

# REZONING APPLICATION

## TOWN OF MINT HILL

Complete All Fields

Office Use Only

Petition #: \_\_\_\_\_

Date Filed: \_\_\_\_\_

Received By: \_\_\_\_\_

### OWNERSHIP INFORMATION:

Property Owner: MINT HILL OUTPARCELS, LLC Date Property Acquired: 09/03/2004

Owner's Address: 610 E. MOREHEAD ST. SUITE 100

CHARLOTTE, NC 28202

Utilities Provided: ☐ Individual Well or ☒ CMUD Water or ☐ Community Well -AND- ☒ CMUD Sewer or ☐ Community Sewer or ☐ Septic

LOCATION OF PROPERTY (Address or Description): 7028 BRIGHTON PARK DRIVE

Tax Parcel Number(s): 13538173

Current Land Use: VACANT LAND

Size (Sq.Ft. or Acres): 30,529.60

ZONING REQUEST: Existing Zoning: GB BUREAU JURY "B" Proposed Zoning: GB BUREAU JURY "B" same "B"

Purpose of Zoning Change: CONDITIONAL DISTRICT REZONING REQUIRED

MINT HILL OUTPARCELS, LLC  
BY ASTON PROPERTIES, INC., ITS MANAGER

Name of Property Owner

610 EAST MOREHEAD ST. SUITE 100

CHARLOTTE, NC 28202

Address of Owner

City, State, Zip

704-366-7337

Telephone Number

ZW GREEN@ASTONPROP.COM

E-Mail Address

Signature of Property Owner

(Complete if Applicant is other than Property Owner)

GEMCAP PROPERTIES, LLC

Name of Applicant

803 TRADE STREET

Address of Applicant

WINSTON-SALEM, NC 27101

City, State, Zip

336-724-0153

Telephone Number

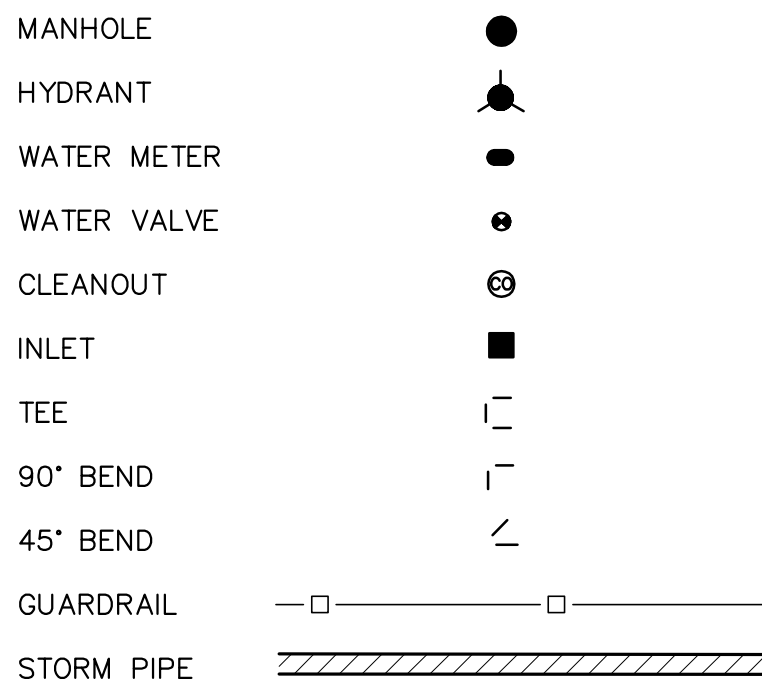
GEORGE@GEM-CAP.COM

E-Mail Address

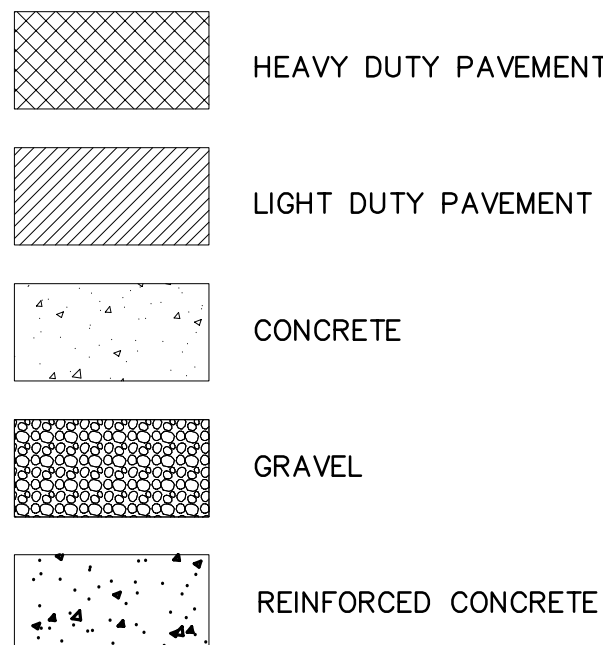
Signature of Applicant



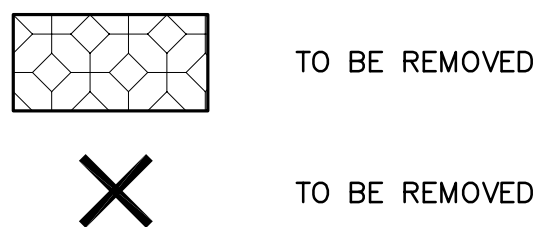
### PROPOSED LEGEND



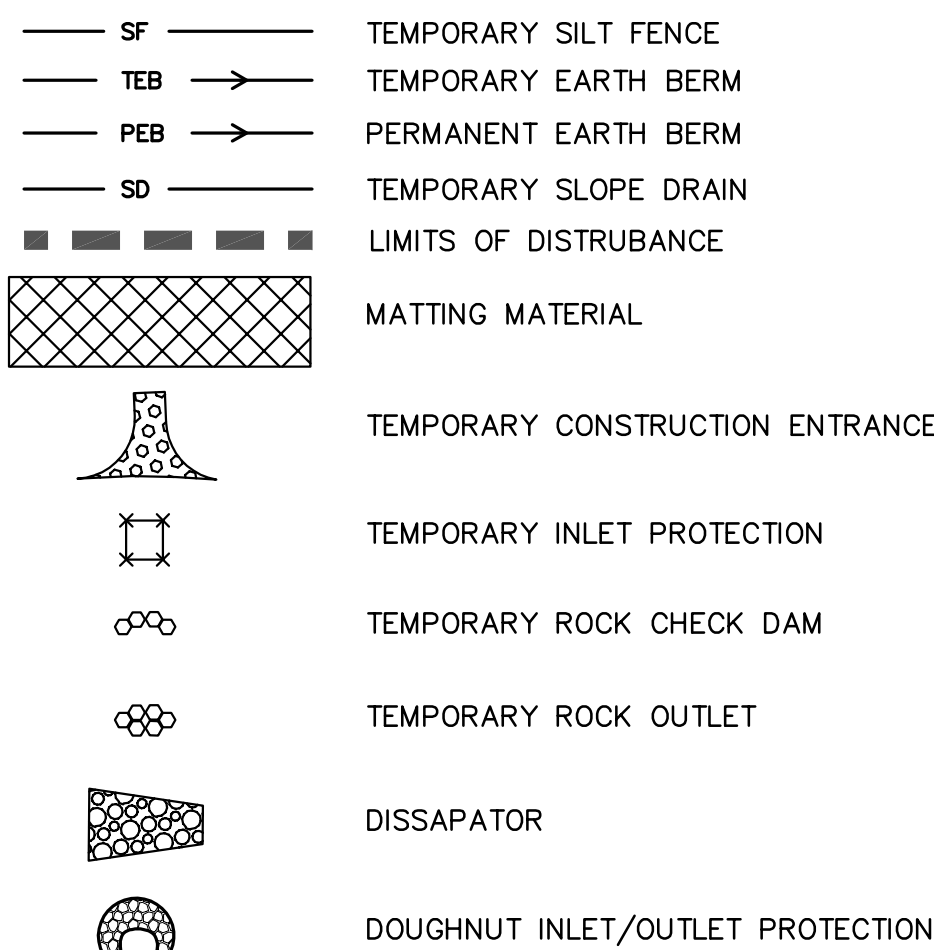
### PAVEMENT HATCHING LEGEND



### DEMOLITION LEGEND



EROSION CONTROL LEGEND



VICINITY MAP  
NOT TO SCALE

## STORMWATER DESIGN INFORMATION

EXISTING SITE AREA =1.16 ACRES (50529.6 SF)  
EXISTING IMPRERVIOUS AREA= 0 SF  
PROPOSED IMPRERVIOUS  
BUILDING AREA=6002 SF  
SIDEWALK AREA=3506 SF  
PAVEMENT AREA=20,084 SF  
PROPOSED IMPRERVIOUS TOTAL 29,592 SF(0.67 ACRES) 57.8%

## GENERAL UTILITY NOTES:

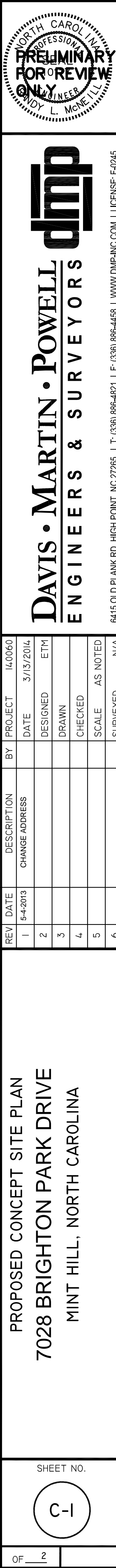
1. ALL UTILITY (WATER/SEWER) CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS OF MECKLENBURG COUNTY.
2. ALL PROPOSED WATER IMPROVEMENTS FROM THE WATER MAIN TO THE WITHIN 5' OF THE BUILDING SHALL BE INSTALLED BY THE GENERAL CONTRACTOR'S UTILITY CONTRACTOR.
3. ALL WATER MATERIAL SHALL BE DUCTILE IRON PIPE.
4. ALL HYDRANT LOCATIONS SHALL BE COORDINATED WITH THE LOCAL FIRE MARSHALL PRIOR TO INSTALLATION.
5. FIRE LINES SHALL BE INSTALLED BY THE UTILITY CONTRACTOR TO THE INSIDE OF THE BUILDING AND STUBBED UP 1' ABOVE FINISH FLOOR.
6. ALL WATER PIPING SHALL HAVE A MINIMUM COVER OF 36 INCHES. BURIED MAGNETIC WARNING TAPE SHALL BE LOCATED 6" ABOVE THE WATER LINE AND 12" BELOW GRADE.
7. BLUE TRACER WIRE SHALL BE INSTALLED ON ALL WATER LINES OUTSIDE OF BUILDING.
8. ALL SANITARY SEWER PIPE SHALL BE DUCTILE IRON.
9. GENERAL CONTRACTOR SHALL COORDINATE BETWEEN THE UTILITY CONTRACTOR AND THE BUILDING PLUMBING CONTRACTOR ALL INVERT ELEVATIONS AND LOCATIONS PRIOR TO BEGINNING WORK
10. ALL SANITARY SEWER PIPING SHALL HAVE BURIED MAGNETIC WARNING TAPE 6" ABOVE THE PIPE AND 12" BELOW GRADE.
11. MINIMUM SLOPE FOR SANITARY SEWER LATERAL SHALL BE 2% FOR 4" LATERALS AND 1% FOR 6" LATERALS
12. SANITARY SEWER SHALL HAVE CLEANOUTS WITH VERTICAL STACKS TO GRADE AT ALL BENDS AND AT 50' O.C. INTERVALS ON STRAIGHT SECTIONS
13. ALL EXTERIOR ROOF DRAIN/DOWNSPOUT PIPING INDICATED TO BE PIPED, SHALL BE DONE BY THE UTILITY CONTRACTOR.
14. ALL ROOF DRAIN/DOWNSPOUT PIPING SHALL BE SCHEDULE 40 PVC PIPING. SEE PLAN FOR SIZES.
15. ALL ROOF DRAIN/DOWNSPOUT PIPING SHALL HAVE CLEANOUTS WITH VERTICAL STACKS TO GRADE AT ALL BENDS AND AT 75' O.C. INTERVALS ON STRAIGHT SECTIONS.
16. ALL CLEANOUTS SHALL BE INSTALLED WITHIN A CONCRETE COLLAR AT GRADE.
17. ANY CLEANOUTS LOCATED WITHIN ASPHALT OR CONCRETE AREAS, SHALL BE INSTALLED WITH A BRASS COVER.

GENERAL NOTES:

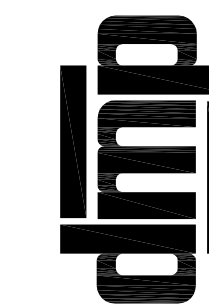
1. OWNER: GEMCAP PROPERTIES, LLC  
803 TRADE STREET, WINSTON-SALEM NC 27101  
(336) 724-0153
2. ADDRESS OF SITE 7028 BRIGHTON PARK DR  
MINT HILL, NC  
13538173
3. PARCEL ID: 13538173
4. DEED BOOK/PG MAP BOOK 40 PAGE 871
5. CURRENT ZONING GENERAL BUSINESS DOWNTOWN OVERLAY DISTRICT B
6. PROPOSED ZONING CONDITIONAL DISTRICT REZONING REQUIRED
7. AREA OF TRACT 1.16 ACRES
8. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM MAPS BY OTHERS (DETAIL SITE SURVEY IN PROGRESS)
9. THIS PROPERTY IS/IS NOT LOCATED WITHIN A DETAILED FLOOD HAZARD AREA AS SCALED FROM MAPS BY FEMA DATED MARCH 2, 2009. SEE COMMUNITY PANEL #3710550200K
10. UNDERGROUND UTILITIES WHERE NOT DISCERNABLE BY SURFACE APPURTENANCES (MANHOLES, VALVES, CATCH BASINS, ETC?) ARE TO BE SHOWN PER INFORMATION OBTAINED FROM ENGINEERING PLANS, UTILITY ENTITIES, SITE PLANS, AND OTHERS. SIZE AND LOCATIONS SHOULD BE CONSIDERED APPROXIMATE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES. CONTRACTOR SHALL EXPLORE AHEAD OF ALL WORK TO VERIFY UTILITY LOCATIONS. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NOT ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL COORDINATE REMOVAL OF ANY UTILITY WITH THE UTILITY PROVIDER.
13. CONTRACTOR SHALL COORDINATE WITH THE UTILITY PROVIDER ANY NEW SERVICE (ELECTRICAL, GAS, TELEPHONE, SANITARY, ETC?)
14. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM SITE AND DISPOSED OF IN AN APPROVED CONSTRUCTION DEBRIS LANDFILL. NO MATERIAL WILL BE ALLOWED TO BE BURIED ON SITE.
15. CONTRACTOR SHALL BE REQUIRED TO PROVIDE A SIGNED AND SEALED SURVEY FROM A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF NORTH CAROLINA AN ASBUILT SURVEY OF:  
a. WATER LINE, VALVES, BENDS, HYDRANTS, TEES METERS, BACKFLOW PREVENTION DEVICES,  
b. SEWER LINE MANHOLES, INVERTS, CLEANOUTS  
c. STORMWATER SYSTEM CATCH BASINS, INVERTS  
d. STORMWATER BEST MANAGEMENT PRACTICE SUCH AS BIO-RETENTION AREAS AND RETENTION PONDS INCLUDING BUT NOT LIMITED TO TOPOGRAPHIC SURVEY, DETAILED SURVEY OF DRAWDOWN DECEIVE.
16. ASBUILT SURVEY WILL BE NEEDED PRIOR TO ANY PARTIAL OR FINAL CERTIFICATIONS FOR WATER, SEWER, OR STORMWATER BEST MANAGEMENT PRACTICE.
17. ALL RETAINING WALLS SHALL BE ENGINEERED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NORTH CAROLINA.
18. OFFSITE SUITABLE BACKFILL MATERIAL FOR RETAINING WALLS IS CONSIDERED PART OF THE WALL. SHOULD THE CONTRACTOR DESIRE TO USE ONSITE MATERIAL, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CONFIRMATION WITH A GEOTECHNICAL ENGINEER THAT THE ONSITE MATERIAL MEETS ALL DESIGN CRITERIA/ASSUMPTIONS PER THE DESIGN.
19. ALL RETAINING WALLS OVER 30" IN HEIGHT SHALL HAVE A 4' HIGH MINIMUM CHAIN LINK FENCE AT THE TOP OF THE WALL.
20. SETBACKS FRONT: 0 to 25 FEET  
SIDE: 0 FT  
REAR: 20 FT
21. REQUIRED PARKING RETAIL SPACE 1 PER 250 SF, RESTAURANT 1 PER 4 SEATS  
RETAIL SPACE 3860 SF/250 = 15, RESTAURANT 60 SEATS/4=15 SPACES  
31 TOTAL SPACES REQUIRED
22. PROVIDED PARKING 33 SPACES  
2 HANDICAP SPACES (1 VAN ACCESSIBLE)  
35 TOTAL SPACES PROVIDED

GENERAL EROSION CONTROL/GRADING NOTES:

1. CONTRACTOR SHALL SET UP A PRE-GRADING MEETING WITH THE ENGINEER, EROSION CONTROL INSPECTOR, GRADING CONTRACTOR AND OWNER PRIOR TO STARTING WORK. THE CONTRACTOR WILL RECEIVE THE GRADING PERMIT AT THIS MEETING.
2. THE EROSION CONTROL PERMIT WILL BE ISSUED BY THE COUNTY OF MECKLENBURG
3. CONTACT
4. ALL GRADES REPRESENT THE FINAL GRADE WITH NO ADJUSTMENTS FOR TOPSOIL.
5. ANY TOPSOIL ON SITE SHALL BE STRIPED AND STOCKPILED FOR FUTURE USE AROUND BUILDINGS, LANDSCAPE ISLANDS ETC. TOPSOIL SHALL BE SCREENED TO REMOVE ROCK AND WOODY DEBRIS PRIOR TO USAGE.
6. ALL SLOPES SHALL BE SEEDED IMMEDIATELY AFTER REACHING FINAL GRADE. PERIMETER BERMS AND SLOPES 3:1 OR STEEPER SHALL BE SEEDED WITHIN 7 DAYS OF REACHING FINAL GRADE. ALL OTHER SLOPES SHALL BE SEEDED WITHIN 14 DAYS OF REACHING FINAL GRADE. AREAS THAT HAVE BEEN DISTURBED AND WORK IS SUSPENDED IN THAT AREA FOR MORE THAN 14 DAYS, SHALL BE SEEDED. INSPECT SLOPES FOR EROSION AND REPAIR BY INSTALLING MATTING MATERIAL ON SLOPES THAT ROUTINELY EXPERIENCE EROSION PROBLEMS PRIOR TO PERMANENT VEGETATION ESTABLISHMENT.
7. EROSION CONTROL MEASURES INDICATED ARE SHOWN IN APPROXIMATE LOCATIONS. SLIGHT FIELD ADJUSTMENTS SHOULD BE EXPECTED TO INSURE SEDIMENT BASINS, BERMS, AND OTHER EROSION CONTROL FEATURES FUNCTION TO MAXIMUM EFFICIENCIES.
8. ALL EROSION CONTROL MATERIALS MUST BE ON SITE PRIOR TO BEGINNING CONSTRUCTION. I.E. BUT NOT LIMITED TO RISER/BARREL, SILT FENCING, ETC...
9. ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN ON THIS PLAN MAY BE REQUIRED TO INSURE NO SEDIMENT LEAVES THE SITE. THE CONTRACTOR IS EXPECTED TO NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY IF THEY FEEL ADDITIONAL MEASURES ARE NEEDED.
10. THE CONTRACTOR MUST COMPLY WITH ALL PROVISIONS OF THE NORTH CAROLINA GENERAL STORMWATER PERMIT FOR LAND DISTURBING CONSTRUCTION ACTIVITIES. AS OF MARCH 10, 2003, ALL CONSTRUCTION SITES ONE (1) ACRE OR MORE, REQUIRES A NPDES PERMIT THEREFORE:
  - a. WRITTEN DOCUMENTATION OF A DEVIATION FROM APPROVED PLAN MUST BE NOTED ON THE APPROVED PLANS.
  - b. WRITTEN DOCUMENTATION OF AN EMERGENCY SITUATION WHERE SEDIMENT HAS BEEN DISCHARGED OFF SITE MUST BE RECORDED. ALSO, CONTRACTOR'S ACTIONS TO REPAIR AND RETURN AREA TO PRE-STORM CONDITION MUST BE RECORDED.
  - c. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENTATION CONTROL FACILITIES EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A .5 INCH OF RAIN. FINDINGS SHALL BE RECORDED AND PRESENTED UPON INSPECTOR'S REQUEST.
  - d. THE CONTRACTOR SHALL PROVIDE RAIN-RECORDING DEVICE AND RECORD EACH RAINFALL.
  - e. ANY FAILURE THAT CAUSE VISIBLE SEDIMENTATION TO LEAVE THE APPROVED DISTURBED LIMITS SHALL BE CORRECTED IMMEDIATELY AND DOCUMENTED.
  - f. A COPY OF THE NPDES PERMIT SHOULD BE KEPT ON SITE FOR REFERENCE.
10. A NEW SELF-INSPECTION PROGRAM FOR ALL LAND-DISTURBING ACTIVITIES LARGER THAN ONE (1) ACRE BECAME EFFECTIVE OCTOBER 1, 2010 AS PER GS 113A-54.1(E). THIS GENERAL STATUTE DIRECTS ALL PERSONS CONDUCTING LAND-DISTURBING ACTIVITIES LARGER THAN ONE (1) ACRE TO INSPECT THEIR PROJECT AFTER COMPLETING EACH PHASE OF THE PROJECT, AND DOCUMENT THE INSPECTION IN WRITING. A DETAILED EXPLANATION MAY BE VIEWED AT NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES (DENR), DIVISION OF LAND RESOURCES' WEB-SITE AT [HTTP://WWW.DLRR.DNR.STATE.NC.US/PAGES/SEDIMENTATION\\_NEW-HTML](http://www.dlrr.dnr.state.nc.us/PAGES/SEDIMENTATION_NEW-HTML).
11. AS OF AUGUST 3, 2011, REVISIONS WERE MADE TO THE NORTH CAROLINA DIVISION OF WATER QUALITY (DWQ) CONSTRUCTION EROSION PERMIT (NC001) WITH EMPHASIS ON GROUND STABILIZATION, BUILDING WASTE HANDLING, INSPECTIONS, CONDITIONS IN THE EROSION AND SEDIMENTATION CONTROL PLANS AND SEDIMENT BASINS. A DETAILED EXPLANATION MAY BE VIEWED AT [HTTP://PORTAL.NCENR.ORG/WEB/WQ/WS/SU/CONSTRUCTION](http://PORTAL.NCENR.ORG/WEB/WQ/WS/SU/CONSTRUCTION).
12. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSPECTION/MAINTENANCE AND REPAIR OF ALL EROSION CONTROL MEASURES UNTIL THE PROJECT IS COMPLETE.
13. CONTRACTOR SHALL EXPLORE FOR ON-SITE MATERIAL TO REPLACE ANY UNSUITABLE MATERIAL ENCOUNTERED. THIS TASK SHALL OCCUR IMMEDIATELY FOLLOWING THE CLEARING OPERATION. THE DESIGNATED GEO-TECH COMPANY WILL PROVIDE ASSISTANCE.
14. TOP SOIL CAN BE STOCKPILED WHEN SHOWN ON PLAN. STOCKPILE WILL REQUIRE SILT FENCES AND BERMS FOR EROSION CONTROL. FIELDS SHALL BE ROUGH GRADED PRIOR TO STOCKPIILING. ANY EXCESS SOIL IS THE PROPERTY OF OWNER. SOIL SHALL BE STOCKPIILED IN INDICATED AREAS, SEEDED AND SILT FENCE SHALL BE ADDED ON THE LOW SIDE OF THE STOCKPILE. CONFIRM LOCATION OF STOCKPILE WITH OWNER.
15. CONTRACTOR SHALL VERIFY ALL CURBING AND PARKING GRADES MANUALLY PRIOR TO INSTALLATION. ANY ADJUSTMENTS SHALL BE MADE AT THIS TIME TO PROVIDE ADEQUATE DRAINAGE. CONTACT THE SITE ENGINEER IMMEDIATELY FOR RECOMMENDATIONS.
16. CONTRACTOR WILL BE RESPONSIBLE FOR SCARIFYING THE SOIL, AS NECESSARY FOR ADEQUATE USAGE WITH NO ADDITIONAL COST TO THE OWNER.
17. ALL DITCHES GREATER THAN 2% SHALL HAVE EXCELSIOR MATTING INSTALLED.
18. ALL EROSION CONTROL DEVICES ARE TO REMAIN IN PLACE UNTIL SITE IS PROPERLY STABILIZED WITH SUFFICIENT GROUND COVER. GROUND COVER MUST BE MAINTAINED TO A DEGREE THAT PREVENTS SOIL EROSION AND SEDIMENTATION AT ALL TIMES.
19. CONTRACTOR SHALL CALL FOR AN INSPECTION PRIOR TO REMOVING ANY EROSION CONTROL DEVICES. REMOVAL OF EROSION CONTROL DEVICES SHALL OCCUR ONLY UPON RECEIPT OF APPROVAL FROM EROSION CONTROL INSPECTOR. ANY MODIFICATIONS TO THE APPROVED PLANS MUST BE PRE-APPROVED AND DOCUMENTED ON THE SELF-INSPECTION FORMS.
20. AFTER INSPECTION FOR SUFFICIENT GROUND COVER AND THE SITE'S COVER IS APPROVED, CONTRACTOR SHALL REMOVE THE SEDIMENT THAT HAS COLLECTED FROM THE EROSION CONTROL DEVICES AND GRADE THE AREA(S) WHERE THE MEASURES WERE INSTALLED TO FINAL ELEVATIONS AND STABILIZE.
21. ALL EROSION CONTROL MEASURES MUST CONFORM TO THE LATEST STANDARDS FOUND IN THE EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES.







**DAVIS • MARTIN • POWELL**  
**ENGINEERS & SURVEYORS**

8345 OLD FASHION BLVD. SUITE 100, DALLAS, TX 75243  
 TEL: (214) 343-1111 FAX: (214) 343-1112  
 WWW.DNDINC.COM

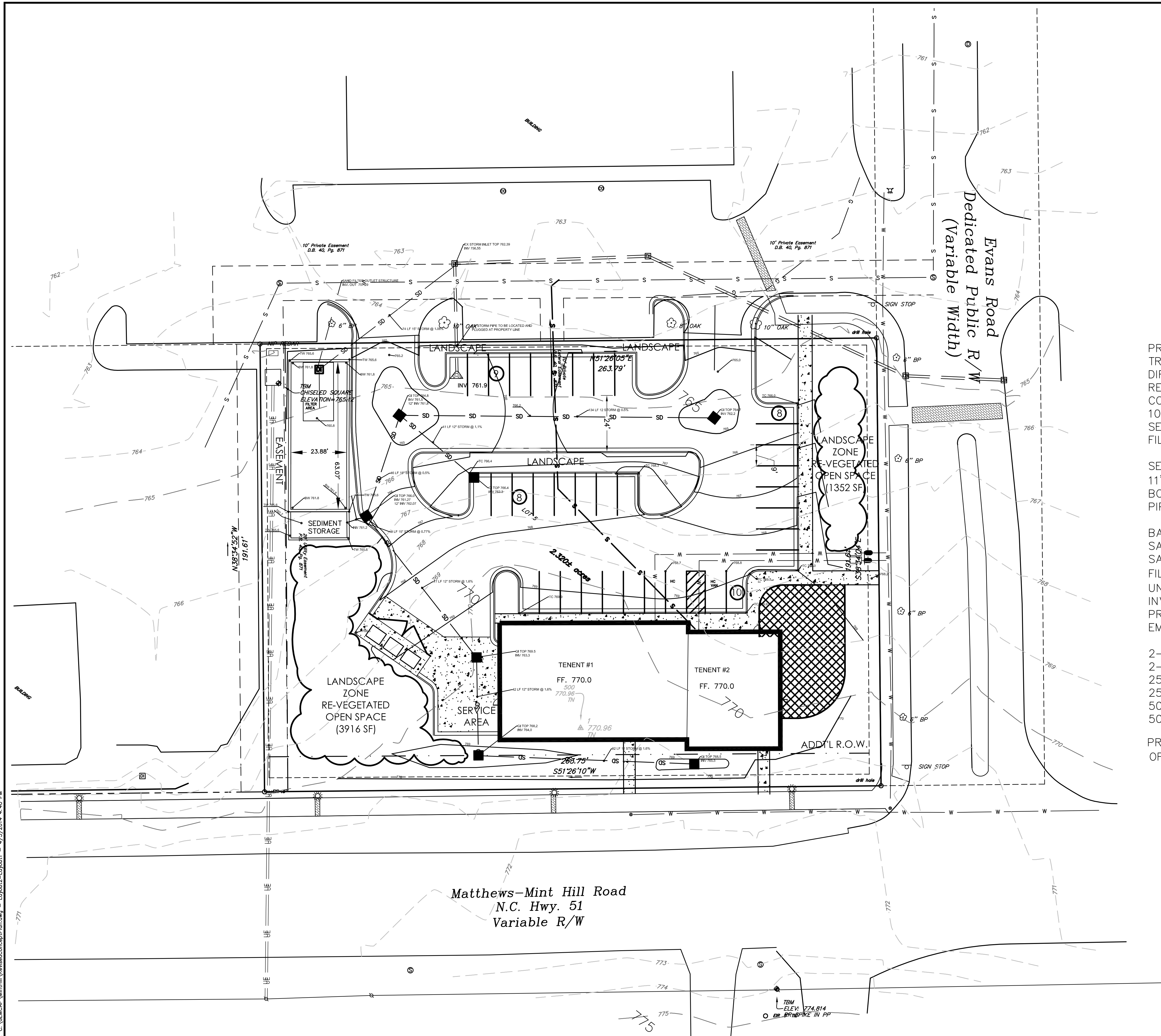
REV	DATE	DESCRIPTION	BY	PROJECT	140058
1	4/5/14	MECK. STORM REV		DATE	APRIL 2014
2				DESIGNED	ETM
3				DRAWN	
4				CHECKED	RLM
5				SCALE	AS NOTED

PROPOSED CONCEPT PLAN  
7028 BRIGHTON PARK DRIVE  
MINT HILL, NORTH CAROLINA

SHEET NO

C-

OF 2



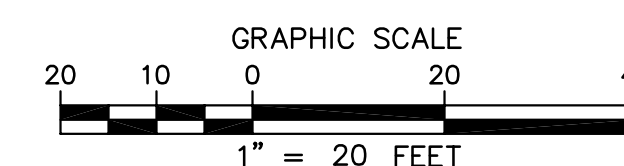
PROPOSED SAND FILTER TO  
TREAT WATER QUALITY AND TO RETAIN THE  
DIFFERENCE BETWEEN 1YR PRE AND POST DEV. FLOW  
RELEASE 1YR=24 HOUR STORM OVER 24-120 HOURS  
CONTROL PEAK FLOW FOR  
10 AND 25 YEAR 6-HOUR STORM  
SEDIMENT STORAGE AREA=267 SF x 1.8 Ft = 480 CF  
FILTER AREA=325 SF

SEDIMENT FOREBAY AREA  
11' x 24'  
BOTTOM ELEVATION=760.7  
PIPE INVERT=761.2

BAFFLE ELEVATION=762.5  
SAND FILTER - 25 x 13=325 SF  
SAND FILTER SURFACE ELEVATION=760.8  
FILTER MEDIA DEPTH 30"  
UNDERDRAIN DEPTH 12"  
INVERT OUT OF UNDERDRAIN=757.29  
PRIMARY OVERFLOW SPILLWAY EL=763.7  
EMERGENCY OVERFLOW SPILLWAY = 764.9

2-YEAR WATER LEVEL=763.80  
2-YEAR OUTFLOW=0.2 CFS  
25-YEAR PRE-DEVELOPMENT FLOW=1.7 CFS  
25-YEAR POST-DEVELOPMENT FLOW=0.8 CFS  
50-YEAR PRE-DEVELOPMENT FLOW=2.2 CFS  
50-YEAR POST-DEVELOPMENT FLOW=1.8 CFS

PROPOSED SAND FILTER TO BE CONSTRUCTED  
OF CAST IN PLACE CONCRETE







\*View from corner of Matthews Mint Hill Road & Evans Road

6835 Matthews Mint Hill Road Rezoning Application: [conceptual rendering 1](#) 4.14.2014





\*View from Evans Road heading toward Matthews Mint Hill Road

6835 Matthews Mint Hill Road Rezoning Application: [conceptual rendering 2](#) 4.14.2014





6835 Matthews Mint Hill Road Rezoning Application: south elevation 4.14.2014



\*Window treatments proposed at window/door assemblies (identified in the highlighted yellow boxes) as an exception to the Downtown Mint Hill Overlay Code, Section 2.A.1, requiring that “street level windows shall be visually permeable”. Proposed window treatments would result in an appearance similar to “frosted glass”, allowing light penetration but providing privacy to back of house employee and equipment areas.

6835 Matthews Mint Hill Road Rezoning Application: south elevation 4.14.2014





6835 Matthews Mint Hill Road Rezoning Application: **east elevation** 4.14.2014









\*Landscaping and decorative fence proposed to screen service side of building.

6835 Matthews Mint Hill Road Rezoning Application: west elevation 4.14.2014