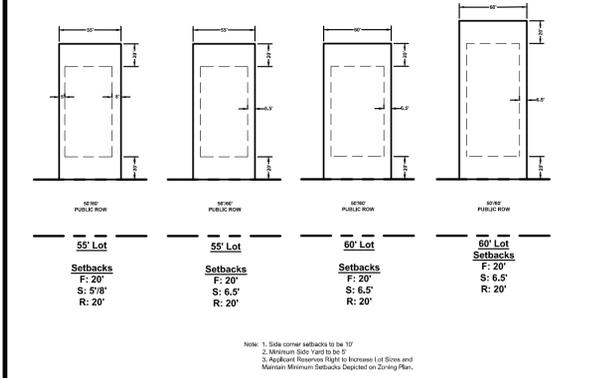




VICINITY MAP  
Not to Scale

Adjacent Property Owners within 200' of the Property						
PID #	Owner Name	Address	City	State	Zip	
1	13902197	J S HELMS FAMILY PROPERTIES LLC	11903 ALBEMARLE RD	CHARLOTTE	NC	28227
2	13902123	JAMES R JR LEE & LINDA F LEE	PO BOX 545	INDIAN TRAIL	NC	28079
3	13902106	RANSON AND MARTHA LEE LLC	PO BOX 545	INDIAN TRAIL	NC	28079
4	13902107	JOAN F SLOAN	5709 CHALYCE LN	CHARLOTTE	NC	28270
5	13902110	JAMES D CARTER	5731 MATTHEWS-MINT HILL RD	CHARLOTTE	NC	28227
6	13905101	DUJIN FAMILY LLC	4514 WILGROVE-MINT HILL RD	CHARLOTTE	NC	28227
7	13905129	JOHN A MCCASKILL & DONNA M MCCASKILL	3927 CHERRYBROOK DR	CHARLOTTE	NC	28227
8	13905130	STEPHEN B WILLOUGHBY & EILEEN P WILLOUGHBY	3935 CHERRYBROOK DR	CHARLOTTE	NC	28227
9	13905131	SCOTT M MACEY & SARAH E MACEY	4001 CHERRYBROOK DR	CHARLOTTE	NC	28227
10	13905132	J S HELMS FAMILY PROPERTIES LLC	11903 ALBEMARLE RD	CHARLOTTE	NC	28227
11	13905133	RICHARD L KAHL	4017 CHERRYBROOK DR	CHARLOTTE	NC	28227
12	13901135	JERRY G CONNELL & LINDA K CONNELL	8742 BLAIR ROAD	CHARLOTTE	NC	28227
13	13901124	J S HELMS FAMILY PROPERTIES LLC	11903 ALBEMARLE RD	CHARLOTTE	NC	28227
14	13901306	KELLY YOUNG	8309 JEFFERSON COLONY RD	MINT HILL	NC	28227
15	13901307	RALPH S ROSS & KATRINA ROSS	8743 SCARSDALE DR	CHARLOTTE	NC	28227
16	13901308	BEVERLY FUDNEY & TIMOTHY FUDNEY	PO BOX 691367	MINT HILL	NC	28227
17	13901601	JIAS INVESTMENTS LLC	PO BOX 691367	CHARLOTTE	NC	28227
18	13901602	JIAS INVESTMENTS LLC	PO BOX 691367	CHARLOTTE	NC	28227
19	13901603	JIAS INVESTMENTS LLC	PO BOX 691367	CHARLOTTE	NC	28227
20	13901604	JIAS INVESTMENTS LLC	PO BOX 691367	CHARLOTTE	NC	28227
21	13901605	JIAS INVESTMENTS LLC	PO BOX 691367	CHARLOTTE	NC	28227
22	13901522	RALPH L WELD	8218 JEFFERSON COLONY RD	CHARLOTTE	NC	28227
23	13901521	KIMBERLY K MOORE	8812 JEFFERSON COLONY RD	MINT HILL	NC	28227
24	13901523	FREDERICK ODELL JR SMITH & VICKIE SHAVER	8804 STATESMAN DR	CHARLOTTE	NC	28227
25	13901606	ABBY CEVALLOS-LEWIS	8807 STATESMAN DR	CHARLOTTE	NC	28227
26	13901607	DIANA D FURR	8815 STATESMAN DR	MINT HILL	NC	28227
27	13901524	ERIC E JR LANIER & MELANIE F LANIER	8812 STATESMAN DR	CHARLOTTE	NC	28227
28	13901525	ROGER JR LATON & WANDA D LATON	8822 STATESMAN DR	CHARLOTTE	NC	28227
29	13901517	JIAS INVESTMENTS LLC	PO BOX 691367	CHARLOTTE	NC	28227
30	13901516	DAVE H TRAINER & KAREN TRAINER	8835 BRIGADIER LN	MINT HILL	NC	28227
31	13901515	BRYAN WILSON TURNER & SHERRI ZARBYNICKY TURNER	8836 BRIGADIER LN	MINT HILL	NC	28227
32	13901514	MICHAEL WILLIAM LOPEZ & LEA MAY OGLESBY-LOPEZ	8832 BRIGADIER LN	MINT HILL	NC	28227
33	13901513	JEREMY DUNCAN & KATE MYERS	8828 BRIGADIER LN	CHARLOTTE	NC	28227
34	13901503	JERREY T HARKEY & JILL P HARKEY	8829 LIBERTY HILL DR	MINT HILL	NC	28227
35	13901501	ALLEN J MARTINSON	8841 LIBERTY HILL DR	CHARLOTTE	NC	28227
36	13901419	DAVID R LIVELY	4950 CASABA PL	DUNEDOO	FL	32812
37	13901420	TIMOTHY C RILEY	8823 LIBERTY HILL DR	CHARLOTTE	NC	28227
38	13901421	DORIS L MARSTON	8840 LIBERTY HILL DR	CHARLOTTE	NC	28227
39	13901413	DANIEL B PEARCE & MARENZIE P PEARCE	8813 STRATFORD HALL CT	MINT HILL	NC	28227
40	13901412	CAROLYN B PLATTS	8817 STRATFORD HALL CT	CHARLOTTE	NC	28227
41	13901411	JERRY F WOOD & JULIE R WOOD	8816 STRATFORD HALL CT	CHARLOTTE	NC	28227
42	13901410	RICHARD JERGE & NANCY JERGE	8812 STRATFORD HALL CT	CHARLOTTE	NC	28227
43	13901409	VIKTOR SAYAPINA & HALYNA SAYAPINA	8808 STRATFORD HALL CT	CHARLOTTE	NC	28227
44	13901406	ROBERT WILLIAM KENNARD & KAREN P KENNARD	7810 JEFFERSON COLONY RD	CHARLOTTE	NC	28227
45	13901404	WAYNE SCOTT BENNETT & ELIZABETH ANN BENNETT	8809 FAIRVIEW RD	CHARLOTTE	NC	28227
46	13901403	BARBARA J CHASSON & CHARLES R CHASSON	8821 FAIRVIEW RD	CHARLOTTE	NC	28227
47	19720112	TOWN OF MINT HILL (THE)	4430 MINT HILL VILLAGE LN	MINT HILL	NC	28227
48	13903209	MICHAEL S BARTLETT	PO BOX 23719	CHARLOTTE	NC	28227
49	13903208	HOYLE S JR WRIGHT & SILVIA L WALLACE	11274 HICKORY RIDGE RD	HARRISBURG	NC	28075
50	13903207	JOHN D JR DEAN & EMERLYN H DEAN	8006 BARTLETT RD	CHARLOTTE	NC	28227
51	13903220	DEPT OF TRANSPORTATION	716 W MAIN ST	ALBEMARLE	NC	28001
52	13903205	DEPT OF TRANSPORTATION	716 W MAIN ST	ALBEMARLE	NC	28001
53	13906102	JIAS INVESTMENTS LLC	PO BOX 691367	CHARLOTTE	NC	28227
54	13906131	JIAS INVESTMENTS LLC	PO BOX 691367	CHARLOTTE	NC	28227

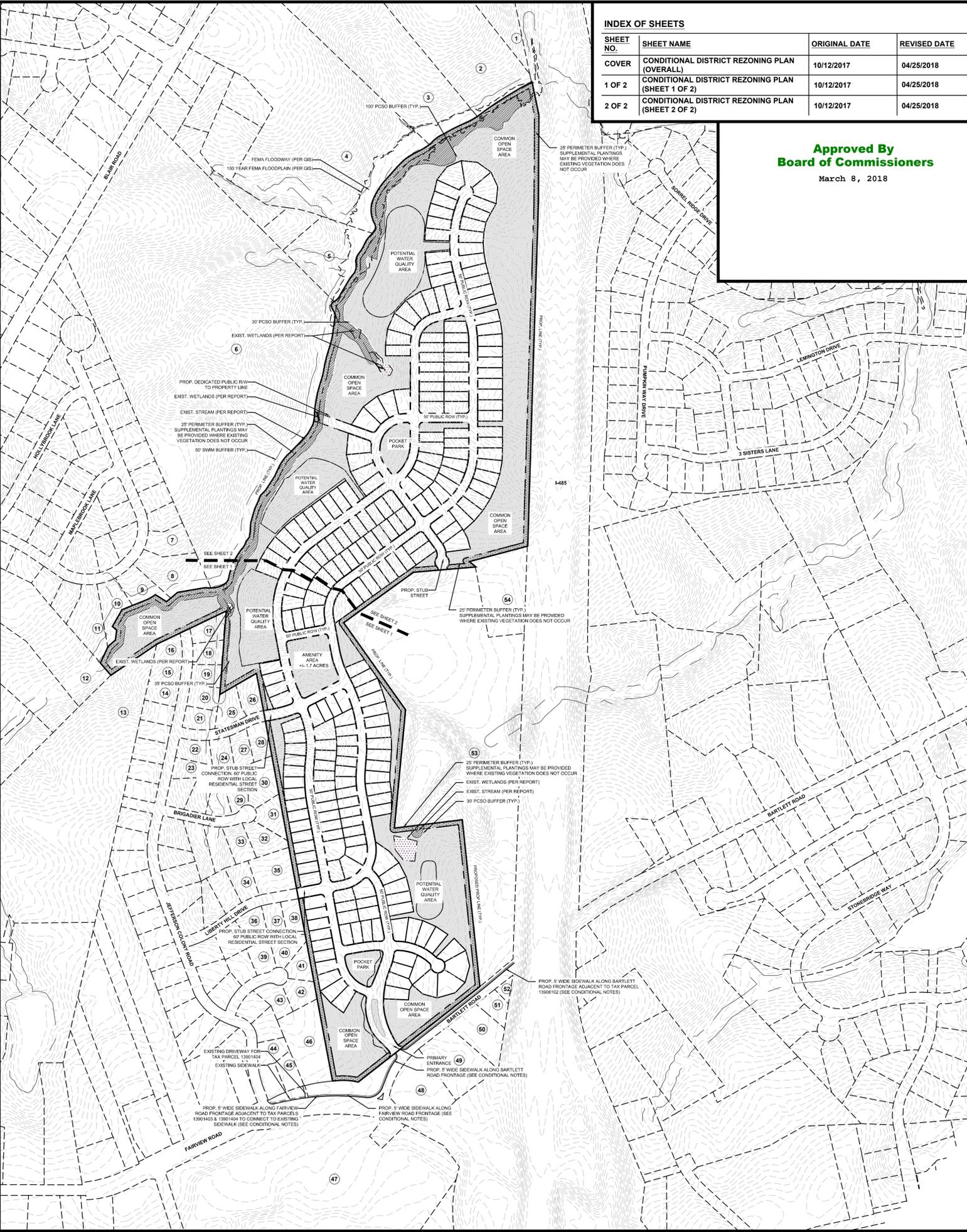
Typical Lot Details  
NOT TO SCALE



Notes: 1. Side corner setbacks to be 10'  
2. Minimum side yard to be 5'  
3. Applicant Reserve Right to Increase Lot Size and Maintain Minimum Setbacks Depicted on Zoning Plan.

INDEX OF SHEETS			
SHEET NO.	SHEET NAME	ORIGINAL DATE	REVISED DATE
COVER	CONDITIONAL DISTRICT REZONING PLAN (OVERALL)	10/12/2017	04/25/2018
1 OF 2	CONDITIONAL DISTRICT REZONING PLAN (SHEET 1 OF 2)	10/12/2017	04/25/2018
2 OF 2	CONDITIONAL DISTRICT REZONING PLAN (SHEET 2 OF 2)	10/12/2017	04/25/2018

Approved By  
Board of Commissioners  
March 8, 2018



SITE DATA:		
TAX PARCELS:	1390199, 1390611, 1390162 & portion of 1390161	
TOTAL ACREAGE:	± 125.46 ACRES (PER GIS)	
LOCATION:	TOWN OF MINT HILL, NC	
EXISTING ZONING:	R	
PROPOSED ZONING:	R (CLUSTER) CD	
TOTAL LOTS:	Up to 247 LOTS	
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL & AMENITIES	
PROPOSED LOT STANDARDS:		
LOT SIZE:	6,000 SQUARE FEET	
LOT WIDTH:	50' - 60'	
LOT DEPTH:	120'	
FRONT SETBACK:	20'	
SIDE SETBACK:	MIN. 5', AGGREGATE 13'	
REAR SETBACK:	20'	
OPEN SPACE:		
REQUIRED:	± 31.4 ACRES (25%)	
PROPOSED:	± 31.4 ACRES (25%)	
*NOTE: OPEN SPACE CALCULATION INCLUDES: STREAM BUFFERS, WATER QUALITY AREAS, COMMON OPEN SPACE, AND UP TO 50% OF THE OVERALL FLOODPLAIN AND PERIMETER BUFFER AREAS (PER THE TOWN OF MINT HILL UDO). LAND LOCATED WITHIN THE FLOODWAY CANNOT BE COUNTED TOWARDS REQUIRED OPEN SPACE.		
DENSITY:	Up to 2.0 DU/AC	

- PERMITTED USES:**
- SINGLE FAMILY HOMES AND ACCESSORY STRUCTURES
  - COMMUNITY RECREATION AREAS
  - ACTIVE AND PASSIVE OPEN SPACES
  - OTHER USES COMMONLY ASSOCIATED WITH RESIDENTIAL UNITS AND AS ALLOWED BY THE TOWN OF MINT HILL UNIFIED DEVELOPMENT ORDINANCE
- CONDITIONAL NOTES:**
- MAXIMUM DENSITY OF 2.0 DU/AC, MINIMUM LOT STANDARDS, AND ALLOWED USES IN THIS RESIDENTIAL CLUSTER. CONDITIONAL DISTRICT SHALL BE AS SHOWN ABOVE.
  - CONDITIONS ESTABLISHED AS PART OF THIS CONDITIONAL DISTRICT REZONING SHALL BE ATTACHED TO THE LAND AND SHALL BE BINDING ON THE PETITIONER/OWNER OF THIS LAND AND ANY ASSIGNED SUCCESSOR.
  - ADMINISTRATIVE AND OTHER CHANGES TO THIS REZONING SHALL BE ALLOWED AS PROVIDED IN THE TOWN OF MINT HILL UNIFIED DEVELOPMENT ORDINANCE (UDO).
  - GENERAL SITE LAYOUT SHALL BE AS DEPICTED ON THIS ZONING PLAN. ADJUSTMENTS TO THIS LAYOUT MAY BE MADE DURING PRELIMINARY PLAN AND CONSTRUCTION DOCUMENT PHASES OF DESIGN AS MAY BE NEEDED TO ACCOMMODATE SITE FEATURES, REVIEW STAFF COMMENTS, AND FINAL ENGINEERING CONSTRAINTS.
  - ROOF OVERHANGS, EAVES, CORNICES, CHIMNEYS, GUTTERS, VENTS, BA WINDOWS, AND OTHER ARCHITECTURAL ELEMENTS MAY PROJECT UP TO 36" INTO THE REQUIRED SETBACK AREA.
  - THE BUILDING MATERIALS USED ON THE PRINCIPLE BUILDINGS SHALL CONSIST OF BRICK ON FOUR SIDES. ACCENTS OF STONE AND STUCCO ARE ACCEPTABLE. GABLES, DORMERS AND OTHER FEATURES TO CONSIST OF OTHER MATERIALS. EAVES PERMITTED TO BE VINYL AND/OR COUNTRY STYLE GABLES.
  - PETITIONER TO CONSTRUCT 5' WIDE SIDEWALK ALONG BARTLETT ROAD AND FAIRVIEW ROAD PROJECT SITE FRONTAGE.
  - IF ADEQUATE RIGHT OF WAY IS AVAILABLE, A WIDE SIDEWALK TO BE CONSTRUCTED WITHIN THE EXISTING RIGHT OF WAY.
    - ALONG BARTLETT ROAD UP TO THE 1485 OVERPASS BRIDGE ADJACENT TO TAX PARCEL 1390102.
    - ALONG FAIRVIEW ROAD TO CONNECT TO THE EXISTING SIDEWALK NEAR JEFFERSON COLONY ROAD ADJACENT TO TAX PARCELS 13901403 & 13901404.
  - NO CONSTRUCTION TRAFFIC SHALL BE PERMITTED ON JEFFERSON COLONY ROAD (SEC. 28-149 - PROHIBITION).
  - APPLICANT AGREES TO FUND THE PURCHASE OF UP TO SIX (6) DECORATIVE STREET LIGHTS FROM DUKE ENERGY FOR THE JEFFERSON COLONY NEIGHBORHOOD. THE COST OF INSTALLATION, COORDINATION AND SECURING EASEMENTS AND THE OPERATIONAL EXPENSES ASSOCIATED WITH STREET LIGHTS TO BE PROVIDED BY OTHERS.
  - UPON BEING PROVIDED AN EASEMENT FOR CONSTRUCTION OF AN ENTRANCE MONUMENT, THE APPLICANT AGREES TO INSTALL ONE (1) ENTRY MONUMENT FOR THE JEFFERSON COLONY NEIGHBORHOOD NOT TO EXCEED \$10,000. EASEMENT TO BE COORDINATED, SECURED AND PROVIDED BY OTHERS.
  - APPLICANT AGREES TO INSTALL ONE (1) MASONRY MONUMENT COLUMN ON STATESMAN DRIVE.
  - APPLICANT AGREES TO INSTALL ONE (1) MASONRY MONUMENT COLUMN ON LIBERTY HILL DRIVE.
  - APPLICANT RESERVES RIGHT TO INCREASE LOT SIZES AND MAINTAIN MINIMUM SETBACKS DEPICTED ON ZONING PLAN.
  - THREE (3) CAR COUNTRY STYLE GARAGES SHALL BE PERMITTED. LOTS UTILIZING COUNTRY STYLE GARAGES EXTENDING PAST THE PRIMARY PLANE OF THE HOUSE SHALL BE EXEMPT FROM SECTION 3.7(B)(5) OF THE UNIFIED DEVELOPMENT ORDINANCE.
  - "FUTURE CONNECTION" SIGNS TO BE INSTALLED AT PROPOSED STUB STREET CONNECTIONS BY DEVELOPER.
  - AS GENERALLY DEPICTED ON THE CONDITIONAL DISTRICT REZONING PLAN, APPLICANT AGREES TO BUILD A PUBLIC 50' RIGHT OF WAY TO PARCELS 13901601-13901605 FOR FUTURE ROAD CONNECTION. STREET ROAD CONNECTION TO BE PROVIDED BY OTHERS.
  - ROAD BARRICADES APPROVED BY THE TOWN OF MINT HILL TO BE PROVIDED AT LIBERTY HILL DRIVE AND STATESMAN DRIVE. BARRICADES TO BE REMOVED WHEN AUTHORIZED BY MINT HILL PUBLIC WORKS.
  - IF APPROVED BY NCDOT, DEVELOPER TO INSTALL A TRAFFIC SIGNAL AT THE INTERSECTION OF JEFFERSON COLONY AND FAIRVIEW ROAD BASED ON APPROVED PLAN RECOMMENDATIONS.
  - IF APPROVED BY NCDOT, DEVELOPER TO INSTALL FOUR LEDGED CROSSWALK AT FAIRVIEW ROAD AND JEFFERSON COLONY ROAD INTERSECTION.

**GENERAL NOTES**

- BASE INFORMATION PROVIDED BY MECKLENBURG COUNTY DATA AND SHOULD BE VERIFIED FOR ACCURACY.
- ALL SITE PLAN, ZONING, AND WETLAND INFORMATION UTILIZED IN THE PREPARATION OF THIS PLAN IS CONSIDERED TO BE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE AND FINAL VERIFICATION.

**FLOODPLAIN INFORMATION**

FLOODPLAIN INFORMATION OBTAINED FROM FEMA FIRM PANEL 3710551200K. EFFECTIVE DATE OF STUDY 02/19/2014.

**STREAM/WETLAND INFORMATION**

STREAM/WETLAND INFORMATION IS BASED ON PRELIMINARY INFORMATION PROVIDED TO ESP BY "JURISDICTIONAL DELINEATION REPORT - CADENCE SITE" PREPARED BY CAROLINA WETLAND SERVICES, DATED DECEMBER 5, 2017. FOR PURPOSES OF PREPARATION OF THIS ZONING PLAN, ANY POTENTIAL WETLAND AREAS AND STREAM FEATURES DEPICTED ON THE PLAN ARE CONSIDERED TO BE PRELIMINARY IN NATURE AND APPROXIMATE IN LOCATION. THE PLAN WILL NEED TO BE REVISED ONCE ALL AGENCIES APPROVED ON-SITE WETLAND/STREAM AND APPROPRIATE JURISDICTIONAL BOUNDARIES ARE SURVEYED AND VERIFIED WITH ACCEPTABLE LEVELS OF ACCURACY.

**ACCESS POINTS/DRIVEWAYS/STREETS**

- PROPOSED PROJECT SITE ENTRANCE LOCATIONS ARE CONSIDERED PRELIMINARY IN NATURE AND NEED TO BE VERIFIED FOR ADEQUATE SIGHT DISTANCE.
- ALL ROADWAY AND STREET SYSTEMS ARE CONSIDERED TO BE PRELIMINARY AND WILL NEED TO BE VERIFIED FOR SUFFICIENCY TO SATISFY OR EXCEED MINIMUM REQUIREMENTS ESTABLISHED IN THE TOWN OF MINT HILL DEVELOPMENT AND SUBDIVISION ORDINANCES AND APPLICABLE STANDARDS IDENTIFIED BY NCDOT. STREET CONNECTIONS ARE CONCEPTUAL AND MAY BE SUBJECT TO CHANGE BASED ON AGENCY INPUT AND REVIEW.

**OPEN SPACE**

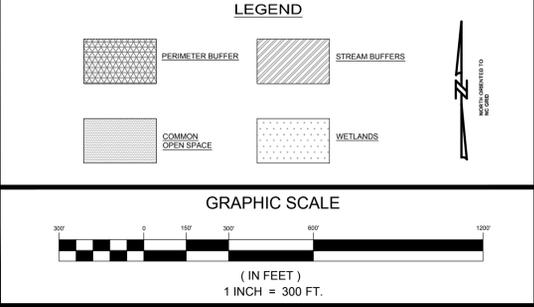
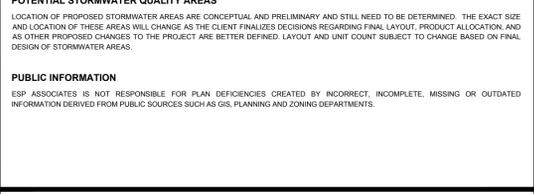
OPEN SPACE AREAS ARE CONCEPTUAL AND PRELIMINARY. THE EXACT LOCATION OF THESE AREAS MAY CHANGE AS THE CLIENT FINALIZES DECISIONS REGARDING FINAL LAYOUT AND AS OTHER SPATIALLY DEPENDENT PROJECT COMPONENTS SUCH AS DETENTION, WETLAND AREAS, UTILITY FEATURES, AND BUFFERS, (AS APPLICABLE) FOR THIS PROJECT ARE BETTER DEFINED.

**POTENTIAL STORMWATER QUALITY AREAS**

LOCATION OF PROPOSED STORMWATER AREAS ARE CONCEPTUAL AND PRELIMINARY AND STILL NEED TO BE DETERMINED. THE EXACT SIZE AND LOCATION OF THESE AREAS WILL CHANGE AS THE CLIENT FINALIZES DECISIONS REGARDING FINAL LAYOUT, PRODUCT ALLOCATION, AND AS OTHER PROPOSED CHANGES TO THE PROJECT ARE BETTER DEFINED. LAYOUT AND UNIT COUNT SUBJECT TO CHANGE BASED ON FINAL DESIGN OF STORMWATER AREAS.

**PUBLIC INFORMATION**

ESP ASSOCIATES IS NOT RESPONSIBLE FOR PLAN DEFICIENCIES CREATED BY INCORRECT, INCOMPLETE, MISSING OR OUTDATED INFORMATION DERIVED FROM PUBLIC SOURCES SUCH AS GIS, PLANNING AND ZONING DEPARTMENTS.



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3475 Lakewood Blvd.  
Fort Mill, SC 29708  
704-583-8440 (NC)  
803-802-2410 (SC)  
www.espassociates.com

**ESP**

BY: MW, AB, MW, MW

REVISION

NO.	DATE	REVISION
1	11/21/2017	REVISED PER STAFF COMMENTS RECEIVED ON 02/20/2017
2	12/22/2017	REVISED PER STAFF REPORT COMMENTS RECEIVED ON 12/14/2017
3	02/27/2018	REVISED BASED ON MEETING WITH NEIGHBORS AND UPDATED LOT SIZES
4	05/11/2018	REVISED PER PLANNING BOARD CONDITIONS

CONDITIONAL DISTRICT REZONING PLAN (OVERALL)

CADENCE MINT HILL

TOWN OF MINT HILL, NC

MATTAMY HOMES

PROJECT INFORMATION

PROJECT MANAGER:	MM
DESIGNED BY:	MW
DRAWN BY:	MW
PROJECT NUMBER:	FM44.100
ORIGINAL DATE:	10/12/17

SHEET: **COVER**



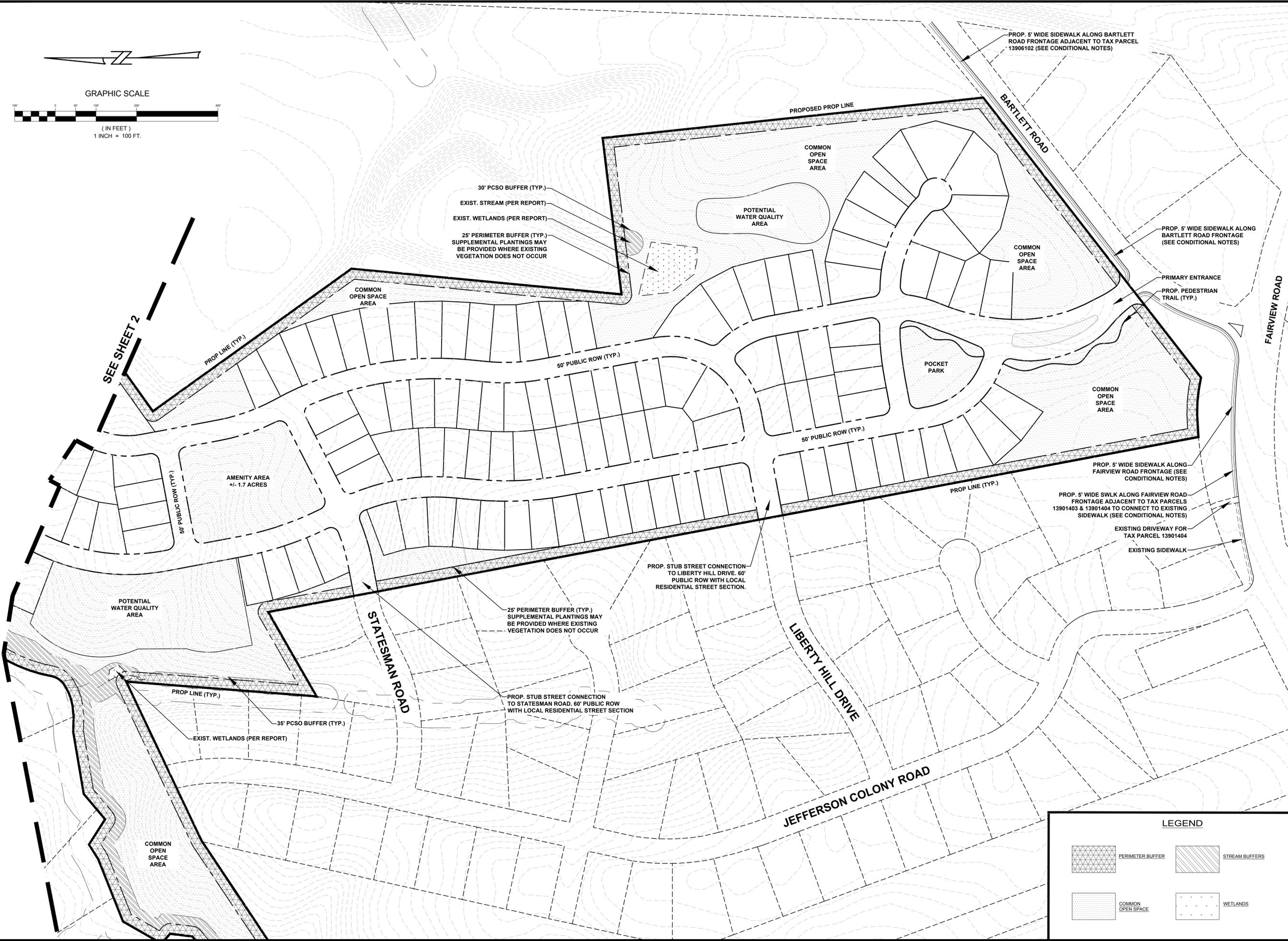
GRAPHIC SCALE



(IN FEET)  
1 INCH = 100 FT.

SEE SHEET 2

U:\2017 Projects (FY)M4 - Fairview Road-Mint Hill (Mattamy)\Submittal Working Drawings\2018-04-25 Final Zoning Plan Submittal\DWG\Series\FM44-COVER.dwg, SHEET 1, .mxd



**LEGEND**

	PERIMETER BUFFER		STREAM BUFFERS
	COMMON OPEN SPACE		WETLANDS



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NO.	DATE	REVISION
1	11/21/2017	REVISED PER STAFF COMMENTS RECEIVED ON 02/2/2017
2	12/22/2017	REVISED PER STAFF REPORT COMMENTS RECEIVED ON 12/4/2017
3	02/27/2018	REVISED BASED ON MEETING WITH NEIGHBORS AND UPDATED LOT SIZES
4	05/11/2018	REVISED BASED ON PLANNING BOARD CONDITIONS

CONDITIONAL DISTRICT REZONING PLAN  
(SHEET 1 OF 2)

CADENCE MINT HILL

TOWN OF MINT HILL, NC

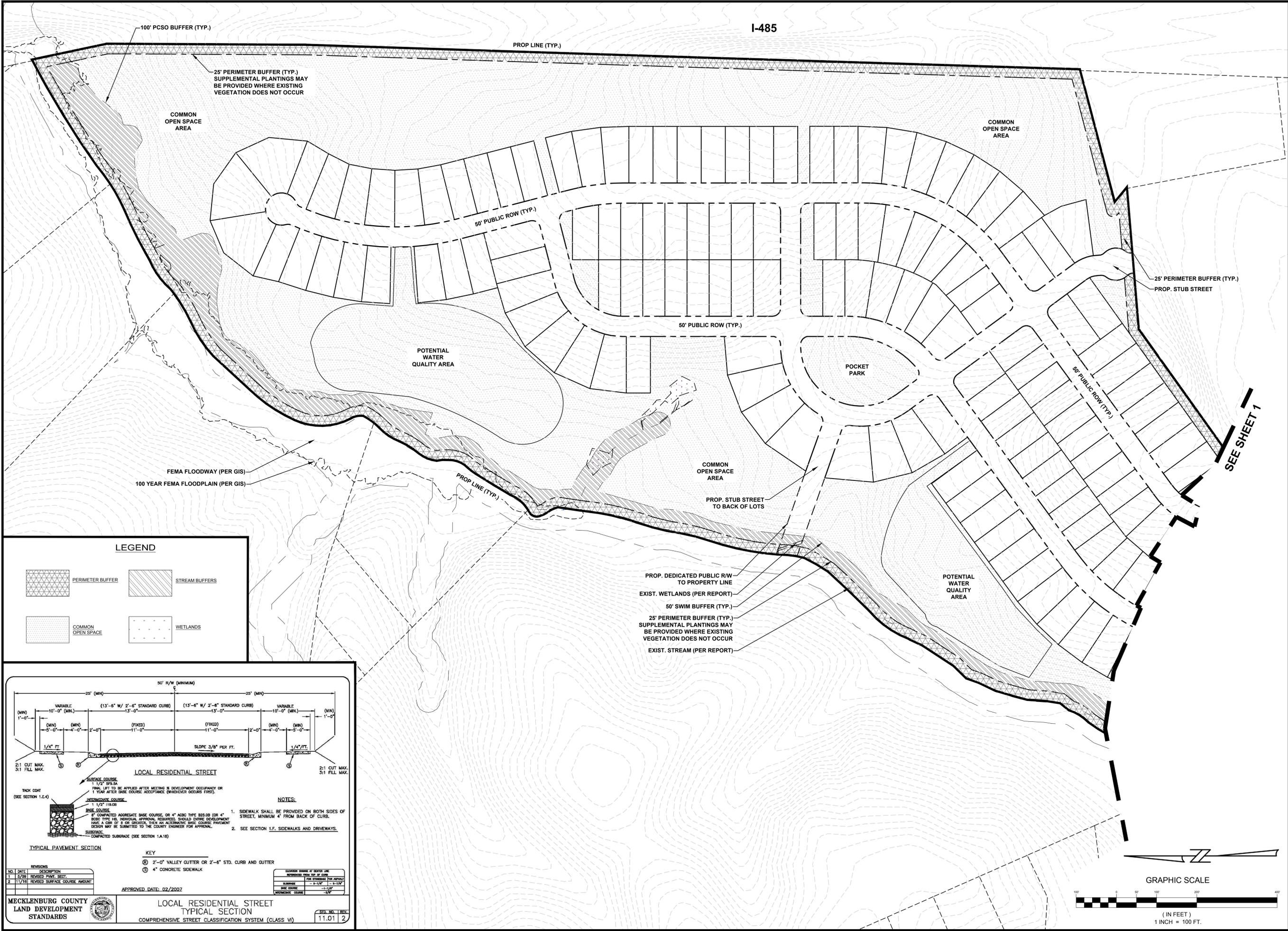
PROJECT INFORMATION	
PROJECT MANAGER:	MM
DESIGNED BY:	MW
DRAWN BY:	MW
PROJECT NUMBER:	FM44.100
ORIGINAL DATE:	10/12/17

1 OF 2

NO.	DATE	REVISION
1	11/21/2017	REVISED PER STAFF COMMENTS RECEIVED 02/20/17
2	12/22/2017	REVISED PER STAFF REPORT COMMENTS RECEIVED ON 12/14/2017
3	02/27/2018	REVISED BASED ON MEETING WITH NEIGHBORS AND UPDATED LOT SIZES
4	05/11/2018	REVISED BASED ON PLANNING BOARD CONDITIONS

CONDITIONAL DISTRICT REZONING PLAN  
 (SHEET 2 OF 2)  
 CADENCE MINT HILL  
 TOWN OF MINT HILL, NC  
 MATTAMY HOMES

PROJECT INFORMATION	
PROJECT MANAGER:	MM
DESIGNED BY:	MW
DRAWN BY:	MW
PROJECT NUMBER:	FM44.100
ORIGINAL DATE:	10/12/17
SHEET:	<b>2 OF 2</b>



**LEGEND**

	PERIMETER BUFFER		STREAM BUFFERS
	COMMON OPEN SPACE		WETLANDS

**TYPICAL PAVEMENT SECTION**

**NOTES:**

- SIDEWALK SHALL BE PROVIDED ON BOTH SIDES OF STREET, MINIMUM 4' FROM BACK OF CURB.
- SEE SECTION 1.F, SIDEWALKS AND DRIVEWAYS.

**KEY**

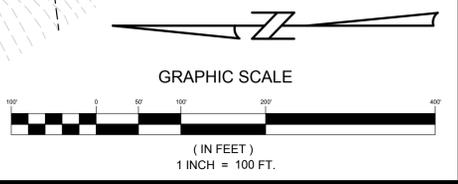
- ⊗ 2'-0" VALLEY GUTTER OR 2'-6" STD. CURB AND GUTTER
- ⊙ 4" CONCRETE SIDEWALK

**MECKLENBURG COUNTY LAND DEVELOPMENT STANDARDS**

**LOCAL RESIDENTIAL STREET TYPICAL SECTION**  
 COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS V)

APPROVED DATE: 02/20/07

STANDARD: 11.01.2



U:\2017 Projects (FY)MHA - Review Road-Mint Hill (Mattamy)Submittal Working Drawings\2018-04-25 Final Zoning Plan Submittal\DWG\Beneff\PMAC-COVER.dwg, SHEET 2.rvt