



CITY OF NEWPORT
2060 1ST Avenue
Newport, MN 55055
(651) 459-5677
ci.newport.mn.us

President:
Board of
Commissioners:

Laurie Elliott
Kevin Chapdelaine
Tom Ingemann
Marvin Taylor
Rozlyn Johnson

E.D. Director / City Administrator:
Asst. to the City Admin:
Authority Attorney:

Deb Hill
Travis Brierley
Flaherty & Hood

**Newport Economic Development Authority Agenda
September 15, 2022- 4:30 PM**

1. CALL TO ORDER
2. ROLL CALL
3. ADOPT AGENDA
4. CONSENT AGENDA
 - A. Minutes- April 7, 2022
5. PUBLIC HEARING- Sale of 975 2nd Ave
6. ADJOURNMENT



**CITY OF NEWPORT
NEWPORT ECONOMIC DEVELOPMENT AUTHORITY MINUTES
NEWPORT CITY HALL
April 7, 2022**

1. CALL TO ORDER

President Elliott called the Newport Economic Development Authority Meeting to order at 7:57 p.m. on April 7, 2022.

2. ROLL CALL

Present (5): President Laurie Elliott, Commissioner Kevin Chapdelaine, Commissioner Tom Ingemann, Commissioner Marvin Taylor, and Commissioner Rozlyn Johnson.

Not Present (0): None.

3. ADOPT AGENDA

Commissioner Chapdelaine motioned to adopt the agenda. Seconded by Commissioner Johnson. Approved 5-0.

4. NEDA MINUTES

a. February 17, 2022

Commissioner Chapdelaine motioned to approve the minutes of the February 17, 2022 NEDA Meeting. Seconded by Commissioner Ingemann. Approved 5-0.

5. POTENTIAL CLOSED MEETING

(Meeting closed pursuant to develop or consider offers or counteroffers for the sale of real property located at 2nd Avenue and 9th Street under Minn. Stat. 13D.05, Subd. 3 (b))

Commissioner Ingemann motioned to close the NEDA Meeting. Seconded by Commissioner Chapdelaine. Approved 5-0.

The NEDA Meeting was closed at 7:58 p.m. on April 7, 2022.

Commissioner Chapdelaine motioned to open the NEDA Meeting. Seconded by Commissioner Ingemann. Approved 5-0.

The NEDA Meeting was opened at 8:05 p.m. on April 7, 2022.

6. ADJOURNMENT

Commissioner Taylor motioned to adjourn the Newport Economic Development Authority Meeting. Seconded by Commissioner Chapdelaine. Approved 5-0.

The Newport Economic Development Authority Meeting was adjourned at 8:07 p.m. on April 7, 2022.

Respectfully Submitted:

Jill Thiesfeld

Administrative Assistant II

Signed: _____
Laurie Elliott, President

LEGAL DESCRIPTION:
Lots 1, 3, 5 and 7, Block 13, Town of Newport, Washington County, Minnesota.

SCOPE OF WORK & LIMITATIONS:

- Showing the length and direction of boundary lines of the legal description listed above. The scope of our services does not include determining what you own, which is a legal matter. Please check the legal description with your records or consult with competent legal counsel, if necessary, to make sure that it is correct and that any matters of record, such as easements, that you wish to be included on the survey have been shown.
- Showing the location of observed existing improvements we deem necessary for the survey.
- Setting survey markers or verifying existing survey markers to establish the corners of the property.
- Showing elevations on the site at selected locations to give some indication of the topography of the site. We have also provided a benchmark for your use in determining elevations for construction on this site. The elevations shown relate only to the benchmark provided on this survey. Use that benchmark and check at least one other feature shown on the survey when determining other elevations for use on this site or before beginning construction.
- This survey has been completed without the benefit of a current title commitment. There may be existing easements or other encumbrances that would be revealed by a current title commitment. Therefore, this survey does not purport to show any easements or encumbrances other than the ones shown hereon.
- While we show the minimum building setback lines per our interpretation of the city's zoning code, said setback lines must be verified by the appropriate city official to be sure that they are shown correctly. Do this before using the survey to make any decisions regarding the property.
- We have shown the bluff line and bluff setback line per a provided survey. This survey does not purport to have field verified said bluff information. If verification of the bluff information is needed for your project, we suggest you do that before proceeding with any design or construction.
- While we show a proposed location for this home or addition, we are not as familiar with your proposed plans as you, your architect, or the builder are. Review our proposed location of the improvements and proposed yard grades carefully to verify that they match your plans before construction begins. Also, we are not as familiar with local codes and minimum requirements as the local building and zoning officials in this community are. Be sure to show this survey to said officials, or any other officials that may have jurisdiction over the proposed improvements and obtain their approvals before beginning construction or planning improvements to the property.
- Note that all building dimensions and building tie dimensions to the property lines, are taken from the siding and or stucco of the building.

STANDARD SYMBOLS & CONVENTIONS:

"●" Denotes iron survey marker, found, unless otherwise noted.

GRADING & EROSION CONTROL NOTES:

BEFORE DEMOLITION AND GRADING BEGIN

- Install silt fence/bio roll around the perimeter of the construction area.
- Sediment control measures must remain in place until final stabilization has been established and then shall be removed. Sediment controls may be removed to accommodate short term construction activity but must be replaced before the next rain.
- A temporary rock construction entrance shall be established at each access point to the site and a 6 inch layer of 1 to 2 inch rock extending at least 50 feet from the street into the site and shall be underlain with permeable geotextile fabric. The entrance shall be maintained during construction by top dressing or washing to prevent tracking or flow of sediments onto public streets, walks or alleys. Potential entrances that are not so protected shall be closed by fencing to prevent unprotected exit from the site.
- Contractor shall install inlet protection on all existing storm sewer inlets in accordance with the city standard details. Inlet protection shall also be provided on all proposed storm sewer inlets immediately following construction of the inlet. Inlet protection must be installed in a manner that will not impound water for extended periods of time or in a manner that presents a hazard to vehicular or pedestrian traffic.

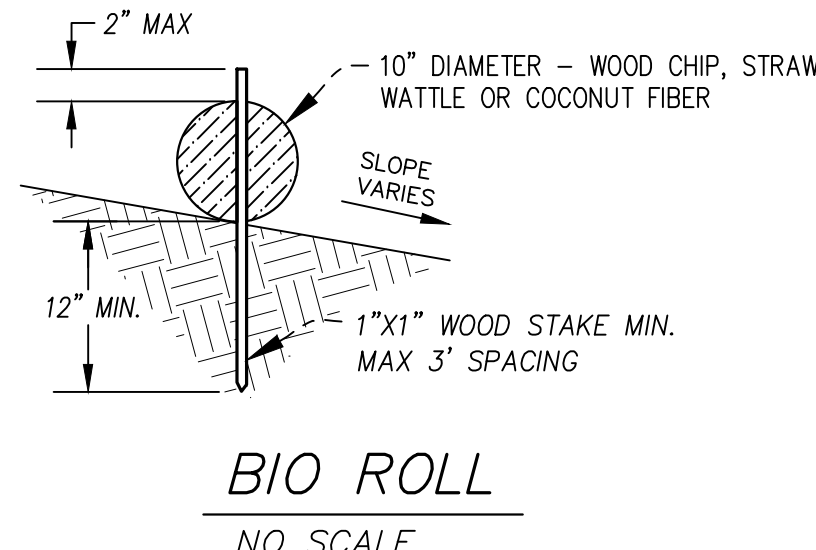
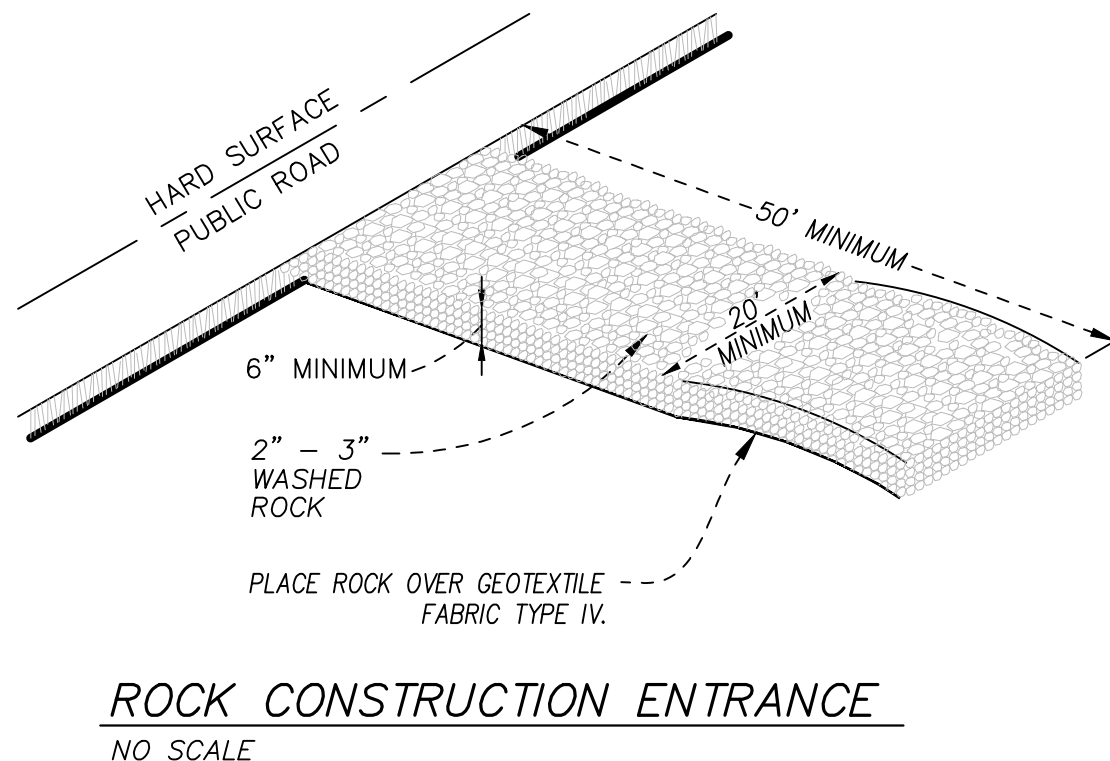
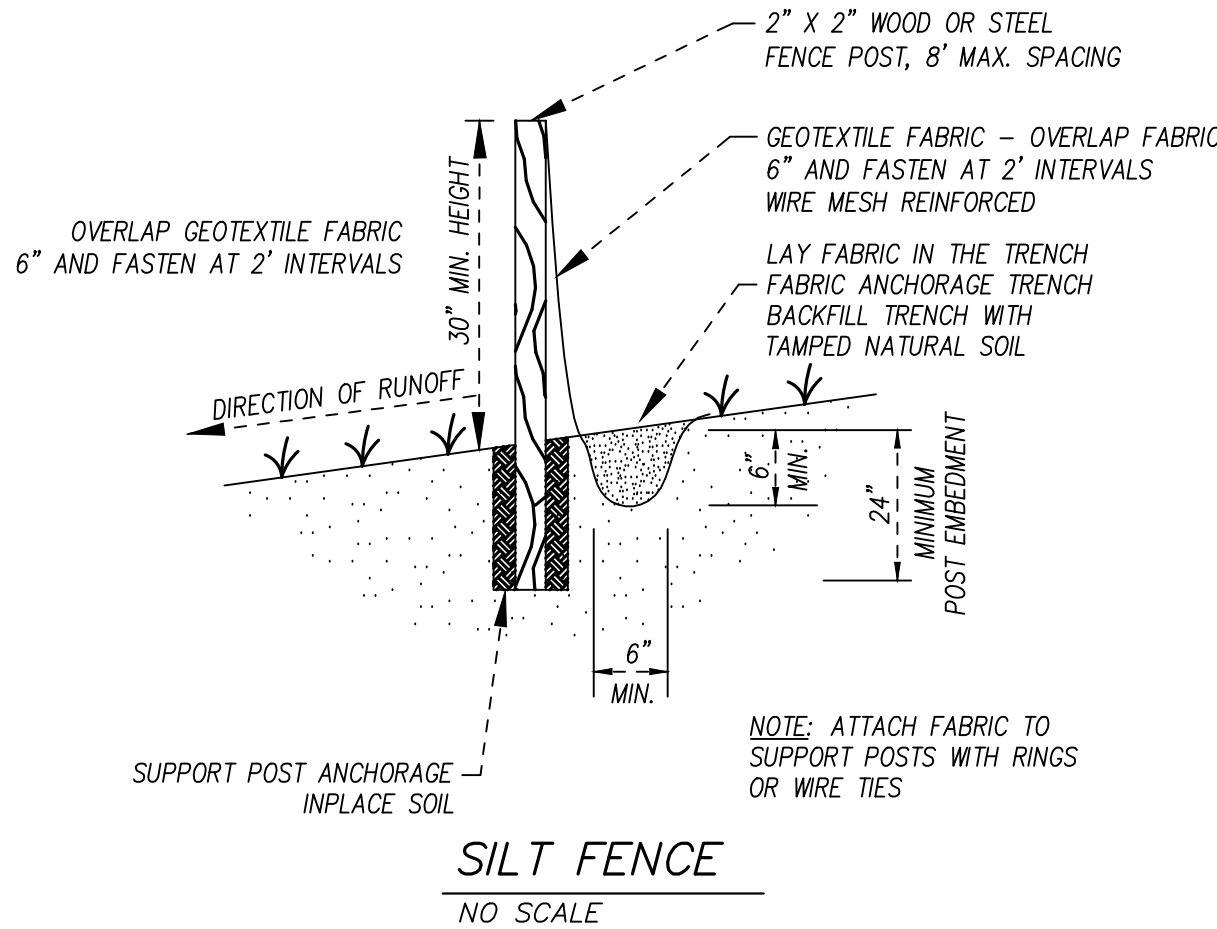
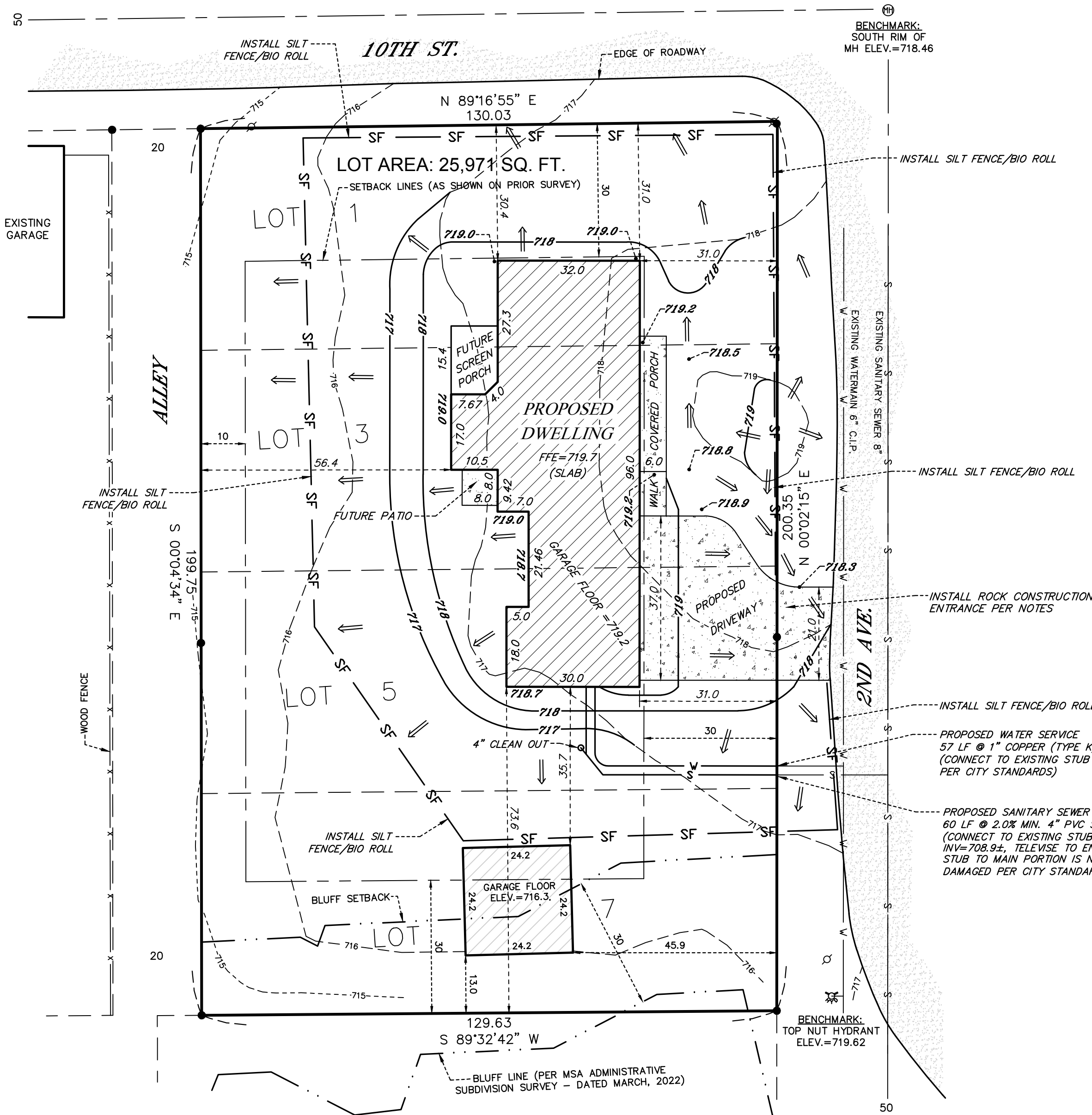
DURING CONSTRUCTION:

- When dirt stockpiles have been created, a double row of silt fence shall be placed to prevent escape of sediment laden runoff and if the piles or other disturbed areas are to remain in place for more than 14 days, they shall be seeded with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
- A dumpster shall be placed on the site for prompt disposal of construction debris. These dumpsters shall be serviced regularly to prevent overflowing and blowing onto adjacent properties. Disposal of solid wastes from the site shall in accordance with Minnesota Pollution Control Agency requirements.
- A separate container shall be placed for disposal of hazardous waste. Hazardous wastes shall be disposed of in accordance with MPCA requirements.
- Concrete truck washout shall be in the plastic lined ditch and dispose of washings as solid waste.
- Sediment control devices shall be regularly inspected and after major rainfall events and shall be cleaned and repaired as necessary to provide downstream protection.

- Streets and other public ways shall be inspected daily and if litter or soils has been deposited it shall promptly be removed.
- If necessary, vehicles, that have mud on their wheels, shall be cleaned before exiting the site in the rock entrance areas.
- Moisture shall be applied to disturbed areas to control dust as needed.
- Portable toilet facilities shall be placed on site for use by workers and shall be properly maintained.
- If it becomes necessary to pump the excavation during construction, pump discharge shall be into the stockpile areas so that the double silt fence around these areas can filter the water before it leaves the site.
- Temporary erosion control shall be installed no later than 14 days after the site is first disturbed and shall consist of broadcast seeding with Minnesota Department of Transportation Seed Mixture 22-111 at 100 lb/acre followed by covering with spray mulch.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins and additional silt fencing as deemed necessary to control erosion.

SITE WORK COMPLETION:

- When final grading has been completed but before placement of seed or sod an "as built" survey shall be done per City of Newport requirements to insure that grading was properly done.
- When any remedial grading has been completed, sod or seeding shall be completed including any erosion control blankets for steep areas.
- When turf is established, silt fence and inlet protection and other erosion control devices shall be disposed of and adjacent streets, alleys and walks shall be cleaned as needed to deliver a site that is erosion resistant and clean.
- Contractor shall maintain positive drainage of a minimum 2% slope away from proposed building.



PROPOSED HARDCOVER

HOUSE	3,068 SQ. FT.
FRONT PORCH	183 SQ. FT.
FRONT WALK	60 SQ. FT.
DRIVEWAY	1,044 SQ. FT.
EXISTING GARAGE	587 SQ. FT.
FUTURE SCREEN PORCH	157 SQ. FT.
FUTURE PATIO	64 SQ. FT.

PROPOSED HARDCOVER 5,163 Sq. Ft.
AREA OF LOT 25,971 Sq. Ft.

PERCENTAGE OF HARDCOVER TO LOT 19.8%

LEGEND

EXISTING CONTOUR	--- 717 ---
EXISTING SPOT ELEVATION	x 717.5
PROPOSED CONTOUR	--- 717 ---
PROPOSED SPOT ELEVATION	717.5
DRAINAGE ARROW - FLOW	⇒
SILT FENCE/BIO ROLL	— SF —

DATE	REVISION	DESCRIPTION

DRAWING ORIENTATION & SCALE

CLIENT/JOB ADDRESS

B. KYLE

975 2ND AVE. N.
NEWPORT, MN

Advance
Surveying & Engineering, Co.

17917 Highway No. 7
Minnetonka, Minnesota 55345
Phone (952) 474-7964
Web: www.advsur.com

I HEREBY CERTIFY THAT THIS PLAN, SURVEY OR REPORT
WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY REGISTERED LAND SURVEYOR
UNDER THE LAWS OF THE STATE OF MINNESOTA.

Wayne W. Preyhs
#43503
LICENSE NO.
AUGUST 12, 2022
DATE

SURVEYED DATE:

JUNE 7, 2022

DRAFTED DATE:

AUGUST 12, 2022

SHEET TITLE

CERTIFICATE OF SURVEY

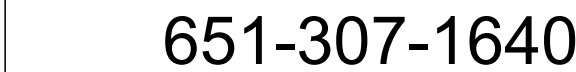
SHEET SIZE: 22 X 34

DRAWING NUMBER

221467 JR

SHEET NO.

S1



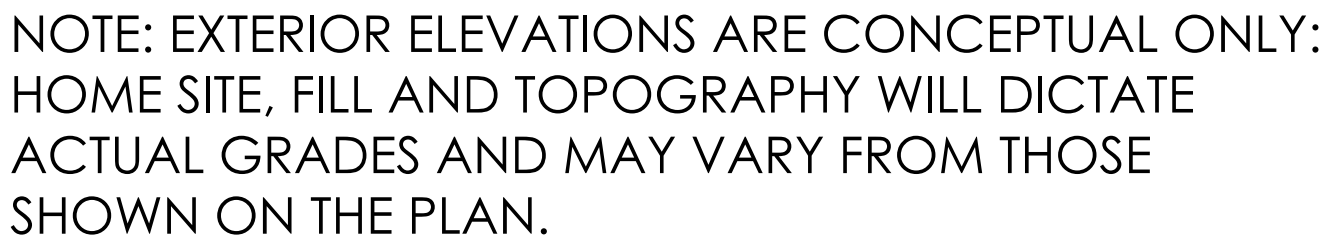
NEWPORT

TWO STORY SLAB ON GRADE

Elevations

Project number	Project Number
Date	08/23/2022
Drawn by	SWK
Checked by	Checker

A1

$$1/4" = 1'-0"$$


Front

① $1/4" = 1'-0"$

Door Schedule

Door Schedule		
Door Number	Door Size	Comments
1	36" x 80"	Main Entry W/Sidelite & Transom
2	36" x 80"	Front Entry
3	108" X 80"	Patio Door W/Transom
4	36" x 80"	Dining Entry Door
5	36" x 80"	Back Garage Entry
6	36" x 80"	1 Hour Fire Door
7	32" x 80"	
8	28" x 80"	Pocket Door
9	36" x 80"	Pocket Door
10	30" x 80"	
11	30" x 80"	
12	28" x 80"	Pocket Door
13	28" x 80"	Pocket Door
14	60" x 80"	French Door
15	32" x 80"	
16	48" x 80"	French Door
17	36" x 80"	
18	30" x 80"	
19	30" x 80"	
20	30" x 80"	
21	30" x 80"	
22	28" x 80"	Pocket Door
23	30" x 80"	
24	16' X 8' Overhead Garage Door	Garage Door
25	12' X 12' Overhead Garage Door	Garage Door

Window Schedule

Window Schedule						
Type Mark	Rough Opening		Type	Glazin g	Head Height	Count
	Width	Height		Type		
1	3' - 0"	6' - 0"	Single Hung		7' - 11"	9
2	4' - 0"	6' - 0"	Fixed		7' - 11"	4
3	6' - 0"	6' - 0"	Single Hung Double		7' - 11"	2
4	6' - 0"	2' - 0"	Fixed		7' - 11"	1
5	1' - 4"	6' - 8"	Sidelights 1			1
6	1' - 8"	4' - 0"	Fixed		6' - 9"	1
7	3' - 0"	5' - 0"	Single Hung		7' - 11"	2
8	4' - 0"	5' - 0"	Fixed		7' - 11"	1
9	4' - 0"	4' - 6"	Single Hung		7' - 11"	1
10	3' - 0"	4' - 6"	Fixed		7' - 11"	1
11	6' - 0"	5' - 0"	Single Hung Double		7' - 11"	1

SOIL TYPE:

DESIGNED WITH 2000 PSI SOILS, ALL FOUNDATION CONSTRUCTION MUST FACTOR IN THIS AT A MINIMUM.

WIND EXPOSURE:

DESIGNED WITH "EXPOSURE B" CLASSIFICATIONS
AND WIND.
GUSTS OF 90 MPH PER 2015 RESIDENTIAL CODE
REGULATIONS.

SQUARE FOOTAGE:

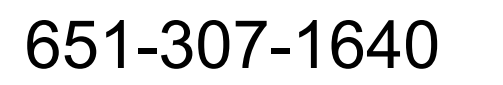
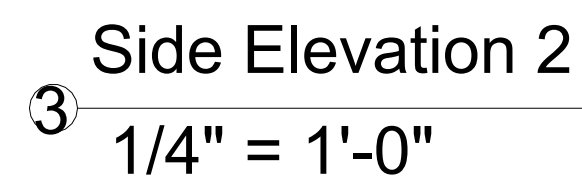
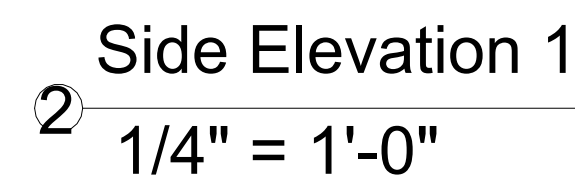
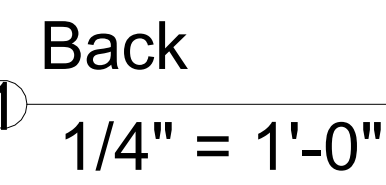
MAIN LEVEL = 1,925
UPPER LEVEL = 1,394
GARAGE = 1,078
TOTAL FINISHED= 3,319
TOTAL FOOTPRINT= 3,067

DOORS & WINDOWS:

1. ALL WINDOWS AND DOORS TO BE DOUBLE PANE GLASS PANELS WITH LOW E-RATINGS.
2. ANY WINDOW WITHIN 24" OF A DOOR SWING MUST BE TEMPERED PER CODE.
3. ANY WINDOW ABOVE A TUB/WET AREA MUST BE TEMPERED PER CODE.
4. ANY WINDOW WITHIN A STAIRWAY MUST BE TEMPERED PER CODE.
5. WINDOW GLAZING MUST BE AT LEAST 18" A.F.F. WHEN WINDOW IS ABOVE 6' FROM GRADE. IF WITHIN 18" WINDOW MUST BE TEMPERED.
6. ALL BEDROOMS TO HAVE AT LEAST ONE WINDOW THAT HAS A CLEAR EGRESS OPENING OF 5.7 SQ. FT. WITH MIN. DIMENSIONS OF 24" IN HEIGHT AND 20" IN WIDTH, SILL HEIGHT NOT TO BE GREATER THAN 14" A.F.F.
7. WINDOWS WITH SILLS WITHIN 3' OF THE FLOOR THEY SERVE AND ARE 72" ABOVE GRADE MUST EITHER HAVE A FALL PREVENTION OR OPENING LIMITER DEVICE PER CODE.

1. ALL EXTERIOR TRIM TO BE FLASHED PER CODE.
2. GRADE CONDITIONS MAY VARY ON SITE
3. PROVIDE ROOF AND SOFFIT VENTS PER IRC CODE REGULATIONS
4. ALL FURNACE FLUES, PLUMBING VENTS, FIREPLACE VENTS AND OTHER PENETRATIONS THROUGH ROOF OR WALLS TO EXTEND THROUGH REAR OF HOME WHENEVER POSSIBLE.

5. ALL PENETRATIONS THROUGH EXTERIOR WALLS OR ROOFING MUST BE SEALED AND FLASHED PER MANF. SPECIFICATIONS AND IRC CODE REGULATIONS
6. PROVIDE EXTERIOR LIGHTING AT FRONT AND REAR ENTRY TO ILLUMINATE THE STAIRS AS PER CODE.



NEWPORT

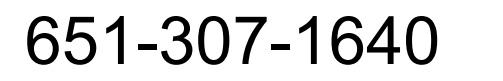
TWO STORY
SLAB ON GRADE
Elevations

Project number	Project Number
Date	08/23/2022
Drawn by	SWK
Checked by	Checker
A2	
Scale	1/4" = 1'-0"

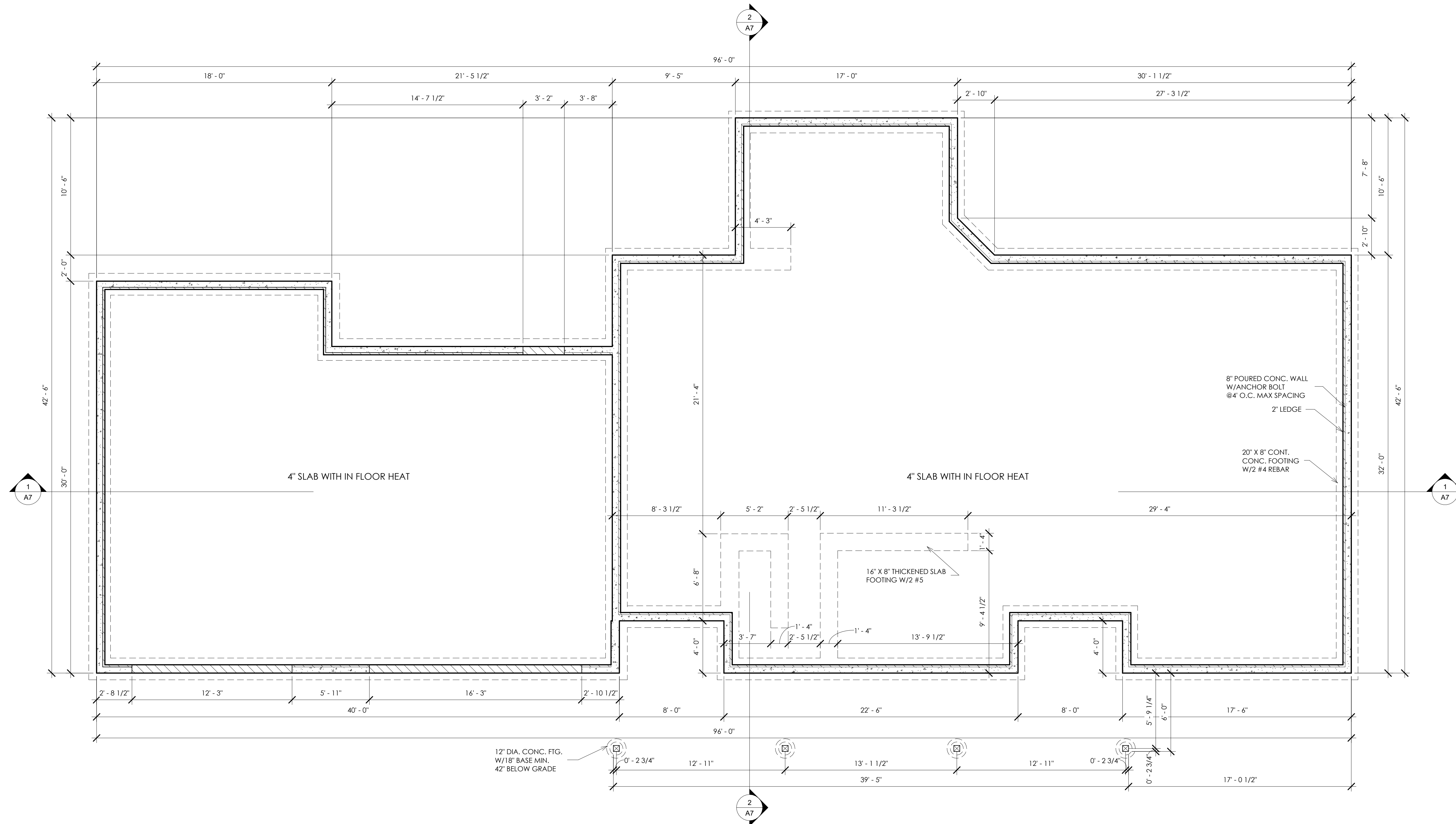
2. ALL REINFORCING IS TO BE INSTALLED PER IRC REGULATED STRUCTURAL DESIGN BY CONCRETE TRADES
3. PROVIDE 1/2" ANCHOR BOLTS EMBEDDED 8" MIN. SPACED PER CODE AND 12" MAX FROM EACH END OF SILLPLATE, MIN 2 PER SILL W/ 2" X 2" X 1/4" WASHER.

- CONCRETE NOTES:

1. ALL CONCRETE FOOTINGS AND FOUNDATION SYSTEM ARE DESIGNED FOR A 2000 P. SF. SOIL
2. FOUNDATION WALLS SHALL BE FULL HEIGHT AT UNBALANCED FILL GREATER THAN 3/4"
3. 1/2" ANCHOR BOLTS EMBEDDED 7" MIN @ 4' O.C. MAX. 12" MIN FROM EACH END. MIN. OF 2 BOLTS IN EACH SILL PLATE W/2" X 2" X 3/16" WASHER
4. PAD FOOTING REINFORCEMENT IS TO BE LOCATED (3") FROM BOTTOM OF FOOTING TYP. (WHEN REQUIRED)
5. MIN 5000 PSI CONCRETE @ ALL FOOTINGS.



NEWPORT



① $1/4" = 1'-0"$

[illegible]

TWO STORY
SLAB ON GRADE
Foundation

Project number	Project Number
Date	08/23/2022
Drawn by	SWK
Checked by	Checker
A3	
Scale	1/4" = 1'-0"

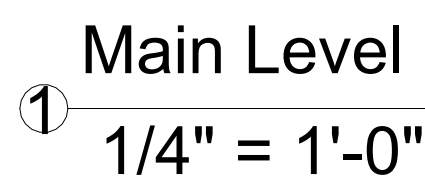
23/2022 6:24:52 AM

1. ALL NON-BEARING FRAMING IS TO BE 1 6" O.C. UNLESS OTHERWISE NOTED.
2. ALL WALLS TO HAVE DOUBLE TOP PLATE UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS ARE TO BE 2 X 6 WOOD STUDS WITH 7/16" OSB SHEATHING UNLESS OTHERWISE NOTED.
4. ALL INTERIOR WALLS ARE TO BE 2 X 4 WOOD STUDS UNLESS OTHERWISE NOTED.
5. ALL COLUMN SIZES ARE TO BE CONTINUED THROUGH FLOOR TRUSS SPACES WHEN SPANNING MORE THAN 1 FLOOR.

1. ALL HEADERS TO BE SUPPORTED BY A MIN. OF 1 TRIMMER (UNLESS OTHERWISE NOTED).
2. ALL TO HAVE AT LEAST (1) KING STUD (UNLESS NOTED)
3. ALL STUD CALLOUTS @ SIDES OF WINDOWS/DOORS ARE TRIMMERS, MIN. (1) KING STUDS @SAID LOCATIONS TO BE INCLUDED AS WELL.
4. BLOCKING @ ROOF & FLOOR PLAN PER TRUSS MANF.
5. POINT LOADS TO BE CARRIED THROUGH FLOOR AREAS AND DOWN TO FOUNDATION FOR SUPPORT.
6. ALL HANGERS & CONNECTIONS PER TRUSS MANF., SUPPLIERS & CONTRACTOR.
7. ALL EXTERIOR SHEATHING TO BE 7/16" OSB SHEATHING & NAILED PER CODE.

- 

NEWPORT



TWO STORY
SLAB ON GRADE
Main Level

Project number	Project Number
Date	08/23/2022
Drawn by	SWK
Checked by	Checker
A4	
Scale	1/4" = 1'-0"

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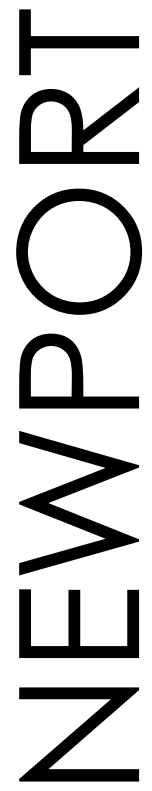
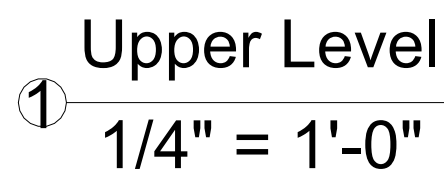
1. ALL EXTERIOR WALLS TO BE 16" O.C. WITH A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED
2. WALL FRAMING SHALL BE S.P.F. STUD GRADE OR BETTER UNLESS NOTED OTHERWISE (U.N.O).
3. ALL HEADERS SHALL BE PER PLAN.
4. ALL EXTERIOR HEADERS SHALL HAVE (1) 2X6 BEARING STUD & (1) 2X6 FULL HEIGHT KING STUD ON EACH SIDE U.N.O. (REVIEW PLANS)
5. ALL INTERNAL HEADERS & BEAMS SHALL HAVE (1) 2X6 OR (1) 2X4 BEARING STUD ON EACH SIDE.
6. EXTERIOR SHEATHING SHALL BE 7/16" OSB WALL SHEATHING. ALL FLOOR AND CEILING SYSTEMS TO BE CHECKED AND DESIGNED BY THE DESIGNATED MANF. FLOOR PLANS TO BE ON SITE.
7. HEADER SIZES ARE TO BE USED PER PLAN AND DEVIATION FROM ANY SIZE MUST BE APPROVED BY DESIGNERS .
8. PRESSURE TREATED WOOD IS TO BE USED WHERE WOOD IS IN CONTACT WITH CONCRETE AND AT 2X6 MUD SILL. TREATED MEMBERS TO BE S.Y.P. #2 OR BETTER.
9. FOR OPENINGS IN EXTERIOR WALLS (OR WALLS W/ LATERAL LOADING:

A. 0'-0" - 4'-0"	=	1 JACK STUD
B. 4'-0" - 8'-0"	=	2 JACK STUDS
C. 8'-0" - 12'-0"	=	3 JACK STUDS
D. GREATER THAN 12'	=	CONSULT ENG.
10. POSTS CALLED OUT ARE NUMBER OF KING STUDS REQUIRED PER SIDE OF OPENING.

1. ALL EXTERIOR WALL TO HAVE A MIN. RATING OF R-21
2. ALL ATTIC SPACES ARE TO HAVE A MIN. RATING OF R-49
3. ALL FLOOR SPACES OVER UNCONDITIONED SPACE OR CANTILEVERED ARE TO BE INSULATED TO MIN R-30.

1. ALL CEILINGS ARE TO HAVE 1/2" NON -SAG GYPSUM BOARD UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE TO HAVE 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED.

1. ALL ELECTRICAL AND MECHANICAL EQUIPMENT TO BE VERIFIED AND INSTALLED PER CODE BY APPROVED TRADES AND INSTALLERS.
2. HVAC CONTRACTOR TO VERIFY LAYOUT FOR DUCT-RUNS BEFORE INSTALLATION. IF MODIFICATION IS REQUIRED, REPORT INFORMATION/CHANGES TO CONTRACTOR.



TWO STORY
SLAB ON GRADE
Upper Level Plan

Project number	Project Number
Date	08/23/2022
Drawn by	SWK
Checked by	Checker
A5	
Scale	1/4" = 1'-0"



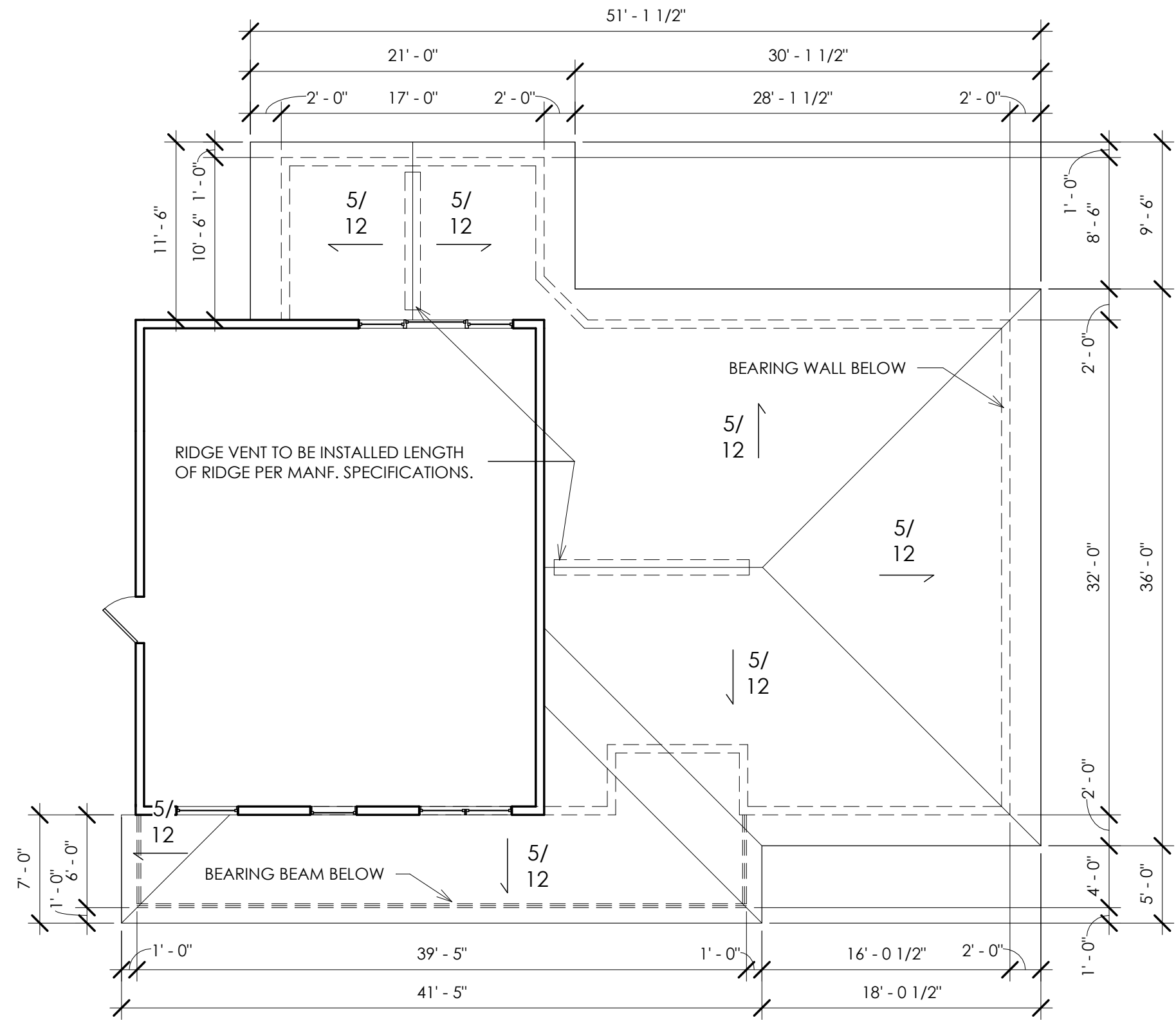
NEWPORT

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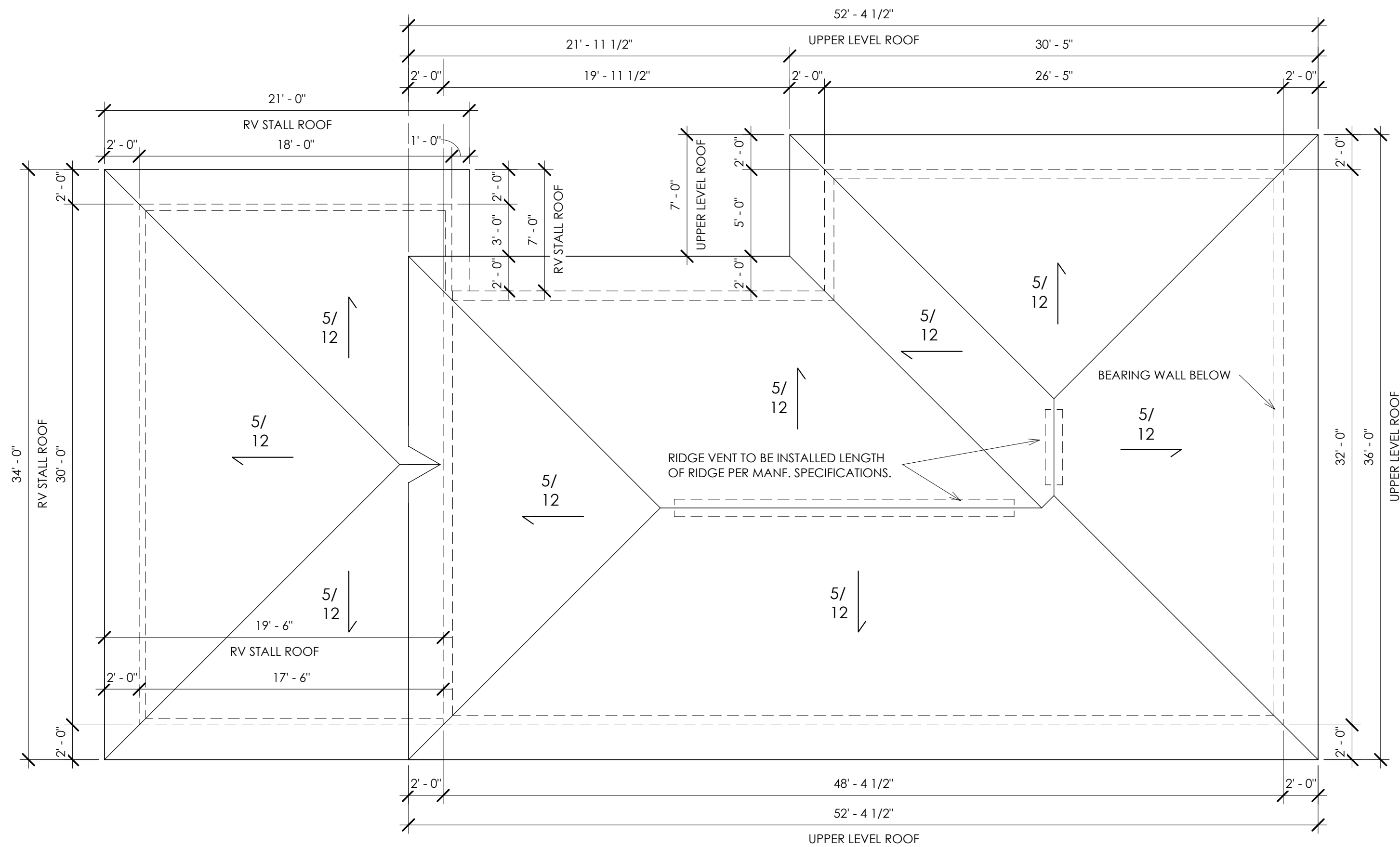
TWO STORY
SLAB ON GRADE

Roof Plan

Project number	Project Number
Date	08/23/2022
Drawn by	SWK
Checked by	Checker
A6	
Scale	As indicated



① Main Level Roof Plan
1/8" = 1'-0"



Upper Level Roof Plan
② $\frac{3}{16}'' = 1'-0''$



NEWPORT

TWO STORY SLAB ON GRADE Building Sections

23/2022 6:23:15 AM