



**NOTICE OF RESCHEDULED MEETING
TOWN OF MINT HILL
PLANNING BOARD**

THE REGULAR MEETING OF THE MINT HILL PLANNING BOARD TO BE HELD ON MONDAY, JANUARY 16, 2023 AT 6:30 P.M. HAS BEEN CANCELLED IN OBSERVANCE OF MARTIN LUTHER KING, JR. DAY. THE MEETING HAS BEEN RESCHEDULED TO JANUARY 23, 2023 AT 6:30 P.M. IN THE JOHN M. MCEWEN ASSEMBLY ROOM, MINT HILL TOWN HALL, 4430 MINT HILL VILLAGE LANE.

Savanna Ocasio
Program Support Assistant

1. CALL TO ORDER
2. ROLL CALL AND INVOCATION
3. APPROVE MINUTES OF THE NOVEMBER 21, 2022 REGULAR MEETING
4. ADDITIONS OR DELETIONS OF AGENDA ITEMS
5. REPORTS OF COMMITTEES, MEMBERS, AND STAFF
6. OLD BUSINESS
7. NEW BUSINESS
 - A. DISCUSSION AND RECOMMENDATION ON [#ZC22-6](#), FILED BY EPCON COMMUNITIES, TO REQUEST A REZONING FROM R TO R (CZD) AND B-G TO ALLOW A SINGLE-FAMILY SUBDIVISION, FOR PROPERTY LOCATED AT 8612 FAIRVIEW ROAD, TAX PARCEL NUMBER 197-201-14
 - B. DISCUSSION AND RECOMMENDATION ON [#ZC22-7](#), FILED BY LISCHERONG ENTERPRISES AND HOLDINGS, TO REQUEST A REZONING FROM R (CZD) TO O-A (CZD) TO ALLOW CONSTRUCTION OF TWO COMMERCIAL/OFFICE BUILDINGS, PROPERTY LOCATED AT 7135 LEBANON ROAD, TAX PARCEL NUMBER 135-417-47
8. OTHER BUSINESS
9. ADJOURNMENT

VIEWING A PUBLIC MEETING ONLINE

The Town of Mint Hill live-streams the regularly scheduled meetings of the Board of Commissioners, Planning Board and Board of Adjustment. Anyone can view the live meetings or watch at a later time on the Town's YouTube Channel. To watch a meeting, hover a smartphone camera app over the QR Code to the right or navigate any web browser to <https://bit.ly/2YBIORz>.



LIVE STREAM

AGENDAS & MINUTES

Current and past Agendas and Minutes for the Board of Commissioners, Planning Board and Board of Adjustment can be found at <https://bit.ly/3gulVL4> or hover a smartphone camera app over the QR Code to the right.



**AGENDA &
MINUTES**

**MINUTES OF THE MINT HILL PLANNING BOARD MEETING
NOVEMBER 21, 2022**

The Mint Hill Planning Board met in a called session on Monday, November 21, 2022, at 6:30 p.m. in the John M. McEwen Assembly Room, Mint Hill Town Hall.

ATTENDANCE

Chairman: Tom Gatz

Members: Kenny Draffen, Scott Fandel, Roger Hendrix, Jennifer Manchester, and Chip Todd

Permit Technician: Nicki Johnson

Commissioner: Patrick Holton

Clerk to the Board: Savanna Ocasio

Absent: Planning Director Hoard and Eric Tyson

CALL TO ORDER AND INVOCATION

Chairman Gatz called the meeting to order at 6:30 p.m., declared a quorum present and the meeting duly constituted to carry on business. Mr. Hendrix gave the invocation.

ORDER OF BUSINESS

Approval of Minutes for the September 19, 2022 Regular Meeting: Upon the motion of Mr. Todd, seconded by Mr. Hendrix, the Board unanimously approved the minutes of the September 19, 2022 Planning Board meeting.

Additions or Deletions of Agenda Items: None.

Reports of Committees, Members and Staff: None.

Old Business: None.

New Business:

A. Discussion and Decision on #S22-14, Dan Hood Subdivision, Filed by Kinger Development and Investments, LLC, to Subdivide property located at 3351 Dan Hood Road, Tax Parcel Number: 135-341-55: Planning Director Hoard submitted the following memo to the Board.

Planning Board Review and Decision (Mandatory). The Planning Board shall hold a hearing to review the Site Plan (Preliminary Plat) and determine whether the Site Plan (Preliminary Plat) complies with the requirements of this Ordinance, specifically including without limitation all substantive requirements and conditions set forth in Article 7, Section 7.3 (Conditions for Subdivisions). This hearing shall be held in an administrative proceeding and may be conducted in accordance with rules of procedure adopted by the Planning Board as the same may be changed from time to time. The Planning Board action may be approval (if the Site Plan (Preliminary Plat) complies with all Ordinance requirements), tentative approval with conditions (if the Ordinance requires such), or denial of the Site Plan (Preliminary Plat) (if the Site Plan (Preliminary Plat) does

not comply with all Ordinance requirements). Upon approval of the Site Plan (Preliminary Plat) by the Planning Board, the Applicant may proceed to comply with the other requirements of this Ordinance and the preparation of the subdivision Final Plat for final approval by the Administrator.

Staff recommends approval.

Mr. Paul Sagadin, Managing Partner, introduced himself and began his presentation. Mr. Sagadin stated he was before the Board to propose a by-right development, Dan Hood Subdivision, consisting of 39 single-family homes on roughly 26.5 acres. He stated the lots were 20,000 (+) sq ft; approximately ½ an acre. Mr. Sagadin presented the site plan to the Board, pointing out the BMP toward the Northern end, a cul-de-sac, and tree save areas throughout the development. Their open space consisted of approximately 5 acres of tree save, replant, and natural areas. Mr. Sagadin provided a further breakdown of the proposed site:

- Development: Proposing a total 39 units of various sizes and designs, preserving and replanting trees throughout the site, and targeting 15% of the site to be natural area.
- Project Density: A by-right 25.56 acres in the R zoning district allowed approximately 57 single family units, the development proposes 39 single family units (1.47 UPA), and the school impact would be approximately 22 students.
- Transportation Improvements: Widen Dan Hood Road from property to Idlewild intersection, add curb and gutter to Dan Hood Road, and re-surface Dan Hood Road with new asphalt.
- Design and Buffers: Variety of square footages, pricing, and designs, cementitious siding, a focus on pitched roofs, usable porches, and stoops.

Mr. Sagadin stated the price point of the proposed subdivision was high 500's- mid 700's. He presented a sale comparison slide to the Board which showed local upcoming neighborhood values emphasizing the Dan Hood Subdivision was within range of Mint Hill price points. Mr. Sagadin further discussed the project highlights which included:

- Diverse products offering ranch homes, rear load front porch design, classic single-family plans consisting of 4-5 bedrooms, 3.5-4.5 baths, and 2 car garages and driveways.
- Square footage ranging from approximately 2800-4200 sq ft.
- Total of 156 parking spots (2 car garage, 2 + car driveway)
- Projected construction period was approximately 24-30 months
- Homes would be individually metered, receiving service from Union Power, Charlotte Water, and Piedmont Natural Gas

Mr. Sagadin provided the Board with the following project status and timeline:

- March 2023: Plan Review Complete
- April 2023-2024: Site Development
- October 2024: First Unit Delivered
- April 2024: Construction Complete
- June 2025: Close Out

Mr. Hendrix asked Mr. Sagadin if he anticipated full build out and sold by Fall of 2025. Mr. Sagadin said yes, that was their goal.

Mr. Hendrix asked if the roads met Town of Mint Hill street standards. Travis Gingras, PE, Latitude 35 Design Group, stated the streets were going to be designed and built to Town standards; including Dan Hood Road which was currently not built to Town standard. He mentioned the homes would sit 50 feet off the road to allow substantial driveways; width being approximately 18-20 feet. Mr. Gingras stated they anticipated 4-6 car parking which included garage and driveway parking. Mr. Hendrix asked if they expected on street parking. Mr. Gingras said no. He added the two stub outs shown on the site plan were for future connectivity.

Mr. Hendrix asked if the building material requirements met the Town of Mint Hill's standards. Permit Technician Johnson stated they had to follow the Ordinance as written. Mr. Gingras agreed with Permit Technician Johnson and added their building elevations would be submitted for Staff to review.

Mr. Todd asked if this subdivision would have a Homeowners Association (HOA). Mr. Sagadin said yes. Mr. Todd asked if the HOA was going to be made mandatory or voluntary. Mr. Sagadin said mandatory. Mr. Todd asked at what point of occupancy would the developer turn the HOA over to its residents. Mr. Sagadin stated the HOA would be turned over to its residents once the subdivision reached 70% occupancy. Mr. Todd asked what the HOA would be responsible for, e.g., decorative lighting. Mr. Sagadin stated the HOA would be responsible for streetlights, common ground, and BMP.

Chairman Gatz commended the applicant on their presentation as most of the Boards questions were answered throughout. He asked if trees would be preserved as Dan Hood was a nice, wooded area. Mr. Sagadin stated it cost the developer money to tear down trees so trees that could be saved, would be saved; granted they must develop. He explained if they cut into those woods and realized half the trees were diseased or dead, they would do their best to replant and keep as much natural tree as possible for privacy purposes. Chairman Gatz stated with the Town not having a tree Ordinance, it was left to the developer, so the Board hoped the developer respected retaining trees. Mr. Sagadin stated clear cutting affected home values and sales; open fields were not what people in Mint Hill were seeking. Chairman Gatz asked how the student to home ratio was created (22 students to 39 units). Mr. Sagadin stated the ratio was approximately 0.553 per home. Chairman Gatz asked if they anticipated Dan Hood Subdivision to be an adult community; he was curious as he thought it did not seem like a lot of children for that many homes. Mr. Sagadin stated no, that was just the equation they used. Chairman Gatz asked if they had intentions on paving all of Dan Hood Road. Mr. Sagadin stated not all of it, just from the Dan Hood Subdivision entry point back towards Idlewild Road.

Mr. Draffen asked Mr. Gingras to further explain their emergency use access points. Mr. Gingras explained fire code changes were made, taking effect in 2023. Generally, if there were more than 30 homes in a subdivision, two emergency access points were requested; this would be changed to 100 homes in 2023 by State Legislation. Originally, they were getting access from CMS but there had been a delay, so they planned to submit for review by Mecklenburg County in 2023 once the new Legislation was in effect, so the secondary emergency use access point was no longer required. They intended on using that area as a tree save area instead. Mr. Sagadin added they would continue to discuss the secondary emergency use access point with CMS, but it was not need based. He stated if granted, there would be a gate and Knox box strictly meant for CMS emergency services only. Mr. Sagadin stated if that could be negotiated, they

were happy to add the secondary emergency use access point to the final site plan, but they did not fall under the required category. Chairman Gatz asked if this Law had already been approved and was waiting to get on the books. Mr. Sagadin said yes. Mr. Hendrix confirmed the secondary use access point was negotiable. Mr. Sagadin stated yes, it was up to CMS. If CMS decided to grant the easement, they would happily have it. If not, they had no privy to take that land.

Upon the motion of Mr. Hendrix, seconded by Mr. Todd, the Board unanimously approved #S22-14, Dan Hood Subdivision, Filed by Kinger Development and Investments, LLC, to subdivide property located at 3351 Dan Hood Road, Tax Parcel Number: 135-341-55.

Other Business: None.

Adjournment: Upon the motion of Mr. Hendrix, seconded by Mr. Todd, and unanimously agreed upon, Chairman Gatz adjourned the meeting at 6:49 p.m.

Savanna Ocasio
Program Support Assistant



STAFF REPORT

CASE# ZC22-6

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Town of
MINT HILL
North Carolina

APPLICATION

CASE:	ZC22-6
EXISTING ZONING:	R
PROPOSED ZONING:	R (CZD) & B-G
PROPERTY OWNER:	James H. Black, Jr. and Nancy Black Norelli
APPLICANT:	EPCON Communities
LOCATION:	8612 Fairview Road
PROPERTY ACREAGE	32.84 acres
TAX PARCEL NUMBER(S):	197-201-14
REQUEST:	Conditional Zoning approval for 66 single-family residential lots. The application includes dedicating 2.78 acres (the portion proposed for B-G zoning) to the Town.

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Town of
MINT HILL
North Carolina

STAFF REPORT

APPLICATION SUMMARY

EPCON Communities is proposing a single-family residential subdivision containing sixty-six lots. The application includes rezoning 2.78 acres (the portion fronting Fairview Road) to B-G. The applicant is offering to dedicate the 2.78 acres to the Town..

Conditional District decisions shall be made in consideration of identified relevant adopted land use plan. Conditional District rezoning is a legislative procedure under which the Board of Commissioners has the authority to increase, tighten, add, vary, modify, or waive specific conditions or standards. In approving a petition for the rezoning of property to a Conditional District the Board of Commissioners may request reasonable and appropriate conditions

PLAN CONSISTENCY

Land Use Plan
• Hwy 218 Subarea Plan

YES

Downtown Masterplan

N/A

Pedestrian Plan

Yes

Comprehensive Transportation Plan

N/A

STAFF RECOMMENDATION

Favorable Recommendation

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LOCATION MAP



PCO CONCEPT PLANS FOR COURTYARDS AT QUAIL PARK

TOWN OF MINT HILL

MECKLENBURG COUNTY, NORTH CAROLINA

OWNER:
CLINTON MONTGOMERY BLACK JR. ESTATE
D.B. 1472 PAGE: 231

DEVELOPER:
EPCON COMMUNITIES
11020 DAVID TAYLOR DRIVE, SUITE 105
CHARLOTTE, NC 28262
704-607-0152

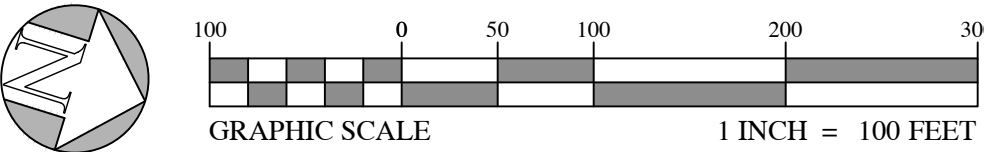
EPM #: XXXXXXXXXX

DEVELOPMENT DATA
EXISTING ZONING: R (RESIDENTIAL DISTRICT)
PROPOSED ZONING: R-CD (RESIDENTIAL - CONDITIONAL DISTRICT) & B-G (BUSINESS - GENERAL -DEDICATED)
USE: AGE RESTRICTED DETACHED HOUSING
SITE AREA: 32.84 ACRES

MECKLENBURG COUNTY GIS PROPERTY
PIN # 19720114
PROPERTY ADDRESS
8612 FAIRVIEW RD
CHARLOTTE, NC 28227
DEVELOPER CONTACT:
ANDY GIBBON
EPCON COMMUNITIES
AGIBBON@EPCONCOMMUNITIES.COM
704-607-0152
ENGINEER CONTACT
PETE DICKERSON
ODOM ENGINEERING
PETE@ODOMENGINEERING.COM
828-247-4495 EXT. 11

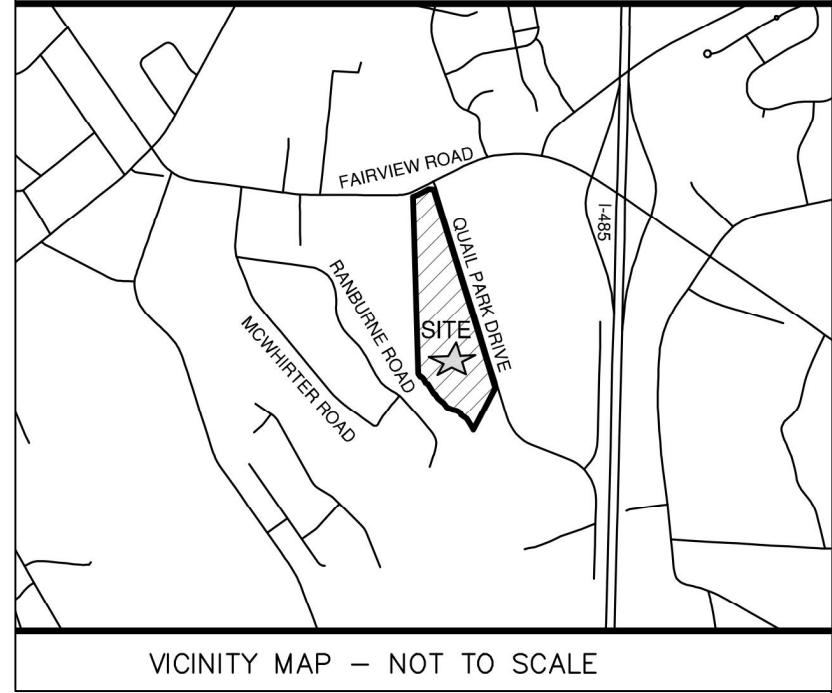
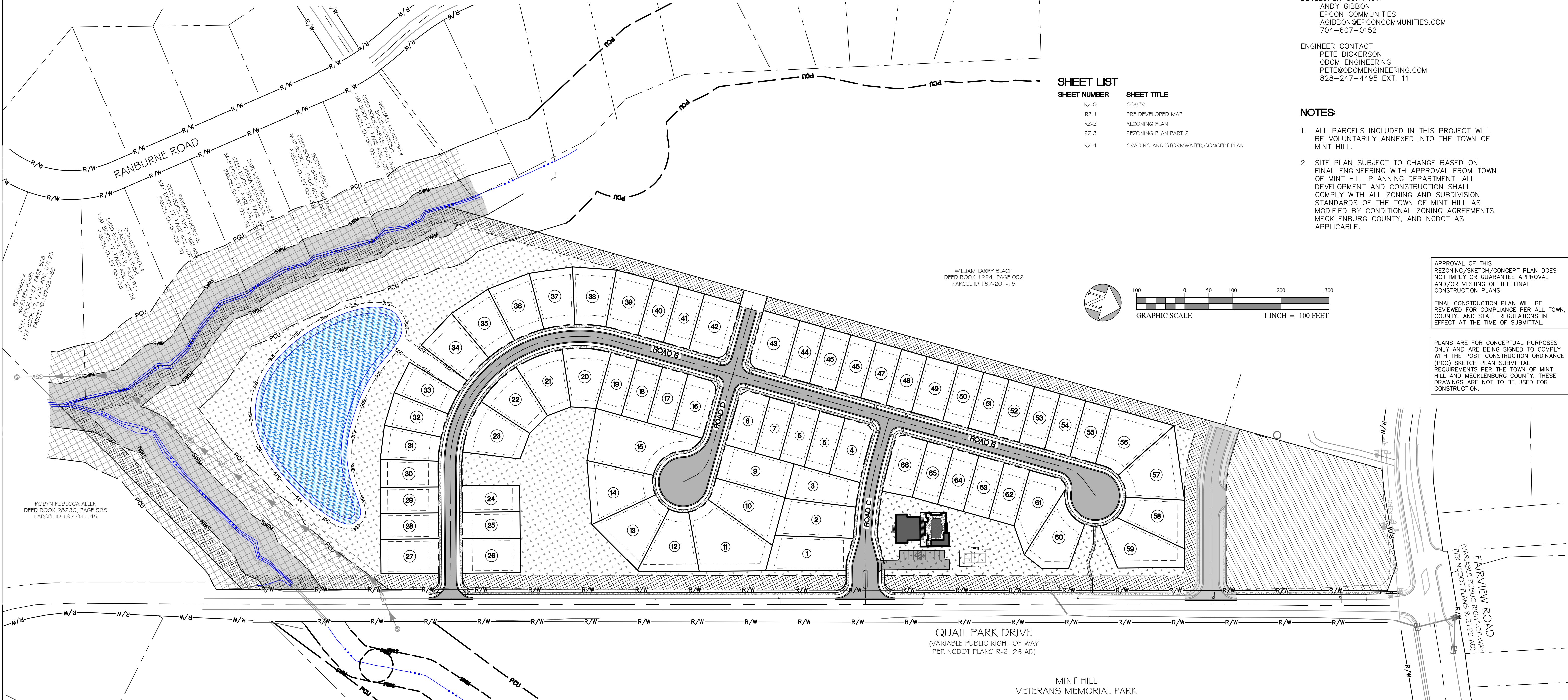
NOTES:
1. ALL PARCELS INCLUDED IN THIS PROJECT WILL BE VOLUNTARILY ANNEXED INTO THE TOWN OF MINT HILL.
2. SITE PLAN SUBJECT TO CHANGE BASED ON FINAL ENGINEERING WITH APPROVAL FROM TOWN OF MINT HILL PLANNING DEPARTMENT. ALL DEVELOPMENT AND CONSTRUCTION SHALL COMPLY WITH ALL ZONING AND SUBDIVISION STANDARDS OF THE TOWN OF MINT HILL AS MODIFIED BY CONDITIONAL ZONING AGREEMENTS, MECKLENBURG COUNTY, AND NCDOT AS APPLICABLE.

SHEET NUMBER	SHEET TITLE
RZ-0	COVER
RZ-1	PRE DEVELOPED MAP
RZ-2	REZONING PLAN
RZ-3	REZONING PLAN PART 2
RZ-4	GRADING AND STORMWATER CONCEPT PLAN



APPROVAL OF THIS REZONING/SKETCH/CONCEPT PLAN DOES NOT IMPLY OR GUARANTEE APPROVAL AND/OR VESTING OF THE FINAL CONSTRUCTION PLANS.
FINAL CONSTRUCTION PLAN WILL BE REVIEWED FOR COMPLIANCE PER ALL TOWN, COUNTY, AND STATE REGULATIONS IN EFFECT AT THE TIME OF SUBMITTAL.

PLANS ARE FOR CONCEPTUAL PURPOSES ONLY AND ARE BEING SIGNED TO COMPLY WITH THE POST-CONSTRUCTION ORDINANCE (PCO) SKETCH PLAN SUBMITTAL REQUIREMENTS PER THE TOWN OF MINT HILL AND MECKLENBURG COUNTY. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.



JOB NUMBER:
22250

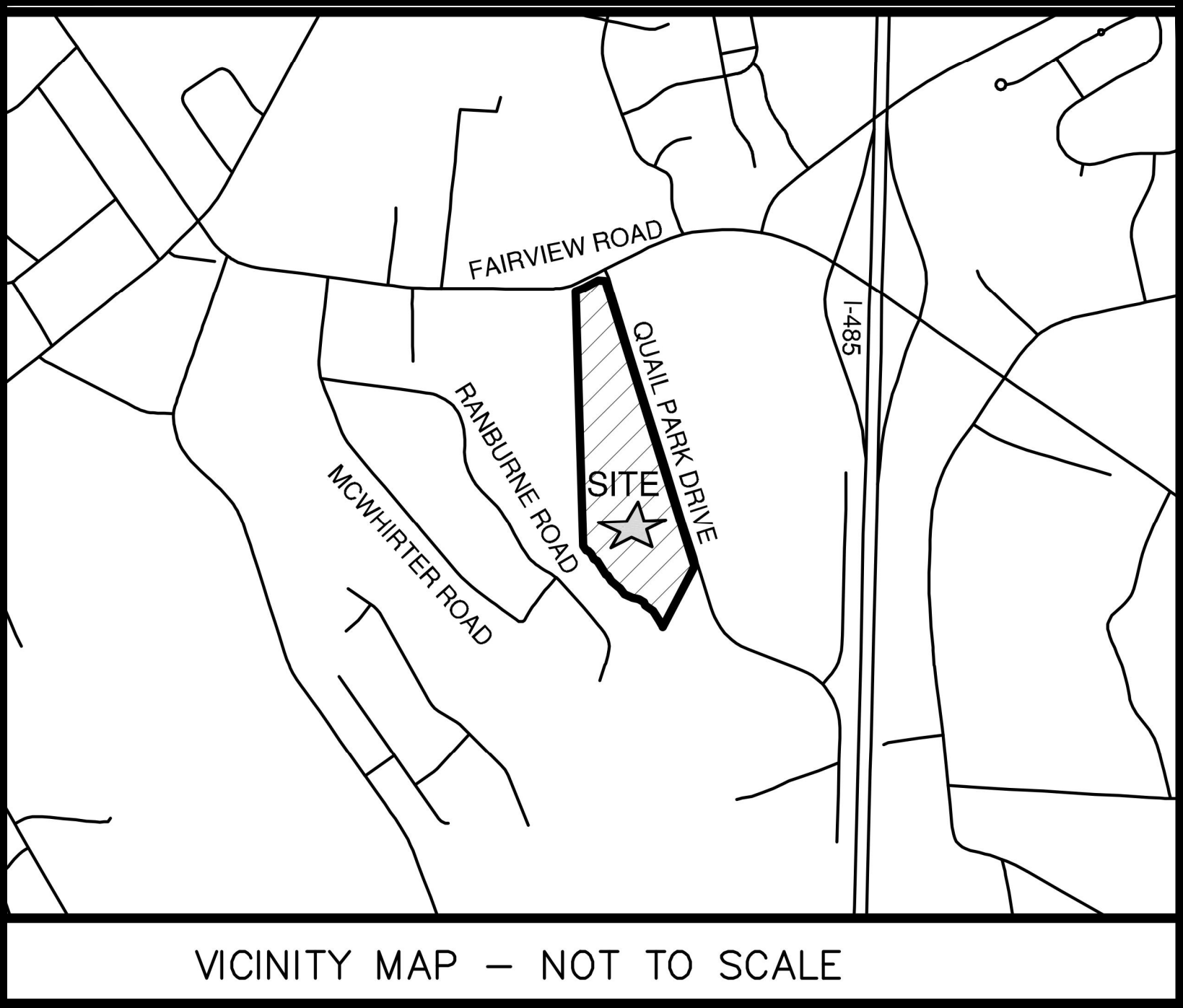
REV	DATE	DESCRIPTION
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2		
3		
4		
5		

1. I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NORTH CAROLINA AS SIGNIFIED BY MY HAND AND SEAL.

REZONING PCO CONCEPT PLANS FOR
COURTYARDS AT QUAIL PARK
MECKLENBURG COUNTY, NC
MINT HILL
COVER

Odom Engineering PLLC
169 Oak Street, Forest City, N.C. 28043
ph: 828.247.4495 fax: 828.247.4498
NC License # 052503

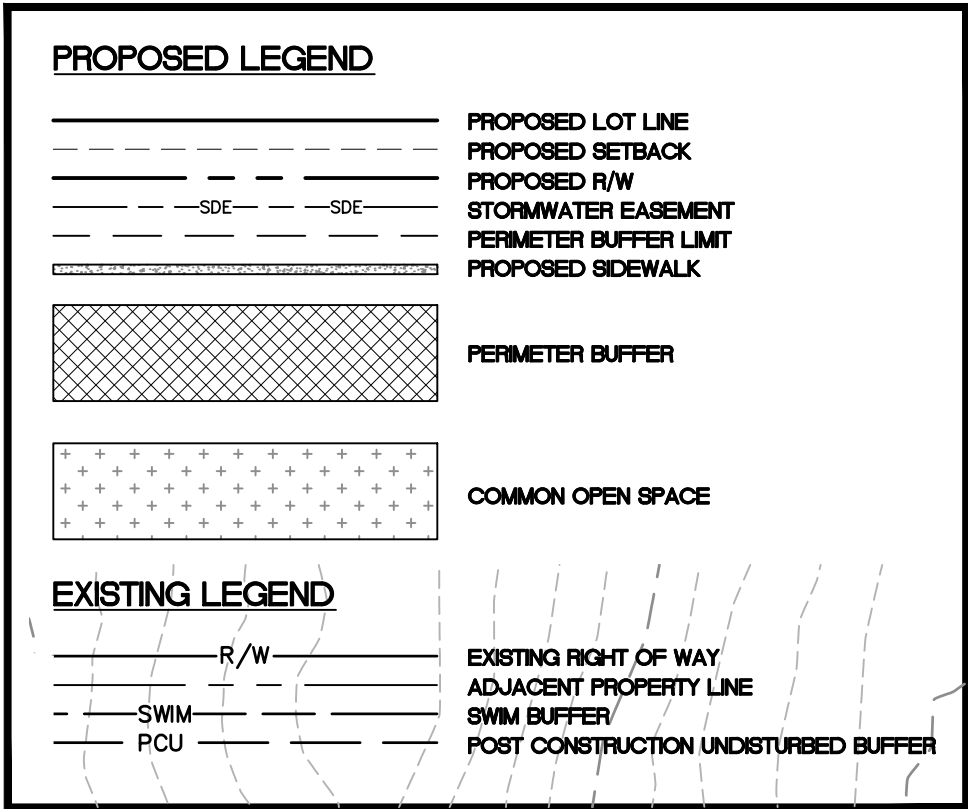
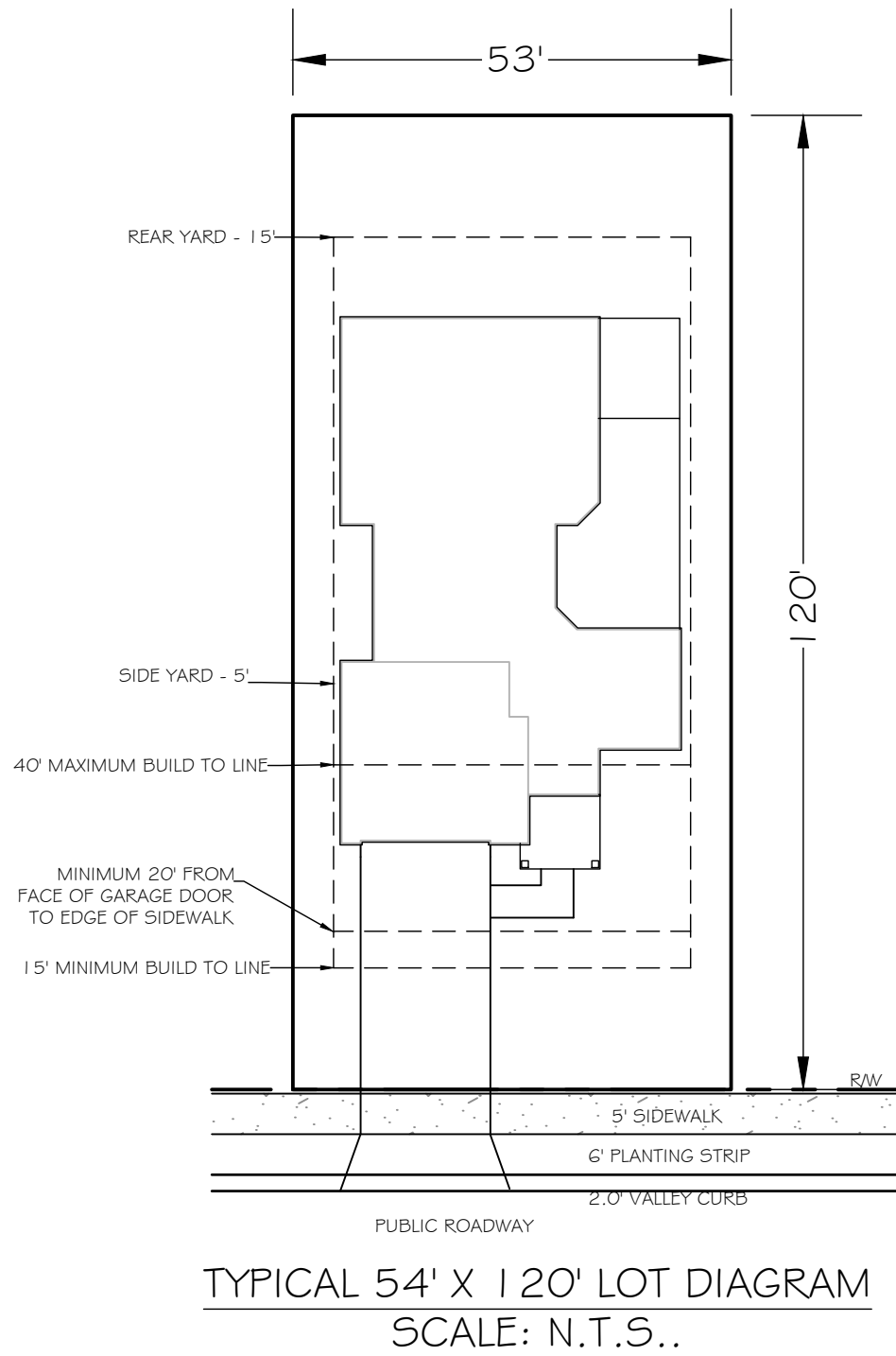
DATE: 12/06/2022
DRAWN BY: WFM
CHECKED BY: FED
PROJECT MGR: DWO
SHEET:
RZ-0



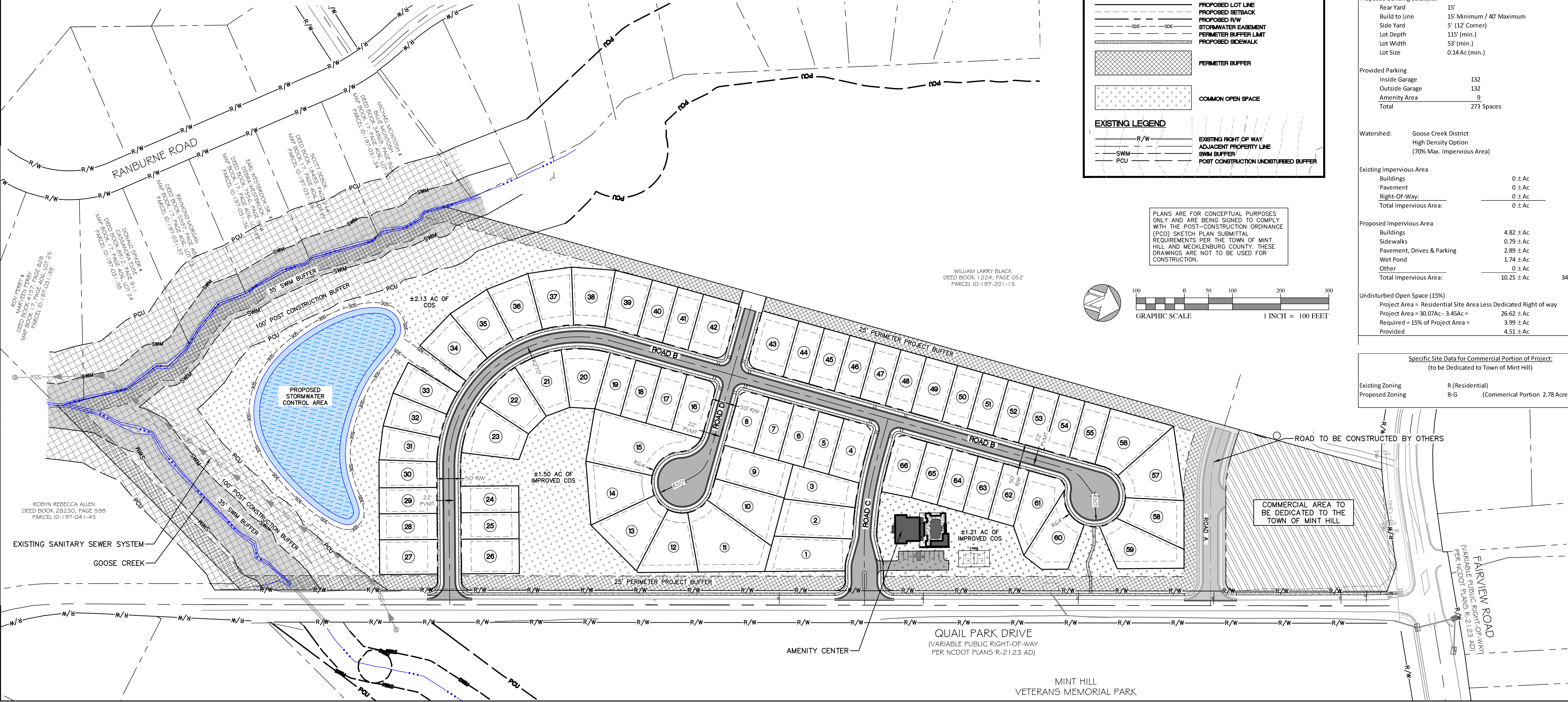
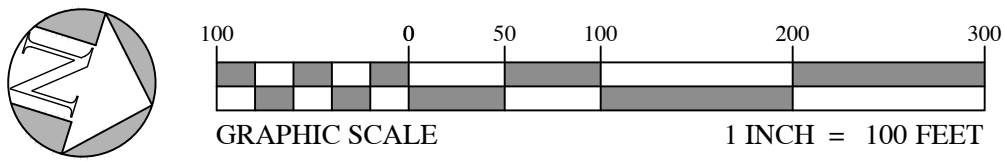
VICINITY MAP — NOT TO SCALE

NOTES:

1. All development and construction shall comply with all zoning and subdivision standards of the Town of Mint Hill, Mecklenburg County, and NCDOT, as applicable.
2. This property may be subject to any easements and/or rights of way of record.
3. All areas designated as common and/or urban open space shall be owned and maintained by the homeowners association and dedicated for perpetuity.
4. Access (ingress/egress) location and design shown in this sketch plan are subject to achieving vertical and horizontal sight distances, turn lane improvements (including right-of-way) and intersection with adjacent and opposing access points. Modifications to the plan may result.
5. Large maturing trees will be planted 40' on center within the required planting strip along the streets with the exception of rural parkways where existing trees can satisfy the existing tree requirement. Small maturing trees are to be used when overhead power lines exist.
6. Mail service will be provided in clusters. Kiosk locations are to be determined and be coordinated with the USPS during final engineering.
7. Trash service to be provided by the Town of Mint Hill for each lot.
8. Direct access from lots to a thoroughfare is prohibited.
9. The Build-to line is a line extending through a lot which is generally parallel to the front property line and marks the location from which the principle vertical plane of the front building elevation, exclusive of porches, bay windows and similar appurtenances, must be erected intended to create an even facade line on a street. The build-to line is established on the record plat (final Plat).
10. SCM access and maintenance easements shall be provided around around each SCM and recorded on a plat after construction plan approval.
11. Based on the existing condition of the tree canopy, the 25' external buffer is intended to be undisturbed along the south side (plan west) of the property. Along the North, West, and East sides (Plan North, South, and East) of the property the buffer shall be disturbed and replanted in accordance with the Town's ordinance.
12. Fire hydrants shall be provided within 750 feet of the most remote point of the structure as the apparatus travels. Final hydrant locations to be approved by Charlotte Water.
13. Stormwater management/detention provided by the proposed SCM's, located on the subject property. SCM's provided are shown for general conformance with the Town of Mint Hill requirements. Size, shape and type of proposed SCM's provided are subject to change and will be finalized with details as part of final engineering/construction documents, subject to the Town of Mint Hill engineering approval.
14. Proposed water service connection shall be made to the existing Charlotte Water System watermain located near the intersection of Quail Park Drive and Fairview Road.
15. Proposed sewer connection shall be made to Charlotte Water Sanitary Sewer system which crosses the southern portion of the project parcel.
16. Appropriate environmental permitting will be obtained though NCDEQ for impacts to existing stream, if required.
17. Proposed signs, lighting & landscaping will be designed in accordance with the Town of Mint Hill standards and regulations. Proposed locations will be prepared and reviewed as part of the construction plans.
18. Street trees to be maintained by the Homeowners Association.
19. Any sidewalk proposed outside of the right-of-way shall be placed in a permanent sidewalk easement.



PLANS ARE FOR CONCEPTUAL PURPOSES ONLY AND ARE BEING SIGNED TO COMPLY WITH THE POST-CONSTRUCTION ORDINANCE (PCO) SKETCH PLAN SUBMITTAL REQUIREMENTS PER THE TOWN OF MINT HILL AND MECKLENBURG COUNTY. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.



Site Data

Overall Project Data:

Developer / Applicant

EPCON Communities

11020 David Taylor Blvd. Suite. 105

Charlotte, NC 28262

(704) 997-8044

Tax Parcel ID:

197-201-14

Total Site Area

Per Alta Survey:

32.84 ± Ac

Note: For the purposes of rezoning, Parcel # 197-201-14 is to be divided into two project areas:

1) An area of approximately 2.78 acres as shown on the plan including a roadway to be dedicated as public right-of-way. Rezoning request for the commercial area to be B-G District.

2) A Residential area containing approximately 30.07 acres to be subdivided into individual lots, with dedicated open space areas, and roadways dedicated as public rights-of-way. Rezoning request for the residential area to be R-CZ (Conditional Zoning).

Specific Site Data for Residential Project:

Existing Zoning

R (Residential)

Proposed Zoning

R-CZD (Residential Portion 30.07 Acres)

The proposed development will be age-restricted in accordance with the Federal Fair Housing Act's Housing for Older Persons Act (HOPA). The HOPA regulations will be incorporated into the Homeowners Association Documents.

Total Number of Residential Lots:

66 Lots

Proposed Density:

2.0 Dwelling Units/Ac*

*Based on gross parcel area 32.84 Ac

Site Area

Original Parcel Area

32.84 ± Ac

Less Area Dedicated to Town

-2.78 ± Ac

Residential Site Area

30.07 ± Ac

Right of Way to be Dedicated

3.45 ± Ac

Proposed Building Setbacks:

Rear Yard

15'

Build to Line

15' Minimum / 40' Maximum

Side Yard

5' (12' Corner)

Lot Depth

115' (min.)

Lot Width

53' (min.)

Lot Size

0.14 Ac (min.)

Provided Parking

Inside Garage

132

Outside Garage

132

Amenity Area

9

Total

273 Spaces

Watershed:

Goose Creek District

High Density Option

(70% Max. Impervious Area)

Existing Impervious Area

Buildings

0 ± Ac

Pavement

0 ± Ac

Right-Of-Way:

0 ± Ac

Total Impervious Area:

0 ± Ac

Proposed Impervious Area

Buildings

4.82 ± Ac

Sidewalks

0.79 ± Ac

Pavement, Drives & Parking

2.89 ± Ac

Wet Pond

1.74 ± Ac

Other

0 ± Ac

Total Impervious Area:

10.25 ± Ac

34% ±

Undisturbed Open Space (15%)

Project Area = Residential Site Area Less Dedicated Right of way

Project Area = 30.07Ac - 3.45Ac =

26.62 ± Ac

Required = 15% of Project Area =

3.99 ± Ac

Provided

4.51 ± Ac

Specific Site Data for Commercial Portion of Project:

(to be Dedicated to Town of Mint Hill)

Existing Zoning

R (Residential)

Proposed Zoning

B-G (Commerical Portion 2.78 Acres)

REZONING PCO CONCEPT PLANS FOR

COURTYARDS AT QUAIL PARK

MINT HILL

MECKLENBURG COUNTY, NC

REZONING PLAN

Odom Engineering PLLC

169 Oak Street, Forest City, N.C. 28043

ph: 828.247.4406 fax: 828.247.4408

NC License # 00000000000000000000000000000000

DATE: 12/06/2022

DRAWN BY: WFM

CHECKED BY: FED

PROJECT MGR: DWO

SHEET:

RZ-2



EPCON COMMUNITIES DEVELOPMENT CONDITIONS + STANDARDS

1. General Provisions:

- a. Site Location.** These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by EPCON ("Petitioner") to accommodate the development of up to sixty-six (66) single-family detached dwelling units as generally depicted on the Rezoning Plan. The proposed development will be on an approximately 32.84 acre site located on Fairview Road (the "Site").
- b. Zoning Districts/Ordinance.** Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the Mint Hill Unified Development Ordinance (the "Ordinance"). Unless the Rezoning Plan establishes specific standards, the regulations established under the Ordinance for the R zoning classification shall govern.
- c. Graphics and Alterations.** The schematic depictions lots, sidewalks, structures and buildings, building elevations, driveways, streets and other development matters and site elements (collectively the "Development/Site Elements") set forth on the Rezoning Plan should be reviewed in conjunction with the provisions of these Development Standards. The layout, location, sizes and formulations of the Development/Site Elements depicted on the Rezoning Plan are graphic representations of the Development/Site elements proposed. Changes to the Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by the Ordinance.
- Since the project has not undergone the design development and construction phases, it is intended that this Rezoning Plan provide for flexibility in allowing some alterations or modifications from the graphic representations of the Development/Site Elements. Therefore, there may be instances where minor modifications will be allowed per the Ordinance. These instances would include changes to graphics if they are minor and don't materially change the overall design intent depicted on the Rezoning Plan.

The Planning Director will determine if such minor modifications are allowed and if it is determined that the alteration does not meet the criteria described above, the Petitioner shall then follow the Ordinance; in each instance, however, subject to the Petitioner's appeal rights set forth in the Ordinance.

2. Permitted Uses & Development Areas:

- a. The Site may be developed with up to sixty-six (66) single-family detached dwelling units as generally depicted on the Rezoning Plan.
- b. The Petitioner should dedicate the approximately 2.78 acres of the site generally depicted on the Rezoning Plan to the Town of Mint Hill for commercial uses. The dedication shall occur prior to the issuance of the last certificate of occupancy on the R-CZD portion of the site.
3. **Transportation and Connectivity:**
 - a. A Traffic Impact Analysis is not required in association with the portion of the Site zoned R-CZD. Future Traffic Impact Analysis by others may be required in association with the portion of the site zone B-G.
 - b. Road A shall be constructed by others.
 - c. The Petitioner should provide a minimum of two vehicular and one pedestrian access points to the Site from Quail Park Drive. Access locations may be adjusted during the land development permitting process.
4. **Residential Architectural Standards:**
 - a. The building materials used on the principal buildings constructed on Site will be combination of portions of the following: brick, stone, precast stone, precast concrete, synthetic stone, cementitious fiber board, cementitious fiber shaker, stucco, decorative block and/or wood.
 - b. Vinyl or Aluminum shall not be used as a primary siding material however it may be used on windows, soffits, fascia and/or similar roof overhang elements, handrails/railings, and/or other miscellaneous trim elements.
 - c. The proposed roofing materials will be architectural shingles, slate, tile and/or metal.

7. Amendments to the Rezoning Plan:

- a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable portion of the Site affected by such amendment in accordance with the provisions of the Ordinance.

8. Binding Effect of the Rezoning Application:

- a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and insure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

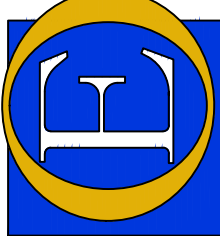
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REV	DESCRIPTION	BY	DATE
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I HEREBY CERTIFY THAT THIS
PLAN AND SPECIFICATION
WAS PREPARED BY ME OR
UNDER MY DIRECT
SUPERVISION AND THAT I AM
A DULY REGISTERED
ARCHITECT OR ENGINEER
UNDER THE LAWS OF THE
STATE OF NORTH CAROLINA
AS SIGNIFIED BY MY HAND
AND SEAL.



REZONING PCO CONCEPT PLANS FOR COURTYARDS AT QUAIL PARK MINT HILL MECKLENBURG COUNTY, NC REZONING PLAN PART 2



DATE: 12/06/2022

DRAWN BY: WFM

CHECKED BY: PED

PROJECT MGR: DW

RZ-3



RETAINING WALL NOTE:

ALL RETAINING WALLS REQUIRING SPECIAL INSPECTIONS (>5' IN HEIGHT) SHALL MEET THE REQUIREMENTS OF THE MCSBC CHAPTER 17--SPECIAL INSPECTIONS AS DETAILED PER THE MECKLENBURG COUNTY CODE ENFORCEMENT SPECIAL INSPECTIONS PROCESS. ADDITIONALLY, COPIES OF THE RETAINING WALL PLANS SHALL BE SUBMITTED TO THE MINT HILL ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL. THE TOWN OF MINT HILL SHALL BE COPIED ON ALL STATEMENTS OF SPECIAL INSPECTIONS, SPECIAL INSPECTIONS FINAL REPORTS, AND DESIGN PRINCIPAL IN CHARGE (DPIRC) LETTERS. RETAINING WALLS THAT IN AND/OR AFFECT THE PUBLIC RIGHT-OF-WAY MUST BE REVIEWED AND APPROVED BY THE TOWN.

BUILT UPON AREA			
Existing Impervious Area			
Buildings		0 ± Ac	
Pavement		0 ± Ac	
Right-Of-Way:		0 ± Ac	
Total Impervious Area:		0 ± Ac	
Proposed Impervious Area			
Buildings		4.82 ± Ac	
Sidewalks		0.79 ± Ac	
Pavement, Drives & Parking		2.89 ± Ac	
Wet Pond		1.74 ± Ac	
Other		0 ± Ac	
Total Impervious Area:		10.25 ± Ac	34% ±
Undisturbed Open Space (15%)			
Project Area = Residential Site Area Less Dedicated Right of way			
Project Area = 30.07Ac - 3.45Ac =		26.62 ± Ac	
Required = 15% of Project Area =		3.99 ± Ac	
Provided		4.51 ± Ac	

DRAINAGE:

EXISTING CONDITIONS

THE EXISTING SITE DRAINAGE GENERALLY FLOWS FROM NORTH TO SOUTH TOWARDS GOOSE CREEK. A SMALL PORTION OF THE SITE DRAINS FROM SOUTH TO NORTH AND ACROSS FAIRVIEW RD.

PROPOSED CONDITIONS

THE PROPOSED DEVELOPMENT WILL CONVEY STORMWATER TO A SINGLE SCM ON THE SOUTHERN PORTION OF THE SITE. ALL RUNOFF FROM ROOFTOPS, SIDEWALKS, ROADWAYS AND LAWNS WILL BE DIRECTED TO THE SCM. THE SCM WILL DISCHARGE THE STORMWATER NEAR THE EXISTING STREAM AND WILL CONFORM WITH THE TOWN OF MINT HILL STORMWATER MANAGEMENT REQUIREMENTS.

SCMs PROVIDED ARE SHOWN FOR GENERAL CONFORMANCE WITH THE TOWN OF MINT HILL REQUIREMENTS. SIZE, SHAPE, AND TYPE OF SCMs ARE SUBJECT TO CHANGE AND WILL BE FINALIZED WITH DETAILS AS PART OF THE FINAL ENGINEERING/CONSTRUCTION DOCUMENTS, SUBJECT THE TOWN OF MINT HILL APPROVAL.

<u>DRAINAGE AREAS</u>	
WETPOND	
ONSITE DRAINAGE AREA =	±29.46 AC
OFFSITE DRAINAGE AREA =	±1.50 AC
STORAGE VOLUME REQUIRED =	2.86 AC-FT
OVERALL STORMWATER SUMMARY	
2 YEAR ALLOWABLE RELEASE RATE =	3.63 CFS
10 YEAR ALLOWABLE RELEASE RATE =	19.09 CFS
25 YEAR ALLOWABLE RELEASE RATE =	28.68 CFS
50 YEAR ALLOWABLE RELEASE RATE =	20.18 CFS
50 YEAR WATER ELEVATION FREEBOARD SHALL BE GREATER THAN 6"	

- NOTES:**
- STORMWATER MANAGEMENT/DETENTION PROVIDED BY THE PROPOSED SCM'S LOCATED ON THE SUBJECT PROPERTY. SCMs PROVIDED ARE SHOWN FOR GENERAL CONFORMANCE WITH THE TOWN OF MINT HILL REQUIREMENTS. SIZE, SHAPE, LOCATION, AND TYPE OF PROPOSED SCMs PROVIDED ARE SHOWN SUBJECT TO CHANGE AND WILL BE FINALIZED WITH DETAILS AS PART OF FINAL ENGINEERING/CONSTRUCTION DOCUMENTS, SUBJECT TO TOWN OF MINT HILL ENGINEERING APPROVAL.
 - STORMS SEWER STRUCTURES AND PIPE ARE SHOWN FOR GENERAL CONFORMANCE WITH THE TOWN OF MINT HILL REQUIREMENTS. STORM SEWER SYSTEM AS SHOWN IS SUBJECT TO CHANGE AND WILL BE FINALIZED WITH DETAILS AS PART OF FINAL ENGINEERING/CONSTRUCTION DOCUMENTS, SUBJECT TO TOWN OF MINT HILL ENGINEERING APPROVAL.
 - POST DEVELOPMENT RELEASE RATES WILL BE EQUAL TO OR LESS THAN PRE-DEVELOPMENT RELEASE RATES.
 - SEE SHEET RZ-3 FOR TYPICAL STREET SECTION.
 - PROPOSED ZONING FOR PROJECT SITE IS R/CD.
 - AN ADS YARD DRAINAGE SYSTEM WILL BE INCORPORATED TO EACH LOT TO CAPTURE ROOF RUNOFF AND DIRECT TO SCM.

PLANS ARE FOR CONCEPTUAL PURPOSES ONLY AND ARE BEING SIGNED TO COMPLY WITH THE POST-CONSTRUCTION ORDINANCE (PCO) SKETCH PLAN SUBMITTAL REQUIREMENTS PER THE TOWN OF MINT HILL AND MECKLENBURG COUNTY. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION.

JOB NUMBER:
22250

DATE					
BY					
DESCRIPTION					
REV	1	2	3	4	5

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NORTH CAROLINA AS SIGNIFIED BY MY HAND AND SEAL.

2/06/2022

REZONING PCO CONCEPT PLANS FOR
COURTYARDS AT QUAIL PARK
MINT HILL
MECKLENBURG COUNTY, NC
GRADING AND STORMWATER CONCEPT PLAN

Odom Engineering PLLC
169 Oak Street, Forest City, N.C. 28043
ph: 828.247.4406 fax: 828.247.4408
NC License # 4408

DATE: 12/06/2022
DRAWN BY: WFM
CHECKED BY: FED
PROJECT MGR: DWO
SHEET:
RZ-4



STAFF REPORT

CASE# ZC22-7

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Town of
MINT HILL
North Carolina

APPLICATION

CASE:	ZC22-7
EXISTING ZONING:	R (CZD)
PROPOSED ZONING:	O-A (CZD)
PROPERTY OWNER:	Carillion Assisted Living of Mint Hill, LLC
APPLICANT:	Lischerong Enterprises & Holdings
LOCATION:	7135 Lebanon Road
PROPERTY ACREAGE	3.08 Acres
TAX PARCEL NUMBER(S):	135-417-47
REQUEST:	Rezone property to O-A (CZD) to allow two commercial/office buildings

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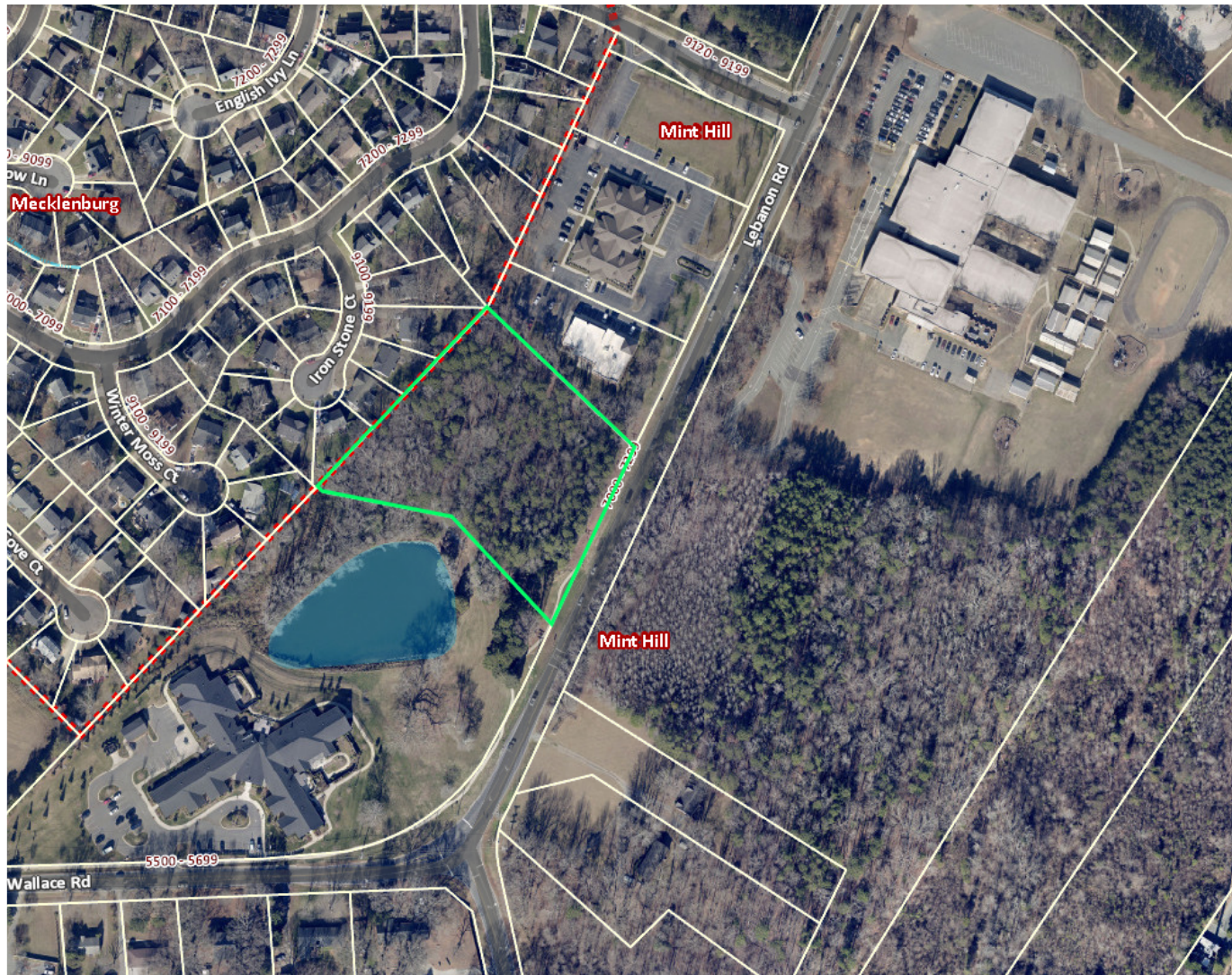
STAFF REPORT

BACKGROUND INFORMATION	Carillion Assisted Living facility was approved by the Board of Commissioner on October 8, 2015. 11.58-acres was rezoned from R to R (CZD). On July 31, 2018, a final plat was recorded, creating the 3.081-acre lot out of the 11.58 property.	
APPLICATION SUMMARY	The applicant is requesting rezoning for the 3.081-acre property from R (CZD) to O-A (CZD). The proposal includes two commercial/office buildings. <i>Conditional District decisions shall be made in consideration of identified relevant adopted land use plan. Conditional District rezoning is a legislative procedure under which the Board of Commissioners has the authority to increase, tighten, add, vary, modify, or waive specific conditions or standards. In approving a petition for the rezoning of property to a Conditional District the Board of Commissioners may request reasonable and appropriate conditions</i>	
PLAN CONSISTENCY	Land Use Plan	YES
	Downtown Masterplan	N/A
	Pedestrian Plan	Yes
	Comprehensive Transportation Plan	N/A
STAFF RECOMMENDATION	Favorable Recommendation	

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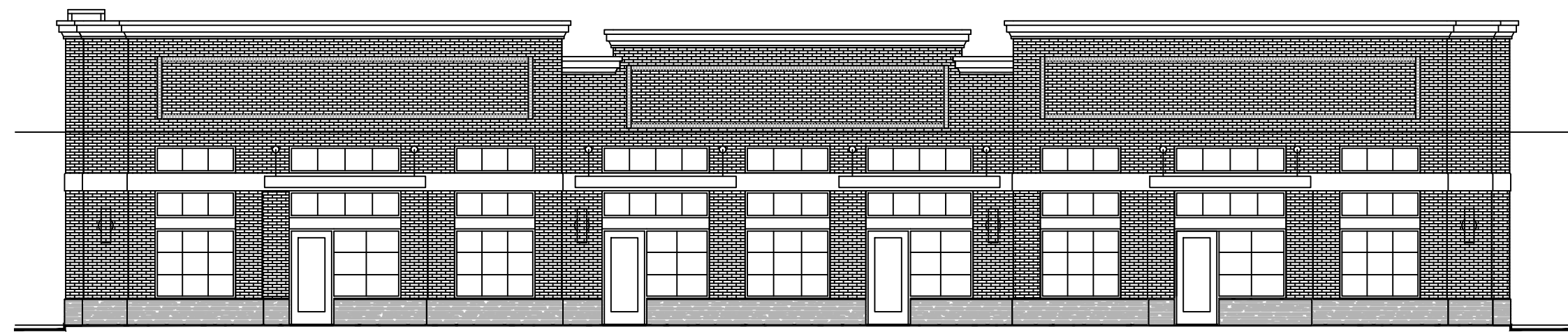
LOCATION MAP





SOUTH AND WEST EXTERIORS

SCALE: 1"= 10'
0 5' 10' 20'



NORTH AND EAST EXTERIORS

SCALE: 1"= 10'
0 5' 10' 20'



NORTH AND EAST EXTERIORS

SCALE: 1"= 10'
0 5' 10' 20'



SOUTH AND WEST EXTERIORS

SCALE: 1"= 10'
0 5' 10' 20'

NOTE:
ARCHITECTURAL RENDERINGS
PREPARED BY PRIEST
ARCHITECTURE, PLLC.

RENDERING NOTES:

1. ATTACHED IMAGES ARE CONCEPTUAL RENDERINGS OF PROPOSED COMMERCIAL/OFFICE BUILDINGS.
2. THESE CONCEPTUAL RENDERINGS MAY UNDERGO MINOR CHANGES THAT DO NOT CHANGE THE OVERALL DESIGN INTENT ASSOCIATED WITH THESE UNIQUE STRUCTURES.
3. ONE BUILDING IS LARGER THAN THE OTHER BUT THE CONCEPT WILL REMAIN THE SAME. ADDITIONAL ENTRANCES MAY BE PROVIDED IN THE LARGER BUILDING ONCE FINAL ARCHITECTURAL DRAWINGS ARE DEVELOPED.



V3 Southeast

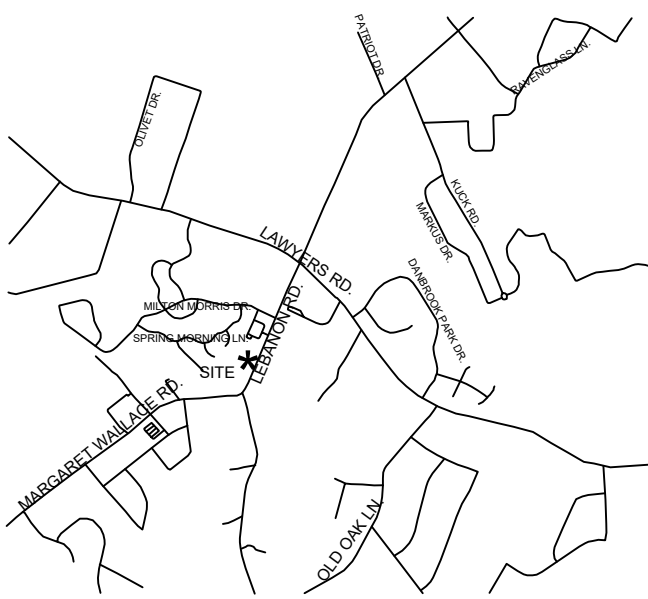
2923 S. Tryon Street, Suite 320
Charlotte, NC 28203
p: 704-940-2883
www.v3co.com



landscape architecture | planning | civil engineering

**Lebanon Road
Commercial/Office
Buildings**

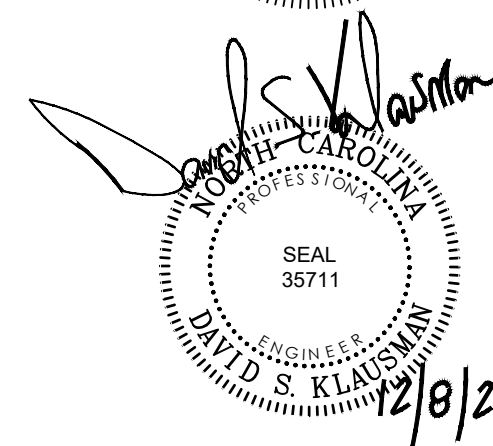
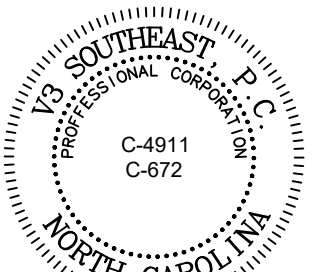
7135 Lebanon Road
Mint Hill, NC 28227



VICINITY MAP

N.T.S.

TOPOGRAPHIC SURVEY DATED AUGUST 03, 2022 PROVIDED BY
CARDINAL CIVIL RESOURCES, 1901 ASSOCIATES LANE, SUITE C,
CHARLOTTE, NC 28217, (980)310-6133.



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DATE: 09.14.2022	MPIC: WLL
DRAWN BY: TMH	REVIEWED BY: DSK
PROJECT NUMBER: 220960.01	

**BUILDING ELEVATIONS
PETITION # TBD**

REVISIONS:	
12.08.22	1ST REZONING SUBMITTAL

RZ - 2

REZONING