



**AGENDA**  
**PLANNING AND ZONING MEETING**  
**Norwalk City Hall, 705 North Ave**  
**Monday, October 10, 2016**  
**5:45 P.M.**

1. Call meeting to order at 5:45 P.M.
2. Approval of Agenda
3. Approval of Minutes – September 12, 2016
4. Chairperson – Welcome of Guests
5. Public Comment – 3-minute limit for items not on the agenda (No action taken)
6. New Business
  - a. Public hearing and consideration of an amendment to the City's Comprehensive Plan for the update to the Land Use Chapter
  - b. Public hearing and consideration of an amendment to the City's Comprehensive Plan to adopt the SubArea 1 Master Plan
  - c. Public hearing and consideration of an amendment to the City's Comprehensive Plan for an update to Trails section of the Comprehensive Plan
  - d. Request from United Properties to approve the Site Plan for Lot 3 of the Marketplace at Echo Valley
  - e. Request from United Properties to approve the Mercy Clinic Site Plan for Lot 4 of the Marketplace at Echo Valley
  - f. Discussion on potential amendments to the parkland dedication section of the City's Subdivision Ordinance
7. Staff Development Update
8. Future Business Items
  - a. Legacy 20 Final Plat
  - b. Edencrest Assisted Living Facility Site Plan
  - c. Sign Ordinance Review
  - d. Parkland Dedication Amendment
  - e. R-F District Rezoning
9. Next Meeting Date: October 24, 2016
10. Adjournment

## REGULAR NORWALK PLANNING AND ZONING MEETING 9-12-2016

### **Call to order**

The Regular Meeting of the Norwalk Planning and Zoning Commission was held at the Norwalk City Hall, 705 North Avenue, Monday, September 12, 2016. The meeting was called to order at 5:47 p.m. by Acting Chairperson John Fraser. Those present at roll call were, Donna Grant, John Fraser, Elizabeth Thompson, and Brandon Foldes. Absent: Jim Huse, and Judy McConnell.

Present was City Council liaison Stephanie Riva.

Staff present included: Wade Wagoner, Planning & Economic Development Director and Luke Parris, City Planner.

### **Approval of Agenda – 16-55**

*Motion by Thompson and seconded by Grant to approve the agenda as presented. Approved 4-0.*

### **Approval of Minutes – 16-56**

*Motion by Fraser and seconded by Thompson to approve the minutes from the August 22, 2016 meeting. Approved 4-0.*

### **Welcome of Guests**

Acting Chairperson Fraser welcomed guests present. With no one wishing to speak, the business portion of the meeting was opened.

### **New Business**

#### **Request from United Properties LLC to approve the Final Plat of the Marketplace at Echo Valley – 16-57**

Parris explained that this Final Plat would deal mostly with the 5 lots fronting Highway 28 and Marketplace Drive. The 5 lots are zoned C-2 as part of the Marketplace PUD. Single family homes are located north of the Final Plats location. Lot 1 which is labeled as C-2 will be required to have a buffer wall that is masonry which the PUD calls out for. There are single family homes and a church to the west and single family homes and a golf course to the east of the Final Plat. There is an 8' trail on the north side and 10' trail easement along Beardsley. The lots are required to be at least 20,000 square feet per regulations.

Drainage for the commercial lots will drain across the Marketplace Drive on to Outlot Y to temporary detention basins planned for that area. Permanent detention basins will be planned once Outlot Y is developed and will serve to take the runoff from those lots. Parris talked with the developer about setting up an agreement with the owners of each of the lots that they will participate in future maintenance agreements for that detention area.

There are no parkland dedication requirements for this area because they are commercial lots.

Parris said they will be examining the easement requirements for the Final Plat.

Scott McMurray, United Properties LLC, said that Outlot Y would be developed in the future and that Outlot Z would be a buffer zone for the time being.

*Motion by Foldes and seconded by Grant to approve the Final Plat for Marketplace at Echo Drive with conditions as noted.*

*Approved 4-0.*

**Request from KBK Investments LLC to approve the Final Plat of Arbor Glynn Plat 3,  
a replat of Arbor Glynn Plat 2 – 16-58**

Parris explained that this request covers two different items: a Final Plat for Arbor Glynn Plat 3 and a replat of Arbor Glynn Plat 2 that was originally approved in September, 2007. The purpose of the replat is to redraw a couple of the lot lines to change them from townhome lots to single family home lots. The existing bi-attached lots were too narrow to do single family homes so the developers requested to stretch out some of the corner lots to accommodate single family homes.

Developer spoke to the Commission and said they are carrying the same theme through the properties being discussed.

*Motion by Grant and seconded by Thompson to approve the recommendations of the staff the Final Plat of Arbor Glynn Plat 3 and the replat of Arbor Glynn Plat 2.*

*Approved 4-0.*

**Discussion on the Chapters 8-9 of Suburban Nation**

Wagoner discussed that the first 8 chapters of Suburban Nation talk about the problems of current suburban development and the suggestions to improve it. Chapters 8 & 9 dive into policies and suggestions to get development to look the way we want it to. Planners today need to reexamine the way the process works for when developers bring in new projects by establishing a proactive permitting schedule to encourage a neighborhood development model. Lots that have so called 'McMansions' should go through a more scrutinized process than lots that want to have neighborhood development model homes. In a city such as Norwalk, we need to realize that we are going to grow and establish countryside reserves to encourage denser/walkable development. There were discussions regarding the size/price of lots, roundabouts, and trying to convince the general public to buy into the idea of implementing roundabouts.

**Staff Development Update**

Wagoner discussed that he has put in his 2 week notice.

**Future Business Items**

**Trail Plan Update – Oct. 10th P&Z and Nov. 3rd Council**

Parris informed Commission the map shows where trails should be and then the second sheet discusses how the City can fund them.

**SubArea 1 Master Plan & Future Land Use Plan – Oct. 10th P&Z and Nov. 3rd Council**

Parris said they were hoping to finish up the plans by the end of the month but they are now expecting to finish the plans by October 10<sup>th</sup>.

**R-F District Rezoning**

Was not discussed.

**Next meeting Date – September 26, 2016.**

**Adjournment – 16-59**

*Motion by Fraser and seconded by Thompson to adjourn the meeting at 6:33 P.M. Approved 4-0.*

<p style="text-align: center;"><b>CITY OF NORWALK</b> <b>REPORT TO THE NORWALK PLANNING COMMISSION</b></p>
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**ITEM:** Public hearing and consideration of an amendment to the City's Comprehensive Plan for the update to the Land Use Chapter

**MEETING DATE:** October 10, 2016

**STAFF CONTACT:** Luke Parris, AICP  
City Planner

**ISSUE:** In the summer and fall of 2015 the City received numerous rezoning requests. The staff reviews of those rezoning requests including confirming conformance with the City's Future Land Use Plan, which is a portion of the Land Use chapter of the City's Comprehensive Plan. At the time, staff found that the requests were in conformance with the Future Land Use Plans, though questions were raised about the Future Land Use Plan and if it accurately reflected the goals of the City.

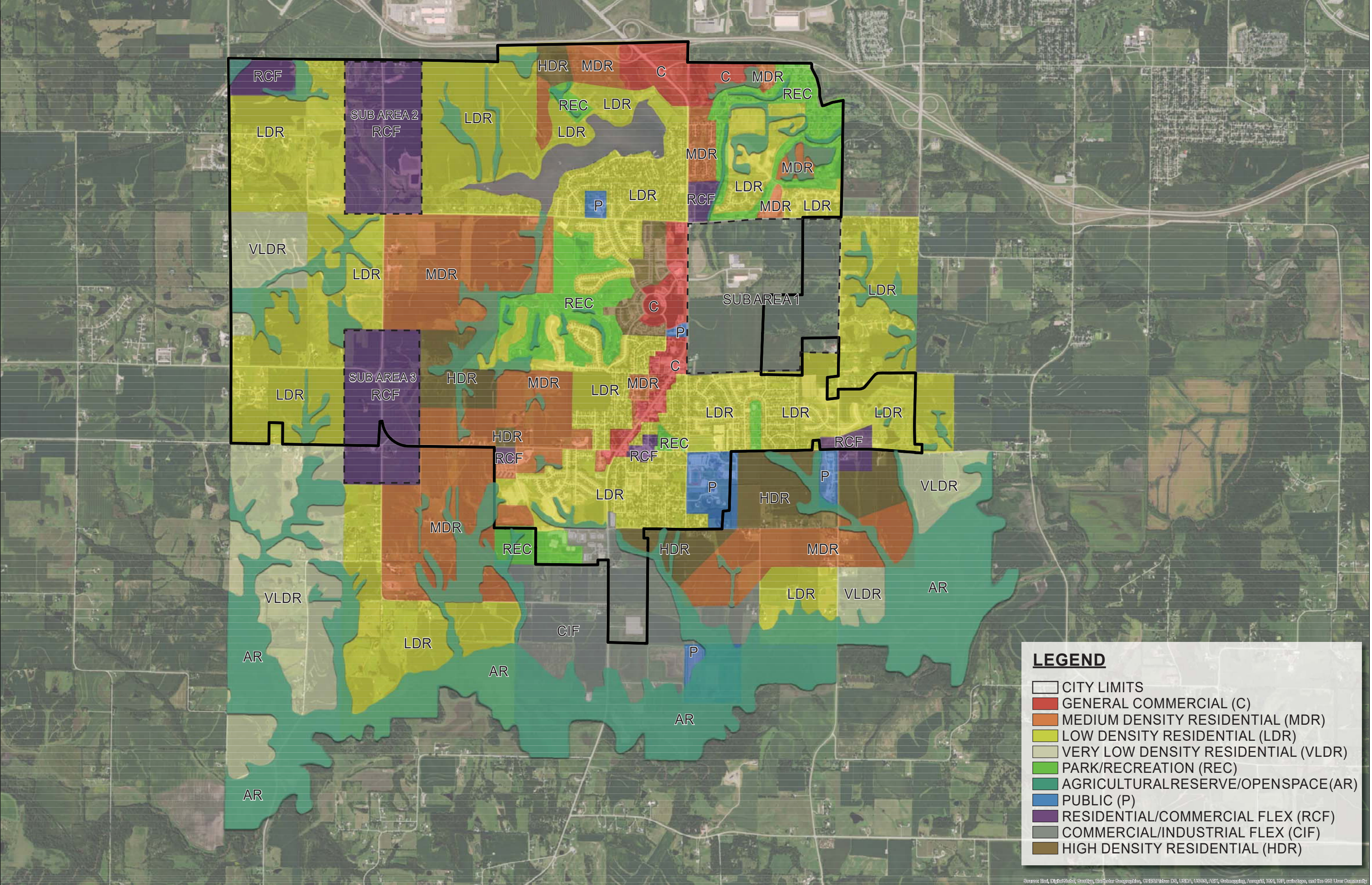
Those concerns lead the City to contract with Confluence on an update to the Land Use chapter of the Comprehensive Plan focused primarily on the Future Land Use component. Work began on the update in January of 2016 and over the next ten months, several public meetings were held and a final draft was developed.

The update revises several of the City's land use categories to provide clarification on the differences between the different densities of residential uses. The update also looked at the City's subareas, which are special development districts. A new subarea was added along the 50<sup>th</sup> Avenue corridor as a second potential entry into the community with the City of West Des Moines' Veteran's Parkway project proceeding. Lastly, the update provides several new policies to guide the development of the community, which includes a focus on new urbanism concepts.

Attachment A: Land Use Chapter Update



NORWALK FUTURE LAND USE - 2016





<p style="text-align: center;"><b>CITY OF NORWALK</b> <b>REPORT TO THE NORWALK PLANNING COMMISSION</b></p>
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**ITEM:** Public hearing and consideration of an amendment to the City's Comprehensive Plan for the SubArea 1 Master Plan

**MEETING DATE:** October 10, 2016

**STAFF CONTACT:** Luke Parris, AICP  
City Planner

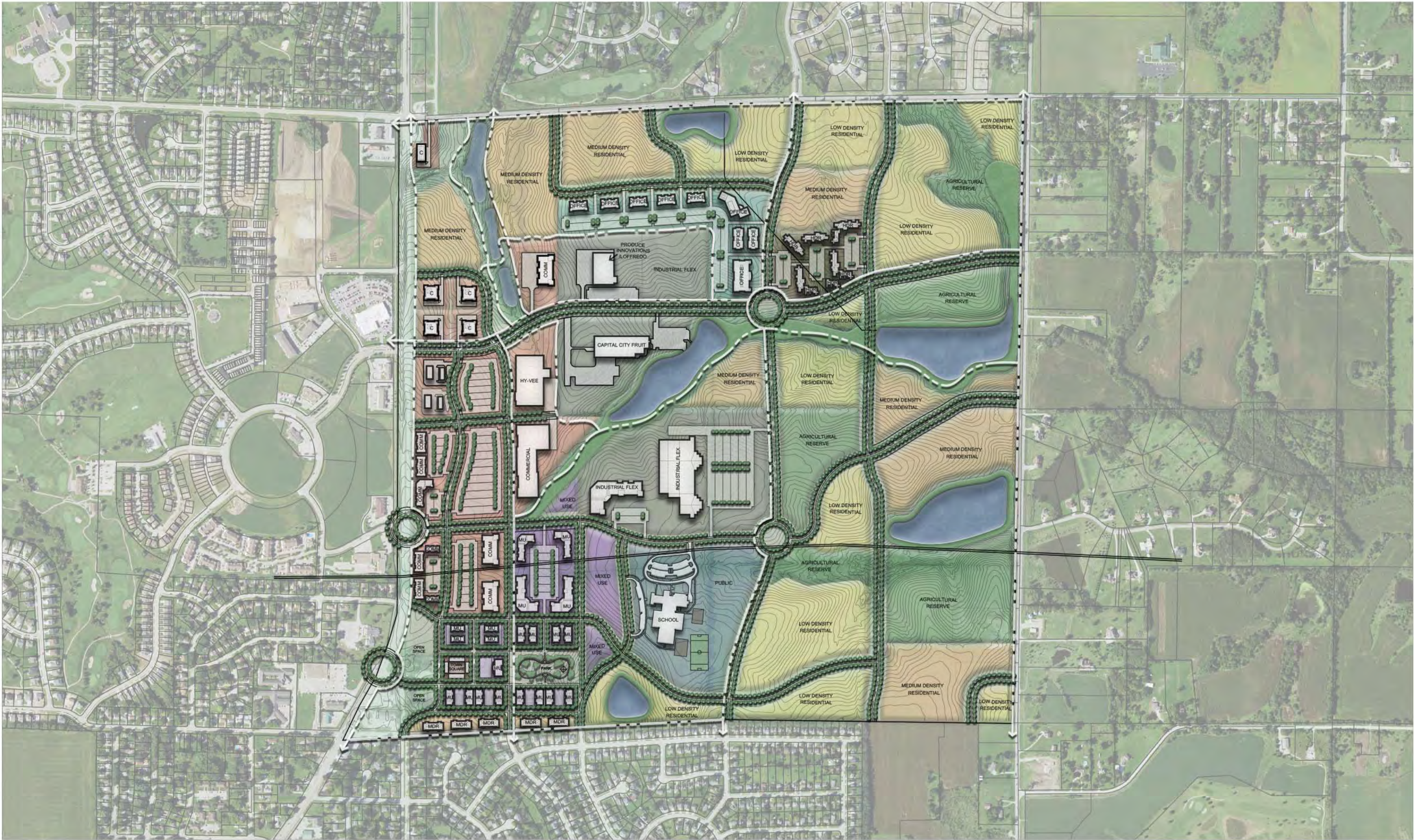
**ISSUE:** The City's 2013 Comprehensive Plan identifies several subareas throughout the community that required additional planning and thought as to their future development. The first subarea, SubArea 1, is located in the center of the City on 600 acres of ground to the east of Iowa Highway 28. The Comprehensive Plan called for this area to include a newer, more welcoming downtown center with surrounding development that utilized new urbanism concepts to create a pedestrian friendly environment. In the fall of 2013, the City applied for, and received a \$37,500 grant from the Des Moines Area Metropolitan Planning Organization to develop a master plan for SubArea 1.

The grant money became available in the fall of 2015, and in January 2016, the City hired Confluence to assist in the development of the SubArea 1 Master Plan. The City staff teamed with Confluence on the project to provide additional resources while writing the plan. Confluence's consultant team held individual meetings with each of the landowners within the SubArea to understand their desires and concerns for the development of their property. Several public meetings were held to gather public input and final draft plan was developed.

The Master Plan includes a review of existing conditions, a land use plan for the 600 acres, a master plan of the site, vehicular and pedestrian circulation plans, design guidelines for buildings in the plan area, and a review of the public utilities needed to serve the site.

Primary focuses of the Master Plan was to create the newer downtown district while still preserving space for traditional commercial development along Iowa Highway 28. Additionally, the plan looked to provide ways to transition from existing industrial uses along Colonial Parkway to existing residential development to the north of Beardsley Street in the Echo Valley Development.





TRAILS PLAN  
NORWALK SUB AREA 1





<p style="text-align: center;"><b>CITY OF NORWALK</b> <b>REPORT TO THE NORWALK PLANNING COMMISSION</b></p>
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**ITEM:** Public hearing and consideration of an amendment to the City's Comprehensive Plan for an update to Trails section of the Comprehensive Plan

**MEETING DATE:** October 10, 2016

**STAFF CONTACT:** Luke Parris, AICP  
City Planner

**ISSUE:** In 2014 the City received a grant from Prairie Meadows to review the trails component of the 2013 Comprehensive Plan with a specific focus on determining a preferred alternative to connect the community to the Great Western Trail. RDG Planning & Design was hired to review the location of trails in the City and develop alternatives to connecting with the Great Western Trail. Ultimately, a draft trail plan was developed with a preferred connection along Beardsley and 50<sup>th</sup> Avenue to the Great Western Trail. That trail plan was reviewed by the Planning and Zoning Commission and the City Council, both of which had concerns over the location of a trail along Iowa Highway 28 and the plan for implementing the trail system.

Staff took the draft trail plan from RDG and modified it to remove trails that were seen as not feasible. Additionally, staff classified trails into those that are currently existed, those identified in current city plans, and those proposed for future development. To assist in implementation, staff developed a second map that identified which entities would be responsible for the construction of the various trails. This primarily fell to City responsible trails along major corridor and developer responsible trails in undeveloped land throughout the City.





Figure 6.13:  
Regional Trails Map – Responsible Entities

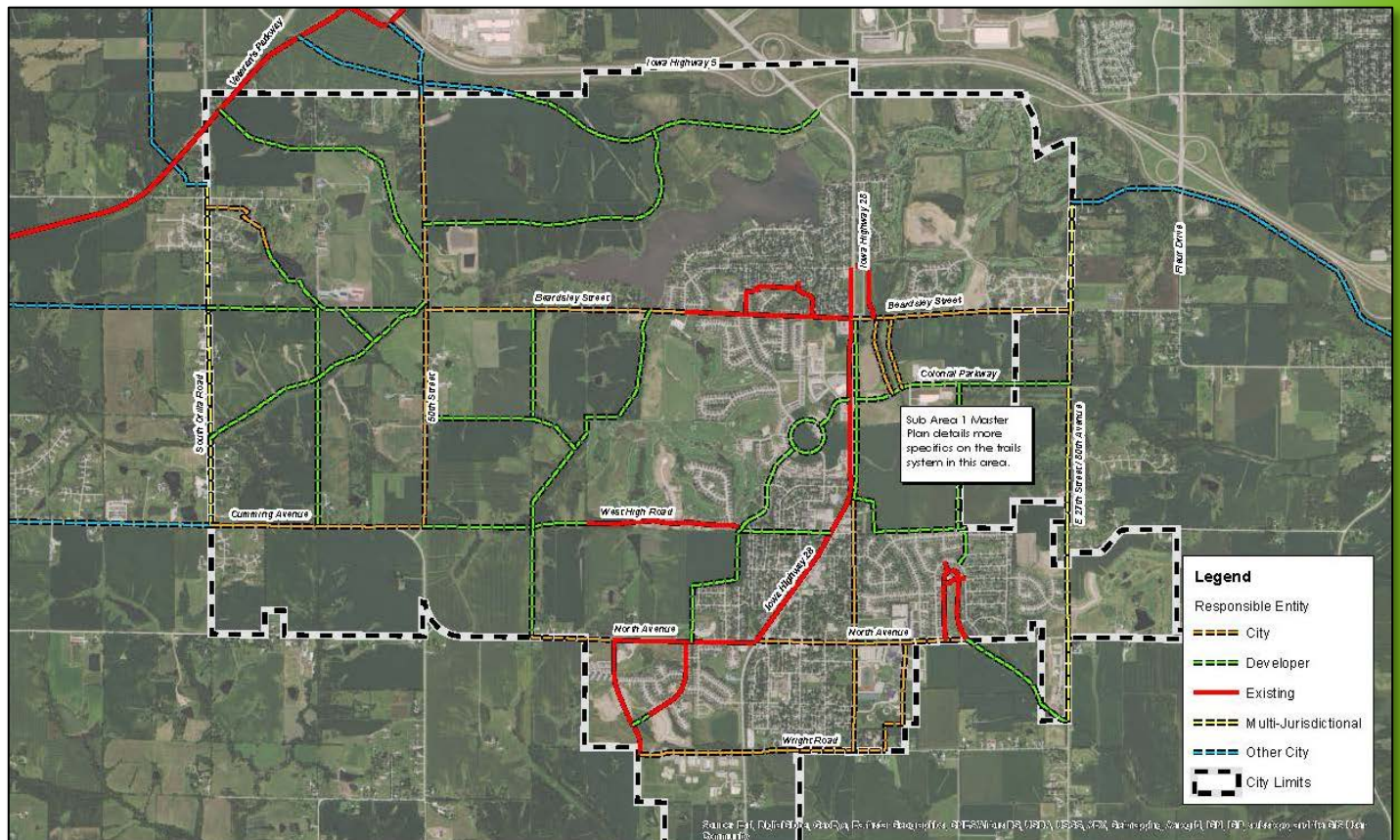


Figure 6.13 depicts the intended trail system for the City of Norwalk and assigns the entity responsible for the development of the trail. In general, the City of Norwalk is identified as the responsible entity for the major trails along existing road corridors and any trails located in the currently developed areas of the City. Trails along the boundary of the City are identified as Multi-Jurisdictional trails that would benefit the City of Norwalk and adjacent communities. Trails outside of the City Limits are identified as Other City responsibilities. It should be noted that the trail system in other communities may change through their own planning efforts. Lastly, trails through undeveloped ground are identified as the responsibility of the developer that will develop the ground. The developer responsible trail locations are intended to be approximate. For these trails, the City would require a trail through the area that followed planned streets or greenways and connected with the greater trail system.

<p style="text-align: center;"><b>CITY OF NORWALK</b> <b>REPORT TO THE NORWALK PLANNING COMMISSION</b></p>
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**REQUEST:** Request from United Properties to approve the Site Plan for Lot 3 of the Marketplace at Echo Valley

**MEETING DATE:** October 10, 2016

**STAFF CONTACT:** Luke Parris, AICP  
City Planner

**APPLICANT(S):** United Properties LC      Civil Design Advantage, LLC  
4521 Fleur Drive, Suite C      34-5 SE Crossroads Dr. Suite G  
Des Moines, Iowa 50321      Grimes, Iowa 50111

**GENERAL DESCRIPTION:** This request is for the development of two multi-tenant buildings, each with space for 4 units. The site is zoned C-2 as part of the Echo Valley Community PUD. The development is on lot 3 of the Marketplace at Echo Valley. The site would be developed in phases, with the southern building and parking lot being phase 1 and the northern building being phase 2.

**IMPACT ON NEIGHBORHOOD:** This site plan is the first in the Marketplace at Echo Valley. The rest of the Marketplace at Echo Valley is undeveloped, except for a recently submitted plan for a Clinic in the area. Adjacent uses across Iowa Highway 28 to the west are single family homes that back up to the Highway and the New Life Lutheran Church that should not be impacted by the development.

**VEHICULAR & PEDESTRIAN TRAFFIC:** The site has access to the newly developed Marketplace Drive via a northern access driveway and a southern access driveway that is shared with the proposed Clinic site to the south. Phase 1 of the development would see construction of the northern access driveway and an access road, with associated parking, to provide access to the southern building. The joint access with the Clinic would be constructed as part of the development of the Clinic site, though it is anticipated that the projects will be built simultaneously.

Internally, the site provides access roads around both buildings. Cross access is provided via driveway stubs on both the north and south end of the site. A drive-thru lane is provided on the north-end of the southern building.

Sidewalks are provided throughout the site to provide pedestrian access. A sidewalk ramp is shown near the

northern access driveway that provides access to the trail on the east side of Marketplace Drive. A second sidewalk ramps is shown on the Clinic site to the south that would provide an additional crossing point to the trail on the east side of Marketplace Drive.

**PARKING:**

The City's parking standards requires 1 parking space for every 200 square feet of building footprint for a multi-tenant shopping center. On this site, 70 spaces would be required and 130 space are actually provided. The parking standards also require a minimum of 5 handicap parking spaces. The site plan identifies 5 handicap spaces and shows their locations.

For drive-thru lanes, the City's parking standards require space for 11 cars to queue in line, with 5 of them being in front of the ordering station. The parking standards also require that queuing from the drive-thru lane cannot block any designated parking spaces. The site plan provides the require space for 11 cars in queue with 5 in front of the ordering station, however, some of the cars in queue would block designated parking spaces. The applicant is request a waiver of this requirement as part of site plan approval.

**OPEN SPACE &  
LANDSCAPING:**

Site zoned C-2 Commercial are required to maintain a minimum of 25% of the site as open space. For this site, 34% (31,901 square feet) of the land is maintained as open space.

For landscaping, the site is required to provide 16 trees and 24 shrubs. The site provides 16 trees and 36 shrubs.

**SIGNAGE:**

The site plan shows a monument sign located along Iowa Highway 28 that is 13.3 feet from the lot line. This exceeds the required minimum setback of 10 feet for a monument sign. Further details on signage will be reviewed by City staff through the sign permitting process.

**ARCHITECTURAL  
STANDARDS:**

The City's architectural standards require that buildings in the C-2 district be composed of 75% class 1 or class 2 materials, no more than 25% class 3 materials, and no more than 10% class 4 material.

The site plan includes building elevations that identify materials to be used on the building façade. Class 1 and Class 2 materials identified are glass, brick, and stone on each exterior elevation, all of which meet or exceed the 75% requirement. Water managed EIFS is identified as a class 3 material on each external elevation, all of which do not exceed the 25% requirement.



**DRAINAGE:**

The site includes an on-site system to collect storm water runoff from the parking and building. The City Engineer has reviewed the system and determined that it is sized appropriately. The system collects storm water and discharges off-site to the east onto the undeveloped Outlot X of the Marketplace at Echo Valley where it is detained in temporary detention basins. Staff raised concerns about this process and the developer has proposed the following solutions to be implemented as a maintenance agreement to be filed with the final plat:

- Use the existing temporary basins as-is to meet the detention requirements for Lots 3 & 4.
- Calculations show the volume of detention required is equivalent to the volume provided in the temporary basins even though there is not a direct relationship of the drainage areas from the lots to each of the basins (volume is provided regardless of where the storm water is derived). So – no additional calculations are required as long as the following is done:
- United Properties will maintain these basins until other arrangements are made, i.e. development of Outlot 'X'.
- If Outlot 'X' is not developed within 10 years – United Properties shall convert these temporary basins into permanent detention basins.
- If lots 1, 2, or 5 are developed before Outlot 'X' they would need to prepare additional detention calculations and increase the temporary basin volumes or add additional temporary basins or convert to permanent basins.
- All temporary basins shall be converted to permanent detention basins that meet City requirements no later than October 2026.

**UTILITIES: WATER,  
SANITARY SEWER,  
STORM SEWER.**

Adequate services are provided to the site and detailed on the site plan.

**STAFF ANALYSIS:**

Overall the site plan meets or exceeds the City's requirements for development of a C-2 parcel. The applicant has requested a waiver of the requirement that a drive-thru queue line cannot block a designated parking space. It is staff opinion that this waiver should be granted as part of the site plan approval. The site is only required to provide 70 parking spaces and the applicant is proposing nearly double the spaces, so staff is not concerned about creating spaces that are not usable. Additionally, any spaces blocked by the queue line would be at the end of the queue line, resulting in rare instances when a full queue line would block a space, which would be cleared rather quickly.

The staff also raised concerns over the temporary detention basin on Outlot X. The developer proposed several measures that addressed the staff concerns. Staff is comfortable with the solution as long as the proper agreement is filed with the Final Plat of the Marketplace at Echo Valley.

**STAFF  
RECOMMENDATION:**

Therefore, staff recommends that the request for the Site Plan for Lot 3 of the Marketplace at Echo Valley be approved with the following conditions:

- That the parking requirement for drive-thru lanes blocking parking spaces is waived.
- That the final plat approval includes the necessary agreements to implement the developer solution to the temporary drainage basins.
- That the site development and building construction follow all City code regulations.
- That any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council.

SITE PLAN FOR:  
**LOT 3 - MARKETPLACE @ ECHO VALLEY**

NORWALK, IOWA  
INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DIMENSION PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED

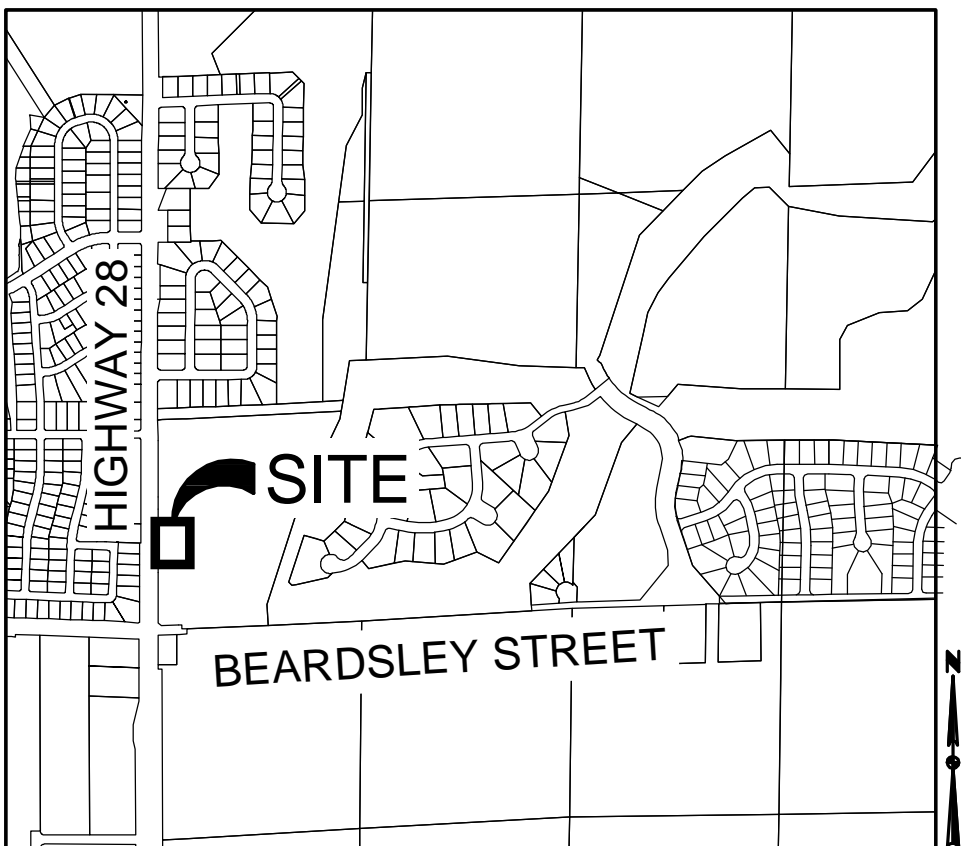
PROJECT BOUNDARY	_____
LOT LINE	_____
SECTION LINE	_____
CENTER LINE	_____
RIGHT OF WAY	---R/W---
PERMANENT EASEMENT	---P/E---
TEMPORARY EASEMENT	---T/E---
TYPE SW-501 STORM INTAKE	
TYPE SW-503 STORM INTAKE	
TYPE SW-505 STORM INTAKE	
TYPE SW-506 STORM INTAKE	
TYPE SW-513 STORM INTAKE	
TYPE SW-401 STORM MANHOLE	
TYPE SW-402 STORM MANHOLE	
TYPE SW-301 SANITARY MANHOLE	
STORM/SANITARY CLEANOUT	
WATER VALVE	
FIRE HYDRANT ASSEMBLY	
SIGN	
DETECTABLE WARNING PANEL	
STORM SEWER STRUCTURE NO.	
STORM SEWER PIPE NO.	
SANITARY SEWER STRUCTURE NO.	
SANITARY SEWER PIPE NO.	
SANITARY SEWER WITH SIZE	8"S
SANITARY SERVICE	S-S-S
STORM SEWER	ST-ST
STORM SERVICE	ST-ST
WATERMAIN WITH SIZE	8"W
WATER SERVICE	W-W
SAWCUT (FULL DEPTH)	
SILT FENCE	

EXISTING

SANITARY MANHOLE	
WATER VALVE BOX	
FIRE HYDRANT	
WATER CURB STOP	
WELL	
STORM SEWER MANHOLE	
STORM SEWER SINGLE INTAKE	
STORM SEWER DOUBLE INTAKE	
FLARED END SECTION	
ROOF DRAIN/ DOWNSPOUT	
DECIDUOUS TREE	
CONIFEROUS TREE	
DECIDUOUS SHRUB	
CONIFEROUS SHRUB	
ELECTRIC POWER POLE	
GUY ANCHOR	
STREET LIGHT	
POWER POLE W/ TRANSFORMER	
UTILITY POLE W/ LIGHT	
ELECTRIC BOX	
ELECTRIC TRANSFORMER	
ELECTRIC MANHOLE OR VAULT	
TRAFFIC SIGN	
TELEPHONE JUNCTION BOX	
TELEPHONE MANHOLE/VAULT	
TELEPHONE POLE	
GAS VALVE BOX	
CABLE TV JUNCTION BOX	
CABLE TV MANHOLE/VAULT	
MAIL BOX	
BENCHMARK	
SOIL BORING	
UNDERGROUND TV CABLE	TV
GAS MAIN	G
FIBER OPTIC	FO
UNDERGROUND TELEPHONE	T
OVERHEAD ELECTRIC	OE
UNDERGROUND ELECTRIC	E
FIELD TILE	TILE
SANITARY SEWER W/ SIZE	8"S
STORM SEWER W/ SIZE	15" RCP
WATER MAIN W/ SIZE	8"W

VICINITY MAP

NOT TO SCALE



LEGAL DESCRIPTION

LOT 3, MARKETPLACE AT ECHO VALLEY, IN THE CITY OF NORWALK, WARREN COUNTY, IOWA

ZONING

ECHO VALLEY COMMUNITY PLANNED UNIT DEVELOPMENT  
PARCEL J - C-2

PROPOSED USE

MULTI-TENANT SHOPPING CENTER WITH ±8 UNITS.

PROJECT SITE ADDRESS

9401 MARKETPLACE DRIVE (NORTH BUILDING)  
9411 MARKETPLACE DRIVE (SOUTH BUILDING)

DEVELOPMENT SUMMARY

AREA: 2.17 ACRES (94,593 SF)

MIN LOT AREA: 20,000 SF

MIN LOT WIDTH: 100'

FRONT SETBACK: 30'

SIDE SETBACK: 10'

REAR SETBACK: 10'

HEIGHT: 50'

- \* 20' MINIMUM SEPARATION BETWEEN BUILDINGS IN A COMPLEX.
- \*\* PRINCIPAL STRUCTURE MAY BE 45' IN HEIGHT BUT NOT EXCEED 3 FLOORS ABOVE GRADE.

PARKING: 1 SPACE PER 200 SF  
TOTAL REQUIRED = 70 SPACES  
TOTAL PROVIDED = 130 SPACES

DRIVE--THRU:  
11 SPACES PROVIDED FOR DRIVE--THRU WINDOW, 5 OF WHICH ARE LOCATED AHEAD OF THE ORDER STATION. SPACES MAY ENCROACH PRIVATE DRIVES.

NOTES

1. NO LOTS SHALL HAVE DIRECT ACCESS TO HIGHWAY 28 OR BEARDSLEY STREET.
2. ANY USE OF A PUBLIC UTILITY EASEMENT BY A PARTY OTHER THAN THE CITY OF NORWALK IS SUBORDINATE TO THE CITY'S USE OF THE EASEMENT FOR A DESIGNATED CITY UTILITY PURPOSE. ANY PARTY OTHER THAN THE CITY USING THE PUBLIC UTILITY EASEMENT MUST RELOCATE THEIR FACILITIES AT NO COST TO THE CITY TO ACCOMMODATE THE CITY'S USE OF ITS DESIGNATED UTILITY.



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



OWNER / APPLICANT

UNITED PROPERTIES INVEST CO LC  
C/O MICHAEL COPPOLA  
4521 FLEUR DRIVE, SUITE C  
DES MOINES, IOWA 50321

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: KEITH WEGGEN  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: MIKE BROONER  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

ARCHITECT

SIMONSON & ASSOCIATES ARCHITECTS, LLC  
1717 INGERSOLL AVE # 117  
DES MOINES, IOWA 50309  
PH. (515) 440-5626  
FX. (515) 440-0964

DATE OF SURVEY

SEPTEMBER, 2015

BENCHMARKS

BM#1  
BURY BOLT ON HYDRANT NE CORNER OF BEARDSLEY STREET AND MASTELLER ROAD. ELEVATION=895.14

BM#2:  
BURY BOLT HYDRANT ON WEST SIDE OF ECHO RIDGE TRAIL 500'+/- NORTH OF BEARDSLEY STREET. ELEVATION=936.02

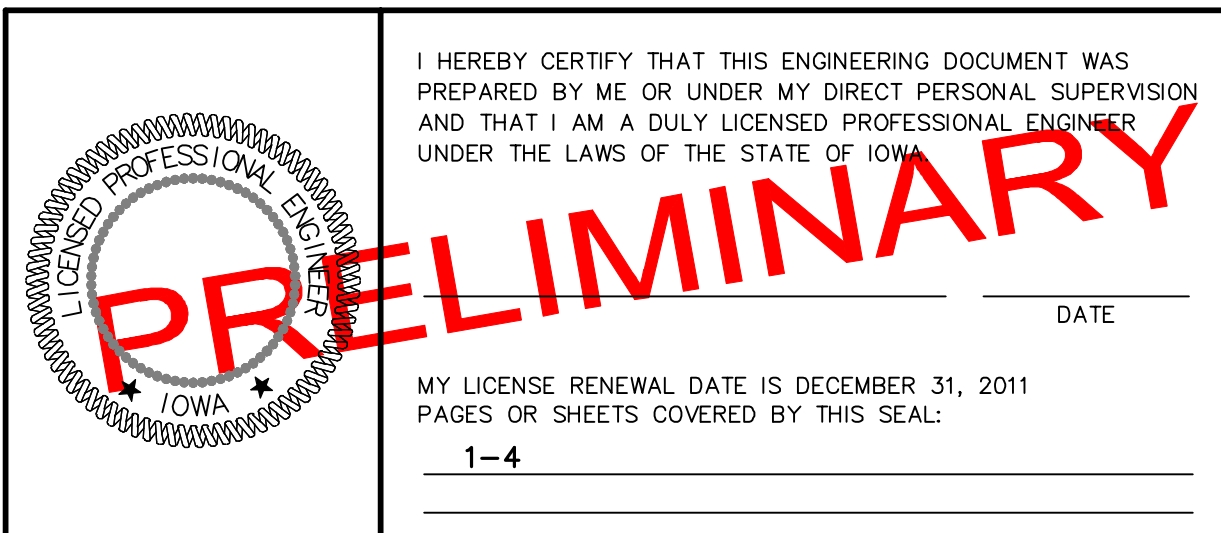
SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 9/23/16  
-SITE PLAN SUBMITTAL TO CITY #2: 10/05/16

REFER TO GEOTECHNICAL REPORT FOR GEOTECHNICAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.



LOT 3

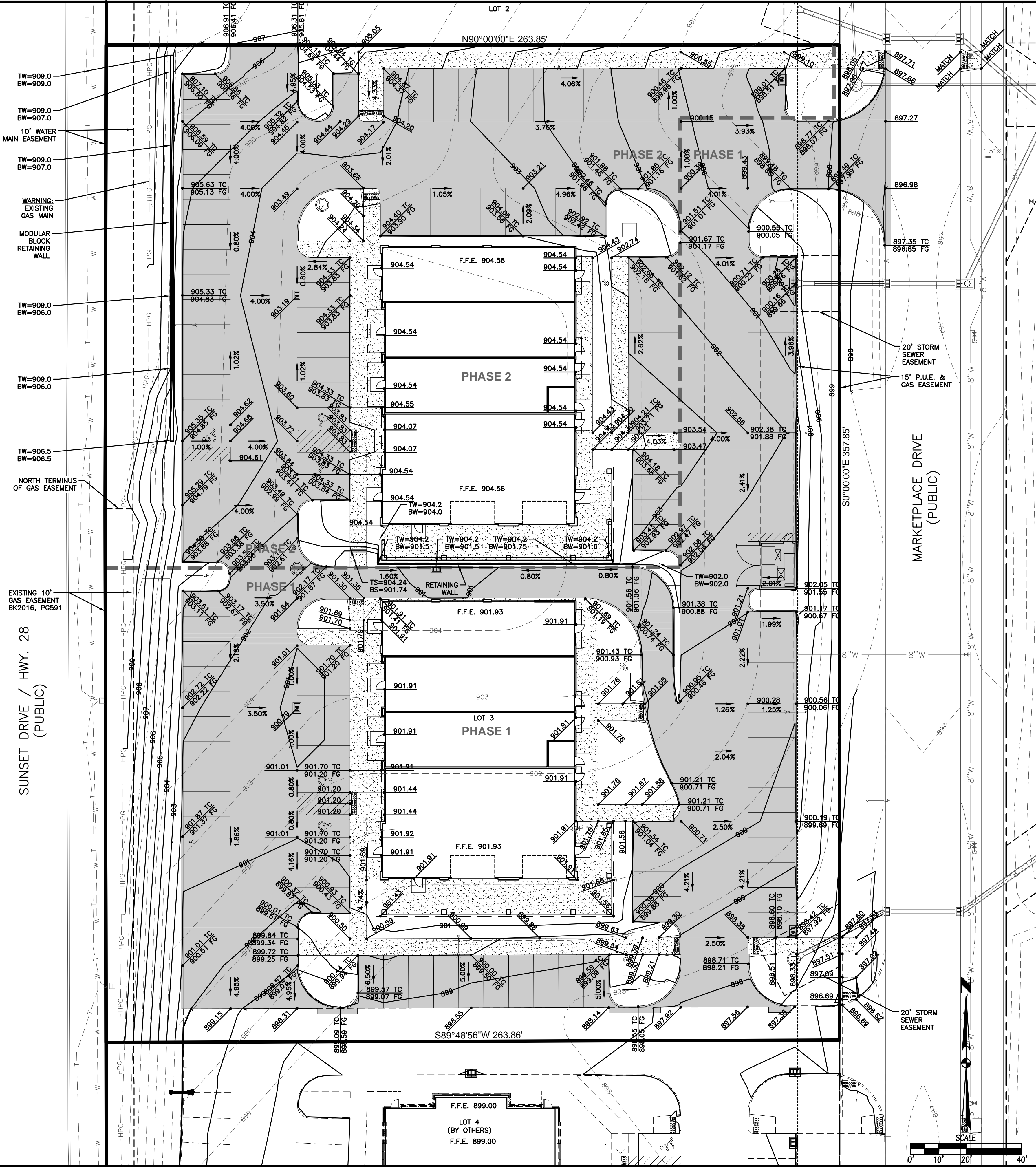






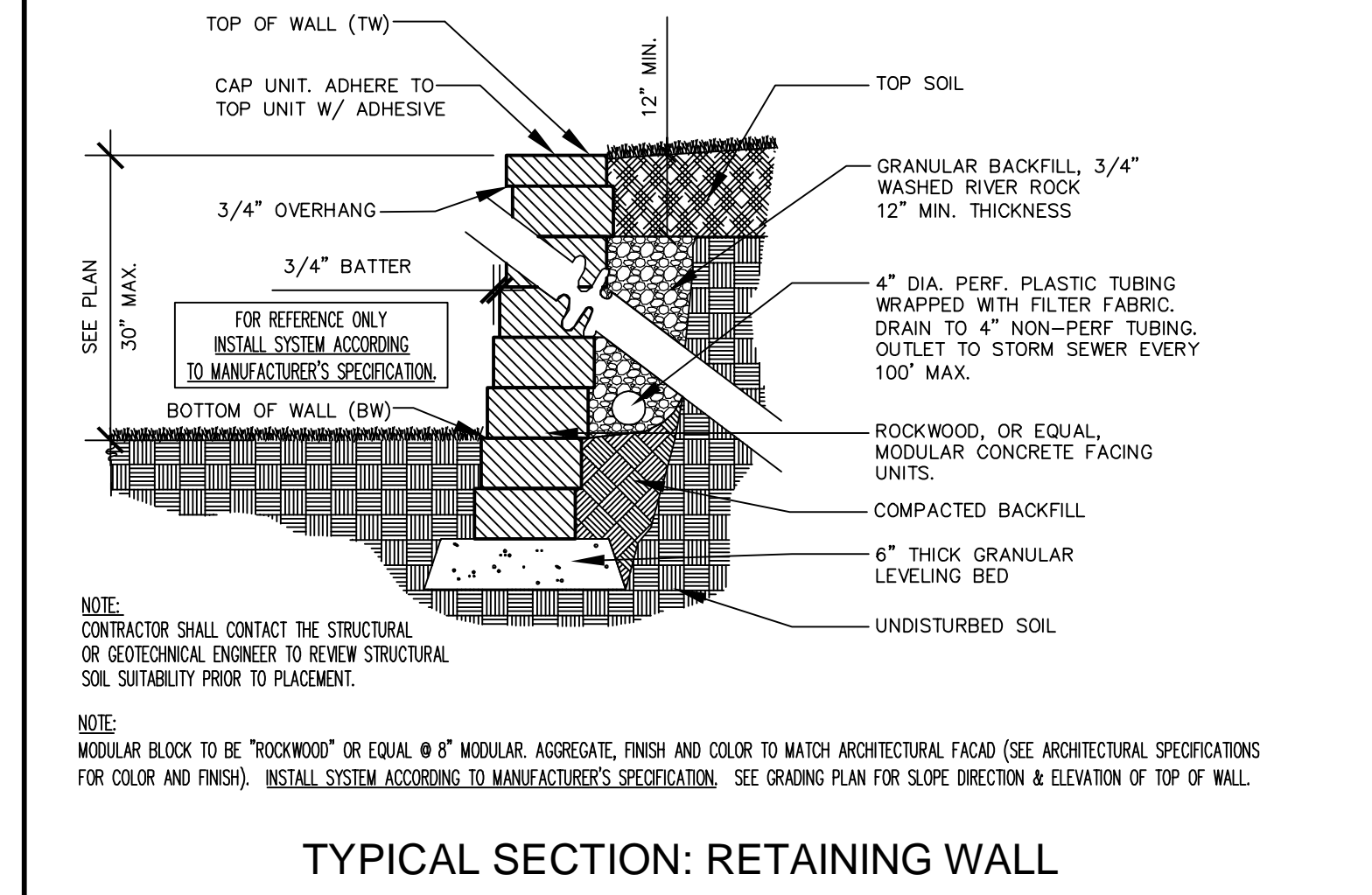
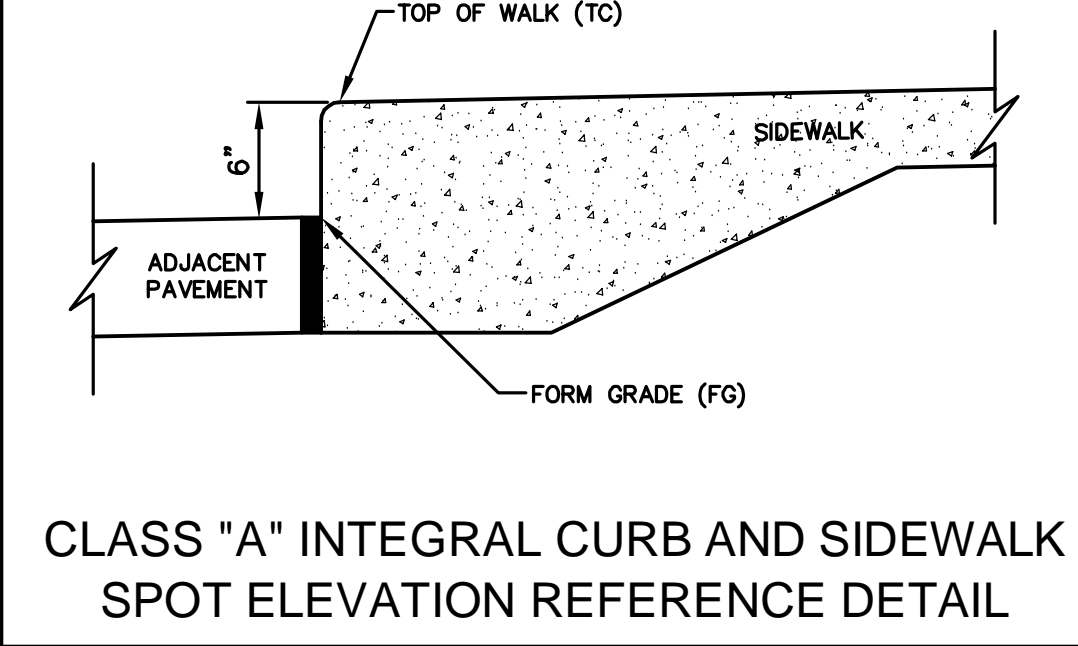
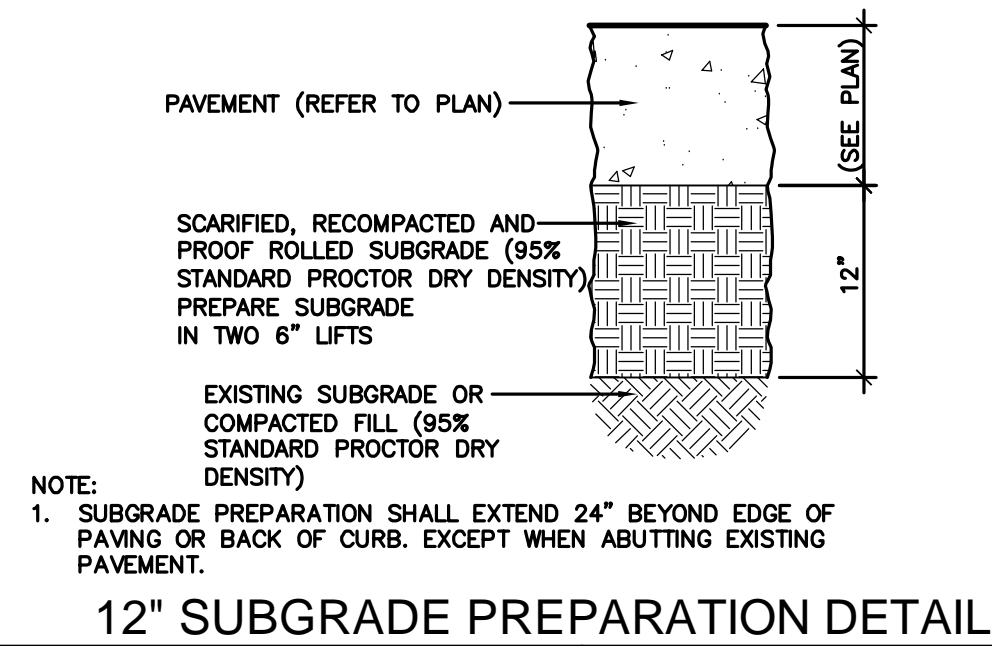
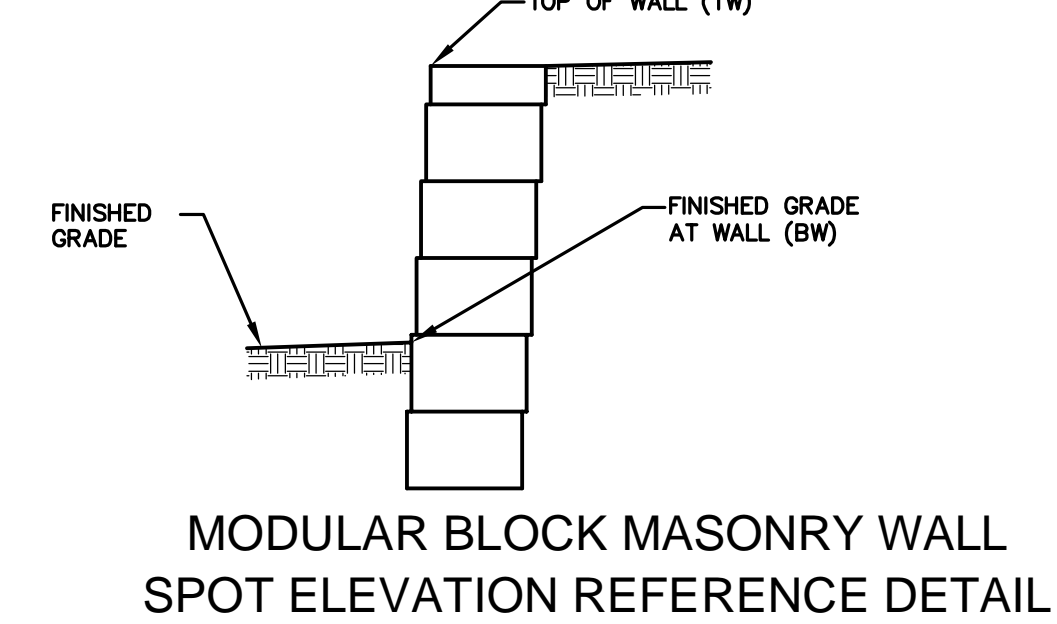
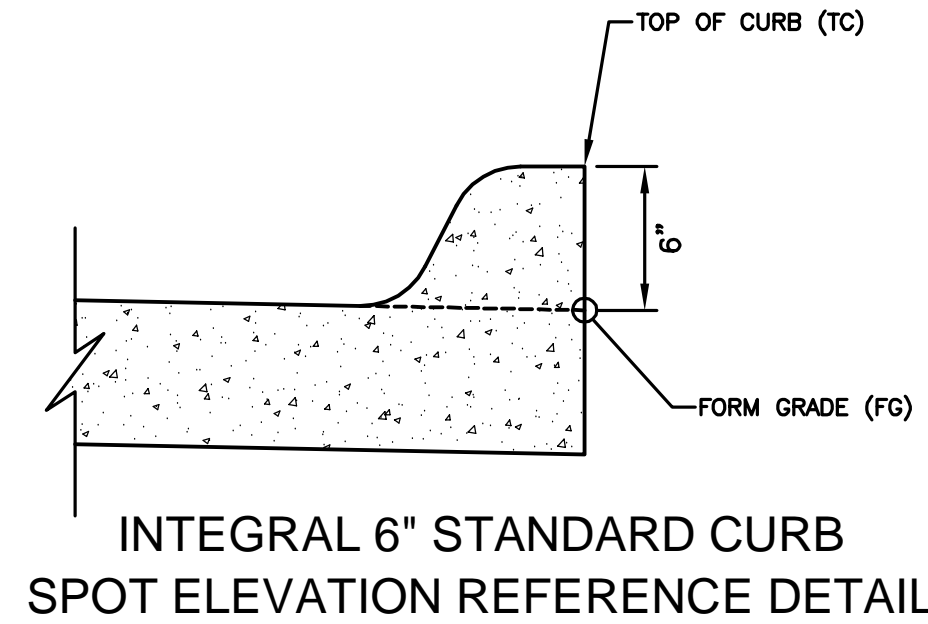
FILE: H:\2015\1507367\DWG\LOT 3 SITE PLAN\1507367-SITE LOT 3.DWG  
DATE: 10/25/2016 9:00 AM  
PLOT: 10/25/2016 9:00 AM  
PLOT: 10/25/2016 9:00 AM  
PLOT: 10/25/2016 9:00 AM

SUNSET DRIVE / HWY. 28  
(PUBLIC)



### GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2016 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.



3

5

1507367

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER:

TECH:

GRADING PLAN

CIVIL DESIGN ADVANTAGE

NORWALK, IOWA

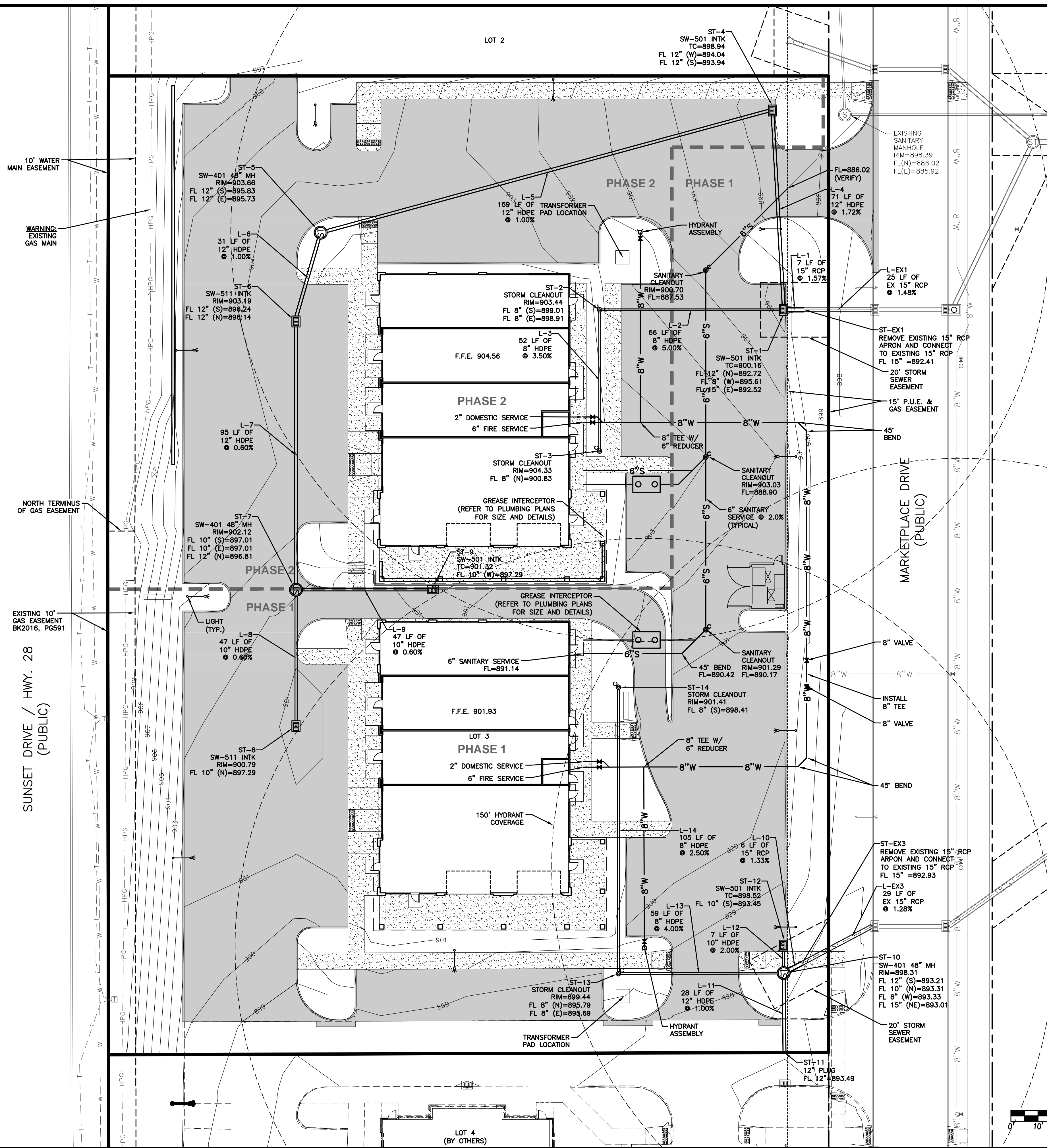
DATE	REVISIONS
10/05/16	
09/23/16	

CITY SUBMITTAL #2

CITY SUBMITTAL #1

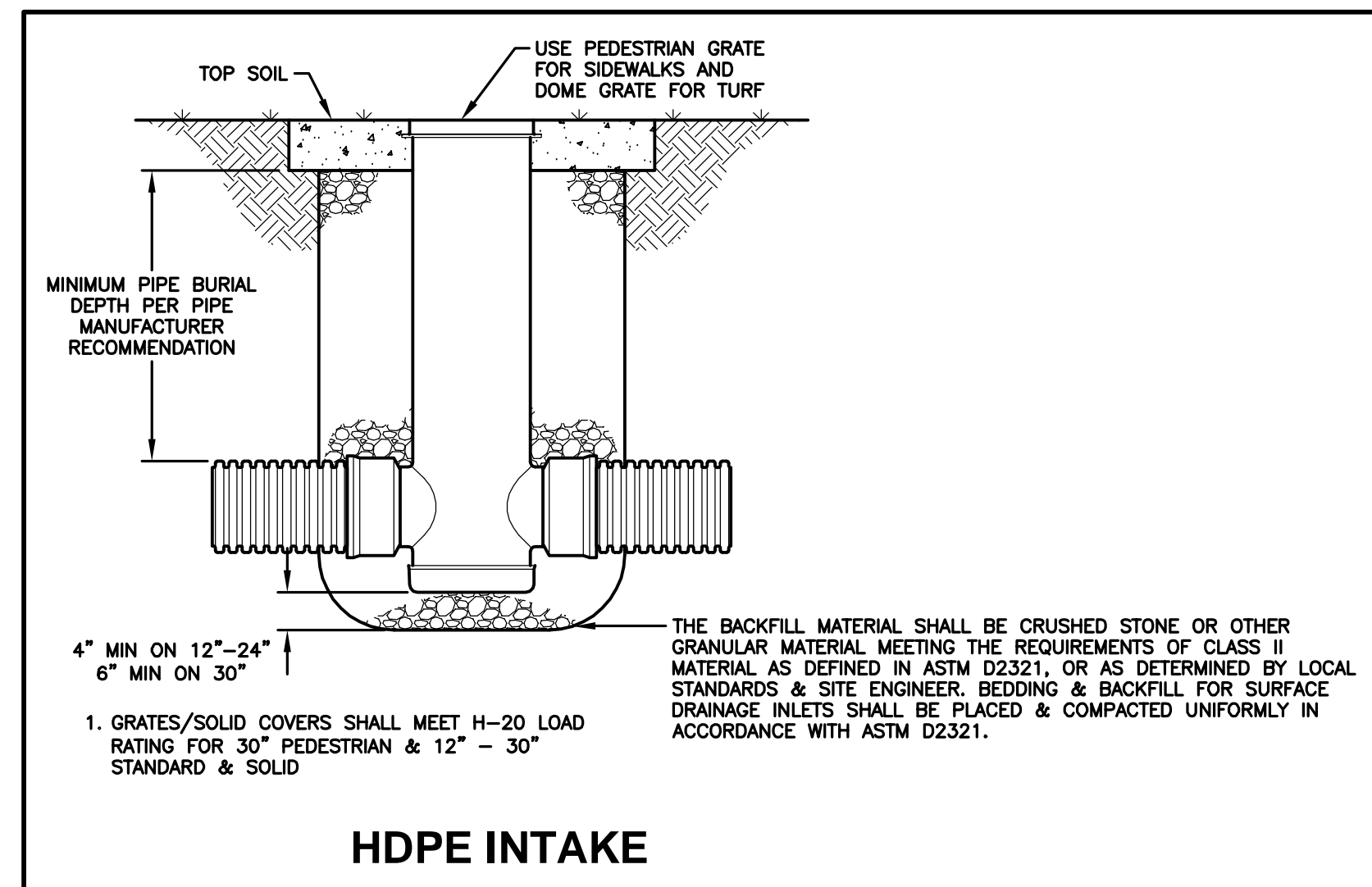


FILE: H:\2015\1507367\DWG\LOT 3 SITE PLAN\1507367-SITE LOT 3.DWG COMMENT:  
DATE: 10/25/2016 9:01 AM PLOTTED BY: JAVAN LUNDHOLM TECH



### UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMAINS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2016 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.



DATE

10/05/16

09/23/16

REVISIONS

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH:

ENGINEER:

CIVIL DESIGN ADVANTAGE

NORWALK, IOWA

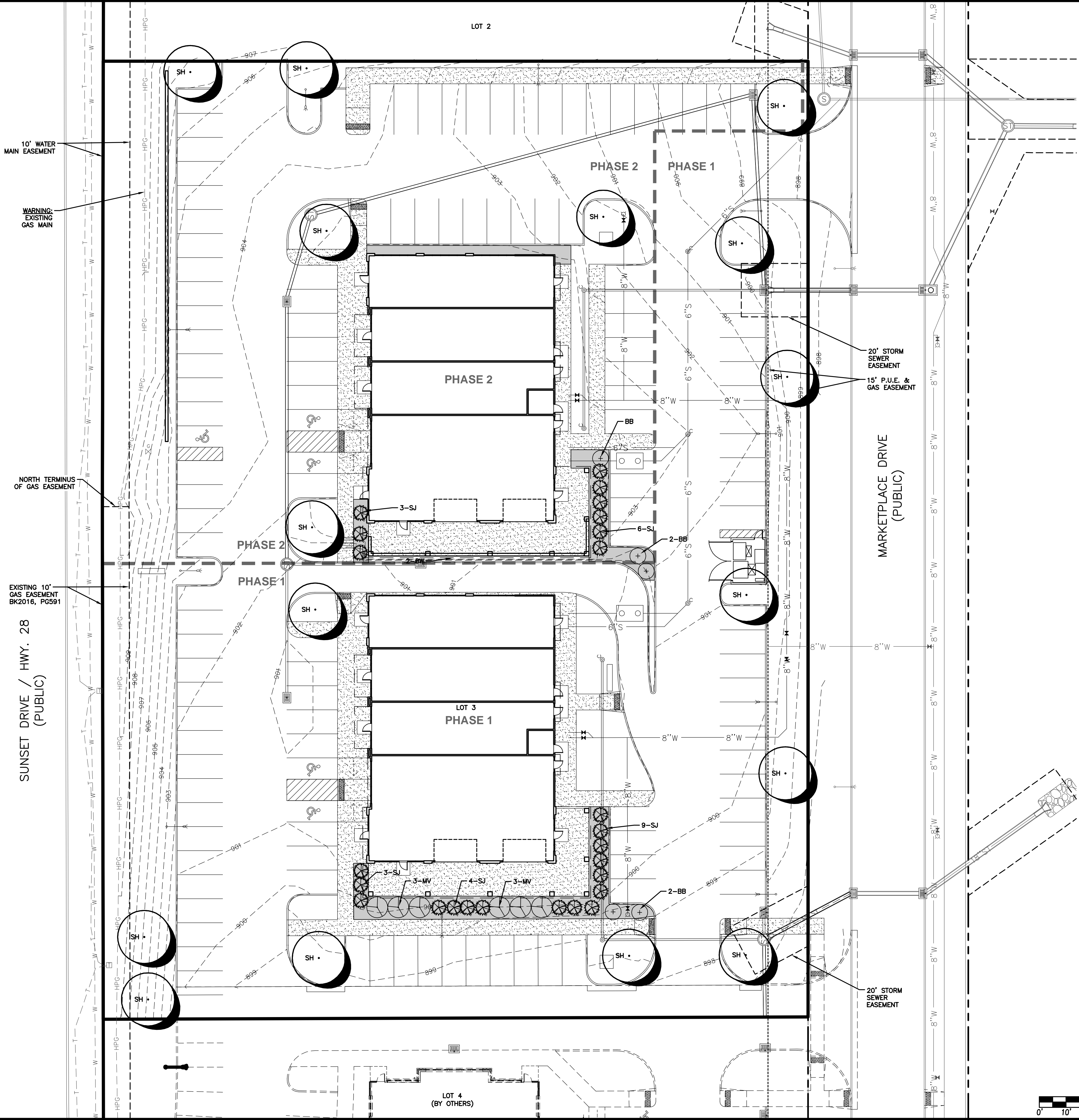
Lot 3 - Marketplace @ Echo Valley

UTILITY PLAN

4

5

1507367



### LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED (TYPE 1) OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. 2" RIVER ROCK WITH WEED BARRIER FABRIC SHALL BE PLACED IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

### LANDSCAPE REQUIREMENTS

- 1 TREE PER 1,500 SF OR REQUIRED OPEN SPACE AND  
1 SHRUB PER 1,000 SF OR REQUIRED OPEN SPACE .

#### PLANT SIZE REQUIREMENTS

- TREES:  
40% OF TREES = 2"-2.5" CALIPER  
BALANCE = 8' HEIGHT DECIDUOUS OR 6' HEIGHT CONIFEROUS

- SHRUBS:  
18" MINIMUM HEIGHT OR 1 GALLON CONTAINER

- OPEN SPACE REQUIRED = 23,648 SF (25%)  
OPEN SPACE PROVIDED = 31,901 SF (34%)  
(BUILDINGS= 14,000 SF)  
(VEHICULAR PAVEMENT=48,692 SF)

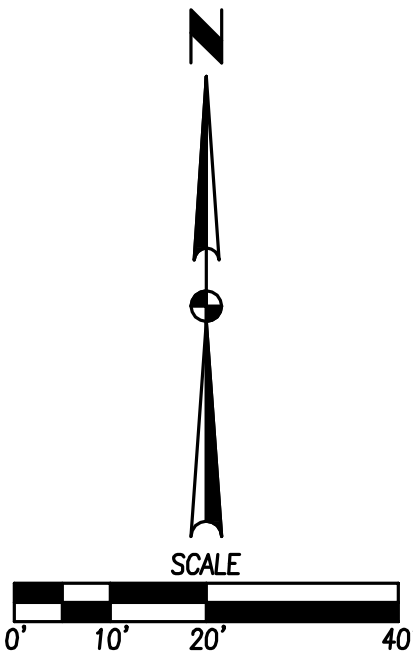
- TREES PROVIDED = 16  
SHRUBS PROVIDED = 24

- TREES PROVIDED = 16  
SHRUBS PROVIDED = 36

### PLANT SCHEDULE

CODE	QTY	OVERSTORY TREES	SIZE	COND
SH	16	SHADEMASTER HONEYLOCUST (GLEDTISIA TRICANTHAS INERMIS 'SHADEMASTER')	2" CAL	B&B

CODE	QTY	SHRUBS	SIZE	COND
BB	5	LOWARY BURNING BUSH	18" HT.	CONT
MV	6	MOHICAN YBURNUM	18" HT.	CONT
SJ	23	SEA GREEN JUNIPER	18" HT.	CONT

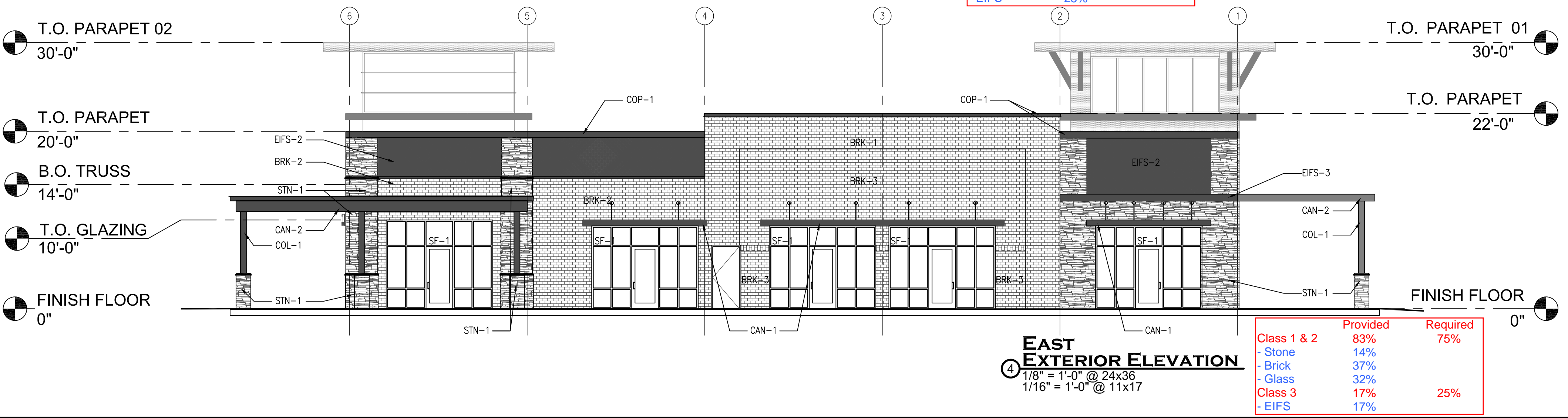
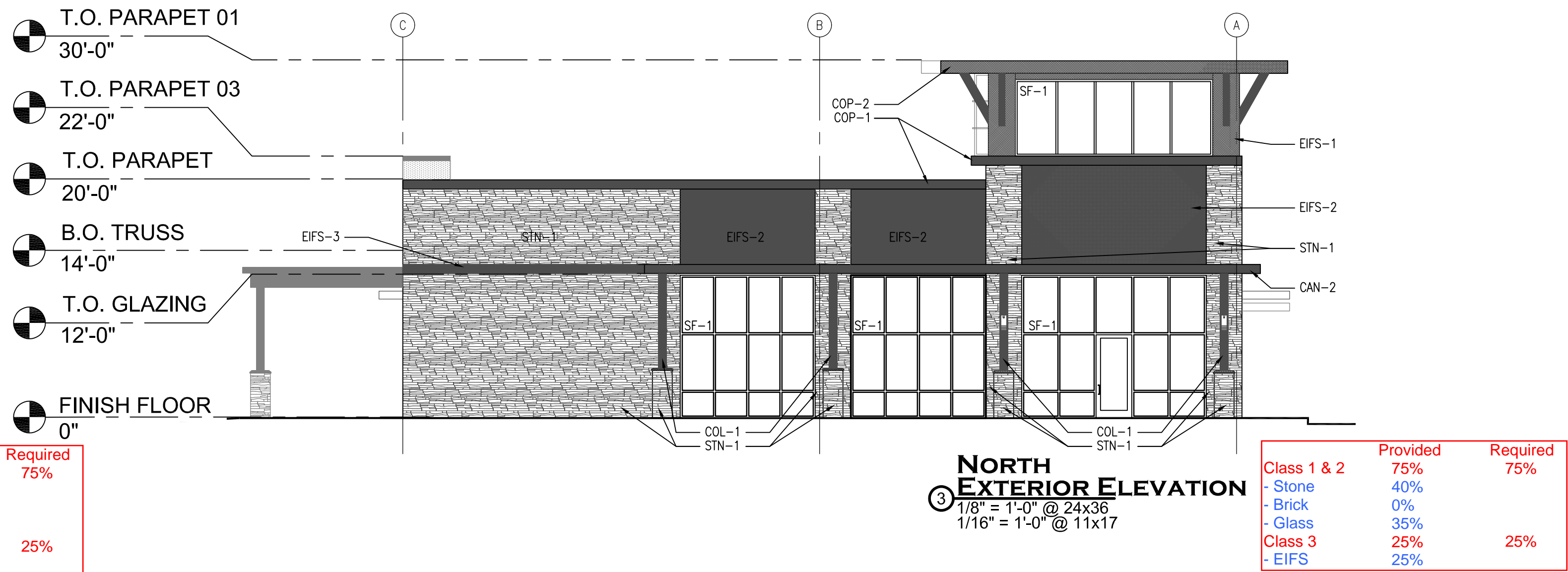
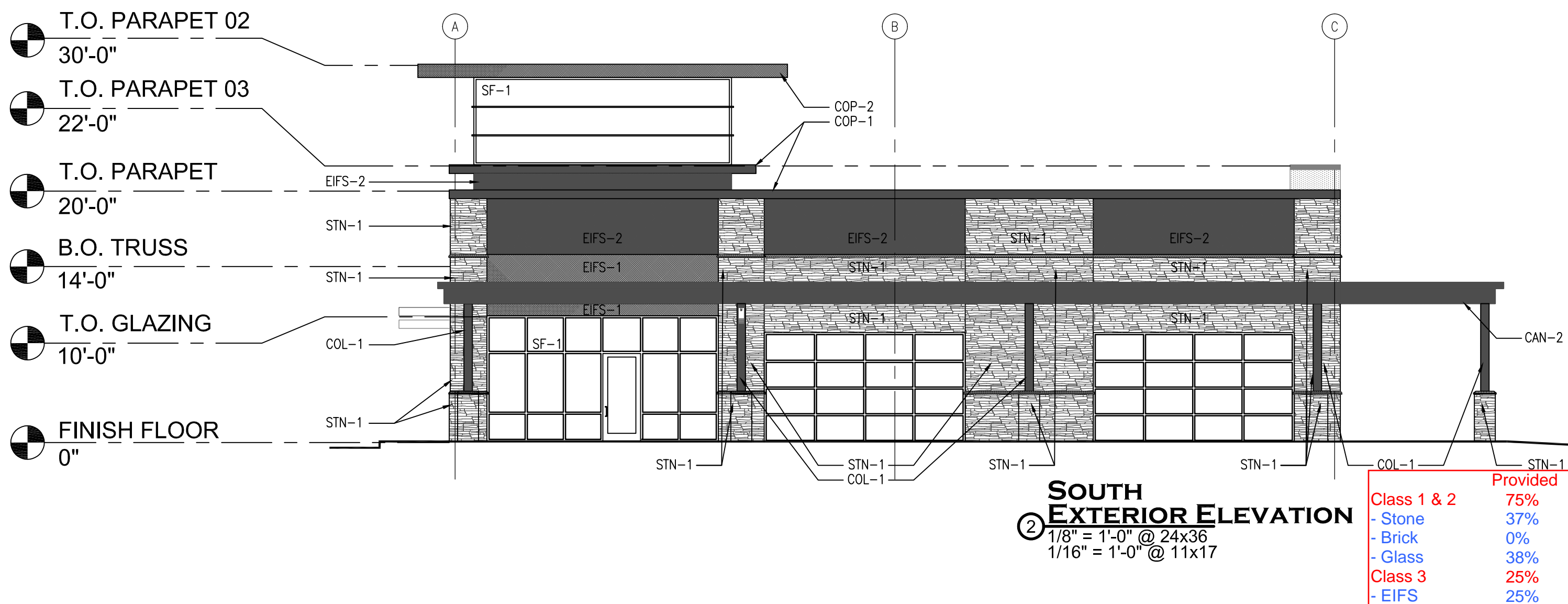
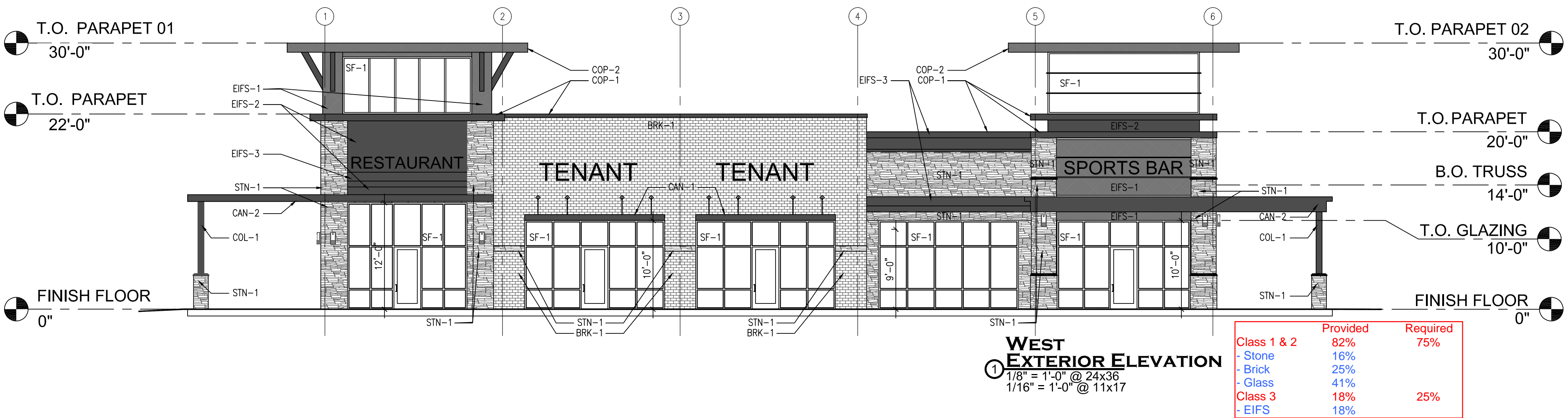




EXTERIOR MATERIAL LEGEND

MAT. LABEL	MATERIAL DESCRIPTION
CAN-1	CANOPY, PRE-FINISHED, PRE-ENGINEERED, ALUMINUM CANOPY SYSTEM (COLOR: MATTE BLACK)
CAN-2	CANOPY, WOOD FRAME CANOPY SYSTEM (COLOR: MATTE BLACK)
COP-1	METAL COPING: (COLOR: MATTE BLACK)
COP-2	METAL COPING: (COLOR: MATTE GRAY)
BRK-1	4"x4"x8" BRICK: SMOOTH, BLACK NATURAL MORTAR
BRK-2	4"x4"x8" BRICK: SMOOTH, REDDISH BROWN NATURAL MORTAR
BRK-3	4"x4"x8" BRICK: SMOOTH, BUFF NATURAL MORTAR
EIFS-1	EXTERIOR INSULATION FINISH SYSTEM: SMOOTH, BUFF (COLOR LIGHT GRAY, SPECIFIC TBD)
EIFS-2	EXTERIOR INSULATION FINISH SYSTEM: SMOOTH, BUFF (COLOR DARK GRAY, SPECIFIC TBD)
EIFS-3	EXTERIOR INSULATION FINISH SYSTEM: SMOOTH, BUFF (COLOR BLACK, SPECIFIC TBD)
SILL-1	CAST MASONRY SILL PROFILE: SMOOTH, BUFF TO MATCH STONE-1 NATURAL MORTAR
STN-1	CULTURED STONE VENEER: ROUGH FACE, GROUTED NATURAL MORTAR; COLOR TBD
STN-2	CAST STONE MASONRY: 4" DEPTH, SMOOTH, BUFF NATURAL MORTAR
SF-1	T.B. ALUMINUM STOREFRONT FRAMING: CLEAR ANODIZED FINISH

H. METAL MAN DOORS & FRAMES: PAINTED TO MATCH ADJACENT M.PANEL COLOR.  
OVERHEAD PANEL DOORS: METAL PRE-FINISHED WHITE W/ CLEAR VIEWING WINDOWS.  
GUTTERS & DOWNSPOUTS: METAL PREFINISHED TO MATCH ADJACENT MATERIAL.  
FACIA & SOFFIT: METAL PREFINISHED TO MATCH ROOF COLOR.  
LOUVERS: METAL PRE-FINISHED TO MATCH ADJACENT METAL PANEL COLOR.

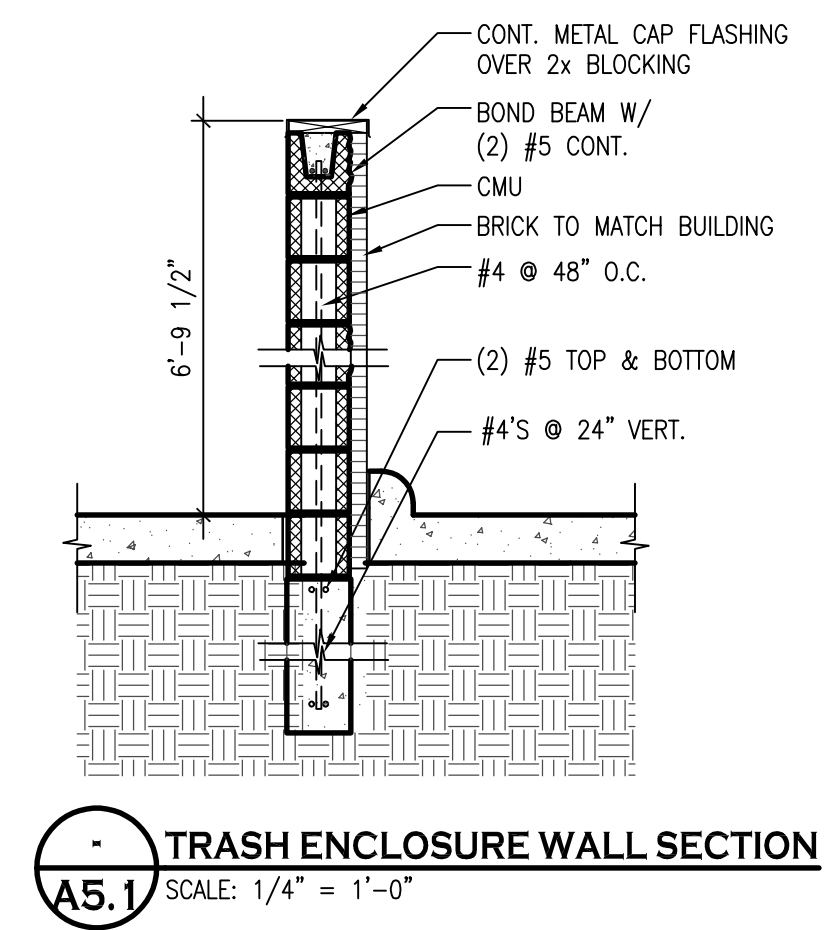
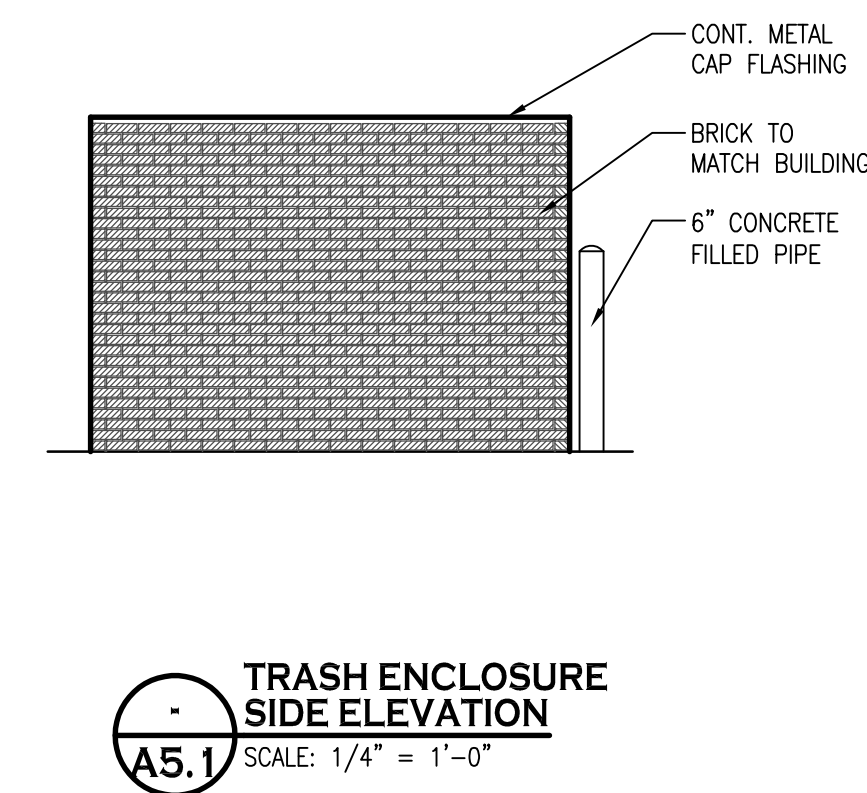
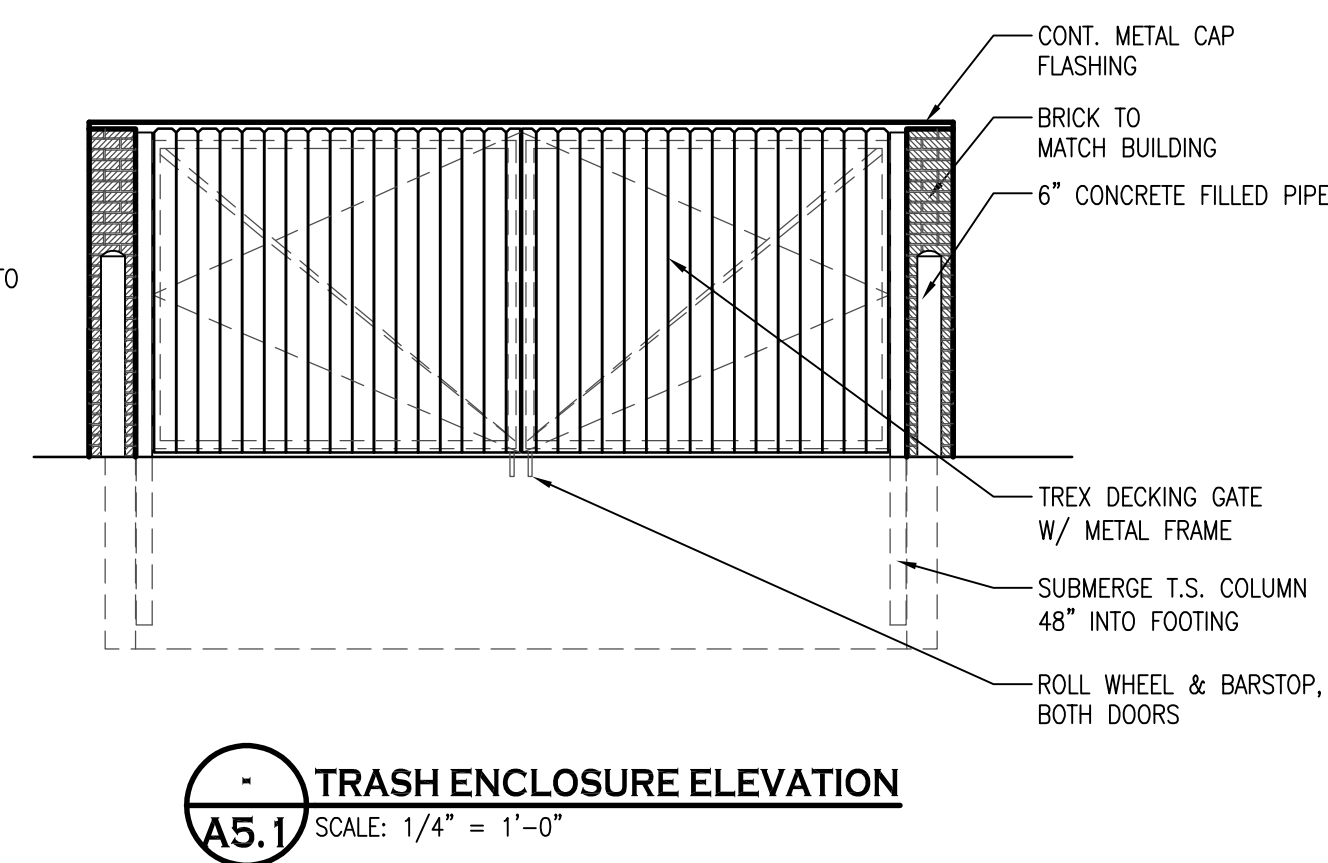
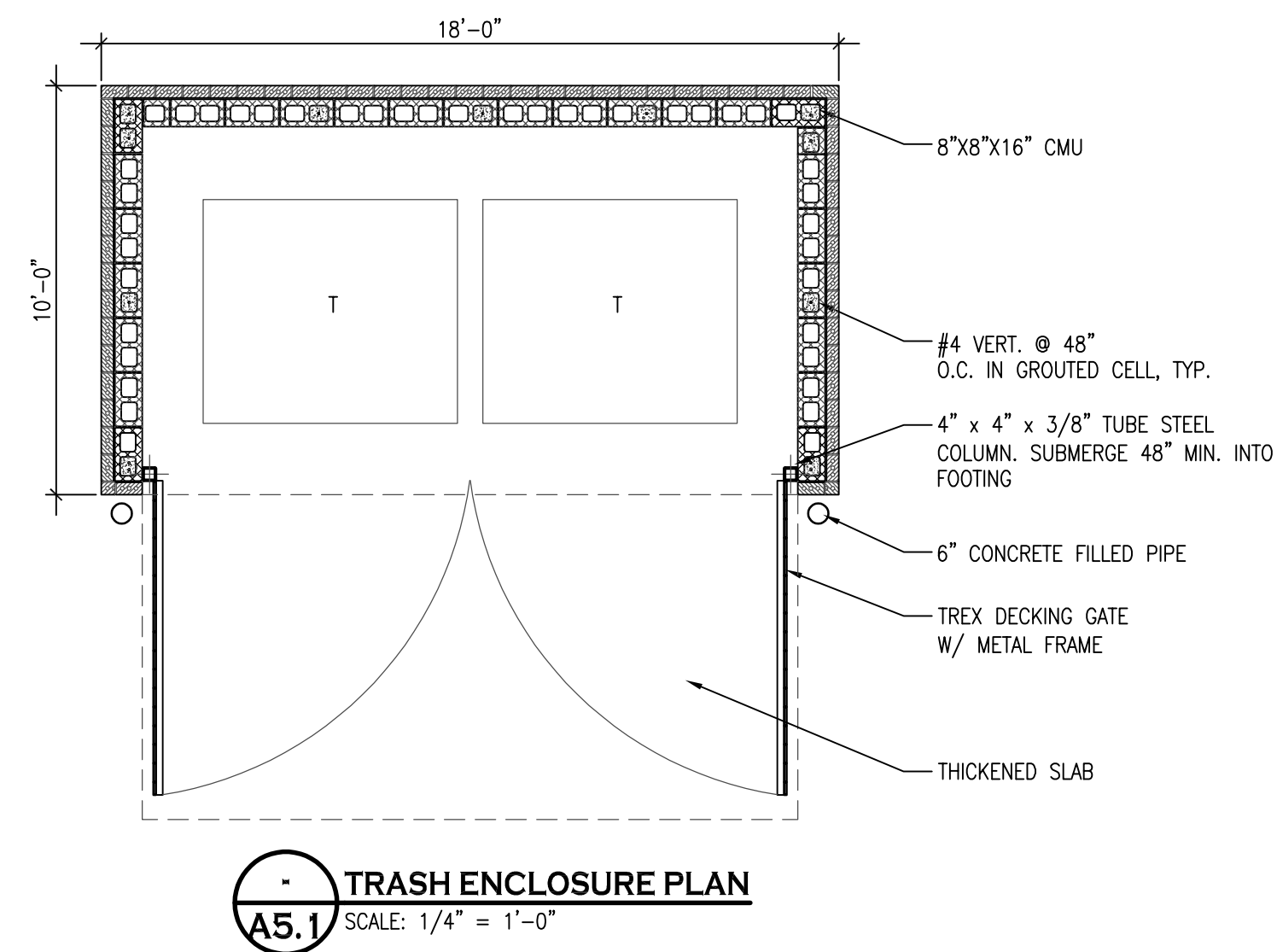


THE MARKET PLACE AT ECHO VALLEY  
NORWALK, IOWA  
10-05-2016

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# THE MARKET PLACE AT ECHO VALLEY

## NORWALK, IOWA

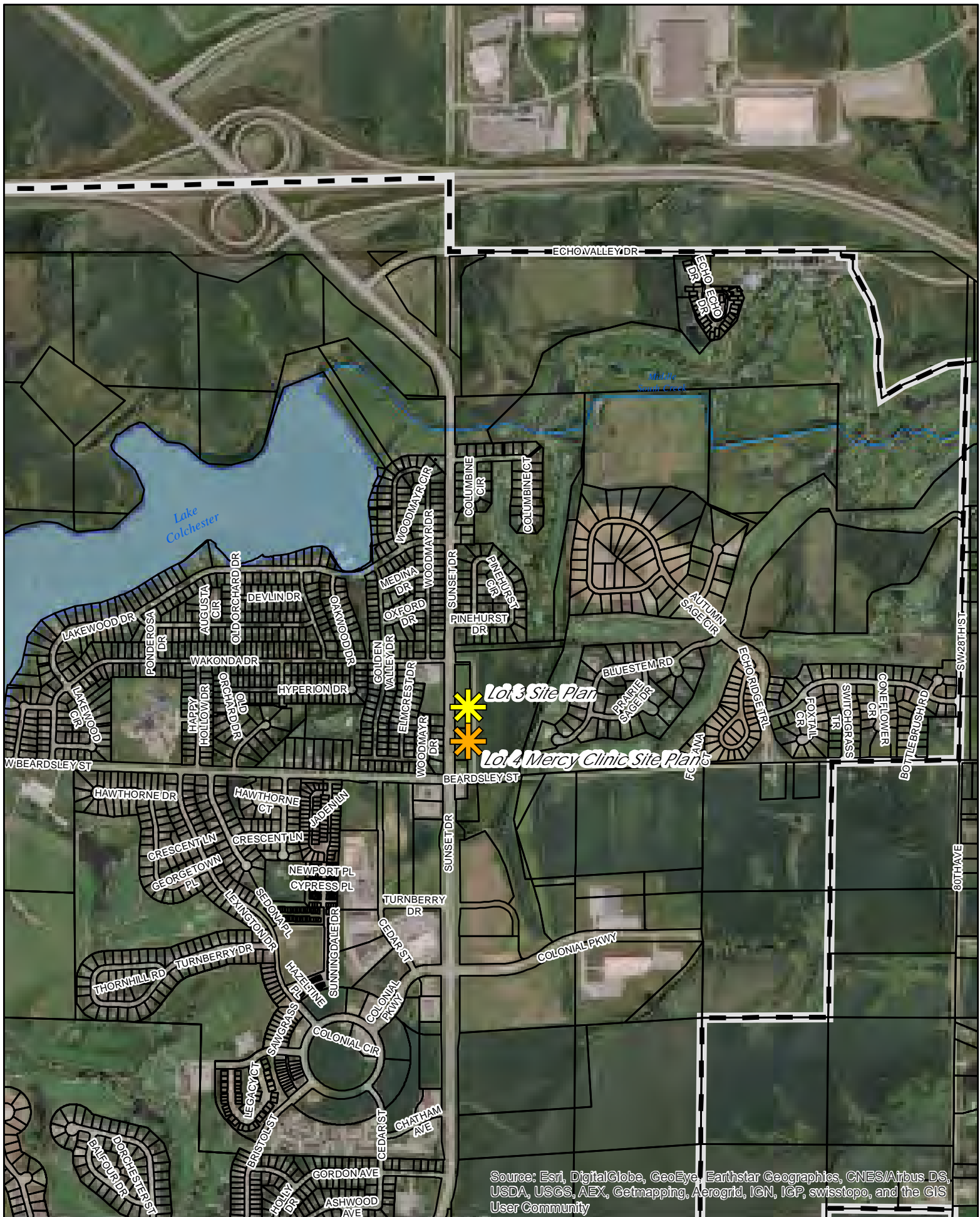
### 10-05-2016

SAA# 14049

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phn 515 440 5626 www.simonsonassoc.com



<p style="text-align: center;"><b>CITY OF NORWALK</b> <b>REPORT TO THE NORWALK PLANNING COMMISSION</b></p>
--

**REQUEST:** Request from United Properties to approve the Mercy Clinic Site Plan for Lot 4 of the Marketplace at Echo Valley

**MEETING DATE:** October 10, 2016

**STAFF CONTACT:** Luke Parris, AICP  
City Planner

**APPLICANT(S):** United Properties LC      Civil Design Advantage, LLC  
4521 Fleur Drive, Suite C      34-5 SE Crossroads Dr. Suite G  
Des Moines, Iowa 50321      Grimes, Iowa 50111

**GENERAL DESCRIPTION:** This request is for the development of professional office buildings, which will be space for a Mercy Clinic. The site is zoned C-2 as part of the Echo Valley Community PUD. The development is on lot 4 of the Marketplace at Echo Valley.

**IMPACT ON NEIGHBORHOOD:** This site plan is the second in the Marketplace at Echo Valley. The rest of the Marketplace at Echo Valley is undeveloped, except for a recently submitted plan for a multi-tenant shopping complex to the north. Adjacent uses across Iowa Highway 28 to the west are single family homes that back up to the Highway and the New Life Lutheran Church that should not be impacted by the development.

**VEHICULAR & PEDESTRIAN TRAFFIC:** The site has access to the newly developed Marketplace Drive via a southern access driveway and a northern access driveway that is shared with the proposed multi-tenant site to the north.

Internally, the site provides access roads around the building. Cross access is provided via driveway stubs on both the north and south end of the site.

Sidewalks are provided throughout the site to provide pedestrian access. A sidewalk ramp is shown at the northern access drive that provides access to the trail on the east side of Marketplace Drive.

**PARKING:** The City's parking standards requires 1 parking space for every 275 square feet of building footprint for a professional office building. On this site, 54 spaces would be required and 90 space are actually provided. The parking standards also require a minimum of 4 handicap parking spaces. The site plan identifies 4 handicap spaces and shows their locations.

**OPEN SPACE &  
LANDSCAPING:**

Site zoned C-2 Commercial are required to maintain a minimum of 25% of the site as open space. For this site, 48% (35,511 square feet) of the land is maintained as open space.

For landscaping, the site is required to provide 13 trees and 19 shrubs. The site provides 14 trees and 80 shrubs.

**SIGNAGE:**

The site plan shows a monument sign located along Iowa Highway 28 that is 15 feet from the lot line. This exceeds the required minimum setback of 10 feet for a monument sign. Further details on signage will be reviewed by City staff through the sign permitting process.

**ARCHITECTURAL  
STANDARDS:**

The City's architectural standards require that buildings in the C-2 district be composed of 75% class 1 or class 2 materials, no more than 25% class 3 materials, and no more than 10% class 4 material.

The site plan includes building elevations that identify materials to be used on the building façade. Class 1 and Class 2 materials identified are glass, face brick, decorative masonry and limestone on each exterior elevation, all of which meet or exceed the 75% requirement. Fiber cement board panels are identified as a class 3 material on each external elevation, all of which do not exceed the 25% requirement.

**DRAINAGE:**

The site includes an on-site system to collect storm water runoff from the parking and building. The City Engineer has reviewed the system and determined that it is sized appropriately. The system collects storm water and discharges off-site to the east onto the undeveloped Outlot X of the Marketplace at Echo Valley where it is detained in temporary detention basins. Staff raised concerns about this process and the developer has proposed the following solutions to be implemented as a maintenance agreement to be filed with the final plat:

- Use the existing temporary basins as-is to meet the detention requirements for Lots 3 & 4.
- Calculations show the volume of detention required is equivalent to the volume provided in the temporary basins even though there is not a direct relationship of the drainage areas from the lots to each of the basins (volume is provided regardless of where the storm water is derived). So – no additional calculations are required as long as the following is done:
- United Properties will maintain these basins until other arrangements are made, i.e. development of Outlot

‘X’.

- If Outlot ‘X’ is not developed within 10 years – United Properties shall convert these temporary basins into permanent detention basins.
- If lots 1, 2, or 5 are developed before Outlot ‘X’ they would need to prepare additional detention calculations and increase the temporary basin volumes or add additional temporary basins or convert to permanent basins.
- All temporary basins shall be converted to permanent detention basins that meet City requirements no later than October 2026.

**UTILITIES: WATER,  
SANITARY SEWER,  
STORM SEWER.**

Adequate services are provided to the site and detailed on the site plan.

**STAFF ANALYSIS:**

Overall the site plan meets or exceeds the City’s requirements for development of a C-2 parcel. The staff raised concerns over the temporary detention basin on Outlot X. The developer proposed several measures that addressed the staff concerns. Staff is comfortable with the solution as long as the proper agreement is filed with the Final Plat of the Marketplace at Echo Valley.

**STAFF  
RECOMMENDATION:**

Therefore, staff recommends that the request for the Mercy Clinic Site Plan for Lot 4 of the Marketplace at Echo Valley be approved with the following conditions:

- That the final plat approval includes the necessary agreements to implement the developer solution to the temporary drainage basins.
- That the site development and building construction follow all City code regulations.
- That any significant modifications to the site plan be reviewed and approved by the Planning & Zoning Commission and City Council.

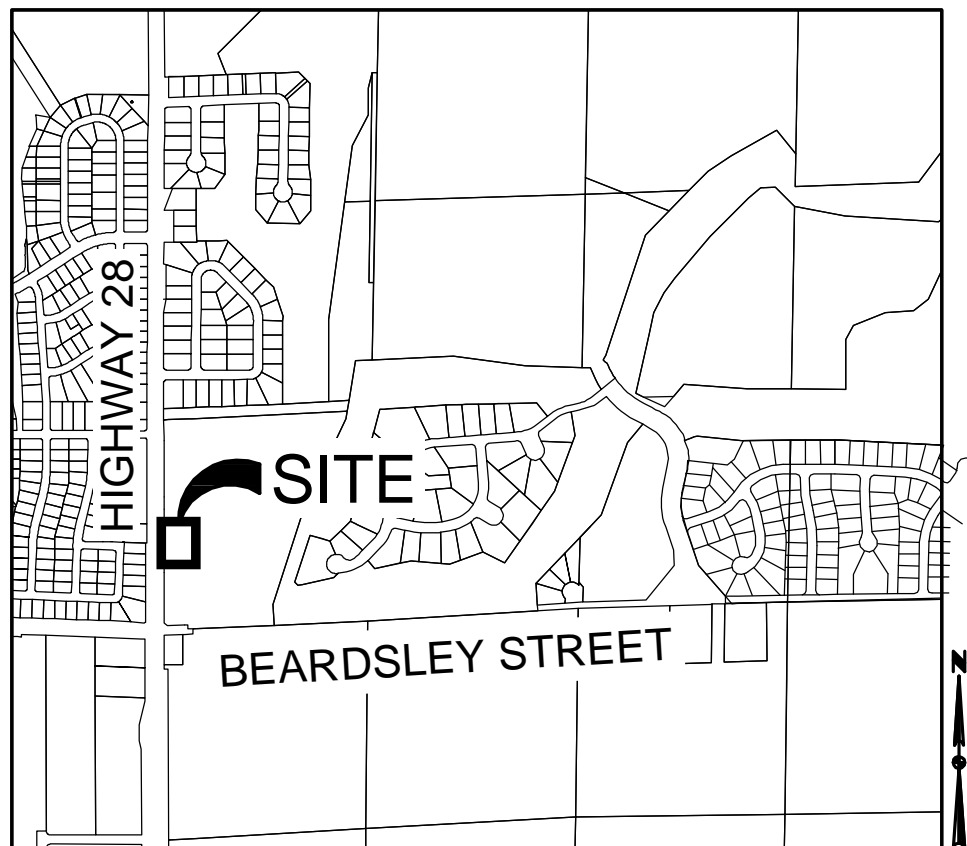


SITE PLAN FOR:  
**MERCY CLINIC**

NORWALK, IOWA

VICINITY MAP

NOT TO SCALE



OWNER / APPLICANT

UNITED PROPERTIES INVEST CO LC  
C/O MICHAEL COPPOLA  
4521 FLEUR DRIVE, SUITE C  
DES MOINES, IOWA 50321

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: KEITH WEGGEN  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: MIKE BROONER  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

ARCHITECT

S V P A ARCHITECTS INC.  
1466 28TH STREET, SUITE 200  
WEST DES MOINES, IOWA 50266  
PH. (515) 327-5990

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 09/23/16  
-SITE PLAN SUBMITTAL TO CITY #2: 10/05/16

LEGAL DESCRIPTION

LOT 4, MARKETPLACE AT ECHO VALLEY, IN THE CITY OF NORWALK,  
WARREN COUNTY, IOWA

ZONING

ECHO VALLEY COMMUNITY PLANNED UNIT DEVELOPMENT  
PARCEL J - C-2

PROJECT SITE ADDRESS

9421 MARKETPLACE DRIVE

PROPOSED USE

PROFESSIONAL OFFICE SPACE

DEVELOPMENT SUMMARY

AREA: 1.71 ACRES (74,285 SF)

MIN LOT AREA: 20,000 SF

MIN LOT WIDTH: 100'

FRONT SETBACK: 30'

SIDE SETBACK: 10'

REAR SETBACK: 10'

HEIGHT: 50'

\* 20' MINIMUM SEPARATION BETWEEN BUILDINGS IN A  
COMPLEX.  
\*\* PRINCIPAL STRUCTURE MAY BE 45' IN HEIGHT BUT NOT  
EXCEED 3 FLOORS ABOVE GRADE.

PARKING: 1 SPACE PER 275 SF  
TOTAL REQUIRED = 54  
TOTAL PROVIDED = 90

DATE OF SURVEY

SEPTEMBER, 2015

BENCHMARKS

BM#1  
BURY BOLT ON HYDRANT NE CORNER OF BEARDSLEY STREET AND  
MASTELLER ROAD. ELEVATION=895.14

BM#2:  
BURY BOLT HYDRANT ON WEST SIDE OF ECHO RIDGE TRAIL 500'+/-  
NORTH OF BEARDSLEY STREET. ELEVATION=936.02

INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	DIMENSION PLAN
3	GRADING PLAN
4	UTILITY PLAN
5	LANDSCAPE PLAN

NOTES

- NO LOTS SHALL HAVE DIRECT ACCESS TO HIGHWAY 28 OR BEARDSLEY STREET.
- ANY USE OF A PUBLIC UTILITY EASEMENT BY A PARTY OTHER THAN THE CITY OF NORWALK IS SUBORDINATE TO THE CITY'S USE OF THE EASEMENT FOR A DESIGNATED CITY UTILITY PURPOSE. ANY PARTY OTHER THAN THE CITY USING THE PUBLIC UTILITY EASEMENT MUST RELOCATE THEIR FACILITIES AT NO COST TO THE CITY TO ACCOMMODATE THE CITY'S USE OF ITS DESIGNATED UTILITY.



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



GENERAL LEGEND

PROPOSED

PROJECT BOUNDARY	---
LOT LINE	---
SECTION LINE	---
CENTER LINE	---
RIGHT OF WAY	---R/W---
PERMANENT EASEMENT	---P/E---
TEMPORARY EASEMENT	---T/E---
TYPE SW-501 STORM INTAKE	[Symbol]
TYPE SW-503 STORM INTAKE	[Symbol]
TYPE SW-505 STORM INTAKE	[Symbol]
TYPE SW-506 STORM INTAKE	[Symbol]
TYPE SW-513 STORM INTAKE	[Symbol]
TYPE SW-401 STORM MANHOLE	[Symbol]
TYPE SW-402 STORM MANHOLE	[Symbol]
TYPE SW-301 SANITARY MANHOLE	[Symbol]
STORM/SANITARY CLEANOUT	[Symbol]
WATER VALVE	[Symbol]
FIRE HYDRANT ASSEMBLY	[Symbol]
SIGN	[Symbol]
DETECTABLE WARNING PANEL	[Symbol]
STORM SEWER STRUCTURE NO.	[Symbol]
STORM SEWER PIPE NO.	[Symbol]
SANITARY SEWER STRUCTURE NO.	[Symbol]
SANITARY SEWER PIPE NO.	[Symbol]
SANITARY SEWER WITH SIZE	8"S
SANITARY SERVICE	S-S-S
STORM SEWER	ST-ST
STORM SERVICE	ST-ST
WATERMAIN WITH SIZE	8"W
WATER SERVICE	W-W
SAWCUT (FULL DEPTH)	[Symbol]
SILT FENCE	[Symbol]

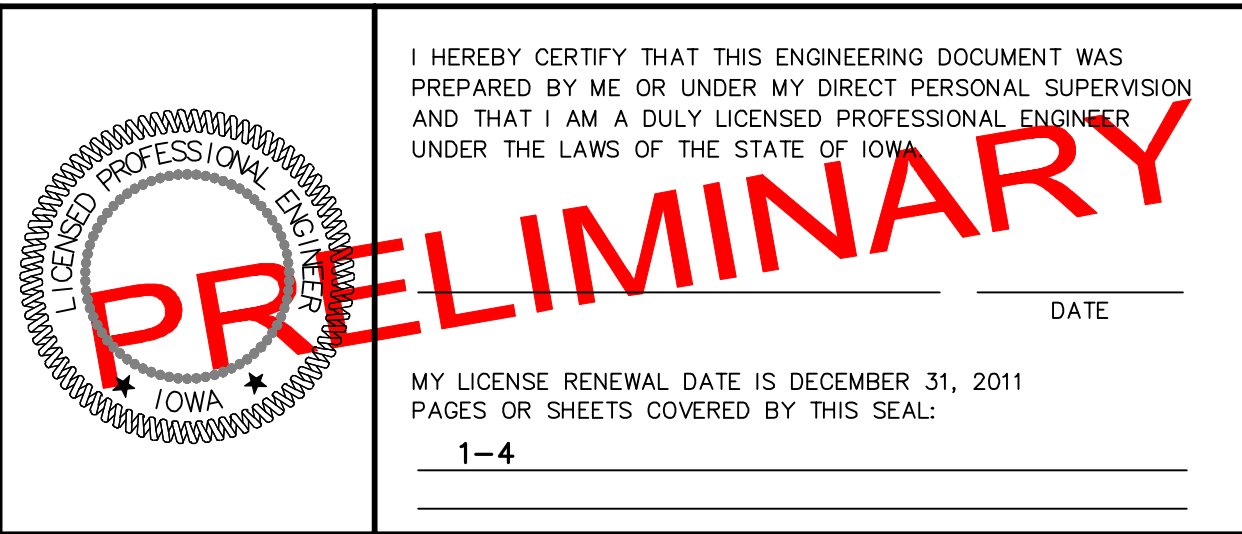
EXISTING

SANITARY MANHOLE	[Symbol]
WATER VALVE BOX	[Symbol]
FIRE HYDRANT	[Symbol]
WATER CURB STOP	[Symbol]
WELL	[Symbol]
STORM SEWER MANHOLE	[Symbol]
STORM SEWER SINGLE INTAKE	[Symbol]
STORM SEWER DOUBLE INTAKE	[Symbol]
FLARED END SECTION	[Symbol]
ROOF DRAIN/ DOWNSPOUT	[Symbol]
DECIDUOUS TREE	[Symbol]
CONIFEROUS TREE	[Symbol]
DECIDUOUS SHRUB	[Symbol]
CONIFEROUS SHRUB	[Symbol]
ELECTRIC POWER POLE	[Symbol]
GUY ANCHOR	[Symbol]
STREET LIGHT	[Symbol]
POWER POLE W/ TRANSFORMER	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
ELECTRIC BOX	[Symbol]
ELECTRIC TRANSFORMER	[Symbol]
ELECTRIC MANHOLE OR VAULT	[Symbol]
TRAFFIC SIGN	[Symbol]
TELEPHONE JUNCTION BOX	[Symbol]
TELEPHONE MANHOLE/VAULT	[Symbol]
TELEPHONE POLE	[Symbol]
GAS VALVE BOX	[Symbol]
CABLE TV JUNCTION BOX	[Symbol]
CABLE TV MANHOLE/VAULT	[Symbol]
MAIL BOX	[Symbol]
BENCHMARK	[Symbol]
SOIL BORING	[Symbol]
UNDERGROUND TV CABLE	TV
GAS MAIN	G
FIBER OPTIC	FO
UNDERGROUND TELEPHONE	T
OVERHEAD ELECTRIC	OE
UNDERGROUND ELECTRIC	E
FIELD TILE	TILE
SANITARY SEWER W/ SIZE	8"S
STORM SEWER W/ SIZE	18" RCP
WATER MAIN W/ SIZE	8"W

REFER TO GEOTECHNICAL REPORT FOR GEOTECHNICAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

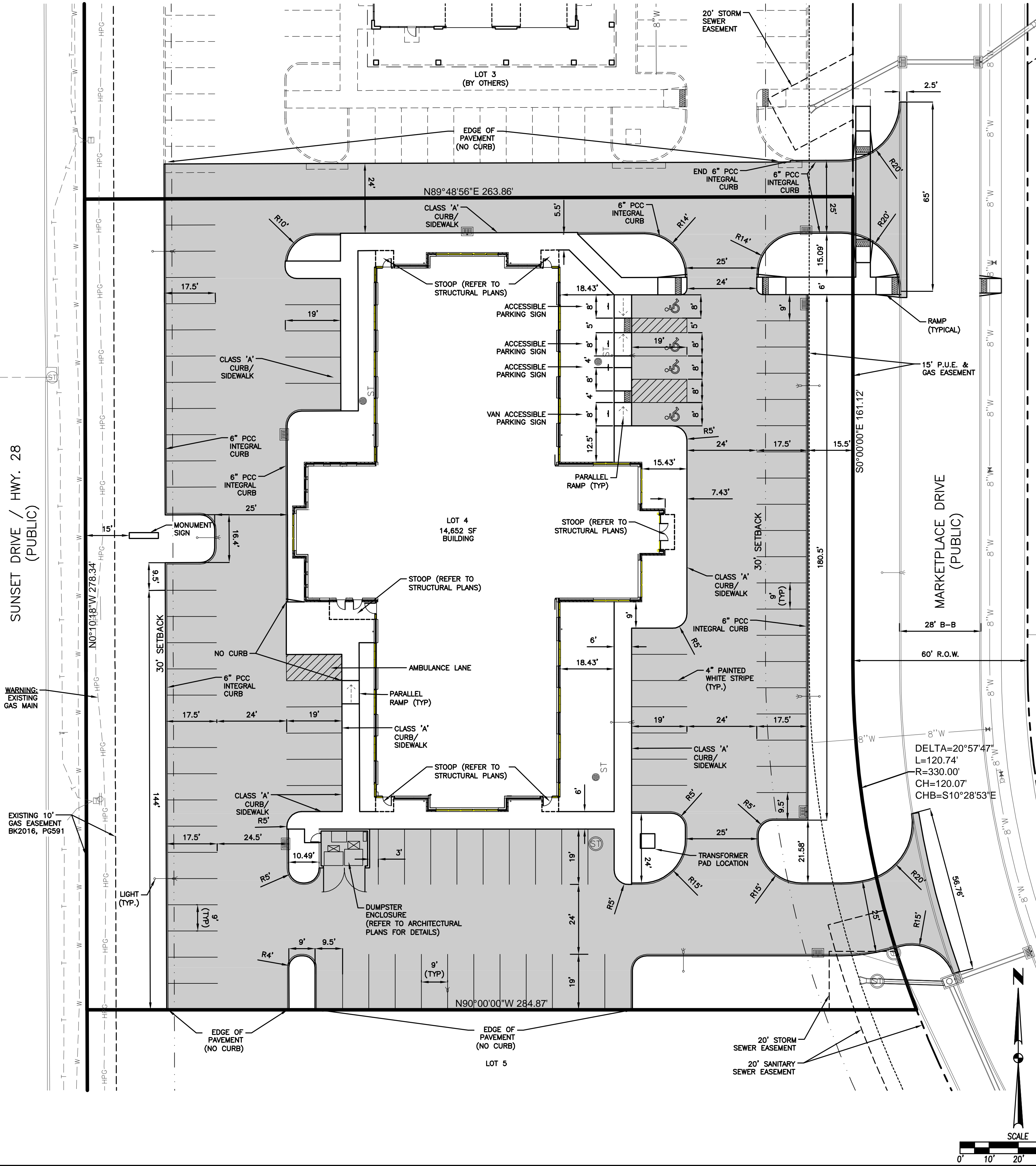
THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.



LOT 4 - MERCY CLINIC



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PLOT: 10/25/2016 2:12 PM  
PLOTED BY: JAVAN UNDOHIA, TECH



## GENERAL NOTES

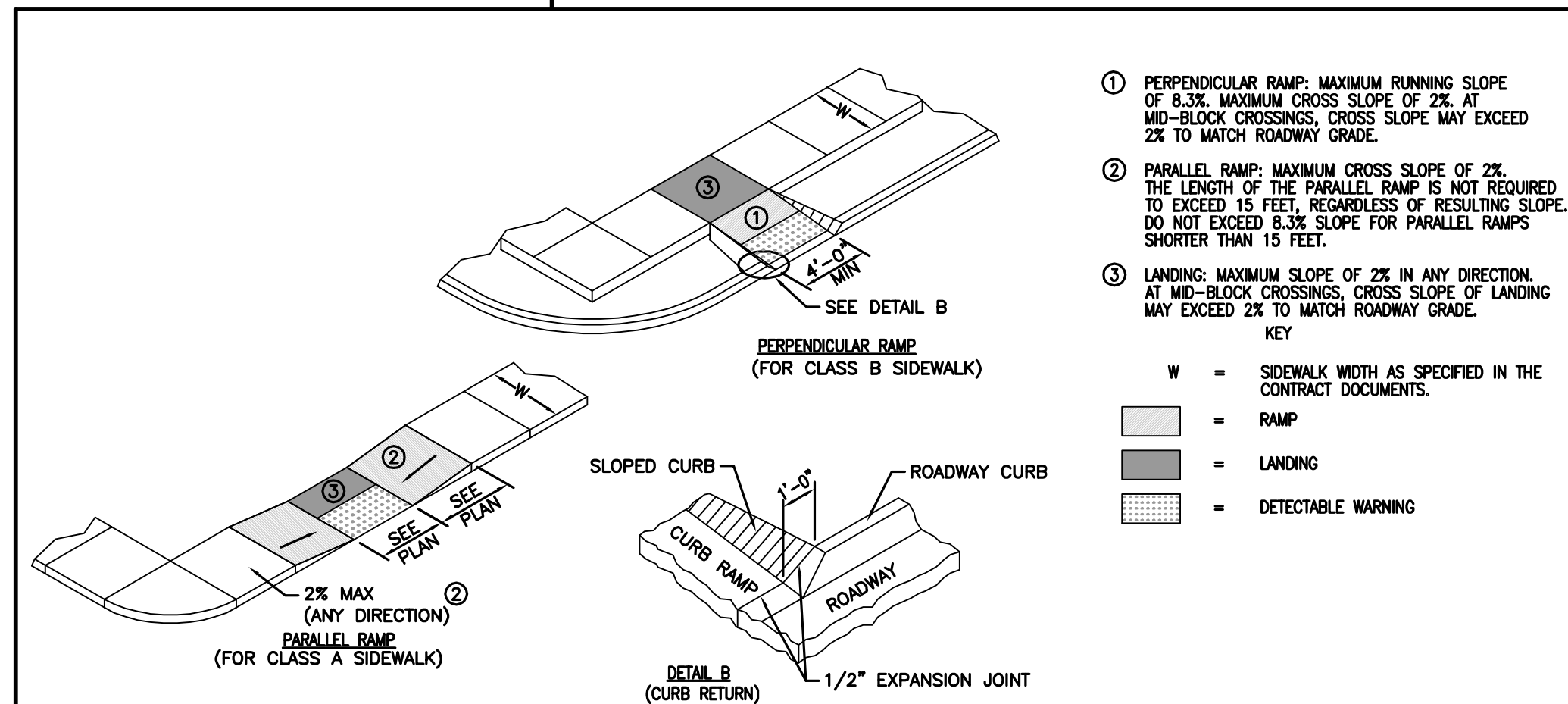
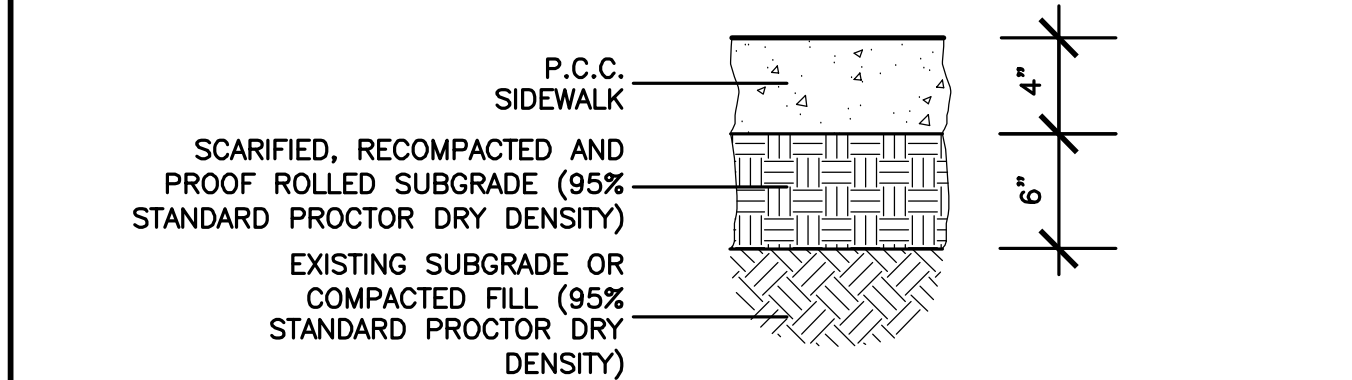
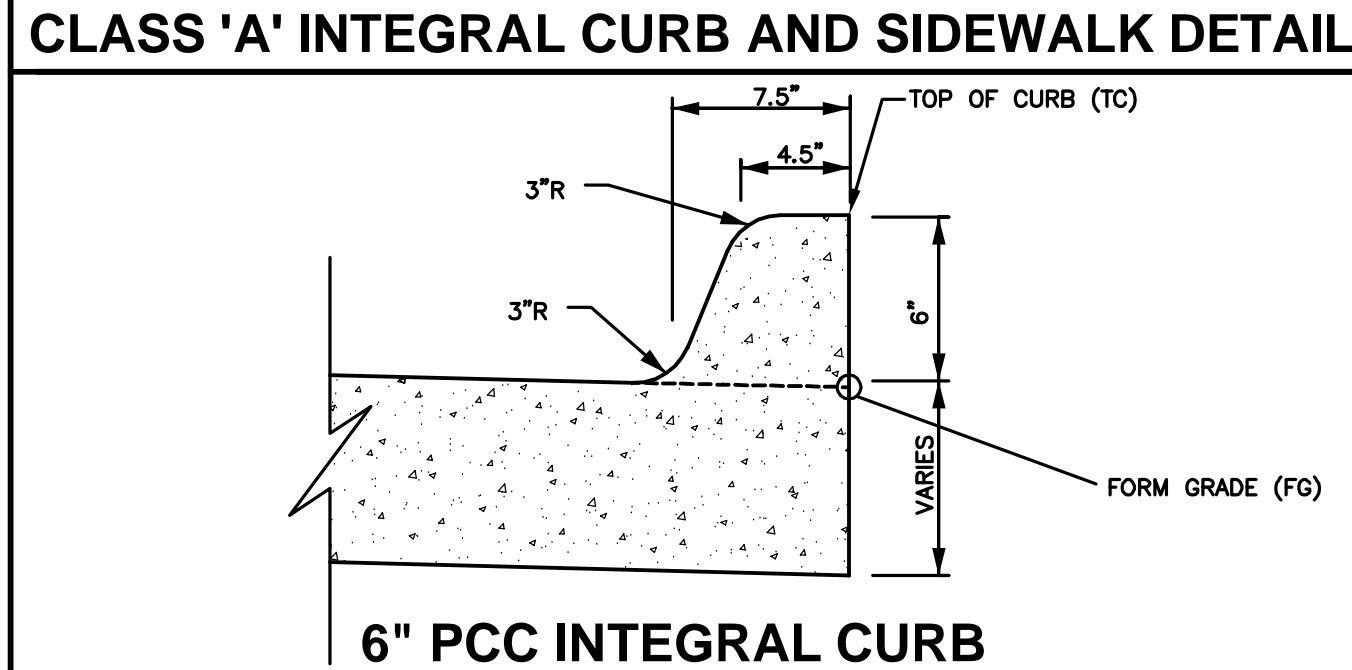
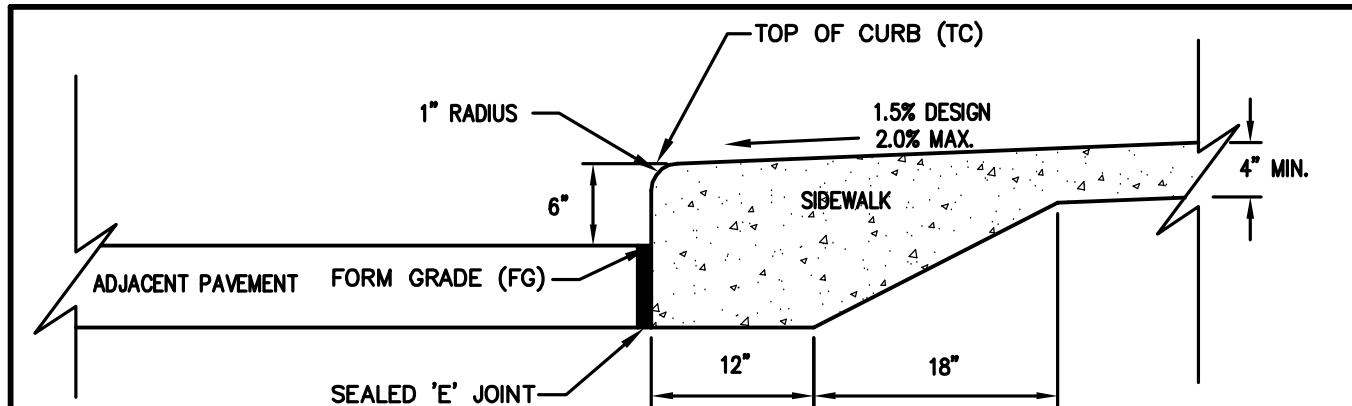
1. THE 2016 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS.
19. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

## TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

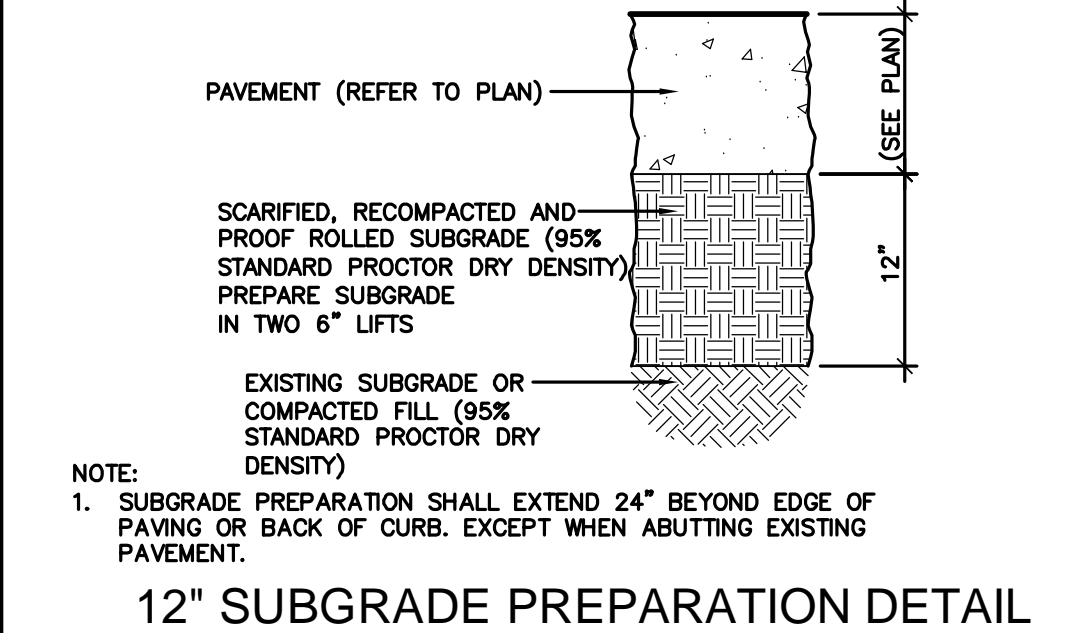
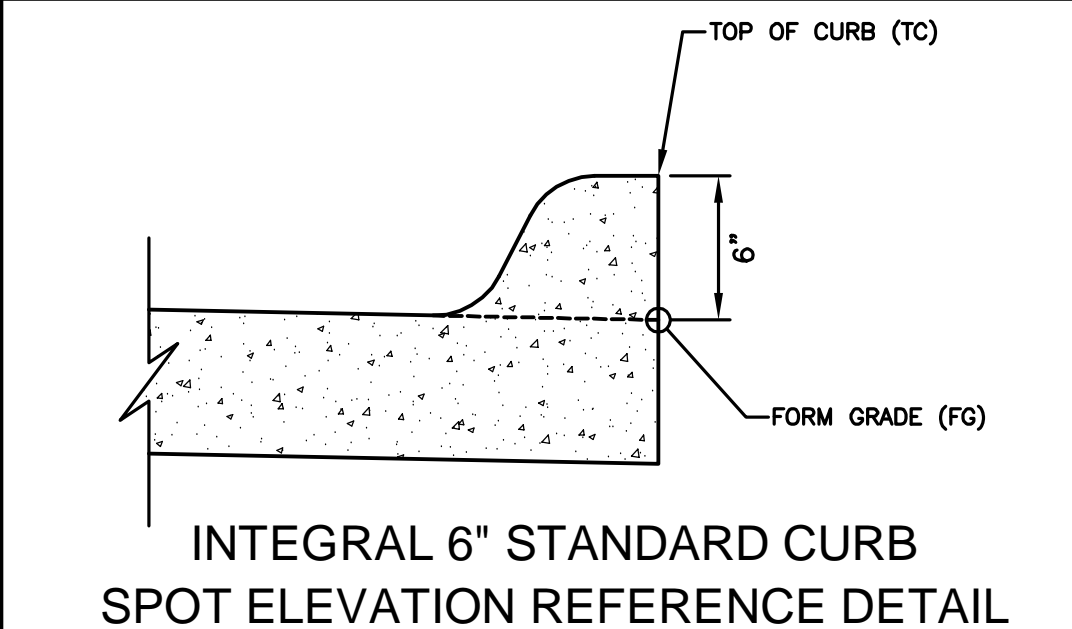
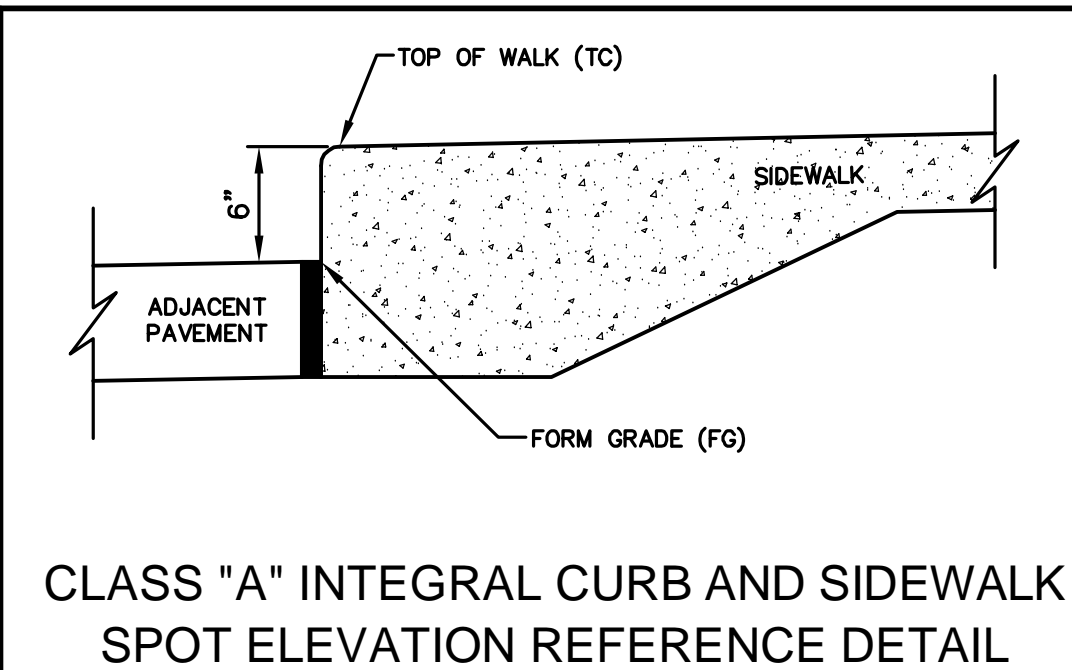
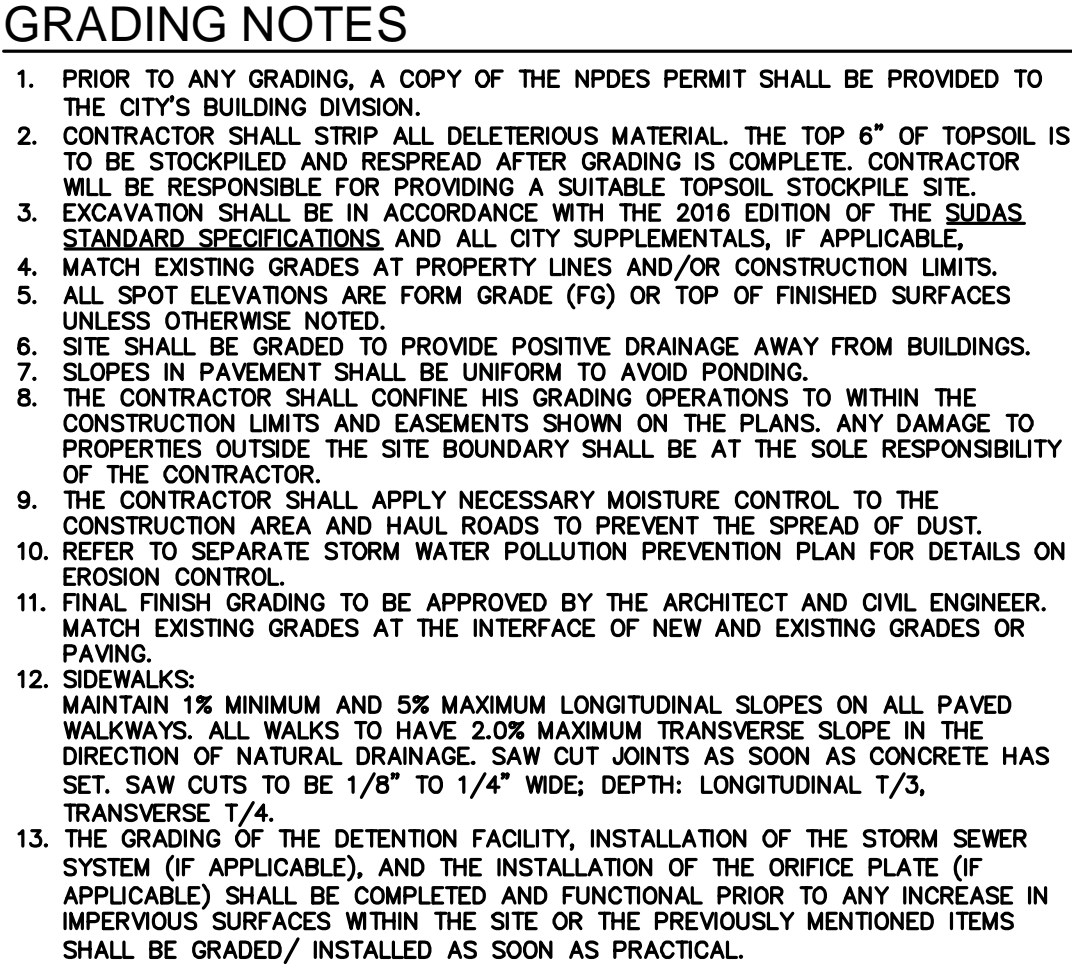
## PAVEMENT THICKNESS


- |                                  |            |
|----------------------------------|------------|
| 1. SIDEWALKS                     | 4\" P.C.C. |
| 3. PARKING STALLS                | 6\" P.C.C. |
| 4. DRIVE AISLES                  | 7\" P.C.C. |
| 5. TRASH ENCLOSURE AND FRONT 20' | 8\" P.C.C. |



## CURB RAMPS OUTSIDE OF INTERSECTION RADIUS

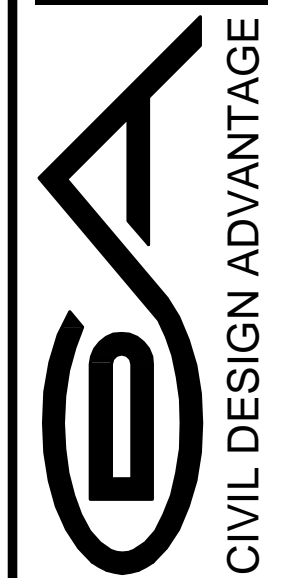




	
REVISIONS	DATE
SITE PLAN SUBMITTAL #2	10/05/16
SITE PLAN SUBMITTAL #1	09/23/16

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER:	TECH:
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NORWALK, IOWA

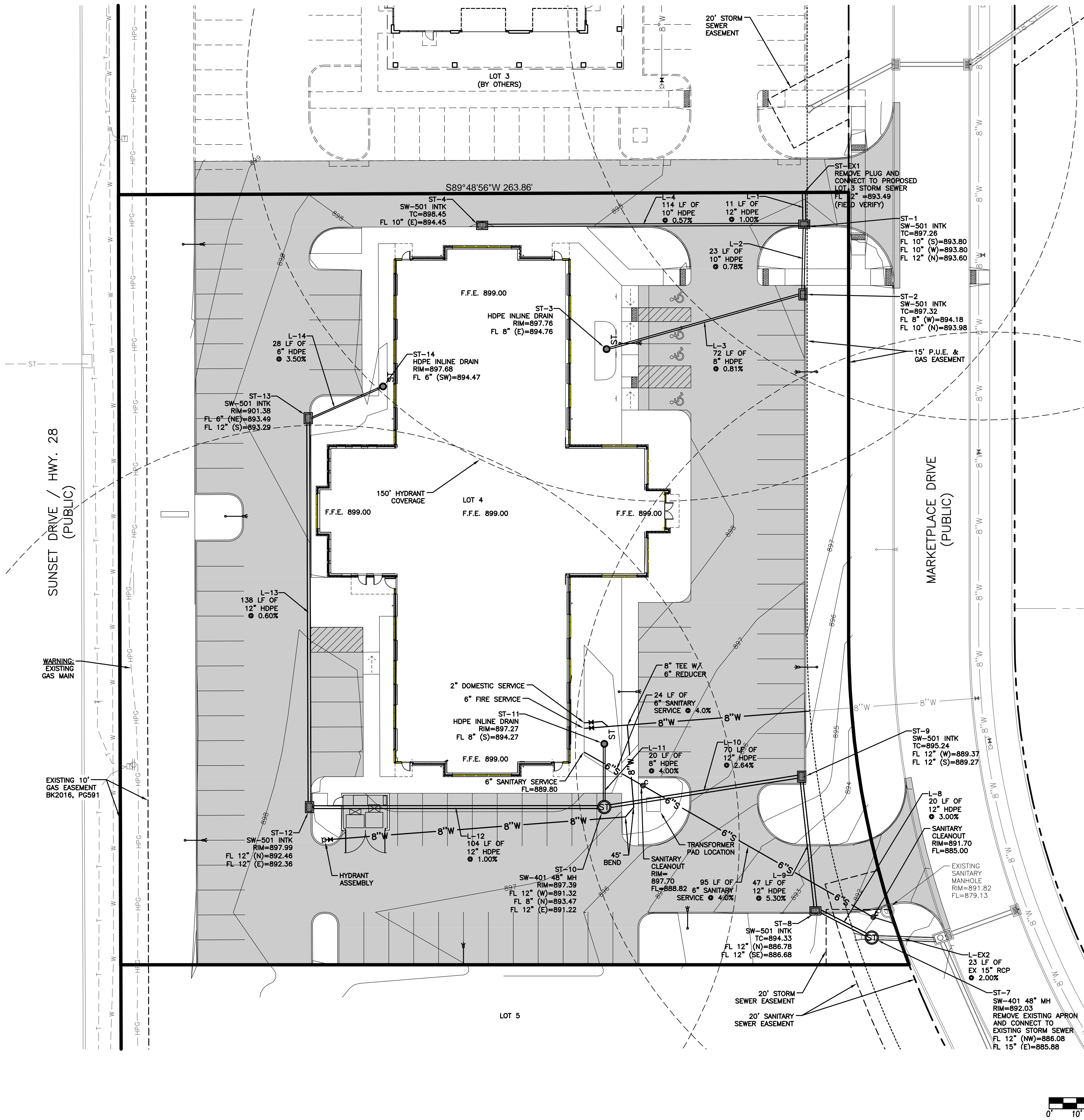
# MERCY CLINIC

## GRADING PLAN

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 EVC:

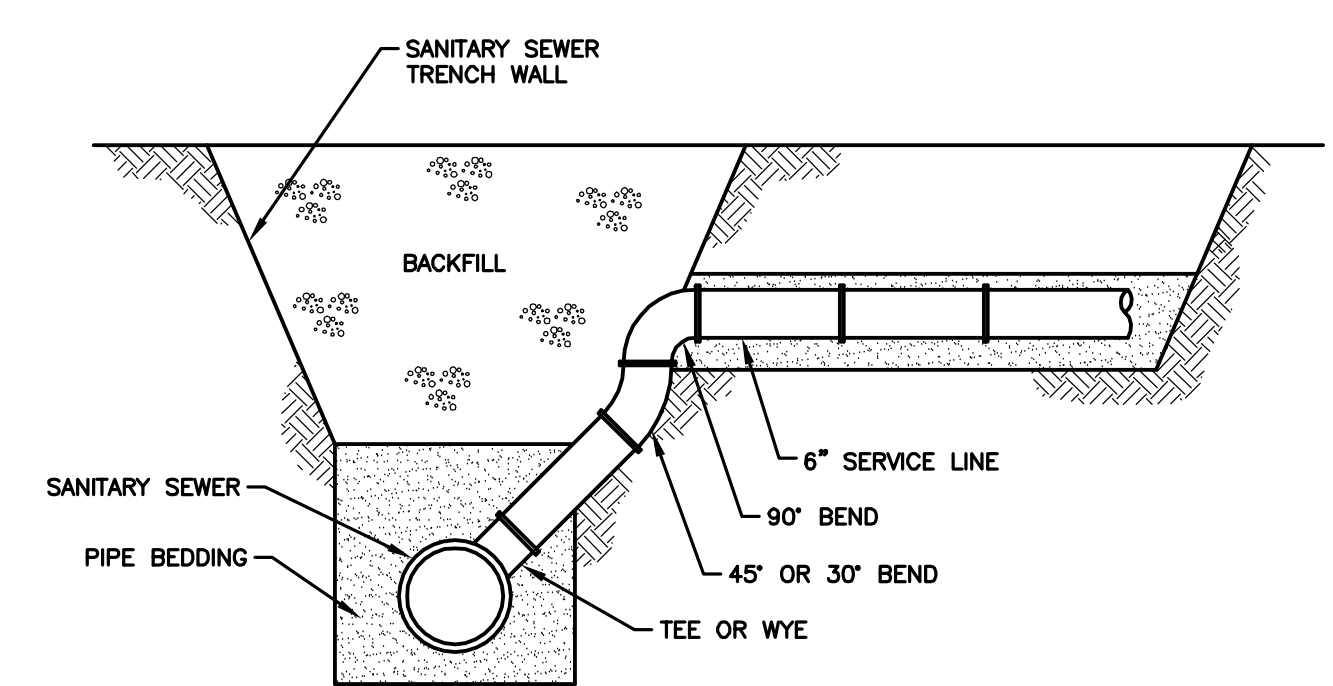


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CHECKED BY: J. G. GRIMES  
PLOTTED BY: J. G. GRIMES  
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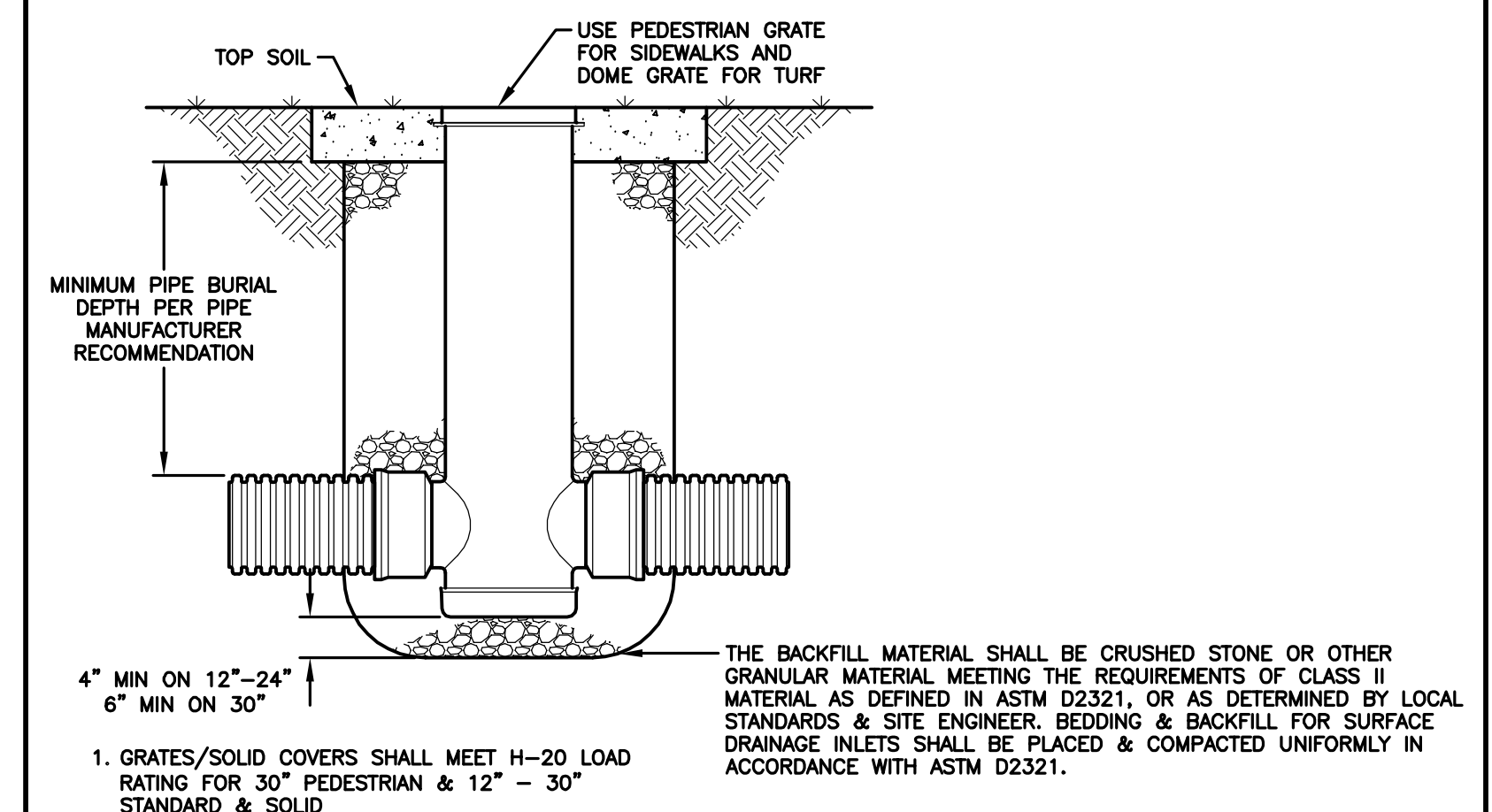


#### UTILITY NOTES

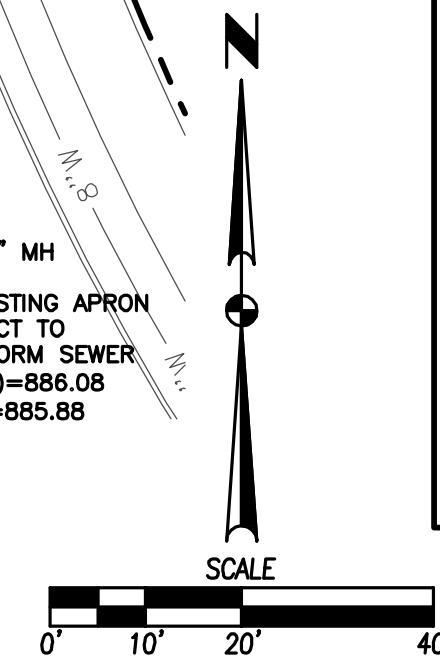
1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2016 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMAINS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2016 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.



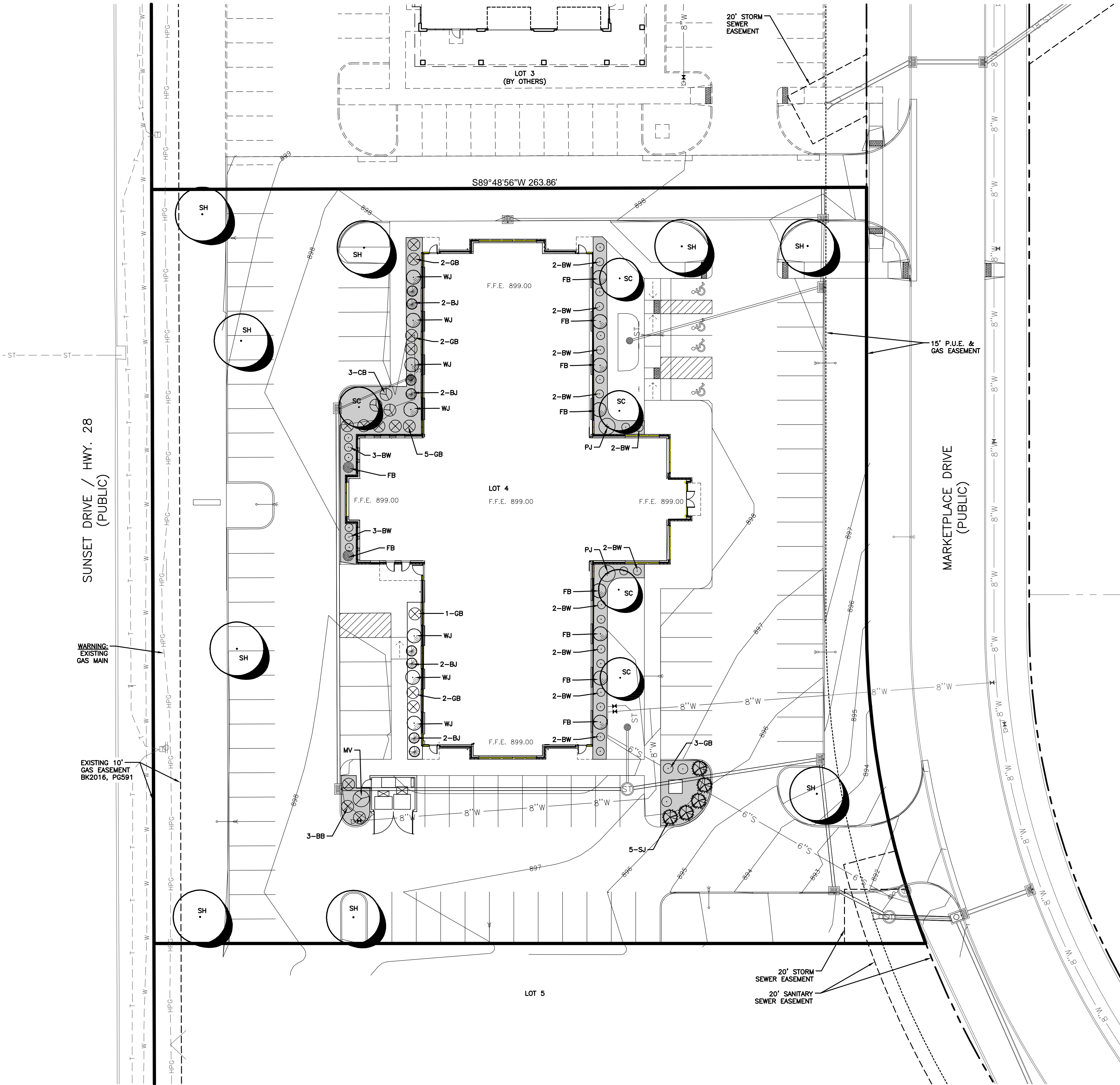
SANITARY SEWER SERVICE RISER



HDPE INTAKE







LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED (TYPE 1) OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. 2" RIVER ROCK WITH WEED BARRIER FABRIC SHALL BE PLACED IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE 4" (min) ALUMINUM EDGING.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

LANDSCAPE REQUIREMENTS

- 1 TREE PER 1,500 SF OR REQUIRED OPEN SPACE AND  
1 SHRUB PER 1,000 SF OR REQUIRED OPEN SPACE .

PLANT SIZE REQUIREMENTS

- TREES:  
40% OF TREES = 2"-2.5" CALIPER  
BALANCE = 8' HEIGHT DECIDUOUS OR 6' HEIGHT CONIFEROUS

- SHRUBS:  
18" MINIMUM HEIGHT OR 1 GALLON CONTAINER

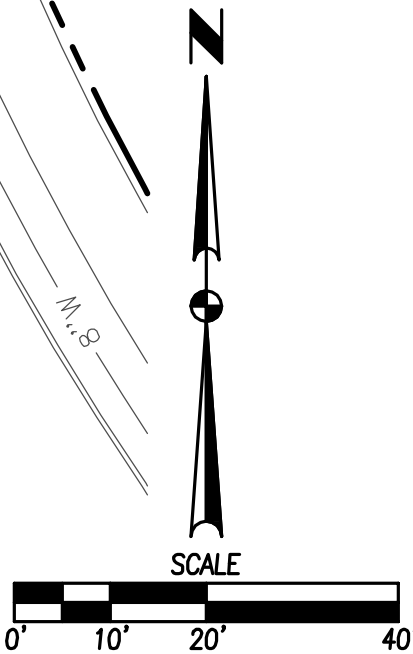
- OPEN SPACE REQUIRED = 18,571 SF (25%)  
OPEN SPACE PROVIDED = 35,511 SF (48%)

- TREES REQUIRED = 13  
SHRUBS REQUIRED = 19

- TREES PROVIDED = 14  
SHRUBS PROVIDED = 80

PLANT SCHEDULE

CODE	QTY	OVERSTORY TREES	SIZE	COND
SH	9	SHADEMASTER HONEYLOCUST, GLEDITSIA TRICANTHAS INERMIS 'SHADEMASTER'	2" CAL	B&B
CODE	QTY	ORNAMENTAL TREES	SIZE	COND
SC	5	SPRING SNOW CRAB, MALUS X 'SPRING SNOW'	1.5" CAL	B&B
CODE	QTY	SHRUBS	SIZE	COND
BR	3	DWARF BURNING BUSH, EUONYMUS ALATUS COMPACTUS	18" HT.	CONT
PJ	2	P.M. RHODODENDRON, RHODODENDRON P.M.	18" HT.	CONT
GR	15	GOLDEN BARBERRY, BERBERIS THUNBERGII AUREA	18" HT.	CONT
CB	3	ROSE GLOW BARBERRY, BERBERIS THUNBERGII ATROPURPUREA	18" HT.	CONT
MV	1	MOHICAN VIBURNUM, VIBURNUM LANTANA 'MOHICAN'	18" HT.	CONT
BW	26	WINTERGREEN BOXWOOD, BUXUS MICROPHYLLA 'WINTERGREEN'	18" HT.	CONT
SJ	5	SEA GREEN JUNIPER, JUNIPERUS CHINENSIS 'SEA GREEN'	18" HT.	CONT
BU	8	BUFFALO JUNIPER, JUNIPERUS SABINA 'BUFFALO'	18" HT.	CONT
WJ	7	WELCH JUNIPER, JUNIPERUS SCOPULORUM 'WELCHII'	18" HT.	CONT
FB	10	FINELINE BUCKTHORN, RHAMNUS FRANGULA 'RON WILLIAMS'	18" HT.	CONT





S V P A

Architects, Inc.

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West Des Moines, Iowa 50266  
515.327.5990 Fax: 515.327.5991

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CONSULT 01 ADDRESS  
CONSULT 01 CITY/STATE/ZIP  
CONSULT 01 TEL FAX

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CLIENT LOGO



PROJECT INFORMATION

MERCY NORWALK  
MARKETPLACE DRIVE  
NORWALK, IOWA

DRAWING ISSUE INFORMATION  
ISSUE FOR: DESIGN DEVELOPMENT

ISSUE DATE: 10/03/2016

REV DATE	REV

MANAGEMENT INFORMATION  
PROJECT NO: 16046

PRINCIPAL IN CHARGE: RO PROJECT ARCHITECT: JR

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SHEET TITLE  
FLOOR PLAN

SHEET NUMBER

A100

NOT FOR CONSTRUCTION



1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
NORTH

FLOOR PLAN GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL FLOOR PLAN SHEETS.
- ALL DIMENSIONS ARE TO FACE OF FINISHED WALLS, FACE OF BRICK WALLS, OR CENTERLINE OF STRUCTURE / COLUMNS, UNLESS NOTED OTHERWISE.
- FLOOR SPOT ELEVATIONS ARE SHOWN THUS +0'-0" ON THE FLOOR PLANS. FIRST FLOOR ELEVATION 899.00'. GRADE SHOWN ON CIVIL DRAWINGS.
- PROVIDE BRACING AT TOP OF NONLOAD BEARING WALLS.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING CONTRACTOR WITH ROUGH-IN INFORMATION AND MOUNTING HEIGHTS NECESSARY TO ACCOMMODATE INSTALLATION OF OWNER FURNISHED AND INSTALLED, OR OWNER FURNISHED - CONTRACTOR INSTALLED ITEMS.
- GENERAL CONTRACTOR TO VERIFY ALL MECHANICAL PENETRATION REQUIREMENTS AND CHASE SIZES WITH MECHANICAL CONTRACTOR FOR COORDINATION INTO THE CONSTRUCTION OF WALL, FLOOR, CEILING AND ROOF ASSEMBLIES.
- DIMENSIONS FOR DOOR AND WINDOW OPENINGS ARE NOMINAL. VERIFY AND ALLOW RECOMMENDED SHIM AND SEALANT GAPS AS REQUIRED AT DOOR AND WINDOW FRAMES.

- INSTALL MOISTURE RESISTANT GYPSUM WALL BOARD IN RESTROOMS AND MECHANICAL ROOMS.
- CONTRACTOR SHALL PROVIDE A CONCRETE STOOP WITH POSITIVE DRAINAGE AWAY FROM BUILDING. CONSTRUCTED ON FROST FOOTINGS AT ALL EXTERIOR DOOR LOCATIONS. SEE PLANS AND STRUCTURAL SHEETS FOR ADDITIONAL DETAIL.
- CONTRACTOR TO COORDINATE LOCATION OF FLOOR BOX OUTLETS WITH OWNER. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO COORDINATE LOCATION OF ELECTRICAL SWITCHES AND OUTLETS IN EXAM ROOMS, TREATMENT ROOMS, LABORATORY, AND DOCTOR/NURSE OFFICES (INCLUDING STANDUP STATIONS). SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- PROVIDE BACKING AS REQUIRED AT HEIGHT/WEIGHT STATIONS FOR GRAB BARS. CONTRACTOR TO COORDINATE LOCATIONS WITH OWNER.
- CONTRACTOR TO PROVIDE BLOCKING IN EXAM ROOMS FOR WALL MOUNTED EQUIPMENT. CONFIRM LOCATIONS AND REQUIREMENTS WITH OWNER.
- OWNER PROVIDED PRINTER
- PROVIDE GYPSUM BOARD CONTROL JOINTS @ 20' - 0" O.C. MAXIMUM. COORDINATE LOCATIONS WITH ARCHITECT.

FLOOR PLAN KEY NOTES:

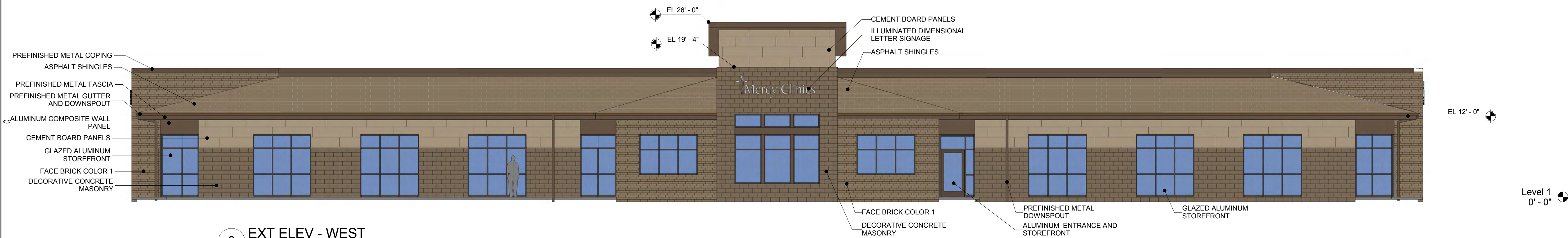
- ROOF HATCH AND ACCESS LADDER. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION. SEE S/A101 FOR ROOF LADDER DETAILS.
- AUTOMATIC DOOR OPERATOR. CONFIRM EXACT LOCATIONS WITH ARCHITECT.
- CONTRACTOR TO COORDINATE LOCATION, ELECTRICAL REQUIREMENTS, AND BACKING REQUIREMENTS OF TIMECARD SYSTEM WITH OWNER. RECESS TIMECARD SO NOT TO PROTRUDE MORE THAN 4" FROM WALL SURFACE. INSTALL CONTROLS @ 48" MAX AFF. COORDINATE WITH OWNER AND ARCHITECT.
- WATER FOUNTAIN OR WATER COOLER. SEE M/E/P DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- MOP SINK. PROVIDE FRP PANELS AROUND SINK. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- T.V. BY OWNER. CONTRACTOR TO PROVIDE NECESSARY BLOCKING FOR BRACKET.
- CONTRACTOR TO PROVIDE BLOCKING FOR OWNER SUPPLIED EQUIPMENT MOUNTED TO THE WALL. VERIFY LOCATION WITH OWNER.
- CUBICLE CURTAIN AND TRACK - SEE SPEC.



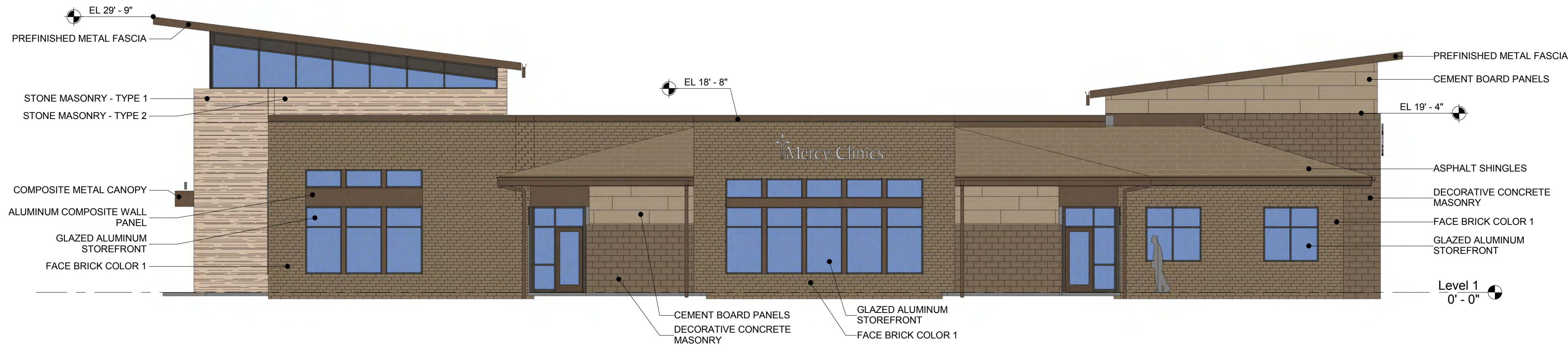
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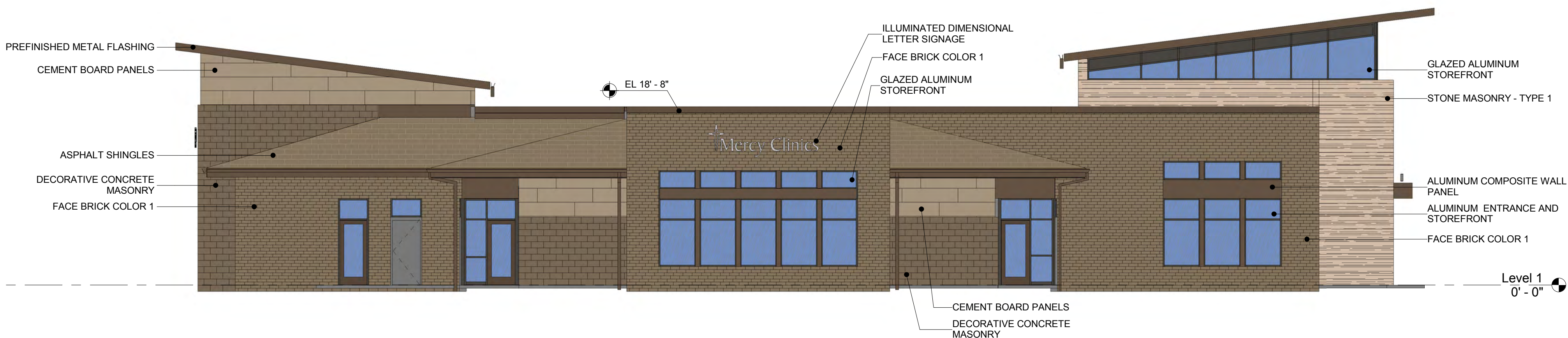
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SCALE: 1/8" = 1'-0"



2 EXT ELEV - WEST  
SCALE: 1/8" = 1'-0"



3 EXT ELEV - NORTH  
SCALE: 1/8" = 1'-0"



4 EXT ELEV - SOUTH  
SCALE: 1/8" = 1'-0"

MATERIAL	COLOR	DESCRIPTION
DECORATIVE MASONRY	HICKORY	8X8X16 BURNISHED DECORATIVE CONCRETE MASONRY
BRICK 1	OXFORD GRAY	VELOUR, UTILITY BRICK
BRICK 2	CASTILE GRAY	VELOUR, UTILITY BRICK
STONE MASONRY	ANAMOSA LIMESTONE	
METAL FASCIA	MEDIUM BRONZE	
METAL COPING	MEDIUM BRONZE	
METAL SOFFIT	MEDIUM BRONZE	
COMPOSITE METAL	MEDIUM BRONZE	
COMPOSITE METAL PANEL CANOPY	MEDIUM BRONZE	
ASPHALT SHINGLES	MISSION BROWN	
STOREFRONT	MESA BROWN	ALUMINIUM FRAMES
	CLEAR	GLAZING

WALL COMPOSITION (SF):

	GLASS	FACE BRICK	DECORATIVE MASONRY	LIMESTONE	FIBER CEMENT	BUILDING TOTAL
EAST	1179	542	458	87	436	2702
WEST	940	484	499	0	588	2511
NORTH	576	944	300	237	312	2369
SOUTH	573	947	300	237	312	2369
MATERIAL TOTAL	3268	2917	877	561	2328	9951
	32%	29%	16%	6%	16%	

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CONSULT 01 CITY STATE ZIP  
CONSULT 01 TEL FAX

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### PROJECT INFORMATION

**MERCY NORWALK**  
MARKETPLACE DRIVE  
NORWALK, IOWA

### DRAWING ISSUE INFORMATION

ISSUE FOR: DESIGN DEVELOPMENT

ISSUE DATE: 10/03/2016

REV DATE	REV

### MANAGEMENT INFORMATION

PROJECT NO: 16046

PRINCIPAL IN CHARGE: RO PROJECT ARCHITECT: JR

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SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NUMBER

# A200

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C:\Users\erica\Documents\ARCH - MERCY NORWALK\_erica.rvt



1 EXT - EAST FACE  
SCALE:



2 EXT - SOUTH FACE  
SCALE:



3 EXT - WEST FACE  
SCALE:

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### PROJECT INFORMATION

**MERCY NORWALK**  
MARKETPLACE DRIVE  
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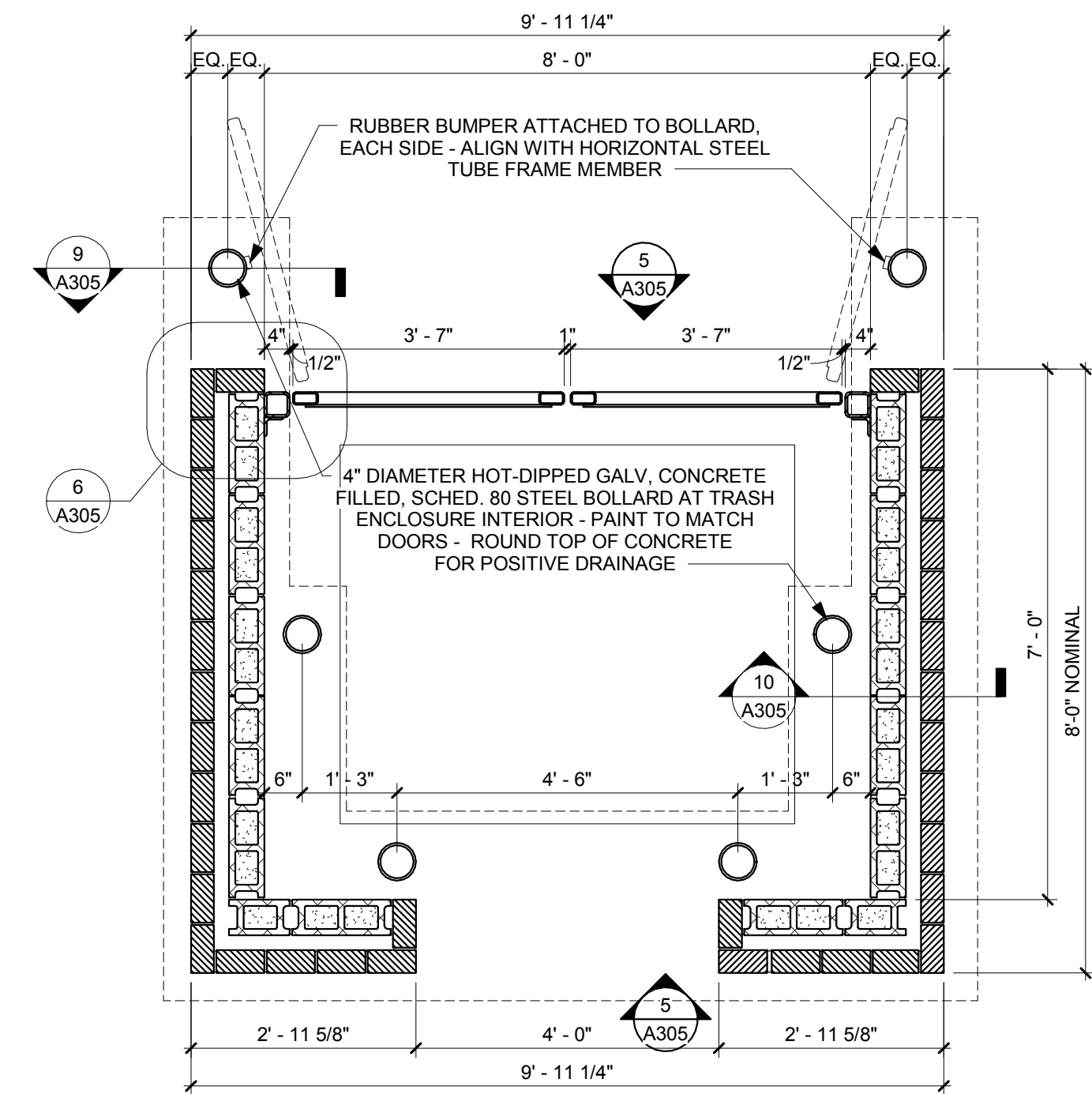
SHEET TITLE  
EXTERIOR VIEWS

### SHEET NUMBER

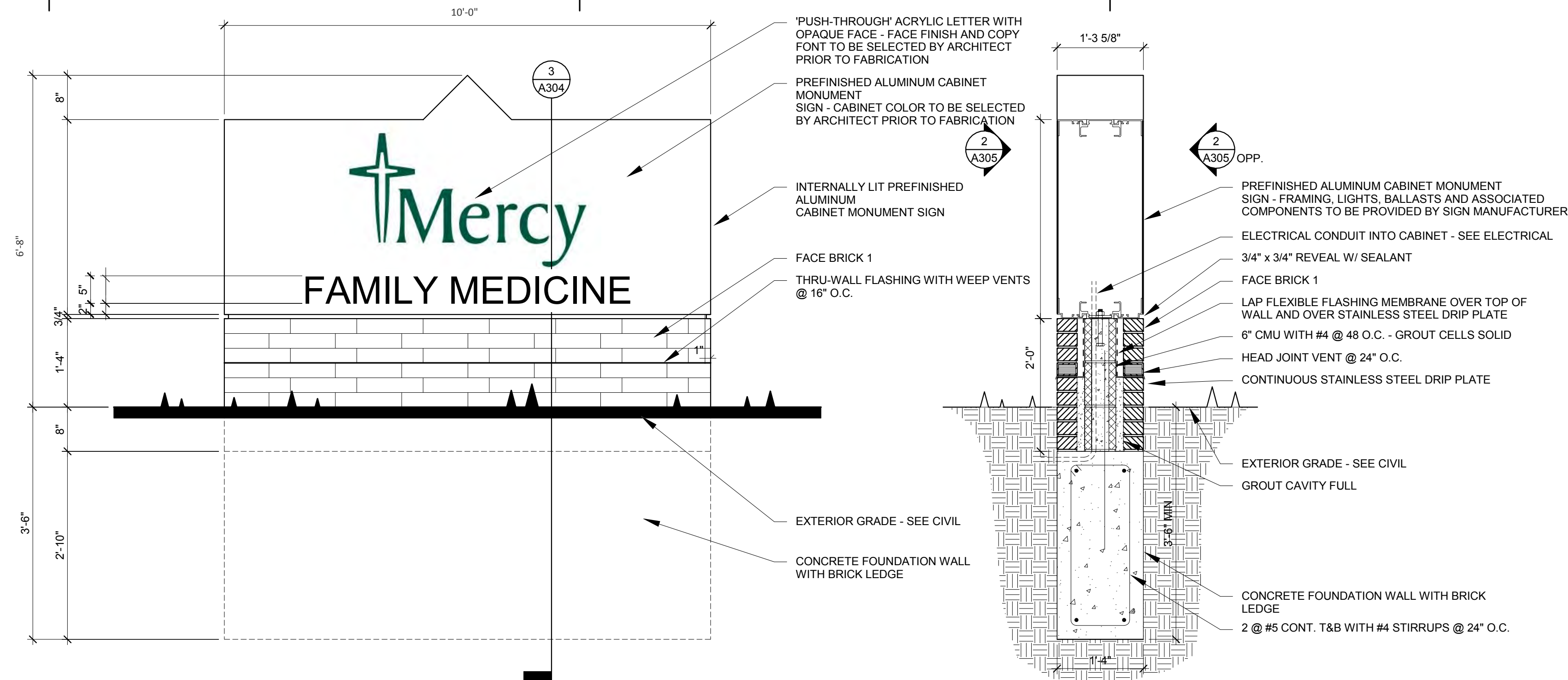
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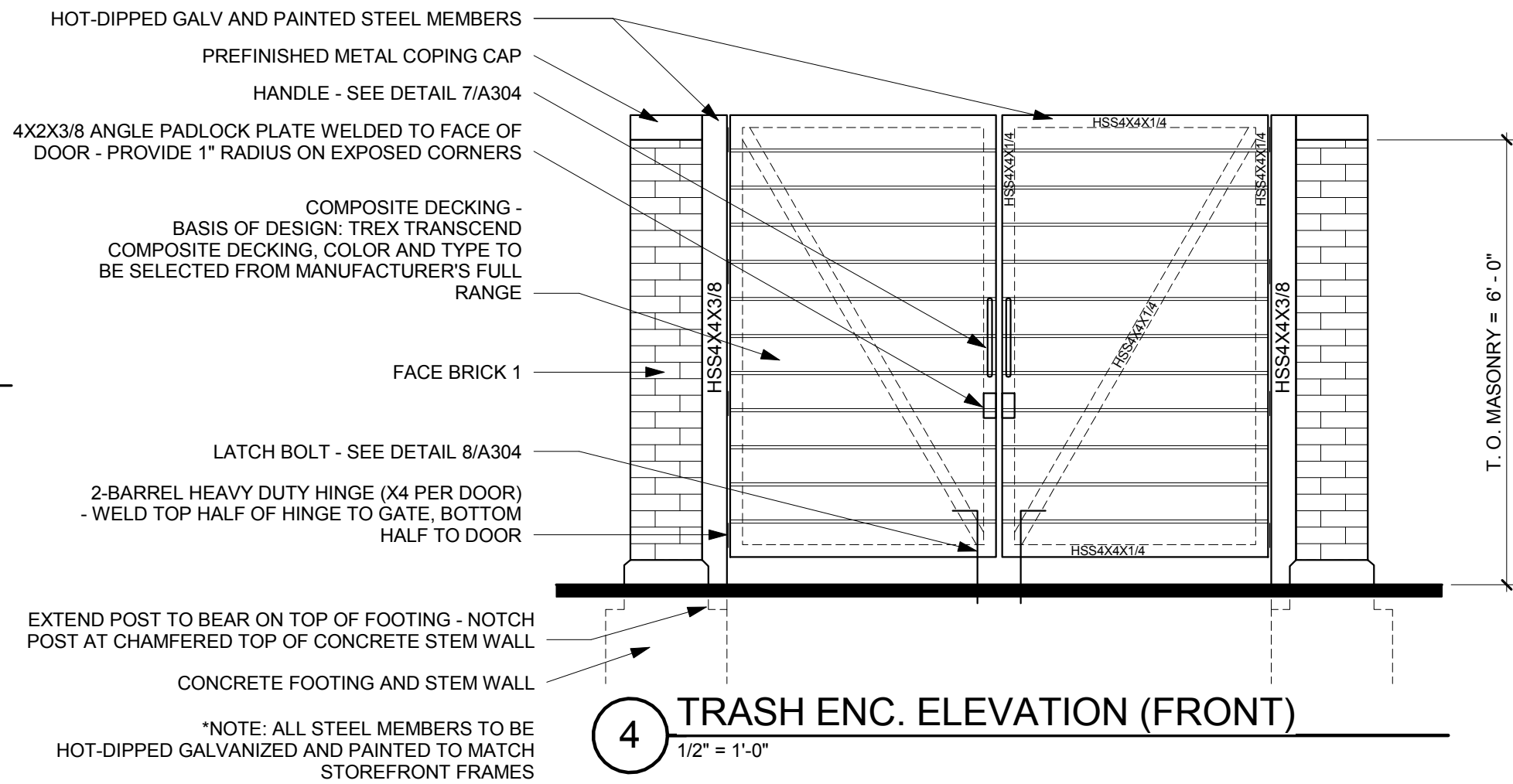


1 TRASH ENCLOSURE PLAN  
1/2" = 1'-0"

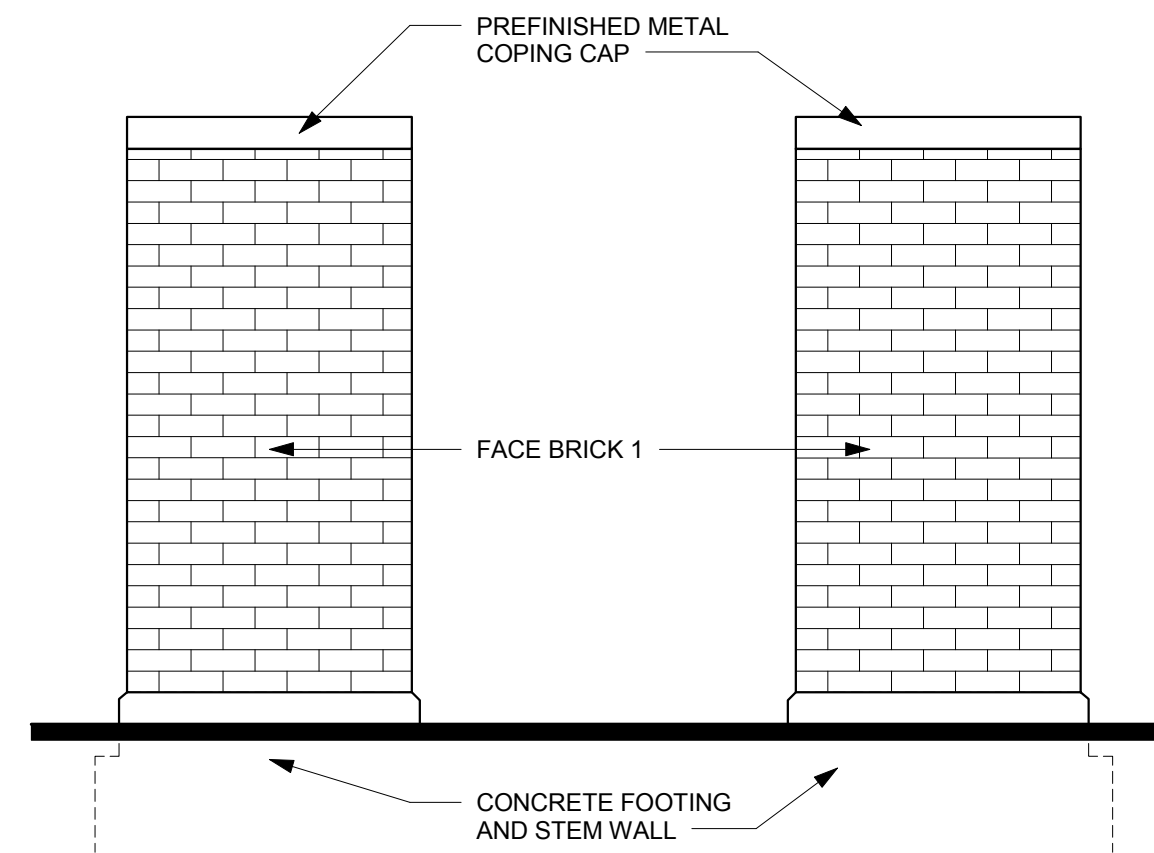


2 MONUMENT SIGN ELEVATION (BOTH SIDE SIMILAR)  
3/4" = 1'-0"

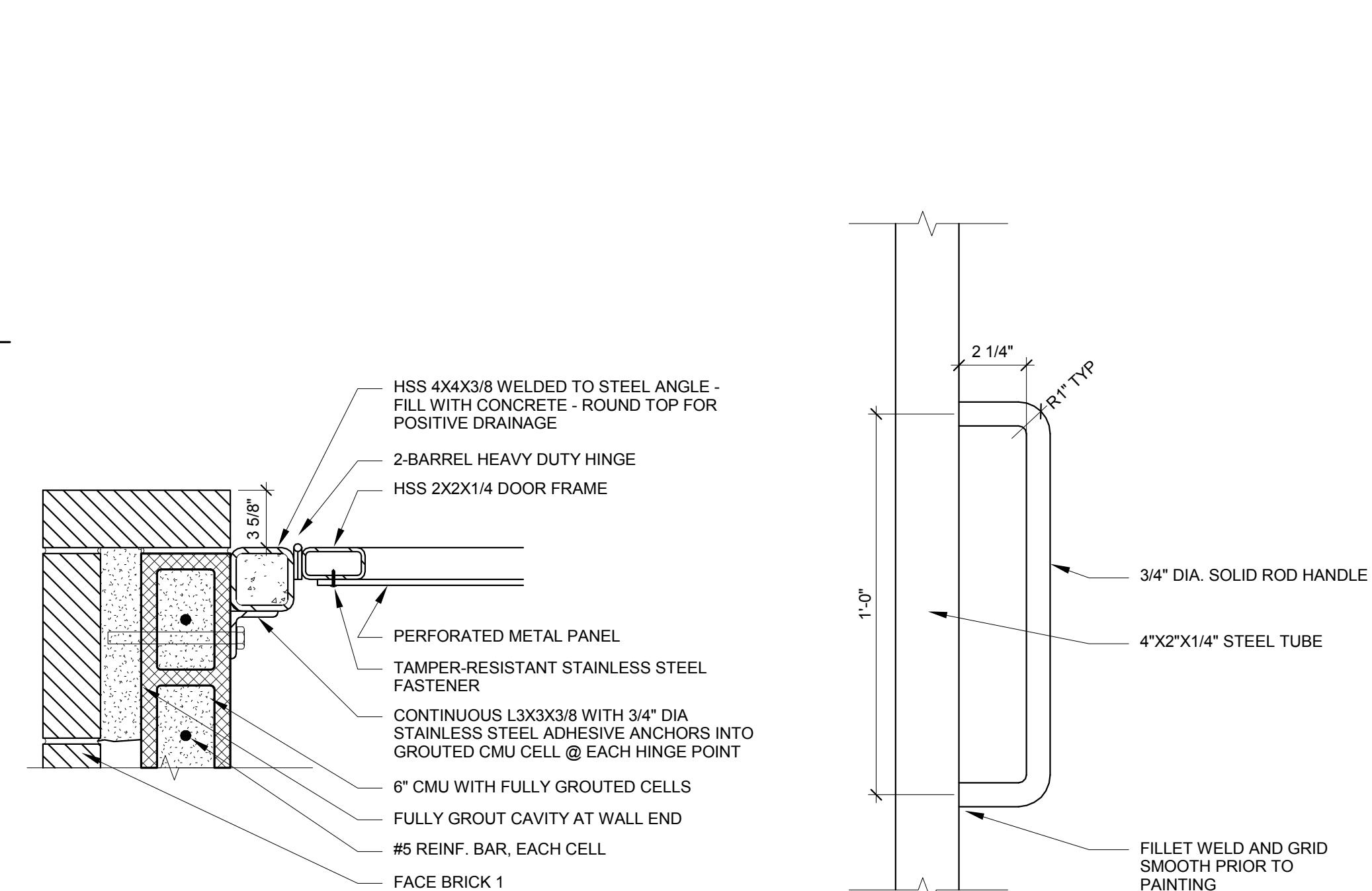
3 MONUMENT SIGN SECTION  
3/4" = 1'-0"



4 TRASH ENC. ELEVATION (FRONT)  
1/2" = 1'-0"



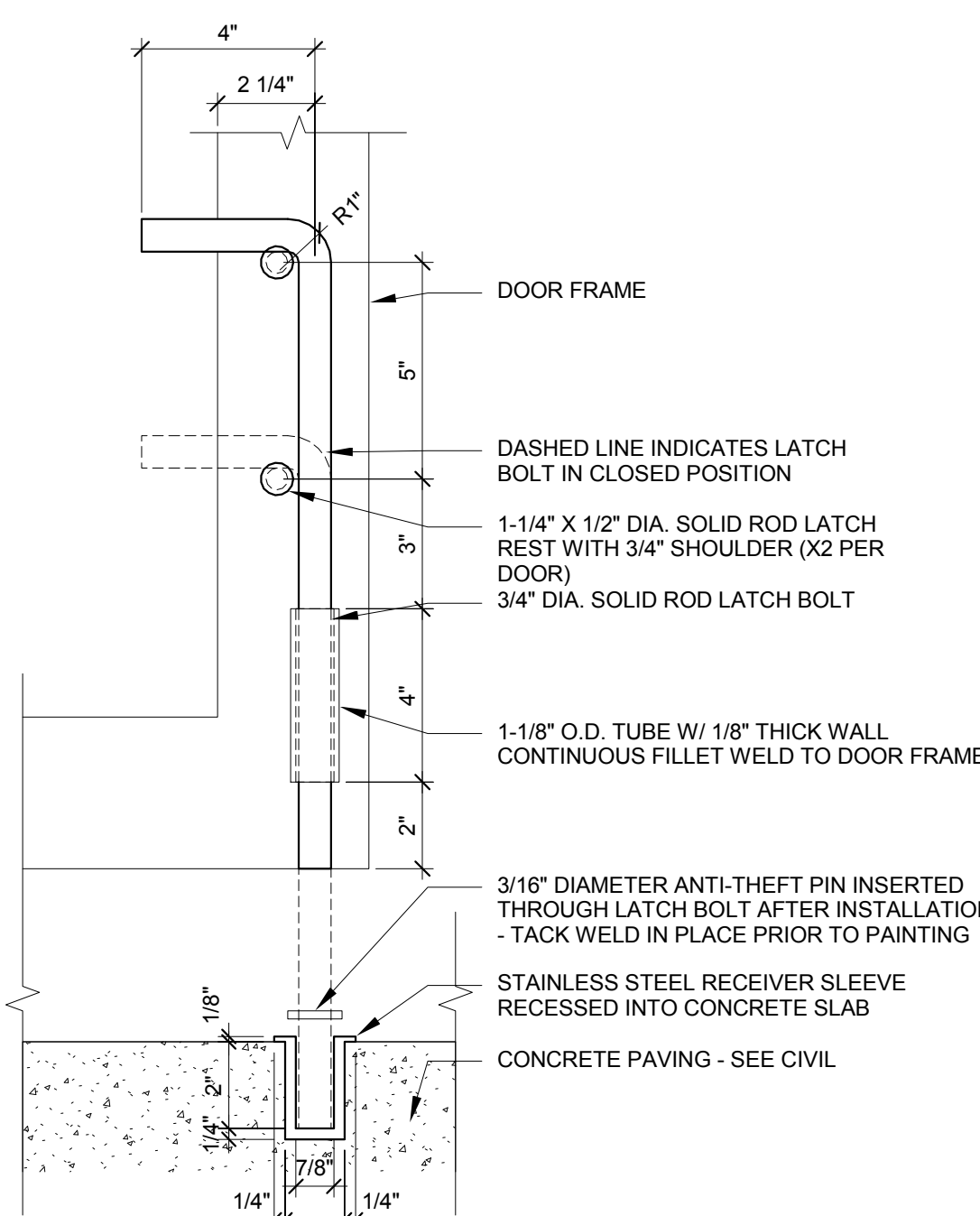
5 TRASH ENCLOSURE ELEVATION (BACK)  
1/2" = 1'-0"



6 DOOR FRAME/HINGE DETAIL  
1 1/2" = 1'-0"

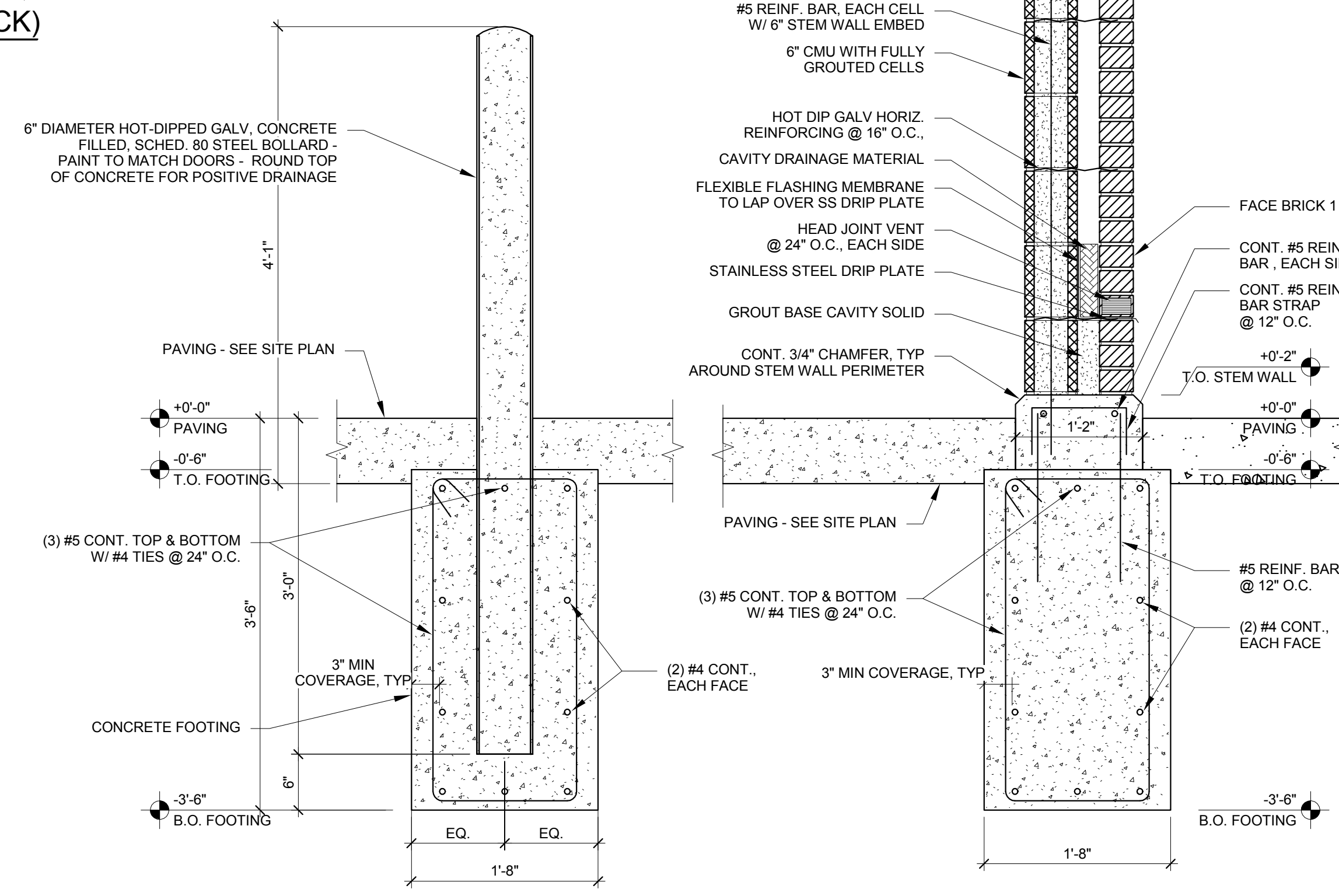
7 DOOR HANDLE DETAIL  
3" = 1'-0"

NOTE: PROVIDE ONE HANDLE AT EACH DOOR



8 LATCH BOLT DETAIL  
3" = 1'-0"

NOTE: PROVIDE ONE LATCH BOLT AT EACH DOOR



9 BOLLARD DETAIL  
1" = 1'-0"

10 DUMPSTER ENCLOSURE WALL SECTION  
1" = 1'-0"

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PRINCIPAL IN CHARGE: RO PROJECT ARCHITECT: JR

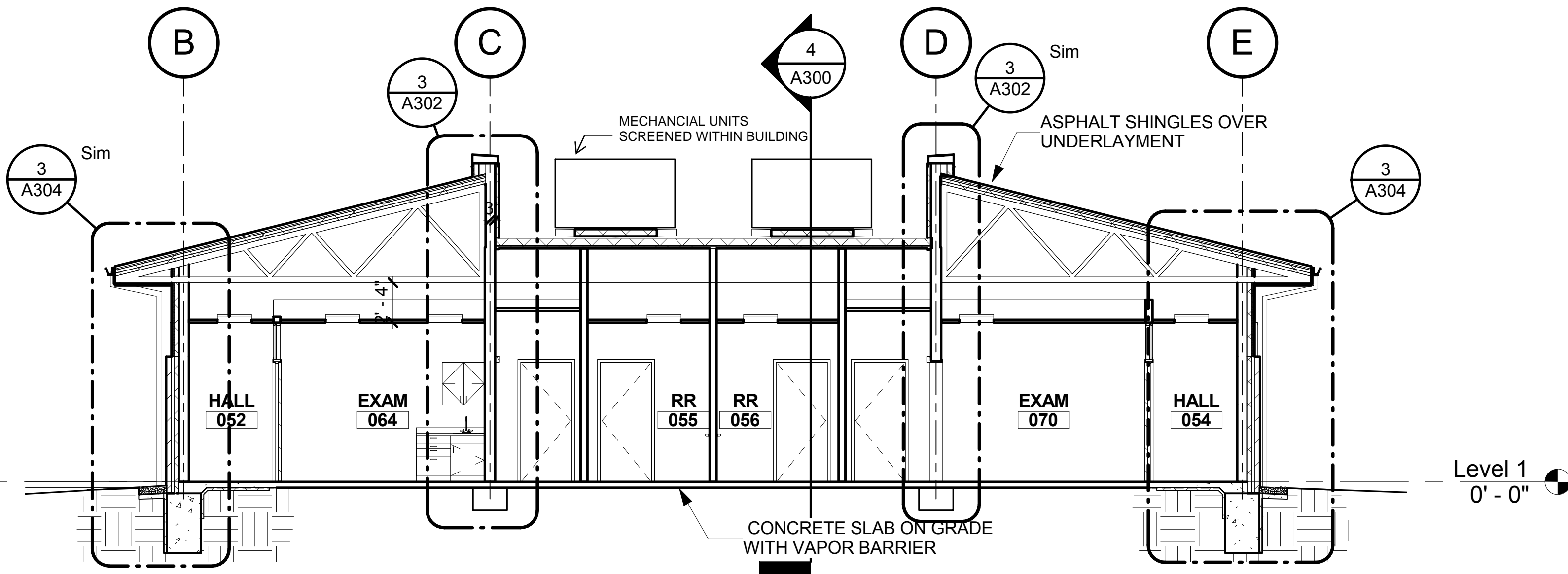
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SHEET TITLE  
TRASH ENCLOSURE &  
MONUMENT SIGN

SHEET NUMBER

A305

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<p style="text-align: center;"><b>CITY OF NORWALK</b> <b>REPORT TO THE NORWALK PLANNING COMMISSION</b></p>
--

**ITEM:** Discussion on parkland dedication requirements.

**MEETING DATE:** October 10, 2016

**STAFF CONTACT:** Luke Parris, AICP  
City Planner

**SUMMARY:** At recent Planning and Zoning Commission and City Council meetings, the topic of parkland dedication and a park master plan have been discussed. The current subdivision ordinance spells out the parkland dedication process. In summary, the process is as follows:

- New residential developments are required to dedicate parkland to the City that is consistent with the City's Comprehensive Plan and the City's Comprehensive Park Plan.
- If land proposed for development includes a park identified in the City's Plans, then the developer must show that park on their master plan or plat.
- If no park is proposed in the City's Plans for the developed land, then the developer shall be required to do one, or a combination, of the following:
  - Dedicate land owned outside of the planned development, as long as it is land planned as a park in the City's Plans.
  - Improve an existing City Park with the construction of park improvements, facilities, equipment, or trails, in an amount equal to the fair market value of the land needed to fulfil the parkland dedication requirement.
  - Provide a cash deposit for the implementation of park system in an amount equal to the fair market value of the land needed to fulfil the parkland dedication requirement.

For this process, the Subdivision Ordinance defines the fair market value of land as the value of the entire development, prior the initiation of construction of improvements to a subdivision. In other words, the fair market value is the cost of the undeveloped ground.



**ISSUES:**

Current concerns with the current process are the lack of a defined parks plan and lack of guidance on determining the fair market value of the parkland dedication requirement. The City's Comprehensive Plan does include a section on the parks system, but it only talks about future parks needs as the community grows and does not identify the location of parks. Past practice when determining the "fair market value" for the parkland dedication has been to take the purchase price the developer paid for the property and use it to determine a per acre fee. Recently, questions have been raised to if this cost is sufficient to develop our park system. We can use the recent Timber View subdivision as an example of how the current calculation would work (please note that Timber View dedicated parkland space within the development).

Purchase Price of Timber View - \$1,767,888 or \$15,024 per acre  
Number of Timber View Single-Family Lots – 144 units  
Parkland Space Required – 144 units x 783 sf = 112,752 sf or 2.59 acres  
Fair Market Value of Parkland – 2.59 acres x \$15,024 per acre = \$38,888.57

**QUESTIONS  
CONSIDERED BY  
COUNCIL:**

Does the City need to develop a new parks plan?

- Council directed staff to research the potential cost of a comprehensive park plan and begin work on a draft RFP for the project.

Does the current calculation provide enough funds and should the calculation for fair market value for parkland dedication purposes be revised?

- Council directed staff to research other city codes to understand how different communities handle dedication requirements and to consider any minor modifications to the parkland dedication requirements that would address the concerns while a comprehensive park plan is developed.

**SUMMARY OF OTHER  
CITY CODES:**

Staff has researched and summarized 5 municipalities in the metro to determine what those entities require when a developer doesn't offer parkland dedication.

Urbandale: "If the City Council determines that a dedication of land is not feasible or practical within a new development, the developer shall construct or install park infrastructure improvements that are equal in value to that of the minimum land dedication, had a land dedication been accepted, within an existing or proposed city park that can serve the new development. The cash value of said land dedication

shall be determined by multiplying the total purchase price or cost of all the land in the proposed development by 10%. A developer may voluntarily choose to pay a fee to the city in the amount determined under this section, in lieu of constructing park infrastructure".

Ankeny: "If parkland dedication is not possible, the developer may pay to the City a cash payment as hereinafter determined, which shall be placed in a special fund by the City and shall be used solely for the acquisition and/or development of park and recreational lands to serve the residents of the City. The payment in lieu of land shall be based on the fair market value of the acres of land in the development that otherwise would have been dedicated as a park site. There may be situations when a combination of land dedication and a contribution in lieu of land are both advisable when: Only a portion of the land to be developed is proposed as the location for a park site or A major part of the local park or recreational site has already been acquired and only a small portion of land is needed from the development to complete the site".

Pleasant Hill & Johnston: "The developer may make a request to the Council that the developer be allowed to meet the requirements through other arrangements agreeable to the Council and the developer as long as such agreement provides equal value to the City in the form of a Development Agreement".

West Des Moines: "As an alternative to dedication, any person filing a development application may provide jointly with other persons for the dedication of land in an amount at least equal to the amount required (per their dedication calculations) that the alternative jointly provided will provide for a park with a total land area of at least five (5) acres and be dedicated to the City. Any entity required to comply with this requirement may present an alternate plan to the park and recreation advisory board which shall make a recommendation to be presented to the plan and zoning commission, which will then go on to City Council to be approved or rejected. Any alternate proposal must directly and proportionately benefit the development. This subsection, however, does not authorize the payment of impact fees to the city in lieu of the land dedication requirements".