



1. CALL TO ORDER
2. ROLL CALL AND INVOCATION
3. APPROVE MINUTES OF THE MARCH 20, 2023 REGULAR MEETING
4. ADDITIONS OR DELETIONS OF AGENDA ITEMS
5. REPORTS OF COMMITTEES, MEMBERS, AND STAFF
6. OLD BUSINESS
7. NEW BUSINESS
 - A. DISCUSSION AND RECOMMENDATION ON [#ZC23-3](#), FILED BY GRAY FAMILY REAL ESTATE, TO REQUEST TO AMEND THE ZONING PLAN FOR SUPERIOR STORAGE, TO INCREASE THE TOTAL STORAGE SQUARE FOOTAGE FOR PHASE 2, FOR PROPERTY LOCATED AT 11207 BLAIR ROAD, TAX PARCEL NUMBER: 137-153-11
 - B. DISCUSSION AND RECOMMENDATION ON [#ZC23-4](#), FILED BY ED BOWERS, TO REQUEST A CONDITIONAL ZONING TO CONSTRUCT A NEW BUILDING NEXT TO THE EXISTING BUILDING, FOR PROPERTY LOCATED AT 4500 MORRIS PARK DRIVE, TAX PARCEL NUMBER: 135-301-04
 - C. DISCUSSION AND DECISION ON [#S23-6](#), CHASEWOOD SUBDIVISION, FILED BY TOM PLAT, AMERICAN ENGINEERING, FOR PRELIMINARY SUBDIVISION APPROVAL, PROPERTY LOCATED AT 11000 COBLE ROAD, TAX PARCEL NUMBER: 139-131-02
8. OTHER BUSINESS
9. ADJOURNMENT

<p style="text-align: center;">VIEWING A PUBLIC MEETING ONLINE</p> <p>The Town of Mint Hill live-streams the regularly scheduled meetings of the Board of Commissioners, Planning Board and Board of Adjustment. Anyone can view the live meetings or watch at a later time on the Town’s YouTube Channel. To watch a meeting, hover a smartphone camera app over the QR Code to the right or navigate any web browser to https://bit.ly/2YBIORz.</p>	 <p style="text-align: center;">LIVE STREAM</p>
<p style="text-align: center;">AGENDAS & MINUTES</p> <p>Current and past Agendas and Minutes for the Board of Commissioners, Planning Board and Board of Adjustment can be found at https://bit.ly/3guVL4 or hover a smartphone camera app over the QR Code to the right.</p>	 <p style="text-align: center;">AGENDA & MINUTES</p>

**MINUTES OF THE MINT HILL PLANNING BOARD MEETING
MARCH 20, 2023**

The Mint Hill Planning Board met in regular session on Monday, March 20, 2023 at 6:30 p.m. in the John M. McEwen Assembly Room, Mint Hill Town Hall.

ATTENDANCE

Chairman: Tom Gatz

Members: Kenny Draffen, Scott Fandel, Roger Hendrix, Jennifer Manchester, and Eric Tyson

Planning Director: John Hoard

Commissioner: Patrick Holton

Clerk to the Board: Savanna Ocasio

Absent: Chip Todd

CALL TO ORDER AND INVOCATION

Chairman Gatz called the meeting to order at 6:30 p.m., declared a quorum present and the meeting duly constituted to carry on business. Mrs. Manchester gave the invocation.

ORDER OF BUSINESS

Approval of Minutes for the February 20, 2023 Regular Meeting: Upon the motion of Mr. Hendrix, seconded by Mr. Tyson, the Board unanimously approved the minutes of the February 20, 2023 Regular Meeting.

Additions or Deletions of Agenda Items: None.

Reports of Committees, Members and Staff: None.

Old Business: None.

New Business:

A. Discussion and Recommendation on #ZC23-3, Filed by Gray Family Real Estate, for property located at 11207 Blair Road, Tax Parcel number: 137-153-11, to request to amend the zoning plan for Superior Storage, to increase the total storage square footage for Phase 2: Planning Director Hoard submitted the following memo to the Board.

ZC15-1 was approved April 9, 2015. The approved Zoning Plan indicated a 2-phase storage facility development. The storage building square footage for Phase 1 was up to 34,091 and Phase 2 included 22,826 square feet. The architectural elevations submitted with the application indicated full brick structures. On September 8, 2016, an amendment to Phase 1 (ZC16-10) was approved by the Board of Commissioners. The amendment increased the number of buildings for Phase 1 and amended the building materials. The full brick was removed from Phase 1 and replaced with only requiring brick on the end caps of the buildings. The applicant is seeking an amendment to Phase 2 to increase the building square

footage from 22,826 to 30,700 square feet. The applicant plans to use the same building material composition used with Phase 1.

Conditional District decisions shall be made in consideration of identified relevant adopted land use plan. Conditional District rezoning is a legislative procedure under which the Board of Commissioners has the authority to increase, tighten, add, vary, modify, or waive specific conditions or standards. In approving a petition for the rezoning of property to a Conditional District the Board of Commissioners may request reasonable and appropriate conditions.

Plan Consistency:

- Land Use Plan: YES
- Downtown Master Plan: N/A
- Pedestrian Plan: N/A
- Comprehensive Transportation Plan: N/A

Staff Recommendation: Favorable—with the specification that the building material composition used for phase 1 will be replicated for phase 2.

Upon the motion of Mr. Hendrix, seconded by Mr. Draffen, the Board unanimously agreed to table #ZC23-3 to a later date as the applicant was not present.

B. Discussion and Decision on #S23-4, Evergreen Woods, Filed by Carolina Development Services, LLC, for Preliminary Subdivision approval, property located at 6005 Lebanon Road, Tax Parcel number: 135-231-04: Planning Director Hoard submitted the following memo to the Board.

Planning Board Review and Decision (Mandatory). The Planning Board shall hold a hearing to review the Site Plan (Preliminary Plat) and determine whether the Site Plan (Preliminary Plat) complies with the requirements of this Ordinance, specifically including without limitation all substantive requirements and conditions set forth in Article 7, Section 7.3 (Conditions for Subdivisions). This hearing shall be held in an administrative proceeding and may be conducted in accordance with rules of procedure adopted by the Planning Board as the same may be changed from time to time. The Planning Board action may be approval (if the Site Plan (Preliminary Plat) complies with all Ordinance requirements), tentative approval with conditions (if the Ordinance requires such), or denial of the Site Plan (Preliminary Plat) (if the Site Plan (Preliminary Plat) does not comply with all Ordinance requirements). Upon approval of the Site Plan (Preliminary Plat) by the Planning Board, the Applicant may proceed to comply with the other requirements of this Ordinance and the preparation of the subdivision Final Plat for final approval by the Administrator.

Staff Recommendation: Staff recommends approval.

Planning Director Hoard stated the Town Ordinance required the Planning Board to approve major subdivisions. The subdivision before the Board, Evergreen Woods, consisted of nineteen, 20,000 sq. ft. lots, located off Lebanon Road. The proposed Evergreen Woods subdivision was adjacent

to the property the Town acquired and planned to build a Public Services Facility. This project anticipated public water and public sewer connectivity and received no road improvement comments from NCDOT.

Mr. Tyson asked Planning Director Hoard if the proposed parcel was available for purchase at the time the Town acquired the adjacent property. Planning Director Hoard stated he was unsure if it was available during the time of purchase, but the Town was later aware of the available lot but was not interested.

Mr. Draffen noticed a sliver of land between the proposed subdivision and the Farmwood subdivision. He asked Planning Director Hoard if it were possible to connect the proposed subdivision to Farmlake Drive. Planning Director Hoard stated he looked at the possibility of the connection but there were two existing homes blocking that connectivity. He added the Board could require the applicant to stub the road with the chance of connectivity. Mr. Draffen clarified this property had an access easement. Planning Director Hoard stated yes, evidently several lots in Mint Hill were considered easement lots. Typically meaning in this case, there was a possibility of an easement to gain access to Lebanon Road. Mr. Draffen asked the purpose of this easement. Planning Director Hoard stated it was hard to say without looking into the history of this site. He explained a lot could be created without public road frontage as long as a 15-foot easement were secured, providing access to the nearest public street. The Board briefly discussed the access easements on the property between the proposed subdivision and Farmlake Drive. Mr. Draffen mentioned the North Carolina Fire Code requiring dual access for subdivisions. Planning Director Hoard stated the Fire Marshall required subdivisions consisting of 30 or more lots to provide at least two access points but the State recently passed a law extending the lot number to approximately 90-100 lots before two access points were required. With that being said, the proposed subdivision consisting of 19 lots would not require two access points. Mr. Draffen asked what type of homes were being proposed. Planning Director Hoard stated single-family detached homes. He invited Kristen Prophet, Eagle Engineering, to provide further information.

Ms. Prophet stated as of right now the plan was for house pads but this early on, they did not have architectural renderings to provide on what type of homes were going to be built. Chairman Gatz asked if the homes were to be single or multi-level. Ms. Prophet stated that had not yet been decided.

Mr. Hendrix asked Planning Director Hoard if the only approval required would come from the Planning Board. Planning Director Hoard said yes.

Chairman Gatz asked if sprinklers were required for this subdivision. Planning Director Hoard stated no.

Upon the motion of Mr. Hendrix, seconded by Mr. Fandel, the Board unanimously approved #S23-4, Evergreen Woods, Filed by Carolina Development Services, LLC, for Preliminary

Subdivision approval, property located at 6005 Lebanon Road, Tax Parcel number: 135-231-04

Other Business: Chairman Gatz shared he has difficulty reviewing the materials included in digital agenda packets provided for the Board. He asked Planning Director Hoard and Ms. Ocasio, Clerk to the Board, to have agenda packets printed off for the Planning Board members to individually pick up at Town Hall by noon, the Friday before a Planning Board meeting. The Board and Staff agreed.

Adjournment: Upon the motion of Mr. Fandel, seconded by Mr. Tyson, and unanimously agreed upon, Chairman Gatz adjourned the meeting at 6:50 p.m.

Savanna Ocasio
Program Support Assistant



STAFF REPORT

CASE# ZC23-3

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Town of
MINT HILL
North Carolina

APPLICATION

CASE:	ZC23-3
EXISTING ZONING:	I-G (CZD)
PROPOSED ZONING:	Amendment to previously approved Zoning Plan
PROPERTY OWNER:	Gray Family Real Estate LLC
APPLICANT:	Gray Family Real Estate LLC
LOCATION:	11207 Blair Road
PROPERTY ACREAGE	4.020 acres
TAX PARCEL NUMBER(S):	137-153-11
REQUEST:	Amend ZC15-1 to increase the storage building square footage for Phase 2.

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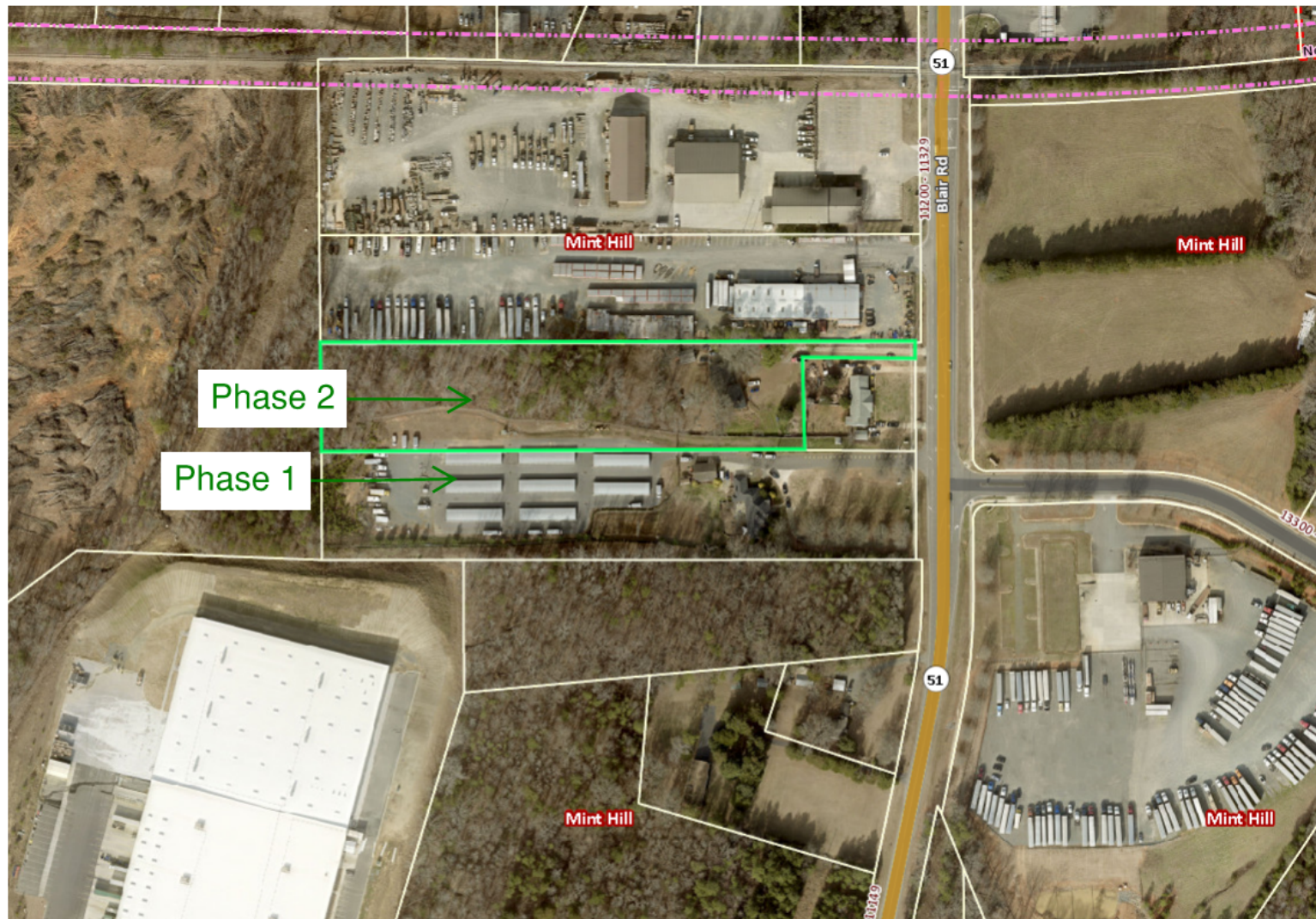
STAFF REPORT

BACKGROUND INFORMATION	<p>ZC15-1 was approved April 9, 2015. The approved Zoning Plan indicated a 2-phase storage facility development. The storage building square footage for Phase 1 was up to 34,091 and Phase 2 included 22,826 square feet. The architectural elevations submitted with the application indicated full brick structures.</p> <p>On September 8, 2016, an amendment to Phase 1 (ZC16-10) was approved by the Board of Commissioners. The amendment increased the number of buildings for Phase 1 and amended the building materials. The full brick was removed from Phase 1 and replaced with only requiring brick on the end caps of the buildings.</p>	
APPLICATION SUMMARY	<p>The applicant is seeking an amendment to Phase 2 to increase the building square footage from 22,826 to 30,700 square feet. The applicant plans to use the same building material composition used with Phase 1 (Photos of the Phase 1 buildings are attached)</p> <p><i>Conditional District decisions shall be made in consideration of identified relevant adopted land use plan. Conditional District rezoning is a legislative procedure under which the Board of Commissioners has the authority to increase, tighten, add, vary, modify, or waive specific conditions or standards. In approving a petition for the rezoning of property to a Conditional District the Board of Commissioners may request reasonable and appropriate conditions</i></p>	
PLAN CONSISTENCY	Land Use Plan	Yes
	Downtown Master Plan	N/A
	Pedestrian Plan	N/A
	Comprehensive Transportation Plan	N/A
STAFF RECOMMENDATION	Favorable—with the specification that the building material composition used for phase 1 will be replicated for phase 2.	

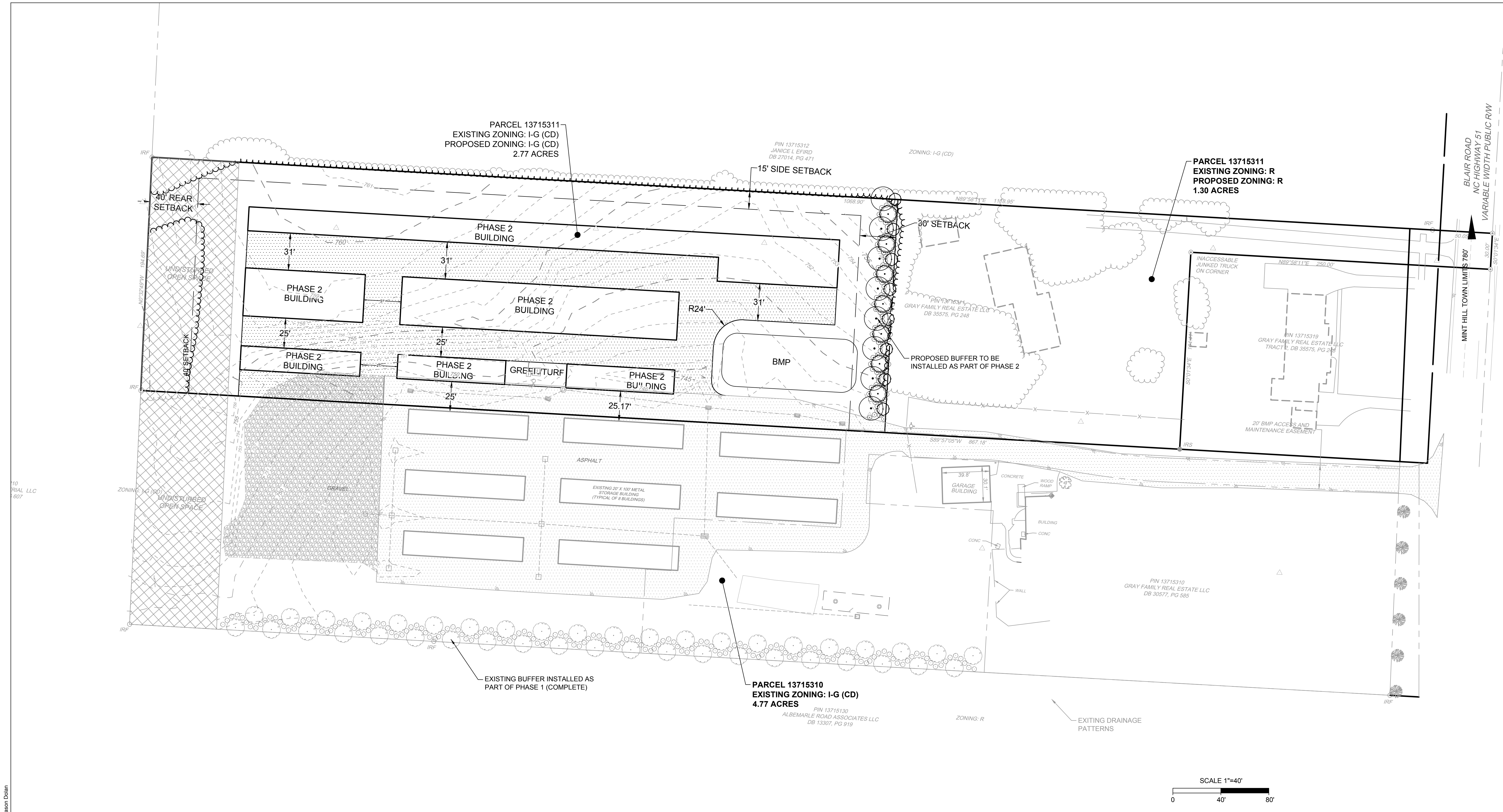
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LOCATION MAP



S:\1044506-Superior Storage Phase 2\DWG\Sheet\CD\4506C-RZ100-RZON.dwg | Plotted on 3/2/2023 9:29 AM | by Jasen Dolan



PROPERTY DATA NOTES

PROJECT PROPERTY:
PARCELS 13715310 (11131 BLAIR ROAD) 4.77 ACRES OWNER: WILLIAM D GRAY
13715311 (11207 BLAIR ROAD) 4.02 ACRES OWNER: WILLIAM D GRAY

DISTURBED AREA: = 6.75 ACRES
DISTURBED AREA LAND USE: VACANT LAND
EXISTING VEGETATION: WOODED

STATEMENT OF INTENT: TO REZONE PARCEL 13715310 AND 2.778 ACRES OF PARCEL 13715311 FROM R TO I-G (CD). THE PROPERTIES ZONED I-G (CD) WILL BE DEVELOPED FOR SELF STORAGE USAGE, BOTH INDOOR AND OUTDOOR. THE EXISTING RESIDENCE ON 13715311 (ZONED R) WILL REMAIN A RESIDENCE.

SOILS: 98% C6B2, 1% ENB, 1% END

IMPERVIOUS AREA: TOTAL SITE: 328,866 SF (7.55 ACRES)

PHASE 1:	17,559 SF GRAVEL
	16,000 SF BUILDINGS
	58,883 SF ASPHALT
	92,442 SF TOTAL PHASE 1 (EXISTING)
PHASE 2:	0 SF GRAVEL
	30,700 SF BUILDINGS
	29,305 SF ASPHALT
	60,005 SF TOTAL PHASE 2
% IMPERVIOUS:	46.36% IMPERVIOUS

APPROXIMATE TRAFFIC COUNT:
2 TRIPS / 1000SF - 46,700/1,000 X 2 = 94 TRIPS PER DAY

NO OUTDOOR STORAGE SHALL BE ALLOWED IN CONJUNCTION WITH THE FACILITY WITH THE FOLLOWING EXCEPTIONS: BOATS, CAR, MOTORCYCLES, TRAILERS, MOTOR HOMES, PICKUP TRUCKS AND SIMILAR TYPE AND SIZE VEHICLES. OUTDOOR STORAGE IS RESTRICTED TO THE AREA DESIGNATED AS OUTDOOR STORAGE ON THE ZONING PLAN.

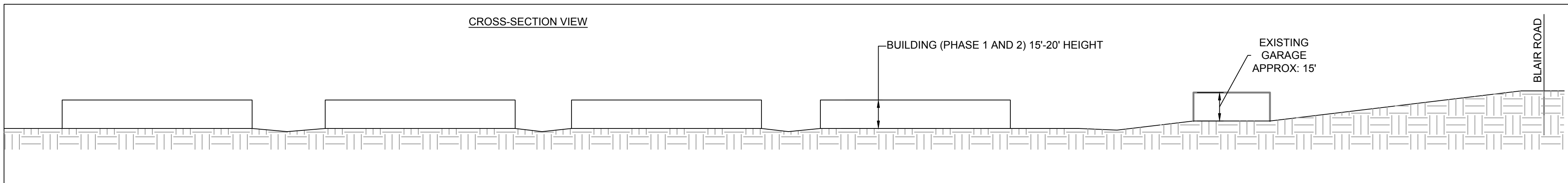
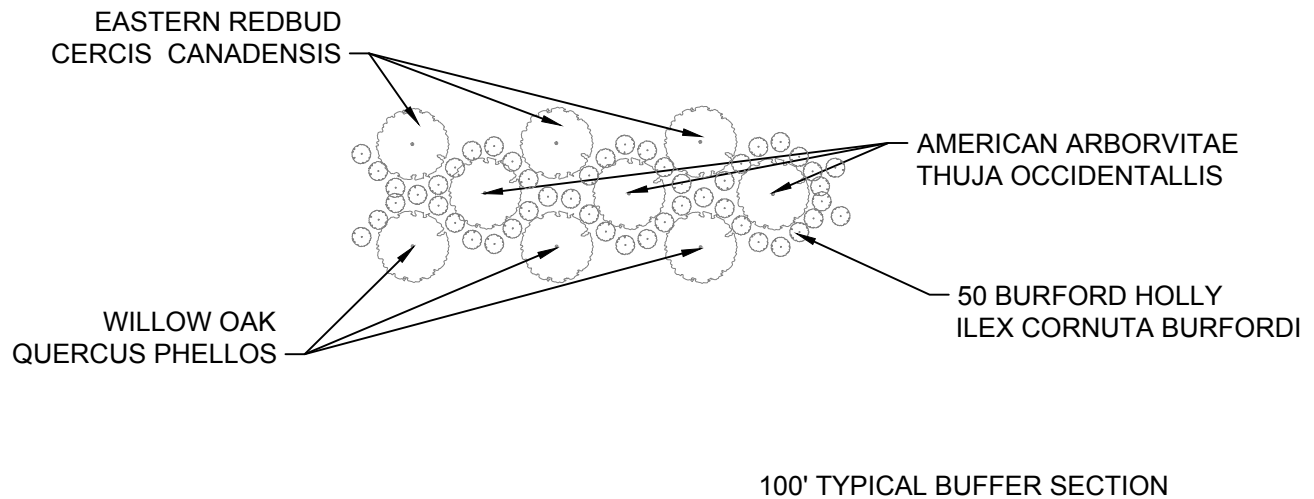
LANDSCAPING ASSOCIATED WITH THE SCREENING AND BUFFER SHALL BE MAINTAINED IN A GOOD AND HEALTHY CONDITION.

STREET TREES WILL BE MAINTAINED BY THE PROPERTY OWNER.

DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE ZONING PLAN AS WELL AS THE APPLICABLE PROVISIONS OF THE UNIFIED DEVELOPMENT ORDINANCE.

LIGHTING SHALL BE FULLY SHIELDED AND DOWNWARDLY DIRECTED.

- ASPHALT PAVEMENT
- GRAVEL SURFACE
- UNDISTURBED OPEN SPACE
- SLOPES: 10-25%
- SLOPES: >25%



TIMMONS GROUP

MINT HILL SELF STORAGE
TOWN OF MINT HILL, NORTH CAROLINA
ZONING PLAN

THIS DRAWING PREPARED AT THE
CHARLOTTE OFFICE
2030 S. Tryon Street, Suite 3C | Charlotte, NC 28203
TEL 704.376.1075 FAX 704.376.1076 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
03/02/2023

DRAWN BY
J. DOLAN

DESIGNED BY
J. DOLAN

CHECKED BY
B. CRUTCHFIELD

SCALE
1"=40'

JOB NO.
49506

SHEET NO.
RZ-01

REVISION DESCRIPTION	DATE

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• PRELIMINARY •
NOT FOR
CONSTRUCTION

Bill Gray - Self Storage Units

11131 Blair Road
Mint Hill, NC 28227

Prepared for:

Bill Gray

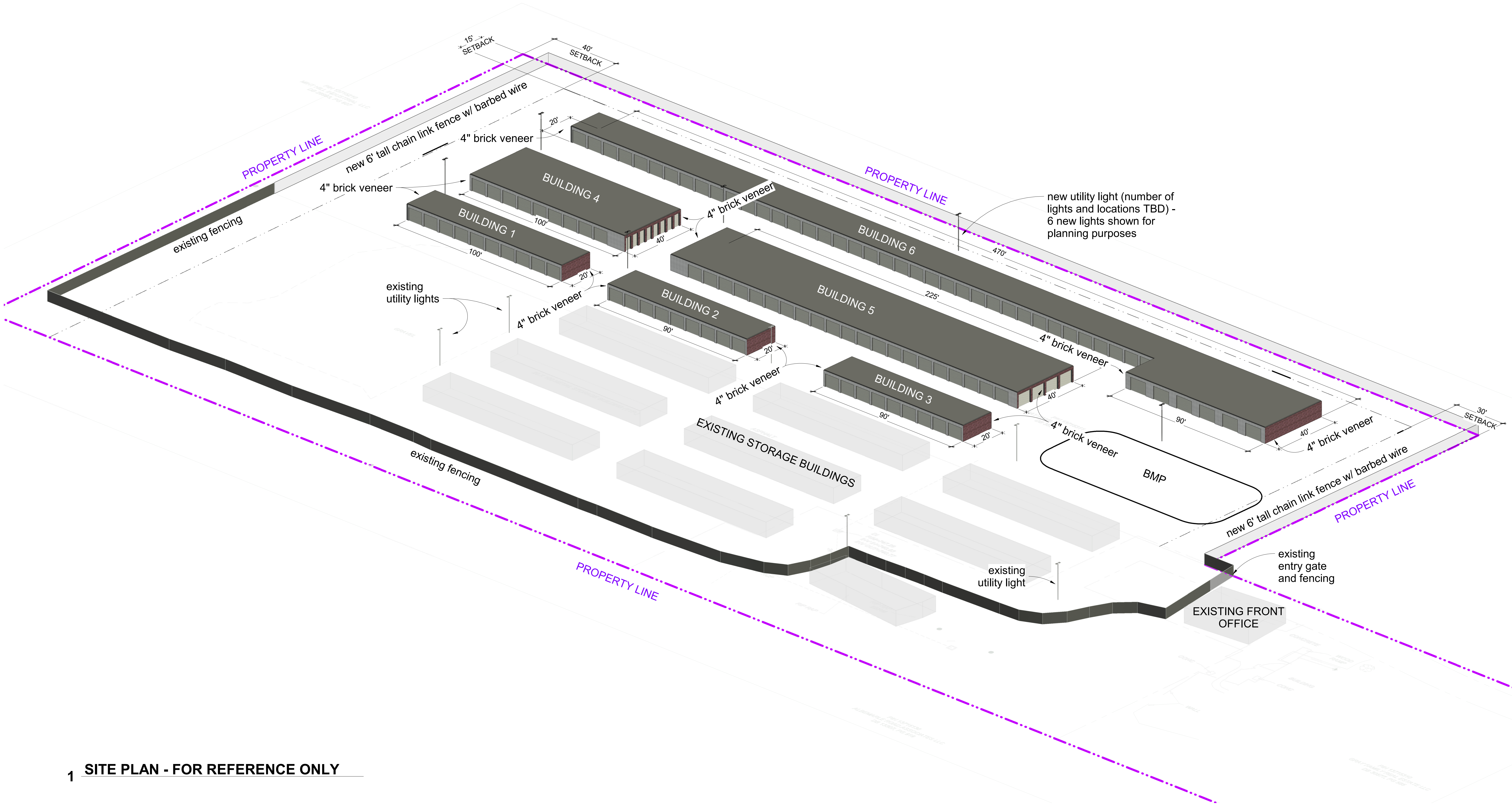
Date 03/08/2023
Architect's Project # 2249

REVISIONS
No. Revision Date

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project and site specifically identified herein
and is not to be used on any other project.

3D IMAGES

A900



1 SITE PLAN - FOR REFERENCE ONLY

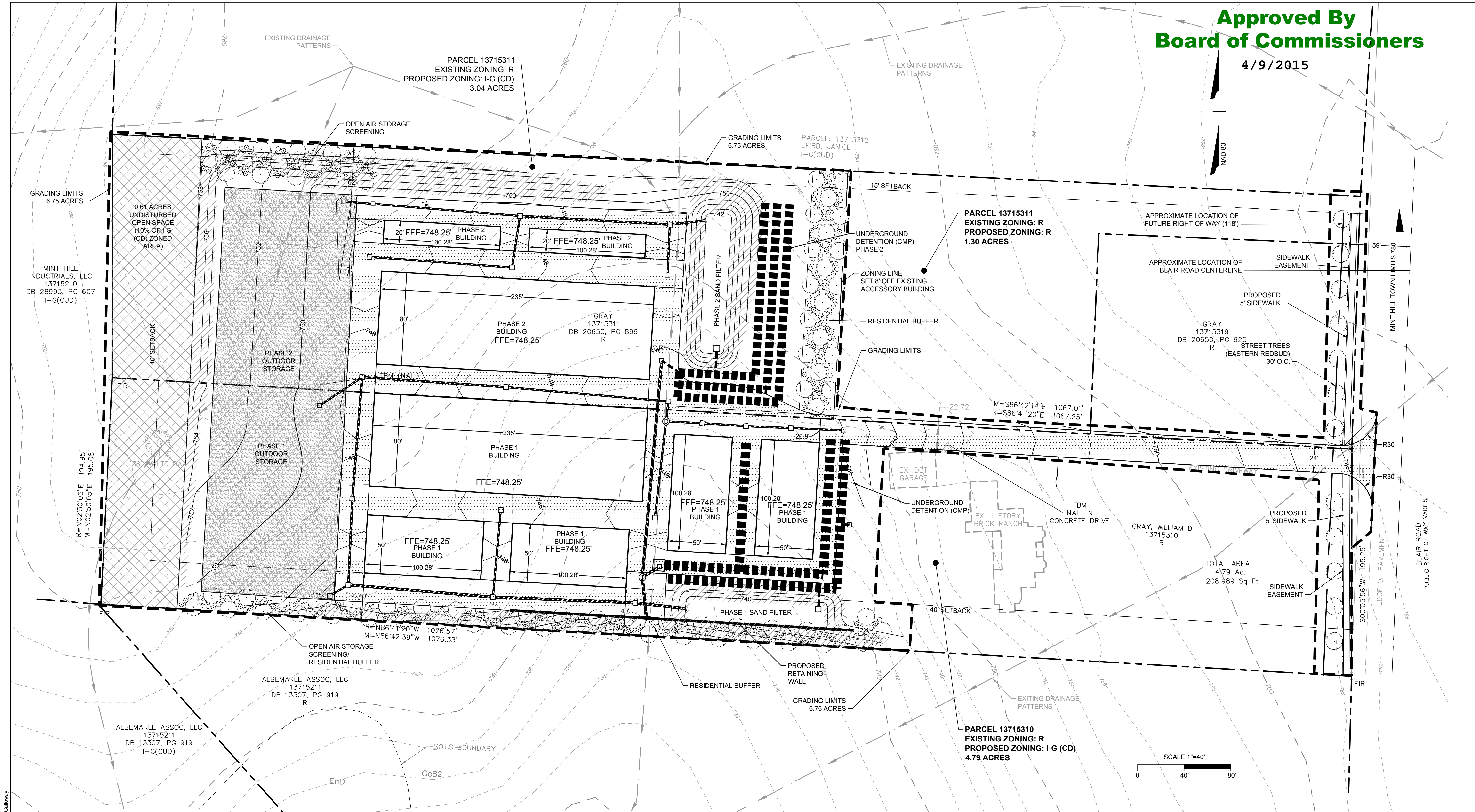






Approved By
Board of Commissioners

4/9/2015



PROPERTY DATA NOTES

PROJECT PROPERTY:
PARCELS 13715310 (11131 BLAIR ROAD) 4.79 ACRES OWNER: WILLIAM D GRAY
13715311 (11207 BLAIR ROAD) 4.02 ACRES OWNER: WILLIAM D GRAY

DISTURBED AREA: = 6.75 ACRES

DISTURBED AREA LAND USE: VACANT LAND

EXISTING VEGETATION: WOODED

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TO REZONE PARCEL 13715310 AND 3.04 ACRES OF PARCEL 13715311 FROM R TO I-G (CD). THE
PROPERTIES ZONED I-G (CD) WILL BE DEVELOPED FOR SELF STORAGE USAGE, BOTH INDOOR AND
OUTDOOR. THE EXISTING RESIDENCE ON 13715311 (ZONED R) WILL REMAIN A RESIDENCE.

SOILS: 98% CeB2, 1% EnB, 1% EnD

IMPERVIOUS AREA: TOTAL SITE: 304,049 SF (6.98 ACRES)
PHASE 1: 20,550 SF GRAVEL
34,091 SF BUILDINGS
49,939 SF ASPHALT
PHASE 2: 19,260 SF GRAVEL
22,826 SF BUILDINGS
24,181 SF ASPHALT
TOTAL % IMPERVIOUS: 56.19% IMPERVIOUS

APPROXIMATE TRAFFIC COUNT:
2 TRIPS / 1000SF - 65,000/1,000 X 2 = 130 TPD

NO OUTDOOR STORAGE SHALL BE ALLOWED IN CONJUNCTION WITH THE FACILITY WITH THE
FOLLOWING EXCEPTIONS: BOATS, CAR, MOTORCYCLES, TRAILERS, MOTOR HOMES, PICKUP TRUCKS
AND SIMILAR TYPE AND SIZE VEHICLES. OUTDOOR STORAGE IS RESTRICTED TO THE AREA
DESIGNATED AS OUTDOOR STORAGE ON THE ZONING PLAN.

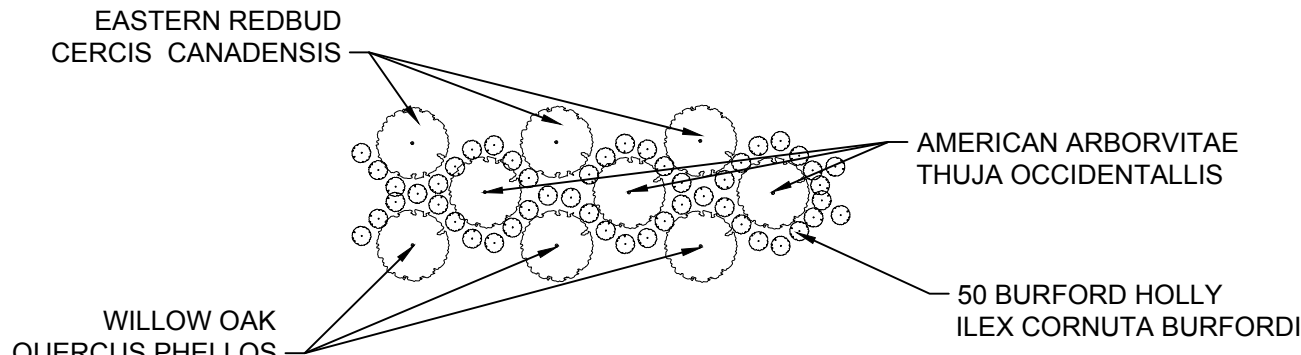
LANDSCAPING ASSOCIATED WITH THE SCREENING AND BUFFER SHALL BE MAINTAINED IN A GOOD
AND HEALTHY CONDITION.

STREET TREES WILL BE MAINTAINED BY THE PROPERTY OWNER.

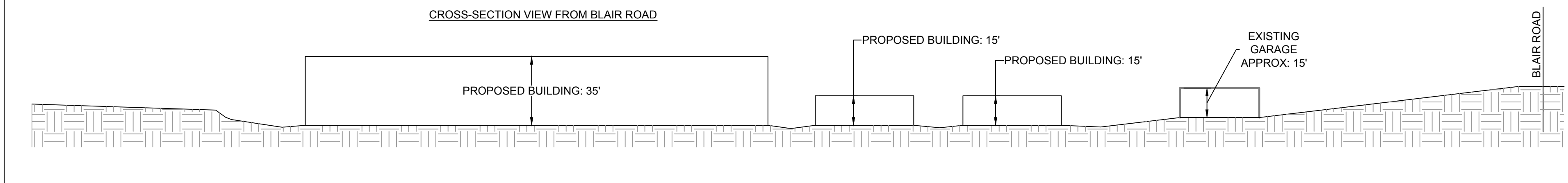
DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE ZONING PLAN AS WELL AS THE
APPLICABLE PROVISIONS OF THE UNIFIED DEVELOPMENT ORDINANCE.

LIGHTING SHALL BE FULLY SHIELDED AND DOWNWARDLY DIRECTED.

- ASPHALT PAVEMENT
- GRAVEL SURFACE
- UNDISTURBED OPEN SPACE
- SLOPES: 10-25%
- SLOPES: >25%



100' TYPICAL BUFFER SECTION



THIS DRAWING PREPARED AT THE
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TEL 704.376.1075 FAX 704.376.1076 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE
20 MAY 2015

DRAWN BY
J. GALLOWAY

DESIGNED BY
J. GALLOWAY

CHECKED BY
B. CRUTCHFIELD

SCALE
1"=40'

REVISION DESCRIPTION

DATE	DESCRIPTION

TIMMONS GROUP

MINT HILL SELF STORAGE
TOWN OF MINT HILL, NORTH CAROLINA
ZONING PLAN

JOB NO.
35856

SHEET NO.
RZ-01



Town of
MINT HILL
== *North Carolina* ==

STAFF REPORT

CASE# ZC23-4

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APPLICATION

CASE:	ZC23-4
EXISTING ZONING:	B-D
PROPOSED ZONING:	B-D (CZD)
PROPERTY OWNER:	OH Morris Park LLC
APPLICANT:	ED Bowers
LOCATION:	4500 Morris Park Drive
PROPERTY ACREAGE	4.010
TAX PARCEL NUMBER(S):	135-301-04
REQUEST:	Construct a new building





STAFF REPORT

BACKGROUND INFORMATION	<p>SP81-4 was approved on December 10, 1981. The special use permit allowed construction of a 15,000 square foot office/warehouse building.</p> <p>SP97-4 was approved on April 24, 1997. The Special Use Permit allowed a 15,000 square foot warehouse space addition.</p> <p>The B-D district initially required a special use permit for new development. Following the adoption of the Unified Development Ordinance, the Special Use Permit was abandoned and replaced with Conditional Zoning. The current ordinance requires conditional zoning approval to allow development in the B-D district.</p>	
APPLICATION SUMMARY	<p>The applicant is requesting conditional zoning approval to construct a new building next to the existing building</p> <p><i>Conditional District decisions shall be made in consideration of identified relevant adopted land use plan. Conditional District rezoning is a legislative procedure under which the Board of Commissioners has the authority to increase, tighten, add, vary, modify, or waive specific conditions or standards. In approving a petition for the rezoning of property to a Conditional District the Board of Commissioners may request reasonable and appropriate conditions</i></p>	
PLAN CONSISTENCY	Land Use Plan	Yes
	Downtown Master Plan	N/A
	Pedestrian Plan	N/A
	Comprehensive Transportation Plan	N/A
STAFF RECOMMENDATION	Favorable	



LOCATION MAP



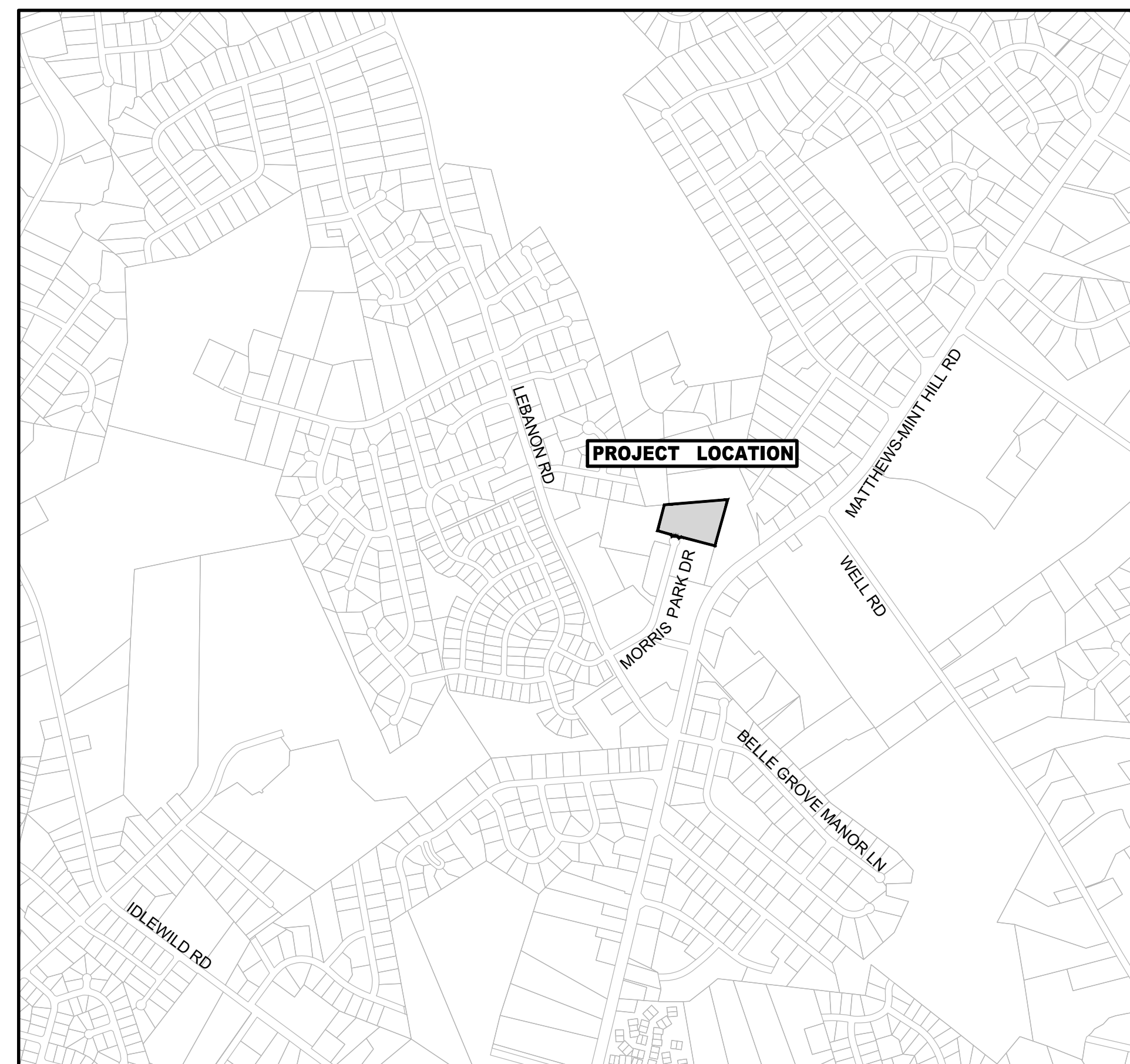
CIVIL CONSTRUCTION PLANS

FOR

4500 MORRIS PARK DR

PARCEL #135-30-104

TOWN OF MINT HILL, MECKLENBURG COUNTY, NORTH CAROLINA



LOCATION MAP

SCALE: 1" = 1000'

SHEET INDEX

C1.0	COVER SHEET
C1.1	GENERAL NOTES
C1.2	EXISTING CONDITIONS
C2.0	SITE PLAN
C3.0	UTILITY PLAN
C4.0	GRADING PLAN
C5.0	SITE DETAILS
C5.1	SITE DETAILS



JANUARY 2023

ENGINEER
SEEDWATER ENGINEERING
120 ACADEMY STREET
SUITE 102-033
FORT MILL, SC 29715
PHONE: (804) 360-3998
CONTACT: ZACHARY HOWZE, PE



URBAN FORESTRY NOTES

CHARLOTTE URBAN FORESTRY - TREE PLANTING AND PRESERVATION REQUIREMENTS PLANT MATERIAL

- 1. MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM. 13 MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM. MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL. WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL, IF MULTI-STEM TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 10' TALL.
- 2. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLY THE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/2 INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED (CLDS 40.09).
- 3. SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY.
- 4. ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.
- 5. PERIMETER TREES IN URBAN ZONES SHALL BE 3" IN CALIPER AND BE FREE OF BRANCHES UP TO 6' FROM THE TOP OF THE BALL.
- 6. A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- 7. 75% OF REQUIRED TREES MUST BE LARGE MATERIAL SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.

PLANTING REQUIREMENTS

- 1. SEE CLDS 40.01 & 40.09 (ON PLAN) FOR DETAILED TREE PLANTING REQUIREMENTS.
- 2. PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE CLDS 40.01 FOR APPROVED STAKING METHOD/MATERIALS.
- 3. ALL STRAPPING, AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.
- 4. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL, OR TILL AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 24 SQUARE FEET PER LARGE MATURE TREE AND 200 SQUARE FEET PER SMALL MATURE TREE).
- 5. TREES PLANTED ON PUBLIC PROPERTY WILL NEED APPROVAL FROM THE CITY ARBORIST AND/OR NCDOT.
- 6. REVIEW SOIL REQUIREMENTS IN THE TREE ORDINANCE GUIDELINES AT: [HTTP://LANDPERMITS.CHARMECK.ORG](http://landpermits.charmeck.org) THEN CLICK TREES.

UTILITY ISSUES

- 1. IF ANY UTILITY IS BEING INSTALLED IN OR NEAR ANY REQUIRED TREE(S) OR TREE SAVE AREA(S), CALL URBAN FORESTER TO RESOLVE PRIOR TO INSTALLATION.
- 2. LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES.
- 3. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- 4. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES.
- 5. NO LIGHT POLES, UTILITY POLES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.
- 6. COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (< 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 15' FROM A TREE. SHOW SITE LIGHTING ON LANDSCAPE PLAN.

TREE SAVE AND PRESERVATION

- 1. TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.
- 2. SHOW TREE PROTECTION AND TREES SAVE AREAS ON EROSION CONTROL, GRADING AND LANDSCAPE PLAN SHEETS.
- 3. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED ON A FINAL PLAT WITH THE MECKLENBURG COUNTY REGISTER OF DEEDS BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. A 10' NO BUILD ZONE AROUND TREE SAVE AREAS MUST BE REFERENCED ON THE PLAT.
- 4. TREE SAVE AREAS SHALL BE FREE OF INVASIVE PLANT SPECIES. IF AN AREA PROPOSED FOR TREE SAVE CONTAINS INVASIVE PLANT SPECIES AT TIME OF PROPOSAL, SUCH INVASIVE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL PLAT.
- 5. THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT.
- 6. ANY ALTERATIONS TO TREE SAVE AREAS MUST BE ACCOMPLISHED WITHOUT MECHANIZED EQUIPMENT.
- 7. NO STRUCTURE WILL BE ALLOWED WITHIN TREE SAVE AREAS.
- 8. ALL TREES ON PUBLIC PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY THE CITY ARBORIST (704)336-4262.
- 9. CONTACT URBAN FORESTRY SPECIALIST PRIOR TO ANY CRANE SET-UP, MACHINERY OPERATION OR TEMPORARY BUILDING ERECTION THAT MAY IMPACT CHARLOTTE TREE ORDINANCE-PROTECTED TREE OR TREE SAVE AREAS, INCLUDING TREES LOCATED IN STREET RIGHT-OF-WAY. IMPACTS MAY INCLUDE BUT ARE NOT LIMITED TO: ENCRoACHMENT WITHIN TREE DRIP-LINES, EXCAVATION, SOIL COMPACTIOn, TREE TRIMMING, ERECTING AND DISMANTLING OF CONSTRUCTION CRANES.

GENERAL

- 1. SUBMIT RELEASE COHOLD RELEASE FORM AT [HTTP://CHARLOTTENC.GOV/LD](http://charlottenc.gov/ld) FOR AN INSPECTION OF TREE PROTECTION/PLANTING AREAS, A MINIMUM OF 5 DAYS BEFORE THE COHOLD RELEASE IS NEEDED.
- 2. VISIT TOWN OF MINT HILL'S LAND DEVELOPMENT WEBSITE FOR ADDITIONAL INFORMATION AND URBAN FORESTRY REQUIREMENTS: [HTTP://CHARLOTTENC.GOV/LD](http://charlottenc.gov/ld) THEN CLICK TREES.

TREE PLANTING NOTES

- 1. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- 2. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE, AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL -OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 294 SQ. FT. PER TREE).
- 3. MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREE FORM. ALL MULTI-STEM PLANTS MUST BE TREE FORM, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
- 4. A MINIMUM OF FIFTY (50) PERCENT OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN TWENTY (20) TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.
- 5. NO LIGHT POLES WITHIN TREE ISLANDS. COMMERCIAL SITE LIGHTING MUST BE A MINIMUM THIRTY (30) FEET AWAY FROM A TREE. IF PEDESTRIAN SCALE LIGHTING IS BEING USED, THEN LIGHTING MUST BE A MINIMUM OF FIFTEEN (15) FEET AWAY FROM A TREE.
- 6. ADJUST TREE PLANTING LOCATIONS TO AVOID UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES (GAS, WATER, PHONE, AND ELECTRICAL LINES).
- 7. ATTENTION LANDSCAPER: NOTIFY URBAN FORESTER OF ANY SIGN, POWER LINE, OR OTHER CONFLICTS BEFORE PLANTING NEW TREES.
- 8. LARGE MATURING TREES MUST BE A MINIMUM 25 TO 30 FEET FROM THE OVERHEAD DISTRIBUTION OR TRANSMISSION LINES. IF TREES CONFLICT WITH POWER LINES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.
- 9. PLEASE CALL (704) 336-4330 FOR AN INSPECTION OF TREE PROTECTION AND/OR TREE PLANTING AREAS. 1 TO 2 DAYS BEFORE THE CERTIFICATE OF OCCUPANCY IS NEEDED.
- 10. ORDINANCE-REQUIRED TREES MUST BE MAINTAINED IN TREE FORM & ALLOWED TO GROW TO THEIR NATURAL HEIGHT/FORM, WITH A MAXIMUM OF THREE STEMS OR TRUNKS (NO TOPPING OR ROUNDING OVER) PLEASE
- 11. UNLESS APPROVED BY URBAN FORESTRY STAFF, ALL REQUIRED TREES MUST HAVE SINGLE STEM TRUNKS WITH NO CO-DOMINANT TRUNKS OR BRANCHES. TREE TRUNKS SHALL BE STRAIGHT IN FORM AND FREE OF DAMAGE OR CRACKS. PRUNING CUTS SHALL BE CALLED OVER. BRANCH LENGTH SHALL BE TYPICAL FOR THE TREE'S AGE AND NOT BE BROKEN, DISEASED OR INJURED. ROOT FLARE SHALL BE LOCATED AT GRADE AND BE FREE FROM EXCESSIVE ADVENTITIOUS ROOT GROWTH.
- 12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR / LANDSCAPER TO NOTIFY THE URBAN FORESTER OF ANY SITE CONFLICTS THAT AFFECT TREE SPECIES PRIOR TO PLANTING TREES.
- 13. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED IN ACCORDANCE WITH THE APPROVED PLAN ON A FINAL PLAT AT THE REGISTER OF DEEDS OFFICE BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED.

LANDSCAPING NOTES

- 1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C.
- 2. ALL PLANTS SHALL BE COMPACT, UNIFORM, AND WELL GROWN. PLANTS SHALL NOT BE LOOSE, OPEN PLANTS. THE CLIENT'S LANDSCAPE ARCHITECT RESERVES THE RIGHT, IN OUR SOLE OPINION, TO REJECT ANY AND ALL MATERIALS WHICH DO NOT MEET THESE REQUIREMENTS.
- 3. ALL PLANTING BEDS SHALL BE MULCHED A MINIMUM OF 4" WITH PINE NEEDLE MULCH.
- 4. ALL PLANTS SHALL BE FREE FROM DISEASE, INSECT INFESTATIONS, AND INJURIES.
- 5. ALL PLANT BEDS SHALL HAVE A 4" V-CUT TRENCH INSTALLED AT THE PERIMETER OF THE BED.
- 6. CONTRACTOR MUST PROVIDE A TWO YEAR WRITTEN GUARANTEE FOR ALL PLANT MATERIALS FROM THE DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION AS NECESSARY UNTIL PLANTS ARE ESTABLISHED.
- 7. THE SPECIES, VARIETIES, AND SIZE LISTED SHALL BE PROVIDED AS SPECIFIED. SUBSTITUTIONS WILL BE PERMITTED ONLY UPON WRITTEN APPLICATION BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT, AND WITH APPROVAL BY SAID LANDSCAPE ARCHITECT IS IN WRITING.
- 8. SYMBOLS: B&B = BALLED AND BURLAPPED, C.O. = ON CENTER, GAL. = GALLON CONTAINER, M.S. = MULTI-STEM, HT. = HEIGHT, CAL. = CALIPER.
- 9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PLANTS ILLUSTRATED ON THE PLANTING PLAN. IF ANY DISCREPANCIES EXIST BETWEEN THE QUANTITIES LISTED ON THE PLANT LIST AND THE QUANTITIES SHOWN ON THE PLAN, THE CONTRACTOR SHALL PROVIDE ALL QUANTITIES ILLUSTRATED ON THE PLAN. IF ANY PLANTS ARE SHOWN NOT LABELED, THE CONTRACTOR SHALL VERIFY THE PLANT IDENTITY WITH THE LANDSCAPE ARCHITECT AND THESE PLANTINGS SHALL BE INCLUDED IN THE CONTRACTOR'S INITIAL BID.
- 10. SOIL AMENDMENTS SHALL BE UNIFORMLY SPREAD AND CULTIVATED THOROUGHLY BY A MECHANICAL TILLER INTO THE TOP 12" OF SOIL THROUGHOUT SHRUB BEDS.
- 11. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING OF ANY SOIL CONDITIONS THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF PLANT MATERIALS. PROPER DRAINAGE MUST BE ASSURED.
- 12. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS BEFORE PREPARING SOIL AND PLANTING TREES.
- 13. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX -OR- UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.
- 14. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE REMOVED FROM ROOT BALL PRIOR TO BACK FILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- 15. ALL SIGNAGE AND SITE LIGHTING TO BE COORDINATED AROUND THE TREES LOCATED ON THE PLANTING PLAN. ALL TREES SHOWN ON THE PLANTING PLAN MUST GO IN AS SPECIFIED. ANY CHANGES TO THE PLANTING PLAN COULD RESULT IN A DELAY IN RECEIVING AND OCCUPANCY PERMIT.
- 16. CONSULT PLANT LIST FOR PLANT SIZES AND SPECIFICATIONS.
- 17. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO INSTALLATION. NOTIFY ARCHITECT IF FIELD CONDITIONS WARRANT ADJUSTMENT OF PLANT LOCATIONS.
- 18. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANS. QUANTITIES ARE FOR CONVENIENCES ONLY.
- 19. MULCH TO BE PINE NEEDLES.
- 20. GENERAL CONTRACTOR TO SEED ALL DISTURBED AREAS BEYOND PARKING LOT PERIMETER. LANDSCAPE CONTRACTOR SHALL SEED ALL AREAS WITHIN PARKING AS NOTED.
- 21. CONTRACTOR MAY CONTACT THE CITY INSPECTOR FOR A PRELIMINARY MEETING TO NEGOTIATE CREDIT FOR EXISTING TREES IN THE BUFFER AREA.

GENERAL EROSION CONTROL NOTES

- 1. ALL "STD" NUMBERS REFER TO THE TOWN OF MINT HILL LAND DEVELOPMENT STANDARDS MANUAL.
- 2. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
- 3. ANY GRADING BEYOND THE DENUNDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- 4. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE & IS SUBJECT TO A FINE.
- 5. ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 (H/V) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS POSSIBLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- 6. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY ENGINEERING DEPARTMENT.
- 7. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING (CLDS #30,16). SOILS ENGINEER TO VERIFY STABILITY OF SLOPES GREATER THAN 2:1.
- 8. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE NOT OTHERWISE APPLICABLE.
- 9. TEMPORARY DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT-OF-WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.
- 10. ALL EMBANKMENTS MUST BE CONSTRUCTED PER SECTION 4.0.6 EMBANKMENT REQUIREMENTS IN THE SMP DESIGN MANUAL. (IF APPLICABLE).

EROSION CONTROL MAINTENANCE NOTES

- 1. ALL EROSION SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT OF GREATER THAN 1/2" RAIN IN A 24 HOUR PERIOD. A RAIN GAUGE SHALL BE MAINTAINED ON THE SITE AND A RECORD OF THE RAINFALL AMOUNTS AND DATES SHALL BE KEPT.
- 2. A RECORD OF INSPECTIONS BY THE CONTRACTOR SHALL BE KEPT AND MADE AVAILABLE TO THE INSPECTOR UPON REQUEST. VISIBLE SEDIMENTATION FOUND OUTSIDE THE DENUNDED AREA LIMITS SHALL BE RECORDED AND A BRIEF EXPLANATION KEPT WITH THE RECORDS AS TO THE MEASURES TAKEN TO CONTROL FUTURE RELEASES. ANY MEASURES TAKEN TO CLEAN UP THE SEDIMENT THAT HAS LEFT THE DENUNDED AREA LIMITS SHALL ALSO BE RECORDED.

CONSTRUCTION SEQUENCE

- 1. OBTAIN GRADING/EROSION CONTROL PLAN APPROVAL FROM THE TOWN OF MINT HILL ENGINEERING DEPARTMENT.
- 2. SET UP PRE-CONSTRUCTION CONFERENCE ON SITE WITH EROSION CONTROL, INSPECTOR OF THE CITY ENGINEERING DEPARTMENT TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 17 OF THE CITY CODE AND IS SUBJECT TO A FINE.
- 3. INSTALL SILT FENCE AND OTHER MEASURES AS SHOWN ON THE PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
- 4. CALL FOR ONSITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR ISSUES THE GRADING PERMIT AND CLEARING AND GRUBBING MAY BEGIN.
- 5. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
- 6. FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
- 7. BEGIN GRADING SITE.
- 8. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
- 9. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE N.C. EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, CHARLOTTE LAND DEVELOPMENT STANDARDS, TOWN OF MINT HILL EROSION CONTROL ORDINANCE, AND THE U.S. DEPT. OF AGRICULTURE.
- 10. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
- 11. COORDINATE WITH EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
- 12. ONCE ENTIRE SITE HAS BEEN STABILIZED, REMOVE SEDIMENT BASIN AND STABILIZE ANY REMAINING DISTURBED AREA.

GENERAL GRADING NOTES

- 1. LAND DEVELOPMENT INSPECTOR TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION. ALSO, VARIOUS NCDOT PERSONNEL NEED BE NOTIFIED AS DIRECTED IN THE SPECIAL CONDITIONS OF THE NCDOT DRIVEWAY PERMIT.
- 2. THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- 3. PE SEALED SHOP DRAWINGS FOR RETAINING WALL(S) MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- 4. APPROVAL OF THIS SITE PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- 5. ALL "STD" NUMBERS REFER TO THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- 6. NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE D.O.T. BEFORE INSTALLATION.
- 7. LAND DEVELOPMENT CREATING A TOTAL OF 20,000 S.F. OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- 8. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- 9. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- 10. ALL BACK FILL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER. BACK FILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIALS, OR OTHER OBJECTIONABLE MATERIAL. BACK FILL MATERIALS SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER TAMPING BLOWS OR PROOF ROLLING. ALL BACK FILL MATERIAL SHALL BE PLACED IN LOOSE 6-IN. LIFTS AND COMPACTED BY MECHANICAL MEANS, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER OR AS LISTED IN NOTE BELOW.
- 11. ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADES SHALL BE COMPACTED TO 98% OF ASTM D698 TO A DEPTH OF 10-IN. AND TO 95% OF ASTM D698 BELOW 12-IN DEPTHS. ALL OTHER NON-STRUCTURAL AREAS SHALL BE COMPACTED TO 90% OF ASTM D698.
- 12. ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADES COMPACTATIONS SHALL BE INTERMEDIATELY TESTED AND APPROVED BY THE GEOTECHNICAL ENGINEER. ALL SUB-GRADES SHALL BE THOROUGHLY PROOF-ROLLED TO IDENTIFY SMALL LOCALIZED AREAS OF UNSUITABLE SOILS. ALL UNSUITABLE SOILS SHALL BE UNDERCUT, REPLACED WITH STRUCTURAL FILL, AND COMPACTED AS LISTED IN NOTE 10.

DEMOLITION NOTES

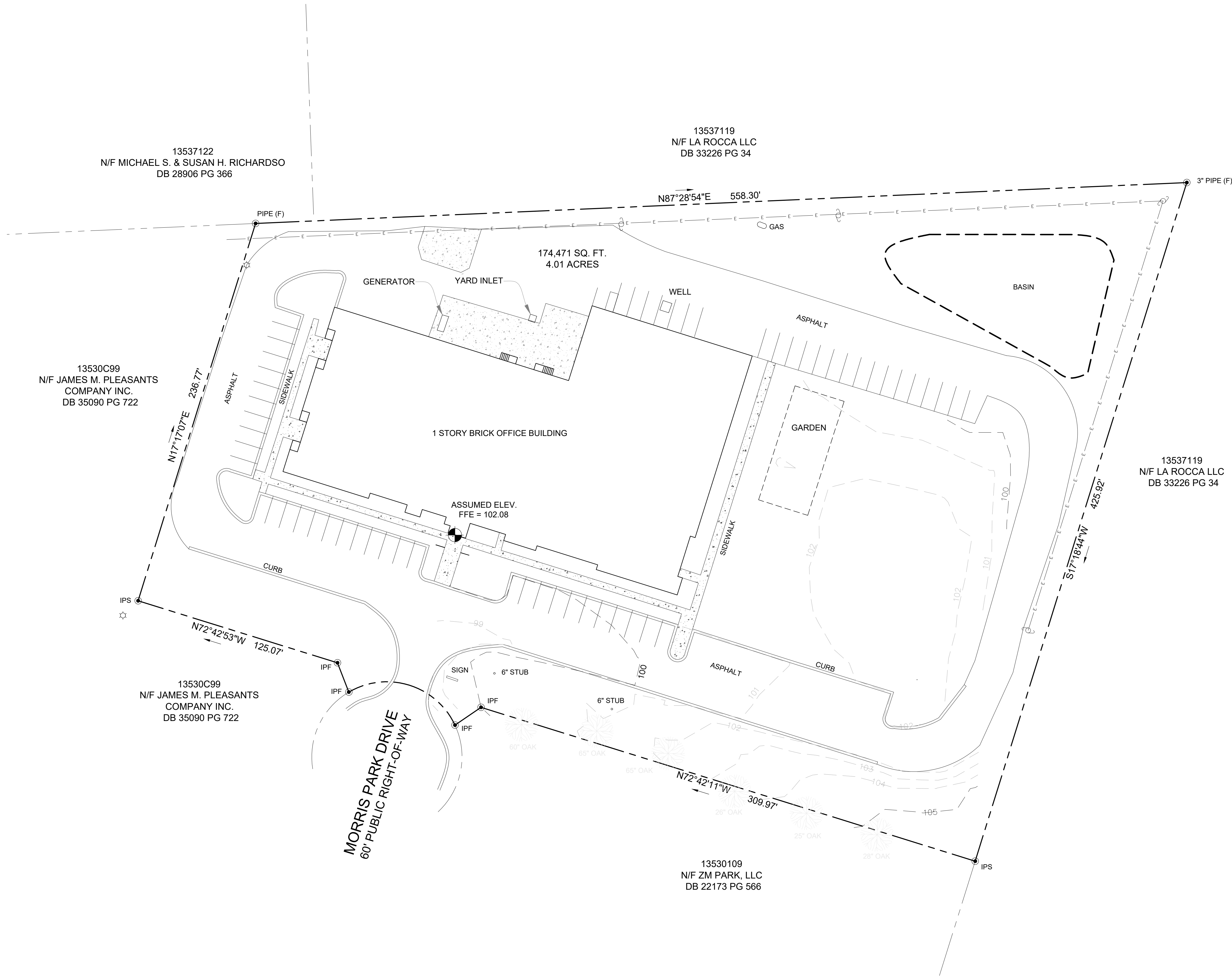
- 1. THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
- 2. THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND AS DIRECTED BY THE OWNER.
- 3. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES. THESE FEES ARE TO BE INCLUDED WITH THE BID.
- 4. THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- 5. THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOTON AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANIES PRIOR TO WORK.
- 6. CONTRACTOR SHALL COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING BUILDINGS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO CURBS, SIDEWALKS, TREES AND SHRUBS.
- 7. REMOVE AND DISPOSE OF ANY SIDEWALK, FENCES, STAIRS, WALLS, FOUNDATIONS, CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL.
- 8. REMOVE AND/OR PLUG EXISTING UTILITIES SUCH AS SANITARY SEWER, WATER, GAS, ELECTRIC, AND TELEPHONE AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
- 9. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR MAIN, AS REQUIRED, OR AS OTHERWISE NOTED. ALL SERVICES MAY NOT BE SHOWN ON THE PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED.
- 10. CONTRACTOR SHALL COORDINATE WITH UTILITY DEPARTMENT IN THE REMOVAL/RELOCATION OF EXISTING UTILITY POLES AND OVERHEAD UTILITY LINES.
- 11. THE CONTRACTOR SHALL ARRANGE FOR RESETTling OF CURB BOXES, VALVE BOXES AND REMOVAL AND/OR RELOCATION OF OVERHEAD UTILITIES AND POLES WITH THE APPROPRIATE UTILITY COMPANY.
- 12. INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
- 14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD SURFACE.
- 15. ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
- 16. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BE PROVIDED.
- 17. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THE AREA.
- 18. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR.

GENERAL NOTES

- 1. ALL CONCRETE SIDEWALKS SHALL BE FULL 4" THICK 3600 PSI CONCRETE W/1" DEEP GROOVE CONTROL JOINTS AT INTERVALS INDICATED ON SITE PLAN. PROVIDE EXPANSION JOINTS ADJACENT TO ALL RIGID STRUCTURES. EXPANSION JOINT SPACING SHALL NOT EXCEED 30'.
- 2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 3. SEE ARCHITECTURAL PLAN FOR EXACT LOCATION & SIZE OF WATER, SEWER CONNECTIONS & ROOF DOWNSPOUTS.
- 4. DRIVEWAYS SHALL BE CONSTRUCTED TO STATE & LOCAL CODES.
- 6. ACCESSIBLE PARKING: a. AN ACCESSIBLE PARKING SPACE SHALL HAVE NO GREATER SLOPE THAN 1/4" PER FOOT ACROSS THE SPACE. b. HANDRAILS ARE TO BE PROVIDED ON ACCESSIBLE RAMPS WITH A DROP OF 2" OR MORE. c. MAX. SLOPE FOR AN ACCESSIBLE ROUTE (SIDEWALK) SHALL BE 5.0% (1:20). d. ALL ACCESSIBLE PARKING SPACES SHALL DISPLAY APPROVED RESERVED PARKING SPACE SIGNS AS PRESCRIBED BY THE N.C.D.O.T. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & APPROVED FOR USE UNDER N.C. GENERAL STATUTE RT-8, RT-8D "PENALTY" SIGN & HERE APPLICABLE, "VAN ACCESSIBLE" SIGN. e. THE CONTRACTOR SHALL VISIT THE SITE & FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS BEFORE SUBMITTING HIS BID. f. ALL DISTANCES & DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATIONS MAY BE MADE PRIOR TO THE START OF WORK. g. THE PROPOSED GRADES AS SHOWN ARE THE FINISH GRADES UNLESS OTHERWISE NOTED. h. LIGHTING SHALL NOT EXCEED 30' IN HEIGHT. i. THE CONTRACTOR SHALL SUPPLY & ESTABLISH SURVEY CONTROL, INCLUDING THE HORIZONTAL & VERTICAL CONTROL POINTS. THE CONTRACTOR SHALL MAINTAIN THIS CONTROL & PROVIDE ALL BENCHMARKS, STAKES, GRADES, LEVELS, & LINES NECESSARY FOR CONSTRUCTION. j. CONTRACTORS SHALL PREPARE ADEQUATE SURVEY CONTROL, DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS WORKING AROUND CONSTRUCTION STAKES. THESE CONSTRUCTION STAKES SHALL REMAIN IN PLACE & BE PROTECTED UNTIL OWNER APPROVES THEIR REMOVAL. ANY STAKES THAT HAVE BEEN DISPLACED AS A RESULT OF CONSTRUCTION ACTIVITY ARE TO BE REPLACED BY A LICENSED LAND SURVEYOR ENGAGES BY THE CONTRACTOR AT THE OWNER'S COST.
- 12. ALL EXISTING IMPROVEMENTS DAMAGED AS A RESULT OF CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER.
- 13. ALL EXISTING PAVEMENT & CONCRETE TO BE JOINED SHALL BE SAWCUT.
- 14. BURNING ON, OR NEAR THE JOB SITE WILL NOT BE PERMITTED.
- 15. ALL FILL SHALL BE COMPACTED TO 95% PER ASTM D 698. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION RELATED MATERIAL & DEBRIS.
- 16. TREE SAVE NOTES: a. TEMPORARY DRIVEWAY FENCING INSTALLED UNDER THE ROUGH GRADING CONTRACT SHALL BE MAINTAINED UNTIL THE CITY ALLOWS ITS REMOVAL. REMOVAL OF THIS FENCING SHALL BE INCLUDED HEREIN. b. THE SITE WORK CONTRACTOR(S) SHALL BE FAMILIAR WITH & OBSERVE THE APPLICABLE REQUIREMENTS. ANY QUESTIONS SHOULD BE DIRECTED TO THE PROJECT CIVIL ENGINEERING REPRESENTATIVE. c. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO START OF CONSTRUCTION. d. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, WRITTEN PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNER(S).
- 19. COORDINATE ALL CURB & STREET GRADES IN INTERSECTION WITH CITY INSPECTOR.
- 20. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM SLOPE OF 0.5% ON CURB.
- 21. INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES, STORM DRAINAGE STRUCTURES & OTHER ABOVE & BELOW-GRADE IMPROVEMENTS ARE APPROXIMATELY AS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE & INVERT ELEVATIONS OF SUCH PRIOR TO START OF CONSTRUCTION.
- 22. ALL "STD" NUMBERS REFER TO THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- 23. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE & SHALL REMOVE FROM THE CHANNEL ALL DEBRIS, LOGS, TIMBER, JUNK & OTHER ACCUMULATIONS.
- 24. ANY ROAD IMPROVEMENTS AT PARK ROAD TO BE COORDINATED WITH THE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- 25. THE TOWN OF MINT HILL ENGINEERING DEPT. HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE & DOES NOT ASSUME RESPONSIBILITY FOR THEM.
- 26. NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR TOWN OF MINT HILL MAINTAINED STREETS, CONTACT CDOT AT (704) 336-3888.
- 27. THE ENGINEER WILL NOT BE CONTINUOUSLY PRESENT IN THE FIELD. IT IS SPECIFICALLY UNDERSTOOD THAT HE DOES NOT UNDERTAKE NOR ASSUME ANY OBLIGATION FOR SUPERVISION OF CONSTRUCTION. SAFETY MEASURES TAKEN DURING THE COURSE OF CONSTRUCTION REMAIN THE RESPONSIBILITY FOR THE CONTRACTOR IN ENSURING COMPLETE COMPLIANCE WITH THE CONTRACT DOCUMENTS AND/OR ALL CODE REQUIREMENTS, RULES & REGULATIONS OF ANY PUBLIC OR PRIVATE AUTHORITY HAVING JURISDICTION OVER THE WHOLE OR ANY PART OF THE WORK. IN ADDITION, THE ENGINEER NEITHER UNDERTAKES, ASSUMES, NOR GUARANTEES THE WORK AND/OR PERFORMANCE OF THE CONTRACTOR.
- 28. ALL CONSTRUCTION SHALL MEET TOWN OF MINT HILL & STATE STANDARDS.
- 29. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 S.F. OF IMPERVIOUS AREA SINCE SEPTEMBER OF 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- 30. TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704)336-5753 PRIOR TO THE REMOVAL OF ANY RIGHT-OF-WAY TREES. ALL TREES OVER 8"Ø AS MEASURED 4.5' ABOVE THE GROUND & LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704)336-8662 FOR REQUIRED PERMITS.
- 31. BEFORE YOU DIG, STOP. CALL THE NO-ONE-CALL CENTER AT (800)832-4949. IT'S THE LAW.
- 32. SIGHT TRIANGLES SHOWN ARE THE MIN. REQUIRED.
- 33. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025).
- 34. ANY WORK WITHIN THE CITY'S RW THAT REQUIRES CLOSURE OF A SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A RW USE PERMIT OR RW LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704) 432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.
- 35. CONSTRUCTION STAGING WITHIN CITY RW LASTING MORE THAN 30 DAYS REQUIRES A RW LEASE AGREEMENT. CONTRACTOR SHALL CONTACT CDOT AT 704-336-2562.
- 36. RW CLOSURES LONGER THAN 30 DAYS REQUIRES A RW LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN, TRAFFIC CONTROL PLANS REQUIRED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE LAND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE LEASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF THE RW CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT 704-336-2562.
- 37. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT.
- 38. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- 39. DEVELOPER TO CONTACT CDOT (ANTHONY MENDEZ, 704-336-4971) DURING SITE PLAN PREPARATION TO DISCUSS STREET LIGHTING REQUIREMENTS, IF ANY. FOR THIS PROJECT, COORDINATE WITH DUKE ENERGY AND CDOT AS NECESSARY TO DETERMINE LIGHTING LEVELS, LIGHTING LAYOUT AND REQUIREMENTS FOR INSTALLATION.

LAND DEVELOPMENT NOTES

- 1. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- 2. ALL ROAD IMPROVEMENTS AT ARE TO BE COORDINATED WITH THE TOWN OF MINT HILL ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- 3. DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM 50.05 (P' SIGNS ONLY).
- 4. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- 5. DIRECT VEHICULAR ACCESS TO FROM LOTS IS PROHIBITED.
- 6. FOR SLOPES AND HILLY TERRAINS, STABILIZATION OF THE EROSION BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
- 7. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- 8. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
- 9. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- 10. CURB AND GUTTER SHOWN ON PLANS ALONG MAY BE ADJUSTED BASED UPON FIELD STAKING BY CITY ENGINEERING. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
- 11. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- 12. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE CITY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
- 13. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
- 14. ANY BUILDING WITHIN THE 100'± STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE TOWN OF MINT HILL/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
- 15. ANY CONSTRUCTION OR WORK WITHIN THE FUTURE CONDITIONS FLOOD FRINGE LINE IS SUBJECT TO THE RESTRICTIONS OF THE TOWN OF MINT HILL/MECKLENBURG COUNTY) SUBDIVISION ORDINANCE, SECTION 7.200.8.
- 16. ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT # SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WITHIN THE FLOOD FRINGE LINE). THE DEVELOPER MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100-YEAR FLOOD ANALYSIS.)
- 17. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO CITY ENGINEER PRIOR TO CONSTRUCTION.
- 18. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY/COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY/COUNTY/SUBDIVISION ORDINANCE.
- 19. PRIOR TO INSTALLATION, PE SEALED SHOP DRAWINGS FOR UNDERGROUND DETENTION SYSTEMS MUST BE FURNISHED TO TOWN OF MINT HILL ENGINEERING FOR APPROVAL.
- 20. PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF ALL WATER QUALITY BMPs AND DETENTION SYSTEMS MUST BE PROVIDED.
- 21. PRIOR TO PLAT RECORDATION, OFFSITE RW AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE RW ACQUISITION PROCESS". THESE NEEDED RW AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
- 22. PER SECTION 18-175(e) OF CITY CODE AND SECTION 10.0 OF THE CITY'S POST CONSTRUCTION CONTROLS ADMINISTRATIVE MANUAL, ALL REQUIRED NATURAL AREAS AND/OR POST CONSTRUCTION CONTROLS EASEMENTS (PCCES) MUST BE RECORDED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 23. THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
- 24. CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR INFORMATION CONTACT CHARLOTTE DEPARTMENT OF TRANSPORTATION (704-336-4025) OR VISIT [HTTP://WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET -MAINTENANCE/HOME.HTM](http://www.charmeck.org/departments/transportation/street-maintenance/home.htm)
- 25. NON-STANDARD ITEMS (I.E. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION/NORTH CAROLINA DEPARTMENT OF TRANSPORTATION BEFORE INSTALLATION. FOR TOWN OF MINT HILL MAINTAINED STREETS, CONTACT CDOT AT 704-336-3888.
- 26. ANY WORK WITHIN THE CITY'S RW THAT REQUIRES CLOSURE OF A SIDEWALK OR TRAVEL LANE MUST BE APPROVED BY CDOT AND WILL REQUIRE A RW USE PERMIT OR RW LEASE DEPENDING UPON THE PROPOSED DURATION OF CLOSURE. THESE APPROVALS ARE IN ADDITION TO SITE APPROVALS AND SHOULD BE COORDINATED WITH CDOT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT CDOT AT (704) 432-1562 AT LEAST 5 BUSINESS DAYS PRIOR TO BEGINNING WORK FOR IMPACTS LESS THAN 30 DAYS. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-8348 AS SOON AS POSSIBLE FOR IMPACTS GREATER THAN 30 DAYS. EVERY EFFORT SHALL BE MADE TO CONSTRUCT IMPROVEMENTS WITH MINIMAL IMPACT TO DRIVERS AND PEDESTRIANS.



LEGEND

FLOODWAY LIMITS

- 500 YR FLOODPLAIN LIMIT
- 100 YR FLOODPLAIN LIMIT
- EXISTING WATER LINE
- EXISTING SAN. SEWER LINE
- EXISTING STORM DRAIN PIPE
- EXISTING GAS LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING FIBER OPTIC LINE
- EXISTING OVERHEAD TELEPHONE
- EX. UNDERGROUND CABLE, & TV LINE
- EXISTING LIGHT POLE 1-FIXTURE
- EXISTING LIGHT POLE 2-FIXTURES
- EXISTING TRANSFORMER PAD
- EXISTING FIRE HYDRANT
- EXISTING FIRE DEPT. CONNECTION
- EXISTING WATER METER AND VAULT
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING SEWER DOUBLE CLEANOUT
- EXISTING SEWER SINGLE CLEANOUT
- EXISTING SEWER MANHOLE
- EXISTING SIGN
- EXISTING GRATE INLET
- EXISTING JUNCTION BOX
- EXISTING CURB INLET
- EXISTING UTILITY PIPING OR FENCING TO BE REMOVED
- EXISTING PAVEMENT TO BE REMOVED
- FULL-DEPTH SAWCUT
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN AND BE PROTECTED

- DEMOLITION NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL VERIFY ALL LOCATION DIMENSIONS, VERTICAL CONTROL ELEVATIONS, AND PROPERTY LINE LOCATIONS PRIOR TO DEMOLITION OPERATIONS. ANY DISCREPANCIES BETWEEN THE CONSTRUCTION PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONTINUING WITH DEMOLITION WORK.
 - REMOVE ALL EXISTING PAVEMENT AND STRUCTURES WITHIN THE SHADED AREA UNLESS OTHERWISE NOTED.
 - COORDINATED WITH LOCAL POWER, TELEPHONE, CABLE, AND GAS COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES.
 - CONTRACTOR TO DETERMINE SOURCE OF ALL EXPOSED UTILITIES AND, IF REQUIRED, RECONNECT TO PROPOSED UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND LEGAL DISPOSAL OF ALL UNSUITABLE MATERIALS FROM THE PROJECT SITE. CONTRACTOR SHALL CONTACT ALL LOCAL AUTHORITIES TO DETERMINE DISPOSAL REQUIREMENTS.



NO.	DATE	REVISION
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MORRIS PARK WAREHOUSE
TOWN OF MINT HILL
MECKLENBURG COUNTY, NC

EXISTING CONDITIONS

SEEDWATER ENGINEERING

120 ACADEMY ST., STE. 102-033
FORT MILL, SC 29715
PHONE: 704.360.3998
NC FIRM LICENSE NO. C-4622

DESIGNED: ZH	DATE	PROJECT #	SHEET
DRAWN: IND	JANUARY 2023	22-014	C 1.2
REVIEWER: ZH			





0 30 60 Feet

LEGEND

- PROPOSED FIRELANE
- ACCESSIBLE CROSSWALK
- PROPOSED ACCESSIBLE ROUTE
- BFR BARRIER FREE RAMP (ADA RAMP)
- PROPOSED LIGHT POLE 1-FIXTURE
- PROPOSED LIGHT POLE 2-FIXTURES
- PROPOSED TRANSFORMER PAD
- F.H. PROPOSED FIRE HYDRANT
- FDC PROPOSED FIRE DEPT. CONNECTION
- PROPOSED WATER METER AND VAULT
- WM PROPOSED WATER METER
- WV PROPOSED WATER VALVE
- DCO PROPOSED SEWER DOUBLE CLEANOUT
- CO PROPOSED SEWER SINGLE CLEANOUT
- SSMH PROPOSED SEWER MANHOLE
- PROPOSED SIGN
- G.I. PROPOSED GRATE INLET
- J.B. PROPOSED JUNCTION BOX
- C.I. CURB INLET
- STMH STORM SEWER MANHOLE
- GM GAS METER
- D.E. DRAINAGE EASEMENT
- W.E. WATER EASEMENT

NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF WALL, FACE OF BUILDING, CENTER OF STRIPING, AND PROPERTY LINE UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING AND DUMPSTER ENCLOSURE LAYOUT AND DESIGN.
- REFER TO LANDSCAPE PLANS FOR FENCE AND HARDSCAPE LAYOUT AND DESIGN.
- ALL SIGNAGE IS APPROVED VIA A SEPARATE PERMIT THROUGH THE BUILDING SAFETY DIVISION.
- ALL MECHANICAL EQUIPMENT, DUMPSTERS, ROOFTOP UNITS, ETC SHALL BE SCREENED IN COMPLIANCE WITH THE ZONING ORDINANCE.
- ALL LIGHTING SHALL COMPLY WITH THE ZONING ORDINANCE.
- ANY ALTERATION TO THE SITE PLAN, INCLUDING BUILDING ELEVATION AND LANDSCAPE SUBSTITUTIONS, REQUIRE TOWN APPROVAL THROUGH A REVISED PLAN, STAMPED BY STAFF.
- ALL STRIPING WITHIN DEVELOPMENT TO BE PAINTED WHITE.



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MORRIS PARK WAREHOUSE
TOWN OF MINT HILL
MECKLENBURG COUNTY, NC

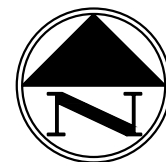
SITE PLAN

SEEDWATER
ENGINEERING

120 ACADEMY ST., STE. 102-033
FORT MILL, SC 29715
PHONE: 704.360.3998
NC FIRM LICENSE NO. C-4622

DESIGNED: ZH	DATE	PROJECT #	SHEET
DRAWN: IND	SEPTEMBER 2022	22-014	C 2.0
REVIEWER: ZH			





0 30 60 Feet

UTILITY LEGEND

FLOODWAY LIMITS	
	500 YR FLOODPLAIN LIMIT
	100 YR FLOODPLAIN LIMIT
	PROPERTY LINE
	EASEMENT LINE
	100 YR FLOODPLAIN LIMIT
	EXISTING WATER LINE
	EXISTING SAN. SEWER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC
	PROPOSED SAN. SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM SEWER LINE
	PROPOSED UNDERGROUND PHONE/DATA LINE
	PROPOSED UNDERGROUND ELECTRICAL POWER

	EXISTING LIGHT POLE 1-FIXTURE		PROP. LIGHT POLE 1-FIXTURE
	EXISTING LIGHT POLE 2-FIXTURES		PROP. LIGHT POLE 2-FIXTURES
	EXISTING TRANSFORMER PAD		PROP. TRANSFORMER PAD
	EXISTING FIRE HYDRANT		PROP. FIRE HYDRANT
	EXISTING FIRE DEPT. CONNECTION		PROP. FIRE DEPT. CONNECTION
	EXISTING WATER METER AND VAULT		PROP. WATER METER AND VAULT
	EXISTING WATER METER		PROP. WATER METER
	EXISTING WATER VALVE		PROP. WATER VALVE
	EXISTING SEWER DOUBLE CLEANOUT		PROP. SEWER DOUBLE CLEANOUT
	EXISTING SEWER SINGLE CLEANOUT		PROP. SEWER SINGLE CLEANOUT
	EXISTING SEWER MANHOLE		PROP. SEWER MANHOLE
	EXISTING SIGN		PROP. SIGN
	EXISTING GRATE INLET		PROP. GRATE INLET
	EXISTING JUNCTION BOX		PROP. JUNCTION BOX
	EXISTING CURB INLET		PROP. CURB INLET

NOTES

- REFER TO SHEET GENERAL NOTES FOR CITY STANDARD GENERAL NOTES, UTILITY NOTES AND CONSTRUCTION DESIGN NOTES.
- THE TOWN OF MINT HILL DESIGN AND CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SLEEVES CROSSING PAVED AREAS.
- REFER TO M.E.P. PLANS FOR PROPOSED UTILITY CONNECTIONS TO BUILDING.
- ALL T.C.E.Q. PIPE SEPARATION MUST BE MET.
- ALL WYE CONNECTIONS AND BENDS SHALL BE MANUFACTURED FITTINGS.
- SANITARY SEWER CONSTRUCTION WILL INCLUDE FURNISHING AND INSTALLING THE MATERIALS AND ALL SAN. SEWER PIPES, MANHOLES, CLEANOUTS, APPURTENANCE, INCLUDING EXCAVATION, EMBEDMENT AND BACKFILL, AS SHOWN ON THESE PLANS.



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MORRIS PARK WAREHOUSE
TOWN OF MINT HILL
MECKLENBURG COUNTY, NC

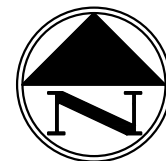
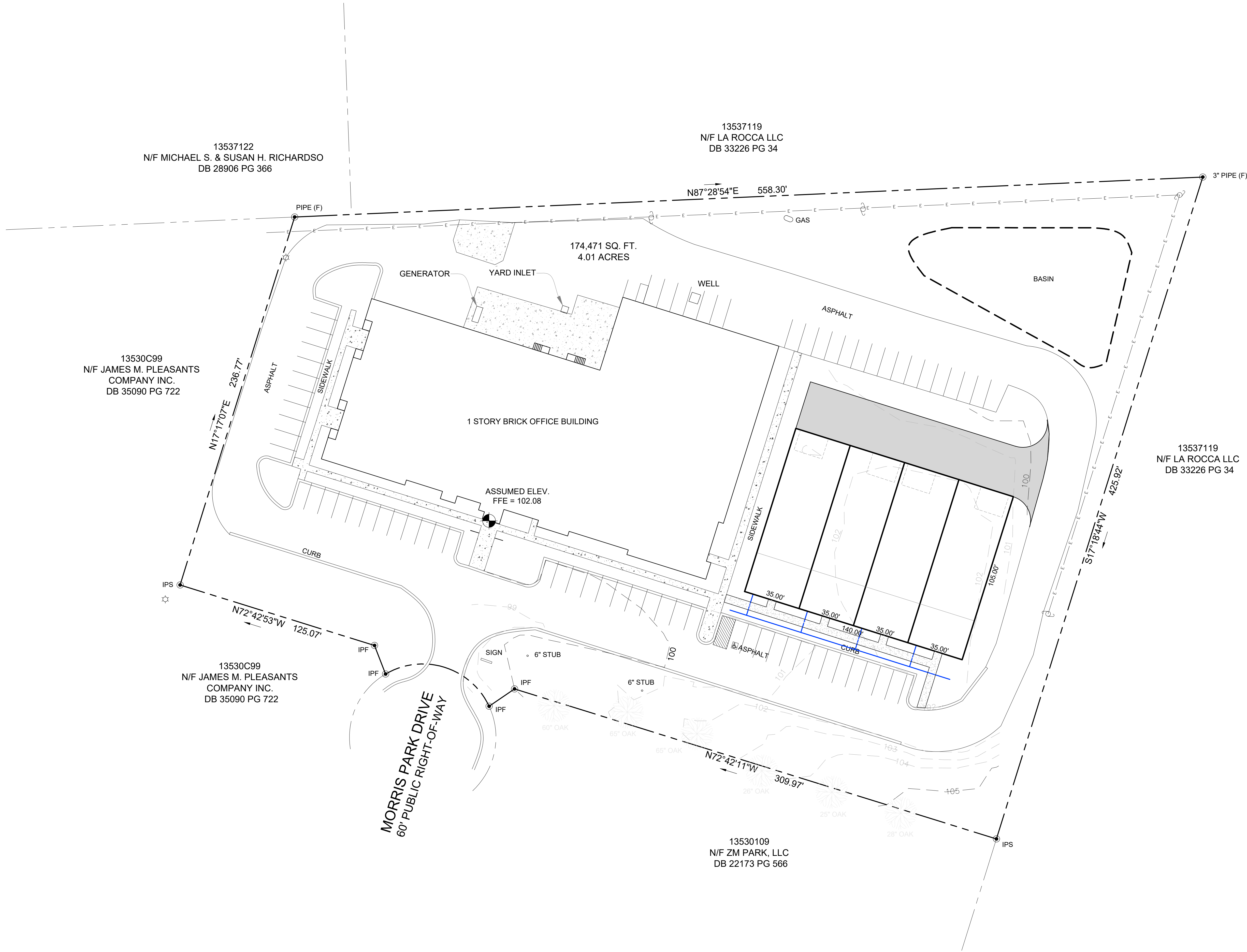
UTILITY PLAN



120 ACADEMY ST., STE. 102-033
FORT MILL, SC 29715
PHONE: 704.360.3998
NC FIRM LICENSE NO. C-4622

DESIGNED: ZH	DATE	PROJECT #	SHEET
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0 30 60 Feet

GRADING LEGEND

- PR. CONTOUR
- EX. CONTOUR
- GRADE BREAK
- DRAINAGE SWALE
- RETAINING/SCREENING WALL
- 100YR FP
- 100 YEAR FLOODPLAIN LINE
- EX. SPOT GRADE
- TOP OF CURB
- GUTTER
- TOP OF PAVEMENT
- FINISHED GRADE
- TOP OF INLET
- LOW POINT
- HIGH POINT
- TOP OF WALL
- BOTTOM OF WALL
- FINISHED FLOOR

GRADING NOTES

- ALL PROPOSED AND EXISTING GRADES IN NON-PAVED AREAS ARE "FINISHED GRADE" (i.e. IN LANDSCAPE BEDS, TOP OF MULCH/BEDDING MATERIAL).
- CONTRACTOR SHALL FORM SIDEWALK AND VERIFY SLOPES PRIOR TO POURING CONCRETE. CONTRACTOR SHALL ENSURE THAT CROSS SLOPES AREA NO GREATER THAN 2% ALONG THE ACCESSIBLE ROUTE AND RUNNING SLOPE IS NOT GREATER THAN 5%, UNLESS THE RUNNING SLOPE MATCHES THE EXISTING STREET SLOPE. IF ANY DISCREPANCY ARISES, CONTRACTOR SHALL CONTACT THE ENGINEER FOR SOLUTION.
- LIMITS OF CONSTRUCTION AREA SHOWN ON THE EROSION CONTROL PLAN.
- AREAS AROUND THE PERIMETER OF THE BUILDING(S) SHALL BE AT A POSITIVE SLOPE AWAY FROM THE BUILDING TO ENSURE PROPER DRAINAGE AWAY FROM THE FOUNDATION.
- THE CONTRACTOR MUST REFER TO THE GEOTECHNICAL REPORT, FOUNDATION PLANS, AND LANDSCAPE PLANS FOR 1) ALL BACKFILL AND COMPACTION REQUIREMENTS, 2) FOUNDATION WATER PROOFING AND 3) UNDERDRAINS AND LANDSCAPE DRAINS AROUND THE PERIMETER OF THE BUILDING(S).
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MORRIS PARK WAREHOUSE
TOWN OF MINT HILL
MECKLENBURG COUNTY, NC

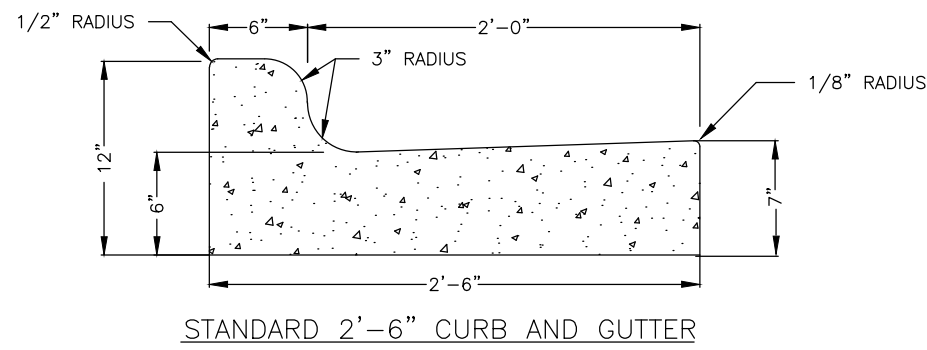
GRADING PLAN



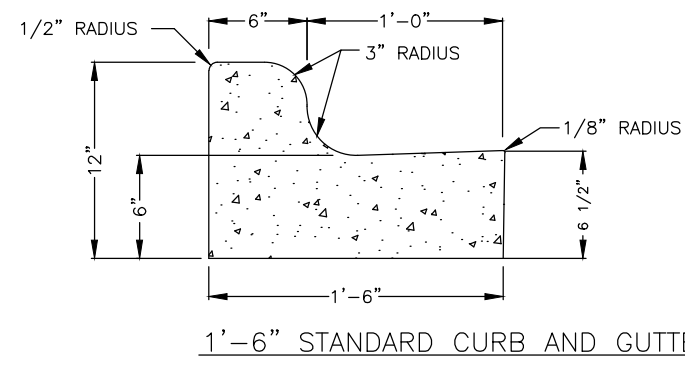
120 ACADEMY ST. STE 102-033
FORT MILL, SC 29715
PHONE: 704.360.3998
NC FIRM LICENSE NO. C-4622

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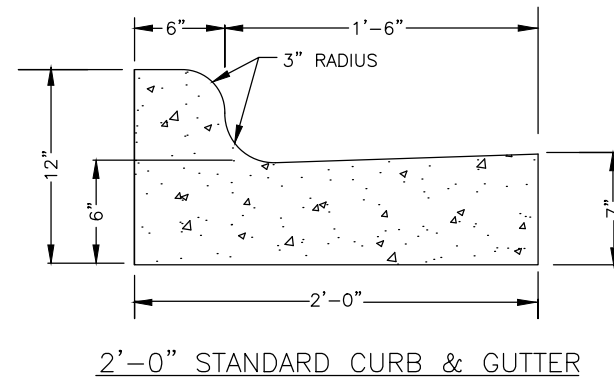




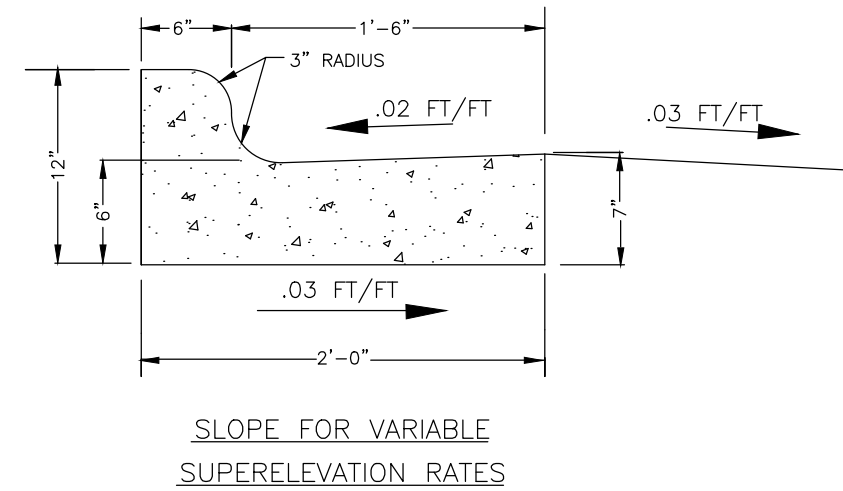
STANDARD 2'-6" CURB AND GUTTER



1'-6" STANDARD CURB AND GUTTER

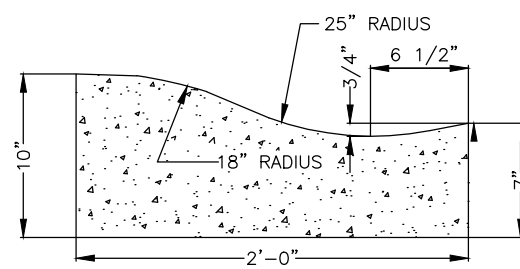


2'-0" STANDARD CURB & GUTTER

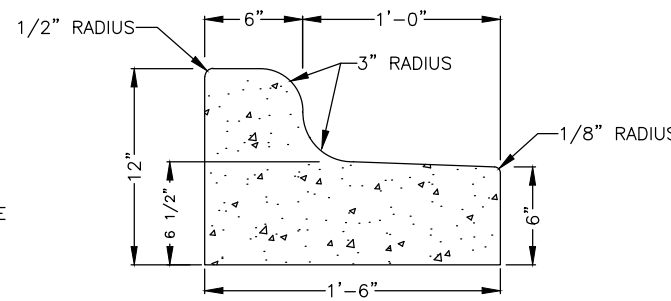
SLOPE FOR VARIABLE
SUPERELEVATION RATES

NOT TO SCALE

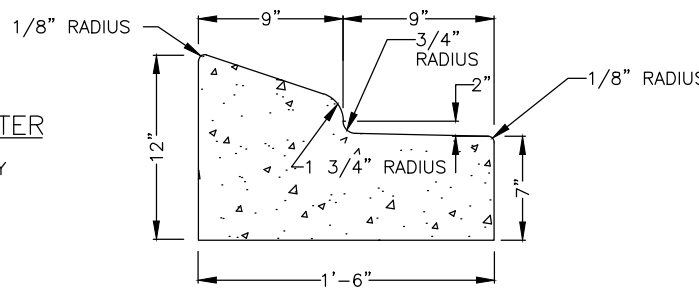
2'-0" VALLEY GUTTER



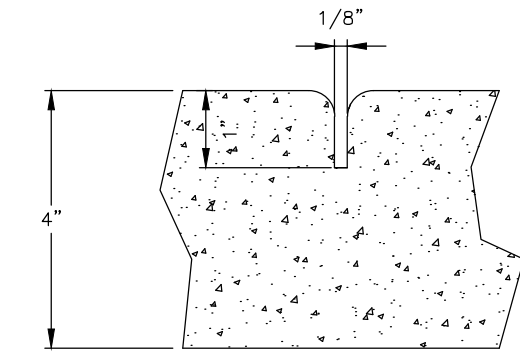
1'-6" MEDIAN CURB AND GUTTER

TO BE USED IN MEDIANS WHEN LANES ARE SLOPED
FROM ISLAND OR AS SPECIFIED BY THE APPROPRIATE
CITY ENGINEERING DEPT.

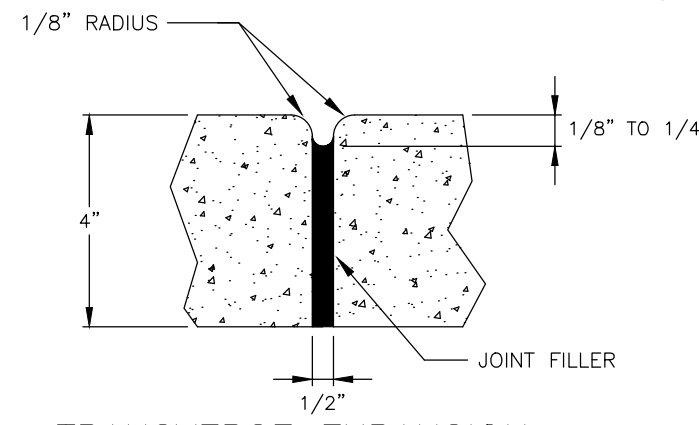
1'-6" MOUNTABLE CURB AND GUTTER

TO BE USED IN MEDIANS ONLY; WHEN SPECIFIED BY
THE APPROPRIATE CITY ENGINEERING DEPT.

NOT TO SCALE



GROOVE JOINT IN SIDEWALK

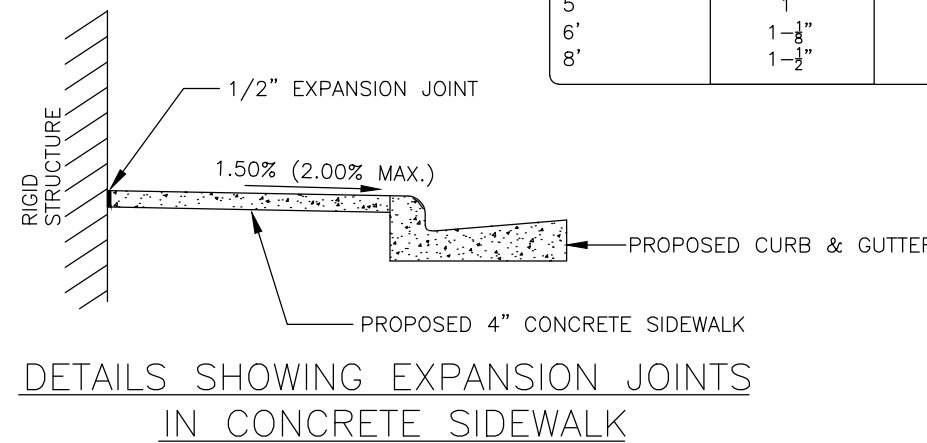
TRANSVERSE EXPANSION
JOINT IN SIDEWALK

GENERAL NOTES:

1. A GROOVE JOINT 1" DEEP WITH 1/8" RADI SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT INTERVALS OF NOT MORE THAN 45' AND MATCHING EXPANSION/CONSTRUCTION JOINT IN ADJACENT CURB; A SEALED 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
2. SIDEWALK AT DRIVEWAY ENTRANCES TO BE 6" THICK.
3. WIDTH OF SIDEWALK ON THOROUGHFARE STREETS SHALL BE A MINIMUM OF 6'. WIDTH OF SIDEWALKS IN THE CENTRAL BUSINESS DISTRICT WILL BE DETERMINED BY THE CDOT.
4. WIDTH OF SIDEWALKS ON NON-THOROUGHFARE STREETS SHALL BE BASED ON TYPICAL STREET SECTION, A MINIMUM OF 5'. SIDEWALK TO BE POURED TO END OF RADIUS AT INTERSECTING STREETS.
5. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3600 PSI. IN 28 DAYS.
6. ZONING CONDITIONS MAY REQUIRE ADDITIONAL WIDTH SIDEWALKS WHICH SHALL SUPERSEDE THESE STANDARD DIMENSIONS SHOWN.
7. LIDS FOR JUNCTION BOXES AND UTILITY VAULTS SHALL BE NON-SKID AS SPECIFIED BY ENGINEER.
8. JOINT MATERIALS SHALL LIMIT SHRINK/SWELL SO POST CONSTRUCTION INSTALLATION RESULTS IN A MAXIMUM OF 1/4" FROM FLUSH.

EXAMPLE SIDEWALK CONSTRUCTION DIMENSIONS:

WIDTH	RISE	CROSS-SLOPE
4'	1/4"	1.56%
5'	1"	1.67%
6'	1-1/4"	1.56%
8'	1-3/4"	1.56%

DETAILS SHOWING EXPANSION JOINTS
IN CONCRETE SIDEWALK

NOT TO SCALE

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

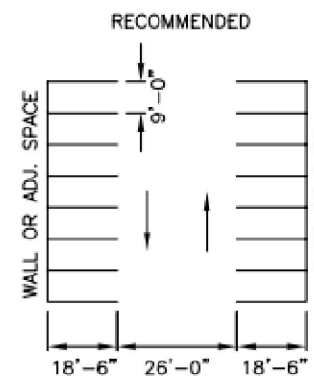
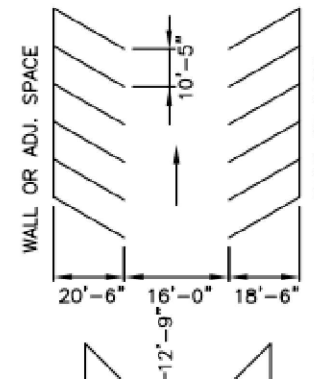
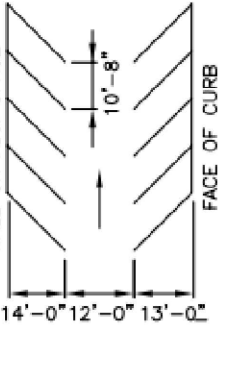
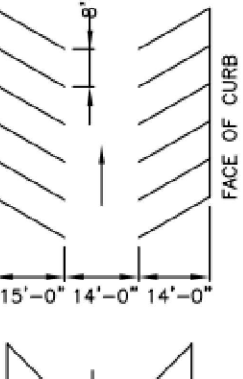
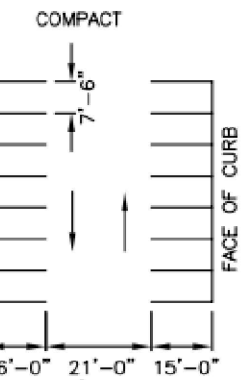
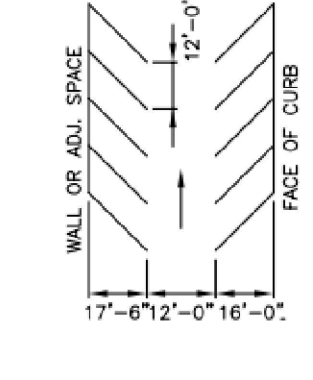
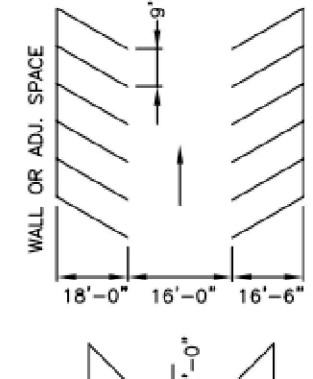
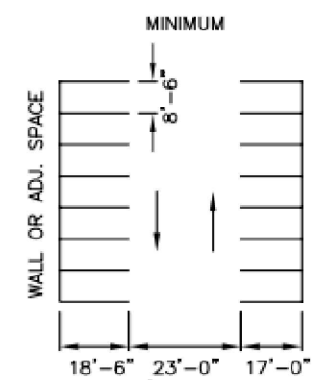
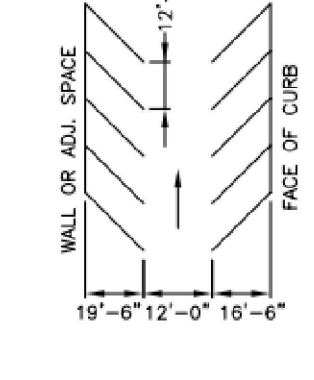
STANDARD CURB AND GUTTER

STD. NO. REV.
10.17ACITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

CURB AND GUTTER

STD. NO. REV.
10.17BCITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

CONCRETE SIDEWALKS

STD. NO. REV.
10.22 15PARKING ANGLE 90°
(TWO WAY OPERATION ONLY)PARKING ANGLE 60°
(ONE WAY OPERATION ONLY)PARKING ANGLE 45°
(ONE WAY OPERATION ONLY)

NOTES:

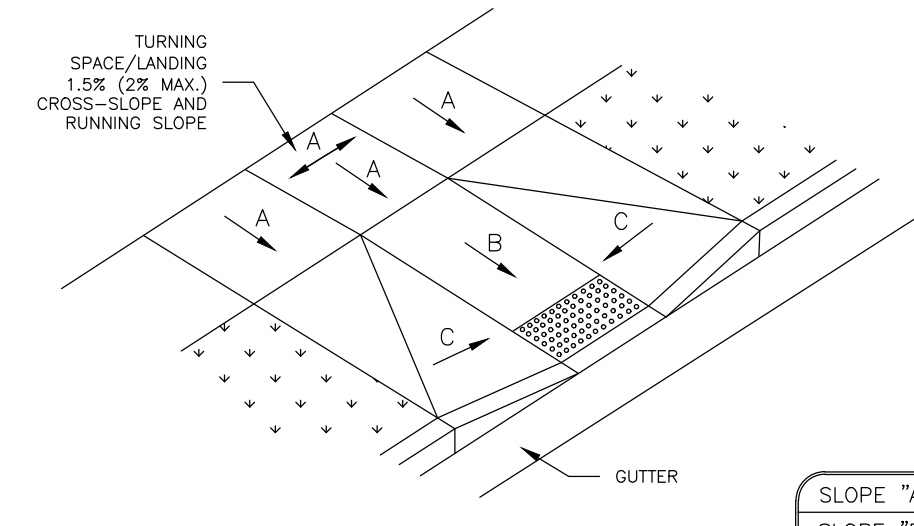
1. FOR ACCESSIBLE PARKING STANDARDS/SIGNAGE SEE STDS. 50.10A, B, AND C.
2. PAVEMENT MARKINGS SHALL BE 4" WHITE PAINT.
3. ALTERNATIVE PARKING ANGLES, AISLE WIDTHS, AND OPERATION (TWO-WAY ANGLED PARKING OR REVERSE-ANGLE PARKING) WILL BE CONSIDERED BY CDOT ON A CASE-BY-CASE BASIS.

NOT TO SCALE

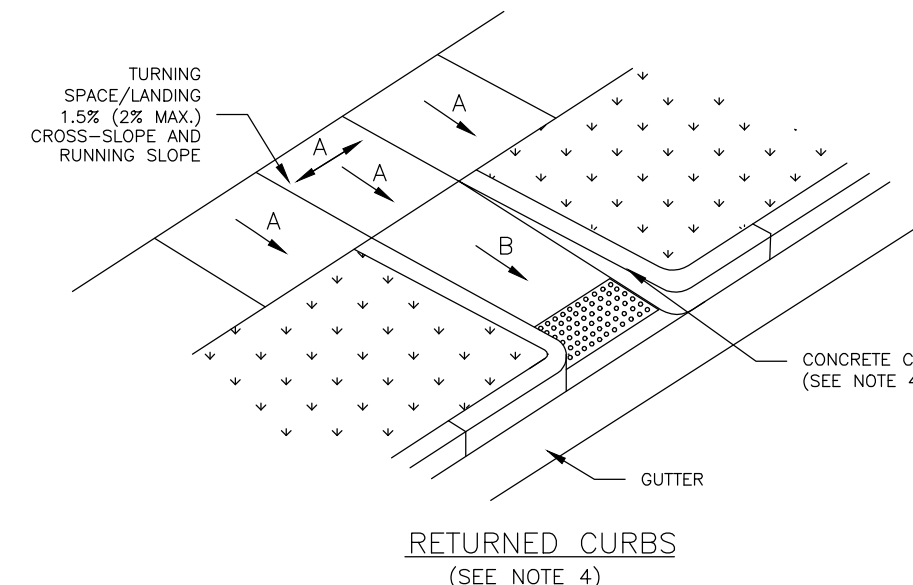
CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJPERPENDICULAR CURB RAMP WITH
2'-6" CURB AND GUTTERSTD. NO. REV.
10.31B 16CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJTYPE II-MODIFIED DRIVEWAY DETAIL WITH
WIDE PLANTING STRIP AND STANDARD CURBSTD. NO. REV.
10.25E 18

NOTES:

1. THIS DETAIL PRESENTS ALTERNATIVE TREATMENTS FOR THE SIDES OF THE RAMP - RETURNED CURBS, RECTANGULAR WINGS, AND ANGLED WINGS.
2. ENSURE FLUSH CONDITIONS AT CURB RAMP TO GUTTER TRANSITION.
3. TYPICALLY, THE SIDEWALK RUNNING SLOPE SHALL NOT EXCEED THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET.
4. CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT TYPICALLY WALK ACROSS THE RAMP. THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE, OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.



RECTANGULAR WINGS

SLOPE "A" = UP TO 1.5% (2.00% MAX)
SLOPE "B" = UP TO 7.5% (8.33% MAX)
SLOPE "C" = UP TO 10% MAXRETURNED CURBS
(SEE NOTE 4)

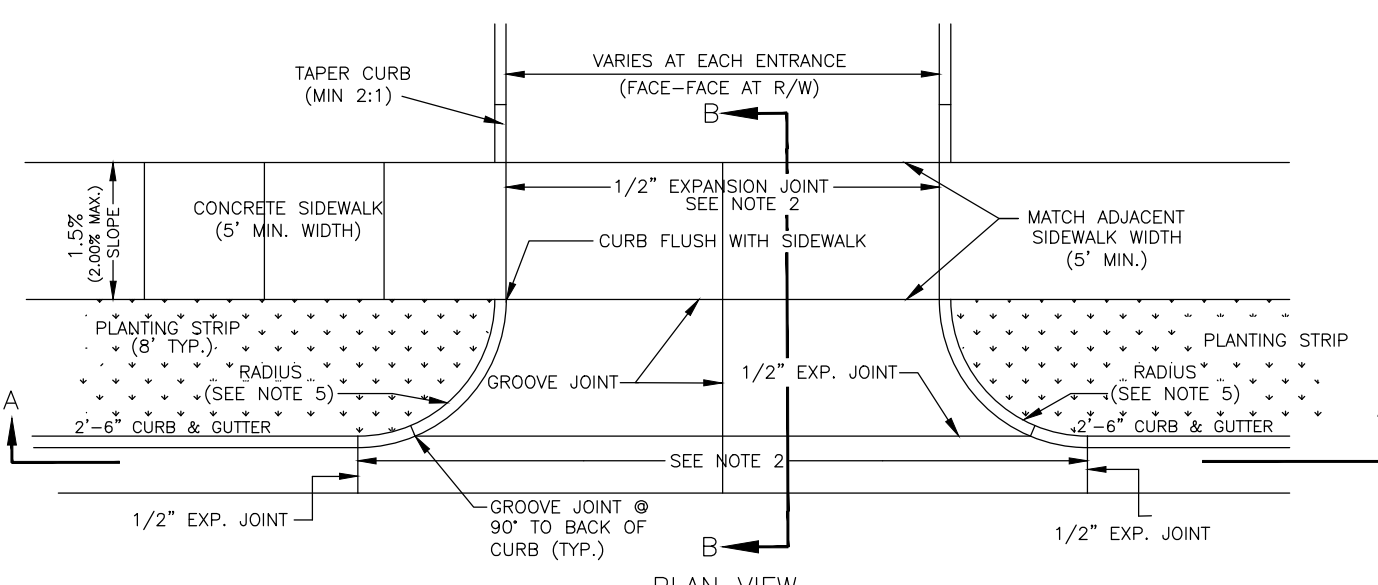
ANGLED WINGS

NOT TO SCALE

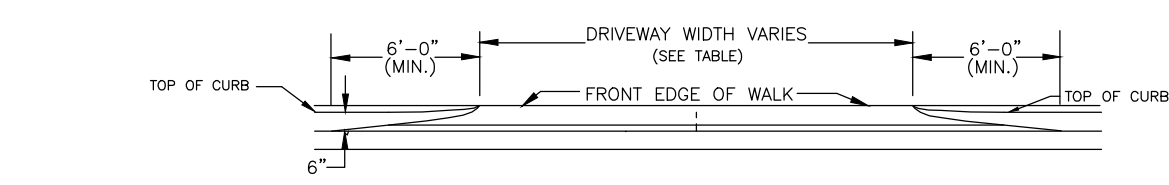
NOTES:

1. ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
2. AT ALL DRIVEWAYS, SIDEWALKS TO BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED. SAW CUT OR JOINT TO BE PERPENDICULAR TO EDGE OF EXISTING PAVEMENT. SEE STD. NO. 10.17 FOR JOINT DETAIL. PAY LIMITS FOR WORK DONE UNDER CITY OF CHARLOTTE CONTRACTS ARE FROM EXPANSION JOINT TO EXPANSION JOINT, FROM LIP OF CURB TO BACK OF SIDEWALK.
3. ALL DRIVEWAYS MUST MEET THE CURRENT CITY DRIVEWAY REGULATIONS AND NC DOT REQUIREMENTS FOR SPACING, SIGHT DISTANCE, AND OFFSETS FROM PROPERTY LINES AND INTERSECTIONS.
4. ALGEBRAIC DIFFERENCE IN GRADE ("A") BETWEEN SLOPES SHALL BE 8% OR LESS.
5. RADI MUST BE MINIMUM 8 FEET OR THE WIDTH OF THE PLANTING STRIP, WHICHEVER IS GREATER. RADI GREATER THAN THESE MINIMUMS MAY BE REQUIRED BY CDOT ON A CASE-BY-CASE BASIS. FOR RADI GREATER THAN 8 FEET, THE RADI ARE TO CONTINUE AS A BAND AT-GRADE THROUGH THE SIDEWALK.
6. PER NC IFC SECTION D103.2, FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED TO PERCENT IN GRADE.
7. PAVERS USED IN DRIVEWAY MUST HAVE A THICKNESS OF 3 INCHES.
8. JOINT MATERIAL SHOULD BE PLACED FLUSH WITH CONCRETE.
9. THE DRIVEWAY MUST RISE 6" FROM THE GUTTER LINE TO PREVENT RUNOFF FROM ENTERING DRIVEWAY.

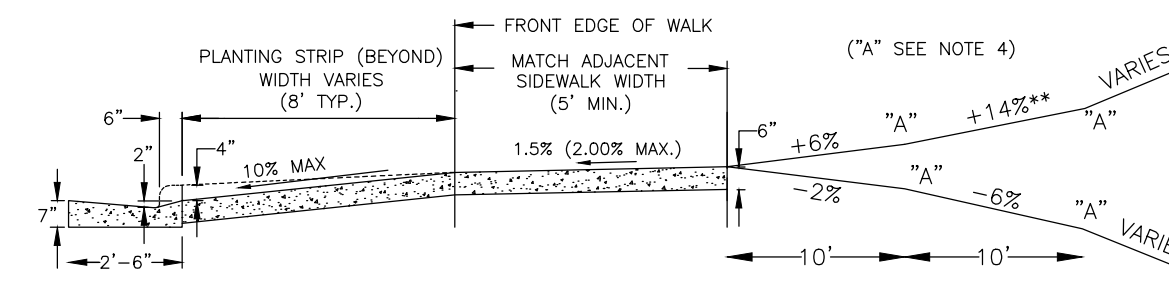
DRIVEWAY DIMENSIONS		
OPERATION/RADIUS	MINIMUM	MAXIMUM
ONE-WAY WITH 6'-12' FT. RADI	20'	30'
ONE-WAY WITH 13+ FT. RADI	15'	25'
TWO-WAY WITH 6'-12' FT. RADI	26'	50'
TWO-WAY WITH 13+ FT. RADI	22'	40'



PLAN VIEW



SECTION A-A (ALONG FLOW LINE)



SECTION B-B

NOT TO SCALE

CITY OF CHARLOTTE
LAND DEVELOPMENT STANDARDS
INCLUDES CHARLOTTE ETJ

PARKING STANDARDS

STD. NO. REV.
50.09A

1-13-23

NO.	DATE	REVISION
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-	-	-
-	-	-
-	-	-

MORRIS PARK WAREHOUSE
TOWN OF MINT HILL
MECKLENBURG COUNTY, NC

CONSTRUCTION DETAILS

SEEDWATER
ENGINEERING120 ACADEMY ST. STE 102-033
FORT MILL, SC 29715
PHONE: 704.360.3998
NC FIRM LICENSE NO. C-4622

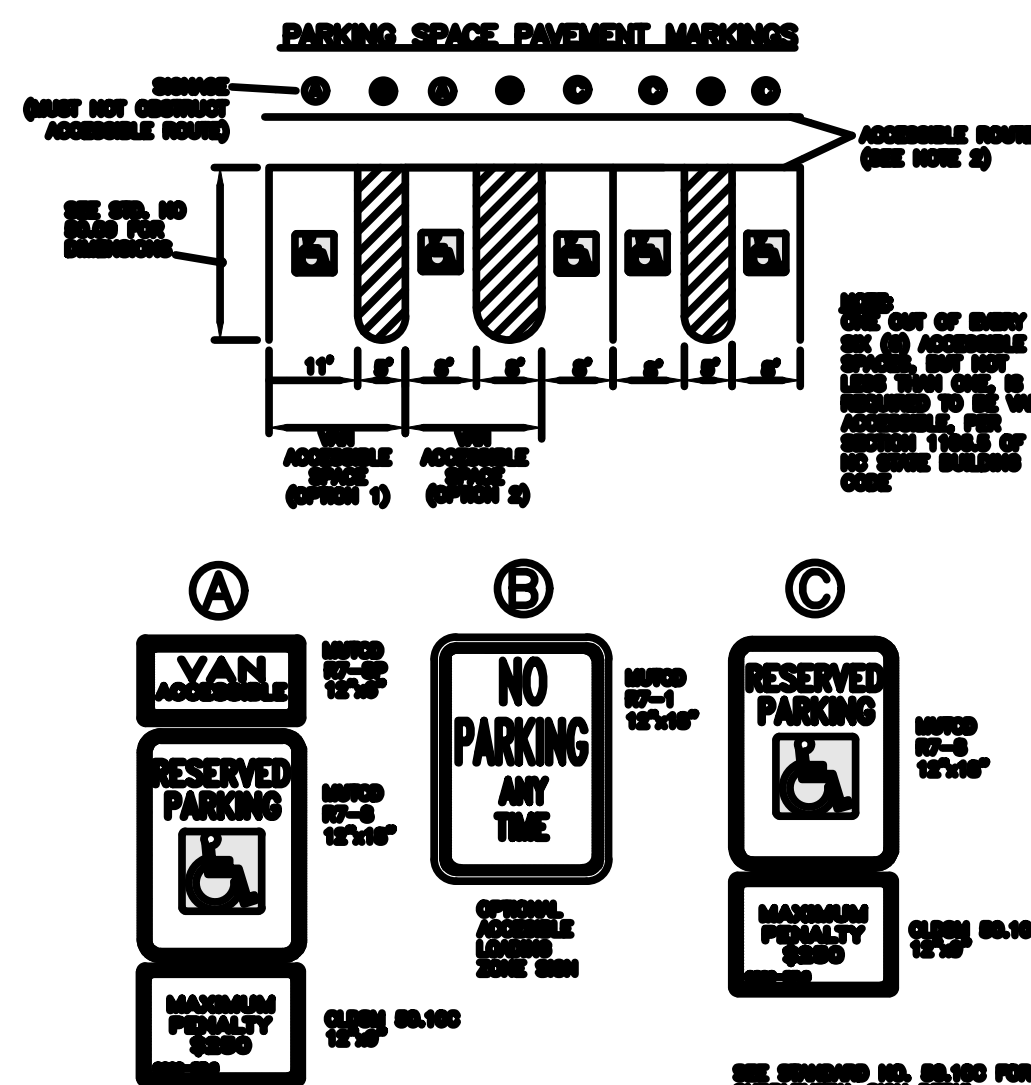
DESIGNED:	ZH	DATE	PROJECT #	SHEET
DRAWN:	IND	JANUARY 2023	22-014	C6.0
REVIEWER:	ZH			

Know what's below.
Call before you dig.

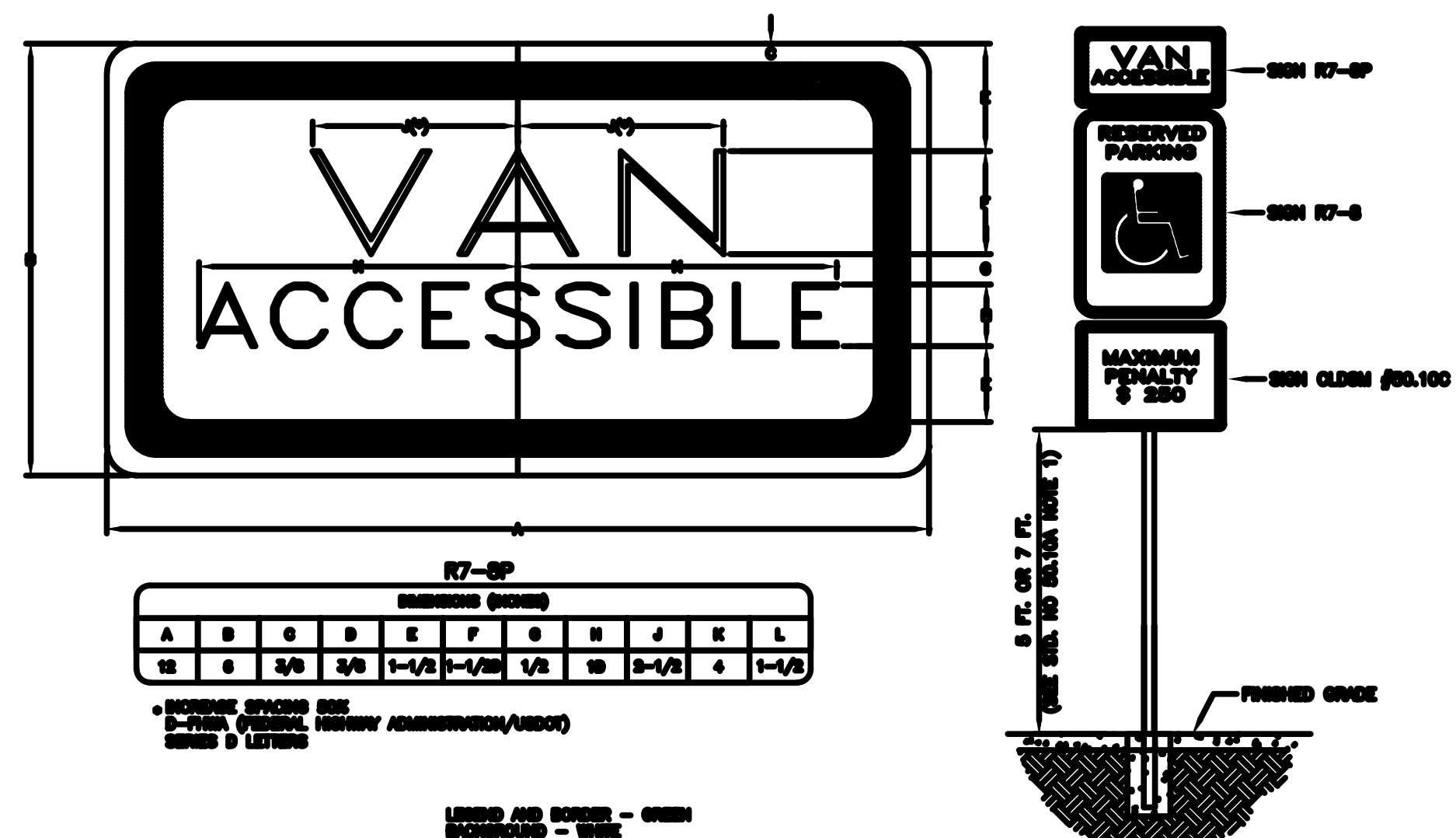
ACCESSIBLE PARKING REQUIREMENTS		
TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF SPACES REQUIRED	MINIMUM NUMBER OF SPACES REQUIRED TO BE SO AVAILABLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	6	1
151 TO 200	8	1
201 TO 250	7	2
251 TO 400	8	2
401 TO 600	9	2
601 TO 1000	5% OF TOTAL	1 IN RATIO OF ACCESSIBLE TO 5 OF TOTAL
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN RATIO OF ACCESSIBLE TO 5 OF TOTAL

REFERENCE: SECTION 1100 OF THE BUILDING CODE

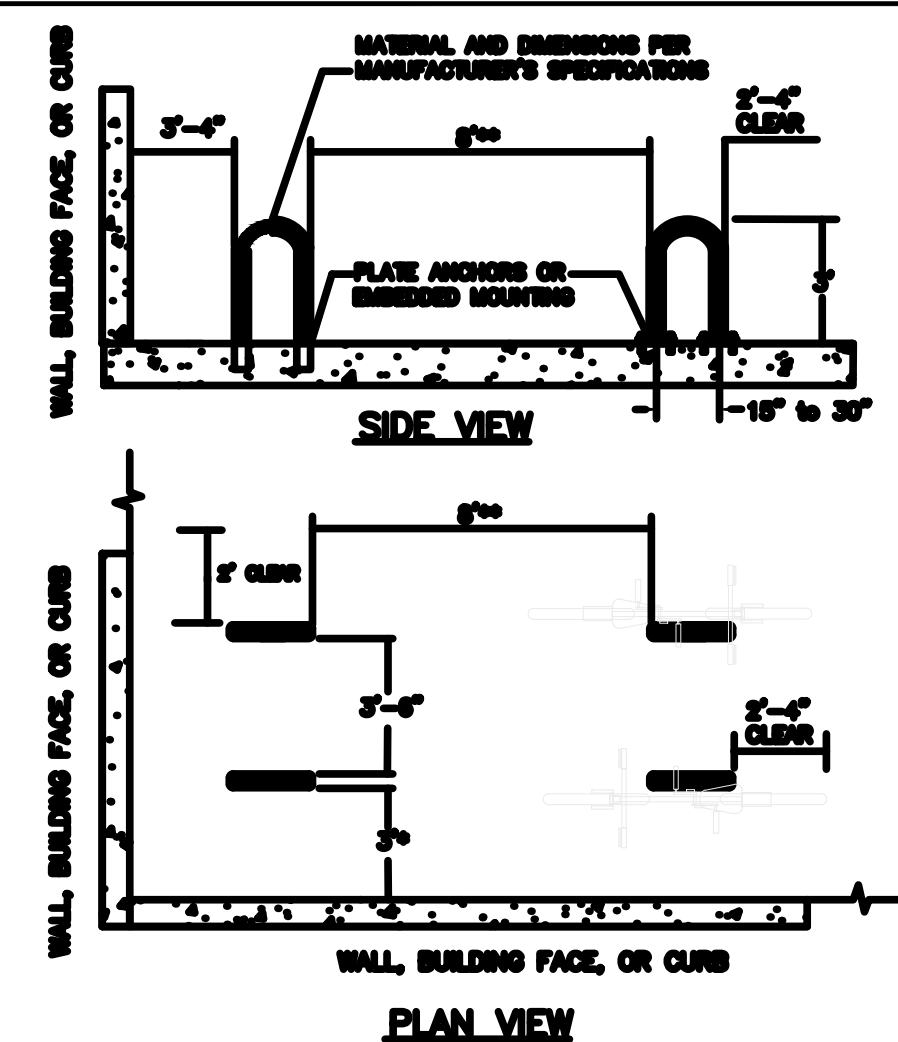
1. ALL ACCESSIBLE BIRDS (SP-0, SP-1, SP-2, SP-3, AND SP-4) SHALL BE MONITORED AT 7 FEET FROM GROUND TO BOTTOM EDGE OF THE TREE FOR AT LEAST 15 MINUTES. MONITORING SHOULD BE CONDUCTED TO A POINT IF PLACED IN AN OPEN AREA, OR OPENING AND BURNING TREE IF BURNING PREDATOR ARE NOT OBSERVED TO USE.
2. IF ACCESSIBLE BIRDS IN A SINGLE BURNING AREA, TWO POINTS ARE MONITORED AT LEAST ONE END AND MIDDLE END OF THE CORRESPONDING ROWS.
3. VISUAL CLIMBERS FOR WHO MAY BE OBSERVED 10-20 FEET.
4. THE BURN IS TO PROVIDE GENERAL GUIDANCE FOR FURNISH LOGS AND BRANCHES TO BE REMOVED FROM THE BURNING AREA. THE BURNING AREA SHALL BE MONITORED FOR BURNING AND BURNING GUIDANCE FOR REMOVAL OF BURNING SUPPLEMENT AND TO BURNING GUIDANCE FOR REMOVAL.



NOT TO SCALE



NOT TO SCALE

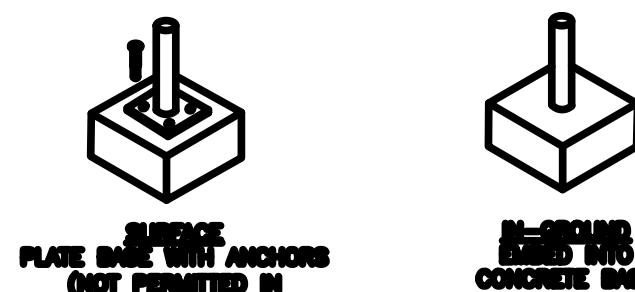


- 5' MINIMUM SEPARATION FROM CURB FACE WHEN INSTALLED ADJACENT TO A CURB WITH "HEAD-IN" AUTOMOBILE PARKING
- ** MEASURED FROM NEAREST VERTICAL COMPONENT OF NEIGHBORING BACK

NOTES:

1. **BIKE RACK GENERAL REQUIREMENTS:**
 - SHOULD SUPPORT THE BICYCLE UPRIGHT WITHOUT PUTTING STRESS ON THE WHEELS
 - SHOULD ACCOMMODATE A VARIETY OF BICYCLES AND ACCESSORIES
 - SHOULD ALLOW LOCKING OF FRAME AND AT LEAST ONE WHEEL WITH U-LOCK
 - SHOULD PROVIDE SECURITY AND LONGEVITY FEATURES APPROPRIATE FOR THE INTENDED LOCATION
 - SHOULD BE INTUITIVE
2. **BICYCLES SHOULD BE INSTALLED PER MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES.**
ALTERNATIVE BIKE RACKS OR LOCKERS MAY BE USED BUT ARE SUBJECT TO APPROVAL OF THE CHARLOTTE DEPT. OF TRANSPORTATION.
3. **ALL DIMENSIONS SHOWN ARE MINIMAL.**
4. **RACK MUST BE EASY DETECTABLE, RACK AND LOCKING SHOWN IN RED TO GUIDE THE PEDESTRIAN ACCESSIBLE ROUTE.**

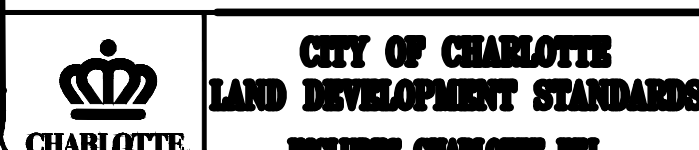
TYPICAL MOUNT OPTIONS:



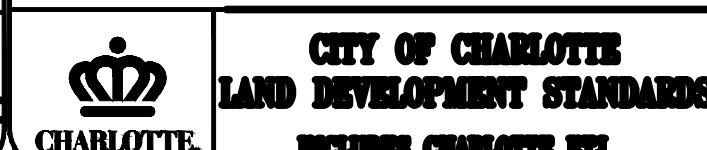
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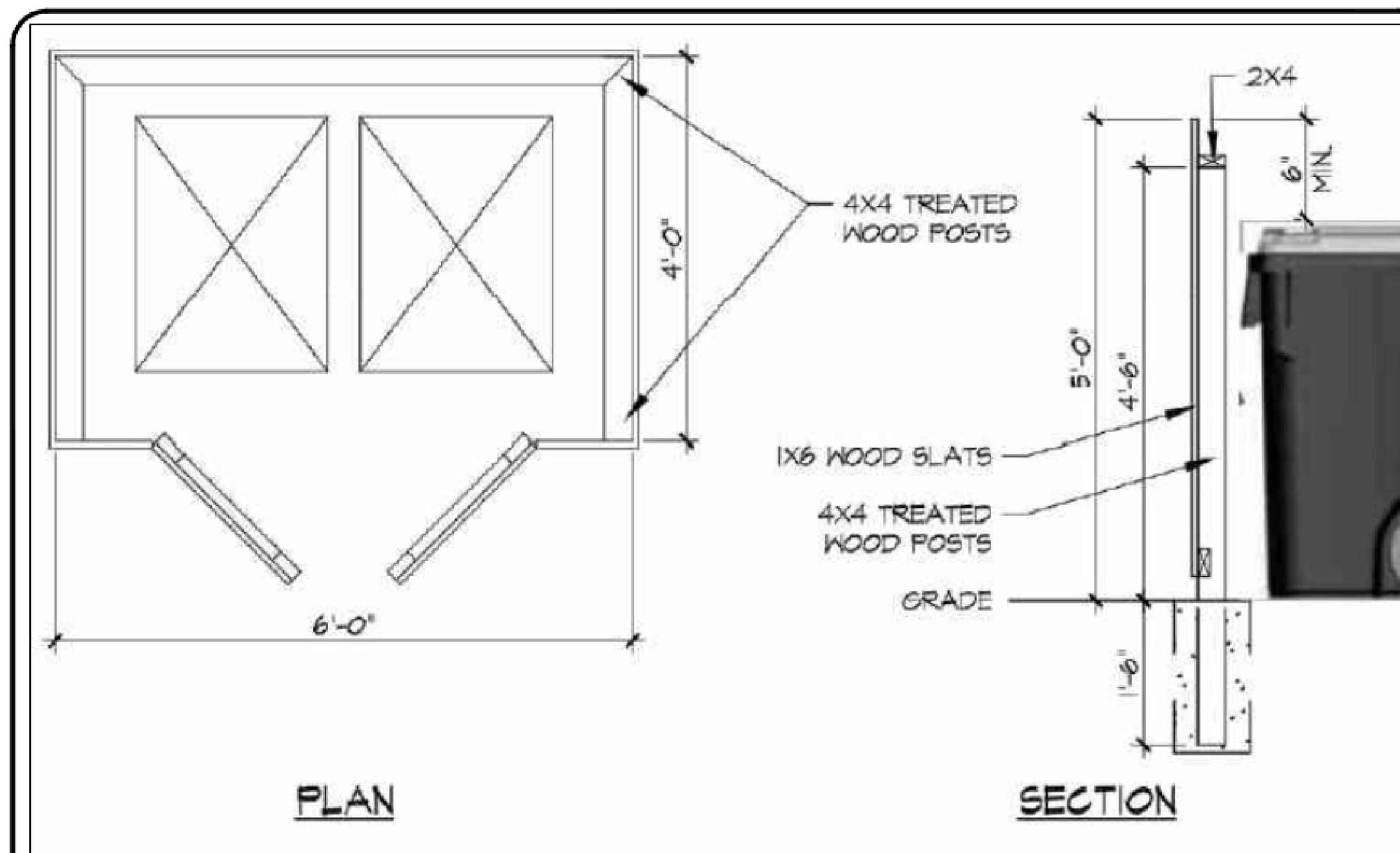
ACCESSIBLE PARKING AND SIGNAGE STANDARDS



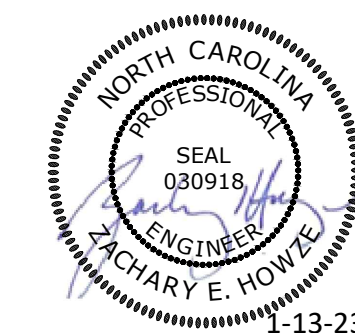
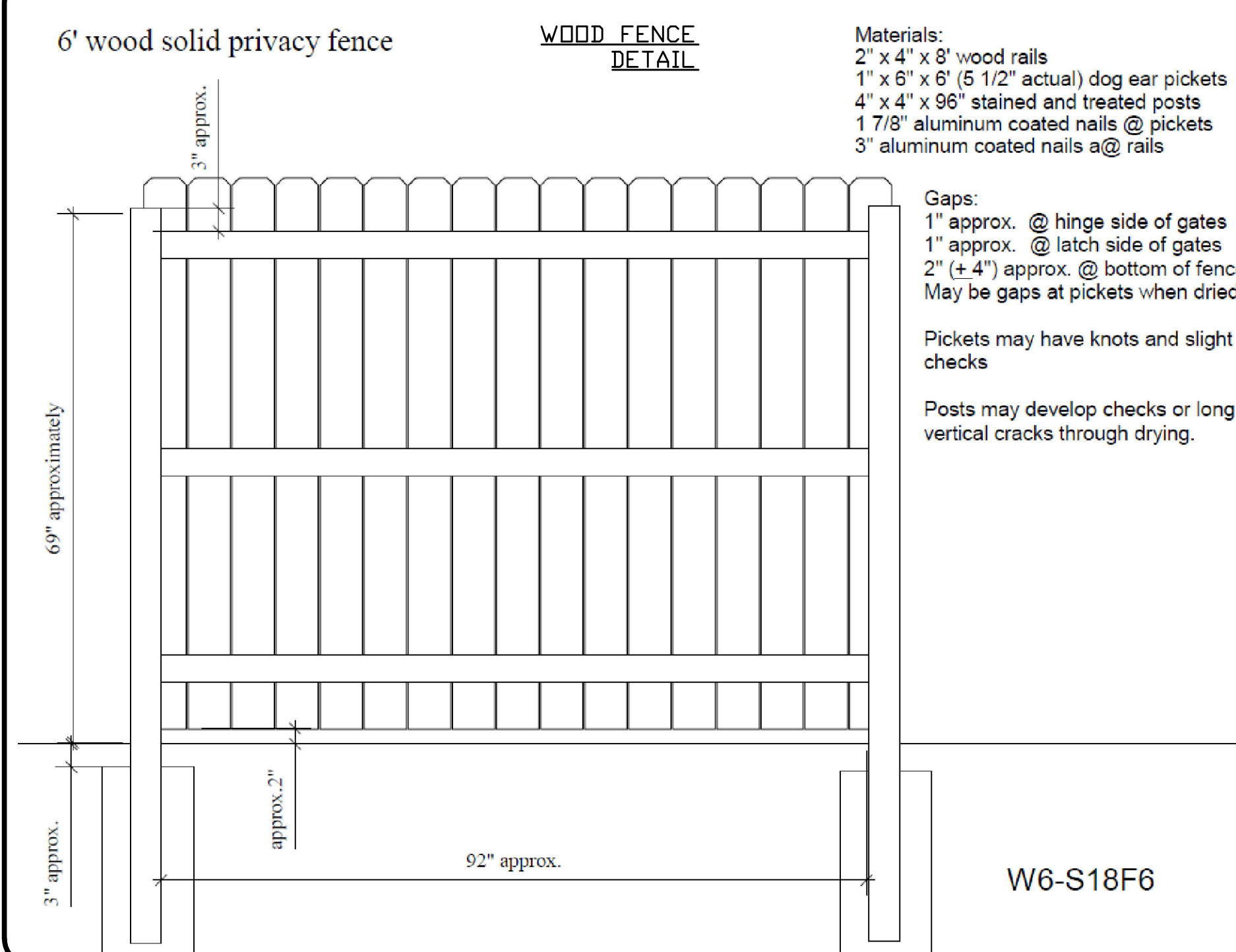
**SUPPLEMENTAL VAN ACCESSIBLE
SIGN (R7-8P)**



INVERTED "U" RACK FOR BICYCLE PARKING



ROLLOUT ENCLOSURE DETAIL



NO.	DATE	REVISION
-	-	
-	-	
-	-	

MORRIS PARK WAREHOUSE
TOWN OF MINT HILL
MECKLENBURG COUNTY, NC

CONSTRUCTION DETAILS

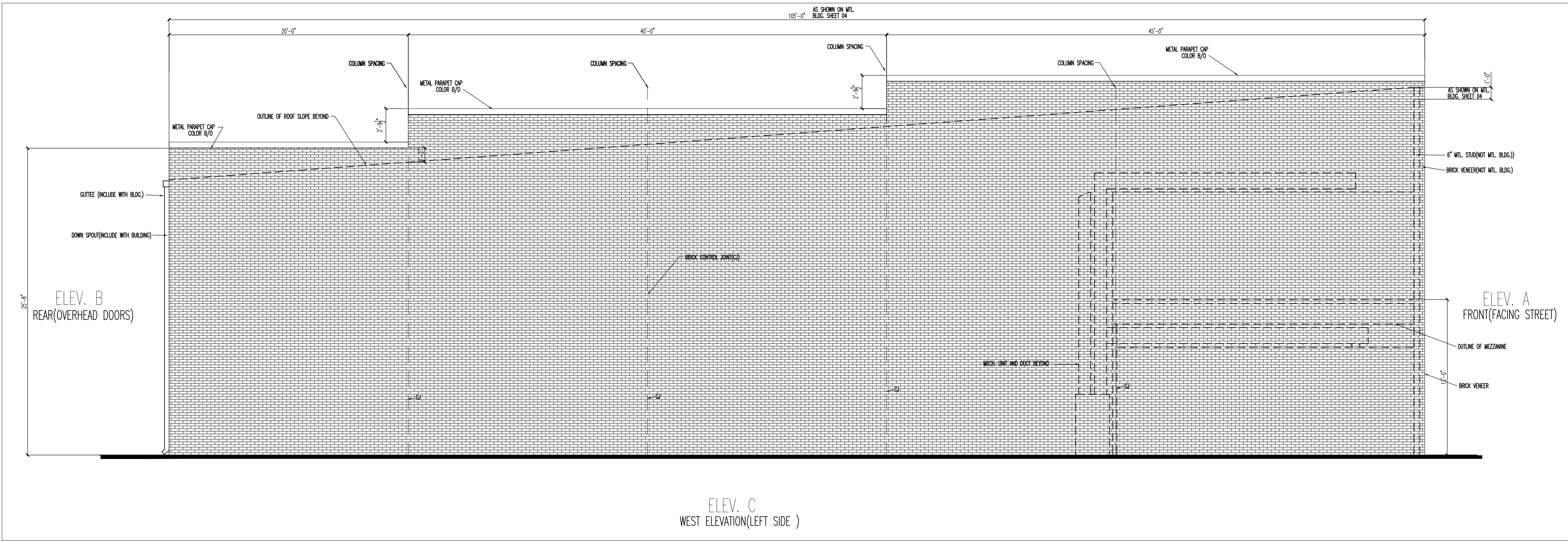


120 ACADEMY ST, STE 102-033
FORT MILL, SC 29715
PHONE: 704.360.3998
NC FIRM LICENSE NO. C-4622

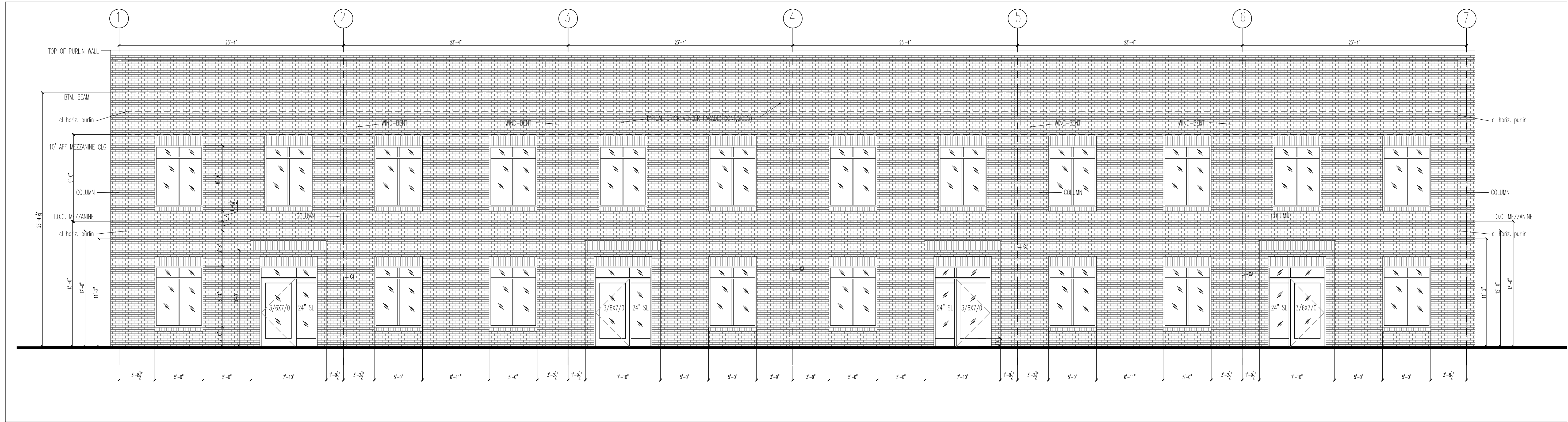
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	DRAWN: IND	JANUARY 2023	22-014	C5.1
	REVIEWER: ZH			



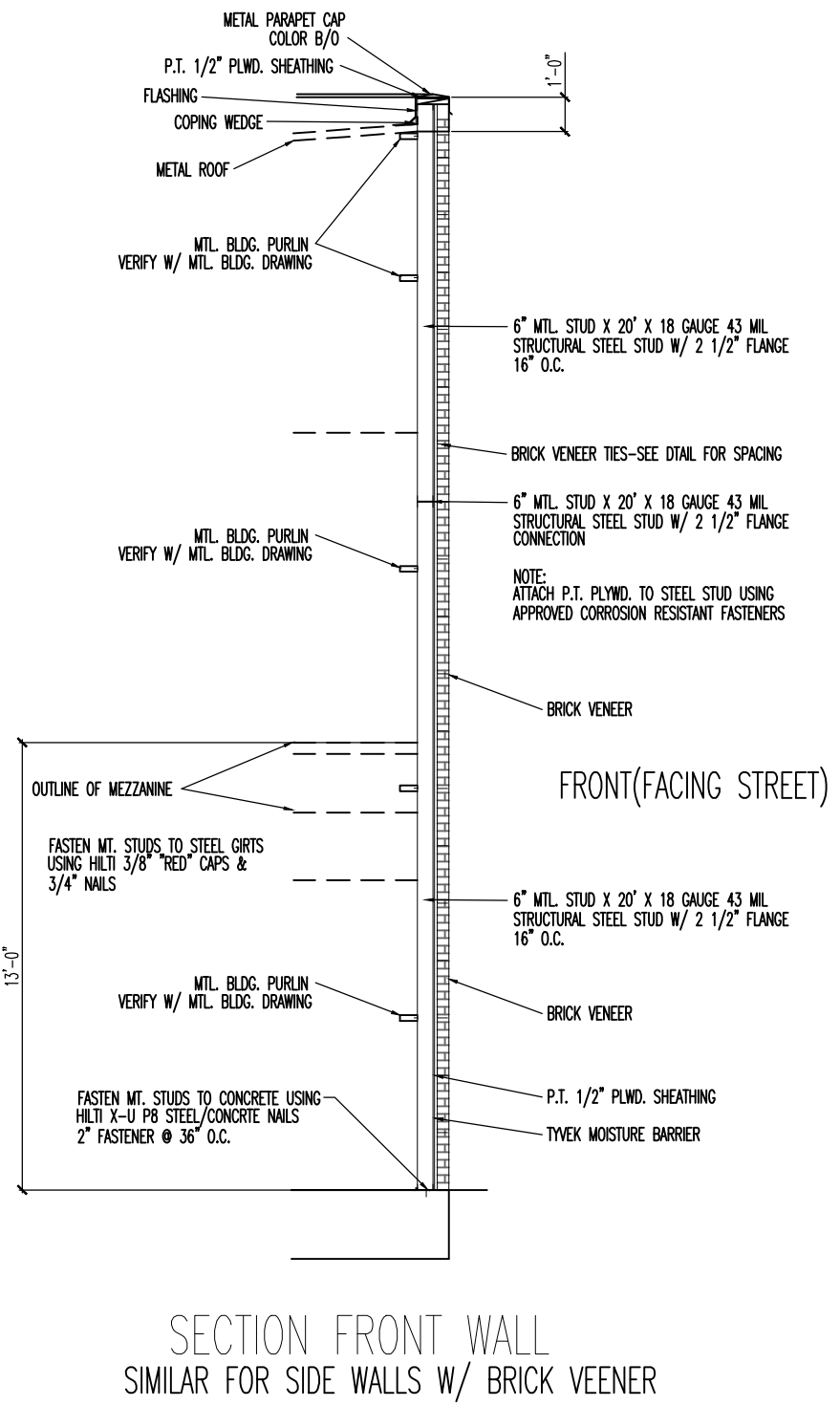
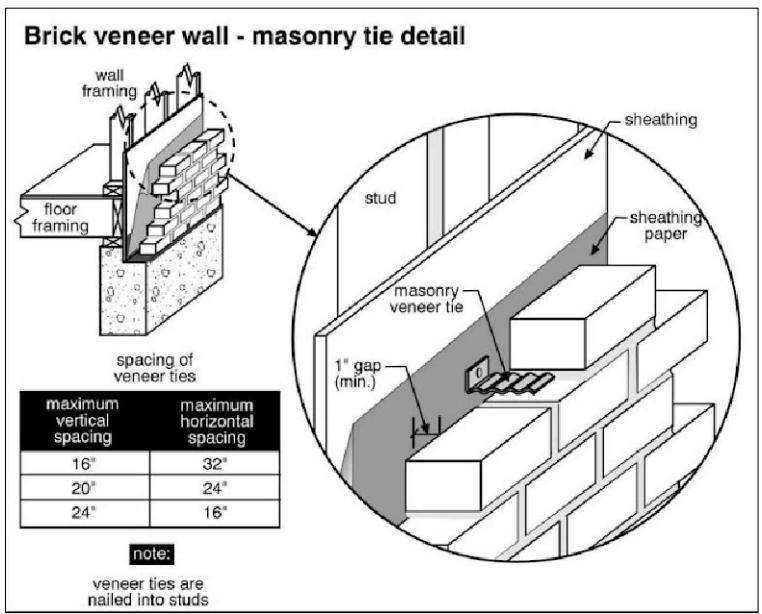
Know what's below.
Call before you dig.



2 WEST ELEVATION-ELEV. C
SCALE: 3/16"=1'-0"



1 FRONT ELEVATION-ELEV. A
SCALE: 3/16"=1'-0"



NEW BUILDING FOR
**4500 MORRIS
PARK DRIVE**

4500 MORRIS PARK DRIVE
MINT HILL, N.C. 28227

REVISIONS:		
NO.	DATE:	COMMENT

DATE: 12/9/22
SCALE: AS SHOWN
DRAWN BY: ELB
CHECKED BY: GA
JOB NO. 4500 MORRIS PARK DRIVE
CAD FILE: 4500 MORRIS PARK DRIVE

**BLDG.
ELEVATIONS**

5.0

BOWERS & ASSOCIATES

ED BOWERS
1277 CAMERON ROAD
YORK, S.C. 29745
803-322-4597

DESIGN-CODE ANALYSIS
BUILDING UPGITS

R. Gehrig Austin Jr. P.E.

135 MICAH LANE
IRON STATION, N.C. 28080
803-322-4597
N.C. SEAL 33233



Town of
MINT HILL
== *North Carolina* ==

S23-6

Chasewood

Scan QR Code with your Smartphone Camera for Meeting Agenda Packets





APPLICATION

CASE:	S23-6
EXISTING ZONING:	R
ACREAGE	91.163
NUMBER OF LOTS	61
PROPERTY OWNER:	Pinnacle Homes USA LLC
APPLICANT:	Tom Platt, PE, American Engineering
LOCATION:	11000 Coble Road
TAX PARCEL NUMBER(S):	139-131-02
REQUEST:	Major Subdivision Approval (61 Lots)





STAFF REPORT

Staff Analysis

TOTAL SITE AREA: _____ 91.16 AC
TOTAL AREA WITHIN NCDOT MAINTENANCE R/W: _____ 0.29 AC
TOTAL SITE AREA LESS NCDOT R/W: _____ 90.87 AC
PROPOSED DENSITY: _____ 0.67 DUA
PROPOSED LOTS: _____ 61 LOTS
PROPOSED TOTAL AREA IN LOTS: _____ 62.21 AC

SETBACKS:

MIN FRONT YARD: _____ 60 FT
MIN SIDE YARD (INTERIOR): _____ 20 FT
MIN SIDE YARD (STREET SIDE YARD): _____ 40 FT
MIN REAR YARD: _____ 50 FT

LOTS:

MIN LOT WIDTH: _____ 140 FT
MIN LOT AREA : _____ 40,000 SF

Planning Board Review and Decision (Mandatory). The Planning Board shall hold a hearing to review the Site Plan (Preliminary Plat) and determine whether the Site Plan (Preliminary Plat) complies with the requirements of this Ordinance, specifically including without limitation all substantive requirements and conditions set forth in [Article 7](#), Section 7.3 (Conditions for Subdivisions). This hearing shall be held in an administrative proceeding and may be conducted in accordance with rules of procedure adopted by the Planning Board as the same may be changed from time to time.

The Planning Board action may be approval (if the Site Plan (Preliminary Plat) complies with all Ordinance requirements), tentative approval with conditions (if the Ordinance requires such), or denial of the Site Plan (Preliminary Plat) (if the Site Plan (Preliminary Plat) does not comply with all Ordinance requirements).

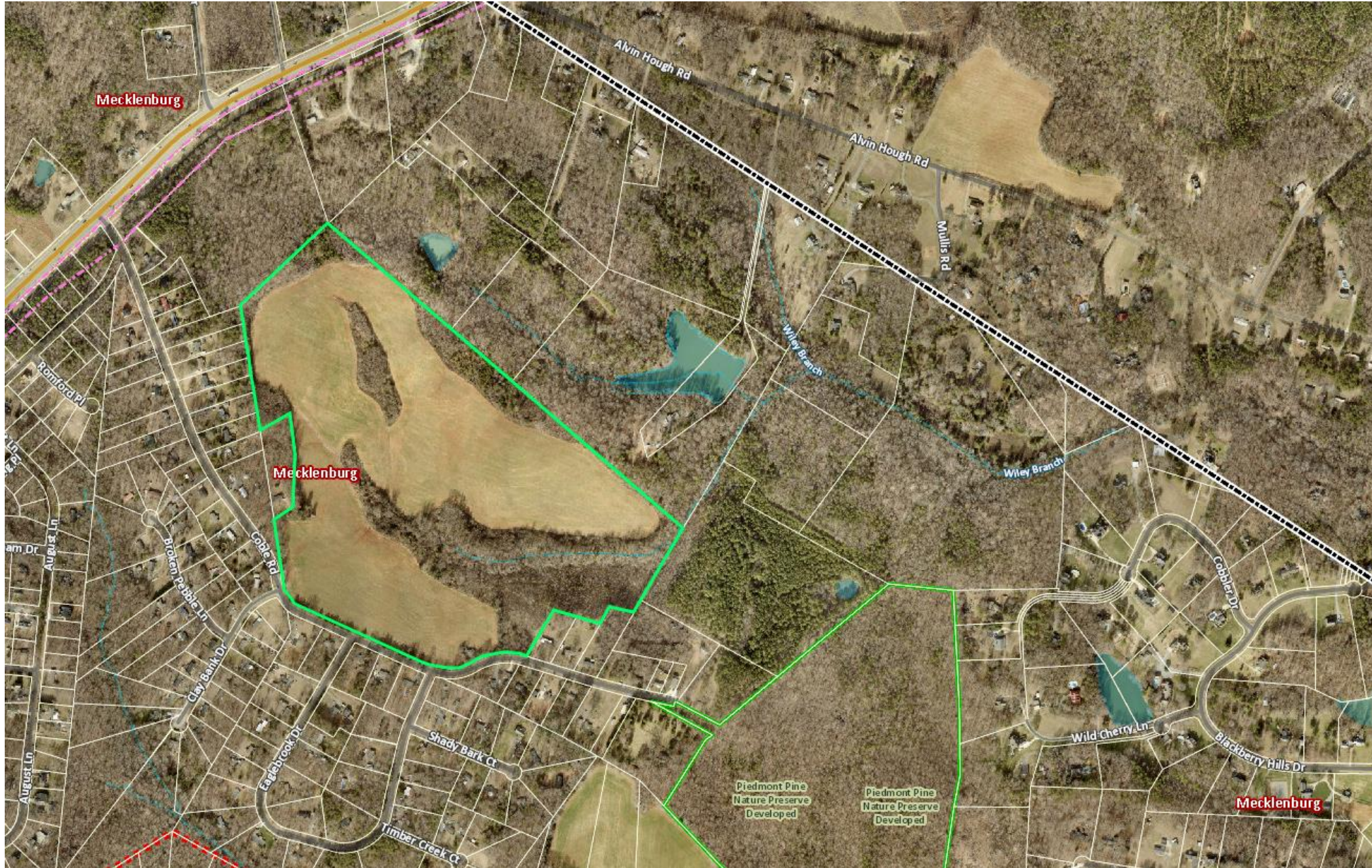
Upon approval of the Site Plan (Preliminary Plat) by the Planning Board, the Applicant may proceed to comply with the other requirements of this Ordinance and the preparation of the subdivision Final Plat for final approval by the Administrator.

STAFF RECOMMENDATION

Staff recommends approval



LOCATION MAP



W:\2020\200066 - Coulston - Mint Hill - Coble Rd\CD\Site Sheets\C3.0 Site Plan.dwg



FIRE MARSHAL NOTES

- ROAD WIDTH - MINIMUM 20 FEET OR PER NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT).
- FIRE APPARATUS TURNING RADIUS - 30 FEET INNER, 42 FEET OUTER.
 - TEMPLATES SB-30 (ENGINES) AND B-40 (LADDER TRUCKS) ARE USED AND ALL DRAWINGS SHALL BE SCALED NO SMALLER THAN 1/60.
- WATER UTILITIES - WATER LINES AND/OR FIRE HYDRANT LOCATIONS.
 - NO MORE THAN 400 FEET FROM ANY STRUCTURES REMOTE POINT.
- DEAD-END ROADS - MAXIMUM LENGTH OF ANY DEAD-END ROAD SHALL BE 150 FEET WITHOUT AN APPROVED FIRE APPARATUS TURN AROUND.
- ROAD SURFACES - ALL ROADS/COMMERCIAL DRIVEWAYS FOR FIRE APPARATUS ACCESS SHALL BE CAPABLE TO SUPPORT THE IMPOSED LOAD OF AN 80,000-lbs.
- SECONDARY ACCESS - DEVELOPMENT OF ONE OR TWO- FAMILY DWELLINGS WHERE THE NUMBER OF DWELLING UNITS EXCEED 100 AND COMMERCIAL STRUCTURES 62,000SQFT (NO SPRINKLERS) AND 124,000 SF (WITH SPRINKLERS) SHALL BE PROVIDED WITH SEPARATE AND APPROVED FIRE APPARATUS ACCESS ROAD.

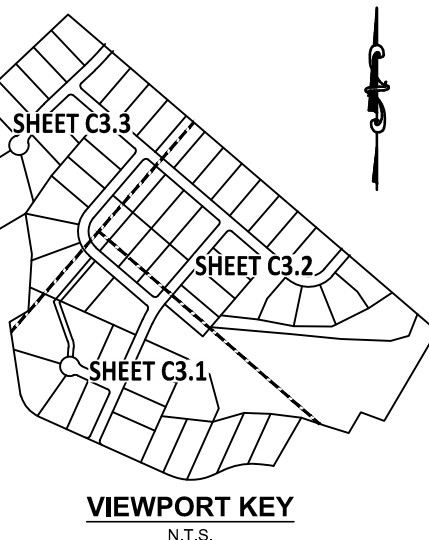
GENERAL SITE NOTES

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SUCH THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY, AND ADDING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONSTRUCTION DUE TO CONSTRUCTION OPERATIONS.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES AND REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONE WEEK DURING CONSTRUCTION.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- ALL WORK IN RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS."

- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING ALL PERIODS OF CONSTRUCTION OF THE PROJECT, INCLUDING SCHEDULING OF THE COURSE AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY NFP F.I.R.M. MAP NUMBER 371055240K, EFFECTIVE DATE: 11/16/2018.
- OPEN SPACE AND COMMUNITY GATHERING AREAS WILL BE OWNED AND MAINTAINED BY FUTURE HOME OWNERS ASSOCIATION.
- ALL ROAD IMPROVEMENTS AT COBLE ROAD ARE TO BE COORDINATED WITH THE TOWN, NCDOT AND/OR COUNTY LUESA PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET NAME SIGNS PER MCLOS #50.05 (9" SIGNS ONLY).
- SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- OWNER SHALL NOTIFY THE TOWN OF MINT HILL LANDSCAPE MANAGER AND ENGINEER 48HRS PRIOR TO START OF ANY LAND DISTURBING ACTIVITY.

DEVELOPMENT DATA

PROPERTY OWNER:	PINNACLE HOMES USA LLC
ZONING:	R (TOWN OF MINT HILL)
ADDRESS:	11020 COBLE ROAD MINT HILL, NC 28227
PARCEL ID #:	139-13-102
DEED BOOK / PAGE:	30513 / 667
WATERSHED:	CLEAR CREEK
TOTAL SITE AREA:	91.16 AC
TOTAL AREA WITHIN NCDOT MAINTENANCE R/W:	0.29 AC
TOTAL SITE AREA LESS NCDOT R/W:	90.87 AC
PROPOSED DENSITY:	0.67 DUA
PROPOSED LOTS:	61 LOTS
PROPOSED TOTAL AREA IN LOTS:	62.21 AC
PROPOSED AREA IN R/W:	
CHASEWOOD PLACE DR	1.99 AC
SETTLERS PLACE RD	2.81 AC
BRANDON PLACE CT	1.59 AC
BECCA NIXON DRIVE	1.23 AC
JAMES QUERY ROAD	0.52 AC
OPEN SPACE:	
UNDISTURBED OPEN SPACE REQUIRED (15%):	13.63 AC
UNDISTURBED OPEN SPACE PROVIDED (16%):	14.12 AC
LINEAR FEET OF STREET:	
CHASEWOOD PLACE DR	1489 LF
SETTLERS PLACE RD	2065 LF
BRANDON PLACE CT	1204 LF
BECCA NIXON DRIVE	770 LF
JAMES QUERY ROAD	300 LF
SETBACKS:	
MIN FRONT YARD:	60 FT
MIN SIDE YARD (INTERIOR):	20 FT
MIN SIDE YARD (STREET SIDE YARD):	40 FT
MIN REAR YARD:	50 FT
LOTS:	
MIN LOT WIDTH:	140 FT
MIN LOT AREA:	40,000 SF



CHASEWOOD SUBDIVISION

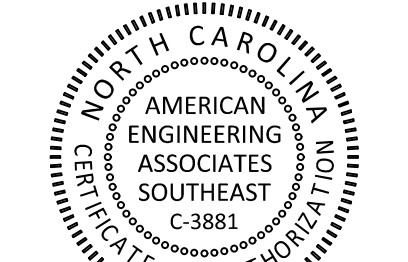
Coble Road, Town of Mint Hill
Mecklenburg County,
North Carolina 28227

JOB NUMBER: C200066
CHECKED BY: TAP
DRAWN BY: BAF
DATE: 09-15-2022
SHEET TITLE:

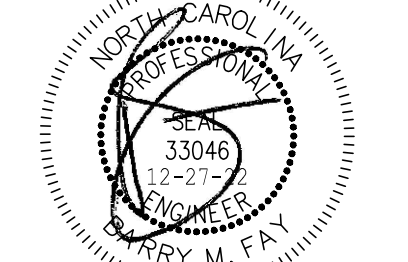
OVERALL SITE PLAN

SHEET NO.: **C3.0**

AMERICAN
Engineering
American Engineering Associates - Southeast, P.A.
8008 Corporate Center Drive, Suite 110
Charlotte, NC 28226
704-375-2438



NOT FOR CONSTRUCTION



NO. DATE REVISION:

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE ON THE SPECIFIC SITE, NAMED HEREON, CONTEMPORANEOUSLY WITH ITS ISSUE DATE AS LISTED, HEREON, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.