



CITY OF NEWPORT
2060 1ST Avenue
Newport, MN 55055
(651) 459-5677
ci.newport.mn.us

Commissioner:	Brandon Leyde	City Administrator:	Joe Hatch
Commissioner:	Maria Bonilla	Deputy City Clerk:	Jill Thiesfeld
Commissioner:	Anthony Mahmood	City Planner:	Nathan Fuerst
Commissioner:	Tami Fuelling	Council Liaison:	Marvin Taylor
Commissioner:	Michael Kermes		

PLANNING COMMISSION AGENDA
July 10, 2024 – 5:30 PM

1. CALL TO ORDER
2. ROLL CALL
3. MEETING MINUTES
 - A. June 11, 2024 – Regular Meeting
4. PUBLIC HEARING
 - A. Cherrywood - Preliminary Plat & Planned Unit Development
5. ADJOURNMENT



CITY OF NEWPORT
2060 1ST Avenue
Newport, MN 55055
(651) 459-5677
ci.newport.mn.us

PLANNING COMMISSION MEETING MINUTES June 11, 2024

1. CALL TO ORDER

Acting Chair Bonilla called the Planning Commission Meeting to order at 5:30 p.m. on June 11, 2024.

2. ROLL CALL

Present (4): Acting Chair Maria Bonilla, Commissioner Anthony Mahmood, Commissioner Tami Fuelling, and Commissioner Michael Kermes.

Not Present (1): Chairman Brandon Leyde

3. MEETING MINUTES

A. April 9, 2024 – Regular Meeting

Commissioner Kermes motioned to approve the Planning Commission Meeting Minutes from April 9, 2024. Seconded by Commissioner Mahmood. Approved 4-0.

4. PUBLIC HEARING

A. Bailey Farm Business Park – Concept Plan

City Planner Nathan Fuerst gave a presentation on the Bailey Farm Business Park Concept Plan. The applicant, United Properties, is proposing a development on two parcels currently owned by Bailey Nurseries. The zoning is B-1 Business Park, and the future land use is mixed commercial/residential. The proposed development would consist of two large business park/industrial buildings on approximately 24.7 acres, and a commercial outlot on 11 acres. The concept plan is advisory only and no decisions will be made. The next steps include an environmental assessment worksheet (EAW), preliminary plat and planned unit development, and the final plat. The commissioners asked questions related to utilities and traffic.

Acting Chair Bonilla opened the Public Hearing at 6:09 p.m. on June 11, 2024.

Marilyn Pierce, residing at 6315 Bailey Road in Woodbury, addressed the Commission. Ms. Pierce is concerned about the traffic. She also inquired about the utility plan as she currently has a well on her property.

Linda Goff, residing at 2570 Bailey Court, addressed the Commission. Ms. Goff stated it might be helpful to lower the speed limit from 55 mph on Bailey Road as it is hard to get onto that road at times. She also inquired if Washington County is considering a roundabout. Ms. Goff stated the owners of 2800 Bailey Court could not attend the meeting, but they had a question related to the installation of a 6' fence in front of their property.

Pauline Schottmuller, residing at 97 10th Street, addressed the Commission. Ms. Schottmuller stated she is excited about a commercial development coming to Newport. She has concerns about traffic on Bailey Road and asked that the city keep everyone informed with updates in the City Newsletter.

Dwayne Goff, residing at 2570 Bailey Court, addressed the Commission. Mr. Goff inquired if something could be added such as a “no access” sign to keep traffic from coming down their dead-end road.

Acting Chair Bonilla closed the Public Hearing at 6:17 p.m. on June 11, 2024.

Connor McCarthy, Developer with United Properties, addressed the Commission. Mr. McCarthy stated they recognize there is still a lot to coordinate between the communities, the traffic study, parking, etc. Their goal is to comply with the development standards. Mr. McCarthy stated they do not have a user identified yet as they don’t know when they will break ground on the buildings. Often these buildings are used for office functions, production, and warehousing.

Planner Fuerst stated the next step is to bring this concept plan to the City Council meeting on July 18th.

5. ADJOURNMENT

Commissioner Fuelling motioned to adjourn the Planning Commission Meeting. Seconded by Commissioner Mahmood. Approved 4-0.

The Planning Commission Meeting was adjourned at 6:31 p.m. on June 11, 2024.

Respectfully submitted:
Jill Thiesfeld,
Deputy City Clerk

Signed: _____
Joe Hatch, City Clerk

Signed: _____
Brandon Leyde, Chairman



CITY OF NEWPORT
2060 1ST Avenue
Newport, MN 55055
(651) 459-5677
ci.newport.mn.us

Memorandum

To: Newport Planning Commission
From: Nathan Fuerst, AICP, City Planner
Date: July 10, 2024
Subject: PUBLIC HEARING – Cherrywood Preliminary Plat and Planned Unit Development/
CUP and Rezoning Requests

Background:

The Applicant, Twin Cities Land Development, is proposing a residential development to be called Cherrywood. The project is proposed on two contiguous parcels of land, one currently owned by Bailey Nurseries, LLC, and the other by David and Elena Erismann.

This project was reviewed by the City several times at the conceptual stage, the most recent review by the City Council was on April 9, 2024. The Applicant has used feedback to inform their plans for preliminary plat and planned unit development (PUD) review by the City.

As currently proposed, the development will contain 123 residential units on about 35 acres, some of which are unbuildable bluff areas. The residential units would be split between 73 single family detached villas and 9 townhome buildings with a total of 50 attached units. Common area ownership of the outlot around the townhomes is be proposed with an HOA planned to maintain the grounds and building exteriors.

Summary of Proposal

Applicant: TCLD Land Holdings, LLC

PIDs: 3602822440001 (Bailey Nurseries LLC) & 3602822440002 (David & Elena Erismann)

Zoning: RE – Rural Estate, Bluffland Area Overlay District

Future Land Use: Mixed Residential

Subdivision (Platting) Review Process

The developer is required to go through the platting process to subdivide this property. The Subdivision ordinance establishes the subdivision process in City Code Sec. 28-37 as follows:

All subdivisions are subject to platting requirements unless otherwise provided for in this article.

Platting requires two sequential reviews and approvals by council. A preliminary plat is required for overall public infrastructure phasing and capital improvement planning, and a final plat is required for recording each phase or addition.

This project will be reviewed in two separate phases. Due to the nature of the required public improvements and public right of way required, the City will not find a final plat application complete until the preliminary plat has been approved.

Land Use and Density:

Application materials submitted with this request have been reviewed by staff for conformance with the zoning code and 2040 Comprehensive Plan. When fully developed, this site must be consistent with City standards.

Zoning

The existing zoning for the property is Rural Estate (RE). It is noted that the RE district is intended to be a transitional district in areas of the City guided for growth by the Comprehensive Plan. The Applicant is requesting to rezone this property to Urban Mixed Residential District (R-2), which is noted in their narrative. Multi-family developments are permitted in the R-2 district with a PUD. This concept is reviewed against those standards applicable to development in the R-2 district.

Comprehensive Plan

This property is guided for Mixed Residential in the City’s adopted Comprehensive Plan. The proposed land use and zoning district is consistent with uses allowed within the Mixed Residential future land use category. Furthermore, the proposed development meets the Future Land Use Guidance and range of allowable density (5-20 units/acre). Based on the project plans a calculation of the anticipated density is below:

1. Gross Area = 34.43 acres
2. Bluffs and Bluff Setbacks/buffer = 11.82 acres
3. Net Area = 22.61 acres
4. Net Density = 123 units/ 22.61 acres = 5.44 units/acre

Plan Review

Application materials submitted with this request have been reviewed by staff for conformance with the zoning code’s performance standards. A summary of this review is below.

Zoning (Bulk) Standards	Townhomes		Single Family Detached	
	Required	Proposed	Required	Proposed
Minimum Lot Area	3,650 sq ft	1776 sq ft *	7,200 sq ft	4,800 sq ft *
Minimum Lot Width	N/A	N/A	50 feet	40 - 50 feet*
Minimum Lot Depth	120’	73 feet*	120 feet	120 feet
Minimum Setbacks:				
Front (bldg. to front lot line)	20 feet	10 feet*	20 feet	20 & 25 feet
Front (bldg. to ROW line)	20 feet	25 feet		
Side (between buildings)	20 feet	15 feet *	10 feet	10 feet (5 each lot)
Side (abutting RE district)	50 feet	30 feet *	50 feet	N/A
Side Corner (bldg. to street)	40 feet	40 feet	10 feet	10 feet
Rear	30 feet	13 feet *	25 feet	25 feet
Height	40 feet	Not provided	40 feet	Not provided
Lot Coverage	60% (per lot)	81%*	50%	Not provided

* PUD Deviations required

Bluffland Area

Given Newport’s location and geography, the City has adopted a special zoning overlay district (the Bluffland Area overlay District) to protect sensitive bluff areas from development. Standards from the Bluffland overlay district are found in City Code sections 36-428 – 36-432. The following requirements will impact the development:

- Structure placement and setbacks – all structures, grading, and other improvements must be a minimum of 30’ of the top of bluff. The Applicant has found the top of bluff line and measured setbacks against it.
- Vegetation Management – The tree protection and replacement plan appears to be consistent with Sec. 36-432. See staff comments on Landscaping, below, for planting requirements.

While the proposed plans appear to generally conform with the City’s bluffland area ordinance, the City has an opportunity to seek additional protection of the bluff area through the PUD approval process. For this development, Staff recommend that the Developer modify the plans in the following ways to better protect the bluff area:

- Revise the plans to increase the size of Outlot C in order to entirely contain the bluff setback area.
- Provide a plan for protection or restoration of the top of bluff area, including removal of buckthorn in the bluff impact zone and location of signage to identify bluff protection area.
- Provide plan to identify and protect existing quality trees in the bluff impact zone and provide an enhanced planting plan to add tree plantings between the top of bluff and residential lots.

Townhome Lot Configuration

As proposed, the plans show the townhome units to be platted on individual lots with one or more outlots containing the stormwater ponds, yards, and other common areas. This is a common way to plat this type of development. It can be advantageous to allow this configuration as it enables creation of Homeowner’s Associations (HOAs). HOAs often provide conditions or requirements for maintenance or upkeep of properties and reduce the need of the City to enforce its own requirements. Staff are supportive of the deviations needed to allow the creation of lots to contain the separately owned townhome units.

Building Design

City Code section 36-163 provides standards for design review of projects in the R-2, along with standards for all residential properties. Section 36-163 also references a requirement to meet standards for nonresidential districts established in City Code Section 36-162.

Building Materials

This development is subject to two sets of building material standards. One for residential properties (Sec. 36-163(c)), and one for commercial properties (Sec 36-162 (1)(a)). In this case, the most restrictive standard applies.

- Residential standards - (Sec. 36-163(c)) – *The exterior primary building materials of principal and accessory residential structures may include wood, lap siding with wood appearance (shall not include corrugated or flat metal panels), vinyl, brick, stone, marble, glass, decorative concrete block, stucco, and equivalent or better products. Asphalt shingles, metal (finished metal standing seam), roofing tiles, slate, copper, and materials with a similar appearance to those materials may be used for roofing materials.*
- Commercial standards - (Sec 36-162 (1)(a))
 - *Class I exterior building materials include brick, stone, marble or glass. Bronze-tinted or mirror glass are prohibited as exterior materials.*
 - *Class II exterior building materials include architecturally-treated concrete panels, cast-in-place concrete, or pre-cast concrete panels; specialty concrete block (such as textured, burnished, or rock-faced block) or stucco.*

- *Class III exterior building materials include unpainted or surface-painted concrete block (scored or unscored), unpainted or surface-painted plain or ribbed concrete panels, and unfinished or surface-painted metal.*

Because the applicant is required to meet the highest standard, they would be subject to commercial building requirements. It is not realistic to have a residential development meet standards for commercial buildings. Therefore, staff are supportive of the request for residential and not the commercial standards to apply for this development.

Other Building Design Requirements

Additional requests for flexibility should be identified if desired. However, it does not appear that any deviations will be needed for the following elements:

- Roof Materials
- Lighting
- Accessory Structures (if proposed)
- Trash Screening

Site Design

Tree Preservation

This development site contains considerable forested bluff area. Due to the significant presence of woodlands in the bluff, staff have required tree inventory outside of the bluffs and near the top of bluff areas but have allowed sampling of the woodland areas to produce an estimate of trees on the entire site. The Developer has provided an estimate of all trees on the property, accordingly, with a mitigation plan generally conforming with City Code Sections 18-42 and 36-432.

Given the amount of woodland preservation on the property, the Applicant will not be required to replace any trees that are being removed by the project. However, landscaping meeting the City's minimum requirements is still required.

Landscaping and Screening

This property is subject to a requirement of one tree for every 1000 square feet of non-impervious lot cover (excluding storm basins), and one overstory tree for every 50 feet of lot frontage.

The Applicant is requesting flexibility to the City's landscaping requirements. 417 trees are required based on permeable area above the bluffline. Only 259 trees are being planted. Therefore, the Applicant is requesting a deviation to be granted for required tree plantings.

The Applicant will need to provide a restoration plan which includes enhanced tree plantings around the bluff, and other best management strategies to preserve the bluff itself. Staff are comfortable recommending approval of this deviation request if a cash in lieu fee is paid for the remainder of trees that cannot reasonably be planted.

Parking/Loading Areas

Parking standards are provided by City Code Section 36-161. The number of required parking stalls is provided below:

- Single- and two-family dwellings require two spaces per unit, at least one of which shall be enclosed.
- For multifamily projects with less than eight units, there are 2 stalls required per unit, with an additional one-half stall of visitor parking required per unit.

All units will have a minimum of two enclosed parking spaces, and two parking spaces within driveways. Therefore, the development will meet the City's parking requirements.

Site Access and Circulation

The development is proposed to have two access points along Century Avenue. One continuous internal road is proposed in this development which will provide access to all units. This change was made possible through the addition of the Erismann parcel to the plan, and realignment of the internal road. Staff are supportive of the alignment shown.

Sidewalks

Sidewalks on at least one side of the street are required. One sidewalk is shown on the plans, accordingly. Due to the need for more space near the bluffline, the sidewalk has been shifted to the opposite side of the proposed street.

Lighting

Adequate lighting shall be provided if required by the City's Engineering Design Standards Manual.

Parkland Dedication

With a proposed 123 units, this project will create a demand on the City's parks and trails system. It will be required to provide park land dedication, or cash in lieu of dedication to support enhancements of the City's park system. Given that this property is located less than a half mile from an existing access to Loveland park, Staff are supportive of cash in lieu of land dedication. A trail connection will be provided within the public right of way near the eastern property boundary for a road separated north-south trail.

Staff Review Comments

City Engineer & Public Works

The City Engineer and Public Works Superintendent have had an opportunity to review the plans. Several key comments are provided below:

- 30-foot bluff setback should be fully contained within adjacent Outlot C and conform to South Washington Watershed District requirements.
- All municipal utilities and public improvements shall be constructed in accordance with applicable City Public Works Design Manual and industry design standards.
- All utilities shall be contained with a drainage and utility easement such that the utility can be exposed with a 4-foot-wide trench (centered on utility) and 1.5V:1H trench slope.
- The application shall submit a stormwater maintenance plan for City review and approval.
- The applicant must release the private easement as within Document No. 369223.
- The applicant must submit a draft copy of the final plat for review.

Several comments made during the concept plan stage still also apply:

- The utility schedule is difficult to predict and will be contingent upon a state grant request from the City of Cottage Grove who will need to provide water to this site. That is not expected to be complete to allow for planning until the start of 2024.
- Sanitary Sewer must be extended by the developer from the existing location just south of Kalen Drive.
- Century Avenue will need to be reconstructed to provide access to this site. More discussion is needed on whether the connection of Century Avenue to 65th street is severed.

City Fire Chief

The City's fire chief has reviewed and did not have any comments on the plans.

South Washington Watershed District (SWWD)

City staff circulated the concept to the SWWD staff for review. The primary review comment was that the watershed rules require a 60' buffer from the bluffline.

City staff believe that the plans can be amended to meet the spirit of the watershed's rule, which is to protect the bluff. City staff have made the following suggestions to the developer:

- Expand Outlot C (containing the bluff area) 30' in to the development from the top of the bluff to provide an additional bluff protection area.
- Manage stormwater such that impervious surfaces (homes, patios, etc) along the bluff line do not drain down the bluff.
- Create a bluff restoration/revised landscaping plan which provides long term stabilization through enhanced tree plantings in the bluff preservation area. To the extent reasonable, buckthorn should also be removed in the area around the top of bluff and replaced with other groundcovers.

Planned Unit Development (PUD)

When PUDs are Used:

The planned unit development (PUD) process is an approach to development that provides a comprehensive procedure intended to allow greater flexibility in the zoning process than would be possible under conventional district standards. A PUD may allow modifications to zoning and subdivision requirements such as lot size and dimensions, rights-of-way and street widths, housing types and building setbacks, as well as allow zero-lot line development. The goals of the PUD may include the following:

- 1. To meet the goals and policies of the comprehensive plan while preserving the health, safety, and welfare of city residents;*
- 2. To encourage creative and efficient development of land and its improvements that is not possible under strict application of zoning and subdivision requirements;*
- 3. To allow for the potential mixture of compatible uses in an integrated and well-planned area;*
- 4. To facilitate the economical and efficient provision of streets and public utilities, prevent development that would burden the existing tax base or occur in areas without adequate public improvements, and preserve natural features and desirable site characteristics;*
- 5. To permit developments that are compatible with established and proposed surrounding land uses and provide benefits to the city and to the general public to justify any necessary exceptions to the zoning and subdivision ordinances.*

Required Standards

City Code Section [36-261](#) establishes the qualifying criteria for a Planned Unit Development:

The city shall consider the proposed PUD from the point of view of all standards and purposes of the comprehensive land use plan to achieve:

- 1. Coordination between the proposed development and surrounding land uses;*
- 2. The protection and conservation of woodlands, wetlands, blufflands, and primary conservation areas within the Mississippi River Corridor;*
- 3. The potential for more efficient use of land, energy, infrastructure, and natural resources, protection of water resources and conservation of natural resources.*
- 4. The protection of health, safety, and welfare of the community and residents of the PUD;*
- 5. Benefit to the city and the public interest.*

Findings

Preliminary Plat

The Planning Commission shall recommend the approval of the proposed development if it meets all of City Code and Comprehensive Plan requirements. Staff are recommending a finding that the project does not meet any of the findings for denial which are established in the City's subdivision ordinance (Sec. 28-63) as follows, below:

- a) That the proposed subdivision is in conflict with the city's comprehensive plan, zoning regulations, capital improvements program, or other policy or regulation, except as such regulations may be modified within a duly approved planned unit development (PUD).
- b) That the proposed subdivision is in conflict with the purpose and intent of this article.
- c) That the physical characteristics of the site are such that the site is not physically suitable for the type of development or use contemplated. Such physical characteristics may include, but are not limited to, topography, vegetation, susceptibility to erosion, susceptibility to flooding, and similar characteristics.
- d) That the design of the subdivision or the proposed improvements is likely to cause substantial and irreversible environmental damage.
- e) That the design of the subdivision or the type of improvements will be detrimental to the health, safety, or general welfare of the public.
- f) That the design of the subdivision or the type of improvement will conflict with easements on record or with easements established by judgment of a court.

Rezoning

The Planning Commission shall recommend the approval of the proposed development if it meets the following criteria per section 36-40(e) of City Code:

“In considering the proposed amendment, due allowance shall be made for existing conditions, for the conservation of property values, for the direction of building development to the best advantage of the entire city, and for the uses to which the property affected is being devoted at the time. No change shall be recommended unless it is required of the public good, is in the interest of the public health, safety, and welfare, and is compatible with the comprehensive plan of the city and any applicable requirements of this article.”

Planned Unit Development

Planned Unit Developments in the City of Newport are processed as Conditional Use Permits. In addition to those findings established for Conditional Use Permits, there are findings specific to Planned Unit Developments which must be made supporting City approval. All required findings are provided below with staff recommendations following in italics.

Sec. 36-45 Conditional Use Permit Criteria:

- a) Consistency with the comprehensive plan. The proposed use shall be consistent with the comprehensive plan. *The proposed land use is consistent with the land uses and densities allowed by the City's 2040 Comprehensive Plan.*
- b) Health and safety. The proposed use shall not negatively impact the health, safety, and general welfare of occupants of surrounding lands and general welfare of the city, including, but not limited to the factors of noise, glare, odor, electrical interference, vibration, dust, and other nuisances; fire and safety hazards; existing and anticipated traffic conditions; parking facilities on adjacent streets and land; the effect on surrounding properties including valuation, aesthetics and scenic views; land uses and character and integrity of the neighborhood; impacts on governmental facilities and services including roads, sanitary sewer, water, and police and fire; effects on sensitive environmental features including lakes, surface and groundwater supply and quality, wetlands, slopes, floodplains and soils; and other factors found relevant by the city. *The development will provide landscaping, screening, stormwater treatment, and pedestrian connections to mitigate impacts on the surrounding community and environment. Through a bluff preservation plan, the development will stabilize the bluff and provide additional tree plantings in the area surrounding the top of bluff.*

- c) Compliance with standards. The city shall consider whether the proposed use complies or is likely to comply in the future with all standards and requirements set out in the regulations and ordinances of the city or other governmental bodies having jurisdiction over the city. *With this requested PUD, this project will meet the City's requirements for this land use on this site.*
- d) Public infrastructure services. Adequate public facilities and services shall be able to be provided to the site where the use is proposed, and/or existing infrastructure shall be able to absorb the additional demand for public services such as utilities, streets, parks, schools, etc. *Public utilities will be available to serve this site and connections will be made at the cost of the developer at no cost to the City.*
- e) Screening and landscaping. Incompatible impacts of the proposed use shall be screened and buffered from adjacent property and the surrounding neighborhood. The city council may require additional landscaping or screening above that required in the zoning ordinance. *Appropriate landscaping and screening are provided as part of the proposed site plan.*
- f) Architectural standards. The site or building associated with the proposed use shall meet or exceed the architectural design and landscaping standards for the district in which it is located. The city council may require additional architectural standards above those required in the zoning ordinance. *The Development meets the intent of the City's design standards. With the deviation received through the PUD, the project will comply with the City's architectural standards.*
- g) Zoning. The use shall be consistent with the requirements of the zoning ordinance and the requirements of the zoning district in which the applicant intends to locate the proposed use. *With the deviations received through the PUD, the project will comply with the City's zoning standards*
- h) Traffic. The city shall evaluate the potential generation and characteristics of the traffic associated with the use and its impact on traffic volumes and safety based on the proposed driveway locations, the existing and proposed capacity of adjacent roads, sidewalks, and trail connections. The City shall determine that the existing transportation infrastructure is adequate to address the potential traffic or shall require that the potential impacts shall be mitigated. *Staff have determined that existing City and County transportation infrastructure are sufficient to serve the use proposed on this site.*

Sec. 36-261 Required PUD Standards:

- a) The city shall consider the proposed PUD from the point of view of all standards and purposes of the comprehensive land use plan to achieve:
 1. Coordination between the proposed development and surrounding land uses; *The proposed land use is consistent with both the zoning code and comprehensive plan. The development provides adequate consideration of the existing land uses surrounding the project site.*
 2. The protection and conservation of woodlands, wetlands, blufflands, and primary conservation areas within the Mississippi River Corridor; *The proposed project is consistent with the City's tree mitigation requirements.*
 3. The potential for more efficient use of land, energy, infrastructure, and natural resources, protection of water resources and conservation of natural resources. *The proposed project will preserve a wetland and associated buffer while allowing residential units at densities allowed by the City's zoning ordinance and comprehensive plan.*
 4. The protection of health, safety, and welfare of the community and residents of the PUD; *The proposed development adequately addresses the health, safety, and welfare of the future residents and those land uses surrounding the proposed development.*
 5. Benefit to the city and the public interest. *The proposed development will provide affordable housing units which are presently needed at this location in the community as identified by the Comprehensive Plan.*
- b) To these ends, the city council shall consider the location and compatibility of buildings, parking areas and other features with respect to the topography of the area and existing natural features; the efficiency, adequacy and safety of the proposed layout of internal streets and driveways; the adequacy and location of green areas; the adequacy, location and screening of parking areas; and such other matters as the council may find to have a material bearing upon the stated standards and objectives of the comprehensive land use plan. *The proposed development meets the intent of city design and landscaping requirements and provides important connections through and around the site. The site*

plan adequately considers the context of the site not limited to the bluff area, screening, parking, and access.

Sec. 36-267 Required PUD Findings:

1. The proposed PUD is designed to form a desirable and unified environment within its own boundaries. *The design of the site is consistent with the City's design requirements. Building facades are largely compliant with City requirements for residential structures and will compliment existing development.*
2. The PUD is consistent with the planned and efficient provision of public improvements and would not burden the existing tax base or create development in areas without adequate infrastructure or public facilities. *The proposed development will be adequately served by the surrounding roadway network, city utilities, and is not requesting financial assistance from the City.*
3. The PUD can be planned and developed to harmonize with any existing or proposed development in the areas surrounding the project site. The proposed uses will not be detrimental to potential surrounding uses. *The site plan is determined to be harmonious with the surrounding land uses. Landscaping and screening along with building massing and location are consistent with both the intent of the zoning code and the existing development pattern.*
4. The tract under consideration is under single ownership or control. *The project area will be under control by the developer if and once entitlements are received.*
5. The PUD plan provides for the creation, preservation, or restoration of natural resources such as valuable habitat, lakes, streams, shorelands, floodplains, woodlands, steep slopes, and similar areas. *The proposed project will meet tree mitigation requirements and preserve a wetland and associated buffer consistent with South Washington Watershed District rules.*
6. Each phase of the development, as it is proposed to be completed, is of sufficient size, composition, and arrangement that its construction, marketing, and operation are feasible as a complete unit, and that provision and construction of dwelling units and common open space are balanced and coordinated. *The development is consistent with density, lot area, site design, and open space requirements.*
7. Any common elements proposed as part of the PUD are appropriate for the scale, location, shape, size, density, and topography of the development and must be suitably improved for the intended use(s) except that significant natural features may be preserved or restored. *The proposed development adequately preserves natural features and provides programmed open space meeting the intent of city requirements.*
8. The project area is at least ten acres in size unless the applicant can show that a PUD of less acreage meets the standards and purposes of the comprehensive plan, that the proposal better adapts itself to the site and with the surrounding land uses than could be developed using strict standards within the underlying zoning district. *The Developer has demonstrated plans that are consistent with Land Use Goals 1 & 5 as articulated in the adopted Comprehensive Plan. Deviations requested are determined to be reasonable, and not reasonably met under strict interpretation of the zoning ordinance.*

Required Approvals and Next Steps

The Developer will need to receive the following approvals for this proposed development:

1. Preliminary Plat
2. Planned Unit Development, with deviations to be identified by the developer, but anticipated for:
 - a. Multi-family (three units or more per building)
 - b. Flexibility identified to bulk standards
 - c. Flexibility identified to design standards
 - d. Flexibility to landscape standards
 - e. Other flexibility to City Code as identified
3. Final Plat

Public Hearing

A hearing notice has been mailed to surrounding properties and posted in the City's official newspaper as required by code and MN statute. At the time of writing, no public comments have been received.

Staff Recommended Action

Staff find the project is generally consistent with guidance and policies found in the City Code and Comprehensive Plan. Findings can be made in support of the approval of a Rezoning, Preliminary Plat, and PUD.

Example Motion:

Move to recommend City Council approval of the Rezoning, Preliminary Plat and PUD /CUP requests subject to the findings and conditions of approval recommended by staff.

Staff recommends that the development be approved with the following conditions:

1. The Applicant must expand Outlot C (containing the bluff area) to contain a bluff preservation area 30' in from the top of the bluff.
2. Revised and resubmitted plans must detail that stormwater such that impervious surfaces (homes, patios, etc) along the bluff line do not drain down the bluff slope.
3. Revised and resubmitted landscaping plans must detail bluff restoration for long term stabilization through enhanced tree and other plantings in the bluff preservation area. To the extent reasonable, buckthorn should also be removed in the area around the top of bluff and replaced with other groundcovers.
4. Any flexibility granted to the required tree plantings through the PUD approval shall necessitate a cash in lieu fee for each tree required but not provided.
5. Any incidental loss of existing trees through grading or construction activities will necessitate revision of the tree mitigation plan, and if additional mitigation is required, a cash in lieu fee shall be paid by the Applicant.
6. The Applicant must enter into a Development Agreement with the City prior to release of the final plat for recording.
7. Prior to the release of the final plat, the Applicant shall revise plans to address the City Engineer's memo dated June 28, 2024 or as subsequently revised.
8. The Applicant is responsible for paying the parkland dedication fee and any required connection charges prior to the recording of the final plat.
9. The Applicant must receive any required watershed permits prior to beginning any work on site.
10. The Applicant must receive any required permits from Washington County prior to beginning work on the site.
11. The Applicant must receive any required state permits or licenses, keep such permits or licenses up to date, and furnish documentation of permits or licenses to the city upon request.
12. The Applicant shall enter into a separate grading agreement with the City before starting any grading activity in advance of the final plat/PUD approval. The City Engineer shall review any grading plan that is submitted in advance of final plat or final PUD, and said plan shall document the extent of any proposed grading on the site.

Resources:

- Application Documents (attached)
- Zoning Code ([link only](#)) & Citywide Zoning Map ([link only](#))
- 2040 Comprehensive Plan ([link only](#) - Land Use chapter begins on pg 31)

RESIDENTIAL DEVELOPMENT PRELIMINARY PLAT AND PUD SUBMITTAL

CHERRYWOOD Newport, Minnesota May 31st, 2024

Twin Cities Land Development (TCLD) is excited to submit the Preliminary Plat and PUD Submittal for the proposed Cherrywood Development. This development is located along Century Ave where Cottage Grove, Woodbury, and Newport abut. We are requesting Preliminary Plat approval from the Planning Commission and City Council. Included in this narrative are key items from the City Checklist.

DEVELOPMENT TEAM

Developer/Contract Buyer: TCLD Land Holdings, LLC
4800 Olson Memorial Highway, Suite 100
Golden Valley, MN 55422

Ben Schmidt, President
Ben@TCLandDev.com
(612)-716-3047

Tracey Rust, Vice President
Tracey@TCLandDev.com
(952) 221-2566

Civil Engineer/Surveyor: Alliant Engineering, Inc.
733 Marquette Ave, Ste 700
Minneapolis, MN 55402

David Nash, Professional Engineer
cwicklund@alliant-inc.com
(612) 490-2431

Alyssa Armstrong, Engineer
aarmstrong@alliant-inc.com
(612) 767-9355

Dan Ekrem, Surveyor
dekrem@alliant-inc.com
(612) 767-9326

Legal: Mark Radke
mradke@felhaber.com

PROPERTY / DEVELOPMENT SITE INFORMATION

LEGAL DESCRIPTION

PID: 3602822440001

The Southeast Quarter of the Southeast Quarter of Section 36, Township 28 North, Range 22 West, Washington County Minnesota, except the following:

Commence at a point on the East line of the SE $\frac{1}{4}$ of said Section 36, said point being 1319.0 feet North of the SE corner thereof; thence West and parallel with the South line of the SE $\frac{1}{4}$ of said Section 36, a distance of 149.0 feet; thence North and parallel with the East line of the SE $\frac{1}{4}$ of said Section 36, a distance of 96.0 feet; thence West and parallel with the South line of the SE $\frac{1}{4}$ of said Section 36, a distance of 666.00 feet; thence South and parallel with the East line of the SE $\frac{1}{4}$ of said Section 36, a distance of 379.65 feet; thence East and parallel with the South line of the SE $\frac{1}{4}$ of said Section 36, a distance of 815.0 feet to a point on the East line of the SE $\frac{1}{4}$ of said Section 36; thence North along the East line of the SE $\frac{1}{4}$ of said Section 36, a distance of 283.65 feet to the point of beginning.

And also except:

Commencing at the southeast corner of said Section 36, thence North 1 degree 06 minutes 37 seconds West, assumed bearing, along the East line of said Section 36, a distance of 993 feet; thence South 88 degrees 53 minutes 23 seconds West 842.32 feet to the point of beginning; thence South 1 degree 06 minutes 37 seconds East 348.07 feet; thence South 62 degrees 25 minutes 46 seconds West 524 feet, more or less, to the west line of said Southeast Quarter of the Southeast Quarter; thence northerly along said West line 581.5 feet, more or less, to the intersection with a line which bears South 88 degrees 53 minutes 23 seconds West from the point of beginning, thence North 88 degrees 53 minutes 23 seconds East 471 feet, more or less to the point of beginning.

And also except:

All that part of the East Half of the Southeast Quarter (E $\frac{1}{2}$ of SE $\frac{1}{4}$) of Section 36, Township 28 North, Range 22 West, in the Village of Newport, Washington County, Minnesota, described as follows: Commencing at the Southeast corner of said Section 36, Township 28 North, Range 22 West, Washington County, Minnesota; thence North along the East line of said Section 36 for 1320 feet to the point of beginning of this description; thence continuing North along said East line of Section 36 for 170 feet; thence West and parallel with the South line of said Section 36 for 104 feet, thence South and parallel with said East line of Section 36 for 74 feet; thence West and parallel with the South line of said Section 36 for 45 feet; thence South and parallel with said East line of said Section 36 for 96 feet; thence East and parallel with the South line of said Section Thirty-six for 149 feet to the point of beginning.

PID: 3602822440002

That part of the Southeast Quarter of the Southeast Quarter of Section 36, Township 28 North, Range 22 West, Washington County, Minnesota, described as follows:

Commencing at the southeast corner of said Section 36; thence North 1 degree 06 minutes 37 seconds West, assumed bearing, along the east line of said Section 36, a distance of 993 feet; thence South 88 degrees 53 minutes 23 seconds West 842.32 feet to the point of beginning; thence South 1 degree 06 minutes 37 seconds East, 348.07 feet; thence South 62 degrees 25 minutes 46 seconds West 524 feet, more or less, to the west line of said Southeast Quarter of the Southeast Quarter; thence northerly along said west line 581.5 feet, more or less, to the intersection with a line which bears South 88 degrees 53 minutes 23 seconds west from the point of beginning; thence North 88 degrees 53 minutes 23 seconds East 471 feet, more or less, to the point of beginning, according to the United States Government Survey thereof, Washington County, Minnesota. Including a 33 foot perpetual easement extending over and across part of said Southeast Quarter of the Southeast Quarter from Century Avenue to the afore?? mentioned tract, the centerline of said easement is described as follows:

Commencing at the southeast corner of said Section 36; thence North 1 degree 06 minutes 37 seconds West, assumed bearing, along the east line of said Section 36, a distance of 515.21 feet to the point of beginning; thence South 89 degrees 25 minutes 07 seconds West 243.71 feet. thence South 75 degrees 43 minutes 09 seconds West 187.69 feet; thence North 63 degrees 43 minutes 33 seconds West 163.26 feet; thence North 52 degrees 04 minutes 24 seconds West 314.63 feet; thence North 81 degrees 21 minutes 39 seconds West 26.89 feet to the intersection with the east line of the above described tract and there terminating.

Address: Unassigned

PID: 36028.22.440002 = 5.03 acres AND 36028.22.44.0001 = 29.43 acres

Total Acres: 29.43 acres + 5.03 acres = 34.46 acres

Existing Zoning: RE, Residential Estate

Existing Guide Plan: Mixed Residential 5-20 units per acre

EXISTING SITE DESCRIPTION

The site is located along Century Avenue within the City of Newport, adjacent to the point at which the City of Woodbury abuts Cottage Grove. The project is proposing the development of three existing properties. Two (2) existing properties totaling 34.46 acres located in the City of Newport and one (1) property totaling 27.16 acres in the City of Woodbury. Approximately 22 acres within the Newport portion of the site is comprised of farm field, a driveway providing access to one of the existing properties, and scrub tree areas. The remaining 12.46 acres of the site is wooded including appx 10.39 acres of wooded bluff with slopes exceeding 18%.

The current topography of the site varies from elevation 974 in the southeast corner of the site to elevation 876 in the northwest corner of the site, at the bottom of the bluff. The topography on top of the bluff is relatively flat ranging from elevation 974 to 960, slopes averaging approximately 3%.

The site does not currently have sanitary sewer or watermain access. The City of Newport has a sanitary sewer connection available at the intersection of Kalen Dr. and Century Ave. A watermain connection is available in both Loveland Park and the Hawthorne development to the south. This project proposes to connect to the watermain interconnect which is planned to connect Loveland Park to the Hawthorne development and will be completed by the City of Newport.

SITE PLAN

General Description

The Cherrywood preliminary plat site plan provides 123 total units including a mix of townhome and villa style products which is within the density range for R-2 Medium Density Residential/PUD, consistent with the Newport Comprehensive Plan for the area (Mixed Residential 5-20 units per acre). The 123 units are comprised of a mix of 4 and 6-unit row townhomes, 40' wide villa lots, and 50' wide villa lots. This mix of housing types will provide a variety of housing types; affordable townhomes for young adults just getting started, and affordable villa homes for both young families and empty nesters. This development will provide opportunities for young people to stay in Newport and older residents to sell the home they raised their family in but remain a part of the Newport community.

- The area is identified for medium density housing on the comprehensive plan requiring 5-20 units per acre
- The proposed housing meets the met council guidelines
- The area is relatively isolated from directly adjacent neighbors, the wooded areas will generally remain as is, thereby limiting the impacts on adjacent neighbors
- Bluff and wooded areas on the property will be preserved
- Schools are in close proximity
- Parks and recreation opportunities are nearby and accessible by trails
- There is direct access to satisfactory roadways to serve the development

Land Use and Zoning Designations

The property is guided Mixed Residential 5-20 units per acre. The development of the property will rezone the parcel to PUD with an underlying zone of R-2.

Land uses for the properties adjacent to the site are guided with:

- To North: Residential Estate and Open Space on the northeast border
- To West: Residential Estate
- To South: Residential Estate
- To East: R-2 Single-family Estate District in Woodbury
- To Southeast corner: Hawthorne single family residential development (65' & 55' wide lots)

Dimensional Standards

The following is a summary of the proposed development lot standards and setbacks:

Townhome Dimensions

Width – 4 Unit, 6 Unit

Depth – 55 feet

Villa Pad Dimensions 40' lots

Width – 30'

Depth – 65'

Villa Pad Dimensions 50' lots

Width – 40'

Depth – 70'

Townhome and Villa Setbacks

- Front – 25 feet
- Rear (includes perimeter) – 25 feet
- Townhome Corner – 20 feet
- Villa Corner – 10 feet
- Between townhome Buildings – 15 feet
- Villa Side Yard – 5 feet
- Bluffline Structure Setback– 30 feet
- Century Ave. Setback – 25 feet

Townhome Parking:

- Garage: 50 stalls
- Driveway: 50 stalls
- Total: 100 stalls

Proposed ROW

- Internal ROW – 50 feet
- Century Ave ROW – 66 feet

Proposed Development Area/Calculations:

Total Newport Development Gross Site Area:	34.43 acres
Century Ave ROW:	0.79 acres (33 ft half section ded to total 66 ft full ROW)
Bluff Area and Bluff Setback (grades exceed 18%):	11.82 acres
Net Developable Area:	22.61 acres
Net Development Density Estimate:	5.44 units per ac = (123 lots /22.61 ac)

Park and Open Space

The plan does not include parkland within the site. The City of Newport’s Loveland Park is located 0.7 miles directly to the north of the site. Just south of the site, located in the Hawthorne Development, a Cottage Grove City Park lies appx 0.3 miles from the project site. A trail will be provided along Century Ave. adjacent to the proposed property to eventually provide pedestrians access to the parks.

Street Design and Access

The development will have two access points from Century Avenue. The roadways within the development will be public roads that are 24 foot street section plus curb and gutter within a 50’ right-of-way. The roadway shown is a one loop road to maximize bluff view lots, while maintaining the guided densities. The roadway design has been vetted with City staff to provide the type of continuity that is desired for maintenance access for utilities and emergency vehicles. Century Ave. will be upgraded from its current gravel road condition to an urban section adjacent to the Newport Development and a rural section adjacent to the Woodbury property. The half of Century Ave adjacent to the City of Newport will be constructed of 13’ of pavement with barrier curb along with a 10’ trail that will be approximately 6.8 feet from the back of the curb.

Mass Grading

The site will be mass graded in one phase in compliance with the City of Newport specifications and guidelines. The proposed grading will maintain the current drainage patterns.

Sanitary Sewer and Watermain

Adequate sanitary sewer is available for connection into the City of Newport sanitary network at the intersection of Kalen Dr. and Century Ave. to the north. Watermain for the site will be served by the interconnect between the City of Newport and the City of Cottage Grove. Water will be served by the City of Cottage Grove.

Stormwater Management

The site will comply with all applicable requirements of the City of Newport and South Washington Watershed stormwater management plan. The site does have the challenge of the bluff to the northwest and Century Ave. ditch to the north. Based on these constraints the discharge and EOF routing will be shared between two locations. The required 2,10, and 100-year discharge rates are proposed to discharge down the ravine while the water quality event will be routed to the Infiltration Basin and EOF will be routed down Century Ave. The discharge into the ravine will have rates reduced from existing conditions with proper erosion and sediment control practices applied to ensure the ravine's integrity.

Wetlands

A Wetland Report completed by Braun Intertec, dated September 20th, 2022, identified no Wetlands on the site.

Tree Preservation and Landscaping

All trees in the ravine and the bluff area and setback will be preserved with no disturbance. The wooded areas on the perimeter of the site will be generally preserved. A tree inventory and preservation plan will be proposed per the City of Newport Standards. A 100' x 100' sampling was applied within the steep slopes and used for preservation calculations. Appropriate landscape and trees will be installed as part of the development.

HOUSING, HOMEOWNERS ASSOCIATION AND ARCHITECTURAL GUIDELINES

As stated above, the proposed townhome units and villas will provide a housing type that is limited and generally not available in the City. The houses will be part of a Homeowners Association (HOA) that will provide the exterior maintenance. The HOA will be responsible for enforcement of the rules, regulations, and architectural guidelines of the neighborhood, this will provide for a neighborhood that is cohesive and well maintained.

CONCLUSION

TCLD is proud to present this proposal and feels that the proposed concept plan meets the goals of Newport. We look forward to working with the City to create a successful new residential development and respectfully seek approval of the Preliminary Plat Plans to allow the Cherrywood Development to proceed to a final plat submission.

To: Nathan Fuerst, City Planner
Alyssa Armstrong, Alliant Engineering

From: Jon Herdegen, P.E. – City Engineer

Subject: Cherrywood Heights Development – Plan Review

Date: June 28, 2024

We received a civil plan set including a cover sheet, existing conditions survey, demolition plans, preliminary plat, phasing plan, site plans & details, erosion and sediment control plans, grading plan and profiles, utility plans, landscape plans & details, tree preservation plans, and stormwater management plan for the Cherrywood Heights development along Century Avenue. Additional documents received include soil borings, wetland delineations and a title commitment. The plans were prepared by Alliant Engineering on behalf of Twin Cities Land Development.

We have separated our review comments into three (3) parts. Part 1 identifies conditional approval items. Part 2 identifies comments that pertain to constructability and design concerns. Part 3 identifies additional documentation needed as the project moves through the design and construction phases.

Part One

1. All municipal utilities and public improvements shall be constructed in accordance with applicable City Public Works Design Manual and industry design standards.
2. All utilities shall be contained with a drainage and utility easement such that the utility can be exposed with a 4-foot-wide trench (centered on utility) and 1.5V:1H trench slope.
3. The application shall submit a stormwater maintenance plan for City review and approval.
4. The applicant must release the private easement as within Document No. 369223.
5. The applicant must submit a draft copy of the final plat for review.

Part Two

Cover Sheet

1. No comments

Existing Conditions Survey

2. No comments

Demolition Plans

3. Revise note “roadway to remain operational until time of reconstruction” to “The contractor may close Century Avenue to through traffic during utility and road construction. Local traffic must be allowed access.”

Preliminary Plat

4. Adjust drainage and utility easements as needed to accommodate utility access requirements in specific areas referenced in subsequent comments.

Phasing Plan

5. No comment

Site Plans & Details

6. Label horizontal curve lengths for Road C. Provide evaluation that demonstrates that proposed horizontal alignment meets AASHTO requirement for 30 MPH design.

MEMO

June 27, 2024

7. Remove excess horizontal curves between stations 18+50 and 21+50 on Road C.
8. 30-foot bluff setback should be fully contained within adjacent Outlot C and conform to South Washington Watershed District requirements.
9. 5-foot sidewalk may be relocated to interior side of Road C to accommodate additional bluff setback.
10. B618 curb is required on all streets, no exception.
11. Provide detail for monument sign.
12. Bituminous mix design for Newport streets shall be as follows:
 - a. Non-Wearing Course Mixture: SPNWB230C
 - b. Wearing Course Mixture: SPWEB240C
13. Revise Century Avenue road section to include B618 curbing on west side (Newport side) of street.
14. Revise Century Avenue road section to include 10-foot wide bituminous trail on west side (Newport side) of street.
15. Provide Type 5 Geotextile Fabric between native soils and select granular fill.
16. Revise Trail Pavement Section to "Section B" on Century Avenue road section.
17. Pavement shall be extended on Century Avenue north to the sanitary sewer connection at Kalen Drive; 26 feet wide matching Newport typical section. Concrete curbing and bituminous trail may be discontinued at north limits of the development.

Erosion And Sediment Control Plans

18. Revise "Note to Contractor" to remove reference to permit transfer to City and City responsibility for inspection and maintenance.
19. Add "City of Newport" to the weekly inspection reports recipient list (Note 2).
20. Add turn reinforcement mat any disturbed area within the bluff setback area. Coordinate location with landscaping plan.
21. Add note to Details page (page 27) in the Newport section: "Use Woodbury Standard Details if applicable Newport detail is not provided."

Grading Plan and Profiles

22. Revise note 10: "...designed by a structural engineer licensed in the State of MN...".
23. Newport Pond 2 does not appear to include a maintenance bench on the west and south sides of the basin.
24. The following comments in this section are intended to assist the individual certificate of survey preparation during the building permit process. There are multiple instances where the side yard swale points are at the minimum elevation to meet the UBC code ($\frac{1}{2}$ ' fall in 10 feet). If house siding is installed to the finished floor, there is not sufficient space between the siding and sod at the foundation
 - a. The following locations do not provide sufficient grade break without the use of a retaining wall. We strongly encourage adjusting the pad elevation such that UBC code ($\frac{1}{2}$ ' fall in 10 feet) can be achieved without the use of a retaining wall. If a retaining wall is proposed, the top/bottom wall elevations must be provided on the grading plan, a retaining wall detail must be provided and no retaining walls will be allowed within drainage and utility easements.
 - i. The grade break/lot line elevation between Blocks 10 and 11 have a proposed elevation of 969.4 and the SOB building on Block 11 has a FF of 968.9.
 - ii. The grade break/lot line elevation between Blocks 11 and 12 have a proposed elevation of 968.4 and the SOB building on Block 12 has a FF of 968.0.
 - b. The north side of Block 9 has a proposed 3:1 slope with no drainage swale along the northerly line Outlot D. We recommend adding a swale along the north line of Outlot and revising grades to achieve a maximum 4:1 slope.
 - c. The green space between Blocks 1 and 2 is proposed at 3:1 right off the back of a walk. Adjust grading to achieve a maximum 4:1 slope.
 - d. The proposed elevations at the following locations do not meet IBC code ($\frac{1}{2}$ ' fall in 10 feet):
 - i. The grade break common to lots 18/19, Block1.

MEMO

June 27, 2024

- ii. The grade break common to lots 14/5, Block 1.
- iii. The grade break common to lots 25/26, Block 3.
- iv. The grade break common to lots 30/31, Block 3.
- v. The grade break common to Block 5 and Block 4.
- e. We recommend adjusting Lot 9, Block 3 up to 971.0 to provide drainage away from building.
- f. We recommend adjusting pad location on Lot 15, Block 3. The current design technically meets UBC slope compliance, but a minimum of 2% slope cannot be achieved. Adjusting the location would also allow for a wider swale/more definition for the EOF.
- g. The EOF between Block 5 and 6 is very narrow only having 15' between current proposed buildings.

Utility Plans

- 25. The applicant must provide utility profiles depicting water, sanitary sewer and storm sewer to confirm separation distances and potential conflicts.
- 26. Revise note Utility Note 2: "Water and Sanitary/Storm Sewer Lines..."
- 27. Sanitary sewer services shall be SDR26 on Newport properties.
- 28. Consider eliminating either MH28 and MH29 and replace with single sanitary manhole. Eliminate watermain bend and install watermain behind curb. Adjust easement as necessary.
- 29. Add note to existing sanitary sewer manhole (Century Avenue and Kalen Drive): "Core drill south invert and install waterproof boot. Remove existing invert and bench. Re-pour invert."
- 30. Depth of a 2x3 catchbasin shall not exceed 4 feet.
- 31. Depth on a 27" catchbasin may not exceed 3 feet.
- 32. There are several locations where storm sewer structures are located above or in close proximity to sanitary sewer or watermain. Consider the following realignment:
 - a. CB410 – Eliminate watermain bend and install watermain behind curb. Increase easement width if needed.
 - b. CB407 – Bump out curb and offset catch basin.
 - c. CB404 – Eliminate watermain bend and install watermain behind curb. Increase easement width if needed.
 - d. CBMH 413 - Eliminating either MH30 and MH31 and replace with single sanitary manhole. Eliminate watermain bend and install watermain closer to curb.
 - e. CB416 – Bump out curb and offset catch basin.
 - f. CBMH 302 - Bump out curb and offset catch basin.
 - g. CB305 – Eliminate watermain bend and install watermain behind curb. Increase easement width if needed.
 - h. CBMH 202 - Bump out curb and offset catch basin.
 - i. CBMH 208 & CBMH209 - Bump out curb and offset catch basin.
- 33. Increase easements adjacent to the following stormwater structures:
 - j. CB410
 - k. CB404
 - l. CB305
 - m. CB112
- 34. Based on a televised inspection, MH800 is in poor condition and cannot be reused. Relocate storm sewer outfall to alternative location and extend outfall to invert elevation of ravine.
- 35. Provide storm sewer and/or drintile to collection 100% of runoff from new impervious surface between Block 2 Lots 1-12 and Blocks 4-9.
- 36. 12-inch watermain (by others) along Century Avenue will be constructed 24-feet west of section line. Adjust watermain location and proposed utility alignments to accommodate watermain alignment.
- 37. Provide isolation valves at no more than 500 feet. Increase easement width if needed.

Landscape Plans & Details

- 38. The applicant shall develop a woodland restoration plan within the bluff setback as directed by the South Washington Watershed District.

Tree Preservation Plans

39. No Comment

Stormwater Management Plan

40. HydroCAD Modeling:

- a. Rainfall Events: The City of Newport requires post-development peak discharge rate control for the 2-, 10-, and 100-yr 24-hour rainfall events.
 - i. Rainfall depths used in the modeling are slightly off. Values should be used as shown:
 - 1. 100-yr: 7.20 inches (model uses 7.33")
 - ii. The SCS Type II rainfall intensity distribution has been used in the modeling. This should be replaced with the MSE3 distribution.
- b. Times-of-Concentration:
 - i. Use of the curve-number-lag method is not preferred. Instead, calculations following the TR55 method should be utilizing, with sheet flow (limited to no more than 100-ft). Additional documentation should be provided for manually entered times of concentration (many apparently assumed values of 10 minutes under developed conditions, as well as one watershed with a value of 17.3 minutes
 - ii. Many times-of-concentration values applied are less than 6-minutes. A minimum value of 6 minutes (or alternatively 5) should be applied.
- c. Model Routing: Existing Conditions HydroCAD routing appears to be incorrect.
 - i. Subcatchment OFF-2 is routed to Low Point 3, but appears to actually flow to Low Point 2.
 - ii. Subcatchment OFF-3 is routed to Low Point 2, but appears to actually flow to Low Point 3.
 - iii. Low Point 3 is routed to Offsite LP, but appears to actually flow to Low Point 2

Addressing items 1a-1C above have only a minor effect on the proposed system's ability to control off-site peak discharge rates. It is noted that (uncontrolled) discharge rates to the SW exceed existing rates for all regulated events. However, as this all occurs as sheet flow – and as runoff volumes for larger events are less than existing conditions, this is likely an acceptable condition.

41. Storm Sewers:

- d. Storm Sewers appear to be invert matched where small pipes connect to larger pipes. Match crown elevations at pipe increase locations.
- e. In the storm sewer schedule, FES703 appears to be labeled FES704 on plans.
- f. The City of Newport requires post-development peak discharge rate control for events up to the 100-yr 24-hour rainfall event. While it is not required that storm sewer be required to convey 100-yr flows to proposed stormwater management features, it is required that 100-yr flows be delivered in a safe manner (including surface overflows) to proposed management facilities in accordance with the site stormwater management plan. Review of storm sewer capacities appears to show inadequate capacity to convey 100-yr peak flows to the on-site detention ponds as indicated in the HydroCAD modeling:
 - i. Pond P1: HydroCAD identifies Q100 into the pond as 68.1 cfs (reflects modifications by MSA). Two influent pipes with a total capacity of only 21.6 cfs are intended to deliver these flows to the pond:
 - 1. 18" RCP @ 0.70% = 8.8 cfs capacity (full-flow)
 - 2. 24" RCP @ 0.32% = 12.8 cfs capacity
 - ii. Pond P2: HydroCAD identifies Q100 into the pond as 118.5 cfs, not counting flows from pond P1 (also reflects modifications by MSA). Three influent pipes

with a total capacity of only 40.9 cfs are intended to deliver these flows to the pond:

1. 27" RCP @ 0.44% = 20.5 cfs capacity
 2. 24" RCP @ 0.44% = 15.0 cfs capacity
 3. 18" RCP @ 0.26% = 5.4 cfs capacity
- iii. Pond P3: HydroCAD identifies Q100 into the pond from 'Road B' as 21.9 cfs, not counting flows from pond P2 (also reflects modifications by MSA). One pipe with a total capacity of only 7.8 cfs is intended to deliver these flows to the pond:
1. 15" RCP @ 1.44% = 7.8 cfs capacity

Calculations must be provided demonstrating adequate overflows between lots 15/16 and 22/23. Additionally, the effects of potential bypass of flows from CB107/108 and CB502/501 need to be assessed on stormwater system performance.

42. Stormwater Management System Design

- g. The City of Newport's ordinance requires the following design criteria (amongst others) which do not appear to be satisfied by this design:
- i. A protective buffer strip of vegetation surrounding the permanent pool is required with a minimum width of 16.5 feet
- h. The function of the entire stormwater management system relies on the proposed infiltration basin achieving a design infiltration rate of 0.25 inches/hour. While this is not a remarkably high infiltration rate, soil borings collected in the vicinity of the infiltration basin may not support this rate.

The infiltration basin will have a floor elevation of 956.0. The design detail included with the plans identifies soil corrections to 6" below this elevation (955.5).

- i. Boring ST-1 indicates silty sand at 955.5, but indicates very stiff sandy lean clay below 949.7. Silty sand may be assigned an infiltration rate of 0.45 inches/hour per MCPA guidance (other guidance indicates 0.24 in/hr)
- ii. Boring ST-2 indicates very stiff sandy lean clay below 959.9. Sandy clay may be assigned an infiltration rate of 0.2 inches/hour per MCPA guidance (other guidance indicates 0.04 in/hr)
- iii. Boring ST-3 indicates sandy lean clay below 955.4 and clayey sand below 952.4. Sandy clay may be assigned an infiltration rate of 0.2 inches/hour per MCPA guidance (other guidance indicates 0.04 in/hr)
- iv. Boring ST-4 indicates lean clay below elevation 956.3. Clay may be assigned an infiltration rate of 0.06 inches/hour per MPCA guidance (other guidance indicates 0.07 in/hr)

It is highly recommended that test pits be excavated to further investigate soil conditions at the location of the proposed infiltration basin. Additionally, infiltration tests should be conducted on native soils at the elevation of the proposed native soil interface.

HydroCAD modeling indicates that the 1-yr peak depth in the infiltration basin is 0.87 feet (10.4 inches). At 0.25 in/hr, this results in a draw-down time of 42 hours. While this is less than the MPCA recommended maximum of 48 hours, annual duration modeling (completed by MSA) for the infiltration basins indicates an annual peak depth in the pond (successive storms) exceeds 2+ feet which would indicate that water will be held in the pond for at least 96 hours. It is likely that vegetation stress will occur and there will be aesthetic issues with the pond, if not outright conversion to wetland conditions

MEMO

June 27, 2024

It is further recommended that a dead-ended drain tile system be installed throughout the bottom of the pond leading to a structure where a pump may be installed to facilitate draw down of the pond in the event of infiltration failure.

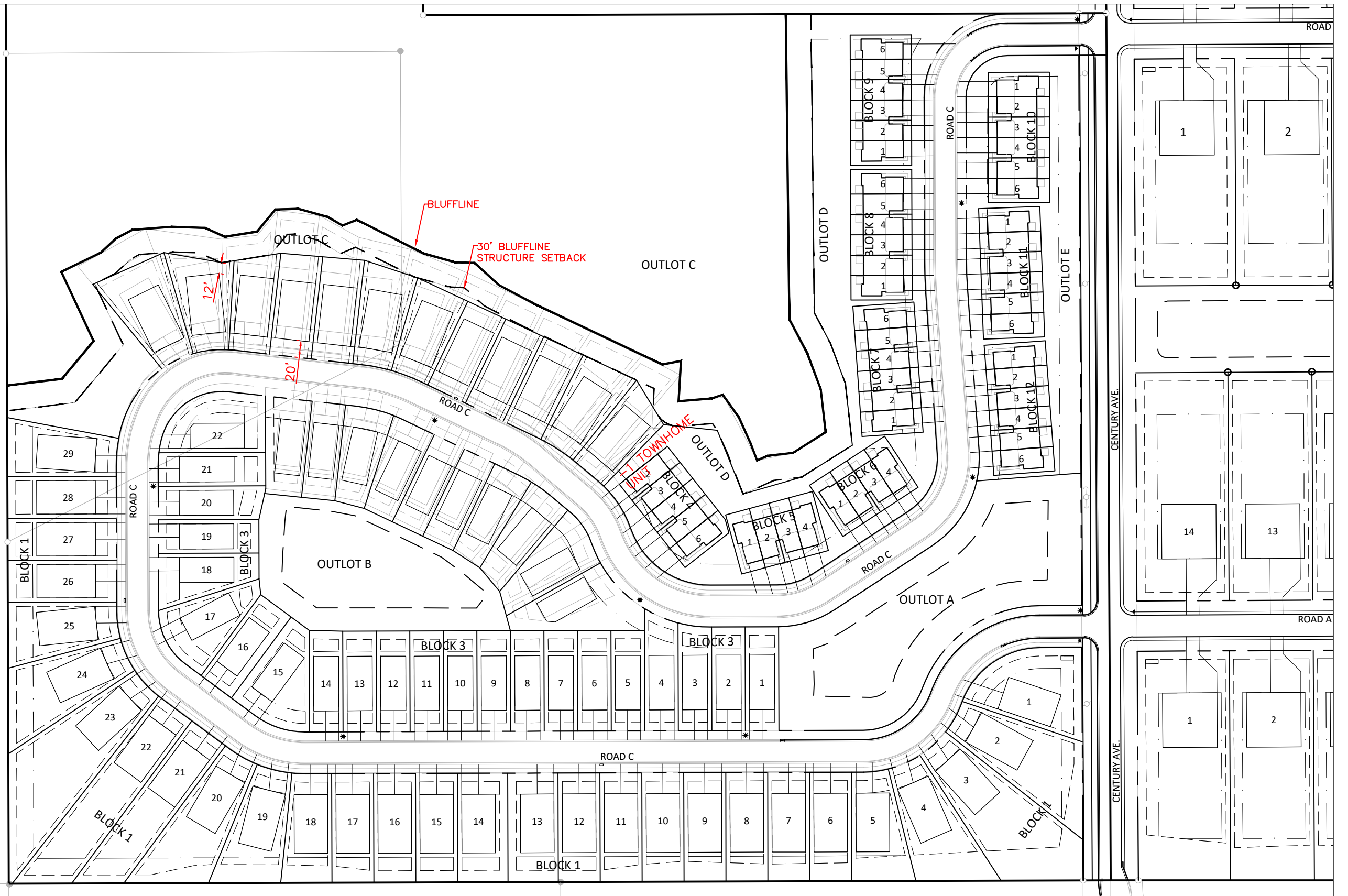
- i. If infiltration fails, stormwater will back up through the entire system of ponds resulting in extended discharges through the secondary pond outlet from Pond P2 via the existing ravine into Newport.
 - i. Infiltration Pond:
 1. Bottom Elevation = 956.0
 2. Surface Overflow Outlet Elevation = 963.5
 - ii. Pond P2
 1. Normal Water Level = 958.0
 2. Secondary Outlet Invert (to Newport) = 958.8
 3. Surface Overflow Outlet Elevation ~ 964.0
 - iii. Pond P1
 1. Normal Water Level = 960.0
 2. Surface Overflow Outlet Elevation ~ 964.0

Part Three

1. Prior to commencement of any construction activities, the applicant shall:
 - a. Obtain MDH watermain extension plan review approval.
 - b. Obtain an MPCA sanitary sewer extension permit.
 - c. Obtain an MPCA General Construction Stormwater Permit.
 - d. Install all erosion control BMP's in accordance with the SWPPP and MPCA Permit.
 - e. Coordinate a Gopher State One Call to locate all existing public/private utilities adjacent to the site.
 - f. Coordinate preconstruction meeting with City Public Works Department.
2. Prior to issuance of the certificate of occupancy, the applicant shall:
 - a. Submit an as-built survey that demonstrates the constructed improvements are consistent with the approved construction plans and design modeling.
 - b. File approved stormwater maintenance plan with City.
 - c. Submit a developers agreement including terms and conditions regarding the operations and maintenance of outlots, private roads, stormwater management, etc. shall be prepared and agreed upon between the developer and the city.

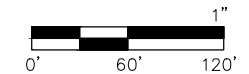
If you have any questions or concerns, please contact me directly at jherdegen@msa-ps.com or 612-548-3124. Thank you.

x:\2022\220116 - newport townhome development\proposed\220116--bas-revised.dwg



CHERRYWOOD - REVISED SITE PLAN

NEWPORT, MINNESOTA

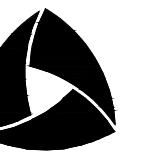


DATE: 6-19-24
DRAWN BY: LJ



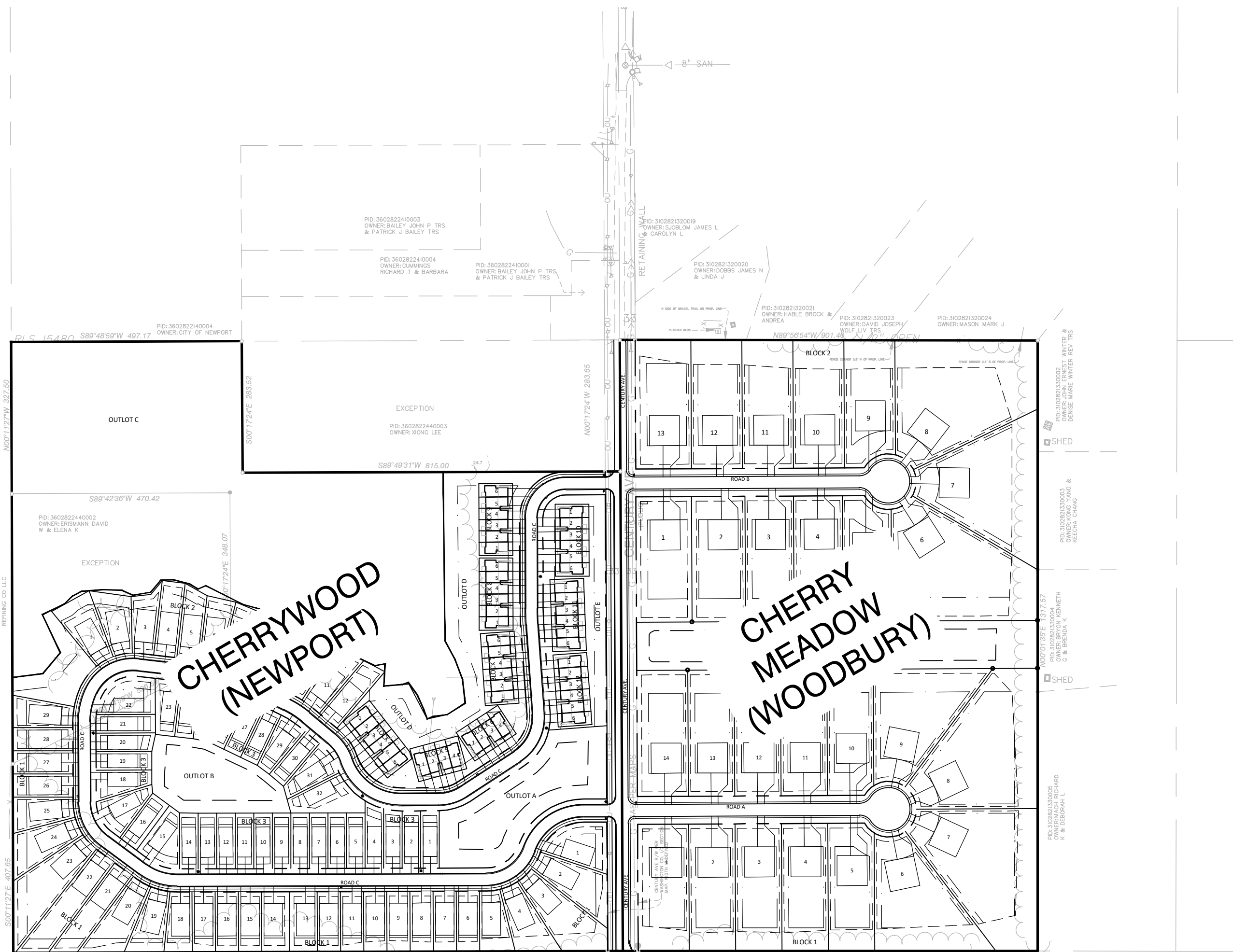
CHERRYWOOD AND CHERRY MEADOW

NEWPORT AND WOODBURY, MINNESOTA



ALLIANT

733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com



DEVELOPER

TWIN CITIES LAND DEVELOPMENT
4800 OLSON MEMORIAL HIGHWAY
SUITE 100
GOLDEN VALLEY, MN 55422
CONTACT: TRACEY RUST (952-221-2566)
CONTACT: BEN SCHMIDT (612-716-3047)

CONSULTANT

ALLIANT ENGINEERING, INC.
733 MARQUETTE AVE
SUITE 700
MINNEAPOLIS, MN 55402
PH: 612-758-3080
FX: 612-758-3099

ENGINEER

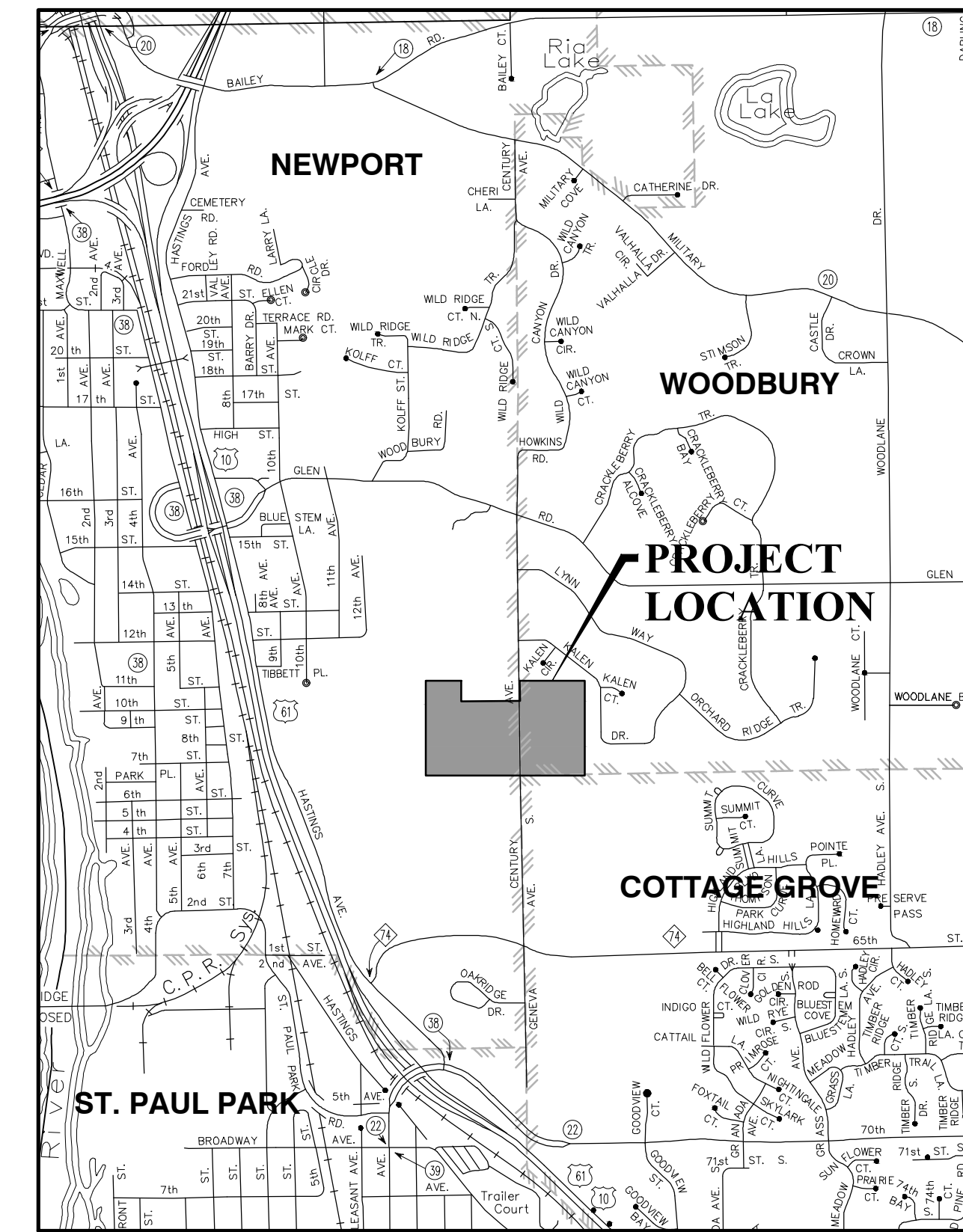
DAVID NASH, PE
LICENSE NO. 21836
EM: dnash@alliant-inc.com

SURVEYOR

DAN EKREM
LICENSE NO. 57366
EM: dekrem@alliant-inc.com

LANDSCAPE ARCHITECT

JOHN GRONHOVD, PLA, ASLA
LICENSE NO. 59233
EM: jgronhovd@alliant-inc.com



LOCATION MAP

NOT TO SCALE

SHEET INDEX

	NO.
COVER SHEET	1
EXISTING CONDITIONS SURVEY	2-3
DEMOLITION PLAN - OVERVIEW	4
DEMOLITION PLAN - VIEWS A-D	5-8
PRELIMINARY PLAT - OVERVIEW	9
PRELIMINARY PLAT - VIEWS A-D	10-13
PHASING PLAN	14
SITE PLAN - OVERVIEW	15
SITE PLAN - VIEWS A-D	16-19
SITE NOTES AND DETAILS	20
EROSION AND SEDIMENT CONTROL PLAN - OVERVIEW	21
EROSION AND SEDIMENT CONTROL PLAN - VIEWS A-D	22-25
GRADING, EROSION AND SEDIMENT CONTROL, NOTES AND DETAILS	26-27
GRADING AND DRAINAGE PLAN - OVERVIEW	28
GRADING AND DRAINAGE PLAN - VIEWS A-D	29-32
POND AND INFILTRATION BASIN SECTIONS	33-35
GRADING PROFILES	36
UTILITY PLAN - OVERVIEW	37
UTILITY PLAN - VIEWS A-D	38-41
LANDSCAPE PLAN - OVERVIEW	42
LANDSCAPE PLAN - VIEWS A-D	43-45
LANDSCAPE DETAILS	46
TREE PRESERVATION PLAN - OVERVIEW	47
TREE PRESERVATION PLAN - VIEWS A-D	48-51
TREE INVENTORY	52-54

CHERRYWOOD AND CHERRY MEADOW

NEWPORT AND WOODBURY, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

COVER SHEET

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
Date _____ License No. _____

QUALITY ASSURANCE/CONTROL

BY _____ DATE _____

DATE ISSUE

5/31/24 CITY SUBMITTAL

PROJECT TEAM DATA

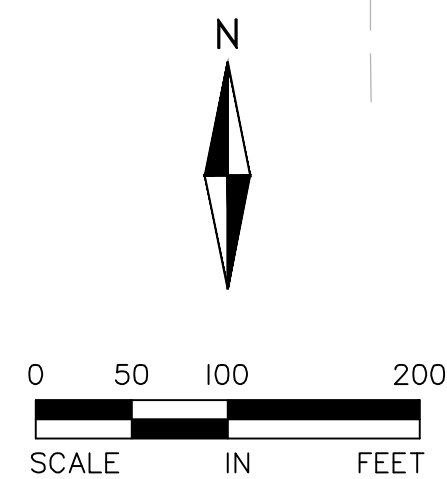
DESIGNED: AKA

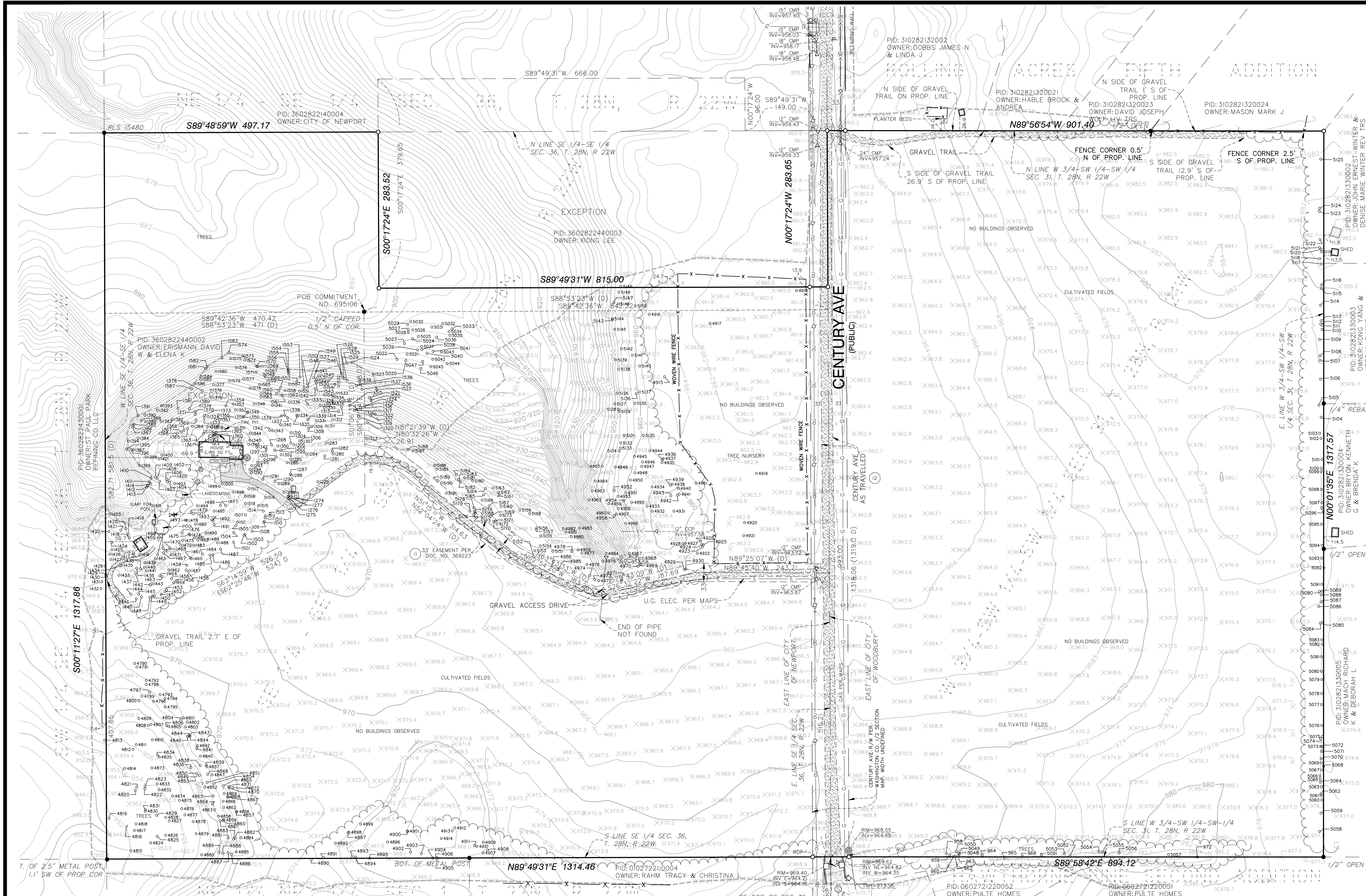
DRAWN: LRJ

PROJECT NO: 2220116

1

SHEET 1 of 54





PROPERTY DESCRIPTION commitment no. 677015

Parcel A:
The Southeast Quarter of the Southeast Quarter of Section 36, Township 28 North, Range 22 West, Washington County Minnesota, except the following:

Commence at a point on the East line of the SE 1/4 of said Section 36, said point being 1319.0 feet North of the SE corner thereof; thence West and parallel with the South line of the SE 1/4 of said Section 36, a distance of 149.0 feet; thence North and parallel with the East line of the SE 1/4 of said Section 36, a distance of 96.0 feet; thence West and parallel with the South line of the SE 1/4 of said Section 36, a distance of 666.0 feet; thence South and parallel with the East line of the SE 1/4 of said Section 36, a distance of 379.65 feet; thence East and parallel with the South line of the SE 1/4 of said Section 36, a distance of 815.0 feet to a point on the East line of the SE 1/4 of said Section 36; thence North along the East line of the SE 1/4 of said Section 36, a distance of 283.65 feet to the point of beginning.

And also except:
Commencing at the southeast corner of said Section 36, thence North 1 degree 06 minutes 37 seconds West, assumed bearing, along the East line of said Section 36, a distance of 993 feet; thence South 88 degrees 53 minutes 23 seconds West 842.32 feet to the point of beginning; thence South 1 degree 06 minutes 37 seconds East 348.07 feet; thence South 62 degrees 25 minutes 46 seconds West 524 feet, more or less, to the west line of said Southeast Quarter of the Southeast Quarter; thence northerly along said West line 581.5 feet, more or less, to the intersection with a line which bears South 88 degrees 53 minutes 23 seconds West from the point of beginning, thence North 88 degrees 53 minutes 23 seconds East 471 feet, more or less to the point of beginning.

And also except:
All that part of the East Half of the Southeast Quarter (E 1/2 of SE 1/4) of Section 36, Township 28 North, Range 22 West, in the Village of Newport, Washington County, Minnesota, described as follows:
Commencing at the Southeast corner of said Section 36, Township 28 North, Range 22 West, Washington County, Minnesota; thence North along the East line of said Section 36 for 1320 feet to the point of beginning of this description; thence continuing North along said East line of Section 36 for 170 feet; thence West and parallel with the South line of said Section 36 for 104 feet; thence South and parallel with said East line of Section 36 for 74 feet; thence West and parallel with the South line of said Section 36 for 45 feet; thence South and parallel with said East line of said Section 36 for 96 feet; thence East and parallel with the South line of said Section Thirty-six for 149 feet to the point of beginning.

Parcel B:
The West 3/4 of the Southwest 1/4 of the Southwest 1/4 of Section 31, Township 28 North, Range 21 West, Washington County, Minnesota.

PROPERTY DESCRIPTION commitment no. 695106

That part of the Southeast Quarter of the Southeast Quarter of Section 36, Township 28 North, Range 22 West, Washington County, Minnesota, described as follows:
Commencing at the southeast corner of said Section 36; thence North 1 degree 06 minutes 37 seconds West, assumed bearing, along the east line of said Section 36, a distance of 993 feet; thence South 88 degrees 53 minutes 23 seconds West 842.32 feet to the point of beginning; thence South 1 degree 06 minutes 37 seconds East, 348.07 feet; thence South 62 degrees 25 minutes 46 seconds West 524 feet, more or less, to the west line of said Southeast Quarter of the Southeast Quarter; thence northerly along said west line 581.5 feet, more or less, to the intersection with a line which bears South 88 degrees 53 minutes 23 seconds west from the point of beginning; thence North 88 degrees 53 minutes 23 seconds East 471 feet, more or less, to the point of beginning, according to the United States Government Survey thereof, Washington County, Minnesota.
Including a 33 foot perpetual easement extending over and across part of said Southeast Quarter of the Southeast Quarter from Century Avenue to the above mentioned tract, the centerline of said easement is described as follows:
Commencing at the southeast corner of said Section 36; thence North 1 degree 06 minutes 37 seconds West, assumed bearing, along the east line of said Section 36, a distance of 515.21 feet to the point of beginning; thence South 89 degrees 25 minutes 07 seconds West 524 feet; thence South 75 degrees 43 minutes 09 seconds West 187.09 feet; thence North 63 degrees 43 minutes 33 seconds West 163.20 feet; thence North 52 degrees 04 minutes 24 seconds West 314.83 feet; thence North 81 degrees 21 minutes 39 seconds West 26.89 feet to the intersection with the east line of the above described tract and there terminating.

Abstract Property

CERTIFICATION

To TCLD Land Holdings, LLC, a Minnesota limited liability company; Land Title, Inc, and First American Title Insurance Company.
This is to Certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7(a), 8, 9, 11(a), 13 and 16 of Table A thereof. The field work was completed on May 3rd, 2024.

Date of Plat or Map:

REVIEW COPY
Daniel Ekrem, Professional Land Surveyor
Minnesota License No. 57366
Email: dekrem@alliant-inc.com

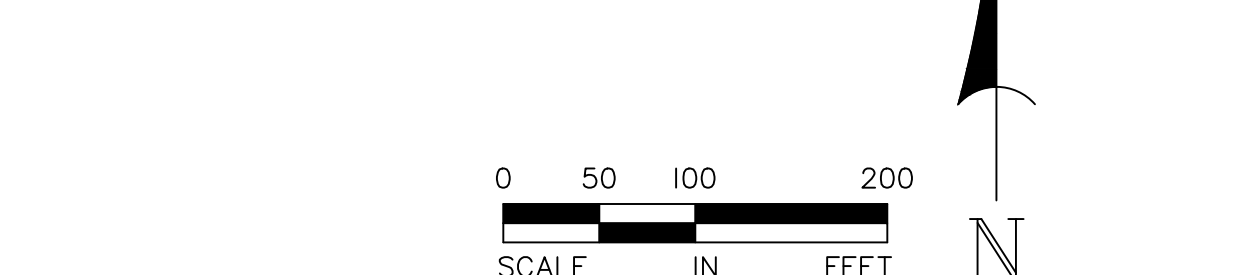


TABLE A ITEMS

- Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses to the corner are shown hereon.
- Address of the Erismann parcel is 605 Century Ave, Newport MN. Addresses of the other parcels are unassigned.
- The property lies within Zone X (unshaded - areas determined to be outside the 0.2% annual chance floodplain) of Federal Emergency Management Agency (FEMA) Flood Insurance Community Panel No. 27163C0405E, effective February 3, 2010.
- The area of the above described property is 2,463,735 square feet or 61.589 acres.
- Contour lines depicted hereon are based on ground measurements and referenced to North American Vertical Datum of 1988 (NAVD88).
Benchmarks: MnDOT benchmark MCKINNI located in Newport, 0.08 mile east along County Road 22 (70th Street) from the junction of County Road 22 (70th Street) and Trunk Highway 61 in St. Paul Park, thence 0.3 mile northwest on County Road (Hastings Avenue), 0.02 mile northeast of County Road (65th Street South), 30.0 feet northwest of County Road 74, 100.0 feet northwest of County Road 38 (Hastings Ave) and has an elevation of 784.175 feet (NGVD88).
- Exterior dimensions of buildings at ground level shown hereon.
- Substantial features observed in the process of conducting fieldwork, are shown hereon.
- There are no striped parking stalls on this site.
- The locations of existing public utilities on or serving the property are depicted based on Gopher State One Call Ticket No. 231742949, 231742926, 23174992 & 23174988, available city maps, records and observed evidence locations. Lacking excavation, underground utility locations may not be exact. Verify critical utilities prior to construction or design.
- Names of adjoining owners are depicted based on Washington County GIS tax information.
- There was no observed evidence of earth moving work or building construction at the time of our field work.

SCHEDULE B, PART II EXCEPTIONS

The following are survey related exceptions set forth in Schedule B, Part II of Title Commitment No 677015:
Item No. 11: Easement as contained in Warranty Deed dated November 29, 1977, filed December 29, 1977, as Document Number 369223 (Parcel A). Depicted on survey. (Exception 12 of title commitment no. 695106).
Item No. 12: Subject to road(s) as shown by available maps. Depicted on survey, R/W width undefined.
Item No. 14: Subject to path as shown on available maps. Depicted on survey.

NOTES

- This survey and the property description shown here on are based upon information found in the commitment for title insurance prepared by Land Title, Inc, as agent for First American Title Insurance Company, file no. 677015, Rev 1, dated May 13, 2024 and file no. 695106 dated April 18, 2024.
- The orientation of this bearing system is based on the Washington County Coordinate System NAD83 (86 adj.)
- All distances are in feet.
- The property has vehicular access to Century Ave, a public right of ways.

VICINITY MAP
NOT TO SCALE

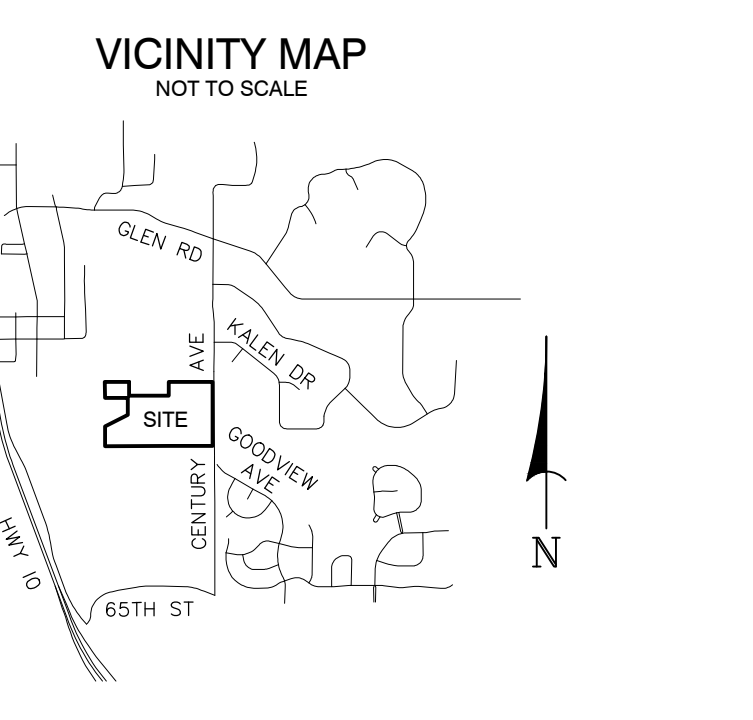


TABLE A ITEMS

- SET CAP IRON MONUMENT 57366
- FOUND IRON MONUMENT
- X WATER VALVE
- ☒ TELEPHONE BOX
- ☉ SANITARY MANHOLE
- ⊕ CATCH BASIN
- ⊖ POWER POLE
- ⊙ GUY WIRE
- ⊖ FIRE HYDRANT
- ⊖ FES CULVERT
- ☒ TRANSFORMER
- ☒ ELECTRIC METER
- ☒ AIR CONDITIONER
- ☒ ELECTRIC BOX
- ⊙ WELL
- ⊙ SANITARY CLEANOUT
- ⊙ SCH. B ITEM II REFERENCE
- TREES
- G — GAS
- S — SANITARY SEWER
- SS — STORM SEWER
- W — WATERMAIN
- FO — FIBER OPTIC
- OU — OVERHEAD UTILITIES
- X — FENCE
- E — EDGE OF TREES
- C — CONCRETE
- G — GRAVEL
- B — BITUMINOUS
- T — TRANSITION FROM SURVEY CONTOURS TO LIDAR CONTOURS

5-29-2024; Revision - Commitment No. 695106 added

ALLIANT ENGINEERING

733 Marquette Ave, Ste 700
Minneapolis, MN 55402
612.758.3080 MAIN
612.758.3099 FAX
www.alliant-inc.com

ALTA/NSPS LAND TITLE SURVEY

NEWPORT TOWNHOME DEVELOPMENT
NEWPORT/WOODBURY, MN

DRAWN BY: JDT
CHECKED BY: DPE
DATE ISSUED: 08/18/2023
SCALE: 1"=100'
JOB NO.: 22-0116
FIELD CREW: KJ,RS

SHEET 1 OF 2 SHEETS

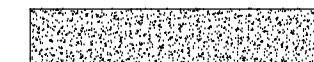
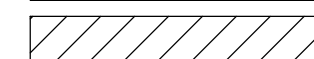

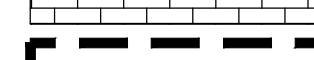
Drawing name: X:\2024\220116 - Newport Townhome Development\survey\existing conditions\220116surv.dwg May 30, 2024 - 12:07pm

Drawing name: X:\2022\220116 - Newport - Townhome - Development\plan - sheets\Preliminary Plat\220116demo.dwg - May 31, 2024 - 10:44am

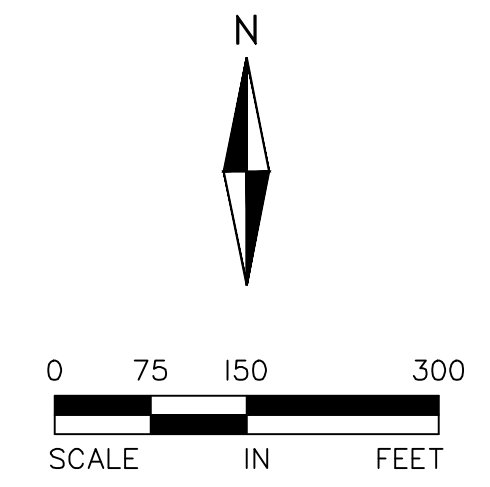
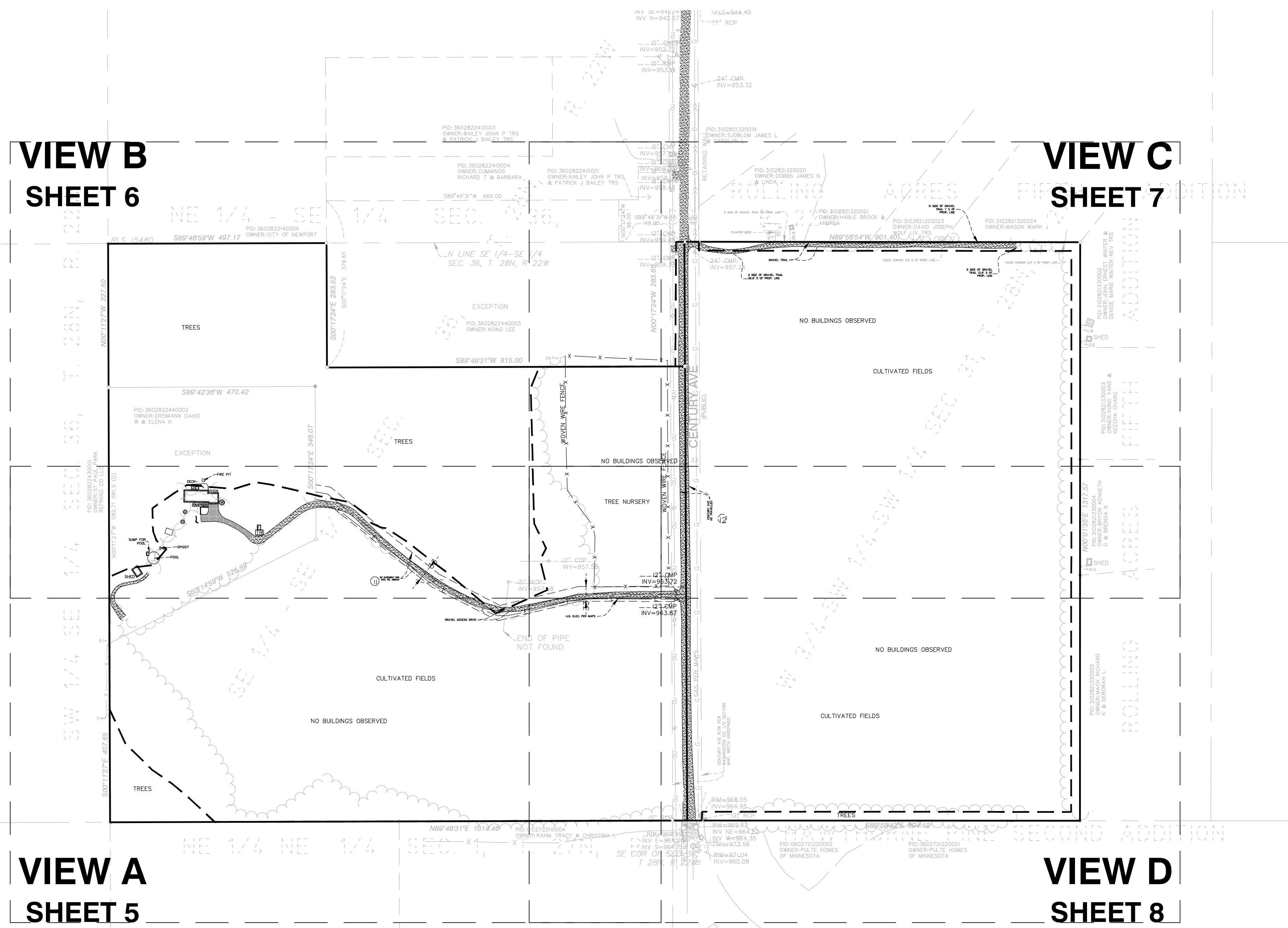
NOTES:

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, SUCH AS EXISTING GUTTER GRADES AT THE PROPOSED DRIVEWAYS, PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
3. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIAL REMOVALS. CONTRACTOR TO SALVAGE ALL MATERIALS POSSIBLE AND COORDINATE WITH OWNER ON FINAL USE.
4. PRIOR TO EARTH DISTURBANCE, INSTALL EROSION AND SEDIMENT CONTROL AS NECESSARY TO PREVENT SEDIMENT TRANSPORT OFFSITE DURING CONSTRUCTION WORK. INSTALL SILT FENCE AND INLET PROTECTION AT DISTURBANCE LIMITS.
5. ALL REMOVAL LIMITS DEPICTED AND ESTIMATED AND ASSUMED. CONTRACTOR WILL REMOVE AT NEAREST EXISTING JOINTS OR PANELS.

LEGEND:

-  REMOVE GRAVEL ROADS
-  REMOVE BUILDING
-  REMOVE CONCRETE
-  TREE CLEARING LIMITS

DEMOLITION TO BE COMPLETED BY OTHERS. ALL STRUCTURES AND UTILITIES TO BE DEMOLISHED BEFORE MASS GRADING AND STREET AND UTILITY CONSTRUCTION.



ALLIANT
 733 Marquette Avenue
 Suite 700
 Minneapolis, MN 55402
 612.758.3080
 www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW
 NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
DEMOLITION PLAN - OVERVIEW

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
 Date _____ License No. _____

QUALITY ASSURANCE/CONTROL	
BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA
 DESIGNED: AKA
 DRAWN: LRJ
 PROJECT NO: 2220116

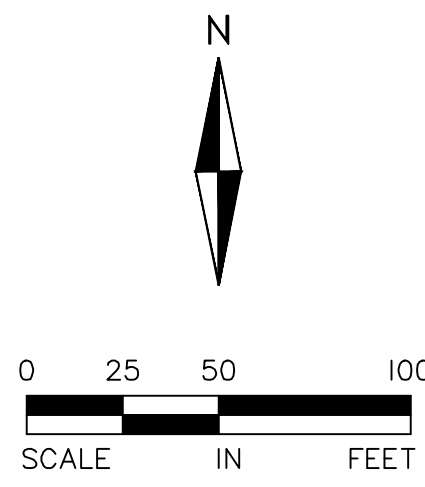
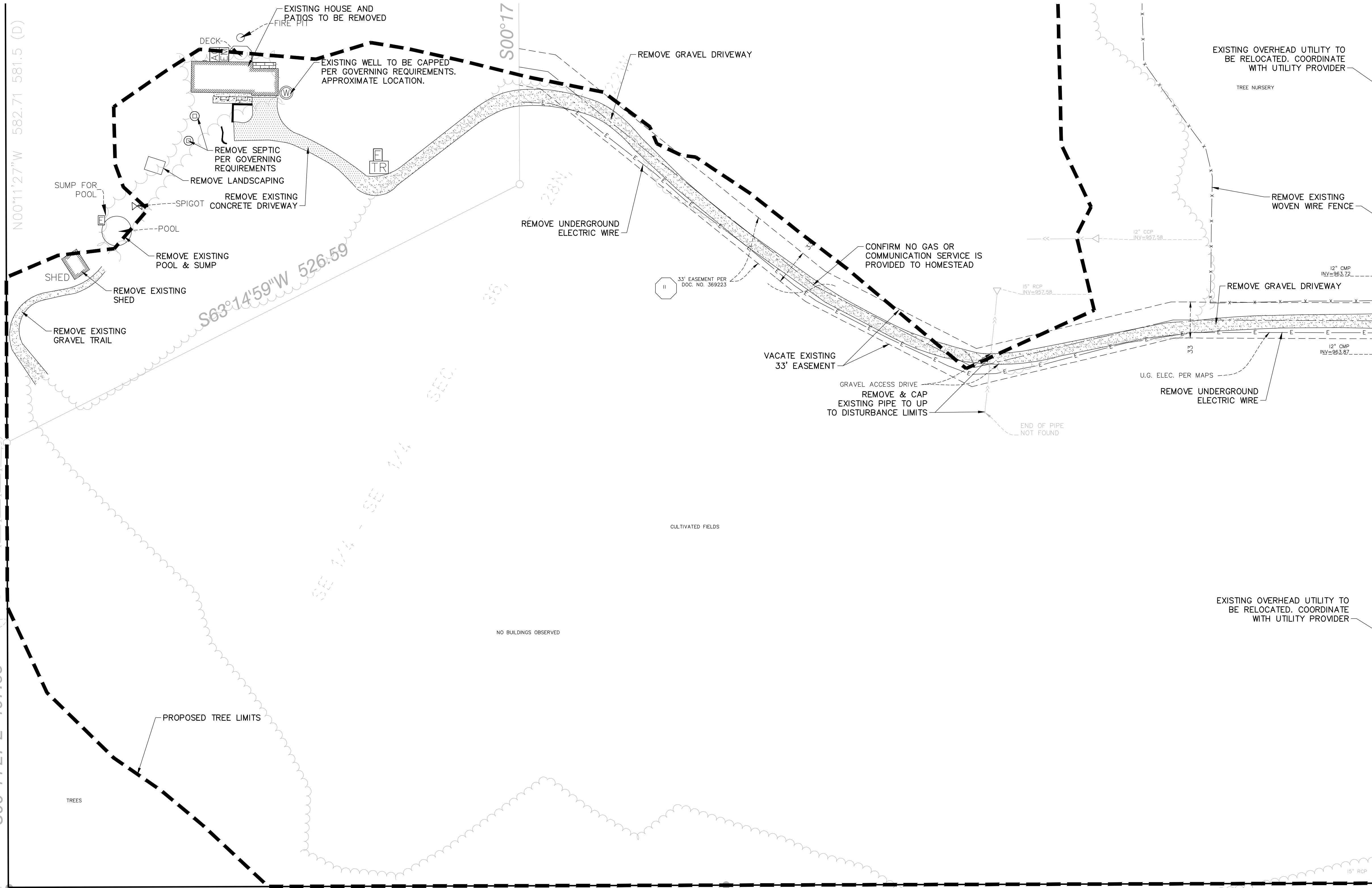
Drawing name: X:\2022\220116 - Newport Townhome Development\plan_sheets\Preliminary Plot\220116demo.dwg May 31, 2024 10:44am

PID: 36028224300
OWNER: ST PAUL
REFINING CO LLC

SW 1/4 SEC 1/4 SEC. 36, T. 28N, R. 22W

N00°11'27"W 582.71 581.5 (D)
S00°11'27"E 407.65

NE 1/4 NE 1/4 SEC. 1, T. 27N, R. 22W



ALLIANT
733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW
NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
DEMOLITION PLAN - VIEW A

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

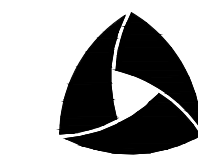
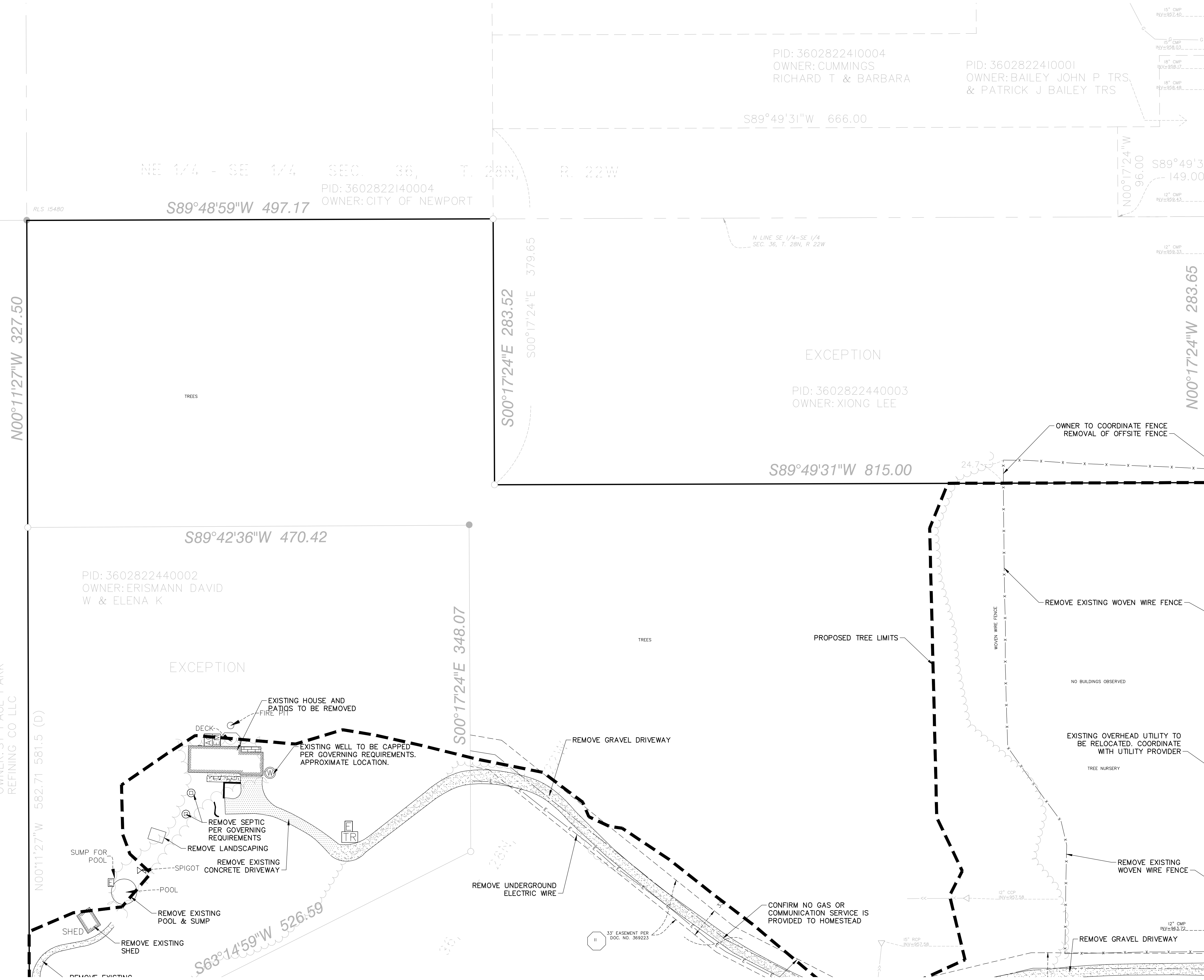
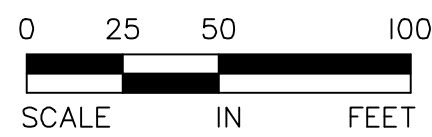
DAVID NASH, PE
Date _____ License No. _____

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: AKA
DRAWN: LRJ
PROJECT NO: 2220116

Drawing name: X:\2022\220116 - Newport Townhome Development\plan_sheets\Preliminary Plat\220116demo.dwg May 31, 2024 10:44am



ALLIANT
733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW

NEWPORT AND WOODBURY, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

DEMOLITION PLAN - VIEW B

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

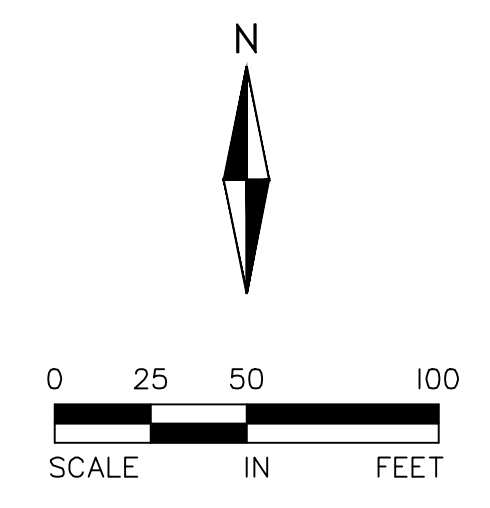
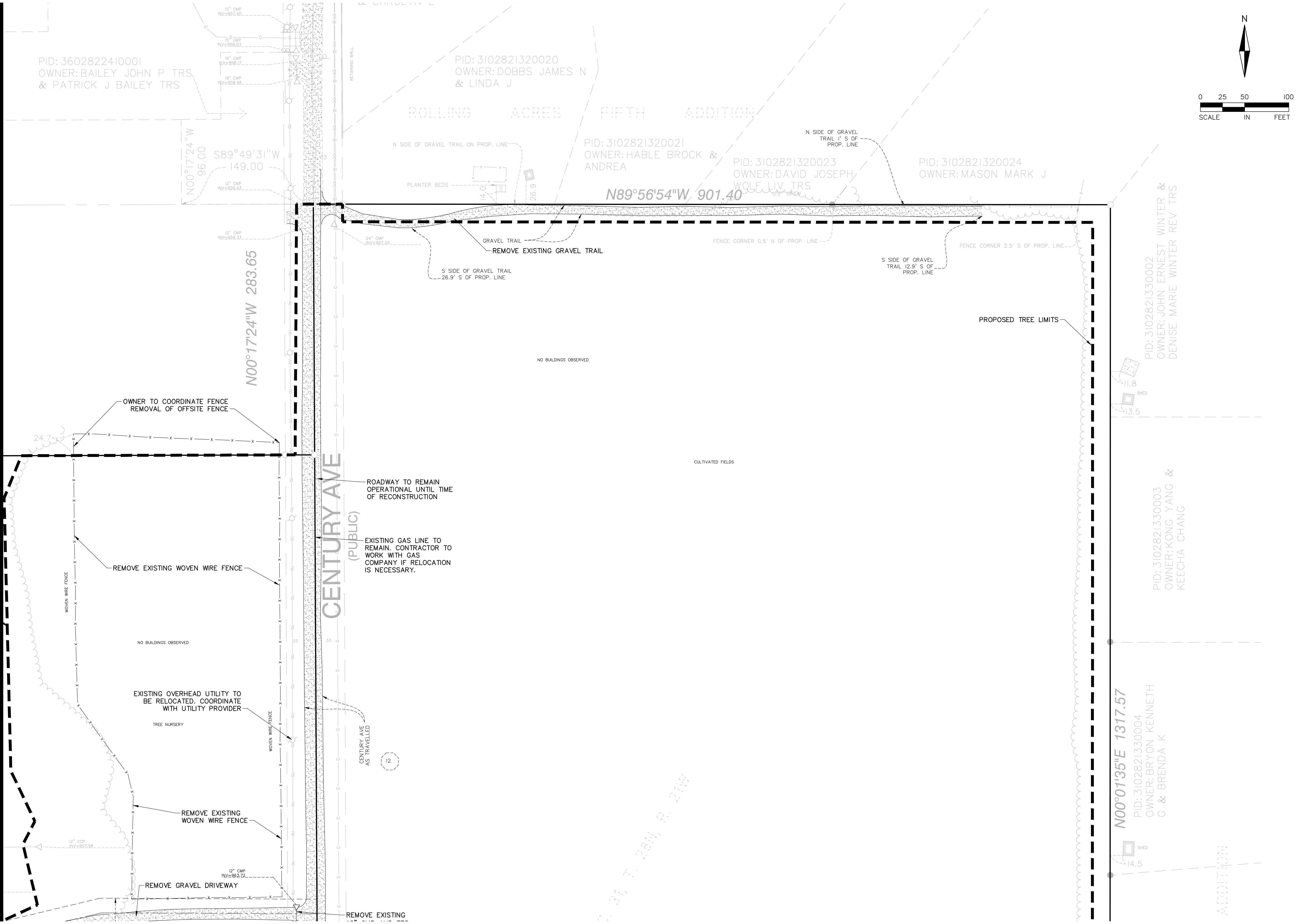
DAVID NASH, PE
Date License No.

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: AKA
DRAWN: LRJ
PROJECT NO: 2220116

Drawing name: X:\2022\220116 - Newport Townhome Development\plan_sheets\Preliminary Plat\220116demo.dwg May 31, 2024 10:44am



ALLIANT
 733 Marquette Avenue
 Suite 700
 Minneapolis, MN 55402
 612.758.3080
 www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW
 NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
DEMOLITION PLAN - VIEW C

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

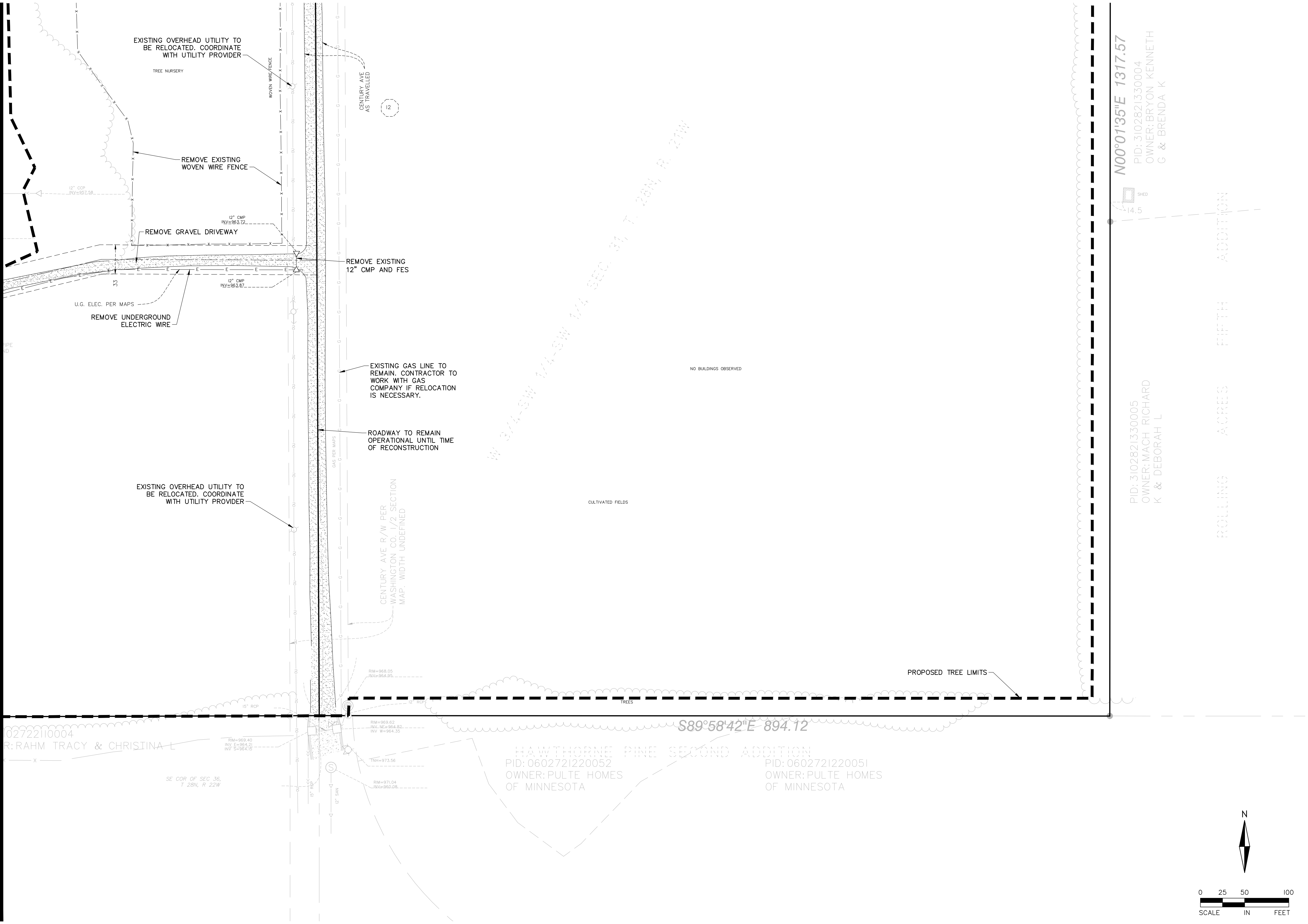
DAVID NASH, PE
 Date: _____ License No. _____

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA
 DESIGNED: AKA
 DRAWN: LRJ
 PROJECT NO: 2220116

Drawing name: X:\2022\220116 - Newport - Townhome Development\plan_sheets\Preliminary\Plot\220116demo.dwg May 31, 2024 10:44am



N00°01'35"E 1317.57
 PID: 3102821330004
 OWNER: BRYON KENNETH G & BRENDA K

PID: 3102821330005
 OWNER: MACH, RICHARD K & DEBORAH L

W 3/4-SW 1/4-SW 1/4 SEC. 31, T. 28N, R. 21W

HAWTHORNE PINE SECOND ADDITION
 PID: 0602721220052
 OWNER: PULTE HOMES OF MINNESOTA

PID: 0602721220051
 OWNER: PULTE HOMES OF MINNESOTA

ROLLING ACRES FIFTH ADDITION

CHERRYWOOD AND CHERRY MEADOW
 NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
DEMOLITION PLAN - VIEW D

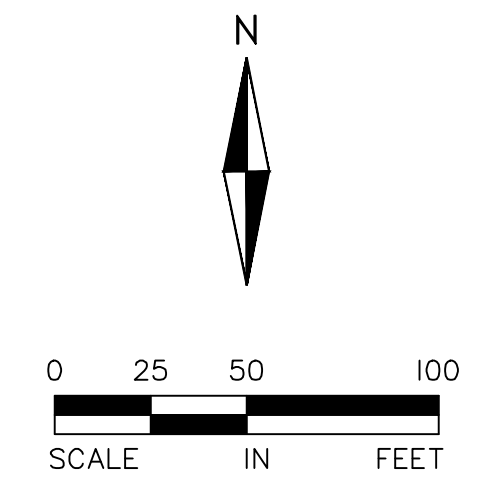
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
 Date License No.

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA
 DESIGNED: AKA
 DRAWN: LRJ
 PROJECT NO: 2220116



Drawing name: X:\2022\220116 - Newport Townhome Development\plan sheets\Preliminary Plat\220116preplat.dwg - May 31, 2024 - 10:44am

CHERRYWOOD

PARCEL	AREA SF	AREA AC
B1-L1	10,988	0.25
B1-L2	12,564	0.29
B1-L3	16,209	0.37
B1-L4	10,349	0.24
B1-L5	7,913	0.18
B1-L6	6,495	0.15
B1-L7	6,496	0.15
B1-L8	6,496	0.15
B1-L9	6,496	0.15
B1-L10	6,496	0.15
B1-L11	6,496	0.15
B1-L12	6,496	0.15
B1-L13	7,796	0.18
B1-L14	7,796	0.18
B1-L15	6,497	0.15
B1-L16	6,497	0.15
B1-L17	6,497	0.15
B1-L18	7,064	0.16
B1-L19	8,833	0.20
B1-L20	11,541	0.26
B1-L21	11,131	0.26
B1-L22	13,856	0.32
B1-L23	18,035	0.41
B1-L24	10,545	0.24
B1-L25	8,037	0.18
B1-L26	6,491	0.15
B1-L27	6,491	0.15
B1-L28	6,491	0.15
B1-L29	7,579	0.17
B2-L1	9,990	0.23
B2-L2	8,599	0.20
B2-L3	7,292	0.17
B2-L4	8,054	0.18
B2-L5	7,530	0.17
B2-L6	7,569	0.17
B2-L7	7,703	0.18
B2-L8	6,660	0.15
B2-L9	6,587	0.15
B2-L10	7,284	0.17
B2-L11	7,913	0.18
B2-L12	7,712	0.18
B3-L1	4,945	0.11
B3-L2	4,945	0.11
B3-L3	5,010	0.12
B3-L4	5,445	0.12
B3-L5	4,800	0.11
B3-L6	4,800	0.11
B3-L7	4,800	0.11
B3-L8	4,800	0.11
B3-L9	4,800	0.11
B3-L10	4,800	0.11
B3-L11	4,800	0.11
B3-L12	4,800	0.11
B3-L13	4,800	0.11
B3-L14	4,820	0.11
B3-L15	7,912	0.18
B3-L16	5,400	0.12
B3-L17	7,144	0.16
B3-L18	5,958	0.14
B3-L19	4,800	0.11
B3-L20	4,980	0.11

PARCEL	AREA SF	AREA AC
B3-L21	5,126	0.12
B3-L22	8,888	0.20
B3-L23	5,833	0.13
B3-L24	4,800	0.11
B3-L25	5,902	0.14
B3-L26	4,992	0.11
B3-L27	4,800	0.11
B3-L28	4,800	0.11
B3-L29	5,771	0.13
B3-L30	4,800	0.11
B3-L31	6,514	0.15
B3-L32	9,203	0.21

PARCEL	AREA SF	AREA AC
B4-L1	2,117	0.05
B4-L2	1,776	0.04
B4-L3	1,776	0.04
B4-L4	1,776	0.04
B4-L5	1,776	0.04
B4-L6	2,080	0.05
B5-L1	2,129	0.05
B5-L2	1,776	0.04
B5-L3	1,776	0.04
B5-L4	2,129	0.05
B6-L1	2,129	0.05
B6-L2	1,776	0.04

PARCEL	AREA SF	AREA AC
B6-L3	1,776	0.04
B6-L4	2,129	0.05
B7-L1	2,129	0.05
B7-L2	1,776	0.04
B7-L3	1,776	0.04
B7-L4	1,776	0.04
B7-L5	1,776	0.04
B7-L6	2,129	0.05
B8-L1	2,129	0.05
B8-L2	1,776	0.04
B8-L3	1,776	0.04
B8-L4	1,776	0.04

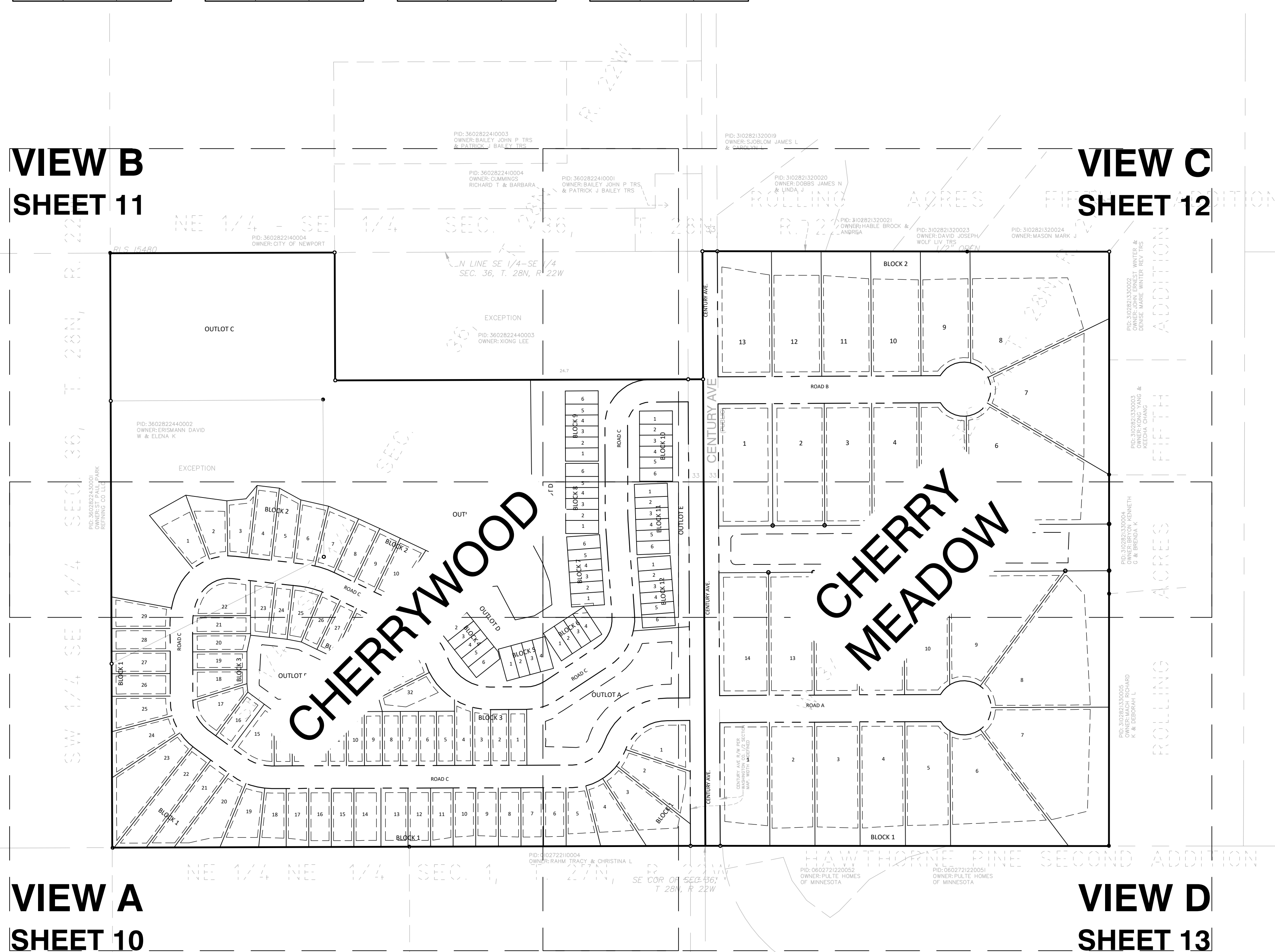
PARCEL	AREA SF	AREA AC
B8-L5	1,776	0.04
B8-L6	2,129	0.05
B9-L1	2,129	0.05
B9-L2	1,776	0.04
B9-L3	1,776	0.04
B9-L4	1,776	0.04
B9-L5	1,776	0.04
B9-L6	2,129	0.05
B10-L1	2,129	0.05
B10-L2	1,776	0.04
B10-L3	1,776	0.04
B10-L4	1,776	0.04

PARCEL	AREA SF	AREA AC
B10-L5	1,776	0.04
B10-L6	2,129	0.05
B11-L1	2,129	0.05
B11-L2	1,776	0.04
B11-L3	1,776	0.04
B11-L4	1,776	0.04
B11-L5	1,776	0.04
B11-L6	2,129	0.05
B12-L1	2,129	0.05
B12-L2	1,776	0.04
B12-L3	1,776	0.04
B12-L4	1,776	0.04

PARCEL	AREA SF	AREA AC
B12-L5	1,776	0.04
B12-L6	2,129	0.05
OUTLOT A	55,348	1.27
OUTLOT B	37,026	0.85
OUTLOT C	477,766	10.97
OUTLOT D	79,677	1.83
OUTLOT E	31,451	0.72
ROW - CENTURY AVE	34,136	0.78
ROW - ROAD C	165,708	3.80
TOTAL	1,499,770	34.43

CHERRY MEADOW

PARCEL	AREA SF	AREA AC
B1-L1	30,083	0.69
B1-L2	27,406	0.63
B1-L3	27,460	0.63
B1-L4	27,514	0.63
B1-L5	27,319	0.63
B1-L6	41,908	0.96
B1-L7	61,483	1.41
B1-L8	61,496	1.41
B1-L9	40,761	0.94
B1-L10	26,975	0.62
B1-L11	27,225	0.63
B1-L12	27,225	0.63
B1-L13	27,225	0.63
B1-L14	29,948	0.69
B2-L1	32,470	0.75
B2-L2	31,117	0.71
B2-L3	28,411	0.65
B2-L4	28,411	0.65
B2-L5	27,147	0.62
B2-L6	62,591	1.44
B2-L7	53,969	1.24
B2-L8	67,493	1.55
B2-L9	28,736	0.66
B2-L10	30,364	0.70
B2-L11	30,436	0.70
B2-L12	30,508	0.70
B2-L13	33,364	0.77
OUTLOT A	89,621	2.06
ROW - CENTURY AVE	43,496	1.00
ROW - ROAD A	40,361	0.93
ROW - ROAD B	40,547	0.93
TOTAL	1,183,069	27.16



- LEGEND:**
- PROPERTY LINE
 - LOT LINE
 - - - R.O.W.
 - - - EASEMENT LINE
 - FOUND IRON MONUMENT
- DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
-
- Being 5 feet in width and adjoining lot lines and 10 feet in width and adjoining right of way lines, unless otherwise indicated on the plat.

ALLIANT
 733 Marquette Avenue
 Suite 700
 Minneapolis, MN 55402
 612.758.3080
 www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW
 NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
PRELIMINARY PLAT - OVERVIEW

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

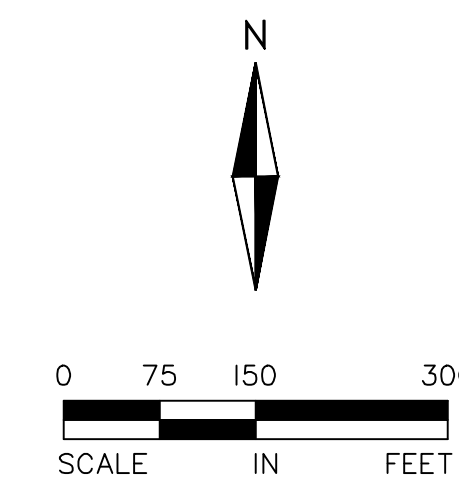
DAVID NASH, PE
 Date: _____ License No. _____

QUALITY ASSURANCE/CONTROL

BY: _____ DATE: _____

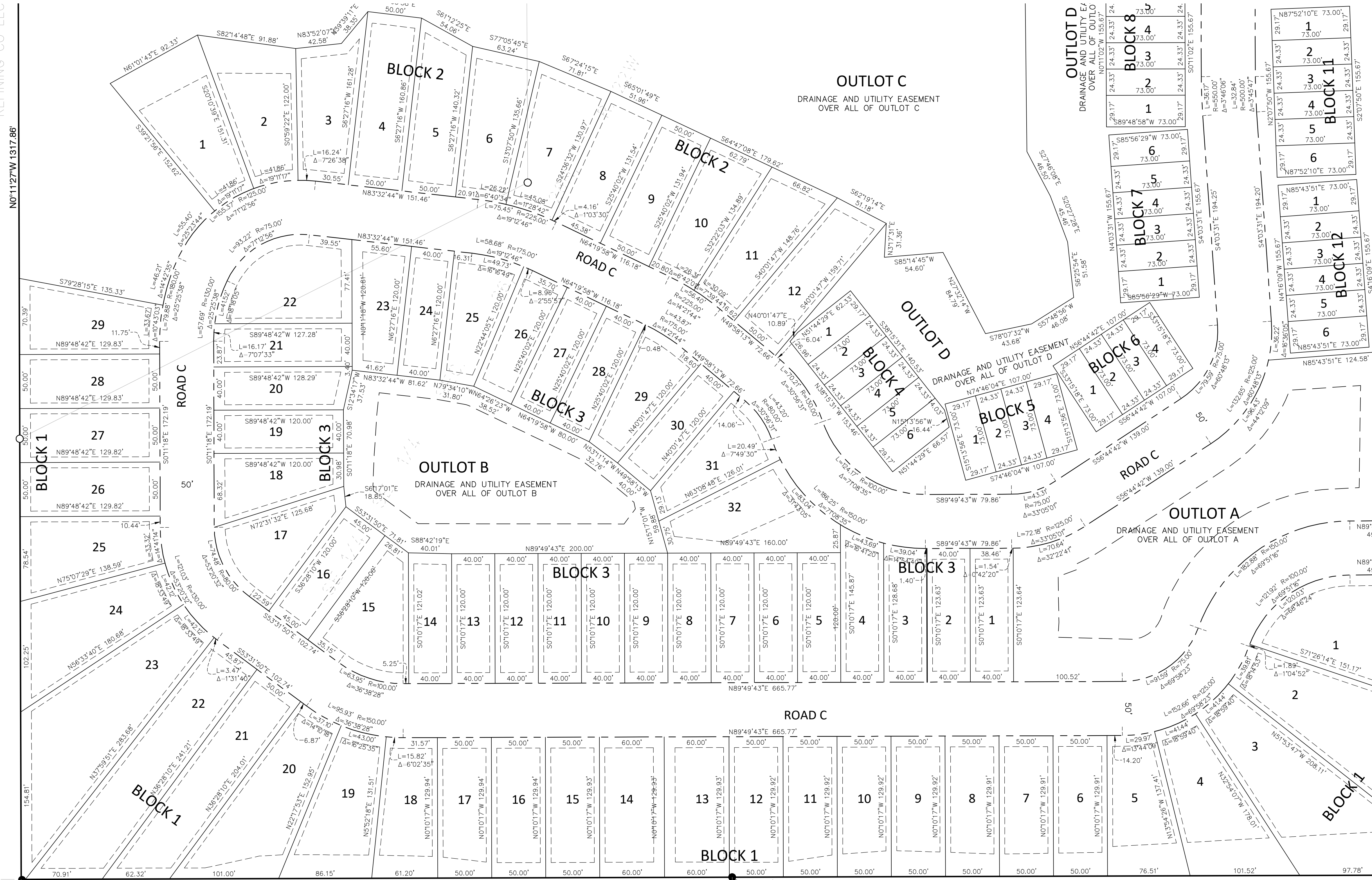
DATE ISSUE
 5/31/24 CITY SUBMITTAL

PROJECT TEAM DATA
 DESIGNED: _____ AKA _____
 DRAWN: _____ LRJ, ELL
 PROJECT NO: 2220116



PID: 36028224300
OWNER: ST PAUL
REFINING CO LLC

SW 1/4 SE 1/4 SEC. 36, T. 28N, R. 22W



NE 1/4 NE 1/4 SEC. 1, T. 27N, R. 22W

PID: 0102722110004
OWNER: RAHM TRACY & CHRISTINA L

SE COR OF SEC. 36,
T. 28N, R. 22W

CHERRYWOOD AND CHERRY MEADOW

NEWPORT AND WOODBURY, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

PRELIMINARY PLAT - VIEW A

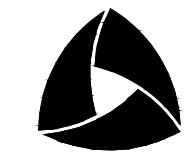
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
Date License No.

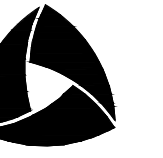
QUALITY ASSURANCE/CONTROL

BY	DATE
DESIGNED:	AKA
DRAWN:	LRJ, ELL
PROJECT NO:	2220116

PROJECT TEAM DATA



ALLIANT
733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com



ALLIANT

733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com



0 25 50 100
SCALE IN FEET

NE 1/4 - SE 1/4 SEC. 36, T. 28N, R. 22W

PID: 3602822140004
OWNER: CITY OF NEWPORT

PID: 3602822410004
OWNER: CUMMINGS
RICHARD T & BARBARA

PID: 3602822410001
OWNER: BAILEY JOHN P TRS
& PATRICK J BAILEY TRS

OUTLOT C
DRAINAGE AND UTILITY EASEMENT
OVER ALL OF OUTLOT C

EXCEPTION

PID: 3602822440003
OWNER: XIONG LEE

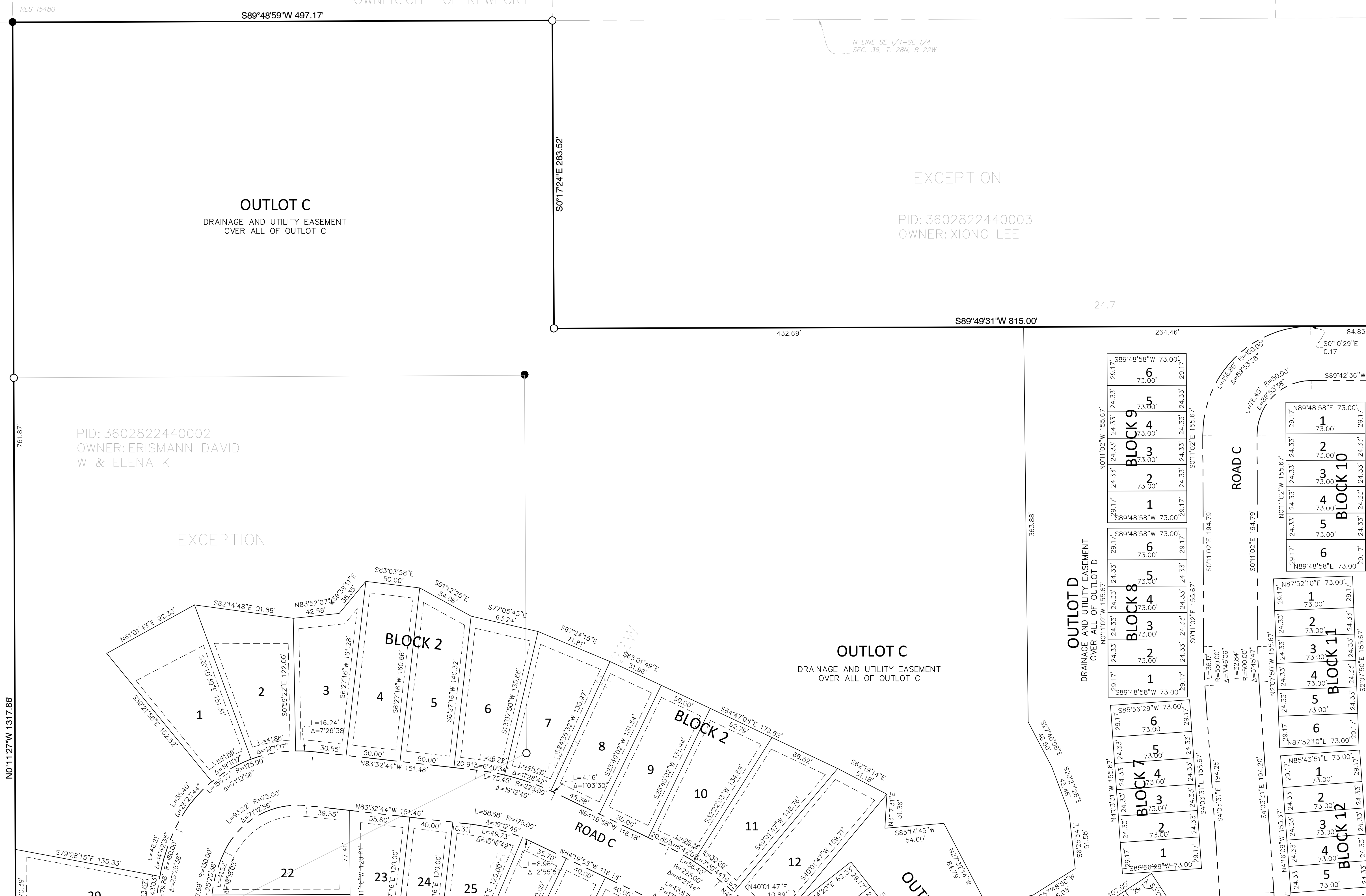
PID: 3602822440002
OWNER: ERISMANN DAVID
W & ELENA K

EXCEPTION

PID: 3602822430001
OWNER: ST PAUL PARK
REFINING CO LLC

Drawing name: X:\2022\220116 - Newport Townhome Development\plan_sheets\Preliminary Plat\220116preplat.dwg Max. 31, 2024 - 10:45am

T. 28N
R. 22W



CHERRYWOOD AND CHERRY MEADOW

NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL

PRELIMINARY PLAT - VIEW B

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
Date License No.

QUALITY ASSURANCE/CONTROL

BY DATE

DATE ISSUE

5/31/24 CITY SUBMITTAL

PROJECT TEAM DATA

DESIGNED: AKA
DRAWN: LRJ, ELL
PROJECT NO: 2220116

11

SHEET 11 of 54

CHERRYWOOD NEWPORT SITE PLAN DATA

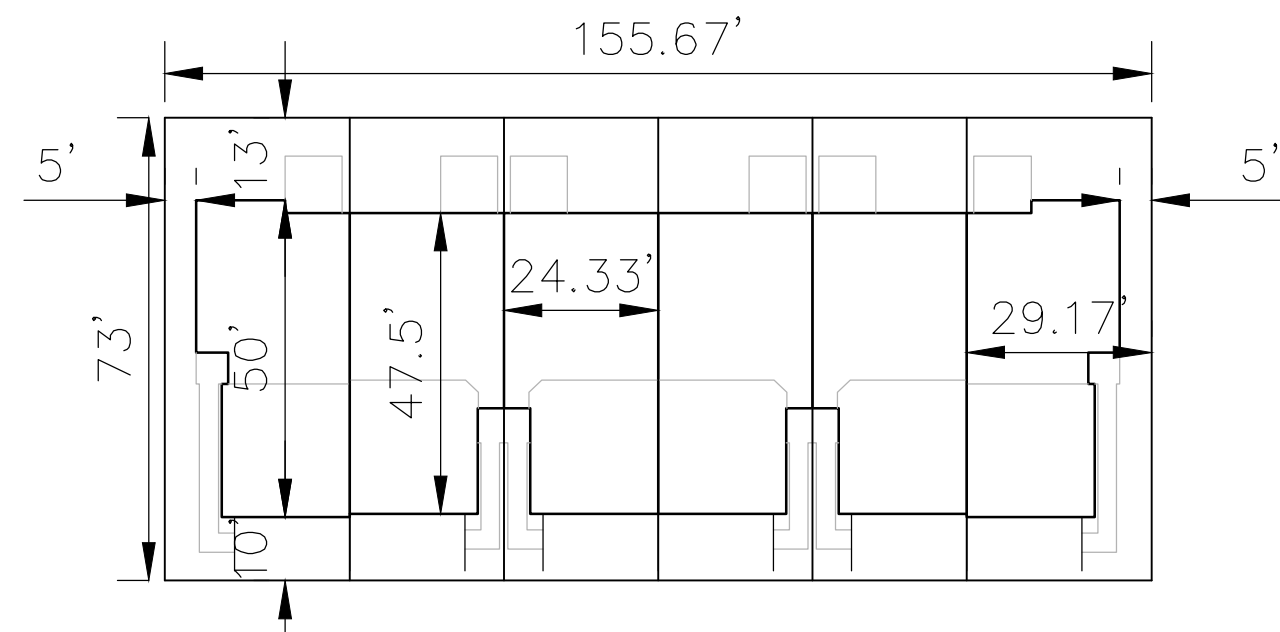
SITE PLAN LOT DATA:

EXISTING ZONING CLASS 1:	200-AGRICULTURAL
EXISTING ZONING CLASS 2:	211-AGRICULTURAL
PROPOSED ZONING:	R-2 MEDIUM DENSITY RESIDENTIAL/PUD
FRONT YARD SETBACK	25 FT
REAR YARD SETBACK	25 FT
SIDE YARD SETBACK TOWNHOME	15 FT (BLDG TO BLDG)
SIDE YARD SETBACK VILLA	5 FT GARAGE & 5 FT DWELLING
CORNER	10 FT
LOT TYPE BREAKDOWN:	
4-UNIT TOWNHOMES	8 UNITS
6-UNIT TOWNHOMES	42 UNITS
40' LOTS	32 UNITS
50' LOTS	41 UNITS
TOTAL UNITS	123 UNITS

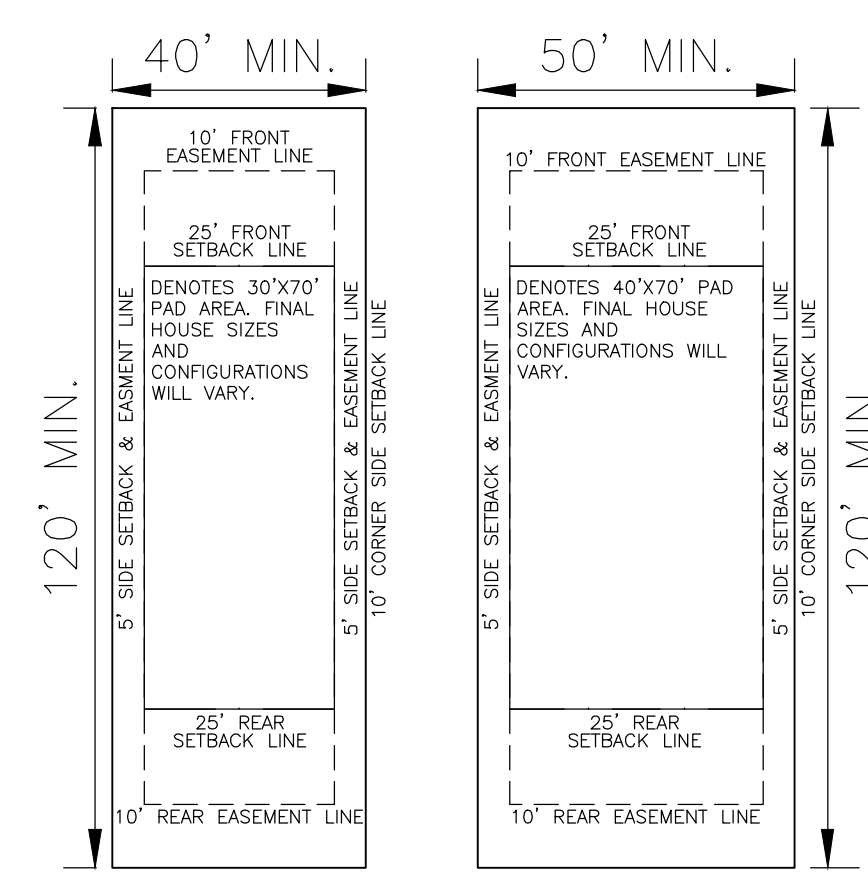
AREA & DENSITY CALCULATIONS:

TOTAL UNITS	123 UNITS
GROSS AREA	34.43 AC
GROSS DENSITY	3.57 UNITS/AC
NET AREA	22.61 AC
NON-BUILDABLE BLUFFS	10.56 AC
BLUFF SETBACK	1.26 AC
NET DENSITY	5.44 UNITS/AC
CENTURY AVE ROW	0.78 AC
OUTLOT A	1.27 AC
OUTLOT B	0.85 AC
OUTLOT C	10.97 AC
OUTLOT D	1.83 AC
OUTLOT E	0.72 AC
INTERNAL 50' ROW	3.80 AC

TOWNHOME LOT DETAIL



VILLA LOT DETAIL



CHERRY MEADOW

WOODBURY SITE PLAN DATA

SITE PLAN LOT DATA:

EXISTING ZONING CLASS 1: R-2 SINGLE FAMILY ESTATE DISTRICT
 PROPOSED ZONING: R-2 SINGLE FAMILY ESTATE DISTRICT/PUD (CLUSTER)

SINGLE FAMILY:

LOT SIZE MINIMUM	0.63 AC
LOT WIDTH MINIMUM	100 FT
LOT DEPTH MINIMUM	200 FT
FRONT YARD SETBACK	50 FT
SIDE YARD SETBACK	10 FT GARAGE, 15 FT DWELLING
REAR YARD SETBACK	50 FT
CORNER SIDE YARD SETBACK	25 FT

LOT TYPE BREAKDOWN:

SINGLE FAMILY	27 UNITS
---------------	----------

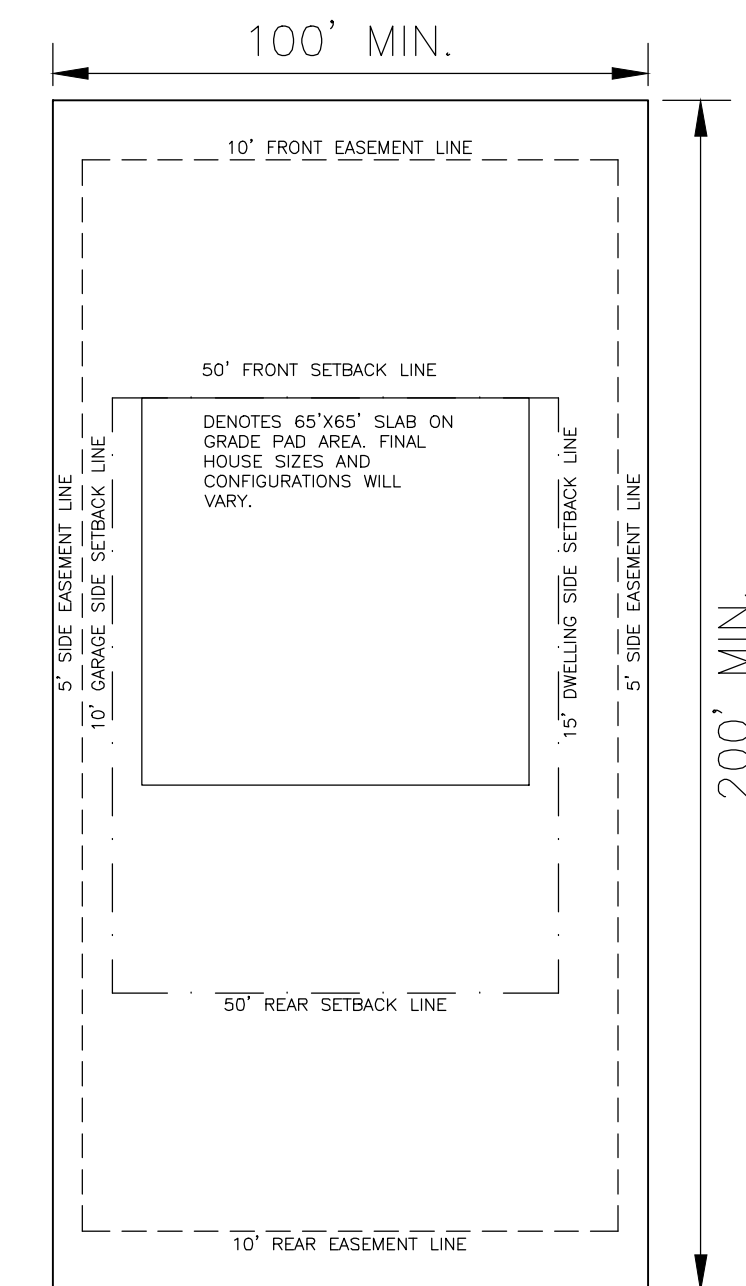
AREA & DENSITY CALCULATIONS:

TOTAL UNITS	27 UNITS
GROSS AREA	27.16 AC
GROSS DENSITY	0.99 LOTS/AC
NET AREA (EXCLUDES CENTURY AVE)	26.16 AC
CENTURY AVE ROW	1.00 AC
NET DENSITY	1.03 LOTS/AC
OUTLOT A	2.06 AC
INTERNAL ROW	1.86 AC

SITE STATISTICS:

TOTAL OUTLOT	2.06 AC
TOTAL PONDING AREA	
INFILTRATION TOP (957)	1.34 AC
PERCENT DRIVEWAY COVERAGE	(1.06 AC) 4.10% (NET AREA)
PERCENT OF OPEN SPACE	
(NET AREA EXCLUDE IMPERVIOUS)	(21.89 AC) 83% (NET AREA)

SINGLE FAMILY LOT DETAIL

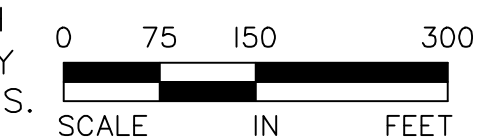


LEGEND:

- EASEMENT LINE
- - - BUILDING SETBACK
- PROPERTY LINE
- LOT LINE
- ROW
- STREET LIGHT
- STOP SIGN
- CITY PROPERTY MONUMENT
- RETAINING WALL

NOTES:

- SEE SHEET 20 FOR SITE DETAILS.
- ALL INTERSECTIONS OF INTERIOR STREETS WITH COLLECTOR/ARTERIAL ROADWAYS SHALL COMPLY WITH THE MN MUTCD AND REQUIRE STOP SIGNS.



VIEW B
SHEET 17

VIEW C
SHEET 18

VIEW A
SHEET 16

VIEW D
SHEET 19

CHERRYWOOD AND CHERRY MEADOW

NEWPORT AND WOODBURY, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

SITE PLAN - OVERVIEW

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
Date: _____ License No. _____

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

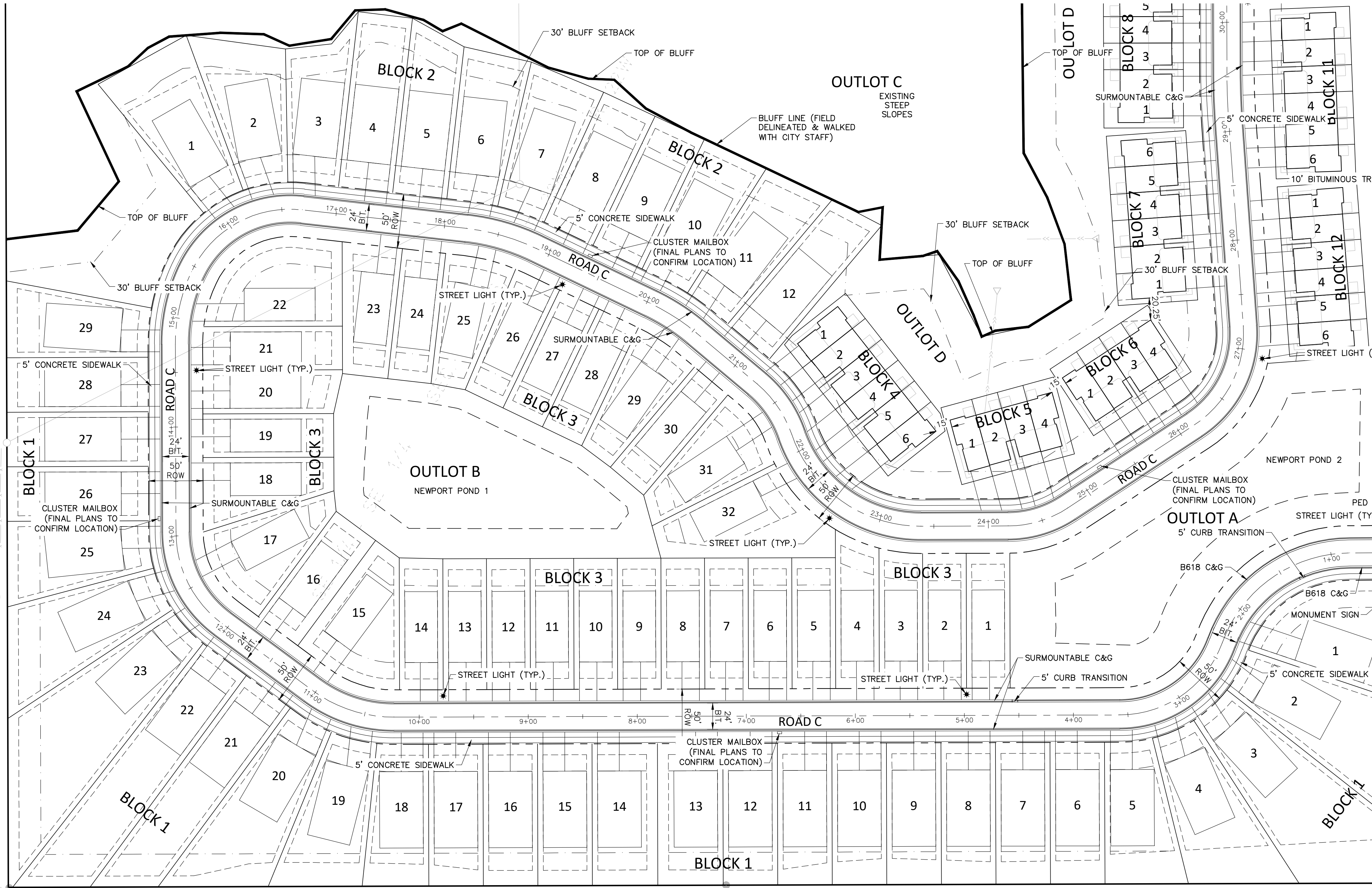
PROJECT TEAM DATA
 DESIGNED: AKA
 DRAWN: LRJ
 PROJECT NO: 2220116

15

Drawing name: X:\2022\220116 - Newport - Townhome - Development\plan - sheets\Preliminary\Plot\220116site.dwg - May 31, 2024 - 10:45am

SW 1/4 SEC. 36, T. 28N, R. 22W

RESIDENTIAL ESTATE
ST PAUL PARK REF
LLC

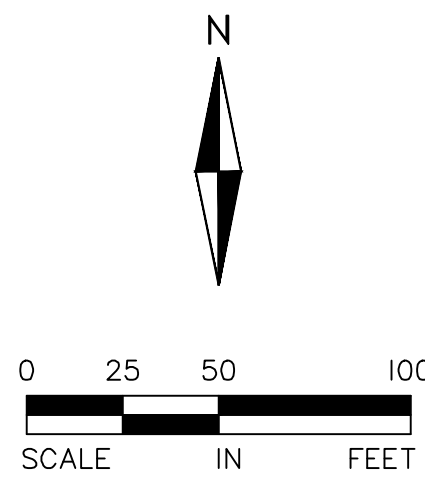


RESIDENTIAL ESTATE
ST PAUL PARK REFINING CO
LLC

RESIDENTIAL ESTATE
ST PAUL PARK REFINING CO, LLC
NE 1/4 SEC. 36, T. 27N, R. 22W

RESIDENTIAL ESTATE
RAHM TRACY & CHRISTINA L

SE COR OF SEC. 36,
T. 28N, R. 22W



ALLIANT
733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW

NEWPORT AND WOODBURY, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

SITE PLAN - VIEW A

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
Date: _____ License No. _____

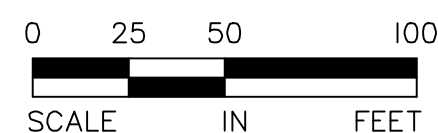
QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: AKA
DRAWN: LRJ
PROJECT NO: 2220116

16

SHEET 16 of 54



NE 1/4 - SE 1/4 SEC. 36, T. 28N, R. 22W

OPEN SPACE
CITY OF NEWPORT

RESIDENTIAL ESTATE
(CUMMINGS RICHARD T &
BARBARA)

RESIDENTIAL ESTATE
(BAILEY JOHN P TRS & PATRICK J
BAILEY TRS)



ALLIANT

733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com

OUTLOT C

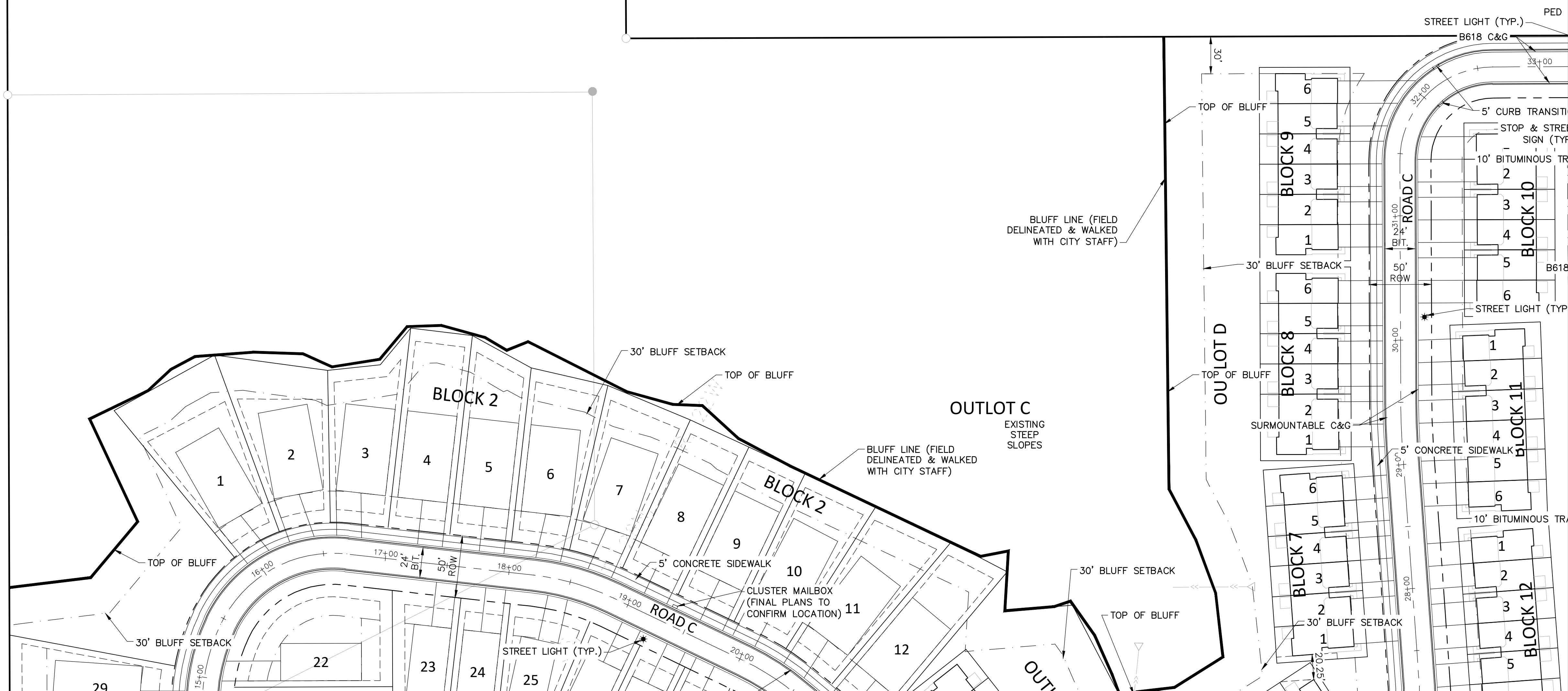
RESIDENTIAL ESTATE
XIONG LEE

RESIDENTIAL ESTATE
ST PAUL PARK REFINING CO
LLC

R. 22W

RLS 15480

N LINE SE 1/4-SE 1/4
SEC. 36, T. 28N, R. 22W



CHERRYWOOD AND CHERRY MEADOW

NEWPORT AND WOODBURY, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

SITE PLAN - VIEW B

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
Date License No.

QUALITY ASSURANCE/CONTROL

BY DATE
DATE ISSUE
5/31/24 CITY SUBMITTAL

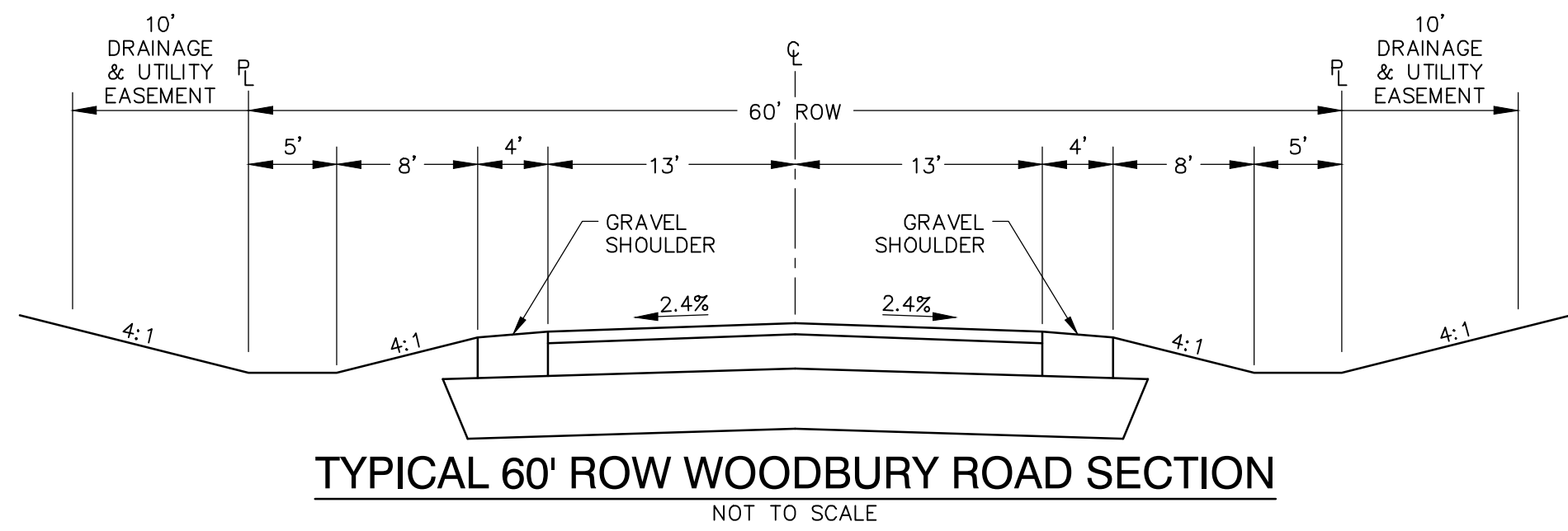
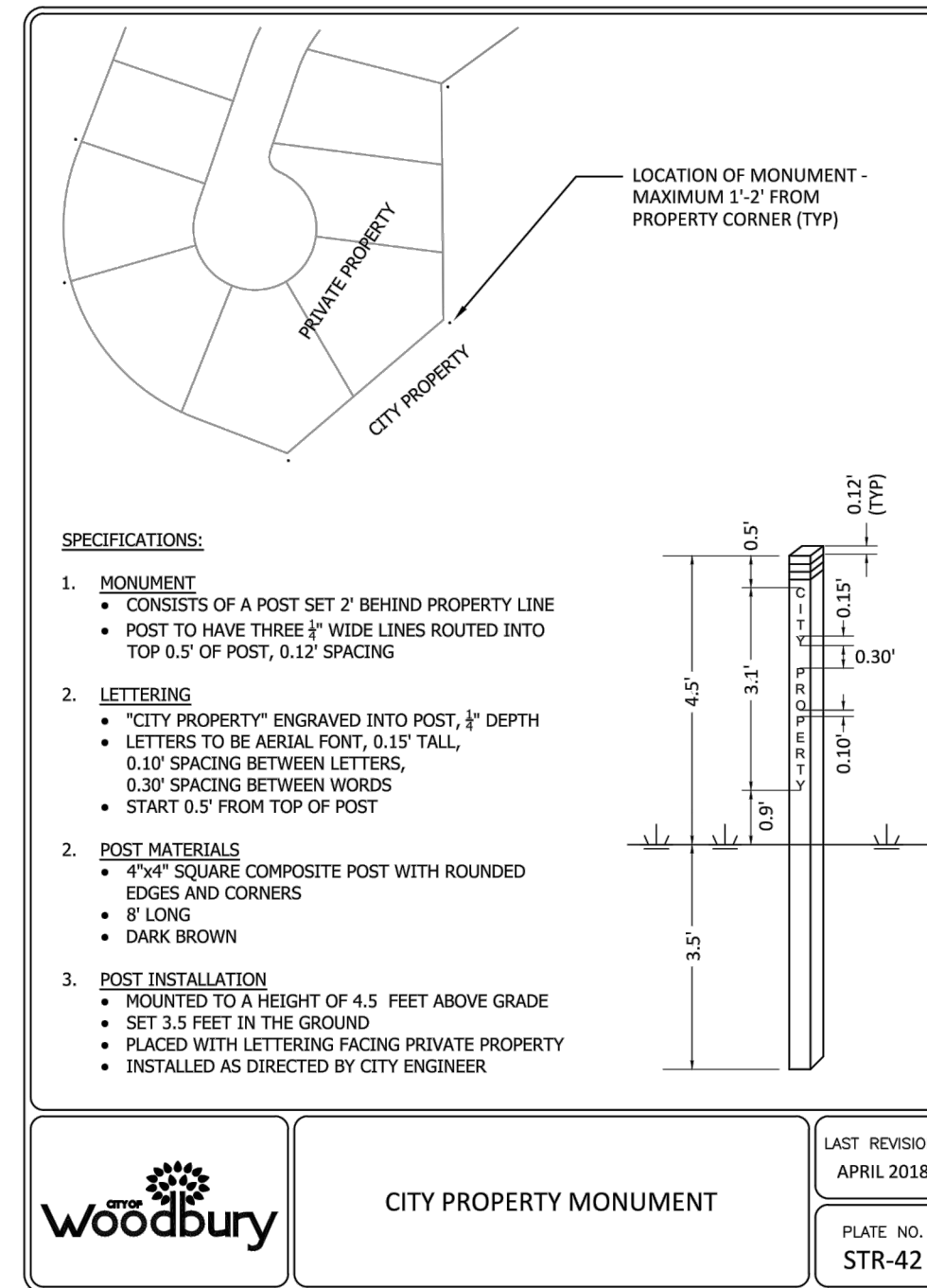
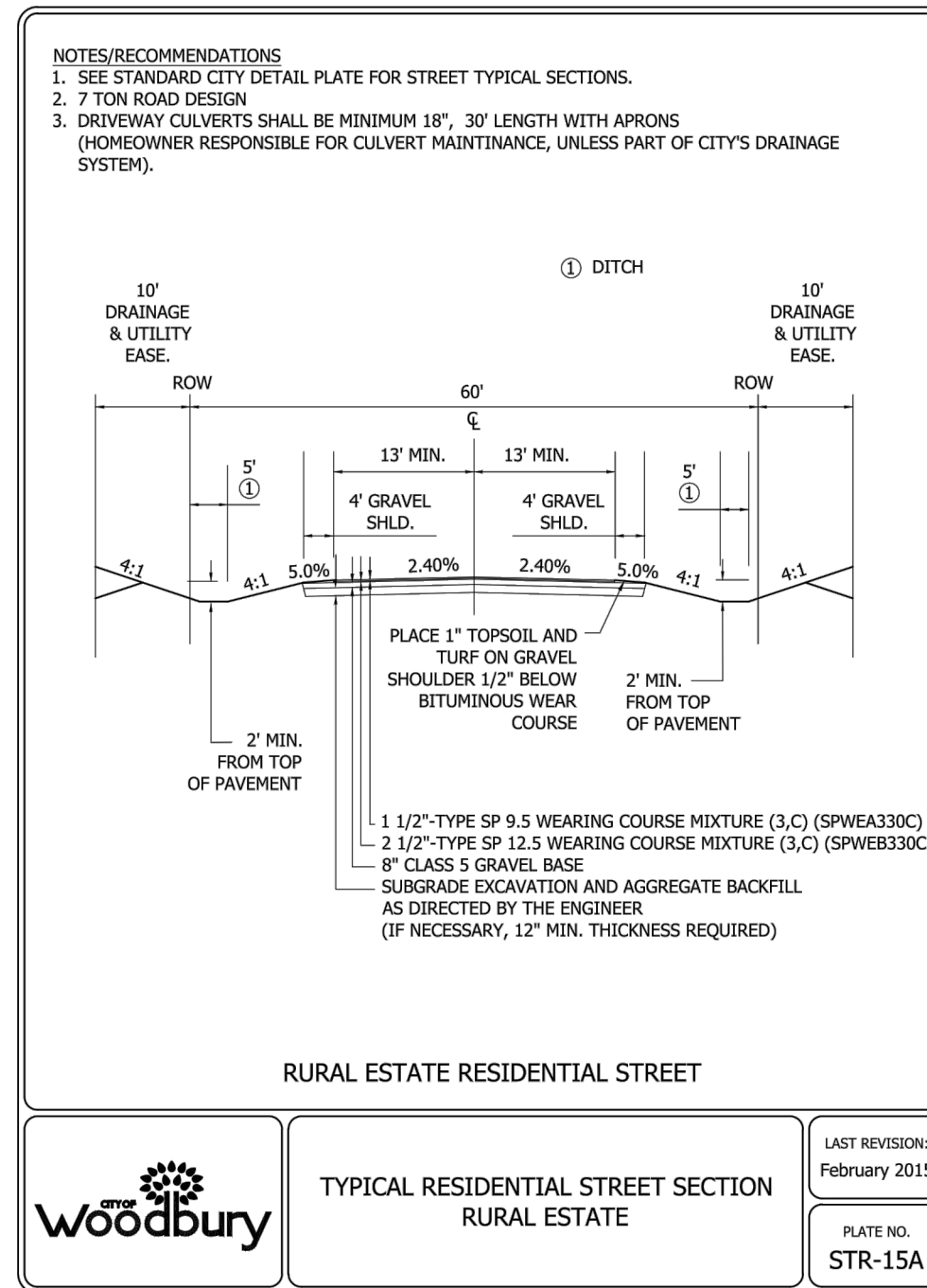
PROJECT TEAM DATA
DESIGNED: AKA
DRAWN: LRJ
PROJECT NO: 2220116

17

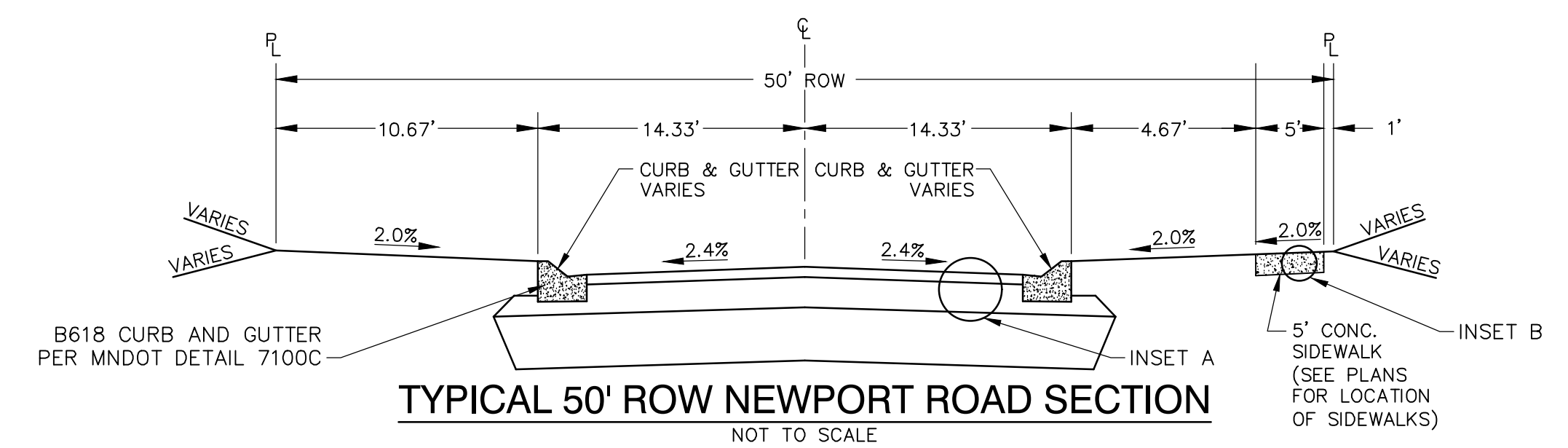
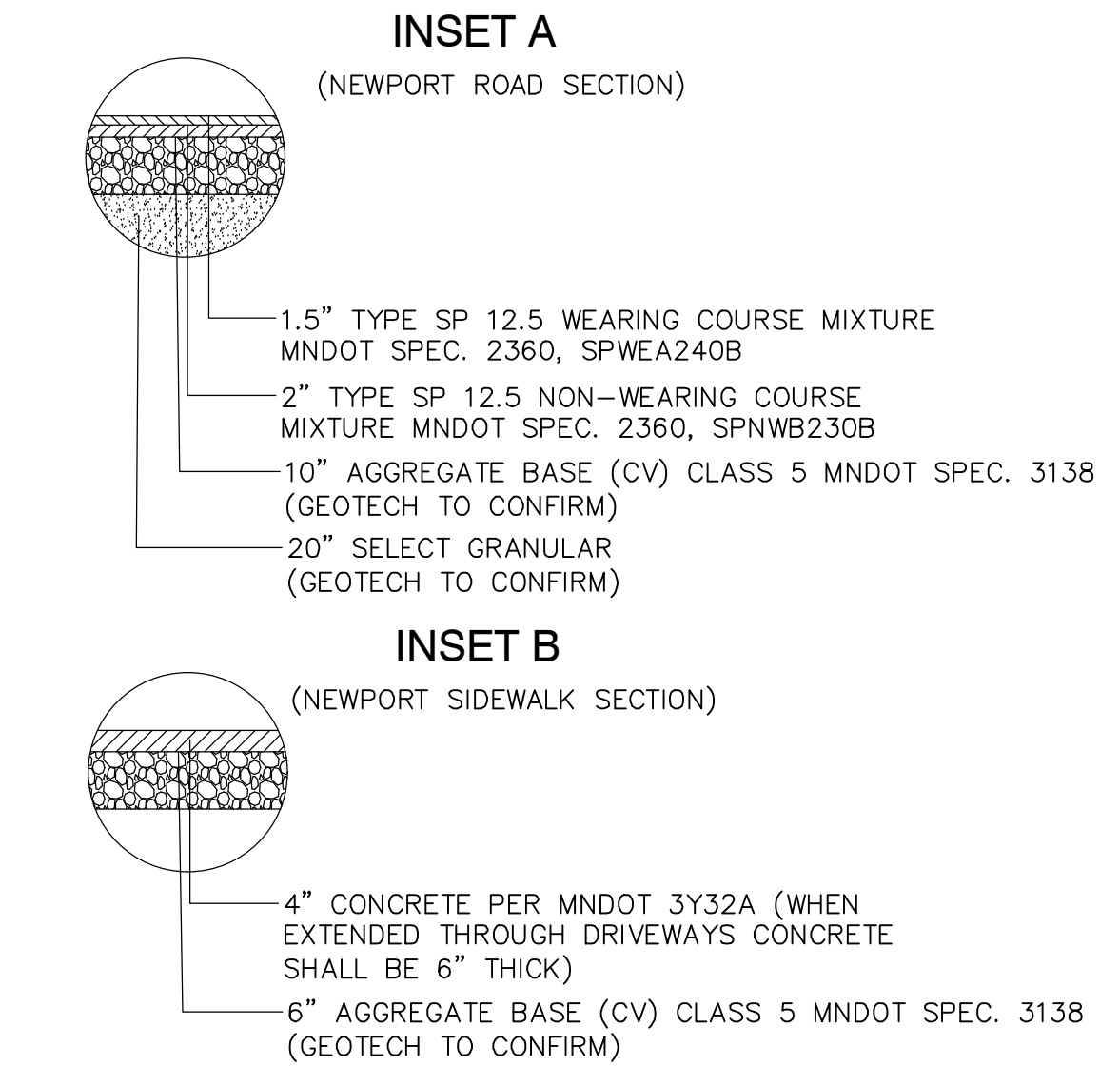
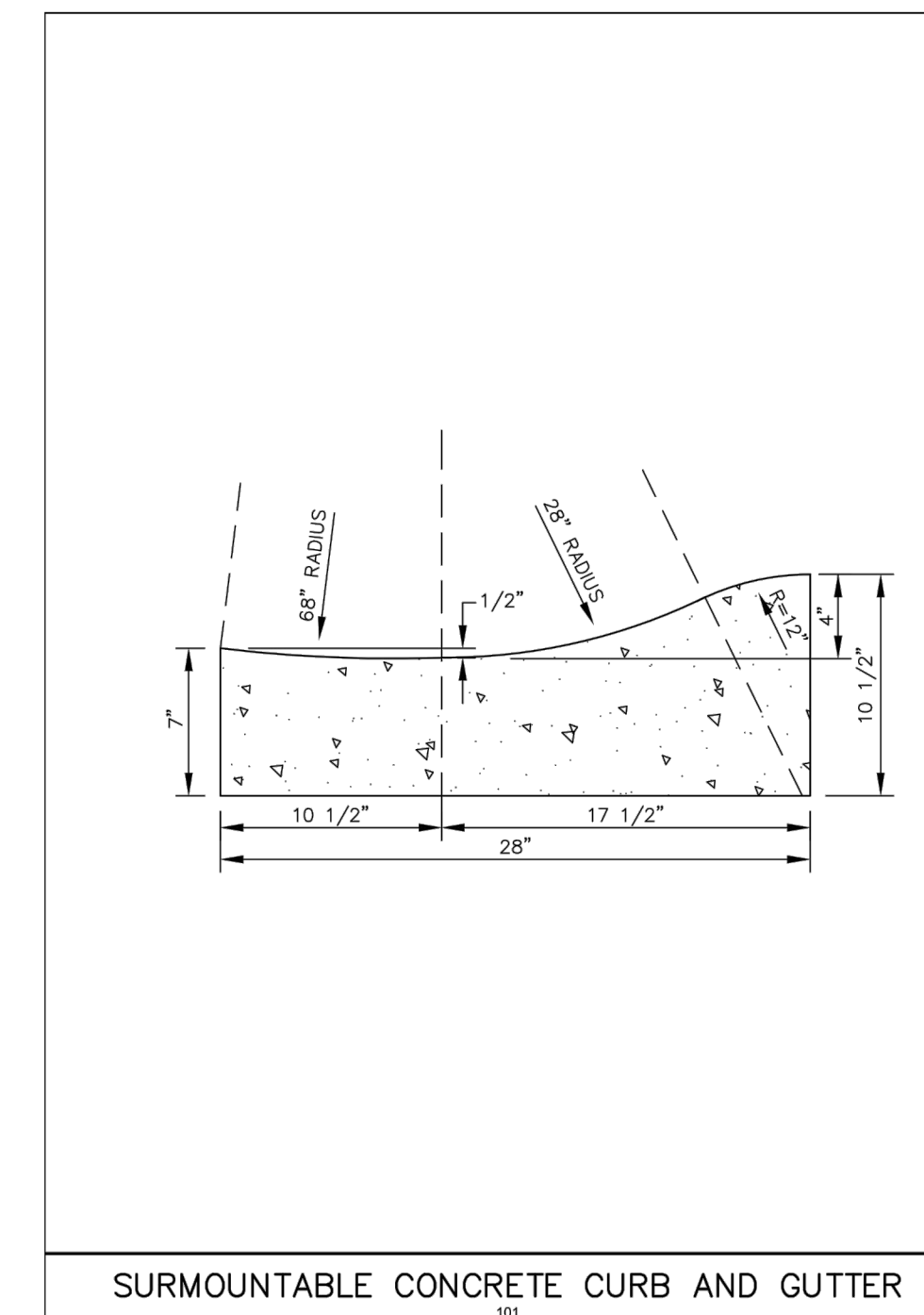
SHEET 17 of 54

Drawing name: X:\2022\220116 - Newport Townhome Development\plan sheets\Preliminary Plat\220116site.dwg May 31, 2024 10:45am

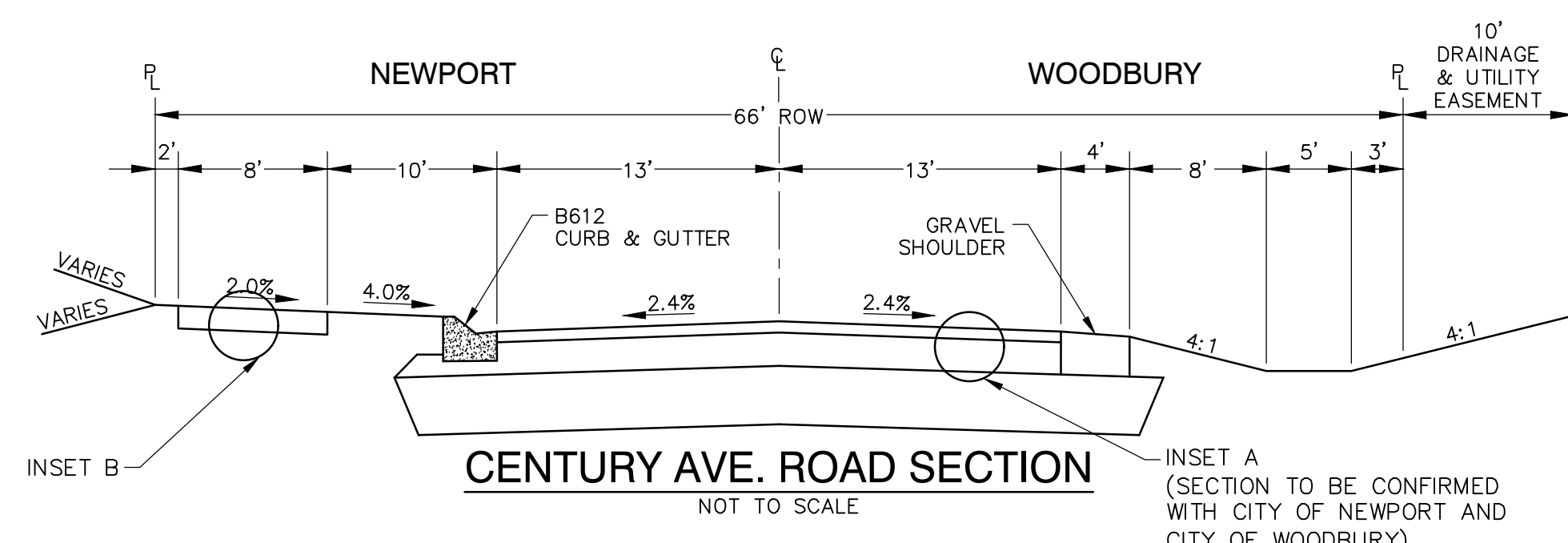
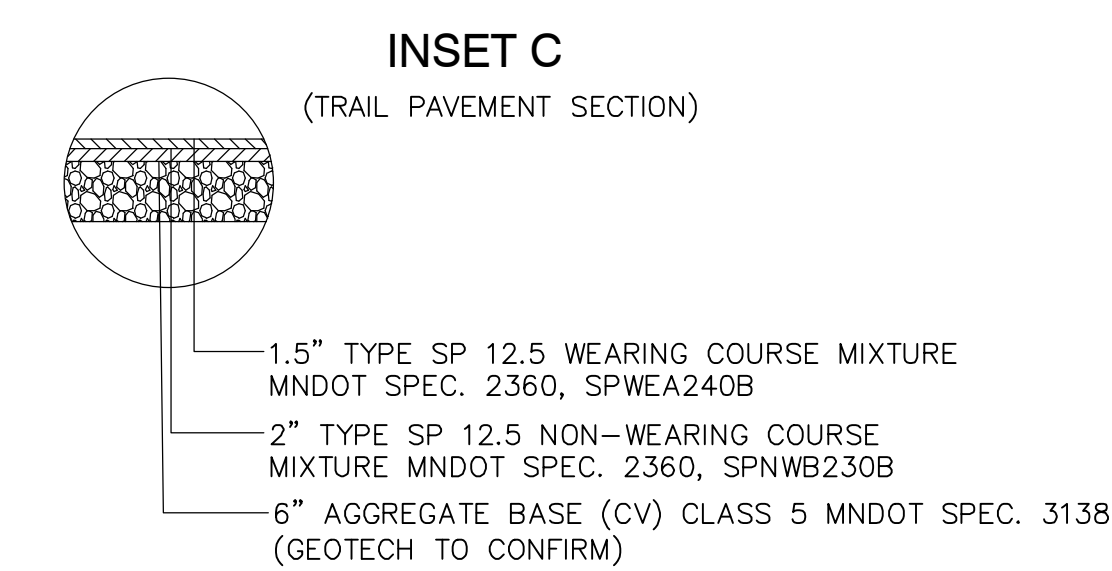
WOODBURY STANDARD DETAILS AND SECTIONS



NEWPORT STANDARD DETAILS AND SECTIONS



CENTURY AVE. STANDARD DETAILS AND SECTIONS



DIMENSIONS		W = 18"		W = 24"		W = 30"		W = 36"	
H	B	CONCRETE CU.YDS.	CONCRETE LIN.FT.PER PER.LIN.FT.	CONCRETE CU.YDS.	CONCRETE LIN.FT.PER PER.LIN.FT.	CONCRETE CU.YDS.	CONCRETE LIN.FT.PER PER.LIN.FT.	CONCRETE CU.YDS.	CONCRETE LIN.FT.PER PER.LIN.FT.
4	7 1/2	0.0529	18.9	0.0637	15.7	0.0745	13.4	0.0853	11.7
8	8 1/2	0.0637	15.7	0.0745	13.4	0.0853	11.7	0.0962	10.4
9	9	0.0667	15.0	0.0775	12.9	0.0883	11.3	0.0991	10.1
10	9 1/2	0.0697	14.4	0.0805	12.4	0.0913	11.0	0.1021	9.8

Specifications Reference: 2531

APPROVED: 10/30/2016
O. R. [Signature]
CITY ENGINEER

STATE OF MINNESOTA
DEPARTMENT OF HIGHWAYS

DATE OF REVISION: 10-30-2016
700-C-3-8-16

CONCRETE CURB AND GUTTER
DESIGN B

STANDARD PLATE NO. 7100C

CHERRYWOOD AND CHERRY MEADOW
 NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
SITE NOTES AND DETAILS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
Date: _____ License No. _____

QUALITY ASSURANCE/CONTROL

BY: _____ DATE: _____

DATE ISSUE
5/31/24 CITY SUBMITTAL

PROJECT TEAM DATA

DESIGNED: AKA
DRAWN: LRJ
PROJECT NO: 2220116

Drawing name: X:\2022\220116 - Newport Townhome Development\plan_sheets\Preliminary Plat\220116site.dwg May 31, 2024 10:45am

NOTE TO CONTRACTOR:

THE MASS GRADING CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) AS SHOWN IN THE MASS GRADING SWPPP (EXCEPT FOR POST GRADE BMPs NEEDED AFTER UTILITY CONSTRUCTION ACTIVITY). THE BMPs ARE TO BE INSTALLED AT A MINIMUM AS SHOWN IN THE PLAN, IF CONDITIONS ARISE, ADDITIONAL BMP SUPPLEMENTATION TO PREVENT SITE EROSION OR SEDIMENT TRANSPORT MAY BE NECESSARY. THE MASS GRADING CONTRACTOR IS RESPONSIBLE FOR ALL BMPs REQUIRED TO COMPLETE THE MASS GRADING ACTIVITIES AND SUBSEQUENT TEMPORARY SOIL STABILIZATION NECESSARY TO PREPARE SITE FOR STREET AND UTILITY CONSTRUCTION AND HOME BUILDING. AT THE COMPLETION OF MASS GRADING WORK AND SATISFACTORY SITE SOIL STABILIZATION, THE DEVELOPER AND MASS GRADING CONTRACTOR SHALL COORDINATE THE TRANSFER OF NPDES PERMIT RESPONSIBILITIES TO THE STREET AND UTILITY CONTRACTOR AND THE CITY.

THE STREET AND UTILITY CONTRACTOR AND CITY WILL THEN ASSUME THE RESPONSIBILITY TO PROVIDE INSPECTION AND MAINTENANCE OF ANY IN-PLACE BMPs AS WELL AS INSTALL THE ADDITIONAL BMPs REQUIRED IN THE STREET AND UTILITY CONSTRUCTION DOCUMENT SWPPP. UPON COMPLETION OF STREET AND UTILITY CONSTRUCTION, THE STREET AND UTILITY CONTRACTOR SHALL REMOVE ANY BMPs INSTALLED DURING THE STREET AND UTILITY PHASE THAT ARE NO LONGER REQUIRED AND COORDINATE THE TRANSFER OF NPDES PERMIT RESPONSIBILITIES BACK TO THE DEVELOPER OR TERMINATE THE PORTION OF THE NPDES PERMIT TRANSFERRED TO THE CITY AND THEIR CONTRACTOR.

CONSTRUCTION SEQUENCING:

MASS GRADING PHASE:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. INSTALL THE PRE-GRADING SILT FENCES AND INLET PROTECTION BMPs ON THE SITE.
4. CONSTRUCT ALL PRE-GRADING EROSION AND SEDIMENTATION CONTROL BMPs.
5. COMPLETE MASS GRADING AND INSTALL TEMPORARY AND PERMANENT SEEDING AND PLANTING.
6. CONSTRUCT POST-GRADING SILT FENCE ON THE SITE.

STREET & UTILITY PHASE:

1. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
2. INSTALL RIP RAP AROUND OUTLET STRUCTURES.
3. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
4. PREPARE SITE FOR PAVING.
5. PAVE SITE.
6. INSTALL PRIVATE UTILITIES.
7. INSTALL INLET PROTECTION DEVICES.
8. INSTALL POST STREET AND UTILITY SILT FENCE.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED), IF REQUIRED BY THE CONTRACT, NO TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES TO BE REMOVED WITHOUT CITY APPROVAL.

NOTE:

1. EACH LOT TO HAVE ROCK CONSTRUCTION ENTRANCE (REQUIRED PER BUILDING PERMIT.)
2. PER CITY OF WOODBURY CODE & NEWPORT PUBLIC WORKS MANUAL, 4 INCHES OF TOPSOIL WILL BE ADDED TO ALL DEVELOPED AREAS TO HELP REDUCE LONG TERM WATER USE FOR IRRIGATION AND IMPROVE STORMWATER RUNOFF QUALITY.

NOTE:

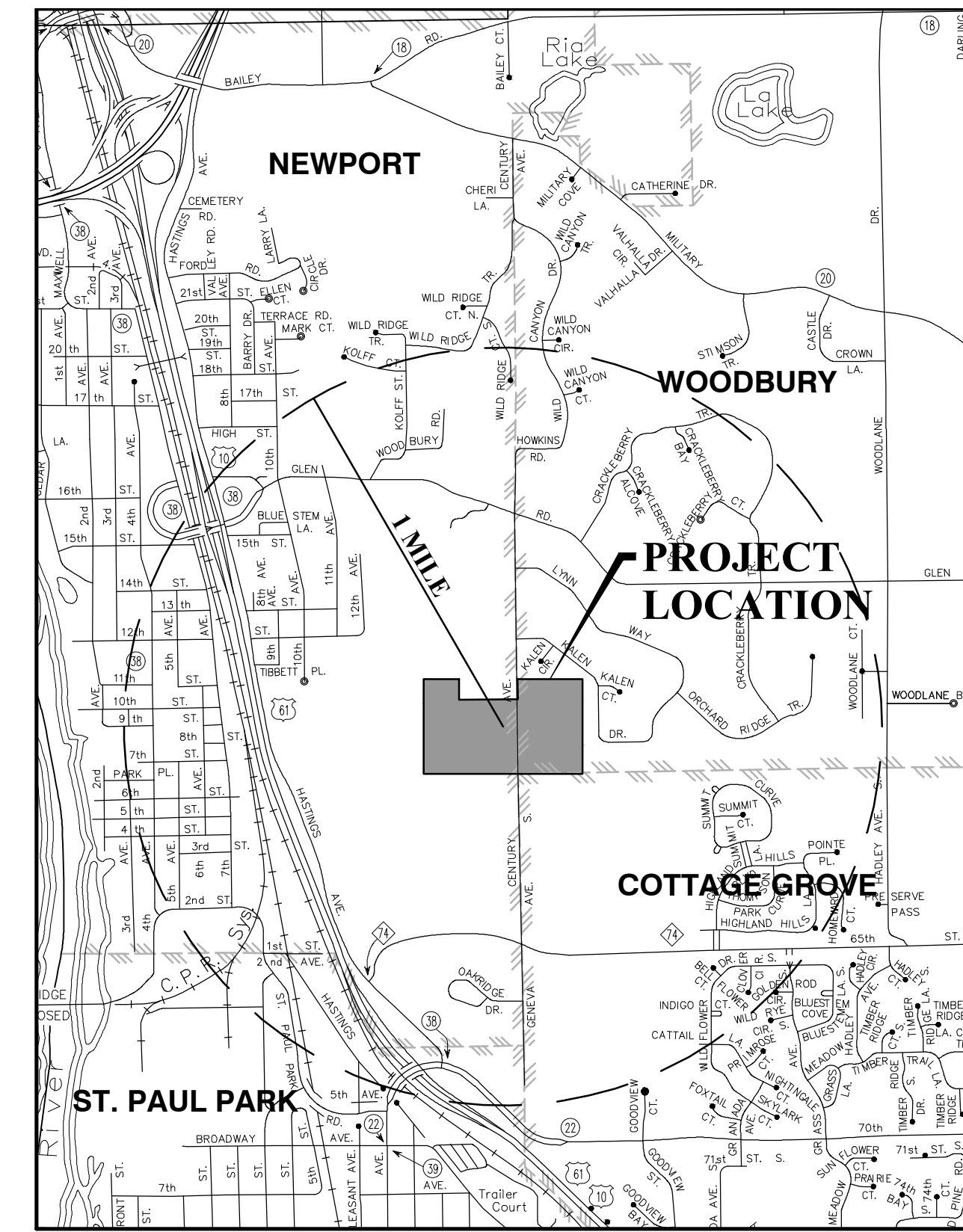
1. SEE SHEET 26 FOR ALL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.
2. ELECTRONIC COPY OF THE WEEKLY INSPECTION REPORTS SHALL BE PROVIDED TO THE ENGINEERING PROJECT COORDINATOR EACH WEEK.

SWPPP BMP QUANTITIES: (PER PLAN)

SILT FENCE- PRE CONSTRUCTION	9,029 LF
SILT FENCE- POST CONSTRUCTION	3,068 LF
BIOROLL	6 EA
INLET PROTECTION	54 EA
TEMP SEED POST GRADING AREA	48.14 AC
EROSION CONTROL BLANKET	19,480 SF
TEMP SEDIMENT BASIN W/SKIMMER	2 EA
ROCK CONSTRUCTION ENTRANCE	2 EA

EROSION CONTROL RESPONSIBLE PARTY:

TWIN CITIES LAND DEVELOPMENT
4800 OLSON MEMORIAL HIGHWAY
SUITE 100
GOLDEN VALLEY, MN 55422
CONTACT: CHRISTINE COOK (612-710-0685)
CONTACT: BEN SCHMIDT (612-716-3047)



ALLIANT
733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW
 NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
EROSION AND SEDIMENT CONTROL PLAN - OVERVIEW

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
Date: _____ License No. _____

QUALITY ASSURANCE/CONTROL

BY: _____	DATE: _____
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA

DESIGNED:	AKA
DRAWN:	LRJ
PROJECT NO.:	2220116

**VIEW B
SHEET 23**

**VIEW C
SHEET 24**

**VIEW A
SHEET 22**

**VIEW D
SHEET 25**

LEGEND:

-789	EXISTING CONTOUR	←	TEMPORARY DRAINAGE ROUTING DURING MASS GRADING
-789	PROPOSED CONTOUR	→	ROCK CONSTRUCTION ENTRANCE
—	PROPOSED RETAINING WALL	—	EROSION CONTROL BLANKET
→	DIRECTION OF DRAINAGE	—	TURF REINFORCEMENT MAT
■	PROPOSED CATCH BASINS	←	ULTIMATE DISCHARGE ROUTE
●	PROPOSED STORM SEWER	↻	TEMPORARY SEDIMENT BASIN
—	EASEMENT LINE	○	BIO-ROLL
—	SETBACK LINE		
—	LOT LINE		
—	PROPERTY LINE		
—	RIGHT-OF-WAY		
— PRE — SF —	PROPOSED SILT FENCE (PRE GRADING)		
— PST — SF —	PROPOSED SILT FENCE (POST GRADING)		
□	INLET PROTECTION		
□	DO NOT DISTURB AREAS		

ACTIVE SWPPP LEGEND / SCHEDULE

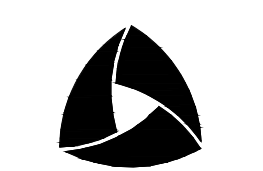
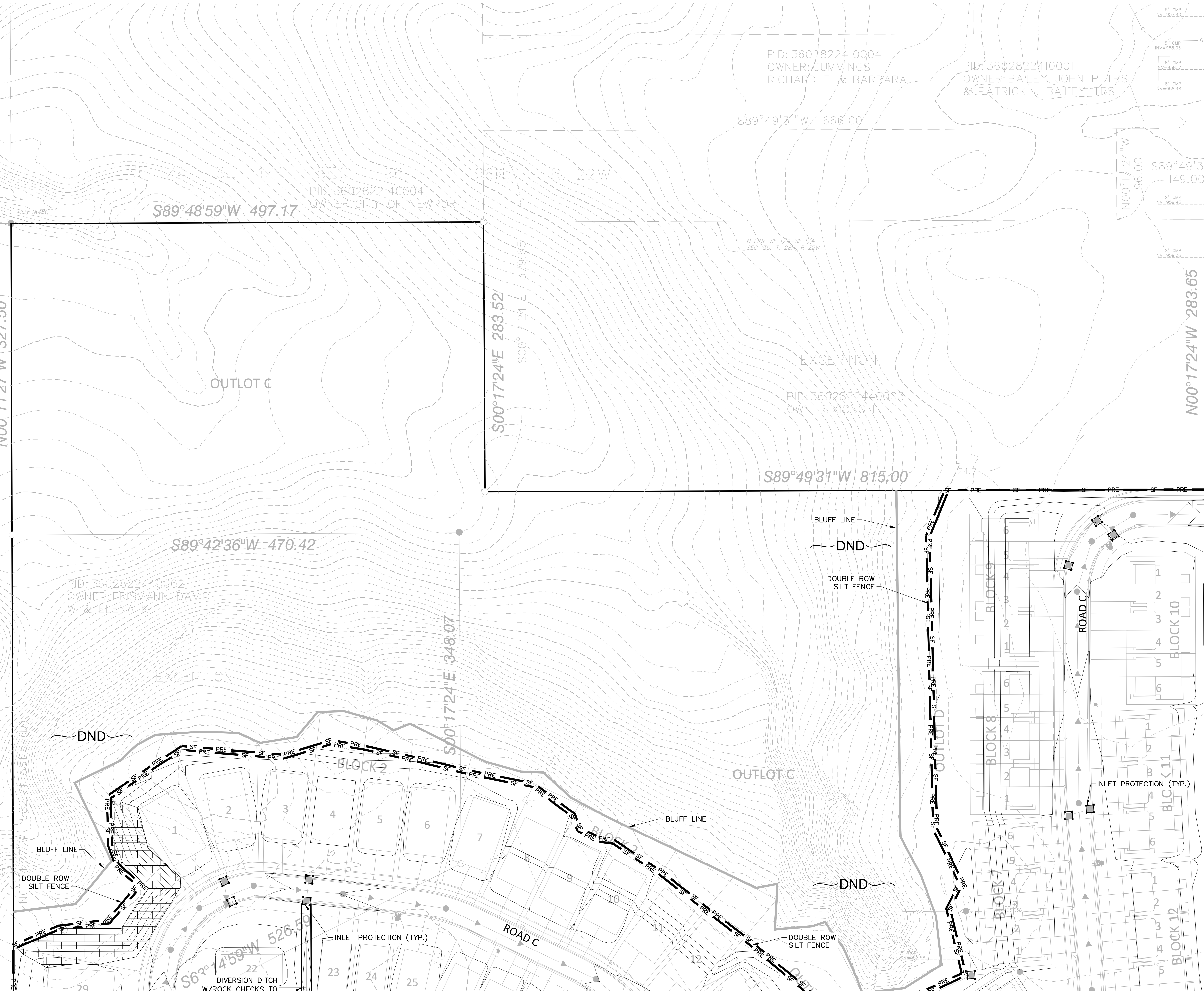
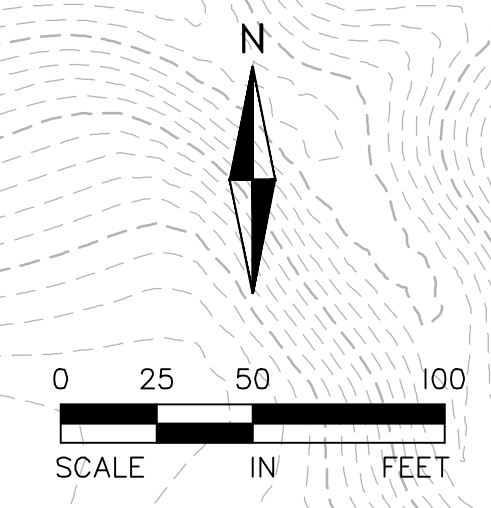
CONSTRUCTION SEQUENCE	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR
MULCH BERM													
FIBER ROLLS / MULCH SOCKS													
SILT FENCE													
TEMPORARY MULCH COVER													
TEMPORARY HYDROMULCH													
EROSION CONTROL BLANKET													
ROCK DRIVEWAY / ROCK PADS													
INLET PROTECTION DEVICES													
PAVEMENT (DRIVEWAY/ROADS)													
SOD													
STOCKPILES													

NOTE: CONTRACTOR, GENERAL CONTRACTOR OR SWPPP INSPECTOR TO COMPLETE TABLE AS GRADING PROGRESSES

SEDIMENT BARRIERS	ANTI-TRACKING CONTROL	STABILIZATION BMP'S
1. SILT FENCE (MnDOT 3886)	1. 2" CRUSHED CLEAR ROCK (LAND DEVELOPMENT)	1. STRAW/HAY
2. CURB LOG		MnDOT TYPE 1 & 3 MULCH
3. ROCK WEEPER		2. EROSION CONTROL BLANKET
		MnDOT CAT. 20
		NOTE: AROUND POND AND STORMWATER FEATURES NATURAL NETTING SHALL BE USED.
INLET PROTECTION DEVICES	GRADING ACTIVITY	3. TURF REINFORCEMENT MAT
1. W/MCO (MnDOT TYPE A & C)	1. CONCRETE WASHOUT IS DONE BY TRUCK WITH A MOBILE WASHOUT SYSTEM PROVIDED AND COMPLETED BY THE CONCRETE CONTRACTOR.	SC250 NORTH AMERICAN GREEN OR EQUAL-MNDOT CAT 6
2. INFRA SAFE STORM DRAIN/CULVERT		
3. SILT SACK (MnDOT TYPE A)		
4. DANDY BAG (MnDOT TYPE B)		

Drawing name: X:\2022\220116 - Newport - Townhome Development\plan_sheets\Preliminary\Plot\220116escp.dwg - 11:04am - 2024 - May 31

Drawing name: X:\2022\220116 - Newport Townhome Development\plan_sheets\Preliminary Plat\220116escp.dwg, May 31, 2024 - 11:04am



ALLIANT
 733 Marquette Avenue
 Suite 700
 Minneapolis, MN 55402
 612.758.3080
 www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW
 NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
EROSION AND SEDIMENT CONTROL PLAN - VIEW B

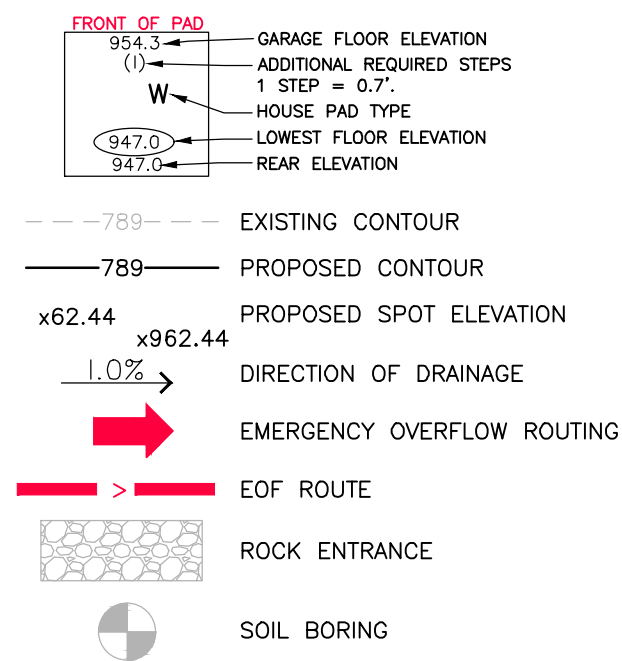
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
 Date: License No.

QUALITY ASSURANCE/CONTROL	
BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA	
DESIGNED:	AKA
DRAWN:	LRJ
PROJECT NO:	2220116

GRADING LEGEND:



GRADING NOTES:

1. ALL FINISHED GRADES SHALL SLOPE AWAY FROM PROPOSED BUILDINGS AT MINIMUM GRADE OF 2.0%. ALL SWALES SHALL HAVE A MINIMUM SLOPE OF 2.00%.
2. THE CONTRACTOR SHALL KEEP THE ADJACENT ROADWAYS FREE OF DEBRIS AND PREVENT THE OFF-SITE TRACKING OF SOIL IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITIES AND WATERSHED.
3. NOTIFY GOPHER STATE ONE CALL, AT (800)252-1166, 48 HOURS PRIOR TO START OF CONSTRUCTION.
4. ROCK CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL CONSTRUCTION ACCESS POINTS.
5. REFER TO GEOTECHNICAL REPORT AND PROJECT MANUAL, FOR SOIL CORRECTION REQUIREMENTS AND TESTING REQUIREMENTS.
6. STRIP TOPSOIL PRIOR TO ANY CONSTRUCTION. REUSE STOCKPILE ON SITE. STOCKPILE PERIMETERS MUST BE PROTECTED WITH SILT FENCE.
7. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
8. THE GENERAL CONTRACTOR MUST DISCUSS DEWATERING PLANS WITH ALL SUBCONTRACTORS TO VERIFY NPDES REQUIREMENTS. IF DEWATERING IS REQUIRED DURING CONSTRUCTION, CONTRACTOR SHOULD CONSULT WITH EROSION CONTROL INSPECTOR AND ENGINEER TO DETERMINE APPROPRIATE METHOD.
9. REFER TO GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR ALL EROSION AND SEDIMENT CONTROL DEVICE LOCATIONS.
10. BUILDING PERMITS ARE REQUIRED FOR ALL RETAINING WALLS 4 FEET IN HEIGHT OR GREATER AND THE WALLS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER WITH DESIGN REVIEWED AND APPROVED BY THE CITY PRIOR TO INSTALLATION. ALL WALLS EXCEEDING 30" IN HEIGHT REQUIRE THE INSTALLATION OF A 42" SAFETY RAILING.
11. PROPOSED DRIVEWAY GRADES ARE 3% MINIMUM AND 10% MAXIMUM.
12. ANY MODIFICATION TO HOMES AT TIME OF BUILDING PERMIT APPLICATION THAT DEVIATES FROM THIS GRADING PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF WOODBURY AND NEWPORT.
13. ONE STEP IS EQUAL TO 0.7 FEET. TWO STEPS IS EQUAL TO 1.3 FEET.
14. GEOTECHNICAL ENGINEER TO BE PRESENT DURING EXCAVATION OF ALL PRETREATMENT AND INFILTRATION BASINS. GEOTECHNICAL ENGINEER TO PROVIDE RECOMMENDATION FOR BASIN LINE WHICH MAY EXCEED 2' MINIMUM OF ON-SITE CLAYS PER CIVIL ENGINEERING PLANS. GEOTECHNICAL ENGINEER TO NOTIFY THE CITY OF WOODBURY AND NEWPORT AND CONTRACTOR IF ACTIVE KARST IS DISCOVERED DURING CONSTRUCTION AND PROVIDE APPROPRIATE RECOMMENDATION.
15. ANY HOUSE TYPE MODIFICATION AT TIME OF BUILDING PERMIT APPLICATION OTHER THAN WHAT WAS IDENTIFIED ON THE APPROVED GRADING PLAN SHALL REQUIRE A REVISED GRADING PLAN SUBMITTAL FOR REVIEW AND APPROVAL.
16. CONTRACTOR TO NOT USE HEAVY WHEELED EQUIPMENT USE LOW IMPACT EARTH MOVING EQUIPMENT FOR CONSTRUCTION AND SEEDING OF INFILTRATION BASINS.
17. CITY SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OR ANY COSTS (NOW AND FUTURE) ASSOCIATED WITH PROPOSED RETAINING WALLS.
18. CENTURY AVE. PUBLIC PEDESTRIAN WAYS SHALL MEET DESIGN REQUIREMENTS FOR CITY OF WOODBURY & CITY OF NEWPORT SUB GRADE CORRECTION.
19. IF THE DEVELOPER'S BUILDERS PROPOSE SIGNIFICANT GRADE CHANGES TO HOME AT TIME OF BUILDING PERMIT APPLICATION, THE CITY MAY REQUIRE THE GRADING PLAN BE REVISED TO REFLECT THE PROPOSED CHANGES. SIGNIFICANT CHANGE EXAMPLES ARE DROPPING THE GARAGE FLOOR ELEVATION OR MODIFYING HOME TYPE FROM A LOOKOUT TO A WALKOUT.
20. UPON COMPLETION OF ALL MASS GRADING ACTIVITIES A GRADING AS-BUILT SURVEY MUST BE SUBMITTED TO CITY STAFF AS OUTLINED IN THE LAND DISTURBANCE REQUIREMENTS. THIS MUST BE COMPLETED PRIOR TO ANY UTILITY AND STREET IMPROVEMENT CONSTRUCTION.

WOODBURY GRADING NOTES:

1. ALL IMPROVEMENTS TO CONFORM WITH CITY OF WOODBURY CONSTRUCTION STANDARDS SPECIFICATION, LATEST EDITION.
2. IMMEDIATELY FOLLOWING GRADING OF (3:1 OR GREATER) SIDE SLOPES AND DRAINAGE SWALES, WOOD FIBER BLANKET OR OTHER APPROVED SOIL STABILIZING METHOD (APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 4" TOPSOIL.
3. PROPOSED DRIVEWAY GRADES ARE 3% MINIMUM AND 10% MAXIMUM.
4. ANY MODIFICATION TO HOMES AT TIME OF BUILDING PERMIT APPLICATION THAT DEVIATES FROM THIS GRADING PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF NEWPORT.
5. ALL SLOPES MUST NOT BE GREATER THAN A 3:1.
6. NO BUILDING PERMIT WILL BE ISSUED WITHIN NEW CURB CONSTRUCTION AREAS UNTIL THE PLANNING DIVISION HAS APPROVED AN ALTERNATIVE ACCESS OR VERIFIED WITH THE ENGINEERING DIVISION THAT THE CURB HAS REACHED ITS DESIGN STRENGTH.
7. UPON COMPLETION OF ALL MASS GRADING ACTIVITIES A GRADING AS-BUILT SURVEY MUST BE SUBMITTED TO CITY STAFF AS OUTLINED IN THE LAND DISTURBANCE REQUIREMENTS. THIS MUST BE COMPLETED PRIOR TO ANY UTILITY AND STREET IMPROVEMENT CONSTRUCTION.
8. PER CITY OF WOODBURY CODE, 4 INCHES OF TOPSOIL WILL BE ADDED TO ALL DEVELOPED AREAS TO HELP REDUCE LONG TERM WATER USE FOR IRRIGATION AND IMPROVE STORMWATER RUNOFF QUALITY.
9. WOODBURY TO PROVIDE APPROVAL OF CHERRY MEADOWS PROJECT ONLY.

NEWPORT GRADING NOTES:

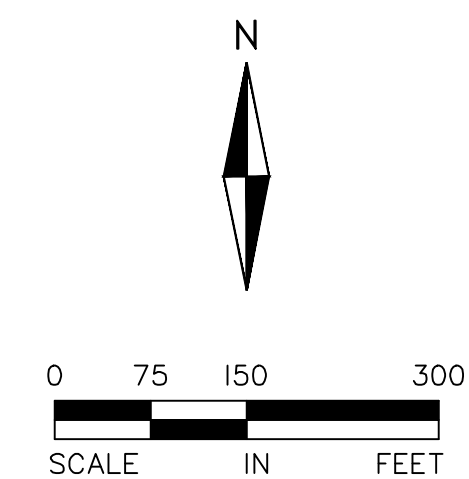
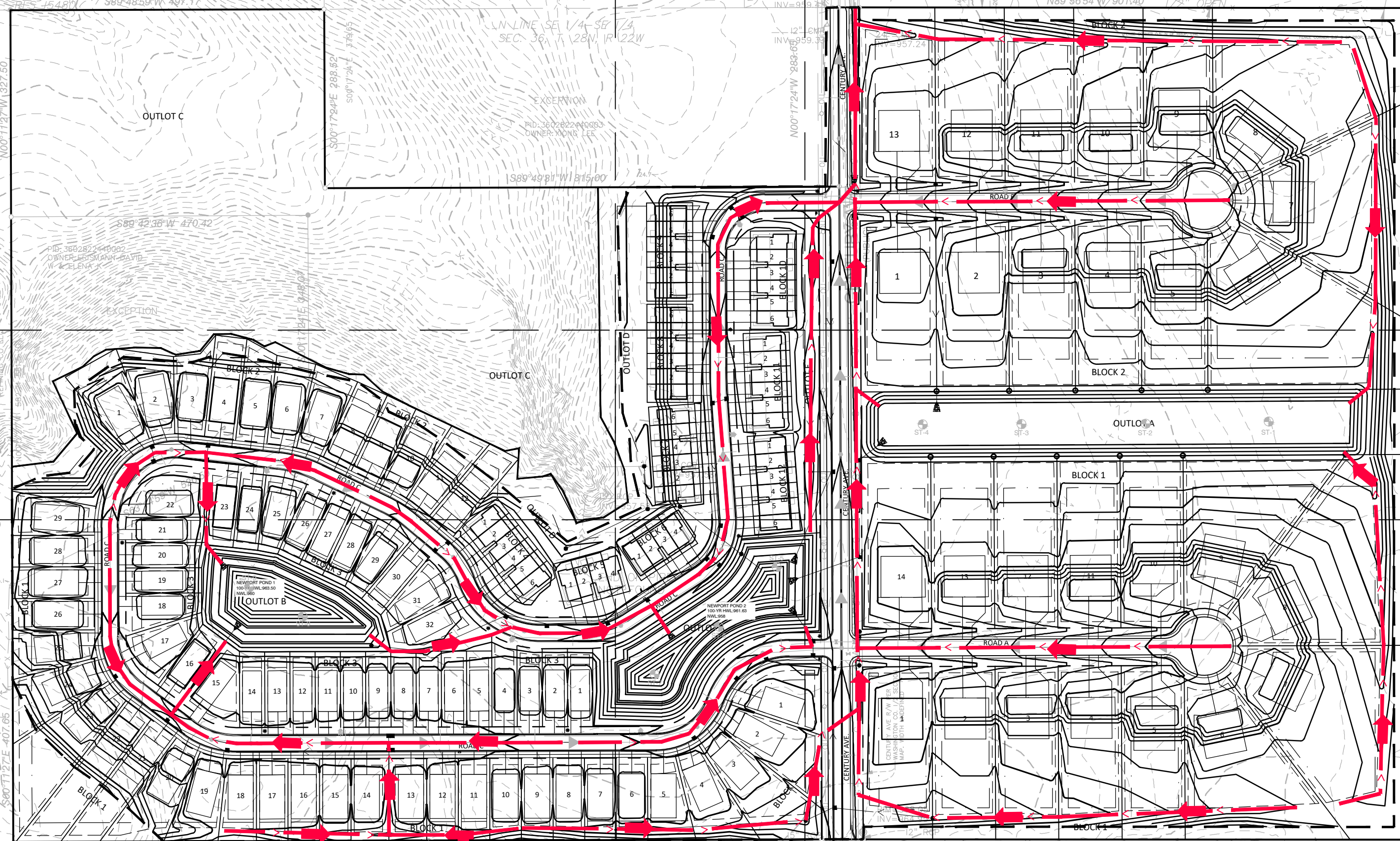
1. ALL IMPROVEMENTS TO CONFORM WITH CITY OF NEWPORT CONSTRUCTION STANDARDS SPECIFICATION, LATEST EDITION.
2. IMMEDIATELY FOLLOWING GRADING OF (4:1 OR GREATER) SIDE SLOPES AND DRAINAGE SWALES, WOOD FIBER BLANKET OR OTHER APPROVED SOIL STABILIZING METHOD (APPROVED BY ENGINEER) SHALL BE APPLIED OVER APPROVED SEED MIXTURE AND A MINIMUM OF 4" TOPSOIL.
3. PROPOSED DRIVEWAY GRADES ARE 3% MINIMUM AND 10% MAXIMUM.
4. ANY MODIFICATION TO HOMES AT TIME OF BUILDING PERMIT APPLICATION THAT DEVIATES FROM THIS GRADING PLAN MUST BE SUBMITTED AND APPROVED BY THE CITY OF NEWPORT.
5. ALL SLOPES MUST NOT BE GREATER THAN A 4:1 IN MAINTAINED AREAS UNLESS APPROVED BY CITY ENGINEER.
6. UPON COMPLETION OF ALL MASS GRADING ACTIVITIES A GRADING AS-BUILT SURVEY MUST BE SUBMITTED TO CITY STAFF AS OUTLINED IN THE GRADING STANDARDS.
7. PER CITY OF NEWPORT CODE, 4 INCHES OF TOPSOIL WILL BE ADDED TO ALL DEVELOPED AREAS.
8. PRIOR TO THE PLACEMENT OF ANY BASE MATERIAL, A CITY OF NEWPORT INSPECTOR BE PRESENT TO REVIEW THE CONDITION OF THE SUB BASE WITH THE CONTRACTOR TO INSURE THAT IT HAS BEEN CONSTRUCTED TO THE PROPER ALIGNMENT AND GRADE.
9. THE DEVELOPER SHALL INSTALL A 3 FOOT STRIP OF SOD DIRECTLY BEHIND THE CURB AS PART OF THE STREET CONSTRUCTION PROCESS OR THE DEVELOPER SHALL SUPPLY A LETTER OF CREDIT TO THE CITY FOR THE SOD PRIOR TO BEING APPROVED FOR ANY BUILDING PERMITS. ALONG STREETS WITH SIDEWALKS OR TRAILS IN BOULEVARD AREA, THE ENTIRE BOULEVARD BETWEEN THE SIDEWALK OR TRAIL AND THE CURB MUST BE SODDED. IN ADDITION, A 3 FT. STRIP OF SOD MUST BE INSTALLED DIRECTLY BEHIND THE TRAIL OR SIDEWALK.
10. NEWPORT TO PROVIDE APPROVAL OF CHERRYWOOD PROJECT ONLY.

**VIEW B
SHEET 30**

**VIEW C
SHEET 31**

**VIEW A
SHEET 29**

**VIEW D
SHEET 32**



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DAVID NASH, PE
Date: _____ License No. _____

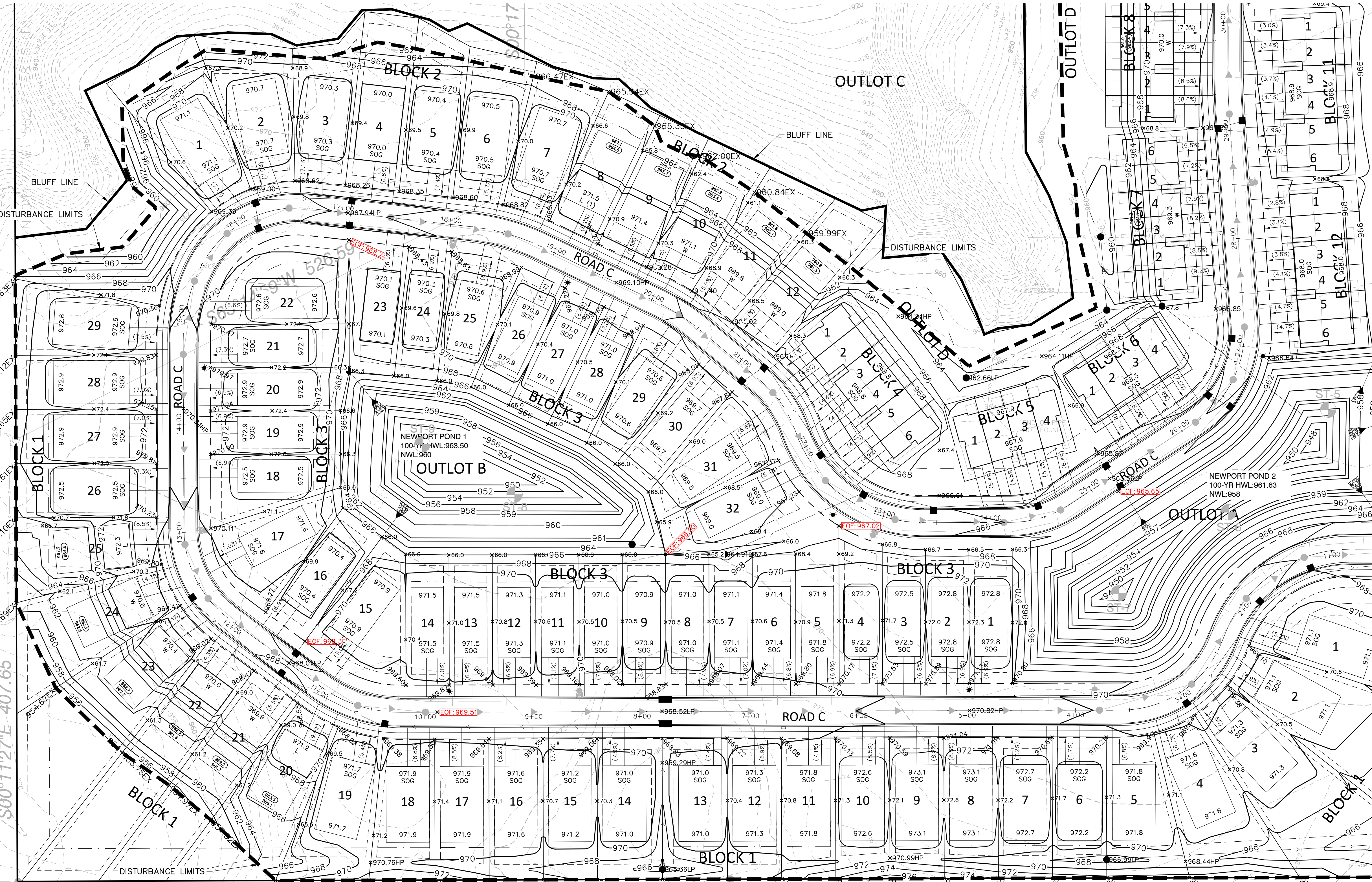
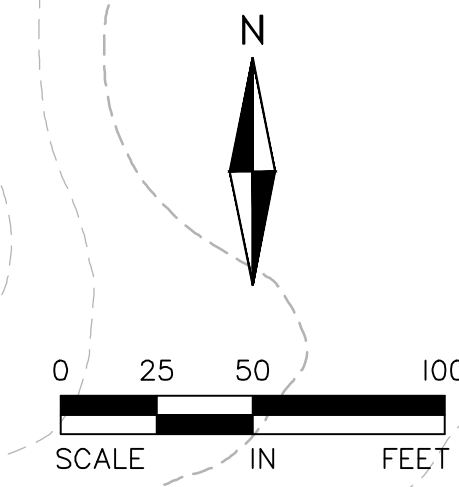
QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: AKA
DRAWN: LRJ
PROJECT NO: 2220116

Drawing name: X:\2022\220116 - Newport_Townhome_Development\plan_sheets\Preliminary_Plat\220116grad.dwg May 31, 2024 10:47am

Drawing name: X:\2022\220116 - Newport Townhome Development\plan sheets\Preliminary\Plot\220116rad.dwg, May 31, 2024, 10:47am



ALLIANT
733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW
NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
GRADING AND DRAINAGE PLAN - VIEW A

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

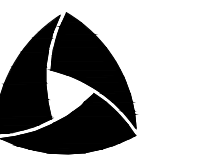
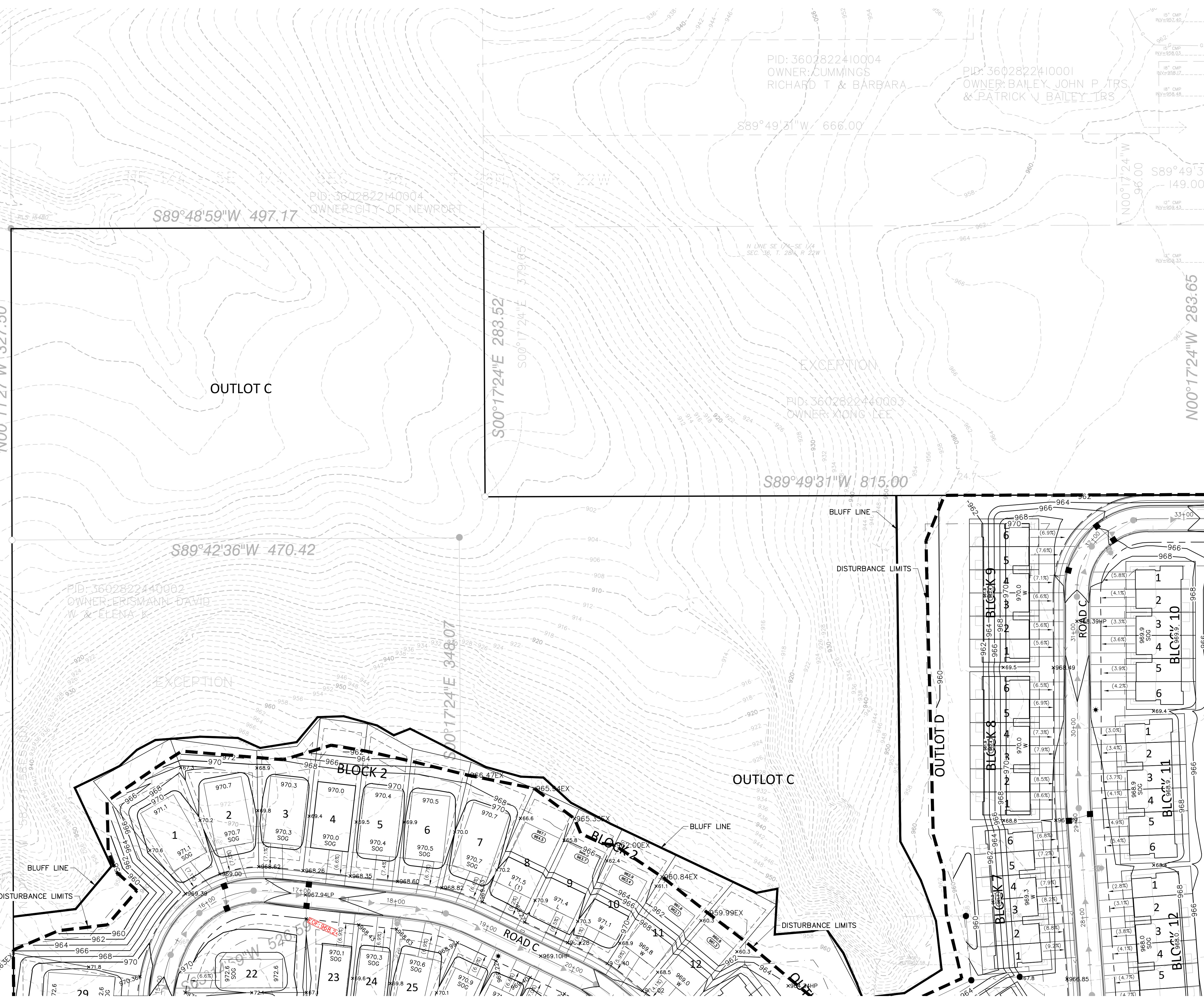
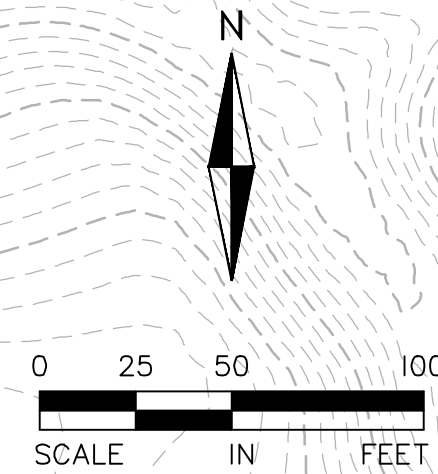
DAVID NASH, PE
Date _____ License No. _____

QUALITY ASSURANCE/CONTROL

BY	DATE

PROJECT TEAM DATA
DESIGNED: AKA
DRAWN: LRJ
PROJECT NO: 2220116

Drawing name: X:\2022\220116 - Newport Townhome Development\plan sheets\Preliminary\Plot\220116arad.dwg, May 31, 2024 - 10:47am



ALLIANT
 733 Marquette Avenue
 Suite 700
 Minneapolis, MN 55402
 612.758.3080
 www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW
NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
GRADING AND DRAINAGE PLAN - VIEW B

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.


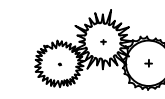
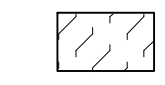
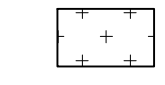

DAVID NASH, PE
 Date: License No.

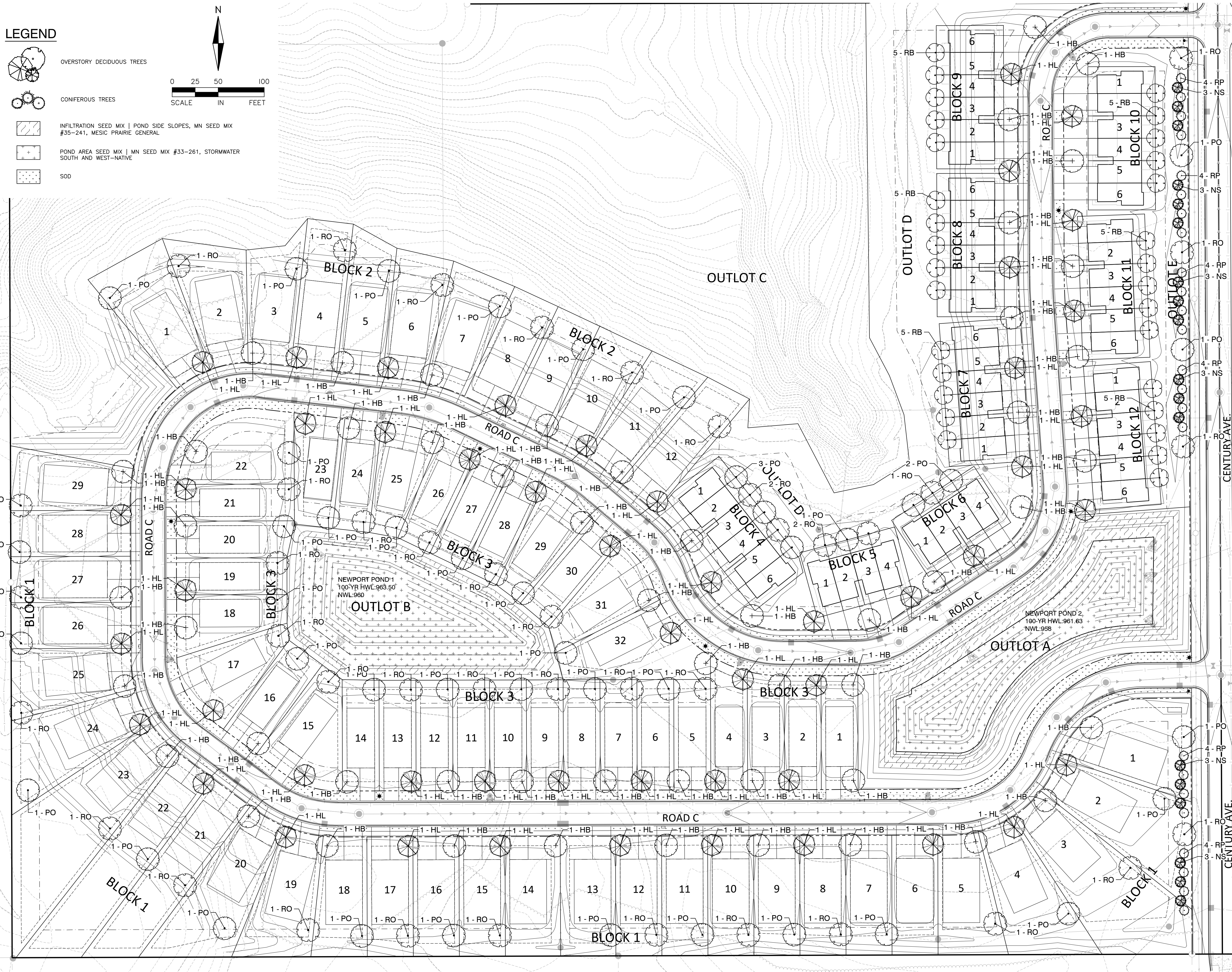
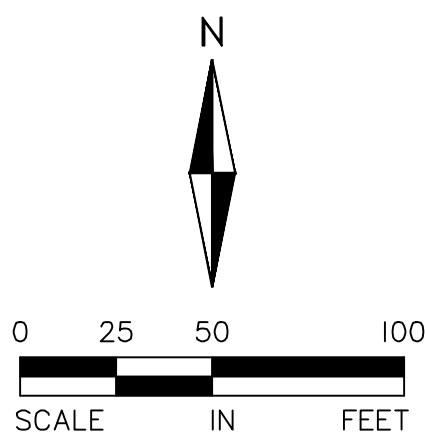
QUALITY ASSURANCE/CONTROL	
BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA	
DESIGNED:	AKA
DRAWN:	LRJ
PROJECT NO:	2220116

Drawing name: X:\2022\220116 - Newport Townhome Development\plan sheets\Preliminary\Plan\220116land.dwg, May 31, 2024, 10:48am

LEGEND

-  OVERSTORY DECIDUOUS TREES
-  CONIFEROUS TREES
-  INFILTRATION SEED MIX | POND SIDE SLOPES, MN SEED MIX #35-241, MESIC PRAIRIE GENERAL
-  POND AREA SEED MIX | MN SEED MIX #33-261, STORMWATER SOUTH AND WEST-NATIVE
-  SOD



ALLIANT
 733 Marquette Avenue
 Suite 700
 Minneapolis, MN 55402
 612.758.3080
 www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW
 NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
LANDSCAPE PLAN - VIEW A

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA

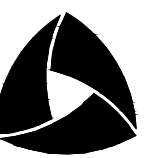
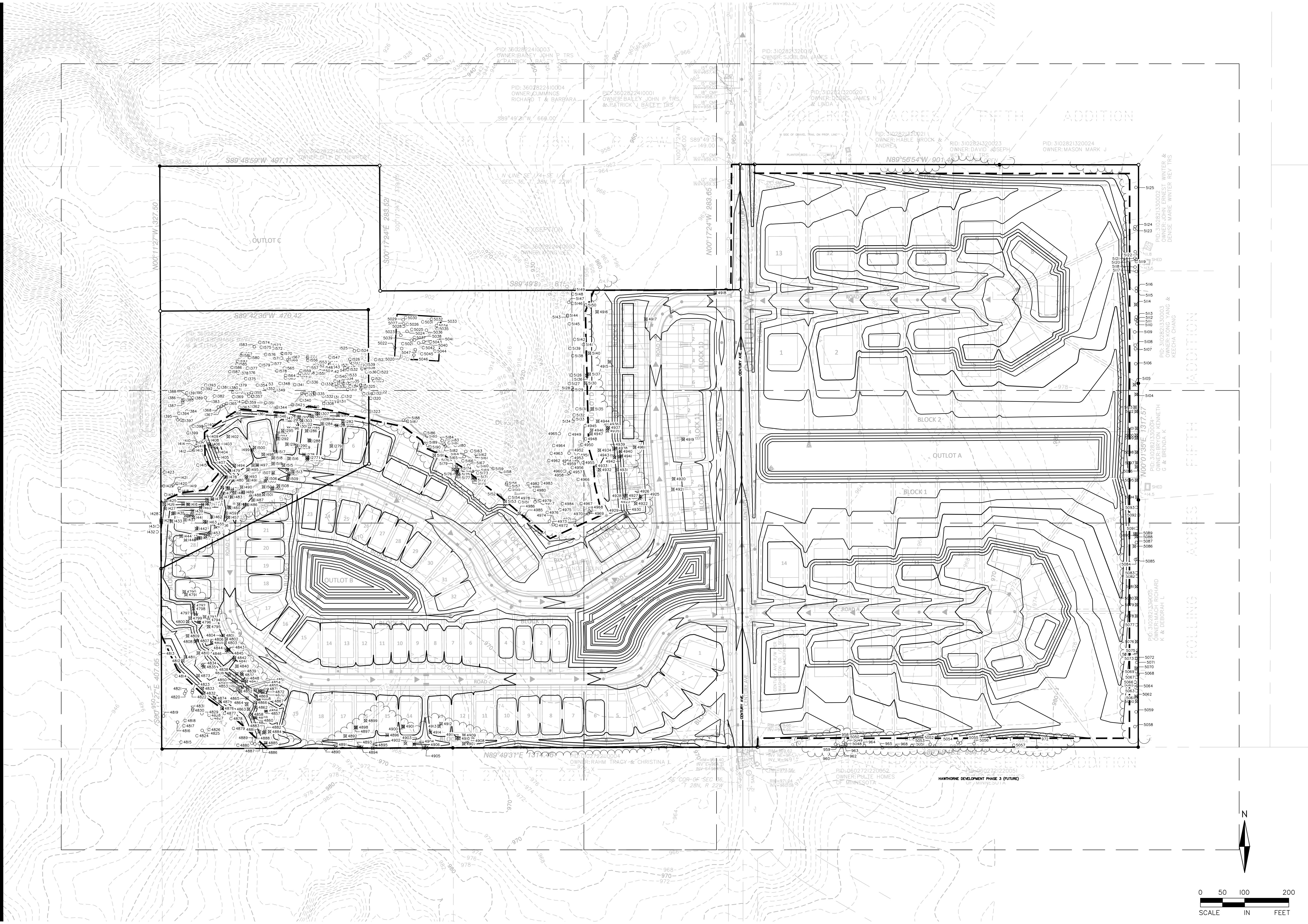
JOHN BRONHOVY, PLA, ASLA
 Date: License No.

QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA
 DESIGNED: JDG
 DRAWN: SRM
 PROJECT NO: 2220116

Drawing name: X:\2022\220116 - Newport Townhome Development\plan sheets\Preliminary\Plot\220116tree.dwg May 31, 2024 10:49am



ALLIANT
733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW
NEWPORT AND WOODBURY, MINNESOTA
PRELIMINARY PLAT SUBMITTAL
TREE PRESERVATION PLAN - OVERVIEW

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA.

JOHN BRONHOV, PLA, ASLA

Date License No.

QUALITY ASSURANCE/CONTROL

BY DATE

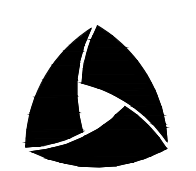
DATE ISSUE

5/31/24 CITY SUBMITTAL

PROJECT TEAM DATA

DESIGNED: JDG
DRAWN: SRM
PROJECT NO: 2220116

Drawing name: X:\2022\220116 - Newport Townhome Development\plan sheets\Preliminary\Plot\220116tree.dwg, May 31, 2024 - 10:49am



ALLIANT
733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW

NEWPORT AND WOODBURY, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

TREE PRESERVATION PLAN - VIEW A

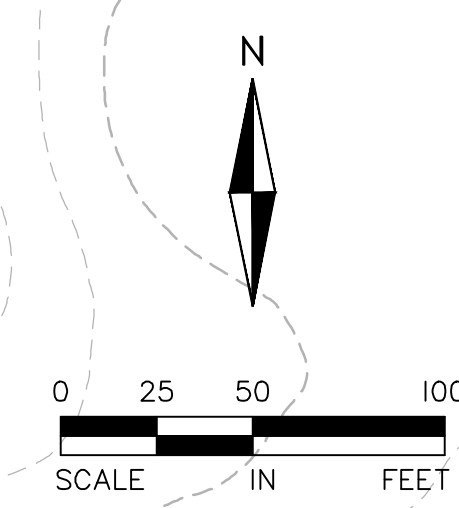
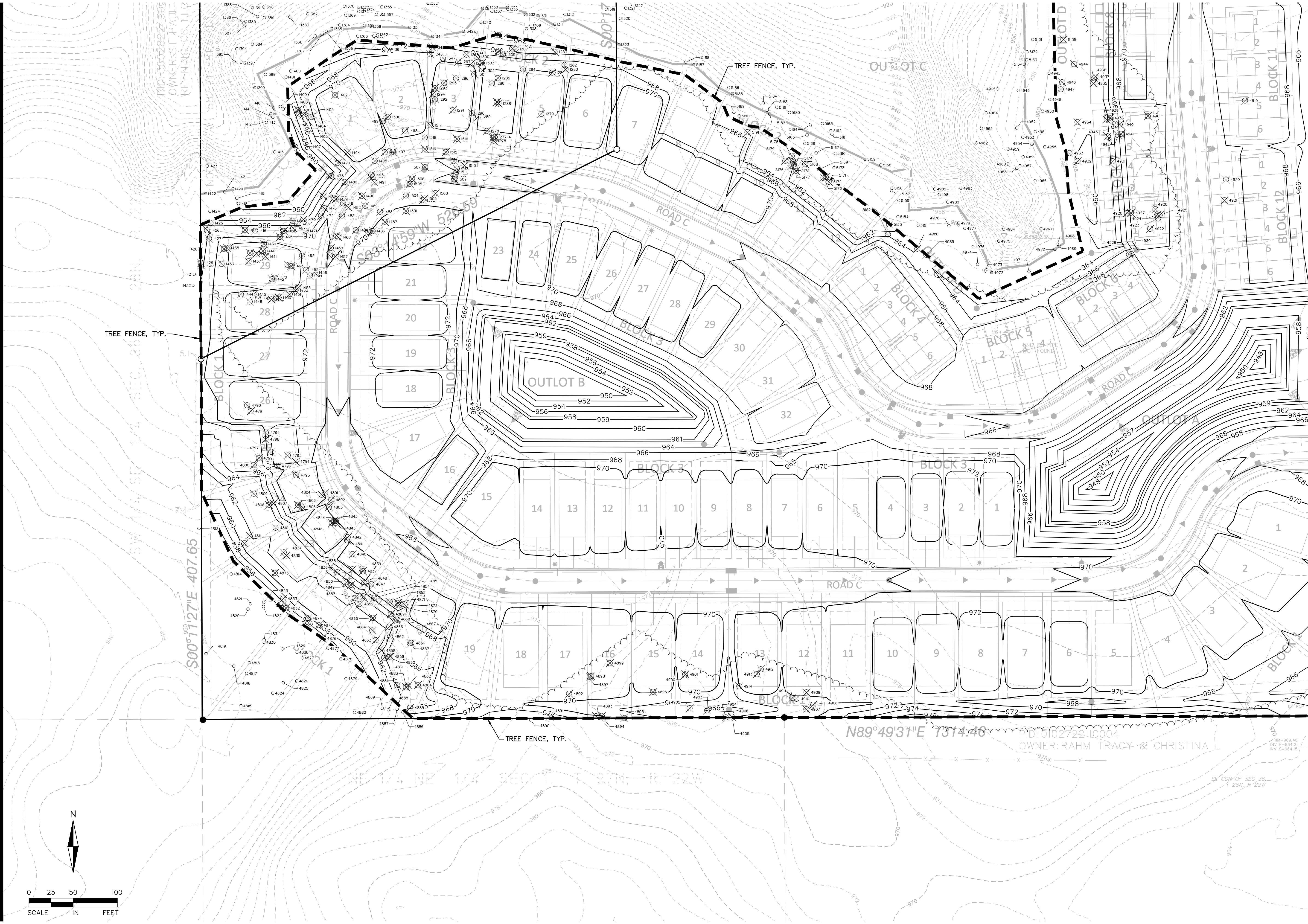
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA.

JOHN BRONHOV, PLA, ASLA
Date _____ License No. _____

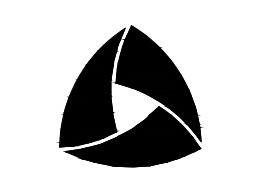
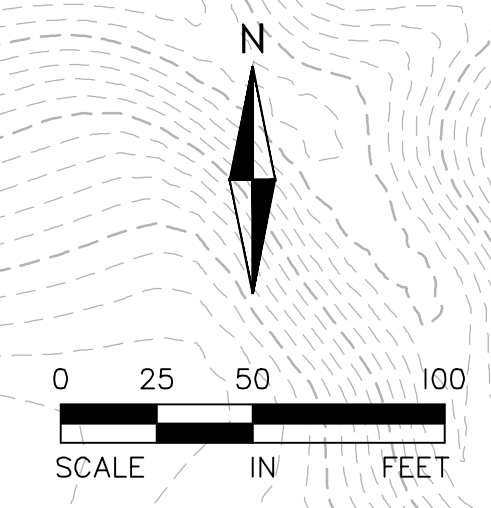
QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
5/31/24	CITY SUBMITTAL

PROJECT TEAM DATA
DESIGNED: JDG
DRAWN: SRM
PROJECT NO: 2220116



Drawing name: X:\2022\220116 - Newport Townhome Development\plan sheets\Preliminary\Plot\220116tree.dwg, May 31, 2024 - 10:49am



ALLIANT
 733 Marquette Avenue
 Suite 700
 Minneapolis, MN 55402
 612.758.3080
 www.alliant-inc.com

CHERRYWOOD AND CHERRY MEADOW

NEWPORT AND WOODBURY, MINNESOTA

PRELIMINARY PLAT SUBMITTAL

TREE PRESERVATION PLAN - VIEW B

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of MINNESOTA

JOHN BRONHOV, PLA, ASLA

Date License No.

QUALITY ASSURANCE/CONTROL

BY DATE

DATE ISSUE

5/31/24 CITY SUBMITTAL

PROJECT TEAM DATA

DESIGNED: JDG
 DRAWN: SRM
 PROJECT NO: 2220116

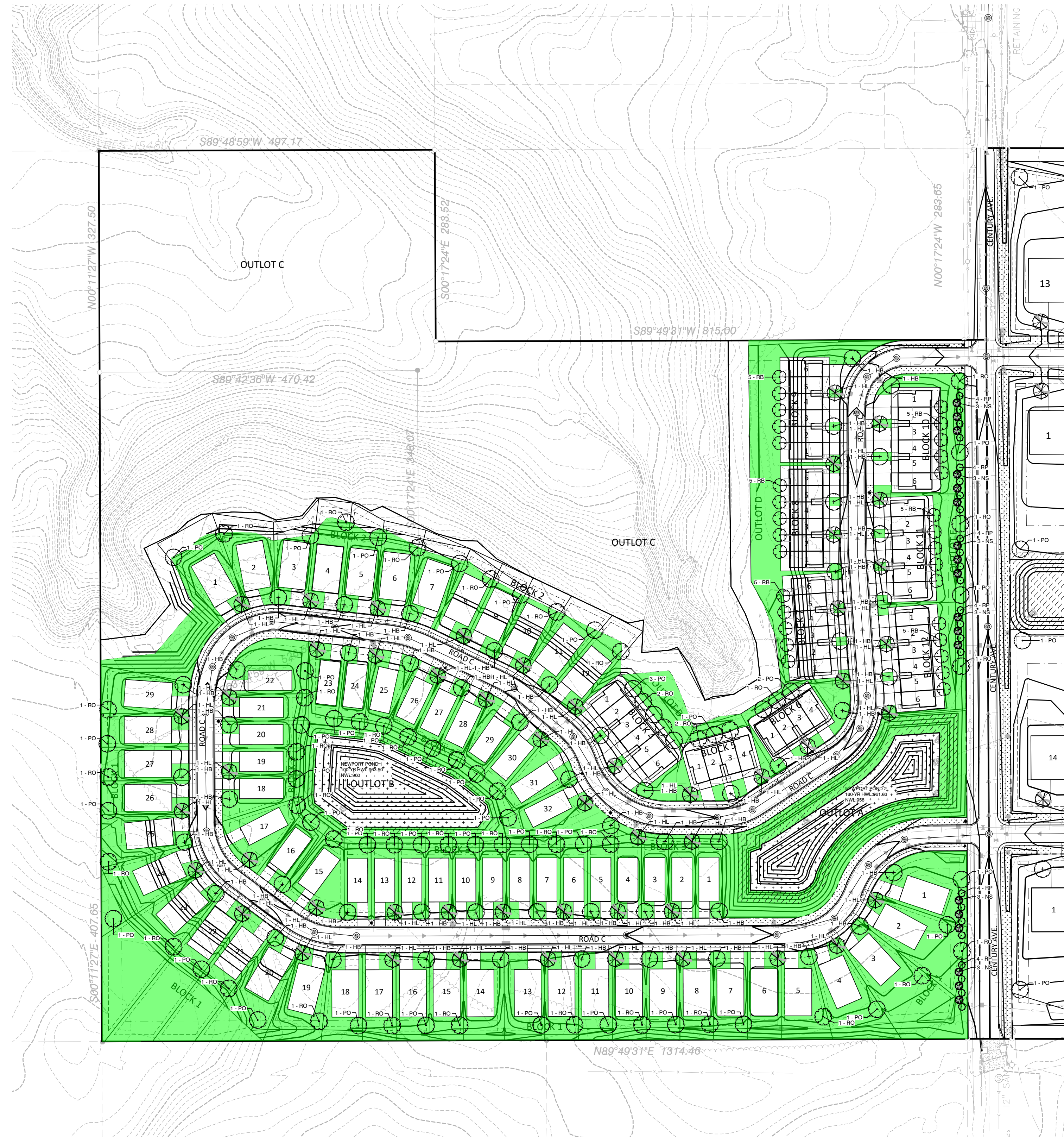
49

NEWPORT TREE INVENTORY:

TAG #	DBH	Species	General Health/Notes	Significant	Removal	Type
1274	22	Siberian Elm		Significant	x	Softwood
1275	10	Red Pine		Significant	x	Conifer
1276	14	Boxelder		Significant	x	Softwood
1277	13	Boxelder		Significant	x	Softwood
1278	13	American Elm		Significant	x	Softwood
1279	15	Red Pine		Significant	x	Conifer
1280	17	Siberian Elm		Significant	x	Softwood
1281	30	Eastern Cottonwood	HEAVY LEAN	Significant	x	Specimen
1282	7	Northern Red Oak		Significant	x	Hardwood
1283	9	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1284	11	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1285	13	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1286	10	Jack Pine		Significant	x	Conifer
1287	13	American Elm		Significant	x	Softwood
1288	13	American Elm		Significant	x	Softwood
1289	14	American Elm		Significant	x	Softwood
1290	22	Eastern Cottonwood		Significant	x	Softwood
1291	12	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1292	8	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1293	11	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1294	28	Basswood		Significant	x	Specimen
1295	7	Basswood		Significant	x	Hardwood
1296	8	Basswood		Significant	x	Hardwood
1297	12	Basswood		Significant	x	Hardwood
1298	10	Northern Red Oak		Significant	x	Hardwood
1299	22	Basswood		Significant	x	Hardwood
1300	13	Black Cherry		Significant	x	Hardwood
1301	9	Basswood		Significant	x	Hardwood
1302	9	Basswood		Significant	x	Hardwood
1303	6	Basswood		Significant	x	Hardwood
1304	8	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1305	6	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1306	7	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1307	7	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1308	20	Bur Oak		Significant		Hardwood
1309	9	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1310	18	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1311	22	Bur Oak		Significant		Hardwood
1312	8	Basswood		Significant		Hardwood
1313	13	Basswood		Significant		Hardwood
1314	10	Basswood		Significant		Hardwood
1315	34	Northern Red Oak		Significant		Specimen
1316	16	Basswood		Significant		Hardwood
1317	11	Basswood		Significant		Hardwood
1318	14	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1319	12	Northern Red Oak		Significant		Hardwood
1320	17	Northern Red Oak		Significant		Hardwood
1321	4	Eastern Red Cedar				Conifer
1322	19	Northern Red Oak		Significant		Hardwood
1323	54	Basswood		Significant		Specimen
1324	12	Northern Red Oak		Significant		Hardwood
1325	7	Northern Red Oak		Significant		Hardwood
1326	9	Basswood		Significant		Hardwood
1327	18	Basswood		Significant		Hardwood
1328	13	Northern Red Oak		Significant		Hardwood
1329	7	Bur Oak		Significant		Hardwood
1330	9	Bur Oak		Significant		Hardwood
1331	14	Basswood		Significant		Hardwood
1332	6	Basswood		Significant		Hardwood
1333	14	Bur Oak		Significant		Hardwood
1334	19	Basswood		Significant		Hardwood
1335	7	Bur Oak		Significant		Hardwood
1336	7	Northern Red Oak		Significant		Hardwood
1337	7	Bur Oak		Significant		Hardwood
1338	8	Basswood		Significant		Hardwood
1339	15	Basswood		Significant		Hardwood
1340	8	Basswood		Significant		Hardwood
1341	19	Basswood		Significant		Hardwood
1342	8	Basswood		Significant		Hardwood
1343	15	Basswood		Significant		Hardwood
1344	13	Quaking Aspen		Significant		Softwood
1345	13	Quaking Aspen		Significant	x	Softwood
1346	23	Basswood		Significant	x	Hardwood
1347	25	Basswood		Significant	x	Hardwood
1348	18	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1349	8	Basswood		Significant		Hardwood
1350	8	Basswood		Significant		Hardwood
1351	9	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1352	7	Basswood		Significant		Hardwood
1353	9	Basswood		Significant		Hardwood
1354	7	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1355	14	Basswood		Significant		Hardwood
1356	15	Basswood		Significant		Hardwood
1357	13	Basswood		Significant		Hardwood
1358	9	Basswood		Significant		Hardwood
1359	18	Black Cherry		Significant		Hardwood
1360	15	Basswood		Significant		Hardwood
1361	7	Basswood		Significant		Hardwood
1362	16	Basswood		Significant		Hardwood
1363	12	Basswood		Significant		Hardwood
1364	12	Bur Oak		Significant		Hardwood
1365	9	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1366	7	Bur Oak		Significant		Hardwood
1367	10	Black Cherry		Significant		Hardwood
1368	11	Bur Oak		Significant		Hardwood
1369	13	Basswood		Significant		Hardwood
1370	17	Northern Red Oak		Significant		Hardwood
1371	13	Northern Red Oak		Significant		Hardwood
1372	7	Basswood		Significant		Hardwood
1373	9	Northern Red Oak		Significant		Hardwood
1374	8	Northern Red Oak		Significant		Hardwood
1375	13	Northern Red Oak		Significant		Hardwood
1376	17	Northern Red Oak		Significant		Hardwood
1377	16	Northern Red Oak		Significant		Hardwood
1378	18	Northern Red Oak		Significant		Hardwood
1379	9	Northern Red Oak		Significant		Hardwood
1380	17	Northern Red Oak		Significant		Hardwood
1381	10	Bur Oak		Significant		Hardwood
1382	21	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1383	6	Ironwood		Significant		Hardwood
1384	9	Basswood		Significant		Hardwood
1385	11	Northern Red Oak		Significant		Hardwood
1386	12	Northern Red Oak		Significant		Hardwood
1387	7	Northern Red Oak		Significant		Hardwood
1388	11	Northern Red Oak		Significant		Hardwood

TAG #	DBH	Species	General Health/Notes	Significant	Removal	Type
1389	7	American Elm				Softwood
1390	13	Northern Red Oak		Significant		Hardwood
1391	9	Northern Red Oak		Significant		Hardwood
1392	20	Northern Red Oak		Significant		Hardwood
1393	9	Northern Red Oak		Significant		Hardwood
1394	8	Northern Red Oak		Significant		Hardwood
1395	19	Basswood		Significant		Hardwood
1396	7	Basswood		Significant		Hardwood
1397	9	Basswood		Significant		Hardwood
1398	22	Basswood		Significant		Hardwood
1399	16	Northern Red Oak		Significant		Hardwood
1400	7	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1401	13	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1402	34	Silver Maple		Significant	x	Specimen
1403	25	White Birch		Significant	x	Hardwood
1404	7	Black Cherry		Significant	x	Hardwood
1405	11	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1406	9	Basswood		Significant	x	Hardwood
1407	7	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1408	15	Basswood		Significant		Hardwood
1409	11	Northern Red Oak		Significant		Hardwood
1410	9	Basswood		Significant		Hardwood
1411	8	Basswood		Significant		Hardwood
1412	7	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1413	15	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1414	6	Basswood		Significant		Hardwood
1415	19	Siberian Elm		Significant		Softwood
1416	15	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1417	15	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1418	16	Black Cherry	HEAVY LEAN	Significant		Hardwood
1419	11	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1420	13	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1421	6	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1422	6	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1423	8	Mountain Ash		Significant		Hardwood
1424	9	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1425	7	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1426	12	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1427	11	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1428	8	Black Cherry		Significant		Hardwood
1429	14	American Elm		Significant	x	Softwood
1430	18	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1431	19	Northern Red Oak		Significant		Hardwood
1432	14	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1433	13	Jack Pine		Significant	x	Conifer
1434	12	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1435	7	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1436	16	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1437	9	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1438	7	Basswood		Significant	x	Hardwood
1439	7	Northern Red Oak		Significant	x	Hardwood
1440	12	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1441	9	Jack Pine		Significant	x	Conifer
1442	9	Red Pine		Significant	x	Conifer
1443	8	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1444	12	Red Pine		Significant	x	Conifer
1445	10	Red Pine		Significant	x	Conifer
1446	18	Red Pine		Significant	x	Conifer
1447	33	Eastern Cottonwood		Significant	x	Specimen
1448	10	Basswood		Significant	x	Hardwood
1449	15	Green Ash	EAB		x	
1450	18	Eastern Cottonwood		Significant	x	Softwood
1451	13	Red Pine		Significant	x	Conifer
1452	12	Red Pine		Significant	x	Conifer
1453	6	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1454	12	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1455	6	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1456	8	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1457	11	Green Ash	EAB			
1458	17	American Elm		Significant	x	Softwood
1459	21	Eastern Cottonwood		Significant	x	Softwood
1460	11	Northern Red Oak		Significant	x	Hardwood
1461	11	Northern Red Oak		Significant	x	Hardwood
1462	11	Black Cherry		Significant	x	Hardwood
1463	9	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1464	20	Basswood		Significant	x	Hardwood
1465	12	Green Ash		Significant	x	Hardwood
1466	16	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1467	10	Red Pine		Significant	x	Conifer
1468	13	Red Pine		Significant	x	Conifer
1469	8	Basswood		Significant	x	Hardwood
1470	10	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1471	12	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1472	9	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1473	15	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1474	7	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1475	10	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1476	15	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1477	15	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1478	9	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1479	19	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1480	16	Green Ash	SEVERE BIRD PECK DAMAGE. EAB		x	
1481	16	Basswood		Significant	x	Hardwood
1482	7	Northern Red Oak		Significant	x	Hardwood
1483	17	Northern Red Oak		Significant	x	Hardwood
1484	16	Red Pine	THIN CROWN	Significant	x	Conifer
1485	14	Basswood		Significant	x	Hardwood
1486	6	Eastern Red Cedar		Significant	x	Conifer
1487	19	Red Pine	MISSING LEADER	Significant	x	Conifer
1488	14	Basswood		Significant	x	Hardwood
1489	8	Flowering Crab		Significant	x	Hardwood
1490	7	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1491	18	Siberian Elm		Significant	x	Softwood
1492	7	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1493	14	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1494	15	American Elm	PROBABLE SIBERIAN ELM HYBRID	Significant	x	Softwood
1495	18	Boxelder		Significant	x	Softwood
1496	10	Basswood		Significant	x	Hardwood
1497	21	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1498	17	Green Ash	SEVERE BIRD PECK DAMAGE. EAB			
1499	13	Boxelder		Significant	x	Softwood
1500	12	American Elm		Significant	x	Softwood
1501	22	Siberian Elm		Significant	x	Softwood
1502	17	Eastern Cottonwood		Significant	x	Softwood
1503	15	Basswood		Significant	x	Hardwood

TAG #	DBH	Species	General Health/Notes	Significant	
-------	-----	---------	----------------------	-------------	--



NEWPORT LANDSCAPE REQUIREMENTS

ALL AREAS NOT OTHERWISE IMPROVED IN ACCORDANCE WITH APPROVED SITE PLANS SHALL BE SODDED. EXCEPTIONS SHALL BE AS FOLLOWS:

- SEEDING OF FUTURE EXPANSION AREAS AS SHOWN ON APPROVED PLANS.
- UNDISTURBED AREAS CONTAINING EXISTING VIABLE NATURAL VEGETATION THAT CAN BE MAINTAINED FREE OF FOREIGN AND NOXIOUS PLANT MATERIAL.
- AREAS DESIGNATED AS OPEN SPACE OR FUTURE EXPANSION AREAS PROPERLY PLANTED AND MAINTAINED WITH NATIVE PRAIRIE GRASS.
- USE OF MULCH MATERIAL SUCH AS ROCK OR WOOD CHIPS IN SUPPORT OF SHRUBS AND FOUNDATION PLANTINGS.
- SLOPES AND BERMS, FINAL SLOPE GRADES STEEPER THAN THE RATIO OF 3:1 SHALL NOT BE PERMITTED WITHOUT SPECIAL LANDSCAPING TREATMENTS SUCH AS TERRACING, RETAINING WALLS, OR GROUND COVER.

A MINIMUM OF 1 OVERSTORY TREE PER 50 LF OF STREET FRONTAGE.
 STREET FRONTAGE = 5,491 LF
 REQUIRED = 110 TREES

A MINIMUM OF 1 TREE PER 1000 SF OF PERMEABLE AREA. STREET FRONTAGE TREES HAVE BEEN COUNTED TOWARD THIS REQUIREMENT.
 416,769 SF PERMEABLE AREA / 1000 = 417 TREES REQUIRED TOTAL
 TOTAL PROVIDED = 259 TREES

MITIGATION REQUIREMENT:
 REPLACEMENT TREES REQUIRED = 0 TREES

NOTE: SEE TREE PRESERVATION PLAN FOR MITIGATION CALCULATIONS.

LEGEND

- OVERSTORY DECIDUOUS TREES
- CONIFEROUS TREES
- PERMEABLE AREA TOTAL (416,769 SF)

NEWPORT LANDSCAPE SCHEDULE:

TOTAL	KEY	COMMON NAME / SCIENTIFIC NAME	SIZE	MATURE HEIGHT	MATURE SPREAD	NOTES
217	OVERSTORY TREES					
53	HB	Common Hackberry <i>Celtis occidentalis</i>	2.5" Cal. B&B	40+	30+	Straight Trunk, No V-Crotch
51	HL	Skyline Honeylocust <i>Gleditsia triacanthos var. inermis 'Skycole'</i>	2.5" Cal. B&B	35+	35+	Straight Trunk, No V-Crotch
42	PO	Majestic Skies Northern Pin Oak <i>Quercus ellipsoidalis 'Balskies'</i>	2.5" Cal. B&B	60+	45+	Straight Trunk, No V-Crotch
41	RO	Red Oak <i>Quercus rubra</i>	2.5" Cal. B&B	60+	40+	Straight Trunk, No V-Crotch
30	RB	River Birch (Multi-Trunk) <i>Betula nigra</i>	6" ht. B&B	70+	40+	-
42	CONIFER TREES					
18	NS	Norway Spruce <i>Picea abies</i>	6" ht. B&B	50+	20+	Full Form
24	RP	Red Pine <i>Pinus Resinosa</i>	6" ht. B&B	70+	40+	Full Form
259						





Bradley



Elevation A - Shown with Opt. Stone



Elevation B - Shown with Opt. Stone



Elevation C - Shown with Opt. Stone



Elevation F - Shown with Opt. Stone

Square Feet: 2,033
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



M/I HOMES

Welcome to Better

Hillcrest



Elevation D - Stone



Elevation E - Stone

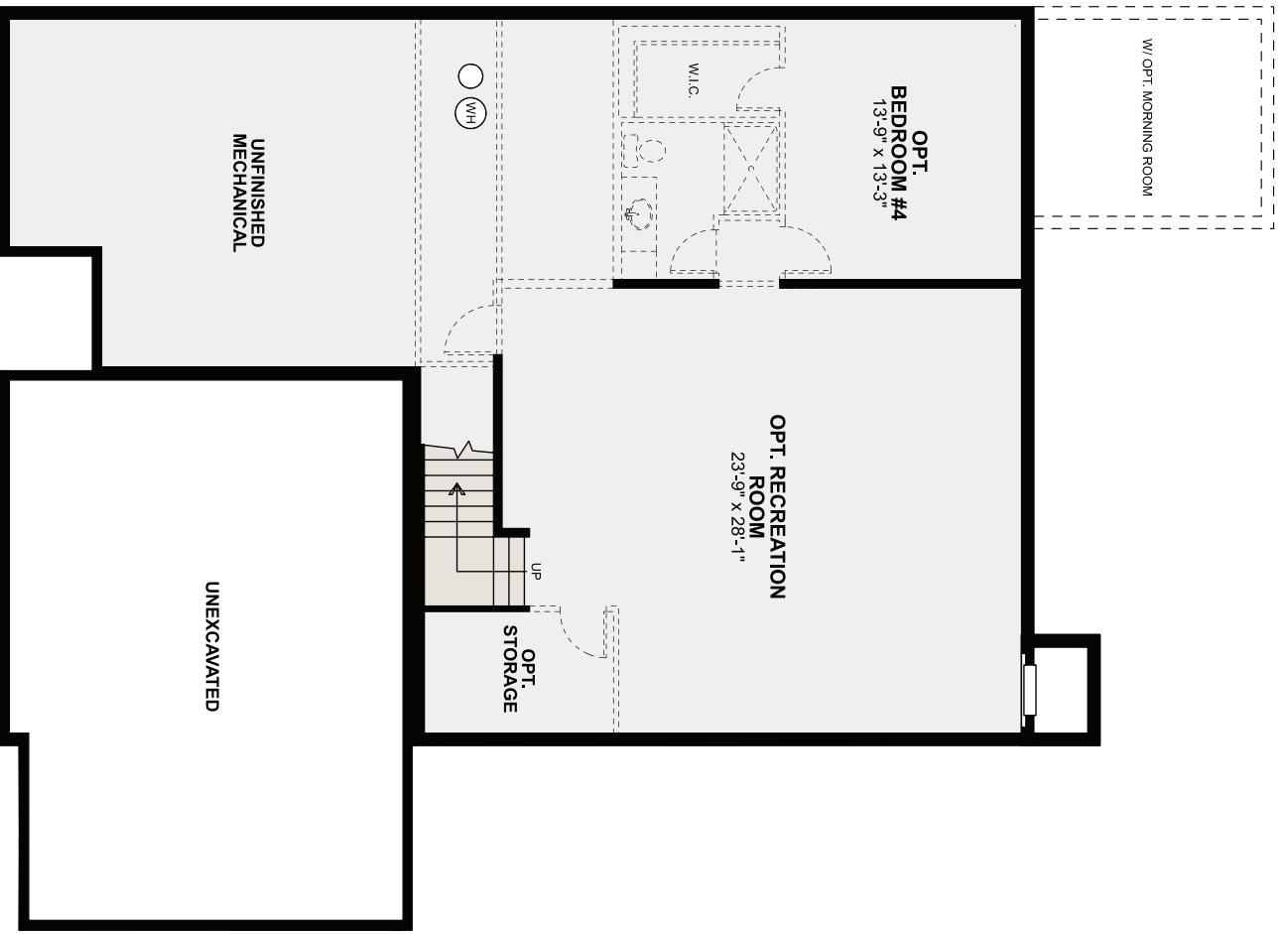
Square Feet: 1,768
Bedrooms: 3
Full Baths: 2

Half Baths: 0
Garages: 3
Stories: 1



M/I HOMES

Welcome to Better



BASEMENT



FIRST FLOOR

Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details, and designs without notice. In addition, options shown may not be available in all communities. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Please see a New Home Consultant for details. Printed 08-21.



Langford



Elevation C - Stone



Elevation B - Stone

Square Feet: 2,938
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 3
Stories: 1



M/I HOMES

Welcome to Better



BASEMENT



FIRST FLOOR

Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details, and designs without notice. In addition, options shown may not be available in all communities. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Please see a New Home Consultant for details. Printed 08-21.



Everett



Elevation F - Shown with Opt. Stone



Elevation A - Shown with Opt. Stone



Elevation B - Shown with Opt. Stone



Elevation C - Shown with Opt. Stone

Square Feet: 2,044
Bedrooms: 3
Full Baths: 2

Half Baths: 1
Garages: 2
Stories: 2



M/I HOMES

Welcome to Better



Because we are constantly improving our product, we reserve the right to revise, change, and/or substitute product features, dimensions, specifications, architectural details, and designs without notice. In addition, options shown may not be available in all communities. This brochure is for illustration purposes only and is not part of a legal contract. Prices are subject to change without notice. Room dimensions are approximate and calculated from inside of partition. Please see a New Home Consultant for details. Printed 12-21.

