

SITE NOTES

- ALL DIMENSIONS ARE BASED FROM FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE NOTED.
- SEE EXISTING CONDITIONS SHEET FOR COMPLETE BOUNDARY DESCRIPTION, ADJOINING PROPERTIES, ZONING AND USE.
- THIS SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE CURRENT FLOOD INSURANCE RATE MAP, FIRM PANEL 3710551300K DATED FEBRUARY 19, 2014.
- ALL ON SITE STRIPING IS TO BE PAINTED, UNLESS OTHERWISE NOTED, ALL STRIPING IN PUBLIC RIGHT-OF-WAY TO BE THERMOPLASTIC STRIPING.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS, CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON THE PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED. ALL WORK SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM R.B. PHARR AND ASSOCIATES, P.A.. SEALED BY ANDREW BAKER, DATED 10-14-2020.

AUTO AND BIKE PARKING SUMMARY

STANDARD PARKING REQUIRED:
OFFICE USE: 3 SPACES PER 1,000 SF
(4,170 SF / 1,000 SF X 3: 12.51 SPACES); 13 SPACES
WAREHOUSE: .25 SPACES PER 1,000 SF
(6,000 SF / 1,000 SF X .25: 1.5 SPACES); 2 SPACES
ADA PARKING REQUIRED: 1 SPACE

STANDARD PARKING PROVIDED: 17 SPACES
ADA PARKING PROVIDED: 2 SPACES

BIKE PARKING REQUIRED: N/A
BIKE PARKING PROVIDED: 0 SPACES

SITE DEVELOPMENT DATA

JURISDICTION: TOWN OF MINT HILL
TAX PARCEL #: 139-092-27
ADDRESS: 11118 BUSINESS LANE
OWNER: SQUARE A LAND HOLDINGS, LLC
11525 ROCKY RIVER CHURCH ROAD
CHARLOTTE, NC 28215

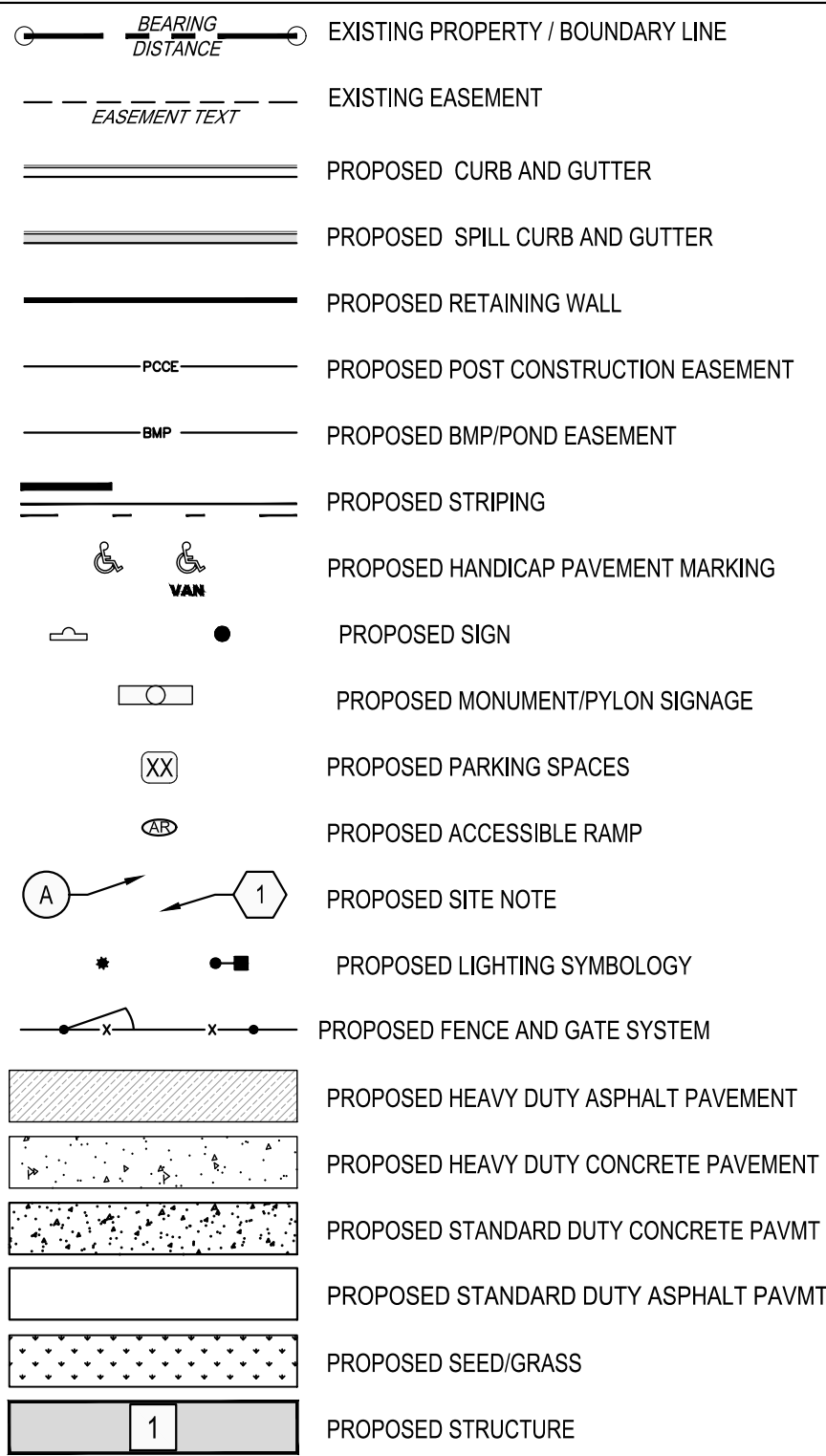
EXISTING ZONING: I-G (CD)
USE: COMMERCIAL

SETBACKS AND BUFFERS
SETBACKS:
FRONT: 50'
SIDE: 15'
REAR: 20'
BUFFERS: 50' REAR LANDSCAPE BUFFER (POTENTIAL)

TOTAL SITE AREA: 172,693 S.F. / 3.9645 AC.
PROPOSED IMPERVIOUS AREA: 19,999.35 S.F.

UNDISTURBED OPEN SPACE AREA:
REQUIRED: 25,904 S.F. (15% OF PROJECT AREA)
PROVIDED: 34,792 S.F. (20% OF PROJECT AREA)

SITE PLAN LEGEND



SITE LEGEND

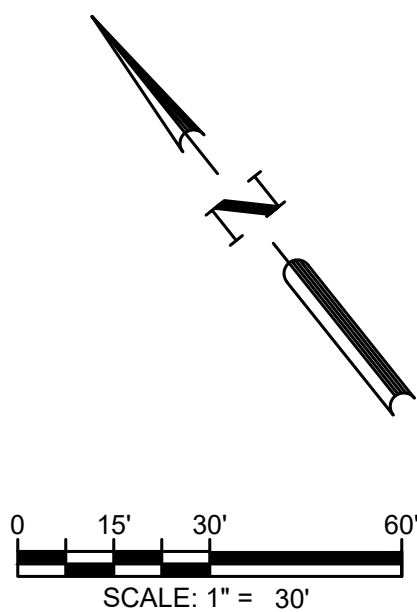
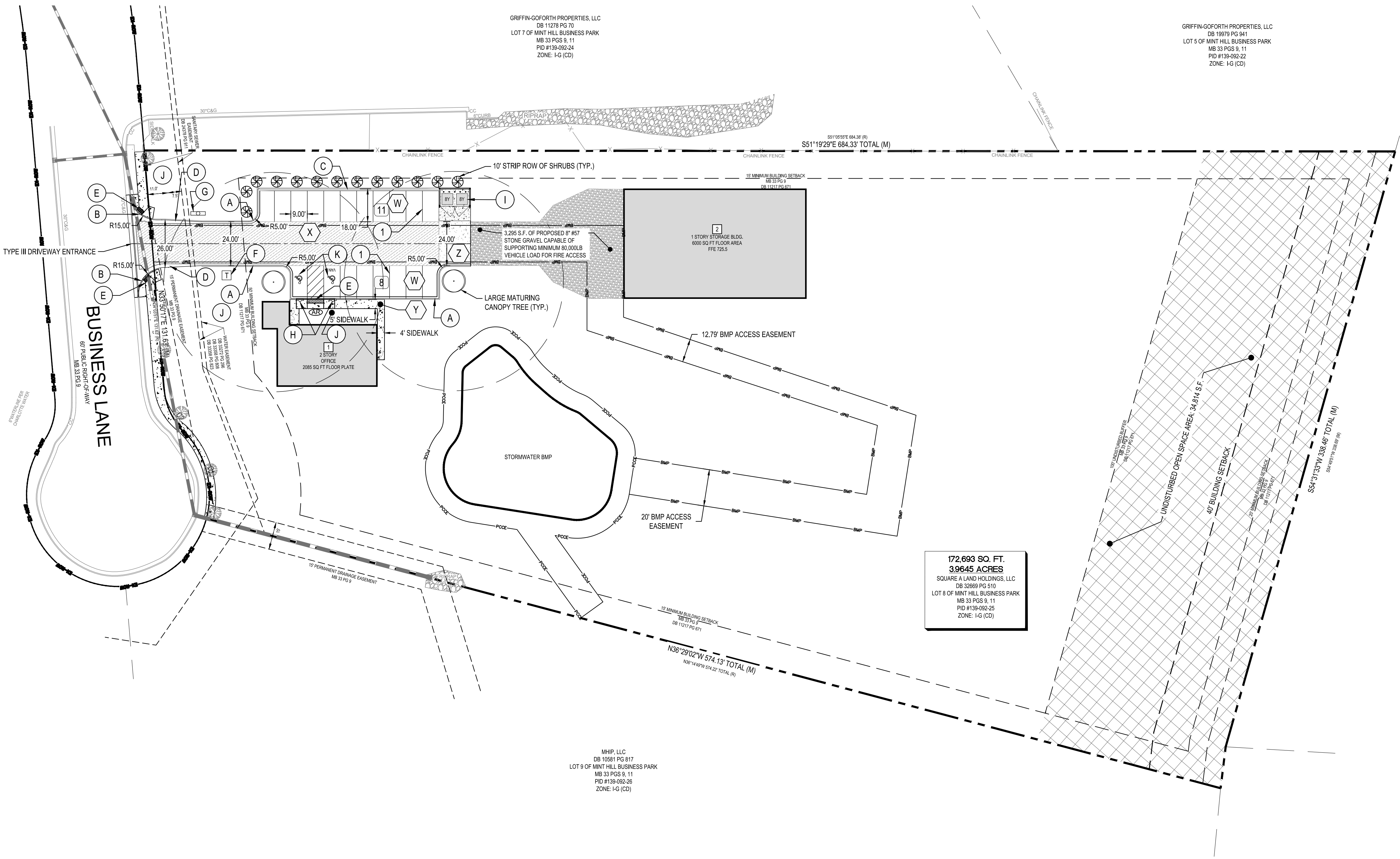
- (A) 1'-6" CURB AND GUTTER (SEE SITE DETAILS)
- (B) 2'-6" CURB AND GUTTER (SEE SITE DETAILS)
- (C) SPILL CURB (SEE SITE DETAILS)
- (D) 20' CURB TRANSITION (SEE SITE DETAILS)
- (E) ACCESSIBLE RAMP WITH TRUNCATED DOMES (SEE SITE DETAILS)
- (F) 5'X5' CONCRETE TRANSFORMER PAD
CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER
- (G) MONUMENT SIGN LOCATION (DESIGNED BY OTHERS)
- (H) PROPOSED "ACCESSIBLE" SIGN (SEE SITE DETAILS)
- (I) DOUBLE - DUMPSTER CMU ENCLOSURE WITH GATE (SEE SITE DETAILS)
- (J) LANDSCAPED AREA (SEE LANDSCAPE PLAN)
- (K) ACCESSIBLE PARKING SPACE (SEE SITE DETAILS FOR ACCESSIBLE PARKING SPACE SIZE AND SIGN)

STRIPING LEGEND

- (1) PAINT (4" WITHE, 120 MLS) SOLID LANE LINE

PAVEMENT LEGEND

- (W) STANDARD DUTY ASPHALT PAVEMENT (SEE SITE DETAIL SHEET)
- (X) HEAVY DUTY ASPHALT PAVEMENT (SEE SITE DETAIL SHEET)
- (Y) STANDARD DUTY CONCRETE SIDEWALK (SEE SITE DETAIL SHEET)
- (Z) HEAVY DUTY CONCRETE (SEE SITE DETAIL SHEET)



DESIGNED BY: DMH	
DRAWN BY: DMH	
REVIEWED BY: ECH	
PER 1ST SUBMITTAL CONCEPT PLAN COMMENTS	
05/12/2021	DATE
REV	DESCRIPTION
BCE	
1111 METROPOLITAN AVE., SUITE 250 CHARLOTTE, NC 28204 WWW.BCEINC.COM NC LICENSE #C-4397	
SQUARE A LAND HOLDINGS, LLC 11525 ROCKY RIVER CHURCH ROAD CHARLOTTE / NC / 28215	
SQUARE A CONSTRUCTION 11118 BUSINESS LANE MINT HILL / NC / 28227	
SITE PLAN	
NORTH CAROLINA PROFESSIONAL SEAL 034426 ENGINEER ERIC S. HAMPTON 05/14/2021	
FILE NUMBER: 8202-00	
DATE: 03/24/2021	
C3-0	