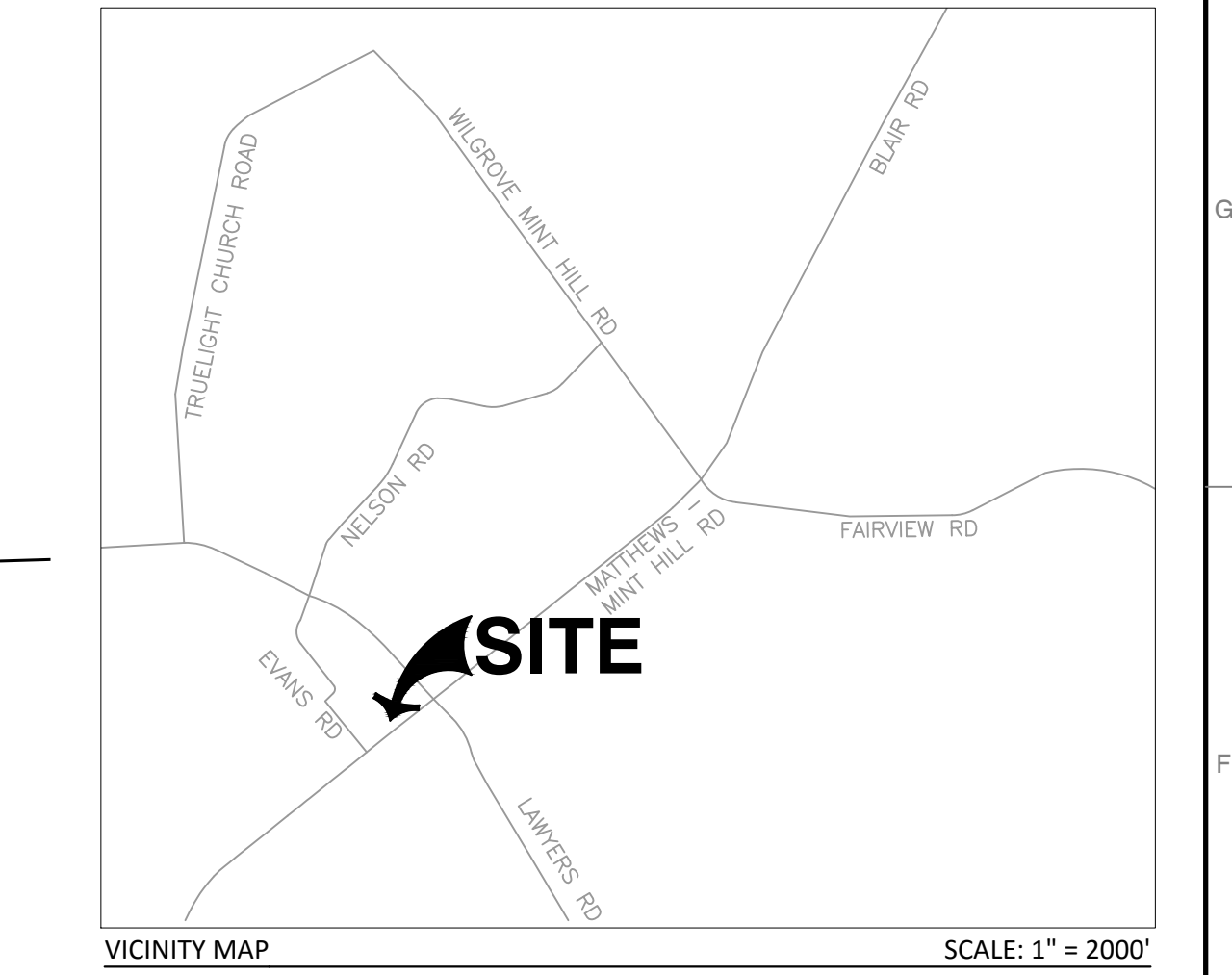




REVISION RECORD		
NO	DATE	DESCRIPTION

SUBMITTAL RECORD		
NO	DATE	DESCRIPTION



BUILT UPON AREA CALCULATION:
TOTAL IMPERVIOUS AREA: 0.734 ACRES
TOTAL PROPERTY AREA: 1.16 ACRES
BUILT UPON AREA: 63.28%

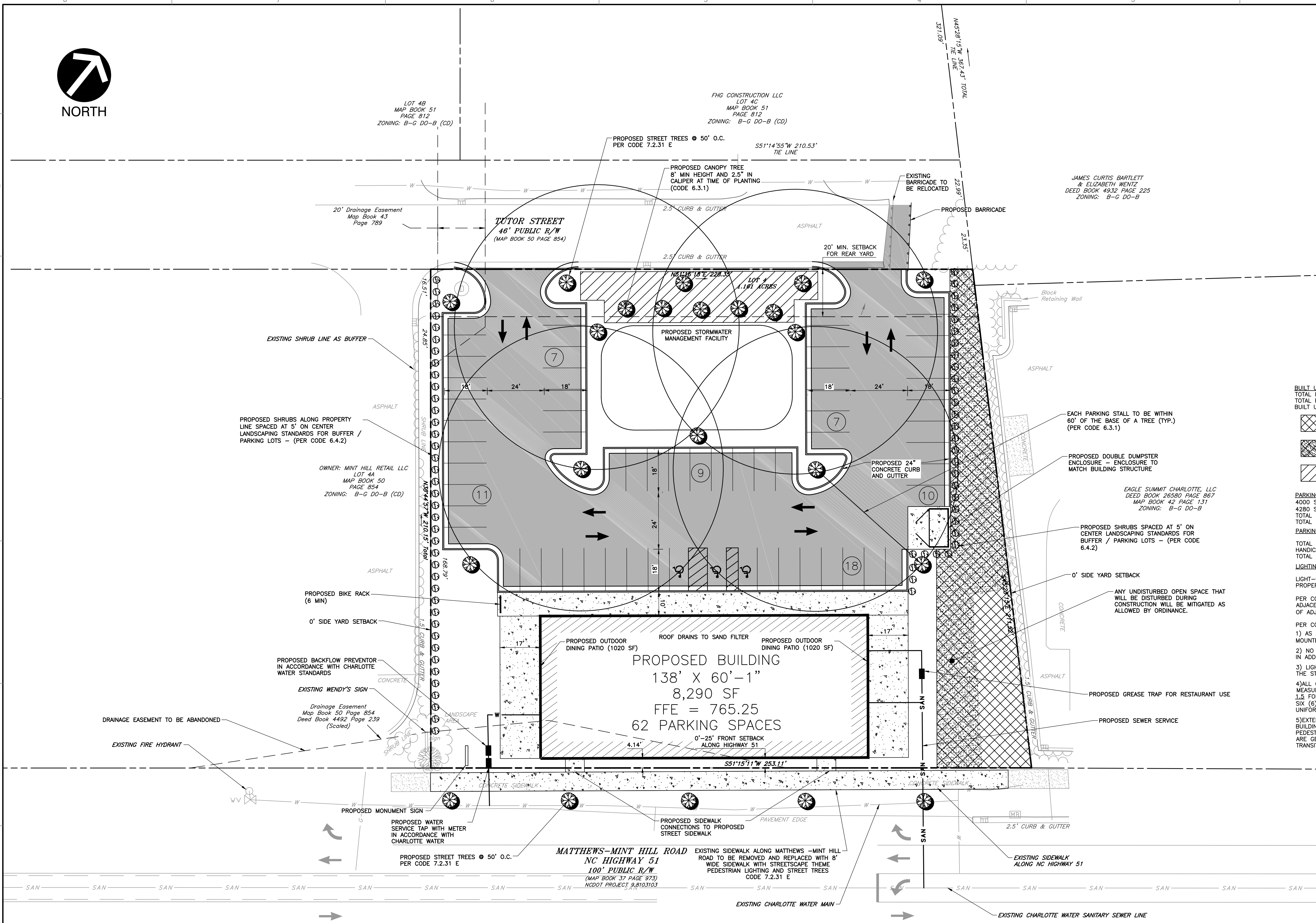
LEGEND:
 UNDISTURBED OPEN SPACE = 0.117 AC (10% OF PROJECT AREA PER CODE 6.8.4)
 DISTURBED OPEN SPACE DURING CONSTRUCTION = 0.087 AC
 MITIGATED OPEN SPACE = 0.044 AC (36 TREES / ACRES, PER CODE 6.8.4)

PARKING REQUIREMENTS:
4000 SF RESTAURANT (150 SEATS): 1 SPACE / 4 SEATS = 38
4280 SF RETAIL (3.5 SPACES / 1000 SF) = 15 SPACES
TOTAL REQUIRED: 53 SPACES
TOTAL BICYCLE: 10% OF AUTO = 6 BICYCLE SPACES
PARKING PROVIDED:
TOTAL SPACES PROVIDED: 62
HANDICAP SPACES: 3
TOTAL BICYCLE SPACES: 6

LIGHTING REQUIREMENTS:
LIGHT-CUT-OFFS TO BE PROVIDED TO PREVENT LIGHTING EXTENDING INTO RIGHT OF WAYS AND ADJACENT PROPERTIES

PER CODE 6.9.8 - "OUTDOOR LIGHTING. OUTDOOR LIGHTING SHALL BE SO LOCATED AS NOT TO REFLECT ON ADJACENT PROPERTY OR ON PUBLIC STREETS IN SUCH MANNER AS TO ADVERSELY AFFECT THE ENJOYMENT OF ADJACENT PROPERTY OR ENDANGER THE MOTORIST TRAVERSING SUCH PUBLIC STREETS"

PER CODE SECTION 7.4: 7.1, 7.1 AND 7.3
1) AS A GENERAL RULE, LIGHTING SHOULD BE PROVIDED WITH LOWER-INTENSITY, FULL-SPECTRUM BULBS MOUNTED ON POLES EIGHT (8) TO TWELVE (12) FEET IN HEIGHT.
2) NO STREET LIGHT SHALL BE MORE THAN TWO HUNDRED FIFTY (250) FEET FROM ANOTHER STREET LIGHT. IN ADDITION, LIGHTING SHALL BE PLACED AT EVERY INTERSECTION.
3) LIGHTING ALONG MATTHEWS-MINT HILL ROAD (NC 51) AND LAWYERS ROAD SHALL BE CONSISTENT WITH THE STANDARD FIXTURE SPECIFIED BY THE TOWN.
4) ALL OUTDOOR LIGHTING SHALL BE DESIGNED AND LOCATED SUCH THAT THE MAXIMUM ILLUMINATION MEASURED IN FOOTCANDLES AT THE PROPERTY LINE SHALL NOT EXCEED .3 FOR NON CUT-OFF LIGHTS AND 1.5 FOR CUT-OFF LIGHTS. THE AVERAGE INTENSITY ILLUMINATION FOR OUTDOOR LIGHTING SHALL NOT EXCEED SIX (6) FOOTCANDLES IN INTENSITY AS MEASURED AT GRADE. FIXTURES SHOULD BE PLACED TO PROVIDE UNIFORM DISTRIBUTION OF LIGHT AND TO AVOID INTENSE LIGHTING THAT PRODUCES EXCESSIVE GLOARE.
5) EXTERIOR LIGHTING SHOULD BE ARCHITECTURALLY INTEGRATED WITH THE ARCHITECTURAL CHARACTER OF THE BUILDING. DOWNCAST OR CUTOFF TYPE LIGHTING FIXTURES SHOULD BE GENERALLY USED TO ILLUMINATE PEDESTRIAN OR TRAFFIC CIRCULATION CORRIDORS. BOLLARD OR DECORATIVE CUTOFF-TYPE LIGHTING FIXTURES ARE GENERALLY SUITED FOR PEDESTRIAN APPLICATIONS SUCH AS FOR PEDESTRIAN CIRCULATION OR TRANSITIONAL AREAS.



LEGEND	
PROPERTY LINE	
EXISTING CONCRETE	
PROPOSED CONCRETE	
PROPOSED BUILDING	
PROPOSED PAVEMENT	

ENGINEER:
CIVIL AND ENVIRONMENTAL CONSULTANTS INC.
CONTACT: SHAD WALTERS, PE
ADDRESS: 1900 CENTER PARK DRIVE SUITE A, CHARLOTTE, NC 28217
PHONE: (980) 237-0373
EMAIL: SWALTERS@CECINC.COM

ARCHITECT:
ADAMS ARCHITECTURES
CONTACT: NATHAN E. MORGAN
PHONE: (704) 664-1311
ADDRESS: 126 N. MAIN STREET MOORESVILLE, NC 28115

DEVELOPER INFORMATION:
HALSTEAD CONTRACTORS, LLC
CONTACT: JIM LIVESY
ADDRESS: P.O. BOX 230817, MONTGOMERY, AL 36123

PROPERTY INFORMATION:

OWNER: JOHN STREET, LLC
LAT W. PURSER, III

PARCEL: LOT 4
MB 37, PG 973
PIN: 13538170

ZONING: B-G DO-B(CD)

PCO DISTRICT: CATAWBA

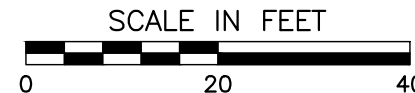
FEMA FIRM MAP: ZONE X PER FEMA FIRM MAP #3710550200K DATED FEBRUARY 19, 2014
(ZONE X = AREAS OUTSIDE THE 1-PERCENT AND 0.2-PERCENT ANNUAL CHANCE FLOODPLAINS.)
THIS PARCEL DOES NOT LIE WITHIN DESIGNATED FLOODPLAIN

SETBACKS:
FRONT 0' - 25' MAX ALONG MATTHEWS / MINT HILL ROAD
SIDE: 0'
REAR: 20'

EXCEPTIONS:

- THE DEVELOPER RESPECTFULLY REQUESTS AN EXCEPTION TO THE ZONING CODE TO NOT INSTALL CURB & GUTTER ALONG MATTHEWS-MINT HILL ROAD AS IT WOULD CREATE DRAINAGE ISSUES ON SITE. NCDOT HAS SCHEDULED THEIR ROAD IMPROVEMENT PROJECT FOR MATTHEWS-MINT HILL ROAD FOR 2022 WHICH WILL INCLUDE CURB & GUTTER FOR THIS SITE.
- THE DEVELOPER RESPECTFULLY REQUESTS AN EXCEPTION TO SECTION 6.5.6 OF THE ZONING CODE, SUCH THAT, EACH END CAP TENANT WOULD BE PERMITTED TO INSTALL A SIGN ON THE SIDE ELEVATION OF ITS PREMISES. SUCH SIDE ELEVATION SIGN WOULD BE IN ADDITION TO THE FRONT AND REAR SIGN PERMITTED BY THE ZONING CODE AND WOULD IN NO EVENT EXCEED THIRTY FIVE (35) SQUARE FEET IN SIZE.

NOTES:
1. EXISTING SITE INFORMATION/TOPOGRAPHIC SURVEY WAS PERFORMED BY GEOMATIC CONCEPTS, PLLC, DATED 2/21/2017.



PRELIMINARY

NCEBLS #C-3035

Civil & Environmental Consultants, Inc.
1900 Center Park Drive - Suite A - Charlotte, NC 28217
Ph: 980.237.0373 - Fax: 980.237.0372
www.cecinc.com

**WHITE HORN, LLC
BRIGHTON SQUARE
MECKLENBURG COUNTY
MINT HILL, NORTH CAROLINA**

DRAWN BY: BDL	CHECKED BY: EPM	APPROVED BY: SWW
DATE: APRIL 3, 2017	DWG SCALE: 1" = 20'	PROJECT NO: 164-080

DEVELOPMENT PLAN

C200

SHEET 1 OF 1

P:\2016\164-080\164-080-001-DEVELOPMENT PLAN.dwg(2/21/2017 3:50 PM) - LP: 3/21/2017 3:50 PM