

1. ALL DIMENSIONS ARE BASED FROM FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE NOTED.

2. SEE EXISTING CONDITIONS SHEET FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING

3. THIS SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP, FIRM PANEL 3710551300K DATED FEBRUARY 19, 2014.

4. ALL ON SITE STRIPING IS TO BE PAINTED, UNLESS OTHERWISE NOTED. ALL STRIPING IN PUBLIC RIGHT-OF-WAY TO BE THERMOPLASTIC STRIPING.

5. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS, CODES AND O.S.H.A.

6. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

7. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON THE PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED. ALL WORK SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

9. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM R.B. PHARR AND ASSOCIATES, P.A.. SEALED BY ANDREW BAKER, DATED 10-14-2020.

AUTO AND BIKE PARKING SUMMARY

STANDARD PARKING REQUIRED: OFFICE USE: 3 SPACES PER 1,000 SF (4,170 SF / 1,000 SF X 3: 12.51 SPACES): 13 SPACES WAREHOUSE: .25 SPACES PER 1,000 SF

ADA PARKING REQUIRED: 1 SPACE

ADA PARKING PROVIDED: 2 SPACES

> N/A 0 SPACES

EXISTING ZONING: I-G (CD) USE: COMMERCIAL

TAX PARCEL #:

ADDRESS:

OWNER:

SETBACKS AND BUFFERS SETBACKS: FRONT: SIDE: REAR: BUFFERS:

TOTAL SITE AREA: PROPOSED IMPERVIOUS AREA: 19,999.35 S.F.

UNDISTURBED OPEN SPACE AREA: REQUIRED: 25,904 S.F. (15% OF PROJECT AREA) PROVIDED: 34,792 S.F. (20% OF PROJECT AREA)

S51°05'55"E 684.38' (R) S51°19'29"E 684.33' TOTAL (M) _____ <u>15' MINI</u>MUM BUILDING <u>SETBA</u>CK _____ MB 33 PG 9 ____ 2 1 STORY STORAGE BLDG. \mathbf{X} 6000 SQ FT FLOOR AREA

(6,000 SF / 1,000 SF X .25: 1.5 SPACES): 2 SPACES

STANDARD PARKING PROVIDED: 17 SPACES

BIKE PARKING REQUIRED:

BIKE PARKING PROVIDED:

	6000 SQ FT FLOOR AREA FFE 725.5				
ding	12.79' BMP ACCESS EASEME	NT			
2000	divigdivigdivigdivig	dWgdWg			E4: 34,814 S,F
POST 20' BM EAS	BMPBMPBM BMPB			100 UNDSTUREED BUFFER	VINDISTURBED OPEN SPACE AREA: 34,814 S,F
PCCE BOR	15' MINIMUM BUILDING SETBACK MB 33 PG 6 DB 11217 PG 671		172,693 SO. FT. 3.9645 ACRES SQUARE A LAND HOLDINGS, LLC DB 32669 PG 510 LOT 8 OF MINT HILL BUSINESS PARK MB 33 PGS 9, 11 PID #139-092-25 ZONE: I-G (CD)		
	N36°29'02"W 574.13' TOTAL (M)				
MHIP, LLC DB 10581 PG 817 LOT 9 OF MINT HILL BUSINESS PARK MB 33 PGS 9, 11 PID #139-092-26 ZONE: I-G (CD)					

SITE DEVELOPMENT DATA

JURISDICTION:	TOWN OF MINT HILL
	130 002 27

139-092-27

11118 BUSINESS LANE SQUARE A LAND HOLDINGS, LLC 11525 ROCKY RIVER CHURCH ROAD

CHARLOTTE, NC 28215

50' REAR LANDSCAPE BUFFER (POTENTIAL)

172,693 S.F. / 3.9645 AC.

GRIFFIN-GOFORTH PROPERTIES, LLC LOT 5 OF MINT HILL BUSINESS PARK

DB 19979 PG 941

MB 33 PGS 9, 11 PID #139-092-22

ZONE: I-G (CD)

	TE PLAN LEGEND	WWO C
<u>BEARING</u> DISTANCE	EXISTING PROPERTY / BOUNDARY LINE	SUBMITTAL CONCEPT PLAN COMMENTS
	EXISTING EASEMENT	ICEPT
	PROPOSED CURB AND GUTTER	CON
	PROPOSED SPILL CURB AND GUTTER	
	PROPOSED RETAINING WALL	SUBA SUBA
PCCE	PROPOSED POST CONSTRUCTION EASEMENT	PER 1ST SUBN
ВМР ————	PROPOSED BMP/POND EASEMENT	
 & &	PROPOSED STRIPING	05/12/2021
	PROPOSED HANDICAP PAVEMENT MARKING PROPOSED SIGN	
	PROPOSED MONUMENT/PYLON SIGNAGE	
(XX)	PROPOSED PARKING SPACES	DESIGNED BY: DMH
æ	PROPOSED ACCESSIBLE RAMP	DRAWN BY: DMH
	PROPOSED SITE NOTE	
* •-	PROPOSED LIGHTING SYMBOLOGY	= 250
xx	PROPOSED FENCE AND GATE SYSTEM	UITE
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT	I AVE, S NC 2820 NC.COM
→ → → → → → → → → → → → → → → → → → →	PROPOSED HEAVY DUTY CONCRETE PAVEMENT	
	PROPOSED STANDARD DUTY CONCRETE PAVMT	
••••••	PROPOSED STANDARD DUTY ASPHALT PAVMT	1111 METROPO CHARLO MWW.
1	PROPOSED SEED/GRASS PROPOSED STRUCTURE	111
 F 5'X5' CONCRETE TRAN CONTRACTOR TO COO MONUMENT SIGN LOC MONUMENT SIGN LOC PROPOSED "ACCESSIE DOUBLE - DUMPSTER J LANDSCAPED AREA (S ACCESSIBLE PARKING SPACE SIZE AND SIGN STRIPING LEGEND PAINT (4" WITHE, 120 M PAVEMENT LEGEND STANDARD DUTY ASPI 	R (SEE SITE DETAILS) DETAILS) (SEE SITE DETAILS) TH TRUNCATED DOMES (SEE SITE DETAILS) SFORMER PAD ORDINATE WITH UITILY PROVIDER ATION (DESIGNED BY OTHERS) BLE" SIGN (SEE SITE DETAILS) CMU ENCLOSURE WITH GATE (SEE SITE DETAILS) EE LANDSCAPE PLAN) SPACE (SEE SITE DETAILS FOR ACCESSIBLE PARKING I) TLS) SOLID LANE LINE HALT PAVEMENT (SEE SITE DETAIL SHEET)	SQUARE A SQUARE A CONSTRUCTION SQUARE A SQUARE A HOLDINGS, LLC 1118 BUSINESS LANE MINT HILL / NC / 28227 11525 ROCKY RIVER CHURCH ROAD CHARLOTTE / NC / 28215
Y STANDARD DUTY CON	PAVEMENT (SEE SITE DETAIL SHEET) CRETE SIDEWALK (SEE SITE DETAIL SHEET) TE (SEE SITE DETAIL SHEET)	SITE PLAN
	↓	SEAL CAROL CAR

DATE: 03/24/202

C3-0

Know what's below. Call before you dig.

SCALE: 1" = 30'