

Parcel ID: 19523101

Site Area:  
Lot Area: 7.95 Ac  
R/W Area: 3.68 Ac  
\*Reserve/BMP/Open Space Area: 6.74 Ac  
\*Excludes 50% of required perimeter buffer (Total Perimeter Buffer Area = 2.83, Area Excluded = 1.41 Ac) per 7.3.3.F.1

Total Site Area: 19.78 Ac (Survey), 21.00± Ac (Polaris 3G)

Existing Zoning: R (Residential)

Proposed Zoning: R(CD)

Use:

The proposed development will be age restricted in accordance with the Federal Fair Housing Act's Housing for Older Persons Act (HOPA). The HOPA regulations will be incorporated into the Homeowners Association documents.

Total Units: 42

Proposed Density: 2 Lots/Ac

Proposed Building Setbacks:  
Rear Yard: 15' Rear Yard Setback  
Build To Line: 10' Min. Build to Line  
Side Yard: 25' Max Build to Line  
Side Yard: 7.5' Side Yard Setback  
Lot Depth: 120' (min.)  
Lot Width: 60' (min.) - at 10' minimum build to line  
Lot Size: 0.17 ac (min.)/0.28ac (max.)/0.19 ac (average)

Provided Parking:  
Inside Garage: 84  
Outside Garage: 84  
Mail Kiosk: 3  
Total: 171 Spaces

Existing Impervious Area:  
Buildings: 0.00 Ac  
Pavement: 0.00 Ac  
ROW: 1.07 Ac  
Total Impervious Area: 1.07 Ac (5.41%)

Proposed Impervious Area:  
Buildings: 4.51 Ac  
Sidewalks: 0.37 Ac  
Pavement: 1.39 Ac  
NCDOT Right-of-Way: 1.24 Ac  
Path: 0.40 Ac  
Total Impervious Area: 7.91 Ac (38.00%)

Watershed: Goose  
High Density Option  
(70% Max Impervious Area)

Undisturbed Open Space: 15% (Mitigation is needed, see legend.)  
Required: 2.97 Ac  
Provided: 2.97 Ac (1.38 Undisturbed, 1.59 Mitigated)  
Tree Mitigation: 36 Trees per Acre (1.59 Acres = 58 Trees)  
See Landscape Plan for Tree Locations in Open Space

1. All development and construction shall comply with all zoning and subdivision standards of the Town of Mecklenburg County, and NCDOT, as applicable.
2. This property may be subject to any easements and/or right-of-way of record.
3. All necessary federal, state and local environmental permits and approvals will be obtained by Developer.
4. All areas designated as common and/or urban open space shall be owned and maintained by the homeowner and shall be subject to a deed restriction.
5. Access (ingress/egress) location and design shown on this plan are subject to achieving vertical and horizontal sight distances, turn lane improvements (including right-of-way) and other improvements to adjacent and opposing access points. Modifications to plan may result.
6. Trash service to be provided by the Town of Mint Hill for each lot.
7. Mail will be provided in cluster-boxes as shown on the plans. Location of mailboxes are subject to approval by USPS.
8. Residential Garages. Garages shall be set as depicted on this plan and as approved by building permits.
9. Building Separation. All detached principal structures shall be separated by a minimum of 10 feet.
10. Water Quality. All financial arrangements are to be made through Meck. County guaranteeing the installation and maintenance of required BMPs until the removal of CO's to the seventy-five percent (75%) of all construction which might reasonably be anticipated to be built within the area which drains into the BMP, allowing credit for improvements constructed prior to the submission of the final plat. The approval of the High Density Development Permit will be subject to developer compliance with Section 10.509 paragraph of the Mecklenburg County Zoning Ordinance, and the provisions of the pending supplementary amendments, are incorporated herein.
11. Water Quality LID Maintenance. BMPs that are a Property Owners Association or the owner of the subject property. BMPs that are constructed on public land within public rights-of-way with public easements shall be maintained by the public body with ownership/jurisdiction of the subject property.
12. Occupancy Covenants. Prior to the issuance of an Occupancy Permit for any building within a permitted development served by a BMP, the applicant or owner of the BMP shall establish a formal Maintenance Covenant with the Mecklenburg County Land Use and Environmental Services Agency and recorded in the Office of the Register of Deeds. The owner of the development and all subsequent owners and all subsequent owners of the property to maintain the BMP in accordance with the terms of the Covenant.
13. Direct access from lots to a thoroughfare is prohibited.
14. Water and Sanitary Sewer shall be public and installed per Charlotte Water standards.
15. Approval of the plan shall be authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the owner and/or property owners.
16. All proposed streets are to be public.
17. All curb shall be valley curb & gutter unless otherwise noted.
18. All dimensions are measured to the back of curb unless noted otherwise.
19. All radius dimensions are measured to the back of the curb unless noted otherwise.
20. All Sidewalks are to be 5' unless otherwise noted.
21. Sight triangles shown are the minimum required.
22. No vehicles are permitted to be parked in any driveway or on the street.
23. All proposed pedestrian road crossings shall meet ADA requirements.
24. At concrete construction joints, contractor shall install the joint reinforcement.
25. All pavement areas to be flexible asphalt pavement

constructed on privately owned land and that are not within a public easement shall be maintained by a Property Owners Association or other of the subject property. Bitts that are constructed on public property or on public rights-of-way, and/or with public easements shall be maintained by the public body with ownership/jurisdiction of the subject property.

**Occupancy Covenants.** Prior to the issuance of an Occupancy Permit for any building within a permitted development served by a BMP, the applicant or owner of the building shall obtain a written Maintenance Covenant approved by the Mecklenburg County Land Use and Environmental Services Agency and recorded in the Office of the Register of Deeds. The Maintenance Covenant shall require the duty of the owner and all subsequent owners of the property to maintain the BMP in accordance with the terms of the Covenant.

**Access** from lots to a thoroughfare is prohibited.

**Water and Sanitary Sewer** shall be public and in accordance with the City of Charlotte standards.

**Approval** of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the City of Charlotte, project owners.

**All proposed streets** are to be public.

**All curb** shall be valley curb & gutter unless otherwise noted.

**Measurements** are measured to the back of curb unless noted otherwise.

**All radius dimensions** are measured to the back of the curb unless otherwise noted.

**All Sidewalks** are to be " unless otherwise noted.

**Sight triangles** shown are the minimum required.

**No vehicles** are permitted to be parked in any of the long-term parking spaces.

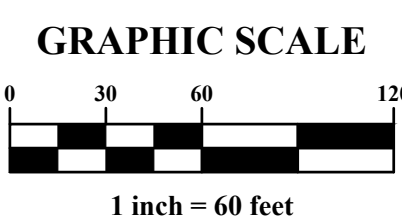
**All proposed pedestrian road crossings** shall meet ADA requirements.

**At concrete construction joints, contractor shall** be the joint. Std. Detail 102.1

**All pavement** orders to be flexible asphalt pavement.

26. Fire apparatus access roads shall be designed and maintained to support the imposed loads of the apparatus of 80,000 pounds.
27. Grading of curbs and street grades in intersection with Inspector.
28. In rolling and hilly terrains, sweeping of the stone base and/or application of a tack coat may be required to prevent rutting. These requirements will be established by the Inspector and based on field conditions.
29. In order to ensure proper drainage, keep a minimum of 1/4" slope in all curbs.
30. Handrails may be required by a representative of the Town, if warranted by field conditions.
31. Separate building permits are required for retaining walls, bridge, bridges, dumpster enclosures, monuments, signs or other accessory structures or elements.
32. Retaining walls >4 ft (Residential) or 5 ft (Commercial) in height requires a permit from the Code Enforcement prior to construction. The engineer of record for the retaining wall(s) must certify that the wall(s) is (are) constructed to specifications.
33. All retaining walls requiring Special Inspections (>5 ft in height) shall meet the requirements of the NCSB Chapter 17 – Special Inspections as detailed per the approved Construction Contract and the City of Concord Inspections Process. Construction of retaining wall(s) cannot begin until all necessary permits are required.
34. "As-built" drawings and plans of the storm drainage system, including designed details, shall be submitted prior to final design inspection to the County Engineering Department in accordance with the Subdivision Ordinance.
35. Buffers adjacent to lots to allow for appropriate grading for the offsite water runoff directed to the back of the proposed lots. All efforts will be made to avoid disturbing trees and vegetation. The Developer agrees to have a certified arborist analyze such situations.

36. Unit mix as shown is subject to change based on demand. Development reserves the right to modify the building/unit configuration in all buildings as marketing and unit sales dictate. Actual floor plans and unit mix shall be submitted at the time of building plan submittal.
37. The Mecklenburg County engineering department has approved the site plan, including retaining walls on the site and does not assume responsibility for them.
38. Large maturing trees will be planted 40' O/C within a planting strip along all streets with the exception of rural parkways where existing trees can satisfy the street tree requirement. Small maturing trees are to be used when overhead power lines exist.
39. The Build-to-line is a line extending through a lot which is generally parallel to the front property line and the location of the building which the principle vertical plane of the front building elevation, exclusive of porches, bay windows and similar appendances, must be erected; intended to create a consistent facade line and building setback-to-line established on the record plat (final plat).
40. BMP Access & Maintenance easements shall be provided around each BMP and recorded on a plat with the construction plan approval.
41. Based on the existing condition of the tree canopy, the 30' external buffer is intended to be undisturbed; however, a maximum of 15' can be removed on the lot to be replaced with trees replanted in accordance with the Town's Ordinance. Disturbance to be kept to a minimum.
42. Fire hydrants shall be provided within 750 feet of all structure points of structure and 100 feet from pavements. Final hydrant locations to be approved by Charlotte Water.
43. Street trees to be maintained by Homeowners Association.
44. All parcels included within this project shall be voluntarily annexed into the corporate limits of the Town of Mint Hill.

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**COMMUNITIES CAROLINAS**  
David Taylor Drive, Suite 105  
Charlotte, NC 28262  
PH: 704.997.8315  
Contact: Mike Davis

TOWN OF MINT HILL, MECKLENBURG COUNTY, NORTH CAROLINA  
SITE IMPROVEMENT PLANS

FOR

**COURTYARDS AT MINT HILL**

**OVERALL SITE PLAN**

**EMHT**  
vants, Mechwart, Hambleton & Tilton, Inc.  
Engineers • Surveyors • Planners • Scientists  
01 McCullough Dr., Ste. 109, Charlotte, NC 28262  
Phone: 704-548-0333 Toll Free: 888-775-3648  
[emht.com](http://emht.com)

DATE	January 15, 2021
SCALE	As Noted
JOB NO.	2020-0957
SHEET	C4.0