

1. CALL TO ORDER
2. ROLL CALL AND INVOCATION
3. APPROVE MINUTES OF THE APRIL 19, 2021 REGULAR MEETING
4. ADDITIONS OR DELETIONS OF AGENDA ITEMS
5. REPORTS OF COMMITTEES, MEMBERS, AND STAFF
6. OLD BUSINESS
7. NEW BUSINESS
 - A. DISCUSSION AND RECOMMENDATION ON [#ZC21-4](#), FILED BY THE CITY OF CHARLOTTE, CHARLOTTE WATER, TO ALLOW A CONDITIONAL DISTRICT REZONING FROM R TO R (CD) TO ALLOW THE CONSTRUCTION OF A NEW ELEVATED WATER TANK LOCATED AT 12910 PALOMINO DRIVE, PARCEL NUMBER: (PART OF) 135-331-05.
 - B. DISCUSSION AND RECOMMENDATION ON [#ZC21-5](#), FILED BY SOUDER PROPERTIES, INC, TO ALLOW A CONDITIONAL DISTRICT REZONING FROM R TO I-G (CD) TO ALLOW THE DEVELOPMENT OF A BUSINESS PARK LOCATED AT 10821 AND 10905 BLAIR ROAD, PARCEL NUMBER(S): 137-151-22 AND 137-151-20.
 - C. DISCUSSION AND DECISION ON [#S21-6](#), COURTYARDS AT MINT HILL SUBDIVISION, FILED BY EPCON COMMUNITIES, TO SUBDIVIDE PROPERTY LOCATED AT 14333 IDLEWILD ROAD, PARCEL NUMBER: 195-231-01.
8. OTHER BUSINESS
9. ADJOURNMENT

VIEWING A PUBLIC MEETING ONLINE

The Town of Mint Hill live-streams the regularly scheduled meetings of the Board of Commissioners, Planning Board and Board of Adjustment. Anyone can view the live meetings or watch at a later time on the Town's YouTube Channel. To watch a meeting, hover a smartphone camera app over the QR Code to the right or navigate any web browser to <https://bit.ly/2YBIORz>.

**LIVE STREAM****AGENDAS & MINUTES**

Current and past Agendas and Minutes for the Board of Commissioners, Planning Board and Board of Adjustment can be found at <https://bit.ly/3gulVL4> or hover a smartphone camera app over the QR Code to the right.

**AGENDA
MINUTES &**

**MINUTES OF THE MINT HILL PLANNING BOARD MEETING
APRIL 19, 2021**

The Mint Hill Planning Board met in regular session on Monday, April 19, 2021 at 6:30 p.m. in the John M. McEwen Assembly Room, Mint Hill Town Hall.

ATTENDANCE

Chairman: Tom Gatz

Members: Kenny Draffen, Roger Hendrix, Jennifer Manchester, Chip Todd, and Eric Tyson

Planning Director: John Hoard

Clerk to the Board: Savanna Ocasio

Commissioner: Dale Dalton

Absent: Scott Fandel

CALL TO ORDER AND INVOCATION

Chairman Gatz called the meeting to order at 6:30 p.m., declared a quorum present and the meeting duly constituted to carry on business. Mr. Hendrix gave the invocation.

ORDER OF BUSINESS

Approval of Minutes for the March 15, 2021 Regular Meeting: Upon the motion of Mr. Hendrix, seconded by Mr. Todd, the Board unanimously approved the minutes of the March 15, 2021 Planning Board meeting.

Additions or Deletions of Agenda Items: None.

Reports of Committees, Members and Staff: None.

Old Business: None.

New Business:

A. Discussion and Recommendation on #ZC21-3, Filed by the Town of Mint Hill, to Amend Section 7.2 Street Lighting Standards of the Downtown Code: Planning Director Hoard submitted the following memo to the Board.

The purpose of the text amendment is to clarify in the code an existing policy requirement regarding the responsibility of the developer to pay the upfront, one-time decorative charge for the specified pedestrian light required in the Downtown.

7.2 STREET LIGHTING STANDARDS:

- A. No streetlight shall be more than two hundred fifty (250) feet from another streetlight. In addition, lighting shall be placed at every intersection.
- B. A lighting plan shall be submitted with all developments requiring site plan approval.

- C. Pedestrian lighting along Matthews-Mint Hill Road (NC 51) and Lawyers Road shall be consistent with the standard fixture and service provider specified by the Town. The one-time decorative charge must be paid in full for each light fixture.

All non-residential development and/or redevelopment in the downtown overlay district that fronts on a public right-of-way or proposes a new public right-of-way shall install decorative pedestrian lights consistent with the standard fixture and service provider specified by the Town along the existing or new right-of-way. The decorative one-time charge shall be paid in full. For mixed use projects, the non-residential portion of road frontage shall be subject to the aforementioned light installation.

Planning Director Hoard stated #ZC21-3 was a staff-initiated text amendment. The text amendment was regarding the 12 foot “pedestrian poles” which were required in the downtown. Since before 2004, the Town communicated the requirements, specifications, and the upcharge during developer meetings. The Town recently had an issue where that slipped through; it created some complications so they thought it would be best to put this in the Ordinance. He stated the poles in front of Town Hall were serviced by Duke Energy. Duke allowed two options when purchasing a light pole:

- Upfront purchase: which was a one time buy, also known as an “upcharge”. This meant the developer paid for the pole upfront, and the developer paid the light bill from that point forward. Usually, the Town took over the light bill.
- Leasing a pole: If you leased, there was a higher rate (which the Town was trying to avoid).

Planning Director Hoard emphasized nothing had changed; the Town would just like this to be in the Ordinance.

Chairman Gatz asked the cost of purchasing the light pole. Planning Director Hoard stated the light pole cost approximately \$6,000 each.

Mr. Tyson asked if Duke Energy maintained the light poles. Planning Director Hoard said yes.

Mr. Hendrix made a favorable recommendation, seconded by Mr. Todd, and the Board unanimously agreed to send a favorable recommendation to the Board of Commissioners on #ZC21-3, Filed by the Town of Mint Hill, to Amend Section 7.2 Street Lighting Standards of the Downtown Code.

Other Business: None.

Adjournment: Upon the motion of Mr. Hendrix, seconded by Mr. Todd, and unanimously agreed upon, Chairman Gatz adjourned the meeting at 6:37 p.m.

Savanna Ocasio
Program Support Assistant



STAFF REPORT

CASE# ZC21-4

Scan QR Code with your Smartphone Camera for Meeting Agenda Packets





APPLICATION

CASE:	ZC21-4
EXISTING ZONING:	R
PROPOSED ZONING:	R (CD)
PROPERTY OWNER:	Idlewild Baptist Church Inc.
APPLICANT:	City of Charlotte-Charlotte Water
LOCATION:	12910 Palomino Drive
TAX PARCEL NUMBER(S):	135-331-05 (Part of)
REQUEST:	Construct an elevated water tank on the property to serve the area

Scan QR Code with your Smartphone Camera for Meeting Agenda Packets





STAFF REPORT

<p>APPLICATION SUMMARY</p>	<p>The applicant is requesting Conditional Rezoning to permit construction of an elevated water tank. Elevated water storage tanks fall under the Essential Services category in Section 5.2 - Table of Principal Permitted Uses.</p> <p>Essential Services, Class 2: <u>Elevated water storage tanks</u>; booster stations, package treatment plants, telephone switching facilities (over one hundred (100) square feet gross floor area), substations, or other similarly required facilities in connection with telephone, electric, steam, water, sewer, or other similar utilities, and solid waste/recycling convenience center.</p> <p><i>Conditional District decisions shall be made in consideration of identified relevant adopted land use plan. Conditional District rezoning is a legislative procedure under which the Board of Commissioners has the authority to increase, tighten, add, vary, modify, or waive specific conditions or standards. In approving a petition for the rezoning of property to a Conditional District the Board of Commissioners may request reasonable and appropriate conditions</i></p>	
<p>PLAN CONSISTENCY</p>	<p>MINT HILL LAND USE PLAN</p>	<p>Essential Services are not specifically planned for in the Land Use Plan. However, Essential Services is a use that can be considered in the Residential District through the Conditional Rezoning process.</p>
	<p>DOWNTOWN MASTER PLAN</p>	<p>N/A</p>
	<p>MINT HILL COMPREHENSIVE TRANSPORTATION PLAN</p>	<p>N/A</p>
	<p>PEDSTRIAN PLAN</p>	<p>N/A</p>
<p>STAFF RECOMMENDATION</p>	<p>Favorable Recommendation</p> <p>Recommended condition: Prohibit the installation of telecommunication antenna on the structure</p>	

Scan QR Code with your Smartphone Camera for Meeting Agenda Packets

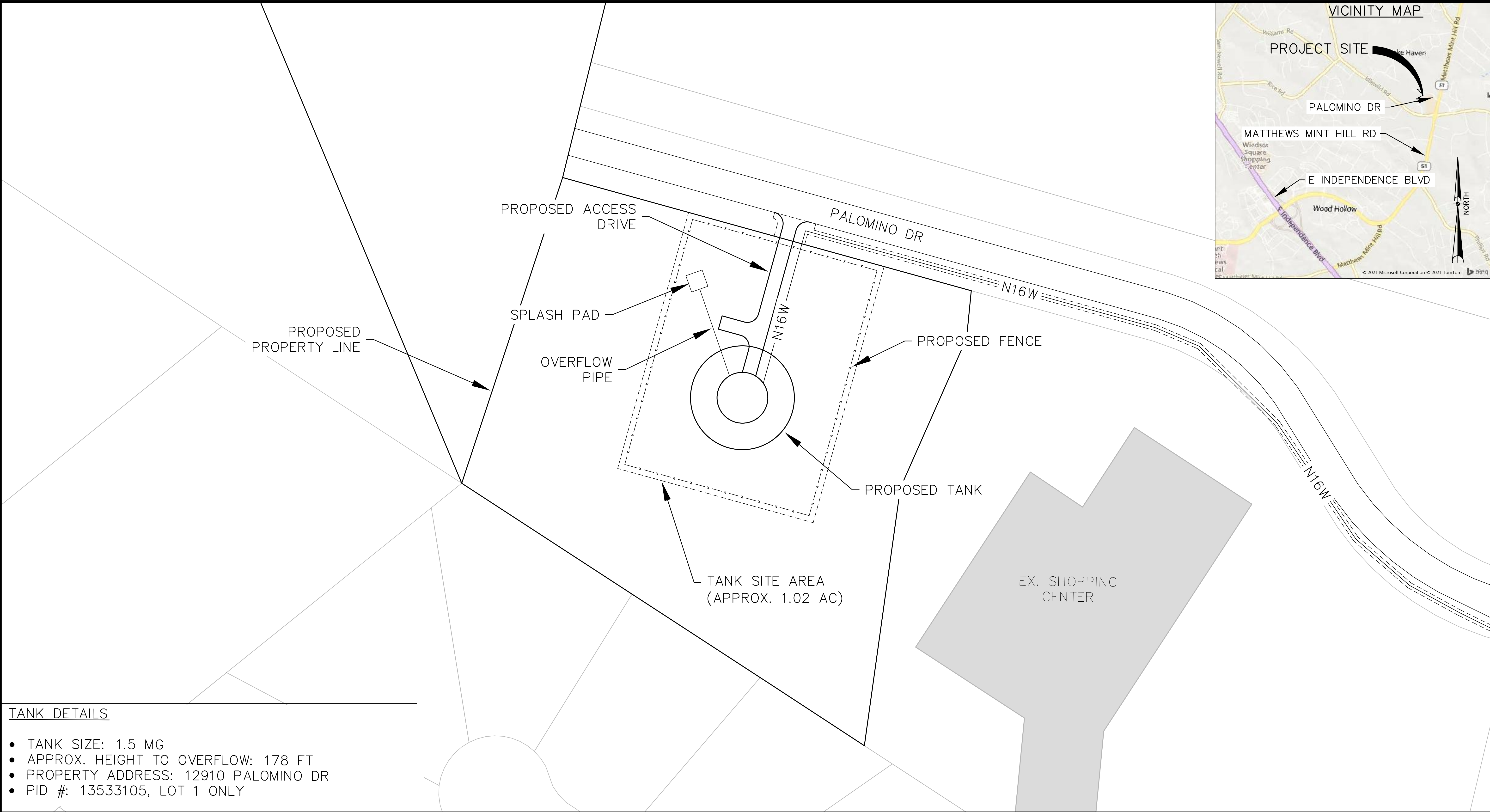


LOCATION MAP



ANSI D 22" x 34"

Last saved by: DAVID.PARR(2021-03-30) Last Plotted: 2021-03-30
Filename: L:\LEGACY\2285SR-C87001\CAE\DATA\PROJECT\IS05058989-CLT WATER TANK CAE\Z - CLT PROPOSAL\DWG\WILD TANK SITE - ZONING SITE PLAN.DWG



TANK DETAILS

- TANK SIZE: 1.5 MG
- APPROX. HEIGHT TO OVERFLOW: 178 FT
- PROPERTY ADDRESS: 12910 PALOMINO DR
- PID #: 13533105, LOT 1 ONLY

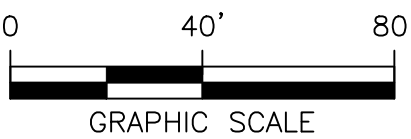
**CHARLOTTE WATER
MINT HILL ELEVATED WATER
STORAGE TANK
ZONING SITE PLAN**



6000 Fairview Road, Suite 200
Charlotte, North Carolina 28205
Telephone (704) 522-0330
www.AECOM.com

SITE PLAN

SCALE: 1" = 40'



DATE: MARCH 2021

ZONING SITE PLAN



perspective one would have when
standing in the northeast parking lot
of Idlewild Baptist Church



perspective when standing in the
northwest parking lot of Idlewild
Baptist Church



Scan QR Code with your Smartphone Camera for Meeting Agenda Packets





perspective from Matthews-Mint Hill
Road



Scan QR Code with your Smartphone Camera for Meeting Agenda Packets





STAFF REPORT

CASE# ZC21-5

Scan QR Code with your Smartphone Camera for Meeting Agenda Packets





APPLICATION

CASE:	ZC21-5
EXISTING ZONING:	R
PROPOSED ZONING:	I-G (CD)
PROPERTY OWNER:	Souder Properties, Inc
APPLICANT:	Souder Properties, Inc. (Steve Souder)
LOCATION:	10821 and 10905 Blair Road
TAX PARCEL NUMBER(S):	137-151-22 & 137-151-20
REQUEST:	Develop a business park

Scan QR Code with your Smartphone Camera for Meeting Agenda Packets





STAFF REPORT

APPLICATION SUMMARY	<p>The applicant is requesting Conditional Rezoning from R to I-G (CD) to allow development of a business park.</p> <p><i>Conditional District decisions shall be made in consideration of identified relevant adopted land use plan. Conditional District rezoning is a legislative procedure under which the Board of Commissioners has the authority to increase, tighten, add, vary, modify, or waive specific conditions or standards. In approving a petition for the rezoning of property to a Conditional District the Board of Commissioners may request reasonable and appropriate conditions</i></p>	
MEETING DATES	MINT HILL LAND USE PLAN	Yes
	DOWNTOWN MASTER PLAN	N/A
	MINT HILL COMPREHENSIVE TRANSPORTATION PLAN	Yes
	PEDSTRIAN PLAN	Yes
STAFF RECOMMENDATION	Favorable Recommendation	

Scan QR Code with your Smartphone Camera for Meeting Agenda Packets



LOCATION MAP



PCCO SUMMARY		
Original Parcel ID Number(s):	137-151-20/137-151-22	
Development Type:	Commercial	
Subject to PCCO? Y/N	Y	
If NO, why?		
Watershed:	Yadkin	
Disturbed Area (ac):	3.21	
Site Area (ac):	3.79	
	DA#1	DA#2
Total on-site Drainage Area (ac):	3.79	
Existing Built-upon-area (SF):	0	
Existing BUA to be removed (SF):	0	
Existing BUA to remain (SF):	0	
Proposed New BUA (SF):	82,661	
Proposed % BUA:	54	
Density (High / Low)	H	
Total Post-Project BUA for site:	82,661	
Development or Redevelopment?	Development	
Natural Area Required (ac):		0.38
Natural Area provided, total (ac):		0.21
Undisturbed Treed Natural Area Preserved (ac):		N
Total stream buffer protected on-site (ac):	0	
Transit Station Area? Y/N	N	
Distressed Business District? Y/N	N	
Mitigation Type (if applicable)	Payment in-lieu	
Natural Area mitigation? Y/N	Y	
Buffer Mitigation? Y/N	N	
Total Phosphorous Mitigation? Y/N	N	

1 inch = 30 ft.

THESE SITE DEVELOPMENT PLANS
WERE DEVELOPED USING ONLINE
DATA, I.E., GIS & DEED
INFORMATION IN LIEU OF FIELD
SURVEY.

Prop. MH 5
Rim: 734.20
Inv Out: 729.90

NOW OR FORMERLY
PID: 13715127
ALBEMARLE ROAD ASSOCIATES LLC
& NELLIE C
11106 ALLEN STATION ROAD
CHARLOTTE, NC 28227
EX. ZONING: I-G (CD)
EX. LAND USE: COMMERCIAL

NOW OR FORMERLY
PID: 13715115
SMITH WILLIAM DALE
& NELLIE C
10915 BLAIR ROAD
CHARLOTTE, NC 28227
EX. ZONING: R
EX. LAND USE: RURAL HOME SITE

Prop. MH 4
Rim: 731.50
Inv In: 726.60
Inv Out: 726.40

Prop. MH 3
Rim: 730.50
Inv In: 725.39
Inv Out: 725.19

Prop. MH 1
Rim: 733.81
Inv In: 724.14
Inv Out: 723.94

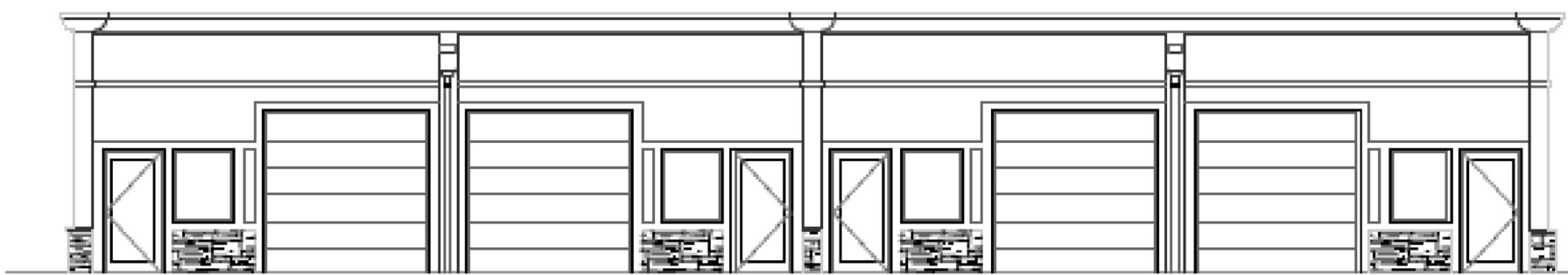
NOW OR FORMERLY
PID: 13715116
LYNDELL THOMPSON BUILDERS LLC
10937 BLAIR ROAD
CHARLOTTE, NC 28227
EX. LAND USE: RURAL HOME SITE

NOW OR FORMERLY
PID: 13715121
TAYLOR PATRICIA S
& DALTON R II
10931 BLAIR ROAD
CHARLOTTE, NC 28227
EX. ZONING: R
EX. LAND USE: RURAL HOME SITE

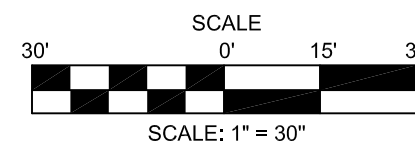
NOW OR FORMERLY
PID: 13909211
EDWARD DUNCAN CONNELL JR
10900 BLAIR ROAD
CHARLOTTE, NC 28227
EX. ZONING: R
EX. LAND USE: SINGLE FAMILY

Prop. MH 2
Rim: 729.00
Inv In: 724.77
Inv Out: 724.57

NOW OR FORMERLY
PID: 13909211
FERN S BROOKS
BLAIR ROAD
CHARLOTTE, NC 28227
EX. ZONING: R
EX. LAND USE: USE VALUE HOME SITE



TYPICAL FRONT ELEVATION



Revisions:

NO.	DATE	COMMENTS

Engineer:

Denver D. Toler, PE

5917 Tillery Drive
Charlotte, NC 28226
(704) 526-7994

SOUDER BUSINESS PARK
10821 BLAIR ROAD
MINT HILL, NC

LAYOUT PLAN

NORTH CAROLINA
PROFESSIONAL
SEAL
8767
ENGINEER
DANIEL D. TOLAR

DRAWN BY:
RLM

CHECKED BY:
DDT

SCALE:
1"=30'

DATE:
11/05/18

SHEET:

1



S21-06

Courtyard At Mint Hill

Scan QR Code with your Smartphone Camera for Meeting Agenda Packets





APPLICATION

CASE:	S21-06
EXISTING ZONING:	R (CD)
PROPERTY OWNER:	Epcon Communities
APPLICANT:	Epcon Communities
LOCATION:	14333 Idlewild Road
TAX PARCEL NUMBER(S):	195-231-01
REQUEST:	Major Subdivision Approval (38 Lots)

Scan QR Code with your Smartphone Camera for Meeting Agenda Packets





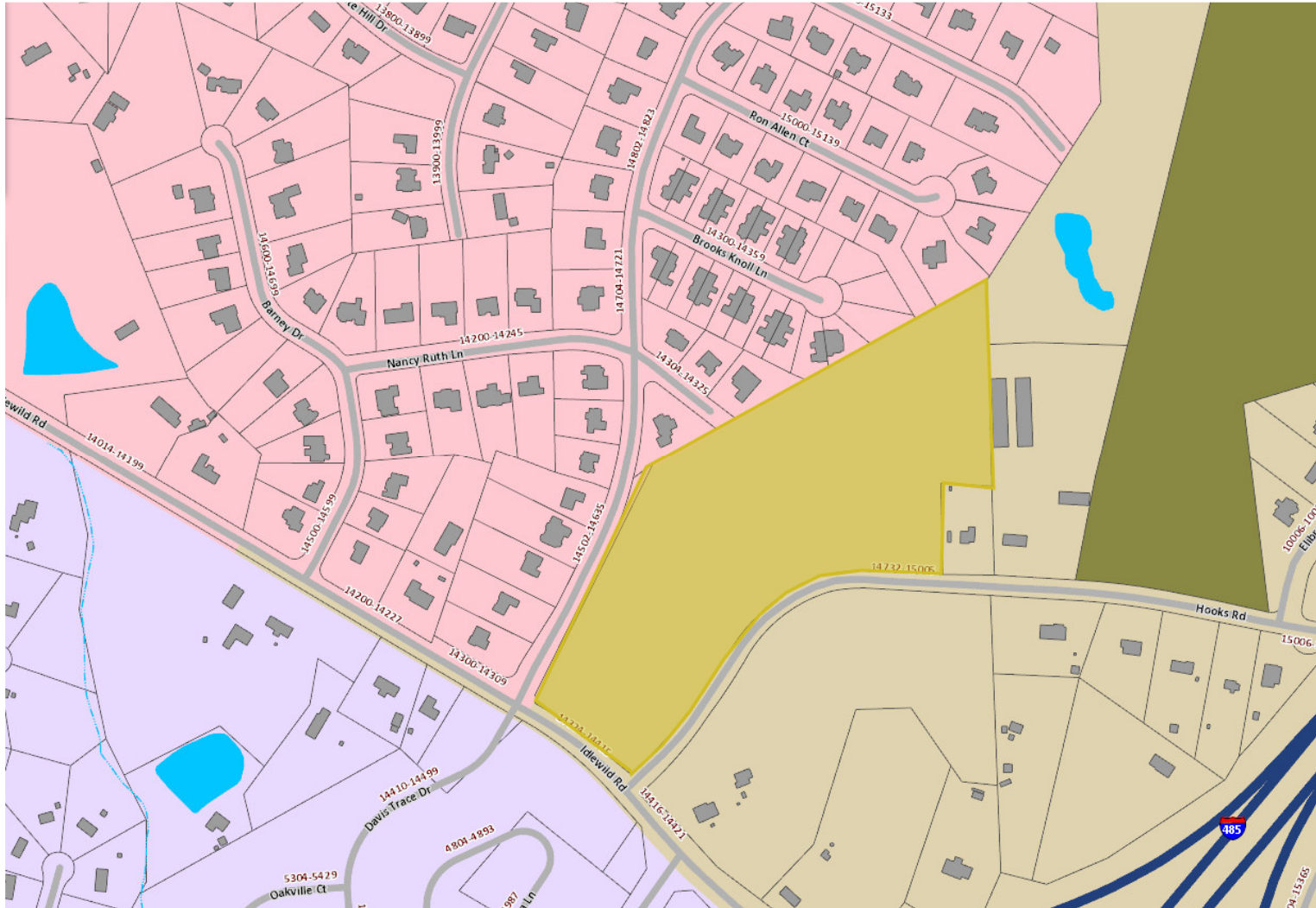
STAFF REPORT

Staff Analysis	<p>Courtyard at Mint Hill received conditional zoning approval on September 10, 2020. The approved zoning plan is attached.</p> <p>*Note the decrease in lot count. The subdivision application reflects the correct acreage and corresponding 2 units to acres. The new lot count is 38 based on 19 acres.</p> <p><i>Planning Board Review and Decision (Mandatory).</i> The Planning Board shall hold a hearing to review the Site Plan (Preliminary Plat) and determine whether the Site Plan (Preliminary Plat) complies with the requirements of this Ordinance, specifically including without limitation all substantive requirements and conditions set forth in Article 7, Section 7.3 (Conditions for Subdivisions). This hearing shall be held in an administrative proceeding and may be conducted in accordance with rules of procedure adopted by the Planning Board as the same may be changed from time to time.</p> <p>The Planning Board action may be approval (if the Site Plan (Preliminary Plat) complies with all Ordinance requirements), tentative approval with conditions (if the Ordinance requires such), or denial of the Site Plan (Preliminary Plat) (if the Site Plan (Preliminary Plat) does not comply with all Ordinance requirements).</p> <p>Upon approval of the Site Plan (Preliminary Plat) by the Planning Board, the Applicant may proceed to comply with the other requirements of this Ordinance and the preparation of the subdivision Final Plat for final approval by the Administrator.</p>
STAFF RECOMMENDATION	Staff recommends approval

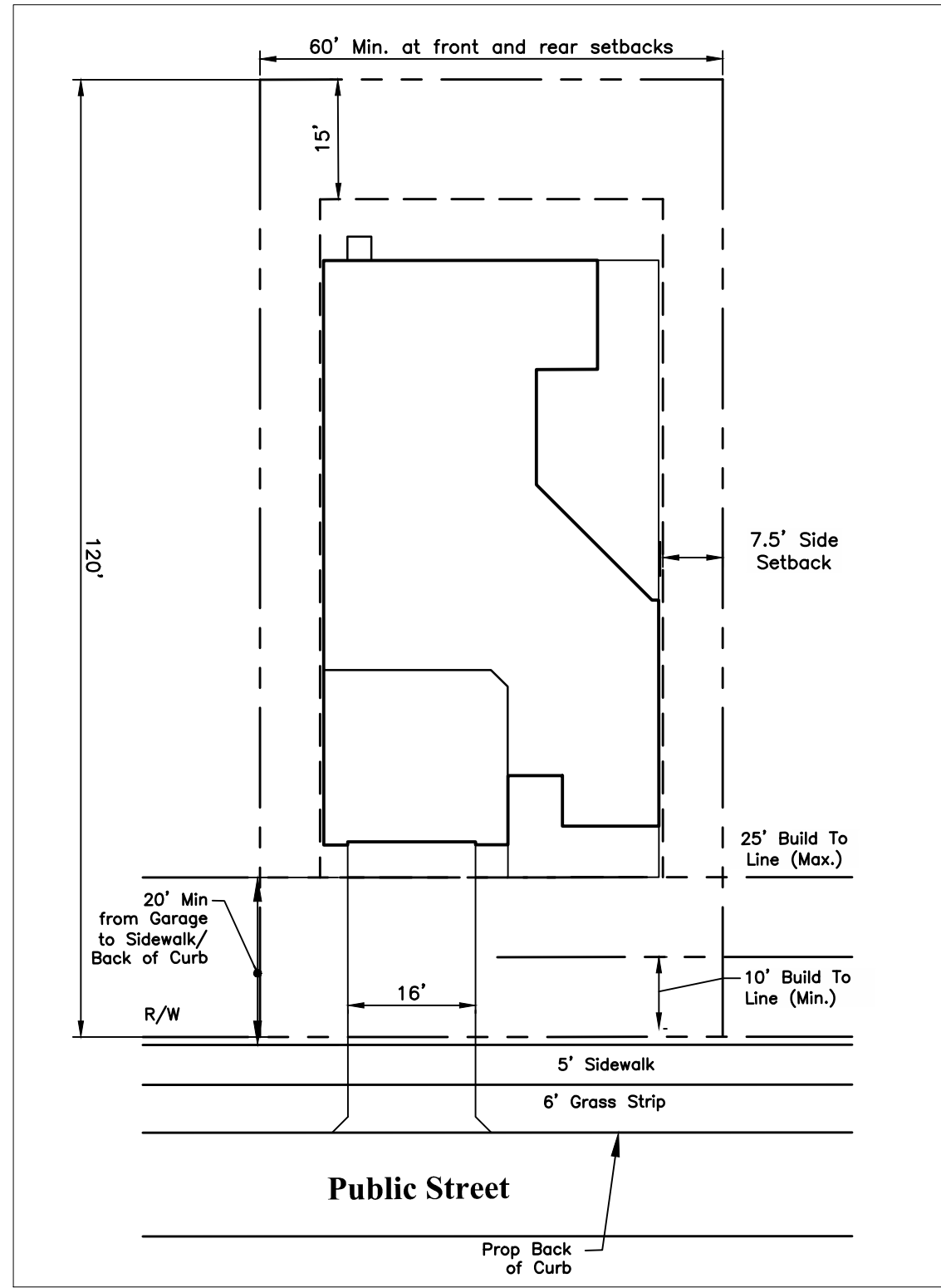
Scan QR Code with your Smartphone Camera for Meeting Agenda Packets



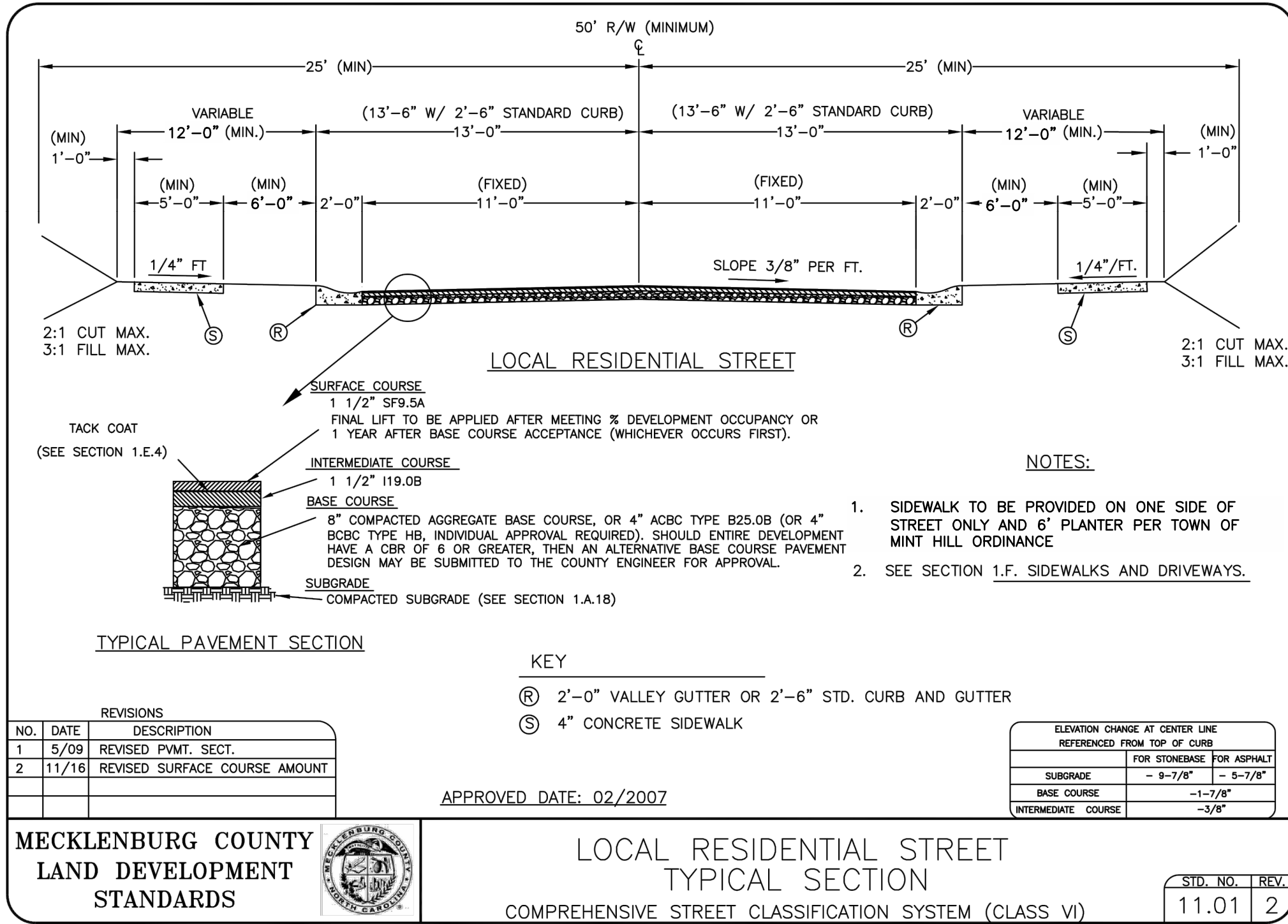
LOCATION MAP



J:\2019\235\DWG\GIS\Sheet\Reznig_Sketch_Plan\01_Reznig_Sketch_Plan.dwg



TYPICAL LOT DETAIL
Scale: N.T.S.



KEY
② 2'-0" VALLEY GUTTER OR 2'-6" STD. CURB AND GUTTER
③ 4" CONCRETE SIDEWALK

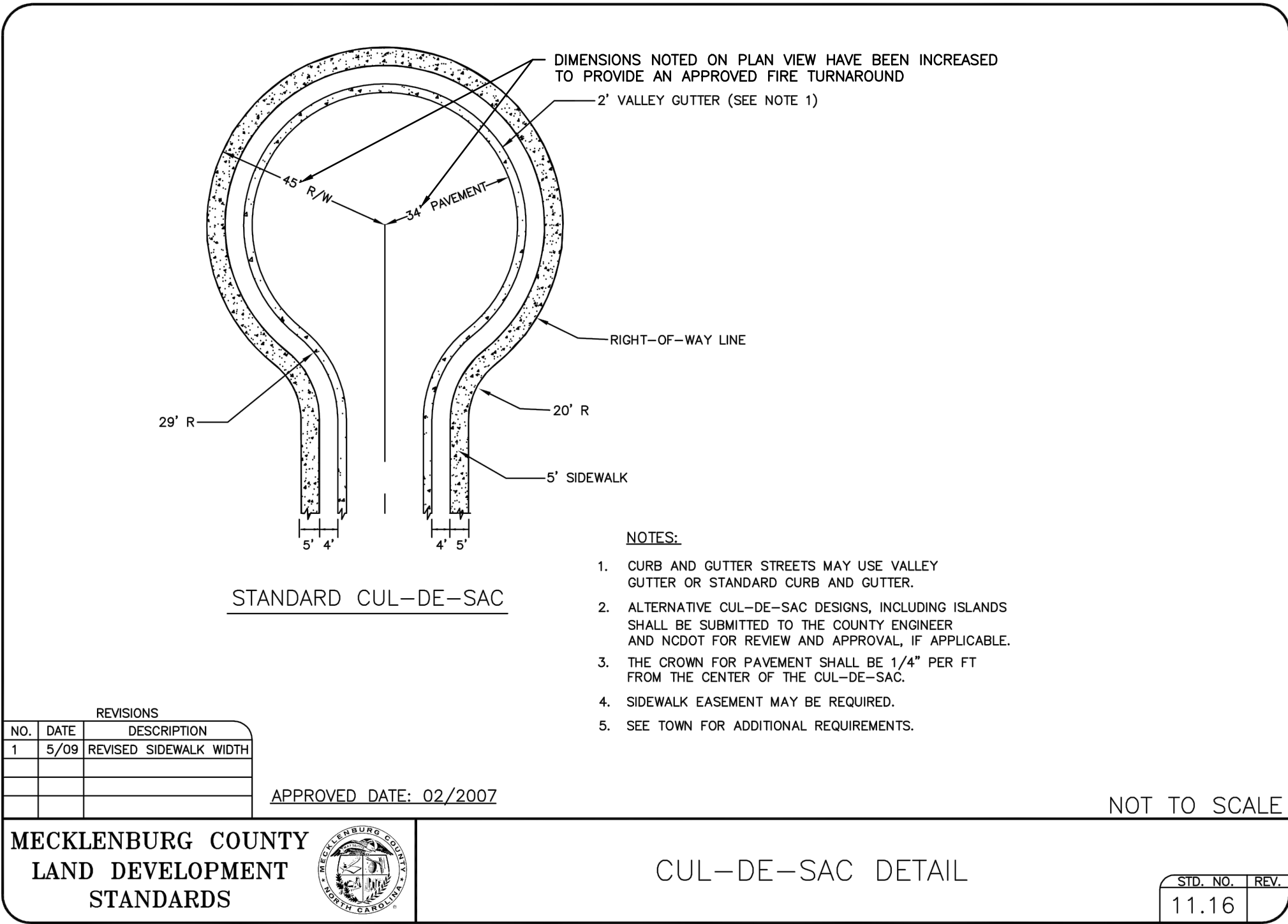
APPROVED DATE: 02/2007

**MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS**



**LOCAL RESIDENTIAL STREET
TYPICAL SECTION**
COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS VI)

STD. NO. REV.
11.01 2



- NOTES:**
- CURB AND GUTTER STREETS MAY USE VALLEY GUTTER OR STANDARD CURB AND GUTTER.
 - ALTERNATIVE CUL-DE-SAC DESIGNS, INCLUDING ISLANDS SHALL BE SUBMITTED TO THE COUNTY ENGINEER AND NCDOT FOR REVIEW AND APPROVAL, IF APPLICABLE.
 - THE CROWN FOR PAVEMENT SHALL BE 1/4" PER FT FROM THE CENTER OF THE CUL-DE-SAC.
 - SIDEWALK EASEMENT MAY BE REQUIRED.
 - SEE TOWN FOR ADDITIONAL REQUIREMENTS.

NOT TO SCALE

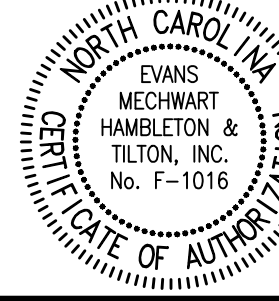
STD. NO. REV.
11.16

**MECKLENBURG COUNTY
LAND DEVELOPMENT
STANDARDS**



CUL-DE-SAC DETAIL

Plans are for conceptual purposes only and are being signed to comply with the Post-Construction Ordinance (PCO) sketch plan & rezoning submittal requirements per the Town of Mint Hill and Mecklenburg County. These drawings are not to be used for construction.



PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION
PLAN SET DATE
SEPTEMBER 03, 2020

SHEET
20191235

RZ1.2

LEGEND

- Existing Waterline — WM —
Existing Storm Pipe — STM —
Existing Fence — X —
Existing Tree Lines —
Proposed Property Boundary —
Building Setback Lines —
Proposed BMP —
Reserve/Open Space Area —

**APPROVED
BOARD OF COMMISSIONERS**
September 10, 2020

NOTES:

- All development and construction shall comply with all zoning and subdivision standards of the Town of Mint Hill, Mecklenburg County, and NCDOT, as applicable.
- This property may be subject to any easements and/or right-of-way of record.
- All areas designated as common and/or urban open space shall be owned and maintained by the homeowners association and dedicated for perpetuity.
- Access (ingress/egress) location and design shown in this sketch plan are subject to achieving vertical and horizontal sight distances, turn lane improvements (including right-of-way) and intersection with adjacent and opposing access points. Modifications to plan may result.
- Large maturing trees will be planted 40' O/C within the required planting strip along all streets with the exception of rural parkways where existing trees can satisfy the street tree requirement. Small maturing trees are to be used when overhead power lines exist.
- Mail service will be provided in clusters. Kiosk locations to be determined and coordinated with the USPS during final engineering.
- Trash service to be provided by the Town of Mint Hill for each lot.
- Direct access from lots to a thoroughfare is prohibited.
- The Build-to-line is a line extending through a lot which is generally parallel to the front property line and marks the location from which the principle vertical plane of the front building elevation, exclusive of porches, bay windows and similar appurtenances, must be erected; intended to create an even facade line on a street. The build-to-line is established on the record plat (final plat).
- BMP Access & Maintenance easements shall be provided around each BMP and recorded on a plat after construction plan approval.
- Based on the existing condition of the tree canopy, the 30' external buffer is intended to be undisturbed; however, a maximum of 15' can be disturbed on the project side of the site and replanted in accordance with the Town's Ordinance. Disturbance to be kept to a minimum.
- Fire hydrants shall be provided within 750 feet of most remote point of structure as the apparatus travels. Final hydrant locations to be approved by Charlotte Water.
- Stormwater Management/Detention provided by the proposed BMP's, located on the subject property. BMP's provided are shown for general conformance with the Town of Mint Hill Requirements. Size, shape and type of proposed BMP's provided are shown subject to change and will be finalized with details as part of final engineering/construction documents, subject to Town of Mint Hill engineering approval.
- Proposed Water Service connection shall be made to the existing Charlotte Water System watermain located along Idlewild Drive and stub ended along Hooks Road, then extend through the development connecting to the existing main on Nancy Ruth Lane.
- Proposed Sanitary Sewer connection shall be made to CLT Water Sanitary Sewer System off of Davis Trace Drive.
- Appropriate environmental permitting will be obtained thru NCDEQ for impacts to existing stream.
- Proposed Signs, Lighting & Landscaping will be designed in accordance with the Town of Mint Hill Standards and Regulations. Proposed locations will be prepared and reviewed as part of the Construction Plans.
- Proposed paths shall be 5 feet wide. Final path locations and material to be determined during final engineering. The HOA shall maintain all trails in perpetuity.
- Street trees to be maintained by Homeowners Association.
- Any sidewalk proposed outside of the Right of Way shall be placed in a permanent sidewalk easement.
- All parcels included within this project shall be voluntarily annexed into the corporate limits of the Town of Mint Hill.

SITE DATA

Tax Parcel ID: 19523101
Site Area: 7.9± Ac
Lot Area: 4.9± Ac
R/W Area: 6.9± Ac
*Reserve/BMP/Open Space Area: 1.5± Ac per 7.3.3.F.1
*Excludes 50% of required perimeter buffer (1.5± Ac) per 7.3.3.F.1
Total Site Area: 21.00± Ac (Polaris 3G)
Existing Zoning: R (Residential)
Proposed Zoning: R(CD)
Use:
The proposed development will be age restricted in accordance with the Federal Fair Housing Act's Housing for Older Persons Act (HOPA). The HOPA regulations will be incorporated into the Homeowners Association documents.
Total Units: 42
Proposed Density: 2 Lots/Ac
Proposed Building Setbacks:
Rear Yard: 15' Rear Yard Setback
Build To Line: 10' Min. Build to Line
25' Max. Build to Line
Side Yard: 7.5' Side Yard Setback
Lot Depth: 120' (min.)
Lot Width: 60' (min.) - at 10' minimum build to line
Lot Size: 0.17 ac (min.)/0.28ac (max.)/0.19 ac (average)
Provided Parking:
Inside Garage: 84
Outside Garage: 84
Mail Kiosk: 3
Total: 171 Spaces
Existing Impervious Area:
Buildings: 0.00± Ac
Pavement: 0.00± Ac
ROW: 0.40± Ac
Total Impervious Area: 0.40± Ac (0.02%)
Proposed Impervious Area:
Buildings: 3.6± Ac
Sidewalks: 0.5± Ac
Pavement: 3.0± Ac
Right-of-Way: 0.5± Ac
Path: 0.4± Ac
Total Impervious Area: 8.0± Ac (38%)
Watershed:
Goose
High Density Option
(70% Max Impervious Area)
Required: 3.15± Ac
Provided: 3.50± Ac
Undisturbed Open Space: (15%) Required but mitigation is likely needed via (grass to grass).
Required: 3.15± Ac
Provided: 3.50± Ac

VARIATIONS FROM SECTION 7.3.3

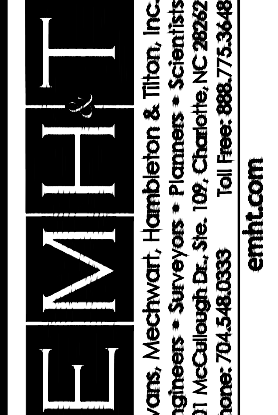
- B.2: Reduction of heated living space square footage from 1,600 to 1,500 for 1 story homes.
- B.4: Remove requirement of at least 50% of homes having brick and/or stone on all four side of homes.
- B.5: Porches to be included as part of the house.
- B.7: Removes requirement for at least 50% of homes shall have brick and/or stone on all four sides of the home. Brick or Stone skirt applicable up to a height of 18" above finished floor elevation. Homes will be constructed without chimneys, fireplaces to be natural gas.
- B.8: Mailboxes to be provided via community kiosk, approximate location shown hereon.
- B.11: Yard trees provided reduced from 2' to 1'.
- B.12: Buffer increased from 25 to 30 feet, of which 15 feet is to remain undisturbed.
- B.15: Stormwater management to utilize the existing topography to minimize clearing/grading, unless approved with final engineering plans.
- B.16: Decorative street lighting to be provided, taking place of pedestrian lighting.
- C.1: Minimum lot size reduced from 12,500 to 7,200 square feet, side setback reduced from 8 to 7.5 feet, side street setback increased from 12 to 20 feet and rear setback decreased from 30 to 15 feet.
- F.1: Wet pond to be included in open space preservation calculation.
- F.2: Walking/biking trails to be stone.
- F.4: Common open space, minimum width, reduction from 20 to 15 feet.

REVISIONS

MARK	DATE	DESCRIPTION
------	------	-------------

EPCON COMMUNITIES CAROLINAS
11020 David Taylor Drive, Suite 105
Charlotte, NC 28262
PH: 704-997-8315
Contact: Mike Davis

TOWN OF MINT HILL, MECKLENBURG COUNTY, NORTH CAROLINA
CONDITIONAL REZONING PLAN FOR
COURTYARDS AT MINT HILL
REZONING PLAN



DATE
September 03, 2020

SCALE
1" = 100'

JOB NO.
20191235

SHEET

RZ1.2

Tax Parcel ID: 19523101

Site Area:
Lot Area: 7.59 Ac
R/W Area: 2.98 Ac
*Reserve/BMP/Open Space Area: 5.70 Ac
*Excludes 50% of required perimeter buffer (Total Perimeter Buffer Area = 2.83, Area Excluded = 1.41 Ac) per 7.3.3.F.1

Total Site Area: 19.10 Ac (Survey), 21.00± Ac (Polaris 3G)

Existing Zoning: R (Residential)

Proposed Zoning: R(CD)

Use:

The proposed development will be age restricted in accordance with the Federal Fair Housing Act's Housing for Older Persons Act (HOPA). The HOPA regulations will be incorporated into the Homeowners Association documents.

Total Units: 38

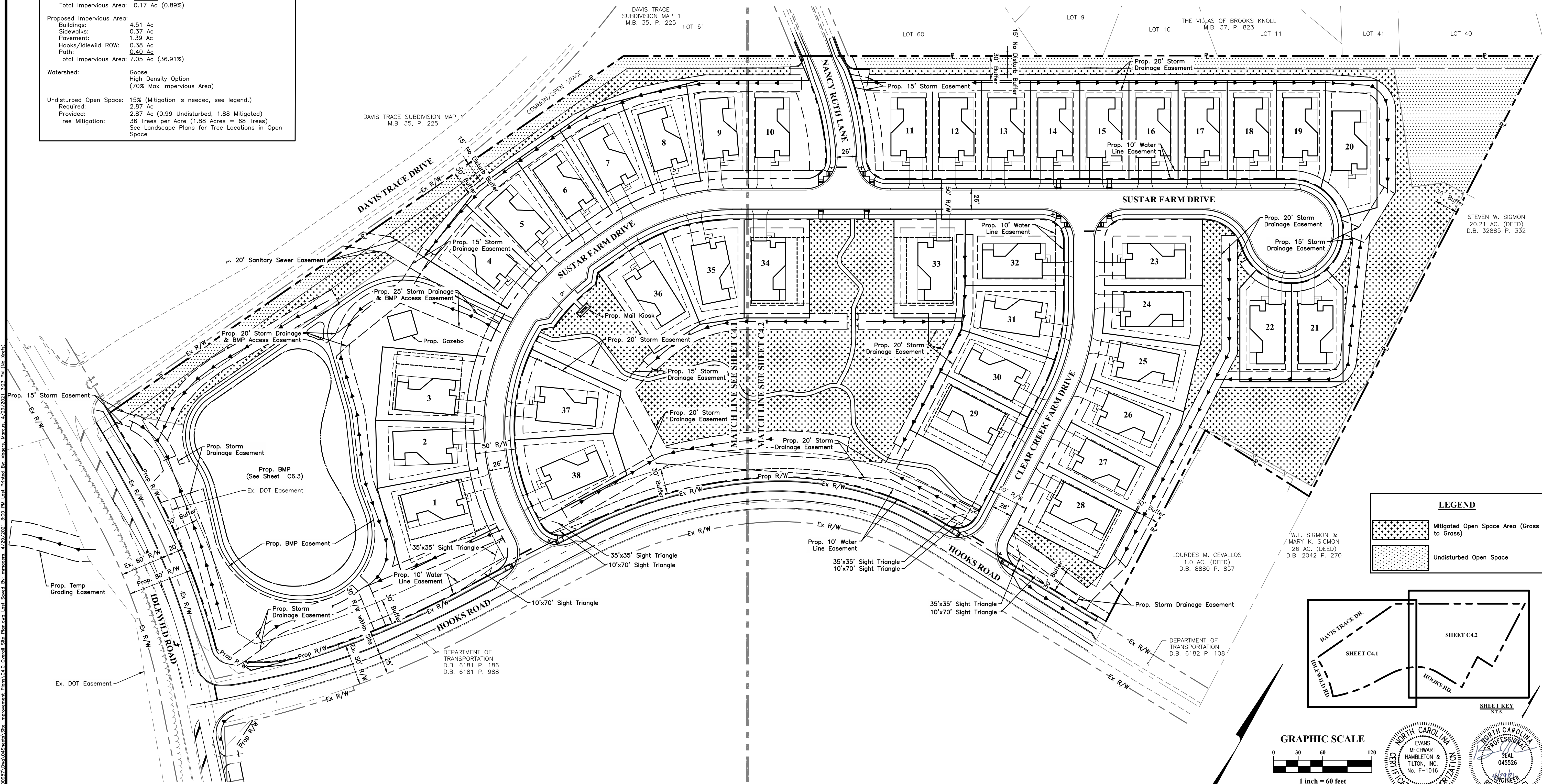
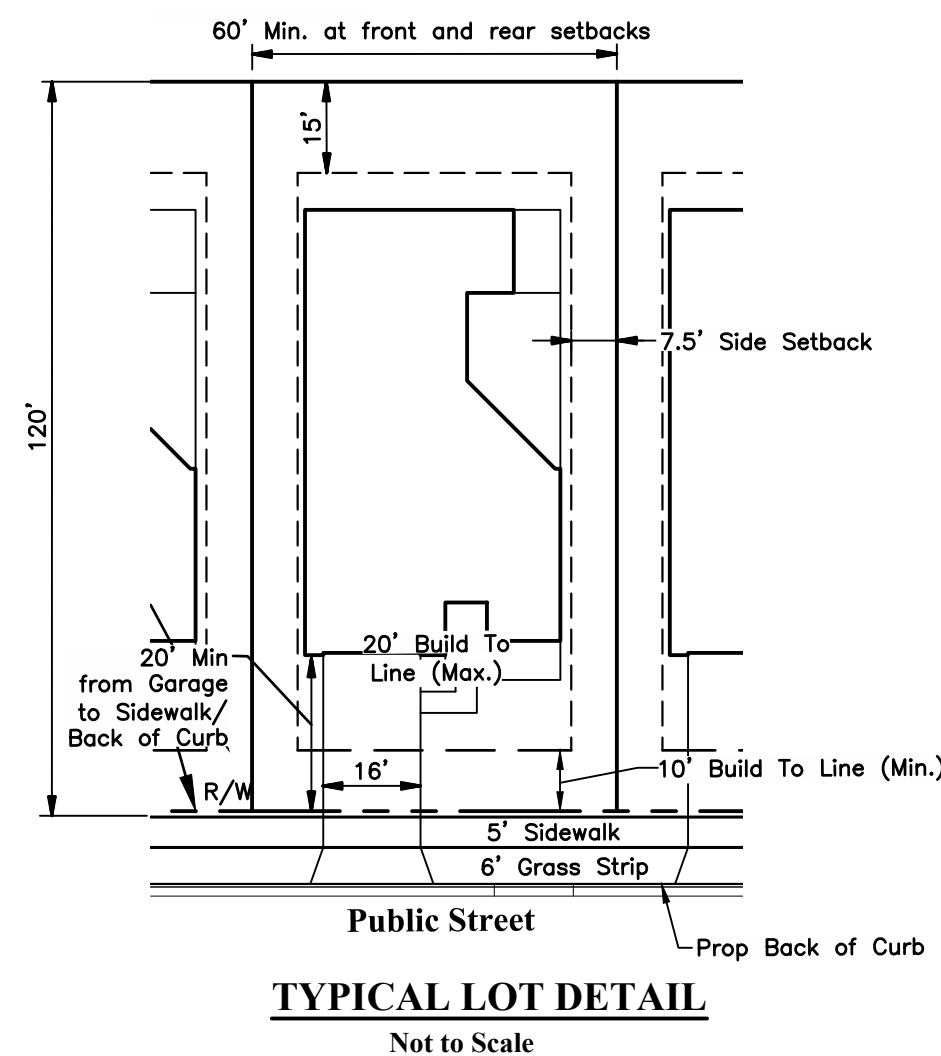
Proposed Density: 2 Lots/Ac

Proposed Building Setbacks:

Rear Yard:	15' Rear Yard Setback
Build To Line:	10' Min. Build to Line
	25' Max Build to Line
Side Yard:	75' Side Yard Setback
Lot Depth:	120' (min.)
Lot Width:	60' (min.) – at 10' minimum build to line
Lot Size:	0.17 ac (min.)/0.28ac (max.)/0.19 ac (average)

1. All development and construction shall comply with all zoning and subdivision standards of the Town of Mecklenburg County, and NCDOT, as applicable.
2. This property may be subject to any easements and/or right-of-way of record.
3. All required federal, local environmental permits and approvals will be obtained by Developer.
4. All areas designated as common and/or urban open space shall be owned and maintained by the applicant.
5. Access (ingress/egress) location and design shown on this plan area subject to achieving vertical and horizontal sight distances, turn lane improvements (including the use of roundabouts), and other adjacent and opposing access points. Modifications to plan may result.
6. Trash service to be provided by the Town of Mint Hill for each lot.
7. Mail will be provided in cluster-boxes as shown on the plans. Location of mailboxes are subject to approval by the USPS.
8. Residential Garages. Garages shall be set as depicted on this plan and as approved by building permits.
9. Building Separation. All detached principal structures shall have a minimum building separation of 11'.
10. Water Quality BMP. Financial arrangements to be made through Meck. County guaranteeing the installation and maintenance of required BMPs until the issuance of CO's for seventy-five percent (75%) of construction. Any maintenance actions anticipated to be built within the area which drains into the BMP, allowing credit for improvements to be made prior to the submission of the plot. The approval of the High Density Development Permit will be subject to developer compliance with Section 10.509 paragraph 3 of the Mecklenburg County Zoning Ordinance. Any maintenance actions including subsequent amendments, are incorporated herein.
11. Water Quality LID Maintenance. BMPs that are owned by the Property Owners Association or the owner of the lot, shall be maintained. BMPs that are owned by public land within public rights-of-way, and/or with public easements shall be maintained by the public body with ownership/jurisdiction of the subject property.
12. Occupancy Covenants. Prior to the issuance of an Occupancy Permit for any building within a permitted development served by a BMP, the applicant or owner of the BMP must provide to the Mecklenburg Maintenance Covenant approved by the Mecklenburg County Land Use and Environmental Services Agency and recorded in the Office of the Register of Deeds (a) the name of the owner of the property, (b) the owner and all subsequent owners of the property to maintain the BMP in accordance with the terms of the Covenant.
13. Direct access from lots to a thoroughfare is prohibited.
14. Water and Sanitary Sewer shall be public and designed per Charlotte Water Standards.
15. Application of this plan is not an authorization to grant off-site grading. When field conditions warrant off-site grading, permission must be obtained from the property owners.
16. All proposed streets are to be public.
17. All curb shall be valley curb & gutter unless otherwise noted.
18. All dimensions are measured to the back of curb unless noted otherwise.
19. All radius dimensions are measured to the back of curb unless noted otherwise.
20. All dimensions are to be measured otherwise noted.
21. Sight triangles shown are the minimum required.
22. No vehicles are permitted to be parked in any designated landscape areas.
23. All concrete and asphalt road crossings shall meet ADA requirements.
24. At concrete construction details, contractor shall install the joint and the construction detail.
25. All pavement eggs to be flexible asphalt pavement.

26. Fire apparatus access roads shall be designed and maintained to support the imposed loads of the apparatus of 80,000 pounds.
27. Grading shall be cut and street grades in intersection with Inspector.
28. In rolling or hilly terrains, sweeping of the stone base and/or application of a tack coat may be required to prevent rutting and cracking.
29. In order to ensure proper drainage, keep a minimum of 4% slope on the curb. These requirements shall be established by the Inspector and based on field conditions.
30. In order to ensure proper drainage, keep a minimum of 4% slope on the curb. These requirements shall be established by the Inspector and based on field conditions.
31. Handrails may be required by a representative of the Town, if warranted by field conditions.
32. Separate building permits are required for retaining walls, sidewalks, curbs, fences, enclosures, monuments, signs or other accessory structures or elements.
33. Retaining walls >4 ft (Residential) or 5 ft (Commercial) in height requires a permit from the Code Enforcement prior to construction. The engineer of record for the retaining wall(s) must certify that the wall(s) is (are) constructed to specifications prior to issuance of permit.
34. All retaining walls requiring Special Inspections >5 ft in height) shall meet the requirements of the NCSPB Chapter 17 – Special Inspections as detailed per the Mecklenburg County Code Enforcement Special Inspections Process. Construction of retaining wall(s) can begin until all necessary permits are required.
35. "As-built" drawings and plans of the storm drainage system, including designed ditches, must be submitted prior to design final inspection to the Engineering Department in accordance with the Subdivision Ordinance.
36. Grading shall be permitted within the Landscape Buffer adjacent to a driveway or driveway apron. Grading for the offsite water runoff directed to the back of proposed lots. All efforts will be made to protect existing trees, which may be affected.
37. Developer agrees to have a certified arborist analyze such situations.
38. Unit mix as shown is subject to change based on demand. Developer reserves the right to modify the building/unit configuration in all buildings as long as the unit mix and floor area, floor plans and footprints will be determined at the time of building plan submittal.
39. The Mecklenburg County engineering department has not reviewed the structural integrity of any retaining walls on the site and does not assume responsibility for them.
40. Large maturing trees will be planted 40' O/C within the required planting strip along all streets with the exception of rural parkways where existing trees can satisfy the street tree requirement. Small maturing trees are to be used when overhead power lines are present.
41. The Build-to-line is a line extending through a lot which is generally parallel to the front property line and marks the location from which the principle vertical plane of the building is to be located. The exclusive of porches, bay windows and similar appendages, must be erected; intended to create an even facade line across a street. The Build-to-line is to be marked on the record plat (final plat).
42. BMP Access & Maintenance easements shall be provided around each BMP and recorded on a plat after construction plan approval.
43. Based on the 40' extension of the tree canopy, the 30' external buffer is intended to be undisturbed; however, a maximum of 15' can be disturbed on the project side of the site and replaced in accordance with the Town's Ordinance. Disturbance to be kept to a minimum.
44. Fire hydrants shall be provided within 750 feet of most remote point of structure as the apparatus travels. Final hydrant locations to be approved by Charlotte Water.
45. Street trees to be maintained by Homeowners Association.
46. Developer is included within this project shall be voluntarily annexed into the corporate limits of the Town of Mint Hill.

[illegible]

WCON COMMUNITIES CAROLINAS
11020 David Taylor Drive, Suite 105
Charlotte, NC 28262
PH: 704.997.8315
Contact: Mike Davis

TOWN OF MINT HILL, MECKLENBURG COUNTY, NORTH CAROLINA
SITE IMPROVEMENT PLANS

FOR

COURTYARDS AT MINT HILL

OVERALL SITE PLAN

EMH_T
Evans, Mechwart, Hambleton & Tilton, Inc.
Engineers • Surveyors • Planners • Scientists
1001 McCullough Dr. Ste. 109 Charlotte, NC 28262
Phone: 704-548-0333 Toll Free: 800-775-3648
emht.com

DATE
April 29, 2021

SCALE

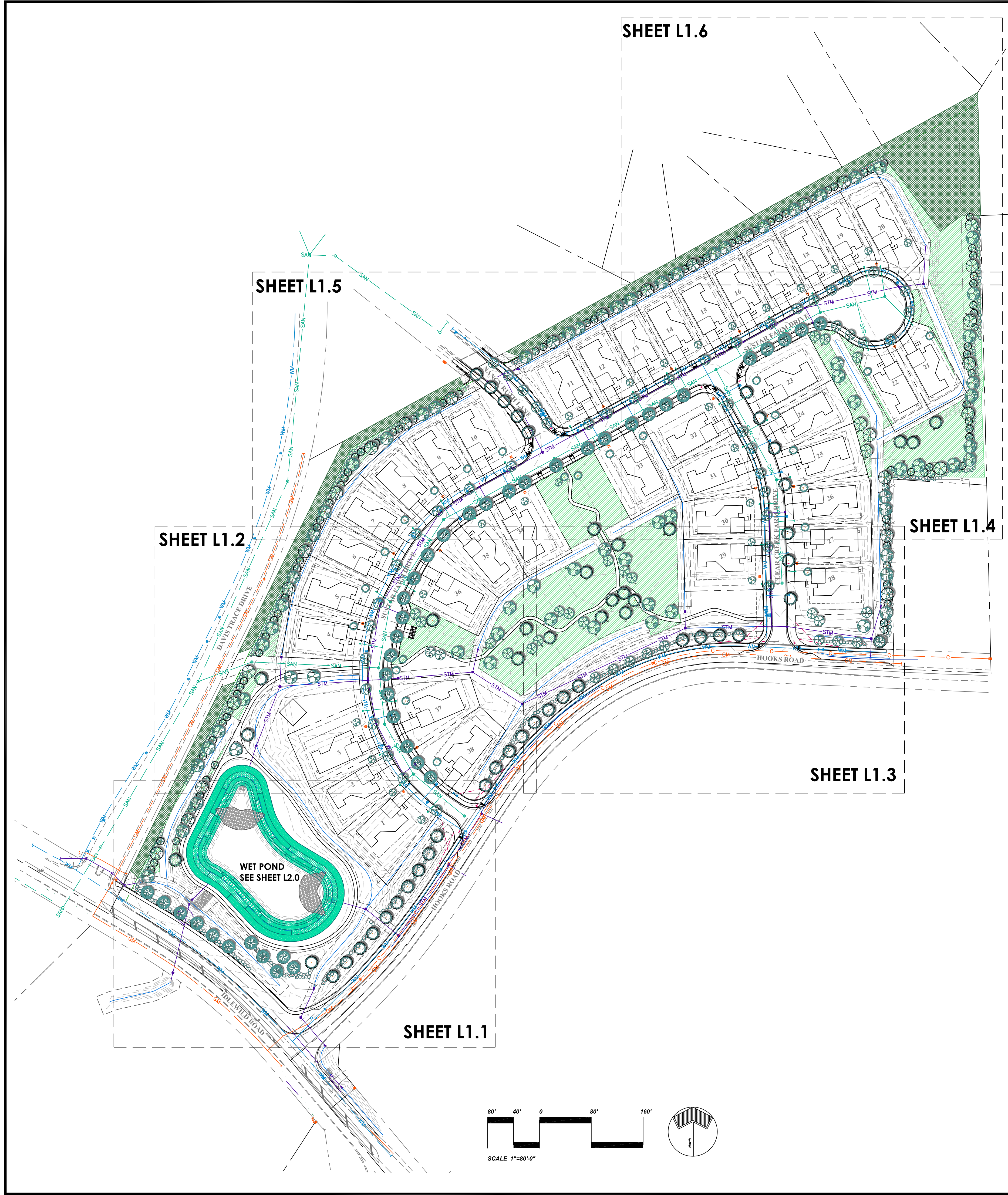
As Noted

JOB NO.
2020-0957

SHEET

C40

C:\VIZ\Projects\Epcon Mint Hill\CY MintHill LA_4-29-2021.dwg



- NOTES:**
- SEE SHEET L1.1-L1.6 FOR DETAILED PLANT SPECIES AND LOCATIONS.
 - CONTRACTOR TO VERIFY PLANT TOTALS. IF THERE IS A CONFLICT IN PLANT TOTALS BETWEEN QUANTITIES SHOWN IN THE PLANT LEGEND AND THOSE INDICATED ON THE PLANS, THE PLANT LEGEND QUANTITIES AND SUMMARY QUANTITIES SHALL TAKE PRECEDENCE.
 - PLANTS SHALL ONLY BE PLANTED FROM OCTOBER 15 - MARCH 15 UNLESS ALTERNATIVE DATES ARE ALLOWED AND APPROVED BY THE TOWN OF MINT HILL.
 - SEE CIVIL ENGINEERING DRAWINGS FOR LOCATIONS OF SITE DEVELOPMENT ELEMENTS, UTILITIES, TREE PRESERVATION AREAS, BUFFER YARDS, AND/OR OTHER REQUIRED AREAS AND EASEMENTS.
 - NO TREES ARE TO BE PLANTED WITHIN 10 FEET OF A STORM WATER INLET OR MANHOLE STRUCTURE.**
 - THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS, AND WHERE SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL ON HIS OWN INITIATIVE AND AT NO ADDITIONAL COST TO THE OWNER, HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS, OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR SHALL CONTACT **NORTH CAROLINA ONE CALL** AT **811** FOR ASSISTANCE IN LOCATING UTILITIES.
 - ENTIRE SITE SHALL BE SODDED UNLESS SPECIFIED ON THE PLAN, OR REQUESTED BY REGIONAL CONSTRUCTION MANAGER.
 - ALL DISTURBED AREAS THAT ARE NOT PLANT BEDS SHALL BE GRASS SOD OR SEED.
 - THE LANDSCAPE CONTRACTOR SHALL PERFORM FINISH GRADING TO ENSURE A SMOOTH TRANSITION BETWEEN PLANT BEDS AND LAWN AREAS.
 - ALL PLANTING AND LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT TOWN STANDARDS.

- TOWN OF MINT HILL LANDSCAPE NOTES:**
- ALL LANDSCAPE INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 6.4 OF THE TOWN UNIFIED DEVELOPMENT ORDINANCE.
 - BUFFERS SHALL RETAIN EXISTING TREES WHENEVER POSSIBLE AND SHALL REMAIN UNDISTURBED.
 - BUFFERS SHALL BE SUPPLEMENTED WITH NEW SHRUBS AND TREES WHEREVER EXISTING IS NOT SUFFICIENT.
 - PER APPROVED REZONING PLAN, YARD TREES SHALL BE REDUCED FROM 2 TO 1.
 - OPEN SPACE MITIGATION: IN ACCORDANCE WITH U.D.O. SECTION 6.8.4, (405) UNDISTURBED OPEN SPACE MITIGATION (C), (1), (c), 36 TREES PER ACRE SHALL BE PLANTED FOR ANY DEFICIENT OF UNDISTURBED OPEN SPACE. THERE IS APPROXIMATELY 1.88 ACRES OF DEFICIENT OPEN SPACE (SEE CIVIL DRAWINGS) WHICH EQUATES TO 68 TREES FOR MITIGATION. MITIGATION TREES ARE INDICATED AS 'M', AND SHOWN ON SHEETS L1.1-L1.6.**
 - SEE SHEETS L2.0-L2.2 FOR WET POND PLANTING PLANS, SPECS, AND DETAIL.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	CF	<i>Cercis canadensis</i> `Forest Pansy` TM	Forest Pansy Redbud	8` Ht.	37
	CA	<i>Cornus kousa</i> `Autumn Rose`	Kousa Dogwood	8` Ht.	56
	MP	<i>Magnolia x soulangeana</i> `Purpurea`	Purple Saucer Magnolia	8` Ht.	23
	PK	<i>Pistacia chinensis</i> `Keith Davey`	Keith Davey Chinese Pistache	2.5" Cal.	73
	PO	<i>Platanus occidentalis</i>	American Sycamore	2.5" Cal.	30
	PT	<i>Prunus cerasifera</i> `Thundercloud`	Thundercloud Purpleleaf Plum	8` Ht.	23
	QH	<i>Quercus lyrata</i> `QLFTB` TM	Highbeam Overcup Oak	2.5" Cal.	68
	UB	<i>Ulmus parvifolia</i> `UPMTF` TM	Bosque Lacebark Elm	2.5" Cal.	40
	ZV	<i>Zelkova serrata</i> `Village Green`	Sawleaf Zelkova	2.5" Cal.	55
	IC	<i>Ilex x `Conaf` TM</i>	Oak Leaf Red Holly	3` Ht.	239
	JH	<i>Juniperus chinensis</i> `Hetzii Columnaris`	Hetzzi Column Juniper	3` Ht.	241
	OF	<i>Osmanthus fragrans</i>	Sweet Olive	3` Ht.	235

- OPEN SPACE MITIGATION NOTES:**
- 1.88 ACRES OF DEFICIENT OPEN SPACE EQUATES TO 68 TREES FOR MITIGATION (SEE NOTE #5 ABOVE).
 - MITIGATION TREES ARE INDICATED AS 'M', AND SHOWN ON SHEETS L1.1-L1.6.

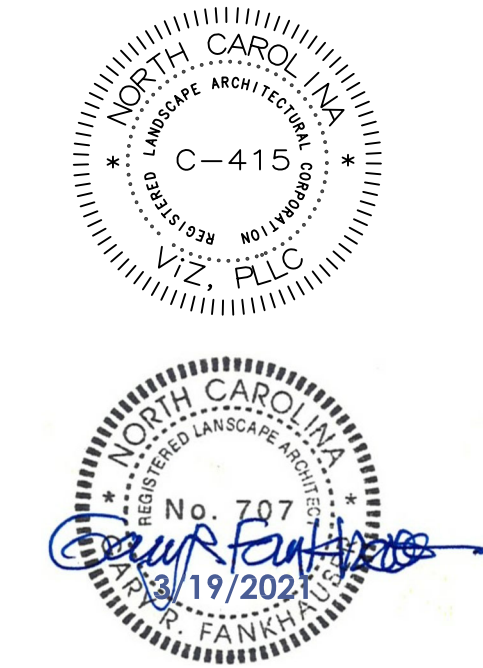
	UNDISTURBED OPEN SPACE
	MITIGATED OPEN SPACE



**Courtyards at
Mint Hill**
Mint Hill, NC



REV. #	DATE	DESCRIPTION
1	3/19/2021	TOWN/COUNTY REVIEW COMMENTS
2	4/29/2021	SITE ADJUSTMENTS



DATE: 1/15/2021
SCALE: AS SHOWN
JOB NUMBER: 20-48.1
DESIGNED BY: GRF
DRAWN BY: GRF

SHEET TITLE:
**OVERALL PLANTING
AND KEY PLAN**

L1.0