



AGENDA
PLANNING AND ZONING MEETING
Norwalk City Hall, 705 North Ave
Monday, March 27, 2017
5:45 P.M.

1. Call meeting to order at 5:45 P.M.
2. Approval of Agenda
3. Approval of Minutes – March 13, 2017
4. Chairperson – Welcome of Guests
5. Public Comment – 3-minute limit for items not on the agenda (No action taken)
6. New Business
 - a. Public hearing and consideration of a rezoning request to rezone 27 acres of ground northwest of the intersection of Iowa Highway 28 and Delaware Street from A-R Agricultural Reserve to M-1 General Industrial
 - b. Request from United Properties and DRM., Inc to approve the site plan for Arby's at 9031 Marketplace Drive
 - c. Request from KFH LLC and City State Bank to approve the preliminary plat for Farms of Holland Plat 3
 - d. Consideration of a recommendation to the City Council regarding the proposed annexation of 80 acres of ground for the Norwalk Community School Districts planned elementary school.
7. City Council Update – Stephanie Riva, Planning and Zoning Commission Liaison
8. Economic Development Update – Hollie Askey, Economic Development Director
9. Future Business Items
 - a. Proposed Koethe Ground Annexation
 - b. R-F Rezoning Process – tentative schedule: May 8 P&Z and May 16 City Council
 - c. Platting for Certified Industrial Site
 - d. Blooming Heights Final Plat
 - e. Norwalk Orchard View Plat 4, 5, & 6 Preliminary Plat
 - f. North Shore Preliminary Plat
 - g. Warrior Run Plat 2 Final Plat
 - h. Cellular Towers Located in Public Right-of-Way
 - i. Affordable Housing Research
 - j. Parks Master Plan
10. Next Meeting Date: April 10, 2017
11. Adjournment

REGULAR NORWALK PLANNING AND ZONING MEETING 03-13-2017

Call to order

The regular meeting of the Norwalk Planning and Zoning Commission was held at the Norwalk City Hall, 705 North Avenue, Monday, March 13, 2017. The meeting was called to order at 5:45 p.m. by Chairperson Judy McConnell. Those present at roll call were, Brandon Foldes, Elizabeth Thompson and Judy McConnell. Absent: Donna Grant, John Fraser, Barbara Belizzi and Jim Huse.

Present was City Council liaison Stephanie Riva.

Staff present included: Luke Parris, (Interim) Community Development Director, Hollie Askey, Economic Development Director and Hillarie Ramthun, Community Development Coordinator.

There could be no motion without a quorum, Luke Parris began to speak.

(Belizzi arrived at 5:50)

Approval of Agenda – 17-16

All in favor said Aye. Approved 4-0.

Approval of Minutes – 17-17

Motion by Thompson and seconded by Belizzi to approve the minutes from the February 27, 2017 meeting. Approved 4-0.

Chairperson McConnell welcomed the 2 guests present. With no one wishing to discuss matters not on the agenda, the business portion of the meeting was opened.

New Business

a. Possible amendment to the City of Norwalk Subdivision Ordinance related to Parkland Dedication.

With growing concern over the past year from City staff, the Community Development Department & the Planning and Zoning Commission it has been determined that a revision of how developers are meeting the City's parkland dedication requirement will be necessary. The hope is that changes will be effective for the July 2017-18 fiscal year. Much planning and conversation will need to happen prior to July, with possible help from a consultant. Parris indicated what is in the City code at present and showed the different areas where updating could occur. Information in the code is outdated and provides too many alternatives to parkland dedication which has not been beneficial to the City. The Commissioners all agree that a process needs to be put in place that is relatively quick but still goes through the proper channels so that nothing is missed and to ensure that developers will meet all the requirements. Commercial land is not part of this ordinance, so a fair formula would need to be set for residential developers that would also be fair to the City's needs.

Foldes- make the plan as transparent as possible with no ambiguity.

McConnell- the goal would be to achieve balance for both the developer and the City.

Under current code a developer can use price per acre to purchase ground as a factor to determine the monetary fee that could be paid instead of dedicating ground. An example would be: a 100 lot subdivision would be required to provide 1.8 acres of parkland, if the developer paid \$20,000 per acre, their monetary fee would be \$36,000. When you compare that fee to the standard cost of a playground for a public park of \$100,000 the contrast then becomes more evident.

It was decided that there would be no motion and that parkland dedication is important and would need more discussion in the future, sooner rather than later. Parris will continue to research different ways to make this ordinance more effective for the City.

City Council Update- The City budget was approved at the last Council meeting.

Economic Development Update-

- Rowat Cut Stone and Marble has signed a purchase agreement for a building on Hakes
- Starbucks packet was prepared and sent for their possible partnership with City State Bank
- Proposal packets have been sent to UPS, Maurices, The Fighting Burrito, and Cato's Fashion
- Home show planning in full swing, also working on Hometown Pride and Betterment program
- Company W- finishing up on purchase agreement on the Ancell site
- Company M—food packaging company that is interested in Norwalk for its facility, City staff is trying to determine if/where they could locate to handle water needs
- Upcoming meeting with a developer/broker who is interested in purchasing 3 properties along Hwy 28 (including the Mexican restaurant) for demo and rebuild of new retail plaza
- Working on beginning steps for Cobblestone Hotel, sending land prices and proposal packet
- Meeting with a broker about recruitment of a coffee chain and bakery
- Corridor/Hwy 28 redevelopment and beautification plan upcoming this spring

Future Business Items-

- Arby's site plan-- on hold, not meeting code for architectural standards
- Proposed school site annexation-- ground for school goes to Council, next meeting
- Proposed Koethe ground annexation-- still need to discuss with Bedwell about annexation
- R-F rezoning process-- need to bring back to P&Z to finalize, could be March 27th meeting
- Court Landing Final Plat-- met about detention issues, left it up to the developer to decide but he will need to meet the requirements.
- Blooming Heights Final Plat-- Final has been resubmitted
- Norwalk Orchard View Plats 4, 5, & 6 Preliminary plats-- lot lines changed so had to be redone
- North Shore preliminary plat-- being reviewed
- Farms of Holland preliminary plat—being reviewed
- Warrior Run Plat 2 Final plat—construction plat submittal
- Cellular Towers located in public right-of-way—received an application, not sure when it could come back to P&Z

Next meeting Date – March 27, 2017.

Adjournment – 17-18

Motion by Foldes and seconded by Thompson to adjourn the meeting at 6:57 p.m. Approved 4-0.

Judy McConnell, Vice Chairperson

Luke Parris, City Planner



**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 6A
For Meeting of 03.27.2017

ITEM TITLE: **Public hearing and consideration of a rezoning request to rezone 27 acres of ground northwest of the intersection of Iowa Highway 28 and Delaware Street from A-R Agricultural Reserve to M-1 General Industrial**

CONTACT PERSON: **Luke Parris, AICP – Interim Community Development Director**

SUMMARY EXPLANATION:

In 2014, the City worked with the Iowa Economic Development Authority to have 55 acres of ground identified as a Certified Industrial Site. The Ancell/Knox property that was certified is located on the southend of town at the northwest corner of Delaware Street and Iowa Highway 28. After the site was certified with the state, the City annexed the ground. When ground is annexed into the City it defaults to the City's A-R Agricultural Reserve zoning district.

In late 2016 and early 2017, the City was contacted by representatives from Woodgrain Millwork about the potential location of a window manufacturing facility in Norwalk at the certified site. Woodgrain Millwork is working to acquire 27 acres of the certified site for their facility. The first step to the development of the property would be to rezone the area to the M-1 General Industrial district. The proposed use of a window manufacturing facility is in conformance with the allowed principal permitted uses in the M-1 district. The future land use plan in the City's Comprehensive Plan also identifies the area as future industrial development ground.

Other factors to consider for the rezoning are the current and future planned uses for adjacent property, the ability of the City to provide needed services, and the impact on the transportation system. Adjacent property to the north is currently zoned in the M-1 district as part of the Norwalk Business Center development. Property to the east and west are in the A-R district. The property to the west is also in the Certified Site and it is anticipated to develop as industrial ground in the near future. The property to the south is not currently in the City and is a current farmstead with farm ground. All of the surrounding property is planned as industrial ground in the City's future land use map.

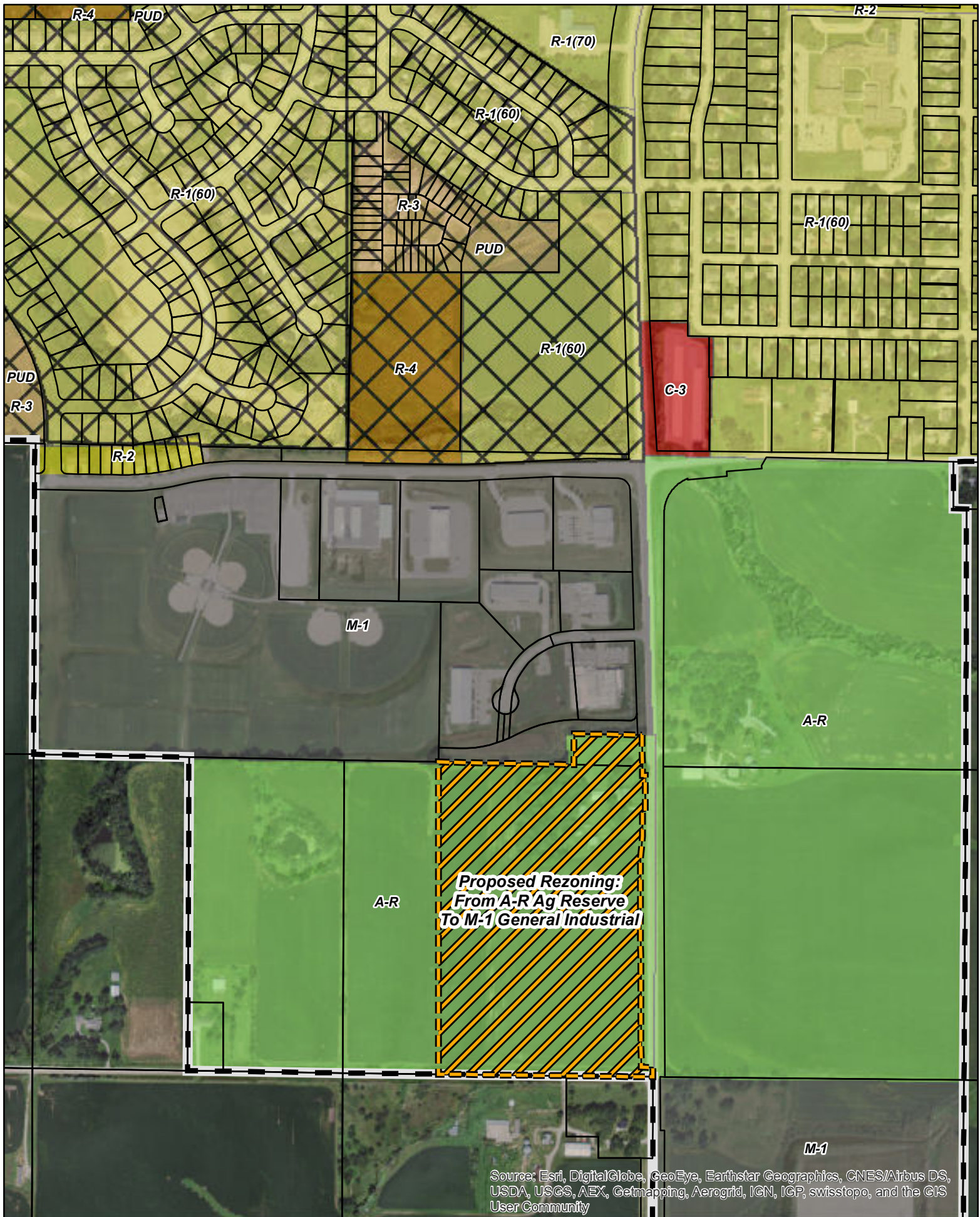
For services the site will require extensions of City water and sanitary sewer service. This was anticipated and planned for as part of the site certification process. The City is currently in the beginning stages of work to extend those services. The site certification process also contemplated the need to pave Delaware Street and make improvements to Iowa Highway 28 to accommodate potential industrial traffic from development on the site. The City is pursuing a state RISE grant for assistance with the cost of the road improvement, which will include full paving of Delaware Street and the addition of a turn and deceleration lane on southbound Iowa Highway 28.

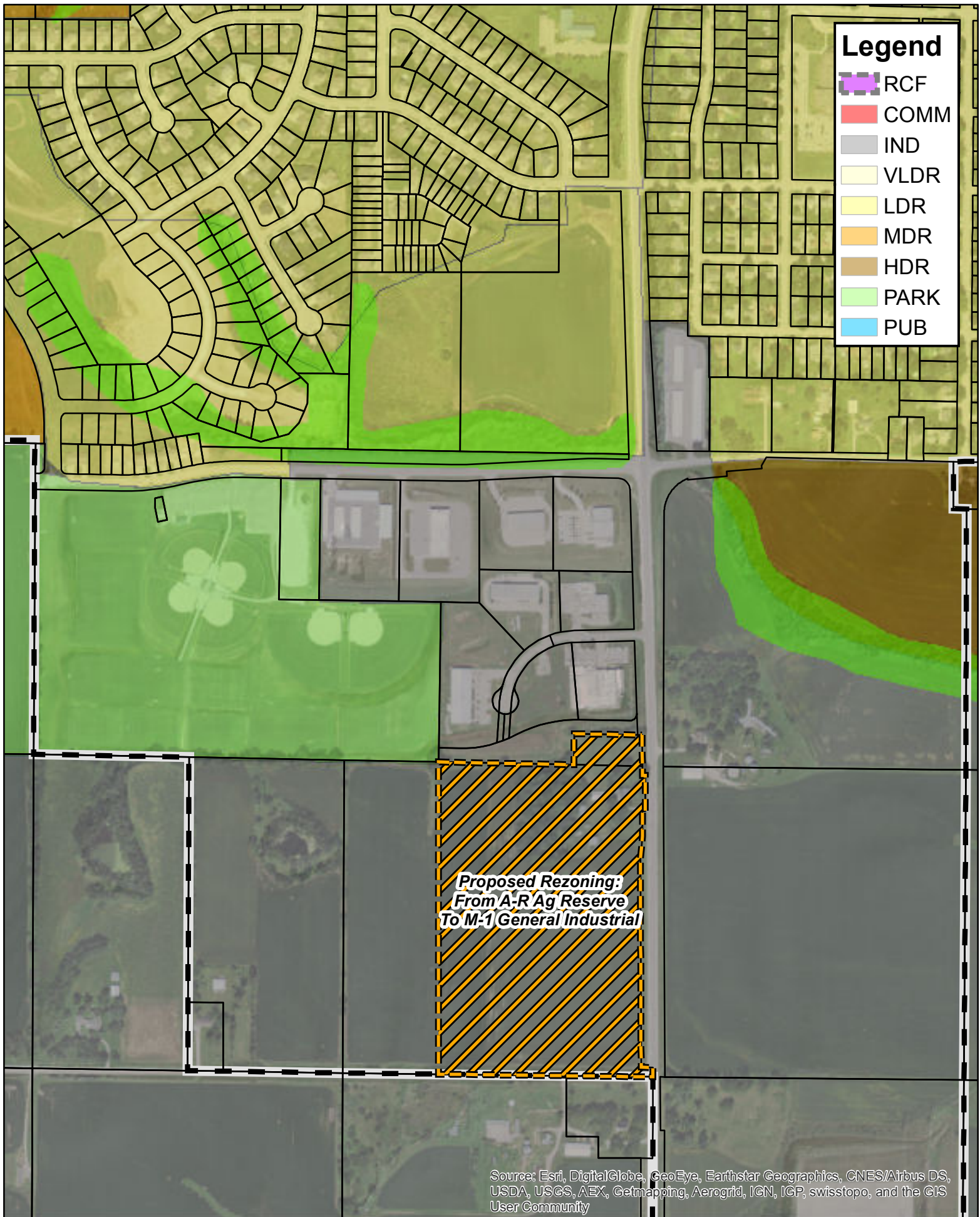
ALTERNATIVES:

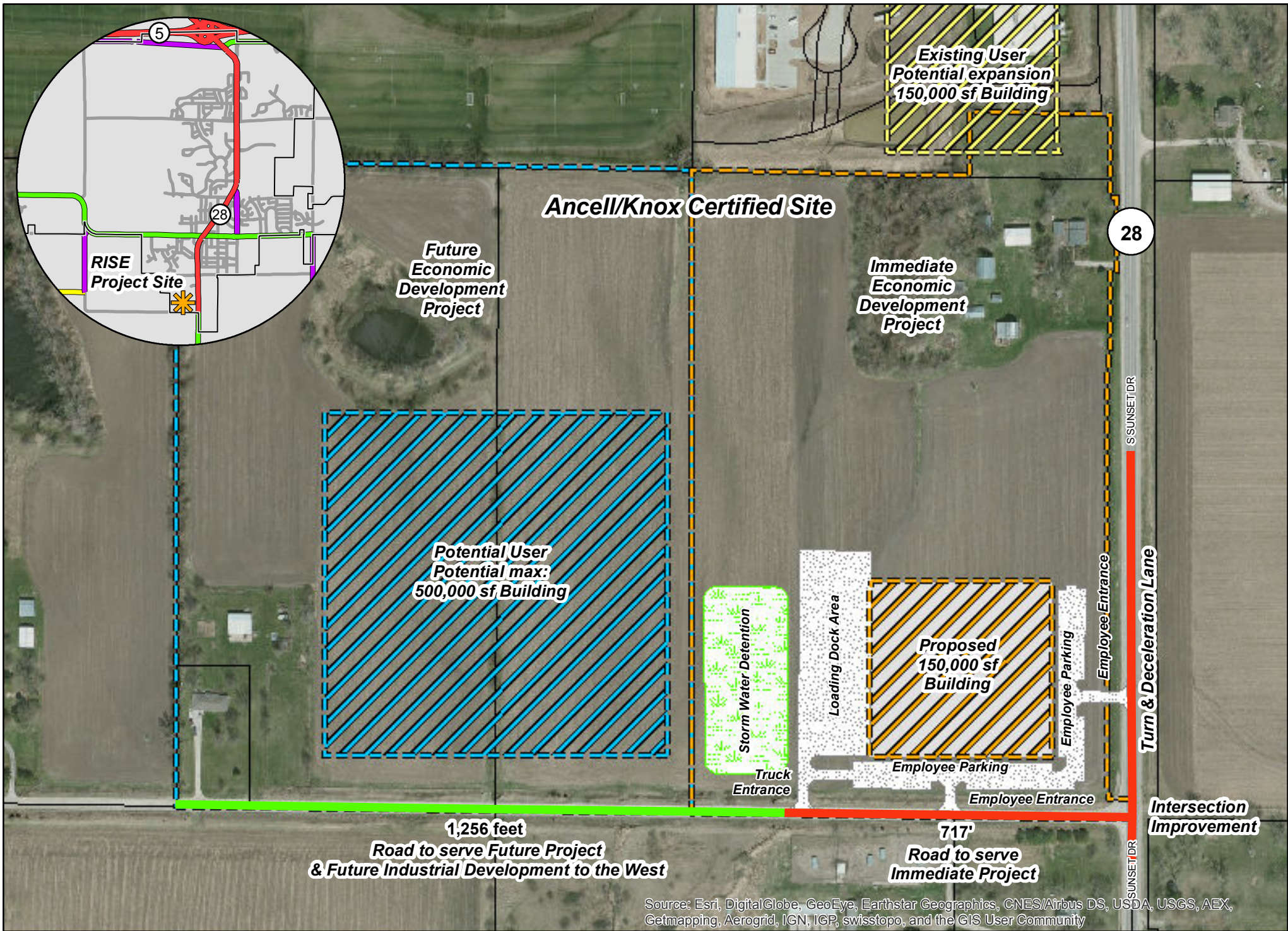
1. Recommend approval of the rezoning to the City Council
2. Recommend approval of the rezoning to the City Council with conditions
3. Take no action at this time.

STAFF RECOMMENDATION:

Staff recommend approval of the rezoning request. The request is in conformance with the City's Comprehensive Plan and future land use map. Through the site certification process, the City has anticipated and planned for extension of City services and the necessary upgrades to the transportation network to accommodate industrial users in this area.









**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 6B
For Meeting of 03.27.2017

ITEM TITLE:	Consideration of a resolution approving the site plan for Arby's at 9031 Marketplace Drive	
CONTACT PERSON:	Luke Parris, AICP – Interim Community Development Director	
REQUEST:	Request from United Properties and DRM. Inc to approve the site plan for Arby's at 9031 Marketplace Drive	
APPLICANT(S):	United Properties Invest Co LLC 4521 Fleur Drive, Suite C Des Moines, Iowa 50321	Bishop Engineering 3501 104 th Street Des Moines, IA 50322
	DRM., Inc Nick Murray 5324 North 134 th Avenue Omaha, NE 68164	
GENERAL DESCRIPTION:	This request is for the development of an Arby's fast food restaurant on lot 1 of the Marketplace at Echo Valley, addressed as 9031 Marketplace Drive.	
IMPACT ON NEIGHBORHOOD:	The site is the northern most lot in the Marketplace at Echo Valley. Land adjacent to the north is single-family residential with housing backing up to the lot. The City required a buffer wall as part of the Echo Valley Planned Unit Development for any commercial development in this area to assist in mitigating the impacts of development.	
VEHICULAR & PEDESTRIAN TRAFFIC:	The proposed use will be a traffic generator for the Marketplace development and increase turning traffic onto Marketplace Drive. The City has worked with the Iowa DOT to achieve permission for the installation of a traffic signal at the intersection of Iowa Highway 28 and Marketplace Drive. This traffic signal also necessitated the widening of Marketplace Drive to incorporate a turn lane onto Iowa Highway 28.	
PARKING:	The City's parking standards requires 1 parking space for each 50 square feet of building area devoted to patron use and 1 parking space for each employee during a regular shift. Based on the size and number of employees the site requires 38 spots which are provided on the site plan. Two ADA stalls are also provided per City code requirement.	
OPEN SPACE & LANDSCAPING:	The site provides the minimum of 25% of open space required by the City code.	

For landscaping, the site is required to provide 8 trees and 12 shrubs. The site provides 8 trees and 90 shrubs.

The PUD required a buffer wall along the northern property boundary. The site plan shows that the buffer wall runs along the majority of the northern property line. There is one home to the north that has a privacy fence along the property line. The developer is proposing to not install the required buffer wall in this area at this time. The developer has concerns over creating a narrow strip of land between the buffer wall and the privacy fence that would be difficult to maintain and promote the growth of weeds. In the event that the homeowner removed the privacy fence, the City would require the owner of Lot 1 to install the rest of the required buffer wall.

SIGNAGE:

A monument sign is shown at the southwest corner of the property. The sign meets required sign setbacks. The details of the sign will be reviewed via the City's sign permitting process.

ARCHITECTURAL STANDARDS:

The City's architectural standards require that buildings in the C-2 district be composed of 75% class 1 or class 2 materials; no more than 25% class 3 and class 4 materials, with any class 4 materials being no more than 10%.

The submitted architectural elevations show a primarily brick building that exceeds the City's standards. The only non brick elements are various areas of trim around the building façade.

DRAINAGE:

The site includes an on-site system to collect storm water runoff from the parking and building. The storm water system empties to an off-site detention basin on the outlot to the west. A temporary detention basin has been built in this area. When future development occurs on the outlot, then the detention basin will need to be redesigned.

UTILITIES: WATER, SANITARY SEWER, STORM SEWER.

Adequate services are provided to the site and detailed on the site plan.

STAFF ANALYSIS:

Overall the site plan meets or exceeds the City's requirements for development of C-2 parcel. As noted, the developer is proposing to not build the portion of the required buffer wall that would be adjacent to an existing privacy fence. Staff concurs with the reasoning that the buffer wall and privacy fence would create an area that would not be well maintained and promote the growth of weeds. While the privacy fence may be suitable for a buffer at this time, it is staff opinion that the property owner would be required to add the buffer wall at a future date if the neighbors privacy fence was removed.

STAFF RECOMMENDATION:

The staff recommends approval with the following conditions:

- The remaining required buffer wall be constructed if/when the property at 598 Pinehurst Drive would have their privacy fence removed.
- That the site development and building construction follow all City code regulations.
- That any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council.

RESOLUTION NO. ____

A RESOLUTION APPROVING THE SITE PLAN FOR ARBY'S AT 9031 MARKETPLACE DRIVE

WHEREAS, the Planning & Zoning Commission reviewed this request at their regular meeting on March 27, 2017 and recommends approval of the Site Plan; and

WHEREAS, the remaining required buffer wall be constructed if/when the property at 598 Pinehurst Drive would have their privacy fence removed; and,

WHEREAS, that the site development and building construction follow all City code regulations; and

WHEREAS, that any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council; and

NOW, THEREFORE, BE IT RESOLVED: That the City Council does hereby approve the Site Plan for Arby's at 9031 Marketplace Drive as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

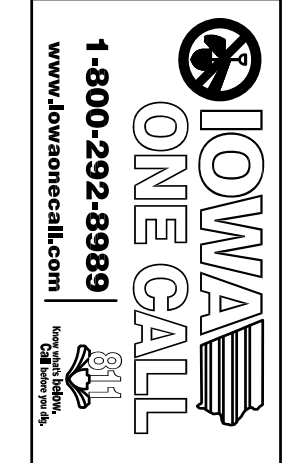
PASSED AND APPROVED this 30th day of March, 2017.

Tom Phillips - Mayor

ATTEST:

JODI EDDLEMAN, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>
Kuhl	___	___
Lester	___	___
Isley	___	___
Riva	___	___
Livingston	___	___



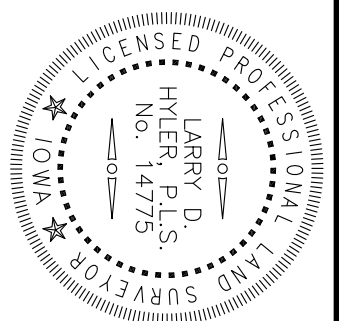
UTILITY MAPS PROVIDED BY:

1. ELECTRIC (MIDAMERICAN ENERGY / MEGSMDse@midamerican.com)
2. STORM AND SANITARY (CITY OF NORWALK / timh@norwalk.iowa.gov)
3. FIBER OPTIC (CENTURYLINK / thomas.stummer@centurylink.com)
4. CABLE (MEDACOM / jmay@mediacom.com)
5. GAS (MIDAMERICAN ENERGY / MEGSMDse@midamerican.com)
6. WATER (CITY OF NORWALK / timh@norwalk.iowa.gov)

UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY. EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING. UNLESS OTHERWISE NOTED, ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE LOCATION AND DEPTH OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REDESIGN WAS DONE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

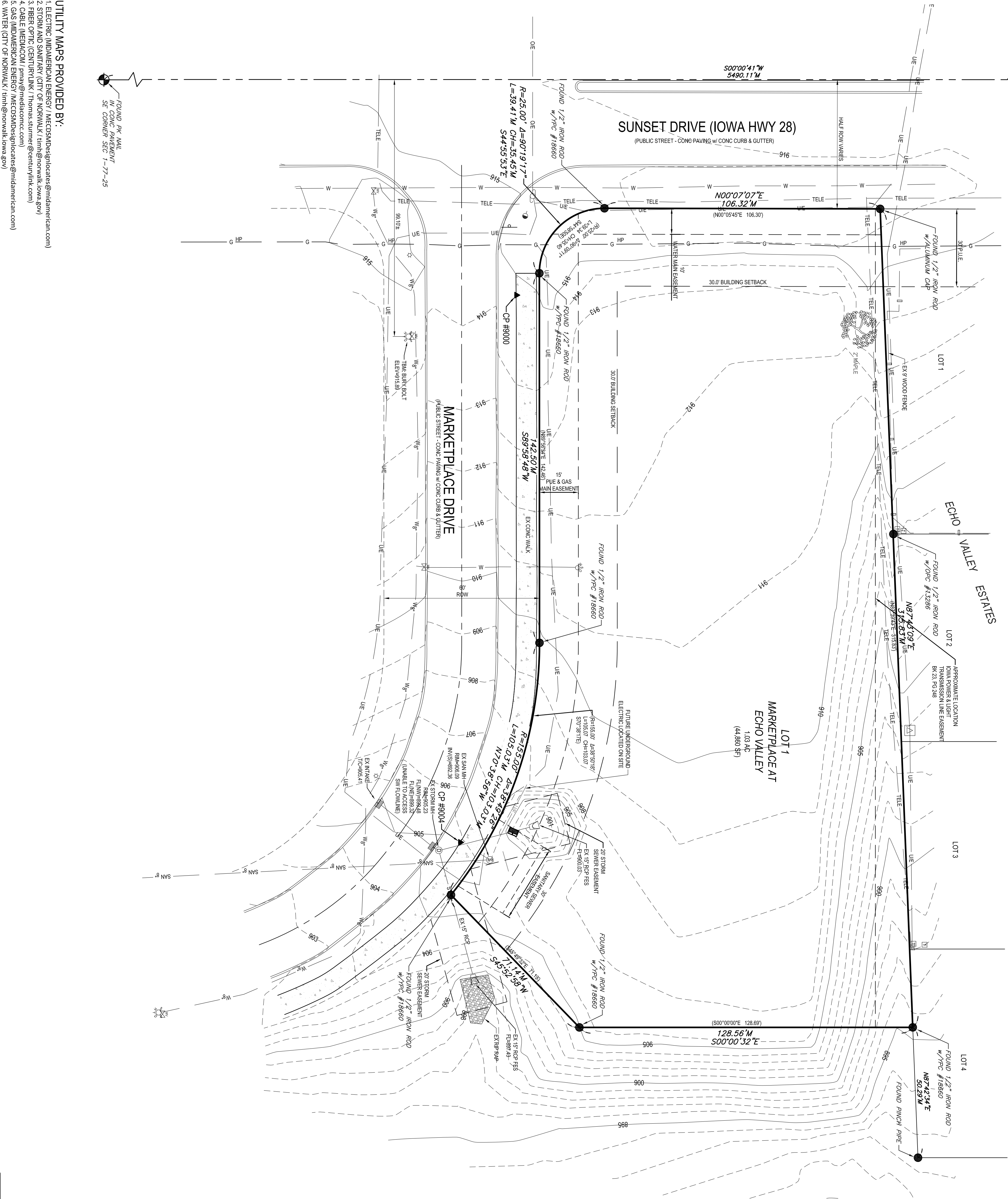
SIGNED: LARRY D. HTLER, P.L.S. 14775 DATE: _____

LICENSE RENEWAL DATE: DEC. 31, 2018 C02

PAGES OR SHEETS COVERED BY THIS SCALE: _____

PROJECT NUMBER:
160498

SHEET NUMBER:
C0.2



AC	ASPH	ASPHALT
BK	BOOK	CONCRETE
D	DEED	DISTANCE
EX	EXISTING	ENCLOSURE
FL	FLOOR	FLOORLINE
FRAC	FRACTIONAL	MEASURED DISTANCE
MH	MANHOLE	ORANGE PLASTIC CAP
OPC	PLATTED	DISTANCE
P	PAGE	POINT OF BEGINNING
POB	POINT OF BEGINNING	FOR COMMENCEMENT
POC	POINT OF COMMENCEMENT	FOR COMMENCEMENT
PUE	PUBLIC UTILITY EASEMENT	RIGHT OF WAY
ROW	RIGHT OF WAY	RED PLASTIC CAP
SF	SQUARE FEET	SANITARY
SN	SANITARY	TYPICAL
TBM	TEMPORARY BENCHMARK	YELLOW PLASTIC CAP
WPC	WATER PLASTIC CAP	NORTH
N	NORTH	EAST
E	EAST	WEST
W	WEST	

NOTES:

PARENTHESES () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

ABBREVIATIONS:

AC ACRES

ASPH ASPHALT

BK BOOK

CONC	CONCRETE
D	DEED
DISTANCE	DISTANCE
EX	EXISTING
ENCLOSURE	ENCLOSURE
FL	FLOOR
FLOORLINE	FLOORLINE
FRAC	FRACTIONAL
M	MEASURED DISTANCE
MH	MANHOLE
OPC	ORANGE PLASTIC CAP
P	PLATTED DISTANCE
PG	PAGE
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
FOR COMMENCEMENT	FOR COMMENCEMENT
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
SF	SQUARE FEET
SN	SANITARY
TYP	TYPICAL
TBM	TEMPORARY BENCHMARK
WPC	WATER PLASTIC CAP
N	NORTH
E	EAST
W	WEST

PROPERTY DESCRIPTION:

LOT 1 MARKETPLACE AT ECHO VALLEY

OWNER:

WARREN COUNTY WEST CO. LC

WARREN COUNTY WEST CO. LC

4621 FLEUR DRIVE, STE. C

DES MOINES, IA 50321

PREPARED FOR:

NICK MURRAY

DRM, INC.

5324 NORTH 134th AVENUE

OKMA, NE 68164

PHONE: 402.573.1216

ZONING:

ECHO VALLEY PLANNED UNIT DEVELOPMENT PARCEL J

FOR AN OFFICIAL ZONING REPORT PLEASE CONTACT

WARREN COUNTY ASSESSOR

ASSESSOR@WARRENCOUNTYIA.ORG

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS

DATUM = NAD 83, IOWA SOUTH

LEGEND:

— SAN — SANITARY SEWER

— ST — STORM SEWER

— W — WATER LINE

— G — GAS LINE

— UE — UNDERGROUND ELECTRIC

— OE — OVERHEAD ELECTRIC

— TELE — TELEPHONE LINE

— FIO — FIBER OPTIC

— CATV — CABLE TV

— C — CURB MANHOLE

— S — SURFACE INTAKE

— F — FLARED END SECTION

— S — SANITARY MANHOLE

— C — CLEANOUT

— F — FIRE HYDRANT

— S — SPRINKLER

— I — IRRIGATION CONTROL VALVE

— W — WATER MANHOLE

— W — WELL

— V — WATER VALVE

— S — WATER SHUT OFF

— Y — YARD HYDRANT

— E — ELECTRIC MANHOLE

— M — ELECTRIC METER

— R — ELECTRIC RISER

— V — ELECTRIC VALVE

— P — POWER POLE

— T — TRANSFORMER POLE

— L — LIGHT POLE

— E — ELECTRIC PANEL

— T — TRANSFORMER

— G — GROUND LIGHT

— W — GUY WIRE

— H — ELECTRIC HANDHOLE

— M — GAS METER

— V — GAS VALVE

— EX — EXISTING

— U — AIR CONDITIONING UNIT

— F — FLOORLINE

— T — TELEPHONE VALVE

— M — TELEPHONE MANHOLE

— S — TELEPHONE SIGNAL MANHOLE

— F — FIBER OPTIC RISER

— F — FIBER OPTIC FAULT

— C — CABLE TV RISER

— S — SIGN

— 7 — DENOTES NUMBER OF PARKING STALLS

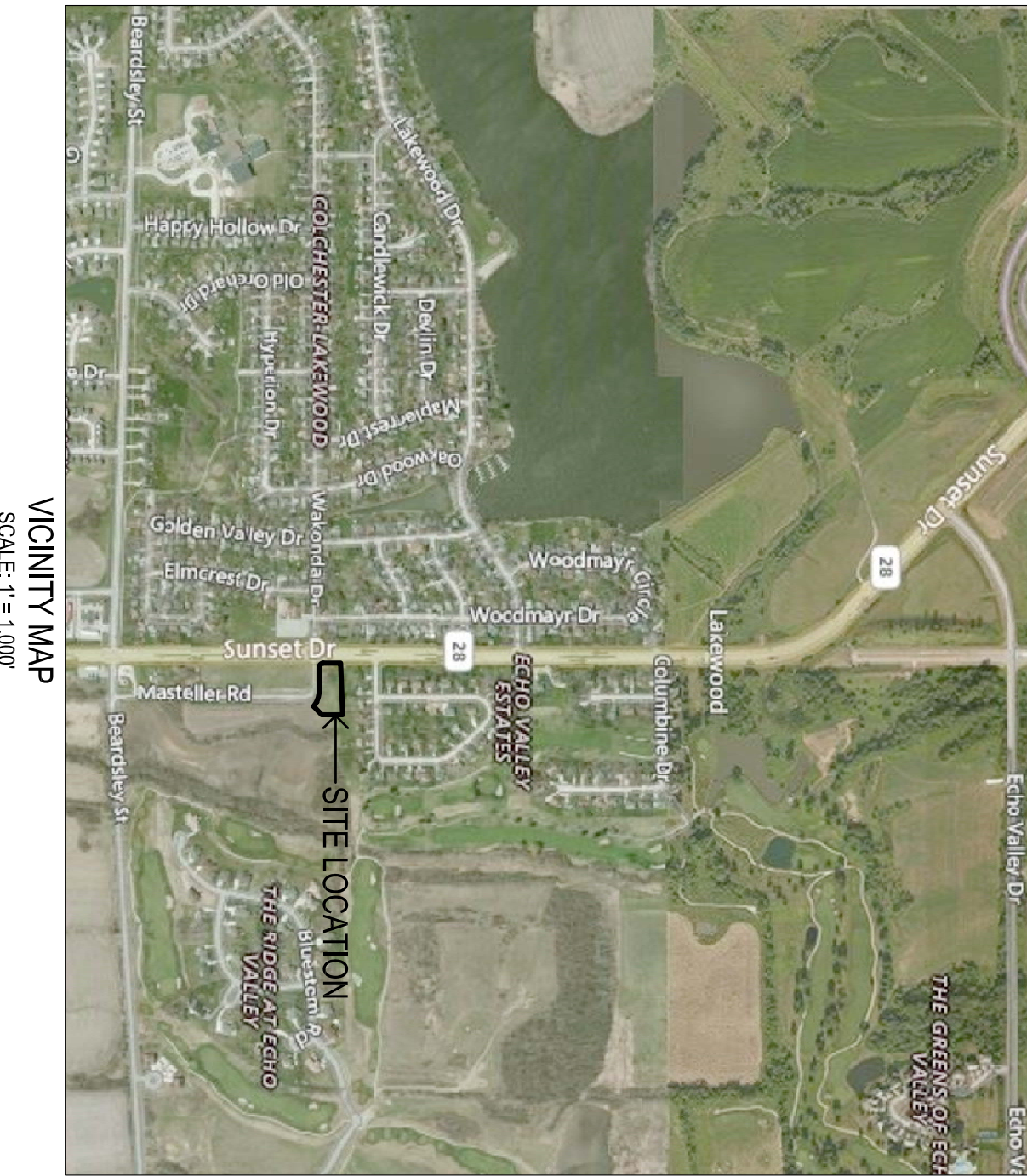
— C — PROPERTY CORNER - FOUND AS NOTED

— O — PROPERTY CORNER - PLACED 3/4" IRON PIPE OR AS NOTED

— Y — YELLOW PLASTIC CAP P.D. #14775

— S — SECTION CORNER - FOUND AS NOTED

— T — SITE CONTROL POINT - MONUMENT AS NOTED



ARBY'S LOT 1 MARKETPLACE AT ECHO VALLEY

SITE SURVEY



Bishop Engineering

"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217

Civil Engineering & Land Surveying Established 1959

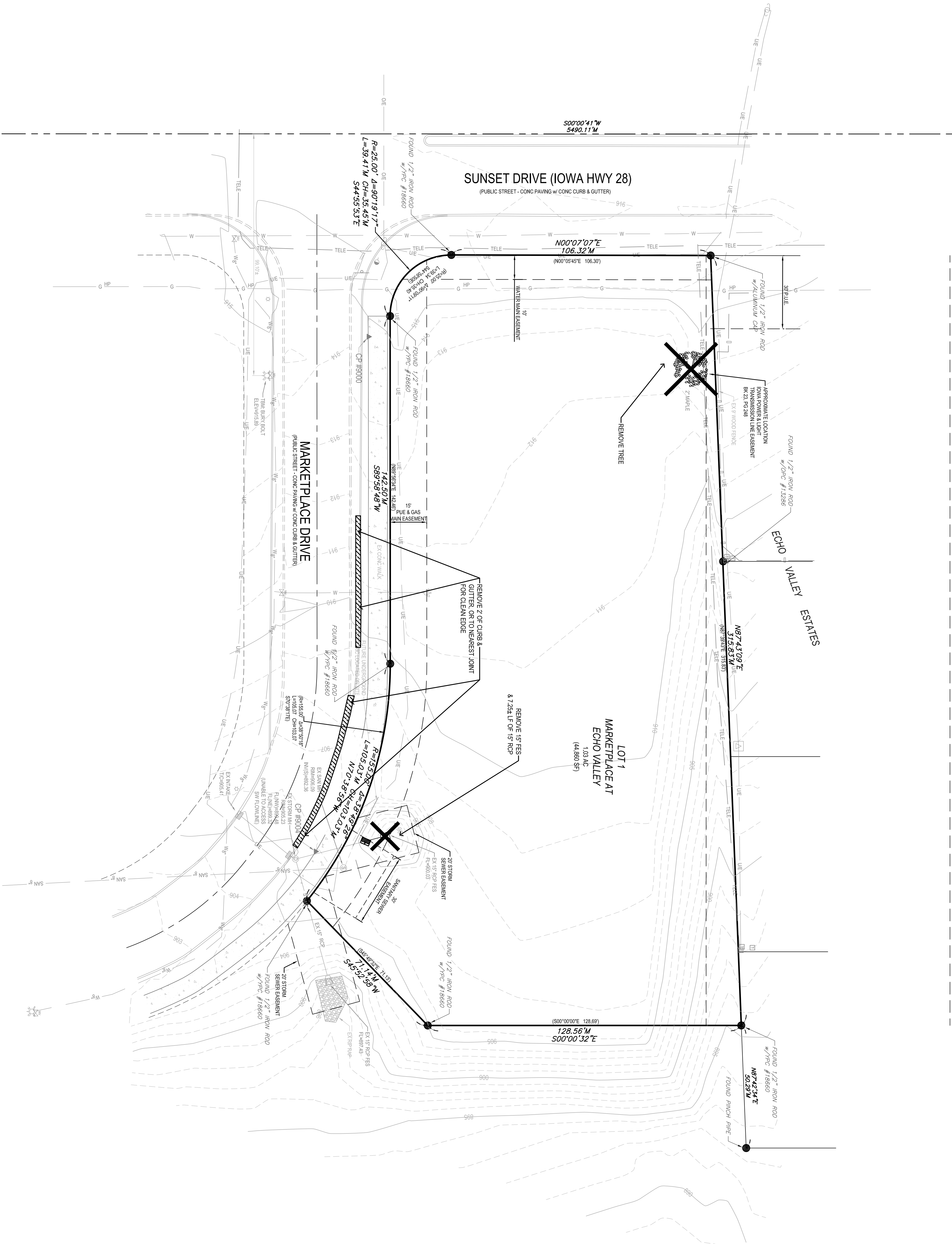
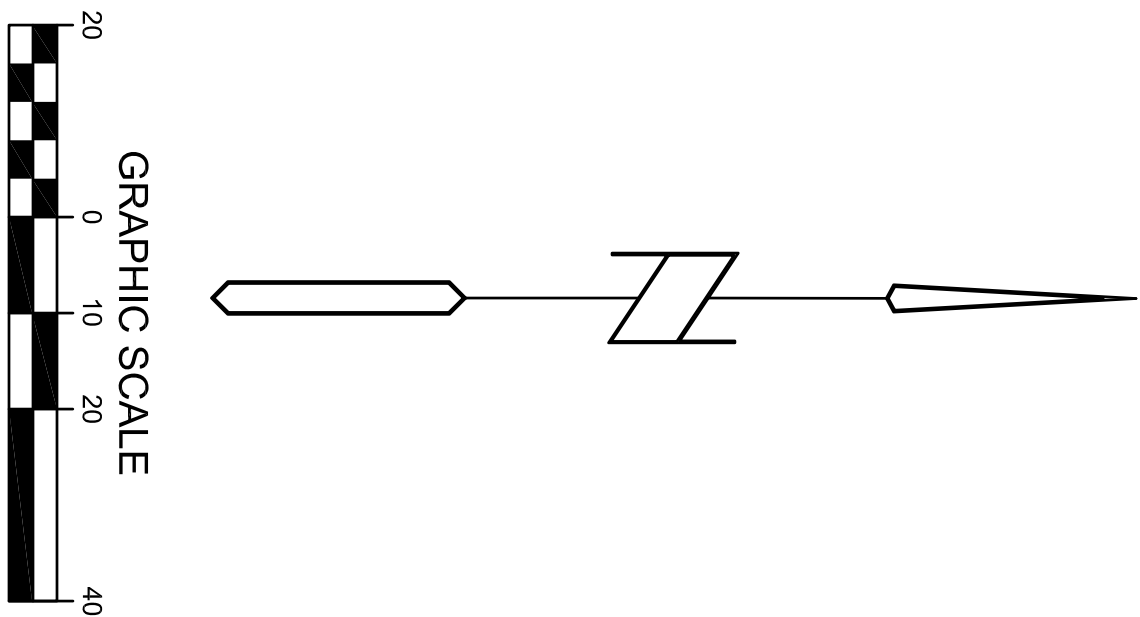
REFERENCE NUMBER:

DRAWN BY:
JMD

CHECKED BY:

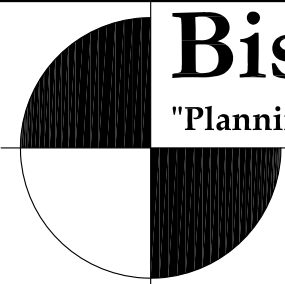
REGION DATE:

- DEMO NOTES:
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH PROTECTIVE CONSTRUCTION FENCE AT THE BMP LINE.
 3. PROTECT TREES CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED, NO GRINDING WILL BE ALLOWED.



ARBY'S
9301 MARKETPLACE DRIVE NORWALK, IA

DEMO PLAN



Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying Established 1959

PROJECT NUMBER:
160498

SHEET NUMBER:

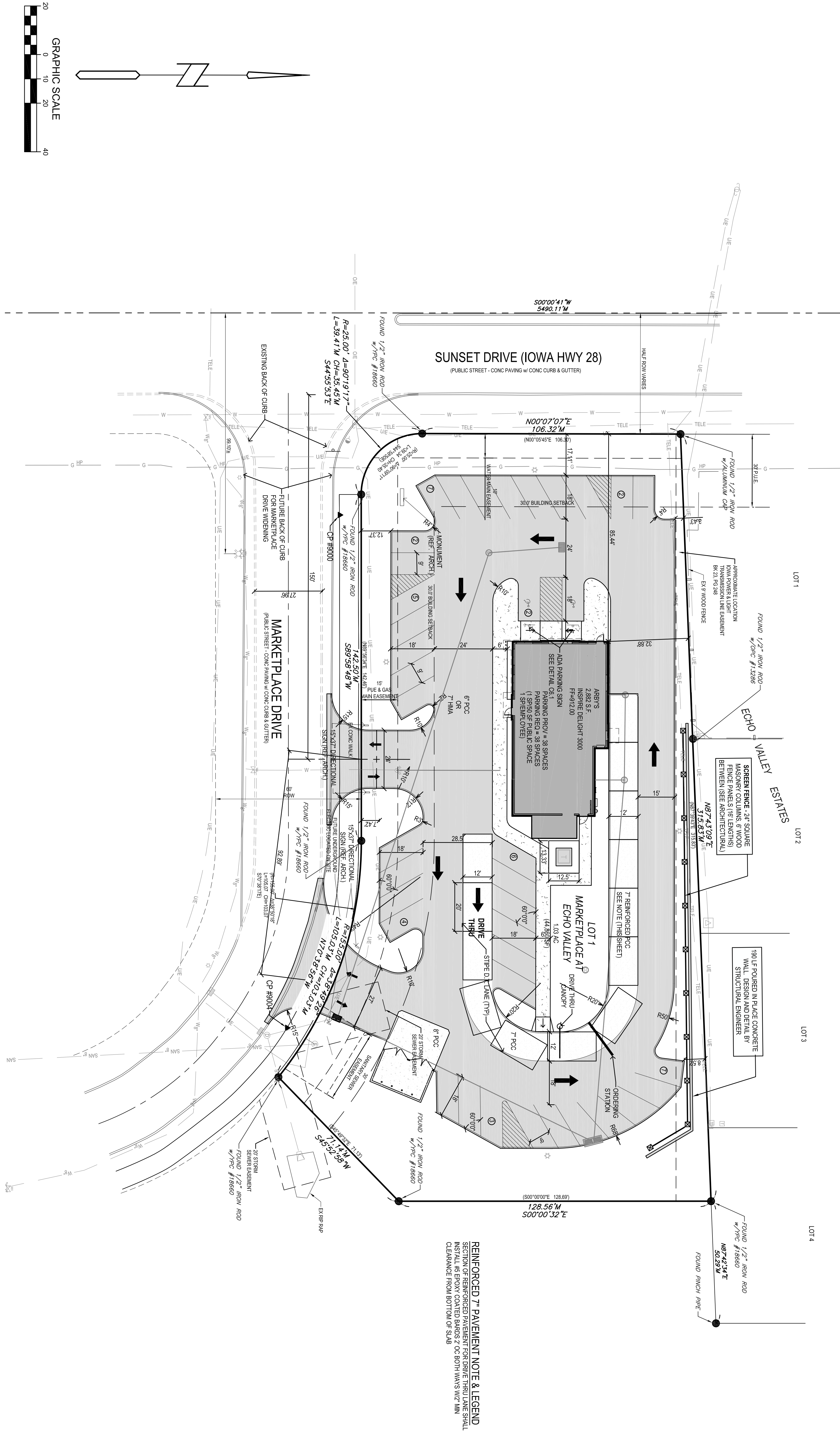
C1.1

REVISIONS:
1ST SUBMITTAL 2-22-2017
2ND SUBMITTAL 3-10-2017
3RD SUBMITTAL 3-21-2017

CHECKED BY:

DRAWN BY:

REFERENCE NUMBER:



ARBY'S
9301 MARKETPLACE DRIVE NORWALK, IA

LAYOUT PLAN



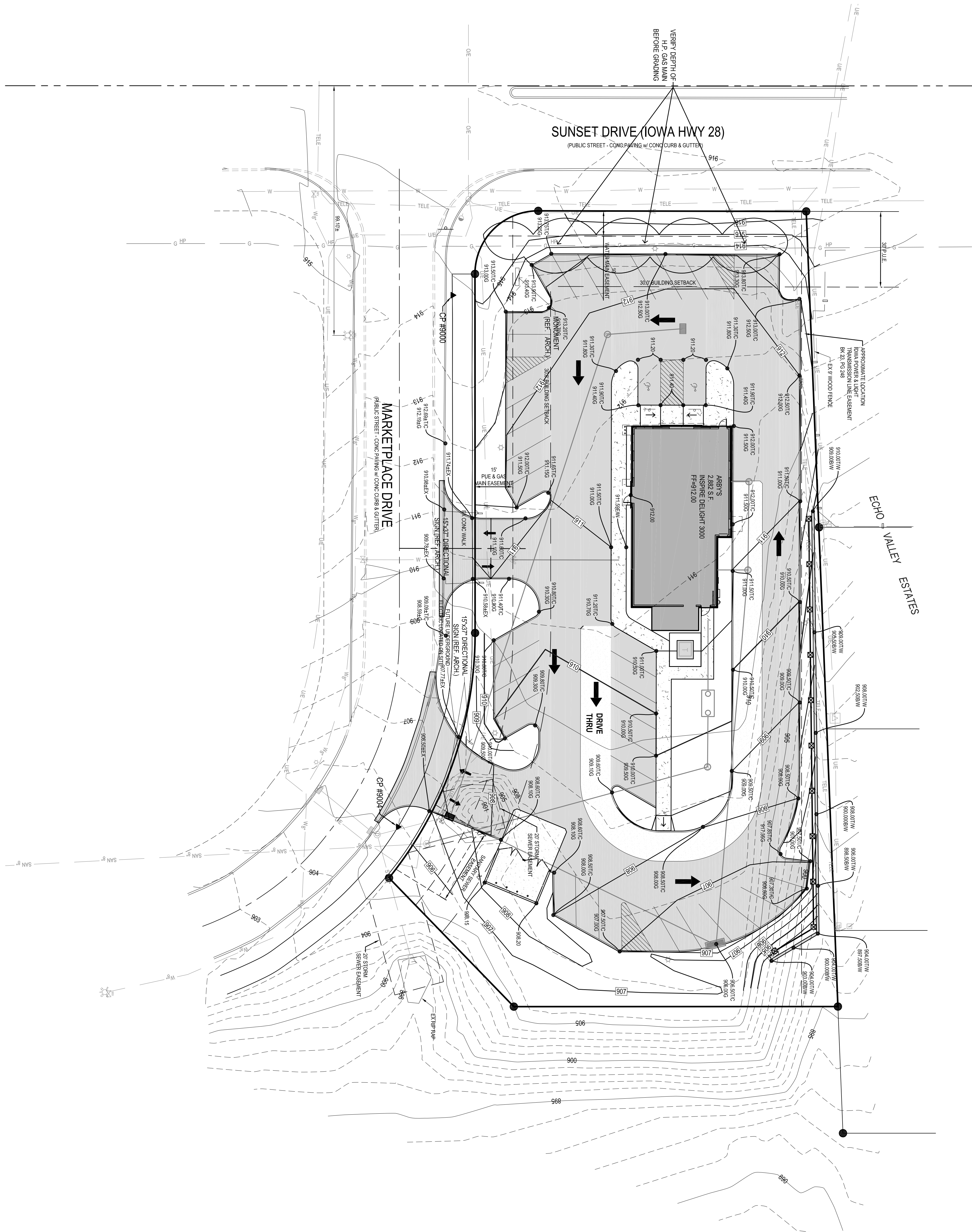
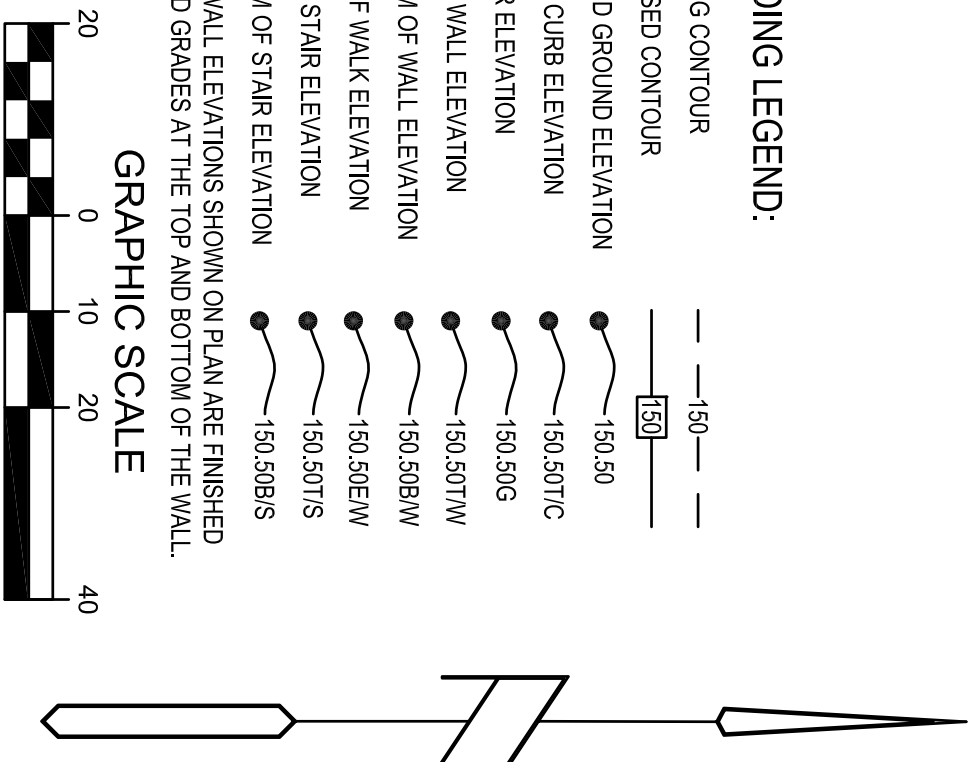
Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying Established 1959

REFERENCE NUMBER:	PROJECT NUMBER:
DRAWN BY:	160498
CHECKED BY:	
REVISION DATE:	
1ST SUBMITTAL 2-22-2017	
2ND SUBMITTAL 3-10-2017	
3RD SUBMITTAL 3-21-2017	
SHEET NUMBER:	C2.1

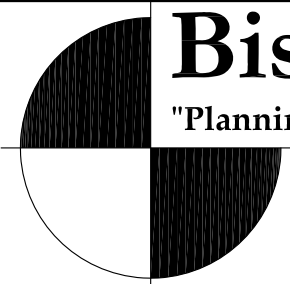
- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 6" OF SOIL ON ALL DISTURBED AREAS.
 2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 6" ON ALL GREEN NON PAVED AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
 3. **TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.**
 4. TOPSOIL IS DEFINED AS: FERTILE, FRABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IMPEDED OR ADDED CONTAMINANTS, REASONABLE FREE FROM SOILS, CLAY, HUMUS, AND OTHER SUBSTANCES WHICH MAY BE DETRIMENTAL TO PLANT AND FOREIGN MATTER. ACIDITY RANGE (PH) OF 4.5 TO 7.5, CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

- GRADING LEGEND:**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - FINISHED GROUND ELEVATION
 - TOP-OF-CURB ELEVATION
 - GUTTER ELEVATION
 - TOP OF WALL ELEVATION
 - BOTTOM OF WALL ELEVATION
 - EDGE OF WALK ELEVATION
 - TOP OF STAIR ELEVATION
 - BOTTOM OF STAIR ELEVATION
- NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.



ARBY'S
9301 MARKETPLACE DRIVE NORWALK, IA

GRADING PLAN

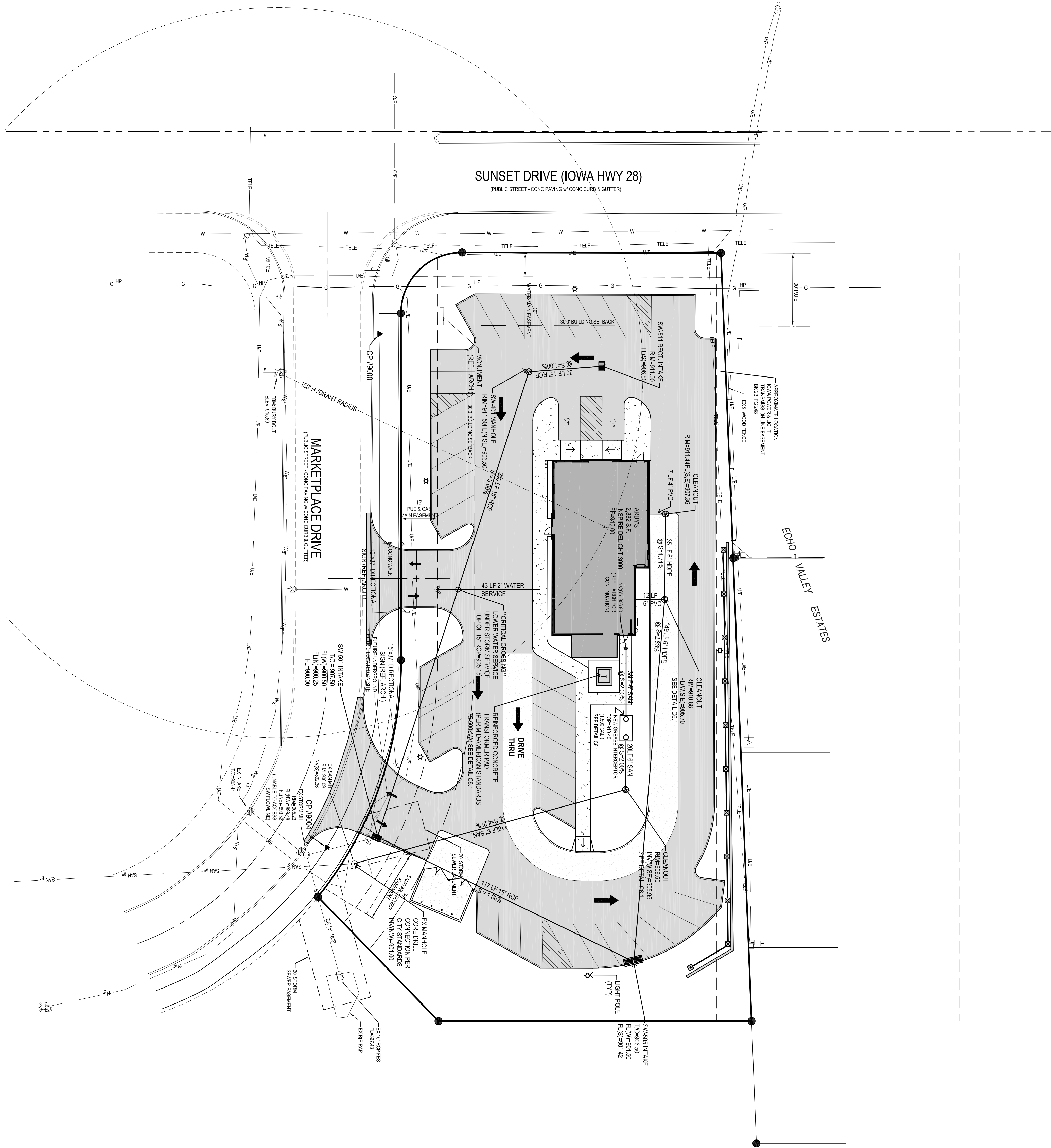


Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying Established 1959

PROJECT NUMBER: 160498	DESIGN DATE: 1ST SUBMITTAL 2-22-2017 2ND SUBMITTAL 3-10-2017 3RD SUBMITTAL 3-21-2017
SHEET NUMBER: C3.1	
REFERENCE NUMBER:	
DRAWN BY: MMW	
CHECKED BY: CB	

- UTILITY NOTES:
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
 7. FORCE MAIN ASSOCIATED FES MUST BE RCP. FOR N-12 THE ASSOCIATED FES SHALL BE CMP.
 8. FORCE MAIN ASSOCIATED FES MUST BE RCP. FOR N-12 THE ASSOCIATED FES SHALL BE CMP.
 9. ALL UTILITIES SHALL BE INSTALLED AT THE MINIMUM COVER AND MINIMUM SIZE.
 10. ALL UTILITIES SHALL BE INSTALLED AT THE MINIMUM COVER AND MINIMUM SIZE.
 11. ALL UTILITIES SHALL BE INSTALLED AT THE MINIMUM COVER AND MINIMUM SIZE.
 12. ALL UTILITIES SHALL BE INSTALLED AT THE MINIMUM COVER AND MINIMUM SIZE.
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 17. ALL UTILITIES SHALL BE INSTALLED AT THE MINIMUM COVER AND MINIMUM SIZE.
 18. ALL UTILITIES SHALL BE INSTALLED AT THE MINIMUM COVER AND MINIMUM SIZE.
 19. ALL UTILITIES SHALL BE INSTALLED AT THE MINIMUM COVER AND MINIMUM SIZE.
 20. ALL UTILITIES SHALL BE INSTALLED AT THE MINIMUM COVER AND MINIMUM SIZE.



PROJECT NUMBER: 160498		SHEET NUMBER: C4.1	
DRAWN BY: MMW		CHECKED BY: CB	
REVISION DATE: 2ND SUBMITTAL 2.22.2017		REVISION DATE: 2ND SUBMITTAL 3.10.2017	
3RD SUBMITTAL 3.21.2017			
REFERENCE NUMBER:		REFERENCE NUMBER:	
ARBY'S 9301 MARKETPLACE DRIVE NORWALK, IA		UTILITY PLAN	
Bishop Engineering "Planning Your Successful Development"		3501 104th Street Des Moines, Iowa 50322-3825 Phone: (515)276-0467 Fax: (515)276-0217 Civil Engineering & Land Surveying Established 1959	

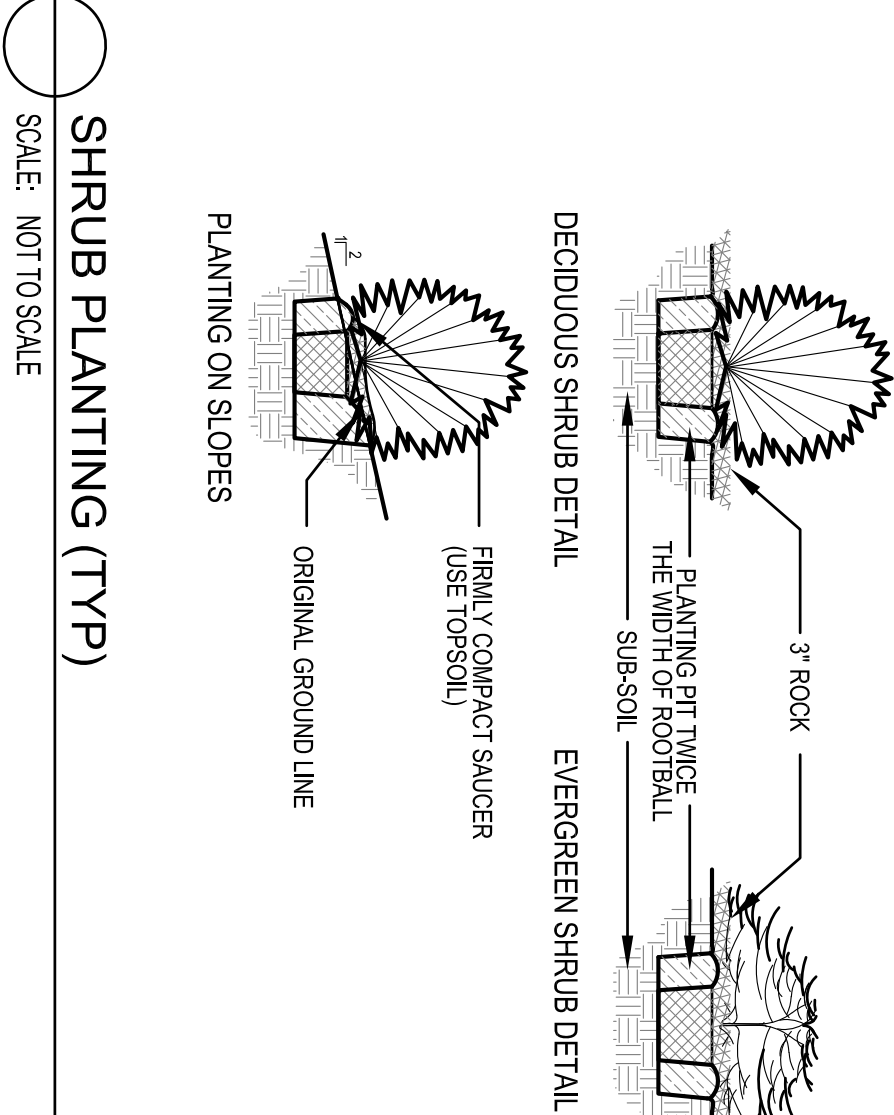
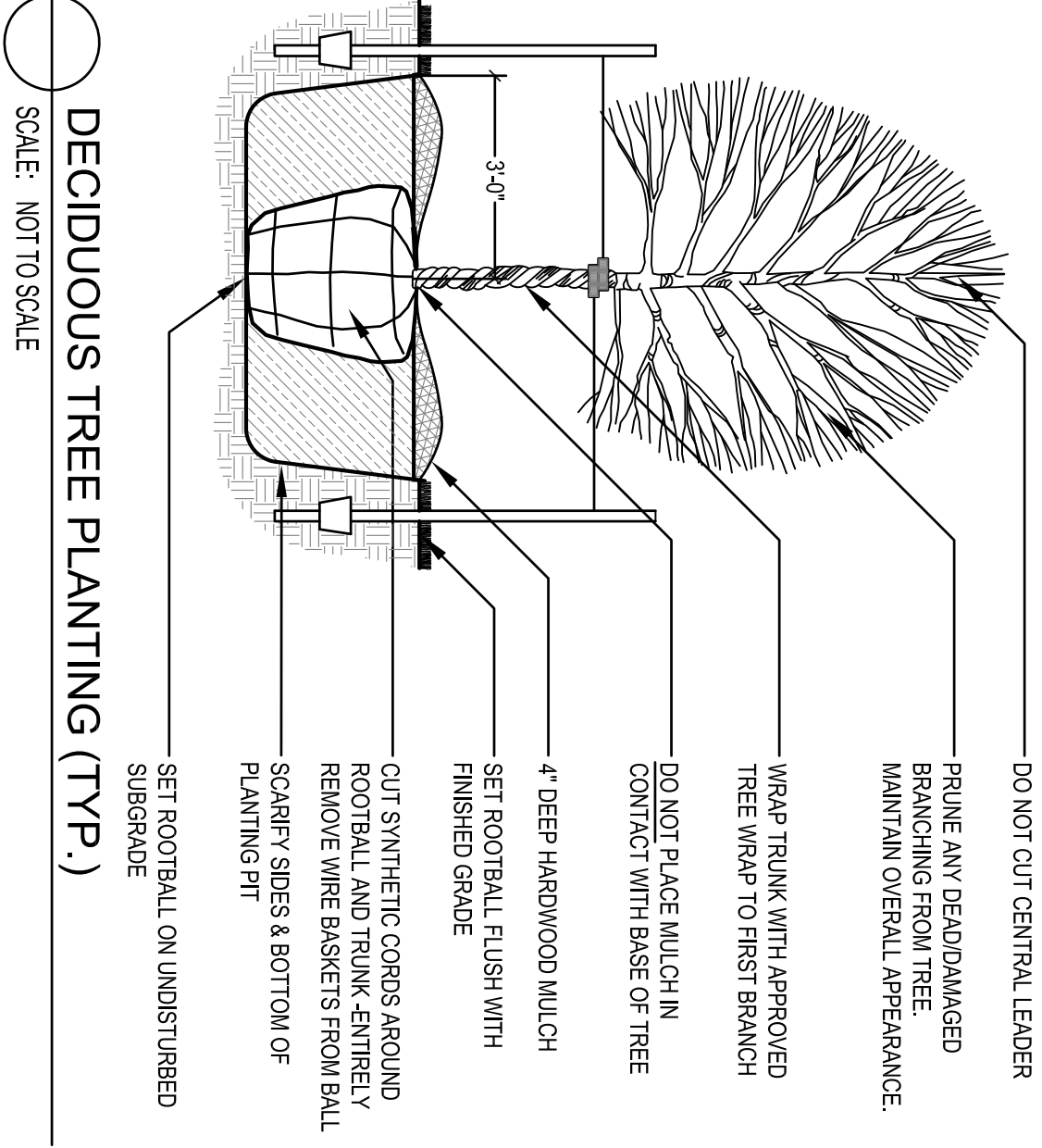
LANDSCAPE NOTES:

1. ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
3. STAKE SOD ON ALL SLOPES 3 : 1 OR GREATER.
4. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
5. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
6. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND COROS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNERS REPRESENTATIVE.
8. CONTRACTOR SHALL PLACE SHREDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
9. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING, STAKE ALL TREES ACCORDING TO THE ESTABLISHMENT PERIOD.
10. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STATING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
11. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
12. ALL EDGING SHALL BE DUREDGE, 1/8" STEEL EDGING - COLOR GREEN, OR APPROVED EQUIV.
13. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
14. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL INCORPORATE TYRAX 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 3" THICK LAYER OF WASHED RIVER ROCK (1 1/2" NOMINAL SIZE).
15. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER ROCK IS INSTALLED.

GENERAL LANDSCAPE REQUIREMENTS

TOTAL SQUARE FOOTAGE OF PROJECT AREA
44,880.33 SF
REQUIRED OPEN SPACE (25%)
11,215 SF
PROPOSED OPEN SPACE (85.25%)
28,600 SF

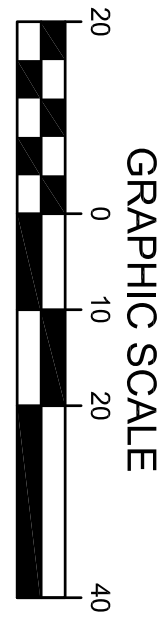
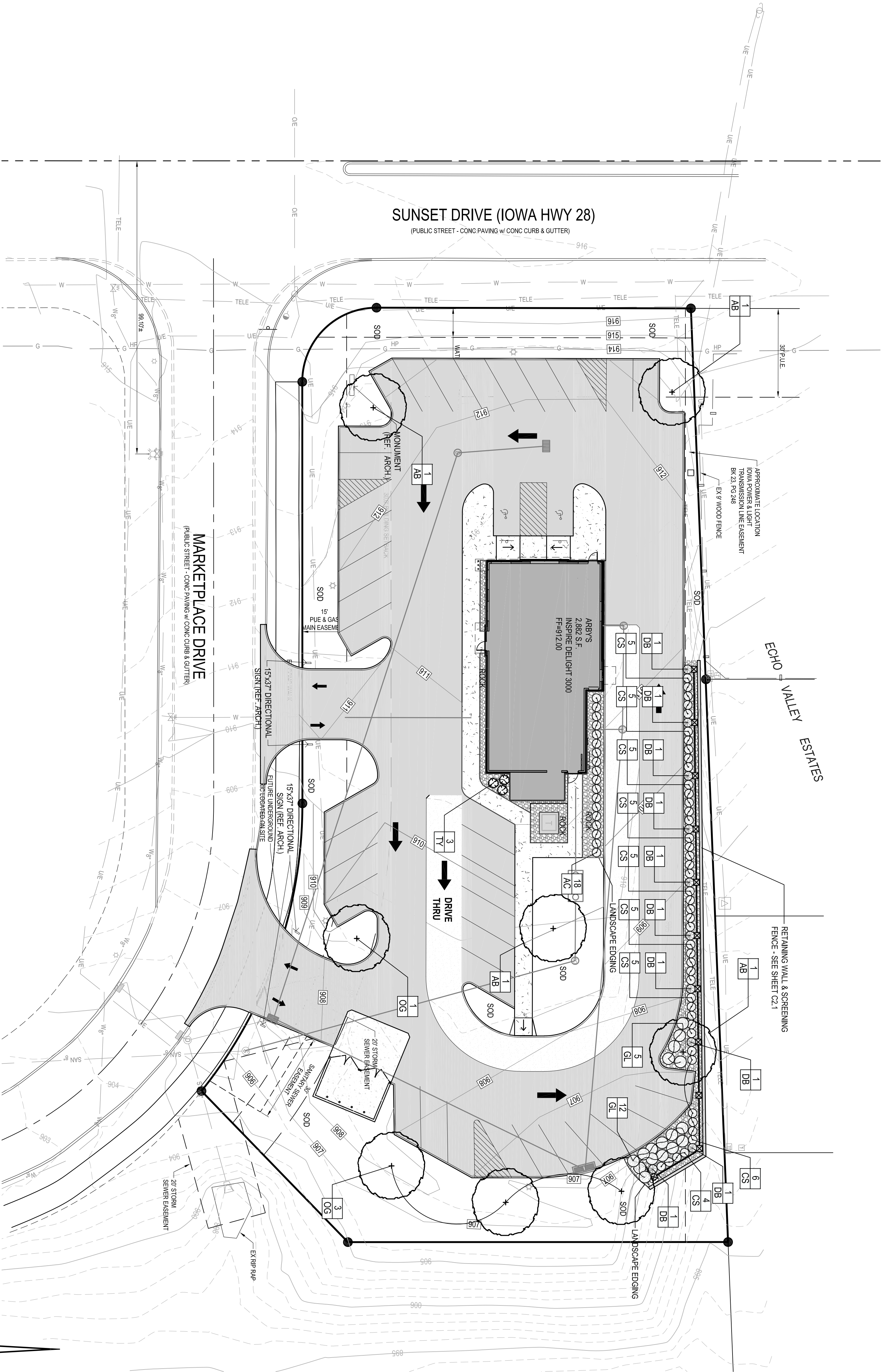
GENERAL OPEN SPACE REQUIREMENT
TOTAL REQUIRED OVERSTORY
(17.45) %
(11,221) SF
TOTAL REQUIRED SHRUBS
(11,221) SF
TOTAL PROPOSED SHRUBS
8
90



PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	TREES	SIZE	ROOT	NOTES
OG	4	GOCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2.5' CAL	B&B		MATCHED SPECIMENS
AB	4	AUTUMN BLUE MAPLE	ACER X 'FREDMAN JEFFERSON'	2.5' CAL	B&B		MATCHED SPECIMENS
							SHRUBS
AC	18	JAPANESE CURRANT	RIBES ALPINUM	#6	COINT		FULL FORM - MATCHED
GL	17	GROWING SUMAC	RHUS AROMATICA 'GROW LOW'	#6	COINT		FULL FORM - MATCHED
CS	46	COOL SPLASH HONEYSUCKLE	DIERILLA SENSUI-FOLIA 'COOL SPLASH'	#3	COINT		FULL FORM - MATCHED
TY	3	TAUNTON YEW	TAUNTON MEDIA 'TAUNTON'	36"	B&B		FULL FORM - MATCHED
							GRASSES & PERENNIALS
DB	10	DALLAS BLUES SMITH GRASS	PANICUM VIRGATUM 'DALLAS BLUES'	#1	COINT		FULLY ROOTED IN CONTAINER

LANDSCAPE ROCK - SEE NOTES ABOVE FOR SIZE AND TYPE



REFERENCE NUMBER:
PROJECT NUMBER:
160498
SHEET NUMBER:
C5.1

DRAWN BY:
MMW
CHECKED BY:
CB

REVISIONS:
1ST SUBMITTAL 2-22-2017
2ND SUBMITTAL 3-10-2017
3RD SUBMITTAL 3-21-2017

ARBY'S
9301 MARKETPLACE DRIVE NORWALK, IA

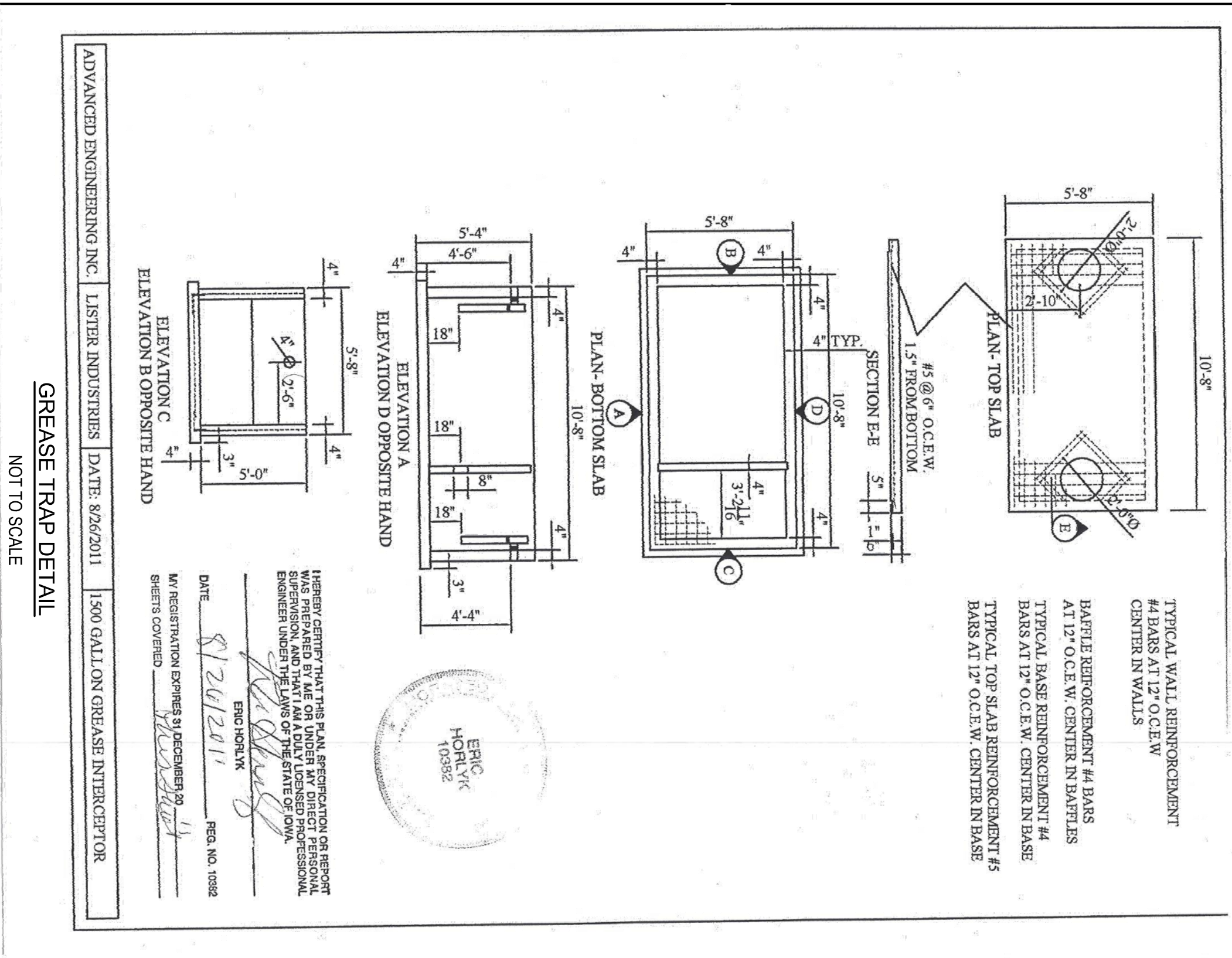
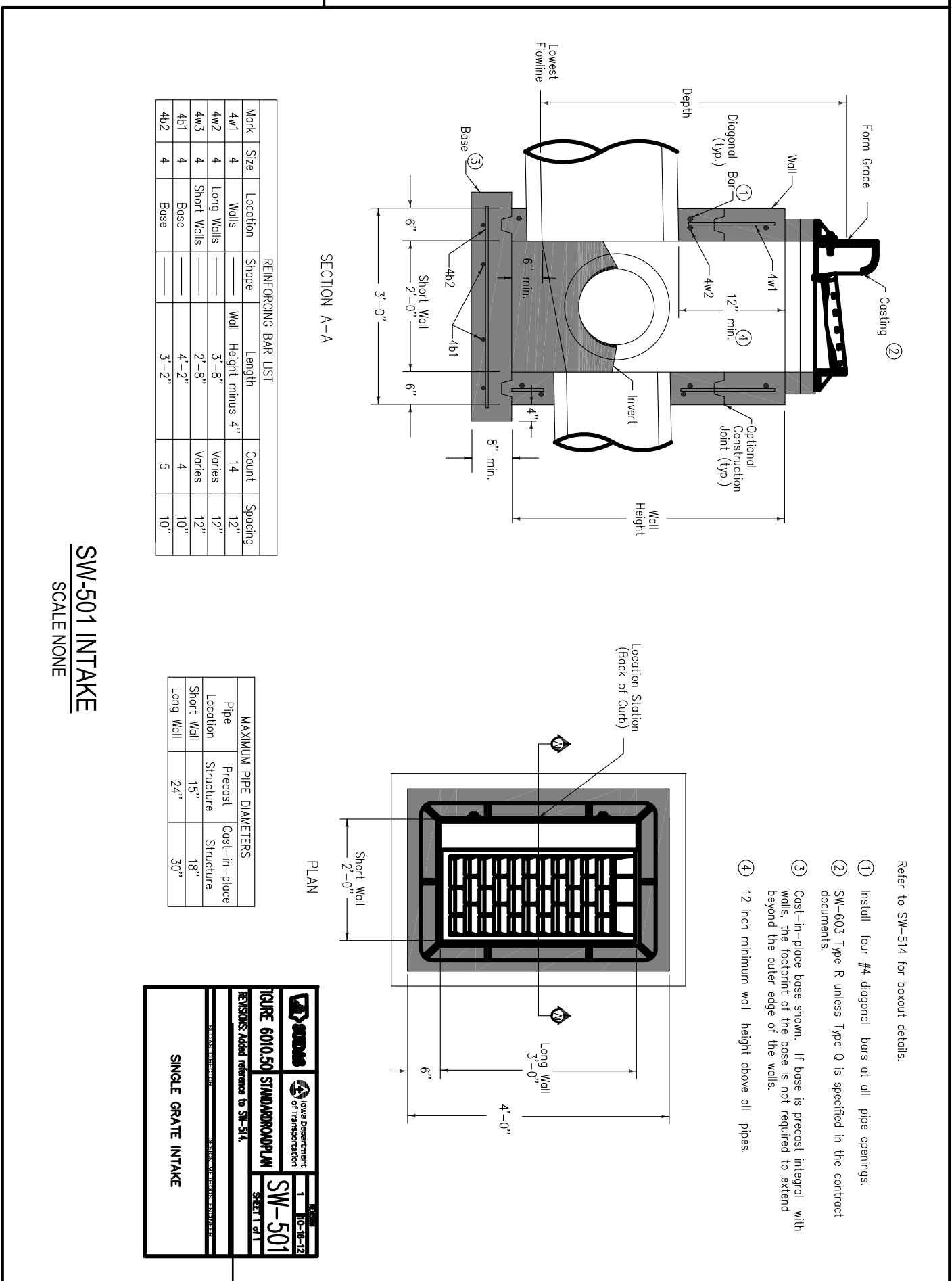
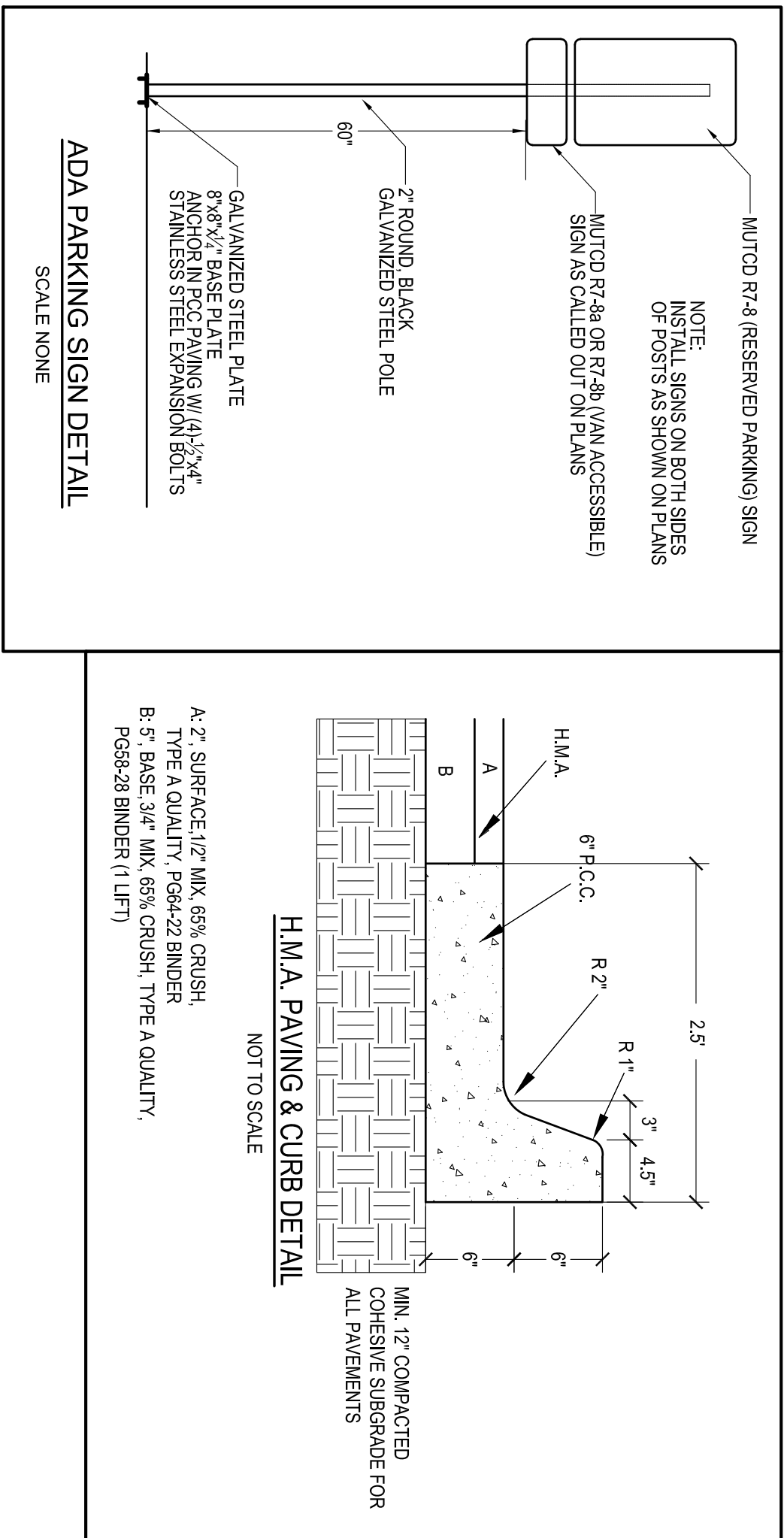
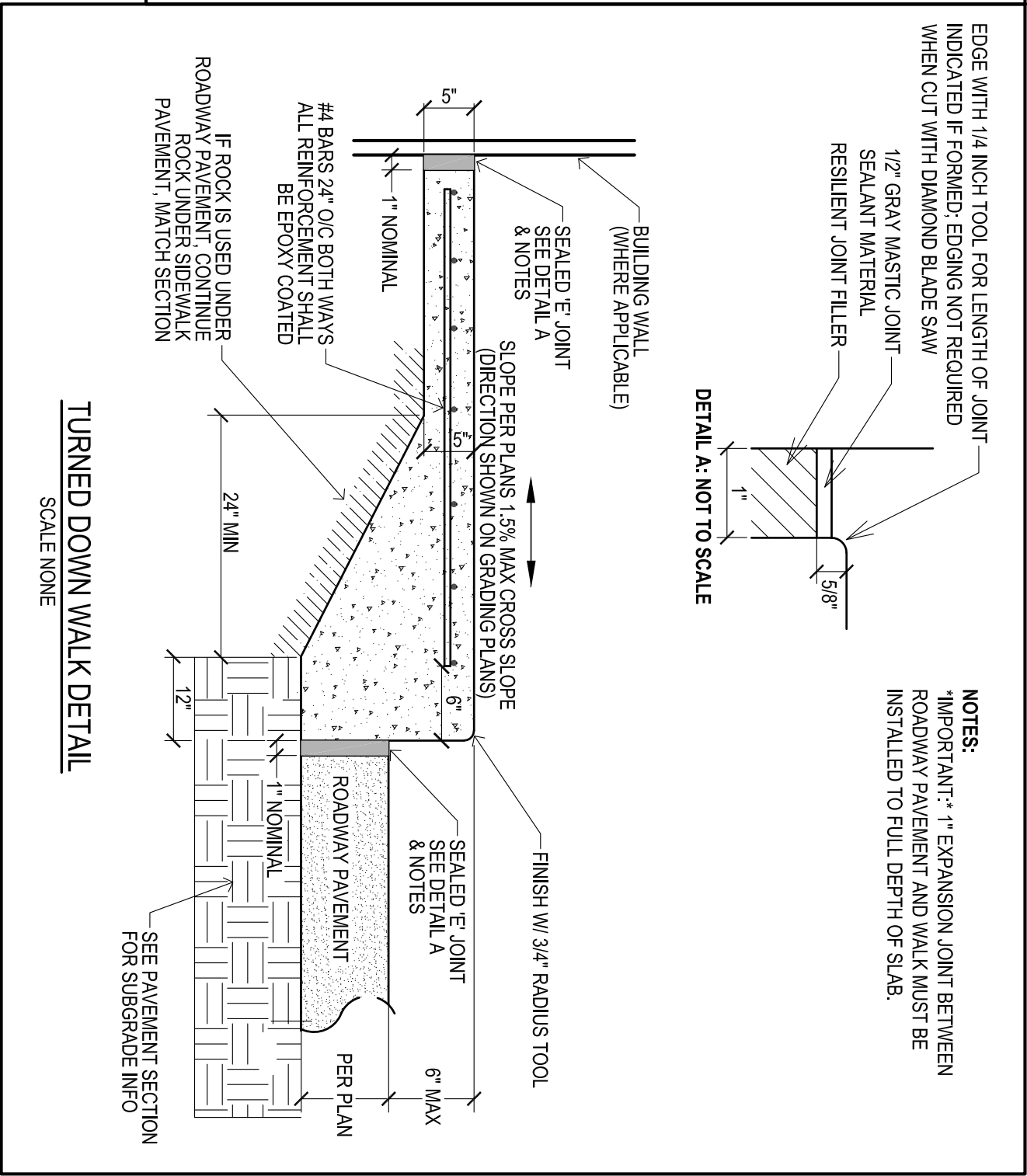
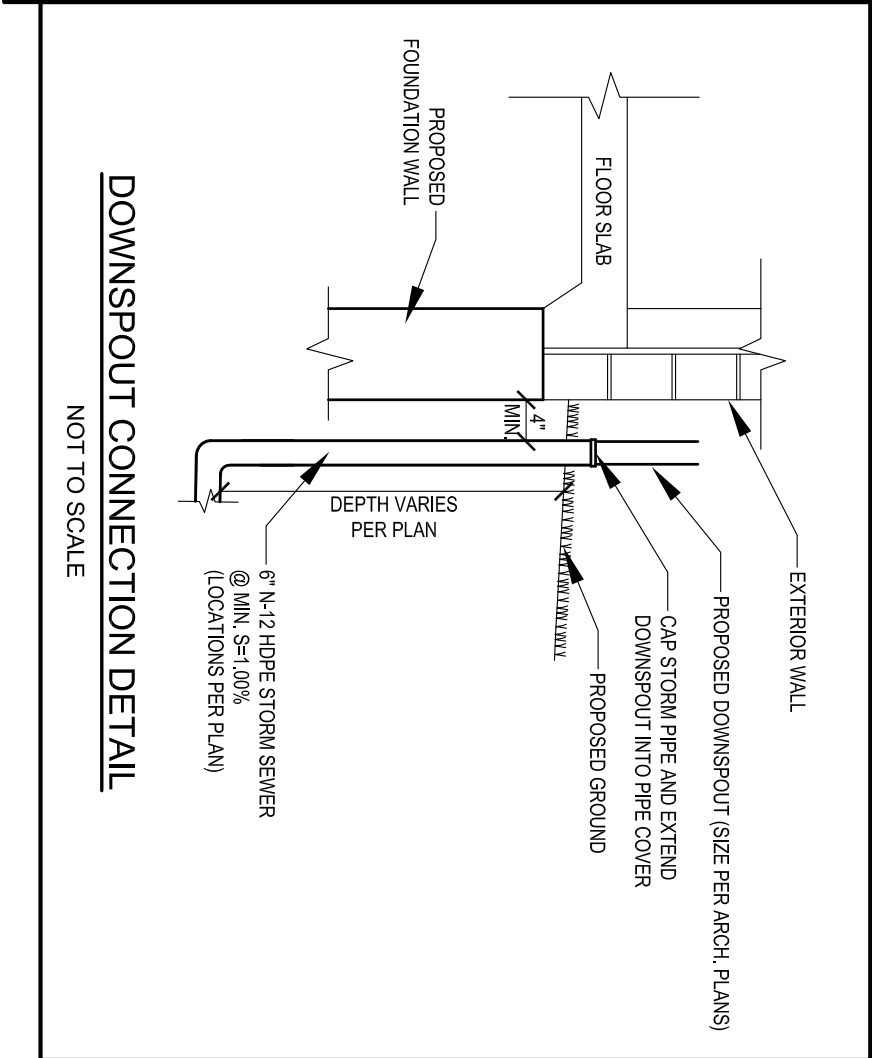
LANDSCAPE PLAN

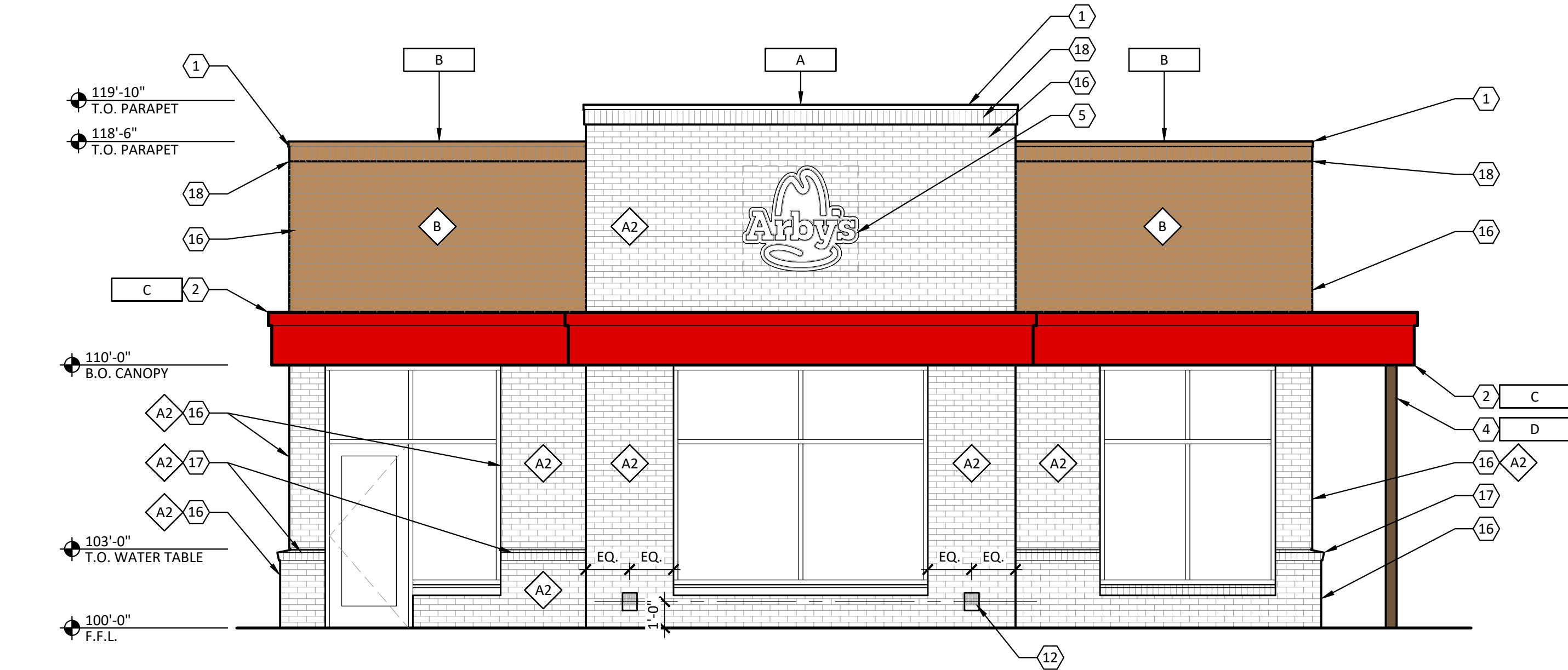


Bishop Engineering

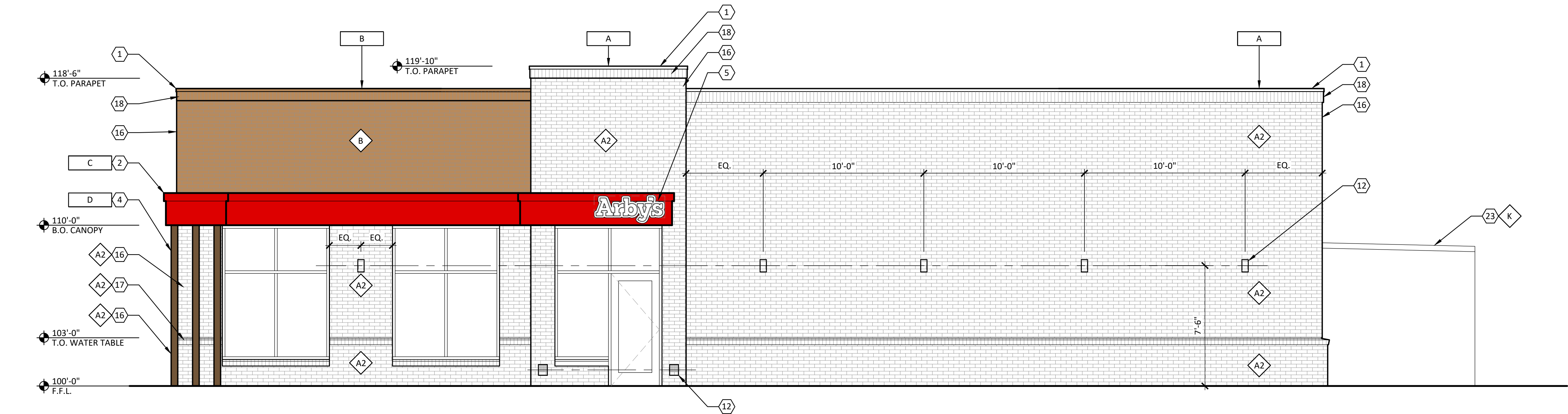
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1
A2.1
FRONT ELEVATION
1/4" = 1'-0"



2
A2.1
SIDE ELEVATION
1/4" = 1'-0"

CODED NOTES

(X) (ALL CODED NOTES MAY NOT BE USED)

1. PRE-FINISHED METAL COPING.
2. PRE-FABRICATED METAL CANOPY/ACCENT BAND.
3. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
4. PRE-FABRICATED METAL POST FOR CANOPY.
5. ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.
6. PAINT DOOR AND FRAME.
7. NOT USED.
8. NOT USED.
9. NOT USED..
10. NOT USED.
11. DRIVE THRU WINDOW. PROVIDE STAINLESS STEEL SILL.
12. WALL MOUNTED LIGHT FIXTURE.
13. PAINT BOLLARD.
14. PAINT GUARD RAIL.
15. PAINT ROOF LADDER.
16. BRICK VENEER.
17. BRICK ROWLOCK SILL.
18. BRICK CORNICE, SOLDIER COURSE.
19. ELECTRICAL EQUIPMENT.
20. GAS METER.
21. GREASE OUTLET.
22. Co2 HOOKUP.
23. COOLER/FREEZER.
24. ALUMINUM STOREFRONT.

FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	NOT USED	-	-
A2	BELDEN BRICK	ALASKA WHITE	TEXTURE: VELOUR GROUT: CEMEX GRAY TYPE N 1000
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH GROUT: CEMEX 36-A MOCHA, TYPE N
C	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEALS	COLOR: ARBY131030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	NOT USED	---	---
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH

METALS

A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR.70/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR.26/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRIACTED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRIACTED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---

1. PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE.
2. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.
3. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.
4. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.
5. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
6. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.
7. ALUMINUM STOREFRONT TO BE DARK BRONZE.
8. ALL GLAZING TO BE 1" INSULATED GLAZING.
9. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
10. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.
11. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.
12. PAINT ALL EXPOSED BRICK LINTELS TO MATCH STOREFRONT.

PROPRIETARY INFORMATION NOTICE:
THESE PROTOTYPICAL DOCUMENTS MAY REQUIRE REVISIONS TO CONFORM TO LOCAL, STATE, AND FEDERAL CODES, ORDINANCES OR OTHER CONDITIONS. THE DESIGN CONCEPTS EMBODIED IN THESE DOCUMENTS ARE SPECIFICALLY FOR THIS PROJECT. INFORMATION CONTAINED HEREIN REMAINS THE SOLE PROPERTY OF ARBY'S RESTAURANT GROUP, IS CONFIDENTIAL AND PROPRIETARY AND IS NOT TO BE COPIED, REPRODUCED, DISCLOSED OR OTHERWISE TRANSFERRED TO OTHER PARTIES IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF ARBY'S RESTAURANT GROUP.



ARBY'S RESTAURANT GROUP
INSPIRE DELIGHT 3000
SUNSET DRIVE (HWY. 28)
NORWALK, IA 50211
FOR: DRM, INC.
5324 NORTH 134TH AVENUE, OMAHA, NE 68164

PROJECT NUMBER:
ARF065

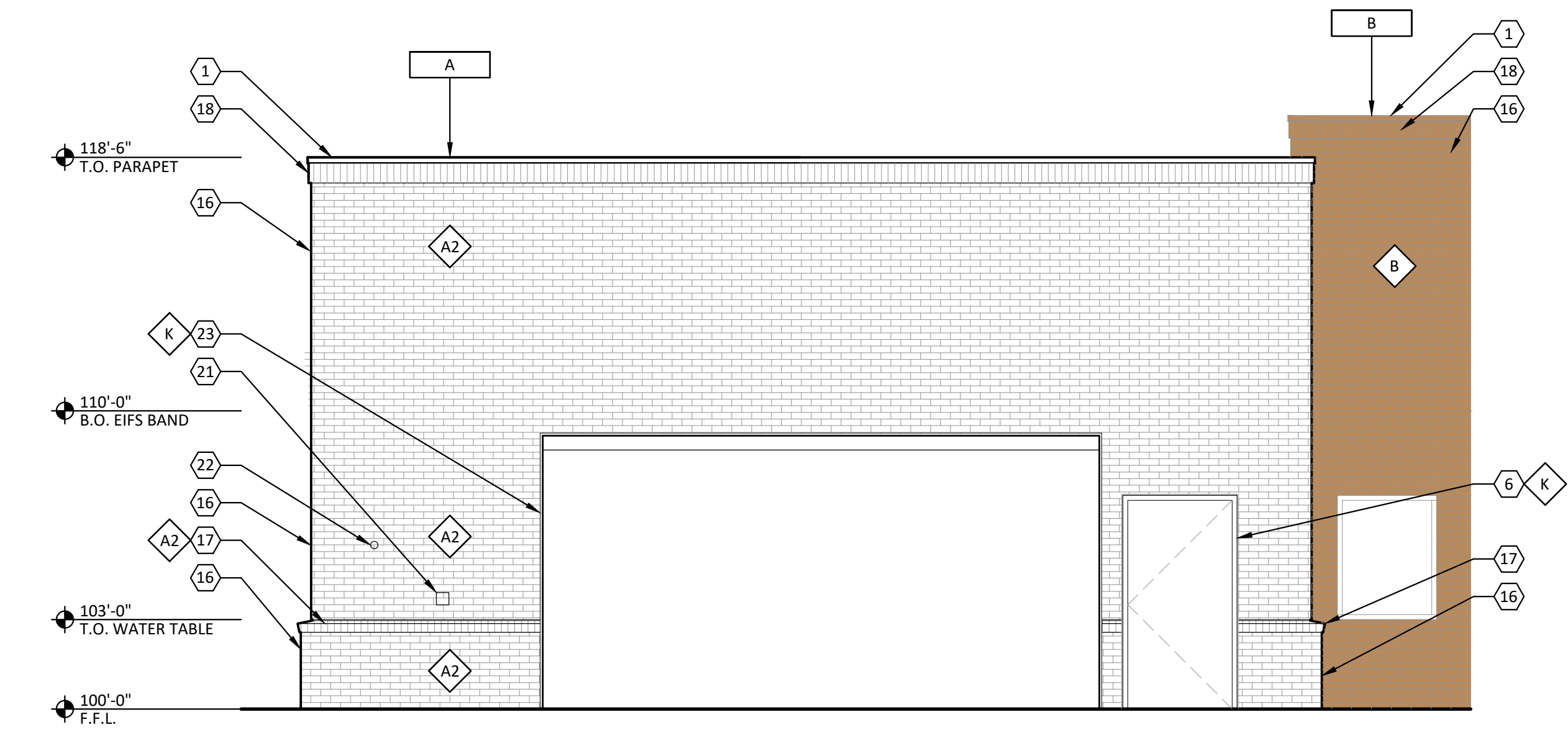
ISSUE	DATE
OWNER REVIEW	FEB 24 2017

EXTERIOR
ELEVATIONS

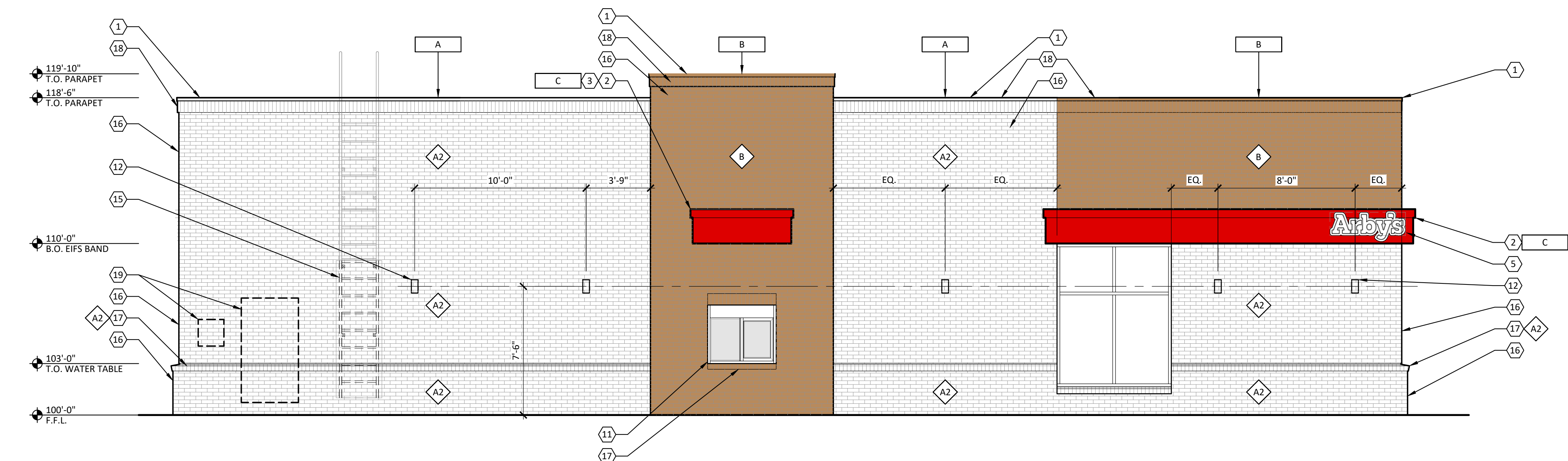
SHEET:

A2.1

3/17/2017 9:52 AM



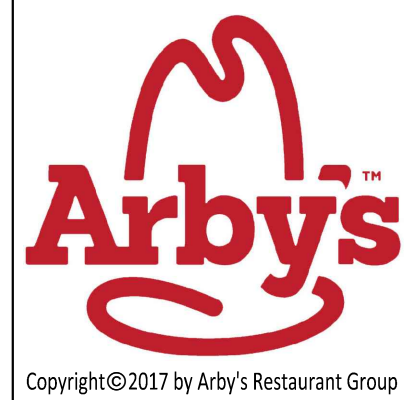
1
A2.2
REAR ELEVATION
1/4" = 1'-0"



2
A2.2
SIDE ELEVATION
1/4" = 1'-0"

CODED NOTES		(X)	(ALL CODED NOTES MAY NOT BE USED)
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7.	NOT USED.		
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INSPIRE DELIGHT 3000
SUNSET DRIVE (HWY. 28)
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PROJECT NUMBER:
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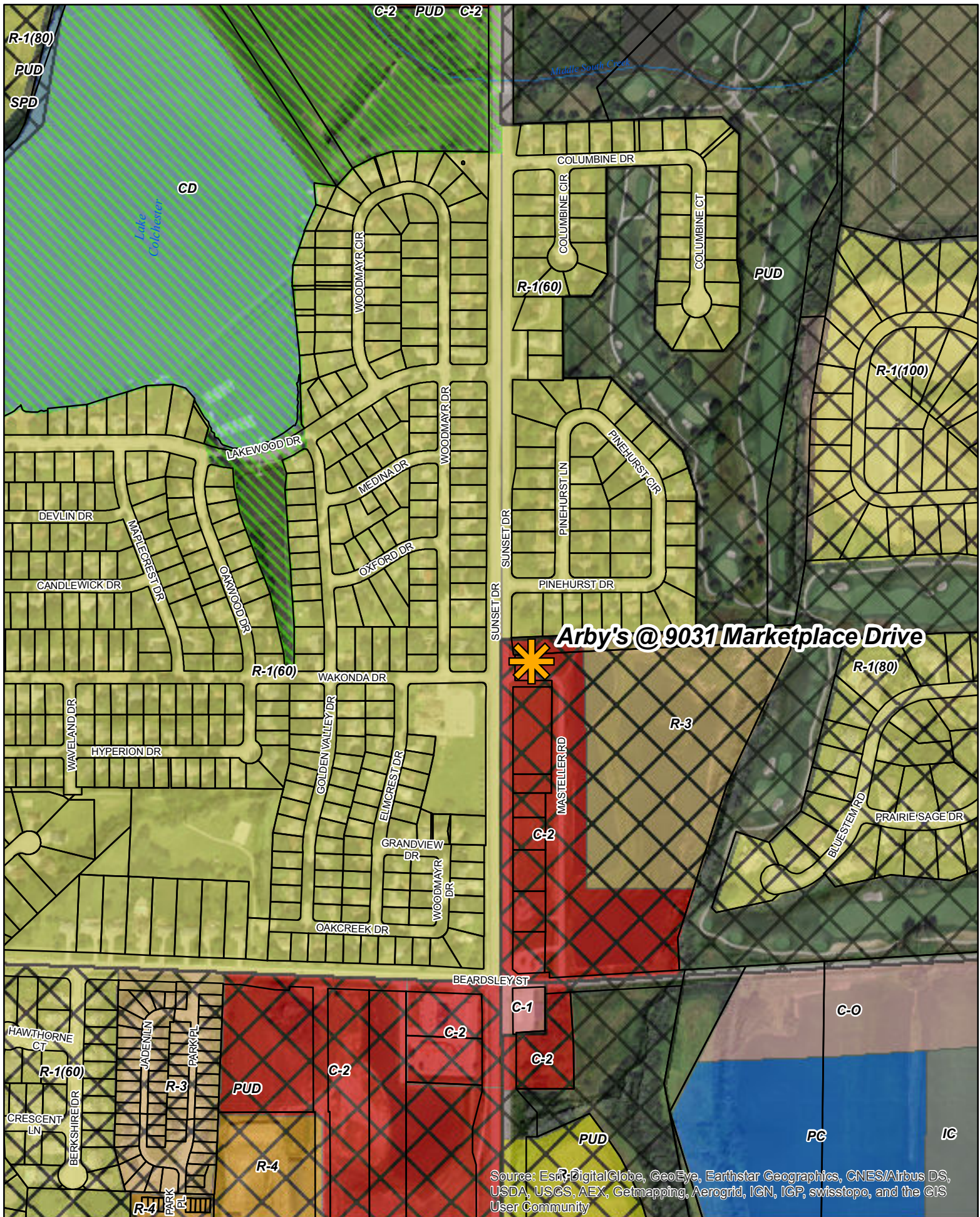
ISSUE	DATE
OWNER REVIEW	FEB 24 2017

EXTERIOR
ELEVATIONS

SHEET:

A2.2

architecture + planning
855 grandview ave.
suite 295
columbus, ohio 43215
tel: 614.487.8770
fax: 614.487.8777





**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 6C
For Meeting of 03.27.2017

ITEM TITLE: Request from KFH LLC and City State Bank to approve the preliminary plat for Farms of Holland Plat 3

CONTACT PERSON: Luke Parris, AICP – Interim Community Development Director

APPLICANT(S): KFH LLC
2500 W 2nd Ave
Box 196
Indianola, IA 50125

City State Bank
801 Main Street
Norwalk, IA 50211

Snyder & Associates, Inc.
2727 SW Snyder Boulevard
Ankeny, IA 50023

GENERAL DESCRIPTION: This request would create two commercial lots and street right-of-way for Turnberry Road in the area northeast of the intersection of Iowa Highway 28 and Colonial Parkway.

IMPACT ON NEIGHBORHOOD: The properties surrounding are primarily commercial in nature. The Farms of Holland PUD does identify an undeveloped parcel to the north for potential medium density residential development.

VEHICULAR & PEDESTRIAN TRAFFIC: The plat shows the construction of Turnberry Road to the north and east of the lots. The road aligns with Turnberry Road to the west of Iowa Highway 28. Right-in and right-out access is provided from Turnberry Road to Iowa Highway 28. Full access is provided to Colonial Parkway from Turnberry Road. Turnberry Road is intended to align with a potential access point for the parcel to the south. A future drive from lot 2 onto Colonial Parkway is also shown and will align with future potential access to the south. This future drive location will require a cut in the existing median.

TRAIL PLAN: The plat shows standard 5' sidewalk on the west and south side of Turnberry Road. The plat shows a proposed 10' trail along Colonial Parkway that is required per the Farms of Holland PUD. The City will share in half of the cost of this trail construction. The Farms of Holland PUD also calls for a 10' trail along Iowa Highway 28. City staff has reviewed this trail and feels that it would be redundant due to the planned trail in Elizabeth Holland Park and the existing trail on the west side of Iowa Highway 28. City staff has proposed to the developers that the cost they would have incurred on the trail could be flexed to assist in the construction of the trail in Elizabeth Holland Park.

ZONING HISTORY FOR SITE AND IMMEDIATE VICINITY:	This site is zoned in the Farms of Holland PUD as Parcel 5 for uses identified as C-2 in the Norwalk Zoning Ordinance. Land to the north is R-3 for medium density residential. Land to the west is in the Legacy PUD as C-2 commercial. Land to the south is C-3 commercial at the intersection and the rest being C-2 commercial. Land to the east is Elizabeth Holland Park.
BUFFERS REQUIRED/ NEEDED:	Adjacent uses are compatible and the Farms of Holland PUD notes that no buffers are required in an effort to make the development more cohesive.
DRAINAGE:	Drainage from the lots collects into local storm sewer system that outlets on the east side of Turnberry Road and drains into the retention ponds in Elizabeth Holland Park.
DEVELOPMENT HISTORY:	The Farms of Holland PUD and master plan were approved by the City in 2015. Work began on Elizabeth Holland Park and the retention basins in 2016.
FLOODPLAIN:	None of the proposed lots are located within a floodplain.
PARKLAND:	No parkland is required for the development of commercial lots.
UTILITIES: WATER, SANITARY SEWER, STORM SEWER.	<ul style="list-style-type: none"> • An 8" water main is provided on the south and west side of Turnberry Road • Hydrants are shown along Turnberry Road with adequate coverage. Additional hydrants will be required on site when the lots develop. • An 8" sanitary sewer is on the common lot line between lots 1 and 2 and connects to existing sanitary sewer within Elizabeth Holland Park. • An appropriate storm sewer system was designed to convey water from the lots and street into the retention ponds in Elizabeth Holland Park.
RELATIONSHIP TO COMPREHENSIVE LAND USE PLAN:	This area was part of the SubArea 1 Master Plan process which was recently adopted into the Comprehensive Plan as the future land use for the SubArea 1. The area is identified as Commercial development ground.
STAFF ANALYSIS – ZONING ORDINANCE:	<p>The Preliminary Plat consists of two commercial lots. The plat consists of 7.43 acres of land with lot 1 being 159,866SF and lot 2 being 163,905SF.</p> <p>Turnberry Road will be dedicated to the City for street use upon approval of the Final Plat. The designated street right-of-way is 60 feet with a 31' wide road.</p> <p>The proposed preliminary plat would be for any commercial uses identified in the Farms of Holland PUD, which calls for any C-2 use with the exception of the following:</p> <ul style="list-style-type: none"> • Bars and Night Clubs, including after-hours businesses; • Convenience stores, gas stations, and service stations; • Delayed deposit services; • Liquor stores; • Pawnshops; • Smoking lounges and dens; and, • Tobacco stores.
STAFF ANALYSIS – SUBDIVISION ORDINANCE:	The Subdivision Ordinance requires that Preliminary Plat submissions details on lot design, street layout, sanitary sewer layout, water main layout, grading, and storm water management. All information has been submitted by the applicant.

STAFF**RECOMMENDATION:**

Staff recommends that the request for the Preliminary Plat of Farms of Holland Plat 3 be approved with the following conditions:

- That the developers and the City come to an agreement on flexing of funds that would have been expended on the trail along Iowa Highway 28 to assist in the development of the trail in Elizabeth Holland Park.
- That the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations.
- That any significant modifications to the final plat be reviewed and approved by the Planning & Zoning Commission and City Council.

RESOLUTION NO. ____

A RESOLUTION APPROVING THE PRELIMINARY PLAT OF FARMS OF HOLLAND PLAT 3

WHEREAS, the Planning & Zoning Commission reviewed this request at their regular meeting on October 24, 2016 and recommends approval of the Preliminary Plat; and

WHEREAS, that the developers and the City come to an agreement on flexing of funds that would have been expended on the trail along Iowa Highway 28 to assist in the development of the trail in Elizabeth Holland Park; and

WHEREAS, that the applicant provides all supporting documentation required within the Norwalk Subdivision Regulations; and

WHEREAS, that any significant modifications to the preliminary plat be reviewed and approved by the Planning & Zoning Commission and City Council; and

NOW, THEREFORE, BE IT RESOLVED: That the City Council does hereby approve the Preliminary Plat of Farms of Holland Plat 3 as described and shown in Attachment "A" attached hereto and made a part thereof by reference.

PASSED AND APPROVED this 6th day of April, 2017.

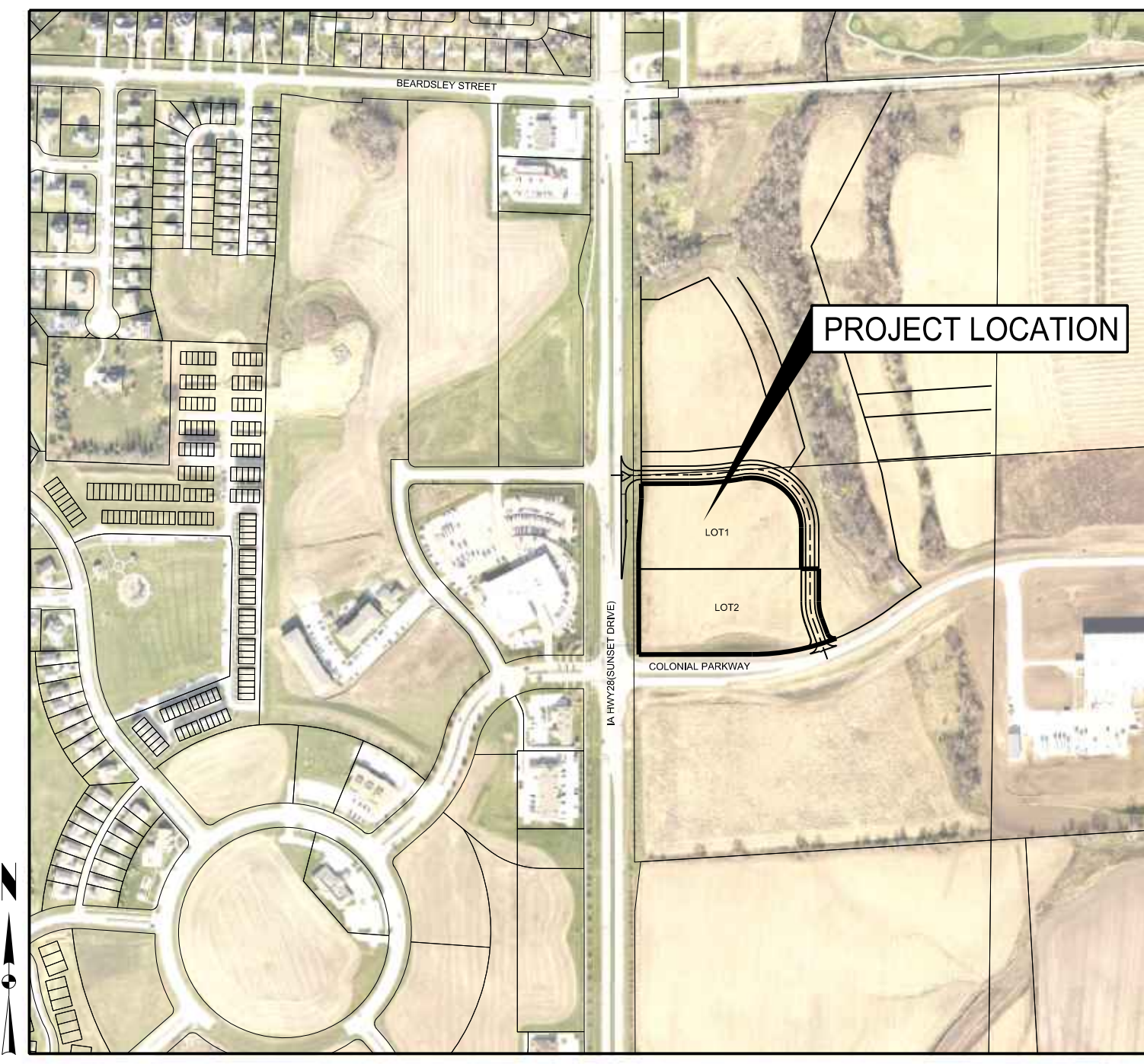
Tom Phillips - Mayor

ATTEST:

JODI EDDLEMAN, CITY CLERK

<u>ROLL CALL VOTE:</u>	<u>Aye</u>	<u>Nay</u>
Kuhl	___	___
Lester	___	___
Isley	___	___
Riva	___	___
Livingston	___	___

jwmccormick
pw:\\\\SAAP\\WS01.snyder-associates.com\\ProjectWise\\Documents\\2016_Projects\\16.0782\\Cadd\\160782_PLM.dgn



1''=500

OUTLOT "B", FARMS OF HOLLAND PLAT 1, AN OFFICIAL PLAT AND OUTLOT "Z"
FARMS OF HOLLAND PLAT 2, AN OFFICIAL PLAT NOW INCLUDED IN AND BEING A
PART OF THE CITY OF NORWALK, WARREN COUNTY, IOWA AND CONTAINING
7.43 ACRES (323,771 S.F.)

PUD: PARCLE 5 OF HOLLAND,PLANED UNIT DEVELOPMENT

LOT1	LOT2 & STREET LOT"A"
KFH LLC	CITY STATE BANK PO BOX 159
2500 W 2ND AVE BOX 196	801 MAIN STREET
INDIANOLA, IA 50125	NORWALK, IA 50211

MINIMUM LOT AREA = 20,000 SF
FRONT YARD SETBACK = 30 FEET
SIDE YARD SETBACK = 10 FEET
REAR YARD SETBACK = 35 FEET

1. ALL STRUCTURES SHALL NOT BE PLACED WITHIN ANY PROPOSED EASEMENTS OR SETBACKS.

CURVE NO.	DELTA				RADIUS	ARC LENGTH		TANGENT	CHORD	BEARING/DISTANCE	
C1	10°	10'	11"	LT	1,000.00'	177.49'	88.98'	N 84°	41'	43"	E 177.26'
C2	100°	20'	35"	RT	200.00'	350.26'	35.82'	S 10°	13'	05"	E 307.19'
C3	20°	01'	52"	RT	200.00'	69.92'	23.91'	S 50°	03'	43"	E 69.57'
C4	20°	01'	50"	RT	170.00'	59.13'	19.32'	S 10°	03'	43"	E 69.13'
C5	85°	20'	38"	LT	25.00'	37.24'	23.05'	S 62°	45'	04"	E 33.89'
C6	21°	21'	28"	RT	790.00'	294.48'	148.97'	S 79°	11'	24"	W 292.78'
C7	10°	10'	11"	LT	1,030.00'	182.82'	91.65'	N 84°	41'	49"	E 182.58'
C8	100°	20'	38"	RT	170.00'	297.73'	203.84'	S 50°	13'	02"	E 261.11'
C9	20°	01'	52"	RT	230.00'	80.41'	40.62'	N 10°	03'	43"	W 80.00'
C10	96°	38'	39"	RT	25.00'	42.17'	28.08'	S 28°	14'	04"	W 37.34'
C11	13°	18'	08"	RT	790.00'	183.41'	92.12'	S 83°	13'	04"	W 183.00'
C12	8°	03'	20"	RT	790.00'	111.07'	55.63'	S 72°	32'	20"	W 110.98'

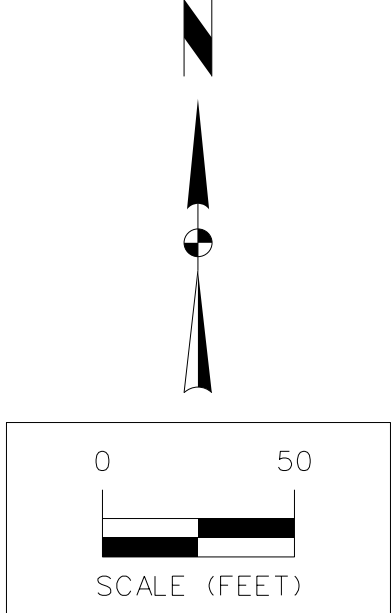
Survey

Section Corner
1/2" Rebar, Cap # 11579
(Unless Otherwise Noted)

ROW Marker
ROW Rail
Control Point
Bench Mark
Platted Distance
Measured Bearing & Distance
Recorded As
Deed Distance
Calculated Distance
Minimum Protection Elevation
Centerline
Section Line
1/4 Section Line
1/4 1/4 Section Line
Easement Line

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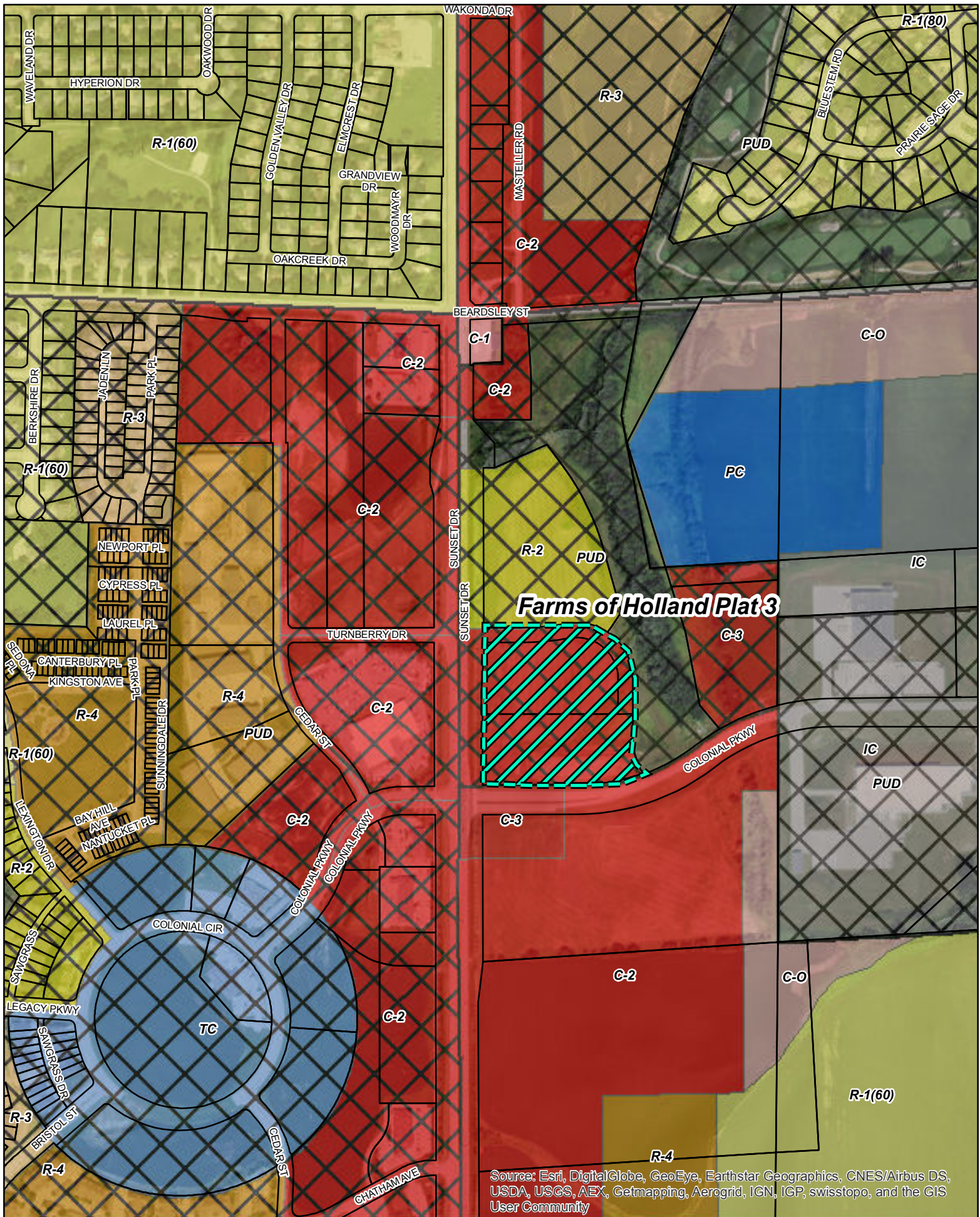


SNYDER & ASSOCIATES, INC.

[illegible]

Project No: 1160782

Sheet 1 of 1





**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 6D
For Meeting of 03.27.2017

ITEM TITLE: Consideration of a recommendation to the City Council regarding the proposed annexation of 80 acres of ground for the Norwalk Community School Districts planned elementary school.

CONTACT PERSON: Luke Parris, AICP – Interim Community Development Director

SUMMARY EXPLANATION:

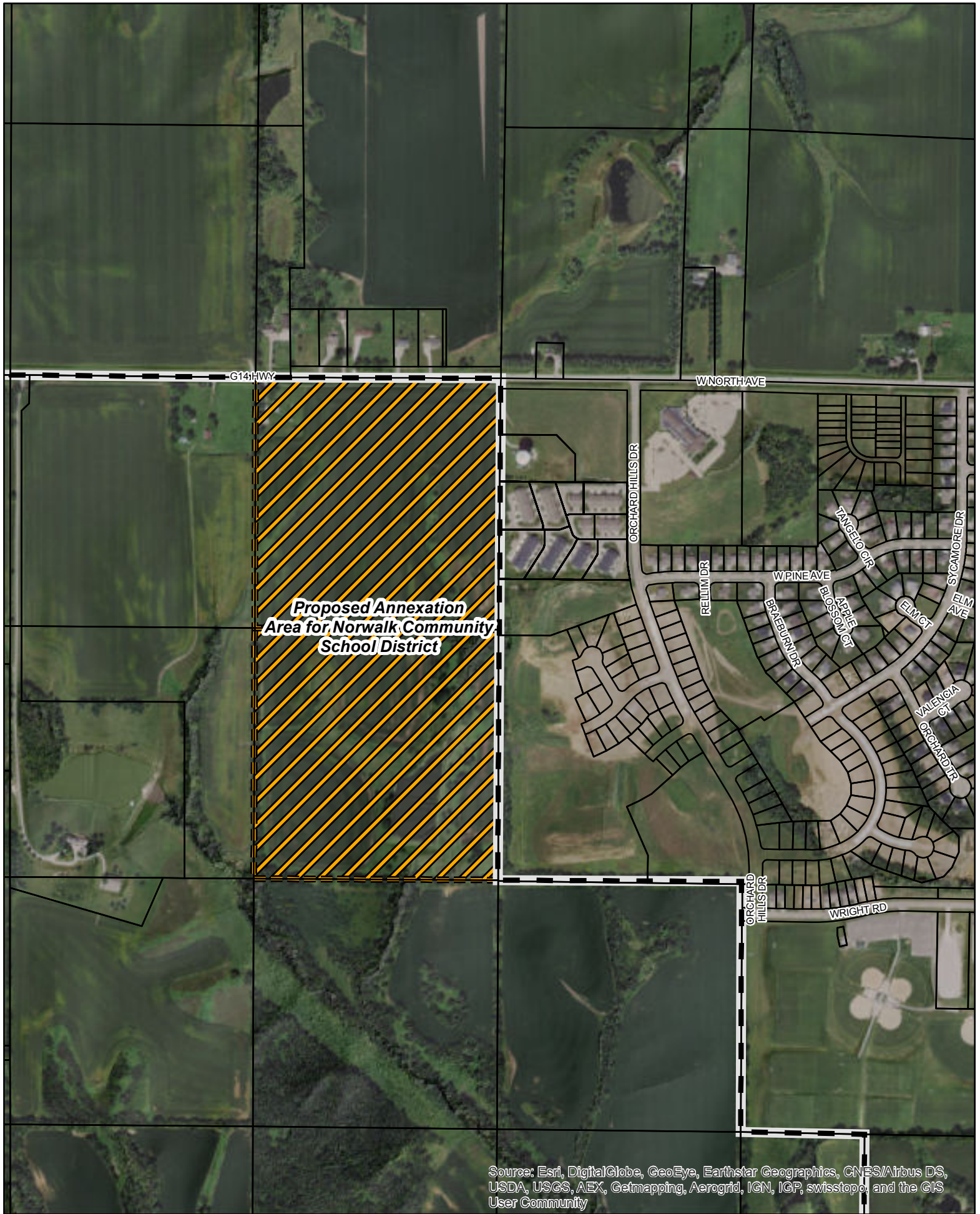
The City of Norwalk received an application for Voluntary Annexation into the City of Norwalk for a portion of section fourteen of Linn Township from the Norwalk Community School District. The application, legal description, and a map of the area to be annexed are attached. The proposed area to be annexed is approximately 78 acres. The Norwalk Community School District intends to locate a new elementary school on the site. Following annexation, the City will need to consider a rezoning for the property.

The City has reviewed the proposed annexation and verified that City services can be provided to the location desired for the school site. The City is study option to provide service for the remaining acres within the school property which may be developed at some point in the future. The City has also identified a need to study traffic patterns at the potential school site and has requested that the Norwalk Community School District initiate a study. The City is also beginning steps to further study impacts along North Avenue, particularly at the intersection of North Avenue and Iowa Highway 28.

The City Council of the City of Norwalk will hold a public hearing on the proposed annexation at 6:00 p.m., on April 6, 2017, during their regularly scheduled meeting at the Norwalk City Hall, located at 705 North Avenue, Norwalk, Iowa.

STAFF RECOMMENDATION:

City staff recommends approval of the annexation request.



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the GIS User Community

NORWALK COMMUNITY SCHOOLS

"Learning for a Lifetime"

380 Wright Road, Norwalk, Iowa 50211
Phone (515) 981-0676 FAX (515) 981-0559
DT Magee, Superintendent
Kate Baldwin, Business Manager

February 14, 2017

Luke Nelson, City Administrator
Norwalk City Hall
705 North Avenue
Norwalk, IA 50211

Dear Luke,

The board of directors of the Norwalk Community School District requests the City of Norwalk to approve the voluntary annexation of the following property:

REAL ESTATE DESCRIPTION. The real estate subject is locally known as 5516 G14 Hwy, Norwalk, Iowa, and is legally described as: The West One-half (W ½) of the Southeast Quarter (SE ¼), Section Fourteen (14), Township Seventy-seven (77) North, Range Twenty-five (25) West of the 5th P.M., being 78.49 Acres more or less.

The property is identified as Parcel ID 15000140840 and Parcel ID 150001140860 by the Warren County Assessor. The property is located in the unincorporated area of Warren County and is currently zoned "agriculture".

The District has a purchase agreement with the current owner, Jan Senecaut, executor of the Vera Casady Estate. Ms. Senecaut is in agreement with voluntary annexation. I have included a copy of the signed purchase agreement and a letter of agreement from the estate attorney. The sellers have agreed to demolish all of the current buildings on the property and restore the property condition to clean land ready for development. The District anticipates finalizing the property sale as early as May 1, 2017 but no later than December 1, 2017.

The property is identified as an area of "High Priority" for future annexation by the City of Norwalk in the 2013 Comprehensive Plan (CP), page 5.31. The CP also indicates future land use would be zoned medium density residential housing, page 5.25.

The District intends to build a new elementary school on the NW section of the north parcel. Future development of the remaining property is yet to be determined. The District will cooperate with the City of Norwalk to zone the property to accommodate future development. Construction of the school is scheduled to begin in the spring of 2018. Initially the District is requesting access to city water and sewer utilities to serve the new school building.

Please provide instructions for any additional actions required of the District to complete the annexation.

Sincerely,



Kate Baldwin
Business Manager



**PLANNING & ZONING COMMISSION
AGENDA STATEMENT**

Item No. 8
For Meeting of 03.27.2017

ITEM TITLE: Economic Development Report
CONTACT PERSON: Hollie Askey – Economic Development Director

CURRENT AND UPCOMING ECONOMIC DEVELOPMENT PROJECTS

Below is a list of current and upcoming economic development issues that the City is working on:

- Home Show letters have started to go out to residents. Sent requests to fence owners along HWY 28. So far most are in agreement with having their fences repainted. Received small grant for free paint from Diamond Vogel.
- Sunset Crest development plans are underway (beginning stages). Developers are working on purchase agreements with two property owners to demolish the structures and build new retail plaza including new restaurant (Tacos Andreas) space with outdoor patio. Plan to demo by early summer.
- Working with new owner of 71 acres at R57 & G14 to annex and develop land according to our future land use plan which calls for Residential Commercial Flex, High Density Residential, and Medium Density Residential. Potential for senior living component.
- Receiving regular requests from companies interested in moving to Norwalk. Several need existing light industrial buildings, others just need land. Working to identify additional available land that could be utilized for light industrial/manufacturing/warehouse or distribution uses.
- Meeting with the General Consul from the Kosovo Consulate next week about Norwalk potentially becoming a 'Sister City' to a city in Kosovo. This could open up international business and trade opportunities for Norwalk and our businesses.
- Rowat Cut Stone development agreement will be considered by Council on April 6th for a high quality jobs grant. Company purchased 369 Hakes Dr. and will provide 11 jobs.

- Woodgrain Millwork Co. development agreement process will begin on April 6th city council meeting for abatement grant and high quality jobs grant. They are purchasing 27 acres of the Certified Site to build a 135,000 SF facility expandable to 160,000 SF and employ 74-115 high quality jobs.
- Collective efforts underway to complete and submit RISE grant application to pave Delaware St. which border the Certified Site. Due April 7th. This would pay for a majority of the road.
- Company M - (project stallion) a 250k SF new food packaging facility. 250+ jobs- *Company wants to come to Norwalk, we are trying to determine where they could locate and how to handle water needs- Still in progress....*
- Cobblestone Hotel- *Still working on land options- meeting with CBRE/Hubbell in next few weeks to discuss.*
- Downtown Improvement Plan- Will begin working with Iowa Architectural Foundation and WCEDC this spring/summer to design a plan for downtown beautification and grant application process.