



**AGENDA**  
**PLANNING AND ZONING MEETING**  
**Norwalk City Hall, 705 North Ave**  
**Monday, September 11, 2017**  
**5:45 P.M.**

1. Call meeting to order at 5:45 P.M.
2. Approval of Agenda
3. Approval of Minutes – August 28, 2017
4. Chairperson – Welcome of Guests
5. Public Comment – 3-minute limit for items not on the agenda (No action taken)
6. New Business
  - a. Request from Norwalk Land Co. LLC to approve the final plat for Norwalk Orchard View Plat 4.
  - b. Request from Windsor Windows to approve an amendment to the Windsor Windows site plan related to parking, loading, and grading.
  - c. Request from Hubbell Construction Services to approve a site plan for the Unity Point Clinic Expansion on Colonial Circle.
7. City Council Update – Stephanie Riva, Planning and Zoning Commission Liaison
8. Economic Development Update – Hollie Askey, Economic Development Director
9. Future Business Items
  - a. Stark Property
  - b. Platting & Site Plan for Certified Industrial Site
  - c. Sunset Crest Platting & Site Plans
  - d. Sunset Corner Site Plan
  - e. North Shore Preliminary Plat
  - f. Warrior Run Plat 2 Final Plat
  - g. Rolling Green Plat 6 Final Plat
  - h. Orchard Trail Plat 5 Final Plat
  - i. Farms of Holland Plat 3 Final Plat
  - j. Affordable Housing Research
10. Next Meeting Date: September 25, 2017
11. Adjournment

## **REGULAR NORWALK PLANNING AND ZONING MEETING 08-28-2017**

### **Call to order**

The regular meeting of the Norwalk Planning and Zoning Commission was held at the Norwalk City Hall, 705 North Avenue, Monday, August 28, 2017. The meeting was called to order at 5:45 p.m. by Chairperson Judy McConnell. Those present at roll call were John Fraser, Donna Grant, Jim Huse and Judy McConnell. Absent: Brandon Foldes, Elizabeth Thompson, and Barbara Belizzi.

Staff present included: Luke Parris, Community Development Director, Elliot Klimowsky, Summer Intern and Hillarie Ramthun, Community Development Coordinator.

### **Approval of Agenda – 17-72**

Motion by Fraser and seconded by Grant to approve the agenda. Approved 4-0.

### **Approval of Minutes – 17-73**

Motion by Fraser and seconded by Huse to approve the minutes from the August 7th, 2017 meeting. Approved 4-0.

Chairperson McConnell welcomed the guest present. With no one wishing to discuss matters not on the agenda, the business portion of the meeting was opened.

### **New Business**

#### **Consideration of a recommendation to the City Council regarding the proposed Urban Renewal Plan amendment for the Sunset Crest and Sunset Corner areas –17-74**

While working on these two sites the City has identified the need to replace old 2" and 4" water lines with a new 10" water main on the west side of Highway 28 on the Sunset Crest site. TIF dollars would be utilized for these redevelopment projects.

An amendment to the City's Urban Renewal Plan is required when utilizing TIF dollars which would include details of the project. Planning and Zoning Commission is also required to review the proposal for the conformity with the City's Comprehensive Plan.

City staff has reviewed the amendment and it appears to conform to the City's Comprehensive Plan, so the City recommends a favorable recommendation to the Commission.

Huse made a motion, Grant seconded.

Approved 4-0

#### **Request from Hubbell Construction Services to approve a grading plan for the Unity Point Clinic expansion on Colonial Circle—17-75**

The developer has requested the ability to begin site grading as soon as possible. This is only allowed if there is an approved development plan or in conjunction with an approved grading plan. The grading plan shows the proposed grading for the building expansion, added parking area, and additional storm water detention; it is limited to the southwest of the existing building. Staff recommends the approval with the following conditions:

Site grading follows City code regulations.

Proper storm water controls are installed and in place during all grading operations.

The site plan shall include the final grading plan for the project and that any changes are incorporated into the site development.

Huse inquired as to whether Hubbell owns all the property in that area, Parris confirmed that Hubbell is the owner of the property.

McConnell inquired about the square footage of the addition. Close to 2,000 square foot, was the response of the McClure Associate who attended the meeting.

McConnell called for a motion.

Fraser motioned to approve the request and Huse seconded that motion. 4-0 approved.

**Future Business Items-**

Stark Property

Platting and site plan for Certified Industrial Site

Sunset Crest Platting & Site Plans

Sunset Corner Site Plan

North Shore Preliminary Plat

Warrior Run Plat 2 Final Plat

Rolling Green Plat 6 Final Plat

Orchard Trail Plat 5 Final Plat

Farms of Holland Plat 3 Final Plat

Affordable Housing Research

**City Council Update-**

No Council Update

**Next meeting Date – September 11, 2017.**

**Adjournment – 17-76**

*Motion by Huse and seconded by Grant to adjourn the meeting at 6:17 p.m. Approved 4 -0.*

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Judy McConnell, Vice Chairperson

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Luke Parris, City Planner



**PLANNING & ZONING COMMISSION  
AGENDA STATEMENT**

Item No. 6A  
For Meeting of 09.11.2017

<b>ITEM TITLE:</b>	<b>Request from Norwalk Land Co. LLC to approve the final plat for Norwalk Orchard View Plat 4</b>	
<b>CONTACT PERSON:</b>	<b>Luke Parris, AICP – Community Development Director</b>	
<b>APPLICANT(S):</b>	Norwalk Land Co. LLC PO Box 267 Johnston, Iowa 50131	Civil Engineering Consultants, Inc. 2400 86 <sup>th</sup> Street, Unit 2 Des Moines, IA 50322
<b>GENERAL DESCRIPTION:</b>	This request would create 39 single-family lots along Walnut Drive, Bradford Drive, and Tupelo Circle in the Norwalk Orchard View development, west of Orchard Hills Drive.	
<b>IMPACT ON NEIGHBORHOOD:</b>	The properties surrounding are residential in nature or planned for future residential.	
<b>VEHICULAR &amp; PEDESTRIAN TRAFFIC:</b>	The plat shows the construction of Walnut Drive, an extension of Bradford Drive, and a new cul-de-sac, Tupelo Court. Bradford Drive connects to Orchard Hills Drive to the east. Walnut Drive is a primary street on the west side of the development. In the next phase, Walnut Drive will continue north and intersect with Orchard View Drive and Hickory Drive, which will provide additional access to Orchard Hills Drive.	
<b>TRAIL PLAN:</b>	The neighborhood will have 5' sidewalks along both sides of the street.	
<b>ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY:</b>	This site is zoned in the Orchard View PUD as R-1(60) Single-Family Residential. Surrounding ground is also zoned R-1(60) with the R-3 Norwalk Orchard View Townhomes bordering the southeast of the plat. Land to the west was zoned A-R Ag Reserve when annexed into the City of the school district. The area will likely be rezoned to residential when the school site progresses with development.	
<b>BUFFERS REQUIRED/NEEDED:</b>	Adjacent uses are compatible and no buffer is required for this project. The R-3 project to the east was required to install appropriate buffers.	
<b>DRAINAGE:</b>	Drainage from the northern lots are collected by the on-street storm sewer system and conveyed to the regional storm water detention pond in Orchard View Park. Drainage from the southern lots is collected by the on-street storm sewer system and detained in a private basin on outlot Y along Tupelo Court.	



<b>DEVELOPMENT HISTORY:</b>	A preliminary plat for the entire Norwalk Orchard View development was originally approved by the City in 2014. Since that time, enough changes had occurred with the development of the Norwalk Orchard View Townhomes that the remaining portion of Norwalk Orchard View required a new preliminary plat to review lot layout and infrastructure design, which was approved in May 2017.
<b>FLOODPLAIN:</b>	None of the proposed lots are located within a floodplain.
<b>PARKLAND:</b>	Parkland for the development was dedicated during the final platting of Norwalk Orchard View Plat 1.
<b>UTILITIES: WATER, SANITARY SEWER, STORM SEWER.</b>	Proper easements have been identified and shown where needed for sanitary sewer and for public utilities. Connections to existing public utility infrastructure have been identified.
<b>RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:</b>	This area was part identified as low density residential. The final plat meets the intent of the land use plan.
<b>STAFF ANALYSIS – ZONING ORDINANCE:</b>	<p>The Final Plat consists of 39 lots. The plat consists of 19.02 acres of land with lots ranging from 8,655 sf to 24,209 sf.</p> <p>Streets will be dedicated to the City for street use upon approval of the Final Plat and acceptance of the public infrastructure. The designated street right-of-way is 60 feet with a 28' wide roads for Walnut Street and Bradford Drive, Tupelo Court is a 26' wide road with a 60' ROW.</p>
<b>STAFF ANALYSIS – SUBDIVISION ORDINANCE:</b>	<p>The Subdivision Ordinance requires that Final Plat submissions include such criteria as boundaries of property, engineer's certificate, easements and right-of-way widths. All information has been submitted by the applicant. The Final Plat shows platted building lines, property lines with dimensions, easements and right-of-way widths.</p> <p>The applicant will need to submit all other required documents prior to release of the final plat for recording.</p>
<b>STAFF RECOMMENDATION:</b>	<p>Therefore, staff recommends that the request for the Final Plat of Orchard View Plat 4 be approved with the following conditions:</p> <ul style="list-style-type: none"> <li>• That the applicant will or has provided all supporting documentation required within the Norwalk Subdivision Regulations prior to staff releasing this resolution and platting documents for recording at the County</li> <li>• That any significant modifications to the final plat be reviewed and approved by the Planning &amp; Zoning Commission and City Council.</li> </ul>

**DRAFT RESOLUTION NO. \_\_\_\_**

**A RESOLUTION APPROVING THE FINAL PLAT OF NORWALK ORCHARD VIEW PLAT 4**

WHEREAS, the Planning & Zoning Commission reviewed this request at their regular meeting on September 11, 2017 and recommends approval of the Final Plat; and

WHEREAS, that the applicant will or has provided all supporting documentation required within the Norwalk Subdivision Regulations prior to staff releasing this resolution and platting documents for recording at the County; and,

WHEREAS, that any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council; and,

NOW, THEREFORE, BE IT RESOLVED: That the City Council does hereby approve the Final Plat of Norwalk Orchard View Plat 4 as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

PASSED AND APPROVED this 21st day of September, 2017.

\_\_\_\_\_  
Tom Phillips - Mayor

ATTEST:

\_\_\_\_\_  
JODI EDDLEMAN, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>
Kuhl	___	___
Lester	___	___
Isley	___	___
Riva	___	___
Livingston	___	___

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RECORDER'S  
STAMP

FINAL PLAT  
OF  
NORNALK ORCHARD VIEW PLAT 4  
NORNALK, IOWA

INDEX LEGEND					
COUNTY: WARREN					
	SECTION	TOWNSHIP	RANGE	¼ ¼	¼
ALIQUT PART:	14	TTN	25W	SE	SE
CITY: NORNALK					
PROPRIETOR (S): NORNALK LAND CO., L.L.C.					
REQUESTED BY: NORNALK LAND CO., L.L.C.					
LAND SURVEYOR: JEFFREY A. GADDIS, PLS					
RETURN TO: CIVIL ENGINEERING CONSULTANTS, INC ATTN: JEFFREY A. GADDIS, PLS COMPANY: 2400 86TH STREET, SUITE 12 URBANDALE, IA 50322					

LEGEND

- ▲ FOUND SECTION CORNER  
△ SET SECTION CORNER  
● FOUND PROPERTY CORNER (5/8" I.R. W/YELLOW CAP #1844 UNLESS OTHERWISE NOTED)  
○ SET PROPERTY CORNER (5/8" I.R. W/BBLUE CAP #18381 UNLESS OTHERWISE NOTED)  
--- PLAT BOUNDARY  
--- EXISTING PROPERTY LINES  
--- PROPOSED LOTS  
--- EASEMENT LINES  
--- BUILDING SETBACK LINES (B.S.L.)  
--- CENTERLINE STREET  
BK. XXX, PG. XXX COUNTY RECORDER'S INDEXING BOOK  
P. PREVIOUSLY RECORDED BEARING & DISTANCE  
D. DEEDED BEARING & DISTANCE  
M. MEASURED BEARING & DISTANCE  
P.U.E. PUBLIC UTILITY EASEMENT  
P.O.B. POINT OF BEGINNING  
I.R. IRON ROD  
I.P. IRON PIPE  
R.O.W. RIGHT-OF-WAY  
777 ADDRESS

LAND SURVEYOR NOTES:

1. THE ALLOWABLE ERROR OF CLOSURE FOR THE BOUNDARY IS 1:10,000 AND THE ALLOWABLE ERROR OF CLOSURE FOR EACH LOT IS 1:5,000.  
2. THIS PARCEL MAY BE SUBJECT TO EASEMENTS OF RECORD. NO TITLE WORK WAS PERFORMED BY THIS SURVEYOR.  
3. MONUMENTS TO BE SET WITHIN 1 YEAR OF RECORDING DATE.

BASIS OF BEARINGS

Sheet List Table

Sheet Number	Sheet Title
01	COVER
02	OVERALL
03	NORTH GEOMETRIC
04	SOUTH GEOMETRIC
05	EASEMENT DETAILS



VICINITY MAP  
NOT TO SCALE

PROPERTY OWNER:

NORNALK LAND CO., L.L.C.  
P.O. BOX 267  
JOHNSTON, IOWA 50131  
ATTN: JOHN LARSON

PREPARED FOR:

NORNALK LAND CO., L.L.C.  
P.O. BOX 267  
JOHNSTON, IOWA 50131  
ATTN: JOHN LARSON

UTILITIES

WATER - CITY OF NORNALK WATER WORKS  
SANITARY - CITY OF NORNALK SANITARY SEWER SYSTEM  
STORM - CITY OF NORNALK STORM SEWER SYSTEM  
ELECTRIC - MIDAMERICAN ENERGY  
GAS - MIDAMERICAN ENERGY  
PHONE - CENTURYLINK

PROFESSIONAL LAND SURVEYOR:

JEFFREY A. GADDIS, PLS  
2400 86TH STREET, SUITE 12  
URBANDALE, IA 50322  
PHONE: 515-216-4884  
FAX: 515-216-1084  
EMAIL: GADDIS@CECLAC.COM

BULK REGULATIONS

R-1 (60)  
MINIMUM LOT AREA - 7500 SF  
MINIMUM LOT WIDTH - 60'  
FRONT YARD SETBACK - 30'  
REAR YARD SETBACK - 35'  
SIDE YARD SETBACK - 12' TOTAL (5' MIN.)  
HEIGHT LIMIT - 35'

ZONING

ORCHARD VIEW P.U.D. - R-1 (60)

LEGAL DESCRIPTION

OUTLOT "X", NORNALK ORCHARD VIEW PLAT 3, AN OFFICIAL PLAT, CITY OF NORNALK, WARREN COUNTY, IOWA RECORDED IN BOOK 2016, PAGE 5846 IN THE WARREN COUNTY RECORDER'S OFFICE, EXCEPT NORNALK ORCHARD VIEW TOWNHOMES, AN OFFICIAL PLAT RECORDED IN BOOK 2017, PAGE 180 AT THE WARREN COUNTY RECORDER'S OFFICE, SAID NORNALK ORCHARD VIEW TOWNHOMES BEING THE FINAL PLAT OF PARCEL 'A' OF OUTLOT "X", NORNALK ORCHARD VIEW PLAT 3, AN OFFICIAL PARCEL RECORDED IN BOOK 2016, PAGE 6210 AT THE WARREN COUNTY RECORDER'S OFFICE, ALL IN THE CITY OF NORNALK, WARREN COUNTY, IOWA.

THE ABOVE LEGAL DESCRIPTION CONTAINS 19.02 ACRES MORE OR LESS AND SUBJECT TO EASEMENT, LICENSES, OR AGREEMENTS OF RECORD.

NOTES

1. ANY UTILITY UTILIZING THE PUBLIC UTILITY EASEMENT DOES SO AS A SUBORDINATE INTEREST TO THE CITY'S USE OF ITS DESIGNATED SANITARY SEWER EASEMENT AND ANY UTILITY UTILIZING THE PUBLIC UTILITY EASEMENT MUST RELOCATE AT ITS COST IF IN CONFLICT WITH THE CITY'S USE OF THE DESIGNATED SANITARY SEWER EASEMENT.  
2. LOTS 'A', 'B', 'C', 'D', 'E', & 'F' ARE TO BE DEEDED TO THE CITY OF NORNALK FOR STREET PURPOSES.  
3. SURFACE WATER FLOWAGE EASEMENTS ARE PRIVATE - STORMWATER DETENTION AREAS ARE PRIVATE.  
4. STRUCTURES ARE PRECLUDED FROM BEING IN ANY EASEMENT.



CERTIFICATIONS

	I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. JEFFREY A. GADDIS, IOWA LICENSE NO. 18381 DATE MY LICENSE RENEWAL DATE IS DECEMBER 31, 2018 PAGES OR SHEETS COVERED BY THIS SEAL: SHEET 1-5
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NORNALK ORCHARD VIEW PLAT 4

NORNALK, IOWA

COVER

SHEET  
OF 5

E-7511

DATE: 07-31-2017

DATE OF SURVEY: JANUARY 2017

DESIGNED BY: MPH

DRAWN BY: CM

Civil Engineering Consultants, Inc.

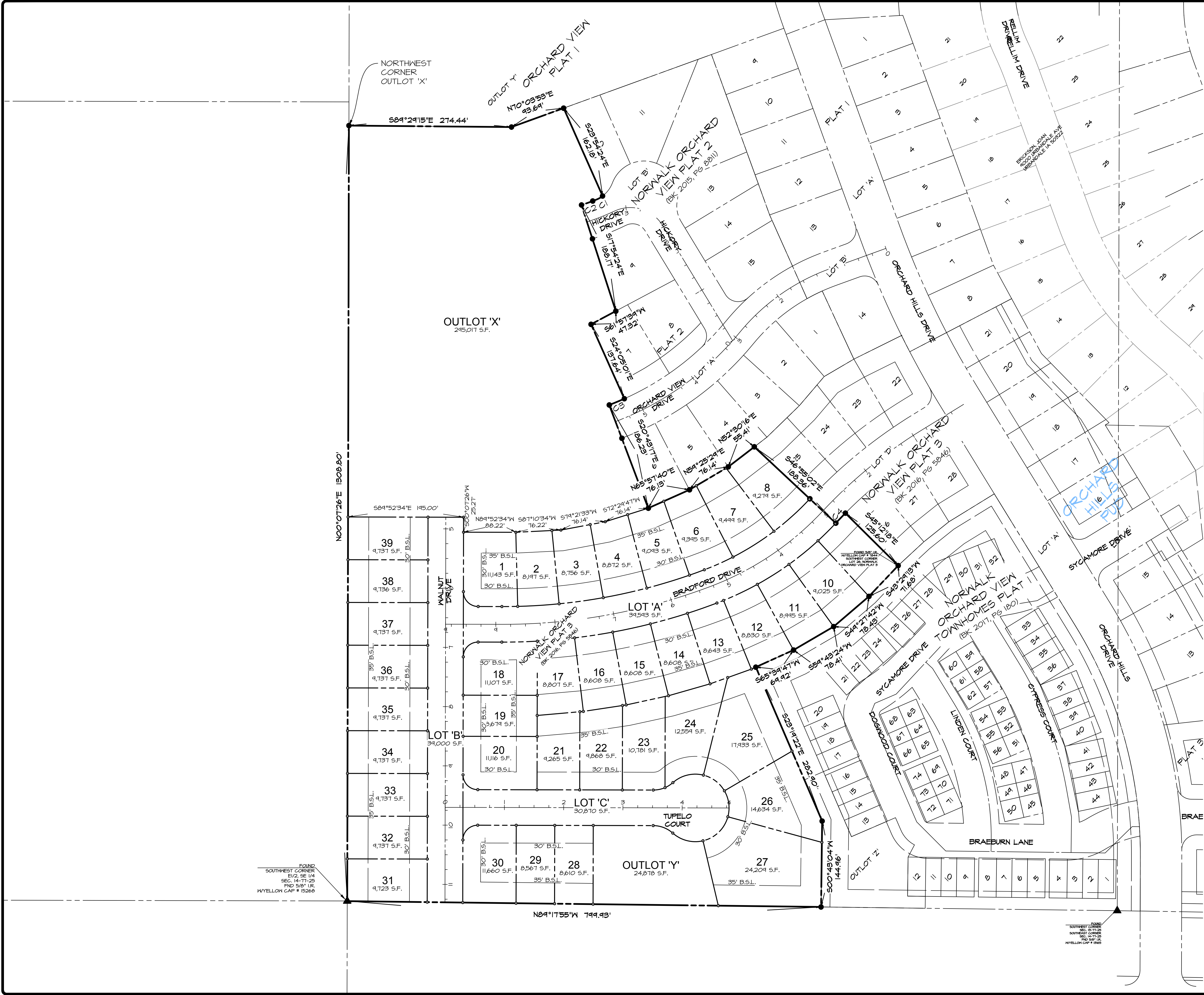
2400 86th Street, Unit 12, Des Moines, Iowa 50322  
515.276.4884 . Fax: 515.276.7084 . mail@ceclac.com



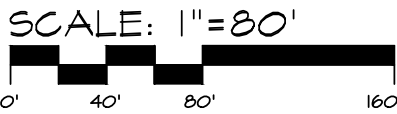


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CURVE DATA						
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C1	17°58'35"	34.00'	10.67'	5.38'	10.62'	S58°44'13"W
C2	4°22'06"	370.00'	28.21'	14.11'	28.20'	S69°54'33"W
C3	3°21'44"	470.00'	27.58'	13.79'	27.58'	S67°35'51"W
C4	1°42'44"	780.00'	23.31'	11.65'	23.31'	N43°56'20"E



NORWALK ORCHARD VIEW PLAT 4  
NORWALK, IOWA  
OVERALL

SHEET  
02  
OF  
5  
E-7511

DATE: 07-31-2017  
DATE OF SURVEY: JANUARY 2017  
DESIGNED BY: MHH  
DRAWN BY: CM

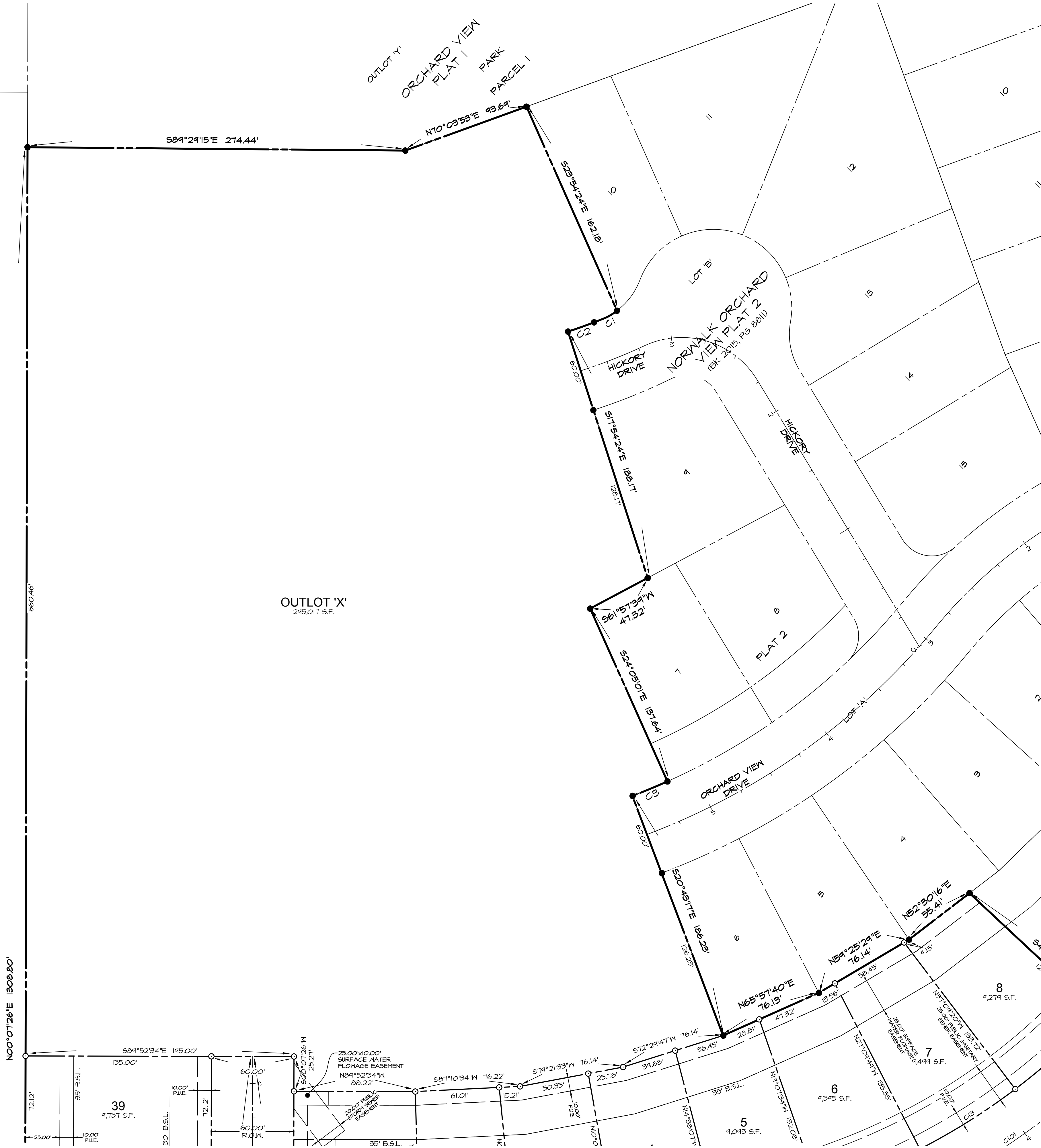
Civil Engineering Consultants, Inc.  
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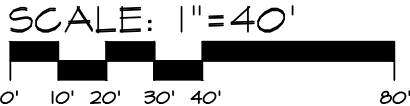


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CURVE DATA						
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C2	4°22'06"	370.00'	28.21'	14.11'	28.20'	S61°54'33"W
C3	3°21'44"	470.00'	27.58'	13.79'	27.58'	S67°35'51"W



NORWALK ORCHARD VIEW PLAT 4  
NORWALK, IOWA  
NORTH GEOMETRIC

SHEET  
03  
OF  
5  
E-7511

DATE:	07-31-2017
DATE OF SURVEY:	JANUARY 2017
DESIGNED BY:	MMH
DRAWN BY:	CM



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515.276.4884 . Fax: 515.276.7084 . mail@ceclac.com



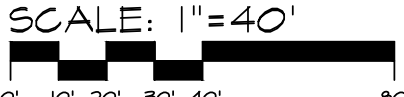
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CURVE DATA						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C4	1°42'44"	780.00'	23.31'	11.65'	23.31'	N43°56'20"E
C5	90°00'00"	25.00'	34.27'	25.00'	35.36'	N44°52'34"W
C6	1°35'32"	460.00'	26.68'	13.34'	26.68'	S89°19'40"W
C7	4°11'07"	460.00'	70.13'	35.08'	70.11'	S86°26'20"W
C8	4°29'27"	460.00'	75.24'	37.64'	75.22'	S82°06'03"W
C9	4°29'27"	460.00'	75.24'	37.64'	75.22'	S77°36'36"W
C10	4°29'27"	460.00'	75.24'	37.64'	75.22'	S73°07'04"W
C11	1°35'44"	460.00'	26.73'	13.37'	26.73'	S70°04'34"W
C12	6°26'31"	470.00'	52.84'	26.45'	52.82'	S66°03'27"W
C13	9°59'31"	470.00'	81.96'	41.04'	81.86'	S57°50'25"W
C14	9°44'55"	470.00'	80.65'	40.43'	80.55'	S47°55'42"W
C15	0°04'13"	840.00'	1.03'	0.52'	1.03'	S43°02'51"W
C16	0°04'13"	780.00'	0.96'	0.48'	0.96'	S43°02'51"W
C17	4°28'40"	530.00'	41.42'	20.72'	41.41'	S45°15'05"W
C18	6°49'41"	530.00'	63.16'	31.62'	63.12'	S50°54'16"W
C19	6°49'41"	530.00'	63.16'	31.62'	63.12'	S57°43'51"W
C20	6°49'41"	530.00'	63.16'	31.62'	63.12'	S64°33'38"W
C21	1°18'13"	530.00'	12.06'	6.03'	12.06'	S68°31'36"W
C22	2°51'31"	1020.00'	52.67'	26.34'	52.67'	S70°45'28"W
C23	3°39'24"	1020.00'	65.10'	32.56'	65.04'	S74°03'55"W
C24	3°39'24"	1020.00'	65.10'	32.56'	65.04'	S77°43'20"W
C25	3°39'24"	1020.00'	65.10'	32.56'	65.04'	S81°22'44"W
C26	3°32'44"	1020.00'	63.12'	31.57'	63.11'	S84°58'48"W
C27	3°22'16"	1020.00'	60.01'	30.01'	60.00'	S88°26'18"W
C28	90°00'00"	25.00'	34.27'	25.00'	35.36'	S45°07'26"W
C29	90°00'01"	25.00'	34.27'	25.00'	35.36'	S44°52'35"E
C30	23°24'00"	50.00'	20.42'	10.35'	20.28'	N78°25'24"E
C31	18°12'41"	50.00'	15.84'	8.01'	15.83'	N57°31'03"E
C32	55°26'41"	57.00'	55.16'	24.95'	53.03'	N76°14'03"E
C33	45°38'10"	57.00'	45.40'	23.98'	44.21'	S53°13'31"E
C34	45°38'10"	57.00'	45.40'	23.98'	44.21'	S07°35'21"E
C35	61°31'43"	57.00'	61.21'	33.93'	58.31'	S45°54'36"W
C36	54°58'39"	57.00'	54.69'	24.66'	52.62'	N75°45'13"W
C37	41°36'42"	50.00'	36.31'	19.00'	35.52'	N69°04'15"W
C38	84°59'59"	25.00'	34.27'	25.00'	35.36'	S45°07'25"W

CENTERLINE CURVE DATA						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CH. BEARING
C100	20°50'44"	990.00'	360.18'	182.11'	358.20'	N79°42'04"E
C101	26°15'57"	500.00'	229.21'	116.66'	227.72'	N56°08'43"E
C102	0°04'13"	810.00'	0.94'	0.50'	0.94'	N43°02'51"E



NORWALK ORCHARD VIEW PLAT 4  
NORWALK, IOWA  
SOUTH GEOMETRIC

SHEET  
04  
OF 5  
E-7511

DATE: 07-31-2017  
DATE OF SURVEY: JANUARY 2017  
DESIGNED BY: MPM  
DRAWN BY: CM



Civil Engineering Consultants, Inc.  
2400 86th Street, Unit 12, Des Moines, Iowa 50322  
515.276.4884 · Fax: 515.276.7084 · mail@cecinc.com







Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community





**PLANNING & ZONING COMMISSION  
AGENDA STATEMENT**

Item No. 6B  
For Meeting of 09.11.2017

**ITEM TITLE:** Request from Windsor Windows to approve an amendment to the Windsor Windows site plan related to parking, loading, and grading.

**CONTACT PERSON:** Luke Parris, AICP – Community Development Director

**REQUEST:** Request from Windsor Windows & Doors to approve an amendment to the site plan for the new Windsor Windows facility at 901 Sunset Drive

**APPLICANT(S):**

Windsor Windows & Doors	Snyder & Associates
900 S 29 <sup>th</sup> Street	2727 SW Snyder Blvd
West Des Moines, IA 50265	Ankeny, IA 50023

**GENERAL DESCRIPTION:** This request is for an amendment to the site plan for the Windsor Windows & Doors vinyl window production facility, addressed as 901 Sunset Drive. The amendment proposes the following:

- Identify 39 parking spaces as future construction, as needed.
- Reduce the loading dock width from 150 feet to 130 feet.
- Show the grading of a dirt stockpile on the northern lot.

These requests are an effort from Windsor Windows & Doors to reduce unnecessary costs during the initial construction of the facility.

**STAFF ANALYSIS:** The Zoning Code requires the site to have 130 parking stalls. The original site plan identified the construction of 167 parking stalls. This amendment requests that only 128 parking stalls be constructed now and that 39 parking stalls will be constructed in the future as they are needed. The amendment would result in two fewer stalls than required. The staff opinion is that this is not an issue as the additional stalls have been identified for future construction and Windsor Windows & Doors has identified expansion of the facility in the future that will require a further review of the parking requirements.

The City does not have any regulations regarding the width of loading dock areas. Windsor Windows & Doors has indicated that the width will work for their operation. The staff does not have a concern with the reduction in width.

Additional grading to show a stockpile of dirt has been identified on lot 2 of the site. The grading meets City standards and the staff does not have concerns with the proposal.

**STAFF  
RECOMMENDATION:**

The staff recommends approval with the following conditions:

- That the site development and building construction follow all City code regulations.
- That any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council.

RESOLUTION NO. \_\_\_\_

**A RESOLUTION APPROVING THE AMENDMENT TO THE FOR WINDSOR WINDOWS SITE PLAN AT  
901 SUNSET DRIVE**

WHEREAS, the Planning & Zoning Commission reviewed this request at their regular meeting on September 11, 2017 and recommends approval of the Site Plan amendment; and

WHEREAS, that the site development and building construction follow all City code regulations; and

WHEREAS, that any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council; and

NOW, THEREFORE, BE IT RESOLVED: That the City Council does hereby approve the Site Plan amendment for Windsor Windows at 901 Sunset Drive as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

PASSED AND APPROVED this 21st day of September, 2017.

\_\_\_\_\_  
Tom Phillips - Mayor

ATTEST:

\_\_\_\_\_  
JODI EDDLEMAN, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>
Kuhl	___	___
Lester	___	___
Isley	___	___
Riva	___	___
Livingston	___	___

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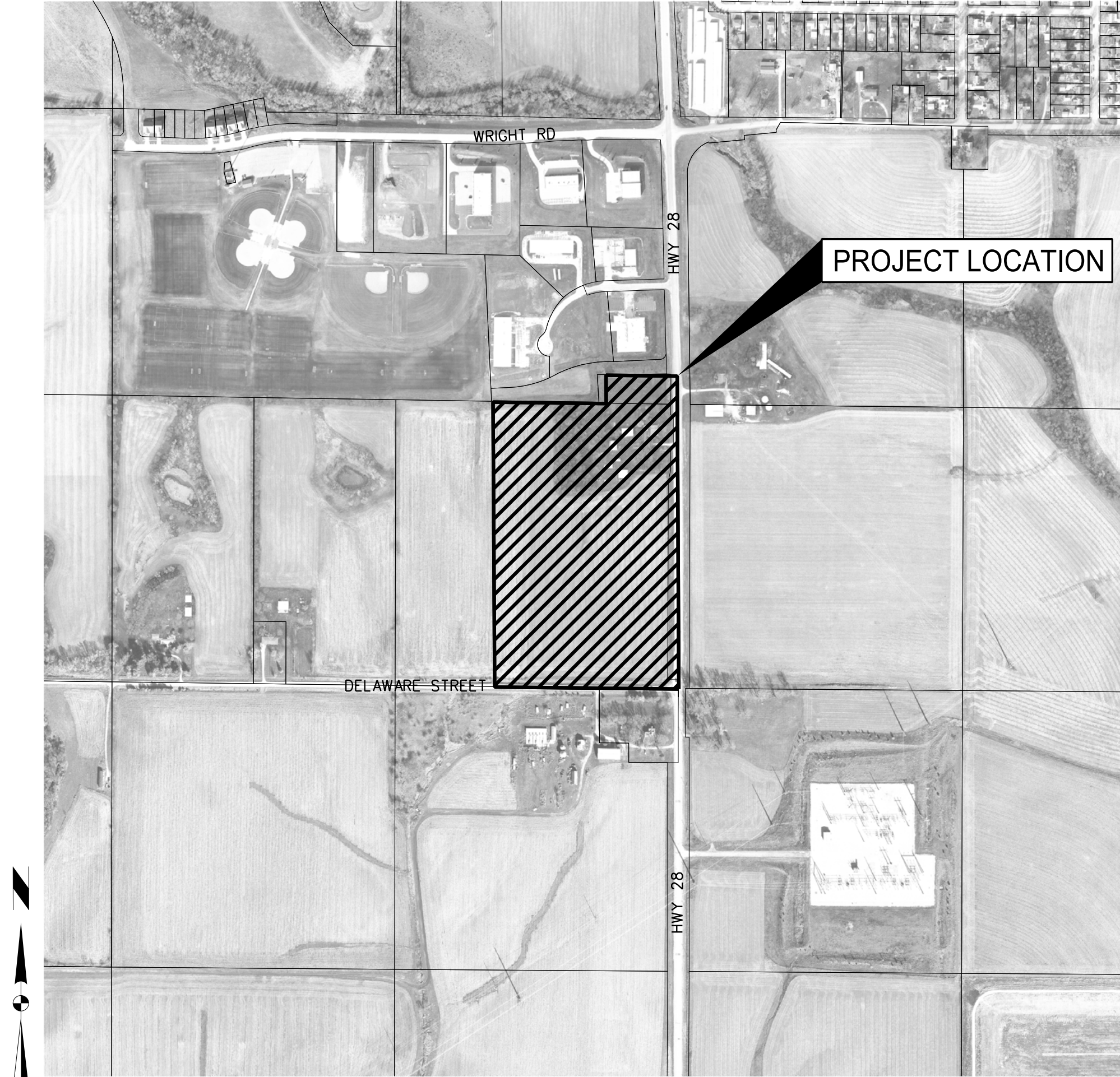
# SITE PLANS FOR

# WINDSOR WINDOWS

## CITY OF NORWALK, WARREN COUNTY, IOWA

**OWNER/APPLICANT**  
WINDSOR WINDOWS & DOORS  
901 S. SUNSET DRIVE  
NORWALK, IA 50211

**ENGINEER**  
SNYDER & ASSOCIATES, INC.  
2727 S.W. SNYDER BOULEVARD  
ANKENY, IA 50023  
CONTACT: MONTE APPELGATE, PLA  
PH: 515-965-2020




NOT TO SCALE

VICINITY MAP

### INDEX OF SHEETS

1. TITLE SHEET
2. PROJECT INFORMATION
3. SITE DEMOLITION AND DIMENSION PLAN
4. SITE DEMOLITION AND DIMENSION PLAN
5. UTILITY PLAN
6. UTILITY PLAN
7. GRADING AND EROSION CONTROL PLAN
8. GRADING AND EROSION CONTROL PLAN
9. PLANTING PLAN
10. PLANTING PLAN
11. DETAIL SHEET



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Jason A. Ledden, P.E. \_\_\_\_\_ Date \_\_\_\_\_

License Number 24117

My License Renewal Date is December 31, 2018

Pages or sheets covered by this seal:  
SHEETS 1-8, 11

WINDSOR WINDOWS

TITLE SHEET

NORWALK, IOWA

SNYDER & ASSOCIATES, INC. | 2727 S.W. SNYDER BLVD.  
ANKENY, IOWA 50023  
515-964-2020 | www.snyder-associates.com



Project No: 117.0108

Sheet 1 of 11

5 - FOR CONSTRUCTION				08/18/17	LBM
4	AS PER CITY COMMENTS	08/08/17	KSS		
3	AS PER OWNER COMMENTS	07/17/17	LBM		
2	AS PER CITY COMMENTS	07/14/17	RAM		
1	AS PER CITY COMMENTS	06/30/17	LBM		
MARK	REVISION	DATE	BY		
Engineer: JAL	Checked By: MAA	Scale: 1"= 500'			
Technician: TLS	Date: 06/23/17	Field Bk:			
Project No: 117.0108		Sheet 1 of 11			



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LEGEND

Features	Existing	Proposed
Spot Elevation	93.0	93.0
Contour Elevation	93	93
Fence (Barbed, Field, Hog)	—x—x—	
Fence (Chain Link)	—//—//—	
Fence (Wood)	—●—●—	
Fence (Silt)	—~—~—	
Tree Line	—( )—( )—	
Tree Stump	—( )—( )—	
Deciduous Tree \ Shrub	⌚	⌚
Coniferous Tree \ Shrub	☀	☀
Communication	—C(x)—	—C—
Overhead Communication	—OC(x)—	—OC—
Fiber Optic	—FO(x)—	—FO—
Underground Electric	—E(x)—	—E—
Overhead Electric	—OE(x)—	—OE—
Gas Main with Size	—4" G(x)—	—4" G—
High Pressure Gas Main with Size	—4" HPG(x)—	—4" HPG—
Water Main with Size	—8" W(x)—	—8" W—
Sanitary Sewer with Size	—8" S(x)—	—8" S—
Duct Bank	—DUCT(x)—	
Test Hole Location for SUE w/ID	⦿	
(x) Denotes the survey quality service level for utilities		
Sanitary Manhole	⦿	⦿
Storm Sewer with Size	12" ST	12" ST
Storm Manhole	⦿	⦿
Single Storm Sewer Intake	⦿	⦿
Double Storm Sewer Intake	⦿	⦿
Fire Hydrant	⦿	⦿
Fire Hydrant on Building	⦿	⦿
Water Main Valve	⦿	⦿
Water Service Valve	⦿	⦿
Well	⦿	⦿
Utility Pole	⦿	⦿
Guy Anchor	⦿	⦿
Utility Pole with Light	⦿	⦿
Utility Pole with Transformer	⦿	⦿
Street Light	⦿	⦿
Yard Light	⦿	⦿
Electric Box	⦿	⦿
Electric Transformer	⦿	⦿
Traffic Sign	⦿	⦿
Communication Pedestal	⦿	⦿
Communication Manhole	⦿	⦿
Communication Handhole	⦿	⦿
Fiber Optic Manhole	⦿	⦿
Fiber Optic Handhole	⦿	⦿
Gas Valve	⦿	⦿
Gas Manhole	⦿	⦿
Gas Apparatus	⦿	⦿
Fence Post or Guard Post	⦿	⦿
Underground Storage Tank	⦿	⦿
Above Ground Storage Tank	⦿	⦿
Sign	⦿	⦿
Satellite Dish	⦿	⦿
Mailbox	⦿	⦿
Soil Boring	⦿	⦿

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI/ ASCE 38-02 STANDARD.

QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.

QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.

QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 551701601.

	CITY OF NORWALK TIM HOSKINS 515-202-2540 timh@norwalk.iowa.gov
W1-WATER	WARREN WATER DISTRICT STAN RIPPERGER 515-208-5352 sripperger@warrenwaterdistrict.com
E1-ELECTRIC OE1-OVERHEAD ELECTRIC	MIDAMERICAN ENERGY CRAIG RANFELD 515-252-6632 MECDSDesignLocates@midamerican.com
FO1-FIBER OPTIC CI-COMMUNICATION	CENTURYLINK TOM STURMER 720-578-8090 thomas.sturmer@centurylink.com
CLEAR PER MAP	AUREON NETWORK SERVICES JEFF KLOCKO 515-830-0445 jeff@netins.com



GENERAL NOTES

- A. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION, AND DEPTH OF ALL UTILITIES. PROTECT ALL UTILITY LINES AND STRUCTURES NOT SHOWN FOR REMOVAL OR MODIFICATION. ANY DAMAGES TO UTILITY ITEMS NOT SHOWN FOR REMOVAL OR MODIFICATION SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
- B. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO 2017 SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE SOILS REPORTS PREPARED BY OTHERS.
- C. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
- D. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS.
- E. NOTIFY OWNER, ENGINEER, AND THE CITY OF NORWALK AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- F. CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESSES. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% MAXIMUM DENSITY.
- G. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- H. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.
- I. DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.
- J. CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONSIDERED TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.
- K. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.
- L. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- M. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES IN A TIMELY MANNER.
- N. THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTANENCES TO FINAL GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.
- O. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONTROL MEASURES ON SITE AT THE TIME OF CONSTRUCTION. GRADING AND SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET BY CONTRACTOR. A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
- P. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, TELEPHONE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SERVICE PROVIDER, THE CITY OF NORWALK, AND THE OWNER PRIOR TO CONSTRUCTION.
- Q. CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" VERTICAL AND HORIZONTAL CLEARANCE BETWEEN UTILITIES. CONTRACTOR TO COORDINATE UTILITY ROUTING TO BUILDING AND VERIFY CONNECTION LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.

BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)  
IARTN DERIVED - US SURVEY FEET

- BM1 ELEV=869.85  
RAILROAD SPIKE IN FIRST POWER POLE WEST OF HIGHWAY 28 ON THE NORTH SIDE OF DELAWARE STREET, SOUTHEAST CORNER OF SITE.
- BM2 ELEV=868.83  
RAILROAD SPIKE IN SECOND POWER POLE WEST OF HIGHWAY 28 ON THE NORTH SIDE OF DELAWARE STREET, SOUTHEAST SIDE OF SITE.

CONTROL POINTS

IOWA REGIONAL COORDINATE SYSTEM ZONE 8 (AMES-DES MOINES)  
NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

- CP1 N=7442647.57 E=18509058.43  
1/2" REBAR WITH RED CAP 15' WEST OF POWER POLE 90' NORTH OF GRAVEL ENTRANCE ON THE EAST SIDE OF HIGHWAY 28, NORTHEAST CORNER OF SITE.
- CP2 N=7441167.15 E=18509064.53  
1/2" REBAR WITH RED CAP 6' WEST OF IDOT RIGHT-OF-WAY RAIL IN THE NORTHEAST QUADRANT OF HIGHWAY 28 & DELAWARE STREET, SOUTHEAST CORNER OF SITE.
- CP3 N=7441165.87 E=18507889.65  
1/2" REBAR WITH RED CAP 1' SOUTH OF GRAVEL EDGE OF DELAWARE STREET 100' WEST OF 42" CMP, SOUTHWEST CORNER OF SITE.
- CP4 N=7442503.64 E=18508064.86  
1/2" REBAR WITH RED CAP 2' SOUTH OF NORTH PROPERTY FENCE 60' WEST OF CHAIN LINK FENCE TO NORTH, NORTHWEST CORNER OF SITE.

ZONING

M-1: GENERAL INDUSTRIAL DISTRICT

PROPERTY DESCRIPTION

A PART OF PARCEL "D", AS RECORDED IN BOOK 2014, PAGE 8724 OF THE WARREN COUNTY RECORDER'S OFFICE AND BEING A PART OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 77 NORTH, RANGE 25 EAST OF THE 5TH P.M., CITY OF NORWALK, WARREN COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTER OF SAID SECTION 24 AND THE SOUTHEAST CORNER OF PARCEL "D"; THENCE NORTH 89°22'46" WEST ALONG THE SOUTH LINE OF SAID PARCEL "D", 855.93 FEET; THENCE NORTH 00°18'23" WEST, 1324.26 FEET TO THE NORTH LINE OF SAID PARCEL "D"; THENCE SOUTH 89°15'35" EAST ALONG SAID NORTH LINE, 525.90 FEET; THENCE NORTH 00°19'05" WEST CONTINUING ALONG SAID NORTH LINE, 132.02 FEET; THENCE SOUTH 89°15'35" EAST CONTINUING ALONG SAID NORTH LINE, 330.06 FEET TO THE NORTHEAST CORNER OF SAID PARCEL "D"; THENCE SOUTH 00°19'05" EAST ALONG THE EAST LINE OF SAID PARCEL "D", 132.02 FEET; THENCE SOUTH 00°18'23" EAST CONTINUING ALONG SAID EAST LINE, 1322.47 FEET TO THE POINT OF BEGINNING AND CONTAINING .27.00 ACRES (1,176,120 S.F.), BEING SUBJECT TO 2.26 ACRES (98,369 S.F.) OF ROADWAY EASEMENT.

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

PROPERTY ADDRESS

WINDSOR WINDOWS & DOORS  
901 S. SUNSET DRIVE  
NORWALK, IA 50211

GENERAL USE

MANUFACTURING/WAREHOUSE

BUILDING DESCRIPTION

TOTAL BUILDING HEIGHT= 40.0'  
FLOOR SF= 159,395 SF

PARKING REQUIREMENTS:

WAREHOUSE:  
1 SPACE PER EMPLOYEE + 1 SPACE PER 2,000 SF FLOOR AREA

5 EMPLOYEES + 5 SPACES + 59,000 SF / 2,000 + 35 SPACES

MANUFACTURING:  
1.5 SPACES PER 2 EMPLOYEES  
75 EMPLOYEES / 2 x 1.5 = 56 SPACES

OFFICE:  
1 SPACE PER 250 SF FLOOR AREA FOR FIRST 5,000 SF  
1 SPACE PER 275 SF FLOOR AREA FOR OVER 5,000 SF

5,000 SF / 250 + 20 SPACES  
5,264 SF / 275 + 19 SPACES

TOTAL SPACES REQUIRED = 130 SPACES  
TOTAL SPACES PROVIDED = 167 SPACES (6 ACCESSIBLE SPACES)

DEVELOPMENT SCHEDULE

ACTIVITY	SCHEDULE	
EARTHWORK	SUMMER	2017
UNDERGROUND UTILITIES	FALL	2017
FOUNDATIONS	SUMMER	2017
PAVEMENTS	FALL	2017
ELECTRIC / GAS	FALL/WINTER	2017/2018
LANDSCAPING / SITE FINISH	SPRING	2018

WINDSOR WINDOWS

PROJECT INFORMATION

NORWALK, IOWA

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD.  
ANKENY, IOWA 50023  
515-964-2020 | www.snyder-associates.com



Project No: 117.0108

Sheet 2 of 11

08/18/17 LBM

5. FOR CONSTRUCTION

08/08/17 KSS

07/17/17 LBM

07/14/17 RAM

06/30/17 LBM

DATE BY

Engineer: JAL

Checked By: MAA

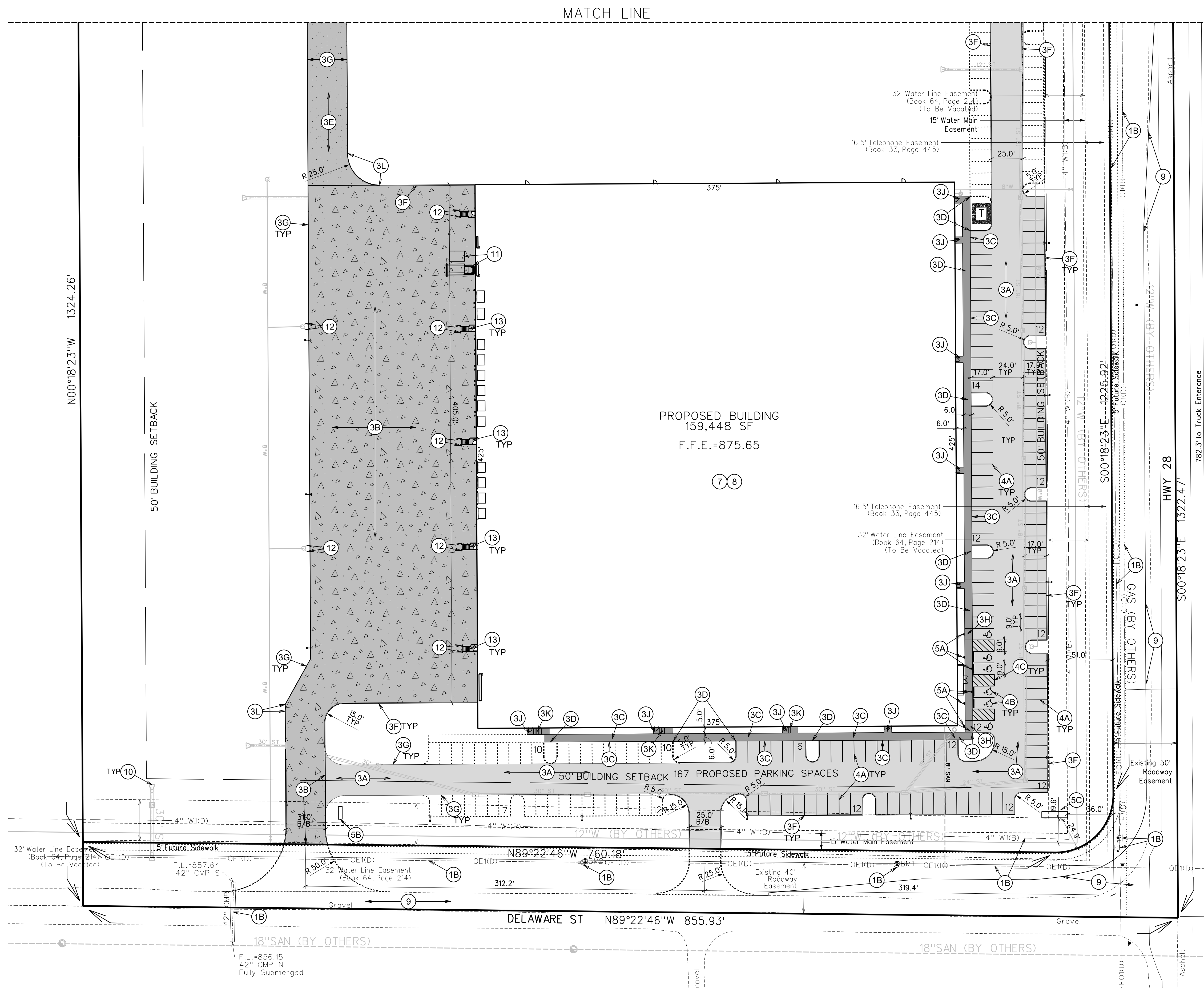
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Field Bk:

Project No: 117.0108

Sheet 2 of 11







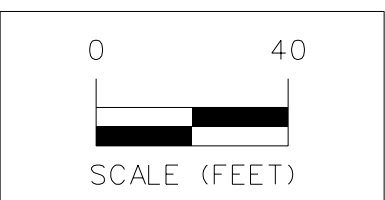
## DIMENSION PLAN GENERAL NOTES

- A. UTILITY WARNING:  
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND FEATURES WHICH ARE TO REMAIN. DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
- D. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONSTRUCT ALL SITE IMPROVEMENTS AND UTILITIES IN ACCORDANCE WITH THE 2017 SUDAS SPECIFICATIONS.
- E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 'MUTCD'. ALL PROPOSED SIGNS SHALL CONFORM TO THE 'MUTCD' MANUAL.
- F. THE CONTRACTOR SHALL LOAD AND TRANSPORT ALL MATERIALS NOT DESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.
- G. SAW-CUT AT TERMINATION TO FULL DEPTH ALL PAVEMENTS TO BE REMOVED.
- H. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED OR ROUTED AND NOTED ACCORDINGLY ON THE AS BUILT PLANS.

## DIMENSION PLAN CONSTRUCTION NOTES

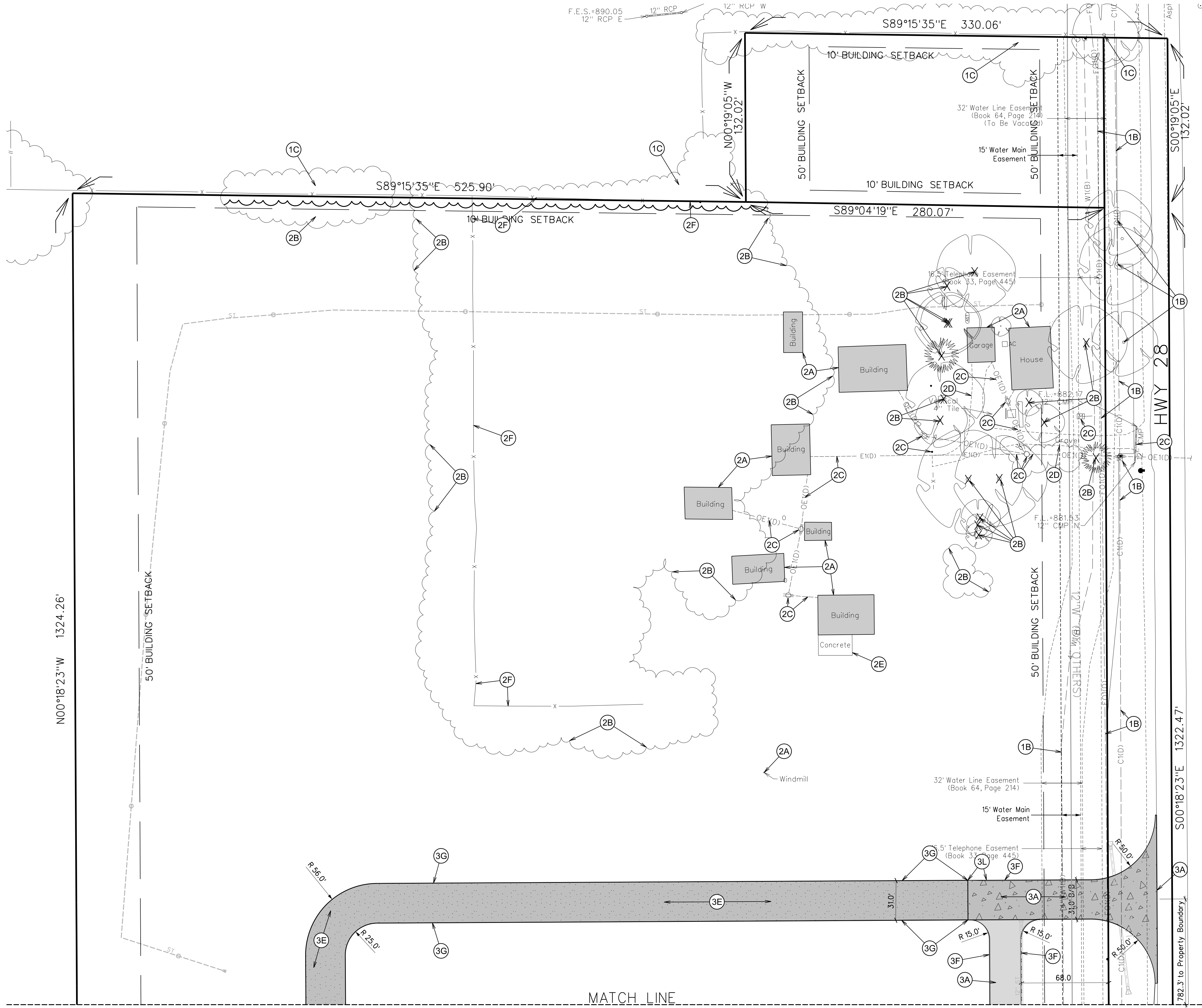
1. EXISTING FEATURES, PROTECT THE FOLLOWING:
  - A. PAVEMENTS TO REMAIN.
  - B. PROTECT EXISTING UTILITIES.
  - C. PROTECT EXISTING TREES.
2. DEMOLITION, REMOVE THE FOLLOWING:
  - A. FARM BUILDINGS TO BE REMOVED BY OTHERS.
  - B. TREES AND SHRUBS. REMOVE ROOTBALL TO MINIMUM 24" DEPTH.
  - C. UTILITIES (COORDINATE REMOVAL WITH UTILITY COMPANIES AND CITY OF NORWALK).
  - D. AGGREGATE SURFACING.
  - E. PAVEMENT.
  - F. FENCING.
3. PAVEMENTS, PROVIDE THE FOLLOWING:
  - A. 6" DEPTH PCC PAVEMENT AND 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  - B. 8" DEPTH PCC PAVEMENT AND 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  - C. 4" DEPTH PCC SIDEWALK WITH INTEGRAL CURB ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  - D. 4" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  - E. 12" DEPTH ASPHALT MILLINGS ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  - F. STANDARD CURB. SEE DETAIL.
  - G. NO CURB.
  - H. PEDESTRIAN RAMP WITH MAXIMUM SLOPE OF 8.33% AND DETECTABLE WARNING WHERE SHOWN.
  - I. CONNECT TO EXISTING PAVEMENT USING TYPE B JOINT.
  - J. PCC STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.
  - K. PCC STEPS WITH HANDRAIL. SEE DETAIL.
  - L. TAPER CURB IN 6'.
4. PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
  - A. 4' WIDE PAINTED PARKING STALL LINES.
  - B. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
  - C. ACCESSIBLE AISLE. 45° STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
  - D. 45° STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
5. SIGNS, PROVIDE THE FOLLOWING:
  - A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS.
  - B. DIRECTIONAL. SEE ARCHITECTURAL PLANS FOR DETAILS.
  - C. MONUMENT. SEE ARCHITECTURAL PLANS FOR DETAILS.
6. SITE ELECTRICAL, PROVIDE THE FOLLOWING:
  - A. SITE LIGHTING SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR TO COORDINATE POLE LOCATIONS WITH ELECTRICAL PLANS PRIOR TO CONSTRUCTION.
  - B. ELECTRICAL TRANSFORMER AND PCC PAD. REFER TO ELECTRICAL PLANS FOR DETAILS.
7. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DETAILED BUILDING INFORMATION.
8. COORDINATE GAS, ELECTRIC, TELECOMMUNICATION SERVICES WITH UTILITY SERVICE PROVIDERS AND CITY OF NORWALK PRIOR TO CONSTRUCTION.
9. HIGHWAY 28 AND DELAWARE ROADWAY IMPROVEMENTS BY OTHERS.
10. REFER TO UTILITY PLAN SHEETS FOR STORM SEWER INFORMATION.
11. TRASH COMPACTOR AND OPEN DUMPSTER REFER TO MECHANICAL AND ARCHITECTURAL PLANS FOR DETAILS.
12. BOLLARDS. SEE DETAIL ON SHEET 11
13. METAL STAIRS AND LANDING. SEE ARCHITECTURAL PLANS FOR DETAILS.

- |   |                      |
|---|----------------------|
|  | 4" PCC SIDEWALK      |
|  | 6" PCC PAVEMENT      |
|  | 8" PCC PAVEMENT      |
|  | 12" ASPHALT MILLINGS |





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### DIMENSION PLAN GENERAL NOTES

- A. UTILITY WARNING:  
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND FEATURES WHICH ARE TO REMAIN. DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
- D. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR TO CONSTRUCT ALL SITE IMPROVEMENTS AND UTILITIES IN ACCORDANCE WITH THE 2017 SDAS SPECIFICATIONS.
- E. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 'MUTCD'. ALL PROPOSED SIGNS SHALL CONFORM TO THE 'MUTCD' MANUAL.
- F. THE CONTRACTOR SHALL LOAD AND TRANSPORT ALL MATERIALS NOT DESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.
- G. SAW-CUT AT TERMINATION TO FULL DEPTH ALL PAVEMENTS TO BE REMOVED.
- H. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED OR ROUTED AND NOTED ACCORDINGLY ON THE AS BUILT PLANS.

### DIMENSION PLAN CONSTRUCTION NOTES

1. EXISTING FEATURES, PROTECT THE FOLLOWING:  
A. PAVEMENTS TO REMAIN.  
B. PROTECT EXISTING UTILITIES.  
C. PROTECT EXISTING TREES.
2. DEMOLITION, REMOVE THE FOLLOWING:  
A. FARM BUILDINGS TO BE REMOVED BY OTHERS.  
B. TREES AND SHRUBS. REMOVE ROOTBALL TO MINIMUM 24" DEPTH.  
C. UTILITIES (COORDINATE REMOVAL WITH UTILITY COMPANIES AND CITY OF NORWALK).  
D. AGGREGATE SURFACING.  
E. PAVEMENT.  
F. FENCING.
3. PAVEMENTS, PROVIDE THE FOLLOWING:  
A. 6" DEPTH PCC PAVEMENT AND 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.  
B. 8" DEPTH PCC PAVEMENT AND 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.  
C. 4" DEPTH PCC SIDEWALK WITH INTEGRAL CURB ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.  
D. 4" DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.  
E. 12" DEPTH ASPHALT MILLINGS ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.  
F. STANDARD CURB. SEE DETAIL.  
G. NO CURB.  
H. PEDESTRIAN RAMP WITH MAXIMUM SLOPE OF 8.33% AND DETECTABLE WARNING WHERE SHOWN.  
I. CONNECT TO EXISTING PAVEMENT USING TYPE B JOINT.  
J. PCC STOOP. SEE ARCHITECTURAL PLANS FOR DETAILS.  
K. PCC STEPS WITH HANDRAIL. SEE DETAIL.  
L. TAPER CURB IN 6'.
4. PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:  
A. 4" WIDE PAINTED PARKING STALL LINES.  
B. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.  
C. ACCESSIBLE AISLE. 45° STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.  
D. 45° STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
5. SIGNS, PROVIDE THE FOLLOWING:  
A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS.  
B. DIRECTIONAL. SEE ARCHITECTURAL PLANS FOR DETAILS.  
C. MONUMENT. SEE ARCHITECTURAL PLANS FOR DETAILS.
6. SITE ELECTRICAL, PROVIDE THE FOLLOWING:  
A. SITE LIGHTING SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR TO COORDINATE POLE LOCATIONS WITH ELECTRICAL PLANS PRIOR TO CONSTRUCTION.  
B. ELECTRICAL TRANSFORMER AND PCC PAD. REFER TO ELECTRICAL PLANS FOR DETAILS.
7. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DETAILED BUILDING INFORMATION.
8. COORDINATE GAS, ELECTRIC, TELECOMMUNICATION SERVICES WITH UTILITY SERVICE PROVIDERS AND CITY OF NORWALK PRIOR TO CONSTRUCTION.
9. HIGHWAY 28 AND DELAWARE ROADWAY IMPROVEMENTS BY OTHERS.
10. REFER TO UTILITY PLAN SHEETS FOR STORM SEWER INFORMATION.
11. TRASH COMPACTOR AND OPEN DUMPSTER REFER TO MECHANICAL AND ARCHITECTURAL PLANS FOR DETAILS.
12. BOLLARDS. SEE DETAIL ON SHEET 11.
13. METAL STAIRS AND LANDING. SEE ARCHITECTURAL PLANS FOR DETAILS.

- 4" PCC SIDEWALK
- 6" PCC PAVEMENT
- 8" PCC PAVEMENT
- 12" ASPHALT MILLINGS



## WINDSOR WINDOWS

### SITE DEMOLITION AND DIMENSION PLAN

# SNYDER & ASSOCIATES, INC.



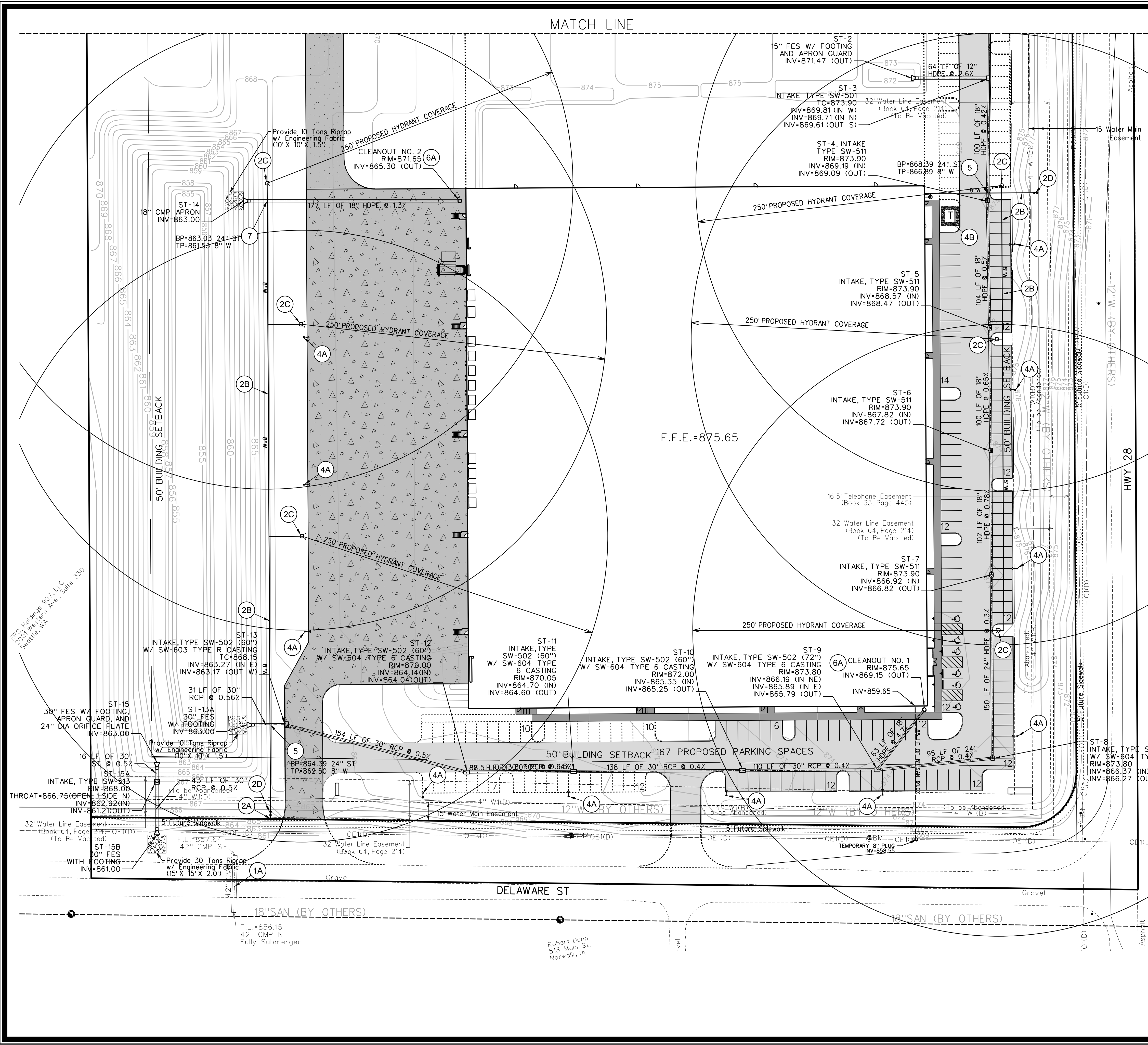
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NORWALK, IOWA

2727 S.W. SNYDER BLVD.  
ANKENY, IOWA 50023  
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## UTILITY PLAN NOTES

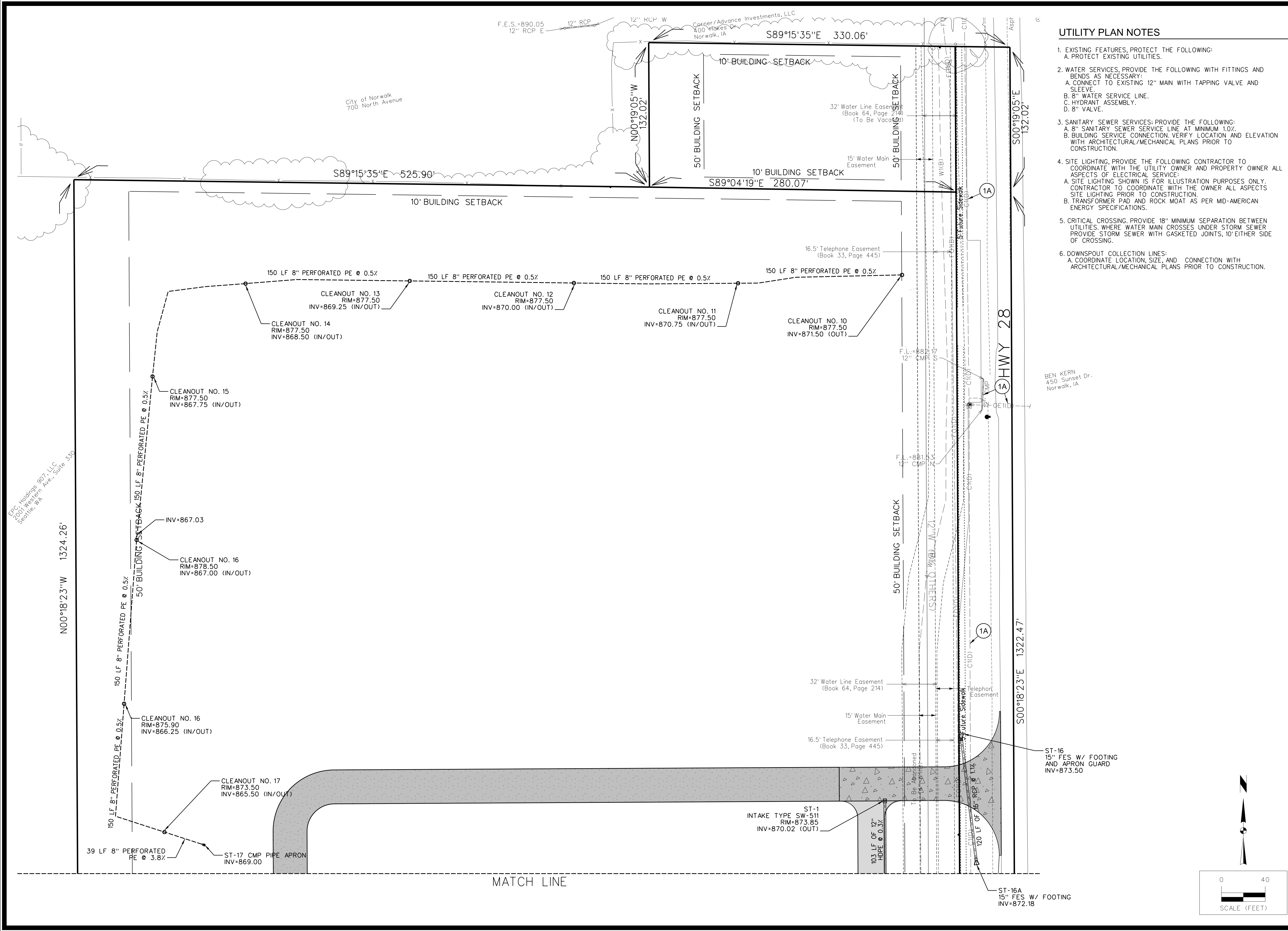
1. EXISTING FEATURES, PROTECT THE FOLLOWING:  
A. PROTECT EXISTING UTILITIES.
2. WATER SERVICES, PROVIDE THE FOLLOWING WITH FITTINGS AND BENDS AS NECESSARY:  
A. CONNECT TO EXISTING 12" MAIN WITH TAPPING VALVE AND SLEEVE.  
B. 8" WATER SERVICE LINE.  
C. HYDRANT ASSEMBLY.  
D. 8" VALVE.
3. SANITARY SEWER SERVICES: PROVIDE THE FOLLOWING:  
A. 8" SANITARY SEWER SERVICE LINE AT MINIMUM 1.0%.  
B. BUILDING SERVICE CONNECTION: VERIFY LOCATION AND ELEVATION WITH ARCHITECTURAL/MECHANICAL PLANS PRIOR TO CONSTRUCTION.
4. SITE LIGHTING, PROVIDE THE FOLLOWING CONTRACTOR TO COORDINATE WITH THE UTILITY OWNER AND PROPERTY OWNER ALL ASPECTS OF ELECTRICAL SERVICE:  
A. CONTRACTOR TO PROVIDE AS SHOWN FOR ILLUSTRATION PURPOSES ONLY.  
B. CONTRACTOR TO COORDINATE WITH THE OWNER ALL ASPECTS SITE LIGHTING PRIOR TO CONSTRUCTION.  
C. TRANSFORMER PAD AND ROCK MOAT AS PER MID-AMERICAN ENERGY SPECIFICATIONS.
5. CRITICAL CROSSING: PROVIDE 18" MINIMUM SEPARATION BETWEEN UTILITIES, WHERE WATER MAIN CROSS UNDER STORM SEWER PROVIDE STORM SEWER WITH GASKETED JOINTS, 10' EITHER SIDE OF CROSSING.
6. DOWNSPOUT COLLECTION LINES:  
A. COORDINATE LOCATION, SIZE, AND CONNECTION WITH ARCHITECTURAL/MECHANICAL PLANS PRIOR TO CONSTRUCTION.

		Project No: 117.0108		Sheet 5 of 11	
<b>WINDSOR WINDOWS</b>		5. FOR CONSTRUCTION		08/18/17 LBM	
<b>UTILITY PLAN</b>		4. AS PER CITY COMMENTS		08/08/17 KSS	
		3. AS PER OWNER COMMENTS		07/17/17 LBM	
		2. AS PER CITY COMMENTS		07/14/17 RMM	
		1. AS PER CITY COMMENTS		06/30/17 LBM	
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		Technician: TLS		Date: 08/23/17	
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- ### UTILITY PLAN NOTES
- EXISTING FEATURES, PROTECT THE FOLLOWING:  
A. PROTECT EXISTING UTILITIES.
  - WATER SERVICES, PROVIDE THE FOLLOWING WITH FITTINGS AND BENDS, AS NECESSARY:  
A. CONNECT TO EXISTING 12" MAIN WITH TAPPING VALVE AND SLEEVE.  
B. 8" WATER SERVICE LINE.  
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D. 8" VALVE.
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  - DOWNSPOUT COLLECTION LINES:  
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WINDSOR WINDOWS

UTILITY PLAN

SNYDER & ASSOCIATES

Project No: 117.0108

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NORWALK, IOWA

2727 S.W. SNYDER BLVD.  
ANKENY, IOWA 50023  
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08/08/17	LBW	5. FOR CONSTRUCTION
08/08/17	KSS	4. AS PER CITY COMMENTS
07/17/17	LBW	3. AS PER OWNER COMMENTS
07/14/17	IRRM	2. AS PER CITY COMMENTS
06/30/17	LBW	1. AS PER CITY COMMENTS
06/30/17	BY	MARK
DATE	REVISION	DATE
06/23/17	MAA	Checked By:
06/23/17	JAL	Engineer:
06/23/17	TLS	Technician:
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WINDSOR WINDOWS

UTILITY PLAN

SNYDER & ASSOCIATES

Project No: 117.0108

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NORWALK, IOWA

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WINDSOR WINDOWS

UTILITY PLAN

SNYDER & ASSOCIATES

Project No: 117.0108

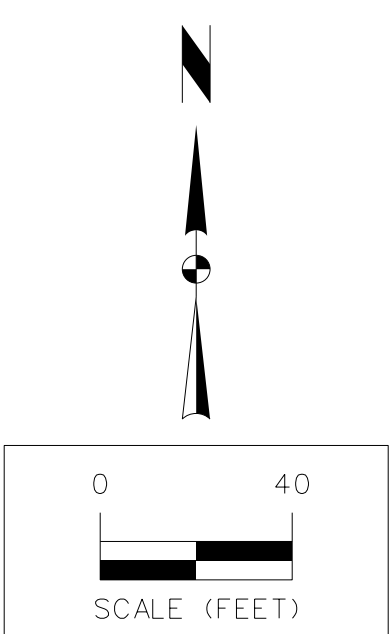
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NORWALK, IOWA

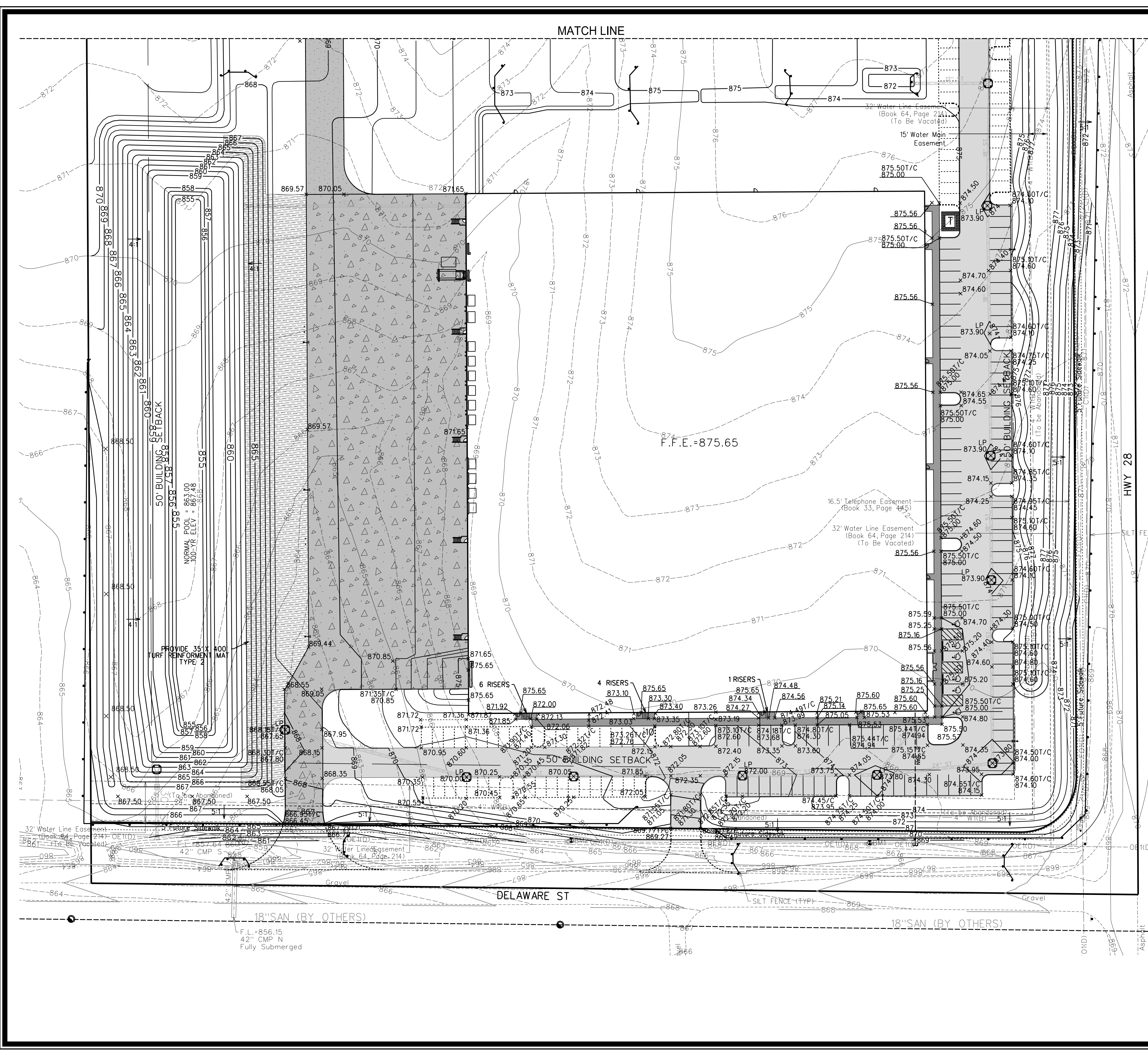
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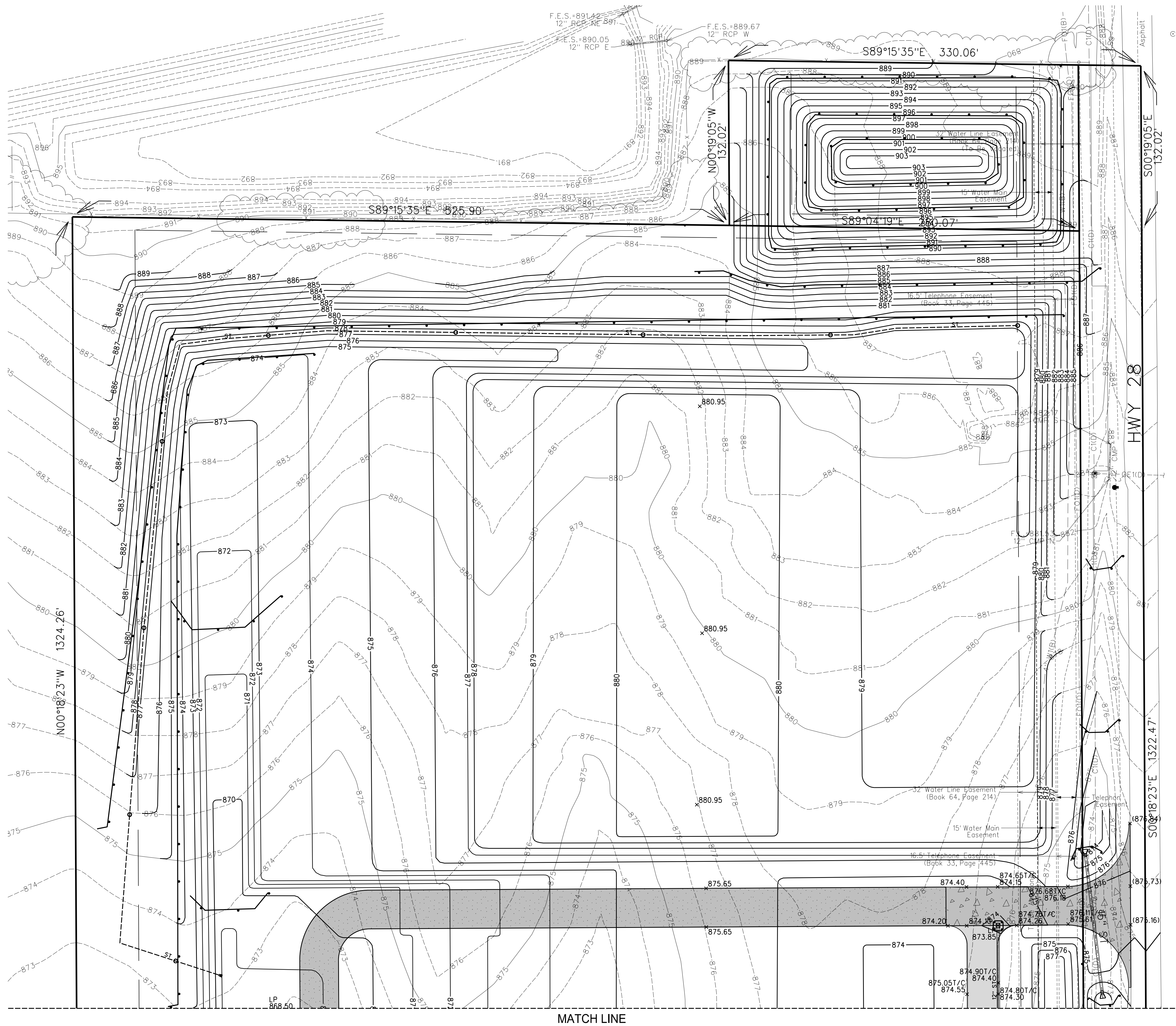


### GRADING PLAN GENERAL NOTES

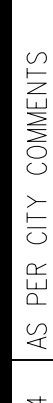
- A. UTILITY WARNING:  
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- D. ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
- E. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
- F. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES.

08/18/17 LBM		08/08/17 KSS		07/17/17 LBM		07/14/17 RMM		06/30/17 LBM		DATE BY		1"= 40'		Pg.	
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WINDSOR WINDOWS		GRADING AND EROSION CONTROL PLAN		SNYDER & ASSOCIATES, INC.		NORWALK, IOWA		2727 S.W. SNYDER BLVD. ANKENY, IOWA 50023 515-964-2020   www.snyder-associates.com		Project No:		117.0108		Sheet	
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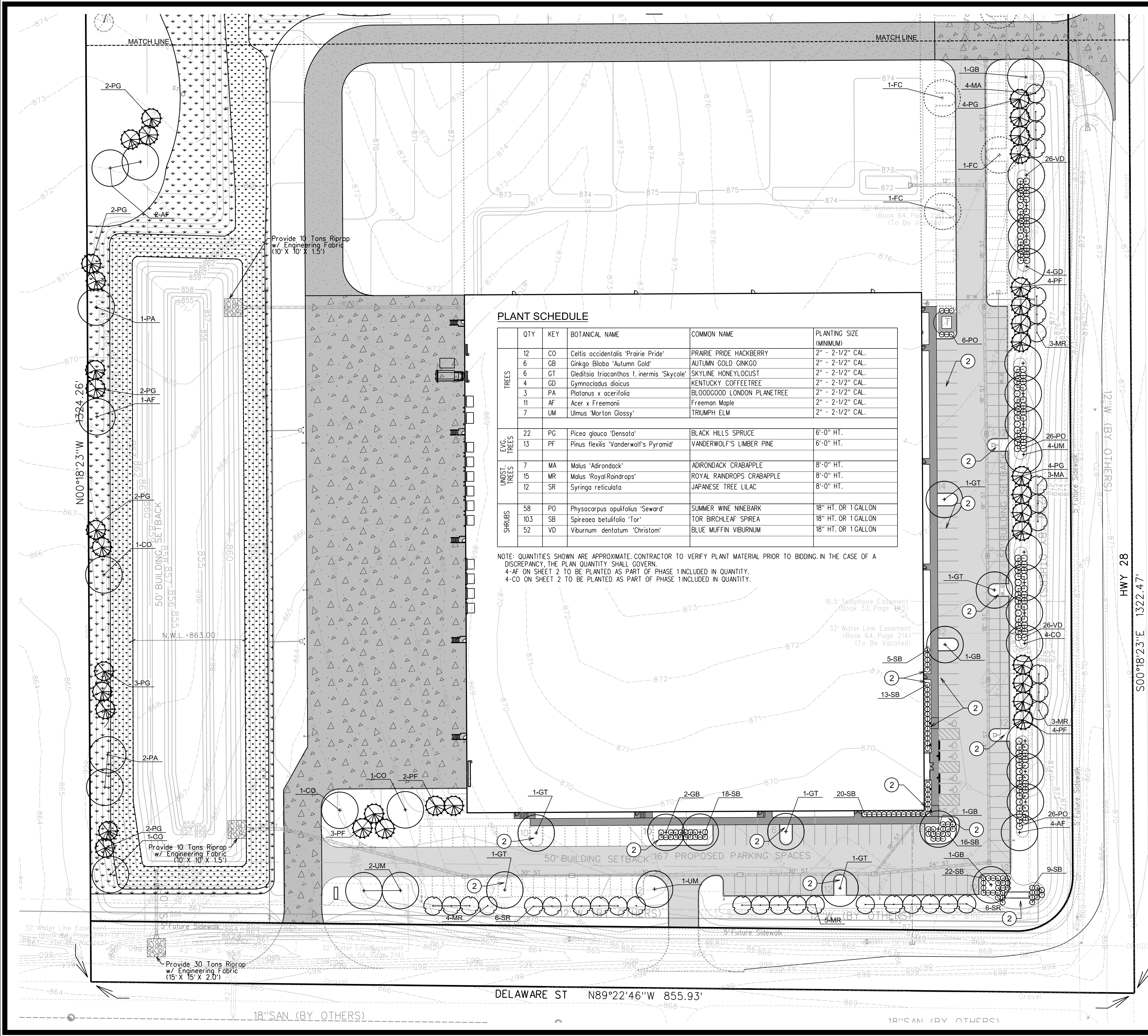


## GRADING PLAN GENERAL NOTES

		Project No: 117.0108	
Sheet 8 of 11		08/18/17 LEM	
<h1>WINDSOR WINDOWS</h1>		FOR CONSTRUCTION	
		4 AS PER CITY COMMENTS 08/08/17 KSS	
		3 AS PER OWNER COMMENTS 07/17/17 LEM	
		2 AS PER CITY COMMENTS 07/14/17 RMM	
		1 AS PER CITY COMMENTS 06/30/17 LEM	
<h2>GRADING AND EROSION CONTROL PLAN</h2>		MARK	
NORWALK, IOWA		BY	
Engineer: JAL		Checked By: MAA	
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PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE (MINIMUM)
12	CO	Celtis occidentalis 'Prairie Pride'	PRAIRIE PRIDE HACKBERRY	2" - 2-1/2" CAL.
6	GB	Ginkgo Biloba 'Autumn Gold'	AUTUMN GOLD GINKGO	2" - 2-1/2" CAL.
6	GT	Gleditsia triacanthos f. inermis 'Skycole'	SKYLINE HONEYLOCUST	2" - 2-1/2" CAL.
4	GD	Gymnocladus dioica	KENTUCKY COFFEETREE	2" - 2-1/2" CAL.
3	PA	Platanus x acerifolia	BLOODGOOD LONDON PLANETREE	2" - 2-1/2" CAL.
11	AF	Acer x Freemanii	Freeman Maple	2" - 2-1/2" CAL.
7	UM	Ulmus 'Morton Glossy'	TRIUMPH ELM	2" - 2-1/2" CAL.
22	PG	Picea glauca 'Densata'	BLACK HILLS SPRUCE	6"-0" HT.
13	PF	Pinus flexilis 'Vanderwolf's Pyramid'	VANDERWOLF'S LIMBER PINE	6"-0" HT.
7	MA	Malus 'Adirondack'	ADIRONDACK CRABAPPLE	8"-0" HT.
15	MR	Malus 'Royal Raindrops'	ROYAL RAINDROPS CRABAPPLE	8"-0" HT.
12	SR	Syringa reticulata	JAPANESE TREE LILAC	8"-0" HT.
58	PO	Physocarpus opulifolius 'Seward'	SUMMER WINE NINEBARK	18" HT. OR 1 GALLON
103	SB	Spireaea betulifolia 'Tor'	TOR BIRCHLEAF SPIREA	18" HT. OR 1 GALLON
52	VD	Viburnum dentatum 'Christom'	BLUE MUFFIN VIBURNUM	18" HT. OR 1 GALLON

NOTE: QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY PLANT MATERIAL PRIOR TO BIDDING. IN THE CASE OF A DISCREPANCY, THE PLAN QUANTITY SHALL GOVERN.  
4-AF ON SHEET 2 TO BE PLANTED AS PART OF PHASE 1 INCLUDED IN QUANTITY.  
4-CO ON SHEET 2 TO BE PLANTED AS PART OF PHASE 1 INCLUDED IN QUANTITY.

PLANTING PLAN GENERAL NOTES

- A. UTILITY WARNING:  
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- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

PLANTING PLAN CONSTRUCTION NOTES

1. PROVIDE 3- INCH DEPTH SHREDDED HARDWOOD MULCH AROUND ALL INDIVIDUAL TREES IN LAWN AREAS. MULCH SHALL BE A MINIMUM 3 FOOT RADIUS AROUND TREES. PROVIDE A SAMPLE OF THE MULCH FOR OWNERS REPRESENTATIVE FOR REVIEW AND APPROVAL.
2. PROVIDE 2 INCH RIVER ROCK MULCH PLACED TO A DEPTH OF 4 INCHES WITH WEED BARRIER FABRIC UNDERLAYMENT IN ALL MASS PLANTING BED AREAS. PROVIDE SAMPLE OF THE ROCK MULCH TO OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL.
3. ALL PLANTING BEDS TO RECEIVE 4 INCH VERTICAL CUT EDGE ADJACENT TO LAWN AREAS UNLESS OTHERWISE DIRECTED BY OWNER.
4. CONTRACTOR SHALL SEED ALL AREAS DISTURBED BY CONSTRUCTION WITH SUDAS TYPE 1 PERMANENT LAWN MIX UNLESS OTHERWISE NOTED ON PLANS.

LANDSCAPE REQUIREMENTS

PROPERTY ZONING: M-1  
TOTAL LOT AREA: 1,025,547 SF (23.54 AC)

REQUIRED OPEN SPACE: 20%  
1,025,547 X 0.20 = 205,109.4 SF

OPEN SPACE PROVIDED: 713,033.42 SF (69.5%) (PHASE 1)  
OPEN SPACE PROVIDED: 370,854.42 SF (36.2%) (FULL BUILD)

OPEN SPACE LANDSCAPING REQUIREMENTS:  
(1) TREE PER 1,500 SF OF REQUIRED OPEN SPACE  
205,109.4/1,500 = 136.73  
--137 OPEN SPACE TREES REQUIRED  
(40% MINIMUM PROVIDED AT 2-INCH TO 2-1/2 INCH  
(137 x 0.40 = 54.8)  
55 TREES PROVIDED AT 2-INCH TO 2-1/2 INCH CAL.  
81 TREES PROVIDED AT 8 FOOT HEIGHT  
(1) SHRUB PER 1,000 SF OF REQUIRED OPEN SPACE  
205,109.4/1,000 = 205.11  
--206 OPEN SPACE SHRUBS REQUIRED  
(MINIMUM 18" HEIGHT OR 1 GALLON POTTED)

PHASE 1 OPEN SPACE (SOUTH)  
27 CANOPY TREES PROVIDED (INCLUDES 3 FUTURE)  
40 UNDERSTORY TREES PROVIDED (INCLUDES EVERGREENS)  
109 SHRUBS PROVIDED

PHASE 2 OPEN SPACE (NORTH)  
28 CANOPY TREES (FUTURE)  
41 UNDERSTORY TREES (INCLUDES FUTURE EVERGREENS)  
97 SHRUBS (FUTURE, LOCATION NOT SHOWN)

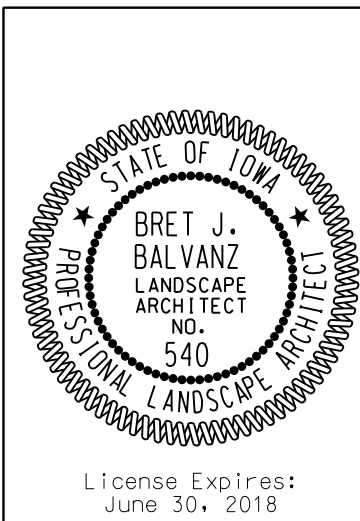
BUFFER LANDSCAPING REQUIREMENTS:

EAST BUFFER:  
BUFFER#2 - STANDARD FIFTY (50) FOOT WIDE LANDSCAPE BUFFER.  
REQUIRED PLANTINGS PER 100 LINEAR FEET OF BUFFER:  
4 CANOPY TREES X 0.60 MULTIPLIER = 2.4  
3 UNDERSTORY TREES X 0.60 MULTIPLIER = 1.8  
4 EVERGREEN TREES X 0.60 MULTIPLIER = 2.4  
24 SHRUBS X 0.60 MULTIPLIER = 14.4

CALCULATION: 1,271.54 LF/100 = 12.71 PLANTING UNITS  
--31 CANOPY TREES (12.71 x 2.4 = 30.50)  
--23 UNDERSTORY TREES (12.71 x 1.8 = 22.87)  
--31 EVERGREEN TREES (12.71 x 2.4 = 30.5)  
--184 SHRUBS (12.71 x 14.4 = 183.02)

PHASE 1 BUFFERYARD (SOUTH)  
17 CANOPY TREES (PROVIDED)  
13 UNDERSTORY TREES (PROVIDED)  
16 EVERGREEN TREES (PROVIDED)  
104 SHRUBS (PROVIDED)

PHASE 2 BUFFERYARD (NORTH)  
14 CANOPY TREES (8 INSTALLED WITH PHASE 1, 6 FUTURE)  
10 UNDERSTORY TREES (FUTURE)  
15 EVERGREEN TREES (FUTURE)  
80 SHRUBS (FUTURE)



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa.

Bret J. Balvanz, PLA Date \_\_\_\_\_  
License Number 540  
Pages or sheets covered by this seal: SHEET 9-10  
License Expires: June 30, 2018

WINDSOR WINDOWS

PLANTING PLAN

NORWALK, IOWA

2727 S.W. SNYDER BLVD.  
ANKENY, IOWA 50023  
515-964-2020 | www.snyder-associates.com

**SNYDER & ASSOCIATES, INC.**



Project No: 117.0108

Sheet 9 of 11

Sheet 9 of 11









**PLANNING & ZONING COMMISSION  
AGENDA STATEMENT**

Item No. 6C  
For Meeting of 09.11.2017

<b>ITEM TITLE:</b>	<b>Request from Hubbell Construction Services to approve a site plan for the Unity Point Clinic Expansion at 801 Colonial Circle</b>	
<b>CONTACT PERSON:</b>	<b>Luke Parris, AICP – Community Development Director</b>	
<b>REQUEST:</b>	Request from Hubbell Construction Services to approve a site plan for the Unity Point Clinic Expansion at 801 Colonial Circle	
<b>APPLICANT(S):</b>	Hubbell Construction Services 6900 Westown Parkway West Des Moines, IA 50266	McClure Engineering Company 1360 NW 121st Street Clive, IA 50325
<b>GENERAL DESCRIPTION:</b>	This request is for the addition of an expansion on to the Unity Point Clinic located at 801 Colonial Circle. The expansion is to the southwest and requires additional ground to be added to the Unity Point lot. This platting was done via a plat of survey that was staff reviewed and approved.	
<b>IMPACT ON NEIGHBORHOOD:</b>	The site expansion will result in more traffic and expanded parking needs. It is not anticipated that the increased traffic to the clinic will have much of an impact of Colonial Circle and Colonial Parkway as they were designed to serve commercial businesses.	
<b>VEHICULAR &amp; PEDESTRIAN TRAFFIC:</b>	The expanded parking lot is located to the south of the building. Access to Colonial Circle is maintained at the current two driveways.	
<b>PARKING:</b>	The new expanded facility will require a minimum of 68 parking spots. The site currently has 75 total spaces and the expanded parking lot will increase that by 7 spaces, for a total of 82 spaces, exceeding the minimum requirement.	
<b>OPEN SPACE &amp; BUFFER LANDSCAPING:</b>	The site is required to provide 25% open space. The expansion of the site also includes the expanded lot which provides a total of 39% open space for the site. No buffering was required for the site.	
<b>SIGNAGE:</b>	No change in signage is requested as part of the site expansion.	
<b>ARCHITECTURAL STANDARDS:</b>	The design of the expansion is a continuation of the design used for the original clinic, which met the City Architectural Standards when approved with brick, EIFS and glass. The developer wishes to maintain a cohesive look to the building and staff opinion it is that the intent of the standards are met.	

<b>DRAINAGE:</b>	The site includes an on-site system to collect storm water runoff from the parking and building expansion. The storm water system empties to an on-site detention basin to the north of the building that has been expanded to accommodate for the additional storm water runoff.
<b>UTILITIES: WATER, SANITARY SEWER, STORM SEWER.</b>	No new utility construction was required to serve the expansion of the site.
<b>STAFF ANALYSIS:</b>	Overall the site plan meets or exceeds the City's requirements for the expansion of a site.
<b>STAFF RECOMMENDATION:</b>	<p>The staff recommends approval with the following conditions:</p> <ul style="list-style-type: none"> <li>• That the site development and building construction follow all City code regulations.</li> <li>• That any significant modifications to the site plan be reviewed and approved by the Planning &amp; Zoning Commission and City Council.</li> </ul>



RESOLUTION NO. \_\_\_\_

**A RESOLUTION APPROVING THE SITE PLAN FOR THE UNITY POINT CLINIC EXPANSION AT 801 COLONIAL CIRCLE**

WHEREAS, the Planning & Zoning Commission reviewed this request at their regular meeting on July 24, 2017 and recommends approval of the Site Plan; and

WHEREAS, that the site development and building construction follow all City code regulations; and

WHEREAS, that any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council; and

NOW, THEREFORE, BE IT RESOLVED: That the City Council does hereby approve the Site Plan for the Unity Point Clinic Expansion at 801 Colonial Circle as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

PASSED AND APPROVED this 21st day of September, 2017.

\_\_\_\_\_  
Tom Phillips - Mayor

ATTEST:

\_\_\_\_\_  
JODI EDDLEMAN, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>
Kuhl	___	___
Lester	___	___
Isley	___	___
Riva	___	___
Livingston	___	___

UNITYPOINT  
CLINIC EXPANSION  
NORWALK, WARREN COUNTY, IOWA



building strong communities.

1360 NW 121ST. Street  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

NOTICE:  
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I HEREBY CERTIFY THAT THIS  
ENGINEERING DOCUMENT WAS  
PREPARED BY ME OR UNDER MY  
DIRECT PERSONAL SUPERVISION  
AND THAT I AM A DULY  
LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF  
THE STATE OF IOWA.

DATE:  
CALEB A. SMITH, PE NO. 17983

MY LICENSE RENEWAL DATE IS  
DECEMBER 31, 2017

PAGES OR SHEETS COVERED BY  
THIS SEAL:

01-06

UNITYPOINT  
CLINIC EXPANSION  
SITE PLAN

NORWALK, IA

NOR 20217021

AUGUST 2, 2017

REVISIONS

AUGUST 15, 2017

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ENGINEER

C. SMITH

DRAWN BY

A. MAURER

CHECKED BY

C. SMITH

FIELD BOOK NO.

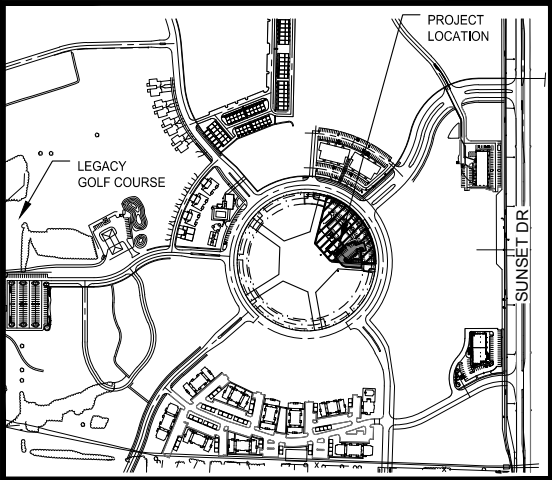
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DRAWING NO.

GN-01

SHEET NO.

01 / 06

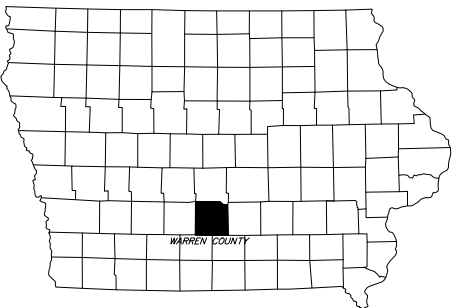


VICINITY SKETCH

NO SCALE

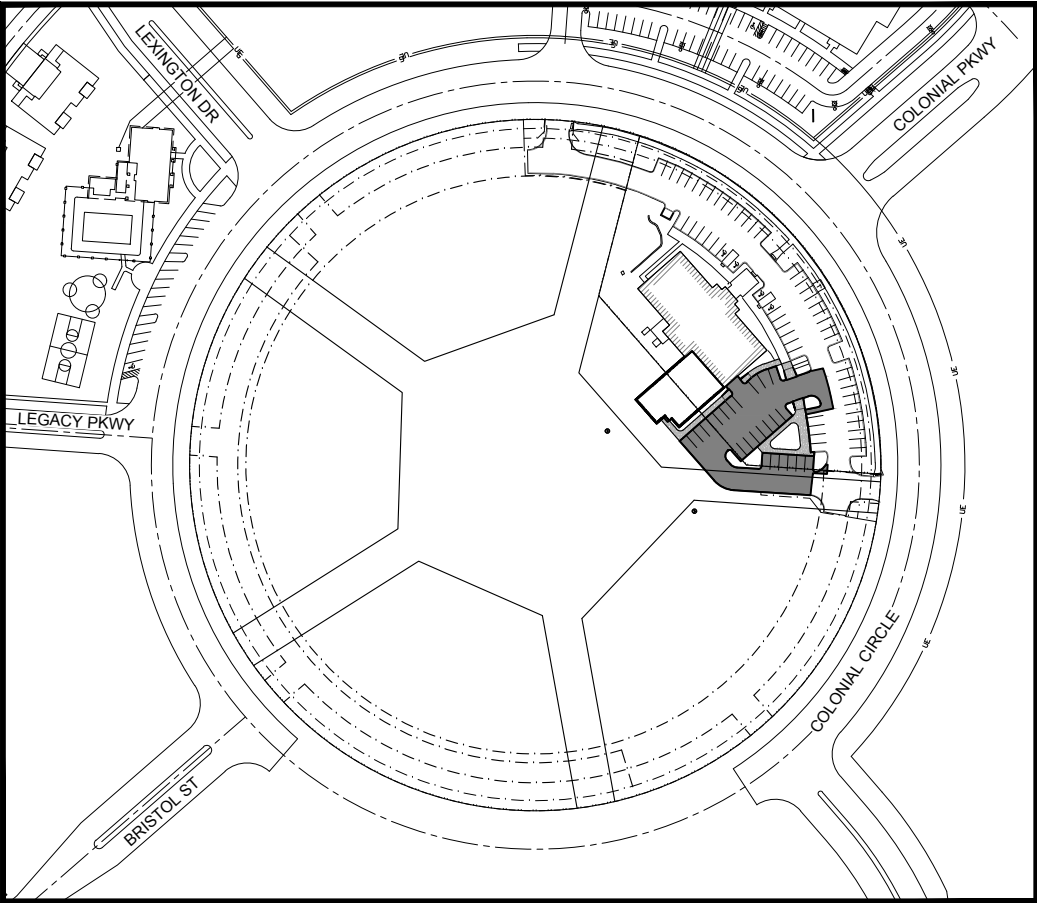


1-800-292-8989  
www.iowaonecall.com



IOWA STATE MAP  
NO SCALE

ALL CONSTRUCTION SHALL BE COMPLETED IN  
ACCORDANCE WITH THE STATEWIDE URBAN  
DESIGN STANDARD SPECIFICATIONS FOR PUBLIC  
IMPROVEMENTS (SUDAS, 2017 EDITION), AS  
ACCEPTED BY THE CITY OF NORWALK EXCEPT  
WHERE ALTERED OR AMENDED BY THESE PLANS.



NORTH

APPLICANT:

HUBBELL CONSTRUCTION SERVICES  
6900 WESTOWN PKWY  
WEST DES MOINES, IA 50266-2520  
PH: (515) 280-2064

EXISTING ZONING:

ZONING: TOWN CENTER COMMERCIAL (TC) PLANNED UNIT  
DEVELOPMENT (PUD)

BUILDING:  
FRONT YARD - NOT REQUIRED (PER LEGACY PUD)  
SIDE YARD - NOT REQUIRED (PER LEGACY PUD)  
REAR YARD - NOT REQUIRED (PER LEGACY PUD)

BUILDING ADDRESS:

800 COLONIAL CIRCLE, NORWALK, IA 50211

BUILDING SUMMARY:

TOTAL NO. BLDGS = 1  
TOTAL NO. UNITS PER BLDG = 1  
TOTAL BUILDING S.F. = 12,540 S.F.  
BUILDING HEIGHT = 18' - 2 1/2" (MATCHES EXISTING)

LEGAL DESCRIPTION:

TO BE DETERMINED.

DEVELOPMENT SUMMARY:

GROSS LAND AREA: = 75,315 S.F. (1.73 AC.)

DEVELOPED AREA: = 75,315 S.F. (1.73 AC.)

DEVELOPED IMPERVIOUS AREA:  
PAVED AREA = 31,685 S.F. (43.3%)  
BUILDING AREA = 13,050 S.F. (17.7%)  
TOTAL = 44,735 S.F. (61.0%)

OPEN SPACE:  
REQUIRED = 25% DEVELOPED LAND AREA  
= 75,315 S.F. X 25%  
= 18,830 S.F.

PROVIDED = 28,710 S.F. (39.0%)

LANDSCAPING:  
REQUIRED = 1 TREE PER 1,500 S.F. REQUIRED OPEN SPACE  
= 18,830 S.F. / 1,500 = 13 TREES  
= 1 SHRUB PER 1,000 S.F. REQUIRED OPEN SPACE  
= 18,830 S.F. / 1,000 = 19 SHRUBS

EXISTING (1.41-AC PARCEL)

= 10 TREES  
= 70 SHRUBS

PROJECT REMOVALS

= 3 TREES  
= 3 SHRUBS

PROPOSED (1.69-AC PARCEL)

= 6 TREES  
= 0 SHRUBS

PROVIDED (1.69-AC PARCEL)

= 13 TREES  
= 70 SHRUBS

BUFFER  
REQUIRED = NO BUFFER REQUIRED  
(ADJACENT TO TOWN CENTER COMMERCIAL (TC))

PARKING:

REQUIRED REGULAR PARKING SPACES

= 10 SPACES + 1 SPACE FOR EACH 200 GROSS S.F. OF  
FLOOR AREA IN EXCESS OF 1,000 S.F. OF FLOOR AREA  
= 10 + ((12,540 - 1,000) / 200) = 68 SPACES

HANDICAP ACCESSIBLE PARKING SPACES

= 51 TO 75 PARKING STALLS = 3 HANDICAP SPACES

EXISTING = 71 REGULAR SPACES  
= 4 HANDICAP SPACES  
= 75 TOTAL SPACES

PROPOSED = 78 REGULAR SPACES  
= 4 HANDICAP SPACES  
= 82 TOTAL SPACES

INDEX OF PLAN SHEETS

SHEET NO.	DRAWING NO.	
1	GN-01	COVER SHEET
2	GN-02	LEGEND
3	DM-01	DEMOLITION PLAN
4	SP-01	SITE & LANDSCAPING PLAN
5	GR-01	GRADING AND DRAINAGE PLAN
6	UT-01	UTILITY PLAN

GENERAL LEGEND											
EXISTING / PROPOSED			EXISTING / PROPOSED			EXISTING / PROPOSED					
		SANITARY SEWER MAIN			SANITARY SEWER MANHOLE			BOLLARD (BUMPER POST)			
		SANITARY SEWER SERVICE			SANITARY SEWER CLEANOUT			ROADWAY SIGN			
		SANITARY SEWER FORCE MAIN			AIR RELEASE MANHOLE/DRAIN MANHOLE			MAILBOX			
		STORM SEWER MAIN OR CULVERT			STORM SEWER MANHOLE			WELL			
		SECONDARY STORM SEWER MAIN			STORM SEWER CLEANOUT			DECIDUOUS TREE			
		SECONDARY STORM SEWER SERVICE			STORM SEWER INTAKE			EVERGREEN TREE			
		WATER MAIN			STORM SEWER BEEHIVE INTAKE			SHRUB OR BUSH			
		WATER SERVICE			FLARED END SECTION			TREE OR SHRUB LINE			
		UNDERGROUND ELECTRIC			FIRE HYDRANT			STUMP			
		OVERHEAD ELECTRIC			WATER VALVE			MONITORING WELL			
		UNDERGROUND TELEPHONE			WATER VALVE MANHOLE			SOIL BORINGS			
		UNDERGROUND FIBER OPTIC			CURB STOP			FLAG POLE			
		UNDERGROUND CABLE TV			WATER METER MANHOLE			SATELLITE DISH			
		GAS MAIN OR SERVICE			YARD HYDRANT			SLOPE INDICATORS			
		CONTOUR LINES INTERMEDIATE			ELECTRIC MANHOLE / VAULT			CONTROL POINT			
		CONTOUR LINES INDEX			ELECTRIC PEDESTAL / TRANSFORMER			BENCH MARK			
		PROPERTY LINE / LOT LINE			OUTDOOR ELECTRIC POWER OUTLET			SECTION CORNER			
		SECTION LINE			POWER POLE			IRON PIN SET			
		EASEMENT			POWER POLE w/ STREET LIGHT			IRON PIN FOUND			
		GUARD RAIL			STREET LIGHT POLE			DRAWING NUMBER			
		FIELD FENCE			GUY WIRE						
		CHAIN LINK FENCE			TRAFFIC SIGNAL						
		WOODEN FENCE			TRAFFIC SIGNAL BOX						
		ROAD CENTERLINE			TRAFFIC SIGNAL MANHOLE / VAULT						
		GRADING LIMITS			RAILROAD CROSSING SIGNAL						
		CONSTRUCTION LIMITS			TELEPHONE MANHOLE / VAULT						
		AG LINE			TELEPHONE PEDESTAL						
		WATERWAY FLOWLINE			CABLE TV MANHOLE / VAULT						
		TOP OF SLOPE			CABLE TV PEDESTAL						
		BOTTOM OF SLOPE			GAS VALVE						
		SILT FENCE									

## GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CITY AND THE OWNER.
- CONTRACTOR TO CONFINE OPERATIONS TO PERMANENT AND TEMPORARY EASEMENTS AND DEVELOPER OWNED PROPERTY.
- ALL TREES AND SHRUBS SHALL BE PROTECTED UNLESS DESIGNATED FOR REMOVAL IN THE PLANS.
- CONTRACTOR SHALL SUBMIT ALL SUBGRADE AND PAVING MATERIAL TEST RESULTS TO THE PROJECT ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING AND MAINTAINING A SET OF RECORD DRAWINGS. RECORD DRAWINGS SHALL SHOW ALL CHANGES TO PLANS, AND REPRESENT THE AS-BUILT CONDITION. SUBMIT RECORD DRAWINGS TO ENGINEER PRIOR TO FINAL PAYMENT. ALL PIPE ENDS, UTILITY SERVICES AND CONDUIT ENDS SHALL BE MARKED WITH STEEL FENCE POSTS.
- THE PLANS SHOW UTILITIES LOCATED WITHIN THE LIMITS OF THE WORK UNDER THIS CONTRACT. THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS IS IN NO WAY IMPLIED OR GUARANTEED. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF THE UTILITIES AND SERVICES FROM THE VARIOUS PUBLIC UTILITY COMPANIES BEFORE BEGINNING ANY EXCAVATION AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES AND SERVICES RESULTING FROM HIS OPERATIONS. ADDITIONAL COMPENSATION WILL NOT BE ALLOWED FOR THIS WORK AND SHALL BE CONSIDERED INCIDENTAL TO OTHER AREAS OF WORK.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENT AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY OF NORWALK TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH NORWALK STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE STATEWIDE URBAN DESIGN SPECIFICATIONS (SUDAS, 2017 EDITION).
- RECONNECT ANY FIELD TILE THAT ARE INTERCEPTED DURING UTILITY CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL DIMENSIONS TO FACE-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
- PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST BUILDING OR STRUCTURES. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR STRUCTURES TO ELIMINATE VOIDS.
- ALL H/C RAMPS IN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE W/THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), AND IOWA CODE.

## GRADING NOTES:

- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- ALL DIMENSIONS TO FACE-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
- CURB INTAKE RIM ELEVATIONS = PAVING TOP OF CURB ELEVATIONS.
- CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
- ALL SPOT ELEVATIONS ARE TO THE TOP OF FINISHED GRADE, UNLESS OTHERWISE NOTED.
- ALL SLOPES IN UNPAVED AREAS SHALL BE GRADED TO DRAIN.

## UTILITY NOTES:

- ALL UTILITIES ARE PRIVATE UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELVATIONS SHOWN ON THE PLANS.
  - ALL UTILITY SERVICES, INCLUDING ELECTRIC, TELEPHONE, AND CABLE TO BE UNDERGROUND.
  - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
  - ALL CONNECTIONS TO EXISTING PUBLIC SEWERS SHALL BE CORE DRILLED.
- SANITARY SEWER:**
- ALL SANITARY SEWER SERVICES SHALL BE SDR 23.5 IN ACCORDANCE WITH URBAN STANDARD SPECIFICATIONS.
  - MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.
  - MANHOLE COVERS SHALL HAVE RAISED DIAMOND ROUGHNESS PATTERN.
- STORM SEWER:**
- OWNER SHALL BE RESPONSIBLE FOR ALL ON-SITE PRIVATE STORM SEWER AND PRIVATE STORM WATER DETENTION / RETENTION AREAS.
  - ALL INTAKE CASTINGS SHALL HAVE PHASE 2 ENVIRONMENTAL SYMBOLLOGY OR TEXT.
- WATER MAIN:**
- HYDRANTS, MANHOLE COVERS, AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
  - WATER MAIN TO HAVE 5-1/2' BURY, TYP. EXCEPT AT CRITICAL CROSSINGS.
  - ALL VALVES SHALL HAVE A VALVE BOX ADAPTER INSTALLED TO MAINTAIN ALIGNMENT.
  - THE CONTRACTOR SHALL REMOVE CHAINS ON ALL HYDRANTS.
  - THE CONTRACTOR SHALL WORK WITH THE CITY OF NORWALK WHEN OPERATING EXISTING VALVES. WATER SHALL NOT BE TURNED ON WITHOUT PRIOR APPROVAL.
  - WATER CAN NOT BE USED BY THE CONTRACTOR UNLESS IT IS PART OF THE PURIFICATION PROCESS OF THE NEW MAIN. WATER NEEDED FOR ANY REASON AFTER BACTERIA TESTING HAS BEEN COMPLETED AND PASSED WILL NEED PRIOR APPROVAL FROM THE CITY OF NORWALK.
  - CONTRACTOR SHALL NOTIFY THE CITY OF NORWALK ONE (1) WEEK PRIOR TO CONSTRUCTION OF WATER MAIN.
  - ALL FIRE PROTECTION RISERS SHALL UTILIZE THRUST BLOCKING AT ALL CHANGES IN DIRECTION AND ELEVATION, ON ALL WATERMAIN. STAINLESS STEEL RODDING SHALL BE EXTENDED ALONG THE NEXT FULL LENGTH PIPE AND ANCHORED ON THE PIPE BELL, OR MECHANICAL FITTING, ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING. MEGA-LUGS ARE NOT TO BE ALLOWED.
  - CONTRACTOR SHALL EXTEND THE WATER SERVICE INTO THE BUILDING TO DESIGNATED PONT IN BUILDING PLANS.

UTILITY COMPANIES		
SERVICE	SUPPLIER	PHONE
GAS	MID-AMERICAN ENERGY CO. 500 EAST COURT AVENUE DES MOINES, IA 50309	515-242-3030
TELEPHONE	CENTURYLINK 2103 EAST UNIVERSITY DES MOINES, IA 50312	515-263-7212
ELECTRIC	MID-AMERICAN ENERGY CO. 500 EAST COURT AVENUE DES MOINES, IA 50309	515-242-3030
CABLE TV	MEDIACOM CABLE 2205 INGERSOL AVENUE DES MOINES, IA 50312	515-246-1555
WATER	CITY OF NORWALK 705 NORTH AVENUE NORWALK, IA 50211-1417	515-981-0228
SEWER	CITY OF NORWALK 705 NORTH AVENUE NORWALK, IA 50211-1417	515-981-0228
ALL	IOWA ONE-CALL	800-292-8989

EXISTING UTILITIES NOTE		
THESE EXISTING UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. IT IS THE CONTRACTORS RESPOS- ABILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGING THEM. NO CLAIMS WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. PAYMENT WILL BE ALLOWED FOR UNCHARTED UTILITIES PER THE SPECIFICATIONS.		



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fax 515-964-2370

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PRELIMINARY

LEGEND

UNITYPOINT  
CLINIC EXPANSION  
SITE PLAN  
NORWALK, IA

NOR 20217021

AUGUST 2, 2017

REVISIONS

AUGUST 15, 2017

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ENGINEER

C. SMITH

CHECKED BY

C. SMITH

DRAWN BY

A. MAURER

FIELD BOOK NO.

-

DRAWING NO.

GN-02

SHEET NO.

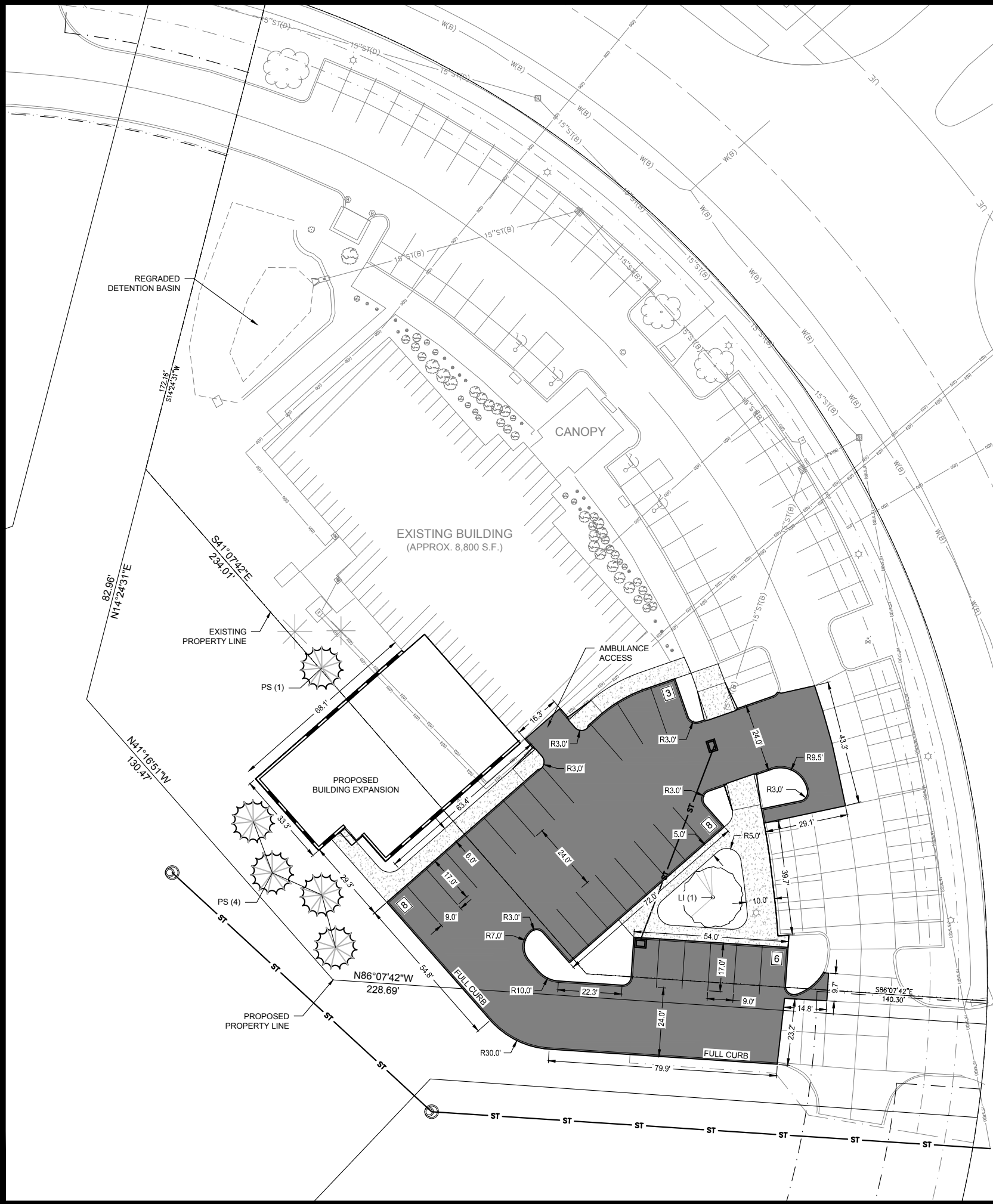
02 / 06



THE CONTRACTOR SHALL NOTIFY IOWA  
ONE CALL NO LESS THAN 48 HRS. IN  
ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN  
THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE  
OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR  
SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES.  
UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE  
SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE  
ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN  
OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT  
LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE  
ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.





PLANT TABLE - OPEN SPACE

CODE	QUAN	BOTANICAL NAME	COMMON NAME	SIZE	COND	REMARKS
LI	1	DECIDUOUS OVERSTORY TREES				
		GLEDITSIA TRIACANTHOS F. INERMIS 'SKYLINE'	SKYLINE HONEY LOCUST	2" CAL	B&B	
PS	5	EVERGREEN TREES				
		PINUS STROBUS	WHITE PINE	6" HEIGHT	B&B	REMOVED EVERGREENS CAN BE SALVAGED/TRANSPLANTED

SEED TABLE

TYPE 1	
SEEDING DATES: March 1 - May 31, August 10 - September 30	
COMMON NAME	APPLICATION RATE LBS/ACRE
KENTUCKY BLUEGRASS CULTIVAR	65
KENTUCKY BLUEGRASS CULTIVAR	65
KENTUCKY BLUEGRASS CULTIVAR	65
CREEPING RED FESCUE	25
FINE-LEAFED PERENNIAL RYEGRASS	20
FINE-LEAFED PERENNIAL RYEGRASS	20

LANDSCAPE NOTES

1. PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BASING BID ACCORDINGLY.
2. NOTIFY LANDSCAPE ARCHITECT AFTER STAKING IS COMPLETED AND BEFORE PLANT PITS ARE EXCAVATED.
3. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3". WALNUT PRODUCTS ARE PROHIBITED.
4. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI 260 - 2004, OR MOST RECENT EDITION.
5. THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND INITIAL ACCEPTANCE OF THE PROJECT.
7. SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
8. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON THE DRAWINGS.
9. STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.
10. ALL DISTURBED AREAS NOT OTHERWISE COVERED BY BUILDING, PAVEMENT, AND LANDSCAPE BEDS SHALL BE SEEDED WITH TYPE 1 SEED MIX UNLESS OTHERWISE INDICATED BY OWNER.
11. NO LANDSCAPING MAY BE LOCATED WITHIN A 5 FOOT CLEAR ZONE OF FIRE HYDRANTS

PAVING THICKNESS

- PAVING - 6-INCH PCC WITH 12-INCH SUBGRADE PREPARATION
- SIDEWALK = 4-INCH PCC

NOTES

1. ALL CURB AND GUTTER SECTIONS TO BE 6-INCH STANDARD CURB.



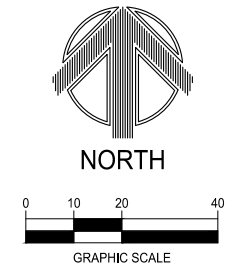
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SITE & LANDSCAPING PLAN



UNITYPOINT  
CLINIC EXPANSION  
SITE PLAN  
NORWALK, IA  
NOR 20217021  
AUGUST 2, 2017  
REVISIONS  
AUGUST 15, 2017

ENGINEER  
C. SMITH  
CHECKED BY  
C. SMITH  
DRAWING NO.  
SP-01

DRAWN BY  
A. MAURER  
FIELD BOOK NO.  
-  
SHEET NO.  
04 / 06



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**PRELIMINARY**

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GRAPHIC SCALE

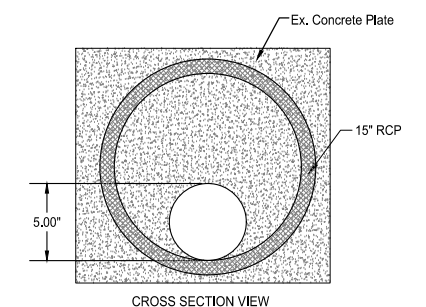
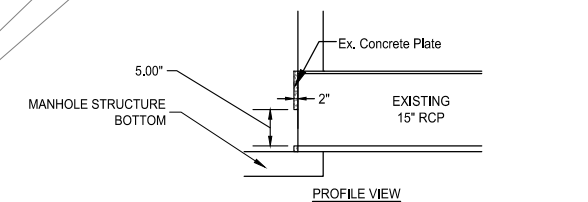
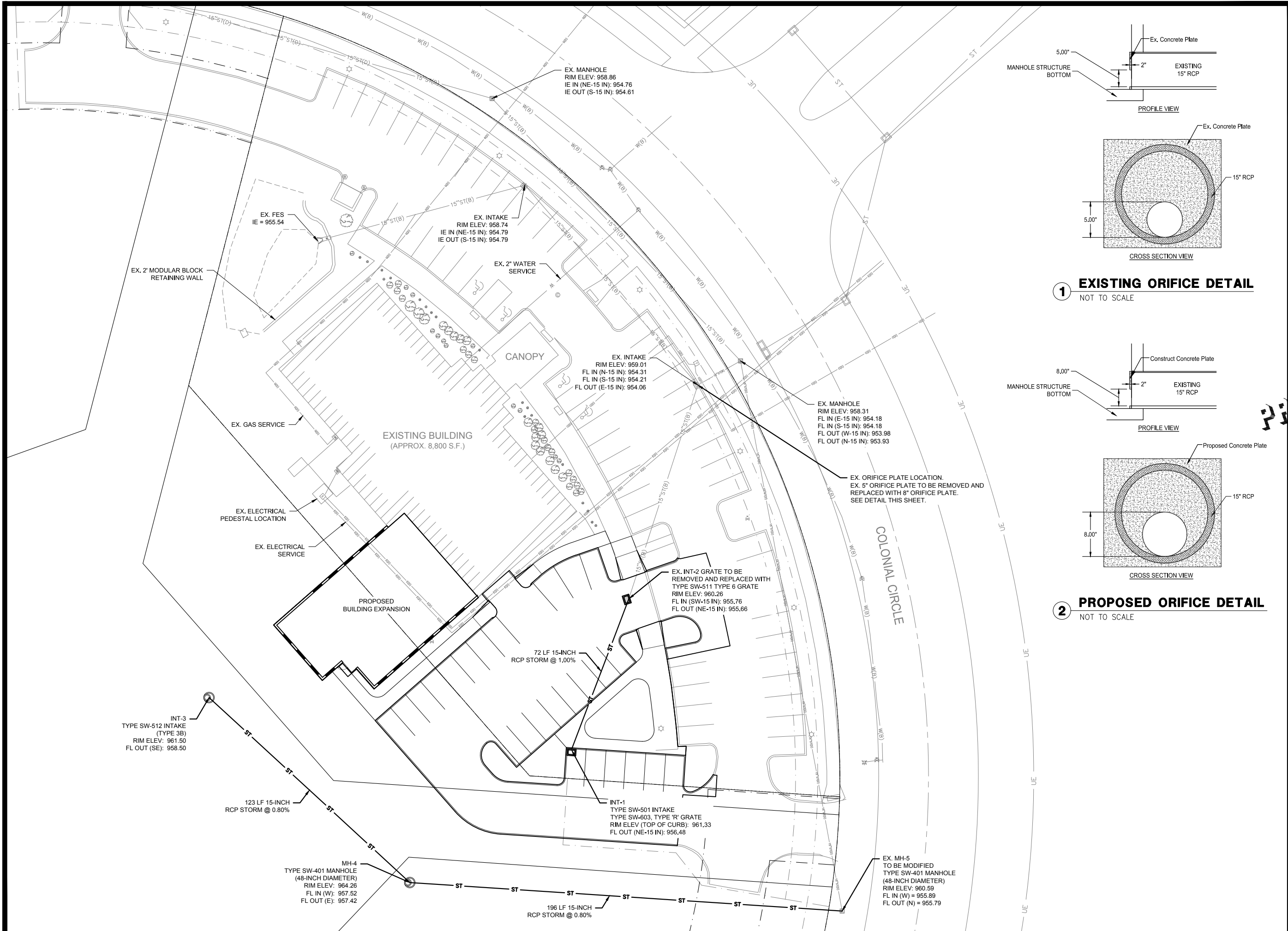
UNITYPOINT  
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 NORWALK, IA  
 NOR 20217021  
 AUGUST 2, 2017  
 REVISIONS  
 AUGUST 15, 2017

ENGINEER  
C. SMITH  
CHECKED BY  
C. SMITH

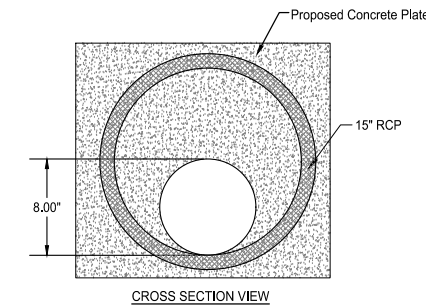
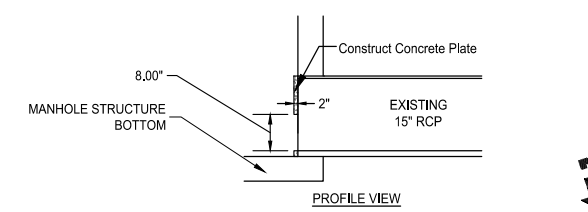
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FIELD BOOK NO.

DRAWING NO.  
**GR-0**

SHEET NO.  
**05 / 06**



**1 EXISTING ORIFICE DETAIL**  
NOT TO SCALE



**2 PROPOSED ORIFICE DETAIL**  
NOT TO SCALE



building strong communities.

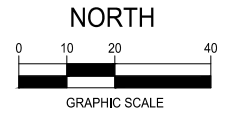
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**PRELIMINARY**

UTILITY PLAN



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CLINIC EXPANSION  
SITE PLAN  
NORWALK, IA  
NOR 20217021  
AUGUST 2, 2017  
REVISIONS  
AUGUST 15, 2017  
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DRAWING NO.  
UT-01  
SHEET NO.  
06 / 06



1. REFER TO ADDITIONAL NOTES AND REQUIREMENTS ON ALL OTHER DOCUMENTS AND OTHER DISCIPLINES DOCUMENTS.
2. ALL HORIZONTAL TRANSITIONS BETWEEN DIFFERENT MATERIALS SHALL BE FLASHED CONTINUOUS FROM UP BEHIND TO UNDER UPPER MATERIAL AND EXTEND OVER TO EXTERIOR FACE OF LOWER MATERIAL.
3. ANY RETURNS OR RUND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.
4. INSTALL VERTICAL EXPANSION JOINT MINIMAL AT COLUMN/GRID LINES AND AT THE HEAD OF DOOR JAMBS/OPENINGS OR AS OTHERWISE NOTED OR WHERE REQUIRED PER STANDARD MATERIAL PRACTICE TO REDUCE STRESS CRACKING. NO CONTROL JOINT/EXPANSION JOINT AT MAIN STRUCTURAL BEARING. KEEP AWAY 2'-6" MIN.
5. CAULK & SEAL ALL TRANSITION-CONTROL-EXPANSION AT ALL EXTERIOR MATERIALS.
6. INSULATE AND SEAL TO ENSURE ADEQUATE AIR INFILTRATION BARRIER AROUND ALL EXTERIOR PENETRATIONS TO PREVENT WATER AND SPRINKLER PIPE FREEZING.

MAT. LABEL	MATERIAL DESCRIPTION	
	MATERIAL SPECIFICATION INFORMATION	
BRICK-1	MODULAR BRICK: MATCH EXISTING ACME-OCHS BAYWOOD MODULAR	MATERIAL ONLY. COLORED MORTAR TO MATCH EXISTING
EFS-1	EXTERIOR INSULATION FINISH SYSTEM: MATCH EXISTING	ORIGINAL WAS SYNERGY FINE FINISH, COLOR BRUNET #3070
ROOF-1	ARCHITECTURAL ASPHALT ROOF: MATCH EXISTING	CERTAINTED LANDMARK, MISSION BROWN
SILL-1	CAST MASONRY SILL PROFILE: SMOOTH, THUNDERSTONE SAGE	NATURAL MORTAR
SF-1	T.B. ALUMINUM STOREFRONT FRAMING:	DARK BRONZE ANODIZED FINISH
VIS-1	1" INSULATED VISION GLASS:	MATCH EXISTING W/ LOW E COATING

THIS IS THE OVERALL INTENT & REQUIREMENT FOR THE NEW ADDITION TO ALIGN & MATCH IN ALL EXTERIOR ASPECTS WITH THE EXISTING BUILDING INCLUDING BUT LIMITED TO: FINISH FLOOR ELEVATIONS; EXTERIOR FINISH MATERIALS; MASONRY PATTERNS & FEATURES; FACE SIZE & PROFILE; GUTTERS & DOWNSPOUTS; ROOF PITCH, OVERHANGS, EAVE & RIDGE; ETC.

EXCEPTIONS INCLUDE: ARCH. METAL WALL TREATMENT; WINDOWS; SOFFIT; LOWER LEVEL EXPOSED EXTERIOR WALL CONSTRUCTION & FINISH.

VERIFY ALL EXISTING EXTERIOR ASPECTS CONDITIONS & ALIGNMENT WILL BE ACHIEVED PRIOR TO CONSTRUCTION & ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK.



FOR PRICING  
ONLY  
NOT FOR  
CONSTRUCTION

**UNITYPOINT**  
**NORWALK FAMILY PHYSICIANS**  
**801 COLONY DRIVE**  
**NORWALK, IOWA**

Issue / Revision	Date
SCHEMATIC DESIGN	03-16-2017
DESIGN DEVELOPMENT	03-31-2017
ISSUED FOR SITE PLAN REVIEW	07-31-2017

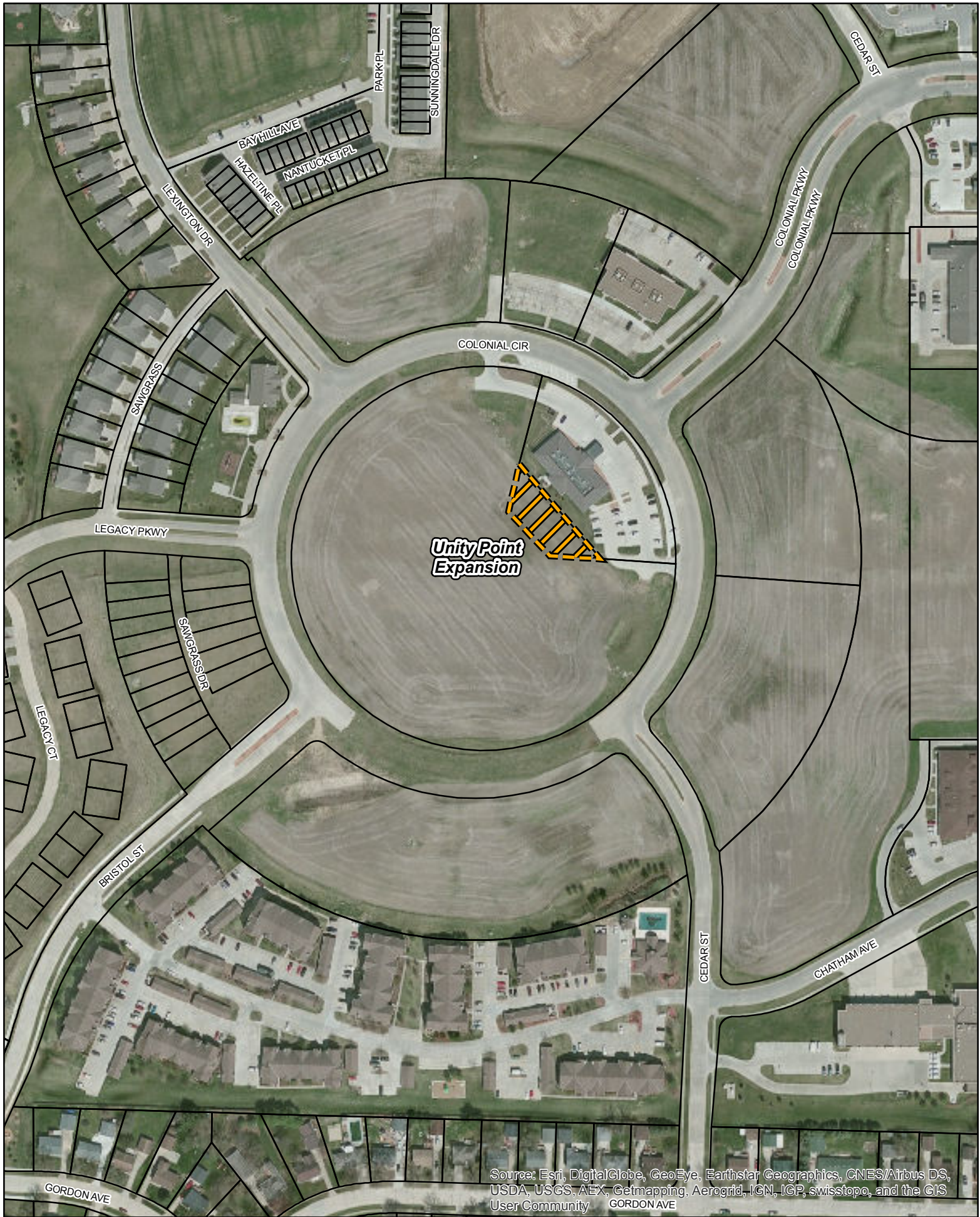
Job No.	Proj. Mgr
<b>08150A</b>	<b>DJL</b>
Sheet Title	

## EXTERIOR ELEVATIONS

Sheet No \_\_\_\_\_

## A2.1





Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

