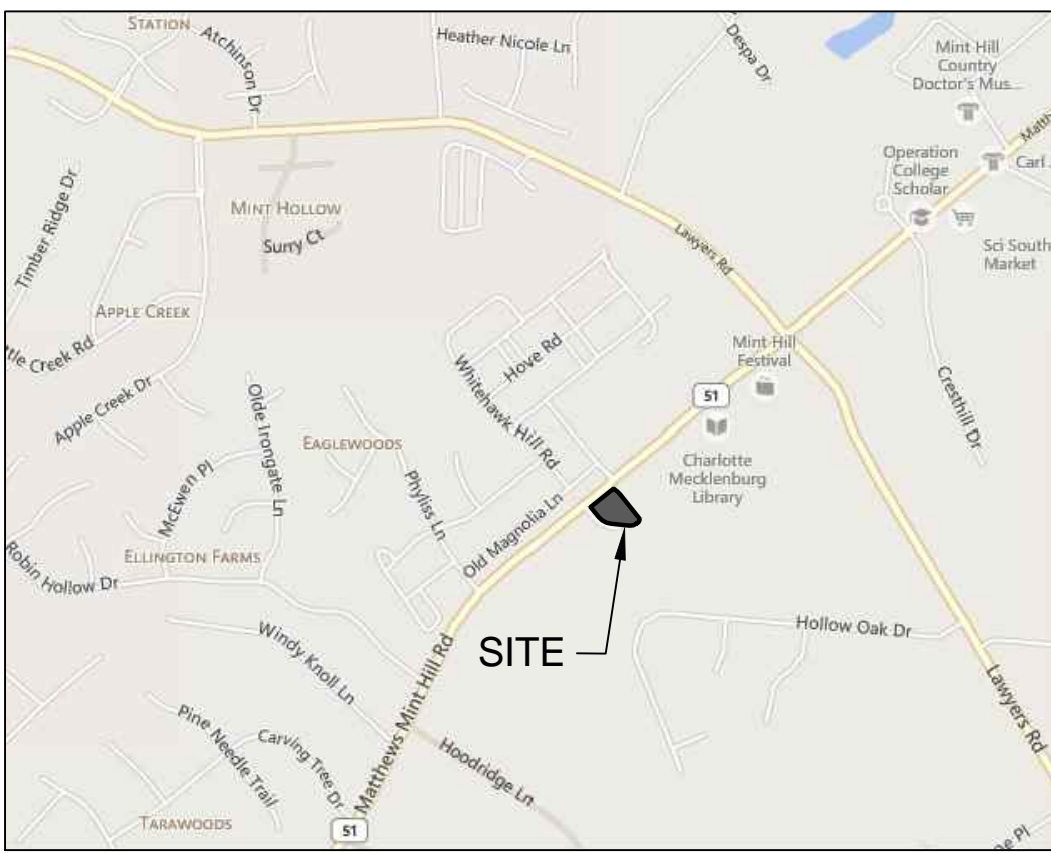


Approved By
Board of Commissioners
1/8/2015



LOCATION MAP
SCALE: NTS

PROJECT NOTES:

OWNER / DEVELOPER:
M&T DEVELOPMENT, LLC.
1040 Founders Boulevard
Athens, GA 30606
Contact: Kathy Brooks
Tel: (706) 353-8107

ENGINEER:
Carter Engineering Consultants, Inc.
1551 Jennings Mill Rd. Building 500 Suite B
Bogart, GA 30622
Contact: Jeff Carter, P.E.
jeff@carterengineering.net
Tel: (706) 559-7430

Property located at Outparcel #1 of Mint Hill Commons, City of Mint Hill,
Mecklenburg County, North Carolina

PROJECT INFORMATION:

Size of proposed building = 3,847 s.f.
Total size of property = 1.15 acres (50,094 s.f.)
Mecklenburg County Tax Parcel Number: 195-182-31
Zoning District: B-G DO-B
Zoning District of adjoining properties: B-G DO-B & O-A DO-B (CUD)
Existing Use: Vacant
Existing Vegetation: Grass and exposed soil (Seeded)
Total Impervious Area = 0.537 acres (23,396 s.f. - 46.70%)
Building Height = 22' Minimum (See Architectural Plans)
Setbacks: Front- 0'
Side- 0'
Rear- 20'
Proposed Utilities: Gas, Power, Public Water,
Public Sanitary Sewer, Telephone

Parking Calculations
TOTAL PARKING SPACES REQUIRED
(1 spaces per 4 seats)
90 seats / 4 spaces (Interior)
15 seats / 4 spaces (Plaza)
26.5 spaces minimum required
MAXIMUM PARKING SPACES ALLOWED
26.5 x 150% = 39.75 spaces
TOTAL PARKING SPACES PROVIDED
39 spaces
(2 handicap spaces provided)

UNDERGROUND UTILITIES DISCLAIMER

Information regarding the reputed presence, size, character and location of existing underground utilities and structures related to underground utilities is shown hereon. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures related to underground utilities shown hereon may be inaccurate and utilities and structures related to underground utilities not shown may be encountered. The owner, his employees, his consultants and his contractors shall hereby distinctly understand that the surveyor is not responsible for the correctness or sufficiency of this information regarding the underground utilities and structures related to underground utilities shown hereon.

FLOOD CERTIFICATION
THIS IS TO CERTIFY THAT THE PROPERTY SHOWN ON THIS PLAT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, COMMUNITY NUMBER 371055-0200-J, DATED MARCH 2, 2009.

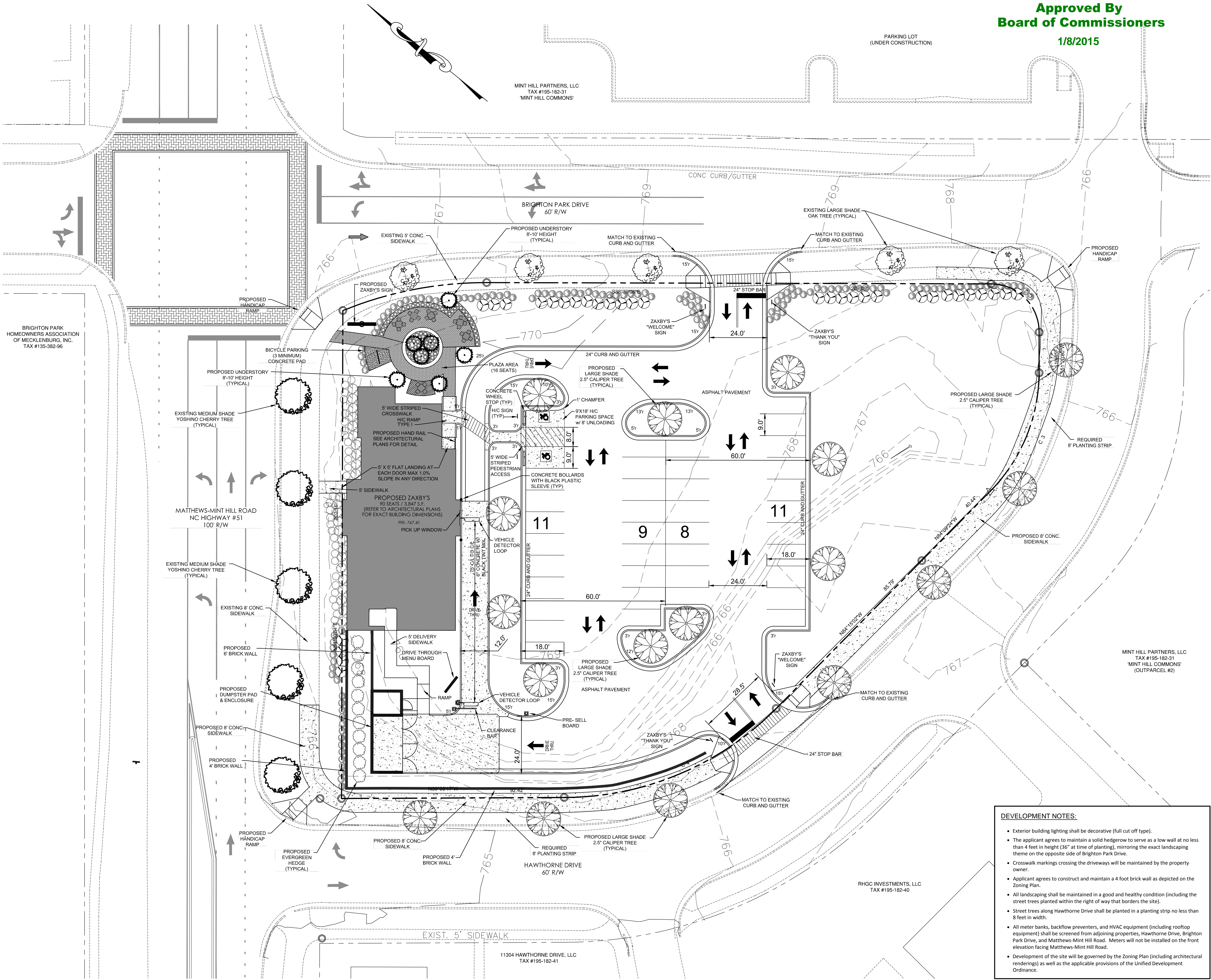
DEVELOPMENT NOTES:

- Exterior building lighting shall be decorative (full cut off type).
- The applicant agrees to maintain a solid hedgerow to serve as a low wall at no less than 4 feet in height (36" at time of planting), mirroring the exact landscaping theme on the opposite side of Brighton Park Drive.
- Crosswalk markings crossing the driveways will be maintained by the property owner.
- Applicant agrees to construct and maintain a 4 foot brick wall as depicted on the Zoning Plan.
- All landscaping shall be maintained in a good and healthy condition (including the street trees planted within the right of way that borders the site).
- Street trees along Hawthorne Drive shall be planted in a planting strip no less than 8 feet in width.
- All meter banks, backflow preventers, and HVAC equipment (including rooftop equipment) shall be screened from adjoining properties, Hawthorne Drive, Brighton Park Drive, and Matthews-Mint Hill Road. Meters will not be installed on the front elevation facing Matthews-Mint Hill Road.
- Development of the site will be governed by the Zoning Plan (including architectural renderings) as well as the applicable provisions of the Unified Development Ordinance.

PLAZA AREA:

SEATING: 16 SITTING SPACES (4 TABLES)

PLAZA AREA CONTAINS:
1. SITTING SPACE
2. TREES
3. OUTDOOR EATING AREA



CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	61.08	157.00	60.70	S49°47'51"E
C2	31.33	20.00	28.22	N06°20'56"E
C3	54.36	70.00	53.01	N73°35'43"E
C4	97.81	124.00	95.30	N61°39'09"W

Proposed Tree Key:

Large Shade Tree
-Oaks, Elms, etc.

Proposed Tree Key:

Evergreen Hedge
-Savannah Holly, Cedar, Cypress, etc.

Existing Tree Key:

Large Shade Tree
-Oak

Medium Shade Tree
-Yoshino Cherry

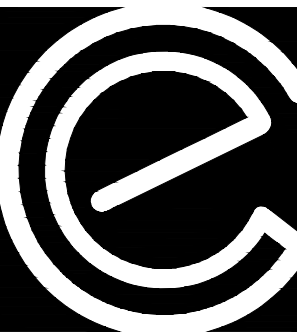
Understory Tree
-Crape Myrtle, Dogwood, etc.



GRAPHIC SCALE
SCALE 1" = 20'

REVISION BLOCK:

#	DATE	DESCRIPTION
A	10/06/14	CITY OF MINT HILL SUBMITTAL
B	11/14/14	CITY OF MINT HILL COMMENTS
C	02/24/15	ADDITION OF DEVELOPMENT NOTES



CARTER
ENGINEERING
CONSULTANTS

Carter Engineering Consultants, Inc.
1551 Jennings Mill Rd
Building 500, Suite B
Bogart, GA 30622
NC License Number - C-3928
P: 706.559.7430
F: 706.559.7435
www.carterengineering.net

SITE DEVELOPMENT PLANS

for
M&T DEVELOPMENT, LLC
OUTPARCEL #1, MINT HILL COMMONS, MINT HILL, NORTH CAROLINA

PROJECT NAME:



SHEET TITLE:

SKETCH PLAN
SITE LAYOUT

SHEET NUMBER:

2

PROJECT NUMBER:

14903ZAX

DATE:

10/06/14

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