



Memphis Housing Authority
Capital Improvements Department
700 Adams Avenue, Room 107
Memphis, Tennessee 38105-5029

ADDENDUM NO. 1
Issued: June 1, 2021

This addendum shall become and form a part of the following solicitation:

Solicitation #CI 21 B 00608

**Renovation of MHA High Rise Dwelling Units at Barry Towers,
Venson Center, Jefferson Square and Borda Towers, Memphis, TN**

TO ALL POTENTIAL OFFERORS:

This Addendum, including all articles and corrections listed below, shall become a part of the original solicitation package, and shall be considered in preparing your proposals.

To ensure that all firms are given an equal opportunity to submit a competitive bid, copies of the Pre- Bid Conference meeting minutes, vendor's questions and responses and clarifications regarding Solicitation # CI 21 B 00608 for Renovation of MHA High Rise Dwelling Units at Barry Towers, Venson Center, Jefferson Square and Borda Towers, Memphis, TN are included herein.

Please acknowledge receipt of this addendum by signing, dating, and including a copy of this addendum cover sheet in your proposal.

Name of Firm: _____

Signature: _____ Date: _____

Title: _____

MEETING MINUTES

Dates: May 4, 2021, 3 p.m. and May 11, 2021, 11 a.m.

To: All Potential Offerors & Meeting Attendees (as listed below)

From: Kelitia Dickson, Senior Project Manager, MHA Capital Improvements

RE: Pre-Bid Conference

Solicitation # CI 21 B 00606: Renovation, Improvements and Repairs for Memphis Housing Authority High Rise Units, Memphis, TN

CC: David Walker, DW	Contracting Officer, MHA
Taylor Coleman, TC	Architect/Project Manager, Allen and Hoshall
Kelitia Dickson, KD	Senior Project Manager, MHA
Kevin Pilate, KP	Project Manager, MHA
Michael Swindle, MS	Director, MHA

Two Pre- Bid Meetings were held at the Memphis Housing Authority Central Office in room 216 on Tuesday, May 4, 2021 at 3 p.m. and Tuesday, May 11, 2021 at 11:00 A.M. regarding Solicitation No. CI 21 B 00608 for the Renovation of MHA High Rise Dwelling Units at Barry Towers, Venson Center, Jefferson Square and Borda Towers, Memphis TN.

KD instructed all attendees to sign the meeting attendance sheet.

Meeting Attendees were as follows:

See attached Attendee Sign In Sheets

The following items were discussed in the Pre-Bid and are listed as follows:

KD: Welcome and Introductions

KD: Instructed attendees to sign the sign in sheet legibly.

TC: Scope of Work overview by Allen and Hoshall. Scope of work includes high rise dwelling units at Barry Tower, Venson Center, Borda Towers and Jefferson Square. Demolition has been completed in each dwelling unit. Renovation work will involve repair/replacement of metal studs, drywall repair and/or replacement, interior door replacement, the installation of new flooring, bathroom and kitchen finishes, the changing of light switches and receptacles, etc.

KD instructed bidders to hold questions till the end.

KD discussed and explained the MHA Bid Process to Attendees.

KD explained that any questions and/or responses given in today's meetings are not binding and encouraged potential bidders to send all questions in writing.

KD discussed and explained the bid form and answered questions from attendees regarding the bid form.

KD discussed mandatory submittals, required documents for bid submission.

- Legal Notice
- Invitation for Bid
- Bid Form
- Bid Bond
- Representations, Certifications and Other Statements of Bidders
- Previous Participation Certification
- Qualifications Questionnaire.
- Non collusion Affidavit Certification
- Debarment or Suspension Certification
- Equal Opportunity Employer Certification
- Drug Free Workplace Certification

DW discussed and explained the HUD Section 3 Program

KD discussed the HUD 5370 General Conditions for Construction Contracts

KD discussed the following.

- Form of Contract
- Special Conditions
- Weather Delays
- Davis Bacon Wage Rates
- HUD 51000 Documents for Payments
- Certified Payroll Requirements
- Special Conditions
 - Working hours
 - Weather delays
 - MHA Holiday Schedule

KD discussed the following project closeout documents.

- Certificate and Release of Lien
- Waiver and Release of Lien

KD reviewed and discussed the Division 1 Specifications.

Meetings adjourned at 3:21 p.m. and 11:45 a.m.

REVISIONS:

- 1. SEE THE ATTACHED REVISED BID FORM**
- 2. SEE THE ATTACHED REVISED DRAWINGS**
 - a. SHEET A1.1**
 - b. SHEET A1.2**
 - c. SHEET A1.3**
 - d. SHEET A1.4**
 - e. SHEET A1.6**
 - f. SHEET A2.2**
 - g. SHEET A2.3**
 - h. SHEET A2.4**
 - i. SHEET A2.5**

- j. SHEET A2.6
- k. SHEET A4.4

CLARIFICATIONS:

1. **BIDS WILL BE RECEIVED FOR THIS PROJECT ON JUNE 8, 2021 UNTIL 2 P.M. AT THE OFFICES OF THE MEMPHIS HOUSING AUTHORITY, 700 ADAMS AVENUE, MEMPHIS, TN AT WHICH TIME AND PLACE ALL BIDS WILL BE PUBLICLY OPENED AND READ ALOUD.**
2. **MHA follows the Tennessee State Code for Contractors bidding on Invitation for Bid (IFB) Projects**
 - a. **REFERENCE Tenn. Code Ann. § 62-6-119**
3. **MHA strives for 30 percent minority participation in all projects. We encourage the tracking of this participation during the bidding process on the forms listed below.**
 - a. **MBE/WBE FORMS ARE ATTACHED.**

QUESTIONS FROM POTENTIAL BIDDERS:

1. General Notes: 17 regarding grounding: If no grounding is found is there an allowance for this work in non-gutted units?

RESPONSE: Refer to the revised attached bid forms.

2. A1.2 Plan note 6: Remove all shelving, shelving accessories and hanging rod. The units we reviewed for examples, retained existing shelving.

RESPONSE: Existing shelving and hanger rods will be replaced in these units per drawings.

3. A1.2 Plan note 13: Please confirm this whole note only applies to unit 1415.

RESPONSE: This note in its entirety applies only to unit 1415.

4. A1.3 Plan note 4: Is there an allowance for if the duct work is not in adequate shape for connection?

REPNSE: Remove existing damper from hood exhaust duct. Provide and install new vent hood. Extend new 8” ductwork from new vent hood to existing ductwork in chase. Provide and install new two position damper in ductwork and interlock with hood to open when hood is on and close when hood is off.

All parameters listed above shall be included in the base bid amount.

REFER TO SHEET A1.3.

5. A2.6 Detail 5: indicates Existing shelves to be painted. All other notes indicate removal of shelves and replace with new. Please clarify.

RESPONSE: Shelves and supports will be new.

6. Please clarify the units which are in the scope of work:
 - a. Berry:
 - i. 912, 1014 – listed on bid, not on plans
 - ii. 1213, 1212,912,901,904,905 – listed on plans not bid form
 - b. Venson
 - i. 811,415 – listed on bid forum, not on plans
 - ii. 805 – listed on plans but not bid form.

RESPONSE: Please refer to the revised attached bid form and plan unit listing.

7. Per Sheet A1.6: notes to reinstall existing PTAC units
 - a. In our walk through, it appears some PTAC's were missing, or don't appear to be in working order. Please advise.

RESPONSE: Missing/non-functional PTAC Units shall be owner furnished and owner installed.

END OF ADDENDUM #2

**PRE-BID CONFERENCE
SOLICITATION CI 21 B 00608
RENOVATION, IMPROVEMENTS AND REPAIR
BARRY TOWERS AND VENSON CENTER
SIGN IN SHEET**

May 4, 2021
3:00 p.m.

Print Name (DO NOT SIGN)	Name of Firm & Email Address	Phone Number
Kelitia Dickson <i>KD</i>	Memphis Housing Authority kdickson@memphisha.org	901.544.1311 901.337.2231
David Walker <i>DW</i>	Memphis Housing Authority dwalker@memphisha.org	901.544.1298
Michael Swindle	Memphis Housing Authority mswindle@memphisha.org	901.544.1804
Kevin Pilate <i>KP</i>	Memphis Housing Authority kpilate@memphisha.org	901.544.1882
<i>CHRIS COLLINS</i>	<i>PATTON TAYLOR ENT. chris@pattontaylor.com</i>	

**PRE-BID CONFERENCE
SOLICITATION CI 21 B 00608
RENOVATION, IMPROVEMENTS AND REPAIR
BARRY TOWERS AND VENSON CENTER
SIGN IN SHEET**

May 11, 2021

11:00 a.m.

Print Name (DO NOT SIGN)	Name of Firm & Email Address	Phone Number
<i>KD</i> Kelitia Dickson	Memphis Housing Authority kdickson@memphisha.org	901.544.1134 901.337.2231
David Walker <i>DW</i>	Memphis Housing Authority dwalker@memphisha.org	901.544.1298
Michael Swindle	Memphis Housing Authority mswindle@memphisha.org	901.544.1804
<i>KP</i> Kevin Pilate	Memphis Housing Authority kpilate@memphisha.org	901.544.1882
<i>Dionisto Torres</i>	<i>Mallard Construction</i> <i>dt@mallardconstruction.com</i>	<i>956-645-1557</i>
<i>Gina Cummings</i>	<i>C Foster Const</i> <i>carlo@cfosterconstruction.com</i>	
<i>Troy Houbt Ham</i>	<i>PATTON & TAYLOR</i> <i>troy@pattontaylor.com</i>	<i>901-289-5542</i>
<i>Ferris Mogy</i>	<i>Pattson & Taylor</i> <i>Ferris@pattontaylor.com</i>	<i>901-634-0762</i>
<i>Taylor Coleman</i>	<i>AUEN & HOSHALL</i> <i>Tcoleman@AuenHoshall.com</i>	<i>901.820.0820</i>

**MEMPHIS HOUSING AUTHORITY
PUBLIC HOUSING OPERATIONS
PRE-BID MEETING AGENDA
May 11, 2021, 11:00 a.m.
FOR
RENOVATION, IMPROVEMENTS AND REPAIRS
FOR
BARRY TOWERS AND VENSON CENTER
SOLICITATION CI 21 B 00608**

- Attendance Sign-In Sheet
- Welcome and Introductions
- Review Scope of Work
- Review of Bid Process
 - Bid Schedule
 - Bid Submission
 - Apparent Low Bidder
- **Review of Mandatory Submittals**
 - Bid Form and Bid Bond
 - ✓ Construction Days
 - ✓ Liquidated Damages
 - Performance and Payment Bond
 - Liquidated Damages
 - Representations, Certifications and Other Statements of Bidders Form [HUD 5369 A]
 - Instructions and Previous Participation Certification [HUD Form 2530]
 - Previous Participation Certification
 - Qualifications Questionnaire
 - Non-Collusion Affidavit
 - Equal Opportunity Certification
 - Drug Free Workplace Certification
 - Debarment and Suspension Certificate
 - General Conditions [HUD 5370]
 - Form of Contract
 - Special Conditions
 - ✓ Work Week
 - ✓ MHA Holidays and Office Closures
 - Weather Delays
 - ✓ Standard Baseline
 - ✓ Extension of Contract Time
 - ✓ Proper Reporting
 - **MHA Section 3 Program**
 - ✓ MHA Section 3 Program Guidelines
 - ✓ Section 3 Business Concern Self Certification and Action Plan
 - ✓ MBE/WBE Bid Data Form/ Participation Report
 - ✓ Monthly MBE/WBE Utilization Report
 - **Closeout Documents**
 - ✓ Certificate and Release Form
 - ✓ Waiver and Release of Lien

LIST OF PROPOSED MBE/ WBE SUBCONTRACTORS AND SUBCONSULTANTS

The undersigned Offeror/Bidder proposes to subcontract with the following Minority-Owned Business Enterprises (MBE) or Women-Owned Business Enterprises (WBE) for this project. The Offeror/Bidder acknowledges that all MBEs and WBEs are to be listed on this form regardless of their subcontracting tier.

Business Name: _____

Address: _____

Type of Service(s): _____

Contact Name: _____

Contract Amount: _____ Percent of Project: _____

_____ MBE _____ WBE _____ Subcontractor _____ Supplier

Business Name: _____

Address: _____

Type of Service(s): _____

Contact Name: _____

Contract Amount: _____ Percent of Project: _____

_____ MBE _____ WBE _____ Subcontractor _____ Supplier

Business Name: _____

Address: _____

Type of Service(s): _____

Contact Name: _____

Contract Amount: _____ Percent of Project: _____

_____ MBE _____ WBE _____ Subcontractor _____ Supplier

Business Name: _____

Address: _____

Type of Service(s): _____

Contact Name: _____

Contract Amount: _____ Percent of Project: _____

_____ MBE _____ WBE _____ Subcontractor _____ Supplier

REVISED FOR ADDENDUM 1
BID FORM - PHASE A
BARRY TOWERS
MEMPHIS, TN

Memphis Housing Authority
700 Adams Avenue
Memphis, Tennessee 38105

RE: Renovation, Improvements and Repairs for Memphis Housing Authority High Rise Units Phase A - Barry Towers, Memphis, TN

To all prospective bidders:

The undersigned have familiarized himself/herself/themselves with the local conditions affecting the cost of the work, and with the Contract Documents which are on file in the office of the Memphis Housing Authority, hereby proposes to furnish all labor, materials, equipment and services required to undertake the above referenced project in accordance with the Contract Documents. **Please note MHA reserves the right to not award a contract for this solicitation. MHA also reserves the right to award the contract in its entirety or partially to one or more bidders.**

Having become completely familiar with local conditions affecting the cost of work at the place where work is to be executed, and having carefully examined the specifications for such work and other related "Contract Documents" entitled Solicitation # CI 21 B 00601: Renovation, Improvements and Repairs for Memphis Housing Authority High Rise Units Phase A – Barry Towers, Memphis, TN the undersigned hereby proposes and agrees to provide all services, labor, and materials required by them to execute all of the work described by the aforementioned documents for a lump sum price.

ALLOWANCES: All unused allowances shall be deducted from the contract value at the end of the project. Work performed without authorization from the owner will not be acknowledged as extra work. Therefore, a change request for such work will not be considered. Instructions and specified materials in the Construction Documents shall be applicable toward all authorized allowance work. All allowances shall include general conditions, bonds, permits, overhead profit, all direct and indirect costs, etc. The Contractor is to include a \$50,000.00 (fifty thousand dollar) General Allowance amount in the Base Bid for construction services for unforeseen conditions not covered in the Contract Documents.

UNIT PRICES: The unit price is an amount proposed by bidders, as per unit price per unit of measurement for materials or services added to or deducted from the Contract Sum by appropriate modification, if the estimated quantities of Work required by the Contract Documents increased or decreased. Unit costs shall include all direct and indirect costs necessary to complete the unit of work. Therefore, if necessary, to complete the work, the unit cost shall include, but is not limited to; labor, material, equipment, supervision, GC&P, permitting fees, removal of unwanted materials and transportation.

Bidding Documents

Solicitation CI 21 B 00608

Renovation, Improvements and Repairs to

MHA High Rise Units, Memphis, TN

June 2021

BASE BID: Renovation, Improvements and Repairs for MHA High Rise Units –Barry Towers - (See project manual and construction drawings for the detailed scope of work.) including but not limited to installation of kitchen and bathroom plumbing fixtures and components, vent hoods, cabinets, flooring, drywall, painting, ceramic tile, lighting and electrical components, and doors, etc. All costs shall include all direct and indirect costs, general conditions, profit, bonds and permits.

1. GC, Bonds, Permits, Overhead and Profit, etc: \$ _____

2. General Allowance: \$50,000 _____

3. Mobilization: _____

BARRY TOWERS UNIT NUMBERS AND BEDROOM SIZES

4. Unit 1415 (0 Bedroom): _____

5. Unit 1304 (1 Bedroom): _____

6. Unit 1303 (1 Bedroom): _____

7. Unit 1214 (0 Bedroom): _____

8. Unit 1213 (0 Bedroom): _____

9. Unit 1212 (0 Bedroom): _____

10. Unit 1115 (0 Bedroom): _____

11. Unit 1113 (0 Bedroom): _____

12. Unit 1111 (0 Bedroom): _____

13. Unit 1102 (1 Bedroom): _____

14. Unit 1101 (1 Bedroom): _____

Bidding Documents

Solicitation CI 21 B 00608

Renovation, Improvements and Repairs to
MHA High Rise Units, Memphis, TN

June 2021

15. Unit 1015 (0 Bedroom): _____

16. Unit 1013 (0 Bedroom): _____

17. Unit 1012 (0 Bedroom): _____

18. Unit 1002 (1 Bedroom): _____

19. Unit 1001 (1 Bedroom): _____

20. Unit 915 (0 Bedroom): _____

21. Unit 914 (0 Bedroom): _____

22. Unit 912 (0 Bedroom): _____

23. Unit 905 (1 Bedroom): _____

24. Unit 904 (1 Bedroom): _____

25. Unit 902 (1 Bedroom): _____

26. Unit 901 (1 Bedroom): _____

27. Unit 811 (0 Bedroom): _____

28. Unit 805 (1 Bedroom): _____

29. Unit 804 (1 Bedroom): _____

30. Unit 711 (0 Bedroom): _____

31. Unit 705 (1 Bedroom): _____

32. Unit 704 (1 Bedroom): _____

33. Unit 611 (0 Bedroom): _____

Bidding Documents

Solicitation CI 21 B 00608

Renovation, Improvements and Repairs to
MHA High Rise Units, Memphis, TN

June 2021

34. Unit 605 (1 Bedroom): _____

35. Unit 604 (1 Bedroom): _____

36. Unit 515 (0 Bedroom): _____

37. Unit 514 (1 Bedroom): _____

38. Unit 511 (0 Bedroom): _____

39. Unit 505 (1 Bedroom): _____

40. Unit 504 (1 Bedroom): _____

41. Unit 501 (1 Bedroom): _____

42. Unit 415 (0 Bedroom): _____

43. Unit 414 (0 Bedroom): _____

44. Unit 411 (0 Bedroom): _____

45. Unit 405 (1 Bedroom): _____

46. Unit 404 (1 Bedroom): _____

47. Unit 401 (1 Bedroom): _____

48. Unit 315 (0 Bedroom): _____

49. Unit 314 (0 Bedroom): _____

50. Unit 311 (0 Bedroom): _____

51. Unit 305 (1 Bedroom): _____

52. Unit 304 (1 Bedroom): _____

53. Unit 301 (1 Bedroom): _____

Bidding Documents

Solicitation CI 21 B 00608

Renovation, Improvements and Repairs to
MHA High Rise Units, Memphis, TN

June 2021

54. Unit 215 (0 Bedroom): _____

55. Unit 214 (0 Bedroom): _____

56. Unit 211 (0 Bedroom): _____

57. Unit 205 (1 Bedroom): _____

58. Unit 204 (1 Bedroom): _____

59. Unit 201 (1 Bedroom): _____

60. Unit 103 (1 Bedroom): _____

ALLOWANCES FOR PHASE A					
ITEM #	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL PER ITEM
1	Drywall Replacement	SQ.FT.	28,000	\$ _____	\$ _____
2	Interior Door Replacement	Each	25	\$ _____	\$ _____
3	Framing Replacement	LF	500	\$ _____	\$ _____
4	Sink Replacement	Each	10	\$ _____	\$ _____
5	Door Frame Replacement	Each	15	\$ _____	\$ _____
7	Grounding for Receptacles (Barry Towers)	LS	1	\$6,500.00	\$6,500.00

BASE BID TOTAL

\$ _____

(Sum of Base Bid, All Allowances , General Conditions and Mobilization)

Bidding Documents

Solicitation CI 21 B 00608

Renovation, Improvements and Repairs to
MHA High Rise Units, Memphis, TN

June 2021

Bid Guarantee in the sum of _____ dollars

(\$ _____)

in the form of _____

is submitted herewith in accordance with the Instructions to Bidders.

The undersigned acknowledges the receipt of the following Addenda and has included them in this bid.

NOTICE TO PROCEED

The undersigned agrees to commence actual work on the site with an adequate force & equipment within seven [7] business days of the date of “Notice to Proceed.”

CONSTRUCTION TIME

The undersigned agrees to complete all of the work described by the aforementioned “Contract Documents” by **the time as listed below.**

Phase A - Barry Tower: Two Hundred Forty [240] consecutive calendar days (Monday – Friday) from the Notice to Proceed.

LIQUIDATED DAMAGES

The undersigned agrees to pay, as liquidated damages, the sum of **three hundred dollars and zero cents (\$300.00)** per day for work per day per uncompleted contracting beginning day one after completion date.

PERFORMANCE & PAYMENT BOND

For bids greater than \$25,000.00, upon receipt of a written acceptance of this bid, Bidder shall deliver performance & payment bond in accordance to HUD 5369 [10/02], “Instructions to Bidders for Contracts, Public & Indian Housing Programs, page 3, clause 10.

BID BOND

For bids greater than \$25,000.00, the bid bond or security attached in the sum of _____ dollars [\$ _____] is to become the property of the Owner in the event of the Contract and bond are not executed with the time set forth, as liquidated damages for the delay and additional expense to the Owner, who is entitled to the difference between the amount of this bid and the amount for which a contract for the work is subsequently executed. The check shall be made payable to the Memphis Housing Authority.

PAYMENT

Bidding Documents

Solicitation CI 21 B 00608

Renovation, Improvements and Repairs to
MHA High Rise Units, Memphis, TN

June 2021

Payment at the lump sum price bid herein shall include replacement of identified damaged components within the plumbing chase wall per the scope of work. Additional items included herewith as appurtenant and incidental to these work items are all ancillary items associated with said work.

SUBMITTED BY: _____ DATE: _____
[Signature]

NAME & TITLE: _____
[Please print]

REVISED FOR ADDENDUM 1
BID FORM - PHASE B
VENSON CENTER, JEFFERSON SQUARE, BORDA TOWERS
MEMPHIS, TN

Memphis Housing Authority
700 Adams Avenue
Memphis, Tennessee 38105

RE: Renovation, Improvements and Repairs for Memphis Housing Authority High Rise Units Phase B - Venson Center, Jefferson Square, Borda Towers, Memphis, TN

To all prospective bidders:

The undersigned have familiarized himself/herself/themselves with the local conditions affecting the cost of the work, and with the Contract Documents which are on file in the office of the Memphis Housing Authority, hereby proposes to furnish all labor, materials, equipment and services required to undertake the above referenced project in accordance with the Contract Documents. **Please note MHA reserves the right to not award a contract for this solicitation. MHA also reserves the right to award the contract in its entirety or partially to one or more bidders.**

Having become completely familiar with local conditions affecting the cost of work at the place where work is to be executed, and having carefully examined the specifications for such work and other related "Contract Documents" entitled Solicitation # CI 21 B 00601: Renovation, Improvements and Repairs for Memphis Housing Authority High Rise Units Phase B - Venson Center, Jefferson Square, Borda Towers, Memphis, TN the undersigned hereby proposes and agrees to provide all services, labor, and materials required by them to execute all of the work described by the aforementioned documents for a lump sum price.

ALLOWANCES: All unused allowances shall be deducted from the contract value at the end of the project. Work performed without authorization from the owner will not be acknowledged as extra work. Therefore, a change request for such work will not be considered. Instructions and specified materials in the Construction Documents shall be applicable toward all authorized allowance work. All allowances shall include general conditions, bonds, permits, overhead profit, all direct and indirect costs, etc. The Contractor is to include a \$50,000.00 (fifty thousand dollar) General Allowance amount in the Base Bid for construction services for unforeseen conditions not covered in the Contract Documents.

UNIT PRICES: The unit price is an amount proposed by bidders, as per unit price per unit of measurement for materials or services added to or deducted from the Contract Sum by appropriate modification, if the estimated quantities of Work required by the Contract Documents increased or decreased. Unit costs shall include all direct and indirect costs necessary to complete the unit of work. Therefore, if necessary, to complete the work, the unit cost shall include, but is not limited to; labor, material, equipment, supervision, GC&P, permitting fees, removal of unwanted materials and transportation.

Bidding Documents

Solicitation CI 21 B 00608

Renovation, Improvements and Repairs to
MHA High Rise Units, Memphis, TN

June 2021

BASE BID: Renovation, Improvements and Repairs for MHA High Rise Units – Venson Center, Jefferson Square, Borda Towers - (See project manual and construction drawings for the detailed scope of work.) including but not limited to installation of kitchen and bathroom plumbing fixtures and components, vent hoods, cabinets, flooring and, drywall, painting, ceramic tile, lighting and electrical components, and doors, etc. All costs shall include all direct and indirect costs, general conditions, profit, bonds and permits.

1. GC, Bonds, Permits, Overhead and Profit, etc.: \$ _____
2. General Allowance: \$50,000 _____
3. Mobilization (Venson): _____
4. Mobilization (Jefferson): _____
5. Mobilization (Borda): _____

VENSON CENTER UNIT NUMBERS AND BEDROOM SIZES

6. Unit 1021 (1 Bedroom): _____
7. Unit 1019 (0 Bedroom): _____
8. Unit 1018 (0 Bedroom): _____
9. Unit 1013 (1 Bedroom): _____
10. Unit 1012 (1 Bedroom): _____
11. Unit 919 (0 Bedroom): _____
12. Unit 913 (0 Bedroom): _____
13. Unit 911 (1 Bedroom): _____
14. Unit 821 (1 Bedroom): _____

Bidding Documents

Solicitation CI 21 B 00608

Renovation, Improvements and Repairs to
MHA High Rise Units, Memphis, TN

June 2021

15. Unit 817 (0 Bedroom): _____

16. Unit 811 (1 Bedroom): _____

17. Unit 716 (0 Bedroom): _____

18. Unit 705 (0 Bedroom): _____

19. Unit 521 (1 Bedroom): _____

20. Unit 519 (0 Bedroom): _____

21. Unit 517 (0 Bedroom): _____

22. Unit 514 (0 Bedroom): _____

23. Unit 513 (1 Bedroom): _____

24. Unit 421 (1 Bedroom): _____

25. Unit 417 (0 Bedroom): _____

26. Unit 415 (0 Bedroom): _____

27. Unit 319 (0 Bedroom): _____

28. Unit 217 (0 Bedroom): _____

29. Unit 216 (0 Bedroom): _____

30. Unit 215 (0 Bedroom): _____

31. Unit 214 (0 Bedroom): _____

Bidding Documents

Solicitation CI 21 B 00608

Renovation, Improvements and Repairs to
MHA High Rise Units, Memphis, TN

June 2021

32. Unit 102 (1 Bedroom): _____

JEFFERSON SQUARE UNIT NUMBERS AND BEDROOM SIZES

33. Unit 715 (0 Bedroom): _____

BORDA TOWERS UNIT NUMBERS AND BEDROOM SIZES

34. Unit 1312 (0 Bedroom): _____

35. Unit 101 (2 Bedroom): _____

ALLOWANCES FOR PHASE B					
ITEM #	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT COST	TOTAL PER ITEM
1	Drywall Replacement (Venson Center Only)	SQ.FT.	12,000	\$ _____	\$ _____
2	Interior Door Replacement (Venson Center Only)	Each	10	\$ _____	\$ _____
3	Framing Replacement (Venson Center Only)	LF	250	\$ _____	\$ _____
4	Sink Replacement (Venson Center Only)	Each	5	\$ _____	\$ _____
5	Door Frame Replacement (Venson Center Only)	Each	10	\$ _____	\$ _____
7	Grounding for Receptacles (Venson Center)	LS	1	\$3,500.00	\$3,500.00
8	Grounding for Receptacles (Borda Towers)	LS	1	\$1,000.00	\$1,000.00
9	Grounding for Receptacles (Jefferson Square)	LS	1	\$1,000.00	\$1,000.00

BASE BID TOTAL:

\$ _____

(Sum of Base Bid, All Allowances and Mobilizations)

Bidding Documents

Solicitation CI 21 B 00608

Renovation, Improvements and Repairs to
MHA High Rise Units, Memphis, TN

June 2021

Bid Guarantee in the sum of _____ dollars

(\$ _____)

in the form of _____

is submitted herewith in accordance with the Instructions to Bidders.

The undersigned acknowledges the receipt of the following Addenda and has included them in this bid.

NOTICE TO PROCEED

The undersigned agrees to commence actual work on the site with an adequate force & equipment within seven [7] business days of the date of “Notice to Proceed.”

CONSTRUCTION TIME

The undersigned agrees to complete all of the work described by the aforementioned “Contract Documents” by **the time as listed below.**

Phase B - Venson Center, Jefferson Square, Borda Towers: One Hundred Twenty [120] consecutive calendar days (Monday – Friday) from the Notice to Proceed.

LIQUIDATED DAMAGES

The undersigned agrees to pay, as liquidated damages, the sum of **three hundred dollars and zero cents (\$300.00)** per day for work per day per uncompleted contracting beginning day one after completion date.

PERFORMANCE & PAYMENT BOND

For bids greater than \$25,000.00, upon receipt of a written acceptance of this bid, Bidder shall deliver performance & payment bond in accordance to HUD 5369 [10/02], “Instructions to Bidders for Contracts, Public & Indian Housing Programs, page 3, clause 10.

BID BOND

For bids greater than \$25,000.00, the bid bond or security attached in the sum of _____ dollars [\$ _____] is to become the property of the Owner in the event of the Contract and bond are not executed with the time set forth, as liquidated damages for

Bidding Documents

Solicitation CI 21 B 00608

Renovation, Improvements and Repairs to

MHA High Rise Units, Memphis, TN

June 2021

the delay and additional expense to the Owner, who is entitled to the difference between the amount of this bid and the amount for which a contract for the work is subsequently executed. The check shall be made payable to the Memphis Housing Authority.

PAYMENT

Payment at the lump sum price bid herein shall include replacement of identified damaged components within the plumbing chase wall per the scope of work. Additional items included herewith as appurtenant and incidental to these work items are all ancillary items associated with said work.

SUBMITTED BY: _____ DATE: _____
[Signature]

NAME & TITLE: _____
[Please print]



Allen & Hoshall
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MHA INTERIOR RENOVATIONS

BARRY TOWERS -
255 N. LAUDERDALE ST
MEMPHIS, TN 38105

VENSON CENTER-
449 BEALE ST
MEMPHIS, TN 38103

JEFFERSON SQUARE-
741 ADAMS AVE
MEMPHIS, TN 38105

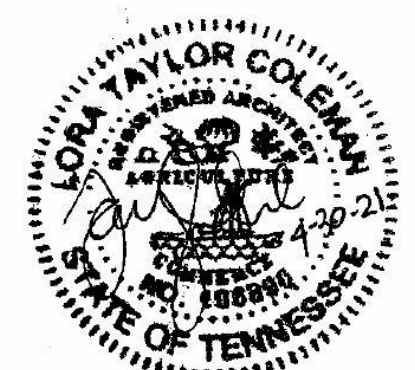
PAUL BORDA TOWERS-
21 NEELY ST
MEMPHIS, TN 38105

MEMPHIS HOUSING AUTHORITY

No.	Description	Date
1	ADDENDUM 1	6-01-21

BARRY TOWERS- SCOPE OF WORK & CODE INFORMATION

JOB NO: 63004
DATE: 4/30/2021
DRAWN: Author
CHECKED: Checker



CONSTRUCTION DOCUMENTS

A1.1

PROJECT CODE DATA

Project Client: Memphis Housing Authority
Project Location: 255 North Lauderdale Memphis, TN 38105
Project Description: Interior Renovation of 54 units from floors 1-14 @ Barry Towers

Applicable Codes:
Building Code IBC 2015
Existing Building Code IEBC 2015
Plumbing Code IPC 2015
Mechanical Code IMC 2015
Electrical Code NEC 2014
Fire Code IFC 2015
Energy Code IECC 2015
Fuel Gas Code IFGC 2015

IEBC- Alteration Level
This renovation is classified as Alteration Level 1. Level 1 alterations include the removal and replacement or covering of existing materials, elements, equipment, or fixtures using new materials, elements, equipment, or fixtures that serve the same purpose.

IBC Chapter 3 - Use and Occupancy Classification
This building is classified as Group B2, Apartment.

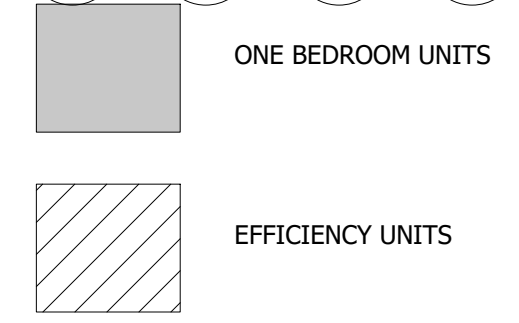
IBC Chapter 6 - Types of Construction & Fire Protection Requirements
Table 601
Construction Type UNKNOWN

IBC Chapter 9 - Fire Protection
The building is currently provided with an automatic sprinkler system.

BARRY TOWERS AFFECTED UNITS LIST

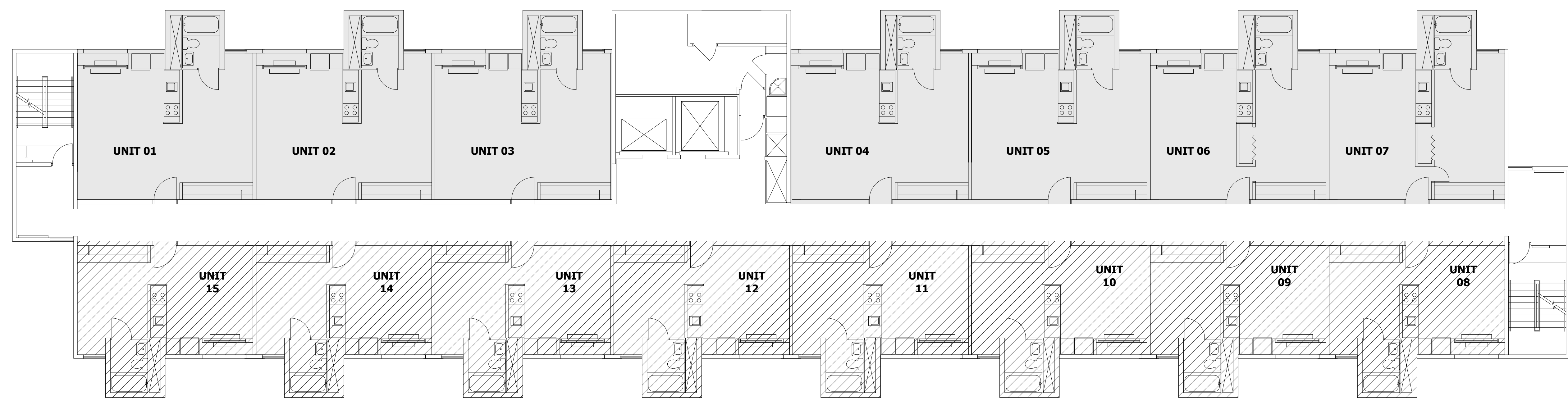
BARRY TOWER UNITS IN SCOPE OF WORK

- 103 (GUTTED)
- 201, 204, 205, 211 (GUTTED), 214, 215
- 301, 304, 305, 311 (GUTTED), 314, 315
- 401, 404, 405, 411, 414, 415
- 501, 504, 505, 511, 514, 515
- 604, 605, 611
- 704, 705, 711
- 804, 805, 811
- 901, 902, 904, 905, 912, 914, 915 (GUTTED)
- 1001, 1002, 1012, 1013, 1015
- 1101, 1102, 1111, 1113, 1115
- 1214, 1212, 1213
- 1303, 1304
- 1415

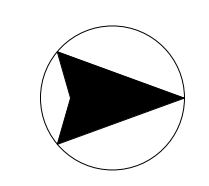


BID ALLOWANCE NOTES

1. FOR ALL RENOVATED UNITS- REPLACE GYP BOARD PER THE QUANTITIES SPECIFIED IN THE BID ALLOWANCE. REPLACEMENT OF GYP BOARD IN GUTTED UNITS IS NOT INCLUDED IN THE BID ALLOWANCES, ONLY GYP BOARD REPLACEMENT IN RENOVATED UNITS WILL BE REPRESENTED IN THE BID ALLOWANCE.
2. PER THE QUANTITIES SPECIFIED IN THE BID ALLOWANCE- ALL EXISTING HOLLOW WOOD DOORS IN EACH UNIT SHALL BE REMOVED AND REPLACED WITH NEW SOLID CORE WOOD DOORS. NEW SOLID CORE WOOD DOORS SHALL BE REINSTALLED IN EXISTING FRAMES. ALL NEW DOORS SHALL BE PRIMED AND PAINTED. ALL DOORS AND HOLLOW METAL FRAMES THAT ARE NOTED ON DRAWINGS AND IN THE DOOR SCHEDULE (SHEET 10.1) ARE NOT INCLUDED IN THE BID ALLOWANCE AND SHALL BE PRICED SEPARATELY.
3. ALL DAMAGED OR MISSING MTL STUD FRAMING SHALL BE REPLACED PER QUANTITIES SPECIFIED IN THE BID ALLOWANCE.



BARRY TOWERS- UNIT KEY PLAN
1/8" = 1'-0"



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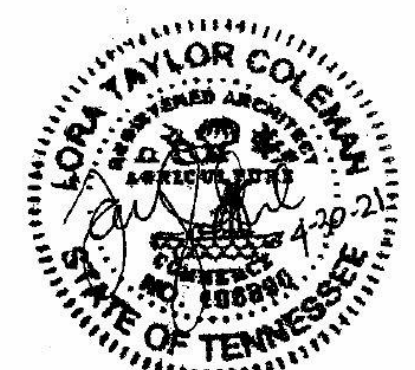
PAUL BORDA TOWERS-
21 NEELY ST
MEMPHIS, TN 38105

MEMPHIS HOUSING AUTHORITY

No.	Description	Date
1	ADDENDUM 1	6-01-21

BARRY TOWERS- UNIT PLANS FOR RENOVATION

JOB NO: 63004
DATE: 4/30/2021
DRAWN: Author
CHECKED: Checker

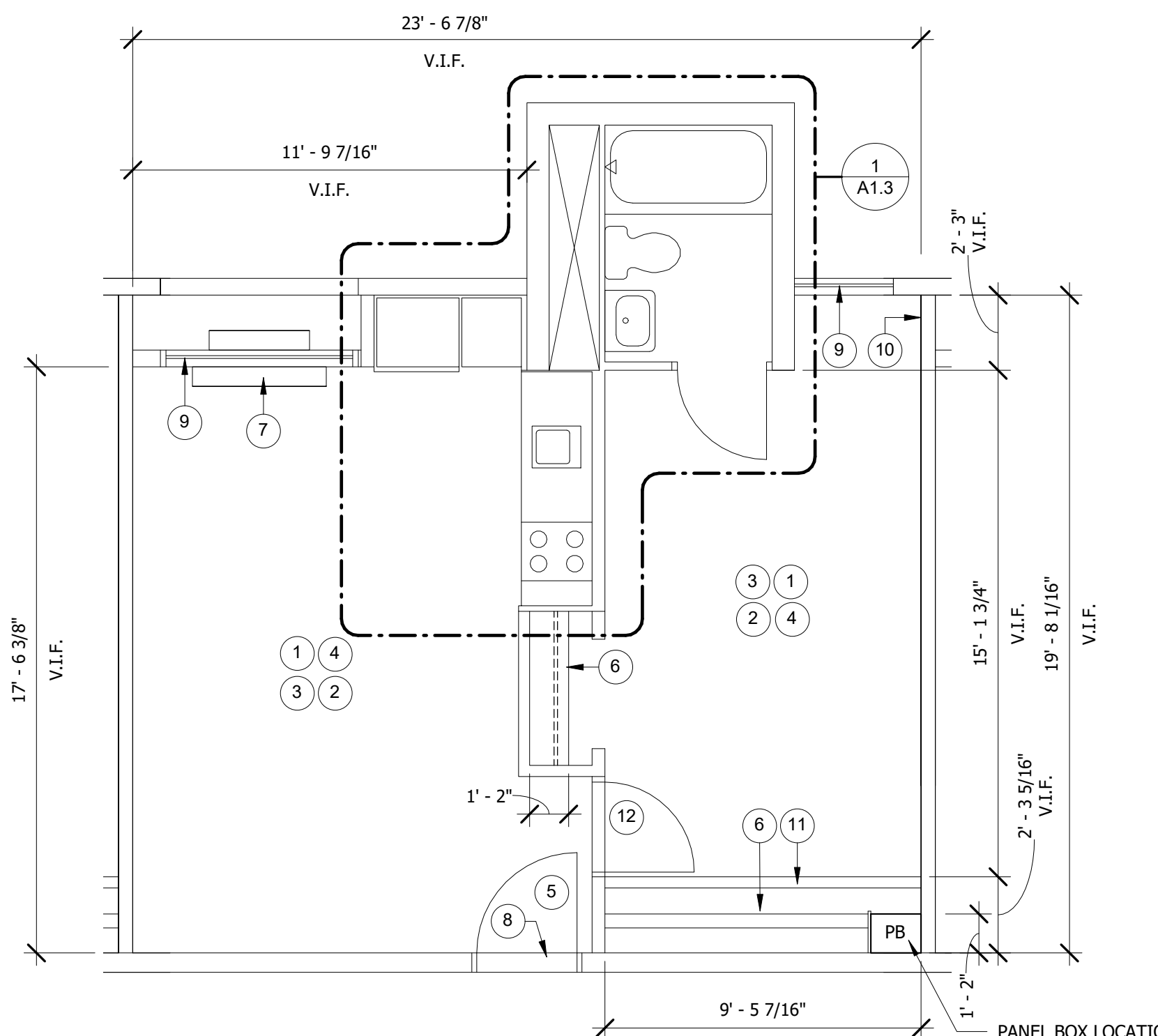


CONSTRUCTION DOCUMENTS

A1.2

ONE BEDROOM UNITS

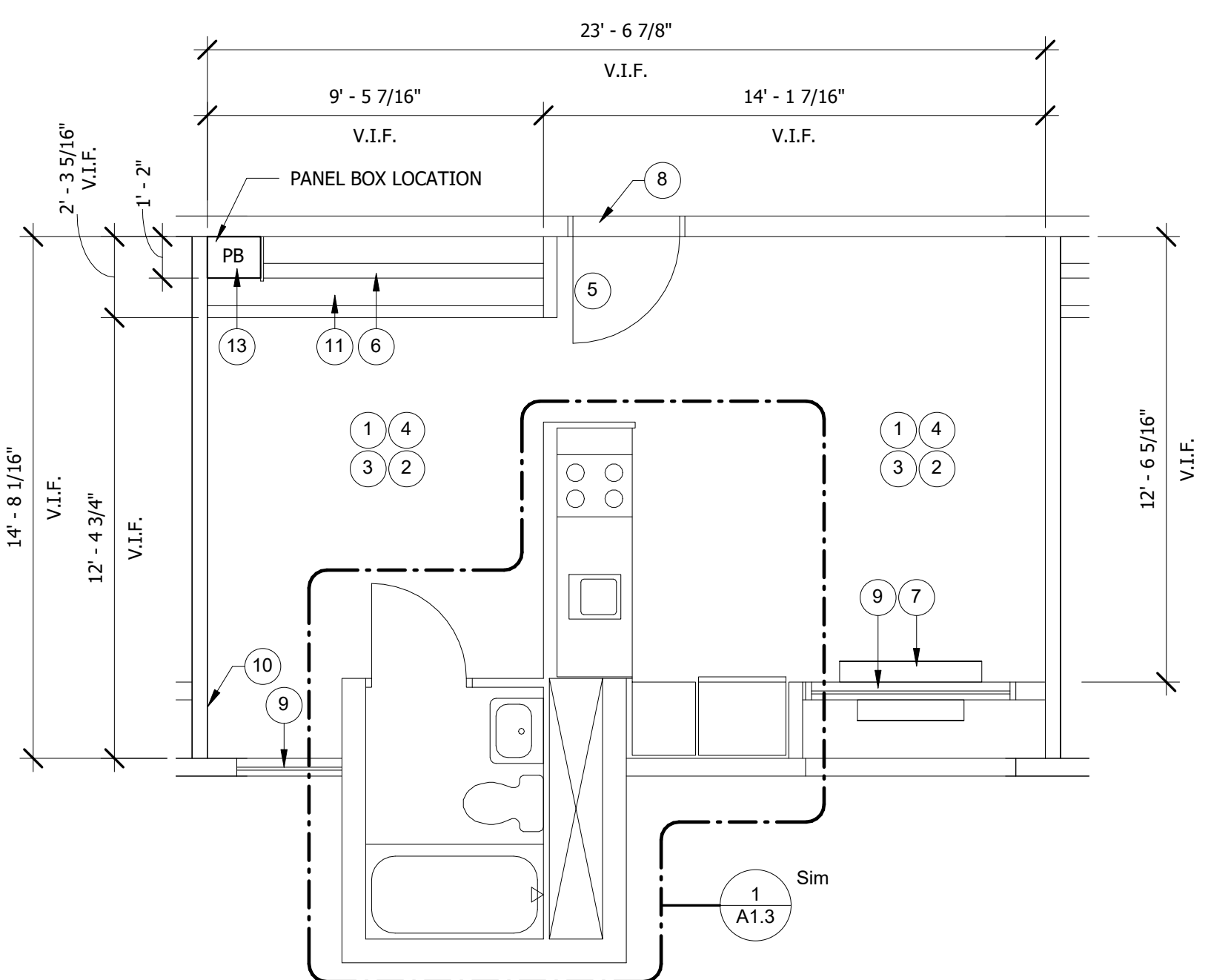
- 201
- 301
- 401, 404, 405
- 501, 504, 505
- 604, 605
- 704, 705
- 804, 805
- 901, 902, 904, 905
- 1001, 1002
- 1101, 1102
- 1303, 1304



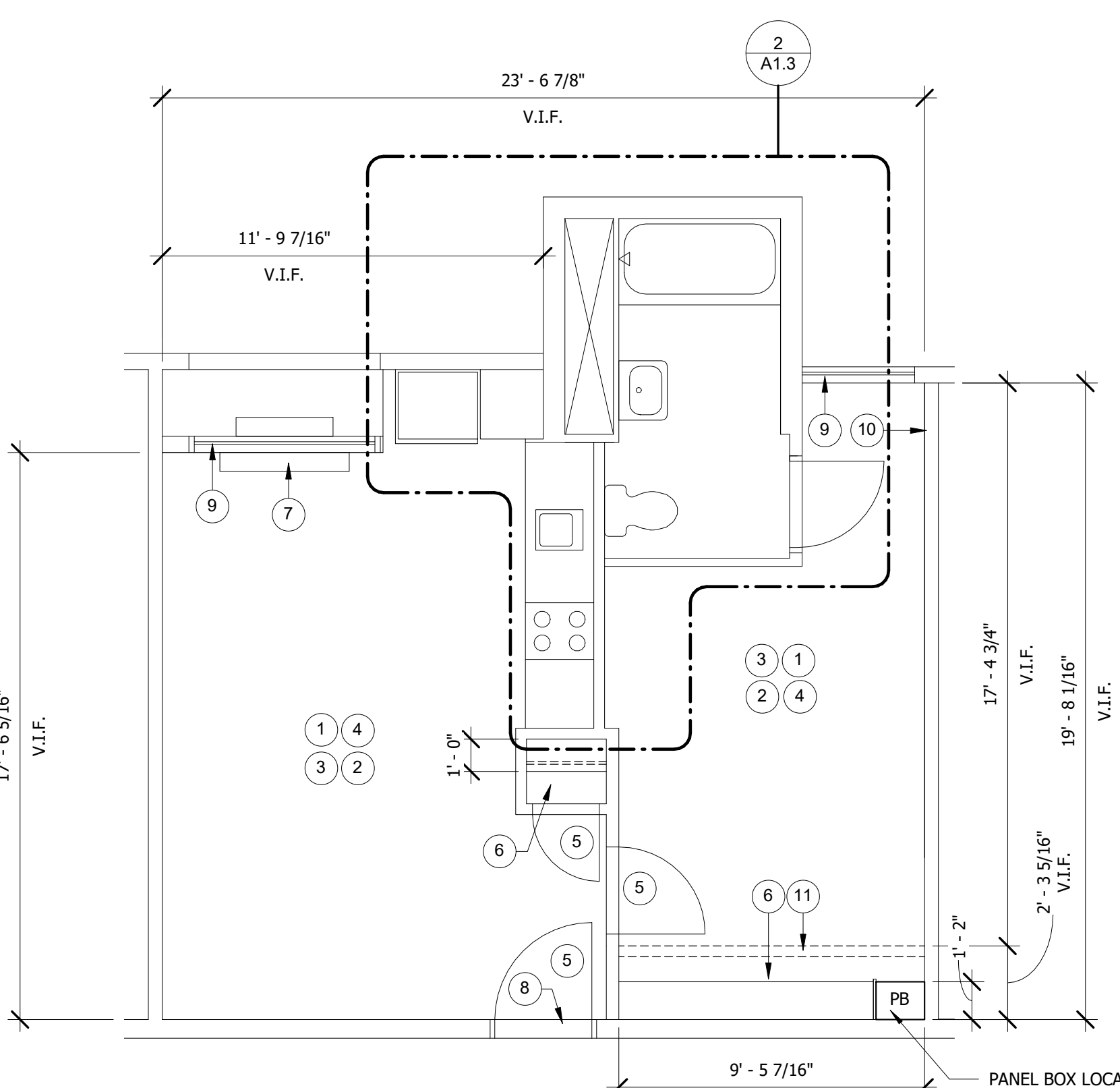
1 BARRY TOWERS - 1 BEDROOM FLOOR PLAN
1/4" = 1'-0"

EFFICIENCY UNITS

- 214, 215
- 314, 315
- 411, 414, 415
- 511, 514, 515
- 611
- 711
- 811
- 912, 914
- 1012, 1013, 1015
- 1111, 1113, 1115
- 1214, 1212, 1213
- 1415



2 BARRY TOWERS - EFFICIENCY UNIT FLOOR PLAN
1/4" = 1'-0"



3 BARRY TOWERS - ADA UNIT FLOOR PLAN
1/4" = 1'-0"

ADA UNITS

- 204, 205
- 304, 305

PLAN NOTES LEGEND

- 1 PROVIDE & INSTALL NEW LVT FLOORING, PREP EXISTING CONCRETE SUBFLOOR AS REQUIRED TO RECEIVE NEW LVT FLOORING- SEE FINISH SCHEDULE
- 2 ALL WALLS SHALL BE PRIMED AND PAINTED. REPLACE ANY DAMAGED GYP BOARD PRIOR TO PAINTING. TAPE, MUD, FLOAT, AND SAND SMOOTH ALL GYP WALLS AND CEILINGS, AS REQUIRED, PRIOR TO PAINTING. PAINT ALL WALL MOUNTED CONDUIT TO MATCH WALL COLOR- SEE FINISH SCHEDULE FOR COLOR SELECTIONS
- 3 PROVIDE AND INSTALL NEW WALL BASE- SEE FINISH SCHEDULE
- 4 ALL CIRCUITS AND SWITCHES IN EXISTING WALLS SHALL RECEIVE NEW FACE PLATES AND NEW RECEPTACLES AND NEW SWITCHES. NEW RECEPTACLES/ SWITCHES SHALL MATCH NEW FACE PLATES IN COLOR. PROVIDE BLANK FACE PLATES AT ALL LOCATIONS WHERE RECEPTACLES ARE NO LONGER IN USE
- 5 EXISTING DOOR AND FRAME SHALL BE PAINTED- SEE FINISH SCHEDULE. CLEAN EXISTING DOOR AND FRAME, AS REQUIRED, PRIOR TO PAINTING TO PROVIDE A SMOOTH PAINT FINISH
- 6 ALL WALLS AND CEILING IN EXISTING CLOSET SHALL BE PAINTED. REMOVE EXISTING SHELVING, SHELVING ACCESSORIES AND HANGER ROD IN THEIR ENTIRETY. PROVIDE NEW CHROME PLATES STEEL HANGER ROD & PAINTED WD SHELVES ON SHELF STANDARDS- SEE DETAILS SHEET A12.2.
- 7 REMOVE EXISTING METAL TRIM AROUND EXISTING PTAC UNIT. INSTALL NEW WD TRIM AND NEW SEALANT AROUND EXISTING PTAC WALL SLEEVE. SEE DETAILS ON SHEET A1.6.
- 8 PROVIDE AND INSTALL NEW ADA COMPLAINT, RUBBER THRESHOLD IN EXISTING DOORWAY.
- 9 REMOVE EXISTING CURTAIN TRACKS/BRACKETS IN THEIR ENTIRETY. TAPE, MUD, AND FLOAT GYP BD, AS REQUIRED, WHERE CURTAIN TRACKS/BRACKETS WERE REMOVED TO PROVIDE A SMOOTH SURFACE PRIOR TO PAINTING.
- 10 REMOVE EXISTING 14" x 18" (V.I.F.) DUCTLESS WALL HEATER UNIT AND ALL ACCESSORIES IN THEIR ENTIRETY BACK TO THE PANEL FROM WHICH IT IS SERVED. PROVIDE STUDS AS REQUIRED FOR GYP WALL INFILL WHERE HEATER WAS REMOVED. TAPE, MUD, FLOAT AND SAND GYP INFILL TO BE FLUSH AND SMOOTH WITH ADJACENT WALL CONSTRUCTION PRIOR TO PAINTING.
- 11 REMOVE EXISTING BI-FOLD DOORS IN THEIR ENTIRETY INCLUDING HARDWARE. TAPE, MUD, AND FLOAT GYP BD, AS REQUIRED, WHERE CURTAIN TRACKS/BRACKETS WERE REMOVED TO PROVIDE A SMOOTH SURFACE PRIOR TO PAINTING.
- 12 EXISTING DOOR AND FRAME SHALL BE PAINTED- SEE FINISH SCHEDULE. CLEAN EXISTING DOOR AND FRAME, AS REQUIRED, PRIOR TO PAINTING TO PROVIDE A SMOOTH PAINT FINISH. PROVIDE AND INSTALL NEW WD DOOR AND HM FRAME FOR UNIT 1303 ONLY- SEE DOOR SCHEDULE.
- 13 REMOVE EXISTING PANEL BOX COVER. REINSTALL NEW PANEL BOX DOOR (SE-18)- SEE SPECIAL EQUIPMENT LIST. CONTRACTOR SHALL STRIP INCOMING WIRES BACK TO POINT OF UNDAMAGED INSULATION, RETWIST WIRE STRANDS AND USE 3M HEAT SHRINK HEAVY-WALL CABLE SLEEVES TO RE-INSULATE BARE WIRE SEGMENT. ENSURE METAL STRANDS OF THE WIRES ARE NOT DAMAGED/MISSING PRIOR TO RE-INSULATING- REPAIR/REPLACE AS REQUIRED. RE-TERMINATE WIRES AND INSPECT REMAINING PANEL WIRE INSULATION FOR DAMAGE OR USE OF ELECTRICAL TAPE. WIRE INSULATION THAT IS DAMAGED OR WIRES WRAPPED WITH ELECTRICAL TAPE SHALL BE REPIRED USING 3M HEAT SHRINK HEAVY-WALL CABLE SLEEVES TO RE-INSULATE. APPLIES ONLY TO RENOVATED UNIT 1415.

FLOOR PLAN GENERAL NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO EXTRA COMPENSATION WILL BE GIVEN TO A BIDDER OR SUPPLIER WHO HAS BID FROM AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. IN CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN DRAWINGS, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH DISCREPANCIES.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL INDICATE ON THESE PLANS APPROVED CHANGES TO THE WORK. THIS SET OF DRAWINGS SHALL BE TURNED OVER TO THE OWNER WHEN THE PROJECT IS COMPLETED.
3. DO NOT SCALE DRAWINGS. USE PRINTED DIMENSIONS ONLY.
4. ALL DIMENSIONS ARE TO FINISH FACE OF WALL AND OPENING UNLESS NOTED OTHERWISE.
5. ALL CONSTRUCTION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODE REQUIREMENTS.
6. CEMENT BACKER BOARD SHALL BE SUBSTITUTED FOR GYPSUM BOARD WHERE CERAMIC TILE IS SCHEDULED, EXCEPT AT RATED PARTITIONS.
7. ALL OUTSIDE CORNERS OF GYP. BD. WALLS TO RECEIVE CORNER REINFORCEMENT.
8. ALL FIRE RATINGS SHALL BE MAINTAINED IN PLACE.
9. PROTECT ALL EXISTING SPRINKLER HEADS IN EACH UNIT FROM PAINT AND DAMAGE FOR THE DURATION OF THE WORK IN EACH UNIT.
10. STAGGER OUTLETS AND OTHER OPENINGS THAT PENETRATE WALLS. (MIN 12")
11. SEAL ALL JOINTS WHERE DISSIMILAR MATERIALS MEET. ALL SEALANT TO BE 100% WATERPROOF SILICONE SEALANT.
12. IT IS THE INTENT OF THIS CONTRACT THAT ALL INTERIOR WALLS BE FINISHED AND PAINTED TO A UNIFORM APPEARANCE.
13. PROVIDE BLOCKING AT ALL WALL HUNG CABINETS, MIRRORS, WALL-MOUNTED TOILET ACCESSORIES, ETC. IF LOCATED IN STUD WALLS.
14. REFER TO ENLARGED FLOOR PLAN SHEETS CONTAINING MORE DETAILED DIMENSIONS AND INFORMATION.
15. SLOPE FLOORS TO FLOOR DRAINS AS INDICATED.
16. IT IS THE RESPONSIBILITY OF THE G.C. TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
17. CONTRACTOR SHALL VERIFY EQUIPMENT GROUND IS PRESENT FOR ALL EXISTING CIRCUITS SUPPLYING ANY NEW EQUIPMENT. IF NO GROUND IS PRESENT, CONTRACTOR SHALL UTILIZE EXISTING CONDUITS/RACEWAYS AS EQUIPMENT GROUNDING MEANS FOR EACH EXISTING CIRCUIT TO BE REUSED TO FEED NEW EQUIPMENT. CONTRACTOR SHALL TEST AND VERIFY CONTINUITY OF CONDUITS/RACEWAYS. CONTRACTOR SHALL PROVIDE AND INSTALL GROUNDING CLAMPS AND BONDING JUMPERS AS REQUIRED TO PROVIDE A CONTINUOUS GROUNDING PATH.
18. ALL CIRCUITRY (WIRES, CONDUITS, CONTROLS, DISCONNECTS, ETC.) FOR MECHANICAL ITEMS BEING DEMOLISHED SHALL BE DEMOLISHED BACK TO THE PANEL FROM WHICH THEY ARE SERVED, UOI. ELECTRICAL AND MECHANICAL CONTRACTORS SHALL COORDINATE WITH EACH OTHER AND OWNER FOR EXACT LOCATIONS AND REQUIREMENTS.
19. ALL UN-TERMINATED WIRES IN PANELBOARDS THAT PREVIOUSLY SERVED ITEMS THAT WILL NO LONGER BE SERVED SHALL BE DEMOLISHED- NO PANEL SHALL HAVE UNTERMINATED WIRES.
20. CONTRACTOR SHALL INSPECT ALL WIRES IN PANELBOARDS FOR DAMAGE TO THEIR INSULATION OR USE OF ELECTRICAL TAPE. WIRE INSULATION THAT IS DAMAGED OR WIRES WRAPPED IN ELECTRICAL TAPE SHALL BE REPAIRED USING 3M HEAT SHRINK HEAVY-WALL CABLE SLEEVES TO RE-INSULATE.
21. PANELBOARDS IN ALL UNITS WITH LOOSE COVERS AND/OR VISIBLE GAPS BETWEEN THEIR CIRCUIT BREAKERS AND THE COVER. CONTRACTOR SHALL RE-INSTALL/RE-ALIGN PANELBOARD COVERS SO THAT ALL COVERS ARE SECURELY INSTALLED TO PANELBOARD CABINET AND ALL CIRCUIT BREAKERS SIT FLUSH WITH PANELBOARD COVER.
22. CONTRACTOR SHALL ENSURE ALL PANELBOARD CIRCUIT SPACES HAVE COVER PLATES AND THAT THEY ARE PROPERLY INSTALLED (E.G., THAT THERE ARE NO GAPS BETWEEN THE COVER PLATES AND ADJACENT BREAKERS).
23. ALL CONDUIT CASES THAT DO NOT TERMINATE INTO A JUNCTION BOX SHALL BE DEMOLISHED- REPAIR DRYWALL AND PAINT TO MATCH ADJACENT SURFACE.
24. ALL WIRING NOT INSTALLED IN CONDUIT SHALL BE PLENUM RATED AND ANY EXPOSED WIRING SHALL BE COVERED WITH A SURFACE MOUNTED RACEWAY (PAINT TO MATCH ADJACENT SURFACE).
25. ALL EXISTING ITEMS TO REMAIN SHALL BE PRESERVED DURING CONSTRUCTION FROM DAMAGE AND REINSTALLED AS REQUIRED. VERIFY WHICH ITEMS SHALL BE REUSED PRIOR TO DEMOLITION AND CONSTRUCTION. ANY EXISTING ITEMS TO REMAIN THAT ARE DAMAGED SHALL BE REPLACED IN LIKE KIND WITHOUT ADDITIONAL COST TO OWNER.
26. ALL CIRCUITRY 120V AND GREATER FALLS UNDER THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY.
27. FOR PANELBOARDS IN EACH UNIT, ALL 15A/1P AND 20A/1P CIRCUIT BREAKERS SHALL BE REPLACED WITH SINGLE-POLE, COMBINATION TYPE AFCI BREAKERS OF IDENTICAL AMPERAGE.
28. CONTRACTOR SHALL PROVIDE CIRCUITRY EXTENSIONS FOR ALL EXISTINGS CIRCUITS SERVING OUTLETS AND SWITCHES BEING RELOCATED.
29. SAFELY STORE CONDUCTORS, AS REQUIRED, UNTIL OTHER TRADES ARE READY FOR RECONNECTION. LOCK OFF POWER AT PANELBOARD TO PREVENT ANY ACCIDENTAL ENERGIZING OF CIRCUITS. ONCE OTHER TRADES HAVE COMPLETED THEIR WORK, INSTALL NEW RECEPTACLES/SWITCHES AND RECONNECT TO EXISTING CIRCUITS
30. CONTRACTOR SHALL TEST ALL EQUIPMENT FOR PROPER OPERATION AND ALL CIRCUITS FOR CONTINUITY
31. ALL 120V 15 AND 20 AMPERE RECEPTACLES, OTHER THAN FOR REFRIGERATOR (WHICH IS INACCESSIBLE) SHALL BE TAMPER-RESISTANT
32. FIRE ALARM WORK SHALL BE DONE BY STATE SYSTEMS UNDER THIS CONTRACT.

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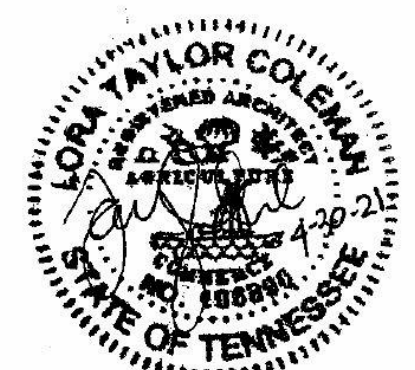
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No.	Description	Date
1	ADDENDUM 1	6-01-21

BARRY TOWERS-
ENLARGED PLANS

JOB NO: 63004
DATE: 4/30/2021
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CHECKED: Checker



CONSTRUCTION DOCUMENTS

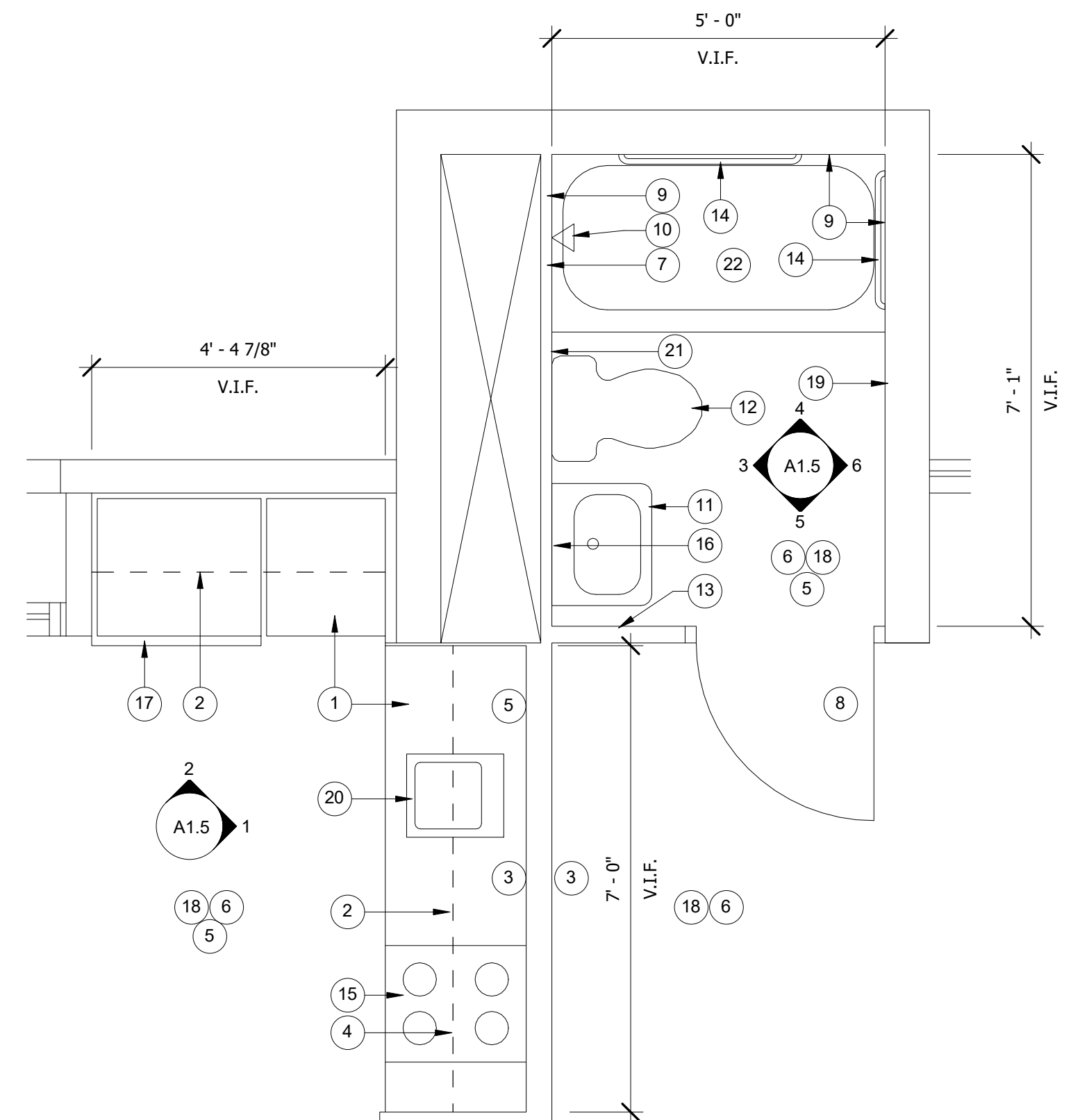
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PLAN NOTES LEGEND

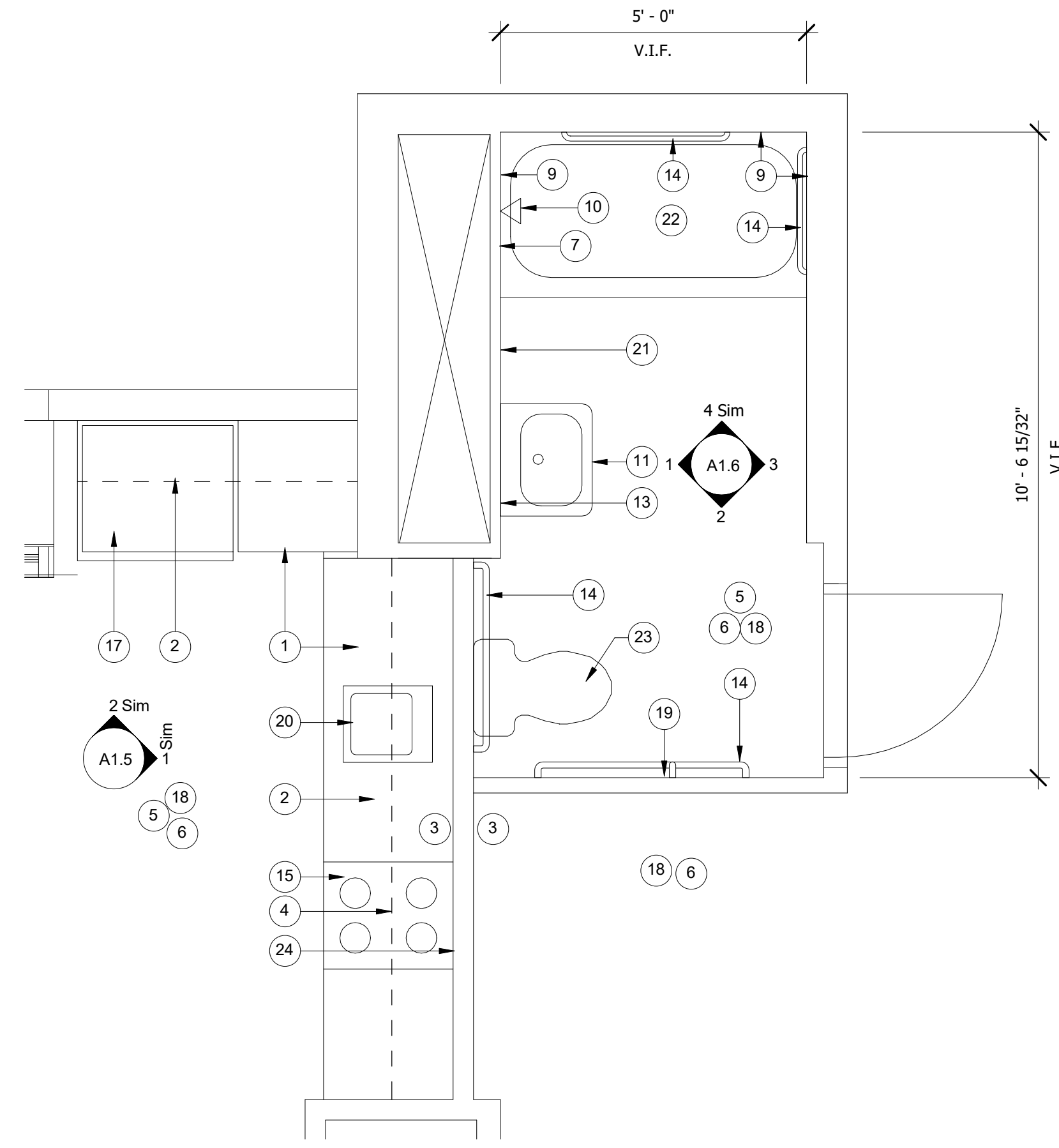
- PROVIDE & INSTALL NEW BASE CABINETS & PLASTIC LAMINATE COUNTERTOP W/ 4" BACKSPLASH- SEE ELEVATIONS. RELOCATE ANY ELECTRICAL RECEPTACLES ABOVE BACKSPLASH SO THAT NO RECEPTACLES ARE MOUNTED ON NEW BACKSPLASH. PROVIDE CIRCUITRY EXTENSIONS AS REQUIRED TO RAISE RECEPTACLES ABOVE NEW BACKSPLASH.
- PROVIDE & INSTALL NEW UPPER CABINETS- SEE ELEVATIONS
- PROVIDE AND INSTALL NEW TRANSFER FAN WITH GRILLE ON BOTH SIDES OF WALL. NEW TRANSFER FAN SHALL BE BROAN-511 8 INCH, 180 CFM ROOM TO ROOM EXHAUST FAN. REMOVE EXISTING ROTARY FAN SPEED CONTROLLER FOR EXISTING TRANSFER FAN AND INSTALL NEW SINGLE POLE, SINGLE THROW SWITCH FOR NEW TRANSFER FAN.
- PROVIDE AND INSTALL NEW VENT HOOD (SE-12)-REMOVE EXISTING DAMPER FROM HOOD EXHAUST DUCT. EXTEND NEW 8" DUCTWORK FROM NEW VENT HOOD TO EXISTING DUCTWORK IN CHASE. PROVIDE AND INSTALL NEW TWO POSITION DAMPER IN DUCTWORK AND INTERLOCK WITH HOOD TO OPEN WHEN HOOD IS ON CLOSE WHEN HOOD IS OFF- SEE SPECIAL EQUIPMENT LIST A12.2
- ALL 120V BATHROOM AND KITCHEN RECEPTACLES SHALL BE REPLACED WITH GFCI RECEPTACLES. CONTRACTOR SHALL BE ALLOWED TO REPLACE THE MOST UPSTREAM RECEPTACLE ON THE CIRCUIT SERVING THAT SPACE GIVEN GFCI PROTECTION IS VERIFIED FOR ALL RECEPTACLES IN THAT SPACE.
- PROVIDE AND INSTALL NEW LVT FLOORING & WALL BASE. PREP CONCRETE SUBFLOOR TO RECEIVE NEW FLOORING
- REMOVE EXISTING EXHAUST GRILLE. PROVIDE AND INSTALL NEW EXHAUST GRILLE AND CONNECT TO EXISTING DUCTWORK. NEW GRILLE SHALL BE SINGLE DEFLECTION AND ALUMINUM CONSTRUCTION WITH FACTORY WHITE FINISH-MATCH EXISTING SIZE.
- EXISTING DOOR AND FRAME SHALL BE PAINTED- SEE FINISH SCHEDULE. CLEAN EXISTING DOOR AND FRAME, AS REQUIRED, PRIOR TO PAINTING TO PROVIDE A SMOOTH PAINT FINISH
- PROVIDE AND INSTALL NEW SOLID SURFACE TUB SURROUND (SE-10). PROVIDE AND INSTALL NEW MTL TRIM AT ALL SOLID SURFACE AND WALL EDGE TERMINATIONS (VERTICAL AND HORIZONTAL)- SEE ELEVATIONS
- PROVIDE AND INSTALL NEW TUB/SHOWER FAUCET (SE-11)- SEE SPECIAL EQUIPMENT LIST A12.2
- EXISTING SINK SHALL BE REFINISHED WITH AN EPOXY COATING AND REINSTALLED- SEE SPEC. PROVIDE AND INSTALL NEW FAUCET FOR EXISTING SINK (SE-8). CONNECT TO EXISTING PLUMBING.
- PROVIDE AND INSTALL NEW TOILET (SE-14)- CONNECT TO EXISTING PLUMBING. SEE SPECIAL EQUIPMENT LIST A12.2
- PROVIDE AND INSTALL NEW MIRRORRED MEDICINE CABINET (SE-9). SEE SPECIAL EQUIPMENT LIST A12.2
- PROVIDE AND INSTALL NEW GRAB BARS. PROVIDE BLOCKING IN WALL AS REQUIRED FOR NEW GRAB BARS. NEW GRAB BARS SHALL BE INSTALLED PER ADA STANDARDS- SEE ELEVATIONS FOR DETAILS & LOCATIONS
- OWNER FURNISHED, OWNER INSTALLED ELECTRIC STOVE. CONTRACTOR SHALL REPLACE THE EXISTING NEMA 10-50R STOVE RECEPTACLE WITH A NEW NEMA 14-50R RECEPTACLE. CONTRACTOR SHALL PULL NEW #10 GROUND WIRE.
- PROVIDE AND INSTALL NEW MIRROR (SE-6)- SEE SPECIAL EQUIPMENT LIST A12.2
- OWNER FURNISHED, OWNER INSTALLED REFRIGERATOR
- ALL WALLS SHALL BE PRIMED AND PAINTED. REPLACE ANY DAMAGED GYP BOARD PRIOR TO PAINTING. TAPE, MUD, FLOAT, AND SAND SMOOTH ALL GYP WALLS AND CEILINGS, AS REQUIRED, PRIOR TO PAINTING. PAINT ALL WALL MOUNTED CONDUIT TO MATCH WALL COLOR- SEE FINISH SCHEDULE FOR COLOR SELECTIONS
- PROVIDE AND INSTALL NEW TOILET PAPER HOLDER (SE-2)- SEE SPECIAL EQUIPMENT LIST A12.2
- PROVIDE AND INSTALL NEW KITCHEN SINK (SE-13) AND NEW KITCHEN SINK FAUCET (SE-7)- CONNECT TO EXISTING PLUMBING- SEE SPECIAL EQUIPMENT LIST A12.2. CONTRACTOR SHALL REMOVE EXISTING DISPOSAL & SINGLE THROW SWITCH FOR EXISTING DISPOSAL BACK TO THE PANEL FROM WHICH IT IS SERVED.
- PROVIDE AND INSTALL NEW PREFINISHED FIRE RATED ACCESS DOOR FOR NEW SHUT OFF VALVES IN EXISTING RATED WALL- SEE SPECS
- EXISTING BATHTUB SHALL REMAIN AND BE REFINISHED WITH AN EPOXY COATING- SEE SPEC
- PROVIDE AND INSTALL NEW ADA COMPLIANT TOILET (SE-17)- CONNECT TO EXISTING PLUMBING. SEE SPECIAL EQUIPMENT LIST A12.2
- PROVIDE AND INSTALL NEW 20 GA STAINLESS STEEL BACKSPLASH ON GYP WALL BEHIND OWNER FURNISHED ELECTRIC STOVE. BACKSPLASH SHALL BE 24"(W) AND EXTEND FROM TOP OF COUNTERTOP HEIGHT TO VENT HOOD ABOVE- SEE ELEVATIONS

FLOOR PLAN GENERAL NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO EXTRA COMPENSATION WILL BE GIVEN TO A BIDDER OR SUPPLIER WHO HAS BID FROM AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. IN CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN DRAWINGS, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH DISCREPANCIES
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL INDICATE ON THESE PLANS APPROVED CHANGES TO THE WORK. THIS SET OF DRAWINGS SHALL BE TURNED OVER TO THE OWNER WHEN THE PROJECT IS COMPLETED.
- DO NOT SCALE DRAWINGS. USE PRINTED DIMENSIONS ONLY.
- ALL DIMENSIONS ARE TO FINISH FACE OF WALL AND OPENING UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODE REQUIREMENTS.
- CEMENT BACKER BOARD SHALL BE SUBSTITUTED FOR GYPSUM BOARD WHERE CERAMIC TILE IS SCHEDULED, EXCEPT AT RATED PARTITIONS.
- ALL OUTSIDE CORNERS OF GYP. BD. WALLS TO RECEIVE CORNER REINFORCEMENT.
- ALL FIRE RATINGS SHALL BE MAINTAINED IN PLACE.
- PROTECT ALL EXISTING SPRINKLER HEADS IN EACH UNIT FROM PAINT AND DAMAGE FOR THE DURATION OF THE WORK IN EACH UNIT.
- STAGGER OUTLETS AND OTHER OPENINGS THAT PENETRATE WALLS. (MIN 12")
- SEAL ALL JOINTS WHERE DISSIMILAR MATERIALS MEET. ALL SEALANT TO BE 100% WATERPROOF SILICONE SEALANT.
- IT IS THE INTENT OF THIS CONTRACT THAT ALL INTERIOR WALLS BE FINISHED AND PAINTED TO A UNIFORM APPEARANCE.
- PROVIDE BLOCKING AT ALL WALL HUNG CABINETS, MIRRORS, WALL-MOUNTED TOILET ACCESSORIES, ETC. IF LOCATED IN STUD WALLS.
- REFER TO ENLARGED FLOOR PLAN SHEETS CONTAINING MORE DETAILED DIMENSIONS AND INFORMATION.
- SLOPE FLOORS TO FLOOR DRAINS AS INDICATED.
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- ALL UN-TERMINATED WIRES IN PANELBOARDS THAT PREVIOUSLY SERVED ITEMS THAT WILL NO LONGER BE SERVED SHALL BE DEMOLISHED- NO PANEL SHALL HAVE UNTERMINATED WIRES.
- CONTRACTOR SHALL INSPECT ALL WIRES IN PANELBOARDS FOR DAMAGE TO THEIR INSULATION OR USE OF ELECTRICAL TAPE. WIRE INSULATION THAT IS DAMAGED OR WIRES WRAPPED IN ELECTRICAL TAPE SHALL BE REPAIRED USING 3M HEAT SHRINK HEAVY-WALL CABLE SLEEVES TO RE-INSULATE.
- PANELBOARDS IN ALL UNITS WITH LOOSE COVERS AND/OR VISIBLE GAPS BETWEEN THEIR CIRCUIT BREAKERS AND THE COVER, CONTRACTOR SHALL RE-INSTALL/RE-ALIGN PANELBOARD COVERS SO THAT ALL COVERS ARE SECURELY INSTALLED TO PANELBOARD CABINET AND ALL CIRCUIT BREAKERS SIT FLUSH WITH PANELBOARD COVER.
- CONTRACTOR SHALL ENSURE ALL PANELBOARD CIRCUIT SPACES HAVE COVER PLATES AND THAT THEY ARE PROPERLY INSTALLED (E.G., THAT THERE ARE NO GAPS BETWEEN THE COVER PLATES AND ADJACENT BREAKERS).
- ALL COAXIAL CABLES THAT DO NOT TERMINATE INTO A JUNCTION BOX SHALL BE DEMOLISHED - REPAIR DRYWALL AND PAINT TO MATCH ADJACENT SURFACE.
- ALL WIRING NOT INSTALLED IN CONDUIT SHALL BE PLENUM RATED AND ANY EXPOSED WIRING SHALL BE COVERED WITH A SURFACE MOUNTED RACEWAY (PAINT TO MATCH ADJACENT SURFACE).
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- ALL CIRCUITRY 120V AND GREATER FALLS UNDER THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY.
- FOR PANELBOARDS IN EACH UNIT, ALL 15A/1P AND 20A/1P CIRCUIT BREAKERS SHALL BE REPLACED WITH SINGLE-POLE, COMBINATION TYPE AFCI BREAKERS OF IDENTICAL AMPERAGE.
- CONTRACTOR SHALL PROVIDE CIRCUITRY EXTENSIONS FOR ALL EXISTING CIRCUITS SERVING OUTLETS AND SWITCHES BEING RELOCATED.
- SAFELY STORE CONDUCTORS, AS REQUIRED, UNTIL OTHER TRADES ARE READY FOR RECONNECTION. LOCK OFF POWER AT PANELBOARD TO PREVENT ANY ACCIDENTAL ENERGIZING OF CIRCUITS. ONCE OTHER TRADES HAVE COMPLETED THEIR WORK, INSTALL NEW RECEPTACLES/SWITCHES AND RECONNECT TO EXISTING CIRCUITS.
- CONTRACTOR SHALL TEST ALL EQUIPMENT FOR PROPER OPERATION AND ALL CIRCUITS FOR CONTINUITY
- ALL 120V 15 AND 20 AMPERE RECEPTACLES, OTHER THAN FOR REFRIGERATOR (WHICH IS INACCESSIBLE) SHALL BE TAMPER-RESISTANT
- FIRE ALARM WORK SHALL BE DONE BY STATE SYSTEMS UNDER THIS CONTRACT.



1 BARRY TOWERS- TYP. BATHROOM & KITCHEN FLOOR PLAN
1/2" = 1'-0"



2 BARRY TOWERS - ENLARGED ADA UNIT FLOOR PLAN
1/2" = 1'-0"

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JEFFERSON SQUARE-
741 ADAMS AVE
MEMPHIS, TN 38105

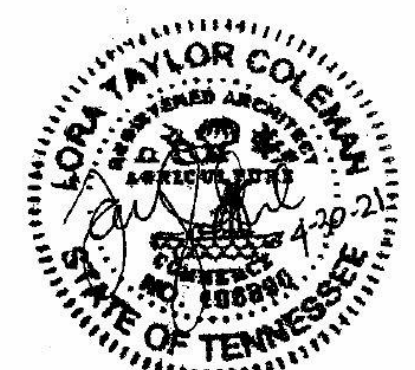
PAUL BORDA TOWERS-
21 NEELY ST
MEMPHIS, TN 38105

MEMPHIS HOUSING AUTHORITY

No.	Description	Date
1	ADDENDUM 1	6-01-21

BARRY TOWERS- GUTTED UNIT PLANS

JOB NO: 63004
DATE: 4/30/2021
DRAWN: Author
CHECKED: Checker



CONSTRUCTION DOCUMENTS

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PLAN NOTES LEGEND

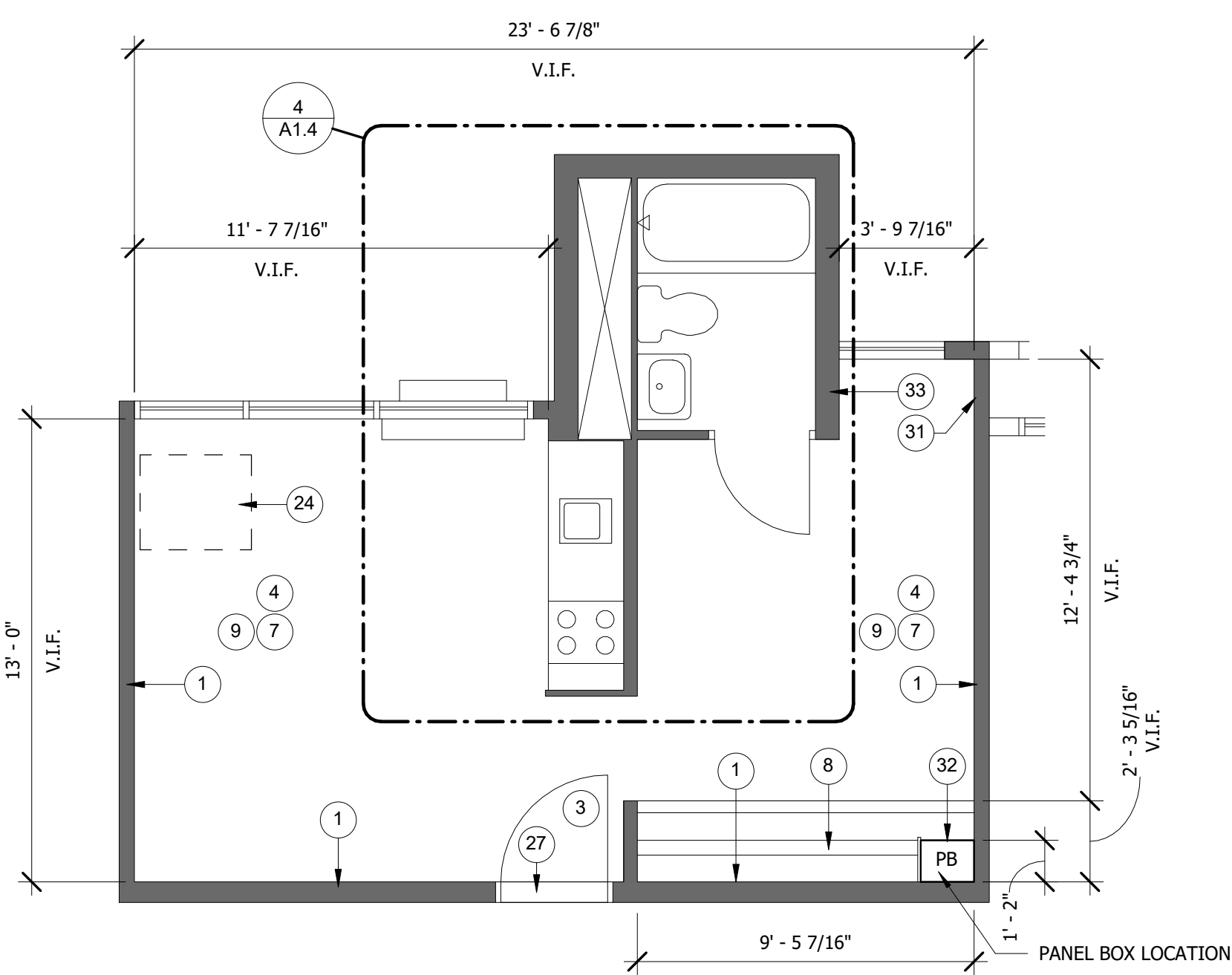
- PROVIDE AND INSTALL NEW 5/8" TYPE 'X' GYP BD ON EXISTING MTL STUD WALL. REMOVE & REPLACE ALL EXISTING DAMAGED MTL STUD AS REQUIRED. PREP GYP BD WALLS TO RECEIVE NEW PAINT- SEE WALL TYPE B1.2 ON SHEET A0.2 FOR DETAILS
- PROVIDE AND INSTALL NEW 5/8" TYPE 'X' GYP BD IN 4 LAYERS ON EXISTING MTL STUD @ 2 HR SHAFT WALL. OUTER LAYER OF GYP BD SHALL BE GREENBOARD OR EQUAL IN BATHROOMS. REMOVE & REPLACE ALL EXISTING DAMAGED MTL STUD AS REQUIRED- SEE WALL TYPE B1.3 ON SHEET A0.2 FOR DETAILS
- EXISTING DOOR AND FRAME SHALL BE PAINTED- SEE FINISH SCHEDULE. CLEAN EXISTING DOOR AND FRAME, AS REQUIRED, PRIOR TO PAINTING TO PROVIDE A SMOOTH PAINT FINISH
- ALL EXISTING CIRCUITS AND SWITCHES IN EXISTING WALLS SHALL RECEIVE NEW FACE PLATES AND NEW RECEPTACLES AND NEW SWITCHES. NEW RECEPTACLES/ SWITCHES SHALL MATCH NEW FACE PLATES IN COLOR.
- INSTALL NEW WD TRIM AND NEW SEALANT AROUND EXISTING PTAC WALL SLEEVE. SEE DETAILS ON SHEET A1.6.
- PROVIDE AND INSTALL NEW 5/8" GYP BD ON BOTH SIDES OF MTL STUD WALL. REMOVE & REPLACE ALL EXISTING DAMAGED MTL STUD, AS REQUIRED. PREP GYP BD WALLS TO RECEIVE NEW PAINT- SEE WALL TYPE B1.1 ON SHEET A0.2 FOR DETAILS
- ALL WALLS SHALL BE PRIMED AND PAINTED. TAPE, MUD, FLOAT, AND SAND SMOOTH ALL GYP WALLS AND CEILINGS, AS REQUIRED, PRIOR TO PAINTING. PAINT ALL WALL MOUNTED CONDUIT TO MATCH WALL COLOR- SEE FINISH SCHEDULE FOR COLOR SELECTIONS
- PROVIDE AND INSTALL NEW CHROME PLATED HANGAR RODS AND PAINTED WD SHELVES ON SHELF STANDARDS IN CLOSETS. SEE SHEET A12.2 FOR DETAILS
- PROVIDE AND INSTALL NEW LVT FLOORING & WALL BASE. PREP & LEVEL CONCRETE SUBFLOOR, AS REQUIRED, TO RECEIVE NEW FLOORING.
- PROVIDE AND INSTALL NEW TRANSFER FAN WITH GRILLE ON BOTH SIDES OF WALL. NEW TRANSFER FAN SHALL BE BROAN-511 8 INCH, 180 CFM ROOM TO ROOM EXHAUST FAN. REMOVE EXISTING ROTARY FAN SPEED CONTROLLER FOR EXISTING TRANSFER FAN AND INSTALL NEW SINGLE POLE, SINGLE THROW SWITCH FOR NEW TRANSFER FAN.
- PROVIDE & INSTALL NEW BASE CABINETS & PLASTIC LAMINATE COUNTERTOP W/ 4" BACKSPLASH- SEE ELEVATIONS. RELOCATE ANY ELECTRICAL RECEPTACLES ABOVE BACKSPLASH SO THAT NO RECEPTACLES ARE MOUNTED ON NEW BACKSPLASH. PROVIDE CIRCUITRY EXTENSIONS AS REQUIRED TO RAISE RECEPTACLES ABOVE NEW BACKSPLASH.
- PROVIDE & INSTALL NEW UPPER CABINETS- SEE ELEVATIONS
- REMOVE EXISTING EXHAUST GRILLE. PROVIDE AND INSTALL NEW EXHAUST GRILL AND CONNECT TO EXISTING DUCTWORK. NEW GRILLE SHALL BE SINGLE DEFLECTION AND ALUMINUM CONSTRUCTION WITH FACTORY WHITE FINISH-MATCH EXISTING SIZE.
- PROVIDE AND INSTALL NEW VENT HOOD (SE-12)-REMOVE EXISTING DAMPER FROM HOOD EXHAUST DUCT. EXTEND NEW 8" DUCTWORK FROM NEW VENT HOOD TO EXISTING DUCTWORK IN CHASE. PROVIDE AND INSTALL NEW TWO POSITION DAMPER IN DUCTWORK AND INTERLOCK WITH HOOD TO OPEN WHEN HOOD IS ON CLOSE WHEN HOOD IS OFF- SEE SPECIAL EQUIPMENT LIST A12.2
- ALL 120V BATHROOM AND KITCHEN RECEPTACLES SHALL BE REPLACED WITH GFCI RECEPTACLES. CONTRACTOR SHALL BE ALLOWED TO REPLACE THE MOST UPSTREAM RECEPTACLE ON THE CIRCUIT SERVING THAT SPACE GIVEN GFCI PROTECTION IS VERIFIED FOR ALL RECEPTACLES IN THAT SPACE.
- PROVIDE AND INSTALL NEW SOLID SURFACE TUB SURROUND (SE-10). PROVIDE AND INSTALL NEW MTL TRIM AT ALL SOLID SURFACE AND WALL EDGE TERMINATIONS (VERTICAL AND HORIZONTAL)- SEE ELEVATIONS
- PROVIDE AND INSTALL NEW TUB/ SHOWER FAUCET (SE-11)- CONNECT TO EXISTING PLUMBING. SEE SPECIAL EQUIPMENT LIST A12.2
- EXISTING CAST IRON SINK SHALL BE REFINISHED WITH AN EPOXY COATING AND REINSTALLED- CONNECT TO EXISTING PLUMBING- PROVIDE AND INSTALL NEW CAST IRON WALL BRACKET FOR EXISTING SINK. PROVIDE AND INSTALL NEW FAUCET (SE-8) FOR EXISTING SINK. PROVIDE FRT WD BLOCKING IN WALL BETWEEN MTL STUDS TO PROVIDE SUFFICIENT SUPPORT FOR SINK.
- PROVIDE AND INSTALL NEW TOILET (SE-14)- CONNECT TO EXISTING PLUMBING. SEE SPECIAL EQUIPMENT LIST A12.2
- PROVIDE AND INSTALL NEW MIRRORED MEDICINE CABINET (SE-9). SEE SPECIAL EQUIPMENT LIST A12.2
- PROVIDE AND INSTALL NEW GRAB BARS. PROVIDE BLOCKING IN WALL AS REQUIRED FOR NEW GRAB BARS. NEW GRAB BARS SHALL BE INSTALLED PER ADA STANDARDS- SEE ELEVATIONS FOR DETAILS & LOCATIONS
- OWNER FURNISHED, OWNER INSTALLED ELECTRIC STOVE. CONTRACTOR SHALL REPLACE THE EXISTING NEMA 10-50R STOVE RECEPTACLE WITH A NEW NEMA 14-50R RECEPTACLE. CONTRACTOR SHALL PULL NEW #10 GROUND WIRE.
- PROVIDE AND INSTALL NEW MIRROR (SE-6). SEE SPECIAL EQUIPMENT LIST A12.2
- OWNER FURNISHED, OWNER INSTALLED REFRIGERATOR
- PROVIDE AND INSTALL NEW TOILET PAPER HOLDER (SE-2). SEE SPECIAL EQUIPMENT LIST A12.2
- PROVIDE AND INSTALL NEW KITCHEN SINK (SE-13) AND NEW KITCHEN SINK FAUCET (SE-7)- CONNECT TO EXISTING PLUMBING. SEE SPECIAL EQUIPMENT LIST A12.2. CONTRACTOR SHALL REMOVE EXISTING DISPOSAL & SINGLE THROW SWITCH FOR EXISTING DISPOSAL BACK TO THE PANEL FROM WHICH IT IS SERVED.
- PROVIDE AND INSTALL NEW ADA COMPLAINT, RUBBER THRESHOLD IN EXISTING DOORWAY.
- PROVIDE AND INSTALL NEW PREFINISHED FIRE RATED ACCESS DOOR FOR NEW SHUT OFF VALVES IN EXISTING RATED WALL- SEE SPECS
- REMOVE EXISTING WD DOOR AND HOLLOW METAL FRAME. PROVIDE AND INSTALL NEW SOLID CORE WOOD DOOR AND NEW HOLLOW METAL FRAME- SEE DOOR SCHEDULE A10.1
- EXISTING BATHTUB SHALL BE REFINISHED WITH AN EPOXY COATING- SEE SPEC
- REMOVE EXISTING 14" x 18" (V.I.F.) DUCTLESS WALL HEATER UNIT AND ALL ACCESSORIES IN THEIR ENTIRETY BACK TO THE PANEL FROM WHICH IT IS SERVED.
- REMOVE EXISTING PANEL BOX COVER. REINSTALL NEW PANEL BOX DOOR (SE-18)- SEE SPECIAL EQUIPMENT LIST. CONTRACTOR SHALL TRIM NEUTRAL WIRE ABOVE EXISTING INSULATION DAMAGE AND RE-TERMINATE PER ALL APPLICABLE CODES. APPLIES ONLY TO GUTTED UNIT 103
- PROVIDE AND INSTALL NEW 5/8" GYP BD AND MTL FURRING STRIPS ON EXISTING CMU WALL. GYP BD IN BATHROOM SHALL BE GREENBOARD OR EQUAL. PREP WALLS TO RECEIVE NEW PAINT- SEE WALL TYPE A1.1 ON SHEET A0.2 FOR DETAILS.
- PROVIDE AND INSTALL NEW 5/8" GYP BD ON EXISTING MTL STUD WALL. REMOVE & REPLACE DAMAGED MTL STUD AS REQUIRED. PREP GYP BD WALLS TO RECEIVE NEW PAINT- SEE WALL TYPE B1.4 ON SHEET A0.2 FOR DETAILS
- PROVIDE AND INSTALL NEW 20 GA STAINLESS STEEL BACKSPLASH ON GYP WALL BEHIND OWNER FURNISHED ELECTRIC STOVE. BACKSPLASH SHALL BE 24"(W) AND EXTEND FROM TOP OF COUNTERTOP HEIGHT TO VENT HOOD ABOVE- SEE ELEVATIONS

FLOOR PLAN GENERAL NOTES

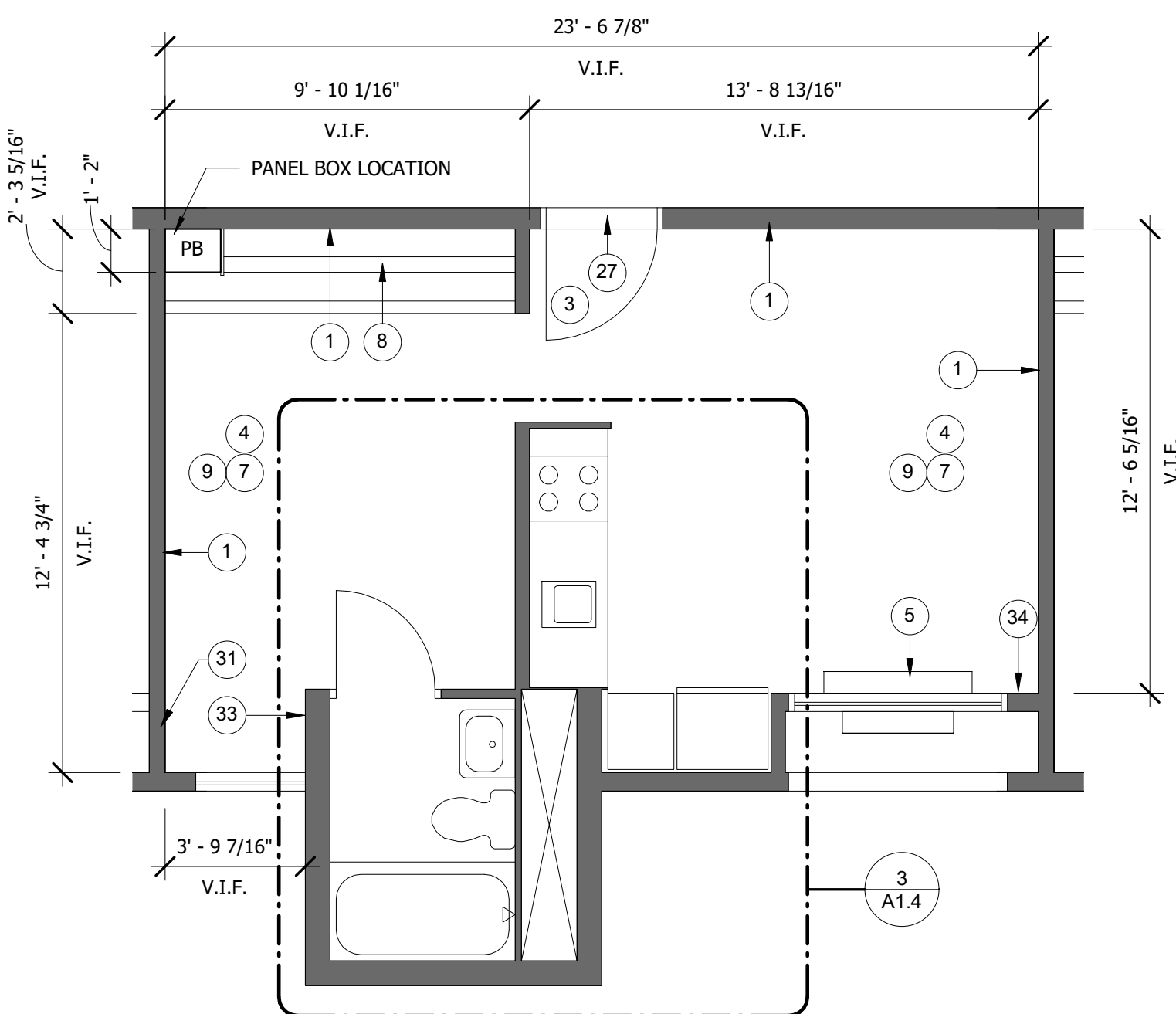
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- DO NOT SCALE DRAWINGS. USE PRINTED DIMENSIONS ONLY.
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- ALL OUTSIDE CORNERS OF GYP. BD. WALLS TO RECEIVE CORNER REINFORCEMENT.
- ALL FIRE RATINGS SHALL BE MAINTAINED IN PLACE.
- PROTECT ALL EXISTING SPRINKLER HEADS IN EACH UNIT FROM PAINT AND DAMAGE FOR THE DURATION OF THE WORK IN EACH UNIT.
- STAGGER OUTLETS AND OTHER OPENINGS THAT PENETRATE WALLS. (MIN 12")
- SEAL ALL JOINTS WHERE DISSIMILAR MATERIALS MEET. ALL SEALANT TO BE 100% WATERPROOF SILICONE SEALANT.
- IT IS THE INTENT OF THIS CONTRACT THAT ALL INTERIOR WALLS BE FINISHED AND PAINTED TO A UNIFORM APPEARANCE.
- PROVIDE ALL EXISTING AT ALL WALL HUNG CABINETS, MIRRORS, WALL-MOUNTED TOILET ACCESSORIES, ETC. IF LOCATED IN STUD WALLS.
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- SLOPE FLOORS TO FLOOR DRAINS AS INDICATED.
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- FIRE ALARM WORK SHALL BE DONE BY STATE SYSTEMS UNDER THIS CONTRACT.

GUTTED EFFICIENCY UNITS

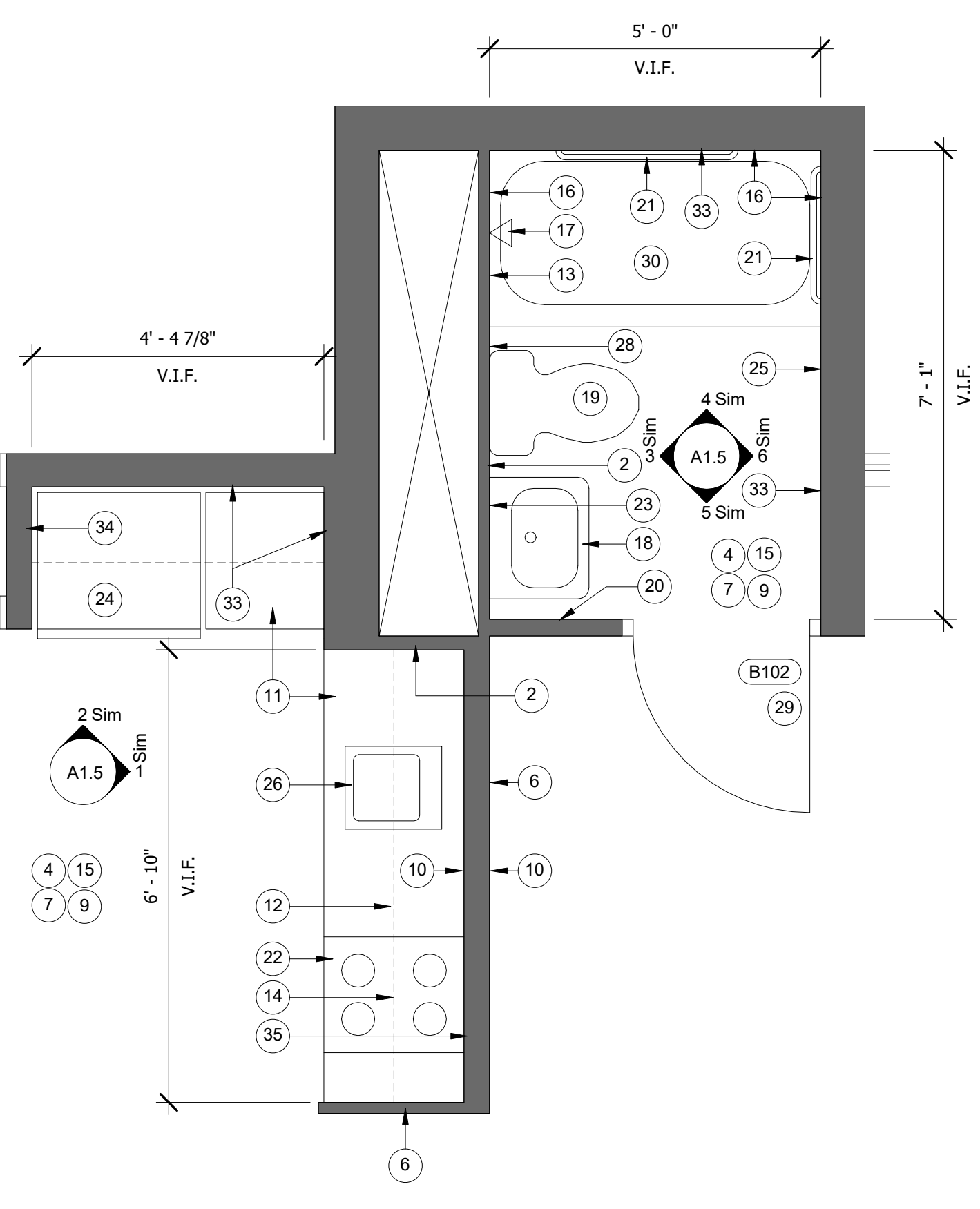
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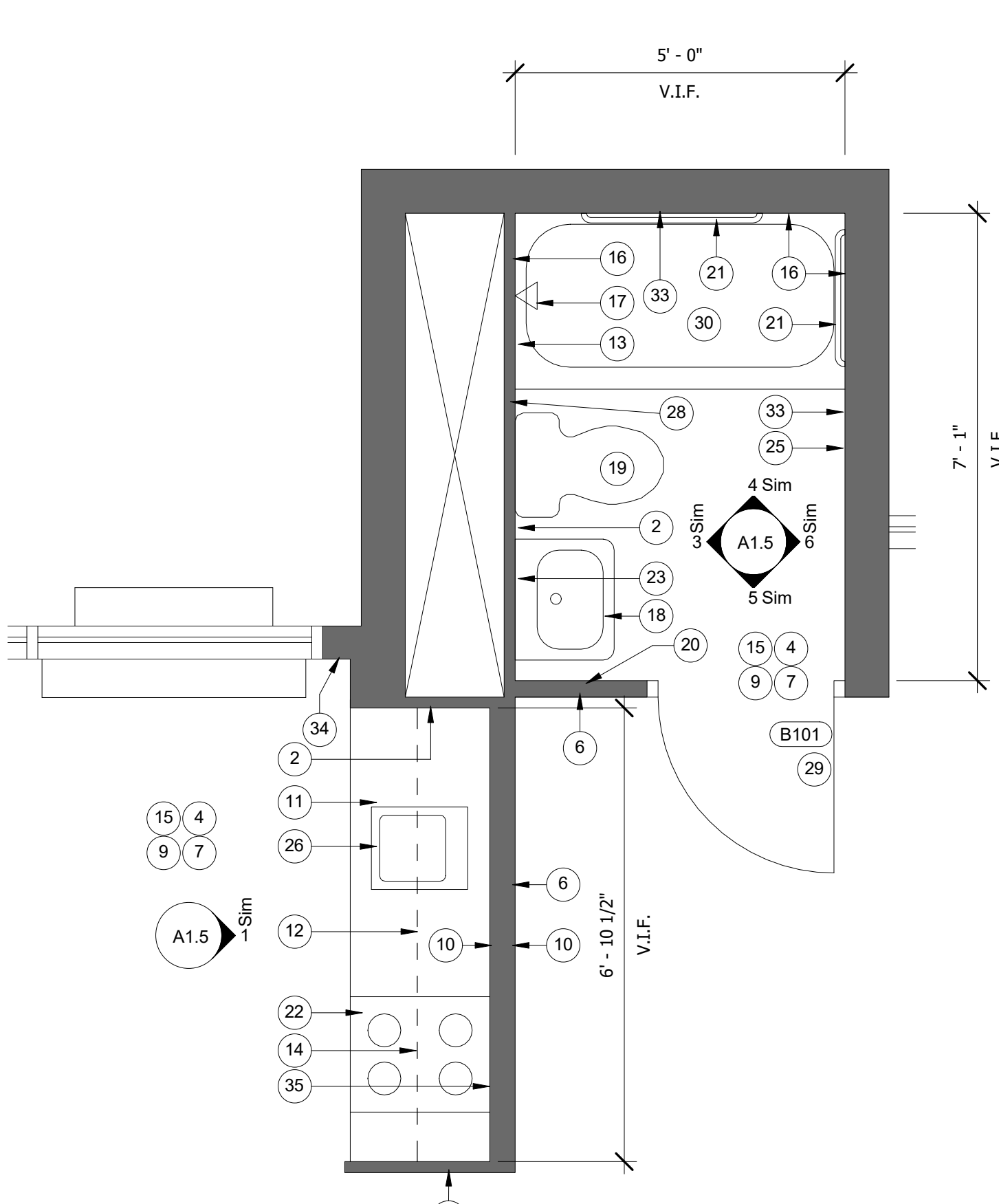
1 BARRY TOWERS - GUTTED UNIT (UNIT 103) FLOOR PLAN
1/4" = 1'-0"



2 BARRY TOWERS - GUTTED EFFICIENCY UNIT PLAN
1/4" = 1'-0"



3 BARRY TOWERS - GUTTED UNIT ENLARGED PLAN
1/2" = 1'-0"



4 BARRY TOWERS - ENLARGED UNIT 103 FLOOR PLAN
1/2" = 1'-0"

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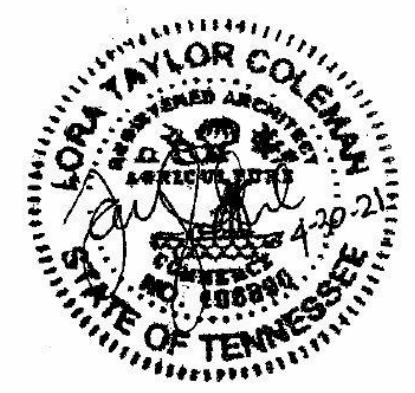
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No.	Description	Date
1	ADDENDUM 1	6-01-21

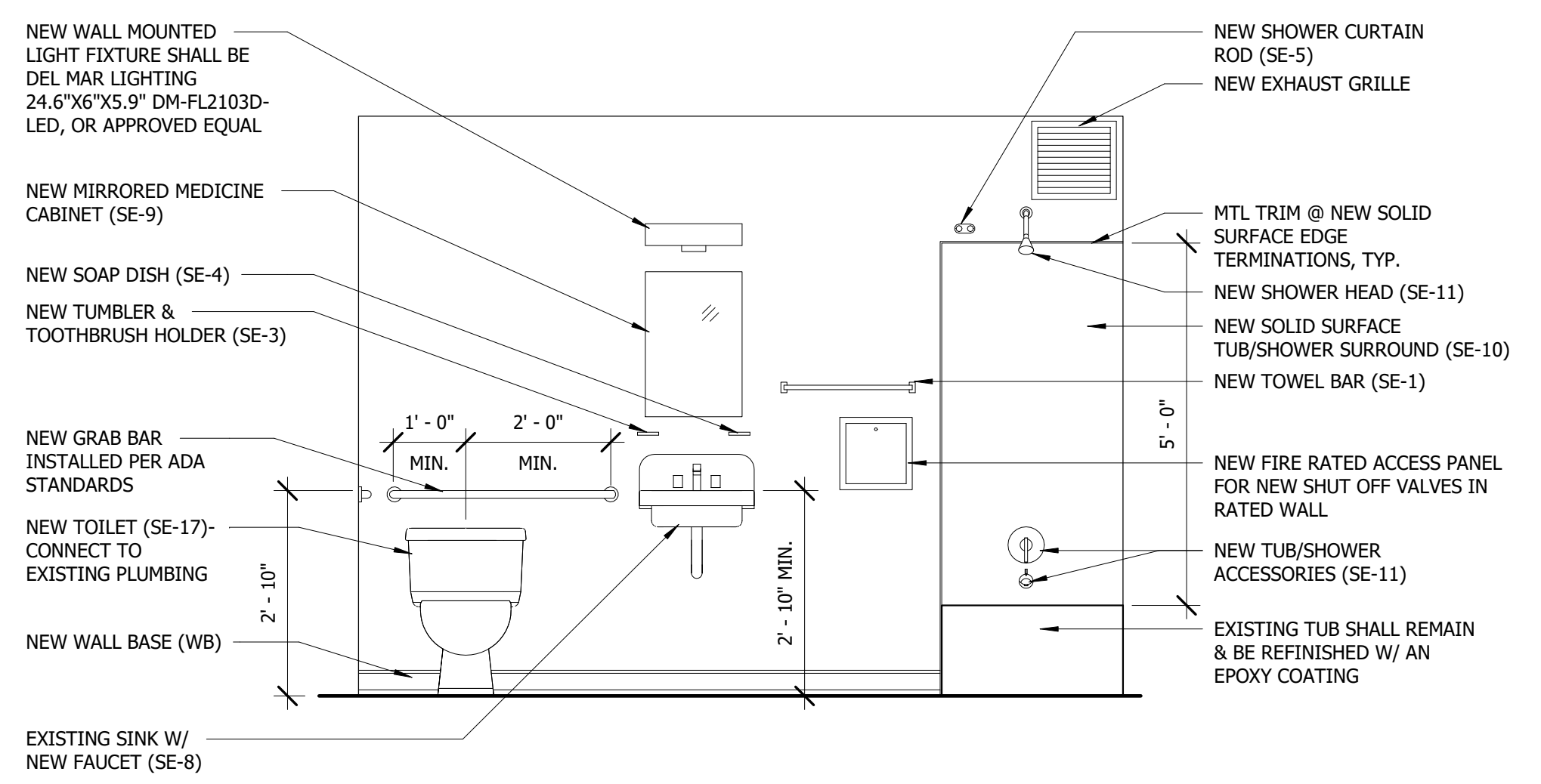
**BARRY TOWERS-
ELEVATIONS & DETAILS**

JOB NO: 63004
DATE: 4/30/2021
DRAWN: Author
CHECKED: Checker

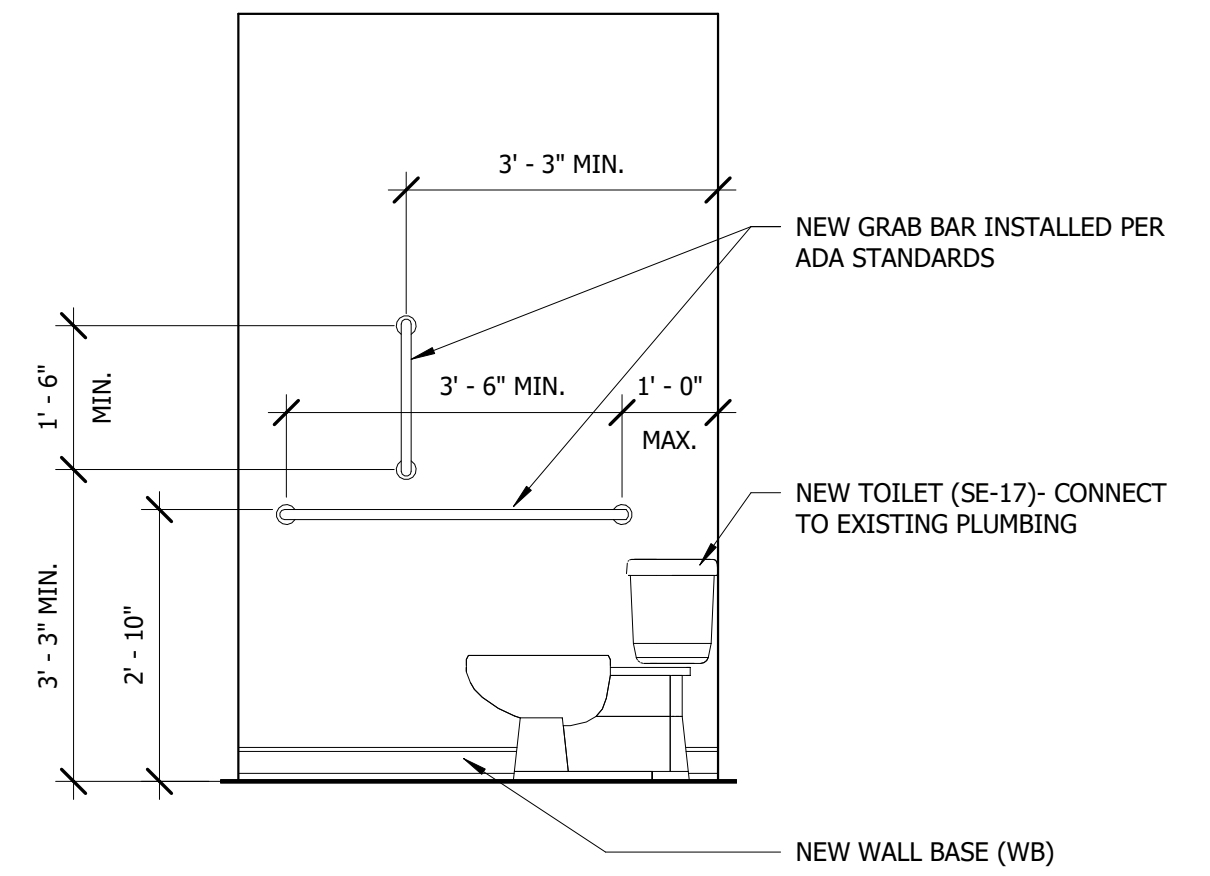


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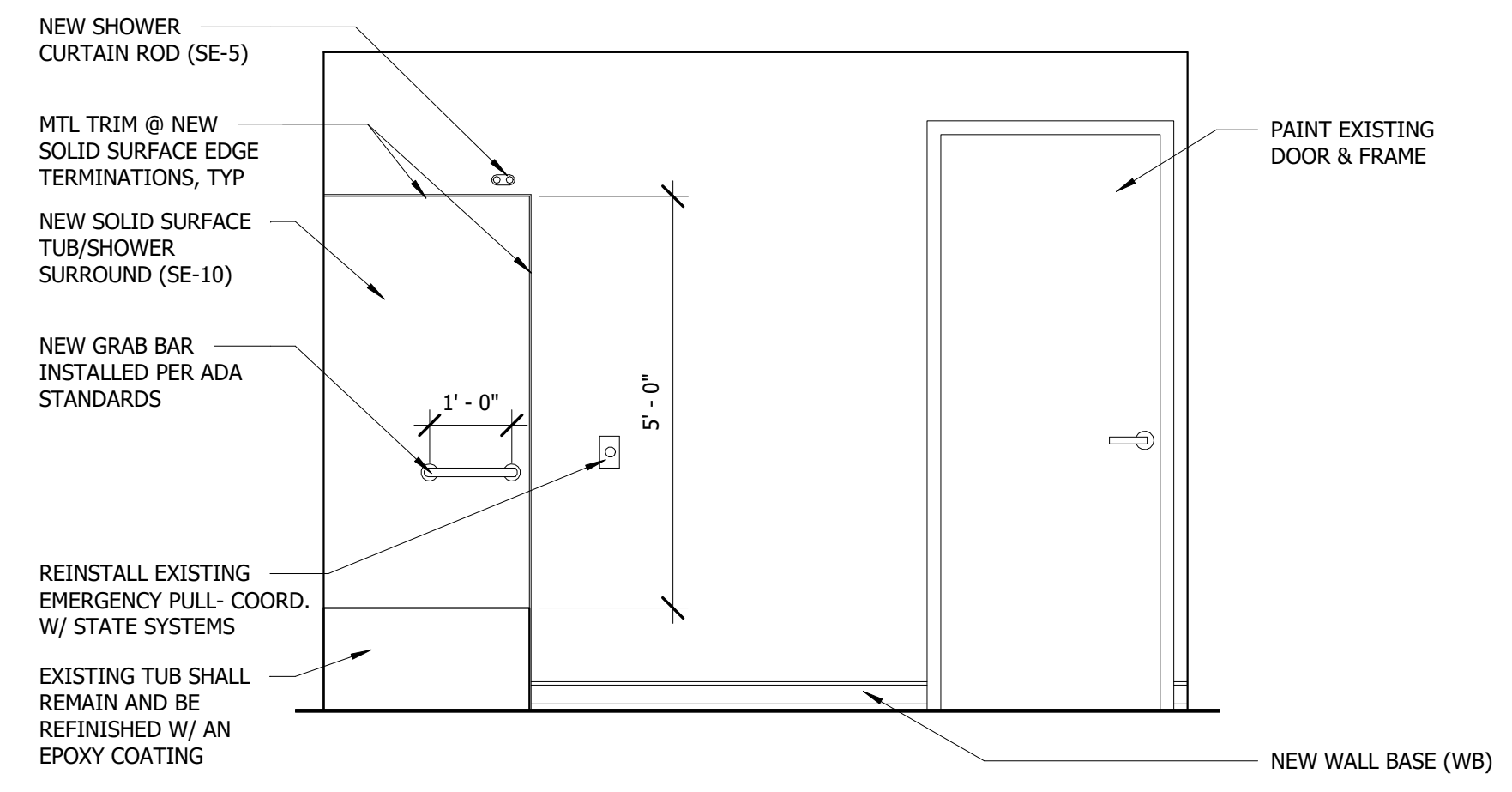
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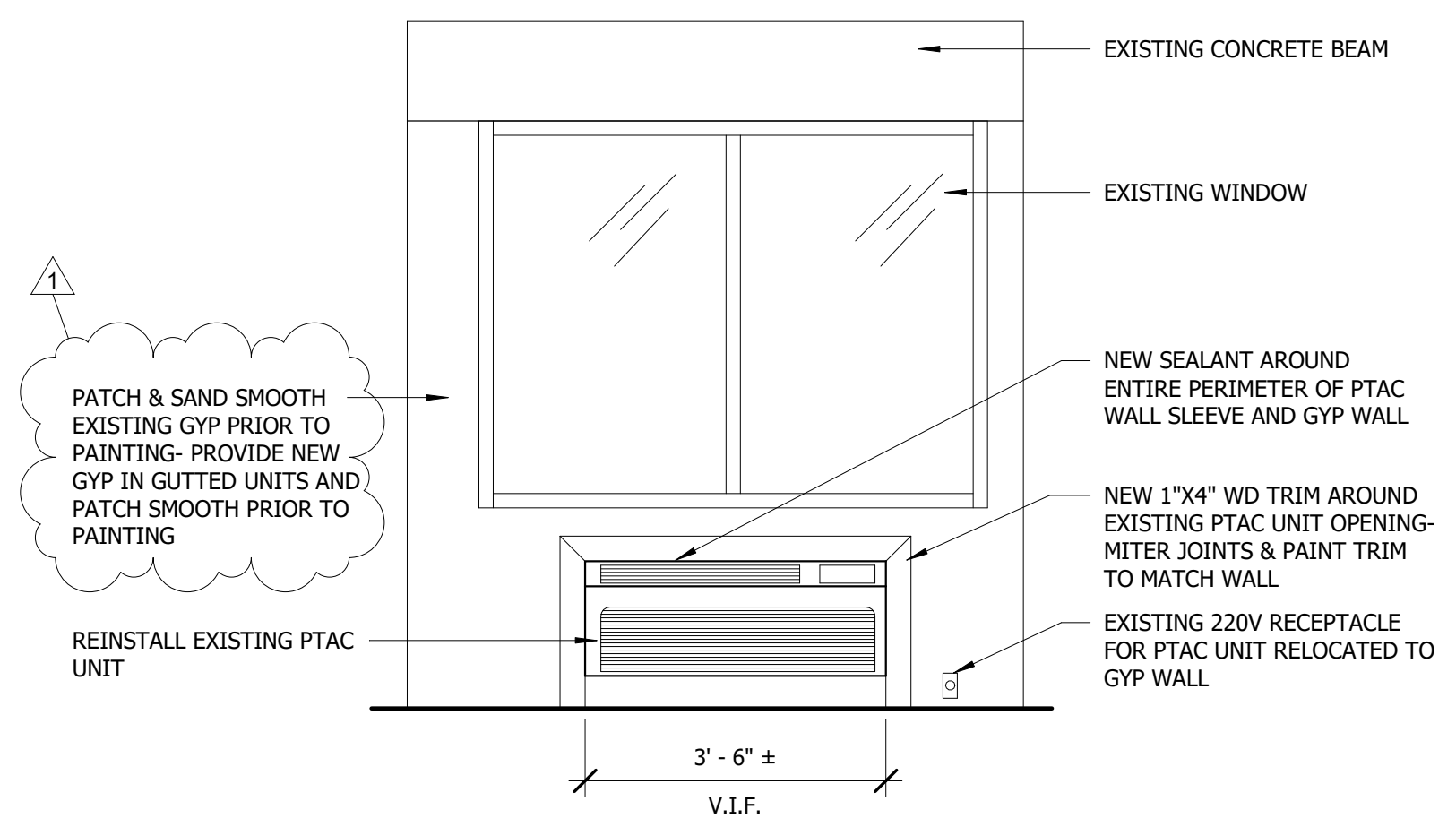
1 ADA BATHROOM ELEVATION A
1/2" = 1'-0"



2 ADA BATHROOM ELEVATION B
1/2" = 1'-0"



3 ADA BATHROOM ELEVATION C
1/2" = 1'-0"



4 BARRY TOWER- NEW PTAC ELEVATION
1/2" = 1'-0"

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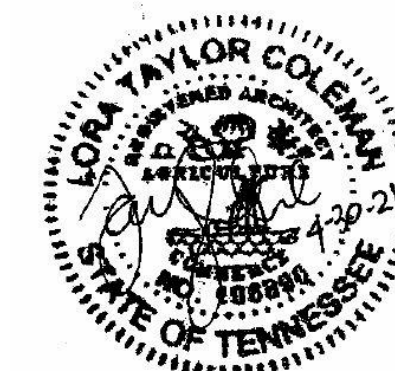
PAUL BORDA TOWERS-
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No.	Description	Date
1	ADDENDUM 1	6-01-21

**VENSON CENTER-
TYPICAL PLANS FOR
GUTTED UNITS**

JOB NO: 63004
DATE: 4/30/2021
DRAWN: Author
CHECKED: Checker



CONSTRUCTION DOCUMENTS

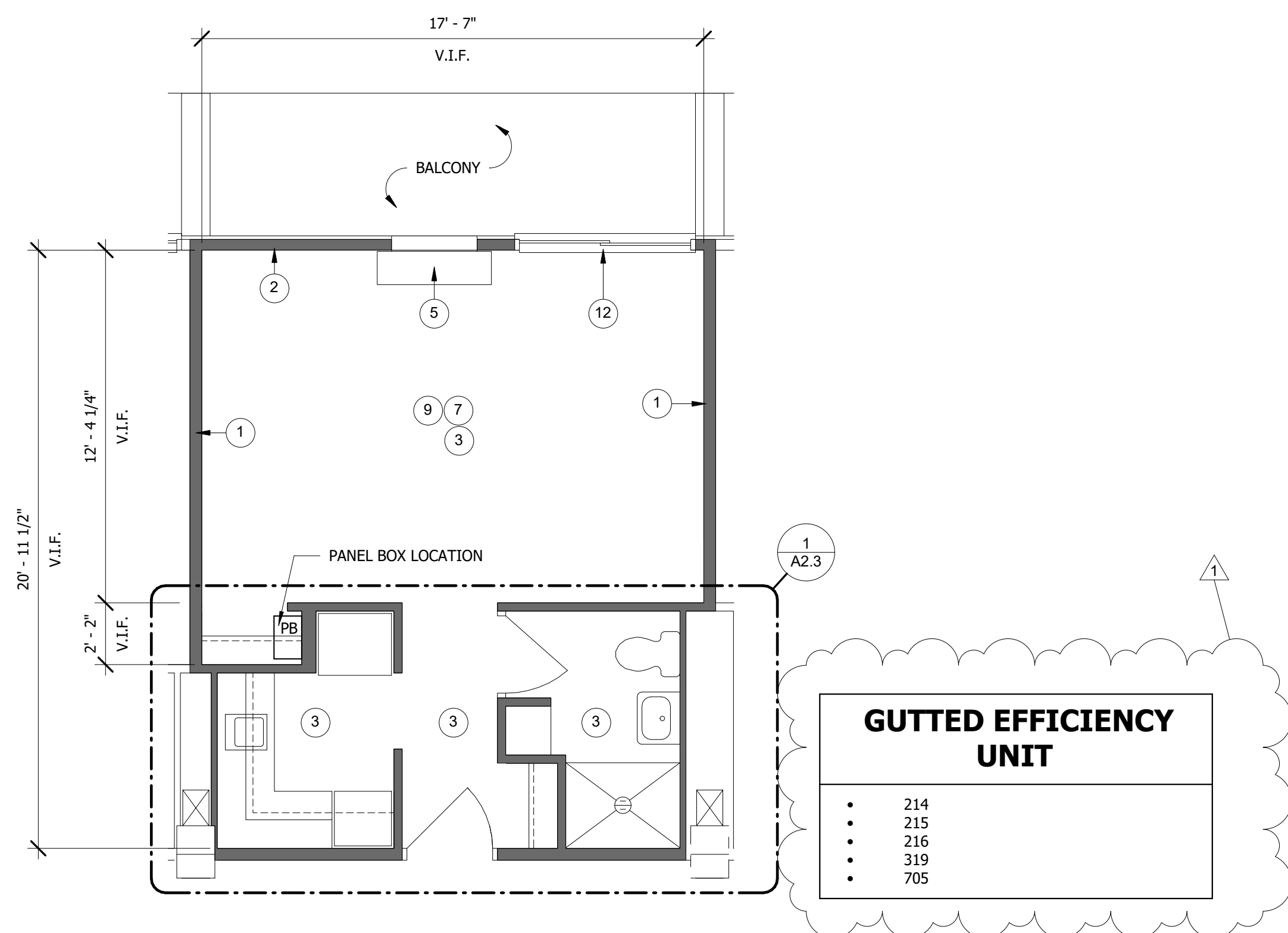
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FLOOR PLAN GENERAL NOTES

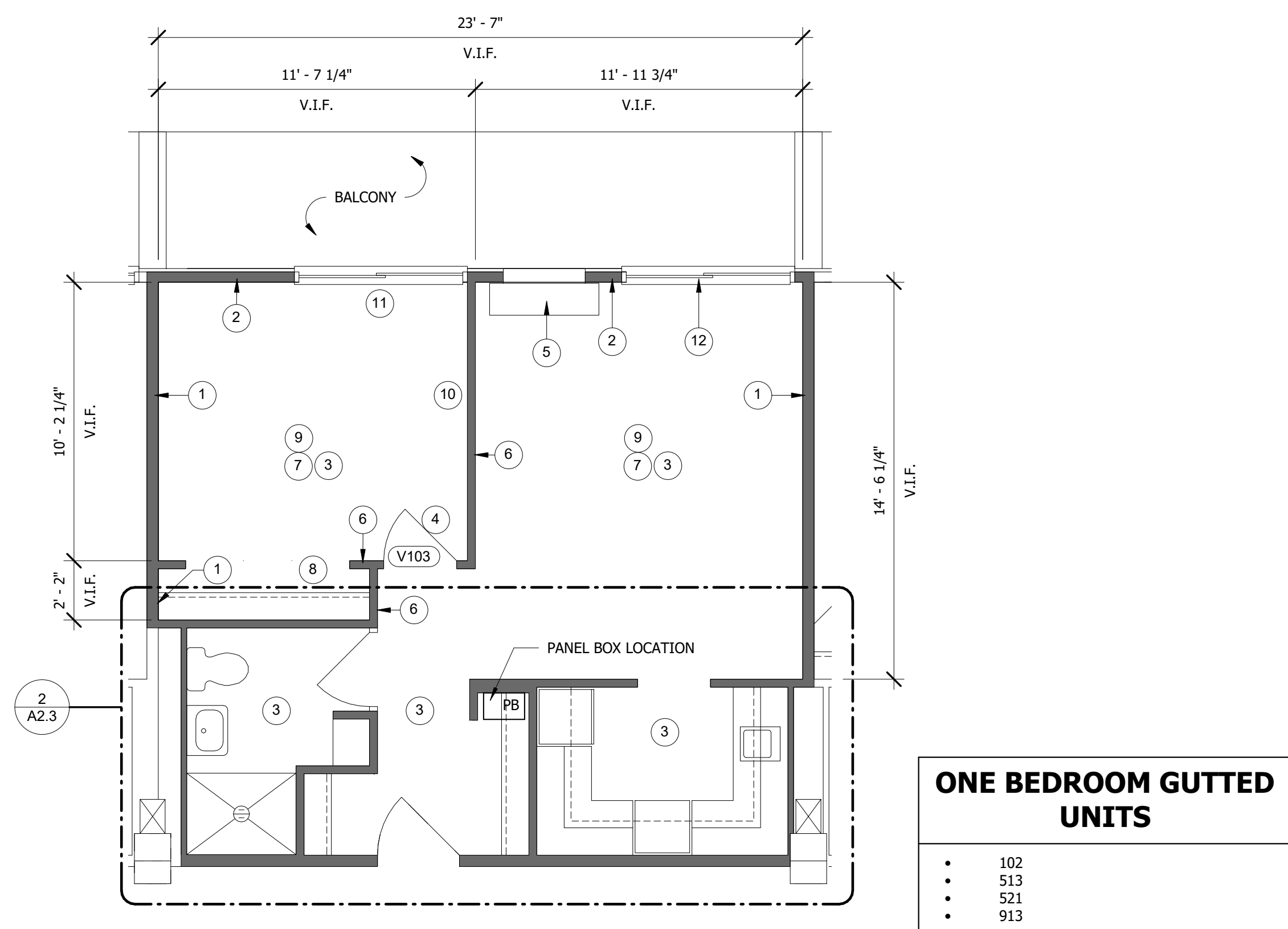
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- ALL OUTSIDE CORNERS OF GYP. BD. WALLS TO RECEIVE CORNER REINFORCEMENT.
- ALL FIRE RATINGS SHALL BE MAINTAINED IN PLACE.
- PROTECT ALL EXISTING SPRINKLER HEADS IN EACH UNIT FROM PAINT AND DAMAGE FOR THE DURATION OF THE WORK IN EACH UNIT.
- STAGGER OUTLETS AND OTHER OPENINGS THAT PENETRATE WALLS. (MIN 12")
- SEAL ALL JOINTS WHERE DISSIMILAR MATERIALS MEET. ALL SEALANT TO BE 100% WATERPROOF SILICONE SEALANT.
- IT IS THE INTENT OF THIS CONTRACT THAT ALL INTERIOR WALLS BE FINISHED AND PAINTED TO A UNIFORM APPEARANCE.
- PROVIDE BLOCKING AT ALL WALL HUNG CABINETS, MIRRORS, WALL-MOUNTED TOILET ACCESSORIES, ETC. IF LOCATED IN STUD WALLS.
- REFER TO ENLARGED FLOOR PLAN SHEETS CONTAINING MORE DETAILED DIMENSIONS AND INFORMATION.
- SLOPE FLOORS TO FLOOR DRAINS AS INDICATED.
- IT IS THE RESPONSIBILITY OF THE G.C. TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY EQUIPMENT GROUND IS PRESENT FOR ALL EXISTING CIRCUITS SUPPLYING ANY NEW EQUIPMENT. IF NO GROUND IS PRESENT, CONTRACTOR SHALL UTILIZE EXISTING CONDUITS/RACEWAYS AS EQUIPMENT GROUNDING MEANS FOR EACH EXISTING CIRCUIT TO BE REUSED TO FEED NEW EQUIPMENT. CONTRACTOR SHALL TEST AND VERIFY CONTINUITY OF CONDUITS/RACEWAYS. CONTRACTOR SHALL PROVIDE AND INSTALL GROUNDING CLAMPS AND BONDING JUMPERS AS REQUIRED TO PROVIDE A CONTINUOUS GROUNDING PATH.
- ALL CIRCUITRY (WIRES, CONDUITS, CONTROLS, DISCONNECTS, ETC.) FOR MECHANICAL ITEMS BEING DEMOLISHED SHALL BE DEMOLISHED BACK TO THE PANEL FROM WHICH THEY ARE SERVED, UOI. ELECTRICAL AND MECHANICAL CONTRACTORS SHALL COORDINATE WITH EACH OTHER AND OWNER FOR EXACT LOCATIONS AND REQUIREMENTS.
- ALL UNTERMINATED WIRES IN PANELBOARDS THAT PREVIOUSLY SERVED ITEMS THAT WILL NO LONGER BE SERVED SHALL BE DEMOLISHED- NO PANEL SHALL HAVE UNTERMINATED WIRES.
- CONTRACTOR SHALL INSPECT ALL WIRES IN PANELBOARDS FOR DAMAGE TO THEIR INSULATION OR USE OF ELECTRICAL TAPE. WIRE INSULATION THAT IS DAMAGED OR WIRES WRAPPED IN ELECTRICAL TAPE SHALL BE REPAIRED USING 3M HEAT SHRINK HEAVY-WALL CABLE SLEEVES TO RE-INSULATE.
- PANELBOARDS IN ALL UNITS WITH LOOSE COVERS AND/OR VISIBLE GAPS BETWEEN THEIR CIRCUIT BREAKERS AND THE COVER, CONTRACTOR SHALL RE-INSTALL/RE-ALIGN PANELBOARD COVERS SO THAT ALL COVERS ARE SECURELY INSTALLED TO PANELBOARD CABINET AND ALL CIRCUIT BREAKERS SIT FLUSH WITH PANELBOARD COVER.
- CONTRACTOR SHALL ENSURE ALL PANELBOARD CIRCUIT SPACES HAVE COVER PLATES AND THAT THEY ARE PROPERLY INSTALLED (E.G., THAT THERE ARE NO GAPS BETWEEN THE COVER PLATES AND ADJACENT BREAKERS).
- ALL COAXIAL CABLES THAT DO NOT TERMINATE INTO A JUNCTION BOX SHALL BE DEMOLISHED - REPAIR DRYWALL AND PAINT TO MATCH ADJACENT SURFACE.
- ALL WIRING NOT INSTALLED IN CONDUIT SHALL BE PLENUM RATED AND ANY EXPOSED WIRING SHALL BE COVERED WITH A SURFACE MOUNTED RACEWAY (PAINT TO MATCH ADJACENT SURFACE).
- ALL EXISTING ITEMS TO REMAIN SHALL BE PRESERVED DURING CONSTRUCTION FROM DAMAGE AND REINSTALLED AS REQUIRED. VERIFY WHICH ITEMS SHALL BE REUSED PRIOR TO DEMOLITION AND CONSTRUCTION. ANY EXISTING ITEMS TO REMAIN THAT ARE DAMAGED SHALL BE REPLACED IN LIKE KIND WITHOUT ADDITIONAL COST TO OWNER.
- ALL CIRCUITRY 120V AND GREATER FALLS UNDER THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY.
- FOR PANELBOARDS IN EACH UNIT, ALL 15A/1P AND 20A/1P CIRCUIT BREAKERS SHALL BE REPLACED WITH SINGLE-POLE, COMBINATION TYPE AFCI BREAKERS OF IDENTICAL AMPERAGE.
- CONTRACTOR SHALL PROVIDE CIRCUITRY EXTENSIONS FOR ALL EXISTINGS CIRCUITS SERVING OUTLETS AND SWITCHES BEING RELOCATED.
- SAFELY STORE CONDUCTORS, AS REQUIRED, UNTIL OTHER TRADES ARE READY FOR RECONNECTION. LOCK OFF POWER AT PANELBOARD TO PREVENT ANY ACCIDENTAL ENERGIZING OF CIRCUITS. ONCE OTHER TRADES HAVE COMPLETED THEIR WORK, INSTALL NEW RECEPTACLES/SWITCHES AND RECONNECT TO EXISTING CIRCUITS
- CONTRACTOR SHALL TEST ALL EQUIPMENT FOR PROPER OPERATION AND ALL CIRCUITS FOR CONTINUITY
- ALL 120V 15 AND 20 AMPERE RECEPTACLES, OTHER THAN FOR REFRIGERATOR (WHICH IS INACCESSIBLE) SHALL BE TAMPER-RESISTANT
- FIRE ALARM WORK SHALL BE DONE BY STATE SYSTEMS UNDER THIS CONTRACT.

PLAN NOTES LEGEND

- PROVIDE AND INSTALL NEW 5/8" TYPE 'X' GYP BD ON EXISTING MTL STUD WALL. REMOVE & REPLACE ALL EXISTING DAMAGED MTL STUD AS REQUIRED. PREP GYP BD WALLS TO RECEIVE NEW PAINT- SEE WALL TYPE B1.2 ON SHEET A0.2 FOR DETAILS
- PROVIDE AND INSTALL NEW 5/8" GYP BD ON EXISTING MTL STUD WALL. REMOVE & REPLACE ALL EXISTING DAMAGED MTL STUD AS REQUIRED. PREP GYP BD WALLS TO RECEIVE NEW PAINT- SEE WALL TYPE B1.4 ON SHEET A0.2 FOR DETAILS
- ALL CIRCUITS AND SWITCHES IN EXISTING WALLS SHALL RECEIVE NEW FACE PLATES AND NEW RECEPTACLES AND NEW SWITCHES. NEW RECEPTACLES/ SWITCHES SHALL MATCH NEW FACE PLATES IN COLOR.
- PROVIDE AND INSTALL NEW SOLID CORE WOOD DOOR AND NEW HOLLOW METAL DOOR FRAME- SEE DOOR SCHEDULE
- INSTALL NEW WD TRIM AND NEW SEALANT AROUND EXISTING PTAC WALL SLEEVE. SEE DETAILS ON SHEET A1.6.
- PROVIDE AND INSTALL NEW 5/8" GYP BD ON BOTH SIDES OF MTL STUD WALL. REMOVE & REPLACE ALL EXISTING DAMAGED MTL STUD, AS REQUIRED. PREP GYP BD WALLS TO RECEIVE NEW PAINT- SEE WALL TYPE B1.1 ON SHEET A0.2 FOR DETAILS
- ALL WALLS SHALL BE PRIMED AND PAINTED. TAPE, MUD, FLOAT, AND SAND SMOOTH ALL GYP WALLS, AS REQUIRED, PRIOR TO PAINTING. PAINT ALL WALL MOUNTED CONDUIT TO MATCH WALL COLOR- SEE FINISH SCHEDULE FOR COLOR SELECTIONS
- PROVIDE AND INSTALL NEW CHROME PLATED HANGAR RODS AND PAINTED WD SHELVES ON SHELF STANDARDS IN CLOSETS. SEE SHEET A1.2 FOR DETAILS
- PROVIDE AND INSTALL NEW LVT FLOORING & WALL BASE. PREP CONCRETE SUBFLOOR, AS REQUIRED, TO RECEIVE NEW FLOORING.
- PROVIDE AND INSTALL NEW TRANSFER FAN WITH GRILLE ON BOTH SIDES OF WALL. NEW TRANSFER FAN SHALL BE BROAN-511 8 INCH, 180 CFM ROOM TO ROOM EXHAUST FAN. REMOVE EXISTING ROTARY FAN SPEED CONTROLLER FOR EXISTING TRANSFER FAN AND INSTALL NEW SINGLE POLE, SINGLE THROW SWITCH FOR NEW TRANSFER FAN.
- REMOVE EXISTING FLOOR HEATER AT BASE OF WALL BELOW WINDOW. FLOOR HEATER SHALL BE REMOVED IN ITS ENTIRETY BACK TO THE PANEL FROM WHICH IT IS SERVED.
- REMOVE EXISTING WD TRIM AROUND EXISTING BALCONY DOOR. PROVIDE AND INSTALL NEW PAINTED WD DOOR TRIM & 100% WATERPROOF SILICONE SEALANT AROUND EXISTING BALCONY DOOR.



1 VENSON CENTER- TYPICAL GUTTED EFFICIENCY UNIT PLAN
1/4" = 1'-0"



2 VENSON CENTER- TYPICAL GUTTED ONE BEDROOM UNIT PLAN
1/4" = 1'-0"

\\Ahmem03\blid\63004-MHA-High Rise Interiors\Revit\Barry Venson- ARCH19.rvt 6/1/2021 5:20:48 PM



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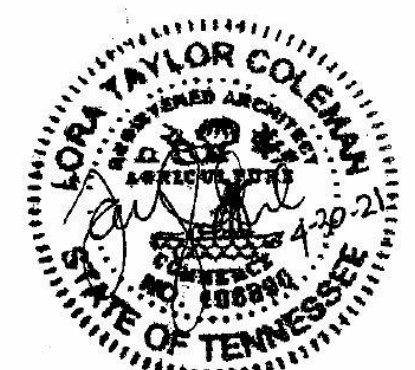
PAUL BORDA TOWERS-
21 NEELY ST
MEMPHIS, TN 38105

MEMPHIS HOUSING AUTHORITY

No.	Description	Date

VENSON CENTER- TYPICAL ENLARGED PLANS FOR GUTTED UNITS

JOB NO: 63004
DATE: 4/30/2021
DRAWN: Author
CHECKED: Checker

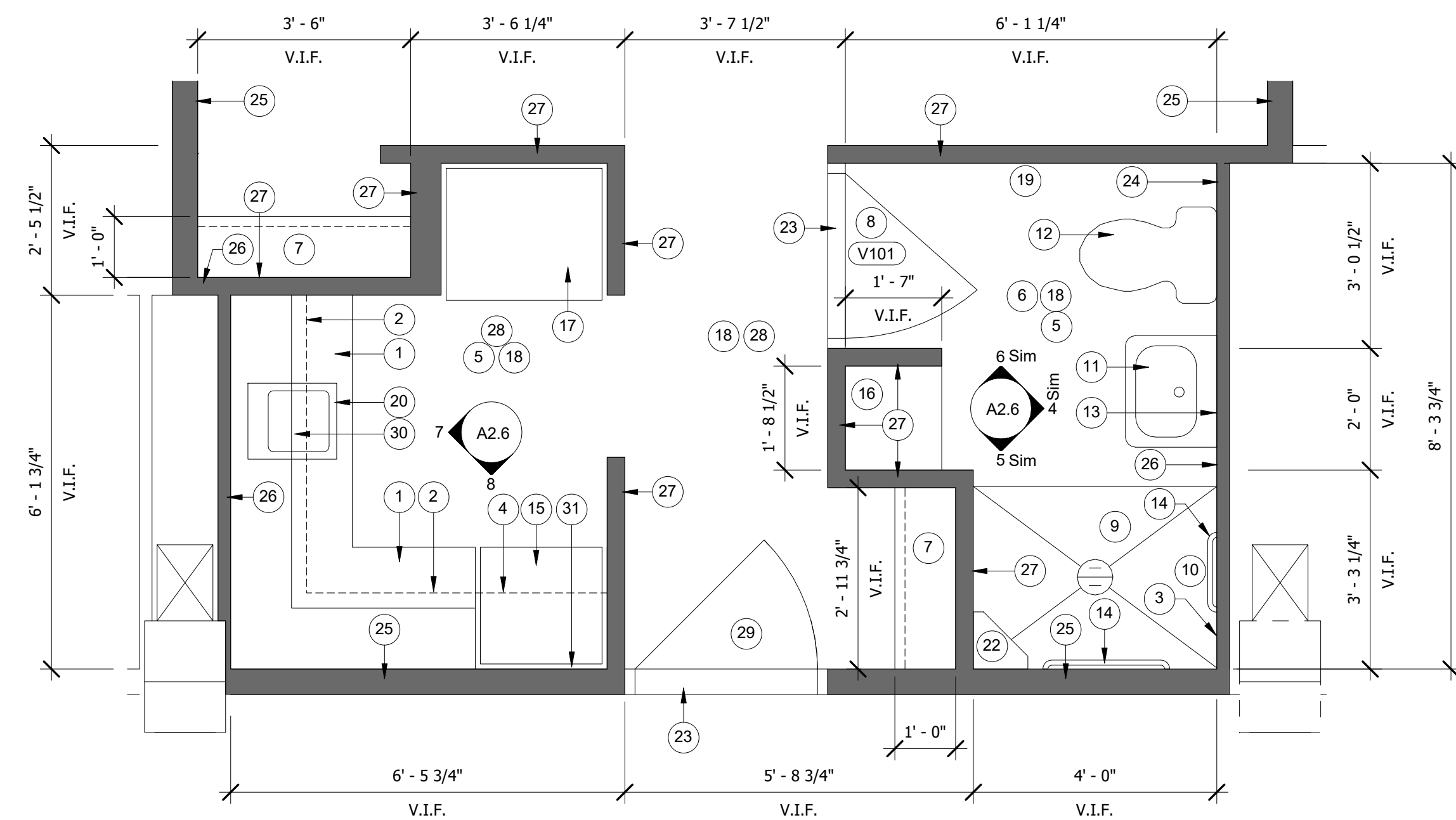


CONSTRUCTION DOCUMENTS

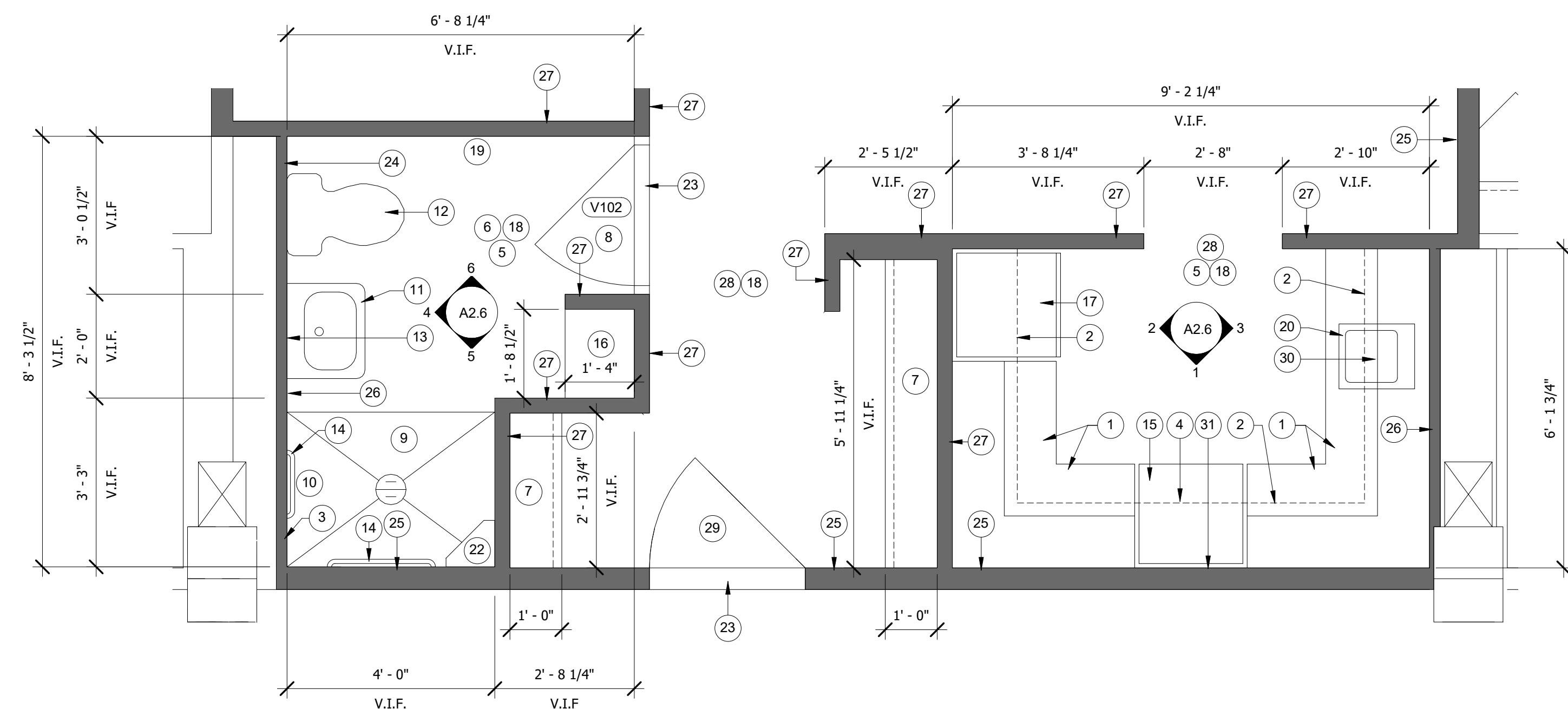
A2.3

PLAN NOTES LEGEND

- 1 PROVIDE & INSTALL NEW BASE CABINETS & PLASTIC LAMINATE COUNTERTOP W/ 4" BACKSPASH- SEE ELEVATIONS. RELOCATE ANY ELECTRICAL RECEPTACLES ABOVE BACKSPASH SO THAT NO RECEPTACLES ARE MOUNTED ON NEW BACKSPASH. PROVIDE CIRCUITRY EXTENSIONS AS REQUIRED TO RAISE RECEPTACLES ABOVE NEW BACKSPASH.
- 2 PROVIDE & INSTALL NEW UPPER CABINETS- SEE ELEVATIONS.
- 3 REMOVE EXISTING EXHAUST GRILLE. PROVIDE AND INSTALL NEW EXHAUST GRILL AND CONNECT TO EXISTING DUCTWORK. NEW GRILLE SHALL BE SINGLE DEFLECTION AND ALUMINUM CONSTRUCTION WITH FACTORY WHITE FINISH. NEW GRILLE SHALL BE INSTALLED AFTER NEW TILE WORK IS COMPLETE. MATCH EXISTING SIZE.
- 4 PROVIDE AND INSTALL NEW VENT HOOD (SE-12)-REMOVE EXISTING DAMPER FROM HOOD EXHAUST DUCT. EXTEND NEW 8" DUCTWORK FROM NEW VENT HOOD TO EXISTING DUCTWORK IN CHASE. PROVIDE AND INSTALL NEW TWO POSITION DAMPER IN DUCTWORK AND INTERLOCK WITH HOOD TO OPEN WHEN HOOD IS ON CLOSE WHEN HOOD IS OFF- SEE SPECIAL EQUIPMENT LIST A12.2
- 5 ALL 120V BATHROOM AND KITCHEN RECEPTACLES SHALL BE REPLACED WITH GFCI RECEPTACLES. CONTRACTOR SHALL BE ALLOWED TO REPLACE THE MOST UPSTREAM RECEPTACLE ON THE CIRCUIT SERVING THAT SPACE GIVEN GFCI PROTECTION IS VERIFIED FOR ALL RECEPTACLES IN THAT SPACE.
- 6 PROVIDE AND INSTALL NEW CERAMIC TILE FLOORING AND CERAMIC TILE WALL BASE- SEE FINISH SCHEDULE
- 7 PROVIDE AND INSTALL NEW CHROME PLATE STEEL HANGER ROD AND PAINTED WD SHELVES ON SHELF STANDARDS. SEE 1/A12.2 FOR DETAILS
- 8 PROVIDE & INSTALL NEW SOLID CORE WOOD DOOR AND HOLLOW METAL FRAME- SEE DOOR SCHEDULE
- 9 PROVIDE AND INSTALL NEW CERAMIC FLOOR AND WALL TILE IN EXISTING SHOWER. SLOPE NEW FLOOR TILE TO FLOOR DRAIN. PROVIDE AND INSTALL NEW COVER FOR FLOOR DRAIN- SEE FINISH SCHEDULE
- 10 PROVIDE AND INSTALL NEW SHOWER HEAD & FAUCET- CONNECT TO EXISTING PLUMBING
- 11 EXISTING CAST IRON SINK SHALL BE REFINISHED WITH AN EPOXY COATING AND REINSTALLED- CONNECT TO EXISTING PLUMBING. PROVIDE AND INSTALL NEW CAST IRON WALL BRACKET FOR EXISTING SINK. PROVIDE AND INSTALL NEW FAUCET (SE-8) FOR EXISTING SINK. PROVIDE FRM WD BLOCKING IN WALL BETWEEN MTL STUDS TO PROVIDE SUFFICIENT SUPPORT FOR SINK.
- 12 PROVIDE AND INSTALL NEW TOILET- CONNECT TO EXISTING PLUMBING
- 13 PROVIDE AND INSTALL NEW MIRRORRED MEDICINE CABINET
- 14 PROVIDE AND INSTALL NEW GRAB BARS. PROVIDE BLOCKING IN WALL AS REQUIRED FOR NEW GRAB BARS. NEW GRAB BARS SHALL BE INSTALLED PER ADA STANDARDS- SEE ELEVATIONS FOR DETAILS & LOCATIONS
- 15 OWNER FURNISHED, OWNER INSTALLED ELECTRIC STOVE. CONTRACTOR SHALL REPLACE THE EXISTING NEMA 10-50R STOVE RECEPTACLE WITH A NEW NEMA 14-50R RECEPTACLE. CONTRACTOR SHALL PULL NEW #10 GROUND WIRE.
- 16 PROVIDE AND INSTALL NEW PAINTED WD SHELVING ON SHELF STANDARDS. SEE 2/A12.2 FOR DETAILS
- 17 OWNER FURNISHED, OWNER INSTALLED REFRIGERATOR
- 18 ALL WALLS SHALL BE PRIMED AND PAINTED. REPLACE ANY DAMAGED GYP BOARD PRIOR TO PAINTING. TAPE, MUD, FLOAT, AND SAND SMOOTH ALL GYP WALLS AND CEILINGS, AS REQUIRED, PRIOR TO PAINTING. PAINT ALL WALL MOUNTED CONDUIT TO MATCH WALL COLOR- SEE FINISH SCHEDULE FOR COLOR SELECTIONS
- 19 PROVIDE AND INSTALL NEW TOILET PAPER HOLDER
- 20 PROVIDE AND INSTALL NEW KITCHEN SINK (SE-13) AND NEW KITCHEN SINK FAUCET (SE-7)- CONNECT TO EXISTING PLUMBING. SEE SPECIAL EQUIPMENT LIST A12.2. CONTRACTOR SHALL REMOVE EXISTING DISPOSAL & SINGLE THROW SWITCH FOR EXISTING DISPOSAL BACK TO THE PANEL FROM WHICH IT IS SERVED.
- 21 ALL WALLS AND CEILING IN EXISTING CLOSET SHALL BE PAINTED. ALL SHELVING SHALL BE PAINTED TO MATCH WALL AND CEILING COLOR. TAPE, MUD, FLOAT, AND SAND SMOOTH ALL GYP WALLS AND CEILINGS, AS REQUIRED, PRIOR TO PAINTING. CLEAN SHELVES PRIOR TO PAINTING. PAINT ALL WALL MOUNTED CONDUIT TO MATCH WALL COLOR- SEE FINISH SCHEDULE FOR COLOR SELECTIONS.
- 22 PROVIDE & INSTALL NEW STAINLESS STEEL SHOWER SEAT.
- 23 PROVIDE AND INSTALL NEW ADA COMPLAINT, SOLID SURFACE THRESHOLD IN EXISTING DOORWAY TO TRANSITION FROM NEW LVT FLOORING TO NEW CERAMIC TILE FLOORING
- 24 NEW PREFINISHED FIRE RATED ACCESS PANEL FOR NEW SHUT OFF VALVES IN EXISTING RATED WALL. SEE SPEC.
- 25 PROVIDE AND INSTALL NEW 5/8" TYPE 'X' GYP BD ON EXISTING MTL STUD WALL. REMOVE & REPLACE ALL EXISTING DAMAGED MTL STUD AS REQUIRED. PREP GYP BD WALLS TO RECEIVE NEW PAINT- SEE WALL TYPE B1.2 ON SHEET A0.2 FOR DETAILS
- 26 PROVIDE AND INSTALL NEW 5/8" TYPE 'X' GYP BD IN 2 LAYERS ON EXISTING MTL STUD @ CHASE WALL. REMOVE & REPLACE ALL EXISTING DAMAGED MTL STUD AS REQUIRED- SEE WALL TYPE B1.5 ON SHEET A0.2 FOR DETAILS
- 27 PROVIDE AND INSTALL NEW 5/8" GYP BD ON BOTH SIDES OF MTL STUD WALL. GYP BD IN BATHROOMS SHALL BE GREENBOARD OR EQUAL. REMOVE & REPLACE ALL EXISTING DAMAGED MTL STUD, AS REQUIRED. PREP GYP BD WALLS TO RECEIVE NEW PAINT- SEE WALL TYPE B1.1 ON SHEET A0.2 FOR DETAILS
- 28 PROVIDE AND INSTALL NEW LVT FLOORING & WALL BASE. PREP CONCRETE SUBFLOOR, AS REQUIRED, TO RECEIVE NEW FLOORING.
- 29 PAINT EXISTING DOOR AND FRAME. EXISTING DOOR AND FRAME SHALL BE CLEANED, AS REQUIRED, PRIOR TO PAINTING TO PROVIDE A SMOOTH FINISH.
- 30 DEMO EXISTING UNDER CABINET LIGHT FIXTURE BACK TO THE PANEL FROM WHICH IT IS SERVED.
- 31 PROVIDE AND INSTALL NEW 20 GA STAINLESS STEEL BACKSPASH ON GYP WALL BEHIND OWNER FURNISHED ELECTRIC STOVE. BACKSPASH SHALL BE 24"(W) AND EXTEND FROM TOP OF COUNTERTOP HEIGHT TO VENT HOOD ABOVE- SEE ELEVATIONS



1 VENSON CENTER- TYPICAL GUTTED EFFICIENCY UNIT KITCHEN & BATHROOM PLAN
1/2" = 1'-0"



2 VENSON CENTER- TYPICAL GUTTED ONE BEDROOM UNIT KITCHEN & BATHROOM PLAN
1/2" = 1'-0"



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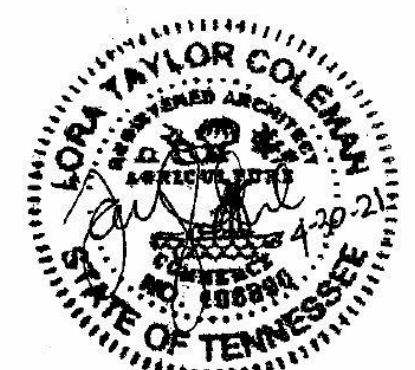
PAUL BORDA TOWERS-
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MEMPHIS HOUSING AUTHORITY

No.	Description	Date
1	ADDENDUM 1	6-01-21

**VENSON CENTER-
TYPICAL UNIT PLANS FOR
RENOVATION**

JOB NO: 63004
DATE: 4/30/2021
DRAWN: Author
CHECKED: Checker



CONSTRUCTION DOCUMENTS

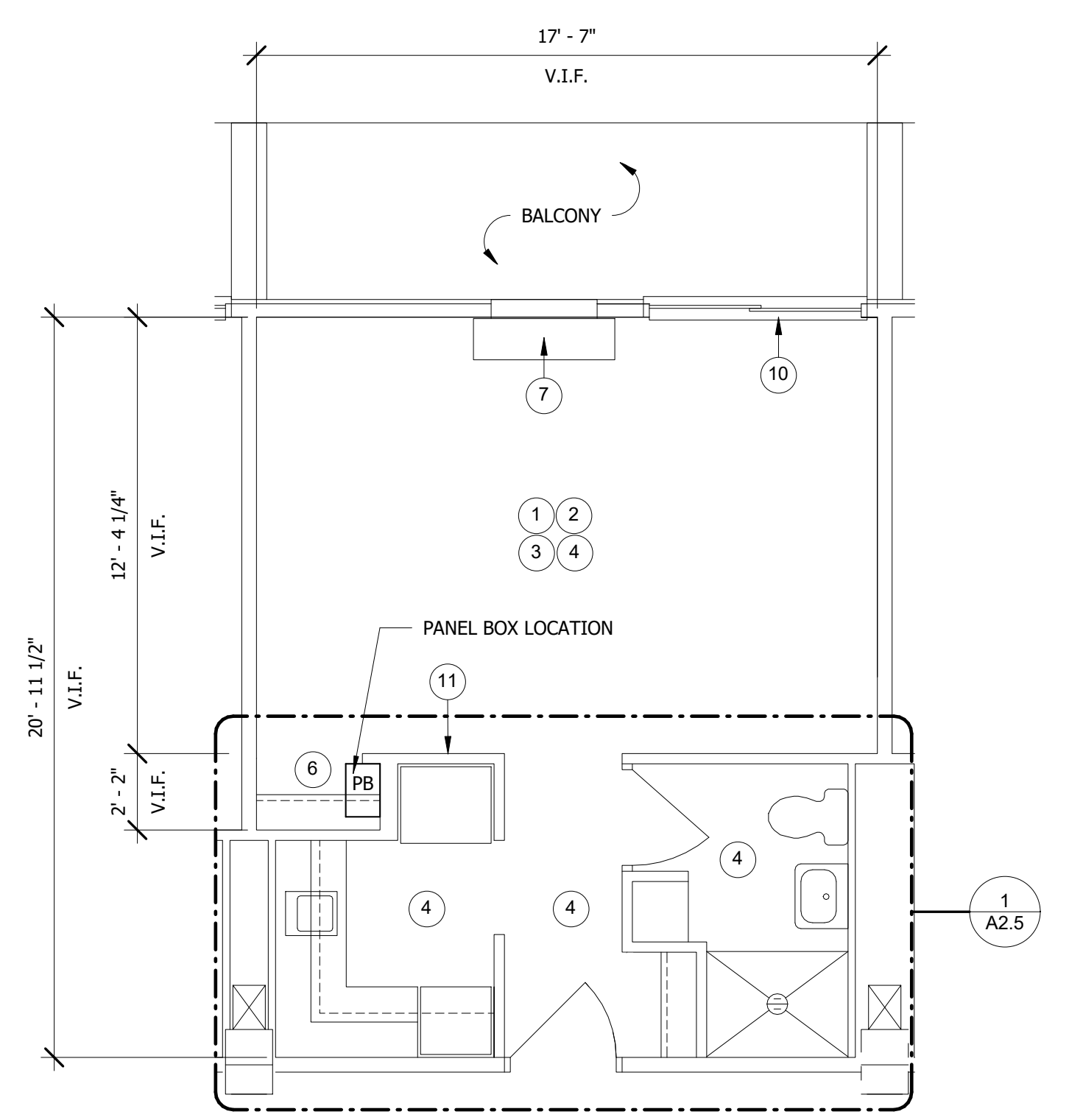
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FLOOR PLAN GENERAL NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS BASED ON THE ENTIRE SET OF DOCUMENTS. NO EXTRA COMPENSATION WILL BE GIVEN TO A BIDDER OR SUPPLIER WHO HAS BID FROM AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS. IN CASE OF INCONSISTENCIES OR DISCREPANCIES BETWEEN DRAWINGS, THE MOST STRINGENT NOTE OR CONDITION SHALL APPLY. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH DISCREPANCIES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL INDICATE ON THESE PLANS APPROVED CHANGES TO THE WORK. THIS SET OF DRAWINGS SHALL BE TURNED OVER TO THE OWNER WHEN THE PROJECT IS COMPLETED.
- DO NOT SCALE DRAWINGS. USE PRINTED DIMENSIONS ONLY.
- ALL DIMENSIONS ARE TO FINISH FACE OF WALL AND OPENING UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODE REQUIREMENTS.
- CEMENT BACKER BOARD SHALL BE SUBSTITUTED FOR GYPSUM BOARD WHERE CERAMIC TILE IS SCHEDULED, EXCEPT AT RATED PARTITIONS.
- ALL OUTSIDE CORNERS OF GYP. BD. WALLS TO RECEIVE CORNER REINFORCEMENT.
- ALL FIRE RATINGS SHALL BE MAINTAINED IN PLACE.
- PROTECT ALL EXISTING SPRINKLER HEADS IN EACH UNIT FROM PAINT AND DAMAGE FOR THE DURATION OF THE WORK IN EACH UNIT.
- STAGGER OUTLETS AND OTHER OPENINGS THAT PENETRATE WALLS. (MIN 12") SEAL ALL JOINTS WHERE DISSIMILAR MATERIALS MEET. ALL SEALANT TO BE 100% WATERPROOF SILICONE SEALANT.
- IT IS THE INTENT OF THIS CONTRACT THAT ALL INTERIOR WALLS BE FINISHED AND PAINTED TO A UNIFORM APPEARANCE.
- PROVIDE BLOCKING AT ALL WALL HUNG CABINETS, MIRRORS, WALL-MOUNTED TOILET ACCESSORIES, ETC. IF LOCATED IN STUD WALLS.
- REFER TO ENLARGED FLOOR PLAN SHEETS CONTAINING MORE DETAILED DIMENSIONS AND INFORMATION.
- SLOPE FLOORS TO FLOOR DRAINS AS INDICATED.
- IT IS THE RESPONSIBILITY OF THE G.C. TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY EQUIPMENT GROUND IS PRESENT FOR ALL EXISTING CIRCUITS SUPPLYING ANY NEW EQUIPMENT. IF NO GROUND IS PRESENT, CONTRACTOR SHALL UTILIZE EXISTING CONDUITS/RACEWAYS AS EQUIPMENT GROUNDING MEANS FOR EACH EXISTING CIRCUIT TO BE REUSED TO FEED NEW EQUIPMENT. CONTRACTOR SHALL TEST AND VERIFY CONTINUITY OF CONDUITS/RACEWAYS. CONTRACTOR SHALL PROVIDE AND INSTALL GROUNDING CLAMPS AND BONDING JUMPERS AS REQUIRED TO PROVIDE A CONTINUOUS GROUNDING PATH.
- ALL CIRCUITRY (WIRES, CONDUITS, CONTROLS, DISCONNECTS, ETC.) FOR MECHANICAL ITEMS BEING DEMOLISHED SHALL BE DEMOLISHED BACK TO THE PANEL FROM WHICH THEY ARE SERVED, UOI. ELECTRICAL AND MECHANICAL CONTRACTORS SHALL COORDINATE WITH EACH OTHER AND OWNER FOR EXACT LOCATIONS AND REQUIREMENTS.
- ALL UN-TERMINATED WIRES IN PANELBOARDS THAT PREVIOUSLY SERVED ITEMS THAT WILL NO LONGER BE SERVED SHALL BE DEMOLISHED- NO PANEL SHALL HAVE UNTERMINATED WIRES.
- CONTRACTOR SHALL INSPECT ALL WIRES IN PANELBOARDS FOR DAMAGE TO THEIR INSULATION OR USE OF ELECTRICAL TAPE. WIRE INSULATION THAT IS DAMAGED OR WIRES WRAPPED IN ELECTRICAL TAPE SHALL BE REPAIRED USING 3M HEAT SHRINK HEAVY-WALL CABLE SLEEVES TO RE-INSULATE.
- PANELBOARDS IN ALL UNITS WITH LOOSE COVERS AND/OR VISIBLE GAPS BETWEEN THEIR CIRCUIT BREAKERS AND THE COVER, CONTRACTOR SHALL RE-INSTALL/RE-ALIGN PANELBOARD COVERS SO THAT ALL COVERS ARE SECURELY INSTALLED TO PANELBOARD CABINET AND ALL CIRCUIT BREAKERS SIT FLUSH WITH PANELBOARD COVER.
- CONTRACTOR SHALL ENSURE ALL PANELBOARD CIRCUIT SPACES HAVE COVER PLATES AND THAT THEY ARE PROPERLY INSTALLED (E.G., THAT THERE ARE NO GAPS BETWEEN THE COVER PLATES AND ADJACENT BREAKERS).
- ALL COAXIAL CABLES THAT DO NOT TERMINATE INTO A JUNCTION BOX SHALL BE DEMOLISHED - REPAIR DRYWALL AND PAINT TO MATCH ADJACENT SURFACE.
- ALL WIRING NOT INSTALLED IN CONDUIT SHALL BE PLENUM RATED AND ANY EXPOSED WIRING SHALL BE COVERED WITH A SURFACE MOUNTED RACEWAY (PAINT TO MATCH ADJACENT SURFACE).
- ALL EXISTING ITEMS TO REMAIN SHALL BE PRESERVED DURING CONSTRUCTION FROM DAMAGE AND REINSTALLED AS REQUIRED. VERIFY WHICH ITEMS SHALL BE REUSED PRIOR TO DEMOLITION AND CONSTRUCTION. ANY EXISTING ITEMS TO REMAIN THAT ARE DAMAGED SHALL BE REPLACED IN LIKE KIND WITHOUT ADDITIONAL COST TO OWNER.
- ALL CIRCUITRY 120V AND GREATER FALLS UNDER THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY.
- FOR PANELBOARDS IN EACH UNIT, ALL 15A/1P AND 20A/1P CIRCUIT BREAKERS SHALL BE REPLACED WITH SINGLE-POLE, COMBINATION TYPE AFCI BREAKERS OF IDENTICAL AMPERAGE.
- CONTRACTOR SHALL PROVIDE CIRCUITRY EXTENSIONS FOR ALL EXISTING CIRCUITS SERVING OUTLETS AND SWITCHES BEING RELOCATED.
- SAFELY STORE CONDUCTORS, AS REQUIRED, UNTIL OTHER TRADES ARE READY FOR RECONNECTION. LOCK OFF POWER AT PANELBOARD TO PREVENT ANY ACCIDENTAL ENERGIZING OF CIRCUITS. ONCE OTHER TRADES HAVE COMPLETED THEIR WORK, INSTALL NEW RECEPTACLES/SWITCHES AND RECONNECT TO EXISTING CIRCUITS.
- CONTRACTOR SHALL TEST ALL EQUIPMENT FOR PROPER OPERATION AND ALL CIRCUITS FOR CONTINUITY.
- ALL 120V 15 AND 20 AMPERE RECEPTACLES, OTHER THAN FOR REFRIGERATOR (WHICH IS INACCESSIBLE) SHALL BE TAMPER-RESISTANT.
- FIRE ALARM WORK SHALL BE DONE BY STATE SYSTEMS UNDER THIS CONTRACT.

PLAN NOTES LEGEND

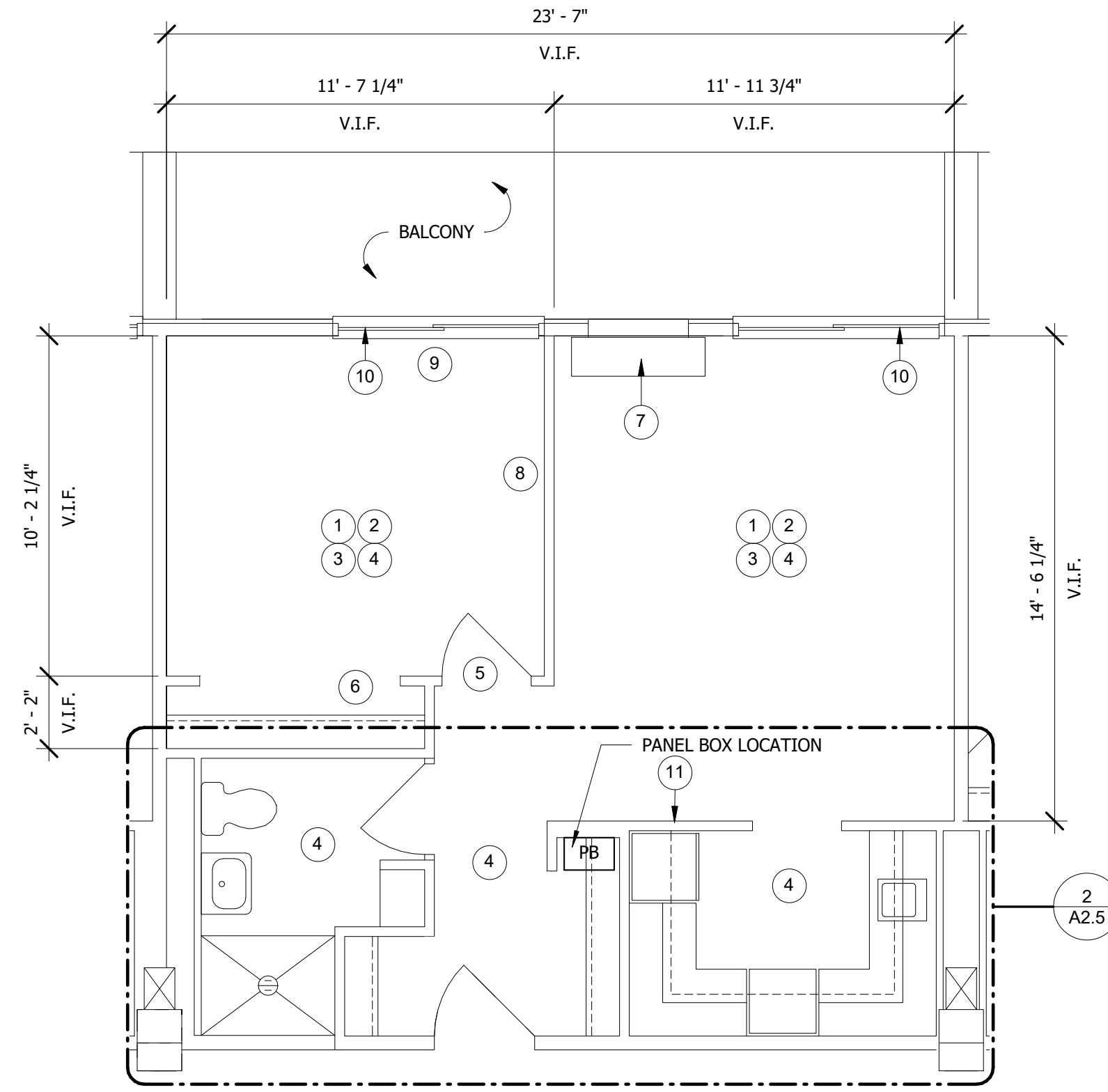
- PROVIDE & INSTALL NEW LVT FLOORING, PREP EXISTING CONCRETE SUBFLOOR AS REQUIRED TO RECEIVE NEW LVT FLOORING- SEE FINISH SCHEDULE
- ALL WALLS SHALL BE PRIMED AND PAINTED. REPLACE ANY DAMAGED GYP BOARD PRIOR TO PAINTING. TAPE, MUD, FLOAT, AND SAND SMOOTH ALL GYP WALLS AND CEILINGS, AS REQUIRED, PRIOR TO PAINTING. PAINT ALL WALL MOUNTED CONDUIT TO MATCH WALL COLOR- SEE FINISH SCHEDULE FOR COLOR SELECTIONS
- PROVIDE AND INSTALL NEW WALL BASE- SEE FINISH SCHEDULE
- ALL CIRCUITS AND SWITCHES IN EXISTING WALLS SHALL RECEIVE NEW FACE PLATES AND NEW RECEPTACLES AND NEW SWITCHES. NEW RECEPTACLES/ SWITCHES SHALL MATCH NEW FACE PLATES IN COLOR. PROVIDE BLANK FACE PLATES AT ALL LOCATIONS WHERE RECEPTACLES ARE NO LONGER IN USE
- EXISTING DOOR AND FRAME SHALL BE PAINTED- SEE FINISH SCHEDULE. CLEAN EXISTING DOOR AND FRAME, AS REQUIRED, PRIOR TO PAINTING TO PROVIDE A SMOOTH PAINT FINISH
- REMOVE EXISTING BI-FOLD DOORS IN THEIR ENTIRETY INCLUDING HARDWARE. ALL WALLS AND CEILING IN EXISTING CLOSET SHALL BE PAINTED. REMOVE EXISTING SHELVEING, SHELVEING ACCESSORIES AND HANGER ROD IN THEIR ENTIRETY. PROVIDE NEW CHROME PLATES STEEL HANGER ROD & PAINTED WD SHELVEING ON SHELF STANDARDS- SEE 1/A12.2 FOR SHELF DETAIL.
- REMOVE EXISTING METAL TRIM AROUND EXISTING PTAC UNIT. INSTALL NEW WD TRIM AND NEW SEALANT AROUND EXISTING PTAC WALL SLEEVE. SEE DETAILS ON SHEET A1.6.
- REMOVE EXISTING TRANSFER FAN AND INSTALL NEW TRANSFER FAN WITH GRILLE ONB BOTH SIDES OF WALL. NEW TRANSFER FAN SHALL BE BROAN-511 8 INCH, 180 CFM ROOM TO ROOM EXHAUST FAN
- REMOVE EXISTING FLOOR HEATER AT BASE OF WALL BELOW WINDOW. FLOOR HEATER SHALL BE REMOVED IN ITS ENTIRETY BACK TO THE PANEL FROM WHICH IT IS SERVED. INFILL WITH NEW GYP BD. NEW GYP BD SHALL BE TAPED, SANDED, AND MUDDED TO BE FLUSH AND SMOOTH WITH ADJACENT WALL CONSTRUCTION PRIOR TO PAINTING.
- REMOVE EXISTING CURTAIN TRACKS/BRAKETS IN THEIR ENTIRETY. TAPE, MUD, AND FLOAT GYP BD, AS REQUIRED, WHERE CURTAIN TRACKS/BRAKETS WERE REMOVED TO PROVIDE A SMOOTH SURFACE PRIOR TO PAINTING.
- REMOVE EXISTING WALL MOUNTED LIGHT FIXTURE IN ITS ENTIRETY BACK TO THE PANEL FROM WHICH IT IS SERVED.



1 VENSON CENTER- TYPICAL EFFICIENCY UNIT PLAN
1/4" = 1'-0"

EFFICIENCY UNITS FOR RENOVATION

- 217
- 415, 417
- 514, 517, 519
- 716
- 817
- 919
- 1018, 1019



2 VENSON CENTER- TYPICAL ONE BEDROOM UNIT PLAN
1/4" = 1'-0"

ONE BEDROOM UNITS FOR RENOVATION

- 421
- 811, 821
- 911
- 1012, 1013, 1021

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VENSON CENTER-
449 BEALE ST
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JEFFERSON SQUARE-
741 ADAMS AVE
MEMPHIS, TN 38105

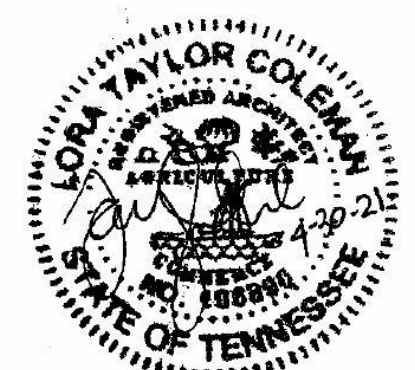
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MEMPHIS HOUSING AUTHORITY

No.	Description	Date
1	ADDENDUM 1	6-01-21

**VENSON CENTER-
ENLARGED PLANS FOR
RENOVATION**

JOB NO: 63004
DATE: 4/30/2021
DRAWN: Author
CHECKED: Checker

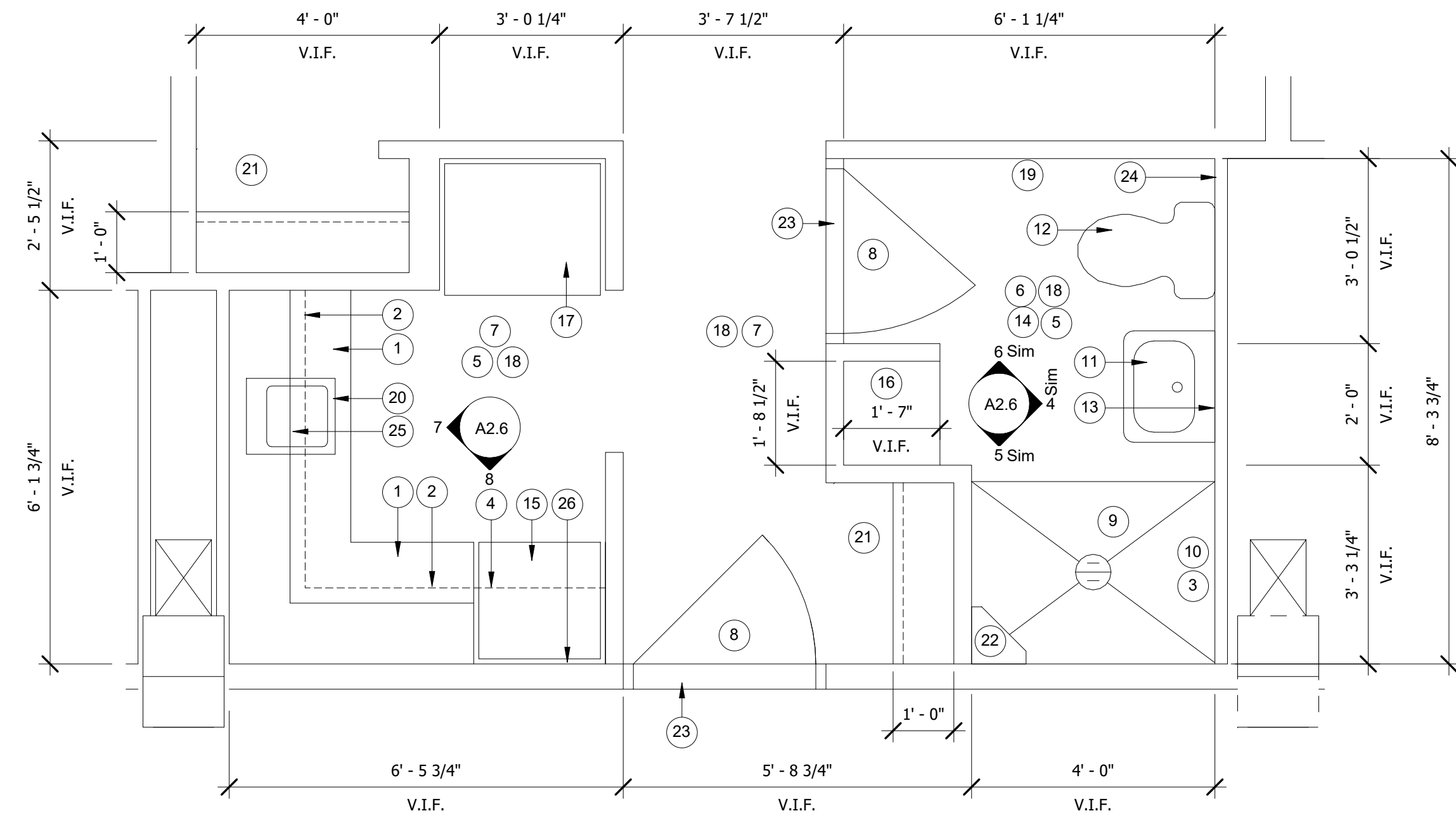


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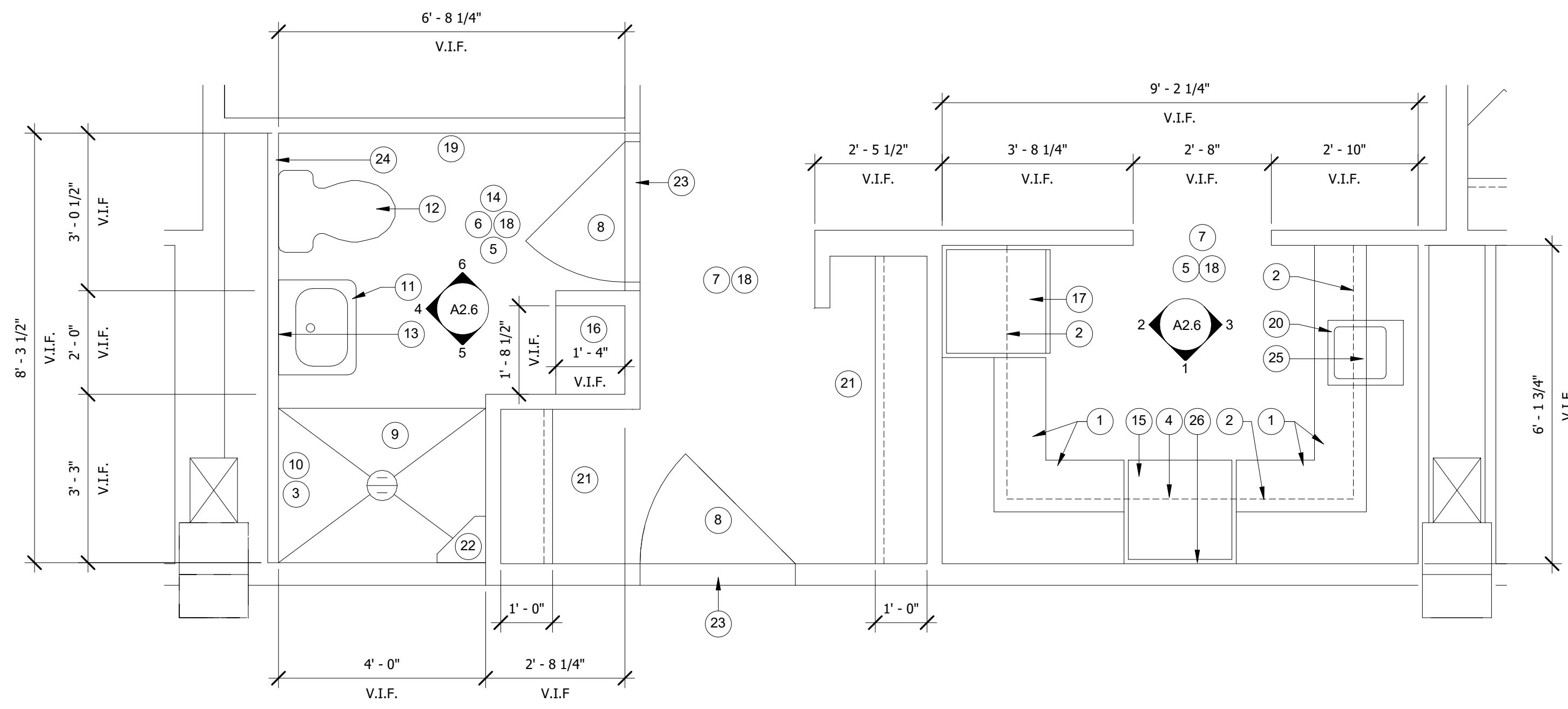
A2.5

PLAN NOTES LEGEND

- 1 PROVIDE & INSTALL NEW BASE CABINETS & PLASTIC LAMINATE COUNTERTOP- SEE ELEVATIONS
- 2 PROVIDE & INSTALL NEW UPPER CABINETS- SEE ELEVATIONS
- 3 REMOVE EXISTING EXHAUST GRILLE. PROVIDE AND INSTALL NEW EXHAUST GRILLE AND CONNECT TO EXISTING DUCTWORK. NEW GRILLE SHALL BE SINGLE DEFLECTION AND ALUMINUM CONSTRUCTION WITH FACTORY WHITE FINISH. NEW GRILLE SHALL BE INSTALLED AFTER NEW TILE WORK IS COMPLETE. MATCH EXISTING SIZE.
- 4 PROVIDE AND INSTALL NEW VENT HOOD (SE-12)-REMOVE EXISTING DAMPER FROM HOOD EXHAUST DUCT. EXTEND NEW 8" DUCTWORK FROM NEW VENT HOOD TO EXISTING DUCTWORK IN CHASE. PROVIDE AND INSTALL NEW TWO POSITION DAMPER IN DUCTWORK AND INTERLOCK WITH HOOD TO OPEN WHEN HOOD IS ON CLOSE WHEN HOOD IS OFF- SEE SPECIAL EQUIPMENT LIST A12.2
- 5 ALL 120V BATHROOM AND KITCHEN RECEPTACLES SHALL BE REPLACED WITH GFCI RECEPTACLES. CONTRACTOR SHALL BE ALLOWED TO REPLACE THE MOST UPSTREAM RECEPTACLE ON THE CIRCUIT SERVING THAT SPACE GIVEN GFCI PROTECTION IS VERIFIED FOR ALL RECEPTACLES IN THAT SPACE.
- 6 PROVIDE AND INSTALL NEW CERAMIC TILE FLOORING AND CERAMIC TILE WALL BASE- SEE FINISH SCHEDULE
- 7 PROVIDE AND INSTALL NEW LVT FLOORING AND BASE. PREP CONCRETE SUBFLOOR TO RECEIVE NEW FLOORING
- 8 EXISTING DOOR AND FRAME SHALL BE PAINTED- SEE FINISH SCHEDULE. CLEAN EXISTING DOOR AND FRAME, AS REQUIRED, PRIOR TO PAINTING TO PROVIDE A SMOOTH PAINT FINISH
- 9 PROVIDE AND INSTALL NEW CERAMIC FLOOR AND WALL TILE IN EXISTING SHOWER. SLOPE NEW FLOOR TILE TO FLOOR DRAIN. PROVIDE AND INSTALL NEW COVER PLATE FOR FLOOR DRAIN.
- 10 PROVIDE AND INSTALL NEW TUB/SHOWER FAUCET
- 11 EXISTING SINK SHALL BE REFINISHED WITH AN EPOXY COATING AND REINSTALLED. PROVIDE AND INSTALL NEW FAUCET FOR EXISTING SINK (SE-8). CONNECT TO EXISTING PLUMBING.
- 12 PROVIDE AND INSTALL NEW TOILET- CONNECT TO EXISTING PLUMBING
- 13 PROVIDE AND INSTALL NEW MIRRORRED MEDICINE CABINET
- 14 PROVIDE AND INSTALL NEW GRAB BARS. PROVIDE BLOCKING IN WALL AS REQUIRED FOR NEW GRAB BARS. NEW GRAB BARS SHALL BE INSTALLED PER ADA STANDARDS- SEE ELEVATIONS FOR DETAILS
- 15 OWNER FURNISHED, OWNER INSTALLED ELECTRIC STOVE. CONTRACTOR SHALL REPLACE THE EXISTING NEMA 10-50R STOVE RECEPTACLE WITH A NEW NEMA 14-50R RECEPTACLE. CONTRACTOR SHALL PULL NEW #10 GROUND WIRE.
- 16 REMOVE EXISTING SHELVING AND SHELVING SUPPORTS IN BATHROOM ALCOVE. PROVIDE AND INSTALL NEW PAINTED WD SHELVES ON SHELF STANDARDS. SEE 2/A12.2 FOR DETAILS
- 17 OWNER FURNISHED, OWNER INSTALLED REFRIGERATOR
- 18 ALL WALLS SHALL BE PRIMED AND PAINTED. REPLACE ANY DAMAGED GYP BOARD PRIOR TO PAINTING. TAPE, MUD, FLOAT, AND SAND SMOOTH ALL GYP WALLS AND CEILINGS, AS REQUIRED, PRIOR TO PAINTING. PAINT ALL WALL MOUNTED CONDUIT TO MATCH WALL COLOR- SEE FINISH SCHEDULE FOR COLOR SELECTIONS
- 19 PROVIDE AND INSTALL NEW TOILET PAPER HOLDER
- 20 PROVIDE AND INSTALL NEW KITCHEN SINK (SE-13) AND NEW KITCHEN SINK FAUCET (SE-7)- CONNECT TO EXISTING PLUMBING. SEE SPECIAL EQUIPMENT LIST A12.2. CONTRACTOR SHALL REMOVE EXISTING DISPOSAL & SINGLE THROW SWITCH FOR EXISTING DISPOSAL BACK TO THE PANEL FROM WHICH IT IS SERVED.
- 21 REMOVE EXISTING BI-FOLD DOORS IN THEIR ENTIRETY INCLUDING HARDWARE. ALL WALLS AND CEILING IN EXISTING CLOSET SHALL BE PAINTED. REMOVE EXISTING SHELVING, SHELVING ACCESSORIES AND HANGER ROD IN THEIR ENTIRETY. PROVIDE NEW CHROME PLATES STEEL HANGER ROD & PAINTED WD SHELVES ON SHELF STANDARDS- SEE 1/A12.2 FOR SHELF DETAIL.
- 22 PROVIDE & INSTALL NEW STAINLESS STEEL SHOWER SEAT.
- 23 PROVIDE AND INSTALL NEW ADA COMPLAINT, RUBBER THRESHOLD IN EXISTING DOORWAY.
- 24 NEW FIRE RATED ACCESS PANEL FOR NEW SHUT OFF VALVES IN EXISTING RATED WALL
- 25 DEMO EXISTING UNDER CABINET LIGHT FIXTURE BACK TO THE PANEL FROM WHICH IT IS SERVED.
- 26 PROVIDE AND INSTALL NEW 20 GA STAINLESS STEEL BACKSPLASH ON GYP WALL BEHIND OWNER FURNISHED ELECTRIC STOVE. BACKSPLASH SHALL BE 24"(W) AND EXTEND FROM TOP OF COUNTERTOP HEIGHT TO VENT HOOD ABOVE- SEE ELEVATIONS



1 VENSON CENTER- TYPICAL EFFICIENCY UNIT KITCHEN & BATHROOM PLAN
1/2" = 1'-0"



2 VENSON CENTER- TYPICAL ONE BEDROOM UNIT KITCHEN & BATHROOM PLAN
1/2" = 1'-0"

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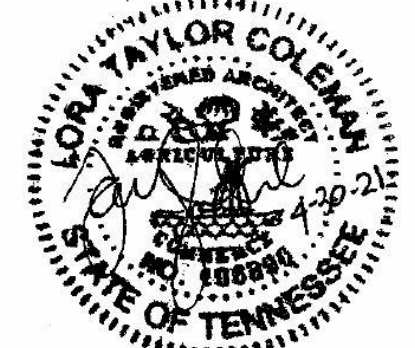
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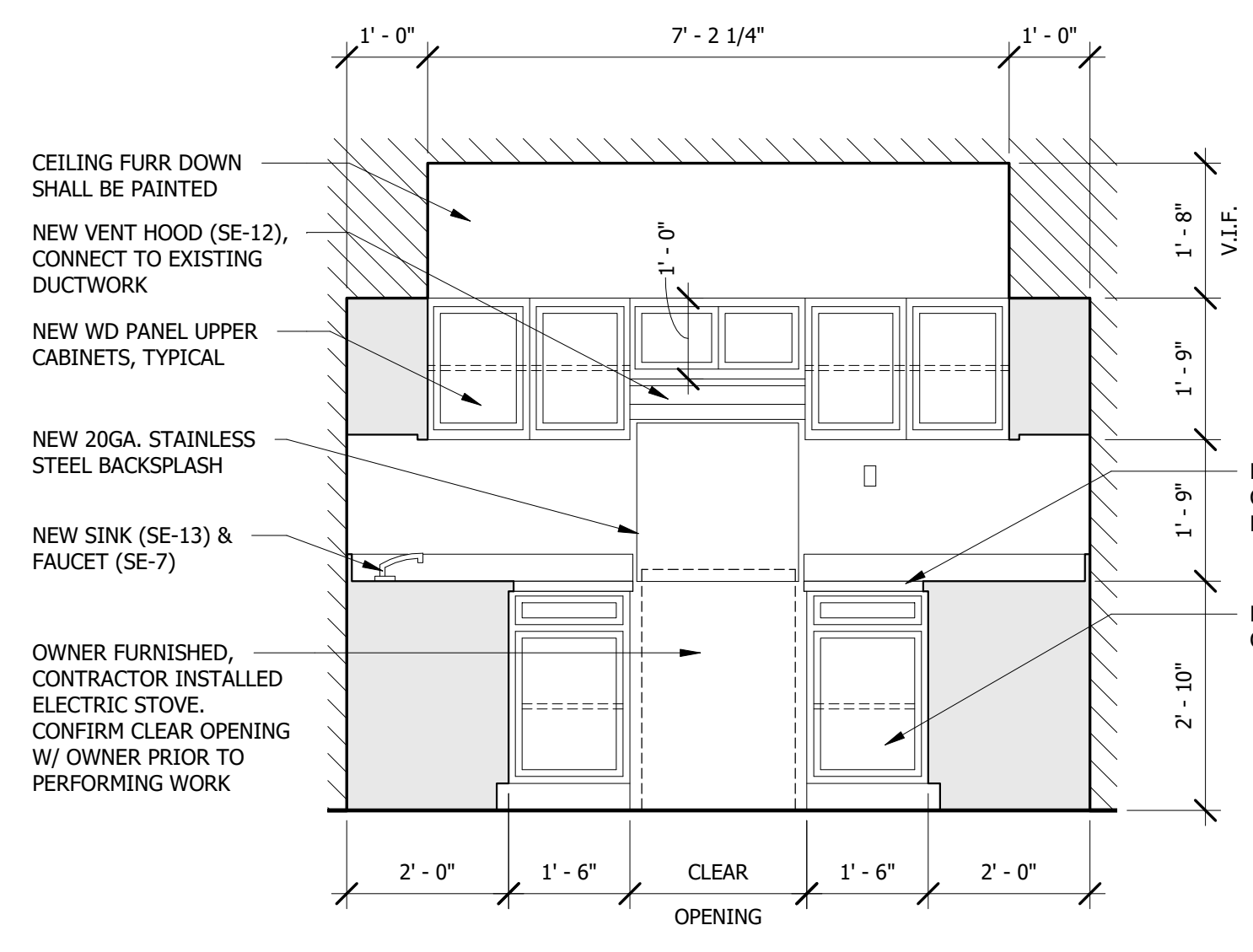
VENSON CENTER- ELEVATIONS

JOB NO: 63004
DATE: 4/30/2021
DRAWN: Author
CHECKED: Checker

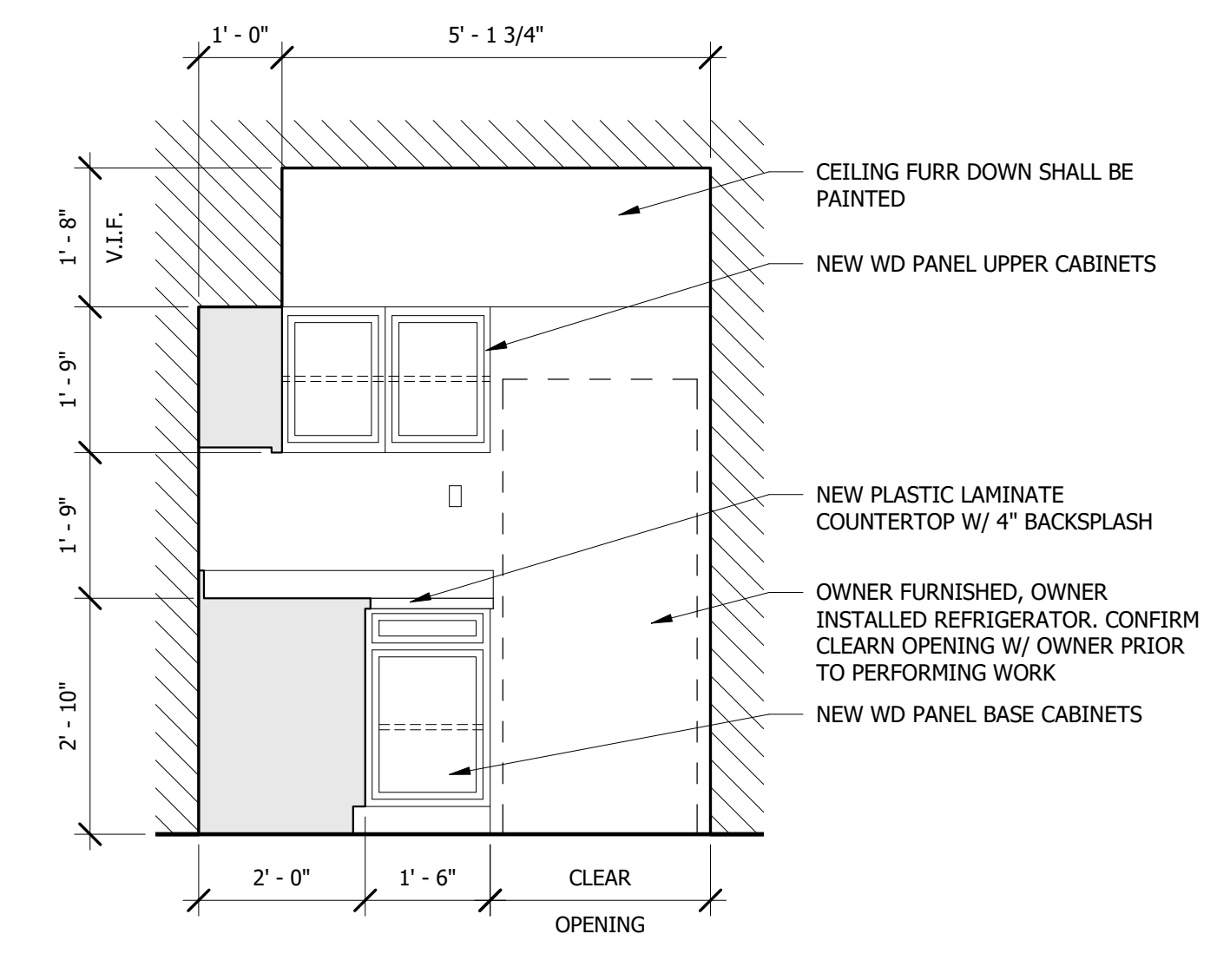


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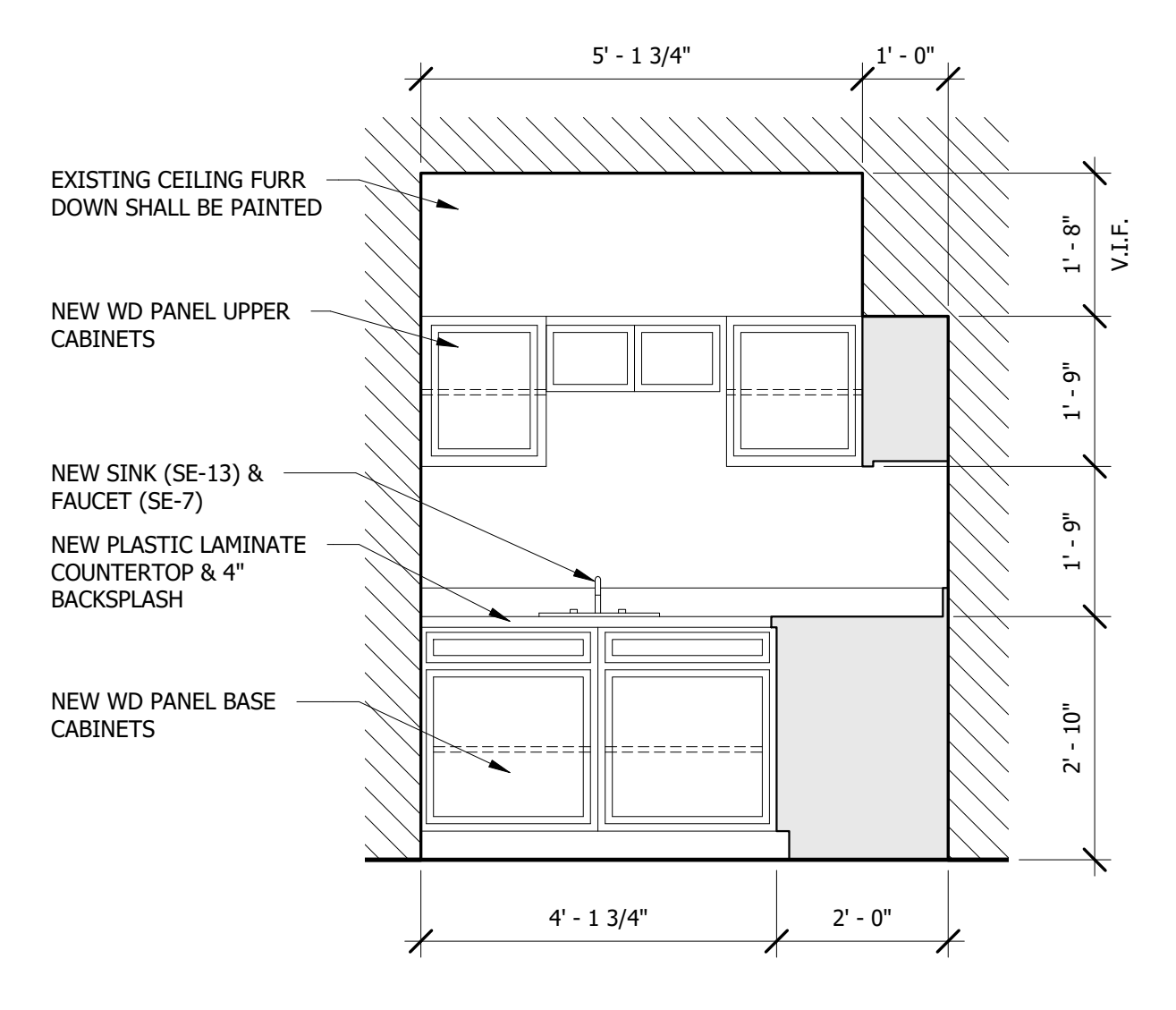
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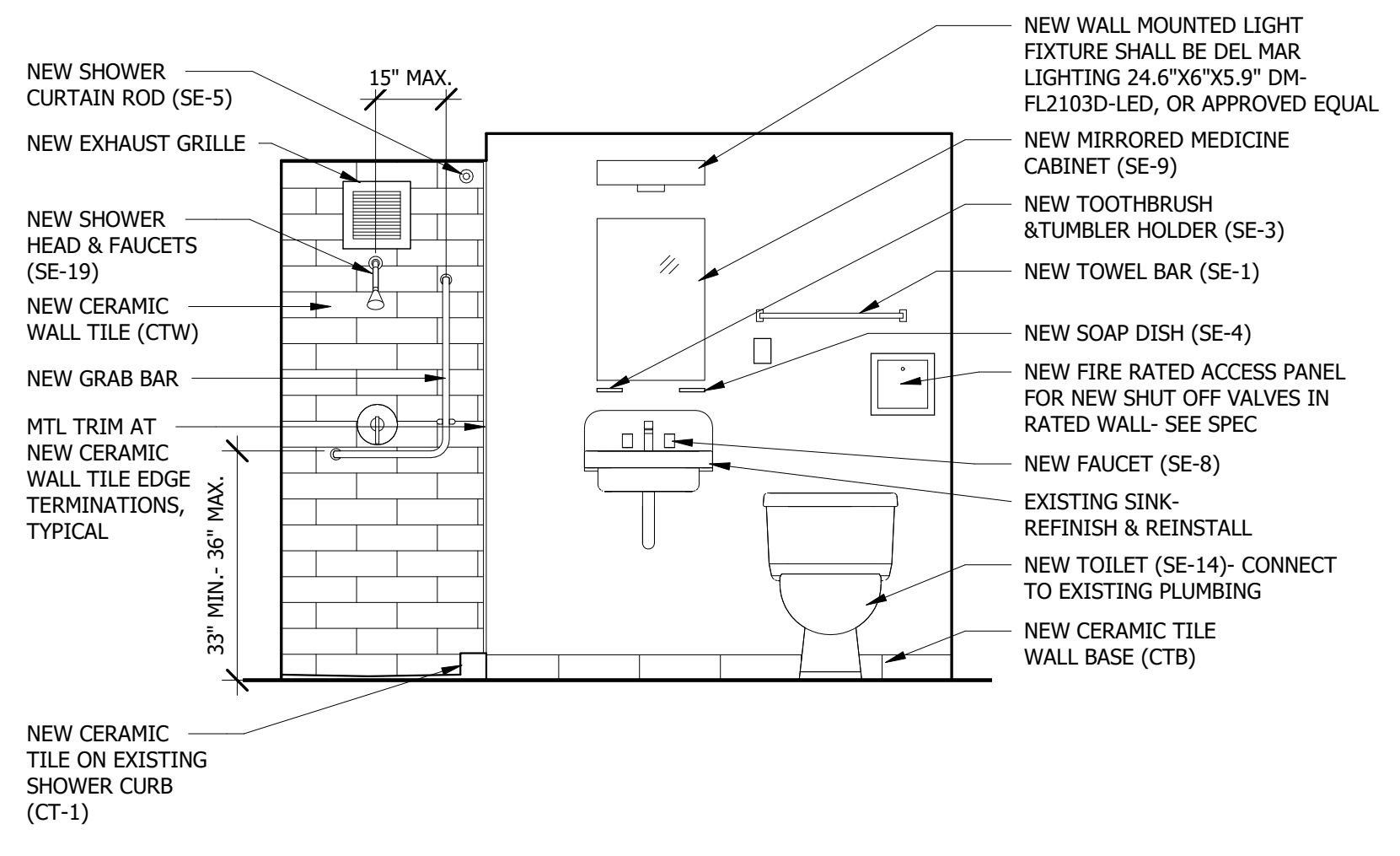
1 VENSON CENTER- 1 BEDROOM KITCHEN ELEVATION A
1/2" = 1'-0"



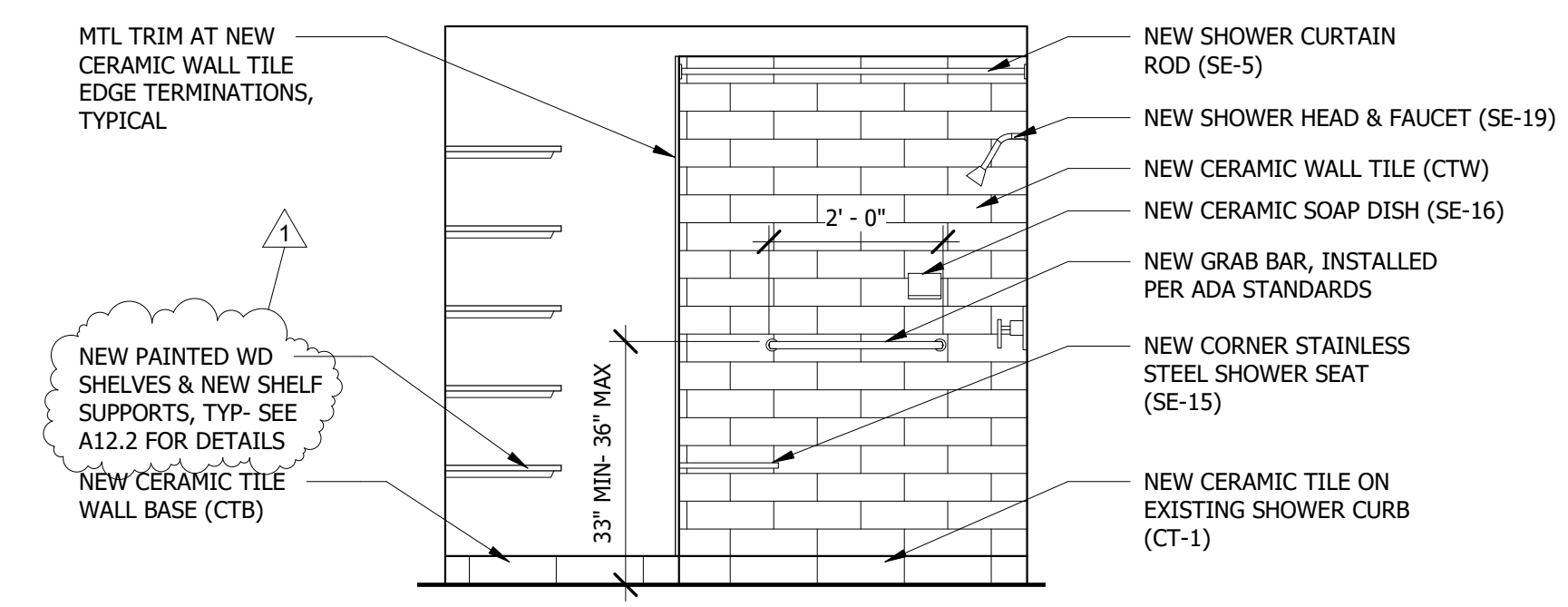
2 VENSON CENTER- 1 BEDROOM KITCHEN ELEVATION B
1/2" = 1'-0"



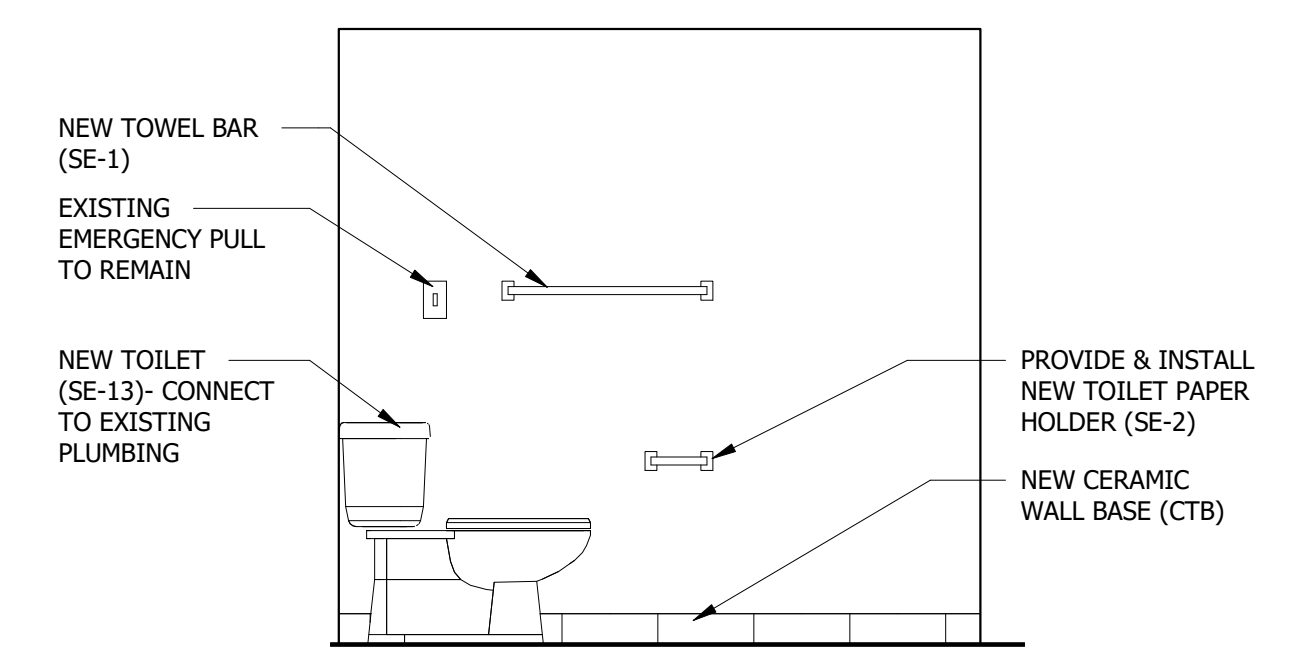
3 VENSON CENTER- 1 BEDROOM KITCHEN ELEVATION C
1/2" = 1'-0"



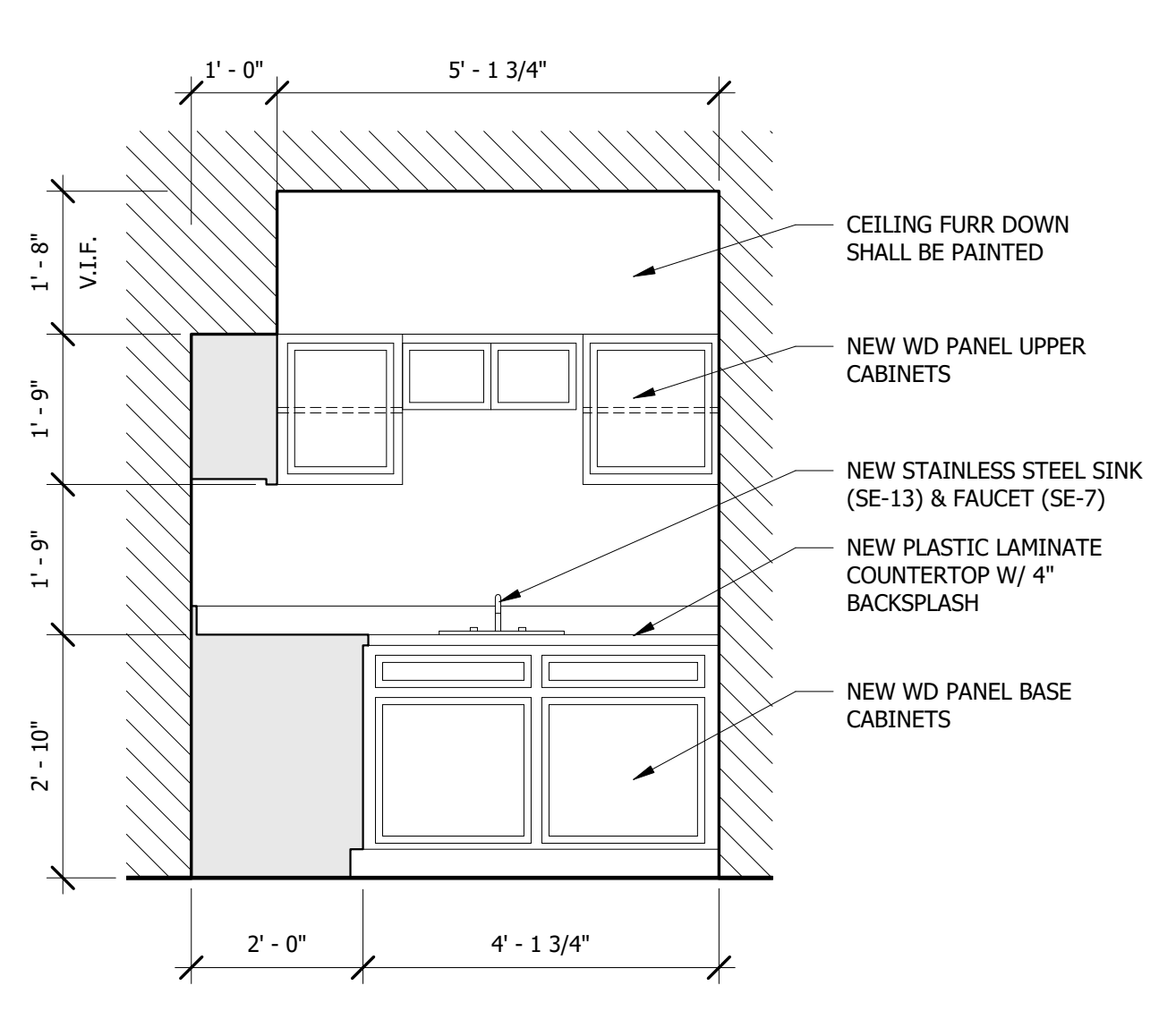
4 VENSON CENTER- BATHROOM ELEVATION A
1/2" = 1'-0"



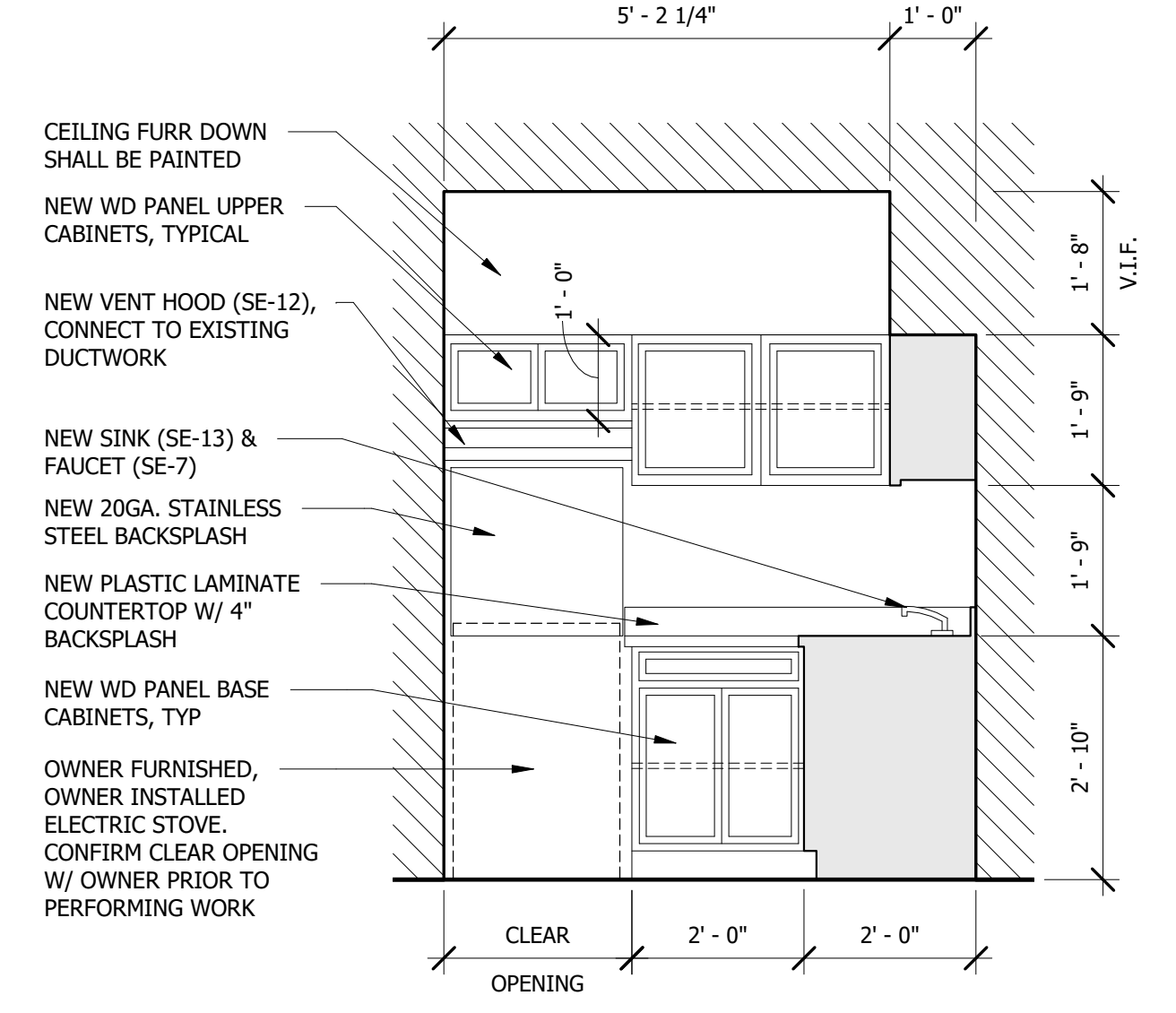
5 VENSON CENTER- BATHROOM ELEVATION B
1/2" = 1'-0"



6 VENSON CENTER- BATHROOM ELEVATION C
1/2" = 1'-0"



7 VENSON CENTER- EFFICIENCY KITCHEN ELEVATION A
1/2" = 1'-0"



8 VENSON CENTER- EFFICIENCY KITCHEN ELEVATION B
1/2" = 1'-0"

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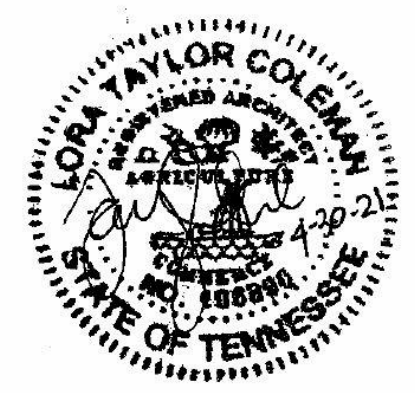
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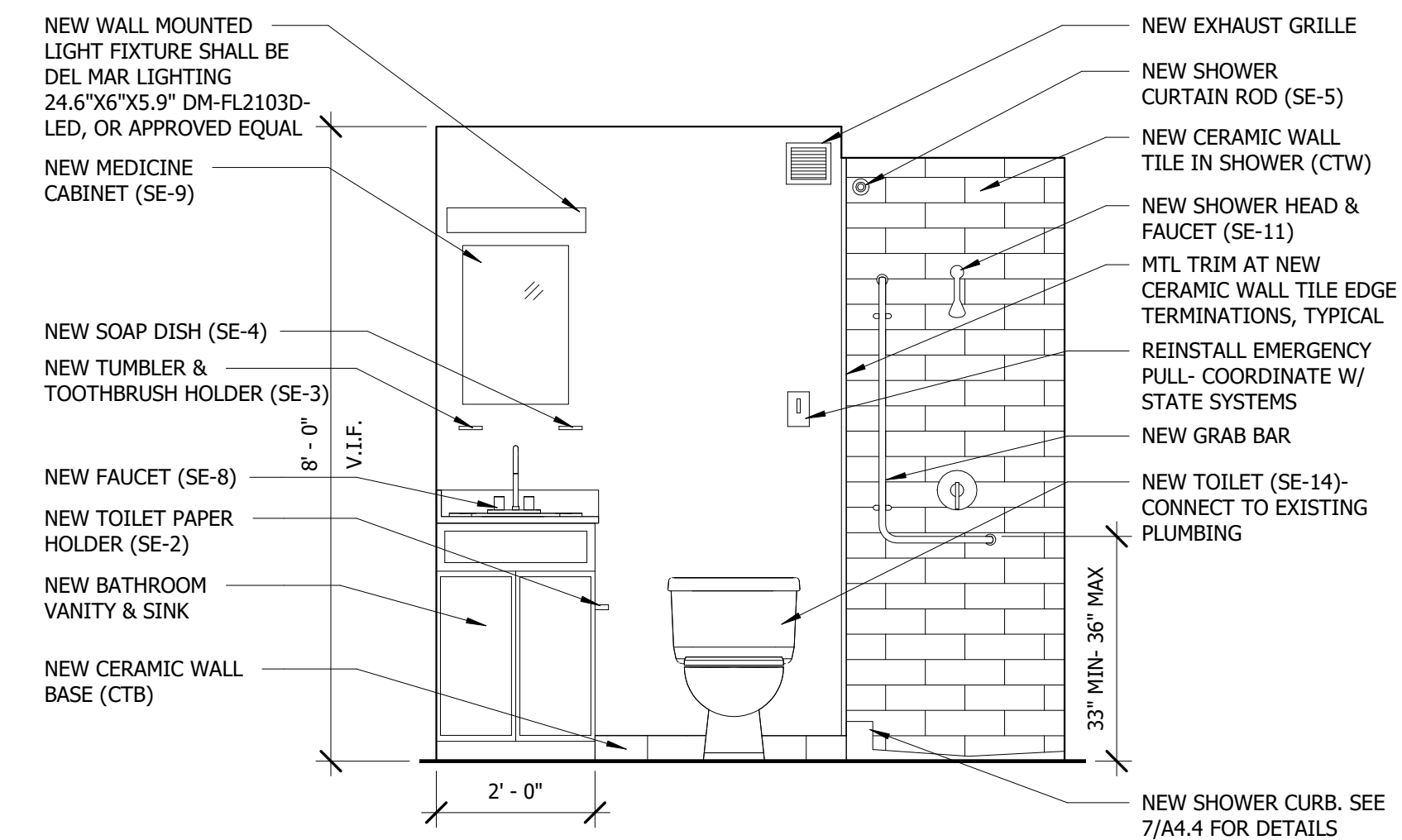
**BORDA TOWERS-
ELEVATIONS & DETAILS**

JOB NO: 63004
DATE: 4/30/2021
DRAWN: Author
CHECKED: Checker

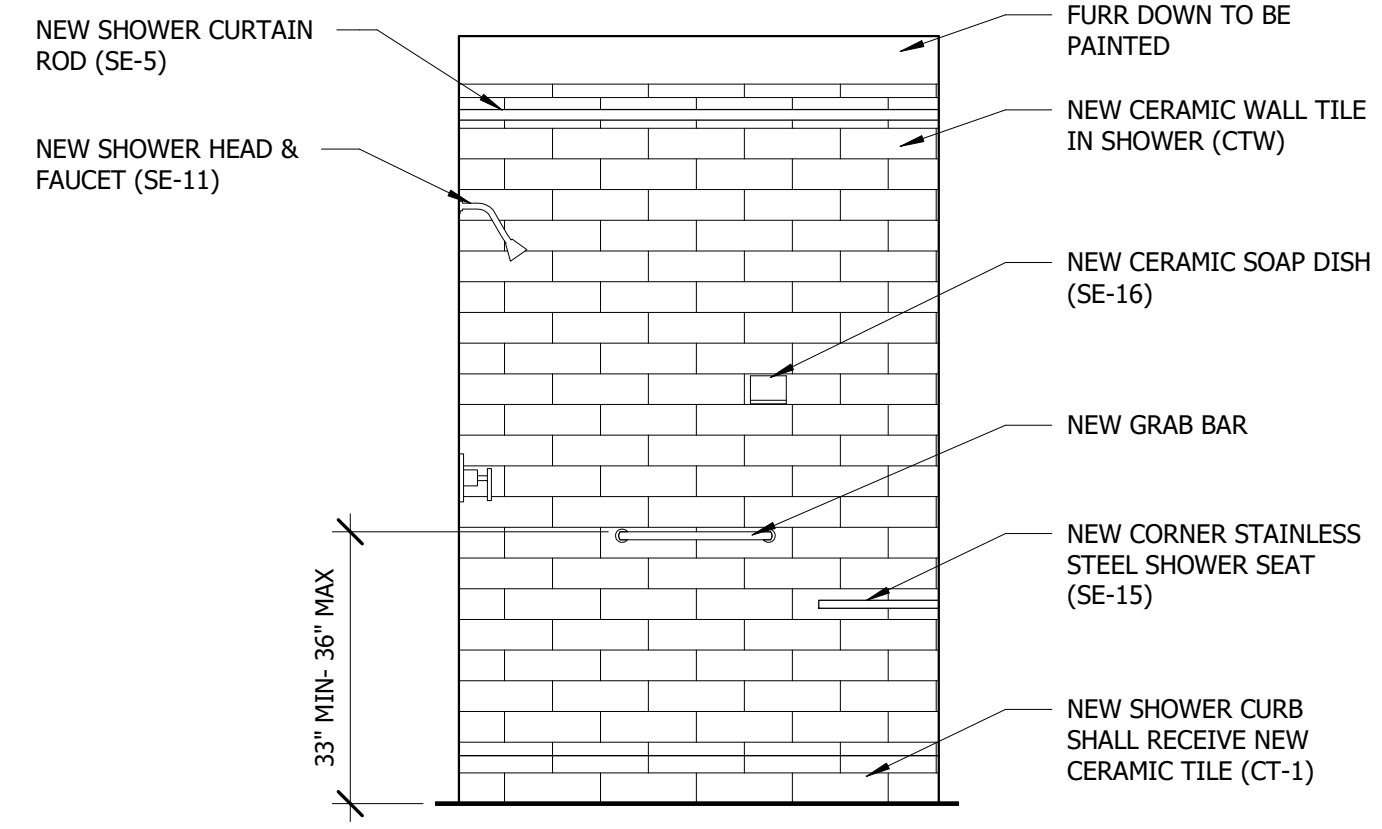


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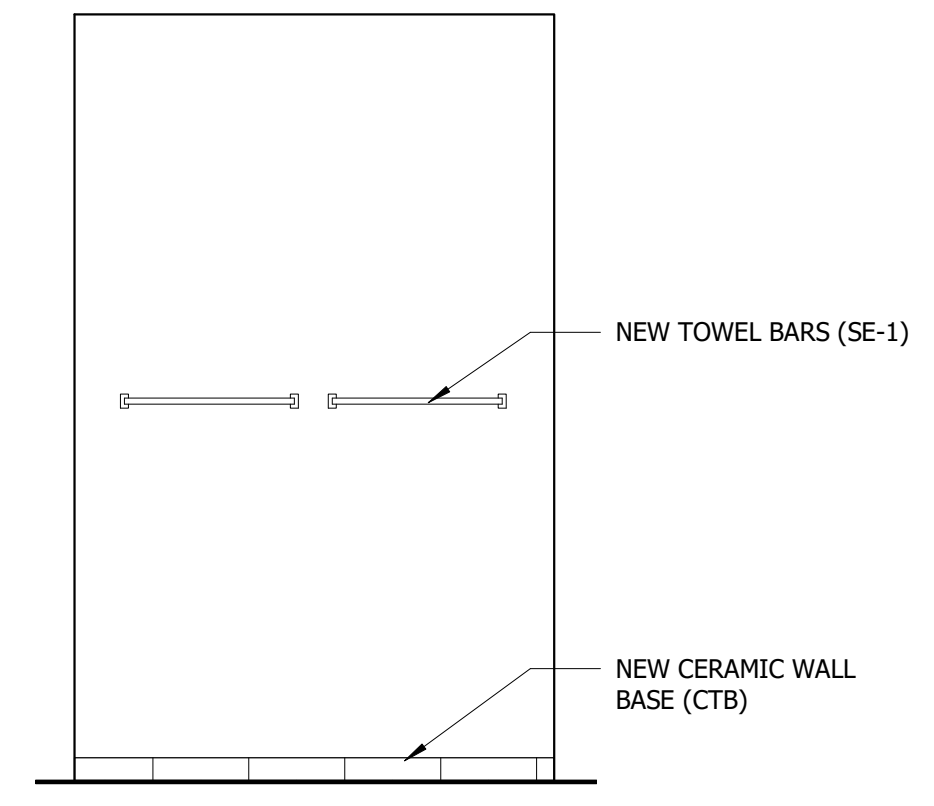
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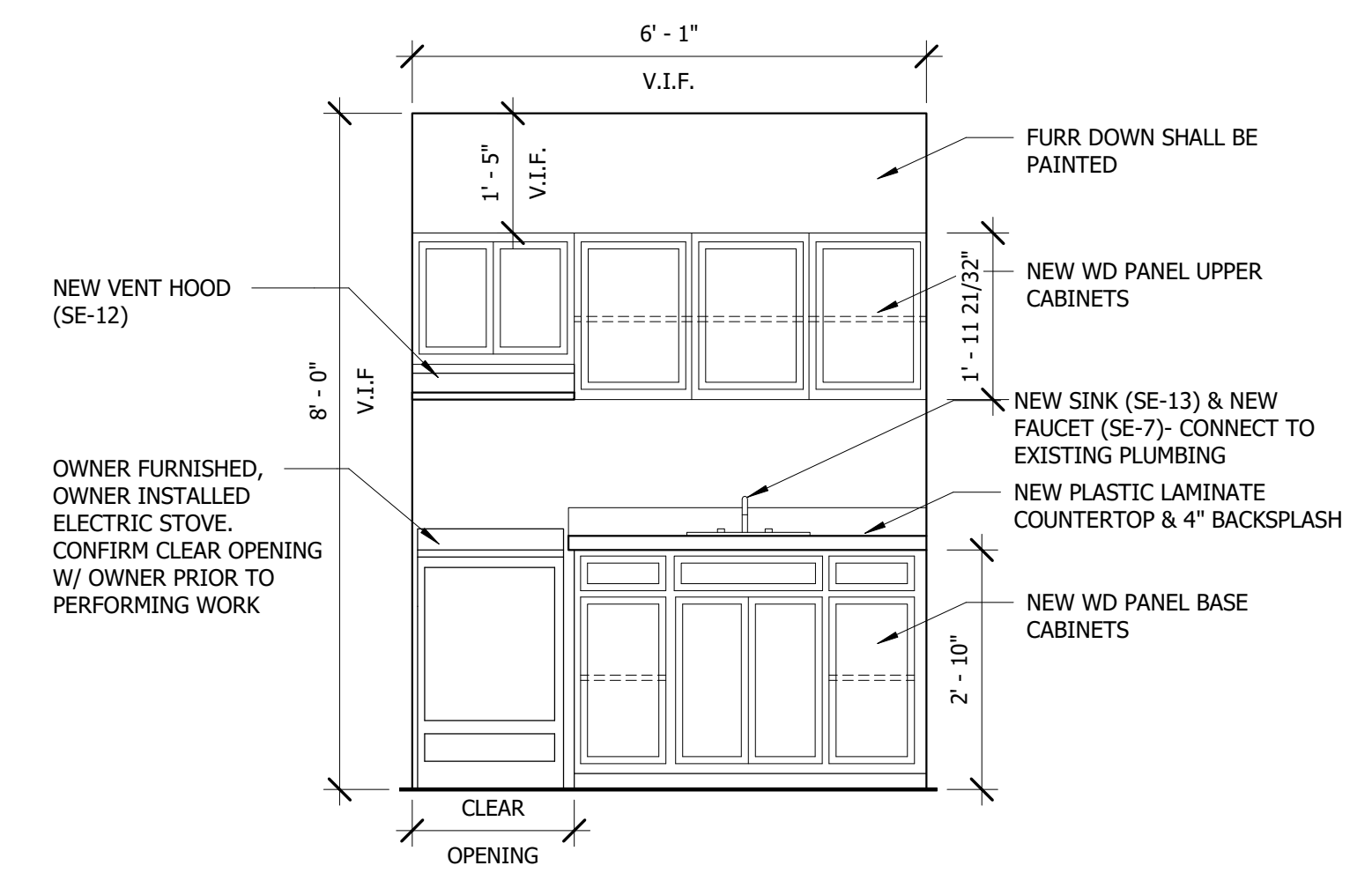
1 BORDA BATHROOM ELEVATION A
1/2" = 1'-0"



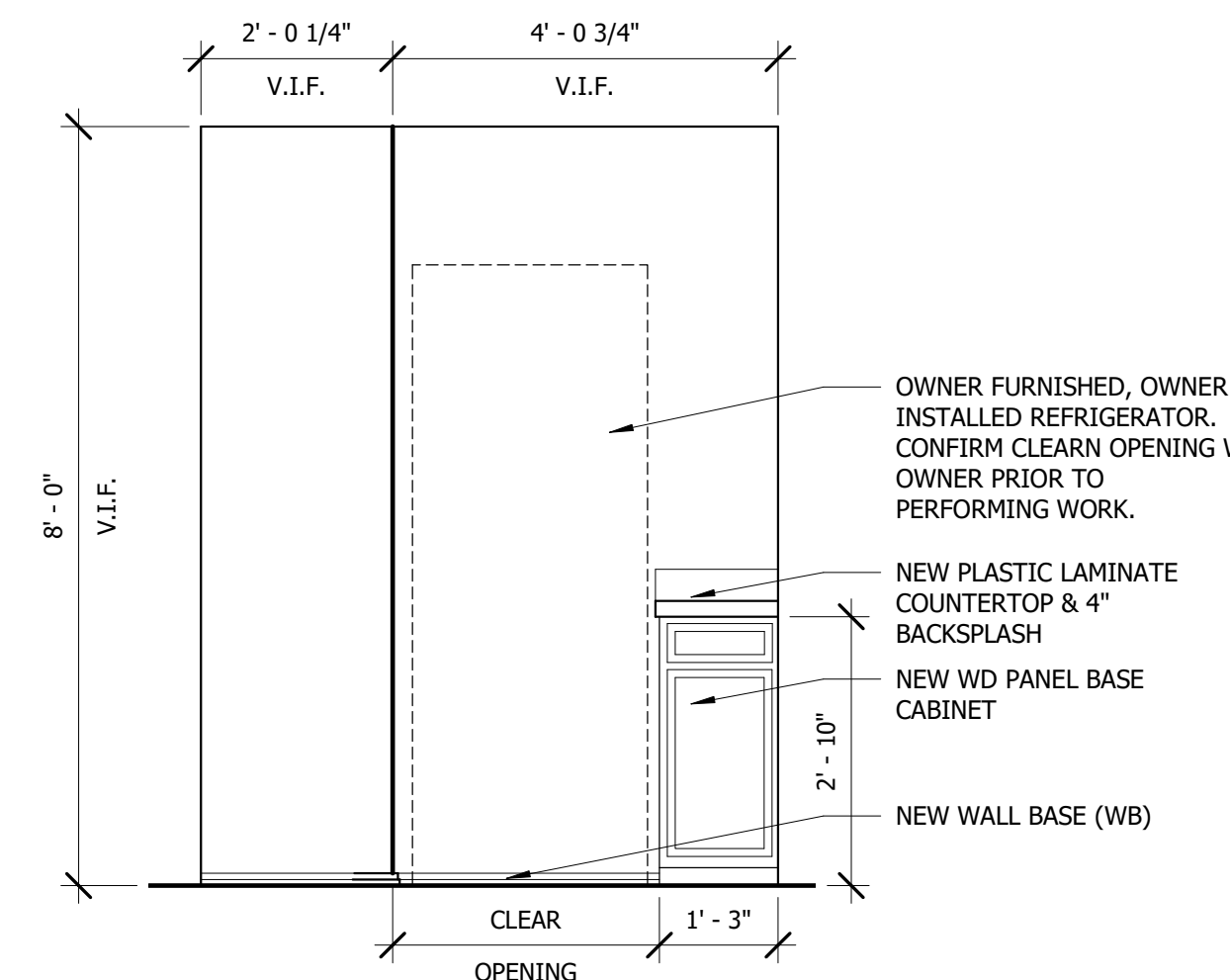
2 BORDA TOWERS- BATHROOM ELEVATION B
1/2" = 1'-0"



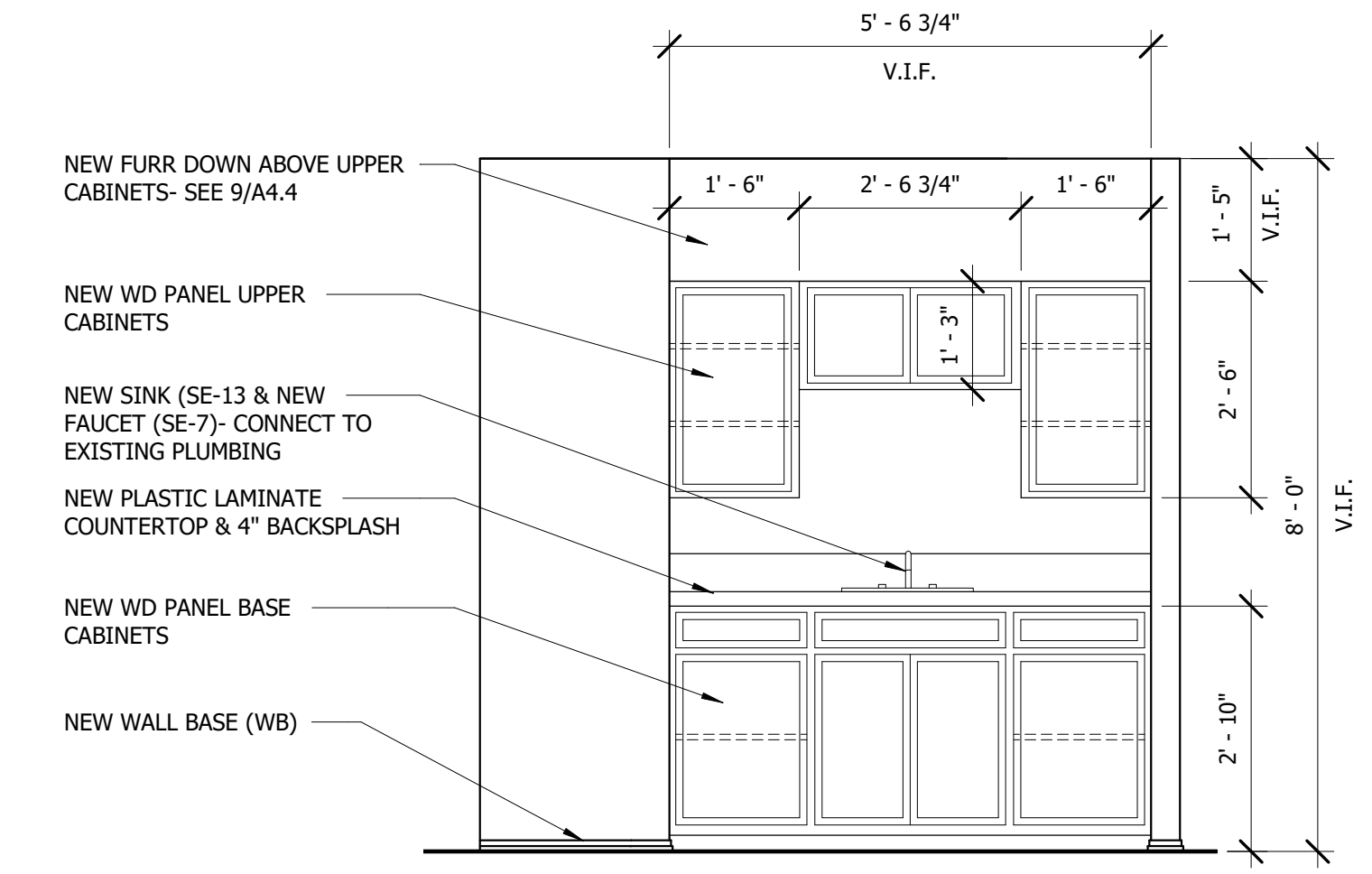
3 BORDA TOWERS- BATHROOM ELEVATION C
1/2" = 1'-0"



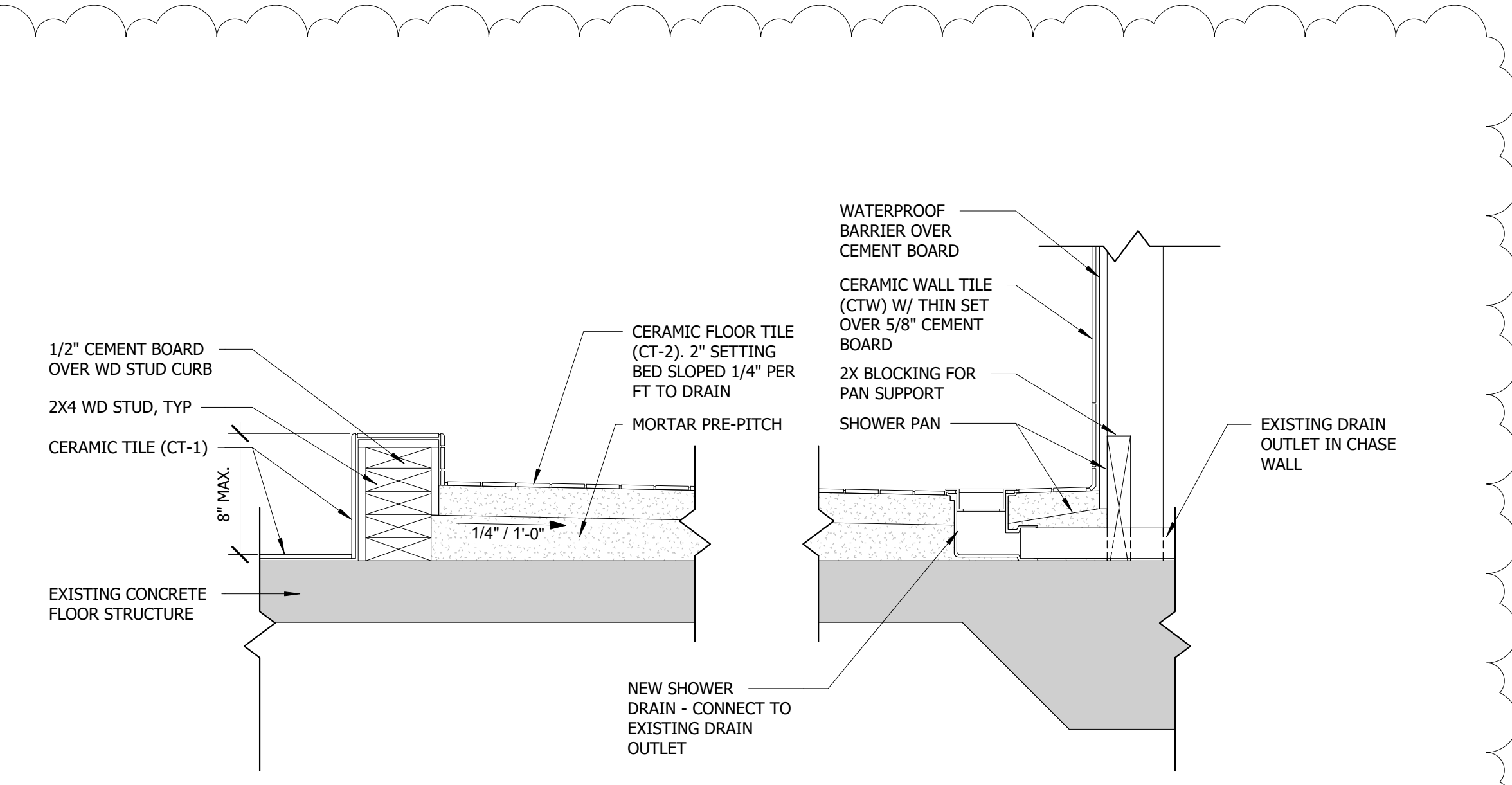
4 BORDA TOWER- UNIT 1312 KITCHEN ELEVATION A
1/2" = 1'-0"



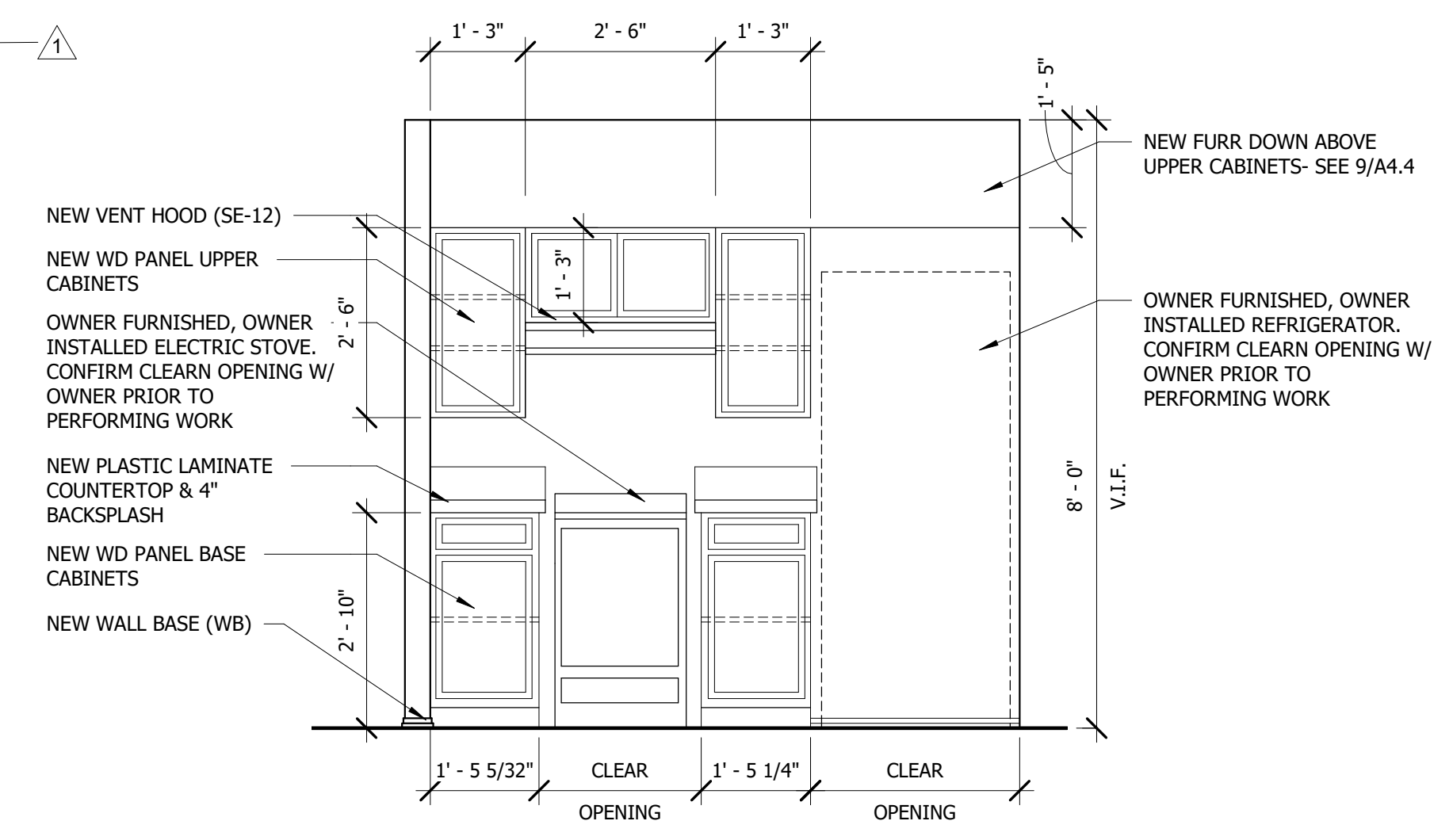
5 BORDA TOWER- UNIT 1312 KITCHEN ELEVATION B
1/2" = 1'-0"



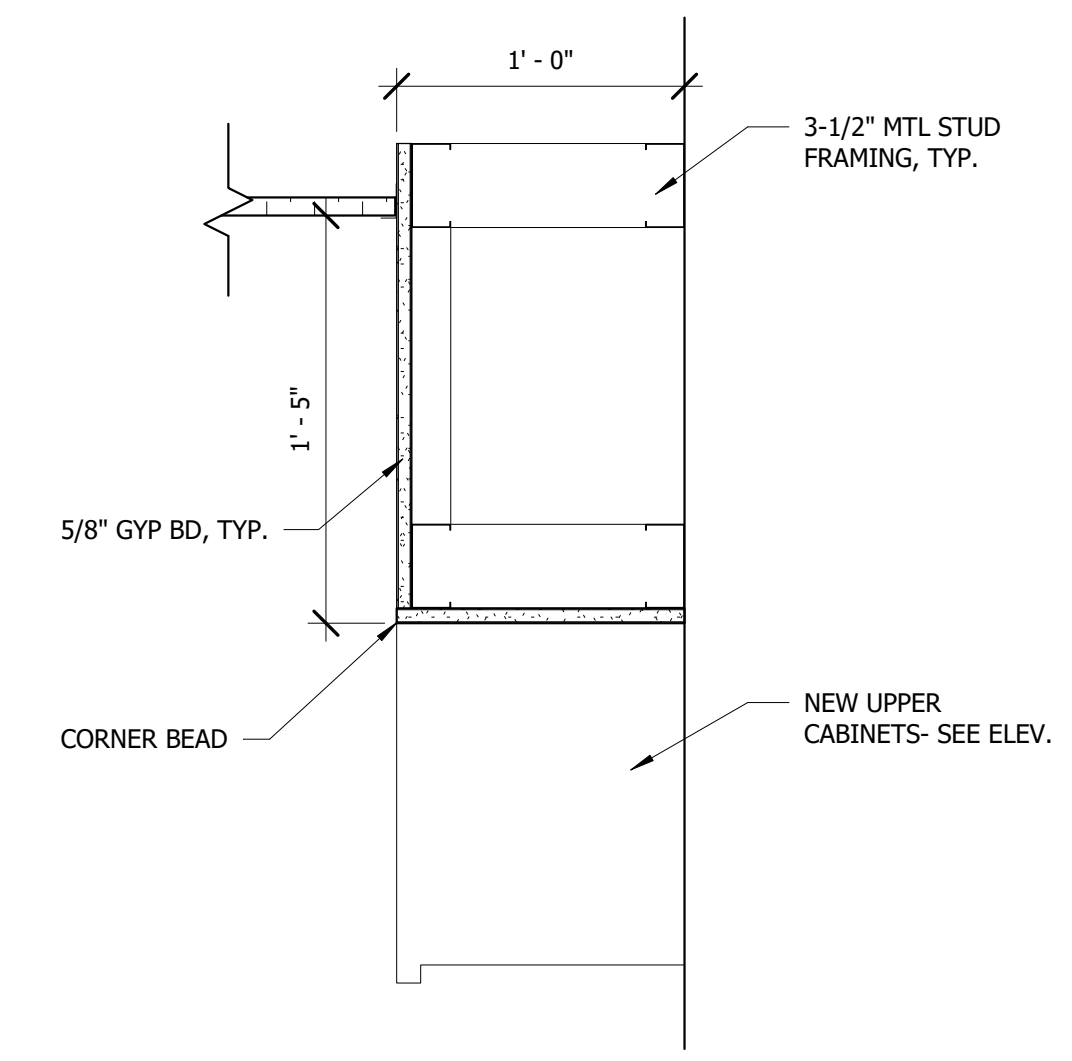
6 BORDA TOWER- UNIT 101 KITCHEN ELEVATION A
1/2" = 1'-0"



7 BORDA TOWERS- SHOWER CURB & DRAIN DETAIL
1 1/2" = 1'-0"



8 BORDA TOWER- UNIT 101 KITCHEN ELEVATION B
1/2" = 1'-0"



9 BORDA TOWER- FURR DOWN DETAIL
1 1/2" = 1'-0"

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