



Memphis Housing Authority
Capital Improvements Department
700 Adams Street, Room 107
Memphis, Tennessee 38105-5029

ADDENDUM NO. 1

Issued: June 6, 2024

This addendum shall become and form a part of the following solicitation:

Solicitation #CI 24 B 00699

**Renovation, Improvements, and Repairs to Montgomery Plaza
Dwelling Units for Memphis Housing Authority, Memphis, TN**

TO ALL POTENTIAL OFFERORS:

This Addendum, including all articles and corrections listed below, shall become a part of the original solicitation package, and shall be considered in preparing your proposals.

To ensure that all firms are given an equal opportunity to submit a competitive bid, copies of the Pre- Bid Conference meeting minutes, vendor's questions and responses and clarifications regarding Solicitation # CI 24 B 00699; for the Renovation, Improvements, and Repairs to Montgomery Plaza Dwelling Units for Memphis Housing Authority Memphis, Tennessee are included herein.

Please acknowledge receipt of this addendum by signing, dating, and including a copy of this addendum cover sheet in your proposal.

Name of Firm:

Signature: _____

Date: _____

Title: _____

MEETING MINUTES

Dates: May 30, 2024,

To: All Potential Offerors & Meeting Attendees (as listed below)

From: Kevin Pilate, Senior Project Manager, MHA Capital Improvements

RE: Pre-Bid Conference

Solicitation # CI 24 B 00699: Renovation, Improvements and Repairs to Montgomery Plaza for MHA, Memphis, TN

CC: Kevin Pilate, KP	Senior Project Manager, MHA
Kelitia Dickson, KD	Director, MHA
Moshe Cole, MC	Project Manager, MHA
Walter Blalack WB	SSR
Ben Witt BW	Ross Witt Architects

This Pre- Bid Meeting was held on Thursday, May 30, 2024, at 10:00 a.m. at the Memphis Housing Authority Central Office in Board Room, regarding Solicitation No. CI 24 B 00699 for Renovation, Improvements, and Repairs to Montgomery Plaza, Memphis TN.

Meeting Attendees were as follows:

See attached Attendee Sign in Sheets

The following items were discussed in the Pre-Bid and are listed as follows:

KP: Instructed all attendees to sign the meeting attendance sheet.

KP: Welcome and Introductions

KP: Instructed attendees to sign the sign in sheet legibly.

KP: Instructed all attendees to hold questions till the end unless prompted for questions.

WB/BW: Description of Scope of Work

KP: Discussed and explained the MHA Bid Process to Attendees.

KP: Discussed and explained the bid form and answered questions from attendees regarding the bid form.

KP: Discussed mandatory submittals, required documents for bid submission.

Legal Notice

Invitation for Bid

Bid Form

Bid Bond

Representations, Certifications and Other Statements of Bidders

Previous Participation Certification

Qualifications Questionnaire.

Non collusion Affidavit Certification

Debarment or Suspension Certification
Equal Opportunity Employer Certification
Drug Free Workplace Certification

KD: discussed and explained the HUD Section 3 Program (Not Required)

KD: discussed MHA's MBE/WBE Participation Program and Goals

KP: discussed Davis Bacon Wage Rates and Requirements for Certified Payroll

KP: discussed the HUD 5370 General Conditions for Construction Contracts

KP: discussed the following.

- Form of Contract
- Special Conditions
- Weather Delays
- Davis Bacon Wage Rates
- Special Conditions
 - Working hours
 - Weather delays

KP discussed the following project closeout documents.

Certificate and Release of Lien

Waiver and Release of Lien

Meeting adjourned at 11:00 a.m.

CLARIFICATIONS:

1. Bid Bond
 - a. THE BID BOND STATES THAT THERE ARE FIVE UNITS IN THIS PROJECT. THAT NUMBER IS ACTUALLY THREE UNITS.
2. Bid Form.
 - a. THE SOLICITATION NUMBER AT THE TOP OF THE FORM IS INCORRECT.

REVISIONS:

1. Omitted from Bid Package.
 - a. BID ENVELOPE COVER WAS OMITTED FROM THE BID PACKAGE. THE COVER PAGE WILL BE ATTACHED TO ADDENDUM 1.
2. Bid Form
 - a. A REVISED BID FORM WITH CORRECT SOLICITATION WILL BE ATTACHED TO ADDENDUM 1
3. Structural Reports
 - a. STRUCTURAL REPORTS FOR EVERY BUILDING TYPE WILL BE ATTACHED TO ADDENDUM 1

QUESTIONS FROM POTENTIAL BIDDERS:

N/A

END OF ADDENDUM #1



**Renovation, Improvements and Repairs for
Memphis Housing Authority Montgomery Plaza Dwelling Housing Units
Pre-Bid Meeting for
Solicitation # CI 24 B 00699
MHA Board of Director's Conference Room at 10:00 A.M.**

Pre-Bid Meeting Notes

Date: May 30, 2024

- Attendance sheet for the pre bid meeting is attached.
- The meeting progression generally followed the attached agenda, presented to attendees.
- Project contact list in order of priority
 - Kevin Pilate (MHA) PH: (901) 544-1882 FX: (901) 544-1126**
e-mail: kpilate@memphisha.org
 - Walter Blalack (SSR) PH: (901) 683-3900 FX: (901) 683-3990**
e-mail: wblalack@ssr-inc.com
- **Kevin Pilate (MHA)** discussed contract compliance issues:
 1. The project now consists of renovating three (3) dwelling units at Montgomery Plaza.
 2. The bid shall be good for 90 days.
 3. Bidders are encouraged to review the entire project manual for all forms to be submitted in the bid package, completed, signed and notarized as applicable.
 4. Bids are due June 13, 2024, time stamped by 2:00 PM, delivered to MHA Office, Room 107.
 5. The site will be available for examination, by appointment with Kevin Pilate. Bidders are encouraged to visit all units to satisfy themselves with the scope of the work.
 6. All questions are due and visitation to the units will end 3:00 PM, June 5, 2024.
 7. Performance and Payment Bond 100% of contract is required in accordance with HUD 5369.
 8. 5% Bid Bond is required.
 9. Bid Form is a line-item format per dwelling unit.
 10. The \$50,000.00 general allowance in the BID FORM is allocated for unforeseen conditions. Unused allowance balance will be returned to MHA in the form of a deductive change order at the end of the project.
 11. Project completion is 120 Consecutive Calendar Days (Monday – Friday) from Notice To Proceed (NTP), excluding MHA Holidays listed in the Project Manual.
 12. The project holds liquidated damages at \$500.00 per day for incomplete contracted work, beginning day one after the substantial completion date.
 13. Notice to Proceed (NTP) will be issued based on all upfront document review.
 14. Within five (5) days of contract award and NTP, contractor shall submit schedule of values and a work schedule. Schedule of Values shall be submitted on HUD Form 51000.
 15. Wage Rates – Davis Bacon Wage Rates are found in the project manual for single family structures up to 4 stories in height. Davis Bacon Wage Rates and Application for Payment Procedures.

16. Payment application process (one per month). Submit Certified Payrolls with every payment application. Release forms shall be submitted with every payment application.
 17. Contractors are responsible for the security of all material and equipment.
 18. Any utility outages will require a minimum of 72 hours prior notice to MHA.
 19. Specific work hours are 8:00 AM to 4:30 PM, Monday through Friday. Contractor will not be allowed to work on MHA observed Holidays, or weekends.
 20. Weather delays are included in the bid package, but, since most of the work is inside, weather delays may be difficult to claim.
 21. RFI process
 - All Requests for Information (RFI) shall be in writing to Kevin Pilate. Verbal direction is not binding. Written responses will be forwarded to all bidders in the form of an addenda to the bid package.
 - RFI's will be accepted through, and final site visits will end 3:00 PM CDT, June 5, 2024.
 - The final formal addenda addressing all received questions will be issued no later than June 6, 2024, prior to bid date, June 13, 2024.
 22. Quality of construction is paramount for this project.
- **Kelitia Dickson (MHA)** discussed Labor Compliance, Section 3 HUD initiative and MBE/WBE reporting requirements. Section 3 is not a requirement to submit a bid, but the document shall be submitted with the bid.
 - **Walter Blalack (SSR) and Ben Witt (Ross Witt Architects)** discussed the project in general.
 1. MHA development, Montgomery Plaza has presently selected three (3) dwelling units receiving renovation.
 2. The photos shown in the drawings were taken at an early stage of design and may not reflect the present condition of the respective units. Bidders are encouraged to visit each dwelling units to satisfy themselves of the present conditions to be renovated.
 3. The selected units are vacant, but the remainder of the complex is occupied.
 4. Bidders are encouraged to read all notes and specifications.
 5. Wall finishes, ceiling finishes, flooring material, building insulation, cabinets, have been removed from a previous HAZMAT abatement project, down to the stud framing. This project is to replace the removed material, wall and ceiling finishes, doors, HVAC, plumbing and electrical components and fixtures. Tubs are to be removed and replaced, in like kind and color. HVAC equipment (furnace, cooling coils and condensers) and ductwork and refrigerant piping are to be removed and replaced in like size, connected to the HVAC equipment (2-ton cooling for 2- and 3-bedroom units; 3-ton cooling for 4- and 5-bedroom units). Electrical service panels will be upgraded to a 100 Amp panel with new feeder from existing meter through 1¼" conduit from meter to new panel. Concrete stoops shall be removed at the dwelling unit exterior front entrance and replaced with concrete ramps as detailed on the plans. If existing exterior shut-off valves boxes are in the confines of the new ramp, the existing precast concrete box shall be cast in the new concrete slab.



6. Plans have been submitted to Code Enforcement per address as listed on the cover sheet. Code Enforcement requires a permit to be drawn for each dwelling unit address.
7. Bidders are cautioned about scaling the drawing for quantity take-offs of the areas receiving material replacements.
8. Contractors are always directed to maintain a professional conduct while on the job.
9. Complete submittals will be received in one binder.

SIGN IN SHEET

Solicitation # CI 24 B 00699 Renovation, Improvements, and Repairs for Montgomery Plaza Dwelling Units
Thursday, May 3.0, 2024 @ 10:00 a.m.

PLEASE WRITE LEGIBLY

Print Name (DO NOT SIGN)	Name of Business	Phone	Fax	Email Address
Kevin B. Pilate	MHA	901-544-1882	901-544-1126	kpilate@memphisha.org
Kelitia M. Dickson	MHA	901-544-1334	901-544-1312	kdickson@memphisha.org
Moshe Cole	MHA	901-544-1148	901-	mcole@memphisha.org
J. OWENS	Bricks, Inc.	901-743-0990	901-744-9555	JustinOWENS@Bricks-incorp.com
Mike Watkins	McCabe Con.	901-481-4678		mike@mcc-memphis.com
Calvin Whetstone	Coleman Contractors and Design	901-290-7055		ccdmemphis@gmail.com
Carlos Fifea	Fifea + Associates, Inc.	901-800-2003	901-529-7463	Carlos.Fifea@fifeaandassociates.com
Reginald Guy	superior contracting group	901-461-6325		SBM14@bellsouth.net
Calvin Fifea	FA	901-800-2003	9.	Calvin@fifeaandassociates.com
Ben Witt	Ross Witt	901-907-9980		ben@rosswitt.com
WALTER BLALOCK	SSR	901-237-6568		WBLALOCK@SSR-INC.COM
Stella Minor	Thrifty Cooling & Heating	901.497.6070		Stella.minor@onehourair.com

**MEMPHIS HOUSING AUTHORITY
PUBLIC HOUSING OPERATIONS
PRE-BID MEETING AGENDA**

May 30, 2024, 10:00 a.m.

FOR

**Renovation, Improvements and Repairs for Montgomery Plaza Dwelling
Units**

SOLICITATION CI 24 B 00699

- Attendance Sign-In Sheet
- Welcome and Introductions
- Review Scope of Work
- Review of Bid Process
- Review of Mandatory Submittals
 - Bid Form
 - Liquidated Damages
 - Instruction for bidders [HUD 5369]
 - Representations, Certifications and Other Statements of Bidders Form [HUD 5369 A]
 - Instructions and Previous Participation Certification [HUD Form 2530]
 - Previous Participation Certification
 - Qualifications Questionnaire
 - Non-Collusion Affidavit
 - Debarment and Suspension Certificate
 - Equal Opportunity Certification
 - Drug Free Workplace Certification
 - Section 3 Business Concern Self Certification and Action Plan
 - MBE/WBE Bid Data Form/ Participation Report
 - General Conditions [HUD 5370]
 - Form of Contract
 - Special Conditions
 - Weather Delays
 - Wage Rates
 - Certificate and Release Form
 - Waiver and Release of Lien
- Review of Section 3 Guidelines
- Wage Rate Requirements
- Certified Payroll Requirements
 - Working hours
 - Weather delays
 - Holidays
- Questions and Answers

A site visit will be held following this meeting.
END OF MEETING AGENDA

BID FORM

Memphis Housing Authority
700 Adams Avenue
Memphis, Tennessee 38105

RE: Renovation, Improvements and Repairs for Memphis Housing Authority Public Housing Units, Memphis, TN

To all prospective bidders:

The undersigned have familiarized himself/herself/themselves with the local conditions affecting the cost of the work, and with the Contract Documents which are on file in the office of the Memphis Housing Authority, hereby proposes to furnish all labor, materials, equipment, and services required to undertake the above referenced project in accordance with the Contract Documents. **Please note: MHA reserves the right to not award a contract for this solicitation. MHA also reserves the right to award the contract in its entirety or partially to one or more bidders.**

Having become completely familiar with local conditions affecting the cost of work at the place where work is to be executed, and having carefully examined the specifications for such work and other related "Contract Documents" entitled Solicitation # CI 24 B 00699: Renovation, Improvements and Repairs for Memphis Housing Authority Public Housing Units, Memphis, TN the undersigned hereby proposes and agrees to provide all services, labor, and materials required by them to execute all of the work described by the aforementioned documents for a lump sum price.

ALLOWANCES: All unused allowances shall be deducted from the contract value at the end of the project. Work performed without authorization from the owner will not be acknowledged as extra work. Therefore, a change request for such work will not be considered. Instructions and specified materials in the Construction Documents shall be applicable toward all authorized allowance work. All allowances shall include general conditions, bonds, permits, overhead profit, all direct and indirect costs, etc. The Contractor is to include a \$50,000.00 (fifty thousand dollar) General Allowance amount in the Base Bid for construction services for unforeseen conditions not covered in the Contract Documents.

UNIT PRICES: The unit price is an amount proposed by bidders, as per unit price per unit of measurement for materials and services added to or deducted from the Contract Sum by appropriate modification, if the estimated quantities of Work required by the Contract Documents increased or decreased. Unit costs shall include all direct and indirect costs necessary to complete the unit of work. Therefore, if necessary, to complete the work, the unit cost shall include, but is not limited to; labor, material, equipment, supervision, GC&P, permitting fees, removal of unwanted materials and transportation.

BASE BID: Renovation, Improvements and Repairs for MHA Public Housing Units – (See project manual and construction drawings for the detailed scope of work.). All costs shall include all direct and indirect costs, general conditions, profit, bonds and permits for a turnkey project.

General Conditions: Bonds and Permitting: _____

Bidding Documents

General Allowance: \$50,000

Mobilization: _____

152 Goodloe, Unit 2

152 Goodloe, Unit 2 (5 Bedroom Unit): _____

152 Goodloe, Unit 2, Exterior Concrete: _____

Total for 152 Goodloe, Unit 2: _____

69 West Olive, Unit 1

69 West Olive, Unit 1 (2 Bedroom Unit): _____

69 West Olive, Unit 1, Exterior Concrete: _____

Total for 69 West Olive, Unit 1: _____

69 West Olive, Unit 2

69 West Olive, Unit 2 (2 Bedroom Unit): _____

69 West Olive, Unit 2, Exterior Concrete: _____

Total for 69 West Olive, Unit 2: _____

BASE BID TOTAL:

\$ _____

Bid Guarantee in the sum of _____ dollars.

(\$ _____)

in the form of _____

is submitted herewith in accordance with the Instructions to Bidders.

The undersigned acknowledges the receipt of the following Addenda and has included them in this bid.

NOTICE TO PROCEED

The undersigned agrees to commence actual work on the site with an adequate force & equipment within seven [7] business days of the date of “Notice to Proceed.”

CONSTRUCTION TIME

The undersigned agrees to complete all the work described by the aforementioned “Contract Documents” by the time as listed below.

BASE BID: Ninety [90] consecutive calendar days (Monday – Friday) from the Notice to Proceed.

LIQUIDATED DAMAGES

The undersigned agrees to pay, as liquidated damages, the sum of **five hundred dollars and zero cents (\$500.00)** per day for work per day per uncompleted contracting beginning day one after completion date.

PERFORMANCE & PAYMENT BOND

For bids greater than \$25,000.00, upon receipt of a written acceptance of this bid, Bidder shall deliver performance & payment bond in accordance to HUD 5369 [10/02], “Instructions to Bidders for Contracts, Public & Indian Housing Programs, page 3, clause 10.

BID BOND

For bids greater than \$25,000.00, the bid bond or security attached in the sum of _____dollars [\$_____] is to become the property of the Owner in the event of the Contract and bond are not executed with the time set forth, as liquidated damages for the delay and additional expense to the Owner, who is entitled to the difference between the amount of this bid and the amount for which a contract for the work is subsequently executed. The check shall be made payable to the Memphis Housing Authority.

PAYMENT

Payment at the lump sum price bid herein shall include replacement of identified damaged components within the plumbing chase wall per the scope of work. Additional items included herewith as appurtenant and incidental to these work items are all ancillary items associated with said work.

SUBMITTED BY: _____ DATE: _____
[Signature]

NAME & TITLE: _____
[Please print]

BID BOND

KNOW ALL MEN BY THESE PRESENTS, that we the undersigned,

_____, AS PRINCIPALS,

and

_____, AS SURETY

are held and firmly bound unto the Memphis Housing Authority hereinafter called the "AUTHORITY," in the penal sum of:

_____ DOLLARS,

lawful money of the United States, for the payment of which sum will and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

THE CONDITIONS OF THIS OBLIGATION IS SUCH, that whereas the Principal has submitted the accompanying bid, dated _____, 20____, for the:

Renovations, Improvements and Repair
To Three [3] Montgomery Plaza Dwelling Units, Memphis, TN

NOW, THEREFORE, if the Principal shall not withdraw said bid within the period specified therein after the opening of the same, or, if no period be specified, within **ninety [90] days** after the said opening, and shall within the period specified therefore or, if no period specified within ten (10) days after the prescribed forms are presented to him/her for signature, enter into a written contract with the Authority in accordance with the bid as accepted, and give bond with good and sufficient surety or sure ties, as may be required, for the faithful performance and proper fulfillment of such contract; or in the event of the withdrawal of said bid within the period specified, or in the failure to enter into such contract and give such bond within the time specified, if the Principal shall pay the Authority the difference between the amount specified in said bid and the amount for which the Authority may procure the required work or supplies or both, if the latter amount be in excess of the former, then the above obligation shall be void and of no effect, otherwise to remain in full force and virtue.

IN THE WITNESS WHEREOF, the above-bounded parties have executed this instrument under their several seals this _____ day of _____, 20____, the name and corporate seal of each corporate party being hereto affixed and these presents duly signed by its undersigned representative, pursuant to authority of its governing body.

IN THE PRESENCE OF:

_____ (SEAL)

Principal

Bidding Documents

Address

(SEAL)

Principal

Address

(SEAL)

Surety

Address

To all prospective bidders:

The undersigned have familiarized himself/herself/themselves with the local conditions affecting the cost of the work, and with the Contract Documents which are on file in the office of the Memphis Housing Authority, hereby proposes to furnish all labor, materials, equipment and services required to undertake the above referenced project in accordance with the Contract Documents for the:

Attached hereto and included in this bid for **Renovation, Improvements and Repair for MHA Public Housing Units, Memphis, TN** are the following:

- Bid Form
- Bid Bond
- Representations, Certifications, and Other Statements of Bidders Form (HUD-5369-A)
- Previous Participation Certificate (HUD-2530)
- Qualifications Questionnaire
- Non-Collusion Affidavit
- Debarment and Suspension Certification
- Equal Opportunity Certification
- Drug Free Workplace Certification
- Section 3 Business Self-Certification
- List of Proposed MBE/WBE Subcontractors and Sub-Consultants

NOTE: Penalty for making false statements herein is prescribed in 18 USC 1001.
Failure to submit any or all of above documents may result in rejection of the bid.

Section 3 Action Plan and Financial Documents shall be submitted within two (2) working days of request by MHA.

Date _____, 20____

Signature

Bidding Documents

Bidder

By

Title

Official Address:

Bidder

Street

City

State

Zip

Phone Number : (_____) _____

The above bidder is an ☐ individual; ☐ corporation; ☐ partnership; ☐ joint venture consisting of _____ ☐ licensed to do business in the State where the projected is located.

Sealed Bid Cover Page – Complete and apply on the front of the sealed bid envelope.

Business Name: _____

Address (Full): _____

Contact Person: _____ Phone No: _____

Contractor's License No: _____ License Limit: _____

License Expiration Date: _____ Signature: _____

MHA Office Use Only

Date Bid Received: _____

Time Received: _____

Signature: _____

Print Name: _____

Project Name/Description: _____

Solicitation No: _____

Bid Opening Location, Date, Time: _____

Deliver to: _____

Sub Contractors or Consultants who provided a bid amount over \$25,000 to a General Contractor requires a Contractor's License registered with the State of Tennessee. Information must be listed on the front of the sealed bid envelope.	Business Name	Trade	License number	License Limit

*The Memphis Housing Authority reserves the right to reject any or all bids, to waive formalities, informalities, or irregularities in any bids, to advertise for new bids, or proceed to do this work by other means – as may be deemed to be in and for the best interest of the Authority.

Project Information:

Project Name: MHA Renovations and Repairs for MHA Housing at Montgomery Plaza
Project Address: 1395 Pennsylvania Street, Memphis, Tennessee 38106
Project Number: 21640920
Observation Date: 04/10/2024

Observation Addresses:

152 Goodloe, Unit 2
 69 West Olive, Unit 2
 69 West Olive, Unit 1

Attendees:

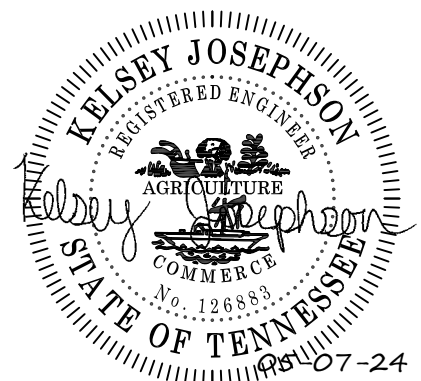
Name	Company	Email
Kelsey Josephson	SSR, Inc.	kjosephson@ssr-inc.com
Blair Williams	SSR, Inc.	bcwilliams@ssr-inc.com

Distribution:

Name	Company	Email
Kelitia Dickson	MHA	kdickson@memphisha.org
Moshe Cole	MHA	mcole@memphisha.org
Walter Blalack	SSR, Inc.	wblalack@ssr-inc.com
Ian Engstrom	SSR, Inc.	iengstrom@ssr-inc.com
Lauren Thornton	SSR, Inc.	lthornton@ssr-inc.com

Weather: Cloudy with chance of rain with a high of 70°

The above referenced project assessment site was attended by SSR to observe the existing condition of multiple units located at the MHA Montgomery Plaza Neighborhood. The unit comments are listed in the respective description associated with each photo. See Appendix A for approximate locations of pictures taken in each unit. All corrective actions shall be completed by the contractor as indicated. The items below are the deficiencies noted as well as the corrective actions to be taken:



Item	Description	Action Required
1	<p>Water damage around windows.</p> <p>This problem was present in the following units: 152 Goodloe Unit 2, 69 West Olive Unit 2, 69 West Olive Unit 1</p>	<p>Replace rotten wood, sills, and/or studs as required due to water damage. Replace with "in kind" wood members to match existing.</p>
2	<p>Water damage at kitchen and bathroom, especially near plumbing or active leaks. This includes miscellaneous rotten wood at the floor level or stud walls.</p> <p>This problem was present in the following units: 152 Goodloe Unit 2, 69 West Olive Unit 2, 69 West Olive Unit 1</p>	<p>Replace rotten wood at kitchen and bathroom (especially near plumbing), replace sills, studs, flooring, or joists as required due to water damage. Replace with "in kind" wood members to match existing. If floor joists are damaged replace or sister for entire length of span, see Figure 1.</p>
3	<p>The bracing between the floor joists is disconnected or cracked.</p> <p>This problem was present in the following units: 69 West Olive Unit 2</p>	<p>Reattach bracing to floor joists and replace cracked bracing.</p>
4	<p>Splitting/cracked, rotten, and settling joists supporting second floor.</p> <p>This problem was present in the following unit: 152 Goodloe Unit 2, 69 West Olive Unit 2, 69 West Olive Unit 1</p>	<p>If second-floor flooring is to be replaced, the joists shall be replaced in kind while the flooring is removed. If the second-floor flooring is to remain, raise the members to their original height and sister the member(s) for the entire length of the span. See Figure 1.</p>
5	<p>Members around water heater support and the framing nearby at the ground level are saturated and slanted.</p> <p>This problem was present in the following units: 69 West Olive Unit 2</p>	<p>Framing members and members around platform shown in the photos to be replaced</p>

Item	Description	Action Required
6	<p>Broken or unsalvageable plywood on the second floor.</p> <p>This problem was present in the following units: 152 Goodloe Unit 2</p>	All broken or unsalvageable plywood to be replaced.
7	<p>The plywood flooring at the bathroom is rotten. This can be seen on top of the flooring at the second level in the abated unit. This also includes any rotten joists, plywood in areas other than the bathroom, and miscellaneous second floor framing near the bathroom.</p> <p>This problem was present in the following units: 152 Goodloe Unit 2, 69 West Olive Unit 2, 69 West Olive Unit 1</p>	This flooring needs to be replaced and any other affected members as listed here. Splice detail may be used for joist repair – see detail attached to this report, Figure 1.
8	<p>The plywood flooring of the water heater support framing rotted.</p> <p>This problem was present in the following units: 69 West Olive Unit 2</p>	Plywood support area flooring to be replaced and drain pans to be added under water heaters to prevent issue in future.
9	<p>Broken or cracked tread on stairs.</p> <p>This problem was present in the following units: 152 Goodloe Unit 2, 69 West Olive Unit 1</p>	The broken treads shall be replaced in kind.

SSR understands the installation is ongoing and the above items indicate areas which may need attention to conform to the construction documents and specifications.

Prepared by Kelsey Josephson, PE, Blair Williams, EI, Lauren Thornton, EI and Ian Engstrom, PE.

152 Goodloe, Unit 2

Photos:

Photo 1: Broken stair tread



Photo 2: Water damaged and broken plywood



Photo 3: Broken plywood, typical throughout entire second floor



Photo 4: Rotten framing around window



Photo 5: Rotten plywood and framing members in upstairs bathroom



Photo 6: Broken plywood on second floor from below



Photo 7: Rotten framing around window



Photo 8: Rotten framing around window



Photo 9: Water damage on plywood and framing members from below

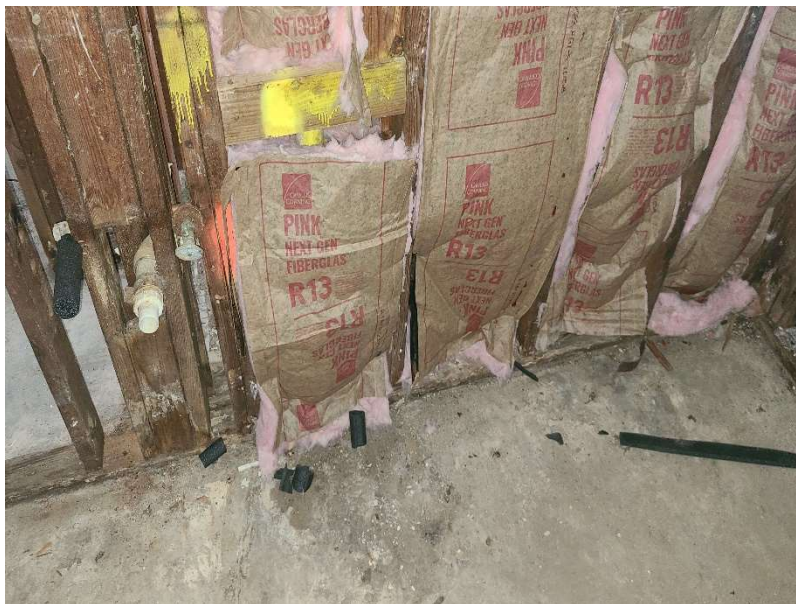


Photo 10: Rotten framing below in kitchen



Photo 11: Rotten framing under window

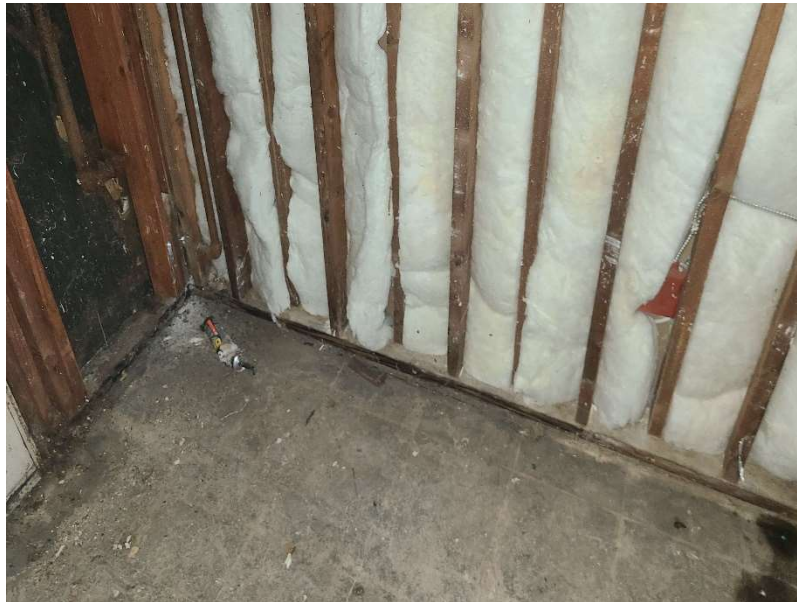


Photo 12: Rotten framing below in kitchen



Photo 13: Rotten framing under window

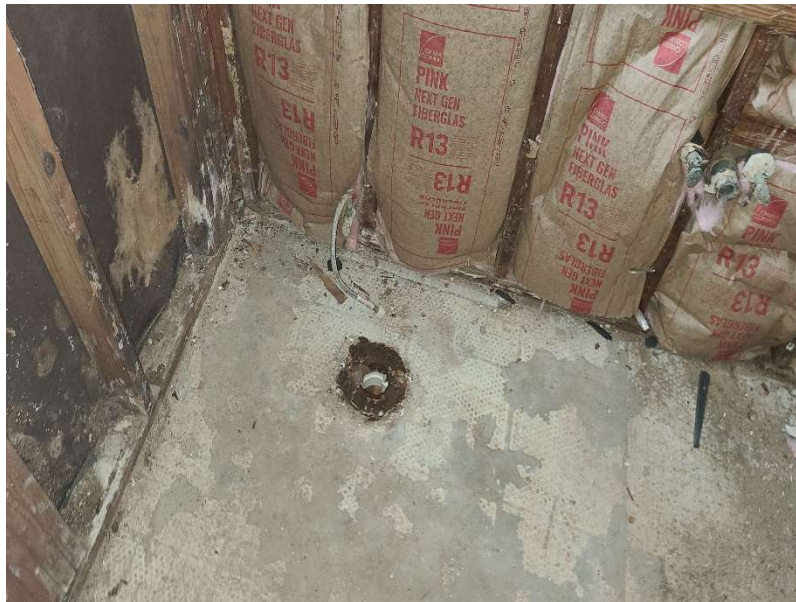


Photo 14: Rotten framing below in bathroom



Photo 15: Framing at window rotten

69 West Olive, Unit 2

Photos:

Photo 1: Broken plywood and blocking not attached



Photo 2: Rotten framing around windows



Photo 3: Rotten plywood and framing above kitchen



Photo 4: Rotten framing above in kitchen



Photo 5: Leaking water heater, plywood and framing rotten



Photo 6: Rotten framing around window



Photo 7: Framing members and plywood rotten in upstairs bathrrom

69 West Olive, Unit 1

Photos:

Photo 1: Rotten wood below in kitchen



Photo 2: Rotten plywood and framing above in kitchen



Photo 3: Broken stair tread

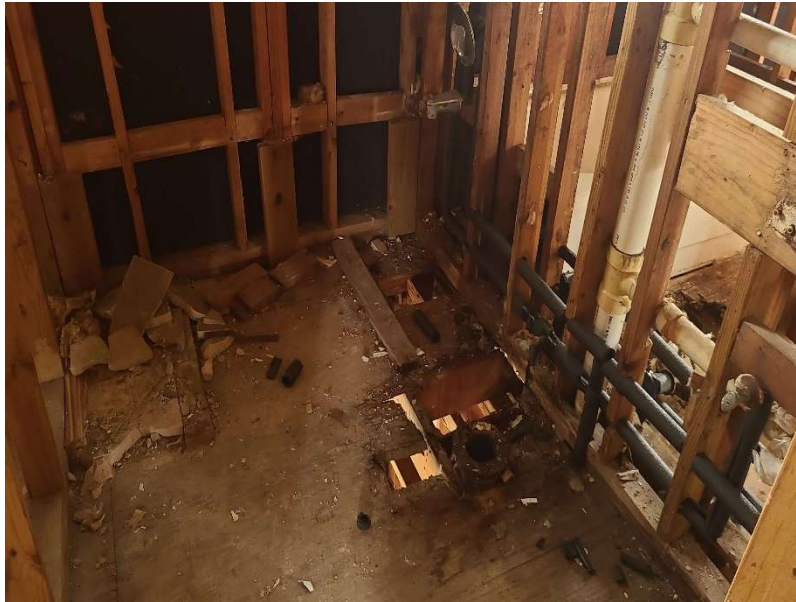


Photo 4: Rotten plywood and framing members below in upstairs bathroom



Photo 5: Rotten framing under window

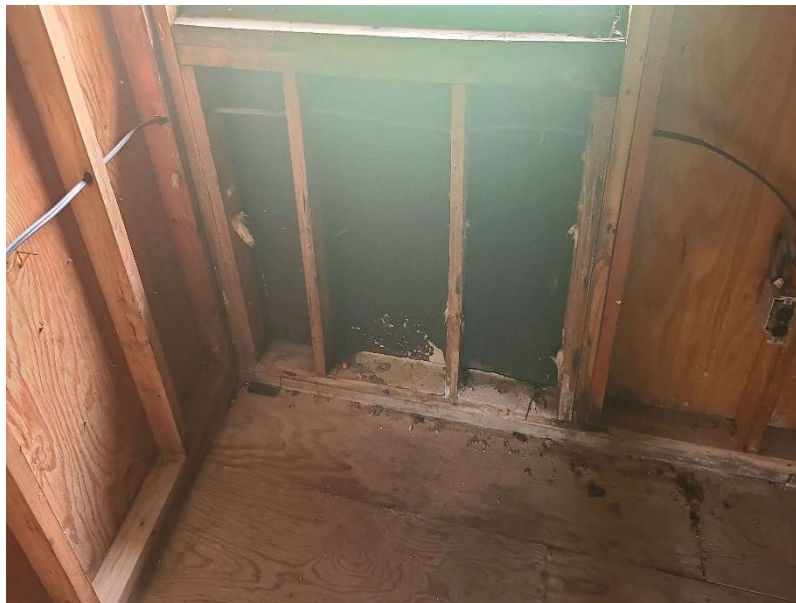
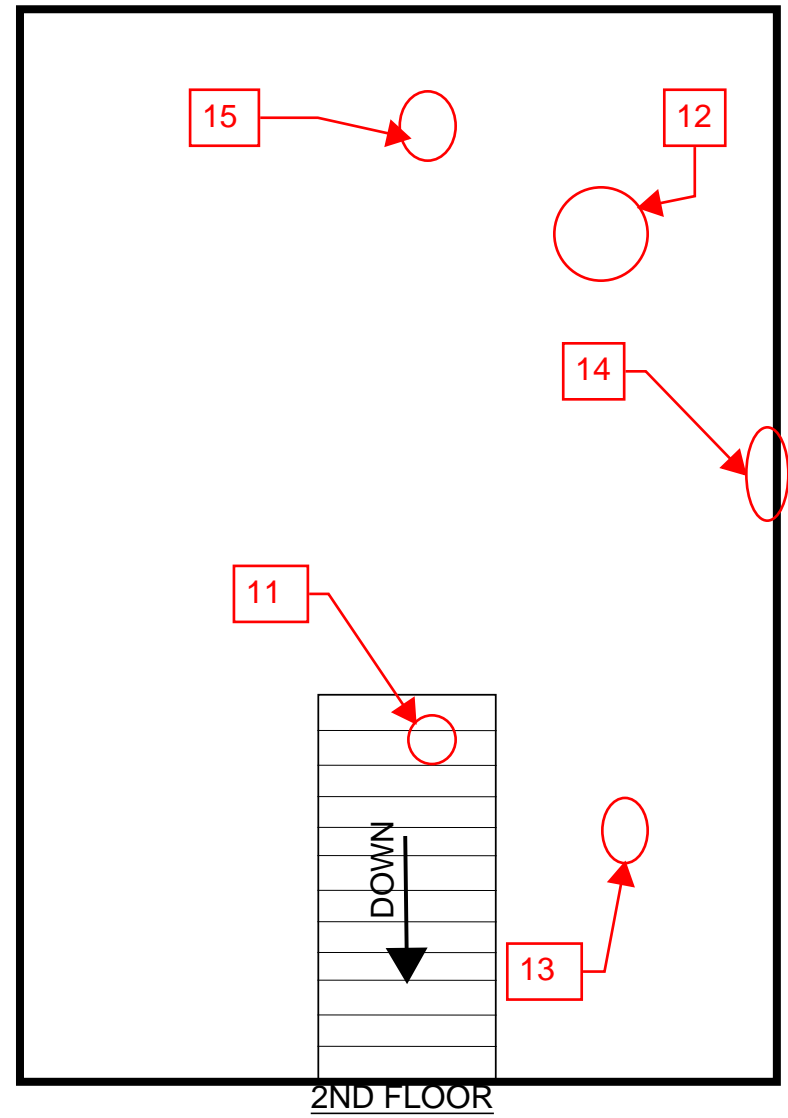
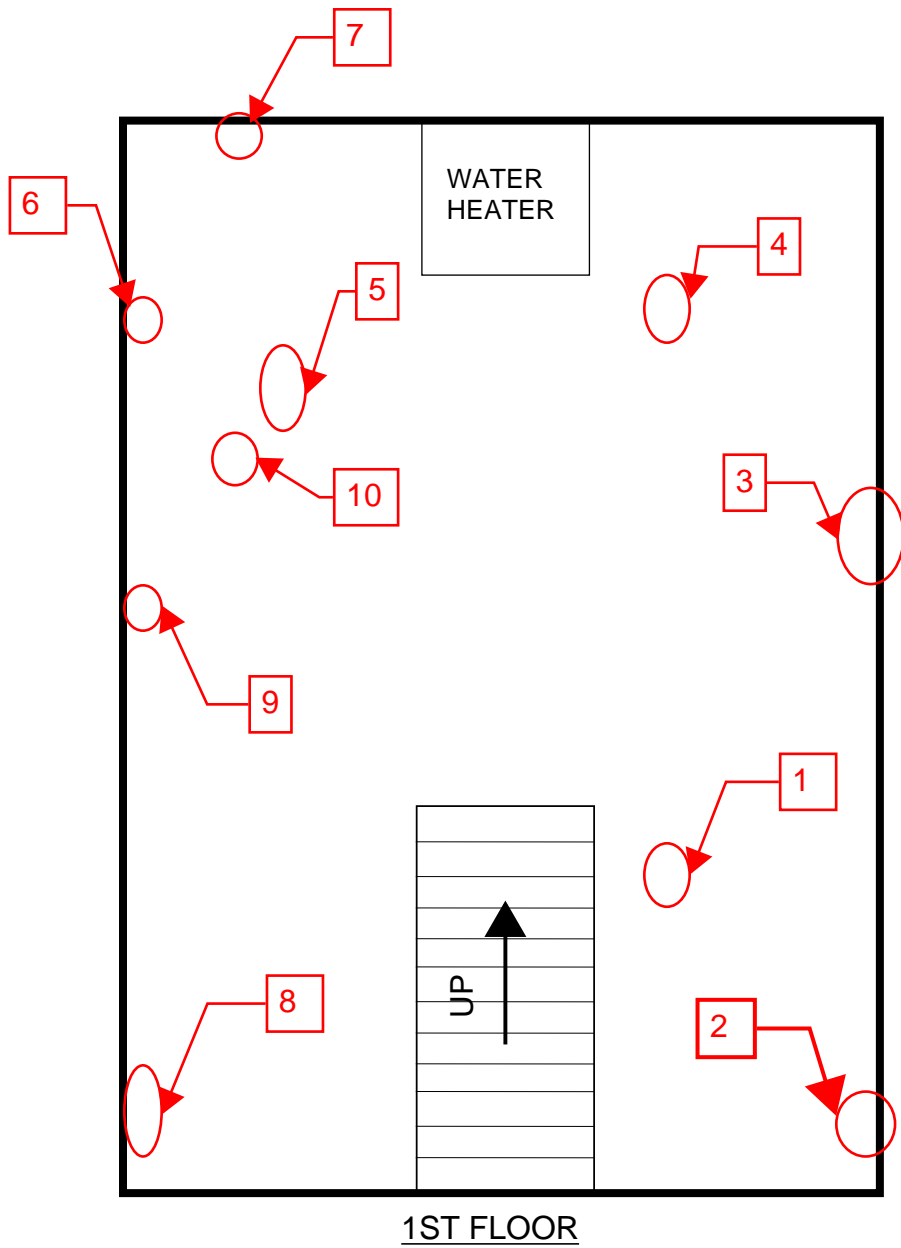


Photo 6: Rotten framing around open window

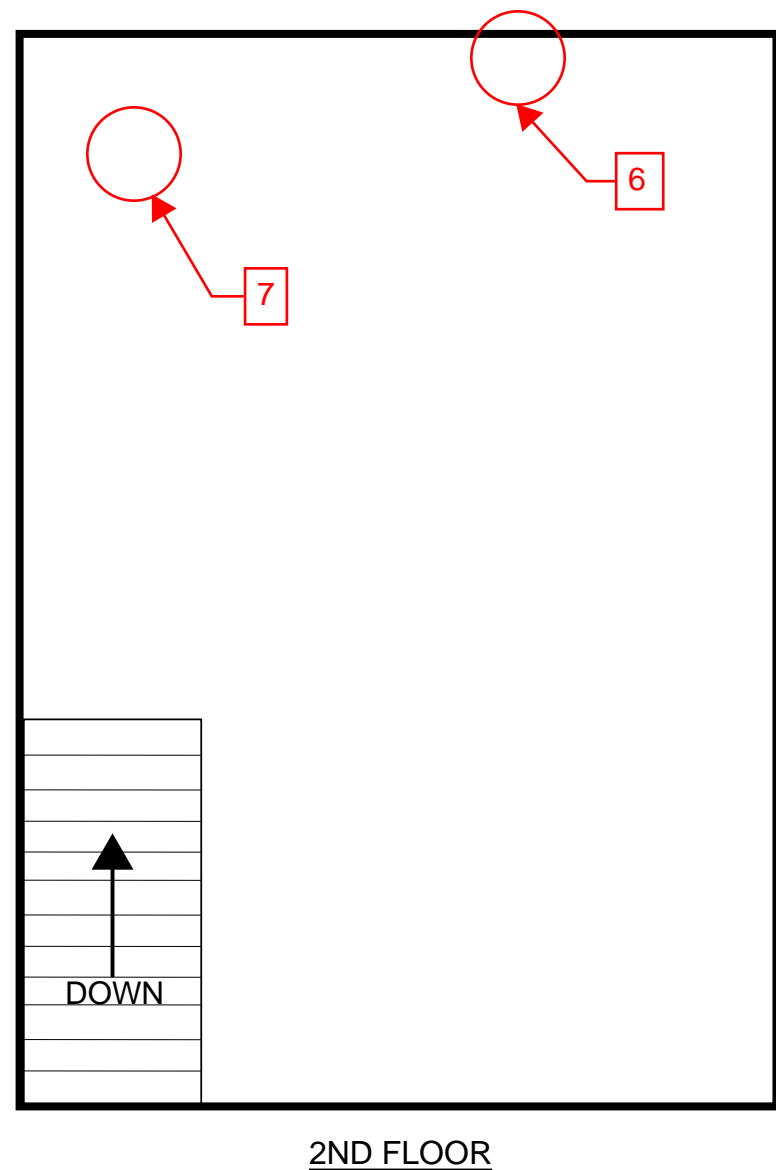
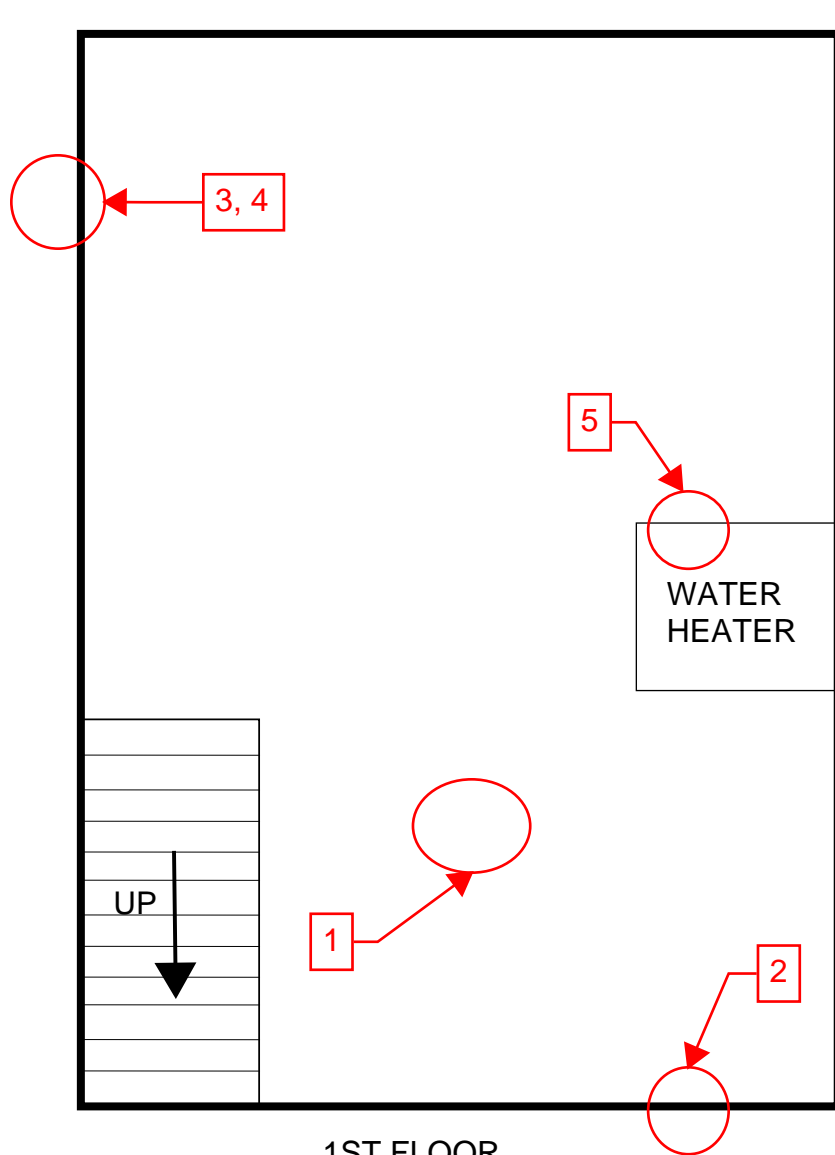


Photo 7: Broken and unsalvageable plywood on second floor

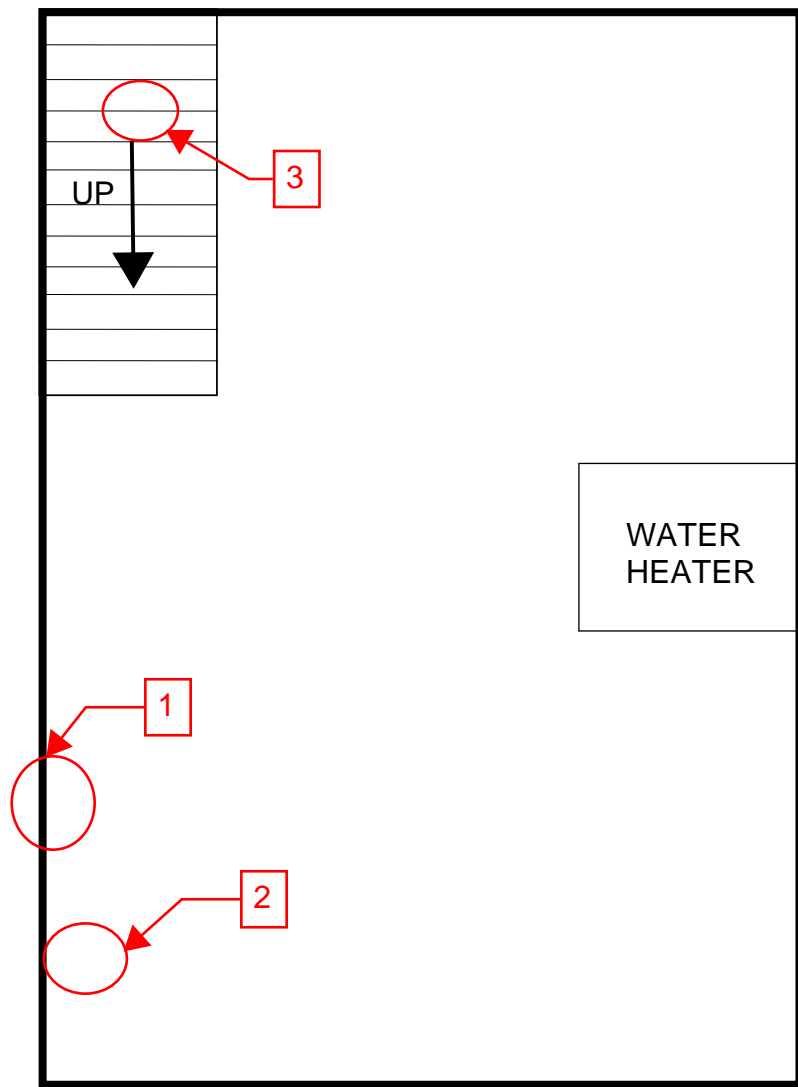
Appendix A



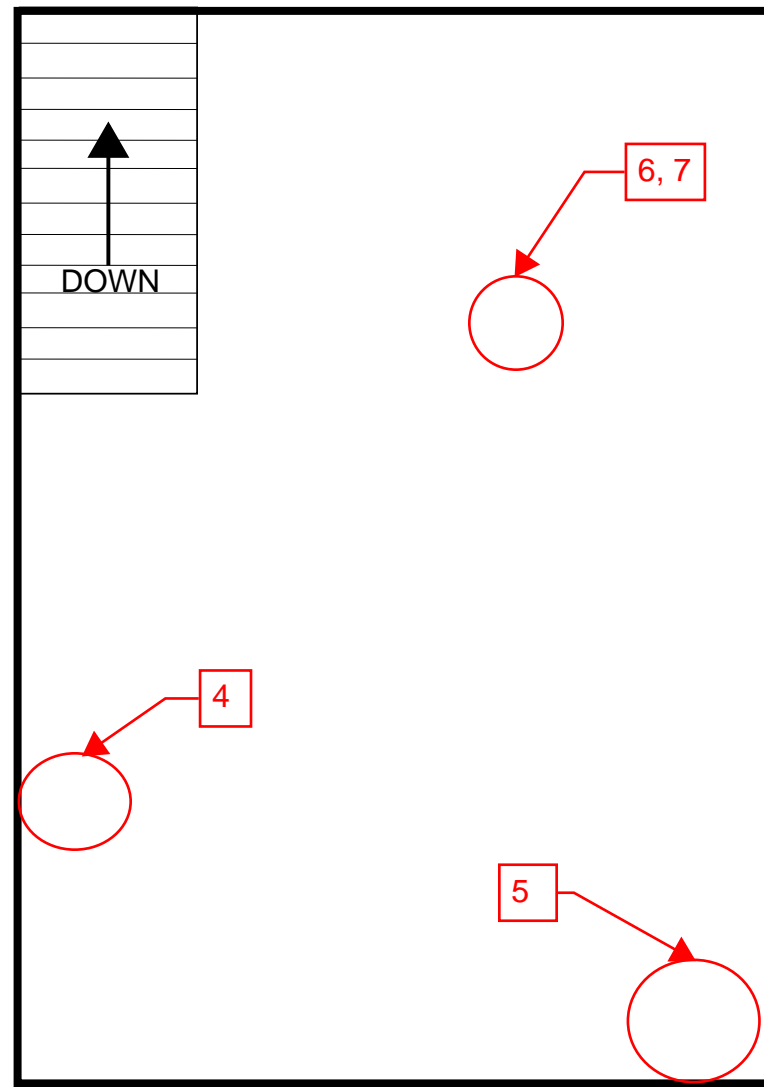
152 GOODLOE, UNIT 2



69 WEST OLIVE, UNIT 2



1ST FLOOR

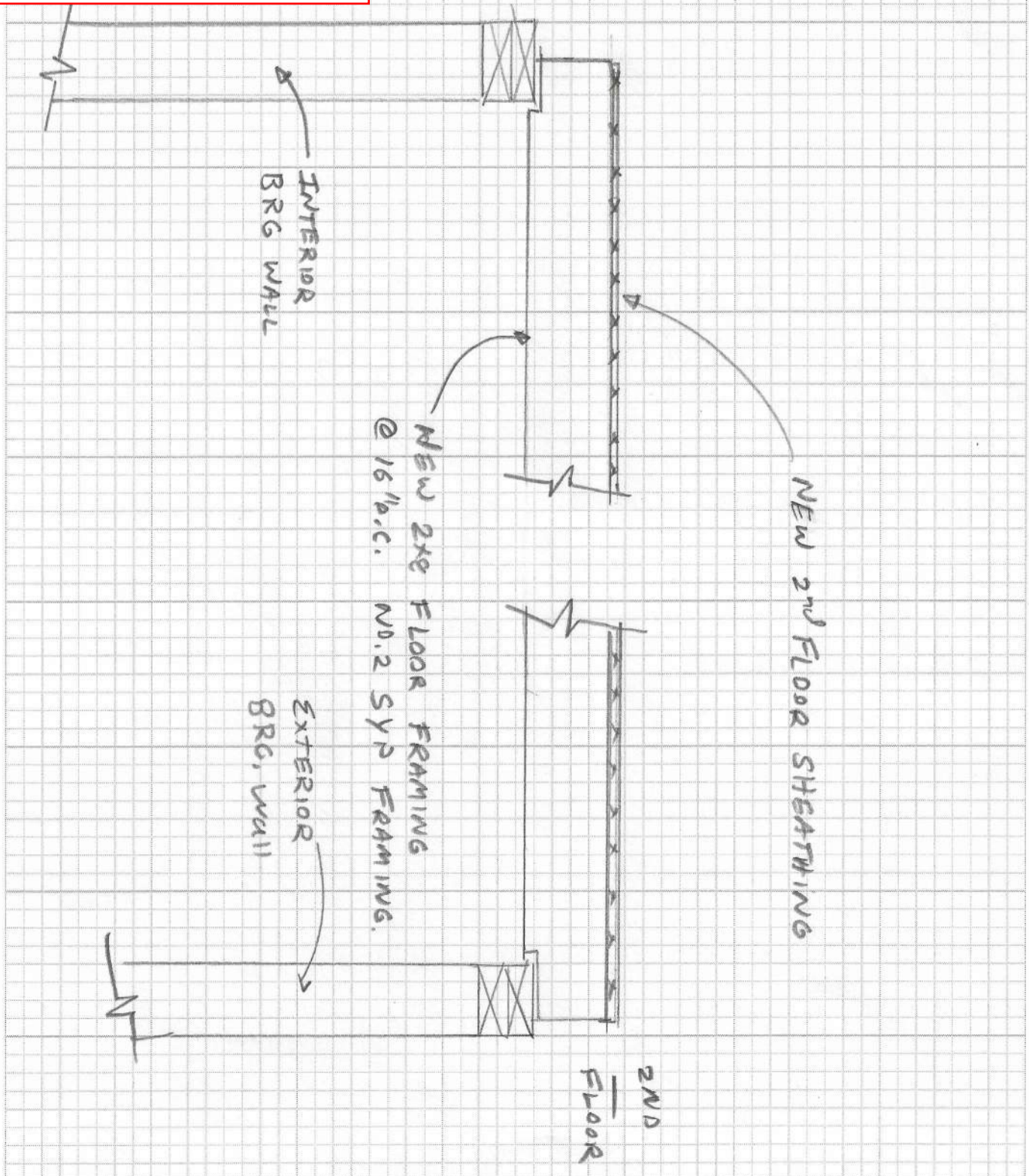


2ND FLOOR

69 WEST OLIVE, UNIT 1

BY KM DATE _____ SUBJECT MONTGOMERY PLAZA SHEET NO. _____ OF _____
CHKD. BY _____ DATE _____ JOB NO. _____

DETAIL 1: NEW FLOOR JOISTS

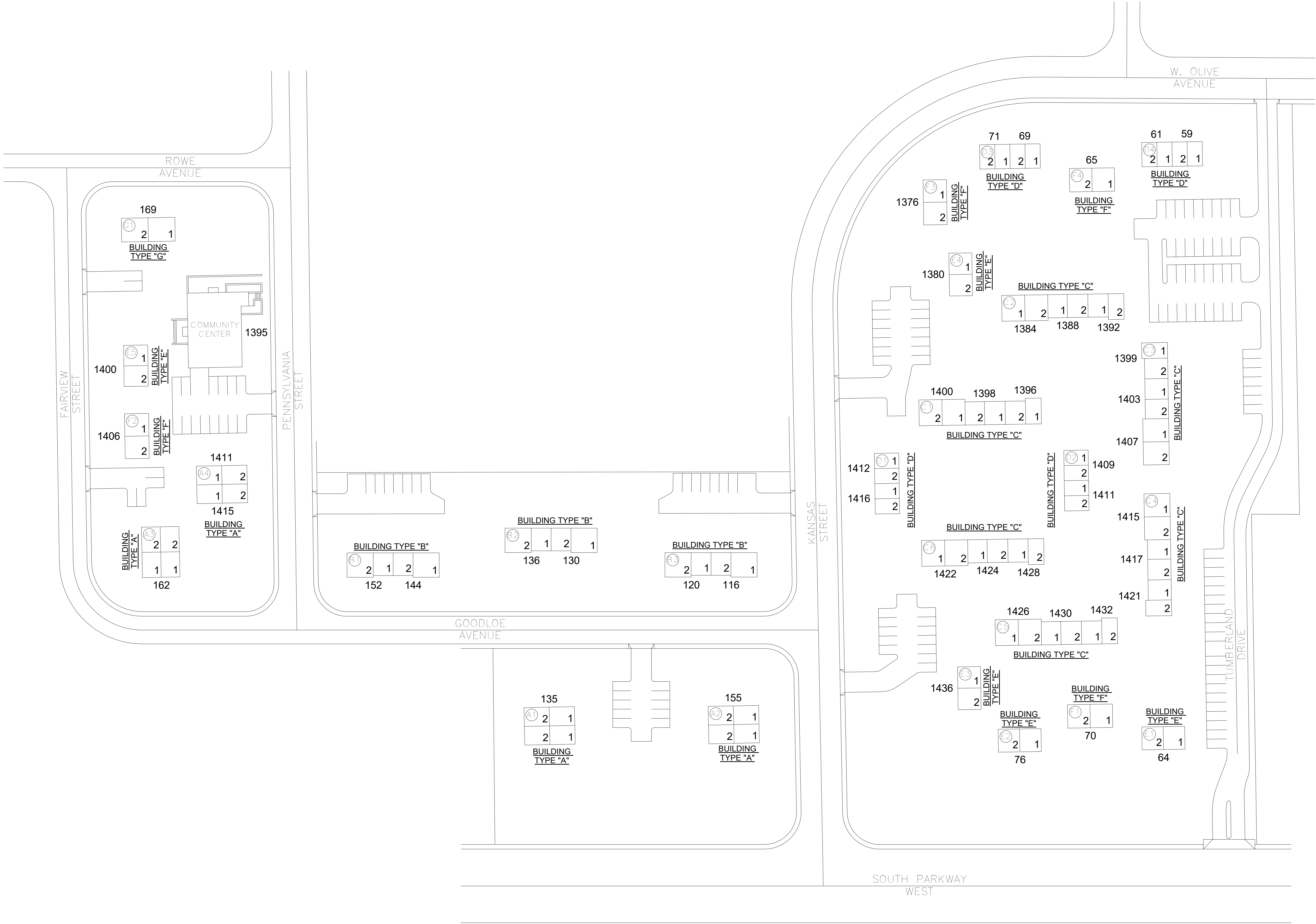



1

SITE PLAN

1" = 50'-0"

PLAN NORTH

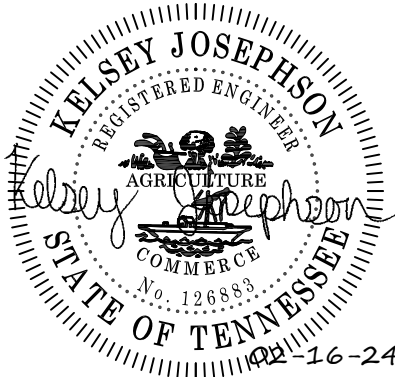




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SSR Project #: 21640920



REVISIONS

DESCRIPTION

REV

DATE

MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY

AMH

DESIGNED BY

KAJ

CHECKED BY

JCF

SHEET TITLE

OVERALL SITE PLAN

DATE

2-16-2024

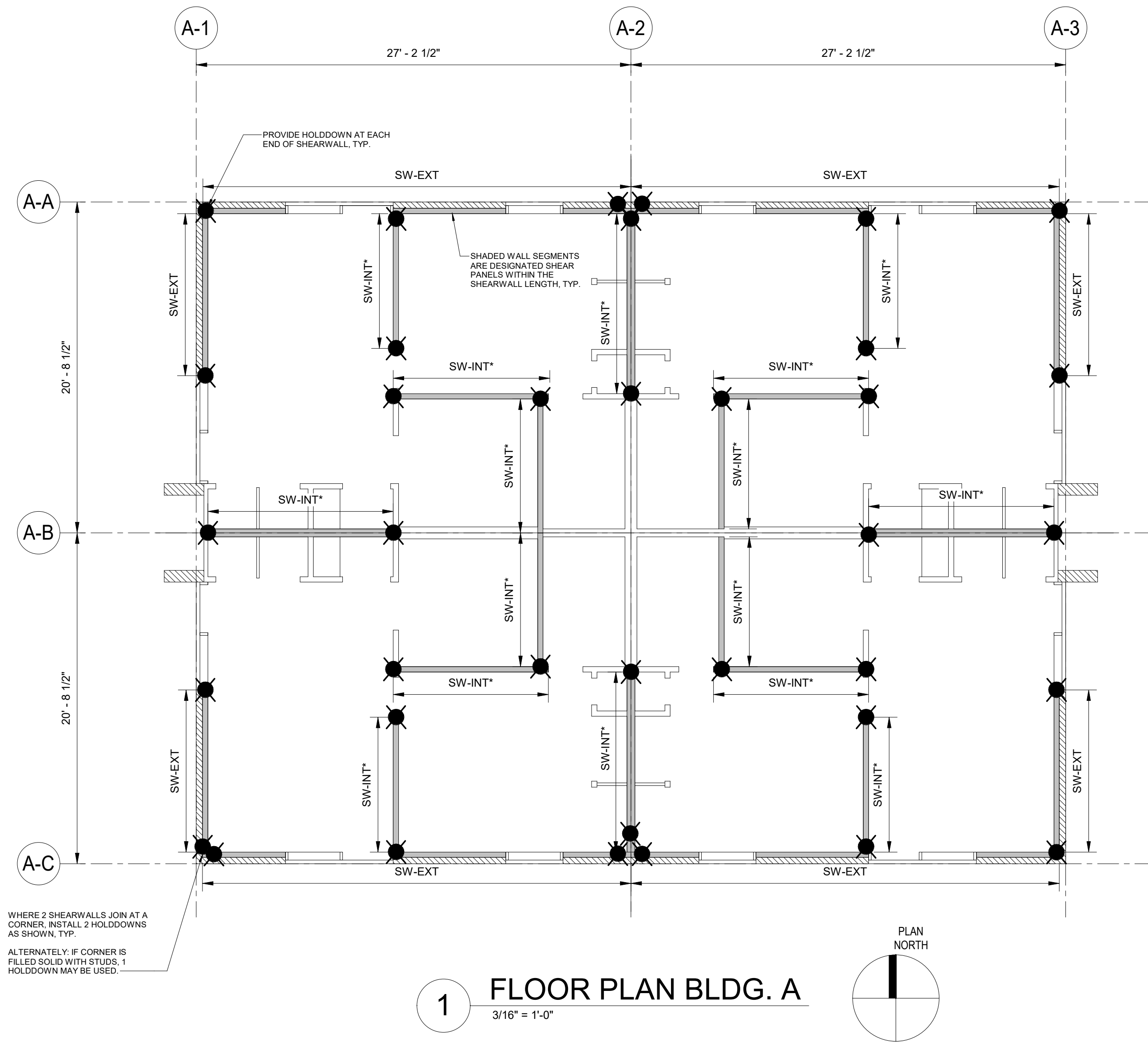
PROJECT STATUS

CONSTRUCTION DOCUMENT

SHEET NUMBER

S-100

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1 FLOOR PLAN BLDG. A
3/16" = 1'-0"

SHEAR WALL SHEET NOTES:

1. DENOTES PRIMARY PANEL. REFER TO NOTE 5
2. DENOTES PERFORATED SHEARWALL HOLDDOWN, REFER TO SHEARWALL SCHEDULE ON 1/S-301 FOR ADDITIONAL HOLDDOWN DETAILS.
3. REFER TO S-301 SHEET FOR SHEARWALL SCHEDULE.
4. ALL HOLDDOWNS ARE CS22 AND HTT5
5. NAILING AND BLOCKING ARE AS SHOWN IN THE SHEARWALL SCHEDULE AND APPLIES TO ENTIRE LENGTH OF WALL.
6. WHERE PENETRATIONS THROUGH THE TOP PLATE OCCUR, REFER TO 1/S-300 FOR DETAILS (TYP. ALL SHEARWALLS)
7. REFER TO DETAIL 3/S-301 FOR HOLDDOWN DETAILS
8. * DENOTES SHEARWALLS WHERE DESIGN UPLIFT MAY EXCEED HOLDDOWN CAPACITY. MAXIMUM HOLDDOWN CAPACITY HAS BEEN PROVIDED BASED ON EXISTING CONDITIONS AND AVAILABLE MATERIAL.



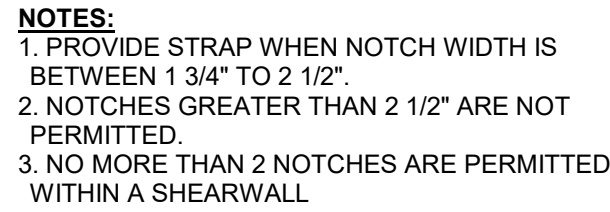
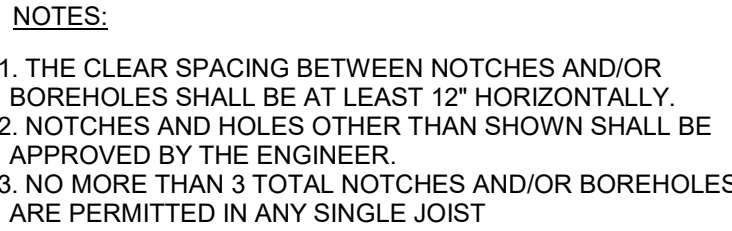
REVISIONS		DESCRIPTION
REV	DATE	

MEMPHIS HOUSING AUTHORITY
MONTGOMERY PLAZA
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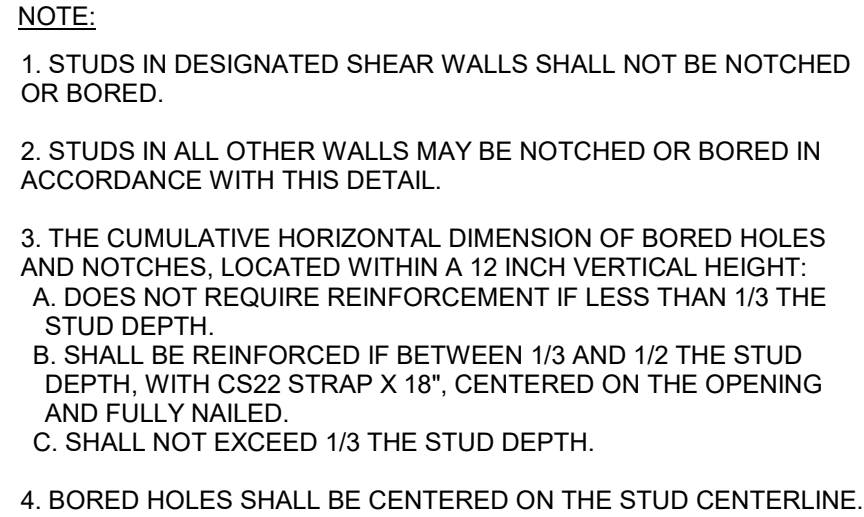
DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE	
BUILDING A PLANS	

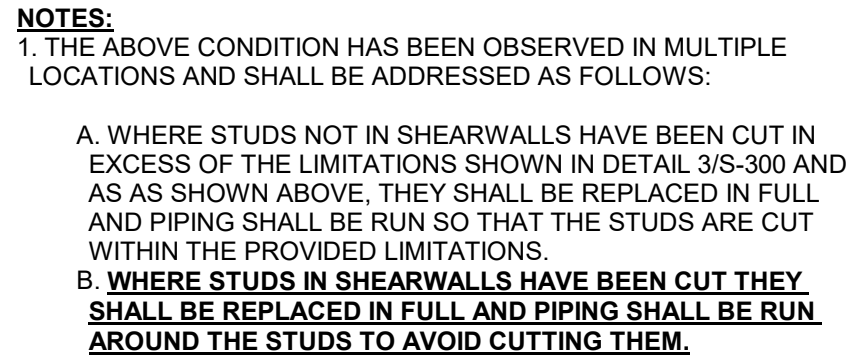
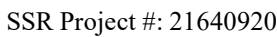
DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-101


$$12^{\circ} = 1^{\circ} - 0^{\circ}$$


12" = 1'-0"



12" = 1'-0"


$$3/4'' = 1'-0''$$

$$12^{\circ} = 1^{\circ} - 0^{\circ}$$


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MEMPHIS HOUSING AUTHORITYMONTGOMERY PLAZA

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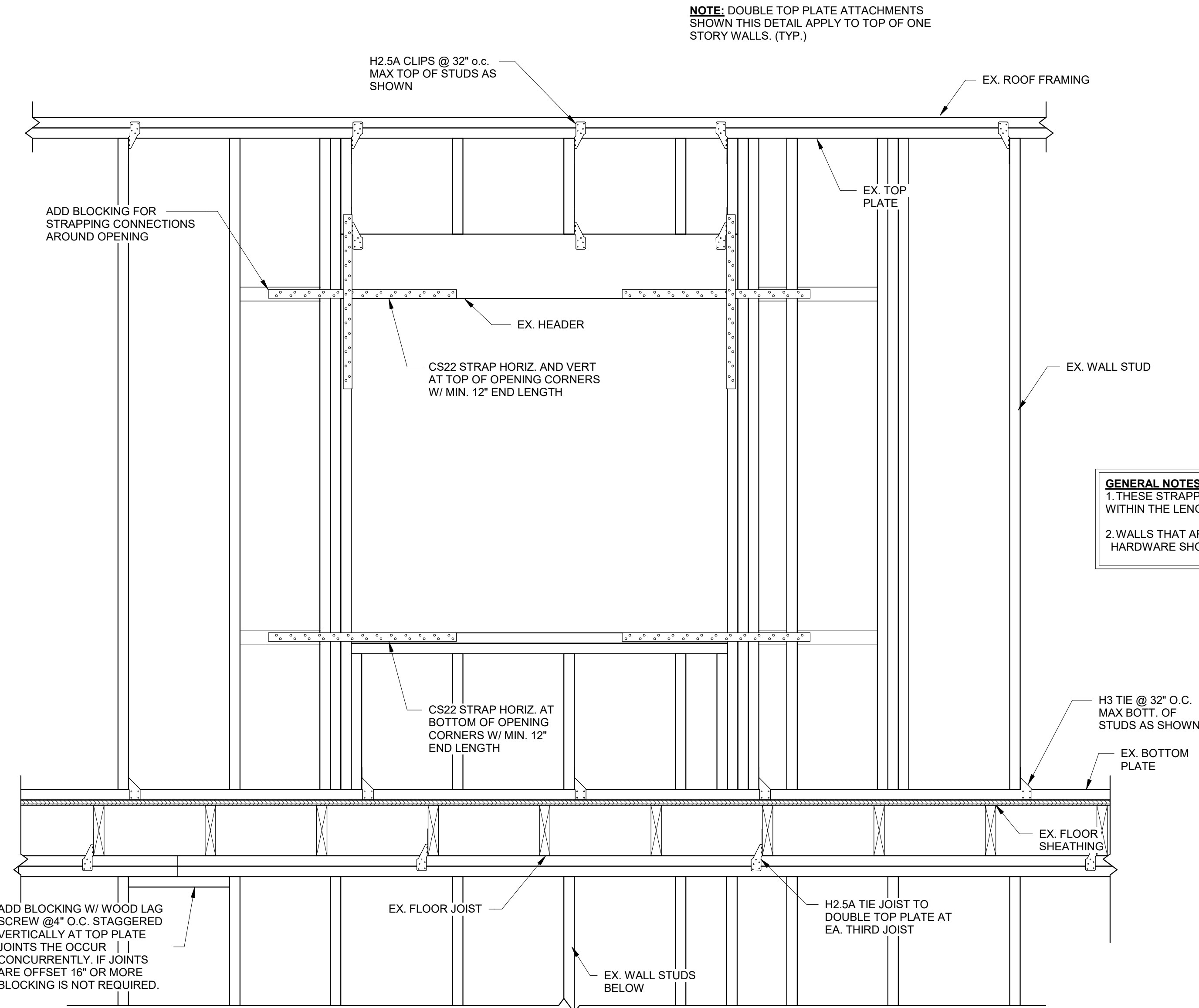
DRAWN BYSHEET TITLE

SHEARWALL DETAILS

DATE _____PROJECT STATUSHEET NUMBER

SHEARWALL SCHEDULE										
2nd FLOOR					1st FLOOR					REMARKS
MARK	SHEATHING	NAILING (2)	CHORD HOLD DOWN (1)	SILL PLATE ANCHOR	SHEATHING	NAILING (2)	CHORD HOLD DOWN (1)	HOLD DOWN ANCHOR BOLT (1)	SILL PLATE ANCHOR BOLT	
SW-EXT	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	CS22	WOOD LAG SCREWS	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 62100H	THDB 62100H @ 12" O.C.	-
SW-INT	5/8" GYP. BOARD, DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	CS22	WOOD LAG SCREWS	5/8" GYP. BOARD DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 25300H	PAF HIRI X-U @ 4" O.C. STAGGERED	-
SHEARWALL SCHEDULE NOTES: 1) ALL HOLD DOWNS, STRAPS, BOLTS, AND HARDWARE INDICATED ARE SIMPSON STRONG TIE HARDWARE OR EQUAL. ALL NAILS INDICATED ARE COMMON NAILS, U.N.O. 2) ALL EDGES OF SHEATHING SHALL BE FULLY BLOCKED WITH FULL DEPTH 2X BLOCKING AND NAILED ACCORDING TO THE SCHEDULE. FIELD NAILING OF SHEATHING SHALL BE AT 6" O.C.										

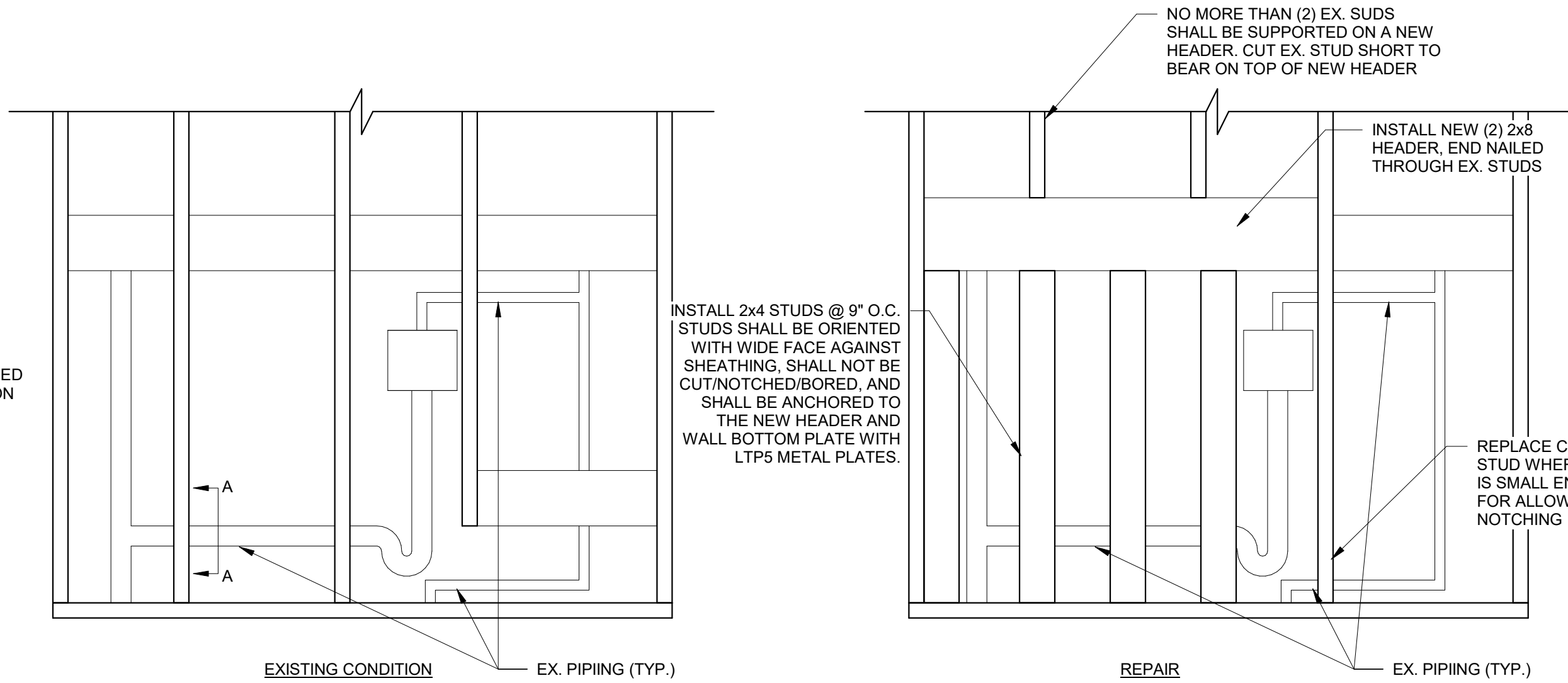
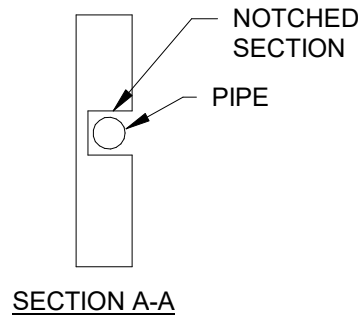
1 SHEARWALL BLDG SCHEDULE
12" = 1'-0"



ELEVATED FLOORS

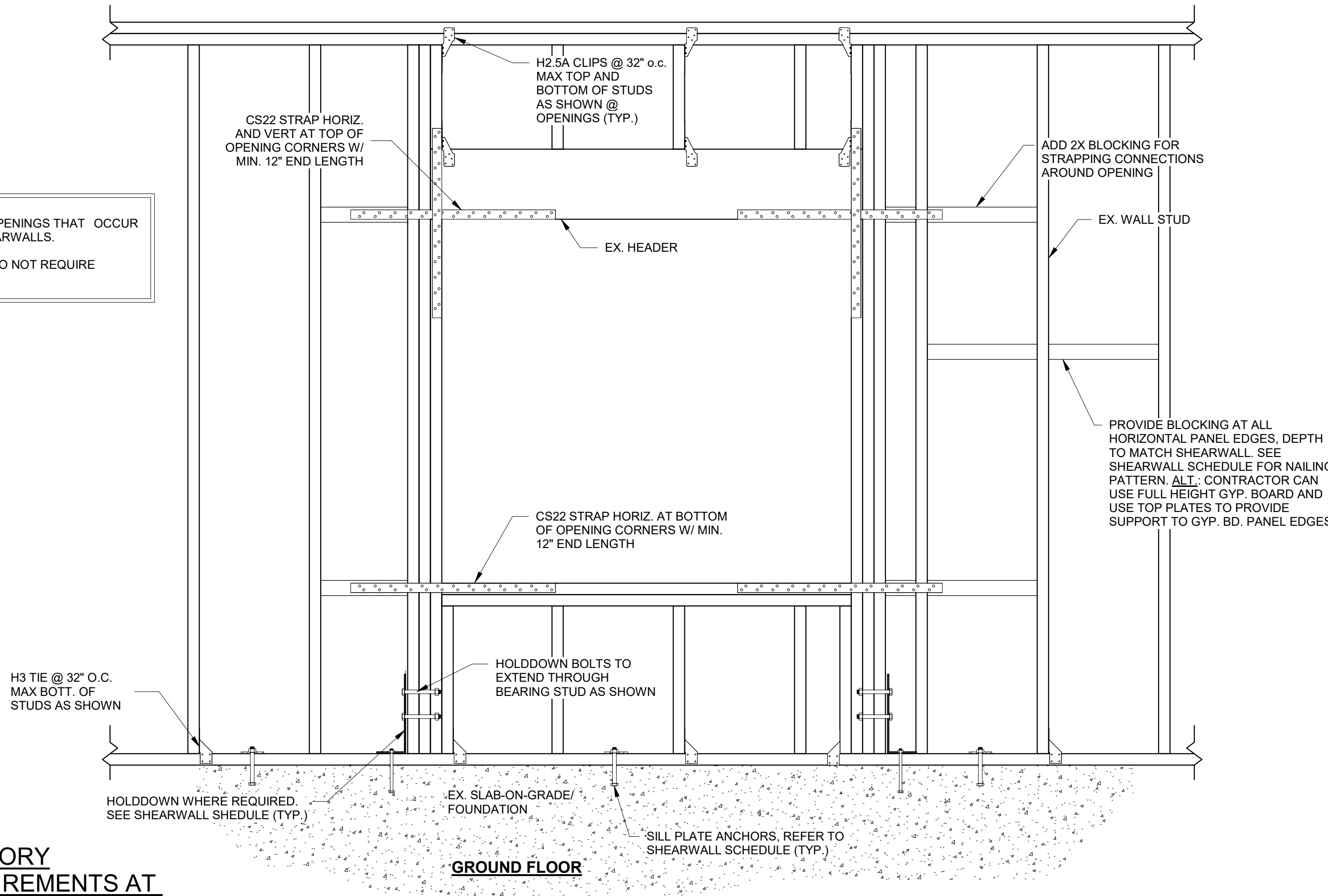
3 MULTI-STORY STRAPPING REQUIREMENTS AT PERFORATED SHEARWALL OPENINGS
1" = 1'-0"

3 SHEARWALL STRAPPING REQUIREMENTS
1" = 1'-0"

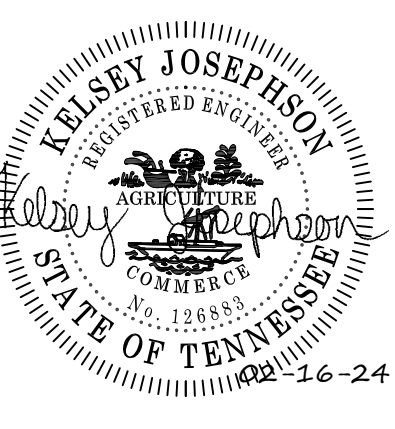


2 REPAIR OF STUDS IN NON-SHEAR WALL
1" = 1'-0"

NOTE:
1. IF THE FOLLOWING CONDITION IS FOUND IN A WALL MARKED AS A SHEARWALL, THE ABOVE REPAIR DOES NOT APPLY. ALL STUDS IN THE SHEAR WALL MUST EXTEND COMPLETELY TO THE FLOOR WITH NO NOTCHING PRESENT.
2. THIS REPAIR SHALL NOT OCCUR MORE THAN 2 TIMES IN A SINGLE BEARING WALL. REROUTE PLUMBING IF MORE THAN (2) STUDS ARE FULLY CUT AT THE BASE AND REQUIRE A HEADER TO SUPPORT OR NOTCHED IN EXCESS OF 25% OF THE STUD DEPTH.



GROUND FLOOR



REVISIONS		DESCRIPTION	
REV	DATE		

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DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE

SHEARWALL DETAILS

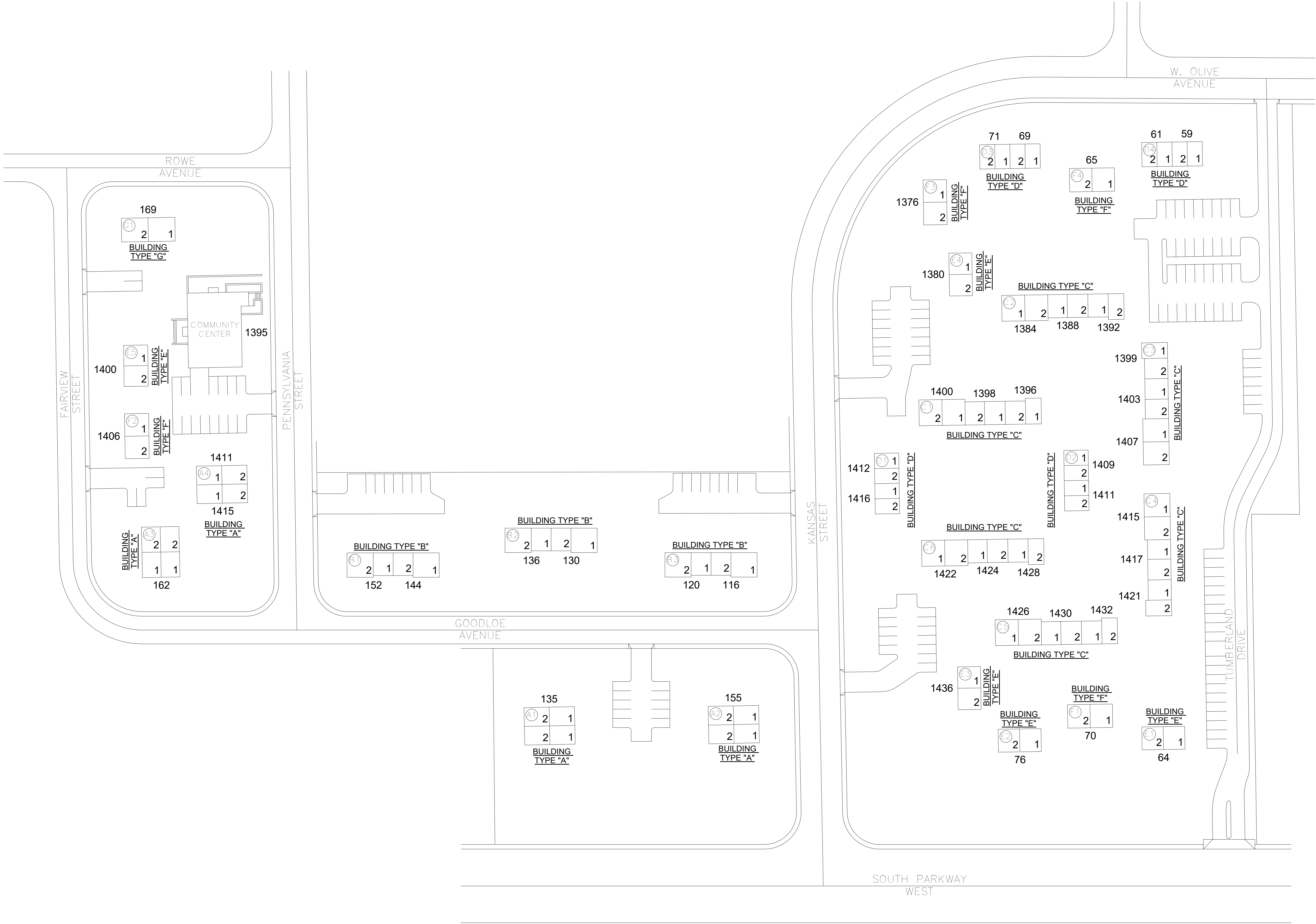
DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-301

1

SITE PLAN

1" = 50'-0"

PLAN NORTH



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REV	DATE	DESCRIPTION
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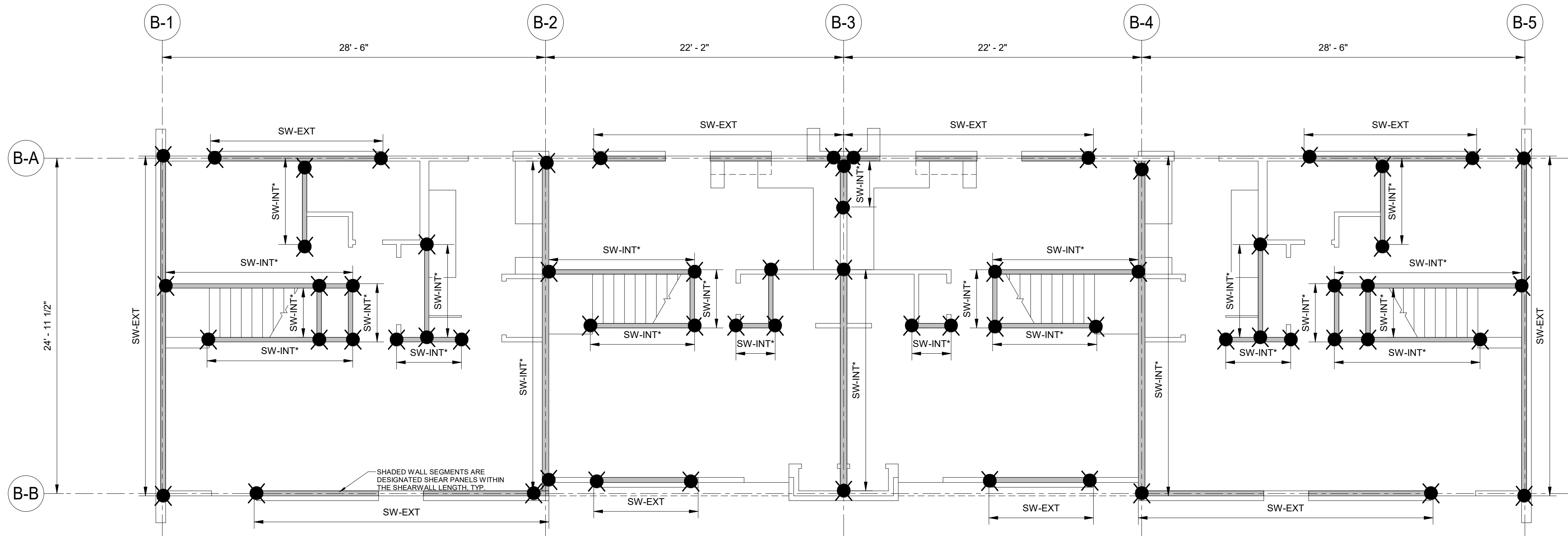
DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE

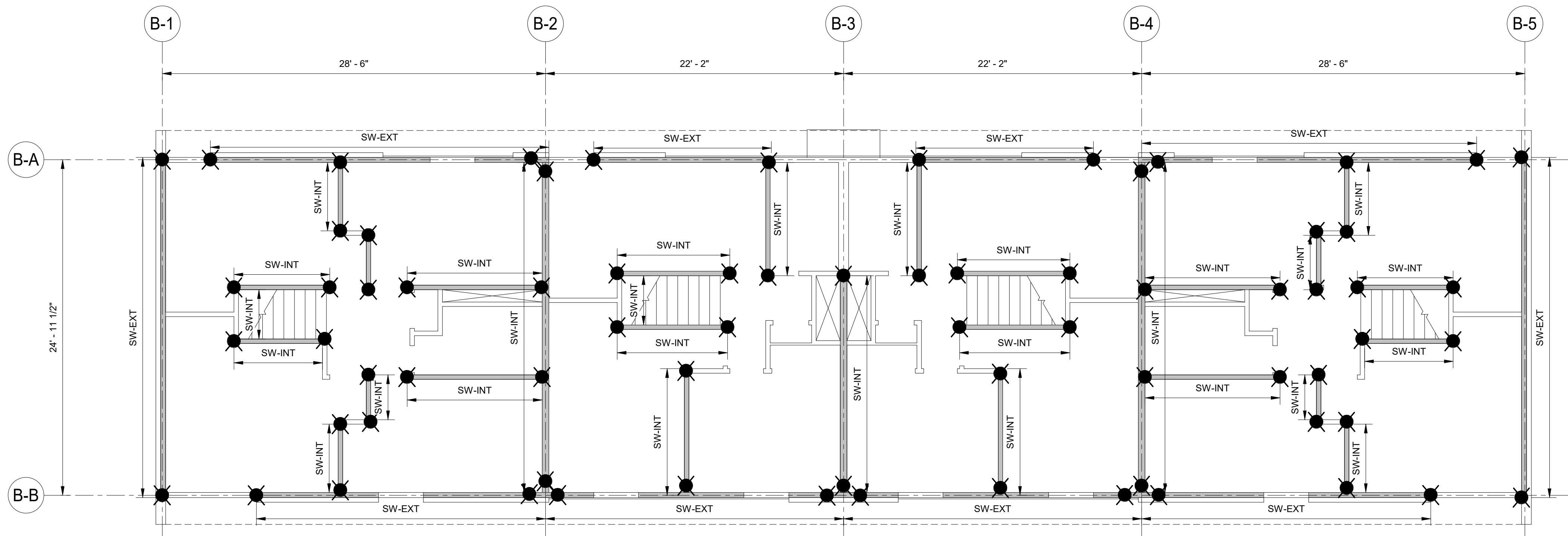
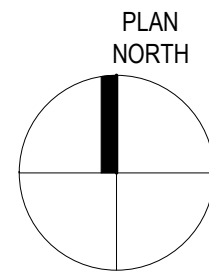
OVERALL SITE PLAN

DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-100

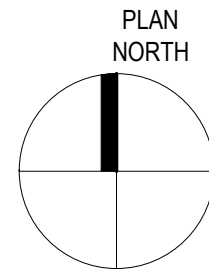
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1 FIRST FLOOR PLAN - BLDG B
3/16" = 1'-0"

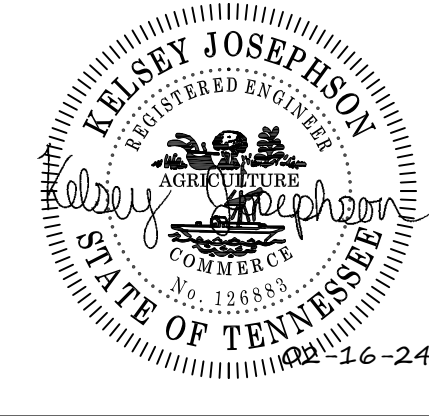


2 SECOND FLOOR PLAN - BLDG B
3/16" = 1'-0"



SHEAR WALL SHEET NOTES:

- DENOTES PRIMARY PANEL. REFER TO NOTE 5
- DENOTES PERFORATED SHEARWALL HOLDDOWN, REFER TO SHEARWALL SCHEDULE ON 1/S-301 FOR ADDITIONAL HOLDDOWN DETAILS.
- REFER TO S-301 SHEET FOR SHEARWALL SCHEDULE.
- ALL HOLDDOWNS ARE CS22 AND HTT5
- NAILING AND BLOCKING ARE AS SHOWN IN THE SHEARWALL SCHEDULE AND APPLIES TO ENTIRE LENGTH OF WALL.
- WHERE PENETRATIONS THROUGH THE TOP PLATE OCCUR, REFER TO 1/S-300 FOR DETAILS (TYP. ALL SHEARWALLS)
- REFER TO DETAIL 3/S-301 FOR HOLDDOWN DETAILS
- * DENOTES SHEARWALLS WHERE DESIGN UPLIFT MAY EXCEED HOLDDOWN CAPACITY. MAXIMUM HOLDDOWN CAPACITY HAS BEEN PROVIDED BASED ON EXISTING CONDITIONS AND AVAILABLE MATERIAL.



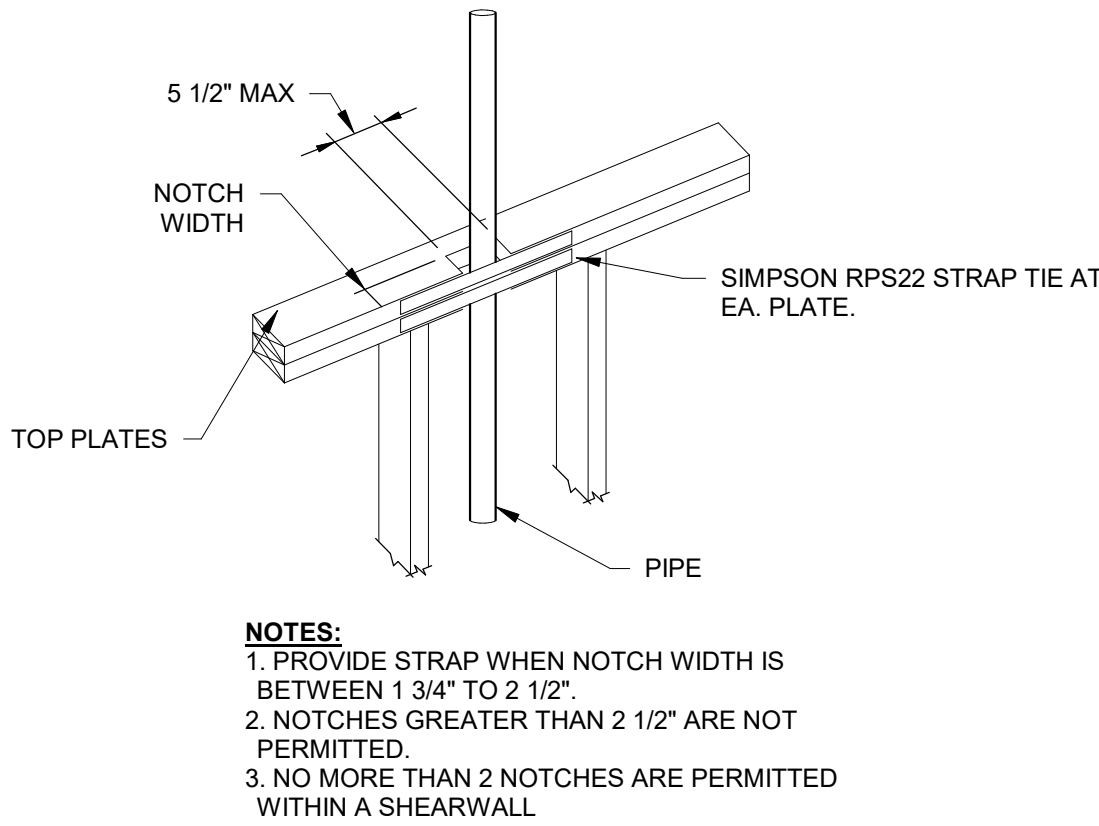
REVISIONS		DESCRIPTION
REV	DATE	

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MONTGOMERY PLAZA
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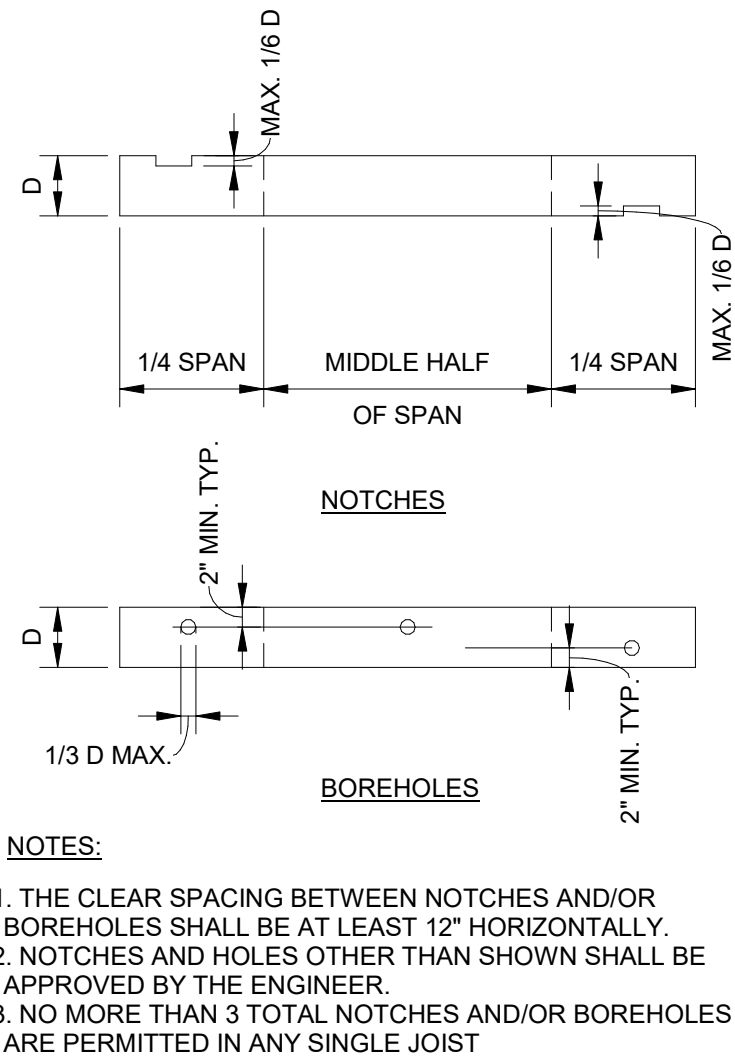
DRAWN BY	Author
DESIGNED BY	Designer
CHECKED BY	Checker

SHEET TITLE	
BUILDING B PLANS	

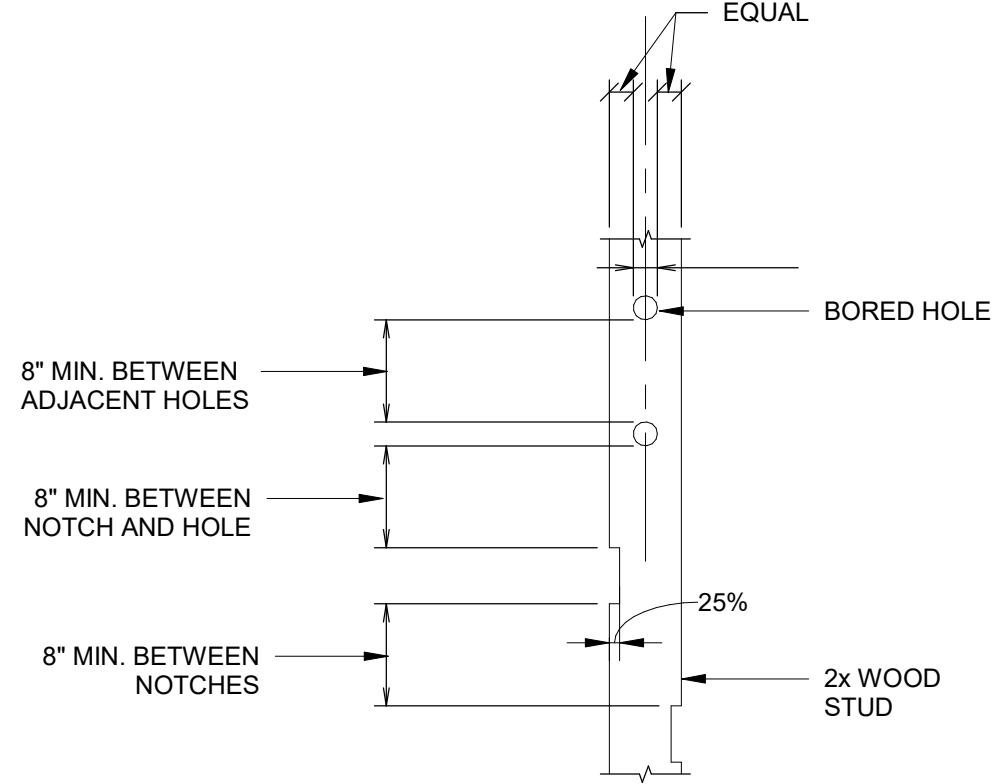
DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-101



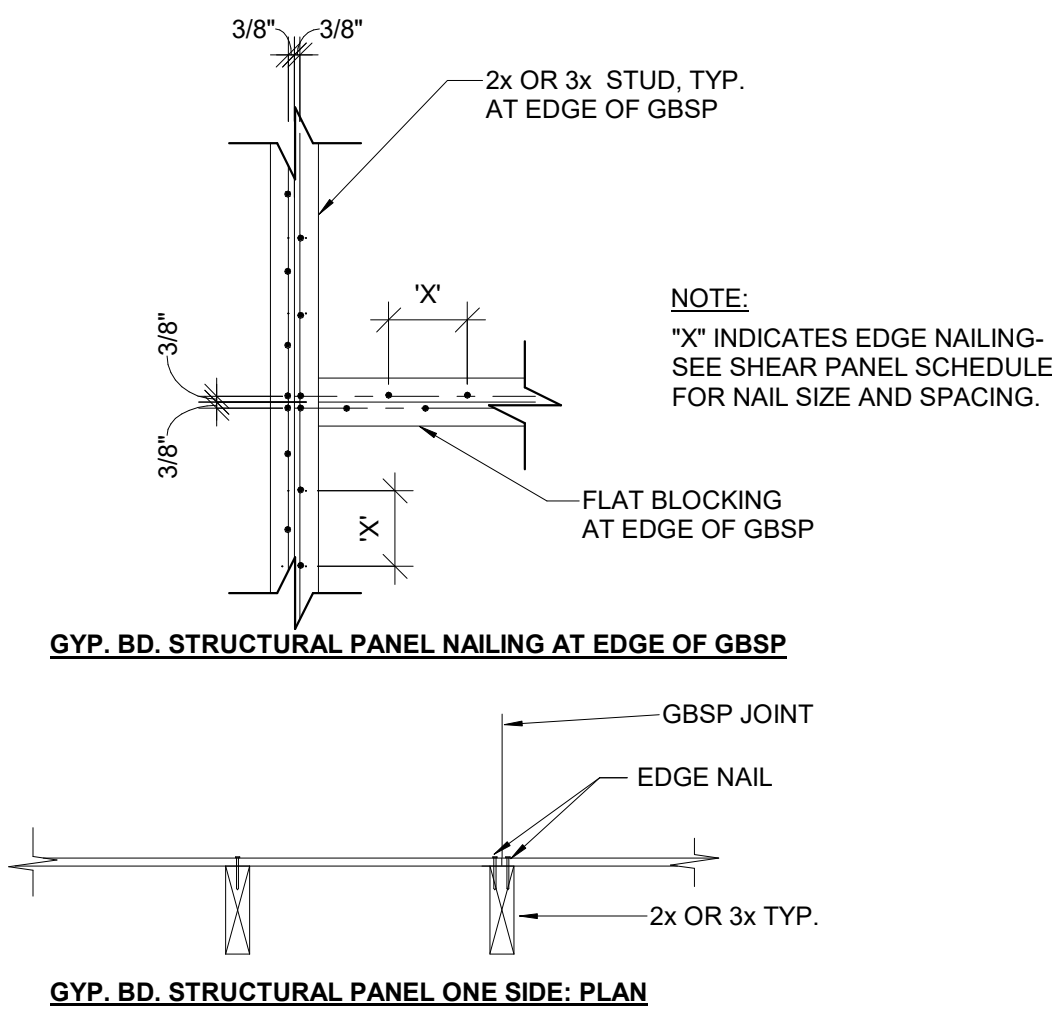
1 NOTCHING & HOLES IN TOP PLATES
12" = 1'-0"



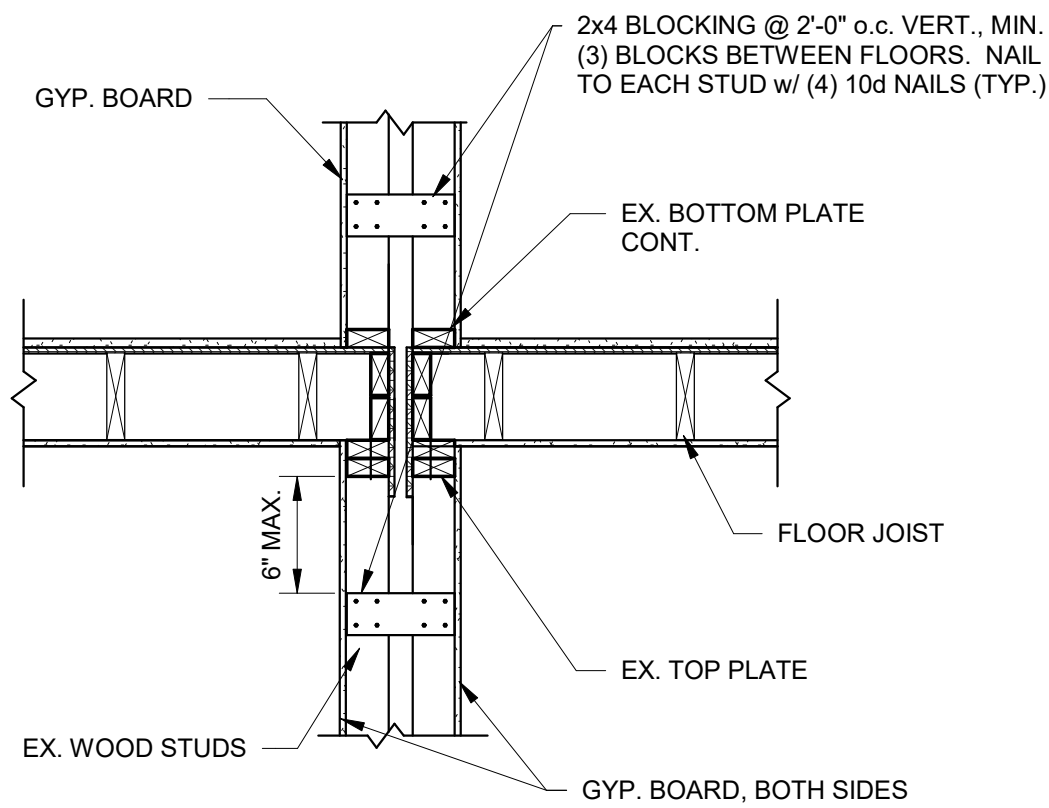
2 NOTCHING & HOLES IN WOOD JOISTS
12" = 1'-0"



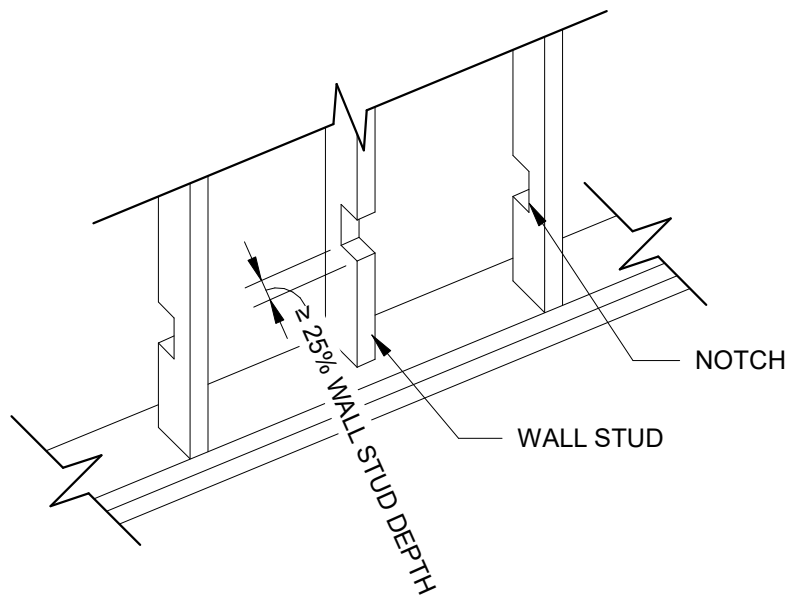
3 NOTCHING & HOLES ALLOWED IN 2X WOOD STUDS
12" = 1'-0"



4 DETAIL
1" = 1'-0"



5 BLOCKING DETAIL AT TENANT WALL
3/4" = 1'-0"



7 REPAIR AT EXCESSIVE NOTCH
12" = 1'-0"



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DESCRIPTION
REV DATE

MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE

SHEARWALL DETAILS

DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-300

Diagram illustrating a notched section of a pipe. The diagram shows a vertical rectangular section with a circular hole in the center. The hole is labeled "PIPE". The section is labeled "NOTCHED SECTION". Below the diagram, the text "SECTION A-A" is written.



NOTE: DOUBLE TOP PLATE ATTACHMENTS SHOWN THIS DETAIL APPLY TO TOP OF ONE STORY WALLS. (TYP.)

H2.5A CLIPS @ 32" o.c. MAX TOP OF STUDS AS SHOWN

EX. ROOF FRAMING

EX. TOP PLATE

ADD BLOCKING FOR STRAPPING CONNECTIONS AROUND OPENING

EX. HEADER

CS22 STRAP HORIZ. AND VERT AT TOP OF OPENING CORNERS W/ MIN. 12" END LENGTH

EX. WALL STUD

CS22 STRAP HORIZ. AT BOTTOM OF OPENING CORNERS W/ MIN. 12" END LENGTH

H3 TIE @ 32" O.C. MAX BOTT. OF STUDS AS SHOWN

EX. BOTTOM PLATE

EX. FLOOR SHEATHING

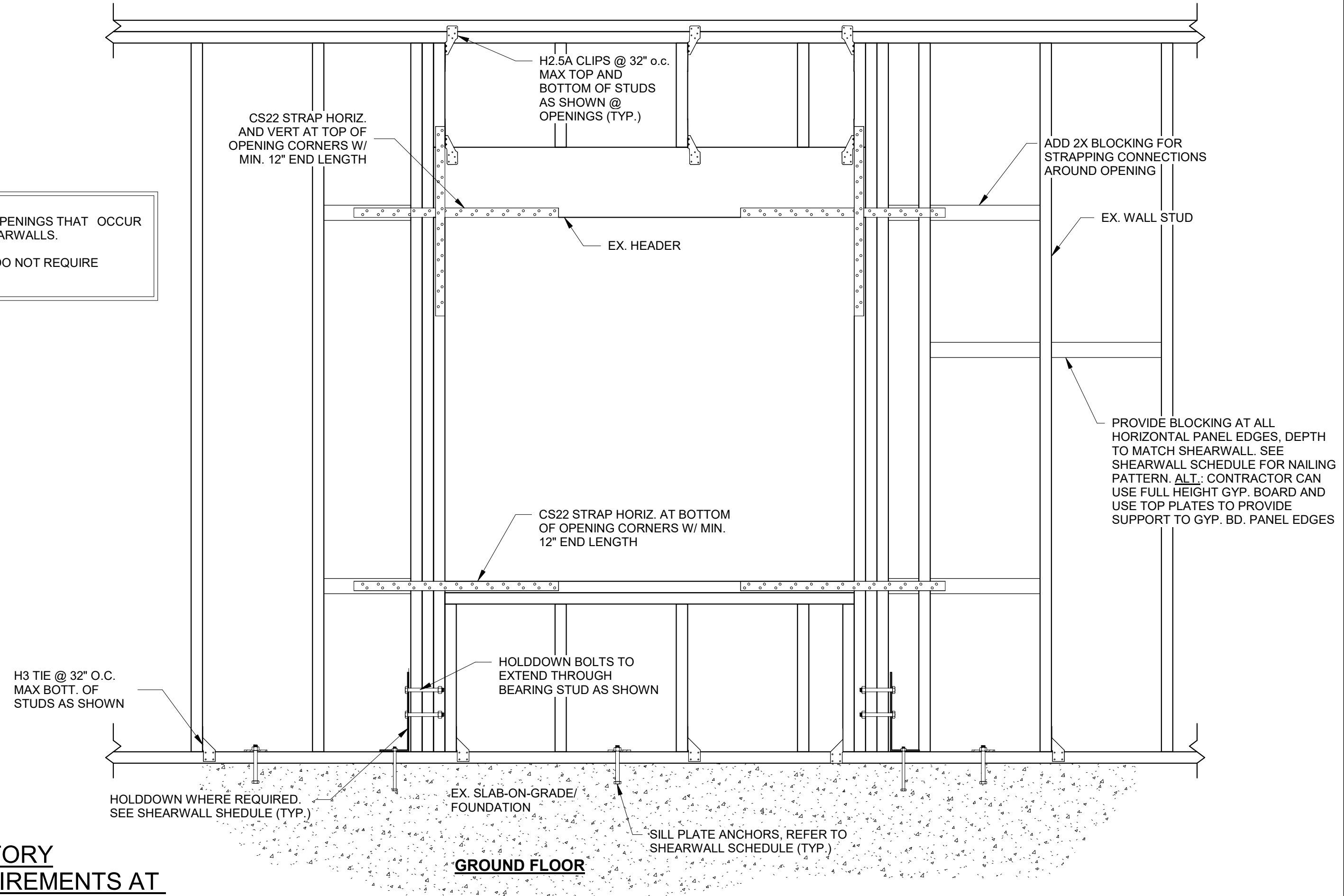
EX. FLOOR JOIST

H2.5A TIE JOIST TO DOUBLE TOP PLATE AT EA. THIRD JOIST

EX. WALL STUDS BELOW

GENERAL NOTES
 1. THESE STRAPPING CONNECTIONS ARE TO BE USED WITHIN THE LENGTH OF THE WALL.
 2. WALLS THAT ARE NOT TO BE STRAPPED SHALL BE HARDWARE SHOWN.

ADD BLOCKING W/ WOOD LAG SCREW @ 4" O.C. STAGGERED VERTICALLY AT TOP PLATE JOINTS THE OCCUR CONCURRENTLY. IF JOINTS ARE OFFSET 16" OR MORE BLOCKING IS NOT REQUIRED.



3 SHEARWALL STRAPPING REQUIREMENTS

SCOPE

SSR IS ONLY RESPONSIBLE FOR ANALYSIS AND DESIGN OF IMPROVEMENTS FOR THE THE LATERAL SYSTEM OF THE BUILDING. THIS INCLUDE THE SHEAR WALL NAILING, SHEATHING, AND HOLD-DOWNS.

STRUCTURAL DESIGN CRITERIA

BUILDING CODES:
 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)

LOADING CRITERIA:
 APPLIES TO: EXISTING BUILDING

WIND LOADS:
 PER ASCE: 7-16

BASIC WIND SPEED (VULT):	105 MPH
BASIC WIND SPEED (VASD):	82 MPH
RISK CATEGORY:	II
WIND EXPOSURE CATEGORY:	C

MAIN WIND FORCE RESISTING SYSTEM (MWFRS): SIMPLIFIED METHOD, (I=) (LRFD 1.0 W).

SEISMIC DESIGN CRITERIA:

IMPORTANCE FACTOR (Is):	1.0
RISK CATEGORY:	II
SITE CLASSIFICATION:	D
SEISMIC DESIGN CATEGORY:	D

MAPPED SPECTRAL RESPONSE ACCELERATION:

Ss:	1.280
S1:	0.340

MAPPED SPECTRAL DESIGN ACCELERATION:

SDS:	0.730
SD1	0.470

BASIC SEISMIC FORCE RESISTING SYSTEM: LIGHT-FRAME SHEAR WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS

RESPONSE MODIFICATION COEFFICIENT (R):	2.0
DEFLECTION AMPLIFICATION FACTOR (Cd):	2.0
SEISMIC RESPONSE COEFFICIENT (Cs):	0.3650
DESIGN BASE SHEAR (V):	82 K Includes...

ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE

WOOD FRAMING

WOOD FRAMING CONNECTORS:

A. FRAMING CONNECTIONS FOR 2x WOOD FRAMING SHALL USE FASTENERS BY: SIMPSON STRONG-TIE COMPANY, INC. (OR APPROVED EQUAL)

NAILING:

A. WOOD MEMBERS SHALL BE CONNECTED TOGETHER USING THE NAILING SCHEDULE LISTED IN BUILDING CODE REFERENCED IN THE SECTION OF STRUCTURAL NOTES TITLED "STRUCTURAL DESIGN CRITERIA", UNLESS NOTED OTHERWISE (U.N.O.) IN THE CONTRACT DOCUMENTS OR IF MANUFACTURER SPECIFIC CONNECTION HARDWARE IS SPECIFIED.

SHEATHING:

A. SHEATHING SHALL BE APA RATED SHEATHING AS FOLLOWS:

SHEAR WALL SHEATHING: 5/8 IN. THICK

FOR ALL SHEAR WALL FASTENING AND SHEATHING REQUIREMENTS REFER TO SHEET: 1/S-301

D. ALL SHEAR WALLS SHALL HAVE THE EDGES OF THE SHEATHING BLOCKED. PROVIDE BLOCKING OF THE SAME SIZE, AND GRADE OF THE WALL STUDS.

SUPPLEMENTARY NOTES

- A. PROVIDE ALL TEMPORARY BRACING, GUYING OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. THE STRUCTURE SHOULD NOT BE CONSIDERED STABLE UNTIL ALL STRUCTURAL ELEMENTS HAVE BEEN CONSTRUCTED.
- B. THE STRUCTURAL ENGINEER SHALL NOT HAVE CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES OR SEQUENCES. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, OR ANY OTHER PERSONS PERFORMING THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- C. VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS.
- D. SEE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR EMBEDS, OPENINGS, SLEEVES, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- E. ALL STRUCTURAL OPENINGS AROUND OR AFFECTED BY MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SHALL BE VERIFIED WITH EQUIPMENT PURCHASER BEFORE PROCEEDING WITH STRUCTURAL WORK AFFECTED.
- F. EMBEDMENT AND EXPANSION BOLTS SHALL BE 3-1/4" MINIMUM FOR 3/4" DIAMETER BOLTS IN CONCRETE, AND 5-1/4" MINIMUM FOR 3/4" DIAMETER BOLTS IN GROUTED MASSORY.
- G. STRUCTURAL ENGINEER OF RECORD FOR THIS PROJECT IS NOT RESPONSIBLE FOR THE DESIGN OF STEEL STAIRS, HANDRAILS, COLD FORMED METAL FRAMING, OR OTHER SYSTEMS NOT INDICATED ON THE STRUCTURAL DOCUMENTS. REFER TO SPECIFICATIONS FOR THESE ITEMS FOR DEFERRED DESIGN SUBMITTAL REQUIREMENTS.
- H. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF THE PROJECT.
- I. DO NOT REPRODUCE STRUCTURAL ENGINEERS' DRAWINGS. ERECTION AND SHOP DRAWINGS WILL NOT BE REVIEWED IF ANY PORTION CONTAINS REPRODUCTIONS OF STRUCTURAL ENGINEERS' DRAWINGS.
- J. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.



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SSR Project #: 21640920



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MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY	Author
DESIGNED BY	Designer
CHECKED BY	Checker

SHEET TITLE

GENERAL NOTES

DATE _____

10-31-2023

PROJECT STATUS

SHEET NUMBER

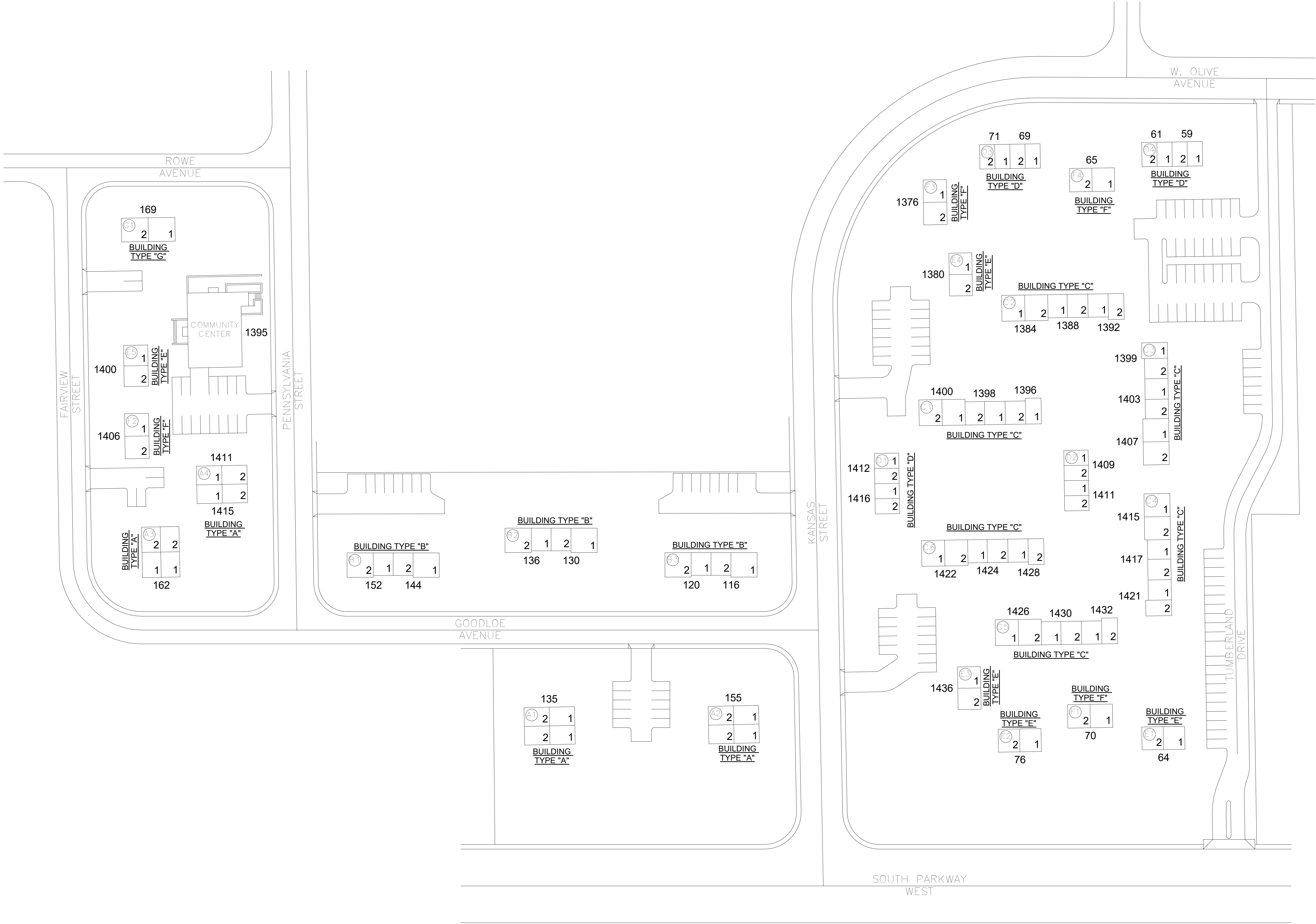
S-001

1

SITE PLAN

1" = 50'-0"

PLAN NORTH



SSR

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SSR Project #: 21640920

KELSEY JOSEPHSON

REGISTERED ENGINEER

MEMBER

STATE OF TENNESSEE

2023

REVISIONS

REV	DATE	DESCRIPTION
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MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY	Author
DESIGNED BY	Designer
CHECKED BY	Checker

SHEET TITLE

OVERALL SITE PLAN

DATE	10-31-2023
PROJECT STATUS	DESIGN DEVELOPMENT
SHEET NUMBER	S-100

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DESIGNED BY KAJ
CHECKED BY JCF

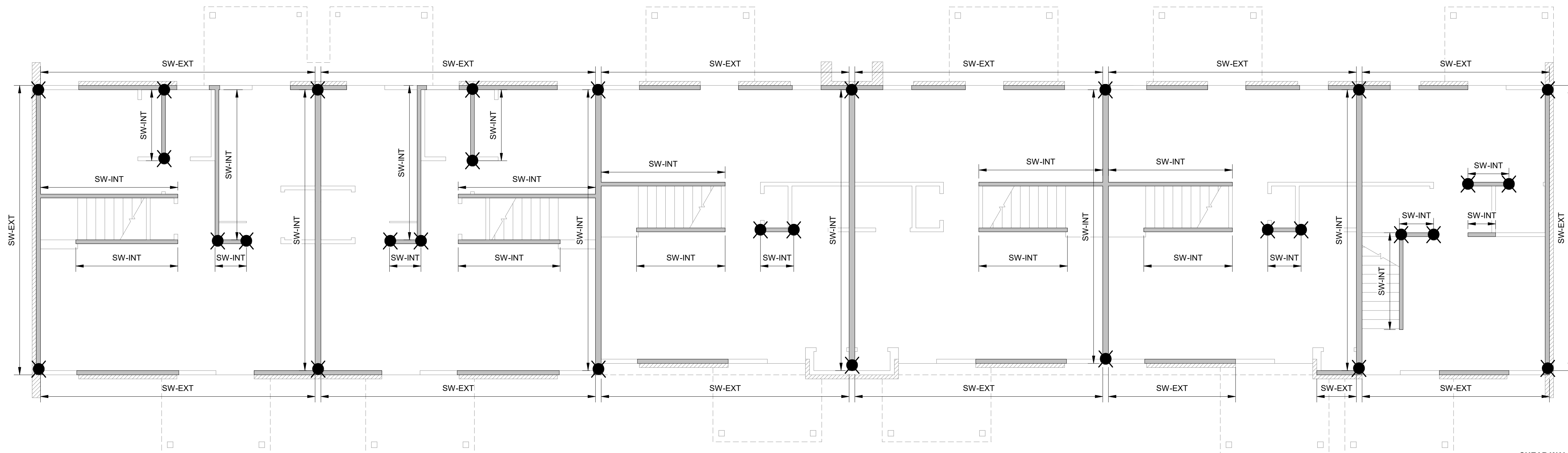
SHEET TITLE

BUILDING C PLANS



DATE
10-31-2023
PROJECT STATUS
DESIGN DEVELOPMENT
SHEET NUMBER

S-103

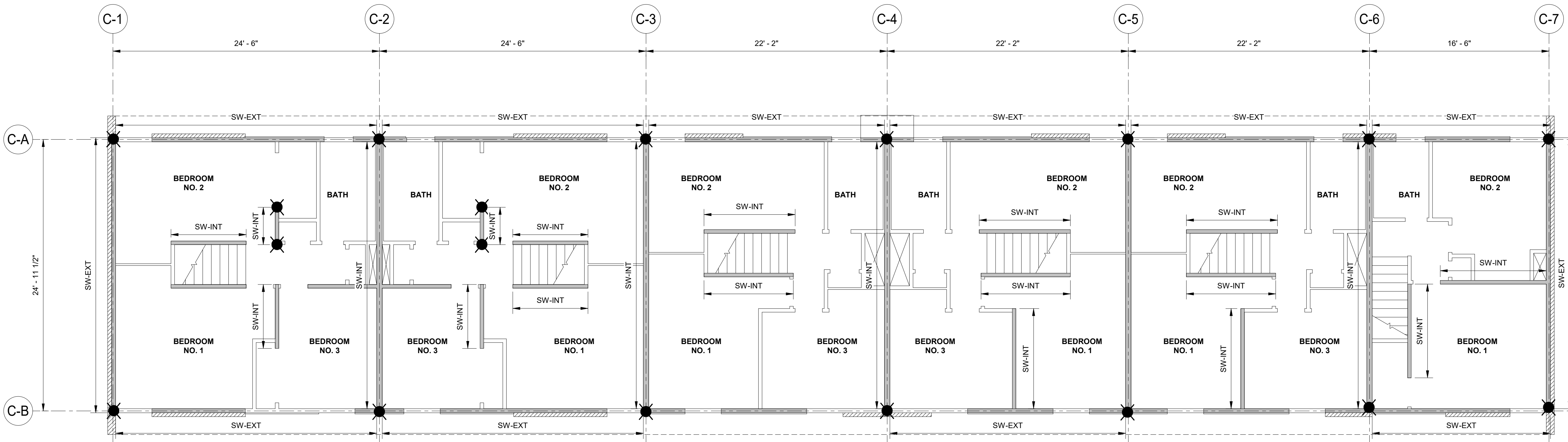
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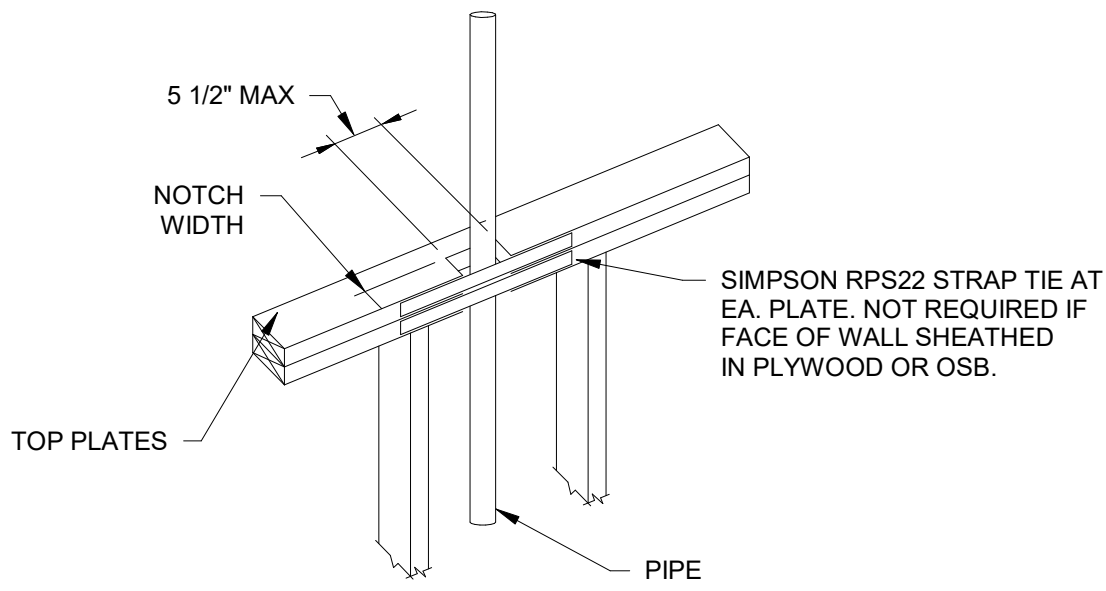
SHEAR WALL SHEET NOTES:

1.  DENOTES PRIMARY PANEL. REFER TO NOTE 5
2.  DENOTES PERFORATED SHEARWALL HOLDDOWN. REFER TO SHEARWALL SCHEDULE ON 1/S-301 FOR ADDITIONAL HOLDDOWN DETAILS.
3. REFER TO S-301 SHEET FOR SHEARWALL SCHEDULE.
4. ALL HOLDDOWNS ARE CS22 AND HTT5
5. NAILING AND BLOCKING ARE AS SHOWN IN THE SHEARWALL SCHEDULE AND APPLIES TO ENTIRE LENGTH OF WALL.
6. WHERE PENETRATIONS THROUGH THE TOP PLATE OCCUR, REFER TO 1/S-300 FOR DETAILS (TYP. ALL SHEARWALLS)
7. REFER TO DETAIL 3/S-301 FOR HOLDDOWN DETAILS

1 FIRST FLOOR PLAN - BLDG C
3/16" = 1'-0"



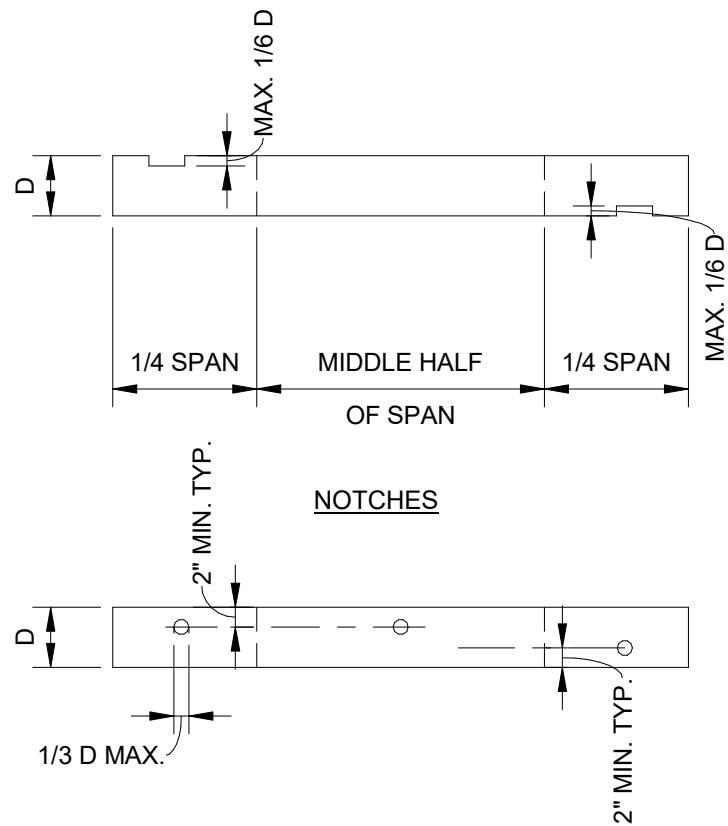
2 SECOND FLOOR PLAN - BLDG C
3/16" = 1'-0"



NOTES:
1. PROVIDE STRAP WHEN NOTCH WIDTH IS BETWEEN 1 3/4" TO 2 1/2".
2. NOTCHES GREATER THAN 2 1/2" ARE NOT PERMITTED.

1 NOTCHING & HOLES IN TOP PLATES

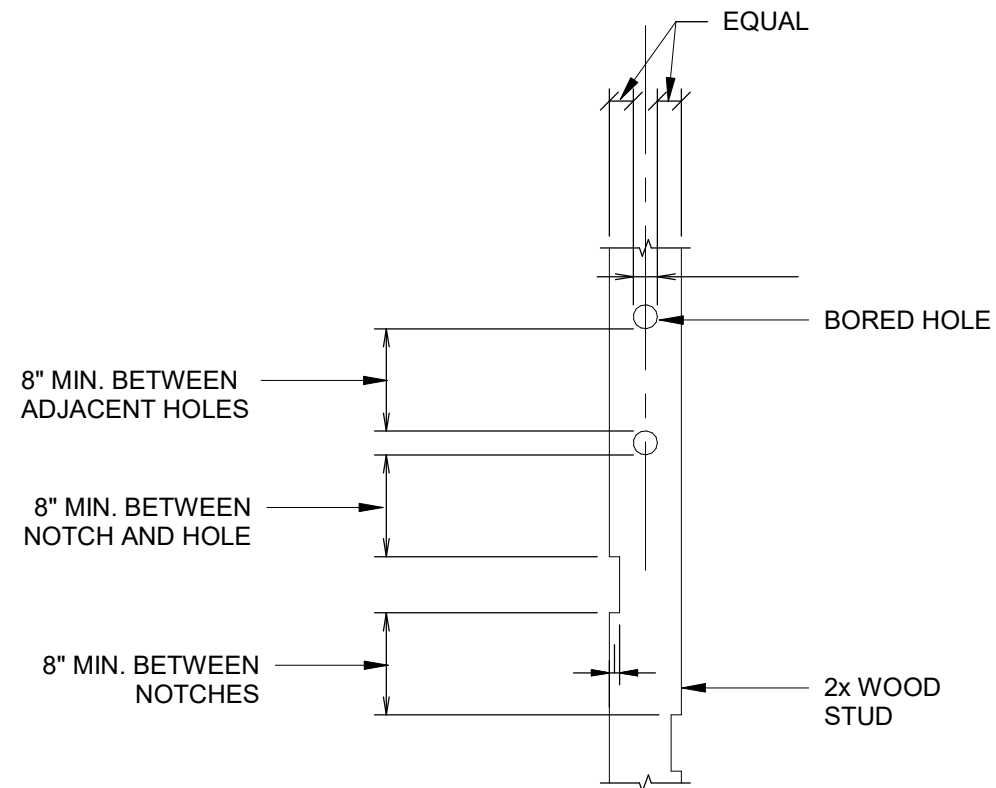
12" = 1'-0"



NOTES:
1. THE CLEAR SPACING BETWEEN NOTCHES AND/OR BOREHOLES SHALL BE AT LEAST 12" HORIZONTALLY.
2. NOTCHES AND HOLES OTHER THAN SHOWN SHALL BE APPROVED BY THE ENGINEER.
3. SEE THE WOOD TRUSSES MANUFACTURER'S INSTALLATION INFORMATION FOR HOLES ALLOWED IN WOOD TRUSSES.

2 NOTCHING & HOLES IN WOOD JOISTS

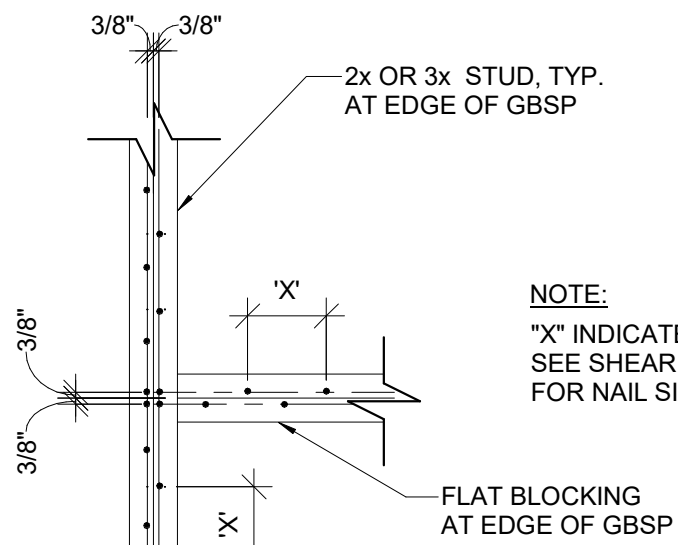
12" = 1'-0"



NOTE:
1. STUDS IN DESIGNATED SHEAR WALLS SHALL NOT BE NOTCHED OR BORED.
2. STUDS IN ALL OTHER WALLS MAY BE NOTCHED OR BORED IN ACCORDANCE WITH THIS DETAIL.
3. THE CUMULATIVE HORIZONTAL DIMENSION OF BORED HOLES AND NOTCHES, LOCATED WITHIN A 12 INCH VERTICAL HEIGHT:
A. DOES NOT REQUIRE REINFORCEMENT IF LESS THAN 1/3 THE STUD DEPTH.
B. SHALL BE REINFORCED IF BETWEEN 1/3 AND 1/2 THE STUD DEPTH, WITH CS22 STRAP X 18", CENTERED ON THE OPENING AND FULLY NAILED.
C. SHALL NOT EXCEED 1/3 THE STUD DEPTH.
4. BORED HOLES SHALL BE CENTERED ON THE STUD CENTERLINE.

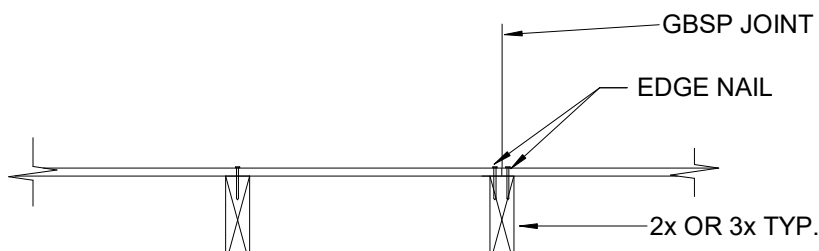
3 NOTCHING & HOLES ALLOWED IN 2X WOOD STUDS

12" = 1'-0"



NOTE:
"X" INDICATES EDGE NAILING-SEE SHEAR PANEL SCHEDULE FOR NAIL SIZE AND SPACING.

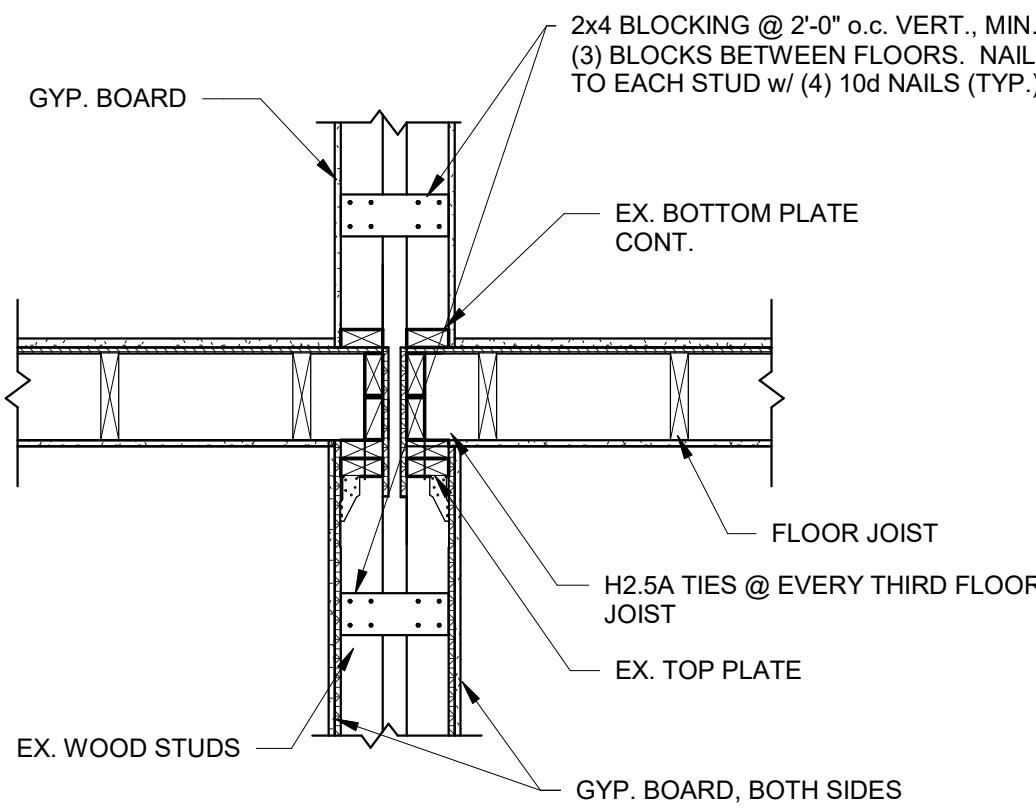
GYP. BD. STRUCTURAL PANEL NAILING AT EDGE OF GBSP



GYP. BD. STRUCTURAL PANEL ONE SIDE: PLAN

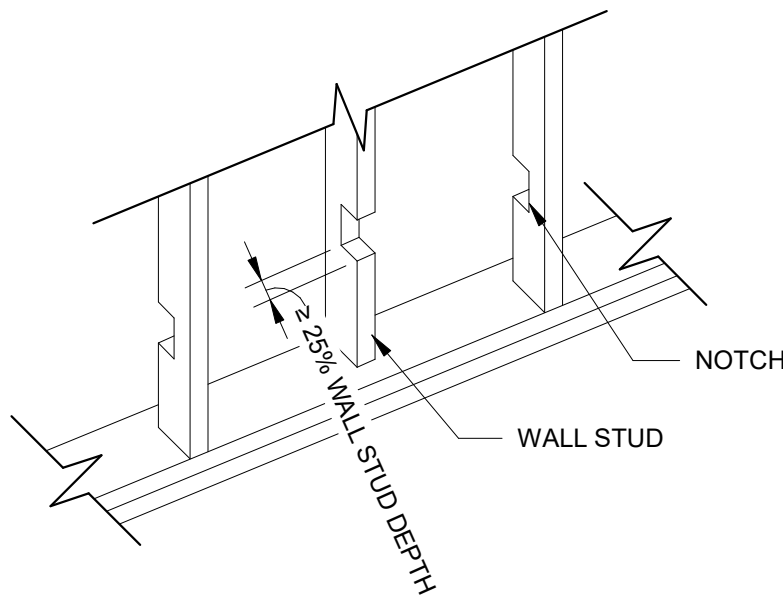
4 DETAIL

1" = 1'-0"



5 BLOCKING DETAIL AT TENANT WALL

3/4" = 1'-0"



NOTES:
1. THE ABOVE CONDITION HAS BEEN OBSERVED IN MULTIPLE LOCATIONS AND SHALL BE ADDRESSED AS FOLLOWS:
A. WHERE STUDS NOT IN SHEARWALLS HAVE BEEN CUT IN EXCESS OF THE LIMITATIONS SHOWN IN DETAIL 3/S-300 AND AS SHOWN ABOVE, THEY SHALL BE REPLACED IN FULL AND PIPING SHALL BE RUN SO THAT THE STUDS ARE CUT WITHIN THE PROVIDED LIMITATIONS.
B. WHERE STUDS IN SHEARWALLS HAVE BEEN CUT THEY SHALL BE REPLACED IN FULL AND PIPING SHALL BE RUN AROUND THE STUDS TO AVOID CUTTING THEM.

7 REPAIR AT EXCESSIVE NOTCH

12" = 1'-0"



REVISIONS

DESCRIPTION
REV DATE

MEMPHIS HOUSING AUTHORITY
MONTGOMERY PLAZA
1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE

SHEARWALL DETAILS

DATE	10-31-2023
PROJECT STATUS	DESIGN DEVELOPMENT
SHEET NUMBER	S-300

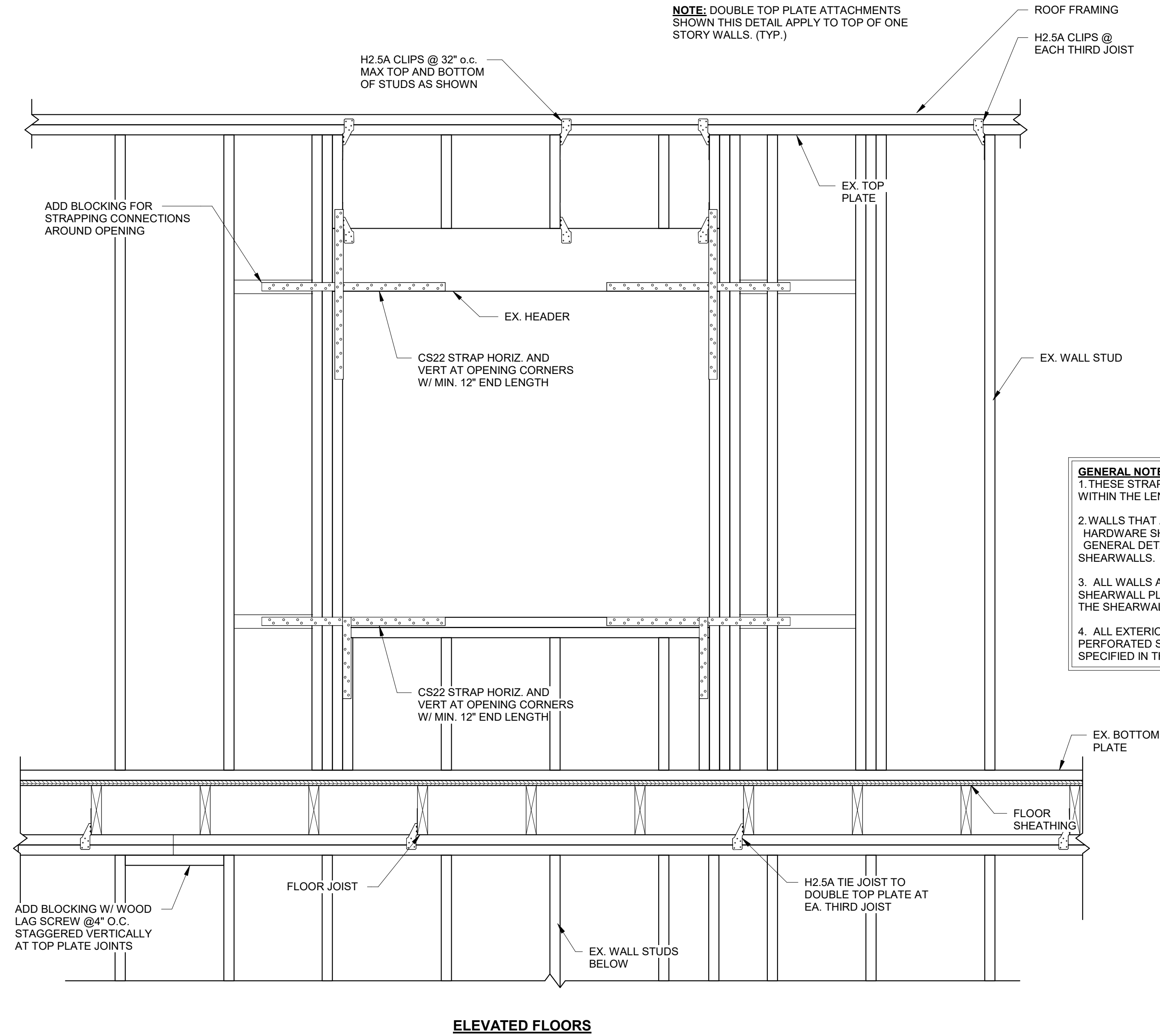
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SHEARWALL SCHEDULE								
2nd FLOOR			1st FLOOR					REMARKS
MARK	SHEATHING	NAILING (2)	SHEATHING	NAILING (2)	CHORD HOLD DOWN (1)	HOLD DOWN ANCHOR BOLT (1)	SILL PLATE ANCHOR BOLT	
SW-EXT	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 62100H	THDB 62100H @ 12" O.C.	-
SW-INT	5/8" GYP. BOARD, DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	5/8" GYP. BOARD, DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 62100H	THDB 62100H @ 12" O.C.	-
SHEARWALL SCHEDULE NOTES: 1) ALL HOLD DOWNS, STRAPS, BOLTS, AND HARDWARE INDICATED ARE SIMPSON STRONG TIE HARDWARE OR EQUAL. ALL NAILS INDICATED ARE COMMON NAILS, U.N.O. 2) ALL EDGES OF SHEATHING SHALL BE FULLY BLOCKED WITH FULL DEPTH 2X BLOCKING AND NAILED ACCORDING TO THE SCHEDULE. FIELD NAILING OF SHEATHING SHALL BE AT 6" O.C.								

1

SHEARWALL BLDG SCHEDULE

12" = 1'-0"

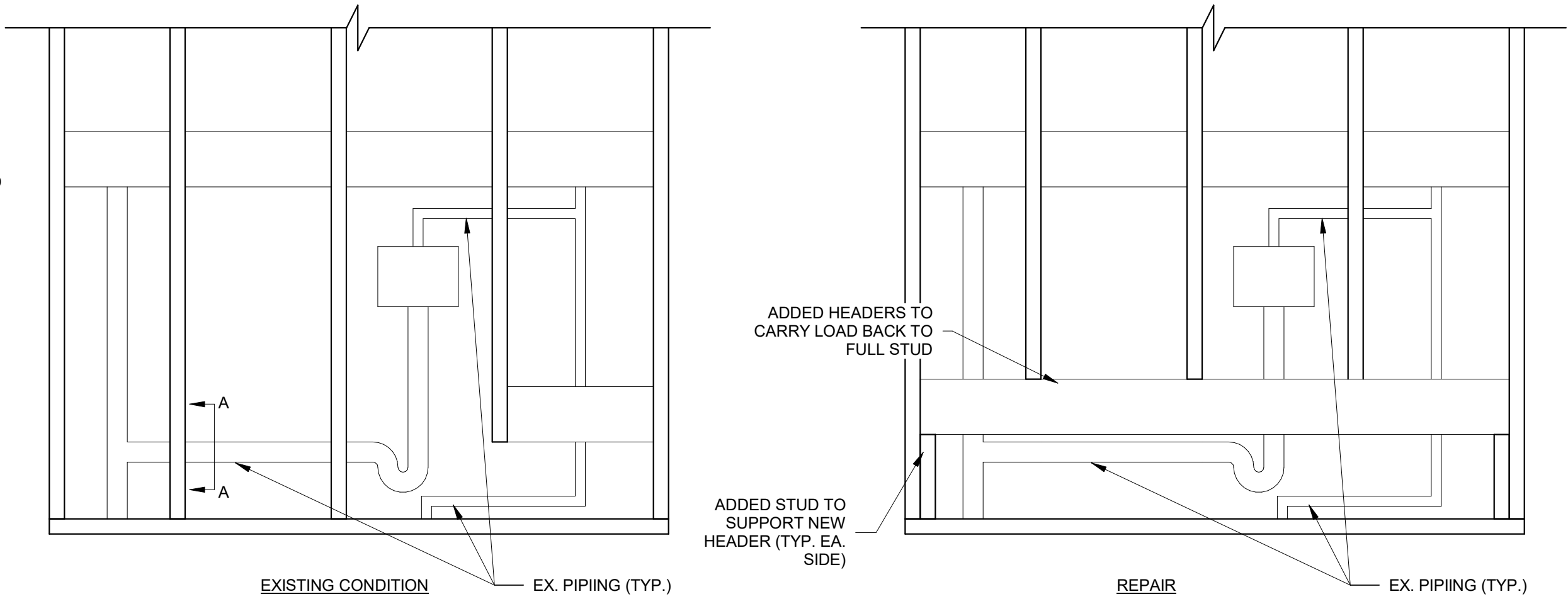


GENERAL NOTES:
1. THESE STRAPPING REQUIREMENTS APPLY TO OPENINGS THAT OCCUR WITHIN THE LENGTH OF DESIGNATED SHEAR SHEARWALLS.
2. WALLS THAT ARE NOT DESIGNATED AS SHEAR DO NOT REQUIRE HARDWARE SHOWN IN THIS DETAIL. RE: FASTENER SCHEDULE ON GENERAL DETAILS FOR TYPICAL HARDWARE REQUIREMENTS ON NON SHEARWALLS.
3. ALL WALLS ARE CONSIDERED PERFORATED WHERE INDICATED ON THE SHEARWALL PLANS, WITH WOOD SHEATHING AND NAILING AS SPECIFIED IN THE SHEARWALL SCHEDULE.
4. ALL EXTERIOR WALLS, TENENT WALLS, AND WALLS ARE CONSIDERED PERFORATED SHEARWALLS, WITH WOOD SHEATHING AND NAILING AS SPECIFIED IN THE SHEARWALL SCHEDULE.

3

MULTI-STORY STRAPPING REQUIREMENTS AT PERFORATED SHEARWALL OPENINGS

1" = 1'-0"

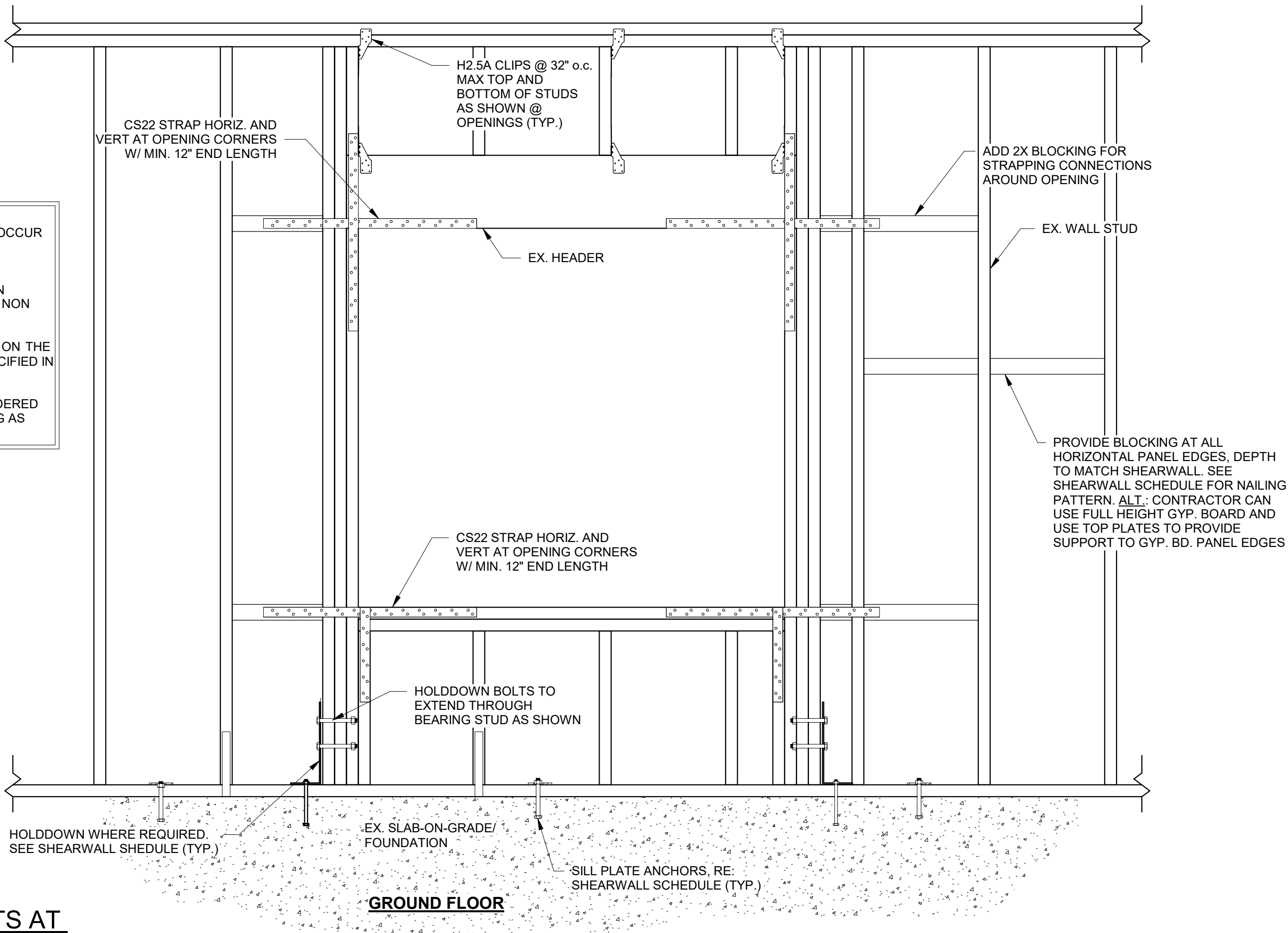


2

REPAIR AT CUT OFF STUDS IN NON-SHEAR WALL

1" = 1'-0"

NOTE:
IF THE FOLOWING CONDITION IS FOUND IN A WALL MARKED AS A SHEARWALL, THE ABOVE REPAIR DOES NOT APPLY. ALL STUDS IN THE SHEAR WALL MUST EXTEND COMPLETELY TO THE FLOOR WITH NO NOTCHING PRESENT.



SSR

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FAX: (901) 683-3990
www.ssr-inc.com

SSR Project #: 21640920

KESEY JOSEPHSON

REGISTERED ENGINEER

MEMBER

STATE OF TENNESSEE

2023

REVISIONS

DESCRIPTION

REV

DATE

MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY

AMH

DESIGNED BY

KAJ

CHECKED BY

JCF

SHEET TITLE

SHEARWALL DETAILS

DATE

10-31-2023

PROJECT STATUS

DESIGN DEVELOPMENT

SHEET NUMBER

S-301

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SCOPE

SSR IS ONLY RESPONSIBLE FOR ANALYSIS AND DESIGN OF REINFORCEMENT OF THE LATERAL SYSTEM OF THE BUILDING. THIS INCLUDES THE SHEAR WALL NAILING, SHEATHING, AND HOLD-DOWNS.

STRUCTURAL DESIGN CRITERIA

<u>BUILDING CODES:</u>	
2021	INTERNATIONAL EXISTING BUILDING CODE (IBC)
<u>LOADING CRITERIA:</u>	
APPLIES TO:	EXISTING BUILDING
<u>WIND LOADS:</u>	
PER ASCE:	7-16
	BASIC WIND SPEED (VULT): 105 MPH
	BASIC WIND SPEED (VASD): 82 MPH
	RISK CATEGORY: II
	WIND EXPOSURE CATEGORY: C
MAIN WIND FORCE RESISTING SYSTEM (MWFRS): SIMPLIFIED METHOD, (I=) (LRFD 1.0 W).	
<u>SEISMIC DESIGN CRITERIA:</u>	
	IMPORTANCE FACTOR (Is): 1.0
	RISK CATEGORY: II
	SITE CLASSIFICATION: D
	SEISMIC DESIGN CATEGORY: D
<u>MAPPED SPECTRAL RESPONSE ACCELERATION:</u>	
	Ss: 1.280
	S1: 0.340
<u>MAPPED SPECTRAL DESIGN ACCELERATION:</u>	
	SDS: 0.730
	SD1 0.470
BASIC SEISMIC FORCE RESISTING SYSTEM: LIGHT-FRAME SHEAR WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS	
RESPONSE MODIFICATION COEFFICIENT (R):	2.0
DEFLECTION AMPLIFICATION FACTOR (Cd):	2.0
SEISMIC REDUCTION COEFFICIENT (Cs):	0.3650
DESIGN BASE SHEAR (V):	82 K
INCLUDES 25% REDUCTION FOR EX. BUILDING	
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE	

WOOD FRAMING

WOOD FRAMING CONNECTORS:

A. FRAMING CONNECTIONS FOR 2x WOOD FRAMING SHALL BE FASTENERS BY: SIMPSON STRONG-TIE COMPANY, INC. (OR APPROVED EQUAL)

NAILING:

A. WOOD MEMBERS SHALL BE CONNECTED TOGETHER USING THE NAILING SCHEDULE LISTED IN BUILDING CODE REFERENCED IN THE SECTION OF STRUCTURAL NOTES TITLED "STRUCTURAL DESIGN CRITERIA", UNLESS NOTED OTHERWISE (U.N.O.) IN THE CONTRACT DOCUMENTS OR IF MANUFACTURER SPECIFIC CONNECTION HARDWARE IS SPECIFIED.

SHEATHING:

A. SHEATHING SHALL BE AS FOLLOWS:

SHEAR WALL SHEATHING: 5/8 IN. THICK GYP. BD.

FOR ALL SHEAR WALL FASTENING AND SHEATHING REQUIREMENTS REFER TO SHEET: 1/S-301

D. ALL SHEAR WALLS SHALL HAVE THE EDGES OF THE SHEATHING BLOCKED.

SUPPLEMENTARY NOTES

- A. PROVIDE ALL TEMPORARY BRACING, GUYING OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. THE STRUCTURE SHOULD NOT BE CONSIDERED STABLE UNTIL ALL STRUCTURAL ELEMENTS HAVE BEEN CONSTRUCTED.
- B. THE STRUCTURAL ENGINEER SHALL NOT HAVE CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES OR SEQUENCES. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, OR ANY OTHER PERSONS PERFORMING THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- C. VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS.
- D. SEE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR EMBEDS, OPENINGS, SLEEVES, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- E. ALL STRUCTURAL OPENINGS AROUND OR AFFECTED BY MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SHALL BE VERIFIED WITH EQUIPMENT PURCHASED BEFORE PROCEEDING WITH STRUCTURAL WORK AFFECTED.
- F. STRUCTURAL ENGINEER OF RECORD FOR THIS PROJECT IS NOT RESPONSIBLE FOR THE DESIGN OF STEEL STAIRS, HANDRAILS, COLD FORMED METAL FRAMING, OR OTHER SYSTEMS NOT INDICATED ON THE STRUCTURAL DOCUMENTS. REFER TO SPECIFICATIONS FOR THESE ITEMS FOR DEFERRED DESIGN SUBMITTAL REQUIREMENTS.
- G. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF THE PROJECT.
- H. THE CONTRACTOR SHALL NOT REPRODUCE STRUCTURAL ENGINEER'S DRAWINGS. ERECTION AND SHOP DRAWINGS WILL NOT BE REVIEWED IF ANY PORTION CONTAINS REPRODUCTIONS OF STRUCTURAL ENGINEER'S DRAWINGS.
- I. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.



2650 Thousand Oaks Boulevard,
Suite 4200
Memphis, TN 38118
(901) 683-3900
FAX: (901) 683-3990
www.ssr-inc.com

SSR Project #: 21640920



	REV	DATE	DESCRIPTION
REGIONS			

MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS. TN. 38106

DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE

GENERAL NOTES

DATE
11-21-2023
PROJECT STATUS
CONSTRUCTION DOCUMENT
SHEET NUMBER

S-001

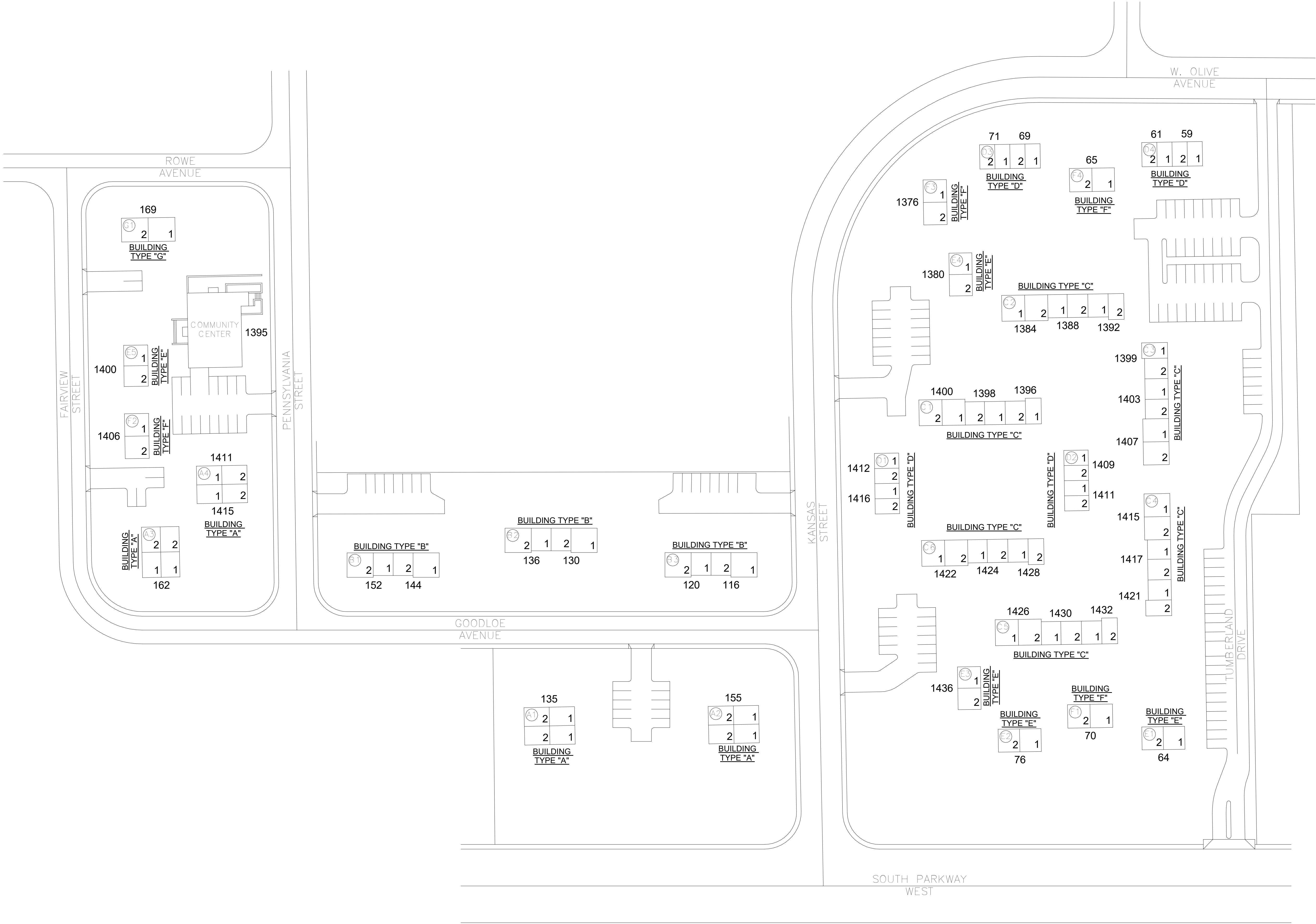
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1

SITE PLAN

1" = 50'-0"

PLAN NORTH



SSR

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Suite 4200
Memphis, TN 38118
(901) 683-3900
FAX: (901) 683-3990
www.ssr-inc.com

SSR Project #: 21640920

HEISEY JOSEPHSON

REGISTERED ENGINEER

AGRICULTURE

COMMERCE

NO. 12555

STATE OF TENNESSEE

11-21-2023

REVISIONS

DESCRIPTION

REV

DATE

MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY

AMH

DESIGNED BY

KAJ

CHECKED BY

JCF

SHEET TITLE

OVERALL SITE PLAN

DATE

11-21-2023

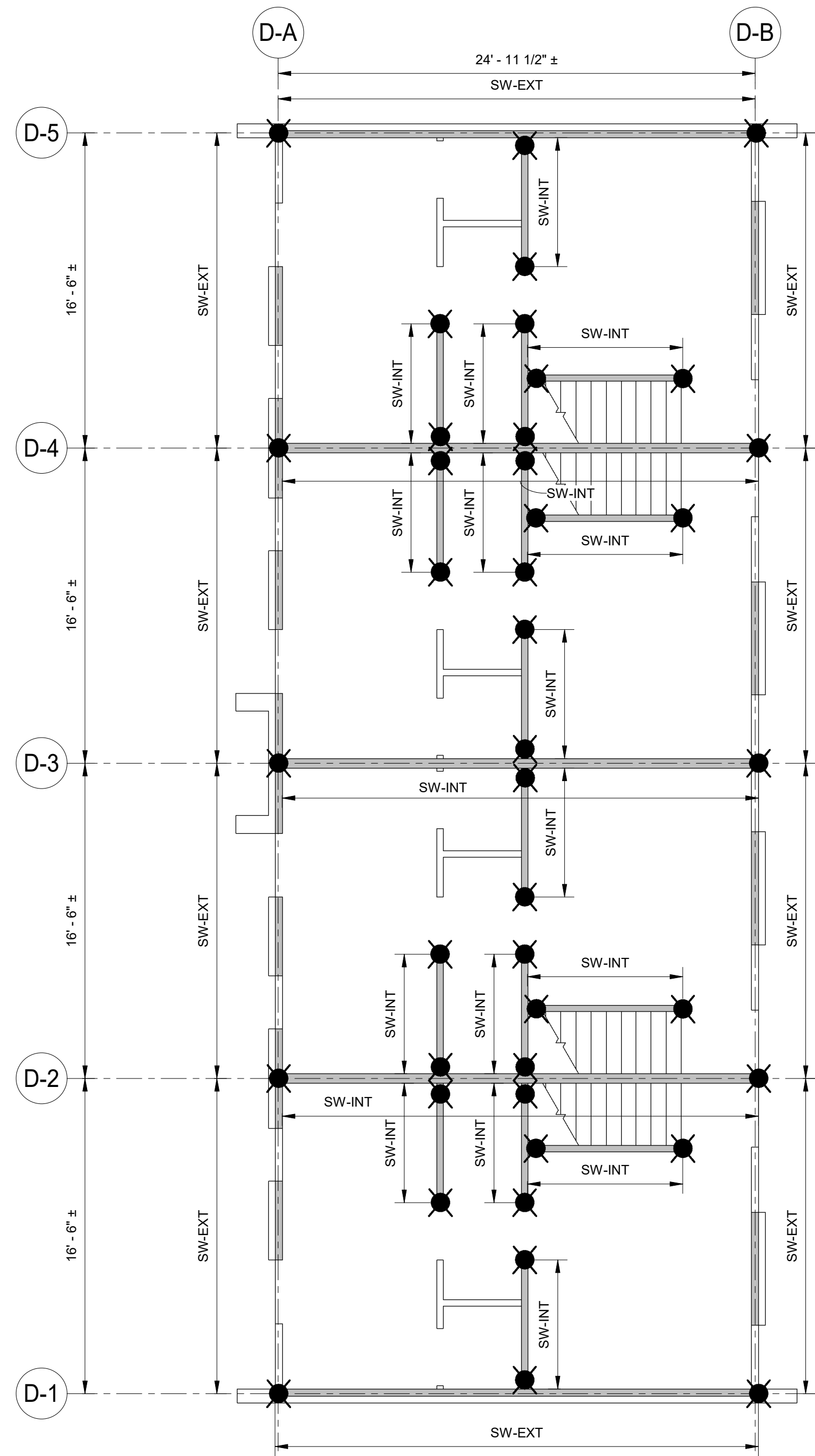
PROJECT STATUS

CONSTRUCTION DOCUMENT

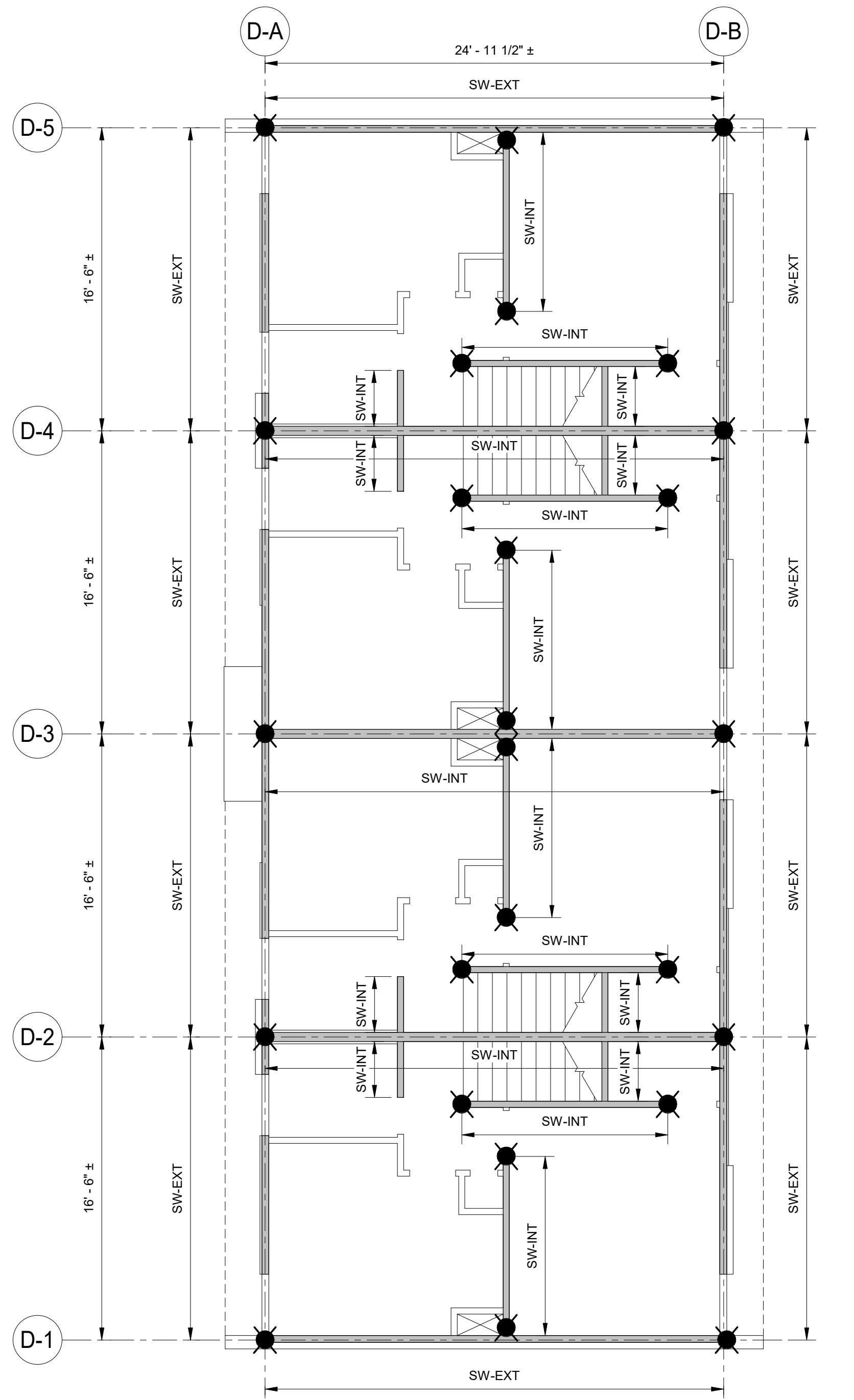
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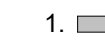
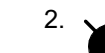


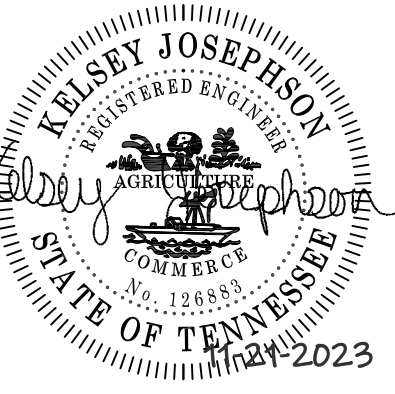
1 FIRST FLOOR PLAN - BLDG D
3/16" = 1'-0"



2 SECOND FLOOR PLAN - BLDG D
3/16" = 1'-0"

SHEAR WALL SHEET NOTES:

1.  DENOTES PRIMARY PANEL. REFER TO NOTE 5
2.  DENOTES PERFORATED SHEARWALL HOLDDOWN. REFER TO SHEARWALL SCHEDULE ON 1/S-301 FOR ADDITIONAL HOLDDOWN DETAILS.
3. REFER TO S-301 SHEET FOR SHEARWALL SCHEDULE.
4. ALL HOLDDOWNS ARE CS22 AND HTT5
5. NAILING AND BLOCKING ARE AS SHOWN IN THE SHEARWALL SCHEDULE AND APPLIES TO ENTIRE LENGTH OF WALL.
6. WHERE PENETRATIONS THROUGH THE TOP PLATE OCCUR, REFER TO 1/S-300 FOR DETAILS (TYP. ALL SHEARWALLS)
7. REFER TO DETAIL 3/S-301 FOR HOLDDOWN DETAILS



REVISIONS

REV DATE DESCRIPTION

MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

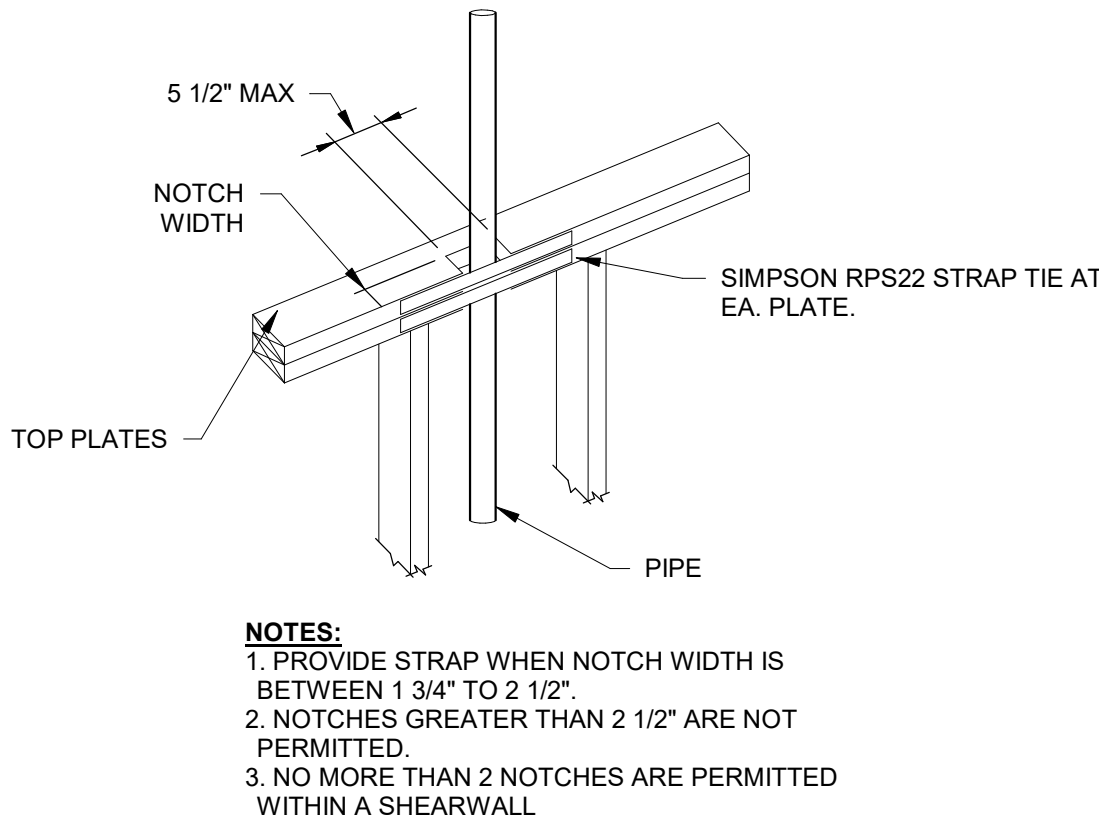
1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

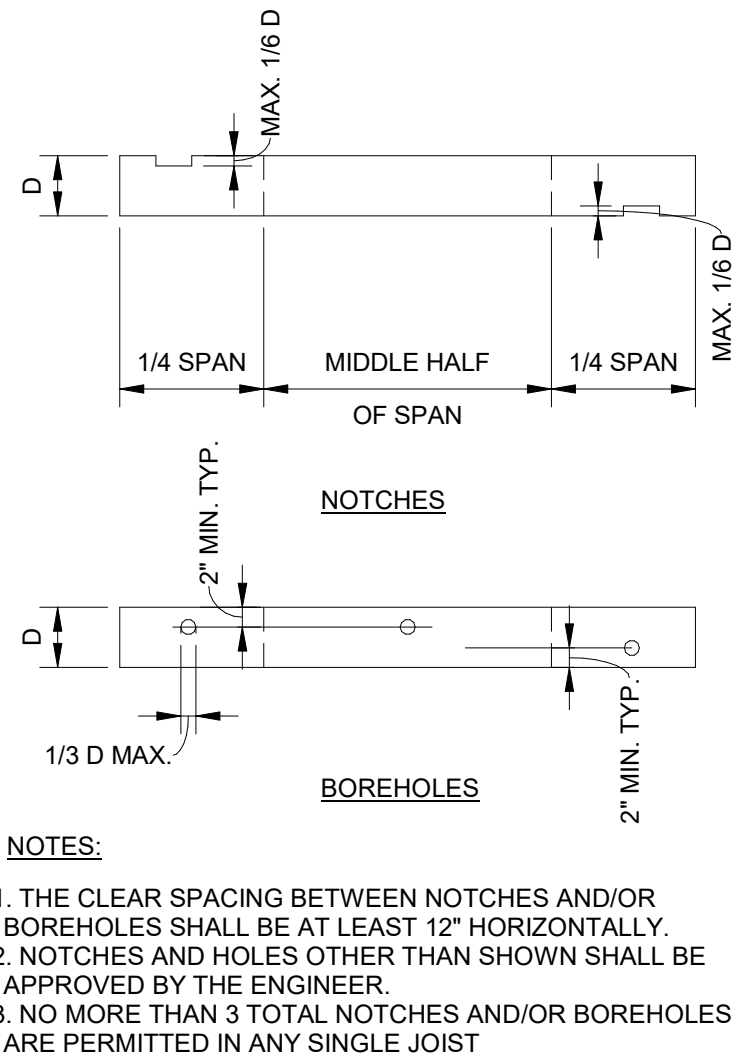
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BUILDING D PLANS

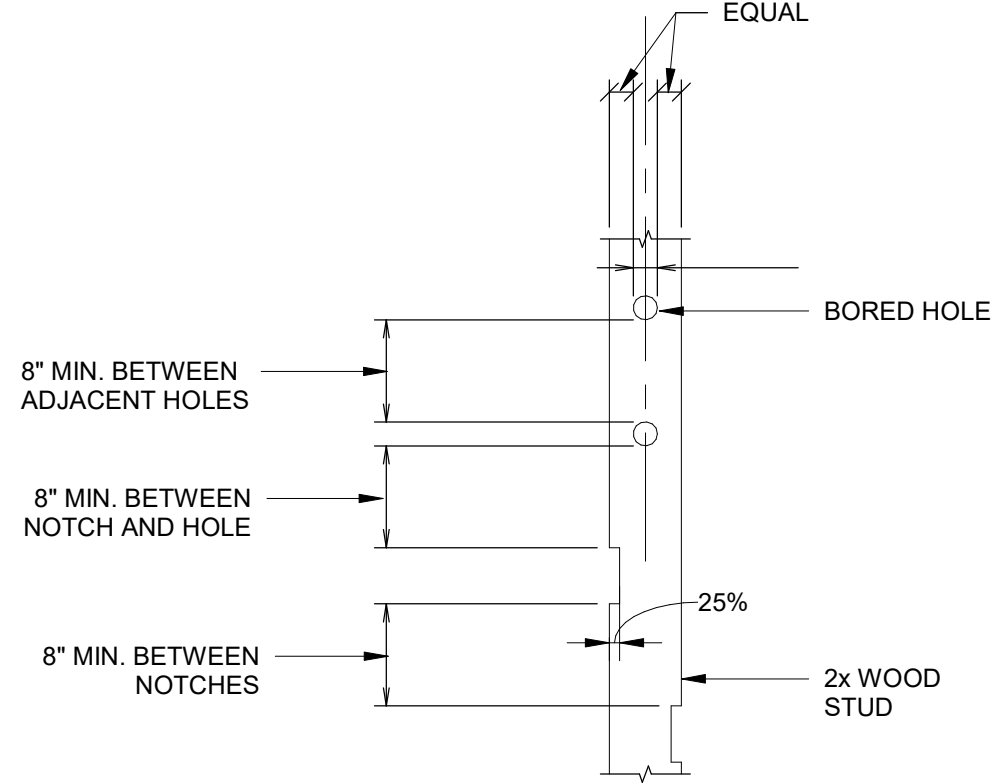
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PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-104



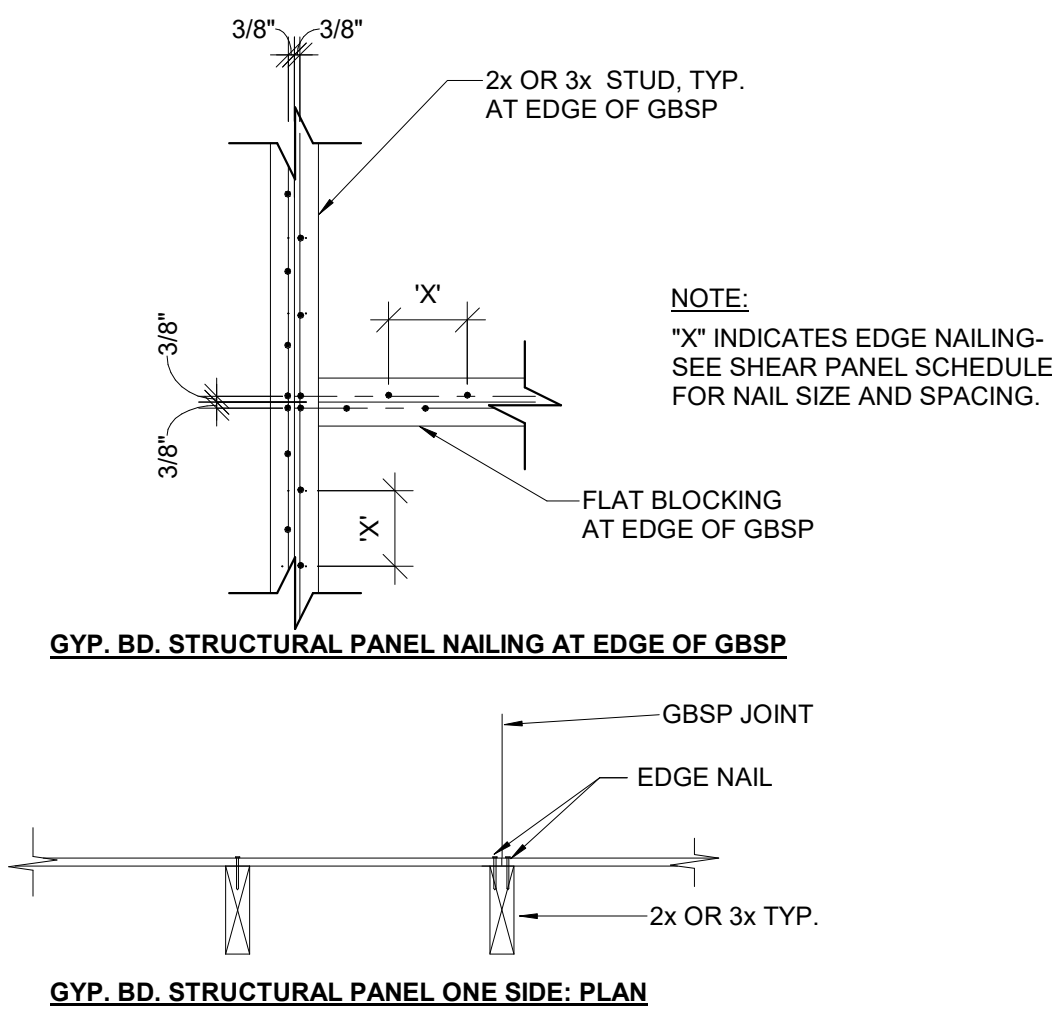
1 NOTCHING & HOLES IN TOP PLATES
12" = 1'-0"



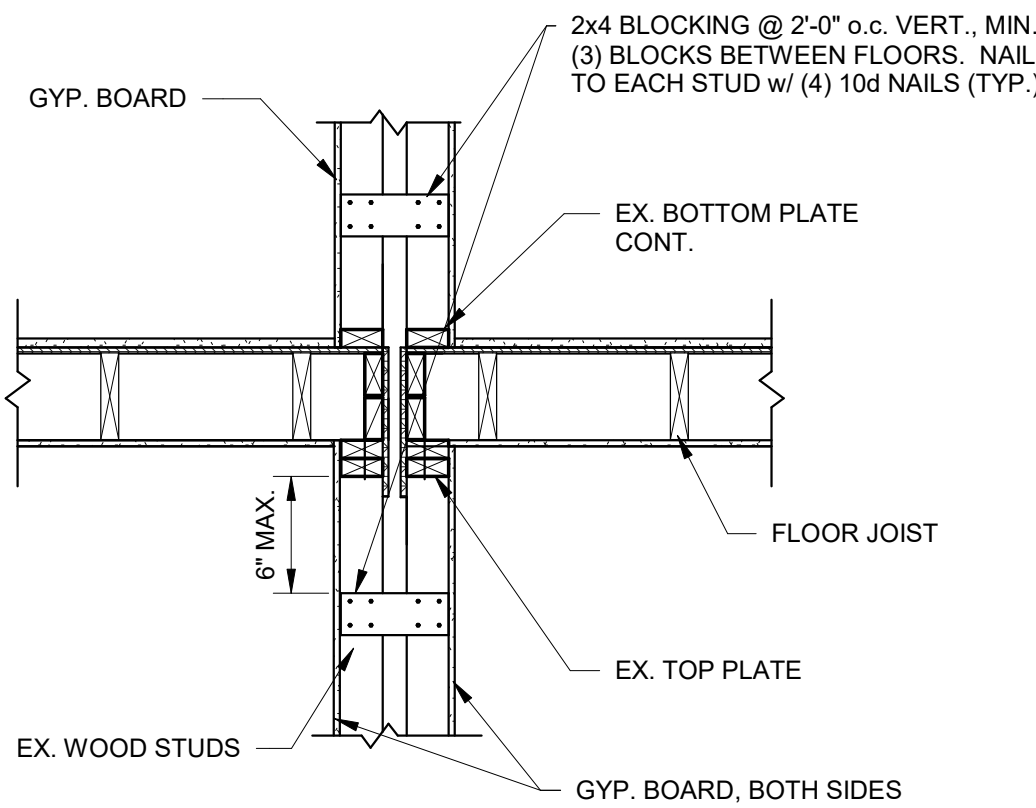
2 NOTCHING & HOLES IN WOOD JOISTS
12" = 1'-0"



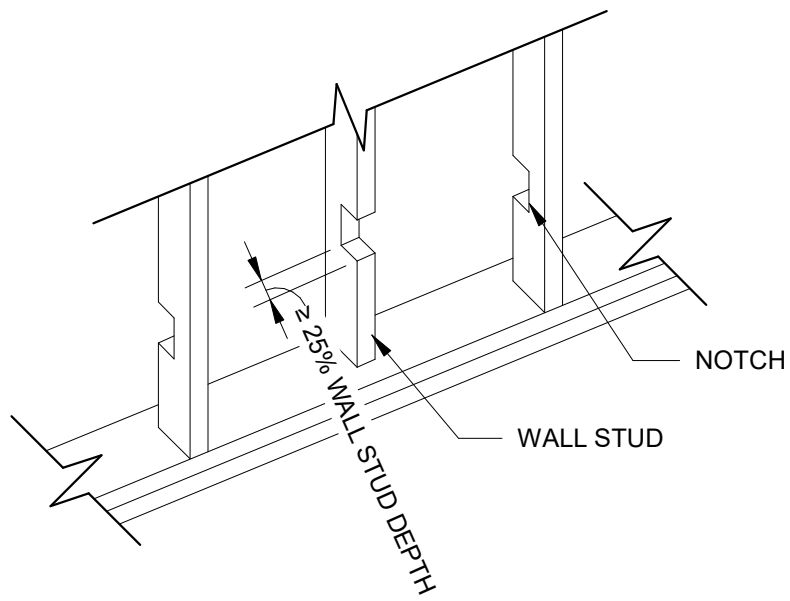
3 NOTCHING & HOLES ALLOWED IN 2X WOOD STUDS
12" = 1'-0"



4 DETAIL
1" = 1'-0"



5 BLOCKING DETAIL AT TENANT WALL
3/4" = 1'-0"



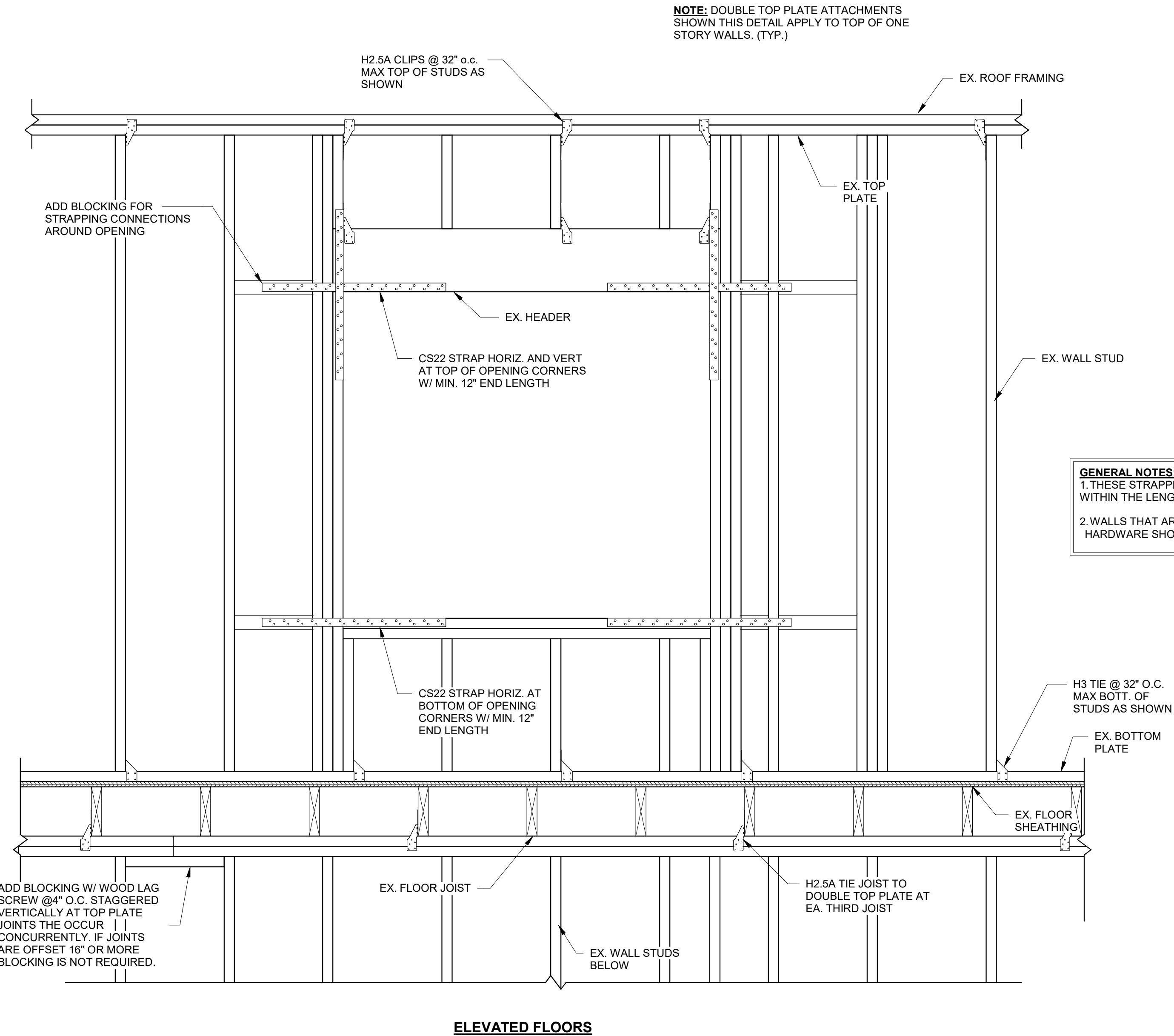
7 REPAIR AT EXCESSIVE NOTCH
12" = 1'-0"

- NOTE:
1. STUDS IN DESIGNATED SHEAR WALLS SHALL NOT BE NOTCHED OR BORED.
 2. STUDS IN ALL OTHER WALLS MAY BE NOTCHED OR BORED IN ACCORDANCE WITH THIS DETAIL.
 3. THE CUMULATIVE HORIZONTAL DIMENSION OF BORED HOLES AND NOTCHES, LOCATED WITHIN A 12 INCH VERTICAL HEIGHT:
A. DOES NOT REQUIRE REINFORCEMENT IF LESS THAN 1/3 THE STUD DEPTH.
B. SHALL BE REINFORCED IF BETWEEN 1/3 AND 1/2 THE STUD DEPTH, WITH CS22 STRAP X 18", CENTERED ON THE OPENING AND FULLY NAILED.
C. SHALL NOT EXCEED 1/3 THE STUD DEPTH.
 4. BORED HOLES SHALL BE CENTERED ON THE STUD CENTERLINE.

SHEARWALL SCHEDULE										
2nd FLOOR					1st FLOOR					
MARK	SHEATHING	NAILING (2)	CHORD HOLD DOWN (1)	SILL PLATE ANCHOR	SHEATHING	NAILING (2)	CHORD HOLD DOWN (1)	HOLD DOWN ANCHOR BOLT (1)	SILL PLATE ANCHOR BOLT	REMARKS
SW-EXT	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	CS22	WOOD LAG SCREWS	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 62100H	THDB 62100H @ 12" O.C.	-
SW-INT	5/8" GYP. BOARD, DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	CS22	WOOD LAG SCREWS	5/8" GYP. BOARD DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 62100H	THDB 62100H @ 12" O.C.	-
SHEARWALL SCHEDULE NOTES: 1) ALL HOLD DOWNS, STRAPS, BOLTS, AND HARDWARE INDICATED ARE SIMPSON STRONG TIE HARDWARE OR EQUAL. ALL NAILS INDICATED ARE COMMON NAILS, U.N.O. 2) ALL EDGES OF SHEATHING SHALL BE FULLY BLOCKED WITH FULL DEPTH 2X BLOCKING AND NAILED ACCORDING TO THE SCHEDULE. FIELD NAILING OF SHEATHING SHALL BE AT 6" O.C.										

1
12" = 1'-0"

SHEARWALL BLDG SCHEDULE

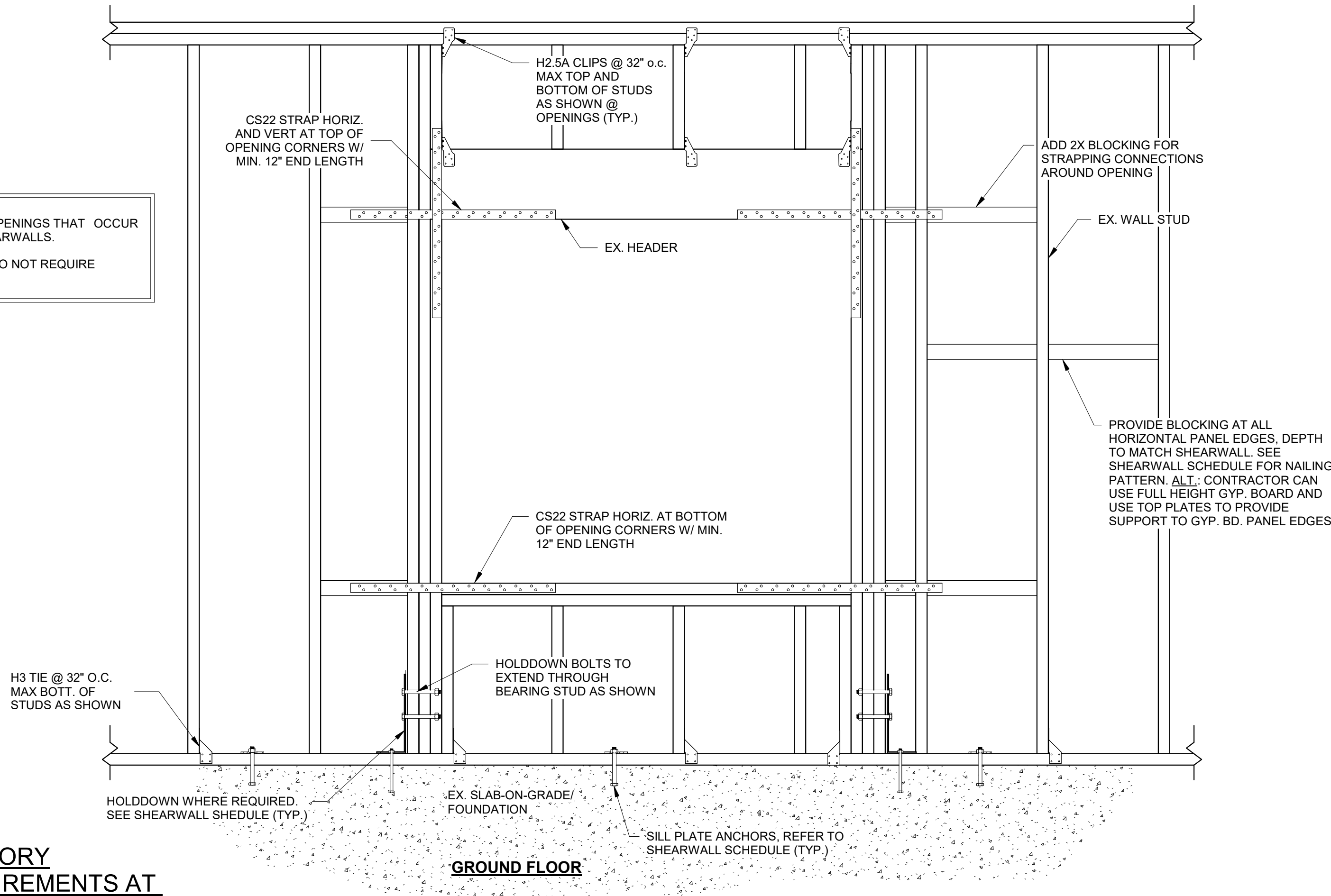
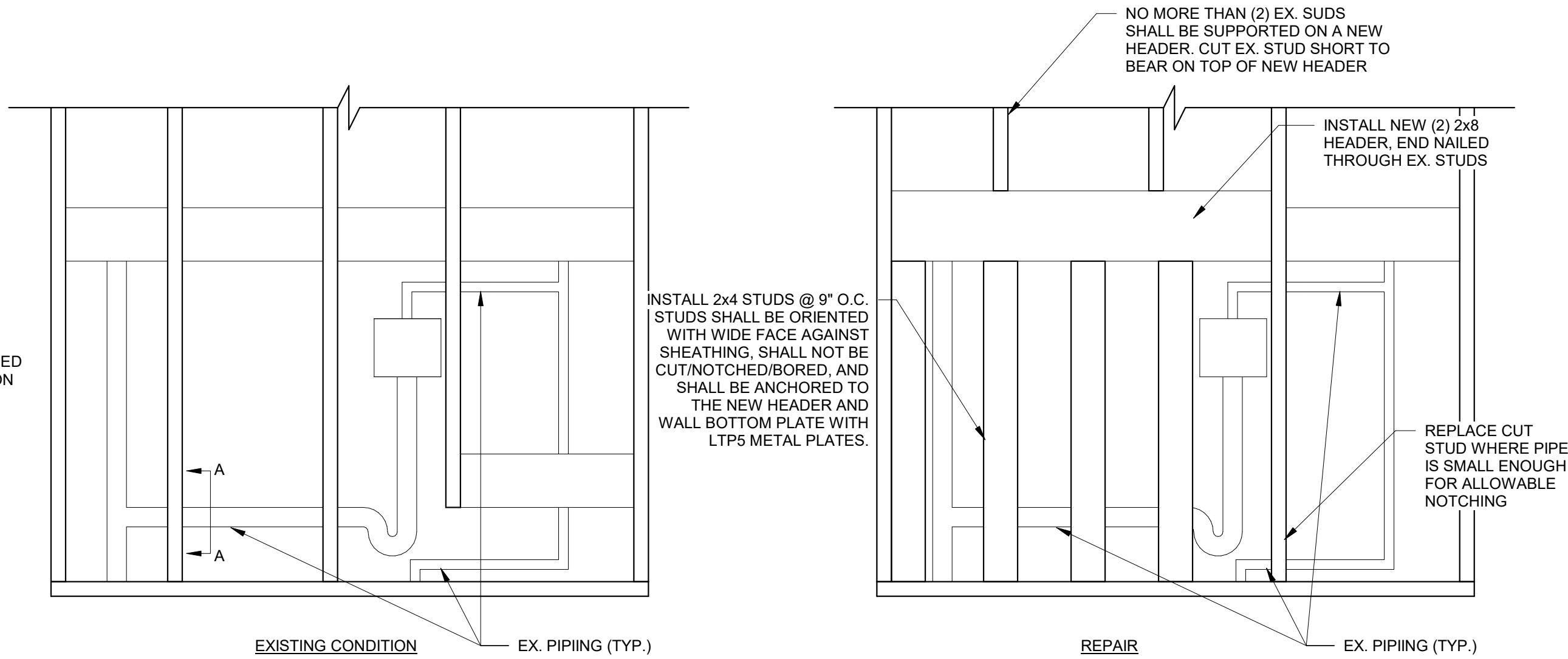
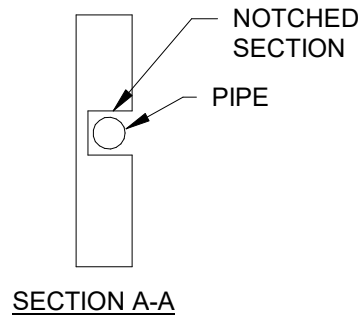


3
1" = 1'-0"

MULTI-STORY
STRAPPING REQUIREMENTS AT
PERFORATED SHEARWALL
OPENINGS

3
1" = 1'-0"

SHEARWALL STRAPPING REQUIREMENTS



REVISIONS		DESCRIPTION	
REV	DATE	REV	DATE

DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE
SHEARWALL DETAILS

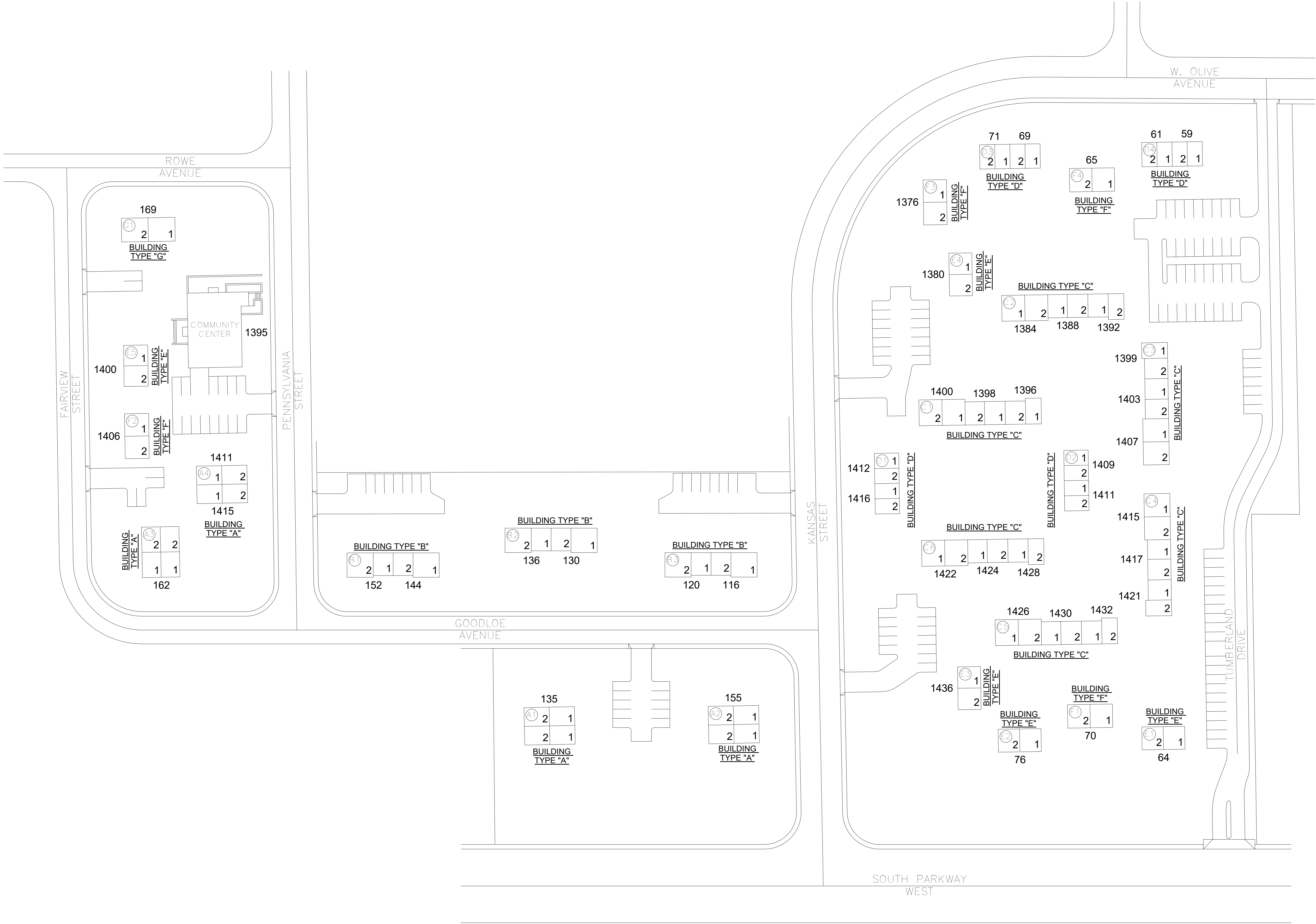
DATE	11-21-2023
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-301

1

SITE PLAN

1" = 50'-0"

PLAN NORTH



Smith
Seckman
Reid, Inc.

2650 Thousand Oaks Boulevard,
Suite 4200
Memphis, TN 38118
(901) 683-3900
FAX: (901) 683-3990
www.ssr-inc.com

SSR Project #: 21640920

REVISIONS

REV	DATE	DESCRIPTION
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MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

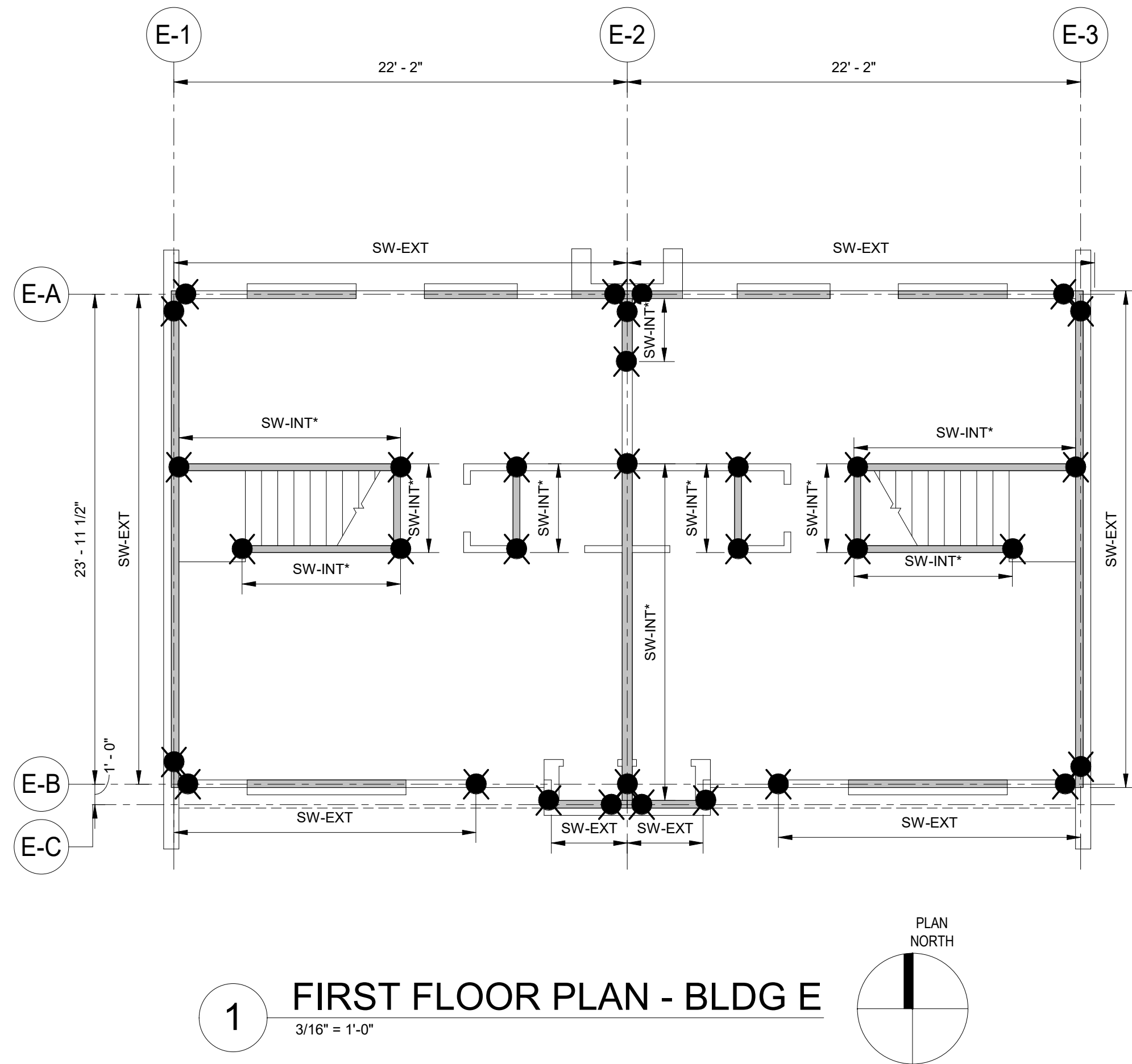
DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE

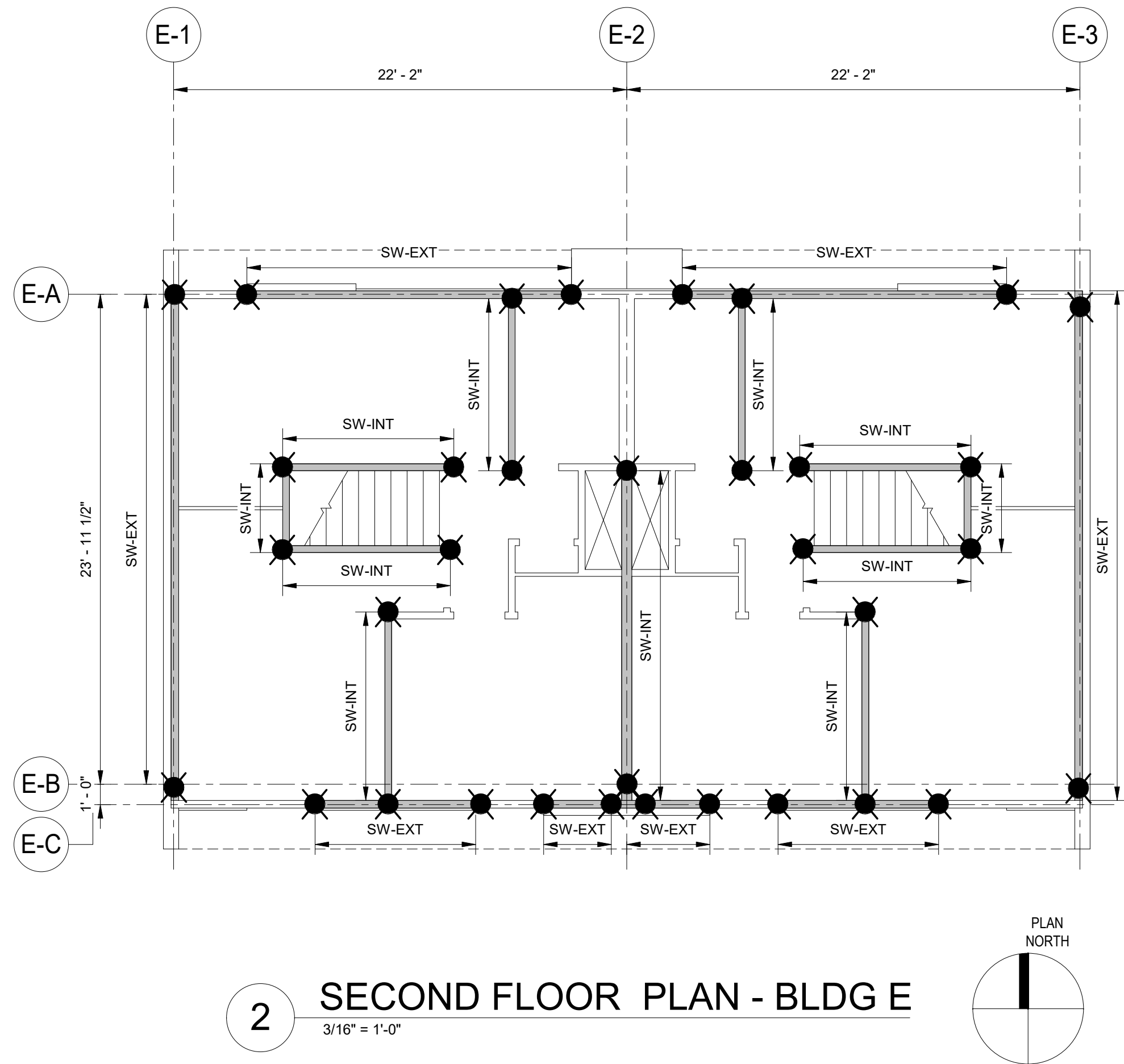
OVERALL SITE PLAN

DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-100

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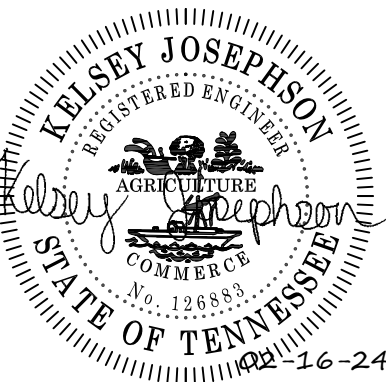
1 FIRST FLOOR PLAN - BLDG E
3/16" = 1'-0"



2 SECOND FLOOR PLAN - BLDG E
3/16" = 1'-0"

SHEAR WALL SHEET NOTES:

1.  DENOTES PRIMARY PANEL. REFER TO NOTE 5
2.  DENOTES PERFORATED SHEARWALL HOLDDOWN. REFER TO SHEARWALL SCHEDULE ON 1/S-301 FOR ADDITIONAL HOLDDOWN DETAILS.
3. REFER TO S-301 SHEET FOR SHEARWALL SCHEDULE.
4. ALL HOLDDOWNS ARE CS22 AND HTT5
5. NAILING AND BLOCKING ARE AS SHOWN IN THE SHEARWALL SCHEDULE AND APPLIES TO ENTIRE LENGTH OF WALL.
6. WHERE PENETRATIONS THROUGH THE TOP PLATE OCCUR, REFER TO 1/S-300 FOR DETAILS (TYP. ALL SHEARWALLS)
7. REFER TO DETAIL 3/S-301 FOR HOLDDOWN DETAILS
8. * DENOTES SHEARWALLS WHERE DESIGN UPLIFT MAY EXCEED HOLDDOWN CAPACITY. MAXIMUM HOLDDOWN CAPACITY HAS BEEN PROVIDED BASED ON EXISTING CONDITIONS AND AVAILABLE MATERIAL.



REVISIONS

REV	DATE	DESCRIPTION
-----	------	-------------

MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

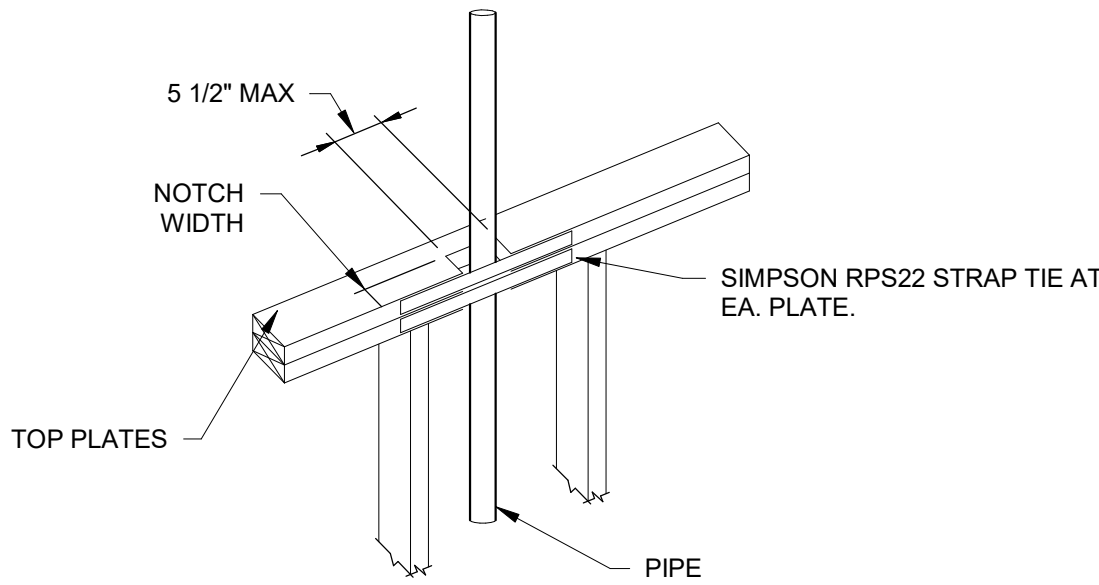
1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY	Author
DESIGNED BY	Designer
CHECKED BY	Checker

SHEET TITLE

BUILDING E PLANS

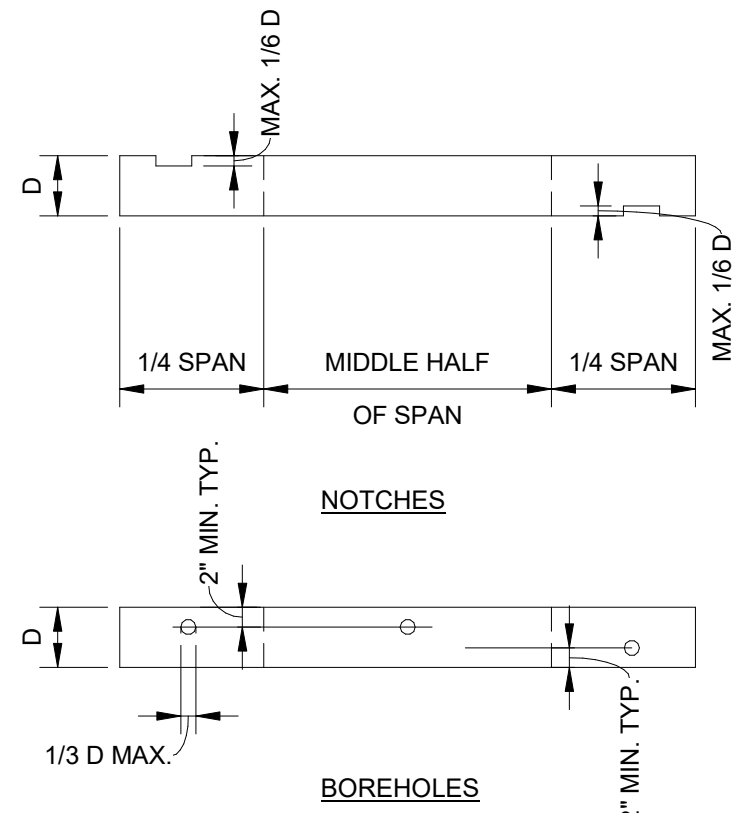
DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-101



- NOTES:**
1. PROVIDE STRAP WHEN NOTCH WIDTH IS BETWEEN 1 3/4" TO 2 1/2".
 2. NOTCHES GREATER THAN 2 1/2" ARE NOT PERMITTED.
 3. NO MORE THAN 2 NOTCHES ARE PERMITTED WITHIN A SHEARWALL.

1 NOTCHING & HOLES IN TOP PLATES

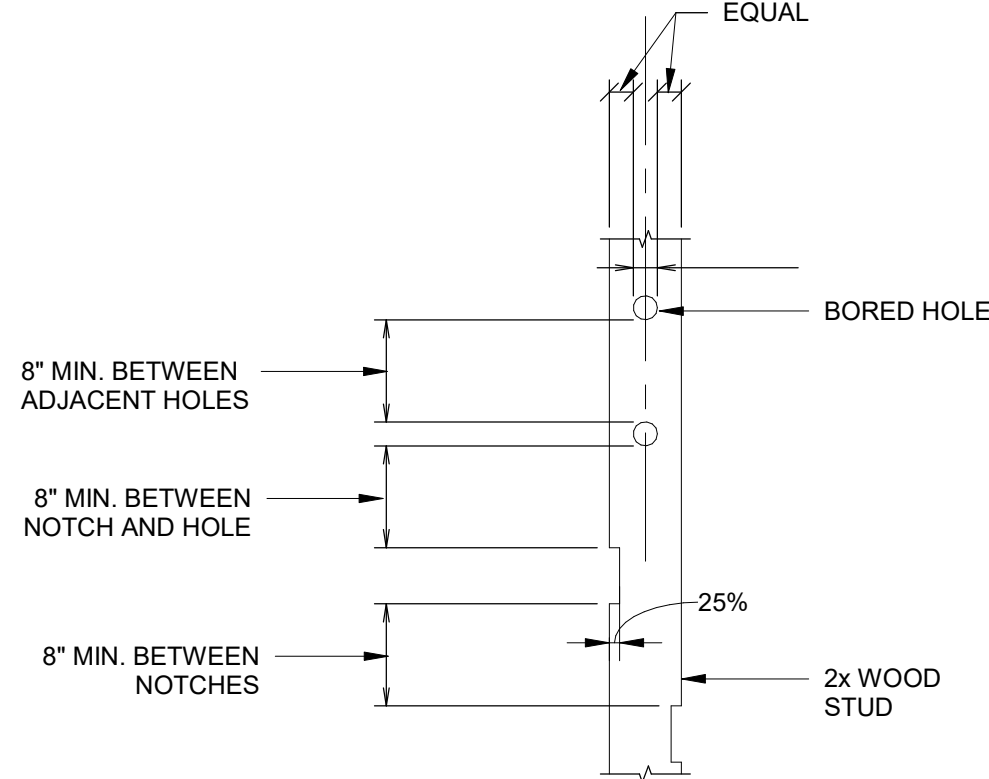
12" = 1'-0"



- NOTES:**
1. THE CLEAR SPACING BETWEEN NOTCHES AND/OR BOREHOLES SHALL BE AT LEAST 12" HORIZONTALLY.
 2. NOTCHES AND HOLES OTHER THAN SHOWN SHALL BE APPROVED BY THE ENGINEER.
 3. NO MORE THAN 3 TOTAL NOTCHES AND/OR BOREHOLES ARE PERMITTED IN ANY SINGLE JOIST.

2 NOTCHING & HOLES IN WOOD JOISTS

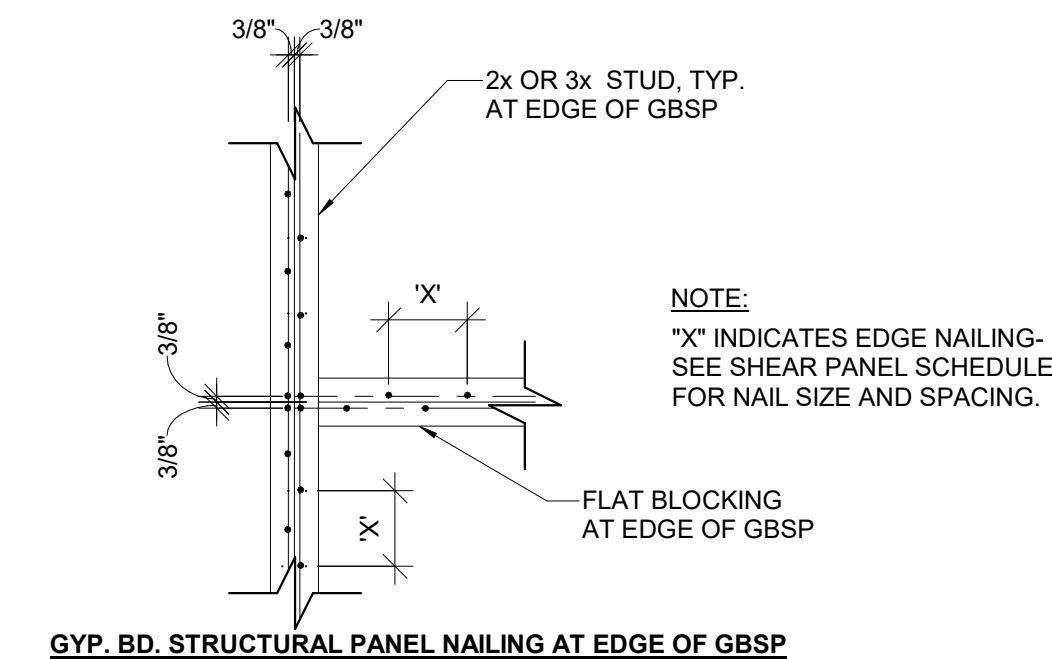
12" = 1'-0"



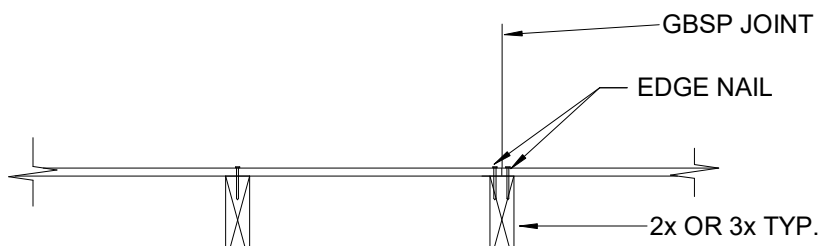
- NOTE:**
1. STUDS IN DESIGNATED SHEAR WALLS SHALL NOT BE NOTCHED OR BORED.
 2. STUDS IN ALL OTHER WALLS MAY BE NOTCHED OR BORED IN ACCORDANCE WITH THIS DETAIL.
 3. THE CUMULATIVE HORIZONTAL DIMENSION OF BORED HOLES AND NOTCHES, LOCATED WITHIN A 12 INCH VERTICAL HEIGHT:
A. DOES NOT REQUIRE REINFORCEMENT IF LESS THAN 1/3 THE STUD DEPTH.
B. SHALL BE REINFORCED IF BETWEEN 1/3 AND 1/2 THE STUD DEPTH, WITH CS22 STRAP X 18", CENTERED ON THE OPENING AND FULLY NAILED.
C. SHALL NOT EXCEED 1/3 THE STUD DEPTH.
 4. BORED HOLES SHALL BE CENTERED ON THE STUD CENTERLINE.

3 NOTCHING & HOLES ALLOWED IN 2X WOOD STUDS

12" = 1'-0"



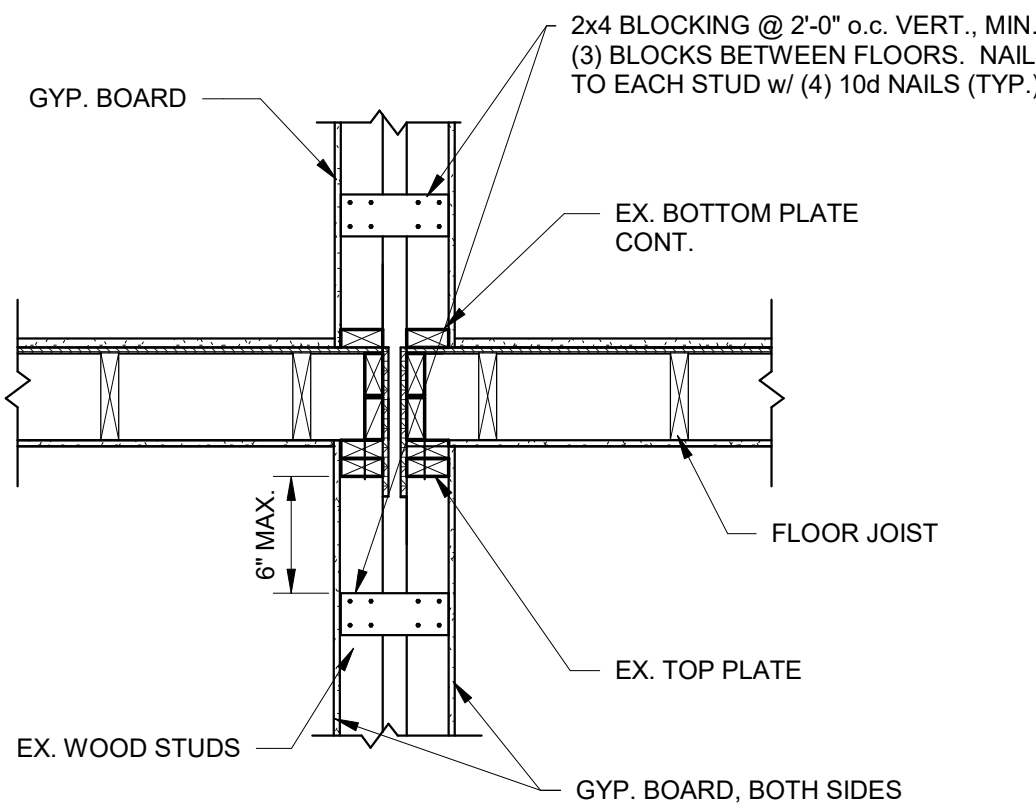
GYP. BD. STRUCTURAL PANEL NAILING AT EDGE OF GBSP



GYP. BD. STRUCTURAL PANEL ONE SIDE- PLAN

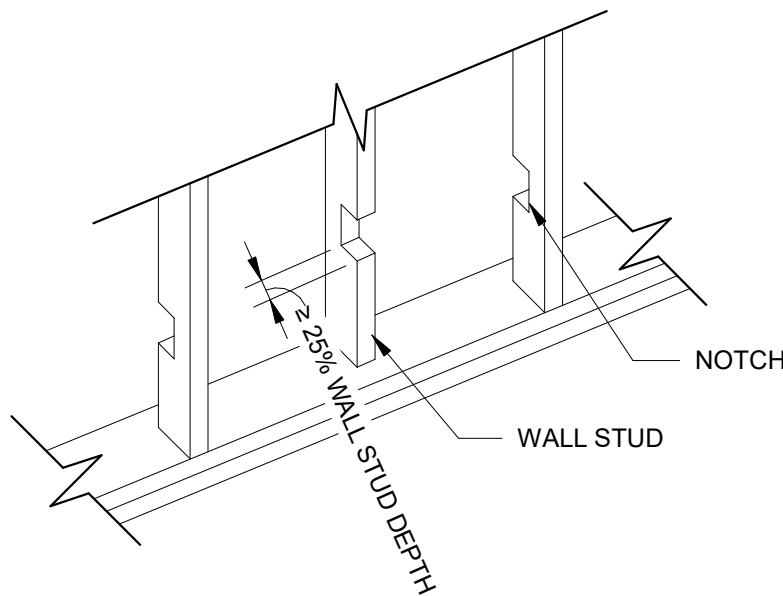
4 DETAIL

1" = 1'-0"



5 BLOCKING DETAIL AT TENANT WALL

3/4" = 1'-0"



- NOTES:**
1. THE ABOVE CONDITION HAS BEEN OBSERVED IN MULTIPLE LOCATIONS AND SHALL BE ADDRESSED AS FOLLOWS:

A. WHERE STUDS NOT IN SHEARWALLS HAVE BEEN CUT IN EXCESS OF THE LIMITATIONS SHOWN IN DETAIL 3/S-300 AND AS SHOWN ABOVE, THEY SHALL BE REPLACED IN FULL AND PIPING SHALL BE RUN SO THAT THE STUDS ARE CUT WITHIN THE PROVIDED LIMITATIONS.

B. WHERE STUDS IN SHEARWALLS HAVE BEEN CUT THEY SHALL BE REPLACED IN FULL AND PIPING SHALL BE RUN AROUND THE STUDS TO AVOID CUTTING THEM.

7 REPAIR AT EXCESSIVE NOTCH

12" = 1'-0"



REVISIONS

DESCRIPTION
REV DATE

MEMPHIS HOUSING AUTHORITY
MONTGOMERY PLAZA
1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE

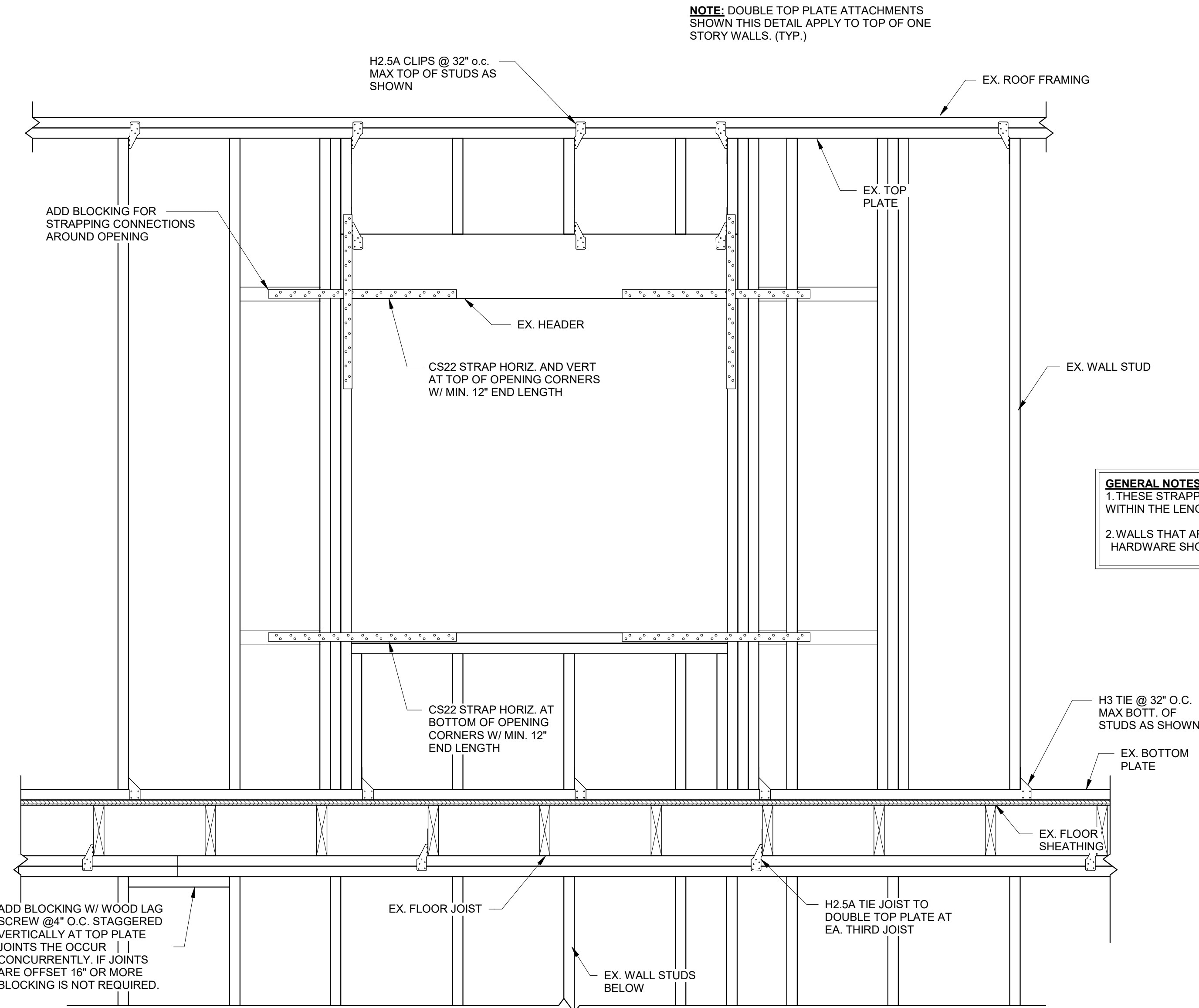
SHEARWALL DETAILS

DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-300

SHEARWALL SCHEDULE										
2nd FLOOR					1st FLOOR					REMARKS
MARK	SHEATHING	NAILING (2)	CHORD HOLD DOWN (1)	SILL PLATE ANCHOR	SHEATHING	NAILING (2)	CHORD HOLD DOWN (1)	HOLD DOWN ANCHOR BOLT (1)	SILL PLATE ANCHOR BOLT	
SW-EXT	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	CS22	WOOD LAG SCREWS	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 62100H	THDB 62100H @ 12" O.C.	-
SW-INT	5/8" GYP. BOARD, DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	CS22	WOOD LAG SCREWS	5/8" GYP. BOARD DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 25300H	PAF HIRI X-U @ 4" O.C. STAGGERED	-
SHEARWALL SCHEDULE NOTES: 1) ALL HOLD DOWNS, STRAPS, BOLTS, AND HARDWARE INDICATED ARE SIMPSON STRONG TIE HARDWARE OR EQUAL. ALL NAILS INDICATED ARE COMMON NAILS, U.N.O. 2) ALL EDGES OF SHEATHING SHALL BE FULLY BLOCKED WITH FULL DEPTH 2X BLOCKING AND NAILED ACCORDING TO THE SCHEDULE. FIELD NAILING OF SHEATHING SHALL BE AT 6" O.C.										

1
12" = 1'-0"

SHEARWALL BLDG SCHEDULE

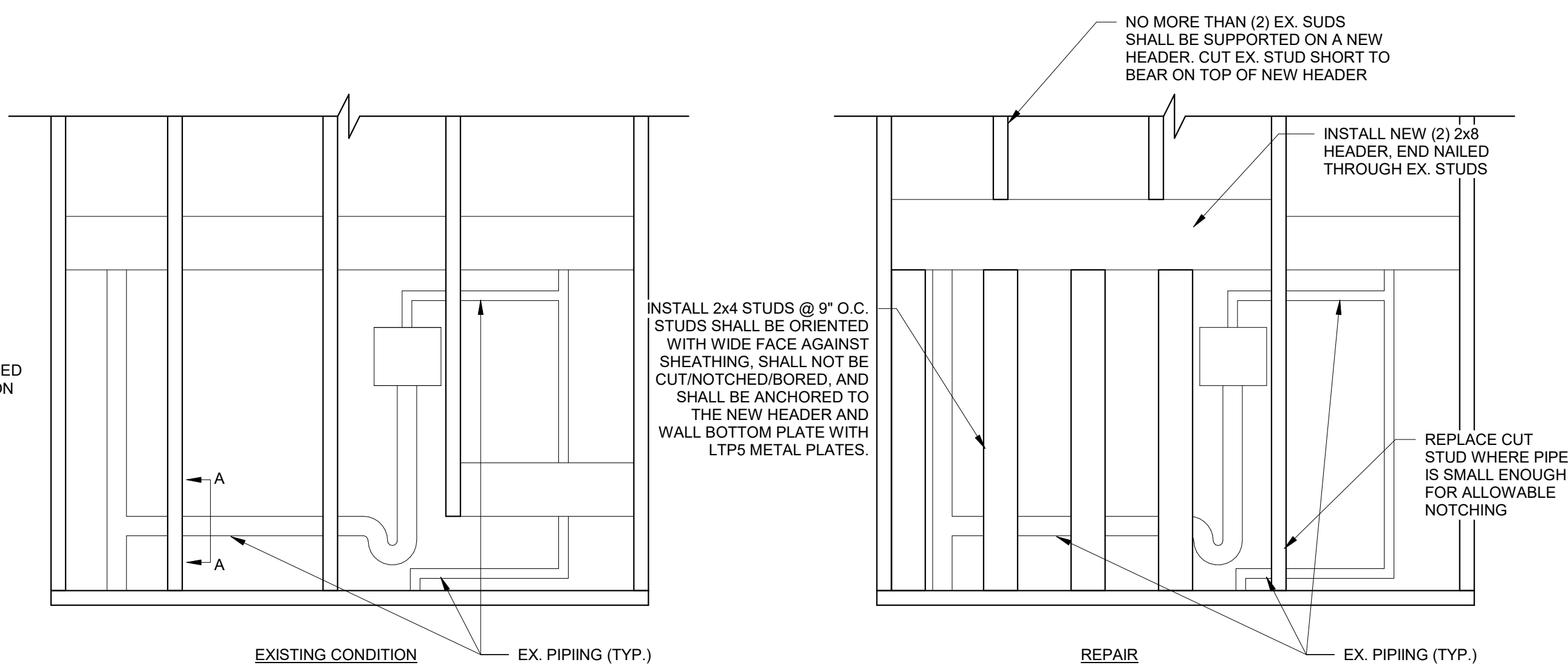
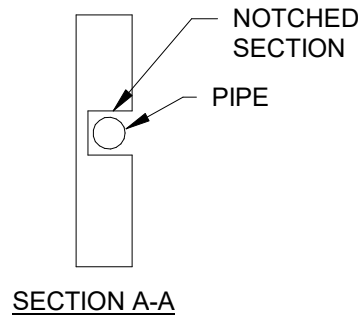


ELEVATED FLOORS

MULTI-STORY
STRAPPING REQUIREMENTS AT
PERFORATED SHEARWALL
OPENINGS

3
1" = 1'-0"

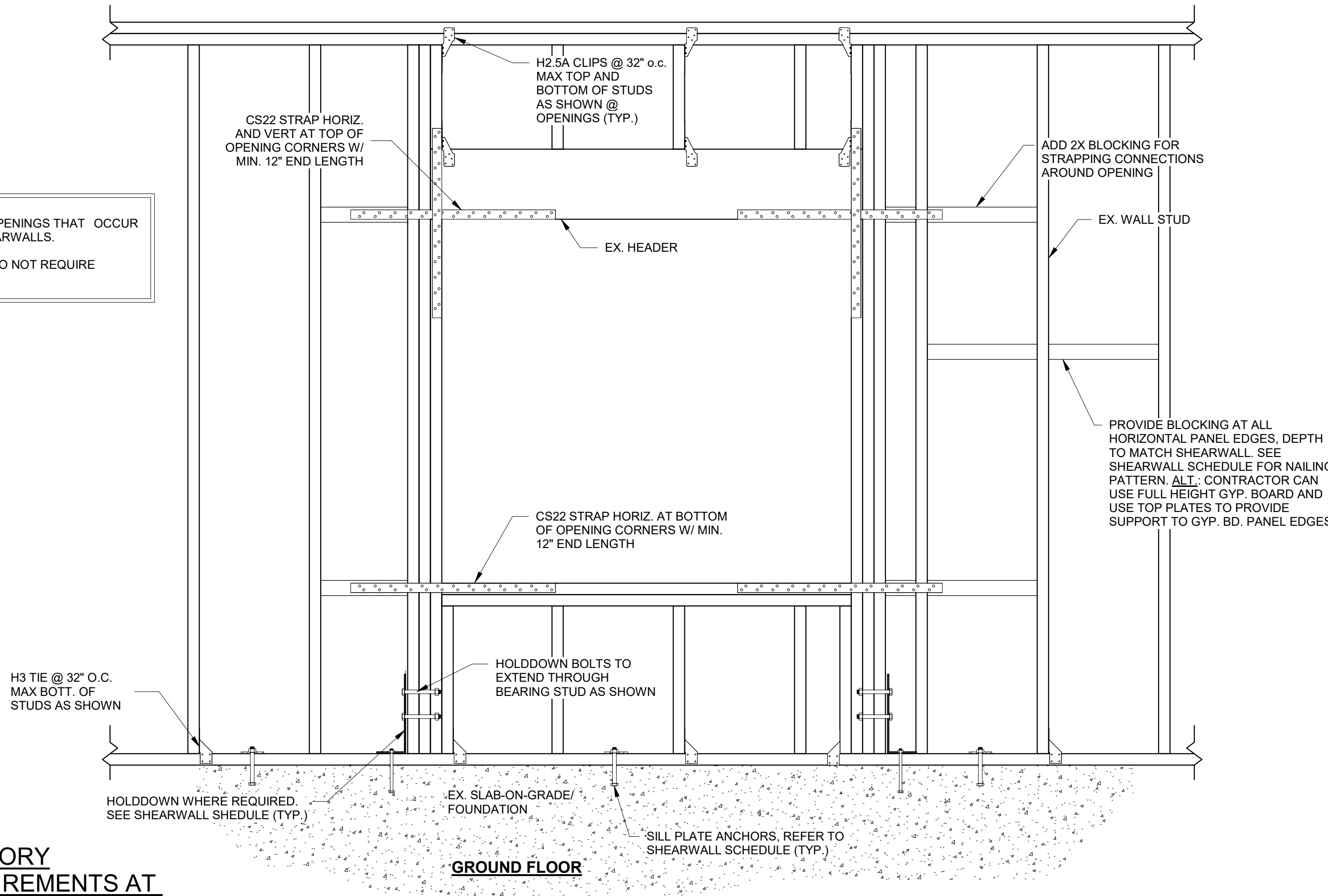
SHEARWALL STRAPPING REQUIREMENTS




2
1" = 1'-0"

REPAIR OF STUDS IN NON-SHEAR WALL

NOTE:
1. IF THE FOLLOWING CONDITION IS FOUND IN A WALL MARKED AS A SHEARWALL, THE ABOVE REPAIR DOES NOT APPLY. ALL STUDS IN THE SHEAR WALL MUST EXTEND COMPLETELY TO THE FLOOR WITH NO NOTCHING PRESENT.
2. THIS REPAIR SHALL NOT OCCUR MORE THAN 2 TIMES IN A SINGLE BEARING WALL. REROUTE PLUMBING IF MORE THAN (2) STUDS ARE FULLY CUT AT THE BASE AND REQUIRE A HEADER TO SUPPORT OR NOTCHED IN EXCESS OF 25% OF THE STUD DEPTH.






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SSR Project #: 21640920



REVISIONS

DESCRIPTION

DATE

REV

MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY

AMH

DESIGNED BY

KAJ

CHECKED BY

JCF

SHEET TITLE

SHEARWALL DETAILS

DATE

2-16-2024

PROJECT STATUS

CONSTRUCTION DOCUMENT

SHEET NUMBER

S-301

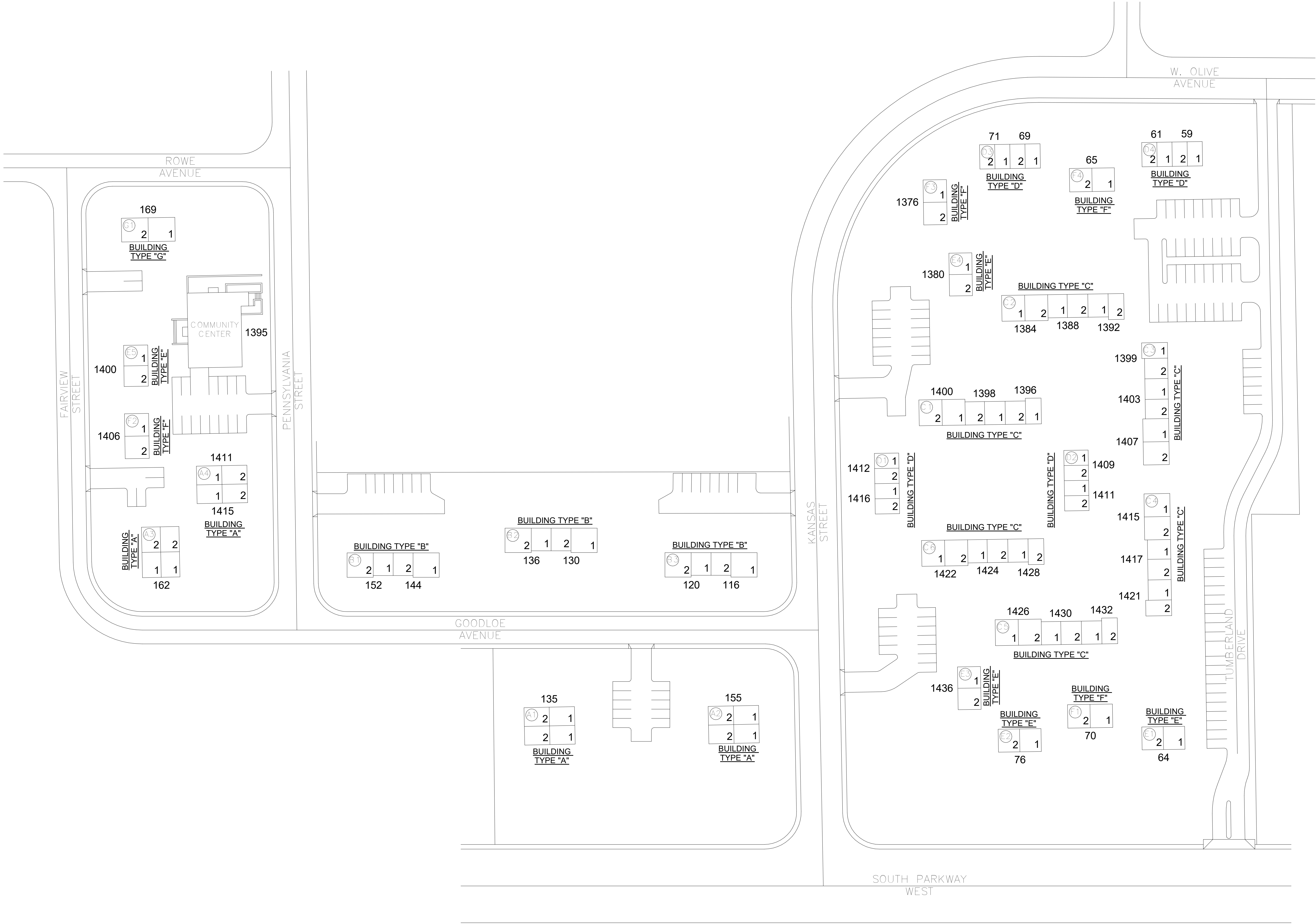
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1

SITE PLAN

1" = 50'-0"

PLAN NORTH



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MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY

AMH

DESIGNED BY

KAJ

CHECKED BY

JCF

SHEET TITLE

OVERALL SITE PLAN

DATE

2-16-2024

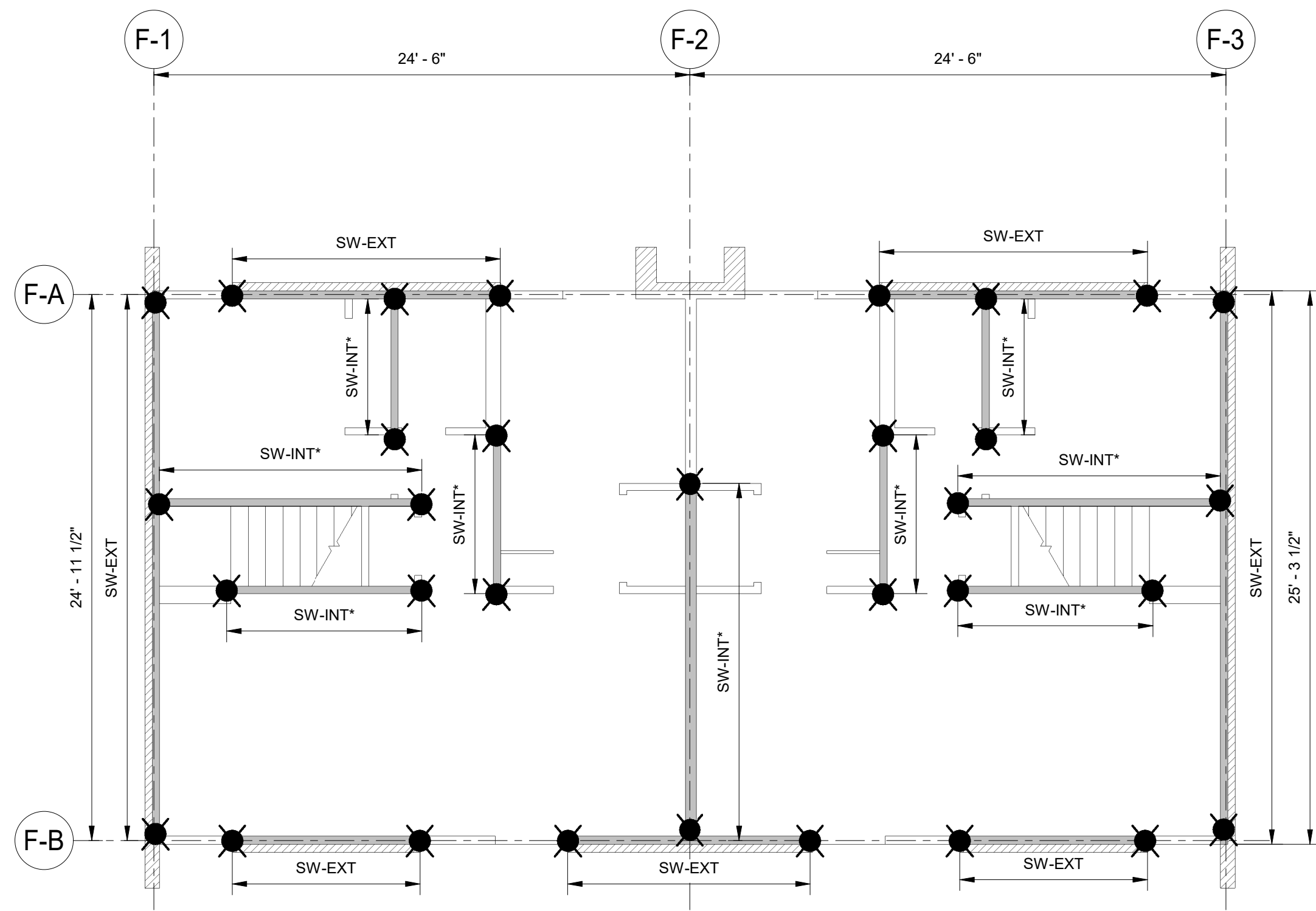
PROJECT STATUS

CONSTRUCTION DOCUMENT

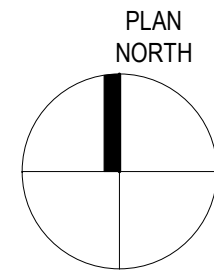
SHEET NUMBER

S-100


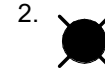
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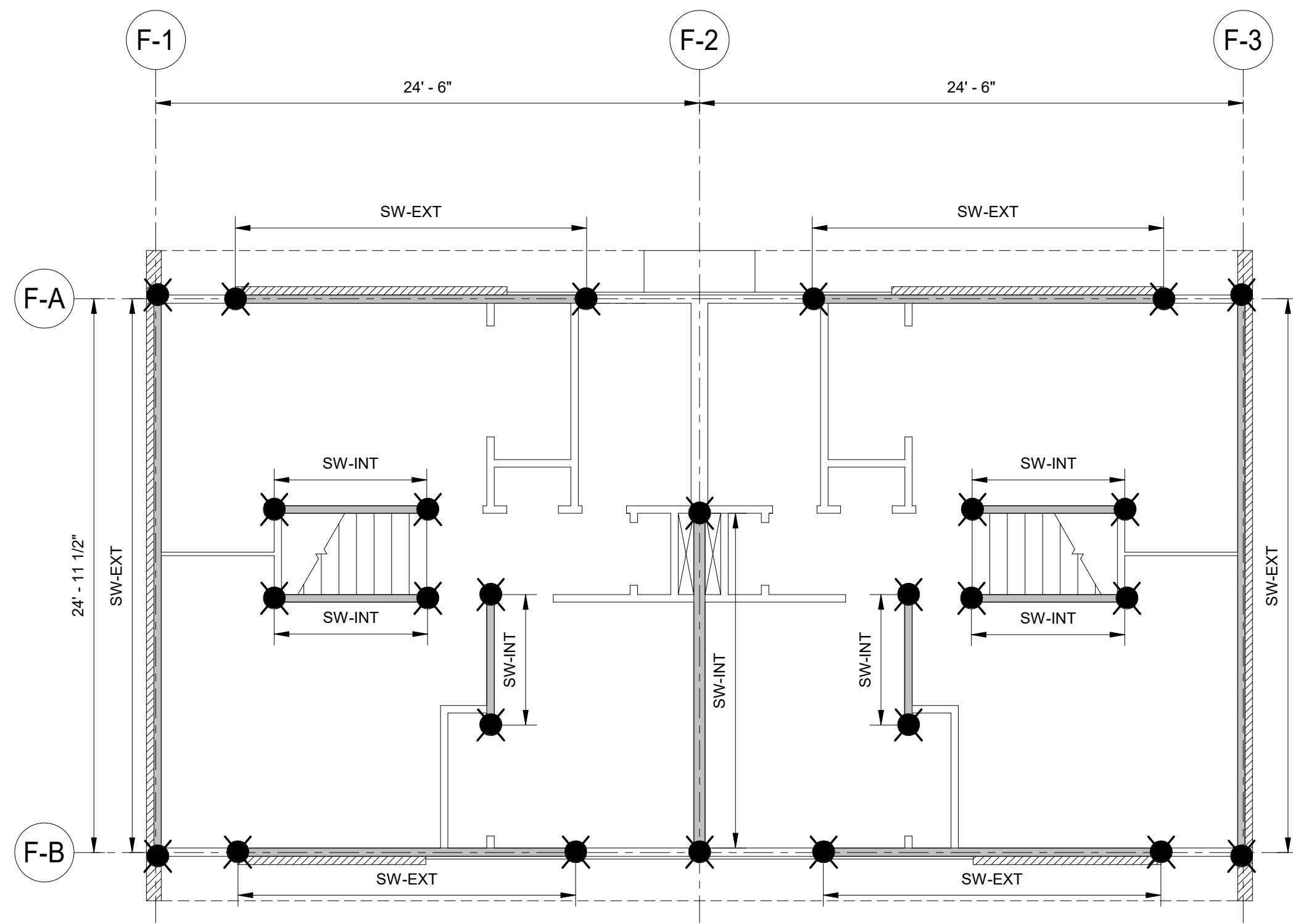


1 FIRST FLOOR PLAN - BLDG F
3/16" = 1'-0"

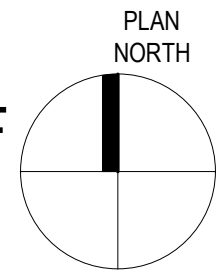


SHEAR WALL SHEET NOTES:

1.  DENOTES PRIMARY PANEL. REFER TO NOTE 5
2.  DENOTES PERFORATED SHEARWALL HOLDDOWN. REFER TO SHEARWALL SCHEDULE ON 1/S-301 FOR ADDITIONAL HOLDDOWN DETAILS.
3. REFER TO S-301 SHEET FOR SHEARWALL SCHEDULE.
4. ALL HOLDDOWNS ARE CS22 AND HTT5
5. NAILING AND BLOCKING ARE AS SHOWN IN THE SHEARWALL SCHEDULE AND APPLIES TO ENTIRE LENGTH OF WALL.
6. WHERE PENETRATIONS THROUGH THE TOP PLATE OCCUR, REFER TO 1/S-300 FOR DETAILS (TYP. ALL SHEARWALLS)
7. REFER TO DETAIL 3/S-301 FOR HOLDDOWN DETAILS
8. * DENOTES SHEARWALLS WHERE DESIGN UPLIFT MAY EXCEED HOLDDOWN CAPACITY. MAXIMUM HOLDDOWN CAPACITY HAS BEEN PROVIDED BASED ON EXISTING CONDITIONS AND AVAILABLE MATERIAL.



2 SECOND FLOOR PLAN - BLDG F
3/16" = 1'-0"



REVISIONS

REV	DATE	DESCRIPTION
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MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

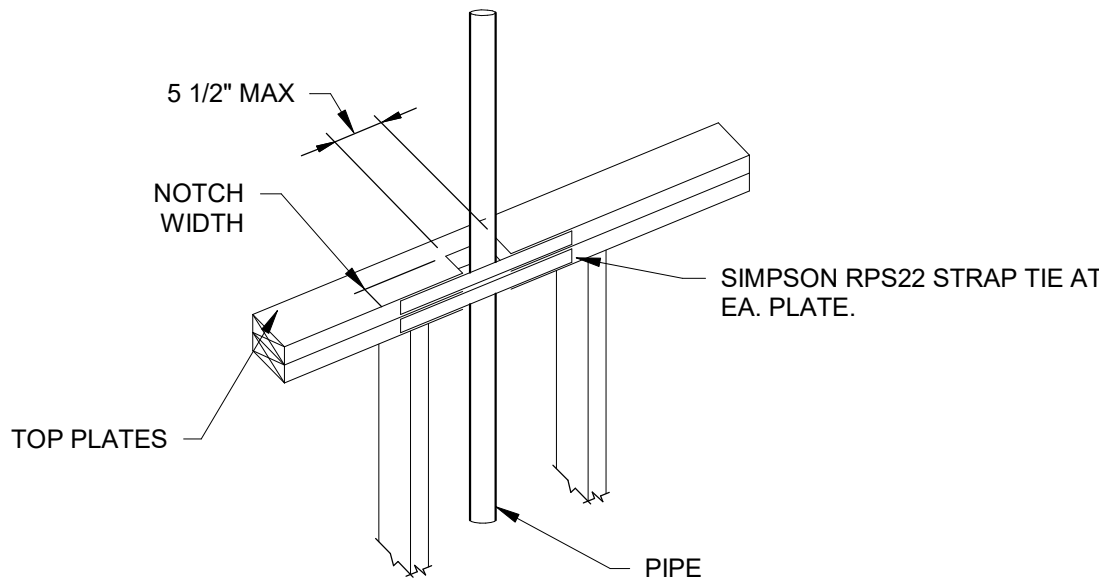
1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY	Author
DESIGNED BY	Designer
CHECKED BY	Checker

SHEET TITLE

BUILDING F PLANS

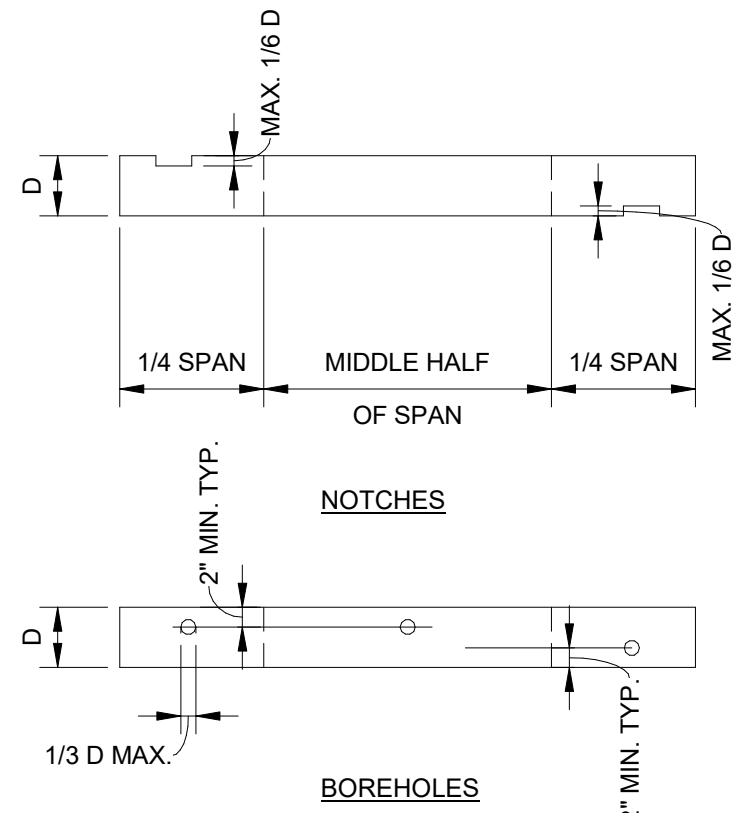
DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-106



- NOTES:**
1. PROVIDE STRAP WHEN NOTCH WIDTH IS BETWEEN 1 3/4" TO 2 1/2".
 2. NOTCHES GREATER THAN 2 1/2" ARE NOT PERMITTED.
 3. NO MORE THAN 2 NOTCHES ARE PERMITTED WITHIN A SHEARWALL.

1 NOTCHING & HOLES IN TOP PLATES

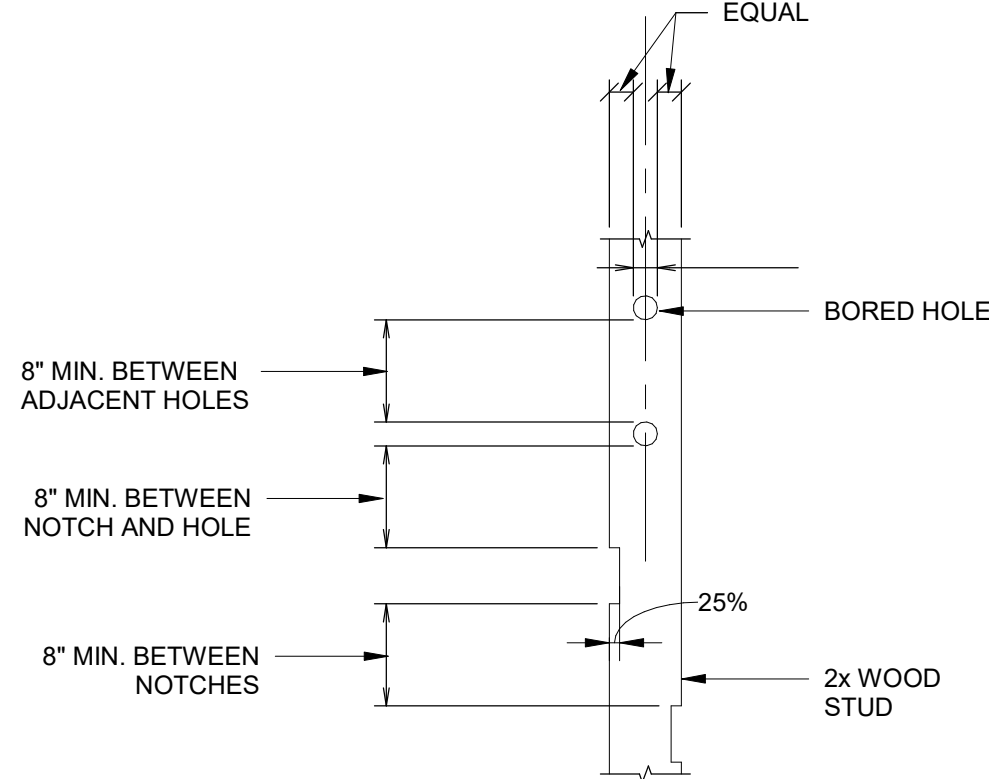
12" = 1'-0"



- NOTES:**
1. THE CLEAR SPACING BETWEEN NOTCHES AND/OR BOREHOLES SHALL BE AT LEAST 12" HORIZONTALLY.
 2. NOTCHES AND HOLES OTHER THAN SHOWN SHALL BE APPROVED BY THE ENGINEER.
 3. NO MORE THAN 3 TOTAL NOTCHES AND/OR BOREHOLES ARE PERMITTED IN ANY SINGLE JOIST.

2 NOTCHING & HOLES IN WOOD JOISTS

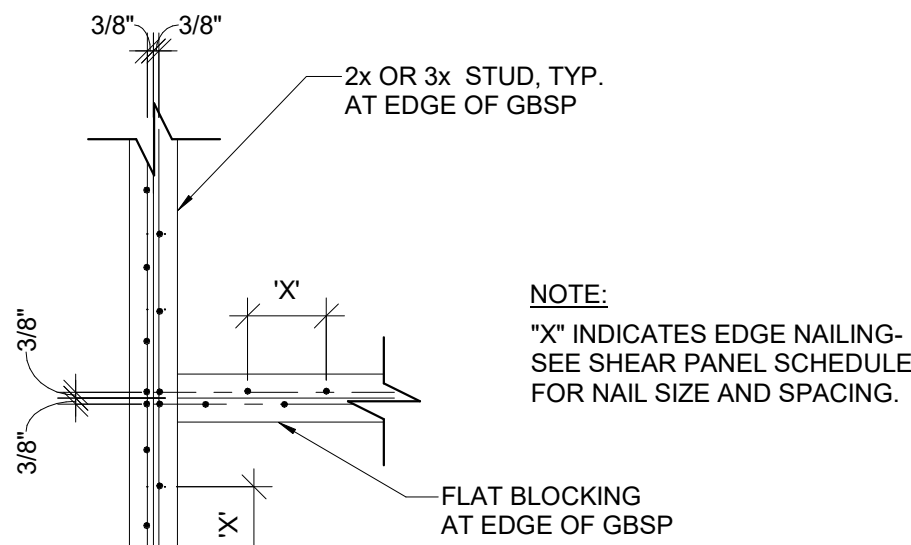
12" = 1'-0"



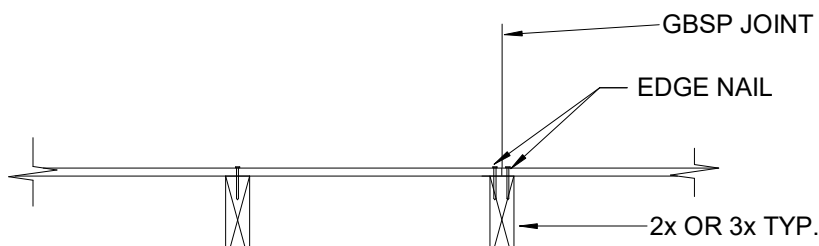
- NOTE:**
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 2. STUDS IN ALL OTHER WALLS MAY BE NOTCHED OR BORED IN ACCORDANCE WITH THIS DETAIL.
 3. THE CUMULATIVE HORIZONTAL DIMENSION OF BORED HOLES AND NOTCHES, LOCATED WITHIN A 12 INCH VERTICAL HEIGHT:
A. DOES NOT REQUIRE REINFORCEMENT IF LESS THAN 1/3 THE STUD DEPTH.
B. SHALL BE REINFORCED IF BETWEEN 1/3 AND 1/2 THE STUD DEPTH, WITH CS22 STRAP X 18", CENTERED ON THE OPENING AND FULLY NAILED.
C. SHALL NOT EXCEED 1/3 THE STUD DEPTH.
 4. BORED HOLES SHALL BE CENTERED ON THE STUD CENTERLINE.

3 NOTCHING & HOLES ALLOWED IN 2X WOOD STUDS

12" = 1'-0"



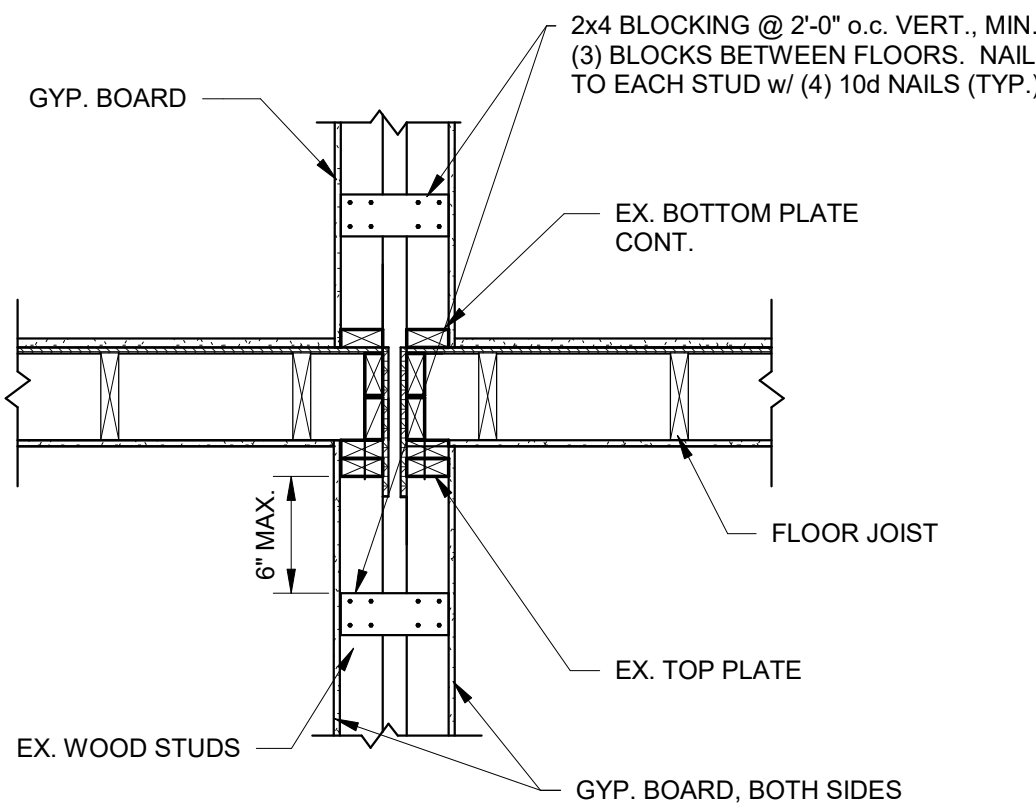
GYP. BD. STRUCTURAL PANEL NAILING AT EDGE OF GBSP



GYP. BD. STRUCTURAL PANEL ONE SIDE- PLAN

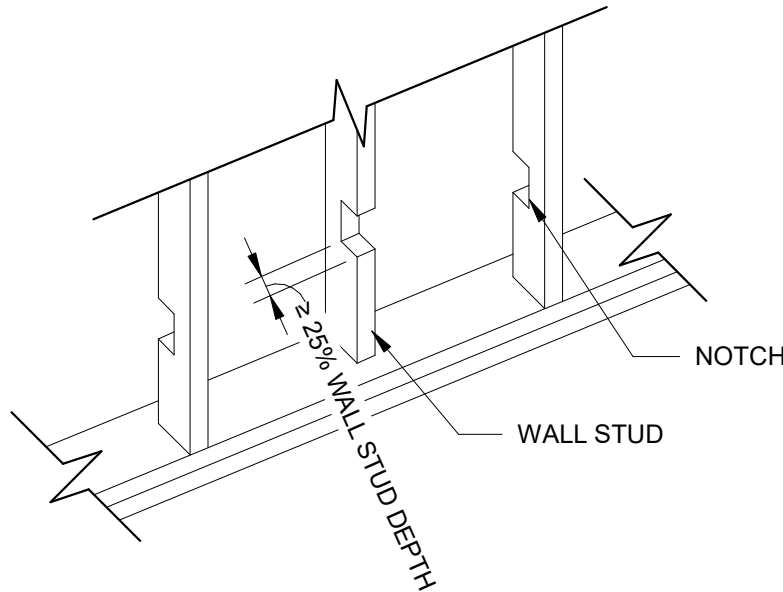
4 DETAIL

1" = 1'-0"



5 BLOCKING DETAIL AT TENANT WALL

3/4" = 1'-0"



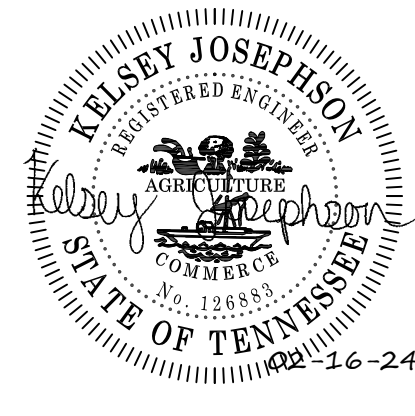
- NOTES:**
1. THE ABOVE CONDITION HAS BEEN OBSERVED IN MULTIPLE LOCATIONS AND SHALL BE ADDRESSED AS FOLLOWS:

A. WHERE STUDS NOT IN SHEARWALLS HAVE BEEN CUT IN EXCESS OF THE LIMITATIONS SHOWN IN DETAIL 3/S-300 AND AS SHOWN ABOVE, THEY SHALL BE REPLACED IN FULL AND PIPING SHALL BE RUN SO THAT THE STUDS ARE CUT WITHIN THE PROVIDED LIMITATIONS.

B. WHERE STUDS IN SHEARWALLS HAVE BEEN CUT THEY SHALL BE REPLACED IN FULL AND PIPING SHALL BE RUN AROUND THE STUDS TO AVOID CUTTING THEM.

7 REPAIR AT EXCESSIVE NOTCH

12" = 1'-0"



REVISIONS

DESCRIPTION
REV DATE

MEMPHIS HOUSING AUTHORITY
MONTGOMERY PLAZA
1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

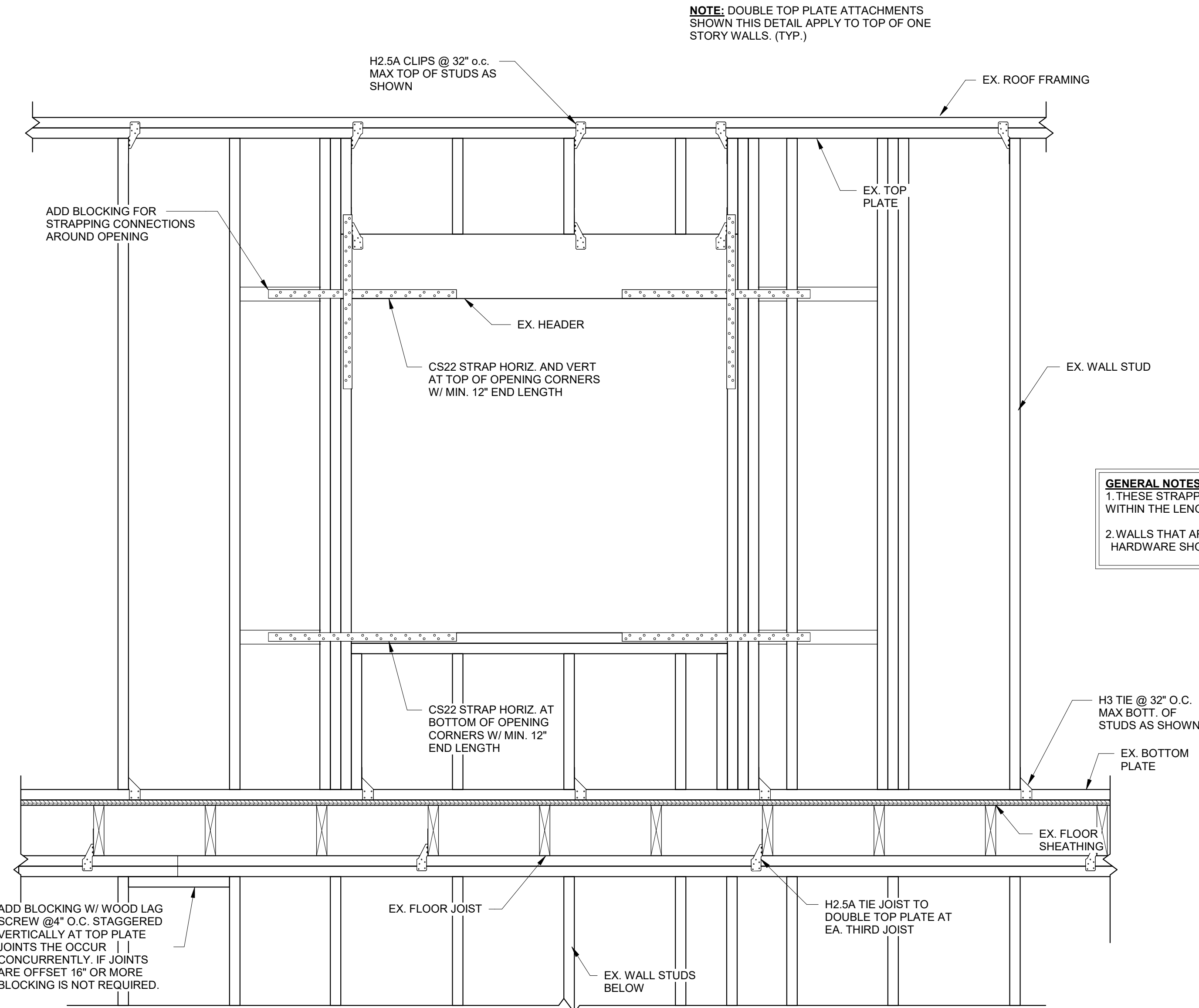
SHEET TITLE

SHEARWALL DETAILS

DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-300

SHEARWALL SCHEDULE										
2nd FLOOR					1st FLOOR					REMARKS
MARK	SHEATHING	NAILING (2)	CHORD HOLD DOWN (1)	SILL PLATE ANCHOR	SHEATHING	NAILING (2)	CHORD HOLD DOWN (1)	HOLD DOWN ANCHOR BOLT (1)	SILL PLATE ANCHOR BOLT	
SW-EXT	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	CS22	WOOD LAG SCREWS	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 62100H	THDB 62100H @ 12" O.C.	-
SW-INT	5/8" GYP. BOARD, DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	CS22	WOOD LAG SCREWS	5/8" GYP. BOARD DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 25300H	PAF HIRI X-U @ 4" O.C. STAGGERED	-
SHEARWALL SCHEDULE NOTES: 1) ALL HOLD DOWNS, STRAPS, BOLTS, AND HARDWARE INDICATED ARE SIMPSON STRONG TIE HARDWARE OR EQUAL. ALL NAILS INDICATED ARE COMMON NAILS, U.N.O. 2) ALL EDGES OF SHEATHING SHALL BE FULLY BLOCKED WITH FULL DEPTH 2X BLOCKING AND NAILED ACCORDING TO THE SCHEDULE. FIELD NAILING OF SHEATHING SHALL BE AT 6" O.C.										

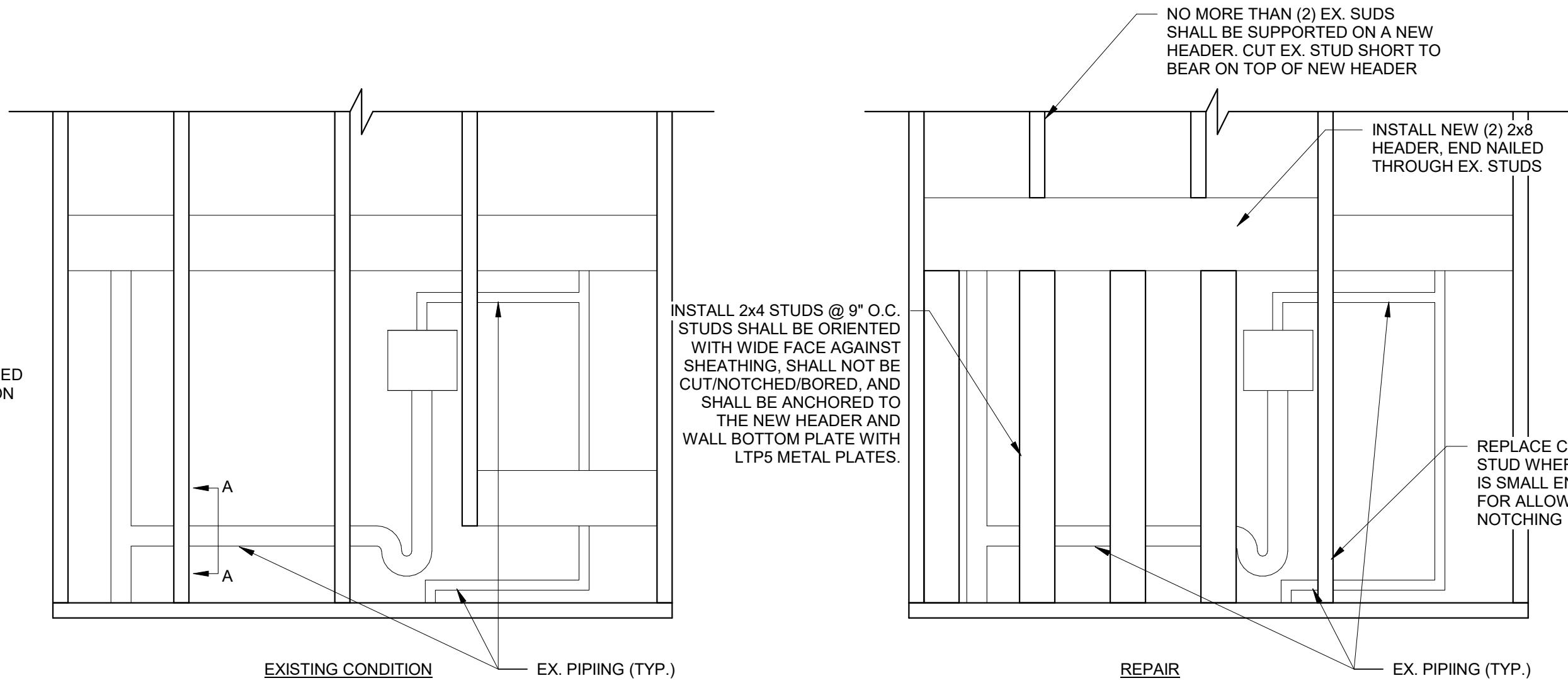
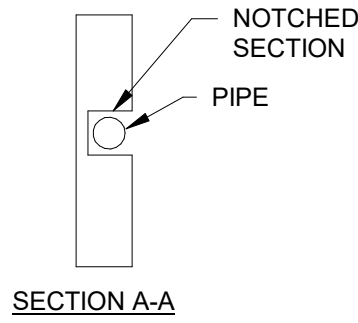
1 SHEARWALL BLDG SCHEDULE
12" = 1'-0"



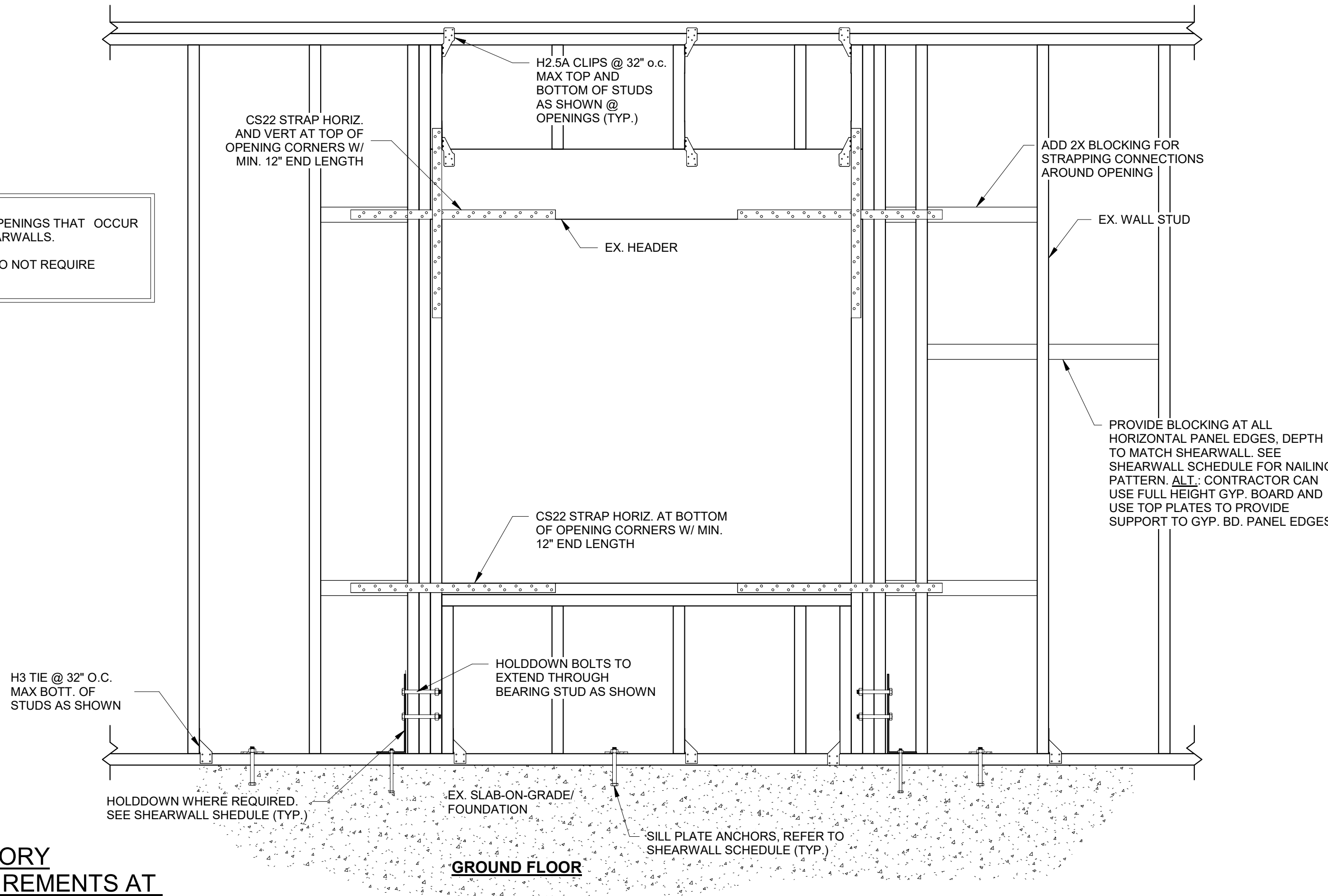
ELEVATED FLOORS

MULTI-STORY
STRAPPING REQUIREMENTS AT
PERFORATED SHEARWALL
OPENINGS

3 SHEARWALL STRAPPING REQUIREMENTS
1" = 1'-0"



2 REPAIR OF STUDS IN NON-SHEAR WALL
1" = 1'-0"



REVISIONS		DESCRIPTION	
REV	DATE		

DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE	
SHEARWALL DETAILS	

DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-301

2/16/2024 10:08:16 AM C:\Users\josephson\Documents\SSR_STRUCT_MHA_21640920_R23_josephson\FKKNL.rvt

SCOPE

SSR IS ONLY RESPONSIBLE FOR ANALYSIS AND DESIGN OF REINFORCEMENT OF THE LATERAL SYSTEM OF THE BUILDING. THIS INCLUDES THE SHEAR WALL NAILING, SHEATHING, AND HOLD-DOWNS.

STRUCTURAL DESIGN CRITERIA

BUILDING CODES:
2021
INTERNATIONAL EXISTING BUILDING CODE (IBC)

LOADING CRITERIA:
A. APPLIES TO: EXISTING BUILDING

WIND LOADS:
A. PER ASCE: 7-16

BASIC WIND SPEED (VULT): 105 MPH

BASIC WIND SPEED (VASD): 82 MPH

RISK CATEGORY: II

WIND EXPOSURE CATEGORY: C

MAIN WIND FORCE RESISTING SYSTEM (MWFRS): SIMPLIFIED METHOD, (I=) (LRFD 1.0 W).

SEISMIC DESIGN CRITERIA:

IMPORTANCE FACTOR (Is): 1.0

RISK CATEGORY: II

SITE CLASSIFICATION: D

SEISMIC DESIGN CATEGORY: D

MAPPED SPECTRAL RESPONSE ACCELERATION:

Ss: 1.280

S1: 0.340

MAPPED SPECTRAL DESIGN ACCELERATION:

SDS: 0.730

SD1: 0.470

BASIC SEISMIC FORCE RESISTING SYSTEM: LIGHT-FRAME SHEAR WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS

RESPONSE MODIFICATION COEFFICIENT (R): 2.0

DEFLECTION AMPLIFICATION FACTOR (Cd): 2.0

SEISMIC RESPONSE COEFFICIENT (Cs): 0.3650

DESIGN BASE SHEAR (V): 81 K

INCLUDES 25% REDUCTION FOR EX. BUILDING

ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE

WOOD FRAMING

WOOD FRAMING CONNECTORS:
A. FRAMING CONNECTIONS FOR 2x WOOD FRAMING SIMPSON STRONG-TIE COMPANY, INC. (OR APPROVED EQUAL) SHALL BE FASTENERS BY:

NAILING:
A. WOOD MEMBERS SHALL BE CONNECTED TOGETHER USING THE NAILING SCHEDULE LISTED IN BUILDING CODE REFERENCED IN THE SECTION OF STRUCTURAL NOTES TITLED "STRUCTURAL DESIGN CRITERIA", UNLESS NOTED OTHERWISE (U.N.O.) IN THE CONTRACT DOCUMENTS OR IF MANUFACTURER SPECIFIC CONNECTION HARDWARE IS SPECIFIED.

SHEATHING:
A. SHEATHING SHALL BE AS FOLLOWS:

SHEAR WALL SHEATHING: 5/8 IN. THICK GYP. BD.

FOR ALL SHEAR WALL FASTENING AND SHEATHING REQUIREMENTS REFER TO SHEET: 1/S-301

D. ALL SHEAR WALLS SHALL HAVE THE EDGES OF THE SHEATHING BLOCKED.

SUPPLEMENTARY NOTES

A. PROVIDE ALL TEMPORARY BRACING, GUYING OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. THE STRUCTURE SHOULD NOT BE CONSIDERED STABLE UNTIL ALL STRUCTURAL ELEMENTS HAVE BEEN CONSTRUCTED.

B. THE STRUCTURAL ENGINEER SHALL NOT HAVE CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES OR SEQUENCES. FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, OR ANY OTHER PERSONS PERFORMING THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

C. VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS.

D. SEE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR EMBEDS, OPENINGS, SLEEVES, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS.


E. ALL STRUCTURAL OPENINGS AROUND OR AFFECTED BY MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SHALL BE VERIFIED WITH EQUIPMENT PURCHASED BEFORE PROCEEDING WITH STRUCTURAL WORK AFFECTED.

F. STRUCTURAL ENGINEER OF RECORD FOR THIS PROJECT IS NOT RESPONSIBLE FOR THE DESIGN OF STEEL STAIRS, HANDRAILS, COLD FORMED METAL FRAMING, OR OTHER SYSTEMS NOT INDICATED ON THE STRUCTURAL DOCUMENTS. REFER TO SPECIFICATIONS FOR THESE ITEMS FOR DEFERRED DESIGN SUBMITTAL REQUIREMENTS.

G. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF THE PROJECT.

H. DO NOT REPRODUCE STRUCTURAL ENGINEERS' DRAWINGS. ERECTION AND SHOP DRAWINGS WILL NOT BE REVIEWED IF ANY PORTION CONTAINS REPRODUCTIONS OF STRUCTURAL ENGINEERS' DRAWINGS.

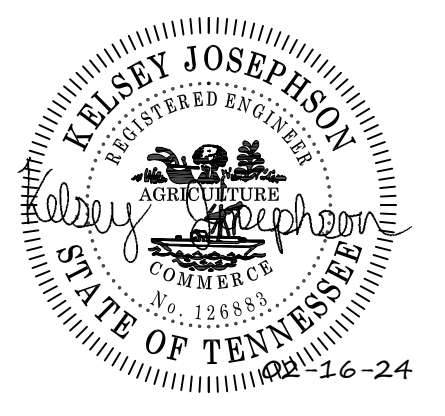
I. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.



Smith
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2650 Thousand Oaks Boulevard,
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(901) 683-3900
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www.ssr-inc.com

SSR Project #: 21640920



REVISIONS

DESCRIPTION

REV

DATE

MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY AMH

DESIGNED BY KAJ

CHECKED BY JCF

SHEET TITLE

GENERAL NOTES

DATE 2-16-2024

PROJECT STATUS CONSTRUCTION DOCUMENT

SHEET NUMBER S-001

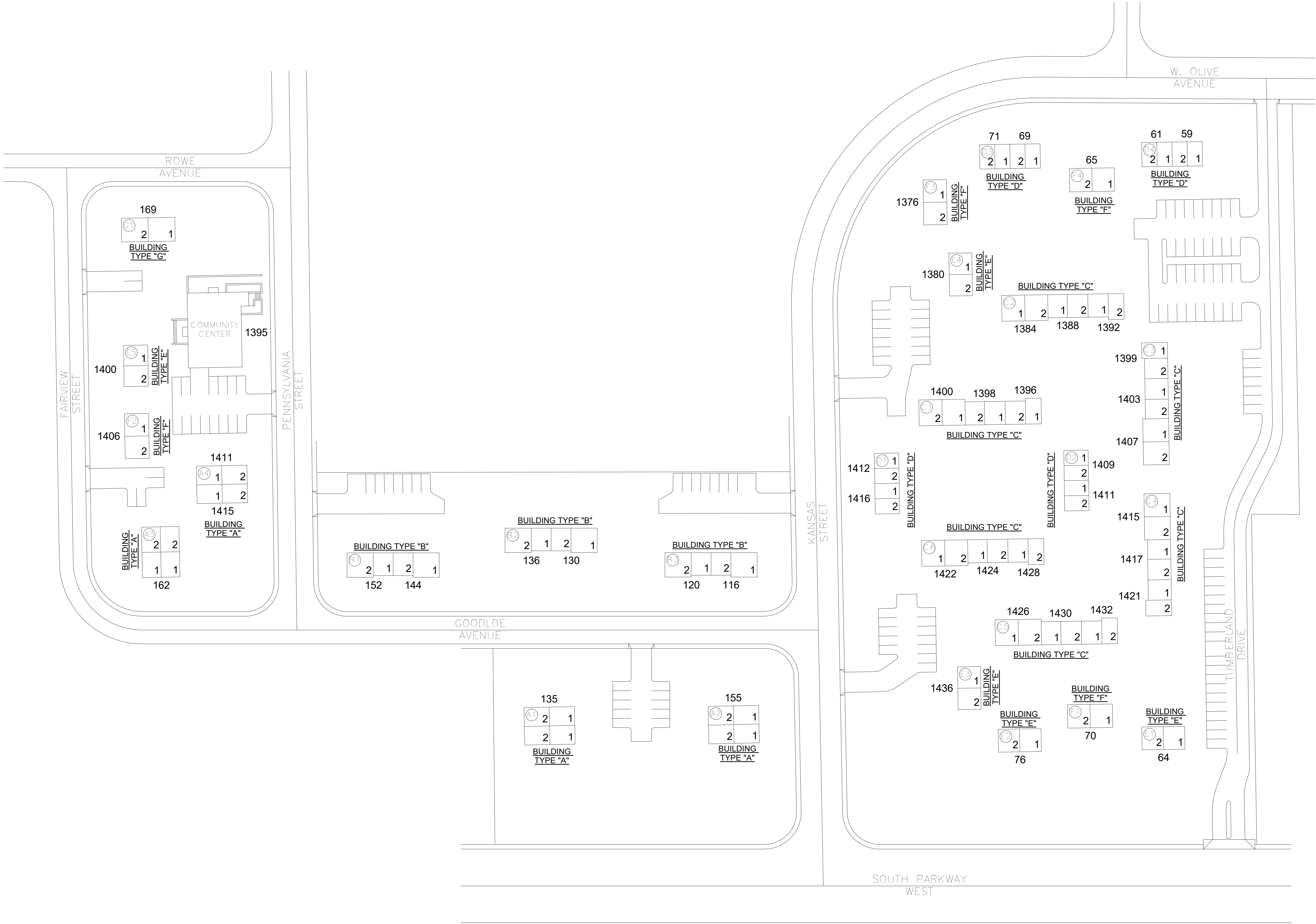
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1

SITE PLAN

1" = 50'-0"

PLAN NORTH



SSR

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www.ssr-inc.com

SSR Project #: 21640920

KELSEY JOSEPHSON

REGISTERED ENGINEER

MEMPHIS, TENNESSEE

NOV 12 2023

02-16-24

REVISIONS

DESCRIPTION

REV

DATE

MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY

AMH

DESIGNED BY

KAJ

CHECKED BY

JCF

SHEET TITLE

OVERALL SITE PLAN

DATE

2-16-2024

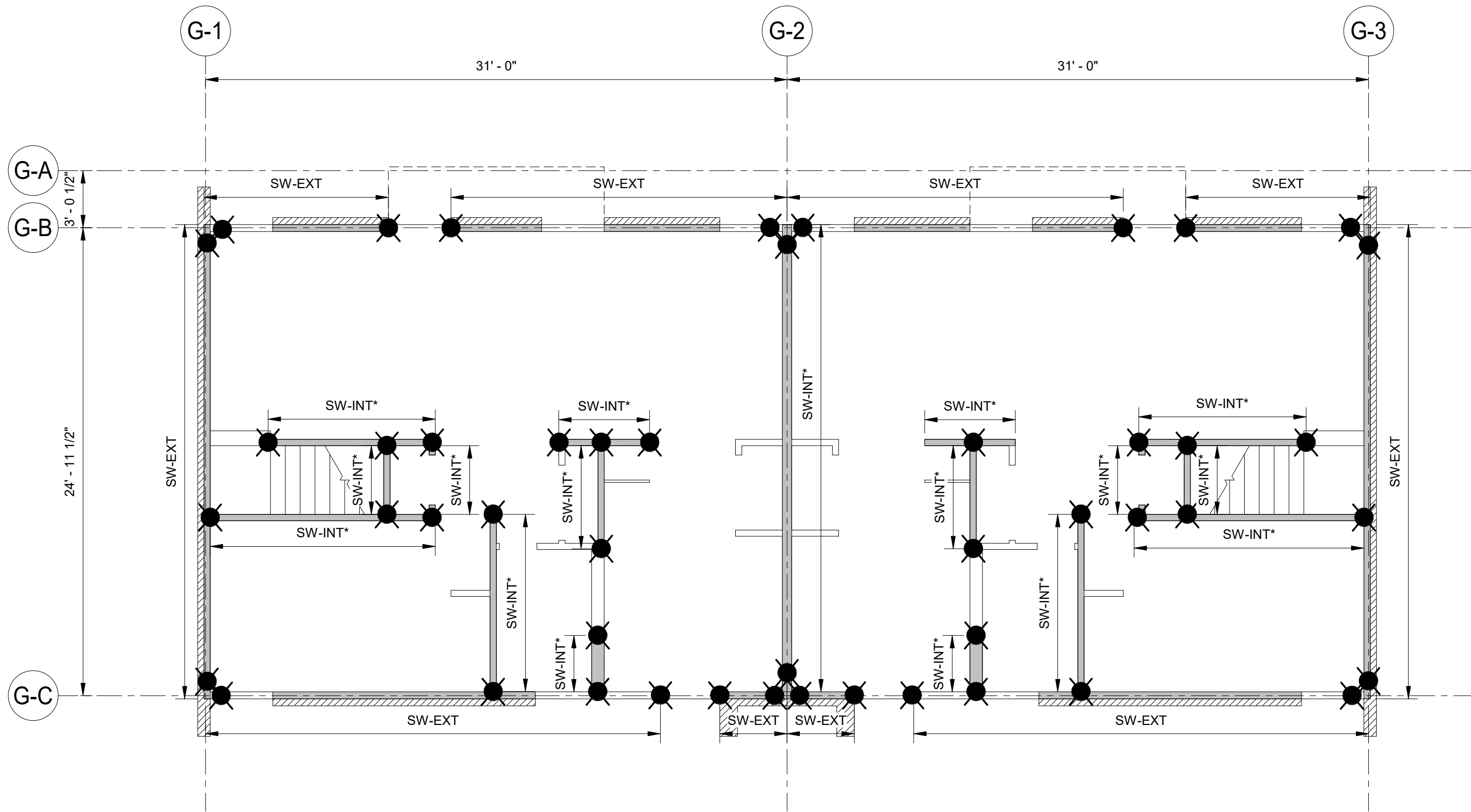
PROJECT STATUS

CONSTRUCTION DOCUMENT

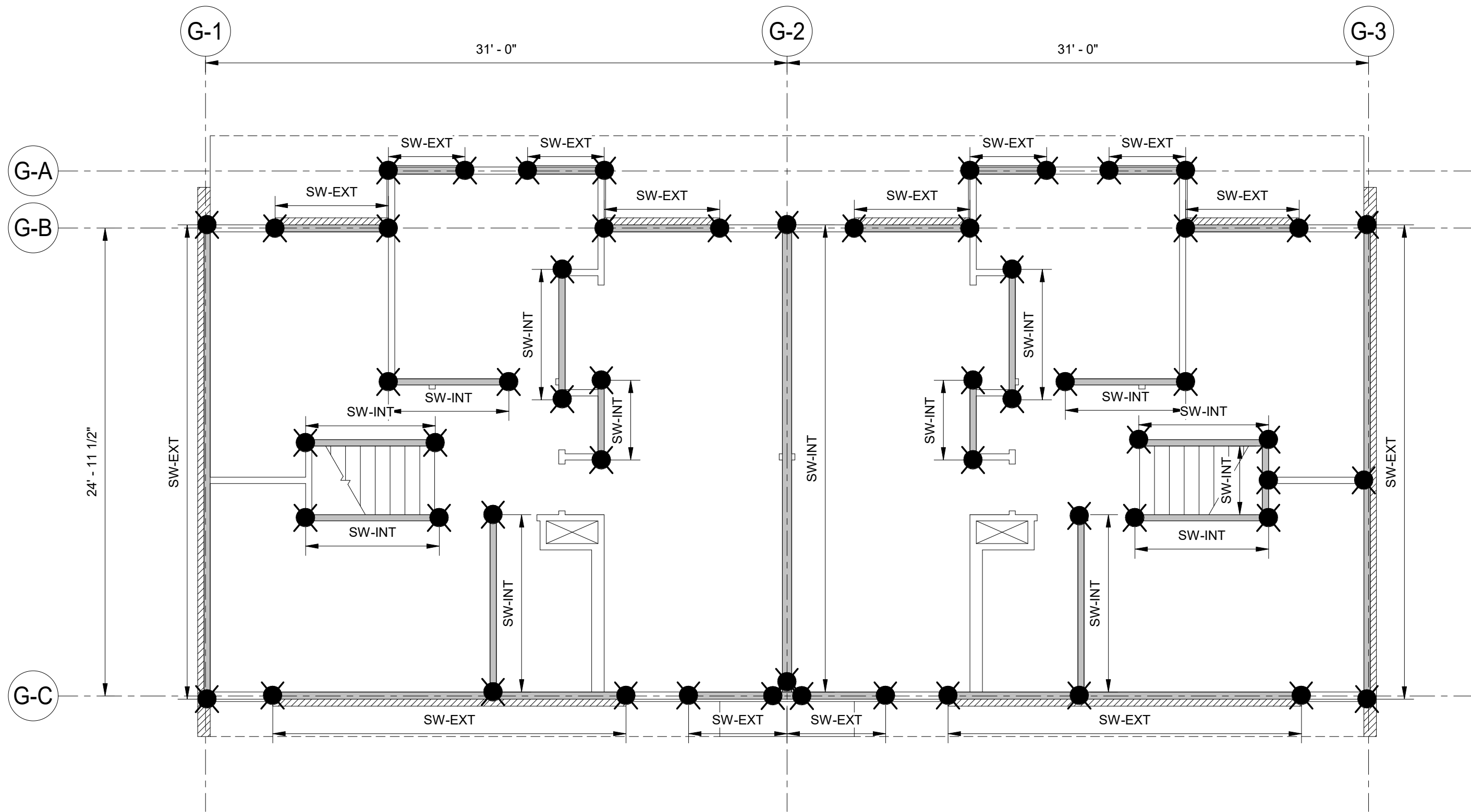
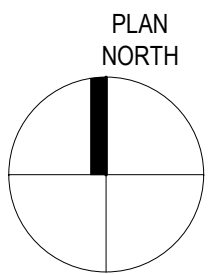
SHEET NUMBER

S-100

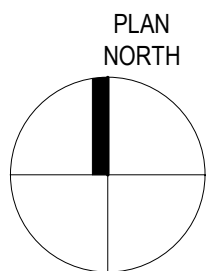
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1 FIRST FLOOR PLAN - BLDG G
3/16" = 1'-0"

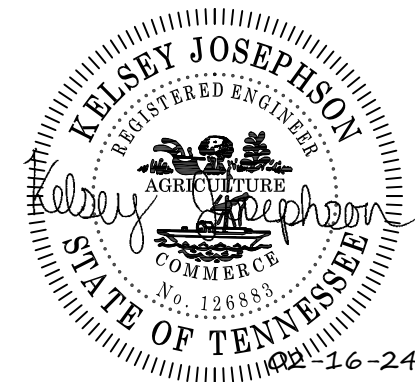


2 SECOND FLOOR PLAN - BLDG G
3/16" = 1'-0"



SHEAR WALL SHEET NOTES:

1.  DENOTES PRIMARY PANEL. REFER TO NOTE 5
2.  DENOTES PERFORATED SHEARWALL HOLDDOWN, REFER TO SHEARWALL SCHEDULE ON 1/S-301 FOR ADDITIONAL HOLDDOWN DETAILS.
3. REFER TO S-301 SHEET FOR SHEARWALL SCHEDULE.
4. ALL HOLDDOWNS ARE CS22 AND HTT5
5. NAILING AND BLOCKING ARE AS SHOWN IN THE SHEARWALL SCHEDULE AND APPLIES TO ENTIRE LENGTH OF WALL.
6. WHERE PENETRATIONS THROUGH THE TOP PLATE OCCUR, REFER TO 1/S-300 FOR DETAILS (TYP. ALL SHEARWALLS)
7. REFER TO DETAIL 3/S-301 FOR HOLDDOWN DETAILS
8. * DENOTES SHEARWALLS WHERE DESIGN UPLIFT MAY EXCEED HOLDDOWN CAPACITY. MAXIMUM HOLDDOWN CAPACITY HAS BEEN PROVIDED BASED ON EXISTING CONDITIONS AND AVAILABLE MATERIAL.



REVISIONS

REV DATE DESCRIPTION

MEMPHIS HOUSING AUTHORITY

MONTGOMERY PLAZA

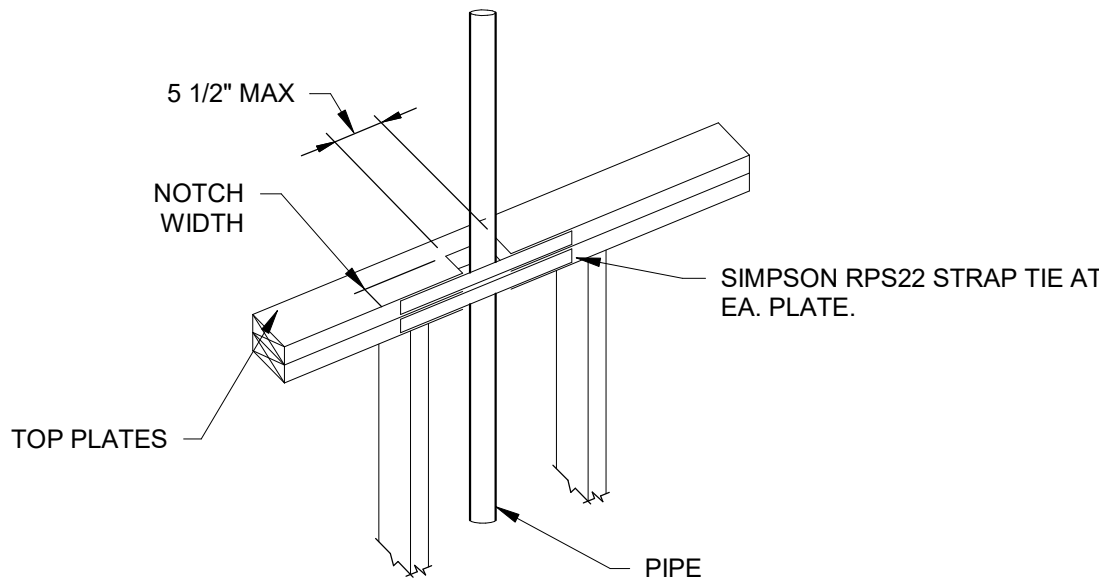
1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY	Author
DESIGNED BY	Designer
CHECKED BY	Checker

SHEET TITLE

BUILDING G PLANS

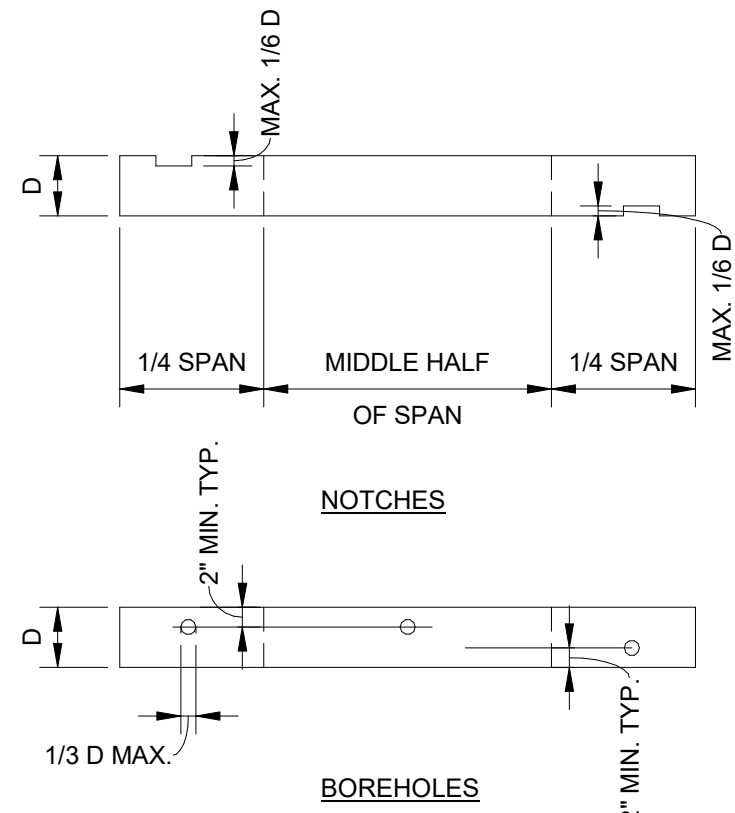
DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-101



- NOTES:**
1. PROVIDE STRAP WHEN NOTCH WIDTH IS BETWEEN 1 3/4" TO 2 1/2".
 2. NOTCHES GREATER THAN 2 1/2" ARE NOT PERMITTED.
 3. NO MORE THAN 2 NOTCHES ARE PERMITTED WITHIN A SHEARWALL.

1 NOTCHING & HOLES IN TOP PLATES

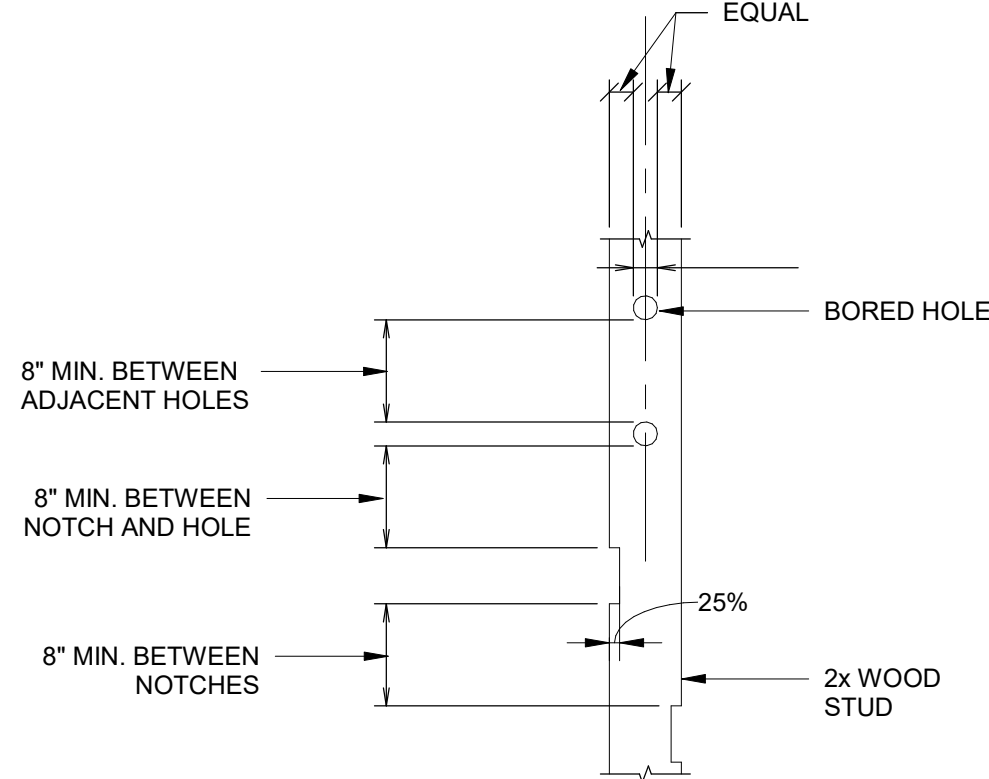
12" = 1'-0"



- NOTES:**
1. THE CLEAR SPACING BETWEEN NOTCHES AND/OR BOREHOLES SHALL BE AT LEAST 12" HORIZONTALLY.
 2. NOTCHES AND HOLES OTHER THAN SHOWN SHALL BE APPROVED BY THE ENGINEER.
 3. NO MORE THAN 3 TOTAL NOTCHES AND/OR BOREHOLES ARE PERMITTED IN ANY SINGLE JOIST.

2 NOTCHING & HOLES IN WOOD JOISTS

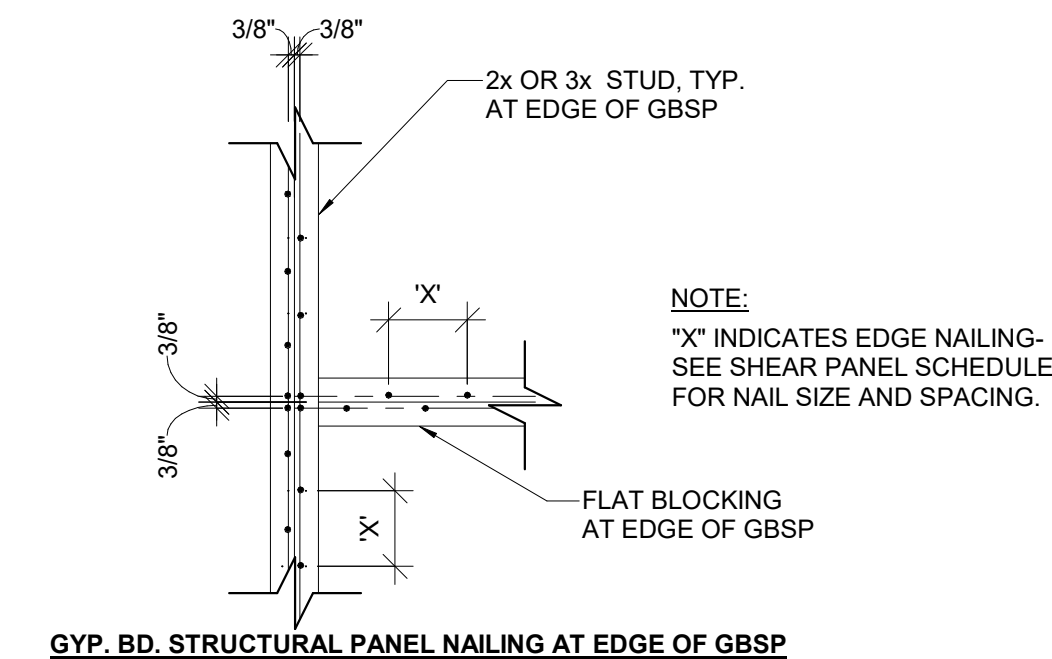
12" = 1'-0"



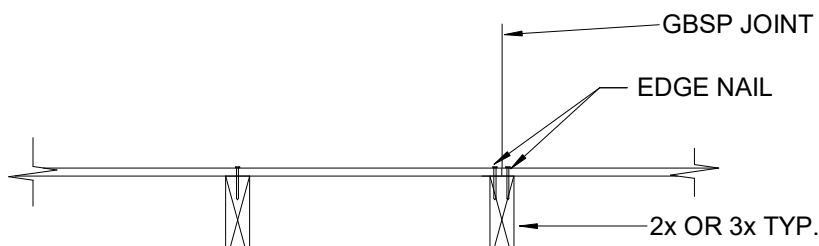
- NOTE:**
1. STUDS IN DESIGNATED SHEAR WALLS SHALL NOT BE NOTCHED OR BORED.
 2. STUDS IN ALL OTHER WALLS MAY BE NOTCHED OR BORED IN ACCORDANCE WITH THIS DETAIL.
 3. THE CUMULATIVE HORIZONTAL DIMENSION OF BORED HOLES AND NOTCHES, LOCATED WITHIN A 12 INCH VERTICAL HEIGHT:
A. DOES NOT REQUIRE REINFORCEMENT IF LESS THAN 1/3 THE STUD DEPTH.
B. SHALL BE REINFORCED IF BETWEEN 1/3 AND 1/2 THE STUD DEPTH, WITH CS22 STRAP X 18", CENTERED ON THE OPENING AND FULLY NAILED.
C. SHALL NOT EXCEED 1/3 THE STUD DEPTH.
 4. BORED HOLES SHALL BE CENTERED ON THE STUD CENTERLINE.

3 NOTCHING & HOLES ALLOWED IN 2X WOOD STUDS

12" = 1'-0"



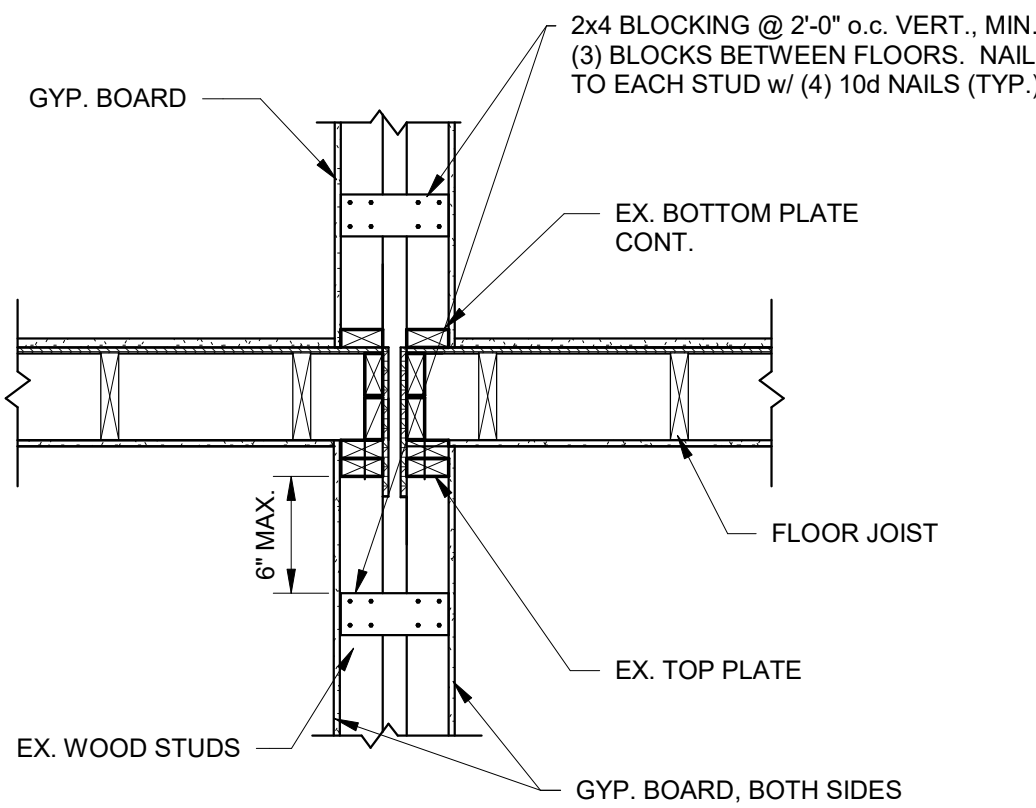
GYP. BD. STRUCTURAL PANEL NAILING AT EDGE OF GBSP



GYP. BD. STRUCTURAL PANEL ONE SIDE: PLAN

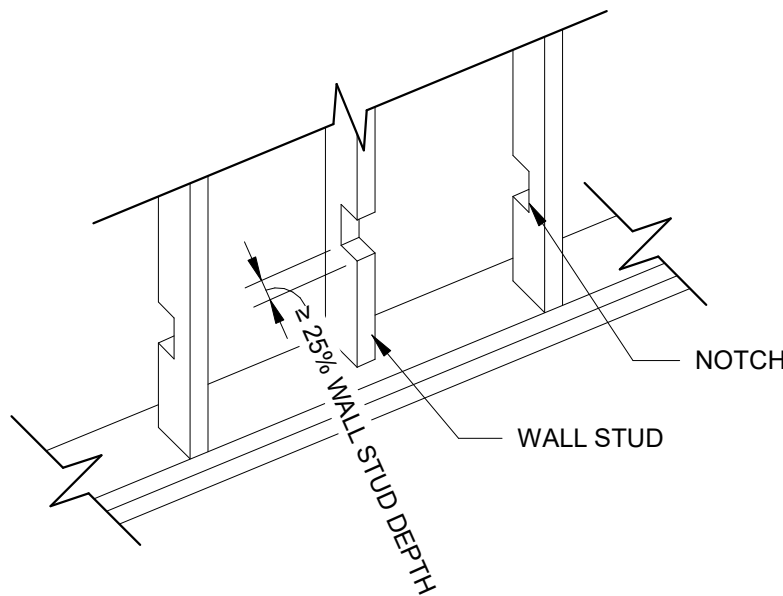
4 DETAIL

1" = 1'-0"



5 BLOCKING DETAIL AT TENANT WALL

3/4" = 1'-0"



- NOTES:**
1. THE ABOVE CONDITION HAS BEEN OBSERVED IN MULTIPLE LOCATIONS AND SHALL BE ADDRESSED AS FOLLOWS:

A. WHERE STUDS NOT IN SHEARWALLS HAVE BEEN CUT IN EXCESS OF THE LIMITATIONS SHOWN IN DETAIL 3/S-300 AND AS SHOWN ABOVE, THEY SHALL BE REPLACED IN FULL AND PIPING SHALL BE RUN SO THAT THE STUDS ARE CUT WITHIN THE PROVIDED LIMITATIONS.

B. WHERE STUDS IN SHEARWALLS HAVE BEEN CUT THEY SHALL BE REPLACED IN FULL AND PIPING SHALL BE RUN AROUND THE STUDS TO AVOID CUTTING THEM.

7 REPAIR AT EXCESSIVE NOTCH

12" = 1'-0"



REVISIONS

DESCRIPTION
REV DATE

MEMPHIS HOUSING AUTHORITY
MONTGOMERY PLAZA
1395 PENNSYLVANIA ST. MEMPHIS, TN. 38106

DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE

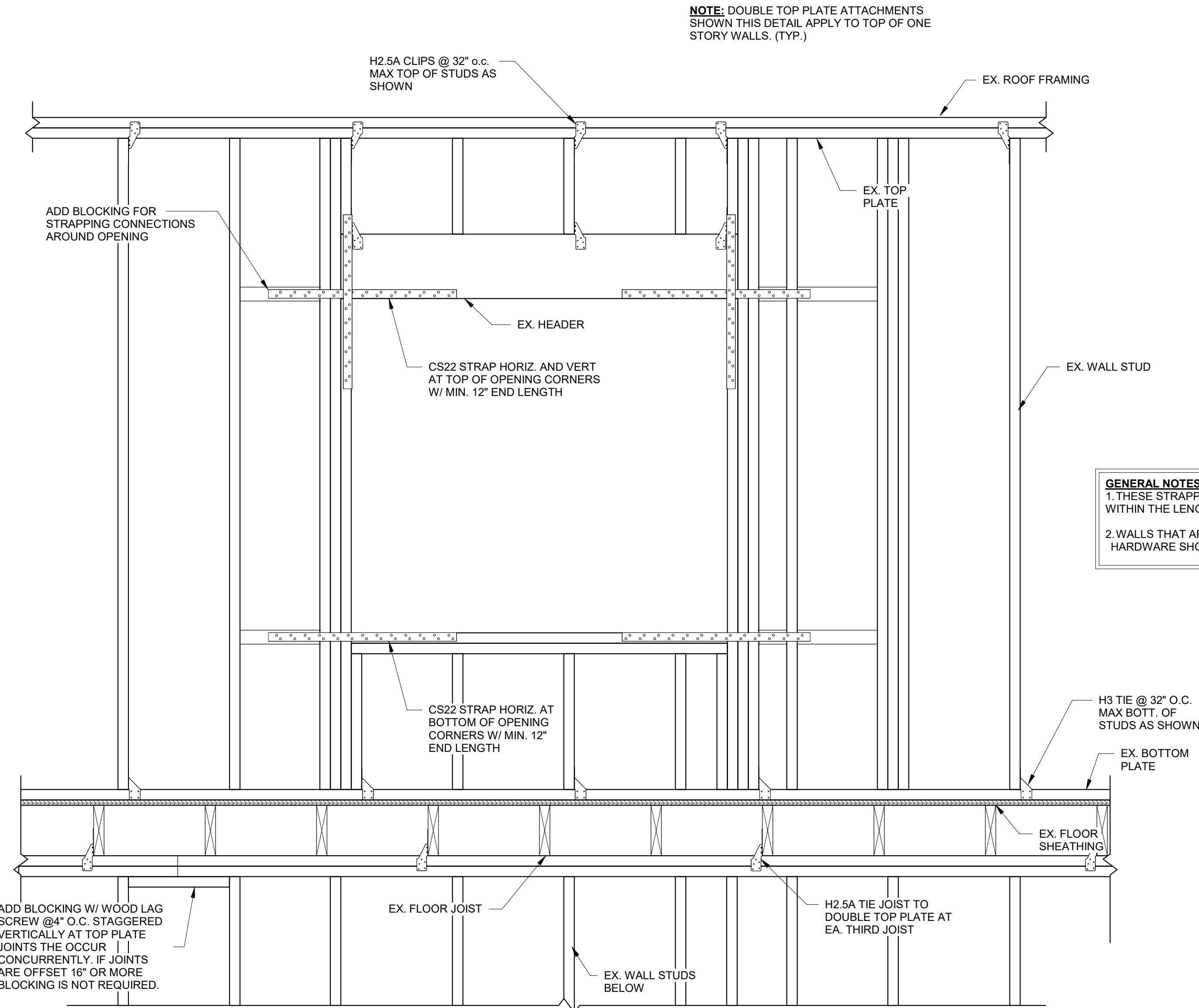
SHEARWALL DETAILS

DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-300

SHEARWALL SCHEDULE										
2nd FLOOR					1st FLOOR					REMARKS
MARK	SHEATHING	NAILING (2)	CHORD HOLD DOWN (1)	SILL PLATE ANCHOR	SHEATHING	NAILING (2)	CHORD HOLD DOWN (1)	HOLD DOWN ANCHOR BOLT (1)	SILL PLATE ANCHOR BOLT	
SW-EXT	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	CS22	WOOD LAG SCREWS	5/8" GYP. BOARD	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 62100H	THDB 62100H @ 12" O.C.	-
SW-INT	5/8" GYP. BOARD, DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	CS22	WOOD LAG SCREWS	5/8" GYP. BOARD DOUBLE SIDED	6d @ 4" ON PERIMETER, 7" INTERIOR	HTT5	THDB 25300H	PAF HIRI X-U @ 4" O.C. STAGGERED	-
SHEARWALL SCHEDULE NOTES: 1) ALL HOLD DOWNS, STRAPS, BOLTS, AND HARDWARE INDICATED ARE SIMPSON STRONG TIE HARDWARE OR EQUAL. ALL NAILS INDICATED ARE COMMON NAILS, U.N.O. 2) ALL EDGES OF SHEATHING SHALL BE FULLY BLOCKED WITH FULL DEPTH 2X BLOCKING AND NAILED ACCORDING TO THE SCHEDULE. FIELD NAILING OF SHEATHING SHALL BE AT 6" O.C.										

1
12" = 1'-0"

SHEARWALL BLDG SCHEDULE



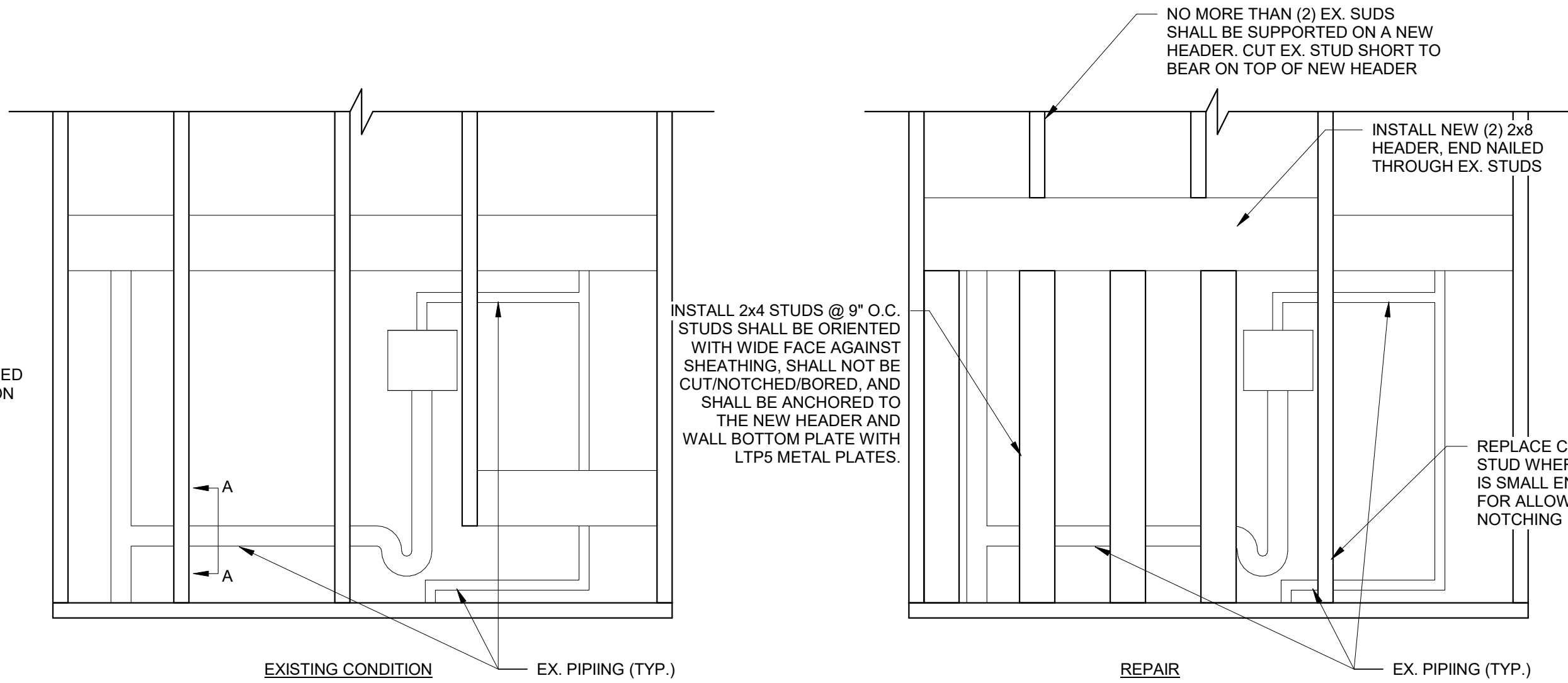
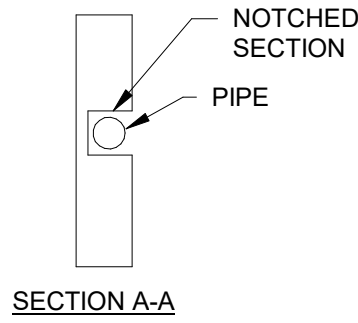
ELEVATED FLOORS

3
1" = 1'-0"

MULTI-STORY
STRAPPING REQUIREMENTS AT
PERFORATED SHEARWALL
OPENINGS

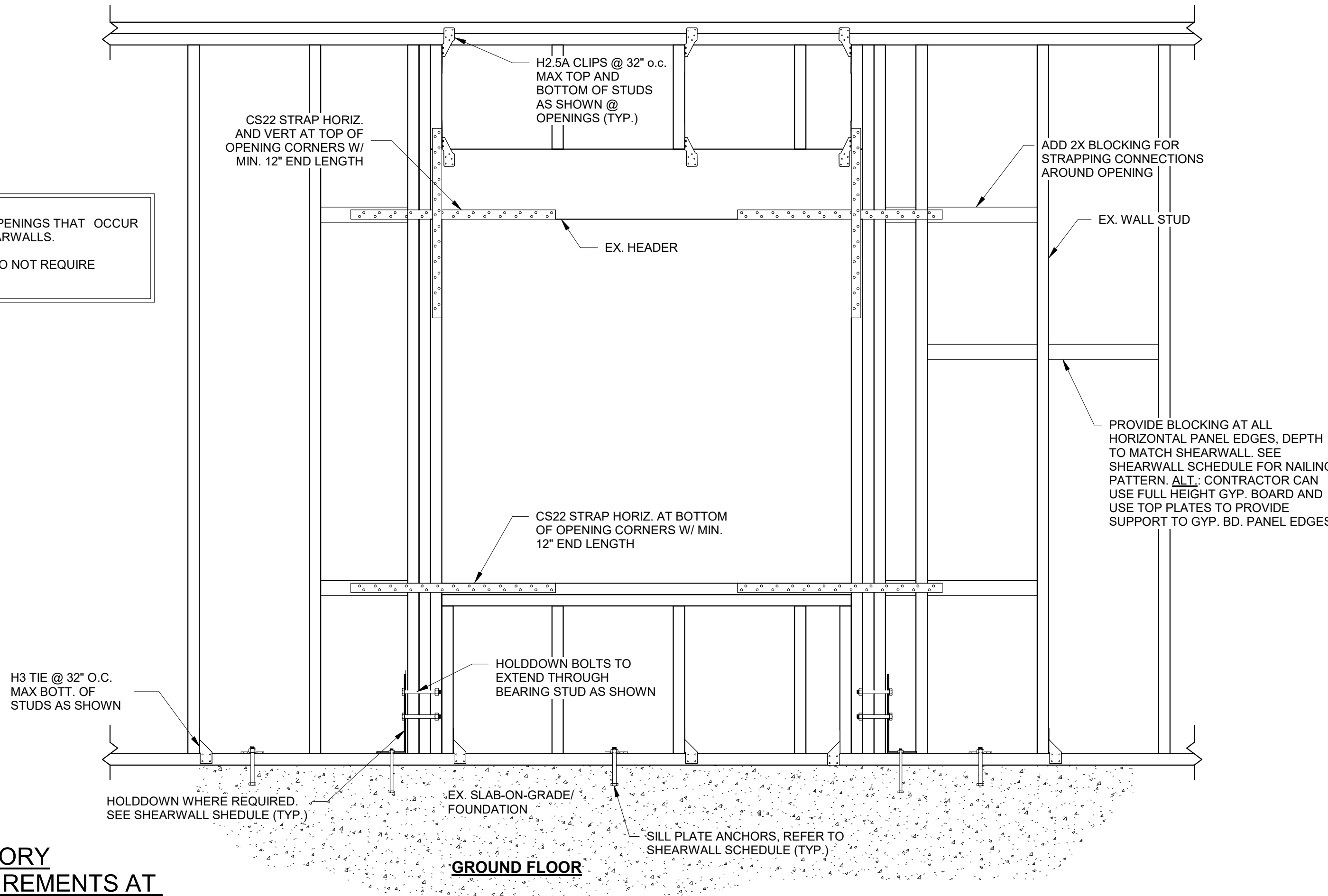
3
1" = 1'-0"

SHEARWALL STRAPPING REQUIREMENTS



2
1" = 1'-0"

REPAIR OF STUDS IN NON-SHEAR WALL



REVISIONS		DESCRIPTION
REV	DATE	

DRAWN BY	AMH
DESIGNED BY	KAJ
CHECKED BY	JCF

SHEET TITLE

SHEARWALL DETAILS

DATE	2-16-2024
PROJECT STATUS	CONSTRUCTION DOCUMENT
SHEET NUMBER	S-301