

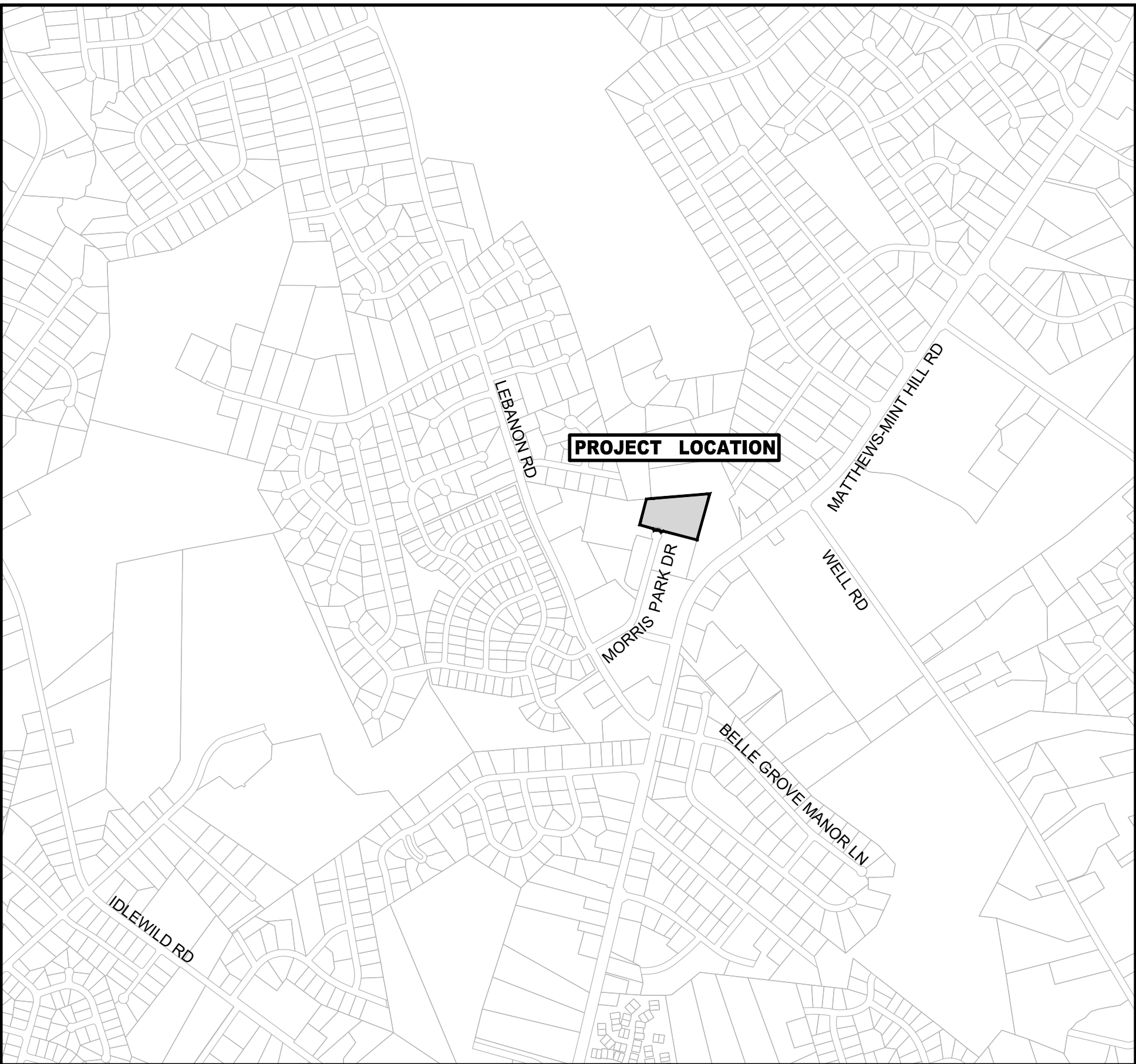
CIVIL CONSTRUCTION PLANS

FOR

4500 MORRIS PARK DR

PARCEL #135-30-104

TOWN OF MINT HILL, MECKLENBURG COUNTY,NORTH CAROLINA



LOCATION MAP

SCALE: 1" = 1000'



JANUARY 2023

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URBAN FORESTRY NOTES

CHARLOTTE URBAN FORESTRY - TREE PLANTING AND PRESERVATION REQUIREMENTS PLANT MATERIAL

- 1. MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM. 13 MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM. MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL, IF MULTI-STEM TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 10' TALL.
- 2. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/2 INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED (CLDS 40.09).
- 3. SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.
- 4. ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
- 5. PERIMETER TREES IN URBAN ZONES SHALL BE 3" IN CALIPER AND BE FREE OF BRANCHES UP TO 6' FROM THE TOP OF THE BALL.
- 6. A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- 7. 75% OF REQUIRED TREES MUST BE LARGE MATERIAL SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.

PLANTING REQUIREMENTS

- 1. SEE CLDS 40.01 & 40.09 (ON PLAN) FOR DETAILED TREE PLANTING REQUIREMENTS.
- 2. PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE CLDS 40.01 FOR APPROVED STAKING METHOD/MATERIALS.
- 3. ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
- 4. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 24 SQUARE FEET PER LARGE MATURE TREE AND 200 SQUARE FEET PER SMALL MATURE TREE).
- 5. TREES PLANTED ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE CITY ARBORIST AND/OR NCDOT.
- 6. REVIEW SOIL REQUIREMENTS IN THE TREE ORDINANCE GUIDELINES AT: [HTTP://LANDPERMITS.CHARMECK.ORG](http://landpermits.charmeck.org) THEN CLICK TREES.

UTILITY ISSUES

- 1. IF ANY UTILITY IS BEING INSTALLED IN OR NEAR ANY REQUIRED TREE(S) OR TREE SAVE AREA(S), CALL URBAN FORESTER TO RESOLVE PRIOR TO INSTALLATION.
- 2. LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES.
- 3. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- 4. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES.
- 5. NO LIGHT POLES, UTILITY POLES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.
- 6. COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (< 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 15' FROM A TREE. SHOW SITE LIGHTING ON LANDSCAPE PLAN.

TREE SAVE AND PRESERVATION

- 1. TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
- 2. SHOW TREE PROTECTION AND TREES SAVE AREAS ON EROSION CONTROL, GRADING AND LANDSCAPE PLAN SHEETS.
- 3. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED ON A FINAL PLAT WITH THE MECKLENBURG COUNTY REGISTER OF DEEDS BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. A 10' NO BUILD ZONE AROUND TREE SAVE AREAS MUST BE REFERENCED ON THE PLAT.
- 4. TREE SAVE AREAS SHALL BE FREE OF INVASIVE PLANT SPECIES. IF AN AREA PROPOSED FOR TREE SAVE CONTAINS INVASIVE PLANT SPECIES AT TIME OF PROPOSAL, SUCH INVASIVE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL PLAT.
- 5. THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT.
- 6. ANY ALTERATIONS TO TREE SAVE AREAS MUST BE ACCOMPLISHED WITHOUT MECHANIZED EQUIPMENT.
- 7. NO STRUCTURE WILL BE ALLOWED WITHIN TREE SAVE AREAS AS DETERMINED BY URBAN FORESTRY.
- 8. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY THE CITY ARBORIST (704)336-4262.
- 9. CONTACT URBAN FORESTRY SPECIALIST PRIOR TO ANY CRANE SET-UP, MACHINERY OPERATION OR TEMPORARY BUILDING ERECTION THAT MAY IMPACT CHARLOTTE TREE ORDINANCE-PROTECTED TREE OR TREE SAVE AREAS, INCLUDING TREES LOCATED IN STREET RIGHT-OF-WAY. IMPACTS MAY INCLUDE BUT ARE NOT LIMITED TO: ENCRoACHMENT WITHIN TREE DRIP-LINES, EXCAVATION, SOIL COMPACTION, TREE TRIMMING, ERECTING AND DISMANTLING OF CONSTRUCTION CRANES.

GENERAL

- 1. SUBMIT RELEASE COHOLD RELEASE FORM AT [HTTP://CHARLOTTENC.GOV/LD](http://charlottenc.gov/ld) FOR AN INSPECTION OF TREE PROTECTION/PLANTING AREAS, A MINIMUM OF 5 DAYS BEFORE THE COHOLD RELEASE IS NEEDED.
- 2. VISIT TOWN OF MINT HILL'S LAND DEVELOPMENT WEBSITE FOR ADDITIONAL INFORMATION AND URBAN FORESTRY REQUIREMENTS: [HTTP://CHARLOTTENC.GOV/LD](http://charlottenc.gov/ld) THEN CLICK TREES.

TREE PLANTING NOTES

- 1. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- 2. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL -OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 294 SQ. FT. PER TREE).
- 3. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
- 4. A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- 5. NO LIGHT POLES WITHIN TREE ISLANDS. COMMERCIAL SITE LIGHTING MUST BE A MINIMUM THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE.
- 6. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (GAS, WATER, PHONE, AND ELECTRICAL LINES).
- 7. ATTENTION LANDSCAPER: NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.
- 8. LARGE MATURING TREES MUST BE A MINIMUM 25 TO 30 FEET FROM THE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- 9. PLEASE CALL (704) 336-4330 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS, 1 TO 2 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.
- 10. ORDINANCE-REQUIRED TREES MUST BE MAINTAINED IN TREE FORM & ALLOWED TO GROW TO THEIR NATURAL HEIGHT/FORM, WITH A MAXIMUM OF THREE STEMS OR TRUNKS (NO TOPPING OR ROUNDING OVER) PLEASE
- 11. UNLESS APPROVED BY URBAN FORESTRY STAFF, ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING CUTS SHALL BE CALLED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREE'S AGE AND NOT BE BROKEN, DISEASED OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE FROM EXCESSIVE ADVENTITIOUS ROOT GROWTH.
- 12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR / LANDSCAPER TO NOTIFY THE URBAN FORESTER OF ANY SITE CONFLICTS THAT AFFECT TREE SPECIES PRIOR TO PLANTING TREES.
- 13. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED IN ACCORDANCE WITH THE APPROVED PLAN ON A FINAL PLAT AT THE REGISTER OF DEEDS OFFICE BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED.

LANDSCAPING NOTES

- 1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C.
- 2. ALL PLANTS SHALL BE COMPACT, UNIFORM, AND WELL GROWN. PLANTS SHALL NOT BE DOOSE, OPEN PLANTS. THE CLIENT'S LANDSCAPE ARCHITECT RESERVES THE RIGHT, IN OUR SOLE OPINION, TO REJECT ANY AND ALL MATERIALS WHICH DO NOT MEET THESE REQUIREMENTS.
- 3. ALL PLANTING BEDS SHALL BE MULCHED A MINIMUM OF 4" WITH PINE NEEDLE MULCH.
- 4. ALL PLANTS SHALL BE FREE FROM DISEASE, INSECT INFESTATIONS, AND INJURIES.
- 5. ALL PLANT BEDS SHALL HAVE A 4" V-CUT TRENCH INSTALLED AT THE PERIMETER OF THE BED.
- 6. CONTRACTOR MUST PROVIDE A TWO YEAR WRITTEN GUARANTEE FOR ALL PLANT MATERIALS FROM THE DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION AS NECESSARY UNTIL PLANTS ARE ESTABLISHED.
- 7. THE SPECIES, VARIETIES, AND SIZE LISTED SHALL BE PROVIDED AS SPECIFIED. SUBSTITUTIONS WILL BE PERMITTED ONLY UPON WRITTEN APPLICATION BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT, AND WITH APPROVAL BY SAID LANDSCAPE ARCHITECT IS IN WRITING.
- 8. SYMBOLS: B&B = BALLED AND BURLAPPED, C.O. = ON CENTER, GAL. = GALLON CONTAINER, M.S. = MULTI-STEM, HT. = HEIGHT, CAL. = CALIPER.
- 9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PLANTS ILLUSTRATED ON THE PLANTING PLAN. IF ANY DISCREPANCIES EXIST BETWEEN THE QUANTITIES LISTED ON THE PLANT LIST AND THE QUANTITIES SHOWN ON THE PLAN, THE CONTRACTOR SHALL PROVIDE ALL QUANTITIES ILLUSTRATED ON THE PLAN. IF ANY PLANTS ARE SHOWN NOT LABELED, THE CONTRACTOR SHALL VERIFY THE PLANT IDENTITY WITH THE LANDSCAPE ARCHITECT AND THESE PLANTINGS SHALL BE INCLUDED IN THE CONTRACTOR'S INITIAL BID.
- 10. SOIL AMENDMENTS SHALL BE UNIFORMLY SPREAD AND CULTIVATED THOROUGHLY BY A MECHANICAL TILLER INTO THE TOP 12" OF SOIL THROUGHOUT SHRUB BEDS.
- 11. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING OF ANY SOIL CONDITIONS THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANT MATERIALS. PROPER DRAINAGE MUST BE ASSURED.
- 12. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS BEFORE PREPARING SOIL AND PLANTING TREES.
- 13. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX -OR- UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
- 14. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE REMOVED FROM ROOT BALL PRIOR TO BACK FILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- 15. ALL SIGNAGE AND SITE LIGHTING TO BE COORDINATED AROUND THE TREES LOCATED ON THE PLANTING PLAN. ALL TREES SHOWN ON THE PLANTING PLAN MUST GO IN AS SPECIFIED. ANY CHANGES TO THE PLANTING PLAN COULD RESULT IN A DELAY IN RECEIVING AND OCCUPANCY PERMIT.
- 16. CONSULT PLANT LIST FOR PLANT SIZES AND SPECIFICATIONS.
- 17. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO INSTALLATION. NOTIFY ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.
- 18. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANS. QUANTITIES ARE FOR CONVENIENCES ONLY.
- 19. MULCH TO BE PINE NEEDLES.
- 20. GENERAL CONTRACTOR TO SEED ALL DISTURBED AREAS BEYOND PARKING LOT PERIMETER. LANDSCAPE CONTRACTOR SHALL SEED ALL AREAS WITHIN PARKING AS NOTED.
- 21. CONTRACTOR MAY CONTACT THE CITY INSPECTOR FOR A PRELIMINARY MEETING TO NEGOTIATE CREDIT FOR EXISTING TREES IN THE BUFFER AREA.

GENERAL EROSION CONTROL NOTES

- 1. ALL "STD" NUMBERS REFER TO THE TOWN OF MINT HILL LAND DEVELOPMENT STANDARDS MANUAL.
- 2. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
- 3. ANY GRADING BEYOND THE DENUNDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- 4. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE & IS SUBJECT TO A FINE.
- 5. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 (H/V) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS POSSIBLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- 6. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.
- 7. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING (CLDS #30,16). SOILS ENGINEER TO VERIFY STABILITY OF SLOPES GREATER THAN 2:1.
- 8. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE NOT OTHERWISE APPLICABLE.
- 9. TEMPORARY DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT-OF-WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.
- 10. ALL EMBANKMENTS MUST BE CONSTRUCTED PER SECTION 4.0.6 EMBANKMENT REQUIREMENTS IN THE SMP DESIGN MANUAL. (IF APPLICABLE).

EROSION CONTROL MAINTENANCE NOTES

- 1. ALL EROSION SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT OF GREATER THAN 1/2" RAIN IN A 24 HOUR PERIOD. A RAIN GAUGE SHALL BE MAINTAINED ON THE SITE AND A RECORD OF THE RAINFALL AMOUNTS AND DATES SHALL BE KEPT.
- 2. A RECORD OF INSPECTIONS BY THE CONTRACTOR SHALL BE KEPT AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST. VISIBLE SEDIMENTATION FOUND OUTSIDE THE DENUNDED AREA LIMITS SHALL BE RECORDED AND A BRIEF EXPLANATION KEPT WITH THE RECORDS AS TO THE MEASURES TAKEN TO CONTROL FUTURE RELEASES. ANY MEASURES TAKEN TO CLEAN UP THE SEDIMENT THAT HAS LEFT THE DENUNDED AREA LIMITS SHALL ALSO BE RECORDED.

CONSTRUCTION SEQUENCE

- 1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE TOWN OF MINT HILL ENGINEERING DEPARTMENT.
- 2. SET UP PRE-CONSTRUCTION CONFERENCE ON SITE WITH EROSION CONTROL, INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 17 OF THE CITY CODE AND IS SUBJECT TO A FINE.
- 3. INSTALL SILT FENCE AND OTHER MEASURES AS SHOWN ON THE PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- 4. CALL FOR ONSITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR ISSUES THE GRADING PERMIT AND CLEARING AND GRUBBING MAY BEGIN.
- 5. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
- 6. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
- 7. BEGIN GRADING SITE.
- 8. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
- 9. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, CHARLOTTE LAND DEVELOPMENT STANDARDS, TOWN OF MINT HILL EROSION CONTROL ORDINANCE, AND THE U.S. DEPT. OF AGRICULTURE.
- 10. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- 11. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
- 12. ONCE ENTIRE SITE HAS BEEN STABILIZED, REMOVE SEDIMENT BASIN AND STABILIZE ANY REMAINING DISTURBED AREA.

GENERAL GRADING NOTES

- 1. LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION. ALSO, VARIOUS NCDOT PERSONNEL NEED BE NOTIFIED AS DIRECTED IN THE SPECIAL CONDITIONS OF THE NCDOT DRIVEWAY PERMIT.
- 2. THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- 3. PE SEALED SHOP DRAWINGS FOR RETAINING WALL(S) MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- 4. APPROVAL OF THIS SITE PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- 5. ALL "STD" NUMBERS REFER TO THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- 6. NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE D.O.T. BEFORE INSTALLATION.
- 7. LAND DEVELOPMENT CREATING A TOTAL OF 20,000 S.F. OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- 8. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- 9. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- 10. ALL BACK FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER. BACK FILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIALS, OR OTHER OBJECTIONABLE MATERIAL. BACK FILL MATERIALS SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER TAMPING BLOWS OR PROOF ROLLING. ALL BACK FILL MATERIAL SHALL BE PLACED IN LOOSE 6-IN. LIFTS AND COMPACTED BY MECHANICAL MEANS, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER OR AS LISTED IN NOTE BELOW.
- 11. ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADES SHALL BE COMPACTED TO 98% OF ASTM D698 TO A DEPTH OF 10-IN. AND TO 95% OF ASTM D698 BELOW 12-IN DEPTHS. ALL OTHER NON-STRUCTURAL AREAS SHALL BE COMPACTED TO 90% OF ASTM D698.
- 12. ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADES COMPACTATIONS SHALL BE INTERMEDIATELY TESTED AND APPROVED BY THE GEOTECHNICAL ENGINEER. ALL SUB-GRADES SHALL BE THOROUGHLY PROOF-ROLLED TO IDENTIFY SMALL LOCALIZED AREAS OF UNSUITABLE SOILS. ALL UNSUITABLE SOILS SHALL BE UNDERCUT, REPLACED WITH STRUCTURAL FILL, AND COMPACTED AS LISTED IN NOTE 10.

DEMOLITION NOTES

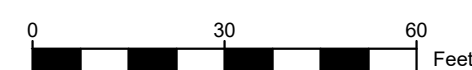
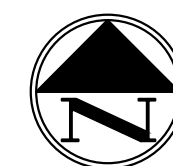
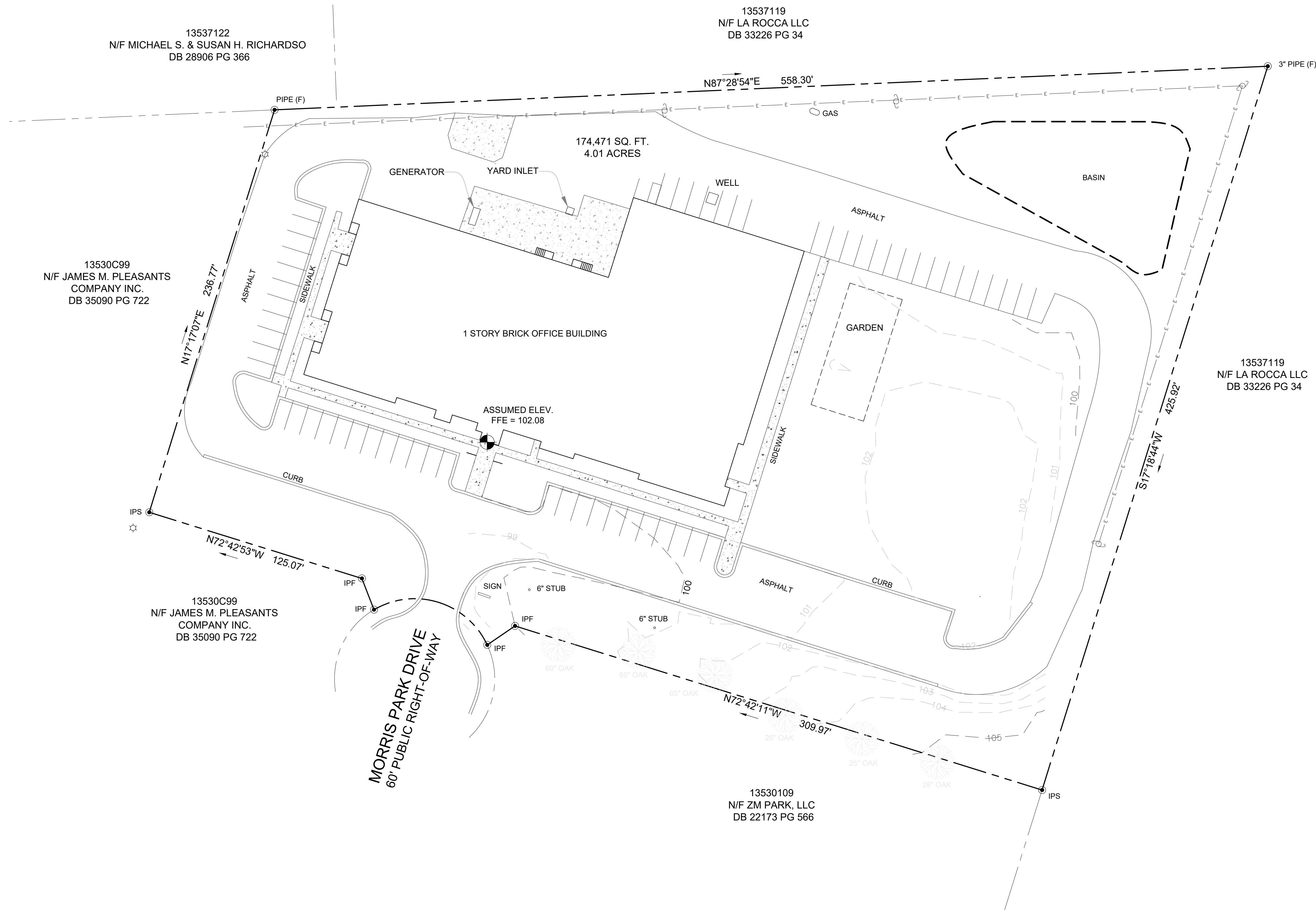
- 1. THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
- 2. THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER.
- 3. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES. THESE FEES ARE TO BE INCLUDED WITH THE BID.
- 4. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- 5. THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOTON AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANIES PRIOR TO WORK.
- 6. CONTRACTOR SHALL COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO CURBS, SIDEWALKS, TREES AND SHRUBS.
- 7. REMOVE AND DISPOSE OF ANY SIDEWALK, FENCES, STAIRS, WALLS, FOUNDATIONS, CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL.
- 8. REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
- 9. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THE PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
- 10. CONTRACTOR SHALL COORDINATE WITH UTILITY DEPARTMENT IN THE REMOVAL/RELOCATION OF EXISTING UTILITY POLES AND OVERHEAD UTILITY LINES.
- 11. THE CONTRACTOR SHALL ARRANGE FOR RESETTling OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.
- 12. INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
- 14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE.
- 15. ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
- 16. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BE PROVIDED.
- 17. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THE AREA.
- 18. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.

GENERAL NOTES


- 1. ALL CONCRETE SIDEWALKS SHALL BE FULL 4" THICK 3600 PSI CONCRETE W/1" DEEP GROOVE CONTROL JOINTS AT INTERVALS INDICATED ON SITE PLAN. PROVIDE EXPANSION JOINTS ADJACENT TO ALL RIGID STRUCTURES. EXPANSION JOINT SPACING SHALL NOT EXCEED 30'.
- 2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 3. SEE ARCHITECTURAL PLAN FOR EXACT LOCATION & SIZE OF WATER, SEWER CONNECTIONS & ROOF DOWNSPOUTS.
- 4. DRIVEWAYS SHALL BE CONSTRUCTED TO STATE & LOCAL CODES.
- 6. ACCESSIBLE PARKING: a. AN ACCESSIBLE PARKING SPACE SHALL HAVE NO GREATER SLOPE THAN 1/4" PER FOOT ACROSS THE SPACE. b. HANDRAILS ARE TO BE PROVIDED ON ACCESSIBLE RAMPS WITH A DROP OF 2" OR MORE. c. MAX. SLOPE FOR AN ACCESSIBLE ROUTE (SIDEWALK) SHALL BE 5.0% (1:20). d. ALL ACCESSIBLE PARKING SPACES SHALL DISPLAY APPROVED RESERVED PARKING SPACE SIGNS AS PRESCRIBED BY THE N.C.D.O.T. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & APPROVED FOR USE UNDER N.C. GENERAL STATUTE RT-8, RT-8D "PENALTY" SIGN & HERE APPLICABLE, "VAN ACCESSIBLE" SIGN. e. THE CONTRACTOR SHALL VISIT THE SITE & FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS BEFORE SUBMITTING HIS BID. f. ALL DISTANCES & DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATIONS MAY BE MADE PRIOR TO THE START OF WORK. g. THE PROPOSED GRADES AS SHOWN ARE THE FINISH GRADES UNLESS OTHERWISE NOTED. h. LIGHTING SHALL NOT EXCEED 30' IN HEIGHT. i. THE CONTRACTOR SHALL SUPPLY & ESTABLISH SURVEY CONTROL, INCLUDING THE HORIZONTAL & VERTICAL CONTROL POINTS. THE CONTRACTOR SHALL MAINTAIN THIS CONTROL & PROVIDE ALL BENCHMARKS, STAKES, GRADES, LEVELS, & LINES NECESSARY FOR CONSTRUCTION. j. CONTRACTORS SHALL PREPARE ADEQUATE SURVEY CONTROL, DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS WORKING AROUND CONSTRUCTION STAKES. THESE CONSTRUCTION STAKES SHALL REMAIN IN PLACE & BE PROTECTED UNTIL OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN DISPLACED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY A LICENSED LAND SURVEYOR ENGAGES BY THE CONTRACTOR AT THE OWNER'S COST.
- 12. ALL EXISTING IMPROVEMENTS DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER.
- 13. ALL EXISTING PAVEMENT & CONCRETE TO BE JOINED SHALL BE SAWCUT.
- 14. BURNING ON, OR NEAR THE JOB SITE WILL NOT BE PERMITTED.
- 15. ALL FILL SHALL BE COMPACTED TO 95% PER ASTM D 698. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION RELATED MATERIAL & DEBRIS.
- 16. TREE SAVE NOTES: a. TEMPORARY DRIVE FENCING INSTALLED UNDER THE ROUGH GRADING CONTRACT SHALL BE MAINTAINED UNTIL THE CITY ALLOWS ITS REMOVAL. REMOVAL OF THIS FENCING SHALL BE INCLUDED HEREIN. b. THE SITE WORK CONTRACTOR(S) SHALL BE FAMILIAR WITH & OBSERVE THE APPLICABLE REQUIREMENTS. ANY QUESTIONS SHOULD BE DIRECTED TO THE PROJECT CIVIL ENGINEERING REPRESENTATIVE. c. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION. d. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ON ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, WRITTEN PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S).
- 19. COORDINATE ALL CURB & STREET GRADES IN INTERSECTION WITH CITY INSPECTOR.
- 20. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM SLOPE OF 0.5% ON CURB.
- 21. INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES & OTHER ABOVE & BELOW-GRADE IMPROVEMENTS ARE APPROXIMATELY AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE & INVERT ELEVATIONS OF SUCH PRIOR TO START OF CONSTRUCTION.
- 22. ALL "STD" NUMBERS REFER TO THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- 23. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE & SHALL REMOVE FROM THE CHANNEL ALL DEBRIS, LOGS, TIMBER, JUNK & OTHER ACCUMULATIONS.
- 24. ANY ROAD IMPROVEMENTS AT PARK ROAD TO BE COORDINATED WITH THE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- 25. THE TOWN OF MINT HILL ENGINEERING DEPT. HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE & DOES NOT ASSUME RESPONSIBILITY FOR THEM.
- 26. NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR TOWN OF MINT HILL MAINTAINED STREETS, CONTACT CDOT AT (704)336-3888.
- 27. THE ENGINEER WILL NOT BE CONTINUOUSLY PRESENT IN THE FIELD. IT IS SPECIFICALLY UNDERSTOOD THAT HE DOES NOT UNDERTAKE NOR ASSUME ANY OBLIGATION FOR SUPERVISION OF CONSTRUCTION. SAFETY MEASURES TAKEN DURING THE COURSE OF CONSTRUCTION REMAIN THE RESPONSIBILITY FOR SECURING THE WORK AND INSURING COMPLETE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND/OR ALL CODE REQUIREMENTS, RULES & REGULATIONS OF ANY PUBLIC OR PRIVATE AUTHORITY HAVING JURISDICTION OVER THE WHOLE OR ANY PART OF THE WORK. IN ADDITION, THE ENGINEER NEITHER UNDERTAKES, ASSUMES, NOR GUARANTEES THE WORK AND/OR PERFORMANCE OF THE CONTRACTOR.
- 28. ALL CONSTRUCTION SHALL MEET TOWN OF MINT HILL & STATE STANDARDS.
- 29. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 S.F. OF IMPERVIOUS AREA SINCE SEPTEMBER OF 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- 30. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704)336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT-OF-WAY TREES. ALL TREES OVER 8"Ø AS MEASURED 4.5' ABOVE THE GROUND & LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704)336-8662 FOR REQUIRED PERMITS.
- 31. BEFORE YOU DIG, STOP. CALL THE NO-ONE-CALL CENTER AT (800)832-4949. IT'S THE LAW.
- 32. SIGHT TRIANGLES SHOWN ARE THE MIN. REQUIRED.
- 33. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025).
- 34. ANY WORK WITHIN THE CITY'S RW THAT REQUIRES CLOSURE OF A SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A RW USE PERMIT OR RW LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704) 432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
- 35. CONSTRUCTION STAGING WITHIN CITY RW LASTING MORE THAN 30 DAYS REQUIRES A RW LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDOT AT 704-336-2562.
- 36. RW CLOSURES LONGER THAN 30 DAYS REQUIRES A RW LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN, TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF THE RW CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT 704-336-2562.
- 37. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT.
- 38. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- 39. DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ, 704-336-4971) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY. FOR THIS PROJECT, COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

LAND DEVELOPMENT NOTES

- 1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- 2. ALL ROAD IMPROVEMENTS AT ARE TO BE COORDINATED WITH THE TOWN OF MINT HILL ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- 3. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM 50.05 (P' SIGNS ONLY).
- 4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- 5. DIRECT VEHICULAR ACCESS TO FROM LOTS IS PROHIBITED.
- 6. FOR SLOPES AND HILLY TERRAINS, SIDEWALKS, STAIRS, WALLS, FOUNDATIONS, AND OTHER ACCUMULATIONS COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- 7. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- 8. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- 9. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- 10. CURB AND GUTTER SHOWN ON PLANS ALONG MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- 11. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- 12. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- 13. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- 14. ANY BUILDING WITHIN THE 100'± STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE TOWN OF MINT HILL/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
- 15. ANY CONSTRUCTION OR WORK WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS OF THE TOWN OF MINT HILL/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
- 16. ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT #5 SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WITHIN LOT #5). ANY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100-YEAR FLOOD ANALYSIS.)
- 17. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- 18. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY/SUBDIVISION ORDINANCE.
- 19. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO TOWN OF MINT HILL ENGINEERING FOR APPROVAL.
- 20. PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF ALL WATER QUALITY BMPs AND DETENTION SYSTEMS MUST BE PROVIDED.
- 21. PRIOR TO PLAT RECORDATION, OFFSITE RW AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE RW ACQUISITION PROCESS". THESE NEEDED RW AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- 22. PER SECTION 18-175(e) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCEs) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 23. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60- 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- 24. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET -MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/street-maintenance/home.htm)
- 25. NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR TOWN OF MINT HILL MAINTAINED STREETS, CONTACT CDOT AT 704-336-3888.
- 26. ANY WORK WITHIN THE CITY'S RW THAT REQUIRES CLOSURE OF A SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A RW USE PERMIT OR RW LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704) 432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO



LEGEND

- 

 FLOODWAY LIMITS

 500 YR FLOODPLAIN LIMIT

 PROPERTY LINE

 EASEMENT LINE

 100 YR FLOODPLAIN LIMIT

 EXISTING WATER LINE

 EXISTING SAN. SEWER LINE

 EXISTING STORM DRAIN PIPE

 EXISTING GAS LINE

 EXISTING OVERHEAD ELECTRIC

 EXISTING FIBER OPTIC LINE

 EXISTING OVERHEAD TELEPHONE

 EX. UNDERGROUND CABLE, & TV LINE

 EXISTING LIGHT POLE 1-FIXTURE

 EXISTING LIGHT POLE 2-FIXTURES

 EXISTING TRANSFORMER PAD

 EXISTING FIRE HYDRANT

 EXISTING. FIRE DEPT. CONNECTION

 EXISTING WATER METER AND VAULT

 EXISTING WATER METER

 EXISTING WATER VALVE

 EXISTING SEWER DOUBLE CLEANOUT

 EXISTING SEWER SINGLE CLEANOUT

 EXISTING SEWER MANHOLE

 EXISTING SIGN

 EXISTING GRAVE INLET

 EXISTING JUNCTION BOX

 EXISTING CURB INLET

 EXISTING UTILITY PIPE OR FENCING TO BE REMOVED

 EXISTING PAVEMENT TO BE REMOVED

 FULL-DEPTH SAWCUT

 EXISTING TREE TO BE REMOVED

 EXISTING TREE TO REMAIN AND BE PROTECTED

DEMOLITION NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL VERIFY ALL LOCATION DIMENSIONS, VERTICAL CONTROL ELEVATIONS, AND PROPERTY LINE LOCATIONS PRIOR TO DEMOLITION OPERATIONS. ANY DISCREPANCIES BETWEEN THE CONSTRUCTION PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING WITH DEMOLITION WORK.
3. REMOVE ALL EXISTING PAVEMENT AND STRUCTURES WITHIN THE SHADED AREA UNLESS OTHERWISE NOTED.
4. COORDINATED WITH LOCAL POWER, TELEPHONE, CABLE, AND GAS COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES.
5. CONTRACTOR TO DETERMINE SOURCE OF ALL EXPOSED UTILITIES AND, IF REQUIRED, RECONNECT TO PROPOSED UTILITIES.
6. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND LEGAL DISPOSAL OF ALL UNSUITABLE MATERIALS FROM THE PROJECT SITE. CONTRACTOR SHALL CONTACT ALL LOCAL AUTHORITIES TO DETERMINE DISPOSAL REQUIREMENTS.



NO.	DATE	REVISION
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MORRIS PARK WAREHOUSE
TOWN OF MINT HILL
MECKLENBURG COUNTY, NC

EXISTING CONDITIONS



120 ACADEMY ST, STE 102-033
FORT MILL, SC 29715
PHONE: 704.360.3998
NC FIRM LICENSE NO. C-4622

DESIGNED: ZH	DATE	PROJECT #	SHEET
DRAWN: IND	JANUARY 2023	22-014	C 1.2
REVIEWER: ZH			



Know what's below.
Call before you dig.



0 30 60 Feet

LEGEND

- PROPOSED FIRELANE
- ACCESSIBLE CROSSWALK
- PROPOSED ACCESSIBLE ROUTE
- BFR BARRIER FREE RAMP (ADA RAMP)
- PROPOSED LIGHT POLE 1-FIXTURE
- PROPOSED LIGHT POLE 2-FIXTURES
- PROPOSED TRANSFORMER PAD
- F.H. PROPOSED FIRE HYDRANT
- FDC PROPOSED FIRE DEPT. CONNECTION
- PROPOSED WATER METER AND VAULT
- WM PROPOSED WATER METER
- WV PROPOSED WATER VALVE
- DCO PROPOSED SEWER DOUBLE CLEANOUT
- CO PROPOSED SEWER SINGLE CLEANOUT
- SSMH PROPOSED SEWER MANHOLE
- PROPOSED SIGN
- G.I. PROPOSED GRATE INLET
- J.B. PROPOSED JUNCTION BOX
- C.I. CURB INLET
- STMH STORM SEWER MANHOLE
- GM GAS METER
- D.E. DRAINAGE EASEMENT
- W.E. WATER EASEMENT

NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF WALL, FACE OF BUILDING, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING AND DUMPSTER ENCLOSURE LAYOUT AND DESIGN.
- REFER TO LANDSCAPE PLANS FOR FENCE AND HARDSCAPE LAYOUT AND DESIGN.
- ALL SIGNAGE IS APPROVED VIA A SEPARATE PERMIT THROUGH THE BUILDING SAFETY DIVISION.
- ALL MECHANICAL EQUIPMENT, DUMPSTERS, ROOFTOP UNITS, ETC SHALL BE SCREENED IN COMPLIANCE WITH THE ZONING ORDINANCE.
- ALL LIGHTING SHALL COMPLY WITH THE ZONING ORDINANCE.
- ANY ALTERATION TO THE SITE PLAN, INCLUDING BUILDING ELEVATION AND LANDSCAPE SUBSTITUTIONS, REQUIRE TOWN APPROVAL THROUGH A REVISED PLAN, STAMPED BY STAFF.
- ALL STRIPING WITHIN DEVELOPMENT TO BE PAINTED WHITE.



NO.	DATE	REVISION

MORRIS PARK WAREHOUSE
TOWN OF MINT HILL
MECKLENBURG COUNTY, NC

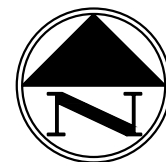
SITE PLAN

SEEDWATER
ENGINEERING

120 ACADEMY ST., STE. 102-033
FORT MILL, SC 29715
PHONE: 704.360.3998
NC FIRM LICENSE NO. C-4622

DESIGNED: ZH	DATE	PROJECT #	SHEET
DRAWN: IND	SEPTEMBER 2022	22-014	C 2.0
REVIEWER: ZH			





0 30 60 Feet

UTILITY LEGEND

FLOODWAY LIMITS	
	500 YR FLOODPLAIN LIMIT
	PROPERTY LINE
	EASEMENT LINE
	100 YR FLOODPLAIN LIMIT
	EXISTING WATER LINE
	EXISTING SAN. SEWER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC
	PROPOSED SAN. SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM SEWER LINE
	PROPOSED UNDERGROUND PHONE/DATA LINE
	PROPOSED UNDERGROUND ELECTRICAL POWER
	EXISTING LIGHT POLE 1-FIXTURE
	EXISTING LIGHT POLE 2-FIXTURES
	EXISTING TRANSFORMER PAD
	EXISTING FIRE HYDRANT
	EXISTING FIRE DEPT. CONNECTION
	EXISTING WATER METER AND VAULT
	EXISTING WATER METER
	EXISTING WATER VALVE
	EXISTING SEWER DOUBLE CLEANOUT
	EXISTING SEWER SINGLE CLEANOUT
	EXISTING SEWER MANHOLE
	EXISTING SIGN
	EXISTING G.I. INLET
	EXISTING JUNCTION BOX
	EXISTING CURB INLET
	PROP. LIGHT POLE 1-FIXTURE
	PROP. LIGHT POLE 2-FIXTURES
	PROP. TRANSFORMER PAD
	PROP. FIRE HYDRANT
	PROP. FIRE DEPT. CONNECTION
	PROP. WATER METER AND VAULT
	PROP. WATER METER
	PROP. WATER VALVE
	PROP. SEWER DOUBLE CLEANOUT
	PROP. SEWER SINGLE CLEANOUT
	PROP. SEWER MANHOLE
	PROP. SIGN
	PROP. G.I. INLET
	PROP. JUNCTION BOX
	PROP. CURB INLET

NOTES

- 1) REFER TO SHEET GENERAL NOTES FOR CITY STANDARD GENERAL NOTES, UTILITY NOTES AND CONSTRUCTION DESIGN NOTES.
- 2) THE TOWN OF MINT HILL DESIGN AND CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
- 3) CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 4) REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SLEEVES CROSSING PAVED AREAS.
- 5) REFER TO M.E.P. PLANS FOR PROPOSED UTILITY CONNECTIONS TO BUILDING.
- 6) ALL T.C.E.Q. PIPE SEPARATION MUST BE MET.
- 7) ALL WYE CONNECTIONS AND BENDS SHALL BE MANUFACTURED FITTINGS.
- 8) SANITARY SEWER CONSTRUCTION WILL INCLUDE FURNISHING AND INSTALLING THE MATERIALS AND ALL SAN. SEWER PIPES, MANHOLES, CLEANOUTS, APPURTENANCE, INCLUDING EXCAVATION, EMBEDMENT AND BACKFILL, AS SHOWN ON THESE PLANS.



NO.	DATE	REVISION
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MORRIS PARK WAREHOUSE
TOWN OF MINT HILL
MECKLENBURG COUNTY, NC

UTILITY PLAN

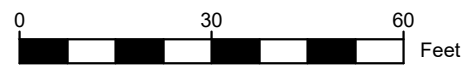
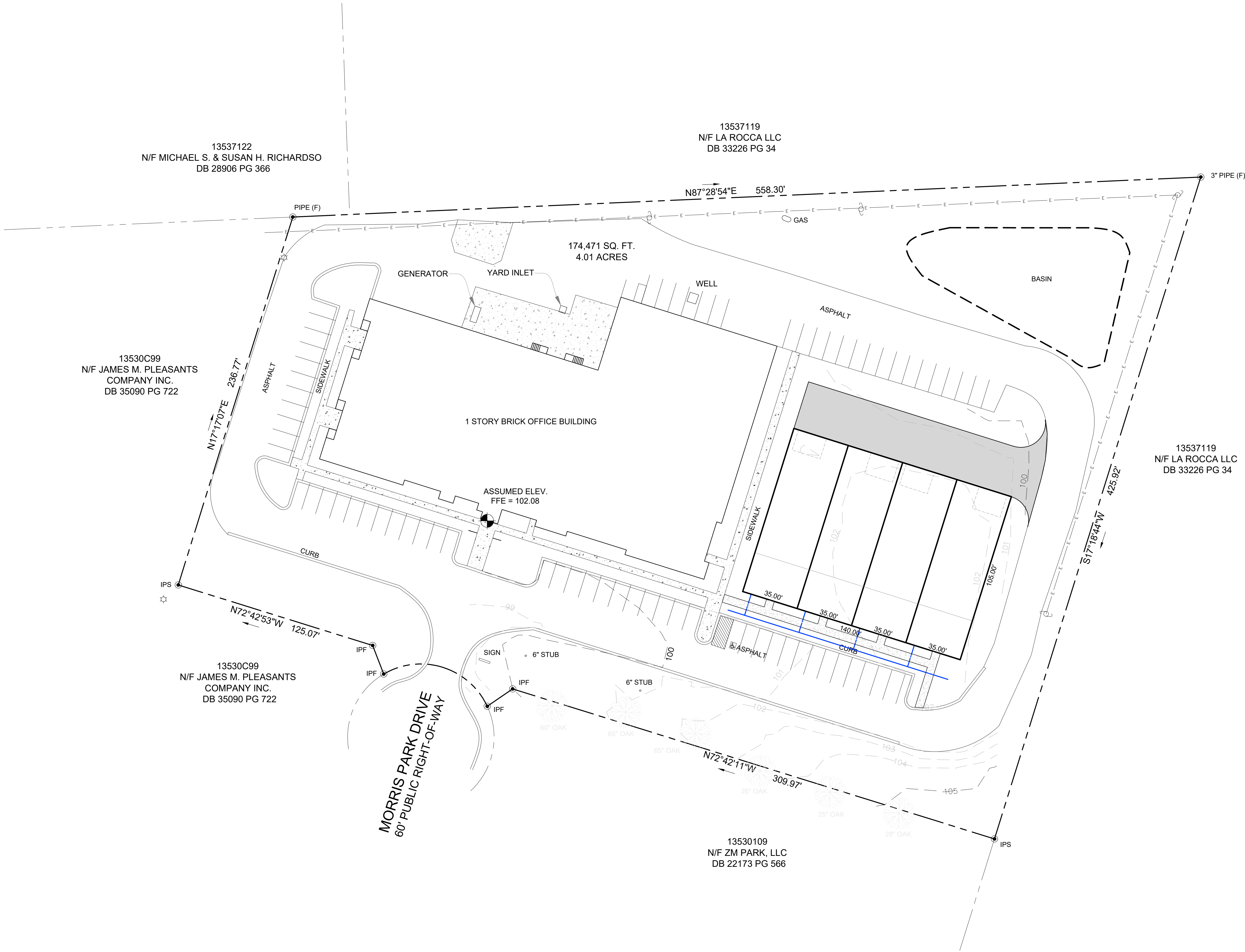


120 ACADEMY ST., STE. 102-033
FORT MILL, SC 29715
PHONE: 704.360.3998
NC FIRM LICENSE NO. C-4622

DESIGNED: ZH	DATE	PROJECT #	SHEET
DRAWN: IND	SEPTEMBER 2022	22-014	C 3.0
REVIEWER: ZH			



Know what's below.
Call before you dig.



GRADING LEGEND

- PR. CONTOUR
- EX. CONTOUR
- GRADE BREAK
- DRAINAGE SWALE
- RETAINING/SCREENING WALL
- 100YR FP
- 100 YEAR FLOODPLAIN LINE
- EX. SPOT GRADE
- TOP OF CURB
- GUTTER
- TOP OF PAVEMENT
- FINISHED GRADE
- TOP OF INLET
- LOW POINT
- HIGH POINT
- TOP OF WALL
- BOTTOM OF WALL
- FINISHED FLOOR

GRADING NOTES

- ALL PROPOSED AND EXISTING GRADES IN NON-PAVED AREAS ARE "FINISHED GRADE" (i.e. IN LANDSCAPE BEDS, TOP OF MULCH/BEDDING MATERIAL).
- CONTRACTOR SHALL FORM SIDEWALK AND VERIFY SLOPES PRIOR TO POURING CONCRETE. CONTRACTOR SHALL ENSURE THAT CROSS SLOPES AREA NO GREATER THAN 2% ALONG THE ACCESSIBLE ROUTE AND RUNNING SLOPE IS NOT GREATER THAN 5%, UNLESS THE RUNNING SLOPE MATCHES THE EXISTING STREET SLOPE. IF ANY DISCREPANCY ARISES, CONTRACTOR SHALL CONTACT THE ENGINEER FOR SOLUTION.
- LIMITS OF CONSTRUCTION AREA SHOWN ON THE EROSION CONTROL PLAN.
- AREAS AROUND THE PERIMETER OF THE BUILDING(S) SHALL BE AT A POSITIVE SLOPE AWAY FROM THE BUILDING TO ENSURE PROPER DRAINAGE AWAY FROM THE FOUNDATION.
- THE CONTRACTOR MUST REFER TO THE GEOTECHNICAL REPORT, FOUNDATION PLANS, AND LANDSCAPE PLANS FOR 1) ALL BACKFILL AND COMPACTION REQUIREMENTS, 2) FOUNDATION WATER PROOFING AND 3) UNDERDRAINS AND LANDSCAPE DRAINS AROUND THE PERIMETER OF THE BUILDING(S).
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MORRIS PARK WAREHOUSE
TOWN OF MINT HILL
MECKLENBURG COUNTY, NC

GRADING PLAN

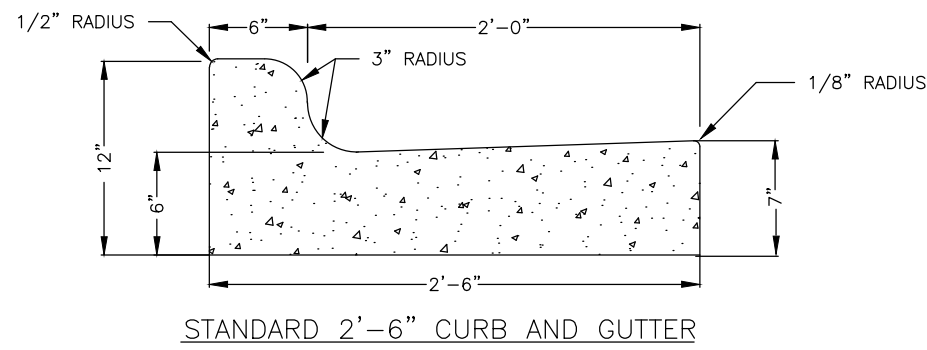


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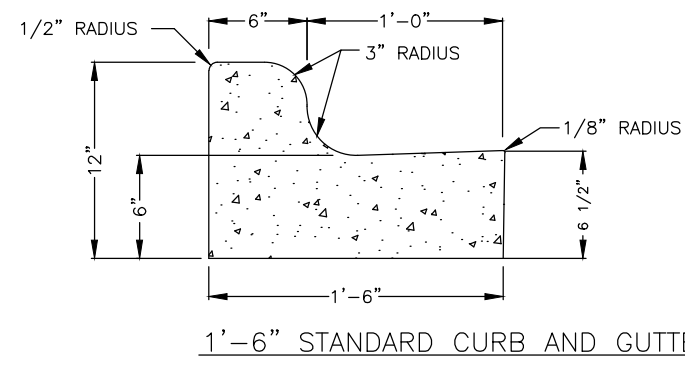
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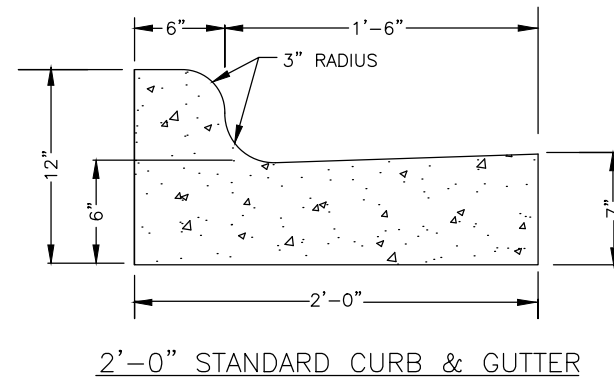
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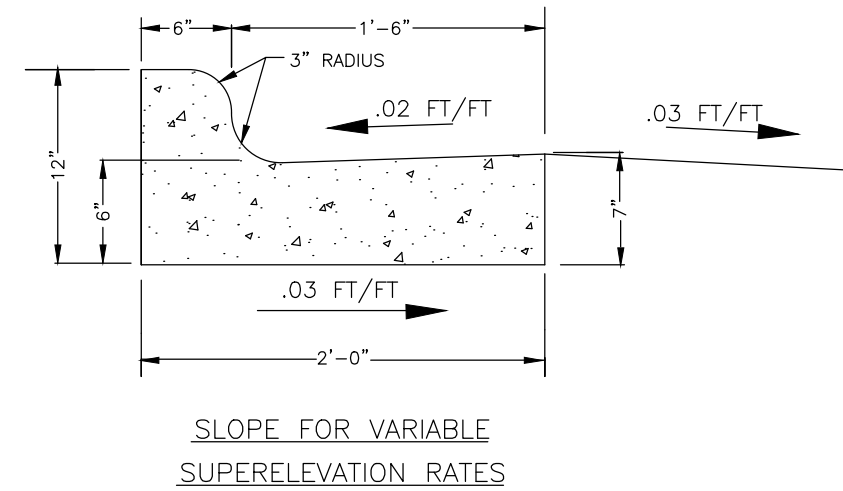
STANDARD 2'-6" CURB AND GUTTER



1'-6" STANDARD CURB AND GUTTER

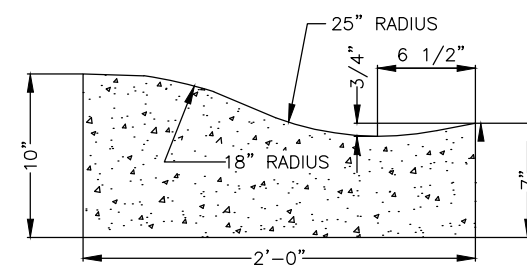


2'-0" STANDARD CURB & GUTTER

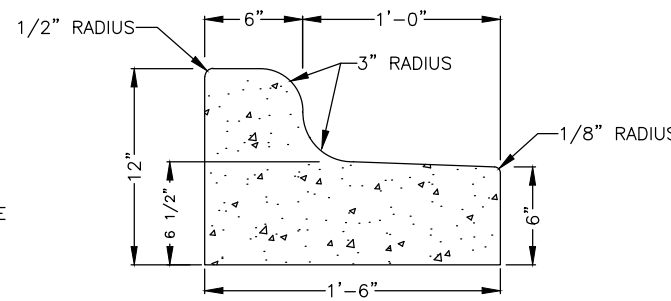
SLOPE FOR VARIABLE
SUPERELEVATION RATES

NOT TO SCALE

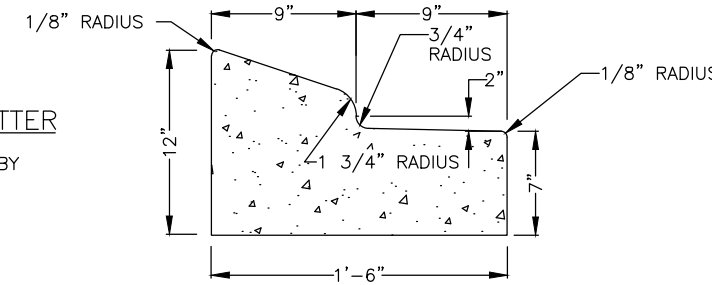
2'-0" VALLEY GUTTER



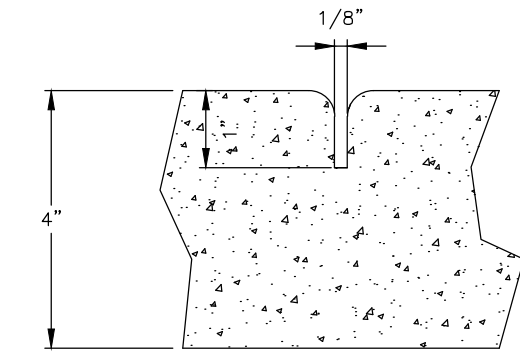
1'-6" MEDIAN CURB AND GUTTER

TO BE USED IN MEDIANS WHEN LANES ARE SLOPED
FROM ISLAND OR AS SPECIFIED BY THE APPROPRIATE
CITY ENGINEERING DEPT.

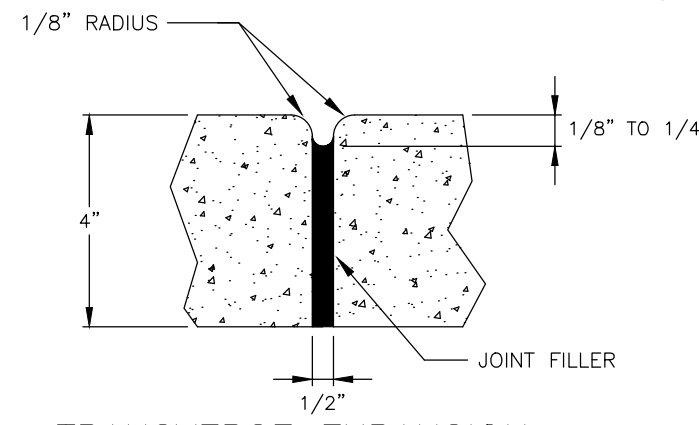
1'-6" MOUNTABLE CURB AND GUTTER

TO BE USED IN MEDIANS ONLY; WHEN SPECIFIED BY
THE APPROPRIATE CITY ENGINEERING DEPT.

NOT TO SCALE



GROOVE JOINT IN SIDEWALK

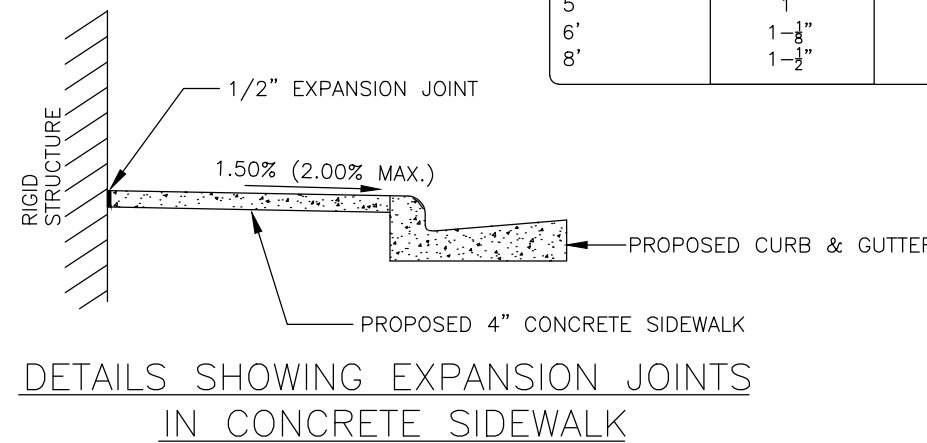
TRANSVERSE EXPANSION
JOINT IN SIDEWALK

GENERAL NOTES:

1. A GROOVE JOINT 1" DEEP WITH 1/8" RADII SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT INTERVALS OF NOT MORE THAN 45' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB; A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
2. SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
3. WIDTH OF SIDEWALK ON THOROUGHFARE STREETS SHALL BE A MINIMUM OF 6'. WIDTH OF SIDEWALKS IN THE CENTRAL BUSINESS DISTRICT WILL BE DETERMINED BY THE CDOT.
4. WIDTH OF SIDEWALKS ON NON-THOROUGHFARE STREETS SHALL BE BASED ON TYPICAL STREET SECTION, A MINIMUM OF 5'. SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
5. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.
6. ZONING CONDITIONS MAY REQUIRE ADDITIONAL WIDTH SIDEWALKS WHICH SHALL SUPERSEDE THESE STANDARD DIMENSIONS SHOWN.
7. LIDS FOR JUNCTION BOXES AND UTILITY VAULTS SHALL BE NON-SKID AS SPECIFIED BY ENGINEER.
8. JOINT MATERIALS SHALL LIMIT SHRINK/SWELL SO POST CONSTRUCTION INSTALLATION RESULTS IN A MAXIMUM OF 1/4" FROM FLUSH.

EXAMPLE SIDEWALK CONSTRUCTION DIMENSIONS:

WIDTH	RISE	CROSS-SLOPE
4'	1"	1.56%
5'	1"	1.67%
6'	1"	1.56%
8'	1"	1.56%

DETAILS SHOWING EXPANSION JOINTS
IN CONCRETE SIDEWALK

NOT TO SCALE

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

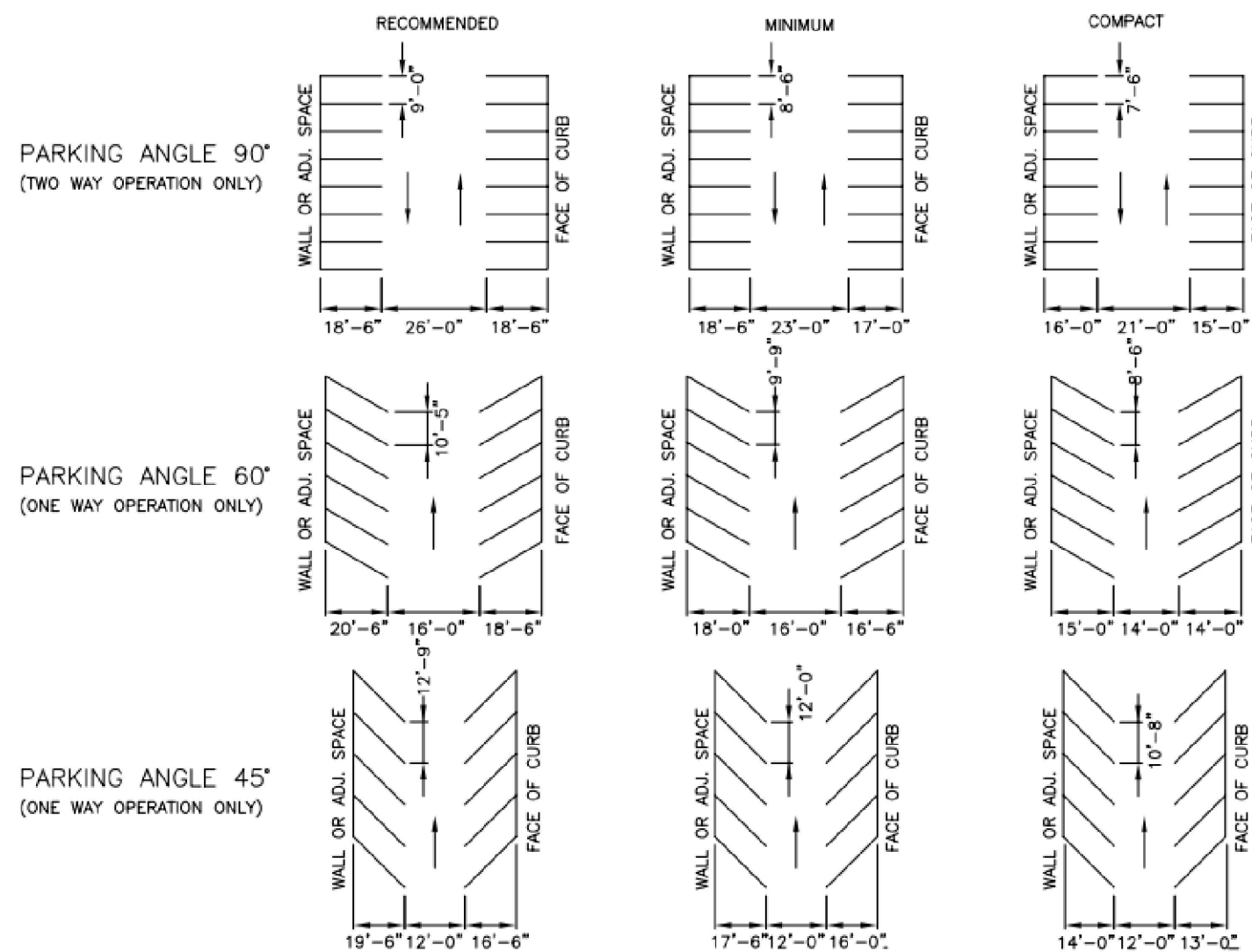
STANDARD CURB AND GUTTER

STD. NO. REV.
10.17ACITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

CURB AND GUTTER

STD. NO. REV.
10.17BCITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

CONCRETE SIDEWALKS

STD. NO. REV.
10.22 15

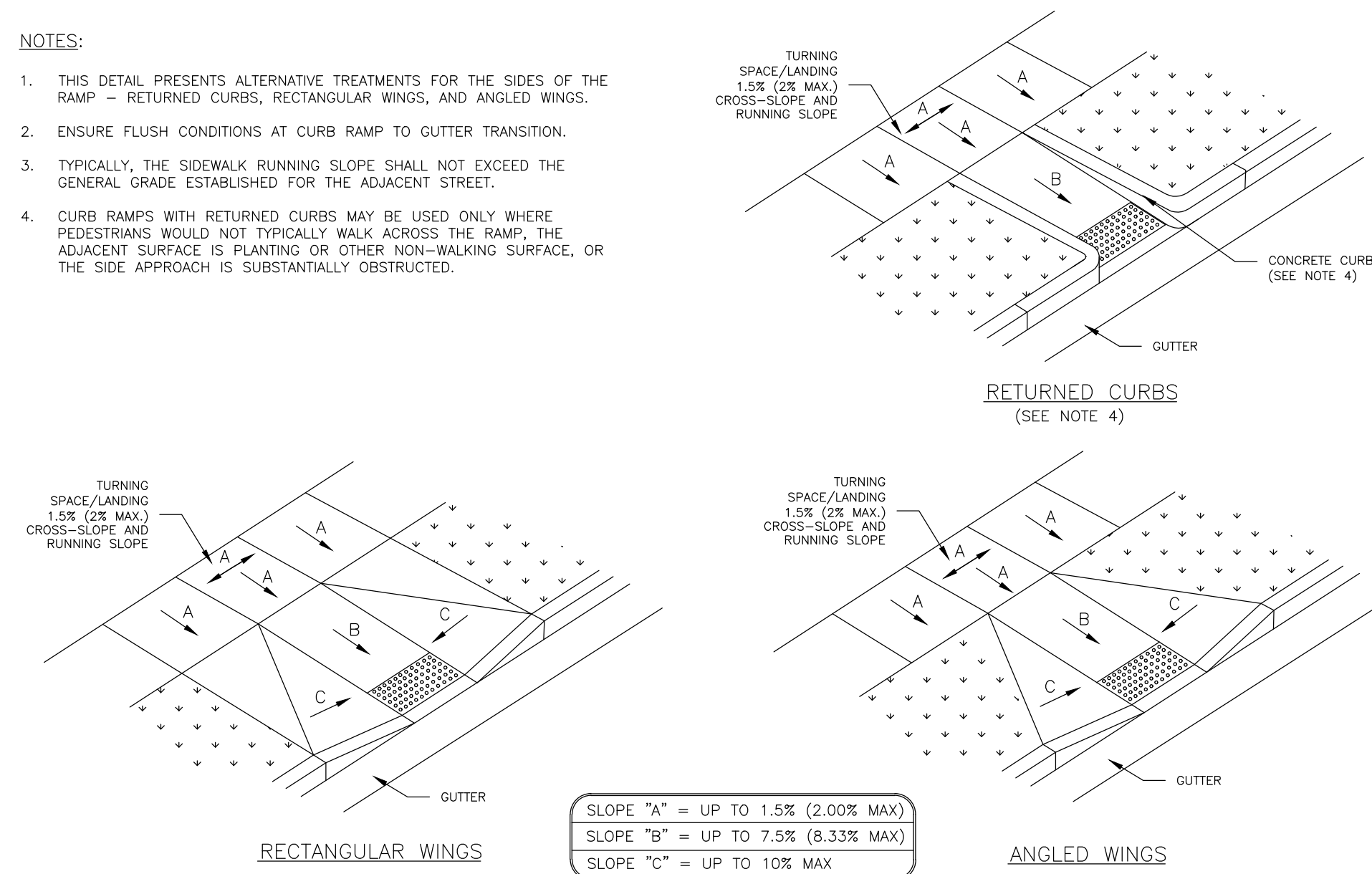
NOTES:

1. FOR ACCESSIBLE PARKING STANDARDS/SIGNAGE SEE STDS. 50.10A, B, AND C.
2. PAVEMENT MARKINGS SHALL BE 4" WHITE PAINT.
3. ALTERNATIVE PARKING ANGLES, AISLE WIDTHS, AND OPERATION (TWO-WAY ANGLED PARKING OR REVERSE-ANGLE PARKING) WILL BE CONSIDERED BY CDOT ON A CASE-BY-CASE BASIS.

NOT TO SCALE

NOTES:

1. THIS DETAIL PRESENTS ALTERNATIVE TREATMENTS FOR THE SIDES OF THE RAMP - RETURNED CURBS, RECTANGULAR WINGS, AND ANGLED WINGS.
2. ENSURE FLUSH CONDITIONS AT CURB RAMP TO GUTTER TRANSITION.
3. TYPICALLY, THE SIDEWALK RUNNING SLOPE SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET.
4. CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT TYPICALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE, OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.

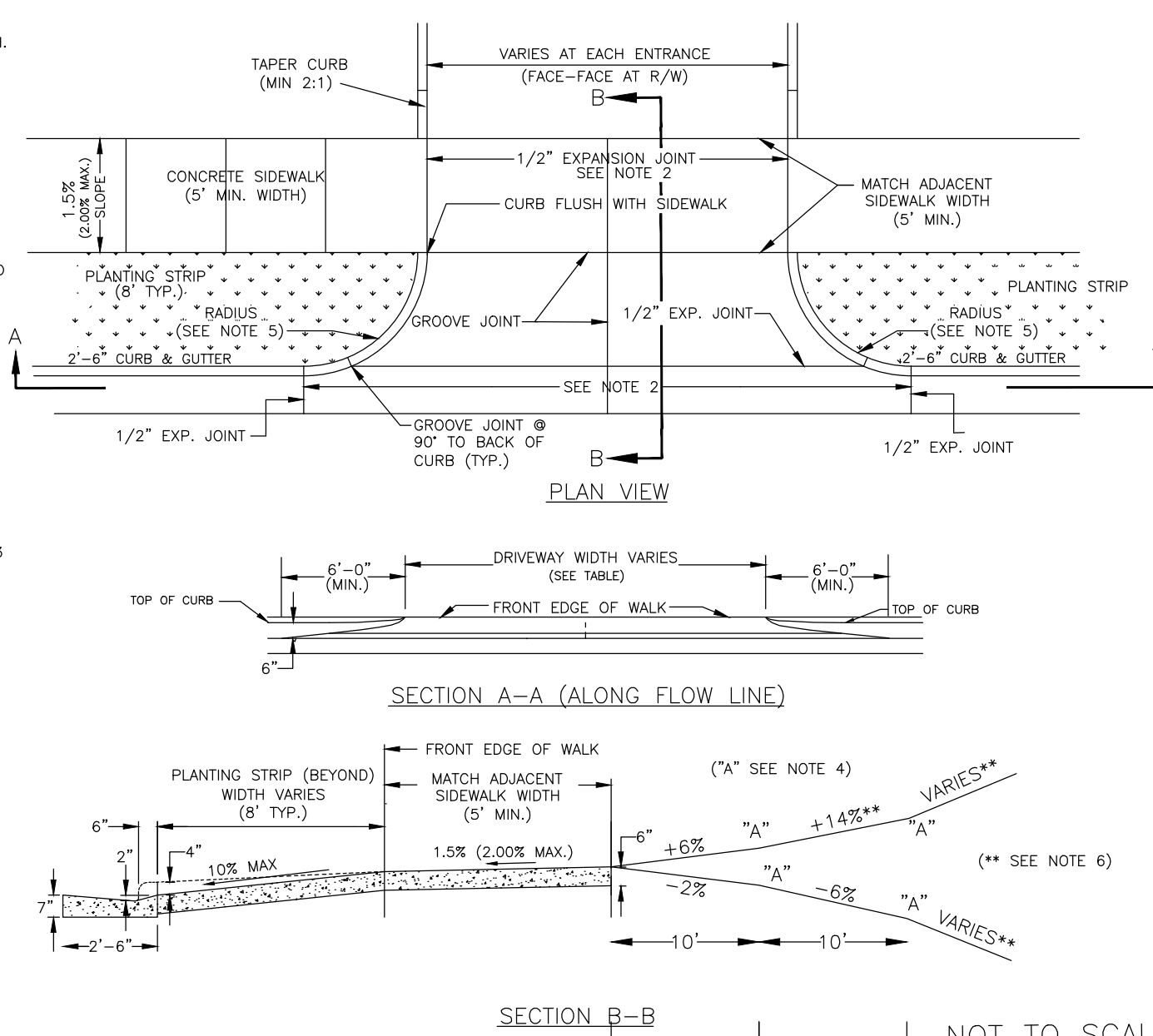
SLOPE "A" = UP TO 1.5% (2.00% MAX)
SLOPE "B" = UP TO 7.5% (8.33% MAX)
SLOPE "C" = UP TO 10% MAX

NOT TO SCALE

NOTES:

1. ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
2. AT ALL DRIVEWAYS, SIDEWALKS TO BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED. SAW CUT OR JOINT TO BE PERPENDICULAR TO EDGE OF EXISTING PAVEMENT. SEE STD. NO. 10.17 FOR JOINT DETAIL. PAY LIMITS FOR WORK DONE UNDER CITY OF CHARLOTTE CONTRACTS ARE FROM EXPANSION JOINT TO EXPANSION JOINT, FROM LIP OF CURB TO BACK OF SIDEWALK.
3. ALL DRIVEWAYS MUST MEET THE CURRENT CITY DRIVEWAY REGULATIONS AND NCDOT REQUIREMENTS FOR SPACING, SIGHT DISTANCE, AND OFFSETS FROM PROPERTY LINES AND INTERSECTIONS.
4. ALGEBRAIC DIFFERENCE IN GRADE ("A") BETWEEN SLOPES SHALL BE 8% OR LESS.
5. RADII MUST BE MINIMUM 8 FEET OR THE WIDTH OF THE PLANTING STRIP, WHICHEVER IS GREATER. RADII GREATER THAN THESE MINIMUMS MAY BE REQUIRED BY CDOT ON A CASE-BY-CASE BASIS. FOR RADII GREATER THAN 8 FEET, THE RADII ARE TO CONTINUE AS A BAND AT-GRADE THROUGH THE SIDEWALK.
6. PER NC IFC SECTION D103.2, FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.
7. PAVERS USED IN DRIVEWAY MUST HAVE A THICKNESS OF 3 INCHES.
8. JOINT MATERIAL SHOULD BE PLACED FLUSH WITH CONCRETE.
9. THE DRIVEWAY MUST RISE 6" FROM THE GUTTER LINE TO PREVENT RUNOFF FROM ENTERING DRIVEWAY.

DRIVEWAY DIMENSIONS		
OPERATION/RADIUS	MINIMUM	MAXIMUM
ONE-WAY WITH 6'-12' FT. RADII	20'	30'
ONE-WAY WITH 13+ FT. RADII	15'	25'
TWO-WAY WITH 6'-12' FT. RADII	26'	50'
TWO-WAY WITH 13+ FT. RADII	22'	40'



SECTION A-A (ALONG FLOW LINE)

SECTION B-B

NOT TO SCALE

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

PARKING STANDARDS

STD. NO. REV.
50.09ACITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJPERPENDICULAR CURB RAMP WITH
2'-6" CURB AND GUTTERSTD. NO. REV.
10.31B 16CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJTYPE II-MODIFIED DRIVEWAY DETAIL WITH
WIDE PLANTING STRIP AND STANDARD CURBSTD. NO. REV.
10.25E 18

1-13-23

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MORRIS PARK WAREHOUSE
TOWN OF MINT HILL
MECKLENBURG COUNTY, NC

CONSTRUCTION DETAILS

**SEEDWATER
ENGINEERING**120 ACADEMY ST. STE 102-033
FORT MILL, SC 29715
PHONE: 704.360.3998
NC FIRM LICENSE NO. C-4622

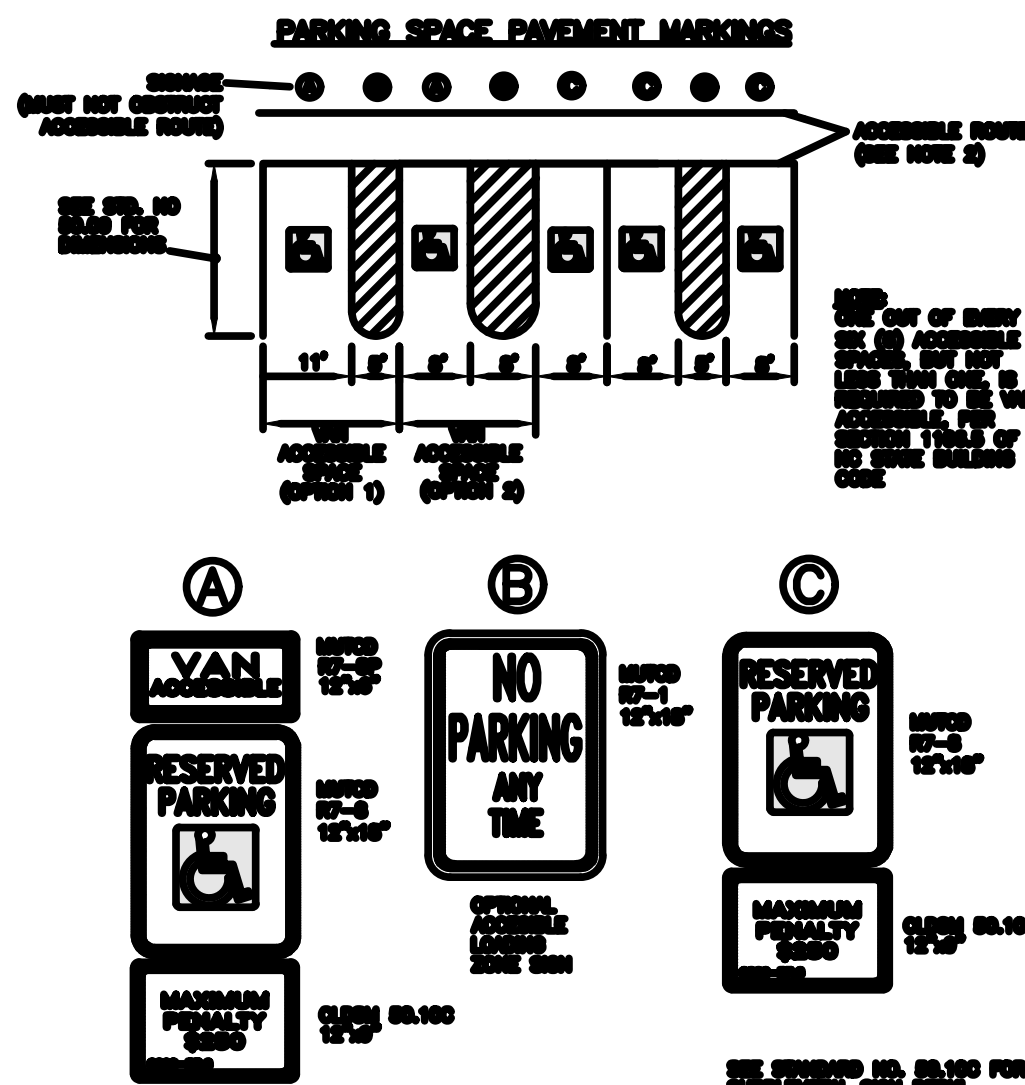
DESIGNED:	ZH	DATE	PROJECT #	SHEET
DRAWN:	IND	JANUARY 2023	22-014	C6.0
REVIEWER:	ZH			

Know what's below.
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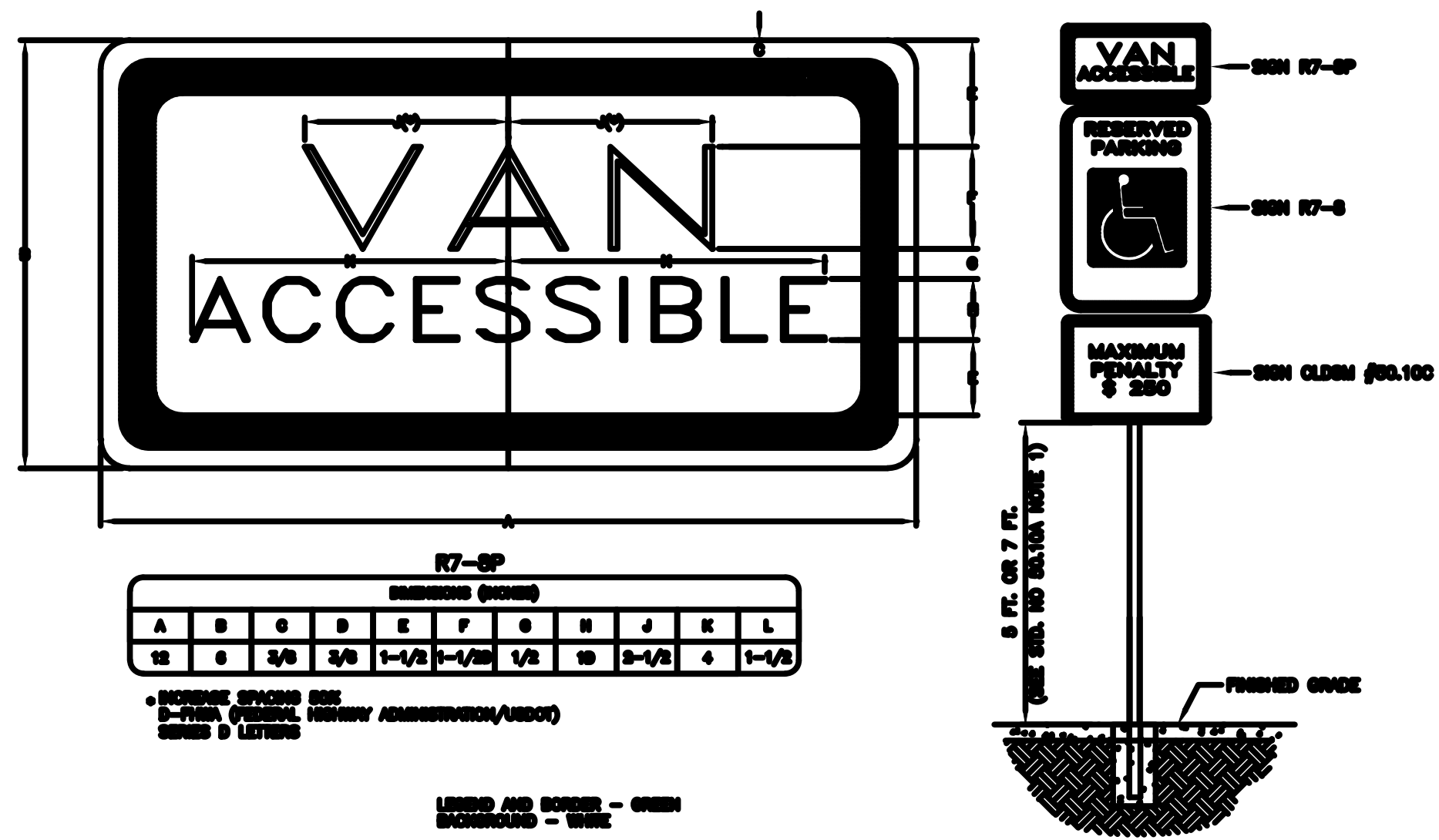
ACCESSIBLE PARKING REQUIREMENTS

TOTAL PARKING SPACES	MINIMUM NUMBER OF ACCESSIBLE SPACES TO BE VAN ACCESSIBLE	MINIMUM NUMBER OF ACCESSIBLE SPACES TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 250	7	2
251 TO 300	8	2
301 TO 350	9	2
351 TO 400	10	2
401 TO 500	12	2
501 TO 1000	SEE OF TOTAL	1 IN EVERY 5 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 5 ACCESSIBLE SPACES

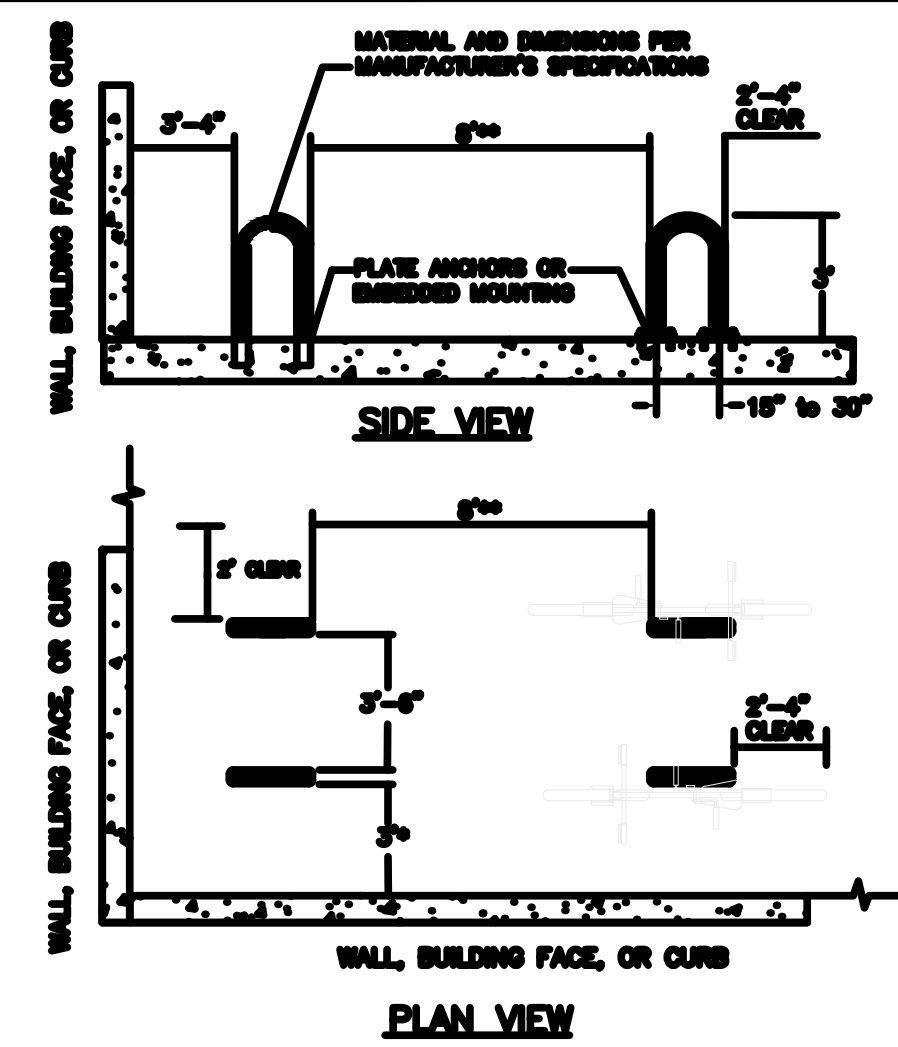
- NOTES:
- ALL ACCESSIBLE SIGNS (R7-8P, R7-8, R7-1, AND R7-10) SHALL BE LOCATED AT 7 FEET FROM CURB TO CENTER LINE OF CURB FACE FOR VEHICLES, EXCEPT WHERE NOTED OTHERWISE TO 8 FEET IF LOCATED IN AN AREA WHERE THE CURB IS NOT PARALLEL TO THE STREET.
 - IF ACCESSIBLE SPACE IS A BAYED DRIVEWAY, THEN SIGNS ARE REQUIRED AT LOADING DOOR AREA, EXCEPT FOR 2 WIDE DRIVEWAYS.
 - VERTICAL CLEARANCE FOR VANS MUST BE GREATER THAN 6'-0".
 - THIS DETAIL IS TO PROVIDE GENERAL GUIDANCE FOR PARKING LAYOUT AND IS NOT INTEND TO BE USED AS A SUBSTITUTE FOR THE CITY OF CHARLOTTE'S LAND DEVELOPMENT STANDARDS AND ITS BUILDING CODE FOR ACCESSIBLE PARKING.



NOT TO SCALE



NOT TO SCALE



- NOTES:
- BIKE RACK GENERAL REQUIREMENTS:
 - SHOULD SUPPORT THE BIKE UPRIGHT WITHOUT PUTTING STRESS ON THE WHEELS AND ATTACHMENTS
 - SHOULD ACCOMMODATE A VARIETY OF BICYCLES
 - SHOULD ALLOW LOCKING OF FRAME AND AT LEAST ONE WHEEL WITH U-LOCK
 - SHOULD PROVIDE SECURITY AND LONGEVITY FEATURES APPROPRIATE FOR THE INTENDED LOCATION
 - BIKE RACKS SHOULD BE INSTALLED PER MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES
 - ALTERNATIVE BIKE RACKS OR LOCKERS MAY BE USED BUT ARE SUBJECT TO APPROVAL OF THE CHARLOTTE DEPT. OF TRANSPORTATION
 - ALL DIMENSIONS SHOWN ARE MINIMUM
 - RACK MUST BE CHAIN DETACHABLE, RACK AND CLEVERANCES SHOWN ARE TO BE OUTSIDE THE PEDESTRIAN ACCESSIBLE ROUTE.

TYPICAL MOUNT OPTIONS:



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CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS

ACCESSIBLE PARKING AND
SIGNAGE STANDARDS

50.10A18

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS

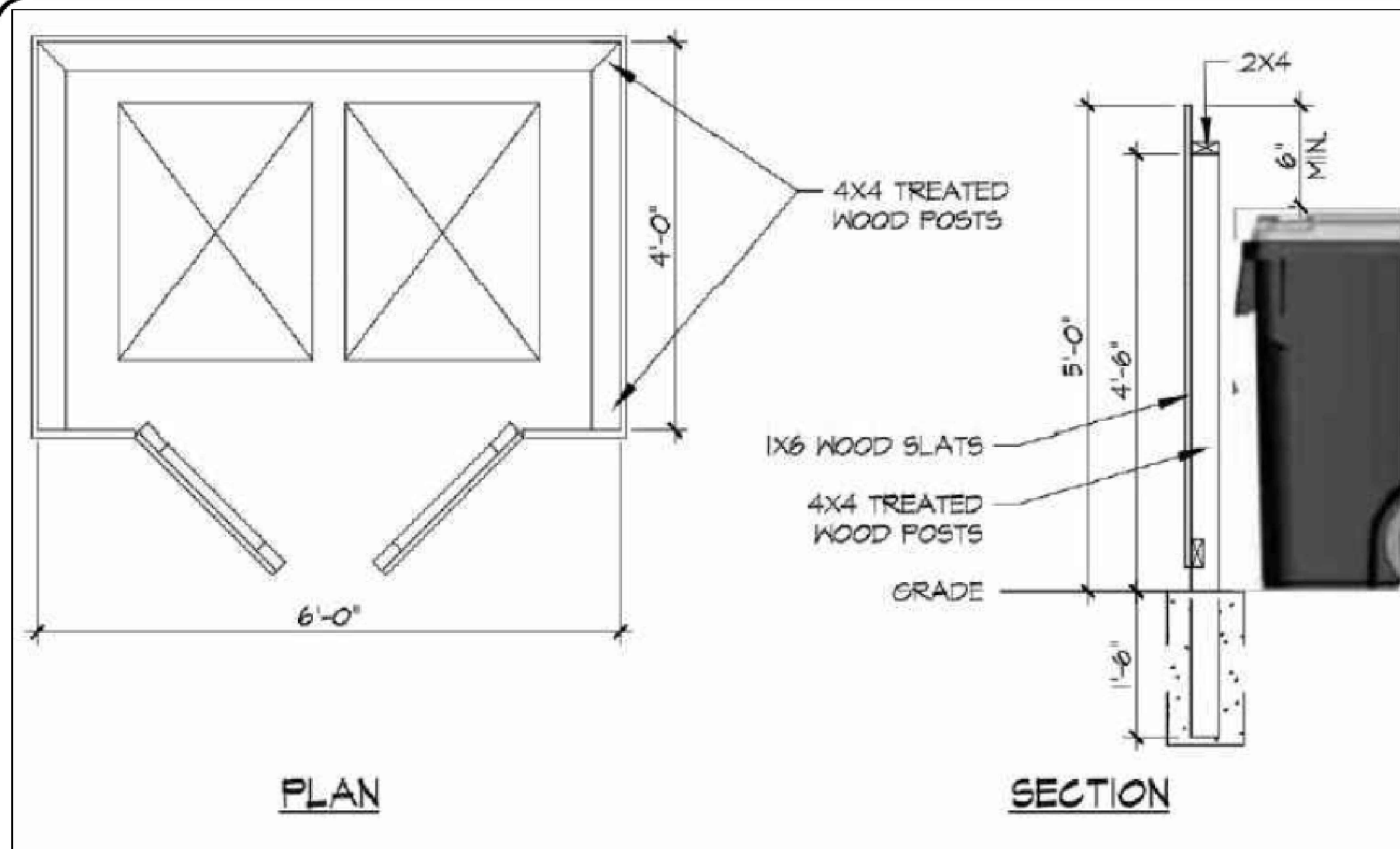
SUPPLEMENTAL VAN ACCESSIBLE
SIGN (R7-8P)

50.10B18

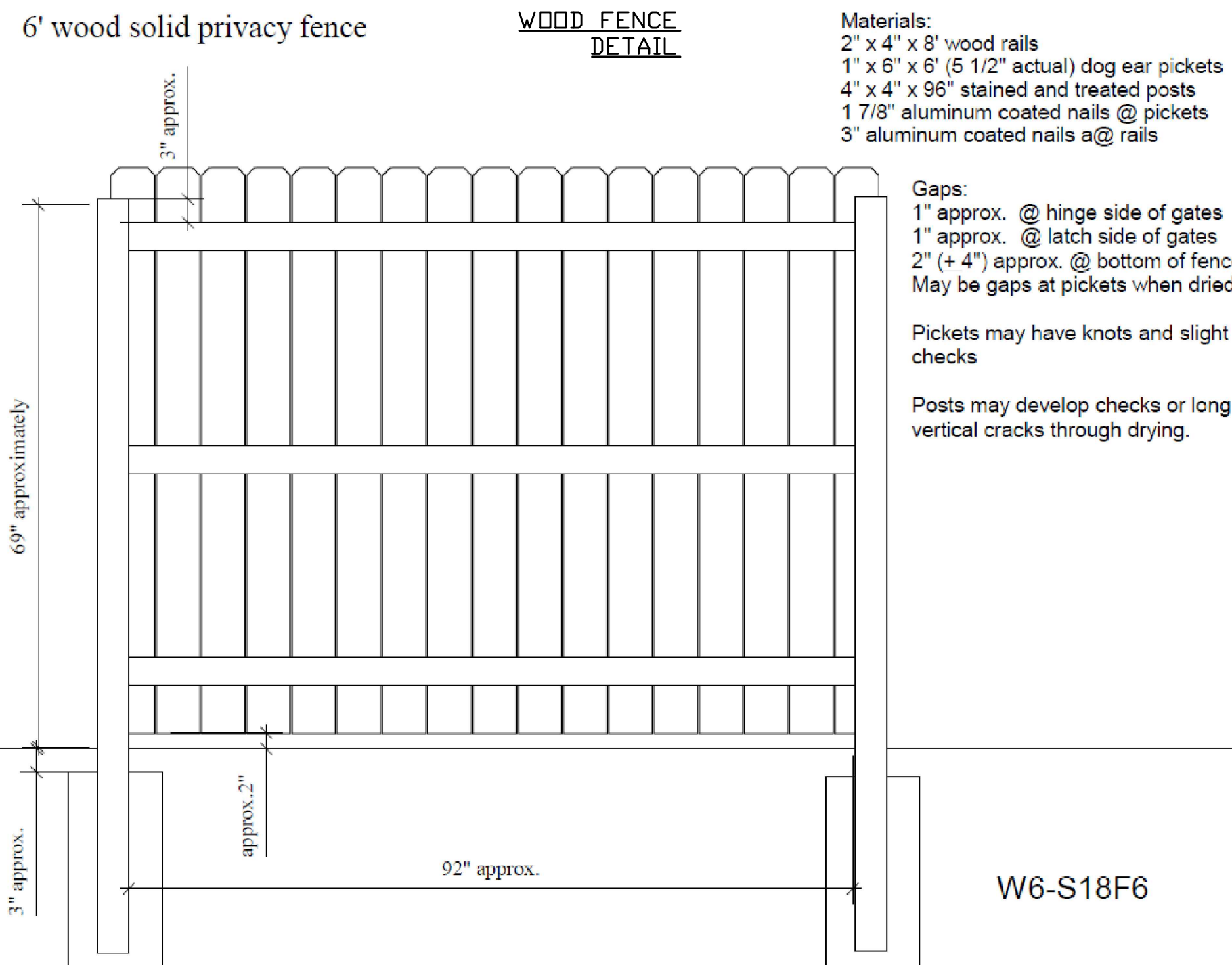
CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS

INVERTED "U" RACK FOR
BICYCLE PARKING

50.2015



ROLLOUT ENCLOSURE DETAIL



W6-S18F6



NO.	DATE	REVISION
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MORRIS PARK WAREHOUSE TOWN OF MINT HILL MECKLENBURG COUNTY, NC			
CONSTRUCTION DETAILS			
SEEDWATER ENGINEERING			
120 ACADEMY ST., STE 102-033 FORT MILL, SC 29715 PHONE: 704.360.3998 NC FIRM LICENSE NO. C-4622			
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