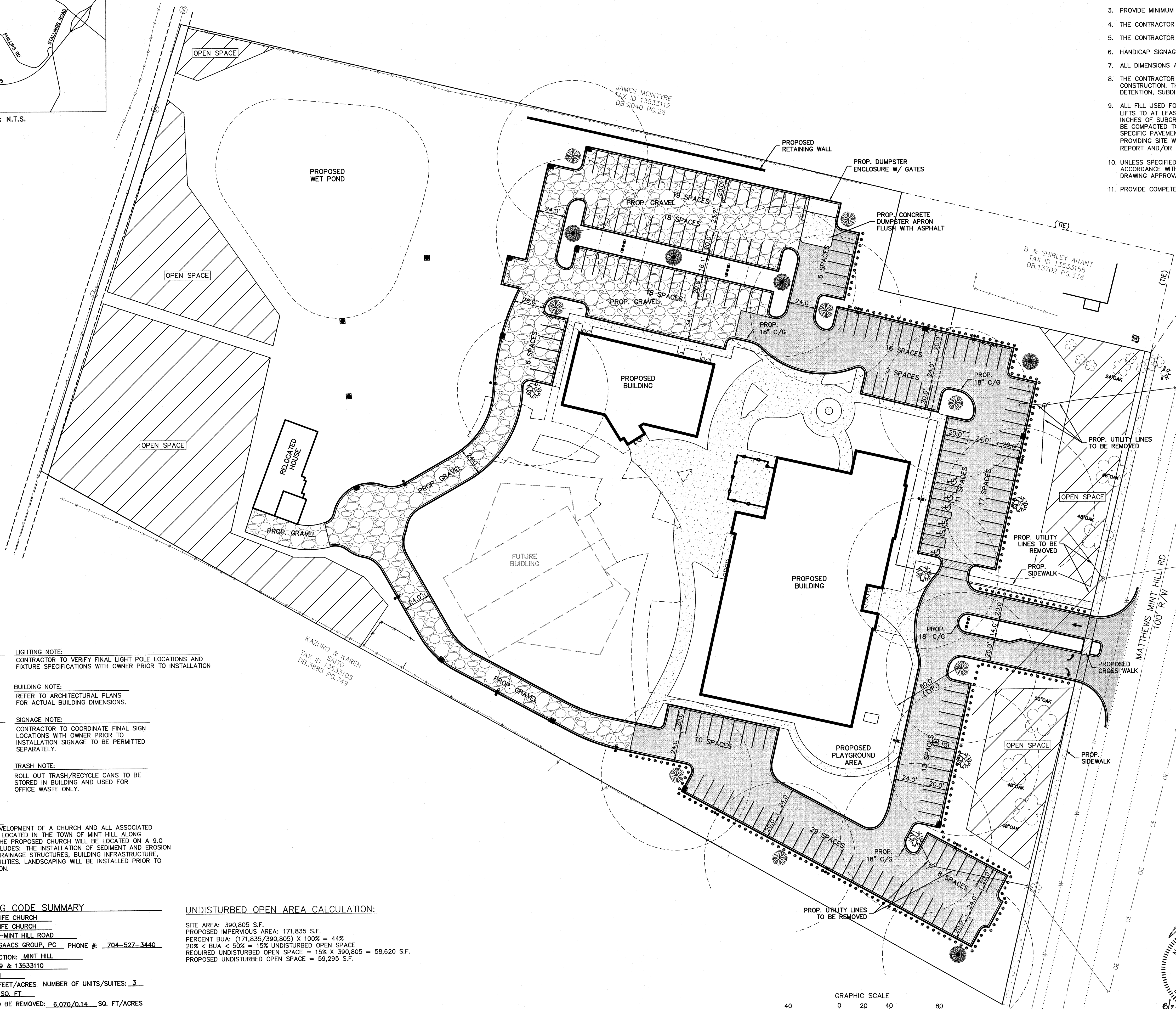


VICINITY MAP: N.T.S.



NOTES:

1. THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP.
2. THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN; THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
3. PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
4. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
6. HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A STANDARDS AT H/C PARKING SPACES SHOWN.
7. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
9. ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 100 PERCENT OF THE SAME SPECIFICATION. THE ABOVE COMPACTION SPECIFICATION IS A RECOMMENDATION ONLY. SPECIFIC PAVEMENT OR FLOOR SLAB DESIGNS MAY REQUIRE A DIFFERENT COMPACTION STANDARD. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
10. UNLESS SPECIFIED/DETAILED WITHIN THE CONTRACT DRAWINGS, CONTRACTOR SHALL PREPARE A CONCRETE JOINT LAYOUT PLAN IN ACCORDANCE WITH ACI 224.3R-95 OR ACI 330.1-03 FOR CONCRETE SURFACES AND PROVIDE TO ENGINEER, OWNER AND ARCHITECT FOR SHOP DRAWING APPROVAL PRIOR TO CONCRETE INSTALLATION.
11. PROVIDE COMPETENT CARD CARRYING INDIVIDUALS FOR OSHA REGULATIONS.

RECOMMENDED PAVING SPECIFICATIONS
VERIFY WITH GEOTECHNICAL REPORT

LIGHT DUTY PAVEMENT (LDP):
6" COMPACTED AGGREGATE BASE COURSE (CABC)
2" SURFACE COURSE, S9.5B

HEAVY DUTY PAVEMENT (HDP):
8" COMPACTED AGGREGATE BASE COURSE (CABC)
2" BINDER COURSE, I19.0B
1" SURFACE COURSE, S9.5B

CONCRETE SIDEWALK PAVEMENT:
4" 3,600 PSI CONCRETE
SUBGRADE SHALL BE COMPACTED TO 98% MIN. OF THE STANDARD MAXIMUM DRY DENSITY (ASTM D698).

NOTES:

1. ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 100 PERCENT OF THE SAME SPECIFICATION. THE ABOVE COMPACTION SPECIFICATION IS A RECOMMENDATION ONLY. SPECIFIC PAVEMENT OR FLOOR SLAB DESIGNS MAY REQUIRE A DIFFERENT COMPACTION STANDARD. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
2. PAVEMENT SPECIFICATIONS LISTED ABOVE ARE RECOMMENDATIONS ONLY AND ARE SUBJECT TO CHANGE BASED UPON PROJECT CONDITIONS OR RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT. PRIOR TO COMMENCEMENT OF PAVING, THE OWNER OR CONTRACTOR SHOULD HIRE A GEOTECHNICAL ENGINEER TO PROVIDE A PAVEMENT DESIGN BASED UPON ANTICIPATED VEHICULAR TRAFFIC AND PROJECT SOIL CONDITIONS. THE ISAACS GROUP ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OF THE PAVEMENT SPECIFICATION PROVIDED ABOVE.
3. UNLESS SPECIFIED/DETAILED WITHIN THE CONTRACT DRAWINGS, CONTRACTOR SHALL PREPARE A CONCRETE JOINT LAYOUT PLAN IN ACCORDANCE WITH ACI 224.3R-95 OR ACI 330.1-03 FOR CONCRETE SURFACES AND PROVIDE TO ENGINEER, OWNER AND ARCHITECT FOR SHOP DRAWING APPROVAL PRIOR TO CONCRETE INSTALLATION.

LEGEND

- PROPOSED LIGHT DUTY PAVEMENT (LDP)
- PROPOSED HEAVY DUTY PAVEMENT (HDP)
- PROPOSED CONCRETE
- PROPOSED LIGHT POLE
- R/W RIGHT OF WAY
- SS SANITARY SEWER LINE
- SEWER MANHOLE
- SEWER LINE CLEANOUT
- FIRE HYDRANT
- W WATER LINE
- WV WATER VALVE
- WM WATER METER
- BFP BACK-FLOW PREVENTER
- LIGHT POLE
- UTILITY POLE
- OE OVERHEAD UTILITY LINE
- TREE PROTECTION FENCE
- FENCE
- PROPOSED RETAINING WALL

ENGINEER CONTACT
THE ISAACS GROUP, P.C.
8720 RED OAK BLVD.
SUITE 420
CHARLOTTE, NC 28217
(704) 527-3440
(704) 527-8335
nftzgerald@isaacsgroup.com

CONTRACTOR CONTACT
TO BE DETERMINED

LIGHTING NOTE:
CONTRACTOR TO VERIFY FINAL LIGHT POLE LOCATIONS AND FIXTURE SPECIFICATIONS WITH OWNER PRIOR TO INSTALLATION

BUILDING NOTE:
REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.

SIGNAGE NOTE:
CONTRACTOR TO COORDINATE FINAL SIGN LOCATIONS WITH OWNER PRIOR TO INSTALLATION. SIGNAGE TO BE PERMITTED SEPARATELY.

TRASH NOTE:
ROLL OUT TRASH/RECYCLE CANS TO BE STORED IN BUILDING AND USED FOR OFFICE WASTE ONLY.

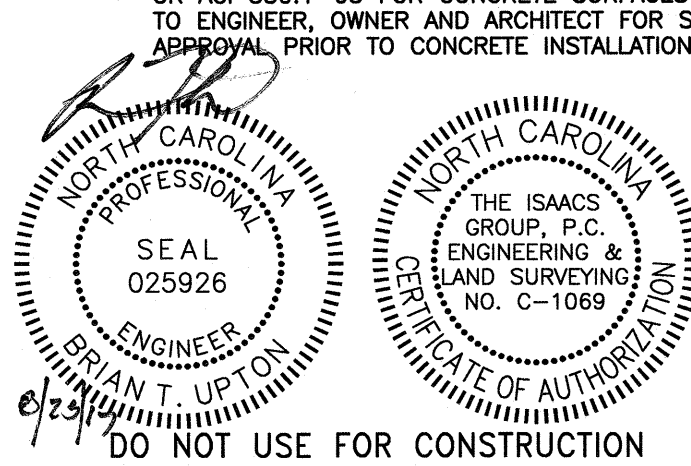
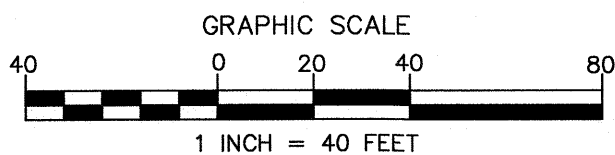
PROJECT NARRATIVE:
THE PROJECT ENTAILS THE DEVELOPMENT OF A CHURCH AND ALL ASSOCIATED INFRASTRUCTURE. THE SITE IS LOCATED IN THE TOWN OF MINT HILL ALONG MATTHEWS-MINT HILL ROAD. THE PROPOSED CHURCH WILL BE LOCATED ON A 9.0 ACRE SITE. CONSTRUCTION INCLUDES: THE INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES, STORM DRAINAGE STRUCTURES, BUILDING INFRASTRUCTURE, PARKING LOT AND PRIVATE UTILITIES. LANDSCAPING WILL BE INSTALLED PRIOR TO REQUESTING A FINAL INSPECTION.

ZONING CODE SUMMARY

PROJECT NAME: GREATER LIFE CHURCH
OWNER/AGENT: GREATER LIFE CHURCH
ADDRESS: 3851 MATHEWS-MINT HILL ROAD
PLANS PREPARED BY: THE ISAACS GROUP, PC PHONE #: 704-527-3440
ZONING: R JURISDICTION: MINT HILL
TAX PARCEL #: 13533109 & 13533110
PROPOSED USE: CHURCH
LOT SIZE: 390,805/9.0 SQ. FEET/ACRES NUMBER OF UNITS/SUITES: 3
PROP. FLOOR AREA: 44,910 SQ. FT.
EXISTING IMPERVIOUS AREA TO BE REMOVED: 6,070/0.14 SQ. FT./ACRES

UNDISTURBED OPEN AREA CALCULATION:

SITE AREA: 390,805 S.F.
PROPOSED IMPERVIOUS AREA: 171,835 S.F.
PERCENT BUA: $(171,835/390,805) \times 100\% = 44\%$
 $20\% < \text{BUA} < 50\% = 15\% \text{ UNDISTURBED OPEN SPACE}$
REQUIRED UNDISTURBED OPEN SPACE = $15\% \times 390,805 = 58,620 \text{ S.F.}$
PROPOSED UNDISTURBED OPEN SPACE = 59,295 S.F.



NO.	BY	DATE	REVISION

Project: GREATER LIFE CHURCH
3851 MATHEWS-MINT HILL ROAD
MINT HILL, NORTH CAROLINA

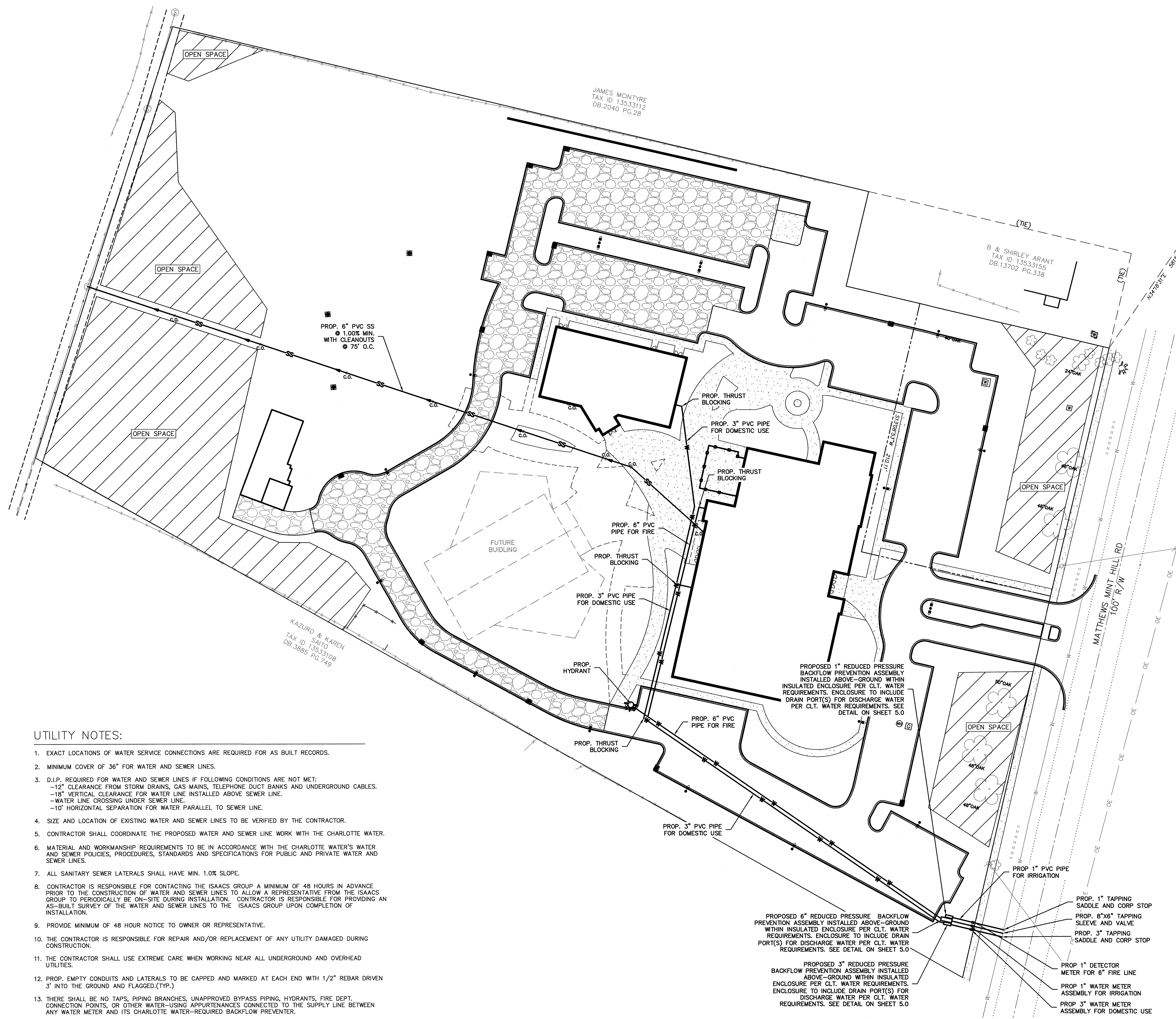
Title: SITE PLAN

File #: 17133-PB.DWG Date: 08/25/17 Project Egr: BTU

Design By: NPF
Drawn By: NPF
Scale: 1"=40'

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

C1.0

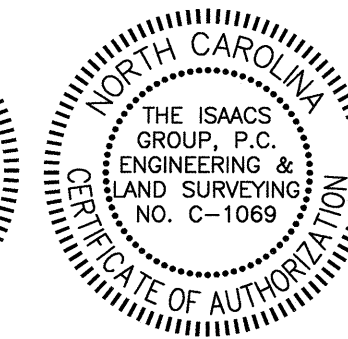
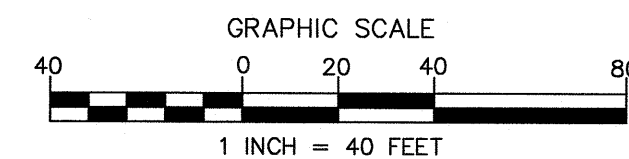


UTILITY NOTES:

1. EXACT LOCATIONS OF WATER SERVICE CONNECTIONS ARE REQUIRED FOR AS BUILT RECORDS.
2. MINIMUM COVER OF 36" FOR WATER AND SEWER LINES.
3. D.I.P. REQUIRED FOR WATER AND SEWER LINES IF FOLLOWING CONDITIONS ARE NOT MET:
 - 12" CLEARANCE FROM STORM DRAINS, GAS MAINS, TELEPHONE DUCT BANKS AND UNDERGROUND CABLES.
 - 18" VERTICAL CLEARANCE FOR WATER LINE INSTALLED ABOVE SEWER LINE.
 - WATER LINE CROSSING UNDER SEWER LINE.
 - 10" HORIZONTAL SEPARATION FOR WATER PARALLEL TO SEWER LINE.
4. SIZE AND LOCATION OF EXISTING WATER AND SEWER LINES TO BE VERIFIED BY THE CONTRACTOR.
5. CONTRACTOR SHALL COORDINATE THE PROPOSED WATER AND SEWER LINE WORK WITH THE CHARLOTTE WATER.
6. MATERIAL AND WORKMANSHIP REQUIREMENTS TO BE IN ACCORDANCE WITH THE CHARLOTTE WATER'S WATER AND SEWER POLICIES, PROCEDURES, STANDARDS AND SPECIFICATIONS FOR PUBLIC AND PRIVATE WATER AND SEWER LINES.
7. ALL SANITARY SEWER LATERALS SHALL HAVE MIN. 1.0% SLOPE.
8. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ISAACS GROUP A MINIMUM OF 48 HOURS IN ADVANCE PRIOR TO THE CONSTRUCTION OF WATER AND SEWER LINES TO ALLOW A REPRESENTATIVE FROM THE ISAACS GROUP TO PERIODICALLY BE ON-SITE DURING INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN AS-BUILT SURVEY OF THE WATER AND SEWER LINES TO THE ISAACS GROUP UPON COMPLETION OF INSTALLATION.
9. PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE.
10. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITY DAMAGED DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
12. PROP. EMPTY CONDUITS AND LATERALS TO BE CAPPED AND MARKED AT EACH END WITH 1/2" REBAR DRIVEN 3' INTO THE GROUND AND FLAGGED.(TYP.)
13. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS, OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CHARLOTTE WATER-REQUIRED BACKFLOW PREVENTER.
14. EACH CHARLOTTE WATER-REQUIRED BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE TESTED BY A CHARLOTTE WATER-APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.

LEGEND

G	EXISTING GAS LINE
SS	EXISTING SANITARY SEWER LINE
W	EXISTING WATER LINE
⊙	EXISTING SAN. SEWER MH
⊙	EXISTING UTILITY POLE
⊙	EXISTING WATER VALVE
SS	PROPOSED SANITARY SEWER LINE
W	PROPOSED WATER LINE
SD	PROPOSED STORM DRAINAGE PIPE
CB	PROPOSED CATCH BASIN



DO NOT USE FOR CONSTRUCTION

NO.	BY	DATE	REVISION

	Project: GREATER LIFE CHURCH 3851 MATTHEWS-MINT HILL ROAD MINT HILL, NORTH CAROLINA
	Title: UTILITY PLAN
	File #: 17133-PB.DWG Date: 08/25/17 Project Egr: BTU
	Design By: NPF
	Drawn By: NPF Scale: 1"=40'
8720 RED OAK BOULEVARD, SUITE 420 CHARLOTTE, N.C. 28217 PHONE (704) 527-3440 FAX (704) 527-8335	
C2.0	

STORMWATER NARRATIVE:

THE PROPOSED GREATER LIFE CHURCH PROJECT IS LOCATED ALONG MATTHEWS MINT HILL ROAD, IN MINT HILL, NORTH CAROLINA. THE SITE IS LOCATED NORTH OF THE INTERSECTION BETWEEN MATTHEWS-MINT HILL ROAD AND IDEMILD ROAD. THE PROPOSED SITE IS 9.0 ACRES AND WILL CONSIST OF A PROPOSED BUILDING, PARKING LOT, STORMWATER CONTROLS AND ASSOCIATED INFRASTRUCTURE. FUTURE BUILDING AND DRIVES HAVE BEEN PROPOSED, AND THE PROPOSED SAND FILTER HAS BEEN DESIGNED TO INCLUDE FUTURE IMPERVIOUS AREA. APPROXIMATELY 10 ACRES DRAIN TO THE SAND FILTER. STORMWATER FROM THE SAND FILTER DRAINS TO IRWINS CREEK, WHICH IN TURN DRAINS INTO MCALPINE CREEK.

PRE-DEVELOPMENT IMPERVIOUS AREA = 9,819 S.F. / 0.23 AC
POST-DEVELOPMENT & FUTURE IMPERVIOUS AREA= 171,835 S.F. / 3.94 AC

GRADING NOTES:

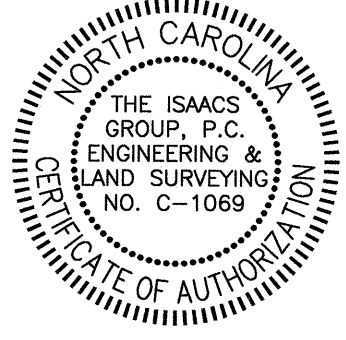
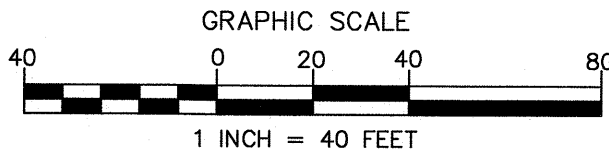
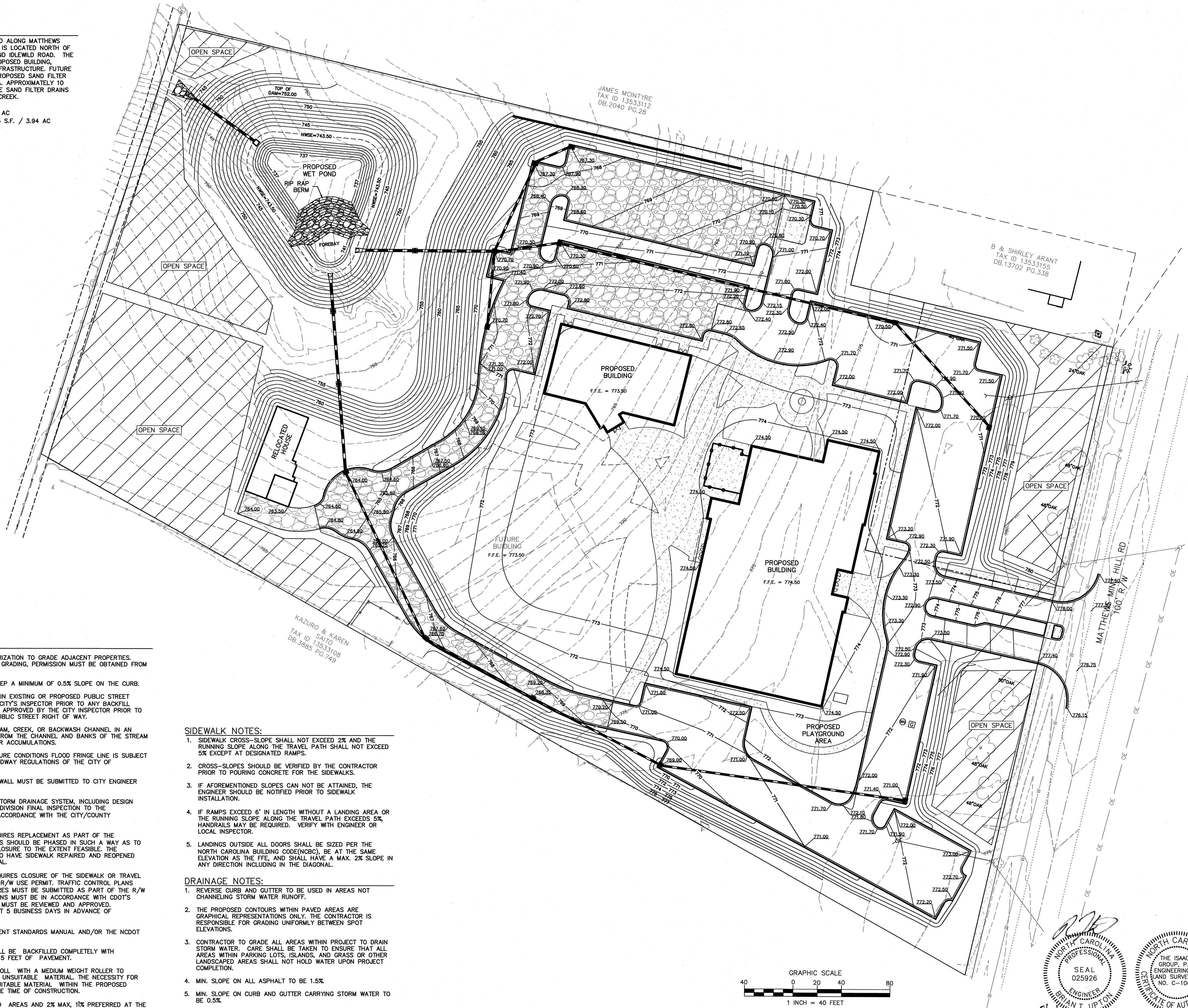
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- HDPE STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT OF WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT OF WAY.
- THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK, AND OTHER ACCUMULATIONS.
- ANY CONSTRUCTION OR USE WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF THE CITY OF CHARLOTTE AND MECKLENBURG COUNTY.
- PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGN DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY SUBDIVISION ORDINANCE.
- SIDEWALK WITHIN THE CITY'S R/W THAT REQUIRES REPLACEMENT AS PART OF THE DEVELOPMENT AND/OR STREET IMPROVEMENTS SHOULD BE PHASED IN SUCH A WAY AS TO MINIMIZE THE DURATION OF THE SIDEWALK CLOSURE TO THE EXTENT FEASIBLE. THE DEVELOPER SHOULD MAKE EVERY ATTEMPT TO HAVE SIDEWALK REPAIRED AND REOPENED FOR PUBLIC USE WITHIN 30 DAYS OF REMOVAL.
- ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF THE SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT. TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TRAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDOT'S WORK AREA TRAFFIC CONTROL (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT LEAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING OF WORK AT (704) 432-1562.
- REFERENCE THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL AND/OR THE NCDOT DETAILS.
- TRENCHES FOR ALL STORM DRAIN LINES SHALL BE BACKFILLED COMPLETELY WITH ENGINEERED GRANULAR MATERIAL IF WITHIN 5 FEET OF PAVEMENT.
- AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL WITH A MEDIUM WEIGHT ROLLER TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINS AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WITHIN THE PROPOSED PARKING AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION.
- PROVIDE POSITIVE DRAINAGE (4%-6% IN YARD AREAS AND 2% MAX. 11% PREFERRED AT THE PLAYGROUND PADS) WITHOUT PONDING. AFTER INSTALLATION, CONTRACTOR TO TEST FOR, AND CORRECT, IF ANY, "BIRD BATH" CONDITIONS.
- ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.

SIDEWALK NOTES:

- SIDEWALK CROSS-SLOPE SHALL NOT EXCEED 2% AND THE RUNNING SLOPE ALONG THE TRAVEL PATH SHALL NOT EXCEED 5% EXCEPT AT DESIGNATED RAMPS.
- CROSS-SLOPES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO POURING CONCRETE FOR THE SIDEWALKS.
- IF AFOREMENTIONED SLOPES CAN NOT BE ATTAINED, THE ENGINEER SHOULD BE NOTIFIED PRIOR TO SIDEWALK INSTALLATION.
- IF RAMPS EXCEED 6' IN LENGTH WITHOUT A LANDING AREA OR THE RUNNING SLOPE ALONG THE TRAVEL PATH EXCEEDS 5%, HANDRAILS MAY BE REQUIRED. VERIFY WITH ENGINEER OR LOCAL INSPECTOR.
- LANDINGS OUTSIDE ALL DOORS SHALL BE SIZED PER THE NORTH CAROLINA BUILDING CODE(NCBC), BE AT THE SAME ELEVATION AS THE F.F.E. AND SHALL HAVE A MAX. 2% SLOPE IN ANY DIRECTION INCLUDING IN THE DIAGONAL.

DRAINAGE NOTES:

- REVERSE CURB AND GUTTER TO BE USED IN AREAS NOT CHANNELING STORM WATER RUNOFF.
- THE PROPOSED CONTOURS WITHIN PAVED AREAS ARE GRAPHICAL REPRESENTATIONS ONLY. THE CONTRACTOR IS RESPONSIBLE FOR GRADING UNIFORMLY BETWEEN SPOT ELEVATIONS.
- CONTRACTOR TO GRADE ALL AREAS WITHIN PROJECT TO DRAIN STORM WATER. CARE SHALL BE TAKEN TO ENSURE THAT ALL AREAS WITHIN PARKING LOTS, ISLANDS, AND GRASS OR OTHER LANDSCAPED AREAS SHALL NOT HOLD WATER UPON PROJECT COMPLETION.
- MIN. SLOPE ON ALL ASPHALT TO BE 1.5%.
- MIN. SLOPE ON CURB AND GUTTER CARRYING STORM WATER TO BE 0.5%.
- MIN. SLOPE ALONG REVERSE CURB AND GUTTER CAN BE 0.0%.



DO NOT USE FOR CONSTRUCTION

NO.	BY	DATE	REVISION

Project: **GREATER LIFE CHURCH**
3851 MATTHEWS-MINT HILL ROAD
MINT HILL, NORTH CAROLINA

Title: **GRADING PLAN**

File #: 17133-PB.DWG | Date: 08/25/17 | Project Egr: BTU
Design By: NPF
Drawn By: NPF
Scale: 1"=40'

8720 RED OAK BOULEVARD, SUITE 420
CHARLOTTE, N.C. 28217
PHONE (704) 527-3440 FAX (704) 527-8335

C3.0