADING PLAN



NORWALK, IOWA

ENGINEER:

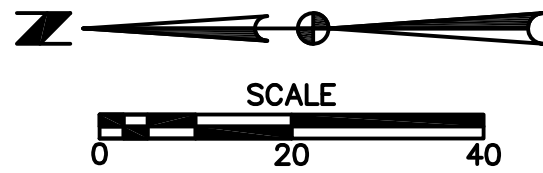
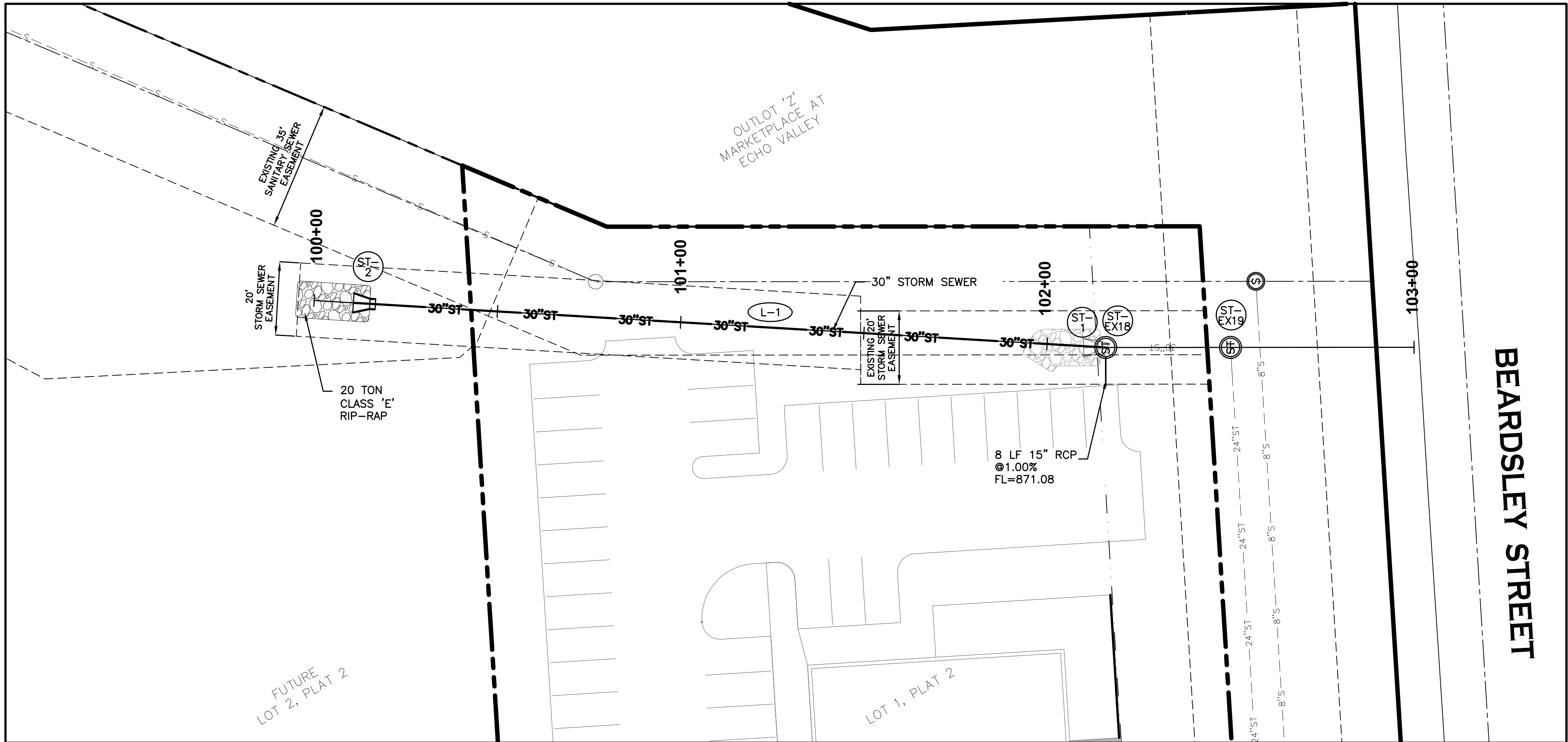
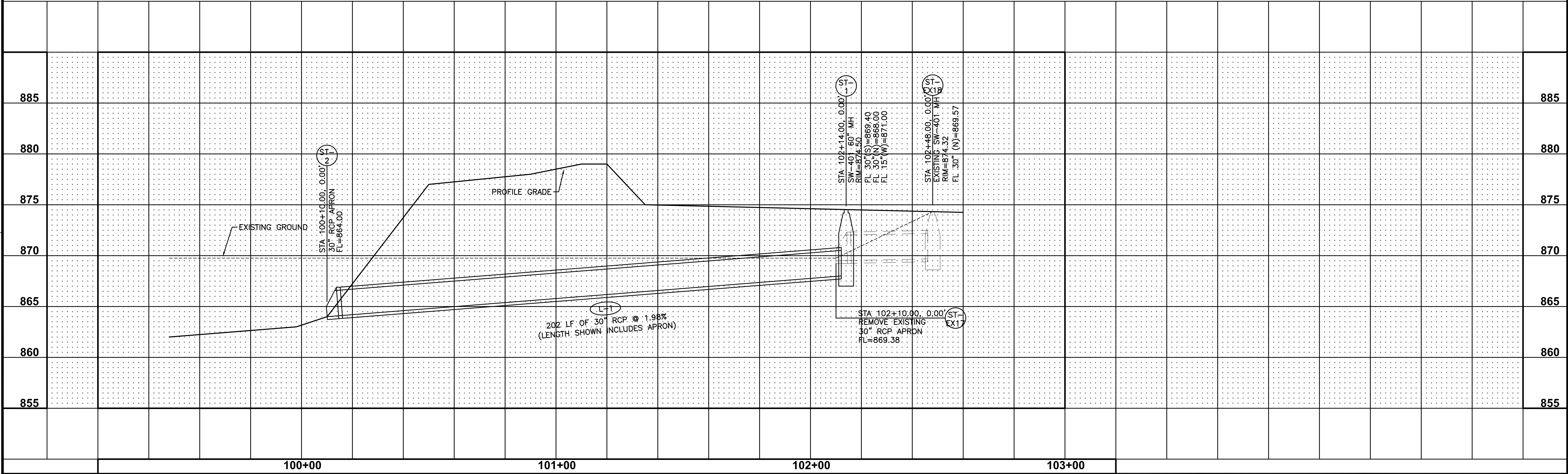
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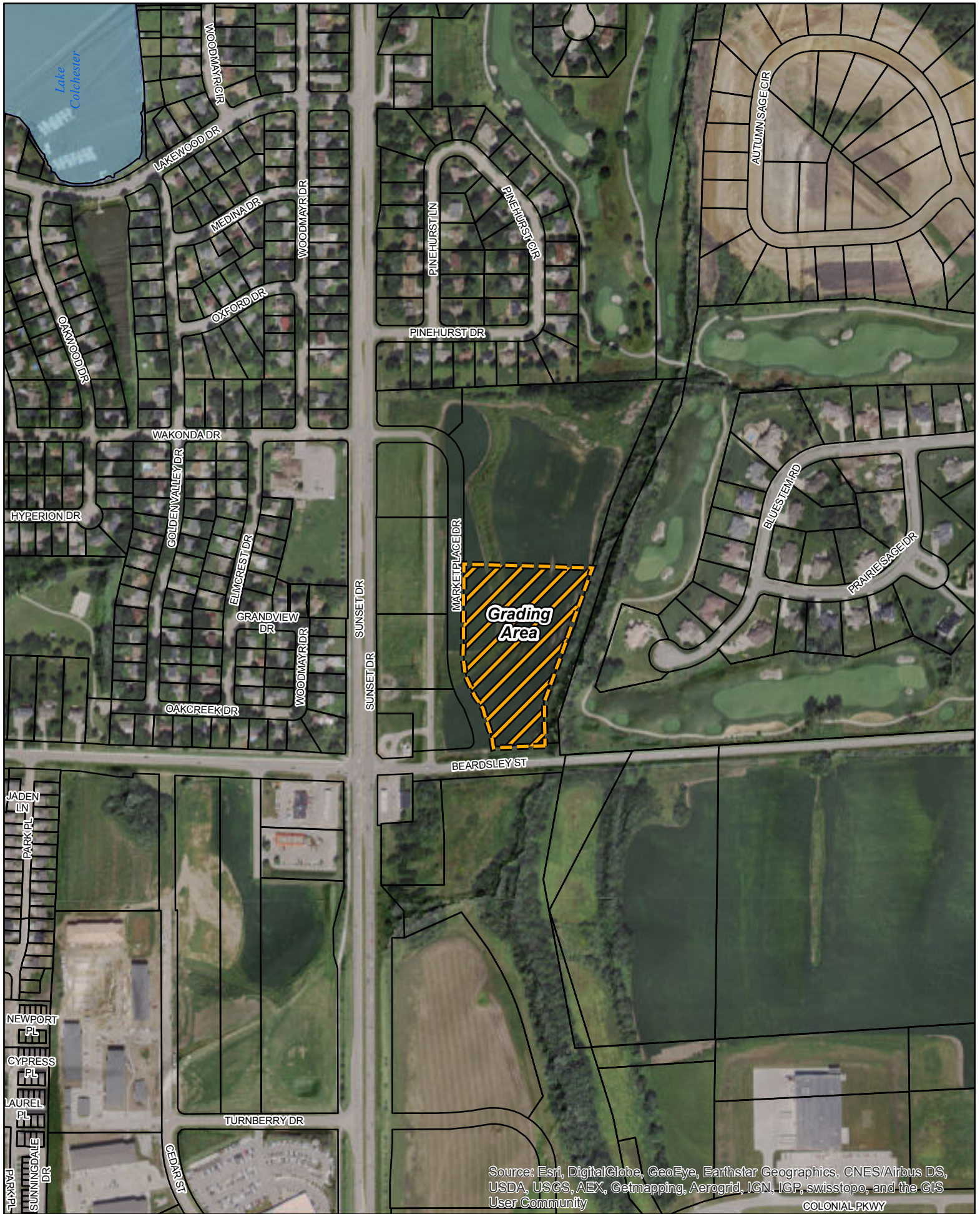
3405 S.E. CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PHONE: (515) 369-4400 FAX: (515) 369-4410

REVISIONS

| DATE | REVISIONS |
|----------|------------------|
| 11/06/17 | SECOND SUBMITTAL |
| 10/31/17 | FIRST SUBMITTAL |

FILE: H:\2017\170591\DWG\170591-PROP.DWG
DATE: 11/16/2017 2:52 PM
DRAWN BY: J. MUEHL
CHECKED BY: J. MUEHL
PLOT DATE: 11/16/2017 2:52 PM
COMMENTS: 170591-PROP.DWG







**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 6D
For Meeting of 11.13.2017

| | |
|--------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ITEM TITLE: | Request from Kruse Construction, LLC to approve the Final Plat of Timber View Plat 2. |
| CONTACT PERSON: | Elliot Klimowski, Community Development Intern |
| APPLICANT(S): | Kruse Construction, LLC 2209 Riverwoods Ave Des Moines, IA 50320 |
| GENERAL DESCRIPTION: | This request would create 34 solely residential lots and public street right-of-way for Peaceful Circle and Lookout Street off of Timber View Drive and along the north side of Highway G14 west of the City. |
| IMPACT ON NEIGHBORHOOD: | The properties surrounding are primarily agricultural and residential in nature, both estate-style and traditional R-1 Single Family. The addition of the plat will be consistent with ongoing development in the Timber View area. |
| VEHICULAR & PEDESTRIAN TRAFFIC: | The plat shows the addition of east/west right-of-way for Lookout Street west from Timber View Drive. The construction would resume from a spur added as part of Timber View Plat 1. Peaceful Circle will also be added as a cul-de-sac bulb emerging north off of Lookout Street. Access to the new streets will be possible via Timber View Drive and accessed off of Highway G14. |
| TRAIL PLAN: | The plat shows 5-foot sidewalks on both sides of all paved rights-of-way. |
| ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY: | This site is zoned R-1 (70) Single Family Residential along with the first plat for Timber View which was approved in 2016. The Timber View development area is bordered to the east by the R-1 (100) Blooming Heights development area, to the north by an R-1 (80) plot of land, and by estate-style agricultural land to the south, southeast, and west. |
| BUFFERS REQUIRED/ NEEDED: | A buffer was required for double frontage lots along Lookout Street that back up to Highway G14. The developer has installed the buffer per City requirements. |
| DRAINAGE: | Drainage from the north lots flows centrally overland towards a local storm sewer system and then into a retention pond labeled on the plat as 'Outlot Z'. Drainage on the south lots is collected by a storm sewer that runs underneath Highway G14. |
| DEVELOPMENT HISTORY: | Timber View Plat 1 was approved in 2016. The preliminary plat and site plan for Timber View Plat 2 were approved earlier this year. |

| | |
|-------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| FLOODPLAIN: | None of the proposed lots are located within a floodplain. |
| PARKLAND: | A parkland dedication agreement has been drafted that describes the intent of Kruse Construction to provide the required parkland space within the future development area of Timber View, as originally planned in the preliminary plat. The agreement provides the City with assurances that the parkland will be dedicated in the undeveloped ground. |
| UTILITIES: WATER, SANITARY SEWER, STORM SEWER. | <ul style="list-style-type: none"> • A water main is provided on the south side of Lookout Street and the west side of Peaceful Circle connecting to an existing water main on Timber View Drive sourced from Highway G14. • Hydrants are shown along Lookout Street and Peaceful Circle with adequate coverage. • A sanitary sewer runs on the north side of Lookout Street and connects to existing sanitary sewer north of Peaceful Circle. • An appropriate storm sewer and retention basin system was designed to convey water from the lots and street into the existing and new stormwater management system. |
| RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN: | This area is part of the Timber View development area which is in keeping with the intended development of residential character for the neighborhood. |
| STAFF ANALYSIS – ZONING ORDINANCE: | <p>The Final Plat consists of 34 residential lots. The plat consists of 19.72 acres of land. The unit density is 1.72 du/acre.</p> <p>Lookout Street will be a new 60-foot public right-of-way with a 28-foot street. Peaceful Circle will be 26 feet wide.</p> |
| STAFF ANALYSIS – SUBDIVISION ORDINANCE: | <p>The Subdivision Ordinance requires that Final Plat submissions include such criteria as boundaries of property, engineer's certificate, easements and right-of-way widths. All information has been submitted by the applicant. The Final Plat shows platted building lines, property lines with dimensions, easements and right-of-way widths.</p> <p>The applicant will need to submit all other required documents prior to release of the final plat for recording.</p> |
| STAFF RECOMMENDATION: | <p>Staff recommends that the request for the Final Plat of Timber View Plat 2 be approved with the following conditions:</p> <ul style="list-style-type: none"> • That the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations. • That any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council. |

RESOLUTION NO. _____

Resolution approving the Final Plat of Timber View Plat 2

WHEREAS, the Planning & Zoning Commission strives to; and,

WHEREAS, the Planning & Zoning Commission wishes to; and,

WHEREAS, the Final Plat of Timber View Plat 2 has been reviewed by Planning & Zoning Commission at their regular meeting on November 13, 2017 and recommends approval of the Final Plat; and

WHEREAS, the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations; and

WHEREAS, any significant modification to the Final Plat be reviewed and approved by the Planning & Zoning Commission and City Council;

NOW, THEREFORE, BE IT RESOLVED by the Planning & Zoning Commission of the City of Norwalk, Iowa, that

Section 1: The Final Plat of Timber View Plat 2 be approved as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

Passed and approved this 13th day of November, 2017.

Tom Phillips, Mayor

ATTEST:
Jodi Eddleman, City Clerk

| ROLL CALL VOTE: | Aye | Nay | Abstain | Absent |
|------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| Isley | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Kuhl | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Lester | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Livingston | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Riva | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

FINAL PLAT
TIMBER VIEW
PLAT 2

Sheet 1 of 1
OWNER/DEVELOPER

KRUSE CONSTRUCTION, LLC
2209 RIVERHOODS AVENUE
DES MOINES, IA 50320

ZONING

R-1(70) SINGLE FAMILY RESIDENTIAL

BULK REGULATIONS

MIN. LOT AREA-8,750 S.F.
MIN. LOT WIDTH-70'

SETBACKS

FRONT-30'

REAR-35'

SIDE-7' MIN. (17' TOTAL)

LEGAL DESCRIPTION

OUTLOT '2' OF TIMBER VIEW PLAT 1, AN OFFICIAL PLAT, CITY OF NORKALK, WARREN COUNTY, IOWA, RECORDED IN BOOK 2016 PAGE 7502, AT THE WARREN COUNTY RECORDER'S OFFICE, CONTAINING 19.722 ACRES MORE OR LESS.

NOTES

1. THIS PLAT IS IN A WATER AND SANITARY SEWER CONNECTION FEE DISTRICT.
2. ANY P.U.E. IS SUBORDINATE TO THE CITY'S USE OF ITS DESIGNATED EASEMENTS AND ANY USER OF THE P.U.E. MUST RELOCATE ITS FACILITIES AT NO COST TO THE CITY WHEN THE USE OF THE P.U.E. IS IN CONFLICT WITH THE CITY'S USE OF ITS DESIGNATED EASEMENTS.
3. LOTS 'A', 'B', AND 'C' TO BE DEEDED TO THE CITY OF NORKALK FOR PUBLIC STREETS.
5. HOME BUILDER AND PLUMBING CONTRACTOR SHALL VERIFY SANITARY SEWER SERVICE STUB-OUT ELEVATIONS PRIOR TO HOUSE CONSTRUCTION TO ENSURE BASEMENT FLOOR ELEVATIONS WILL PROVIDE ADEQUATE FALL IS SERVICE PIPE (2% MINIMUM).
6. A HOMEOWNER'S ASSOCIATION FOR LOTS 8-10 & 14-15 SHALL BE RESPONSIBLE FOR MAINTAINING THE RETENTION/DETENTION POND.
7. NO BUILDING CAN ENCROACH INTO A SIDE YARD EASEMENT WHETHER PUBLIC OR PRIVATE.

SURVEYORS NOTES

1. ALL LOT CORNERS SHALL BE SET WITHIN ONE YEAR OF RECORDING.
2. THIS PLAT BOUNDARY HAS AN ERROR OF CLOSURE OF LESS THAN 1 IN 10,000.
3. EACH LOT IN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1 IN 5,000.
4. BEARINGS BASED ON AN ASSUMED BEARING.

LEGEND

- PLAT BOUNDARY
- SECTION CORNER
- FOUND 5/8" I.R. W/ YELLOW CAP #13156, UNLESS OTHERWISE NOTED
- SET CORNER 5/8" I.R. W/ YELLOW CAP #13156
- I.R. IRON ROD
- G.P. GAS PIPE
- D. DEEDED DISTANCE
- M. MEASURED DISTANCE
- R. PREVIOUSLY RECORDED DISTANCE
- P.U.E. PUBLIC UTILITY EASEMENT
- 3333 ADDRESS
- B.S.L. BUILDING SETBACK LINE
- M.O.E. MINIMUM OPENING ELEVATION
- M.P.E. MINIMUM PROTECTION ELEVATION
- N.R. NOT RADIAL

CERTIFICATION

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

KEVEN J. CRAWFORD, PLS IOWA LICENSE NO. 13156
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2016
PAGE(S) OR SHEET(S) COVERED BY THIS SEAL:
Sheets 1

KEVEN J. CRAWFORD
13156
IOWA

COOPER CRAWFORD
& ASSOCIATES, L.L.C.
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 11-6-2017
REVISIONS:

APPROVED: SCALE: 1"=50'

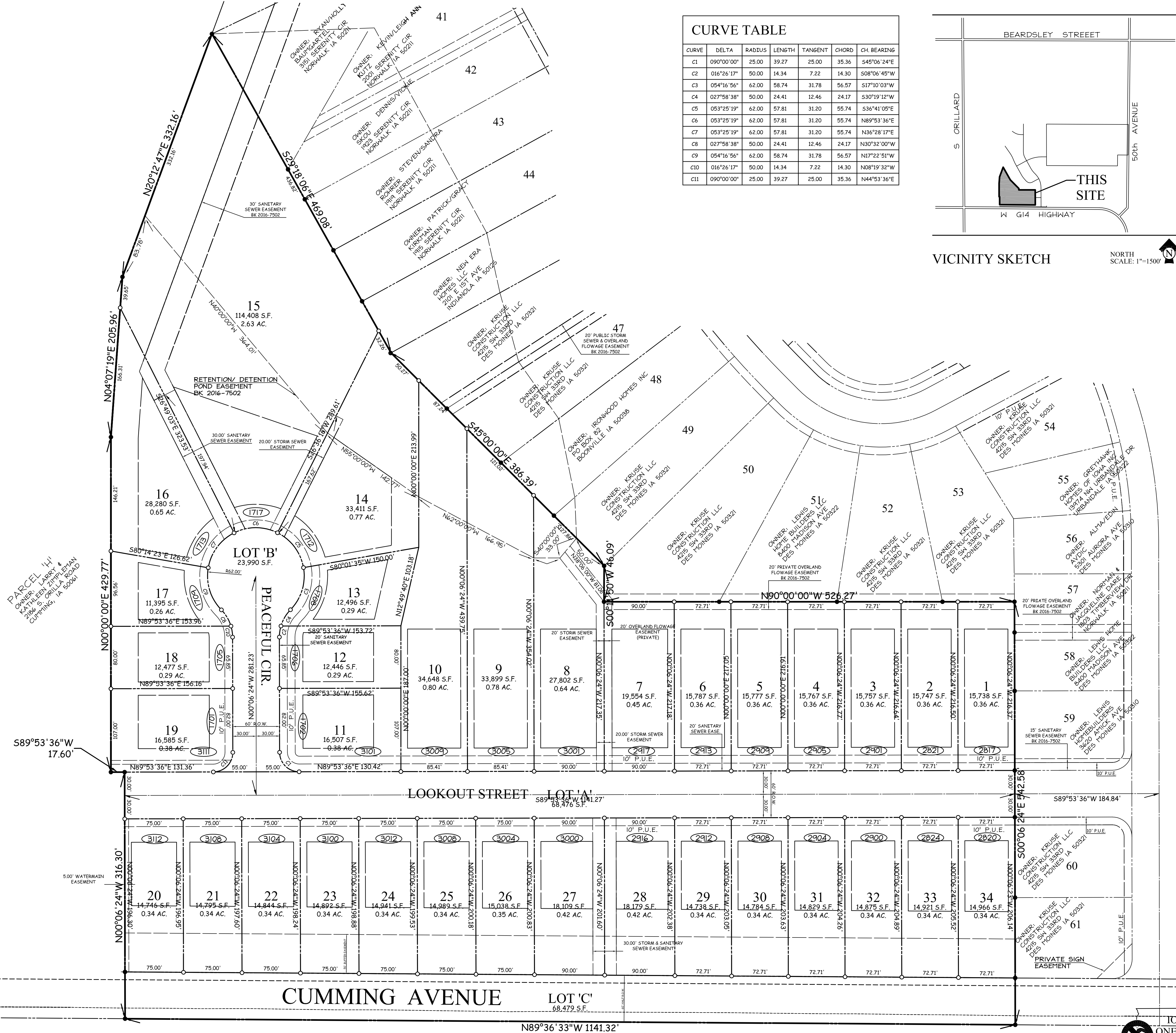
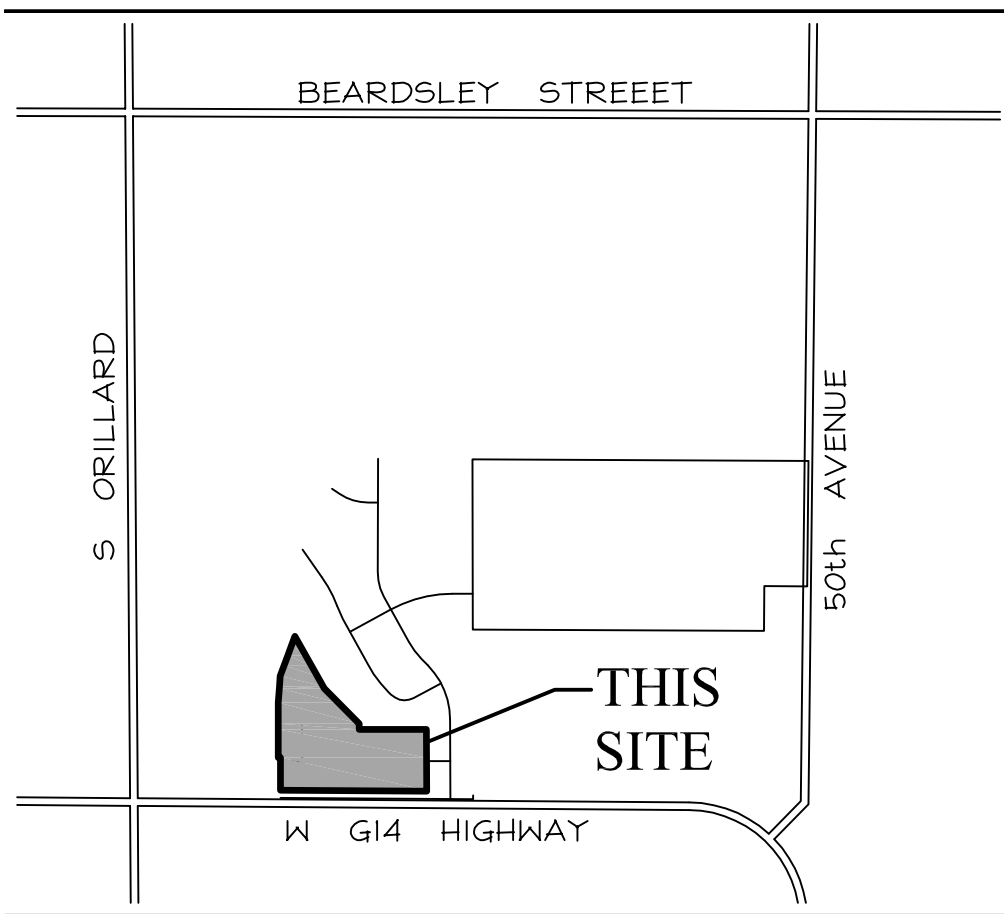
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FINAL PLAT
TIMBER VIEW PLAT 2
SHEET
1 OF 1

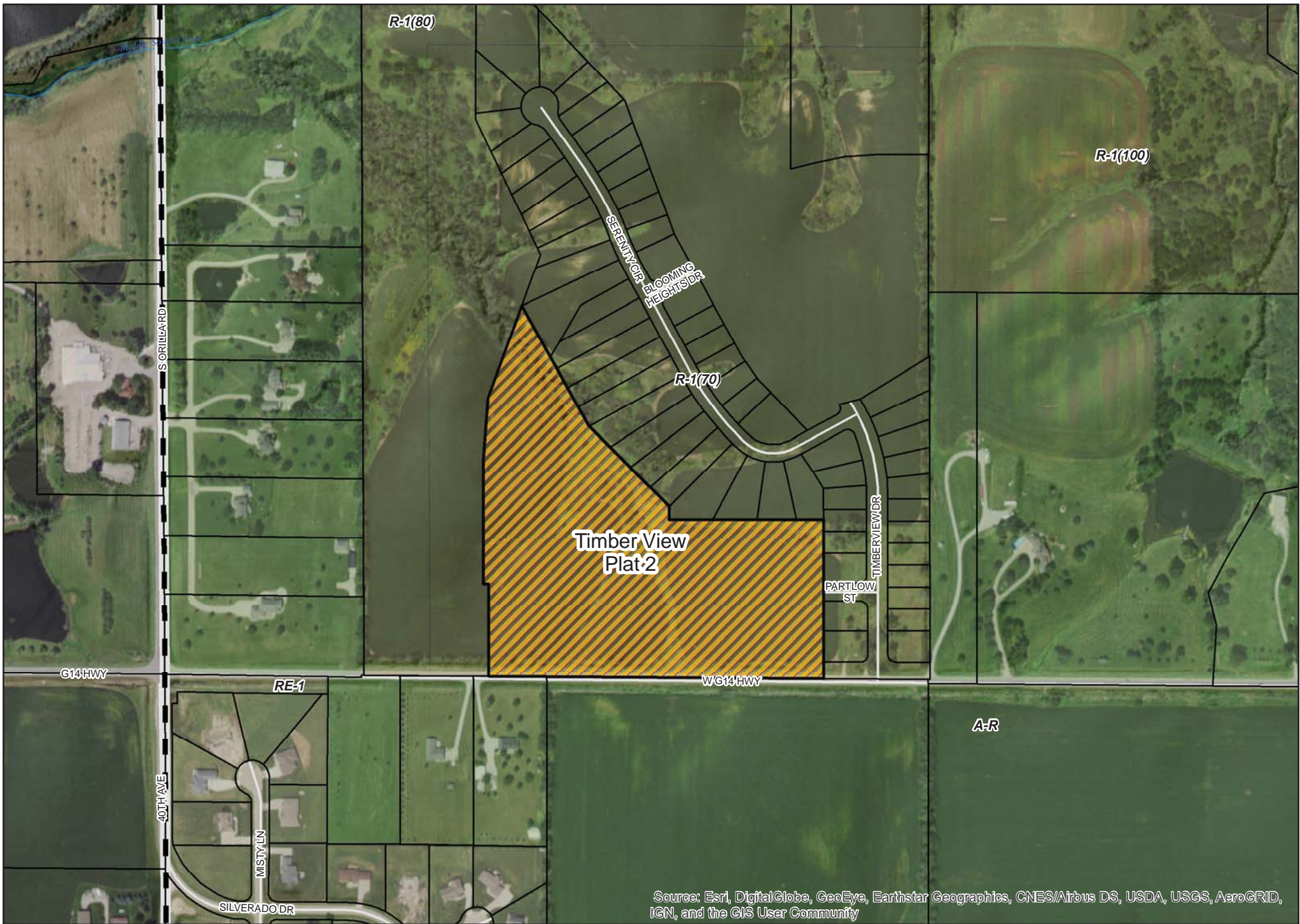
CURVE TABLE

| CURVE | DELTA | RADIUS | LENGTH | TANGENT | CHORD | CH. BEARING |
|-------|------------|--------|--------|---------|-------|-------------|
| C1 | 090°00'00" | 25.00 | 39.27 | 25.00 | 35.36 | S45°06'24"E |
| C2 | 016°26'17" | 50.00 | 14.34 | 7.22 | 14.30 | S08°06'45"W |
| C3 | 054°16'56" | 62.00 | 58.74 | 31.78 | 56.57 | S17°10'03"W |
| C4 | 027°58'38" | 50.00 | 24.41 | 12.46 | 24.17 | S30°19'12"W |
| C5 | 053°25'19" | 62.00 | 57.81 | 31.20 | 55.74 | S36°41'05"E |
| C6 | 053°25'19" | 62.00 | 57.81 | 31.20 | 55.74 | N89°53'36"E |
| C7 | 053°25'19" | 62.00 | 57.81 | 31.20 | 55.74 | N36°28'17"E |
| C8 | 027°58'38" | 50.00 | 24.41 | 12.46 | 24.17 | N30°32'00"W |
| C9 | 054°16'56" | 62.00 | 58.74 | 31.78 | 56.57 | N17°22'51"W |
| C10 | 016°26'17" | 50.00 | 14.34 | 7.22 | 14.30 | N08°19'32"W |
| C11 | 090°00'00" | 25.00 | 39.27 | 25.00 | 35.36 | N44°53'36"E |

VICINITY SKETCH

NORTH
SCALE: 1"=1500'





Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Timber View Plat 2 Location





**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 6E
For Meeting of 11.13.2017

| | |
|--------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ITEM TITLE: | Request from Diligent Warrior Run, LLC to approve the Final Plat of Warrior Run Estates Plat 2. |
| CONTACT PERSON: | Elliot Klimowski, Community Development Intern |
| APPLICANT(S): | Diligent Warrior Run, LLC 12119 Stratford Drive, Suite B Clive, IA 50325 |
| GENERAL DESCRIPTION: | This request would create 32 solely residential lots and public street right-of-way for Warrior Run Drive east of the Greens at Warrior Run and North of Warrior Run Estates Plat 1. |
| IMPACT ON NEIGHBORHOOD: | The properties surrounding are residential in nature, consisting of golf holes at the Warrior Run golf course and R-1 (70) and R-3 residential parcels. The addition of the plat will be consistent with ongoing development in the Warrior Run area. |
| VEHICULAR & PEDESTRIAN TRAFFIC: | The plat shows the continuation of SW-NE right-of-way for Warrior Run Drive north from Warrior Run Estates Plat 1. The construction would resume from previously-constructed Warrior Run Drive. Additionally, E. 29 th Street will be added as a short connector to Carpenter Street between Lots 8 & 9. Access to the plat will be obtained from E. 27 th Street by way of Carpenter Street or Warrior Run Drive. |
| TRAIL PLAN: | The plat shows 5-foot sidewalks on both sides of all paved rights-of-way. |
| ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY: | This site is zoned R-1 (70) Single Family Residential along with the first plat for Warrior Run Estates which was approved in 2015. The plat is bordered to the east by the golf holes at Warrior Run golf course, to the west by land zoned R-4 High-Density Multi-Family Residential, and to the north by unincorporated estate-style residential land. |
| BUFFERS REQUIRED/NEEDED: | A buffer easement is required for double frontage lots along Warrior Run Drive that back to Carpenter Street to the north. The plat identifies the easement along Carpenter Street at the rear of these lots. The developer is request a waiver of the requirement to install the landscaping due to Carpenter being a lightly traveled rural gravel road. The presence of the easement will allow the City to keep rear yard fences from abutting directly to public right-of-way along Carpenter. |

| | |
|-------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| DRAINAGE: | Drainage from the site flows into a local stormwater sewer at the intersection of E. 29 th Street and Warrior Run Drive which flows into a detention basin and ultimately flows out to a retention basin to the south outside of the plat boundary. |
| DEVELOPMENT HISTORY: | Warrior Run Estates Plat 1 was approved in 2015. The preliminary plat and site plan for Warrior Run Estates Plat 2 were approved earlier this year. |
| FLOODPLAIN: | None of the proposed lots are located within a floodplain. |
| PARKLAND: | A parkland dedication agreement has been drafted. The concept is that the parkland for Warrior Run Estates would be dedicated as part of the parkland and public space incorporated within the Town Center concept in the Hughes Farm SubArea 1 development. When considering accepting parkland outside of a development, it is staff opinion that the land dedicated should be for public purposes that serve a community need. It is staff opinion that the parkland and public space in the Town Center would serve the entire community. |
| UTILITIES: WATER, SANITARY SEWER, STORM SEWER. | <ul style="list-style-type: none"> • A water main is provided on the north/west side of Warrior Run Drive and the west side of E. 29th Street connecting to the water main in Warrior Run Estates Plat 1. • Hydrants are shown along Warrior Run Drive with adequate coverage. • A sanitary sewer runs on the south/east side of Warrior Run Drive and connects to existing sanitary sewer in Warrior Run Estates Plat 1. • An appropriate storm sewer and detention/retention basin system was designed to convey water from the lots and street into the new stormwater and existing management systems in Warrior Run Estates Plat 1. |
| RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN: | This area is part of the Warrior Run development area and is in keeping with the intended residential development for the neighborhood. |
| STAFF ANALYSIS – ZONING ORDINANCE: | <p>The Final Plat consists of 32 residential lots. The plat consists of 24.57 acres of land. The unit density is 1.30 du/acre.</p> <p>New 60-foot public right-of-way with a 28-foot street will be added for both E. 29th Street and Warrior Run Drive.</p> |
| STAFF ANALYSIS – SUBDIVISION ORDINANCE: | <p>The Subdivision Ordinance requires that Final Plat submissions include such criteria as boundaries of property, engineer’s certificate, easements and right-of-way widths. All information has been submitted by the applicant. The Final Plat shows platted building lines, property lines with dimensions, easements and right-of-way widths.</p> <p>The applicant will need to submit all other required documents prior to release of the final plat for recording.</p> |
| STAFF RECOMMENDATION: | <p>Staff recommends that the request for the Final Plat of Warrior Run Estates Plat 2 be approved with the following conditions:</p> <ul style="list-style-type: none"> • That the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations. • That any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council. |

RESOLUTION NO. _____

Resolution approving the Final Plat of Warrior Run Estates Plat 2

WHEREAS, the Planning & Zoning Commission strives to; and,

WHEREAS, the Planning & Zoning Commission wishes to; and,

WHEREAS, the Final Plat of Warrior Run Estates Plat 2 has been reviewed by Planning & Zoning Commission at their regular meeting on November 13, 2017 and recommends approval of the Final Plat; and

WHEREAS, the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations; and

WHEREAS, any significant modification to the Final Plat be reviewed and approved by the Planning & Zoning Commission and City Council;

NOW, THEREFORE, BE IT RESOLVED by the Planning & Zoning Commission of the City of Norwalk, Iowa, that

Section 1: The Final Plat of Warrior Run Estates Plat 2 be approved as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

Passed and approved this 13th day of November, 2017.

Tom Phillips, Mayor

ATTEST:
Jodi Eddleman, City Clerk

| ROLL CALL VOTE: | Aye | Nay | Abstain | Absent |
|------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| Isley | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Kuhl | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Lester | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Livingston | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Riva | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

EXISTING ZONING
R-1 SINGLE-FAMILY RESIDENTIAL DISTRICT

BULK REGULATIONS FOR R-1 (70)

LOT AREA - 8,750 SF MINIMUM
LOT WIDTH - 70' MINIMUM
FRONT YARD SETBACK - 30'
REAR YARD SETBACK - 35'
SIDE YARD SETBACK - 17' TOTAL (7' MIN.)

NOTES

1. ANY UTILITY UTILIZING THE PUBLIC UTILITY EASEMENT DOES SO AS A SUBORDINATE INTEREST TO THE CITY'S USE OF ITS DESIGNATED SANITARY SEWER EASEMENT AND ANY UTILITY UTILIZING THE PUBLIC UTILITY EASEMENT MUST RELOCATE AT ITS COST IF IN CONFLICT WITH THE CITY'S USE OF THE DESIGNATED SANITARY SEWER EASEMENT.

2. LOTS 'A' AND 'B' TO BE DEEDED TO THE CITY OF NORWALK FOR STREET PURPOSES.

3. SURFACE WATER FLOWAGE EASEMENTS ARE PRIVATE. STORM WATER DETENTION AREAS ARE PRIVATE.

4. LANDSCAPE BUFFER REQUIRES 1 OVER STORY TREE AND 2 EVERGREEN TREES PER 40 LINEAR FEET.

5. ALL LOTS SHOULD HAVE A 5' WIDE SIDEWALK IN THE PUBLIC RIGHT-OF-WAY, 1' FROM THE PROPERTY LINE.

6. SOME LOTS ACCEPT DRAINAGE FROM ADJACENT PROPERTY. BUILDING ON THESE LOTS MUST TAKE INTO ACCOUNT UPSTREAM DRAINAGE.

AREA TABLE

| PROPERTY | GROSS AREA |
|------------------------------|------------|
| NE 1/4, NW 1/4 SEC. 17-TT-24 | 14.24 AC. |
| NW 1/4, NW 1/4 SEC. 17-TT-24 | 10.33 AC. |
| TOTAL | 24.57 AC. |

RECORDER'S
STAMP

FINAL PLAT WARRIOR RUN ESTATES PLAT 2 NORWALK, IOWA

PROPERTY OWNER / APPLICANT:
DILIGENT WARRIOR RUN, LLC.
C/O PEOPLES CO.
12119 STRATFORD DRIVE, SUITE B
CLIVE, IOWA 50325
PHONE: 515-240-1500
WWW.DILIGENTDEVELOPMENT.COM

LEGAL DESCRIPTION
ALL OF OUTLOT 'Y', WARRIOR RUN ESTATES PLAT 1, AN OFFICIAL PLAT RECORDED IN BOOK 2015, PAGE 6547 IN THE OFFICE OF THE WARREN COUNTY RECORDER, SAID PROPERTY CONTAINS 24.57 ACRES MORE OR LESS.

PARCEL ID: 91000080846
ALT ID: 05000080846
OWNER: IOWA STATE
BANK CUSTODIAN
FBO DR E REVEIZ IRA (D)

Civil Engineering Consultants, Inc.

2400 86th Street, Unit 12, Des Moines, Iowa 50322
515.276.4884 - Fax: 515.276.7084 - mail@cecinc.com



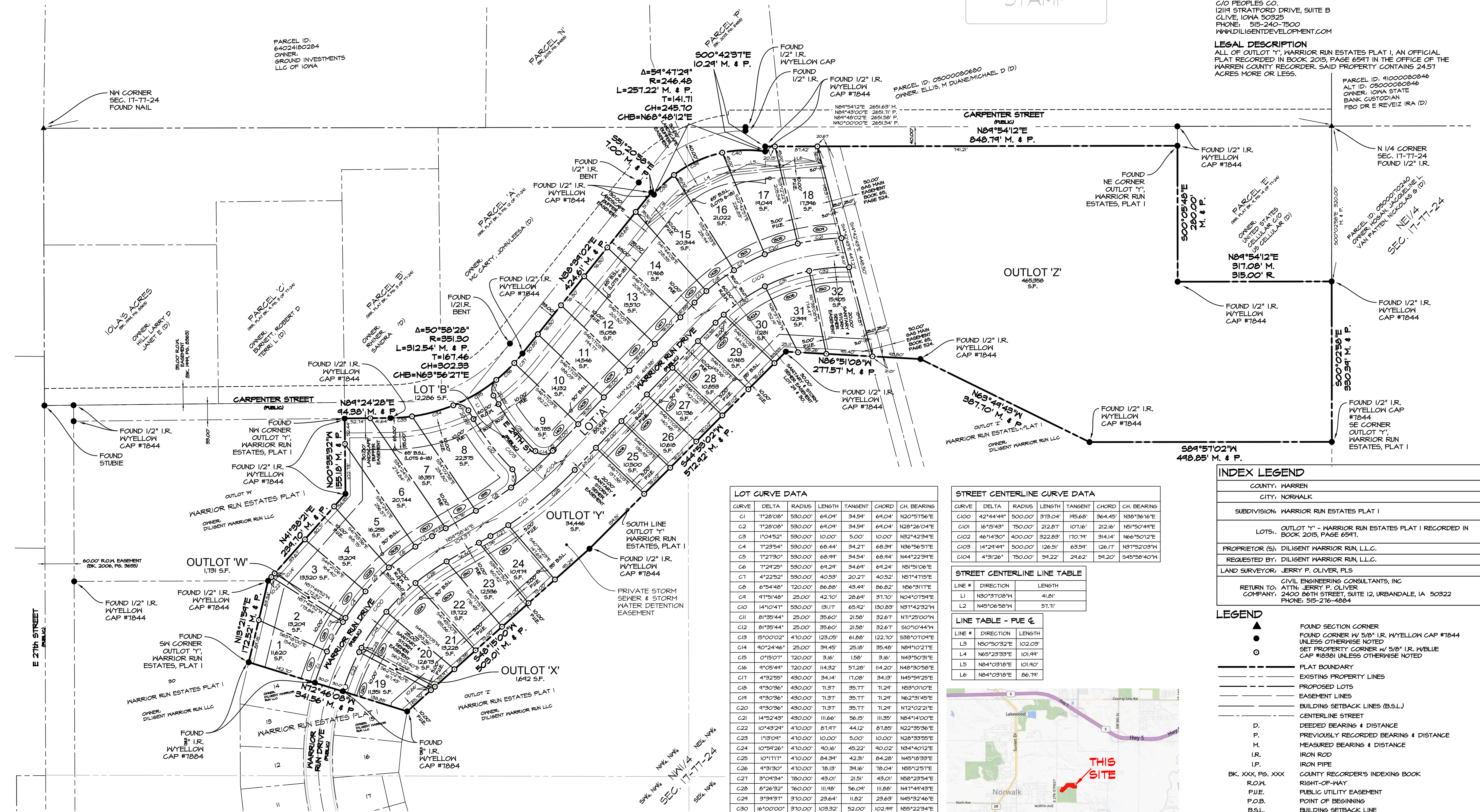
| DATE | REVISIONS | COMMENTS |
|------------------|-----------|------------|
| OCTOBER 02, 2017 | 1 | 10-30-2017 |
| | 2 | |
| | 3 | |
| | 4 | |
| | 5 | |
| | 6 | |

WARRIOR RUN ESTATES PLAT 2
NORWALK, IOWA

FINAL PLAT

SHEET
01
OF 01

E-153

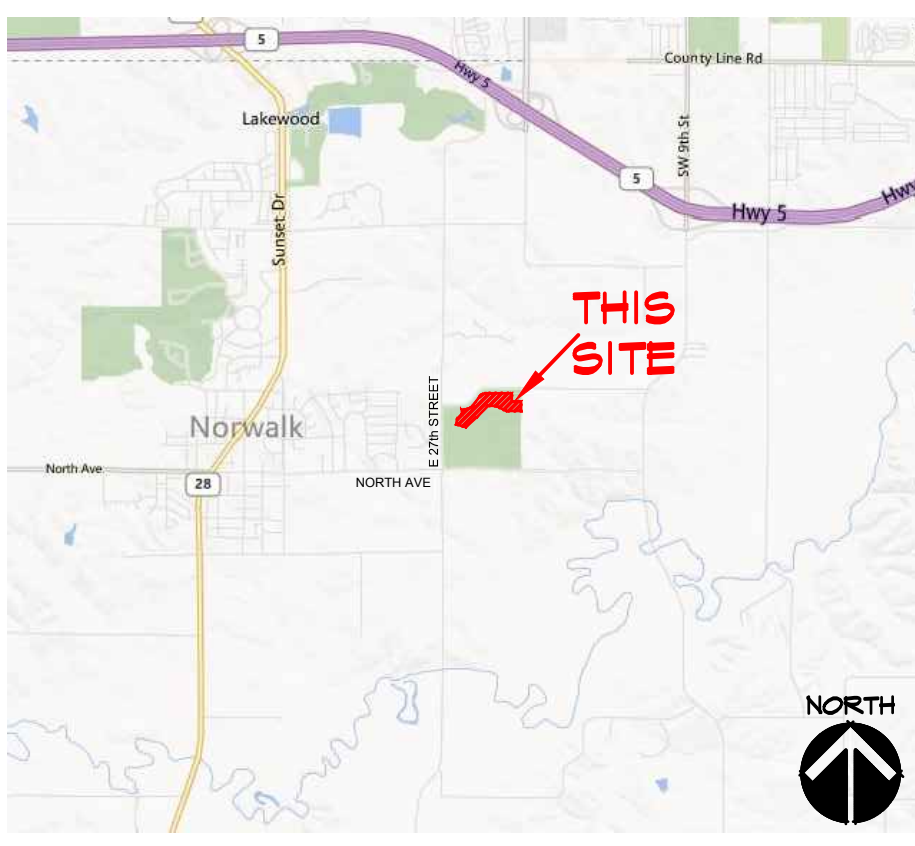


| LOT CURVE DATA | | | | | | |
|----------------|-----------|---------|---------|---------|---------|-------------|
| CURVE | DELTA | RADIUS | LENGTH | TANGENT | CHORD | CH. BEARING |
| C1 | 7°28'08" | 530.00' | 61.04' | 34.54' | 61.04' | N20°51'56"E |
| C2 | 7°28'08" | 530.00' | 61.04' | 34.54' | 61.04' | N28°26'04"E |
| C3 | 1°04'52" | 530.00' | 10.00' | 5.00' | 10.00' | N32°42'34"E |
| C4 | 7°23'54" | 530.00' | 68.44' | 34.21' | 68.34' | N36°56'51"E |
| C5 | 7°21'30" | 530.00' | 68.94' | 34.54' | 68.94' | N44°22'34"E |
| C6 | 7°24'25" | 530.00' | 64.24' | 34.64' | 64.24' | N51°51'06"E |
| C7 | 4°22'52" | 530.00' | 40.53' | 20.21' | 40.52' | N57°41'15"E |
| C8 | 6°54'48" | 720.00' | 86.88' | 43.44' | 86.82' | N56°31'11"E |
| C9 | 47°51'48" | 25.00' | 42.70' | 26.64' | 31.70' | N04°01'54"E |
| C10 | 14°10'41" | 530.00' | 131.17' | 65.92' | 130.83' | N31°42'32"W |
| C11 | 81°35'44" | 25.00' | 35.60' | 21.58' | 32.67' | N71°25'00"W |
| C12 | 81°35'44" | 25.00' | 35.60' | 21.58' | 32.67' | S10°10'44"W |
| C13 | 15°00'02" | 410.00' | 123.05' | 61.88' | 122.70' | S38°01'04"E |
| C14 | 40°24'46" | 25.00' | 34.45' | 25.18' | 35.48' | N84°10'21"E |
| C15 | 0°15'01" | 720.00' | 3.16' | 1.58' | 3.16' | N43°50'31"E |
| C16 | 9°05'44" | 720.00' | 114.32' | 57.28' | 114.20' | N48°30'58"E |
| C17 | 4°32'55" | 430.00' | 34.14' | 17.08' | 34.13' | N45°54'25"E |
| C18 | 4°30'36" | 430.00' | 71.37' | 35.71' | 71.24' | N53°01'10"E |
| C19 | 4°30'36" | 430.00' | 71.37' | 35.71' | 71.24' | N62°31'45"E |
| C20 | 4°30'36" | 430.00' | 71.37' | 35.71' | 71.24' | N72°02'21"E |
| C21 | 14°52'43" | 430.00' | 111.66' | 56.15' | 111.35' | N84°14'00"E |
| C22 | 10°43'24" | 410.00' | 81.91' | 44.12' | 81.85' | N22°35'36"E |
| C23 | 1°13'04" | 410.00' | 10.00' | 5.00' | 10.00' | N28°33'55"E |
| C24 | 10°54'26" | 410.00' | 40.16' | 45.22' | 40.02' | N34°40'12"E |
| C25 | 10°11'11" | 410.00' | 84.34' | 42.31' | 84.28' | N45°18'33"E |
| C26 | 9°31'30" | 410.00' | 78.13' | 34.16' | 78.04' | N55°12'51"E |
| C27 | 3°04'34" | 780.00' | 43.01' | 21.51' | 43.01' | N58°23'54"E |
| C28 | 8°26'32" | 760.00' | 111.88' | 56.04' | 111.88' | N47°44'43"E |
| C29 | 3°34'31" | 370.00' | 23.64' | 11.82' | 23.63' | N45°32'46"E |
| C30 | 16°00'00" | 370.00' | 103.32' | 52.00' | 102.94' | N55°22'34"E |
| C31 | 14°54'18" | 370.00' | 46.74' | 46.67' | 46.51' | N70°52'19"E |
| C32 | 12°48'46" | 370.00' | 82.74' | 41.54' | 82.57' | N84°46'14"E |
| C33 | 7°15'01" | 351.30' | 44.46' | 22.26' | 44.43' | S85°48'07"W |
| C34 | 14°23'25" | 351.30' | 88.23' | 44.35' | 88.00' | S74°58'51"W |
| C35 | 16°48'33" | 351.30' | 103.06' | 51.90' | 102.64' | S54°22'52"W |
| C36 | 8°17'58" | 351.30' | 50.84' | 25.44' | 50.84' | S46°44'37"W |
| C37 | 4°13'25" | 351.30' | 25.40' | 12.45' | 25.84' | S40°33'55"W |
| C38 | 13°21'41" | 246.48' | 57.92' | 24.04' | 57.18' | S45°38'22"W |
| C39 | 25°33'41" | 246.48' | 110.36' | 56.12' | 104.44' | S65°11'51"W |
| C40 | 20°40'31" | 246.48' | 88.94' | 44.96' | 88.46' | S88°21'42"W |

| STREET CENTERLINE CURVE DATA | | | | | | |
|------------------------------|-----------|---------|---------|---------|---------|-------------|
| CURVE | DELTA | RADIUS | LENGTH | TANGENT | CHORD | CH. BEARING |
| C100 | 42°44'44" | 500.00' | 313.04' | 115.68' | 364.45' | N38°36'16"E |
| C101 | 16°15'43" | 750.00' | 212.81' | 107.16' | 212.16' | N51°50'44"E |
| C102 | 46°14'30" | 400.00' | 322.83' | 170.74' | 314.14' | N66°50'12"E |
| C103 | 14°21'44" | 500.00' | 126.51' | 63.54' | 126.17' | N31°52'03"W |
| C104 | 4°31'26" | 750.00' | 54.22' | 24.62' | 54.20' | S45°58'40"W |

| STREET CENTERLINE LINE TABLE | | |
|------------------------------|-------------|--------|
| LINE # | DIRECTION | LENGTH |
| L1 | N30°31'08"W | 41.81' |
| L2 | N45°06'58"W | 57.71' |

| LINE TABLE - PUE | | |
|------------------|-------------|---------|
| LINE # | DIRECTION | LENGTH |
| L3 | N50°50'32"E | 102.03' |
| L4 | N65°23'33"E | 101.94' |
| L5 | N84°03'18"E | 101.90' |
| L6 | N84°03'18"E | 86.74' |



VICINITY MAP
NOT TO SCALE

INDEX LEGEND

| | |
|----------------|-------------------------------------------------------------------------------------------------|
| COUNTY: | WARREN |
| CITY: | NORWALK |
| SUBDIVISION: | WARRIOR RUN ESTATES PLAT 1 |
| LOTS: | OUTLOT 'Y' - WARRIOR RUN ESTATES PLAT 1 RECORDED IN BOOK 2015, PAGE 6547. |
| PROPRIETOR(S): | DILIGENT WARRIOR RUN, LLC. |
| REQUESTED BY: | DILIGENT WARRIOR RUN, LLC. |
| LAND SURVEYOR: | JERRY P. OLIVER, FLS |
| RETURN TO: | CIVIL ENGINEERING CONSULTANTS, INC. |
| COMPANY: | ATTN: JERRY P. OLIVER 2400 86TH STREET, SUITE 12, URBANDALE, IA 50322 PHONE: 515-216-4884 |

LEGEND

- ▲ FOUND SECTION CORNER
- FOUND CORNER W/ 5/8" I.R. WYELLOW CAP #7844
- UNLESS OTHERWISE NOTED
- SET PROPERTY CORNER W/ 5/8" I.R. WBLUE CAP #18381 UNLESS OTHERWISE NOTED
- PLAT BOUNDARY
- EXISTING PROPERTY LINES
- PROPOSED LOTS
- EASEMENT LINES
- BUILDING SETBACK LINES (B.S.L.)
- CENTERLINE STREET
- D, DEEDED BEARING & DISTANCE
- P, PREVIOUSLY RECORDED BEARING & DISTANCE
- M, MEASURED BEARINGS & DISTANCE
- I.P., IRON ROD
- BK. XXX, PG. XXX, IRON PIPE
 R.O.W., COUNTY RECORDER'S INDEXING BOOK | P.U.E., RIGHT-OF-WAY | P.O.B., PUBLIC UTILITY EASEMENT | B.S.L., POINT OF BEGINNING | (1234), BUILDING SETBACK LINE | ADDRESS |

CERTIFICATION

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

JERRY P. OLIVER, IOWA REG. NO. 7844 DATE
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2018
PAGES OR SHEETS COVERED BY THIS SEAL:

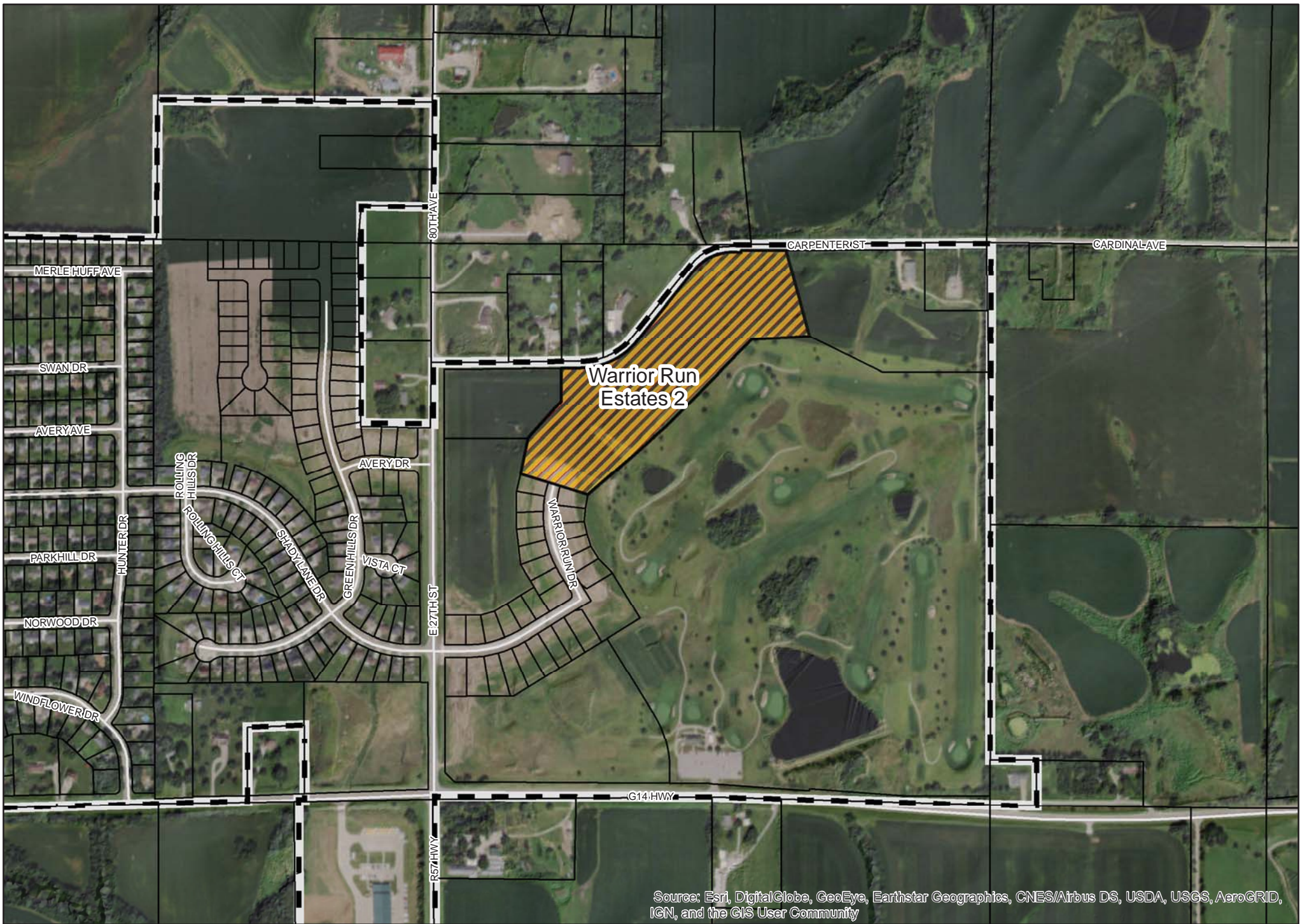
UTILITIES
CITY OF NORWALK WATER WORKS
CITY OF NORWALK SANITARY SEWER SYSTEM
CITY OF NORWALK STORM SEWER SYSTEM

FLOOD ZONE
ZONE 'X'
FEMA FIRM FLOOD INSURANCE RATE MAP NUMBER 19181C0132E,
REVISED MARCH 2, 2004

SCALE: 1"=100'
22"x34" SHEET
1"=100' 11"x17" SHEET

SCALE: 1"=100'
22"x34" SHEET
1"=100' 11"x17" SHEET





Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Warrior Run Estates Plat 2



| | |
|-------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SIGNAGE: | A monument sign is proposed on the northeast corner of the site and is properly setback from the right-of-way. Details of the monument sign and any building signs will be reviewed and permitted through the sign permit process. |
| ARCHITECTURAL STANDARDS: | <p>The façade of the building is composed of glass, stone, LP SmartSide siding, and zinc flashing.</p> <p>The City's architectural standards require that buildings in the C-2 district be composed of 75% class 1 or class 2 materials on the street facing façade; no more than 25% class 3 materials, with any class 4 materials being no more than 10% of the façade.</p> <p>The façade includes the required 3 class 1 or 2 materials (glass, stone, zinc flashing) and the LP SmartSide siding is a class 3 material that does not exceed 25% of the façade.</p> |
| DRAINAGE: | <p>The site does not have on-site storm water detention. During staff review, the City Engineer determined that the storm water runoff from the site would have minimal impact on the existing storm sewer infrastructure in the area. The City Engineer has noted that the developer can request, and the City can grant a waiver of the requirement for on-site detention. The City has provided waivers in the past when redevelopment has had minimal impact on the City's storm sewer infrastructure. The most recent example being the single family home development at the Old School site.</p> <p>The grading and development of the site directs the storm sewer to the west toward Sunset Drive, away from the residential properties to the east.</p> |
| UTILITIES: WATER, SANITARY SEWER, STORM SEWER. | Adequate services are provided to the site and detailed on the site plan. |
| STAFF ANALYSIS: | <p>Overall the site plan meets the City's requirements for development of an C-2 parcel. A variance had previously been granted for the eastern setback to allow for a 15' setback. Staff is supportive of the request to waive the parking setback requirement, which is necessary for development and the possibility of adequate parking for the office use.</p> <p>Staff is also supportive of the request to waive the onsite detention requirement. The site is small and the increased runoff will have minimal impact on the City storm sewer infrastructure and the neighboring property owners.</p> <p>The developer needs to provide a design for the rear buffer wall so that the buffer requirements are met.</p> |
| STAFF RECOMMENDATION: | <p>The staff recommends approval with the following conditions:</p> <ul style="list-style-type: none"> • That the site development and building construction follow all City code regulations. • That any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council. • That the buffer wall be designed to meet City requirements. |

RESOLUTION NO. ____

A RESOLUTION APPROVING THE SITE PLAN FOR SUNSET CORNER

WHEREAS, the Planning & Zoning Commission reviewed this request at their regular meeting on November 13, 2017 and recommends approval of the Site Plan; and

WHEREAS, that the site development and building construction follow all City code regulations; and

WHEREAS, that any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council; and

WHEREAS, that the buffer wall be designed to meet City requirements; and

NOW, THEREFORE, BE IT RESOLVED: That the City Council does hereby approve the Site Plan for Sunset Corner as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

PASSED AND APPROVED this 16th day of November, 2017.

Tom Phillips - Mayor

ATTEST:

JODI EDDLEMAN, CITY CLERK

| <u>ROLL CALL VOTE:</u> | <u>Aye</u> | <u>Nay</u> |
|------------------------|------------|------------|
| Kuhl | ___ | ___ |
| Lester | ___ | ___ |
| Isley | ___ | ___ |
| Riva | ___ | ___ |
| Livingston | ___ | ___ |

NOTE:

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

SITE ADDRESS:

1300 SUNSET DRIVE

ZONING:

C-2

USE

CHIROPRACTIC OFFICE

IMPERVIOUS SURFACE:

EXISTING = 0 SF
PROPOSED = 10,566 SF

OWNER/DEVELOPER:

XXX
1200 VALLEY WEST DRIVE SUITE 304
WEST DES MOINES, IA 50266
515-650-3950

OPEN SPACE:

SITE AREA = 15,039 SF
OPEN SPACE REQUIRED = 25% = 3,760 SF
PROVIDED = 3,809 SF = 25%

UTILITIES OWNERSHIP:

STORM SEWERS
SANITARY SEWERS
WATER
NATURAL GAS
ELECTRIC
TELEPHONE

CITY OF NORWALK
CITY OF NORWALK
CITY OF NORWALK
MIDAMERICAN ENERGY
MIDAMERICAN ENERGY
CENTURYLINK

SETBACKS:

50' FRONT
15' EAST
10' SOUTH

CONSTRUCTION SCHEDULE:

| ITEM | BEGIN | COMPLETED |
|-------------------------|-------|-----------|
| GRADING/EROSION CONTROL | 10/17 | 07/18 |
| BUILDING CONSTRUCTION | 10/17 | 07/18 |
| PAVING | 10/17 | 07/18 |
| LANDSCAPING | 10/17 | 07/18 |

PARKING:

REQUIRED:
OFFICE: 1/250SF
3,030/250 = 13 STALLS
PROVIDED:
21 STALLS
INCLUDING 1 H.C.

LEGAL DESCRIPTION:

A tract of land being a part of the East Half of the Northeast Quarter of Section 13 and the abandoned right of way of the Chicago, Burlington & Quincy Railroad Company conveyed to the Town of Norwalk in Deed Record Number 116 on Page 225 and Page 334, respectively, Warren County Records. All of the above lying in Township 77 North, Range 25 West of the 5th P.M., Town of Norwalk, Warren County, Iowa and is more particularly described as follows:

Commencing at the Southwest corner of the NE ¼ of the NE ¼ of said Section 13; thence North 89°54'42" East along the North right of way line of Parkhill Drive, as it is presently established, 623.00 feet to the Southwest corner of Lot 30, Norwalk Trend Heights, an official plat, in the Town of Norwalk, Warren County, Iowa; thence North 00°40'24" West 634.17 feet (recorded as 634.5 feet) along the West line of said Norwalk Trend Heights to the Northeast corner of that certain tract of land described in Book 2001 on Page 361, Warren County Records, said point being the Point of Beginning; thence continuing along said West line North 00°40'24" West 115.42 feet to the Northwest corner of Lot 22 of said Norwalk Trend Heights; thence North 88°30'55" West 94.75 feet along the Southerly right of way line of Richard George Drive, as it presently established, being the Westerly Extension of the North line of said Lot 22 to the Easterly right of way line of Iowa Highway No. 28; thence South 29°15'36" West 135.40 feet along said Easterly right of way to the Northwest corner of said tract of land described in Book 2001 on Page 361; thence North 89°54'42" East 162.25 feet along the North line of said tract to the Point of Beginning. Said tract of land contains 0.35 acres.

P.C.C. PAVING:

- ALL SUBGRADE UNDER SLAB TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY FOR A MINIMUM OF 12".
- MOISTEN SUBGRADE PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
- AGGREGATE SHALL BE CLASS 3.
- CONCRETE SURFACES SHALL BE BURLAP FINISH. CHECK SURFACE WITH TEMPLATE NO DEVIATION OVER 1/8" IN 10' IS PERMITTED. ALL CONCRETE SHALL SLOPE TO DRAIN.
- ALL CONCRETE SHALL BE CURED WITH AN ASTM C309 TYPE 2, WATER BASED WHITE PIGMENTED CURING COMPOUND PER IDOT SEC. 4105 SAW CUT JOINTS AS SOON AS CONCRETE HAS SET ENOUGH TO PREVENT RAVELING AND PRIOR TO ANY CRACKING.
- SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
- LONGITUDINAL JOINT SPACING SHALL NOT BE GREATER THAN 12'. TRANSVERSE SPACING SHALL NOT BE GREATER THAN 15'. JOINT LAYOUT SHALL BE APPROVED BY THE ENGINEER.
- BARS AT LONGITUDINAL JOINTS TO BE 1/2" X 30" DEFORMED AT 30" O.C.
- ALL JOINTS SHALL BE FILLED.
- THE CONTRACTOR TO BARRICADE SLAB FOR 14 DAYS AFTER PLACING.
- ON SITE PAVING THICKNESS SHALL BE AS FOLLOWS: 4" SIDEWALKS, 6" DRIVEWAYS AND PARKING, DRIVE PAVEMENT WITHIN R/W (CURB TO BACK OF WALK) SHALL BE 7" MIN. PERIMETER SIDEWALK SHALL BE 5" MIN EXCEPT WITHIN DRIVE PAVEMENT.
- SUBMIT DESIGN MIX AS DESIGNED BY INDEPENDENT TESTING LABORATORY PRIOR TO PLACING ANY CONCRETE.
- ALL WORK TO COMPLY WITH CURRENT AGI STANDARDS.
- THE CONTRACTOR SHALL PAINT PARKING STALLS AND PROVIDE AND INSTALL H.C. PARKING SIGNS.
- ALL DEBRIS SPILLED ON THE CITY STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. NOTIFY CITY OF PROPOSED BORROW OR FILL SITE LOCATIONS AND HAUL ROUTES.

INSTALL 5' WALK

SUNSET DRIVE

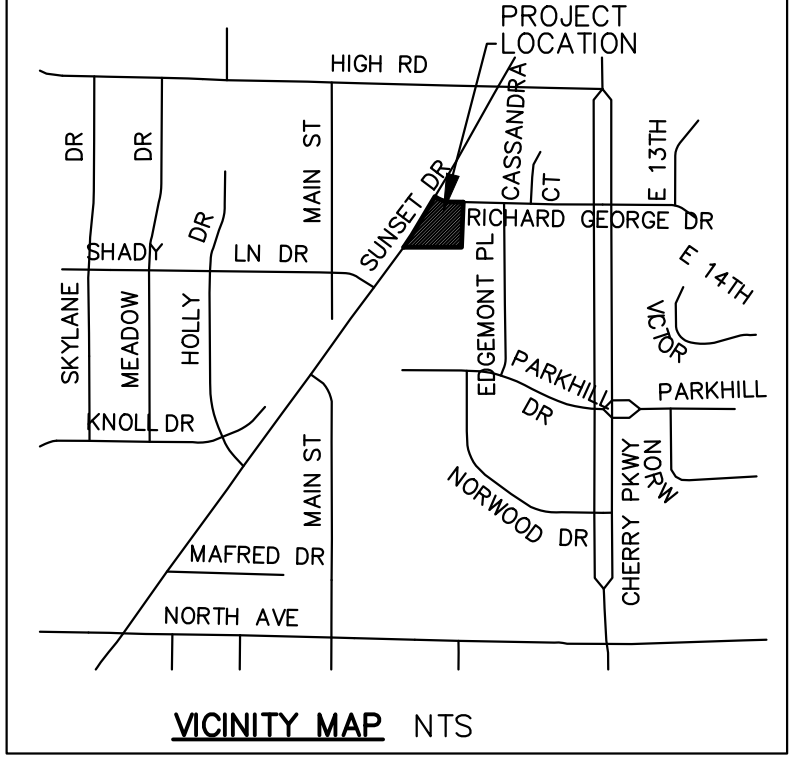
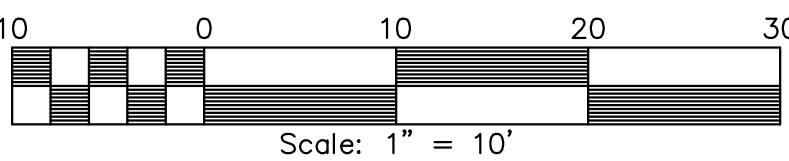
GRIND OUT CURB TO FLUSH WITH PAVEMENT FOR SIDEWALK CONNECTION TO PAVEMENT. SEE DETAIL SHEET

RICHARD GEORGE DRIVE

EXIST. L.P.

EXIST. P.P.S& ANCHORS
EXIST. TELE. PEDS.
EXIST. FENCE

INSTALL VAN ACCESSIBLE PARKING ONLY SIGN



GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2017 VERSION OF SUDAS.
- ALL DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- ALL CONSTRUCTION PROCEDURES AND MATERIALS TO MEET OR EXCEED MINIMUM REQUIREMENTS OF THE CITY.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY AND ALL APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR GIVING THE CITY PROPER NOTICE FOR THEIR REQUIRED INSPECTIONS.
- WORK SHALL INCLUDE CONNECTION TO EXISTING PUBLIC UTILITIES AND ANY AND ALL FITTINGS, CLEANOUTS AND APPURTENANCES REQUIRED BY CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEARING & GRUBBING THE SITE, AND REMOVAL & DISPOSAL OF ANY DELETERIOUS AND EXCESS MATERIALS FROM THE SITE.
- ANY DAMAGE DONE TO THE EXISTING FENCES, YARDS OR OTHER IMPROVEMENTS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK, INCLUDING DRIVEWAY AND SIDEWALK PERMITS.
- THE CONTRACTOR SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES, OR AS DIRECTED BY THE CITY.

SUNSET CORNER - GEOMETRIC PLAN

ERG
Engineering Resource Group, Inc.
Engineers and Surveyors
DESIGN DIVISION
DES MOINES, IOWA 50312
(515) 288-4823

DOUGLAS J. SALTSGAVER, P.E. #11993
IOWA PROFESSIONAL ENGINEER

17-044

REVISION

DATE BY

LOCATION

SCALE: 1" = 10'
DWG: 17-044-GE0.dwg

DESIGNED BY: BWS
CHECKED BY: DIS

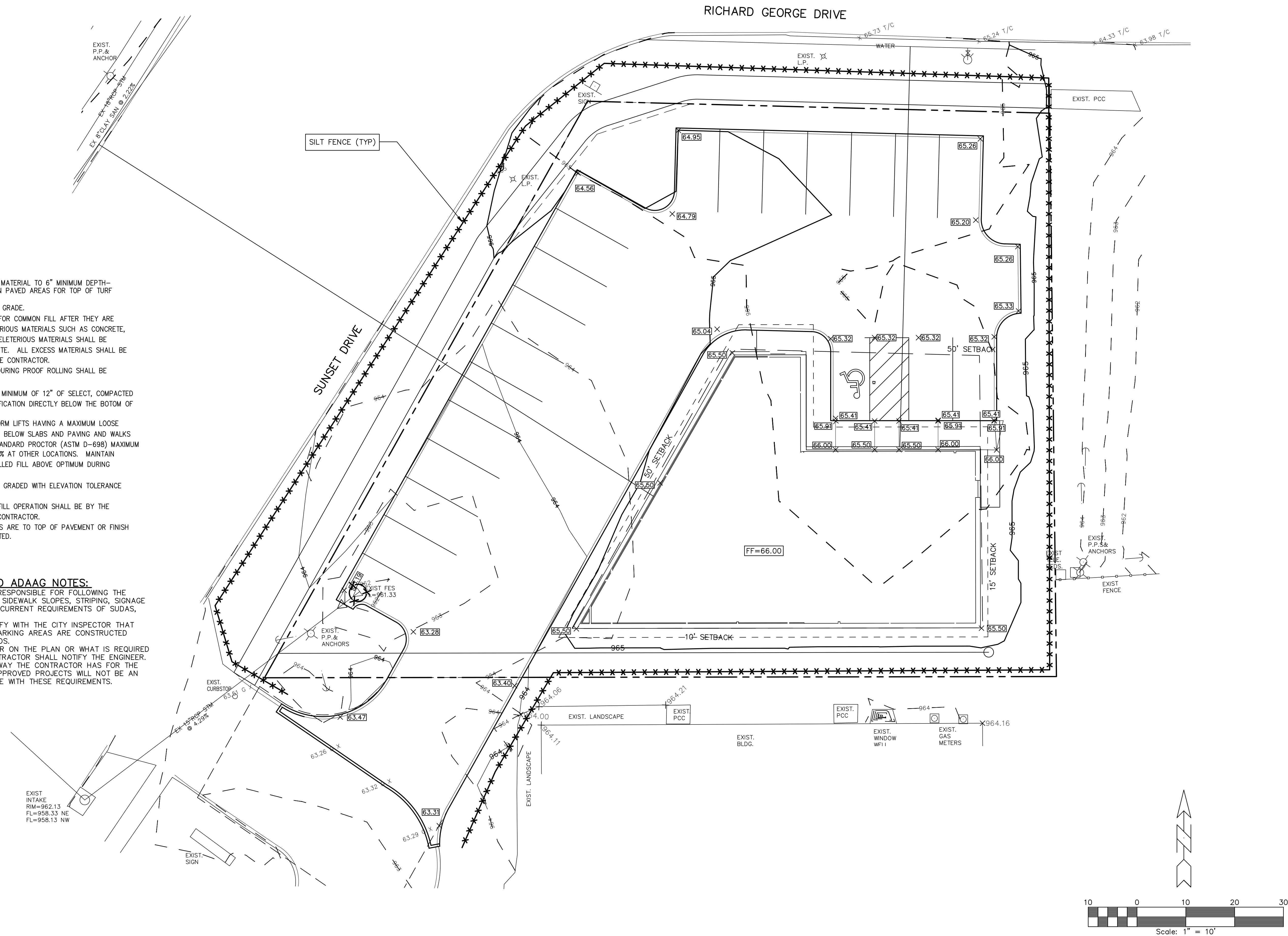
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DATE: 11/01/17
SHEET 1 OF 6
FILE NO.: 17-044

SPI

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

1. REMOVE ALL EXISTING ORGANIC MATERIAL TO 6" MINIMUM DEPTH--RESPREAD TOPSOIL ON ALL NON PAVED AREAS FOR TOP OF TURF TO BE AT FINISH GRADE.
2. PROOF ROLL THE EXPOSED SUB GRADE.
3. NATIVE SOILS MAY BE REUSED FOR COMMON FILL AFTER THEY ARE SORTED TO REMOVE ALL DELETERIOUS MATERIALS SUCH AS CONCRETE, BRICKS AND OTHER RUBBLE. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE. ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
4. ANY SOFT SPOTS DISCOVERED DURING PROOF ROLLING SHALL BE UNDERCUT AND RECOMPACTED.
5. ALL PAVEMENTS SHALL HAVE A MINIMUM OF 12" OF SELECT, COMPACTED MATERIAL OF CL OR ML CLASSIFICATION DIRECTLY BELOW THE BOTOM OF SLAB.
6. FILL SHALL BE PLACED IN UNIFORM LIFTS HAVING A MAXIMUM LOOSE THICKNESS OF 9". COMPACTION BELOW SLABS AND PAVING AND WALKS SHALL BE AT LEAST 95% OF STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY. COMPACT TO 90% AT OTHER LOCATIONS. MAINTAIN MOISTURE CONTENT OF CONTROLLED FILL ABOVE OPTIMUM DURING PLACEMENT AND COMPACTION.
7. THE ENTIRE SITE SHALL BE FINE GRADED WITH ELEVATION TOLERANCE OF 0.1 FOOT
8. OBSERVATION AND TESTING OF FILL OPERATION SHALL BE BY THE SOILS ENGINEER HIRED BY THE CONTRACTOR.
9. ALL PROPOSED SPOT ELEVATIONS ARE TO TOP OF PAVEMENT OR FINISH GRADE, UNLESS OTHERWISE NOTED.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING THE PROPOSED SPOT ELEVATIONS, SIDEWALK SLOPES, STRIPING, SIGNAGE AND RAMP DETAILS TO MEET CURRENT REQUIREMENTS OF SUDAS, MUTCD, DOJ AND ADAAG.
2. THE CONTRACTOR SHALL VERIFY WITH THE CITY INSPECTOR THAT THE RAMP, SIDEWALK, AND PARKING AREAS ARE CONSTRUCTED PROPERLY TO MEET STANDARDS.
3. SHOULD DISCREPANCIES OCCUR ON THE PLAN OR WHAT IS REQUIRED BY THE INSPECTOR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
4. UNLESS THE WORK ORDER OR THE CONTRACTOR HAS FOR THE LAST XX YEARS ON OTHER APPROVED PROJECTS WILL NOT BE AN EXCUSE FOR NON-COMPLIANCE WITH THESE REQUIREMENTS.



SUNSET CORNER - GRADING PLAN

| NO. | REVISION | DATE | BY | FOR | LOCATION | SCALE: | 1" = 10' | DESIGNED BY: | BWS | DRAWN BY: | BWS |
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| | | | | | | DWG: | 17-044-GRD.dwg | CHECKED BY: | DJS | DATE: | 11/01/17 |
| | | | | | | FIELD BOOK: | SHEET 2 OF 6 | FILE NO.: | | | 17-044 |

ERG
Engineering Resource Group, Inc.
Engineers and Surveyors
2413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 288-4823

17-044

NOTE:
THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

SANITARY SEWERS:

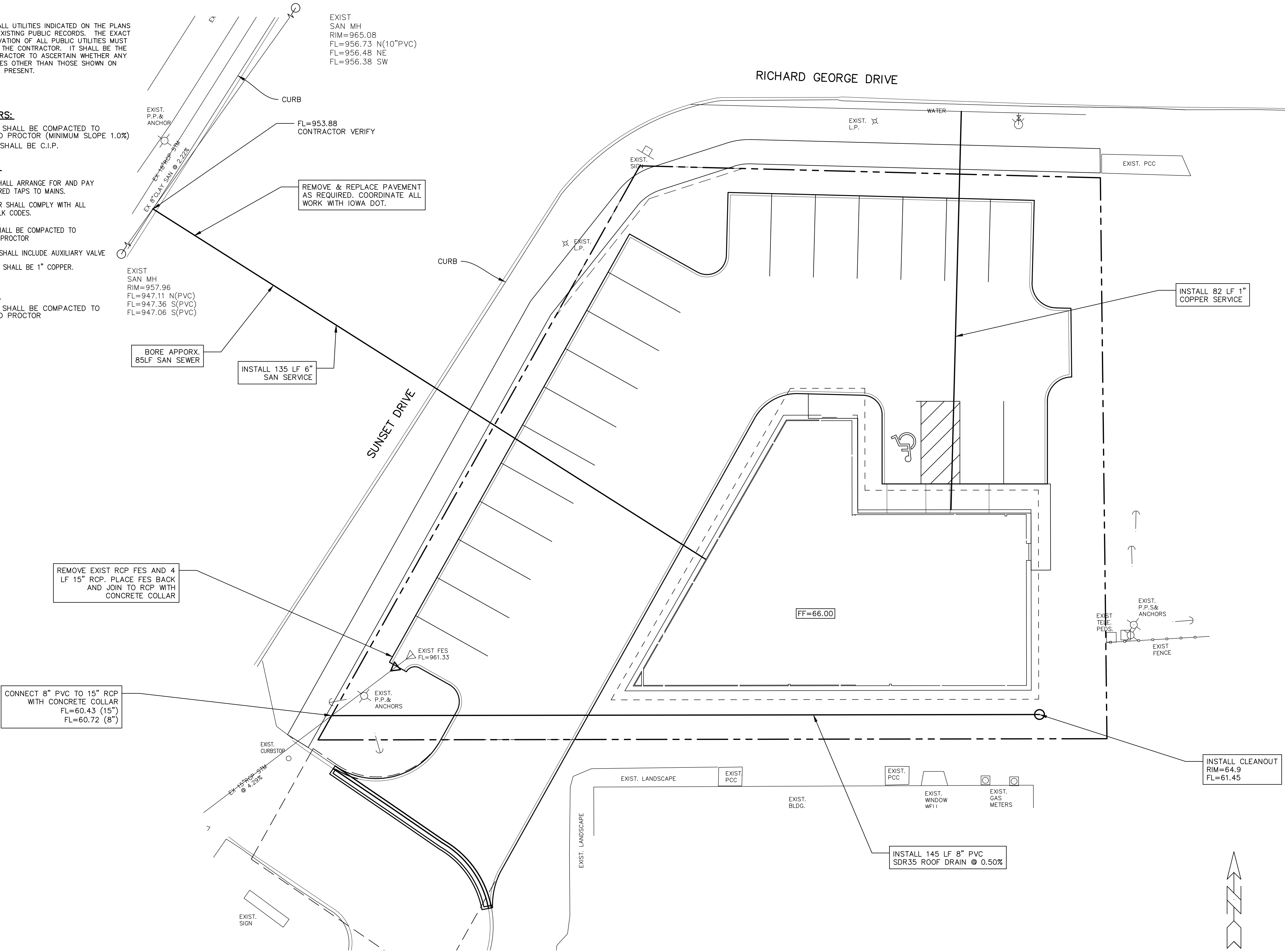
1. ALL TRENCHES SHALL BE COMPACTED TO 95% STANDARD PROCTOR (MINIMUM SLOPE 1.0%)
2. ALL SERVICES SHALL BE C.I.P.

WATER SERVICE:

1. CONTRACTORS SHALL ARRANGE FOR AND PAY FOR ANY REQUIRED TAPS TO MAINS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CITY OF NORWALK CODES.
3. ALL BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR
4. FIRE HYDRANTS SHALL INCLUDE AUXILIARY VALVE
5. WATER SERVICES SHALL BE 1" COPPER.

STORM SEWERS:

1. ALL TRENCHES SHALL BE COMPACTED TO 95% STANDARD PROCTOR



SUNSET CORNER - UTILITY PLAN

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Engineers and Surveyors
DESIGN DIVISION
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| | | | | | | FIELD BOOK: | SHEET 3 OF 6 | FILE NO: 17-044 |

SP3

17-044

NOTE:
THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

SITE DEMOLITION

EXTENT OF WORK

The extent of work includes the removal of existing pavements, landscaping, retaining walls, lighting, appurtenances. This section also covers the removal, salvage and storage of existing items on site.

GENERAL

Provide temporary barricades and other forms of protection as required to protect personnel and public from injury due to demolition work, and preclude access to the areas of construction. Provide temporary barricades and other forms of protection for trees and other landscaping to be saved from removal and demolition.

Remove all vegetation, improvements, or obstructions within the limits of the construction as noted on the plan. Note that adjacent properties disturbed by this action shall be repaired upon damage and barricaded to prevent future occurrences.

Comply with the environmental protection and safety requirements of the Owner and all governmental authorities having jurisdiction. Keep dust to a minimum. Maintain streets and walks free of mud, dirt and debris.

The contractor shall supply his/her own portable toilets.

REMOVAL OF ABOVE-GRADE IMPROVEMENTS

Remove all improvements shown on the drawings.

Remove all pavement and base course materials to provide clean area for new construction. Transport materials from site as they are removed.

Sawcut existing pavements to provide clean straight edges for new construction. Do not try to jack hammer or attempt to break off existing pavements to provide clean edges.

Removals of signs, bike racks, and other small items shall be incidental to A.C.C. pavement removal.

REMOVAL OF BELOW-GRADE IMPROVEMENTS

Remove all substructures including but not limited to footings and foundation walls, pole bases, as well as loose, soft or otherwise unsuitable backfill materials adjacent to these structures. All backfill shall be compacted to 95% standard proctor.

Observation and testing of fill operation shall be by the soils engineer hired by the contractor.

Remove any conduits, cables, pipe or other materials associated with the underground structures, unless directed otherwise by the Owner's Representative.

DISPOSAL OF WASTE MATERIALS

Burning on Property: Burning of combustible cleared and grubbed materials is not permitted on the Owner's property. All plant material denoted for demolition shall be removed from site.

Removal from Property: Remove all waste materials and unsuitable soil from the Owner's property and legally dispose of it. Disposal methods and locations are at the Contractor's option, but in no case shall the Contractor engage in illegal dumping, disposing on the Owner's property, or other acts in conflict with local and state ordinances and laws. All cost associated with transporting and disposal of material shall be born by the contractor.

EXISTING UTILITIES

Locate existing underground utilities in the areas of work before starting demolition operations. If utilities are to remain in place, provide adequate means of protection during demolition operations.

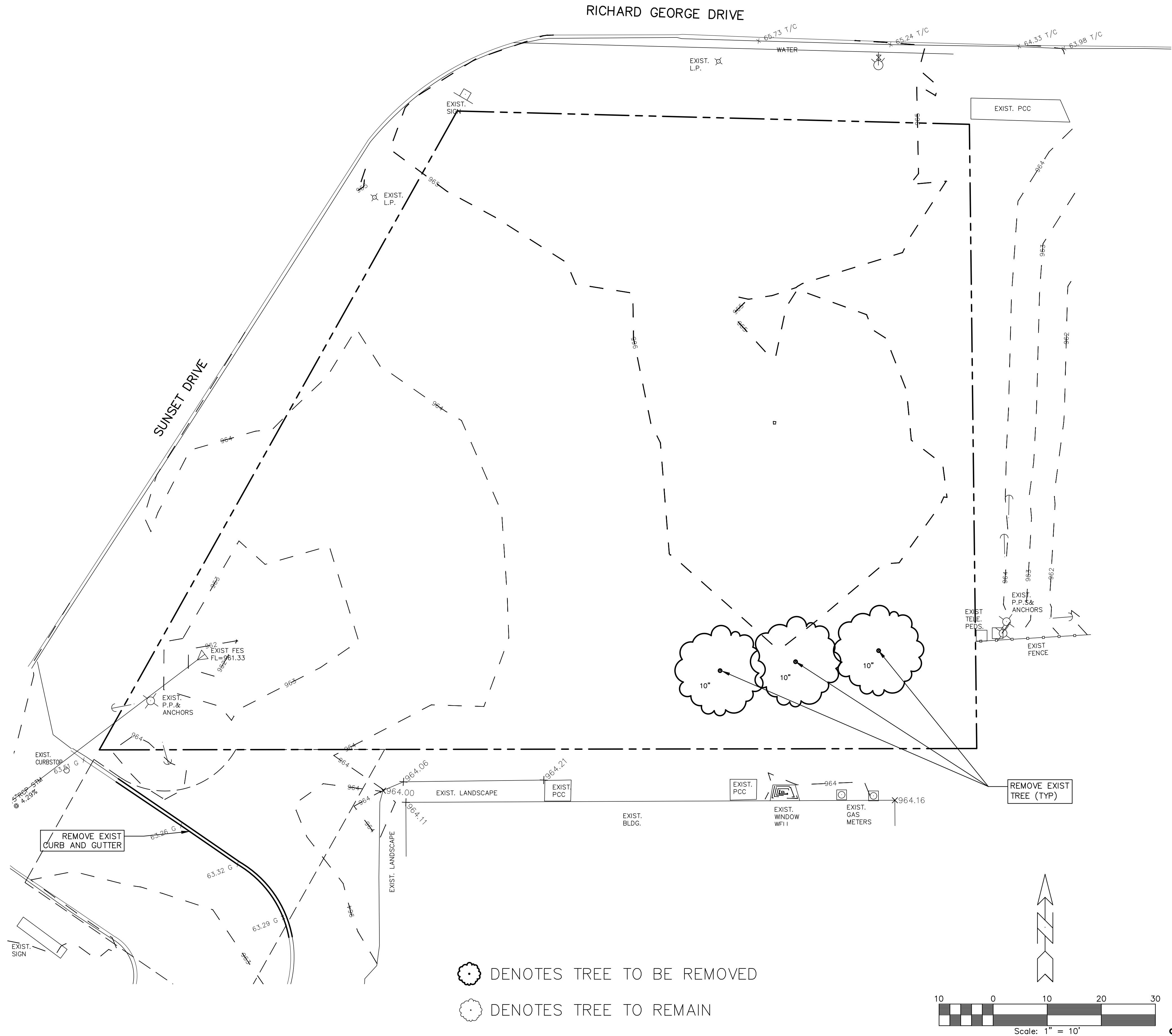
Should uncharted or incorrectly charted piping or other utilities be encountered during excavation, consult the Owner's representative immediately for directions as to procedure. Cooperate with the Owner and public and private utility companies in keeping their respective services and facilities in operation.

The contractor shall coordinate the work with all utilities including gas, electricity, phone. The contractor shall remove any abandoned poles, pedestals and other structures.

TEMPORARY PROTECTION

Barricade open excavations made as a part of earthwork operations and post with warning lights. Operate warning lights during hours from dusk to dawn each day and as otherwise required and may be required by local codes.

Protect structures, utilities, sidewalks, pavements and other facilities on and off the site from damages caused by settlement, lateral movement, undermining, washout and other hazards created by earthwork operations.



SUNSET CORNER - DEMOLITION PLAN

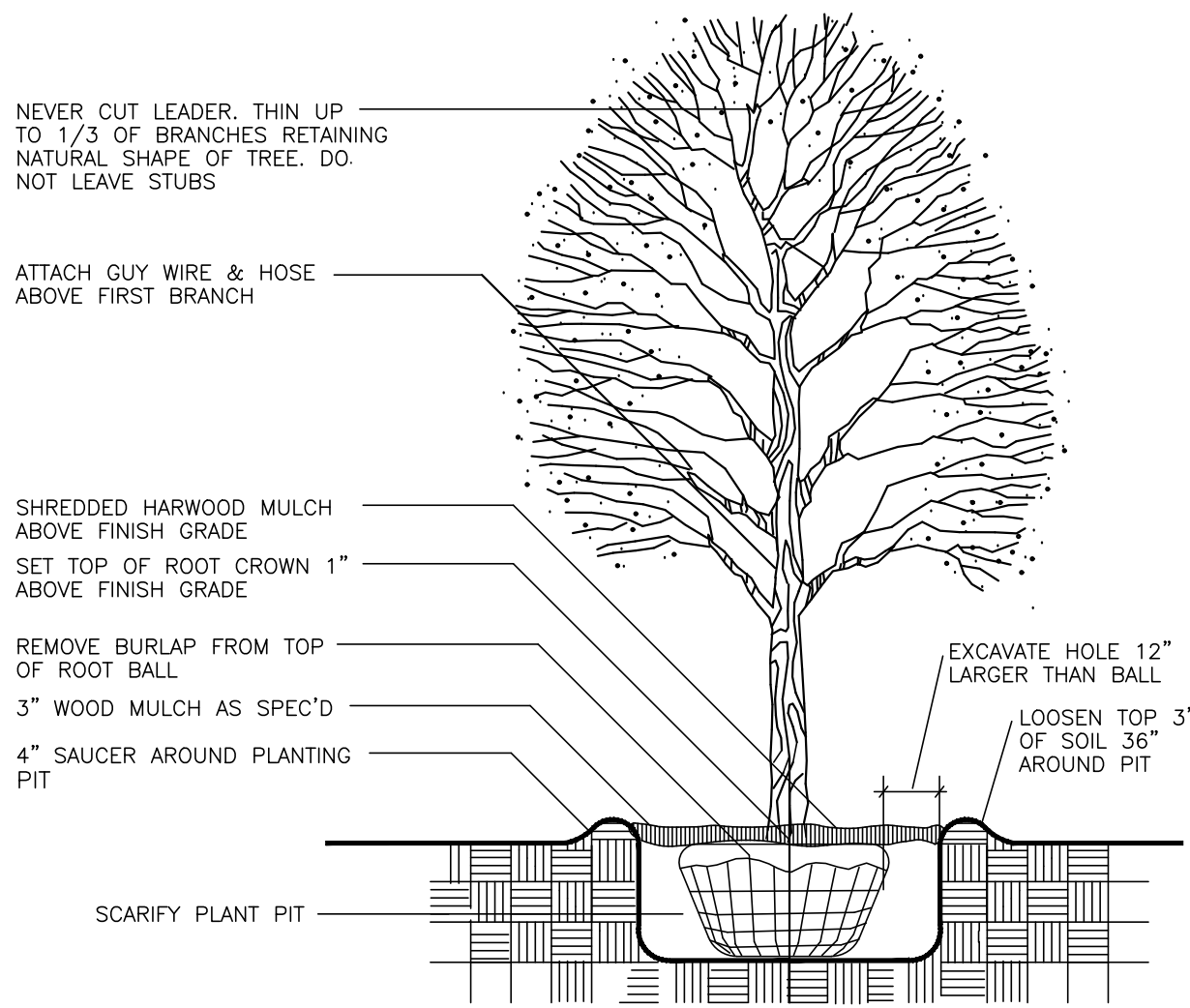
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| | | | | | | FIELD BOOK: 4 | SHEET 4 | OF 6 | |

SP4

NOTE:
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TREE PLANTING

NOT TO SCALE

CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC ROW AT 283-4950
ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES
NO STAKING OF TREES IS ALLOWED

Notes:

Property owners shall be responsible for the proper maintenance of all required landscape materials and any dead or substantially damaged landscape materials shall be replaced

ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED AND/OR REPLACED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.

ALL DISTURBED SOIL AREA SHALL BE RESTORED BY SEEDING OR SODDING.

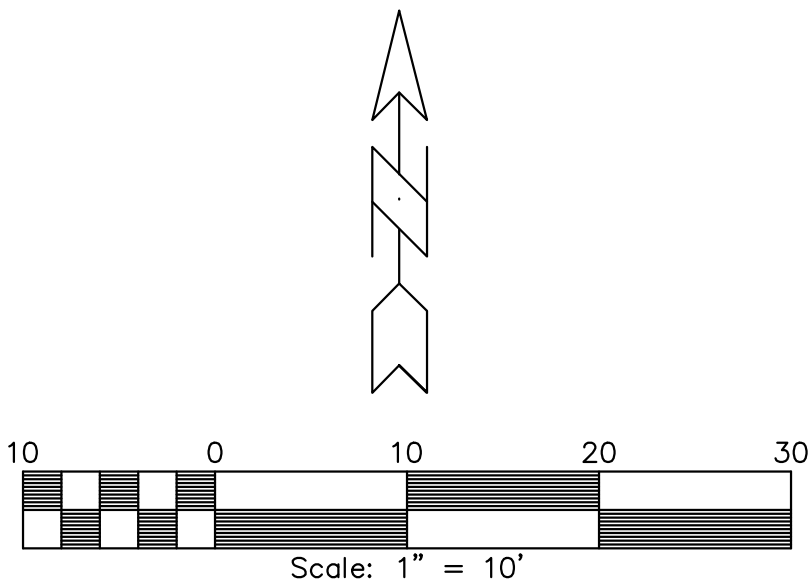
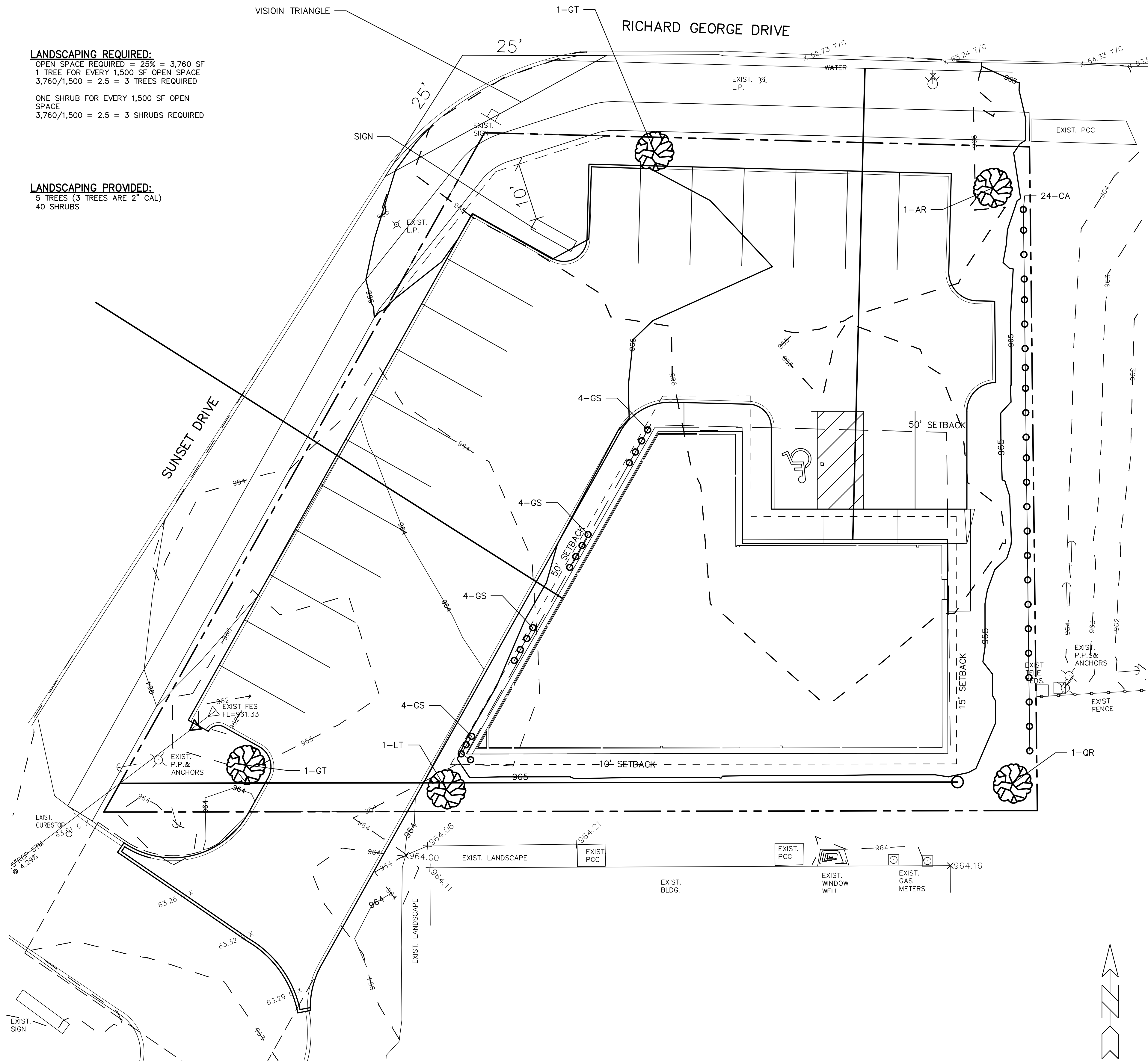
PLANT SCHEDULE:

| | | | |
|--------------------------------|--------------------------------------------|----|--------------|
| AR Red Maple | Acer rubrum | 1 | 2" CAL. B&B |
| QR Northern Red Oak | Quercus rubra | 1 | 2" TALL B&B |
| LT Tulip Tree | Liriodendron tulipifera | 1 | 8" TALL B&B |
| GT Skyline Honeylocust | Gleditsia triacanthos f. inermis 'Skyline' | 2 | 2" CAL. B&B |
| GS Goldmound Spirea | Spiraea japonica 'Goldmound' | 16 | 1 GAL. CONT. |
| CA Strawberry Daiquiri Dogwood | Cornus alba 'Siddazam' | 24 | 1 GAL. CONT. |

LANDSCAPING REQUIRED:
OPEN SPACE REQUIRED = 25% = 3,760 SF
1 TREE FOR EVERY 1,500 SF OPEN SPACE
3,760/1,500 = 2.5 = 3 TREES REQUIRED

ONE SHRUB FOR EVERY 1,500 SF OPEN SPACE
3,760/1,500 = 2.5 = 3 SHRUBS REQUIRED

LANDSCAPING PROVIDED:
5 TREES (3 TREES ARE 2" CAL.)
40 SHRUBS



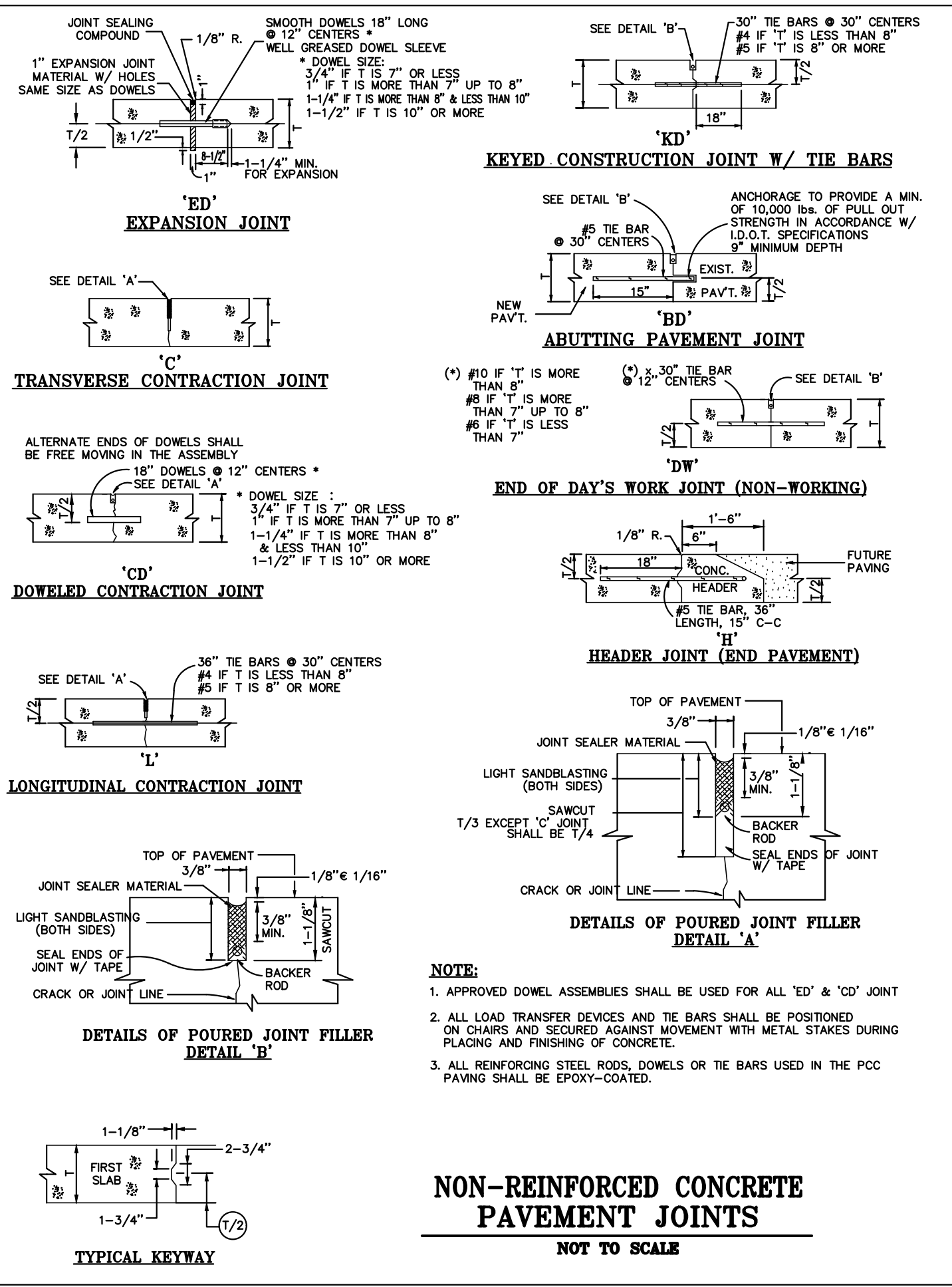
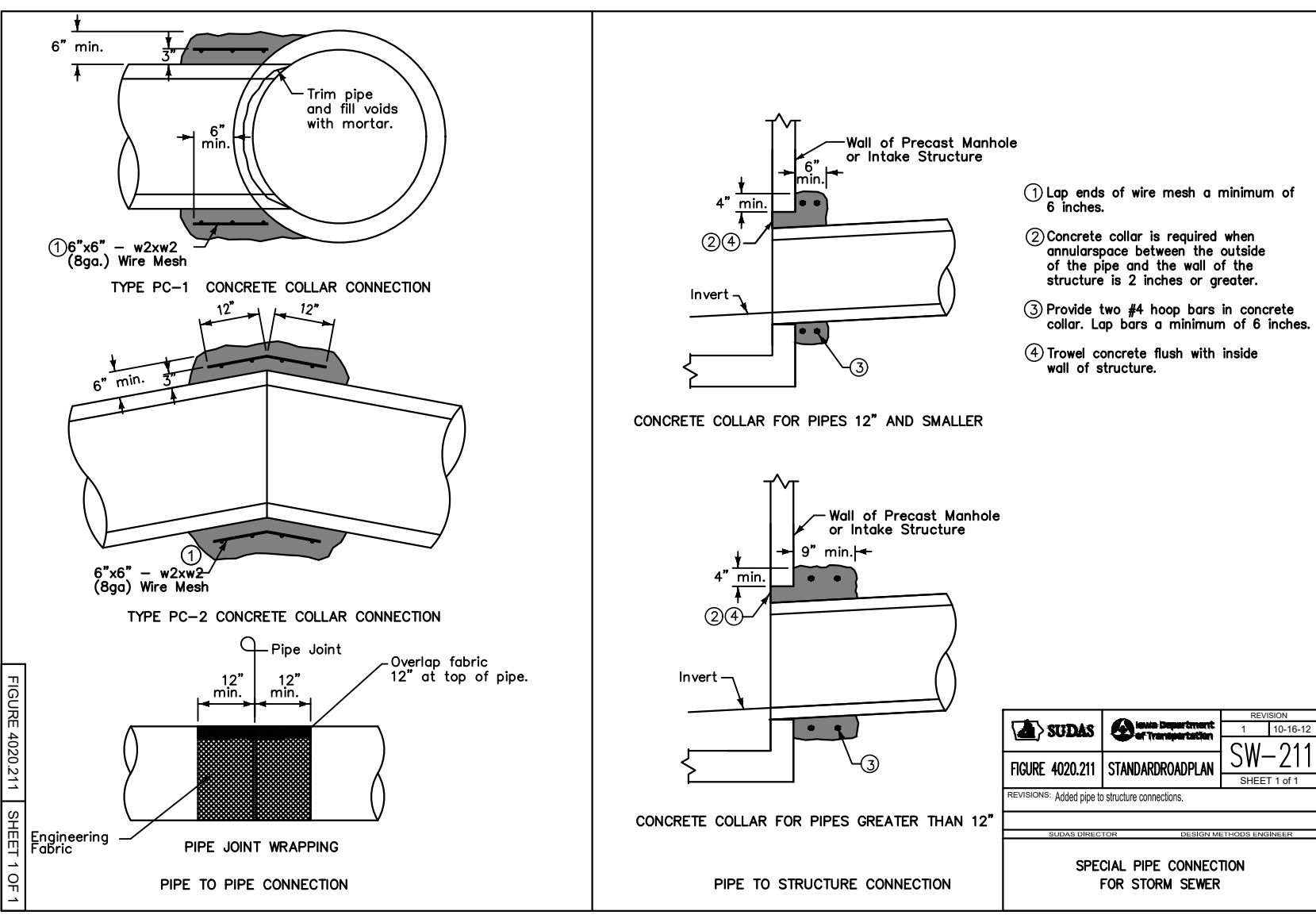
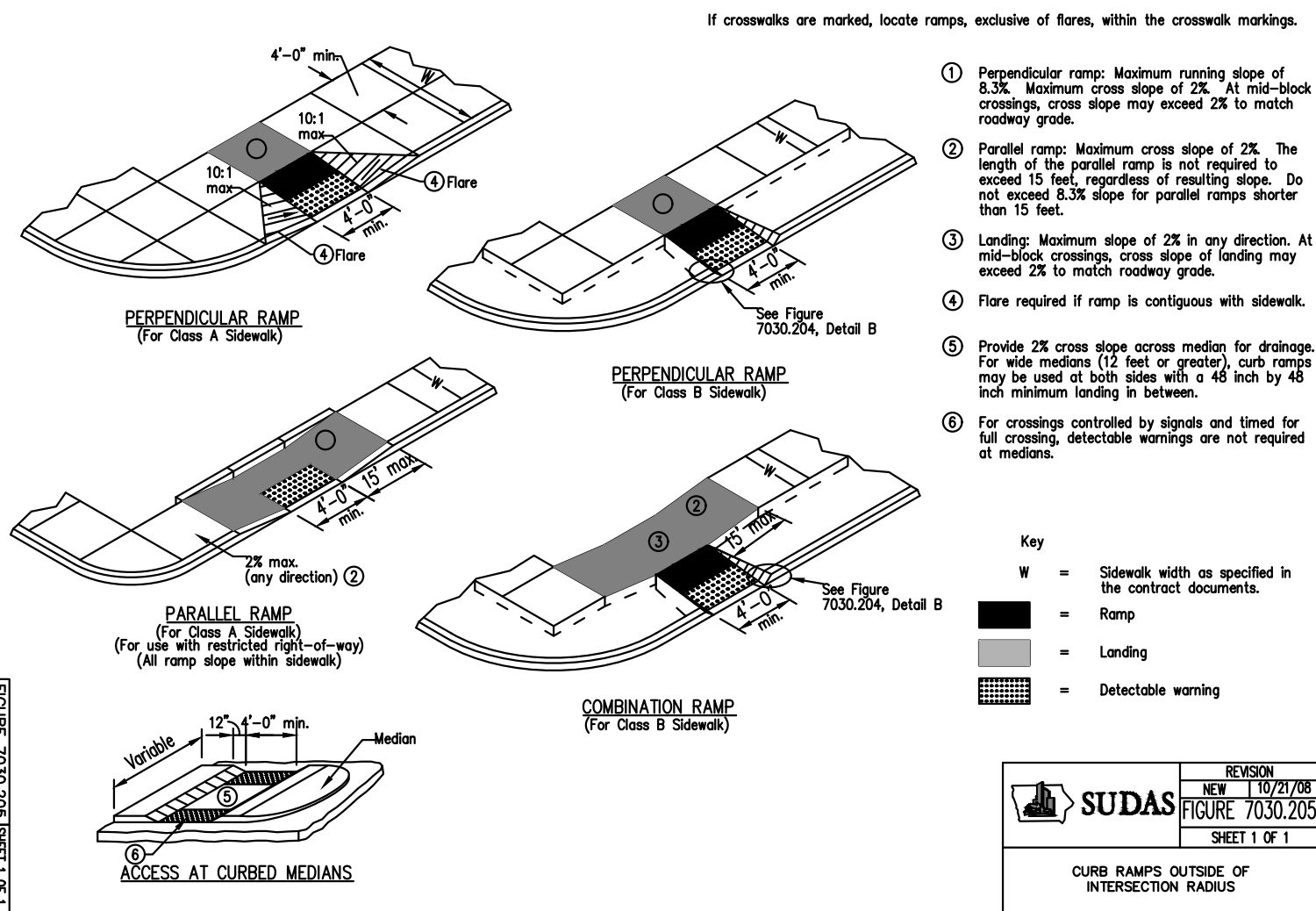
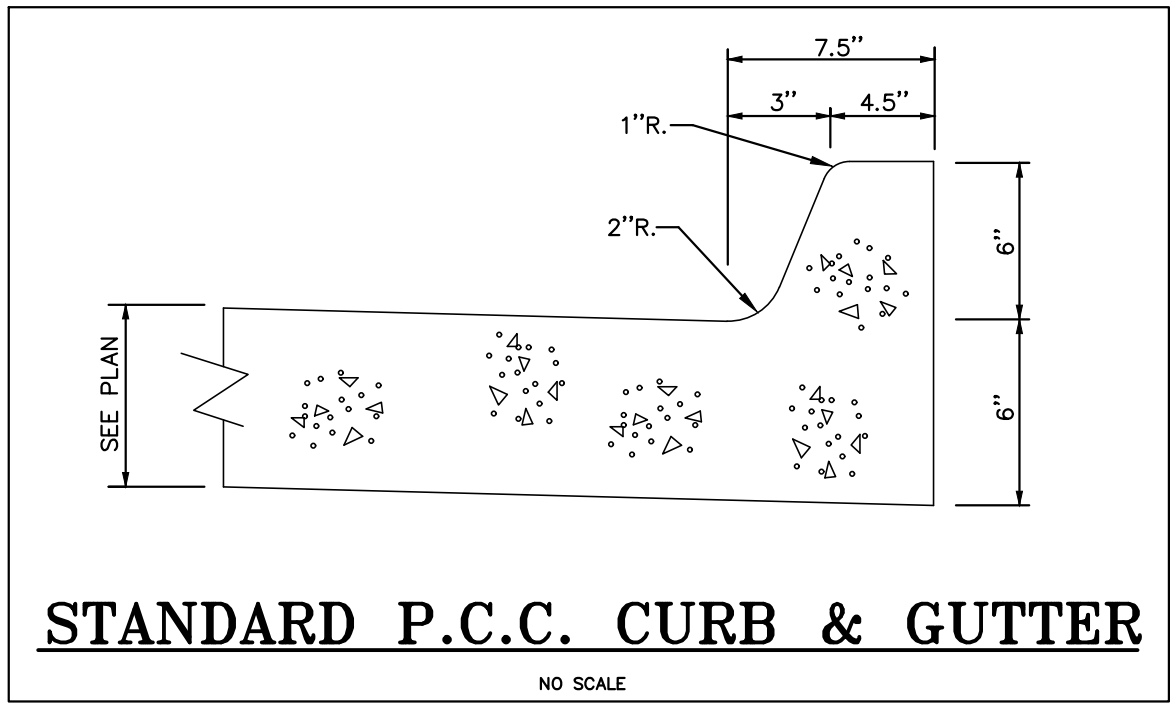
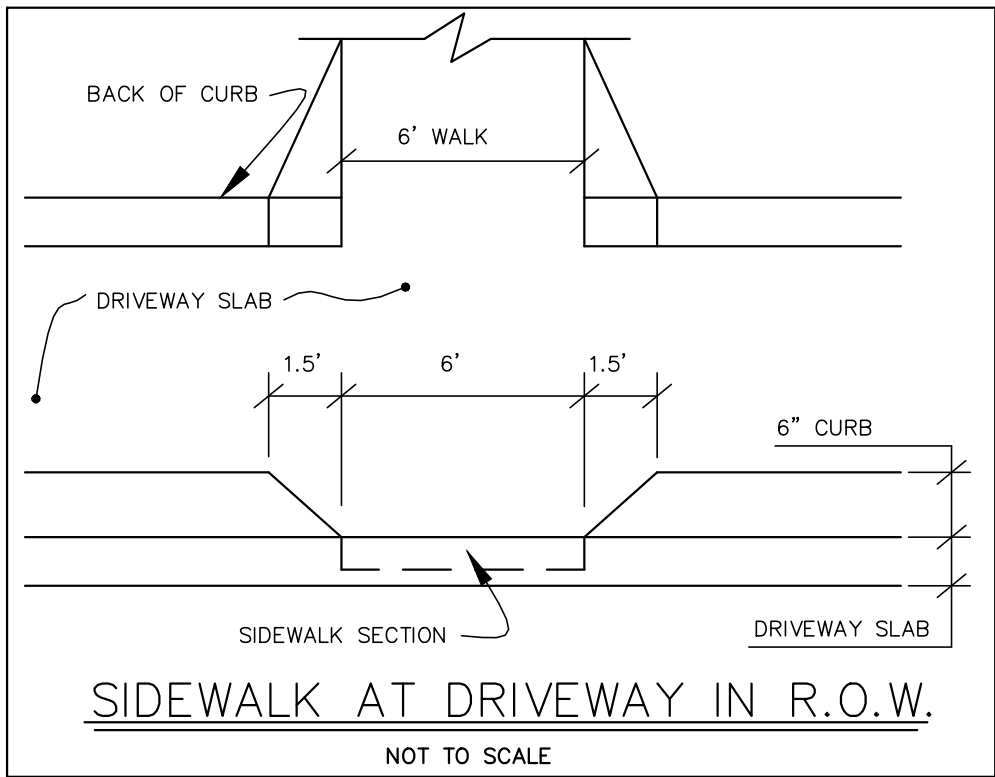
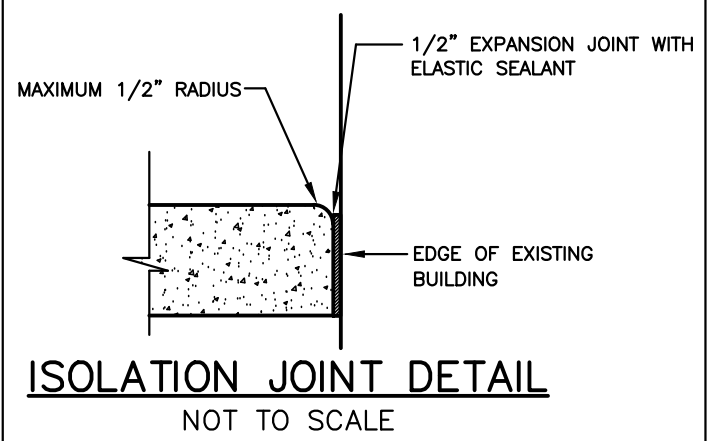
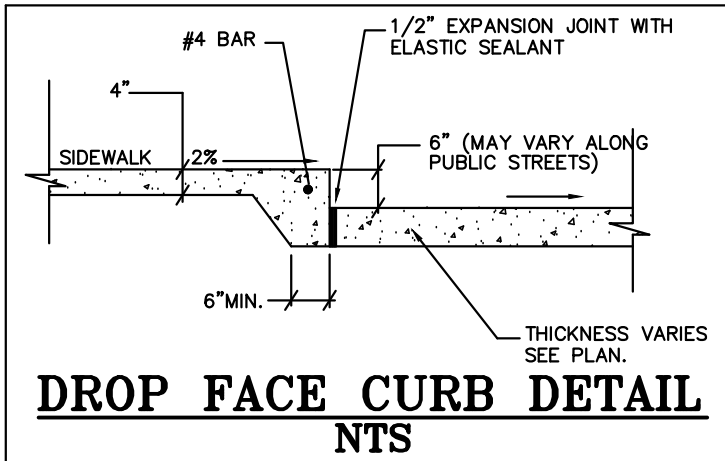
SP5

SUNSET CORNER - LANDSCAPE PLAN

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Engineers and Surveyors
DES MOINES, IOWA 50312
(515) 288-4823

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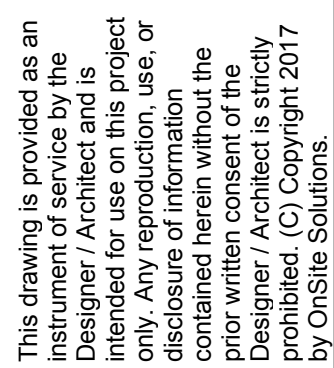
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SUNSET CORNER - DETAIL SHEET

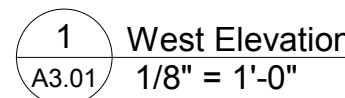
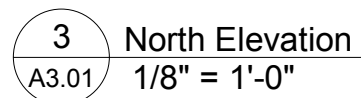
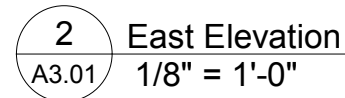
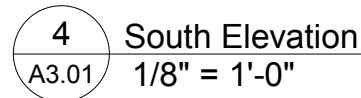
ERG
Engineering Resource Group, Inc.
Engineers and Surveyors
1000 W. 10th St., Suite 100
Des Moines, Iowa 50312
(515) 288-4823

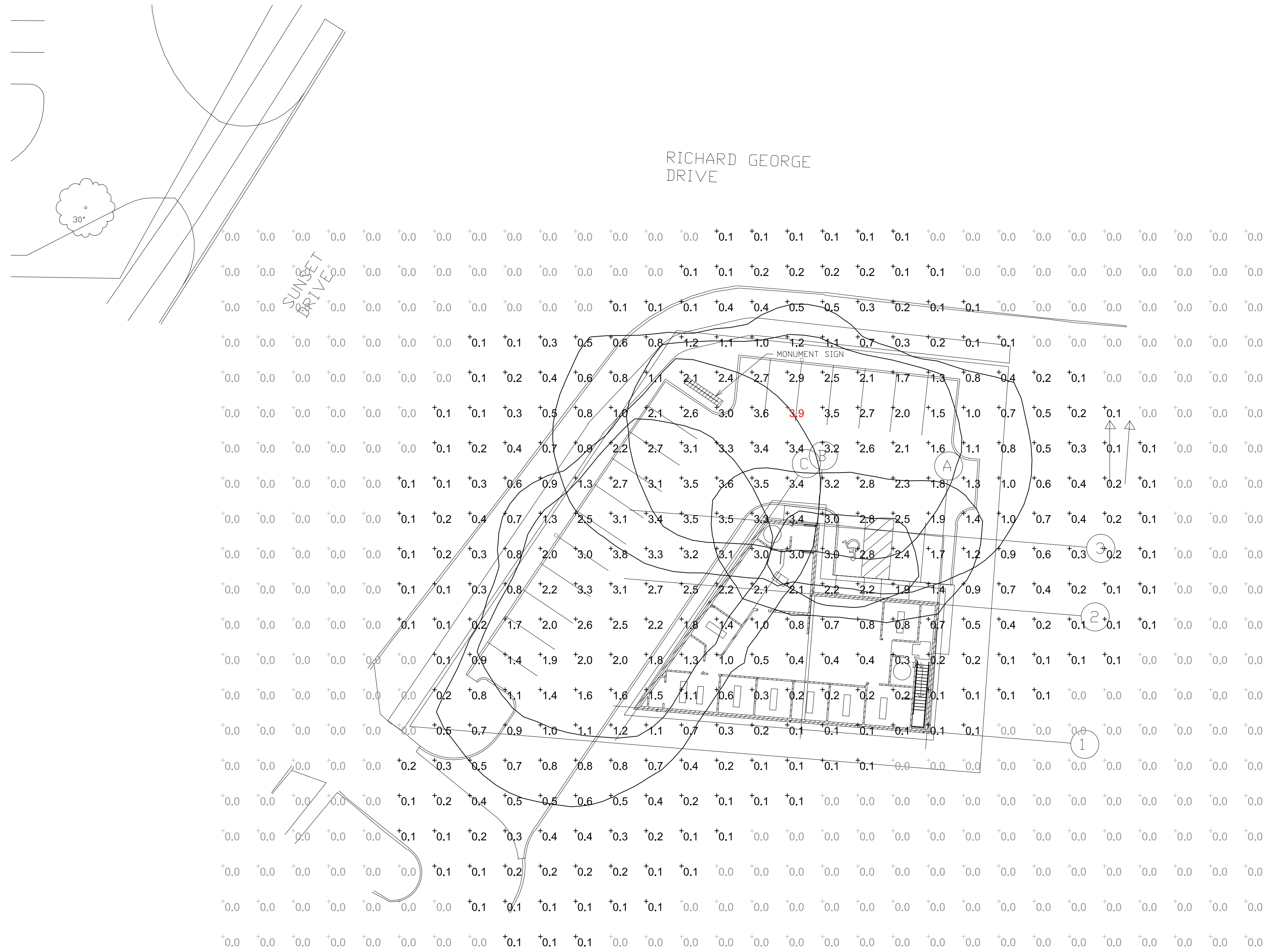
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[illegible]

| | |
|---------|----------------------------------------|
| Job No. | 17025 |
| Title | EXTERIOR ELEVATIONS AND SECTIONS |

10/18/2017 11:49:22 AM





Entire Site
1" = 20FT

- Notes:
- All poles heights are listed on the plan
 - pole is sss25 pt ddb , 25 foot square steel pole dark bronze in color
 - fixture heads are Lithonia D-series LED, dark bronze - see schedule
 - All fixtures are dark sky compliant
 - all wall mounted fixtures are downcast style building mounted for security
 - Mounting heights of all fixtures are listed at the fixture locations along with the fixture type

SUNSET CORNER
NORWALK, IA

| NO. | ISSUE / REVISION | | DATE |
|-----|--------------------|-------|------------|
| | DESCRIPTION | BY | DATE |
| 1 | DESIGN DEVELOPMENT | Rev 1 | 10/20/2017 |
| 2 | | | 11/01/2017 |
| 3 | | | |
| 4 | | | |
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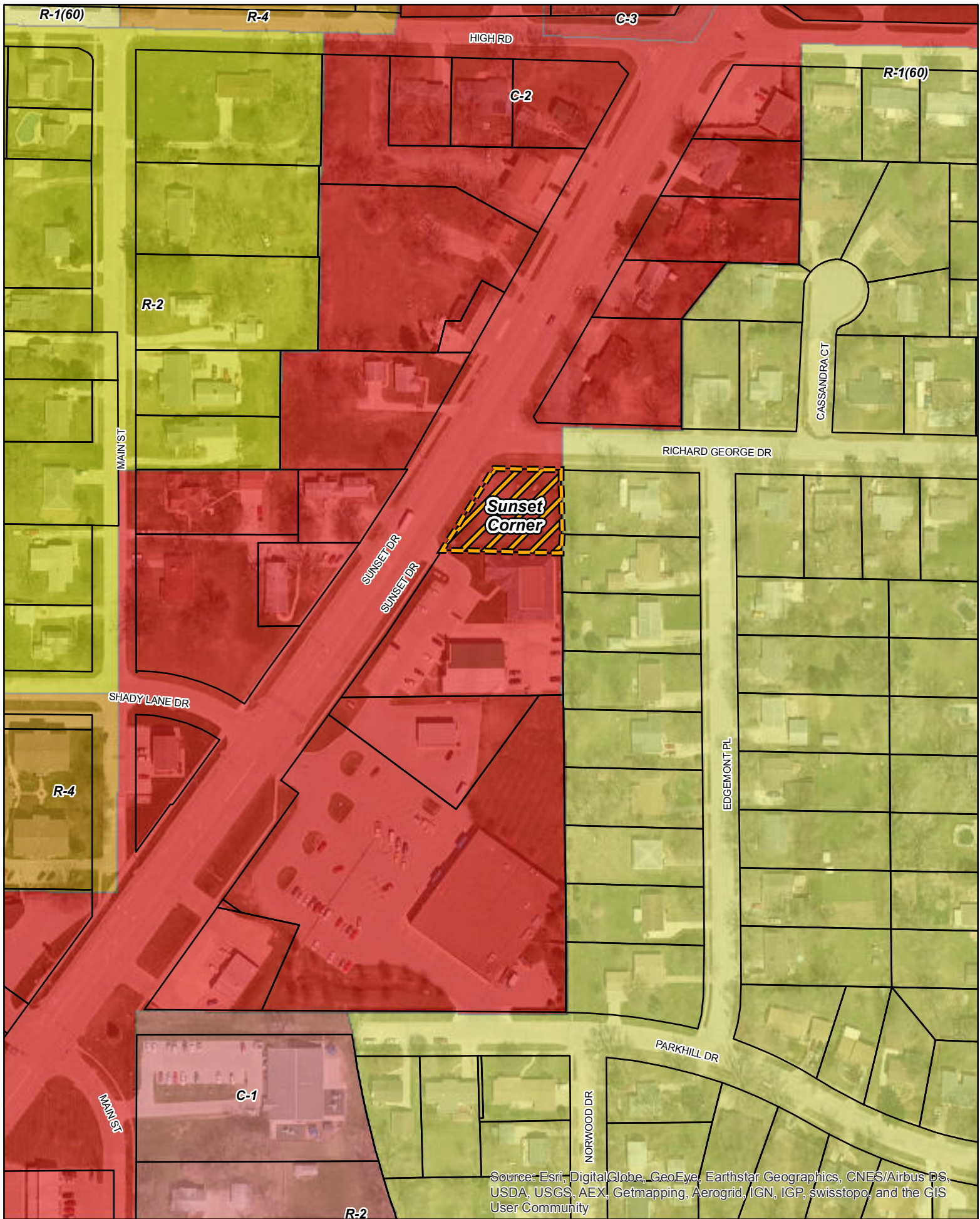
ISSUE DATE
10/20/2017

SHEET NAME
ENTIRE SITE

SHEET NO.
S-2

TESDELL
ELECTRIC

1514 NE 69TH PL - ANKENY, IA 50021
(O) 515-289-4000 | (F) 515-289-2541 | WWW.TESDELL.COM



ERG
ENGINEERING RESOURCE GROUP, INC.

ENGINEERS & SURVEYORS

PH. 515 / 288-4823 • FAX 515 / 288-3860 • Email: erg@ergcorp.com

October 20, 2017

Plan and Zoning Commission
Honorable Mayor and City Council
City of Norwalk
705 North Avenue
Norwalk, IA 50211

**RE: Sunset Corner Site Plan
Parking Setbacks**

Dear Plan & Zoning Commission; Honorable Mayor and City Council:

We request the 15' parking setback from public R/W be waived for this small site. Without this waiver, it is not feasible to provide an adequate number of parking stalls on this corner lot.

The developer and the design team looks forward to working with the City of Norwalk on this infill project.

Sincerely,

ENGINEERING RESOURCE GROUP, INC.



Doug Saltzgaver, P.E.
President

DJS/kee

ERG
ENGINEERING RESOURCE GROUP, INC.

ENGINEERS & SURVEYORS

PH. 515 / 288-4823 • FAX 515 / 288-3860 • Email: erg@ergcorp.com

October 20, 2017

Plan and Zoning Commission
Honorable Mayor and City Council
City of Norwalk
705 North Avenue
Norwalk, IA 50211

RE: Sunset Corner Site Plan

Dear Plan & Zoning Commission; Honorable Mayor and City Council:

We request this site be allowed to be developed without storm water detention.

This site is very small and provides no space to install a detention basin. Due to the storm sewer which services this site being very shallow, an underground storage system is not feasible. In fact, many commercial building site plans have detention basins that cover more land area than is contained on this property.

Both the existing developed properties to the east and south will have less area draining to them after development than current conditions. The proposed parking lot will collect runoff that currently flows to the east and convey it to the storm sewer in the southwest corner of the site.

The area south of the proposed building will have a drain pipe to collect runoff from the roof and surface and convey it to the existing storm sewer. Currently, the area along the south property line does not drain well. The proposed development will improve this situation.

Sincerely,

ENGINEERING RESOURCE GROUP, INC.



Doug Saltsgaver, P.E.
President

DJS/kee

J:\2017 Proj\17-044\Admin\Storm-1.docx



**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 6G
For Meeting of 11.13.2017

ITEM TITLE: Request from McDonald's USA, LLC to approve the site plan amendment
McDonald's Restaurant site located at 2901 Sunset Drive

CONTACT PERSON: Luke Parris, AICP – Community Development Director

APPLICANT(S): McDonald's Restaurant Reprise Architecture, Inc
2901 Sunset Drive 12400 Portland Avenue South, Suite 100
Norwalk, IA 50211 Burnsville, MN 55337

GENERAL DESCRIPTION: This request is from McDonald's USA, LLC to approve an amendment to the site plan for the McDonald's Restaurant at 2901 Sunset Drive. The amendment is related to new façade materials added to the structure.

ARCHITECTURAL STANDARDS: The change in façade material is only for the upper portion of the building and consists of varying colors of thin brick. Portions around the drive thru windows are a corrugated metal panel. The design will include new entrances that are a wood patterned tile. The remainder of the building is the existing brick.

The City's architectural standards require that buildings in the C-2 district be composed of 75% class 1 or class 2 materials on the street facing façade; no more than 25% class 3 materials, with any class 4 materials being no more than 10% of the façade.

The change in façade material meets code requirements.

STAFF ANALYSIS: The change in material necessitated review of the architectural elevations. McDonald's has indicated a few other changes to the site but they did not rise to the level of requiring a site plan amendment.

STAFF RECOMMENDATION: The staff recommends approval with the following conditions:

- That the site development and building construction follow all City code regulations.
- That any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council.

RESOLUTION NO. ____

A RESOLUTION APPROVING THE SITE PLAN AMENDMENT FOR MCDONALD'S AT 2901 SUNSET DRIVE

WHEREAS, the Planning & Zoning Commission reviewed this request at their regular meeting on November 13, 2017 and recommends approval of the Site Plan; and

WHEREAS, that the site development and building construction follow all City code regulations; and

WHEREAS, that any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council; and

NOW, THEREFORE, BE IT RESOLVED: That the City Council does hereby approve the Site Plan Amendment for McDonald's at 2901 Sunset Drive, as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

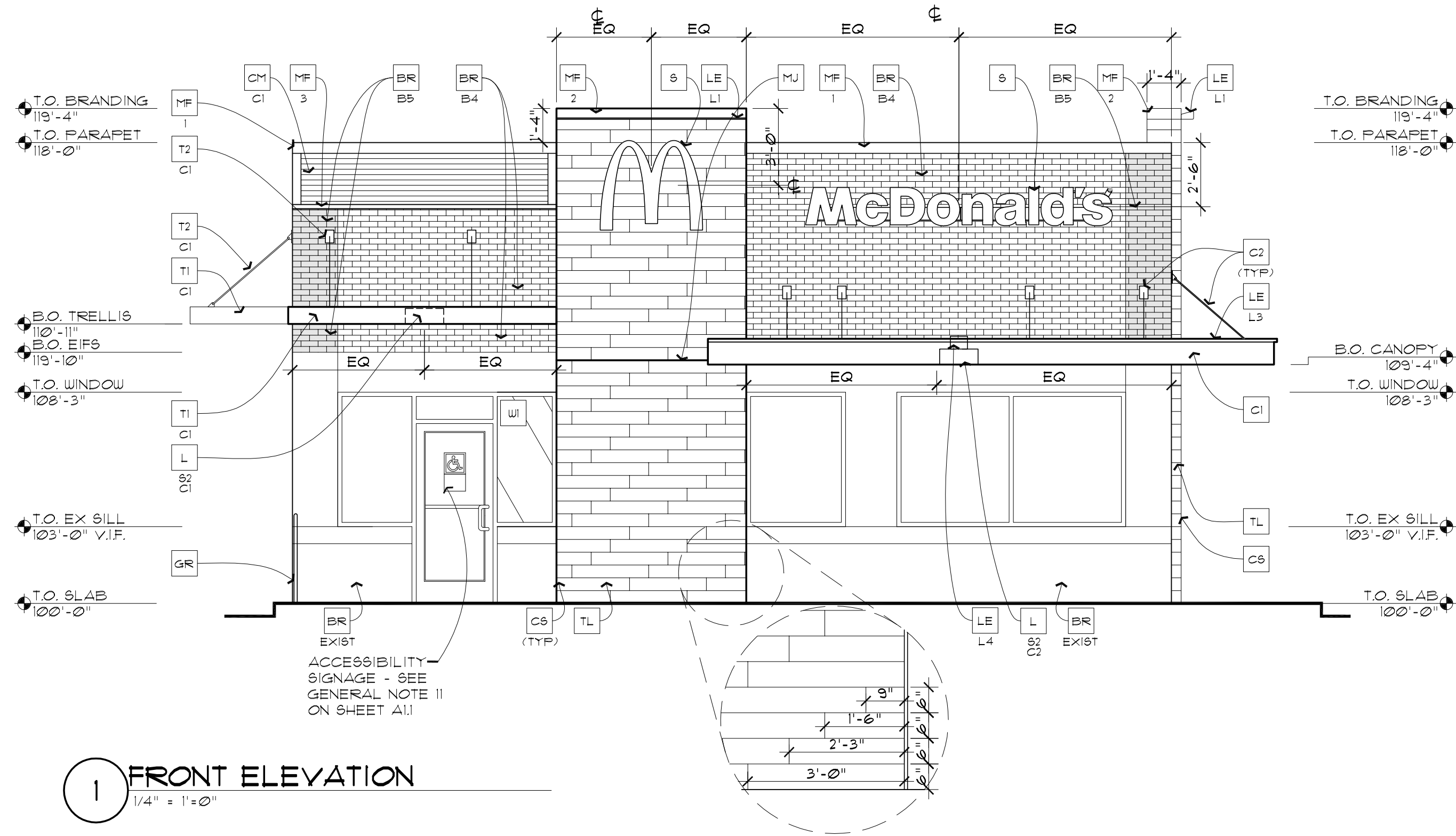
PASSED AND APPROVED this 16th day of November, 2017.

Tom Phillips - Mayor

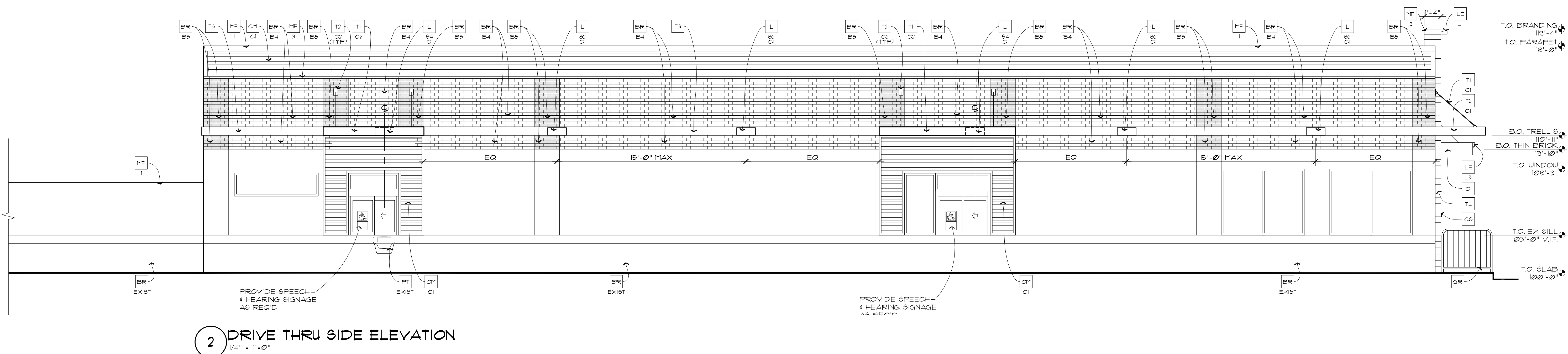
ATTEST:

JODI EDDLEMAN, CITY CLERK

| <u>ROLL CALL VOTE:</u> | <u>Aye</u> | <u>Nay</u> |
|------------------------|------------|------------|
| Kuhl | ___ | ___ |
| Lester | ___ | ___ |
| Isley | ___ | ___ |
| Riva | ___ | ___ |
| Livingston | ___ | ___ |



1 FRONT ELEVATION
1/4" = 1'-0"



2 DRIVE THRU SIDE ELEVATION
1/4" = 1'-0"

KEY NOTES:

- BR THIN BRICK
COLOR:
B4 = BRICK TO MATCH COLOR (RED), SIZE AND TEXTURE OF EXIST'G BELOW.
B5 = BRICK TO MATCH COLOR (GRAY), SIZE AND TEXTURE OF EXIST'G BELOW.
EXIST'G = EXIST'G FACE BRICK TO REMAIN, PATCH AND REPAIR AS REQ'D.
- CI ALUMINUM CANOPY SYSTEM (COLOR: WHITE)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM (COLOR: WHITE)
- CH CORRUGATED METAL PANEL, SEE ASSEMBLY NOTES ON A3.0.
COLOR:
C1 = CITYSCAPE

- CS OUTSIDE CORNER STRIPS
COLOR: DARK ANTHRACITE
RONDEC RO100T6DA
BY: SCHLUTER SYSTEMS LP.
CONTACT: EARL MAICUS, (510) 324-3410
- D DOOR - PAINTED TO MATCH SURROUNDING MATERIAL 'B4'
- DS EXISTING DOWNSPOUT TO BE PAINTED TO MATCH SURROUNDING MATERIAL 'B4'
- G EXISTING GUTTER TO BE PAINTED TO MATCH SURROUNDING MATERIAL 'B4'
- GR NEW GUARDRAIL - STAINLESS STEEL/GALVANIZED
SEE DETAIL - X/AXX

- L LIGHT FIXTURE - SEE ELECTRICAL
TYPE:
S1 = NOT USED
S2 = DOWN ONLY WALL SCONCE FIXTURE
S3 = NOT USED
S4 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
- LE ACCENT LIGHTING - SEE ELECTRICAL
LED LIGHT:
L1 = DOWN ONLY FIXTURE
L2 = NOT USED
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT
- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL, REFER TO SECTIONS FOR ADD'L INFO
TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM BRANDING FASCIA
3 = METAL COPING

- MJ TILE MOVEMENT JOINT - (MOVEMENT JOINTS MUST BE MAINTAINED OVER TIME W/ SEALANT)
COLOR: BLACK
DILEX BUB100039
BY: SCHLUTER SYSTEMS LP.
CONTACT: EARL MAICUS, (510) 324-3410
- ML METAL LETTERING - BY OTHERS
- P PAINT
COLOR:
P1 = NOT USED
P2 = TO MATCH 'B4'
- PB PIPE BOLLARD - PAINTED YELLOW (RHHG) COIN COLLECTOR UNIT W/FT DT2000 STD
CALL 1-888-743-7435 TO ORDER, SEE DETAIL X/AXX
- PT PROVIDE SPEECH - 4 HEARING SIGNAGE AS REQ'D

- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT, SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- TI ALUMINUM TRELLIS
COLOR:
C1 = CITYSCAPE
C2 = CHARCOAL
C3 = GOLD
- T2 TRELLIS TIE-BACK
COLOR:
C1 = CITYSCAPE
C2 = CHARCOAL
- T3 2x8 ALUMINUM WALL FASCIA (COLOR: CITYSCAPE)
- TB TREX BOARD ON EXIST STEEL GATE - MATCH COLOR 'B4'

- TL TILE BY EUROQUEST, E-WOOD COLLECTION
COLOR: R3 BLACK - SIZE 6"x36"
PATTERN: 1/4 RUNNING BOND
GROUT: MAPEI - G3 GRAY
CONTACT: JAN DETER (714) 931-1500
- WJ EXTERIOR WINDOW ASSEMBLY W/ TEMPERED GLASS - SEE ASSEMBLY NOTES 3/A2.2
- XX DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - CONFIRM OPTIONS WITH MCD AREA CONSTRUCTION MANAGER
- SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- SIGNAGE SUPPORT NOTE:
UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S ACM AND COORDINATED WITH SIGN MANUFACTURER.



A2.1



**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 6H
For Meeting of 11.13.2017

ITEM TITLE: Review sign ordinance language in relation to project finance signs
CONTACT PERSON: Luke Parris, AICP – Community Development Director

SUMMARY EXPLANATION:

Staff has recently had requests to review the sign code language as it relates to project financing signs that have been put up at project sites during their development. The sign code language does not clearly define project finance signs and where/when they should be allowed. Currently, staff allows these signs under the exemption offered to construction and real estate signs. Staff utilizes the following code language in making decisions related to project finance signs:

17.04.040 Definitions.

Sign, Construction: Such signs identifying the architects, engineers, contractors and other individuals involved in the construction of a building and such signs announcing the character of the building enterprise or the purpose for the building is intended but not including product advertising.

17.70.040 Exemptions. The following signs shall not require a sign permit.

- A. Real Estate signs not exceeding thirty-two (32) square feet in area which advertise the sale, rental, or lease of the premises upon which said sign is located only. Such real estate signs shall not be located on public right-of-way and shall be limited to one sign for each street frontage.
- L. Temporary signs permitted in accordance with the requirements of Section 17.70.130 of this chapter.
- M. Signs, referring to construction, lease, or hire, not exceeding thirty-two (32) square feet in area.

17.70.130 Temporary Signs.

- C. Construction, Real Estate and Political Signs. Temporary real estate, construction, and political signs less than thirty-two (32) square feet in area shall be permitted in any zoning district without the issuance of a sign permit, provided no real estate or political sign greater than twelve (12) square feet shall be permitted on a lot occupied by a single family dwelling in a RE-1, R-1, or R-2 district.

Staff requests Commission input on how the code has been interpreted and if an amendment is needed to more clearly define a process for allowing or not allowing project finance signs.