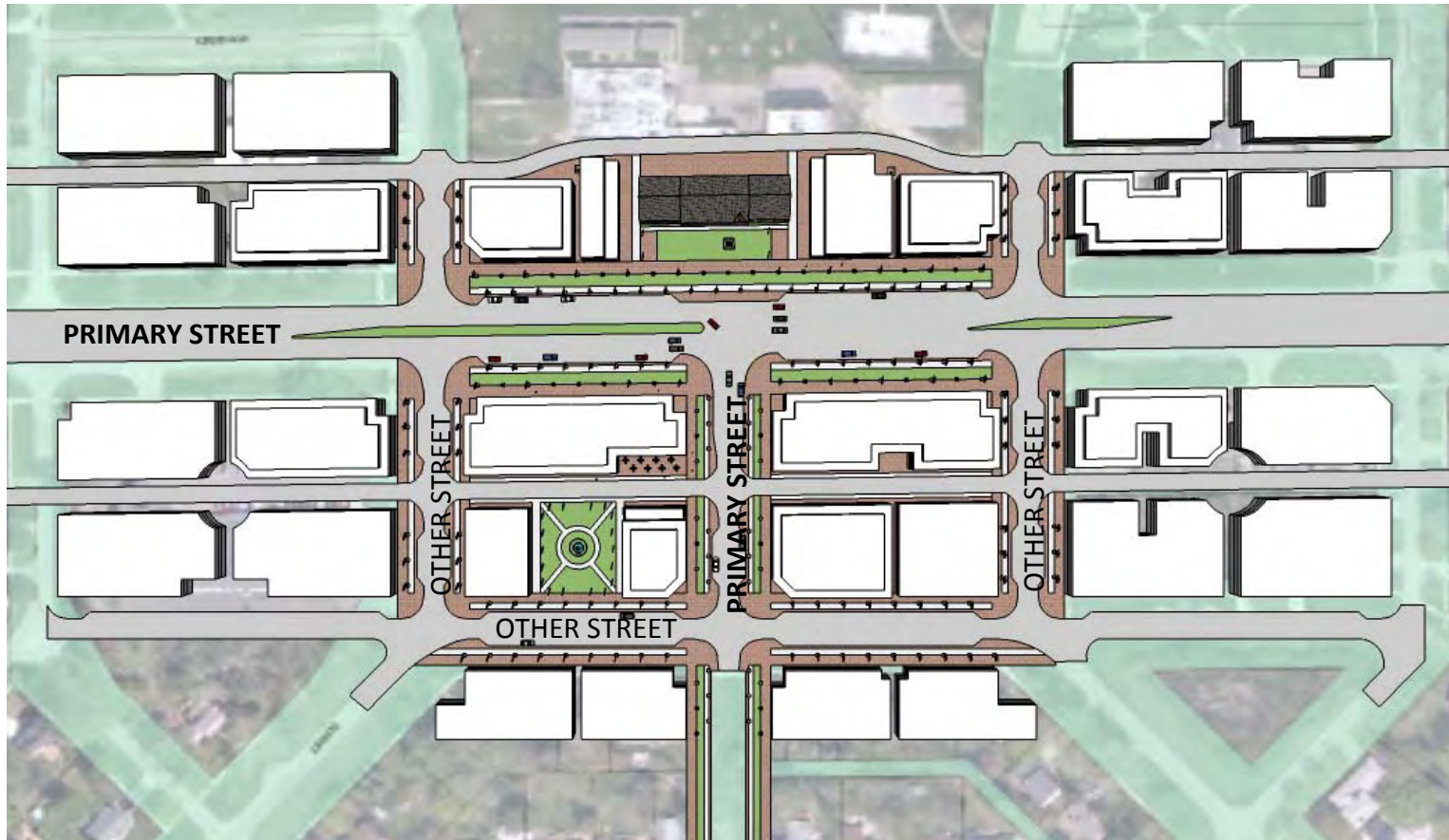


City of Lathrup Village

Design Guidelines

Village Center District





This conceptual development plan illustrates how the vision of a Village Center may be developed over time in the City of Lathrup Village. An essential element of this plan includes the designation of primary streets that would function as the “Main Streets” for the Village Center. The primary streets, labeled above, are intended to be pedestrian oriented, with buildings occupying most of the street frontage. As development occurs over time, special attention should be paid to the historic structure on the north side of Southfield Road to ensure this structure maintains a sense of significance to the City.

Intent

The intent of the City of Lathrup Village Design Guidelines is to assist with the implementation of the Master Plan, which establishes a vision for a compact and unique downtown district for the City of Lathrup Village. The zoning ordinance supports this vision through the creation of a Village Center district where building and open space regulations allow for the redevelopment of property with mixed use buildings that are laid out in a pedestrian-oriented manner reflecting a traditional small town urban form.

Graphics, pictures and examples are incorporated into the Design Guidelines to give the reader a sense of how the City anticipates development will appear within the Village Center. These guidelines cover renovation of historic structures, infill development, mixed use buildings, open space, streets, and the public realm.

It is the intent of these Design Guidelines to encourage creativity when planning an infill or redevelopment project. The Planning Commission welcomes applications that apply these guidelines in a positive manner, fostering a high quality of design and adding value to the City of Lathrup Village.

Note: the examples found in this document are intended to illustrate design concepts and are not intended to be exactly replicated in the City of Lathrup Village.

GREEN BUILDING

Stormwater Management

BUILDING MASS, SCALE, & FORM

Build-to-Line
Building Mass
Building Scale & Form

BUILDING ELEMENTS

Building Composition
Windows & Doors
Building Materials
Canopies & Awnings
Balconies & Overhangs
Building Lighting

SIGNS

WINONA
SPORTSWEAR · SWEATERS · UNIQUE GIFTS
224

PARKING & FUNCTIONAL ELEMENTS

STREETS, ALLEYS, AND WALKWAYS

Pedestrian Environment
Street Trees & Plantings
Street Lighting
Street Furniture
Public Open Space

LANDSCAPING

BUILDING MASS, SCALE, & FORM

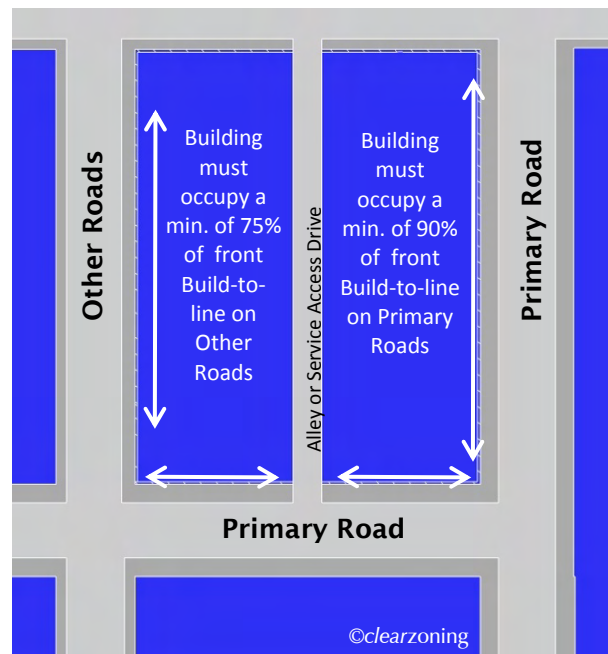
Build-to-Line
Building Mass
Building Scale & Form

Goal: Use buildings to create a comfortable street wall that gives pedestrians a protected feeling. The few breaks in the street wall of any block shall be used for providing pocket parks, plazas, courtyards or linkages and passageways to the rear of buildings. Off-street parking in front of buildings is prohibited. Roads identified as Primary Roads will feature the most intact street walls, while other roads may offer breaks in the street wall to accommodate pedestrian and vehicular access.

Guidelines

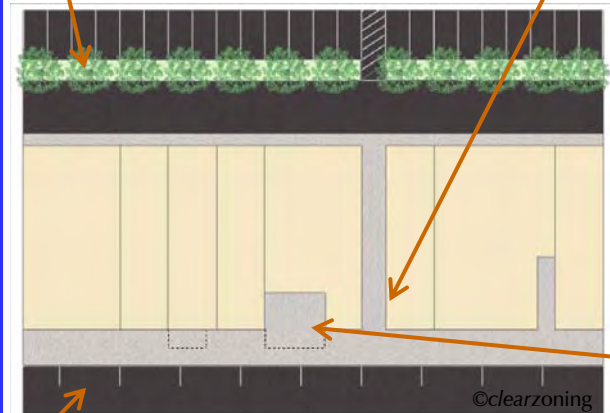
Build-to-Line

1. The build-to-line is that line at which the property line meets the public right-of-way.
2. Buildings shall be placed at the build-to-line in all cases to provide a continuous street wall along the sidewalk.
3. On primary roads, buildings shall occupy 90% of the build-to-line; on other roads, buildings shall occupy 75 % of the front build-to-line.



Off-street parking in the rear of the building is shared between users.

A passageway between buildings facilitates pedestrian movement between the fronts and backs of buildings, allowing linkages and connections between rear parking areas and the main street.

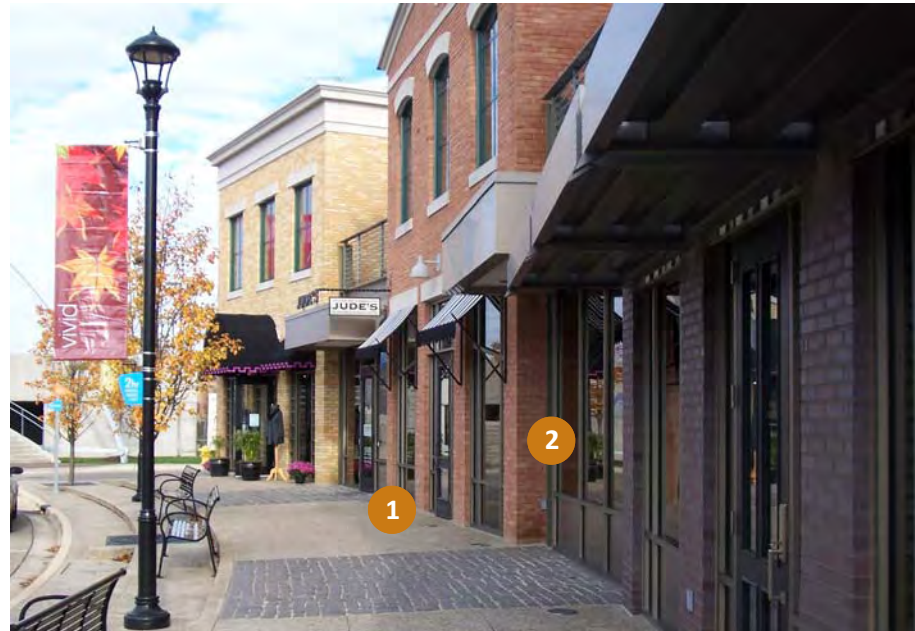
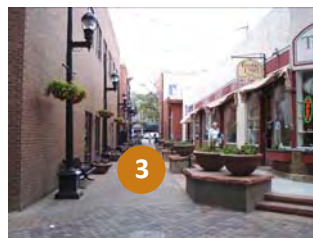
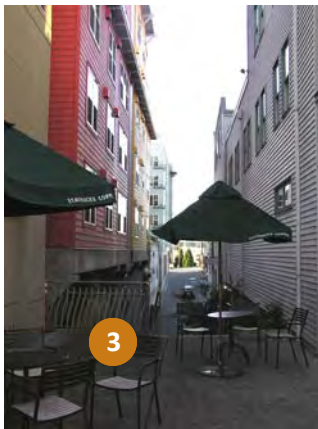


On-street parking is provided

Up to a 15 ft. setback from the front Build-to-Zone may be permitted to provide an open space plaza, as long as 35% of the total frontage meets the Build-to-Zone. This open space plaza maintains the integrity of the street wall while providing an opportunity for protected outdoor dining, seating, and landscape.

Examples

- 1 In these examples (top: East Grand Rapids, Michigan and bottom: Milford, Michigan), the buildings create a continuous street wall along the sidewalk.
- 2 The street wall is made more interesting by the small jogs in the building front, where, for example, windows are inset and doorways are recessed.
- 3 Pedestrian linkages between buildings should be enhanced with lighting, landscaping, and street furniture to encourage their use.
- 4 Building insets may be used for a variety of purposes, including outdoor dining, or a simple gathering space.



Images (clockwise from top left: Westlake, OH; Carmel CA; Georgetown, VA

BUILDING MASS, SCALE, & FORM

Build-to-Line
Building Mass
Building Scale & Form

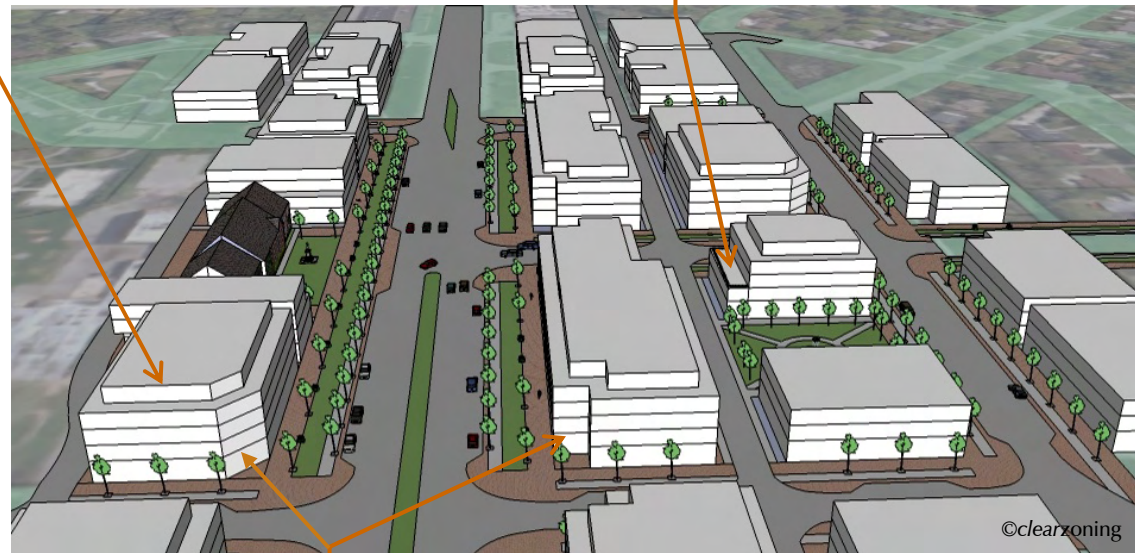
Guidelines

Building Mass

1. Buildings should be at least two stories in height, and will be a maximum of five stories on Primary Roads, when the top floor is set back ten (10) feet from all building sides. Buildings will be a maximum of three stories on other roads.
2. The first floor of buildings should be emphasized and shall be at least 14 ft; remaining floors shall be at least ten (10) ft.

With the 5th floor setback 10 ft from all building sides, additional height is gained, while preserving the feeling on the street of 4-story buildings.

Buildings may feature other setbacks that could provide usable space for terraces and landscaping.



Setbacks or notches in buildings provide relief from their massing and create opportunities for special features, including landscaping, seating or public art.

Examples

- 1 The top floors of these buildings are set back; allowing extra height and usable space, but maintaining a feeling of shorter buildings at the street.
- 2 The ground floor should be at least 14 ft in height to maintain a pedestrian scale.
- 3 Setbacks on a building may be put to good use with landscaping, terraces, and furniture.
- 4 Setbacks, notches, and cutouts that break up the building plane create opportunities for landscaping and public art.



Image above top left from 3Mass in Indianapolis

BUILDING MASS, SCALE, & FORM

Build-to-Line
Building Mass
Building Scale & Form

Guidelines

Building Scale and Form

1. Patterns are created along the street by the repetition of similarly-sized buildings that help maintain the coherent visual image of the downtown character.
2. Façade height of new buildings should fall within the established range of the block.
3. Rectangular forms should be dominant and buildings should be vertically oriented.
4. Corner buildings should exhibit similar facades on all street-facing sides.

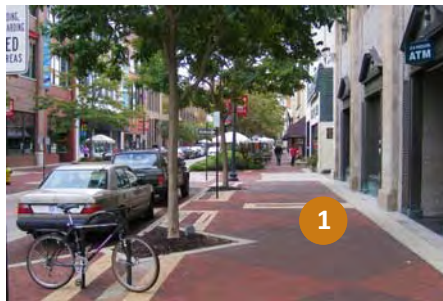
Buildings should relate to one another, not by duplicating each other, but by respecting the scale and form of those along the same street.

Relate the height of the building to the street width.



Examples

- 1 The scale of these buildings relates well to the street width, creating a comfortable pedestrian experience.
- 2 Vertically-oriented building elements create a feeling of height and draw the eye upward, generating interest and a feeling of movement.
- 3 Interesting corner features can break up the mass of a building, creating a gateway, or drawing pedestrians around to the other building sides.
- 4 The scale and forms of adjacent buildings fits in contextually with adjacent buildings, creating a harmonious downtown fabric.



BUILDING ELEMENTS

Building Composition
Windows & Doors
Building Materials
Canopies & Awnings
Balconies & Overhangs
Building Lighting

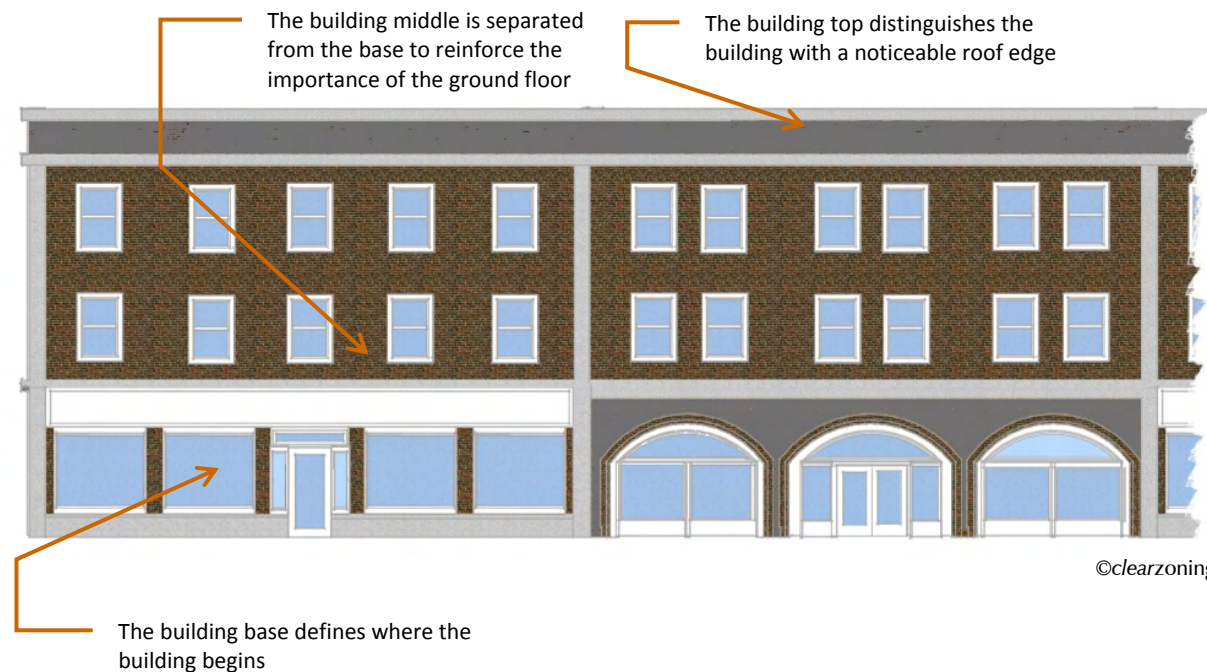
Goal: Buildings should be designed in such a way as to make a positive contribution to the community identity and enhance the pedestrian experience. Design elements should draw pedestrians down a street, promote a feeling of safety, and contribute to activity in the public realm.

Buildings may be either traditional or contemporary in style, as long as the essential elements that contribute to pedestrian safety and interest are present. Diversity of design that sparks the imagination, while respecting the character of the Village Center, is encouraged.

Guidelines

Building Composition

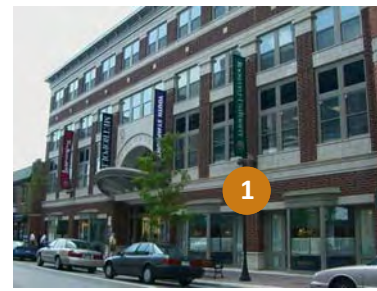
1. Building facades shall be comprised of three distinct components: a base, middle, and top.
2. The building base defines where the building begins and enhances the pedestrian experience by providing an identifiable storefront entry, transparent windows, and architectural interest.
3. The building middle shall be separated from the ground floor by a visible break, primarily to reinforce the importance of the ground floor to the pedestrian.
4. The building top distinguishes the building with a noticeable roof edge.
5. Corner buildings should feature elements that reflect their prominent corner position.



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Examples

- 1 These buildings have a clear building base, middle, and top.
- 2 When the ground floor is treated in a special way from the rest of the building, it is clear that the building is designed for people, which is critically important in a downtown setting.
- 3 These corner buildings feature architectural elements that signify the prominent location of these buildings.



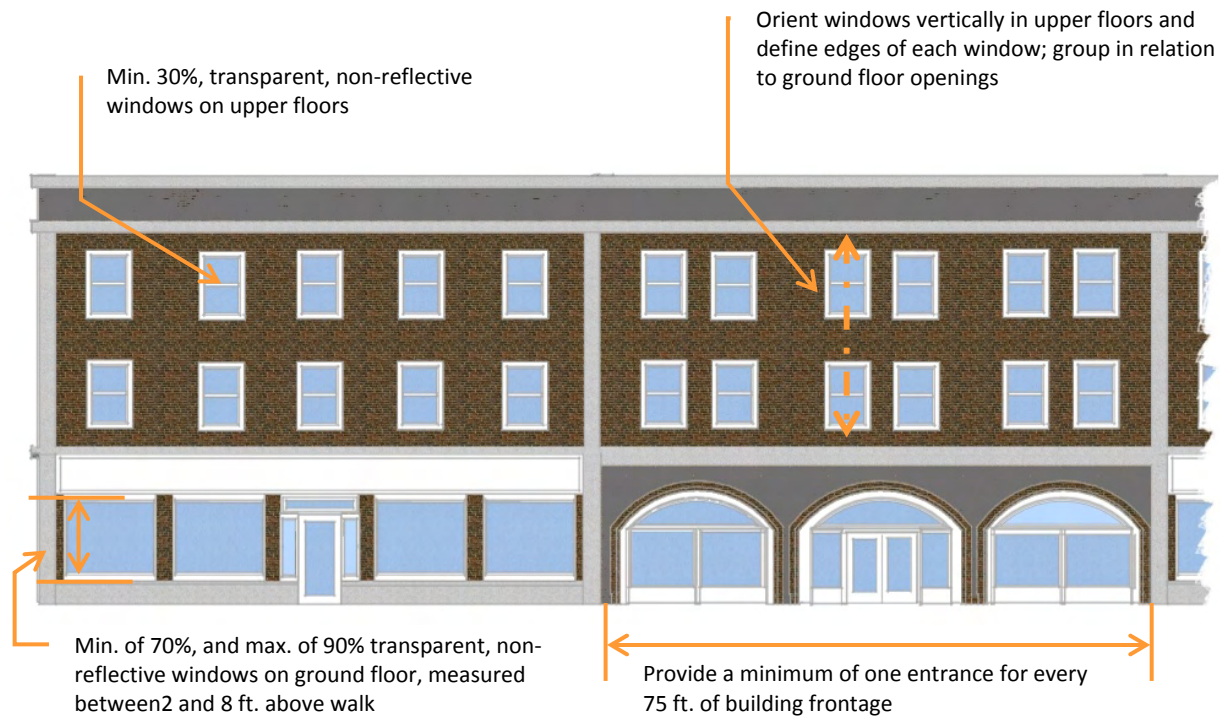
BUILDING ELEMENTS

Building Composition
Windows & Doors
Building Materials
Canopies & Awnings
Balconies & Overhangs
Building Lighting

Guidelines

Windows & Doors

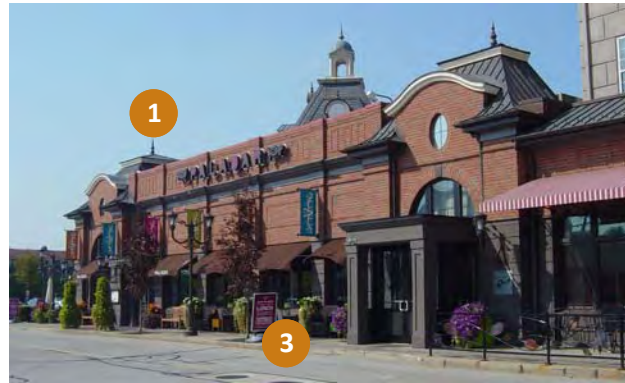
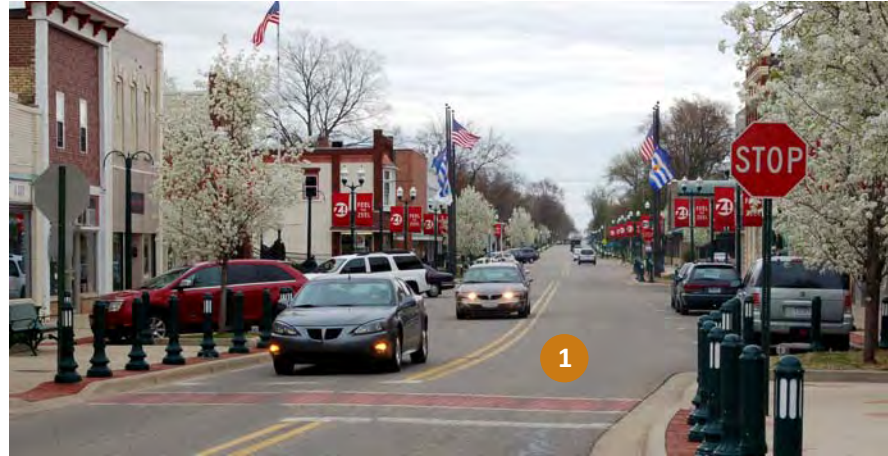
1. All upper floor window and ground floor door openings shall be vertically oriented to reinforce a unifying rhythm between buildings in the Village Center.
2. Window glass shall be clear or lightly tinted and equal at least 70%, but not more than 90% of the portion of the façade between two(2) and eight (8) feet from the ground to promote a sense of transparency between the public realm and ground floor businesses.
3. Entry ways shall be provided for every storefront, and at least every 75 feet in horizontal building length, with the primary business entrances on the street.



©clearzoning

Examples

- 1 Window and door openings are vertically oriented, a theme repeated in other streetscape elements, resulting in an appealing rhythm
- 2 As windows are transparent at the ground floor, the lines between public and private space is blurred, adding to a feeling of activity, engagement, and safety.
- 3 Entry ways are easy to find, welcoming pedestrians into buildings and creating a break in the building wall.



BUILDING ELEMENTS

Building Composition
Windows & Doors
Building Materials
Canopies & Awnings
Balconies & Overhangs
Building Lighting

Guidelines

Building Materials

1. At least 90% of all exterior building facades facing a street, park, or plaza shall be finished with a combination of two or more of the following: glass, brick, cut or cast stone, wood, cementitious board, integrally colored concrete units, or textured stucco.
2. For buildings facing other buildings, 70% of the building materials shall be comprised of the materials noted above.
3. Street-facing facades shall be divided vertically into segments no more than 60 feet in width. There shall be a change in the vertical or horizontal building plane when there is a color or material change.

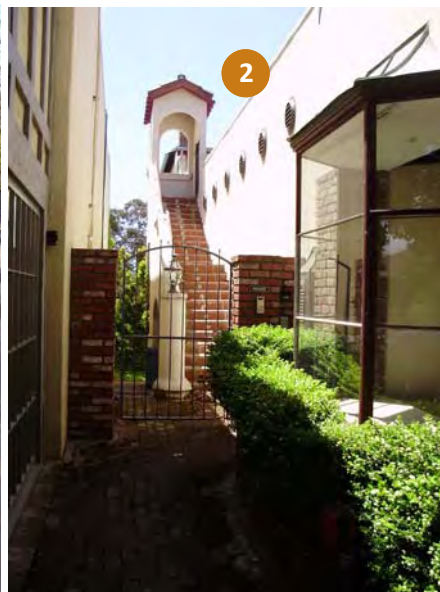
At least 90% of building facades facing the public street, park, or plaza shall be finished with brick, glass, cut/cast stone, wood, and the like.



At least 70% of building facades facing other buildings shall be finished with brick, glass, cut/cast stone, wood, and the like.

Examples

- 1 At least 90% of the building materials facing a street public space are glass, brick, cut/cast stone, wood, cementitious board, and the like.
- 2 At least 70% of building materials facing other buildings are of materials noted above.
- 3 Street-facing facades are divided vertically into segments no more than 60 feet wide
- 4 A change of colors or materials on a building façade is more fully distinguished when there is a change in the vertical or horizontal building plane.



BUILDING ELEMENTS

Building Composition
Windows & Doors
Building Materials
Canopies & Awnings
Balconies & Overhangs
Building Lighting

Guidelines

Canopies, Awnings, Balconies & Overhangs

1. Canopies and awnings may be used to add detail and interest to buildings, and should not be used primarily for signage.
2. Straight shed awnings shall be used, and they may encroach beyond the front or street-side build-to-line, but must avoid the canopy area of street trees.
3. Awnings shall serve to cover ground floor windows and be positioned immediately above the ground floor windows, in scale with the window and overall building façade.
4. Awning materials and colors shall be complementary to the building façade.
5. The vertical drip of an awning may feature signage, with letters no more than 8 inches in height and covering no more than 10% of the awning width.
6. Balconies and overhangs may extend up to six feet from the building façade.
7. Balconies and overhangs shall be comprised of materials that complement the building.

Canopies and awnings primarily serve to add interest to buildings, not as signage

Balconies and overhangs may extend up to six feet from the building façade, and shall be comprised of materials that complement the building.



Straight shed awnings shall be used and may encroach the build-to-line but must avoid the canopy area of street trees.

Examples

- 1 Canopies, awnings, balconies, and overhangs add detail and interest to buildings.
- 2 Awnings shall serve to cover ground floor windows and doors, and be in scale with the window and overall building façade.
- 3 The materials and colors of canopies, awnings, balconies, and overhangs should be compatible with the overall building façade.
- 4 Balconies and overhangs may extend up to six feet from the building façade.



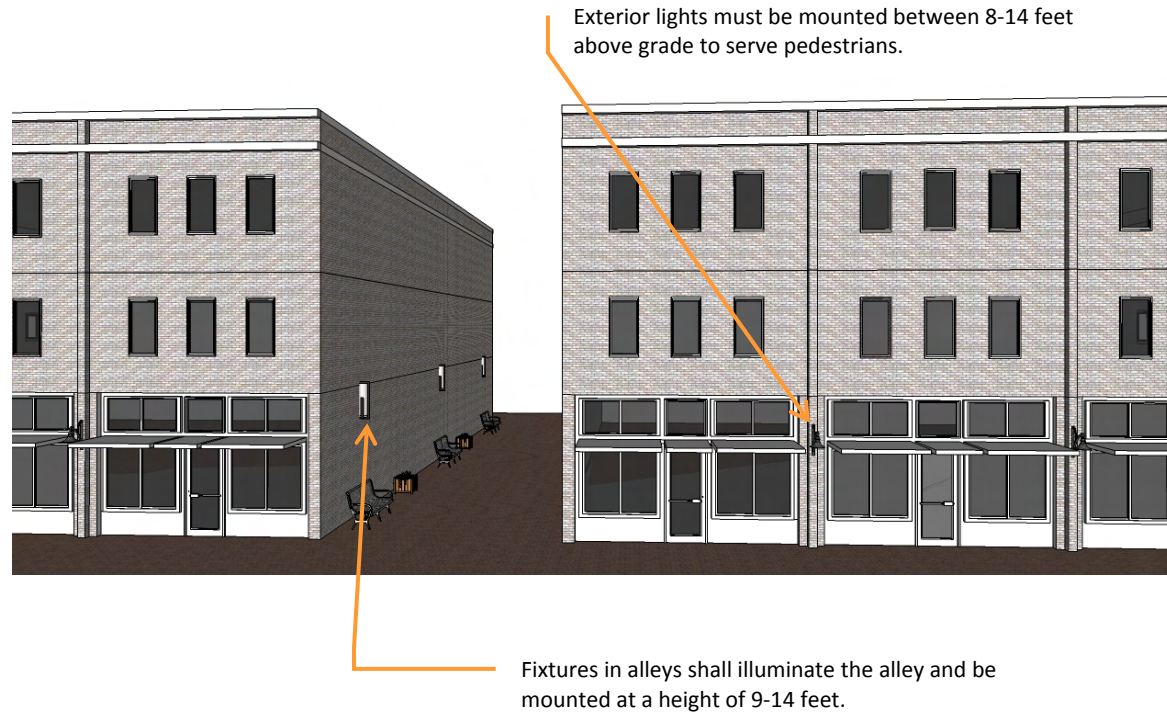
BUILDING ELEMENTS

Building Composition
Windows & Doors
Building Materials
Canopies & Awnings
Balconies & Overhangs
Building Lighting

Guidelines

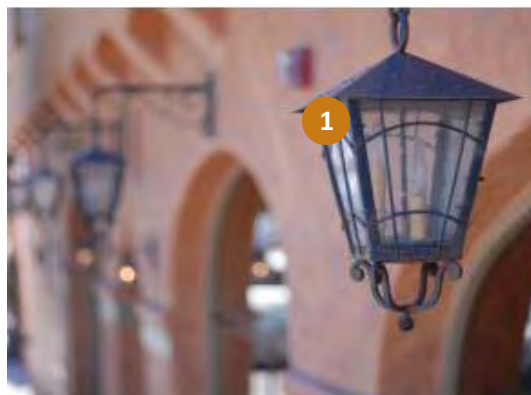
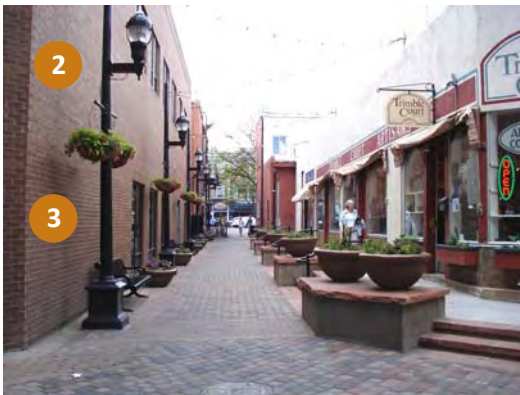
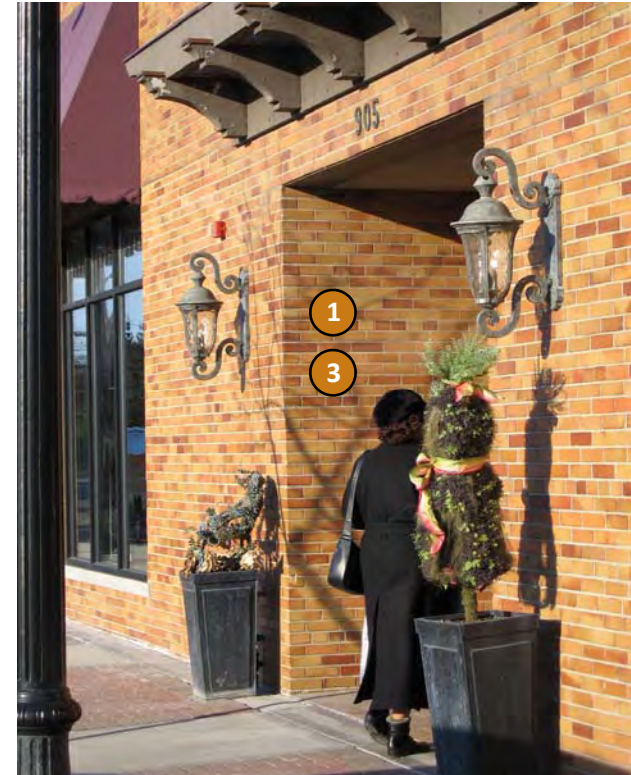
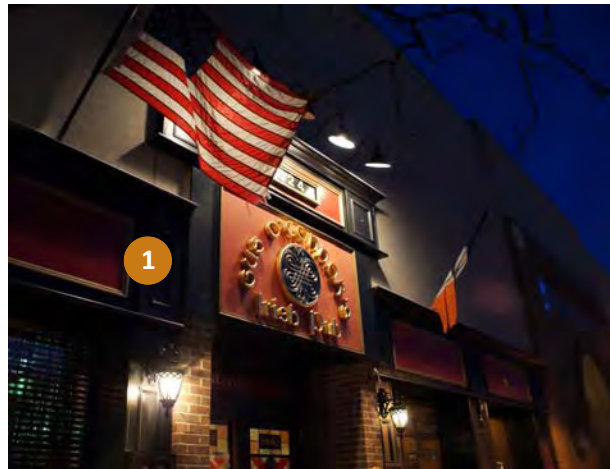
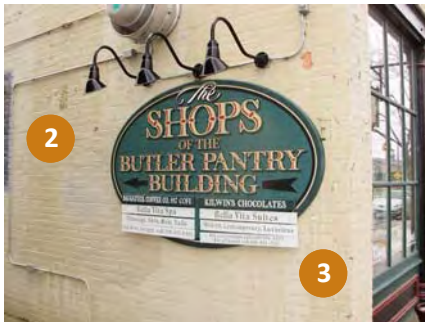
Building Lighting

1. Exterior lights must be mounted between eight and fourteen feet above grade to add architectural and dimensional interest, as well as promote a feeling of safety and visibility for pedestrians, and be styled to complement the building.
2. Fixtures in alleys shall illuminate the alley, and be mounted at pedestrian height—between eight and fourteen feet in height.
3. Light fixtures should complement the building façade.



Examples

- 1 Exterior building lights on a building façade add architectural and dimensional interest, and help create a safe environment.
- 2 Alley fixtures shall illuminate the entire space for safety and visibility.
- 3 Light fixtures should complement the building façade, and be mounted at a height convenient and attractive to pedestrians.



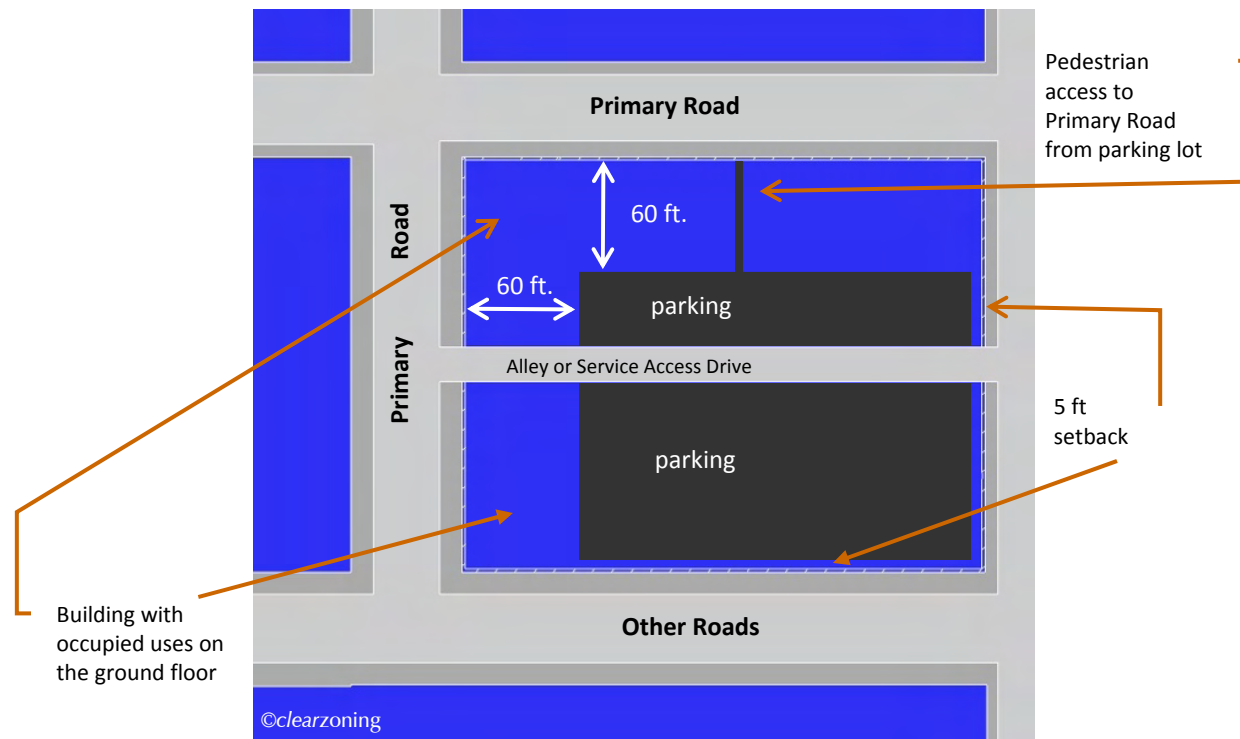


Goal: While a downtown area is oriented to serve the pedestrian. Automobiles and other service functions must be accommodated. These elements should be designed so as to be useful without interfering with the downtown's sense of place and the pedestrian experience.

On-street parking is desirable for convenience and to provide a barrier between pedestrians and moving traffic. Off-street parking should be convenient by creating connections to the rear of buildings and by providing access to Primary Streets.

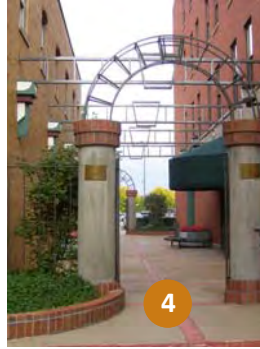
Guidelines Parking

1. The street wall along Primary Roads is created by buildings. To maintain this street wall, surface parking lots shall have a minimum setback of 60 feet from the sidewalk and be located behind a building. Structured parking is permitted inside a building on the Primary Road, provided that the ground floor is occupied with business uses. Driveway access shall not be permitted off a Primary Road.
2. On Other Roads, surface parking lots are permitted in the rear or side of any lot and in structures and shall be setback a minimum of 5 feet from the sidewalk. Off-street parking is not permitted in front of a building.
3. Parking lots adjacent to public or private streets shall be screened by a combination of landscaping (e.g., hedge row), brick walls, and ornamental metal fencing, with the design intent of screening an area 2.5 feet high adjacent to parking lots.
4. Shared Parking is encouraged to prevent an excess of parking spaces.
5. Secure, visible, and accessible parking for bicycles shall be provided.



Examples

- 1 Structured parking with ground floor occupied with other uses.
- 2 Bicycle racks should be located in a safe, visible location and be easily identified as bike racks.
- 3 Surface lots are set back from the sidewalk to accommodate screening.
- 4 Surface parking should include landscaping and other streetscape amenities and connect to the Primary Street.

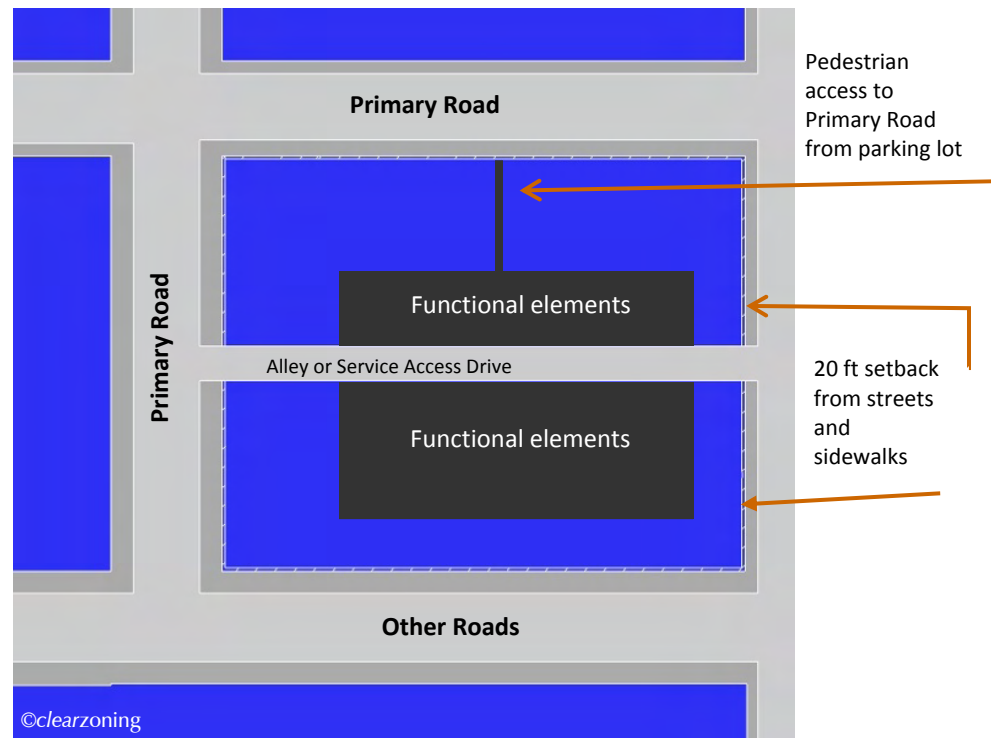


PARKING & FUNCTIONAL ELEMENTS

Guidelines

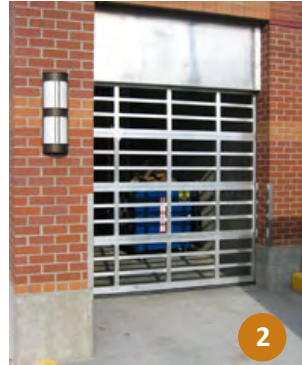
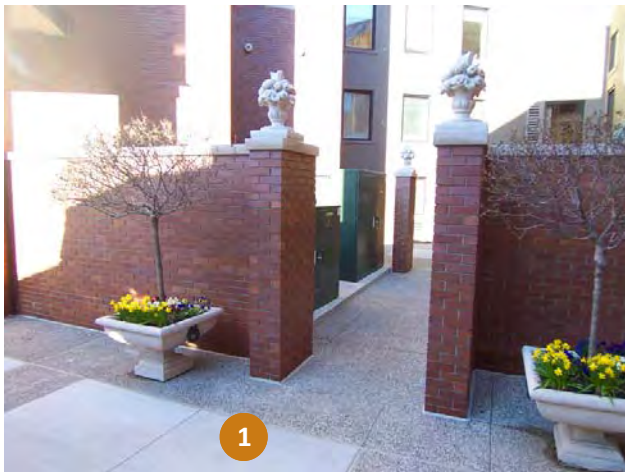
Functional Elements

1. Loading docks, truck parking, utility meters, HVAC equipment, trash dumpsters, trash compaction and other service functions shall be incorporated into the overall design of buildings and landscaping.
2. Areas for truck parking, trash collection and/or compaction, loading and other such uses shall not be visible from public or private rights-of-way and shall be located at least 20 feet from all street and sidewalks.



Examples

- 1 Truck loading, trash collection, and utility meters should be screened from public view
- 2 Functional elements should be incorporated into the design of a building and its landscaping.



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STREETS, ALLEYS, AND WALKWAYS

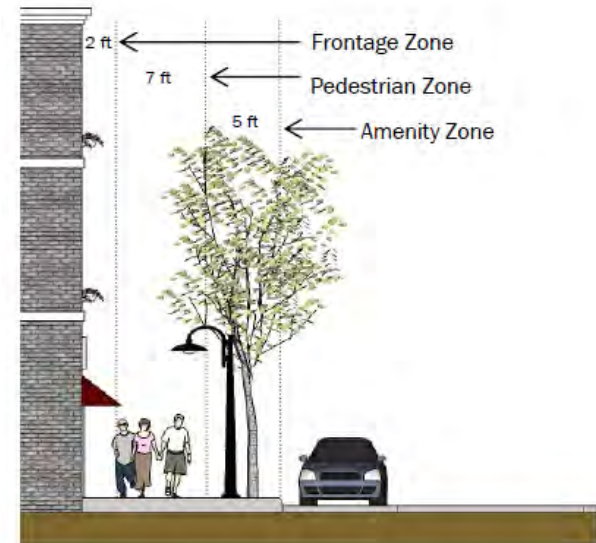
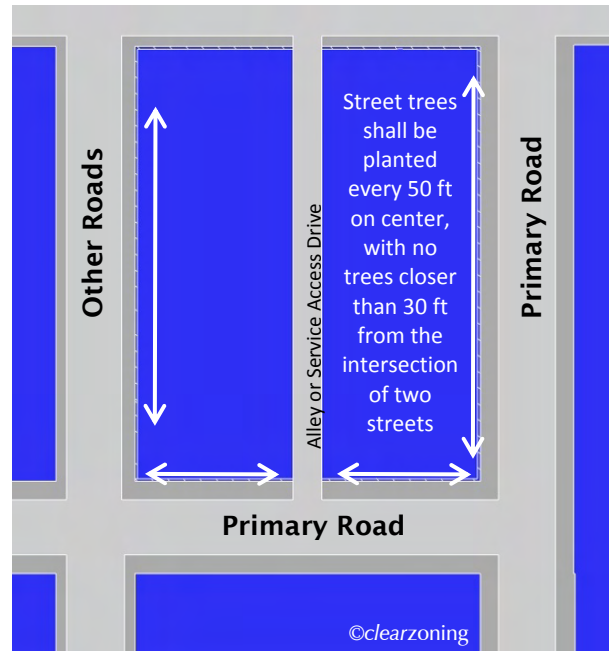
Street Trees & Plantings
Street Lighting
Street Furniture
Public Open Space

Guidelines: Street Trees & Plantings

1. On Primary Roads, trees must be provided in the Amenity Zone, that space within five ft of the curb, at spacing of 50 feet on center to provide a rhythm along the streetscape while providing room for a canopy. Trees should be placed at least 30 ft from the intersection to provide clear vision.
2. Tree wells must be 5 ft x 5 ft, and be adequate for light and drainage . Fencing around the perimeter of trees is not permitted as it is a trip hazard.
3. The public space between a building and the curb will be maintained by the building owner. Irrigation systems should be installed with the trees and plantings to facilitate maintenance, and plant materials shall be selected for size at maturation and ease of maintenance.
4. The City of Lathrup Village will provide a list of approved street trees and plantings.

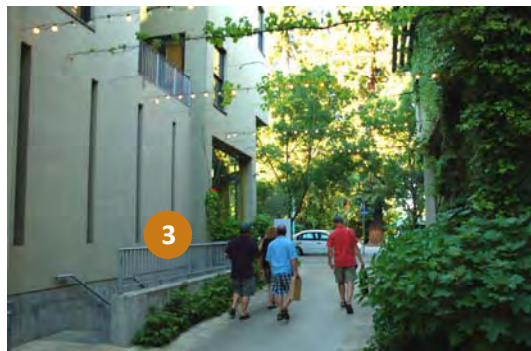
Goal: A successful downtown is oriented for the pedestrian, rather than vehicles.

Downtown should encourage walking between uses by providing places for rest along the way. The pedestrian environment downtown should be safe, comfortable, and attractive. Include a variety of textures, colors, and details to interest pedestrians and keep them moving around downtown.



Examples

- 1 Regular placement of street trees provides an attractive rhythm to downtown sidewalks.
- 2 Tree wells or raised planters protect trees and prevent tripping hazards, while permitting light and water to reach tree roots. Tree wells and raised planters also can add interesting detail to a sidewalk.
- 3 Plantings in the public realm should be selected so as to be easy to maintain and add to the streetscape, rather than overwhelm it. Some plantings may be portable for flexibility

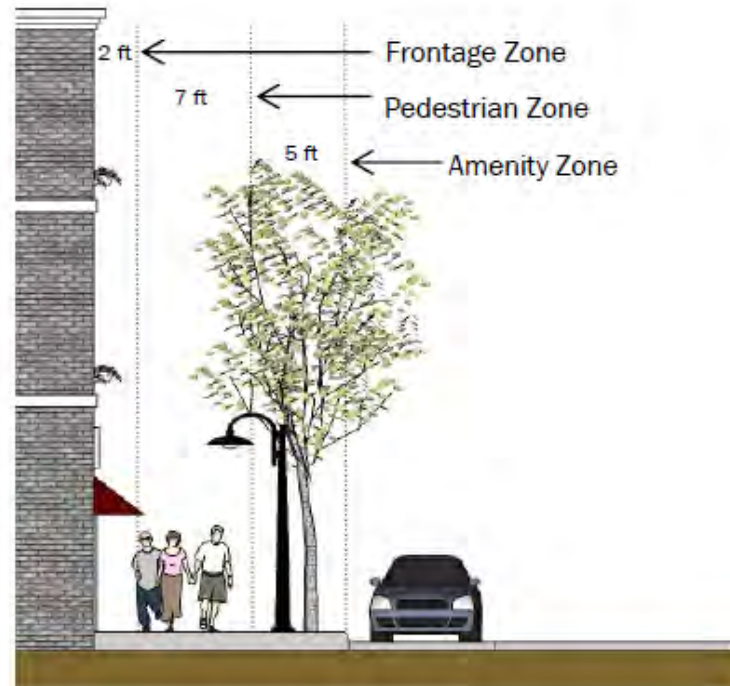


STREETS, ALLEYS, AND WALKWAYS

Street Trees & Plantings
Street Lighting
Street Furniture
Public Open Space

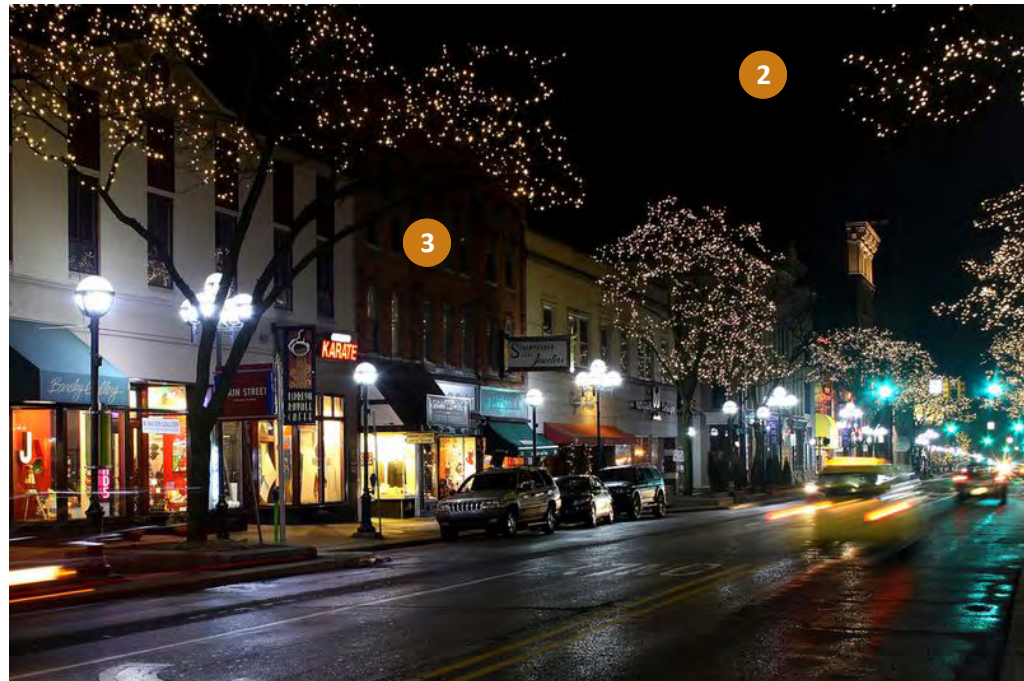
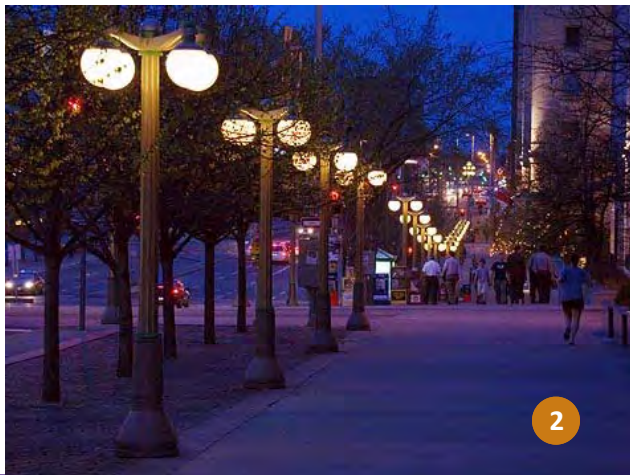
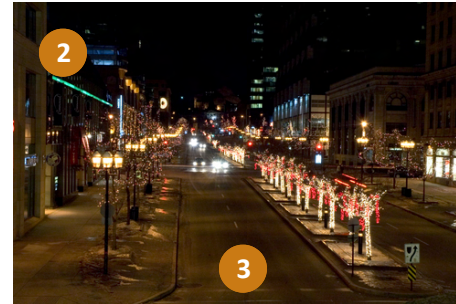
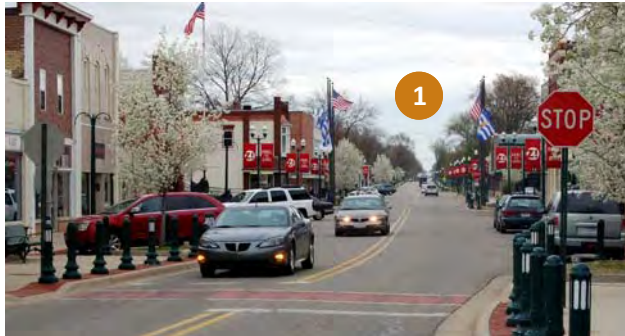
Guidelines: Street Lighting

1. Street lighting should be installed at regular intervals along all roads. Lights must provide at least one foot-candle of warm light between the building face and curb.
2. The City of Lathrup Village will identify the appropriate light to be installed in conjunction with any new development by the owner or developer.
3. Lights will be installed in the Amenity Zone, providing light to the Pedestrian Zone, that space intended for pedestrian travel.



Examples

- 1 Regular placement of street lights provides an attractive rhythm to downtown sidewalks as well as creates a definable sense of place for the downtown area.
- 2 Street lights create a sense of safety and create a unique identity for the downtown area at night.
- 3 Street lights should be easy to maintain and provide outlets for streetside electrical needs, including street tree lights.

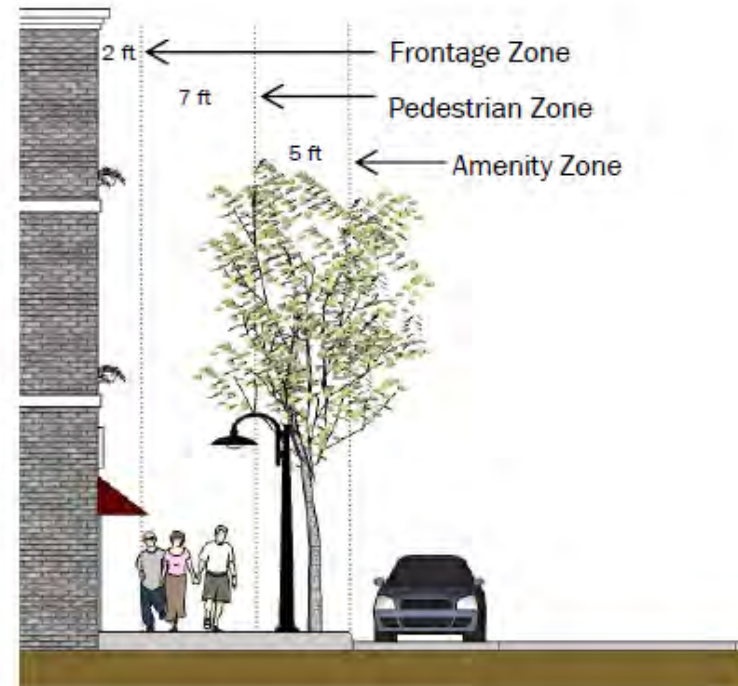


STREETS, ALLEYS, AND WALKWAYS

Street Trees & Plantings
Street Lighting
Street Furniture
Public Open Space

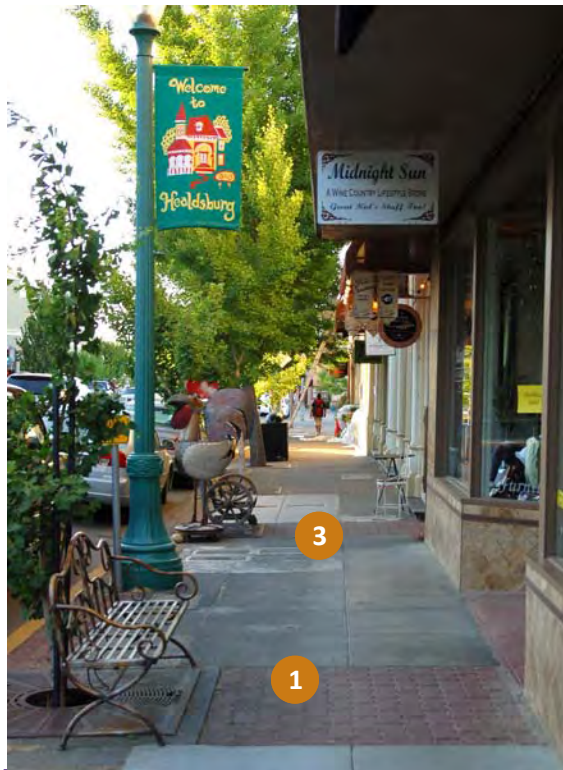
Guidelines: Street Furniture

1. Street furniture should be installed at regular intervals along all roads, and be located in places where people might want to rest or watch the people pass by.
2. The City of Lathrup Village will identify the appropriate street furniture to be installed in conjunction with any new development by the owner or developer.
3. Furniture will be installed in the Amenity Zone, and not be located in the path of travel.
4. Street furniture includes benches and trash receptacles, and may also include bus shelters, newspaper and bicycle racks.



Examples

- 1 Regular placement of benches gives pedestrians a place to rest, wait for someone, or people-watch. Trash receptacles should be conveniently located.
- 2 Street furniture should be of a complimentary style and color to promote the identity of the downtown.
- 3 Street furniture should be placed out of the pedestrian way of travel, creating a separate “room” within the streetscape for more passive activities.



STREETS, ALLEYS, AND WALKWAYS

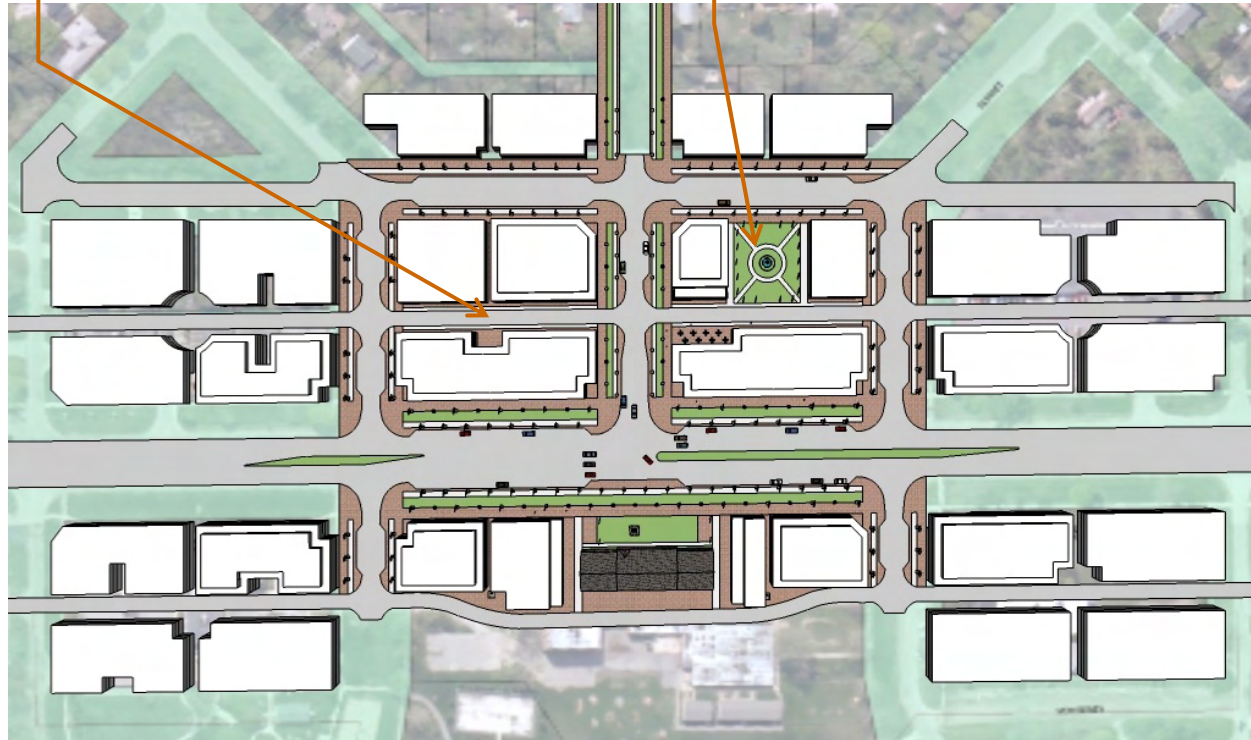
Street Trees & Plantings
Street Lighting
Street Furniture
Public Open Space

Guidelines: Public Open Space

1. Public open space within the downtown area provide opportunities for social interaction. These spaces should be designed to be safe and located so that people can find them.
2. Downtown public open spaces should be functional, purposeful, and flexible to allow for a variety of uses through day, week, or season.
3. Define the public open space by using street furniture, special landscaping, and changes in pavement type or color.

Open space should be found throughout downtown in a variety of sizes and shapes.

Public open space should be functional, purposeful, and flexible. It should also be easy to find and integrated into the fabric of downtown.



Examples

- 1 Public open spaces provide places for social interaction as well as offer a place to rest, meet with friends, or people-watch.
- 2 Street furniture should be durable; movable seating allows the space to be flexible to accommodate different activities.
- 3 Define the open space through landscaping, paving treatment, and street furniture.



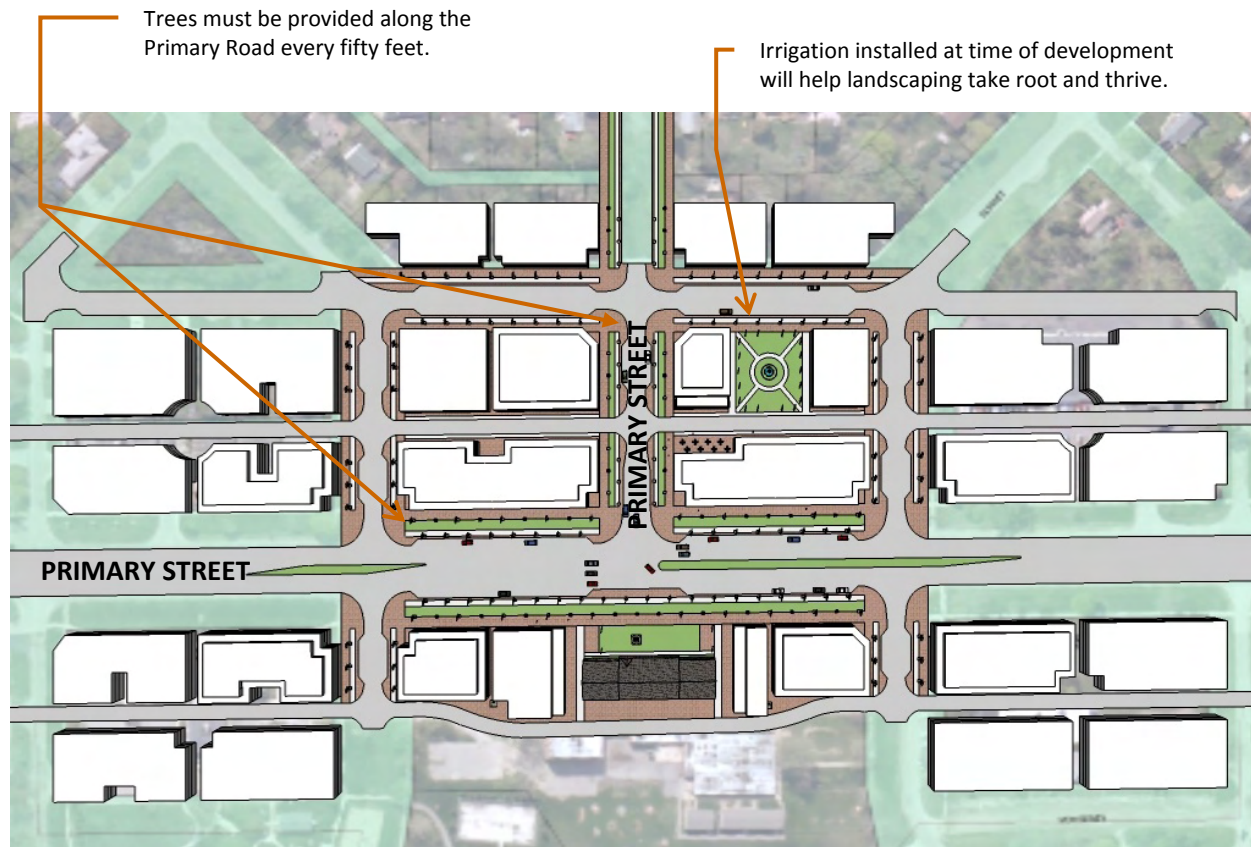


LANDSCAPING

Goal: Landscaping adds color, texture, and scent to a streetscape, creating a more interesting and attractive environment. Landscaping treatments should include materials that are appropriate for the location, given the climate, available light, and water. In addition all landscaping materials should reflect a consideration for maintenance requirements of both the landscape material itself as well as the surrounding area (falling leaves, berries, and even bird droppings).

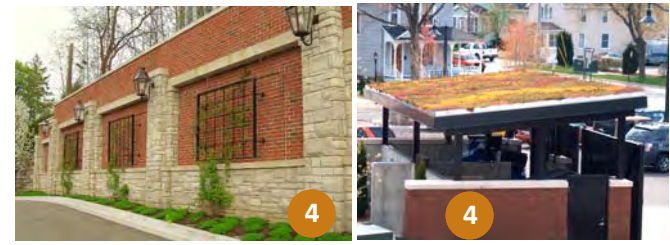
Guidelines: Landscaping

1. Trees must be provided along the Primary Road with a typical spacing of fifty (50) feet on-center.
2. Irrigation systems must be installed at the time of development to provide adequate irrigation for landscaping materials and street trees.
3. Property owners are responsible for maintaining the portion of street between the back-of-curb and lot line.
4. Plants should be selected based on size and mass at maturity as well as for ease of maintenance.
5. Property owners and businesses are encouraged to add seasonal plantings to enhance their businesses.
6. Landscaping adds interest as a screening material.
7. Use landscaping to soften the streetscape, such as buildings, sidewalks, and other hardscape treatments.



Examples

- 1 Landscaping adds color, texture, and scent, enhancing the streetscape.
- 2 Landscaping materials should be appropriate for the location and for maintenance.
- 3 Seasonal plantings enhance the streetscape, creating a feeling of vibrancy and change.
- 4 Landscaping adds interest as a screening material and can soften the streetscape.



LANDSCAPING

Preliminary Plant Selections

Deciduous Trees

Bradford Pear	
Red Maple	
Linden	
Red Oak	
Thornless honey locust	

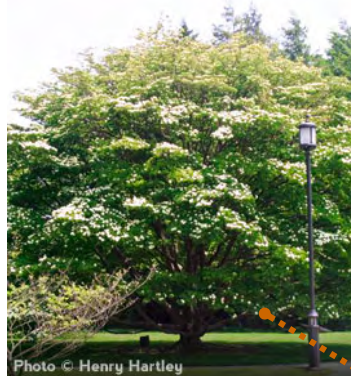


Photo © Henry Hartley



Ornamental Trees

Kousa Dogwood	
Crabapple	
Ginkgo	
Kwansan Cherry	

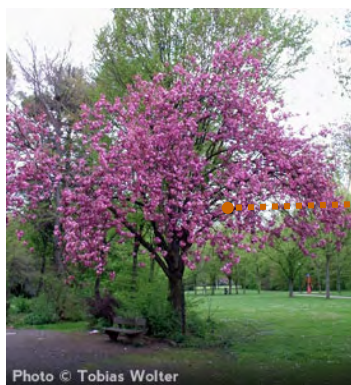


Photo © Tobias Wolter



Photo © 2002 Hortipedia



Hedges	Screening/Vines	Shrubs
Yew/Hicksii	Trumpet Creeper	Knock out rose
Karl Foerster	Virginia Creeper	Red Twig Dogwood (dwarf)
Burning Bush		Spiraea

Perennials
Black Eyed Susan
Autumn Joy Sedum
Daylily
Fountain Grass
Hosta

GREEN BUILDING

Stormwater Management

Guidelines: Stormwater Management

1. During construction, clearing and grading will be minimized.
2. Native plantings in landscaped areas is encouraged; non-native landscaping is not permitted.
3. Green roofs, rain gardens, and bioswales are encouraged.
4. Permeable materials are allowed in patios, courtyards, and plazas. Porous pavement is encouraged.
5. Where screening is required, vegetation may be allowed.
6. Streets should be swept, catch basins maintained, and dumpsters cleaned on a regular basis to reduce sediment, nutrients, metals, trash, oil, and toxins.

Goal: Sites & buildings should be designed with consideration of their environmental impact. Impervious surfaces should be minimized or mitigated wherever possible, allowing rainfall to soak into the earth, reducing flooding and encouraging groundwater recharge. Village Center development should consider ways to reduce greenhouse gas emissions by encouraging non-motorized transportation, alternative means of energy, and preserving historic resources.

Permeable materials are allowed in patios, courtyards, and plazas

Green roofs are encouraged



Where screening is required, vegetation may be allowed

Examples

- 1 Green roofs & pervious surfaces absorb rainwater, reducing runoff into storm drains.
- 2 Vegetative screening can be effective screening
- 3 Raingardens can be effective at handling stormwater in urban environments
- 4 Native species are better suited to the area, requiring less maintenance, water, and energy



GREEN BUILDING

Greenhouse Gas Reduction

Guidelines: Greenhouse Gas Reduction

1. Recycling centers should be located in a convenient location in buildings.
2. Solar panels and small turbines may be permitted if they do not detract from the appearance of the building.
3. Incorporate safe and secure bicycle parking into development.
4. Support future transit opportunities with safe and secure stops and shelters.
5. Because preservation projects are inherently green by recognizing the embodied energy in the existing building by not using new building materials, historic buildings should be protected and maintained.
6. If trees are removed, they should be replaced with trees one (1) inch or greater in caliper.
7. Landscaping should be designed for low energy maintenance and slow water.

Support future transit opportunities with safe and secure stops, shelters, and bicycle parking



If feasible, the historic school should be preserved to capitalize on the building's embodied energy

Locate recycling centers in convenient locations within buildings

Examples

- 1 Rooftop wind turbines and solar panels may be permitted
- 2 Offer safe and secure bicycle parking and transit stops
- 3 Historic buildings are green buildings and should be preserved and maintained, contributing to the streetscape and downtown character.
- 4 Landscaping materials can be designed for low water usage and low maintenance.



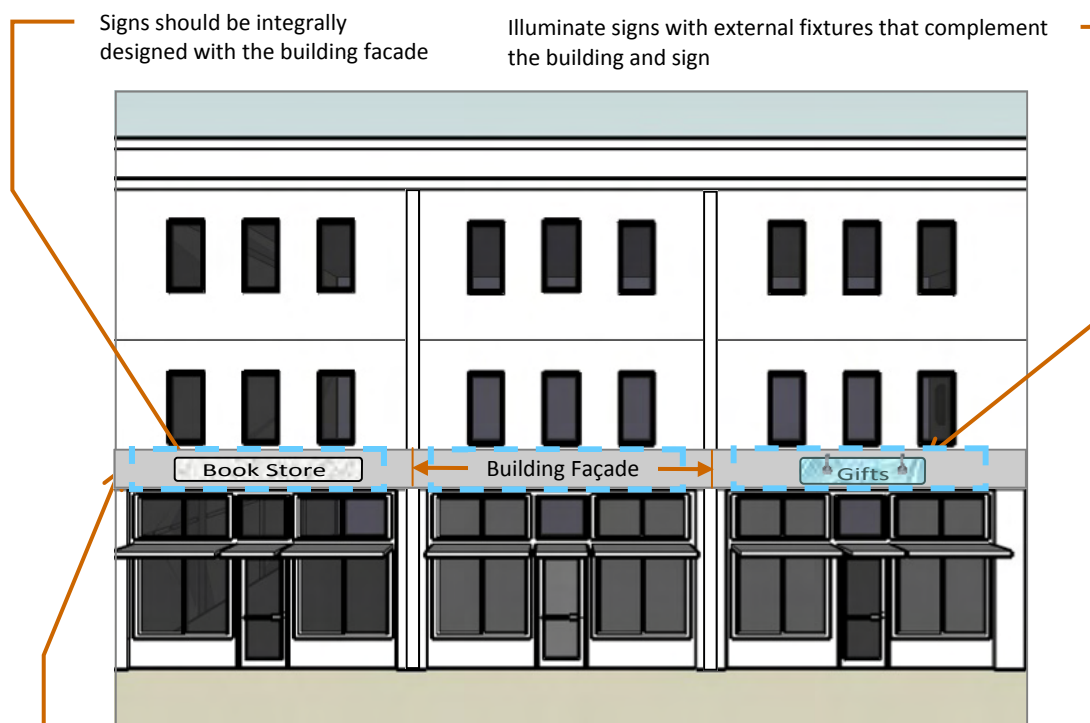


Goal: Signs should be designed along with the building design, not as an afterthought. Signs give visitors an overview of downtown goods and services, illustrate an attention to detail, and contribute to community character. Signs should project a positive impression about the business conducted within the building.

A good sign is one that is eye-catching, easy to read and made of quality materials. A great sign is one that reflects the goods and/or services provided, complements the building, adds to the character of downtown, and fits in with neighboring buildings.

Guidelines: Sign locations

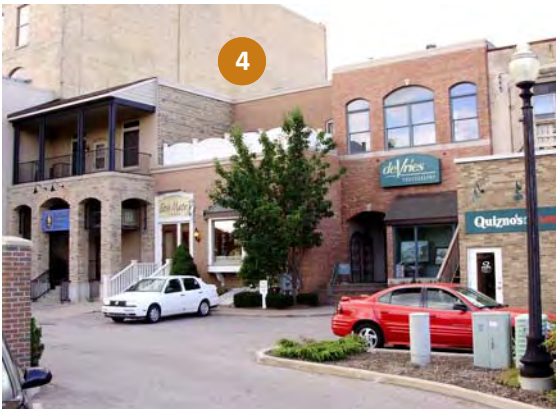
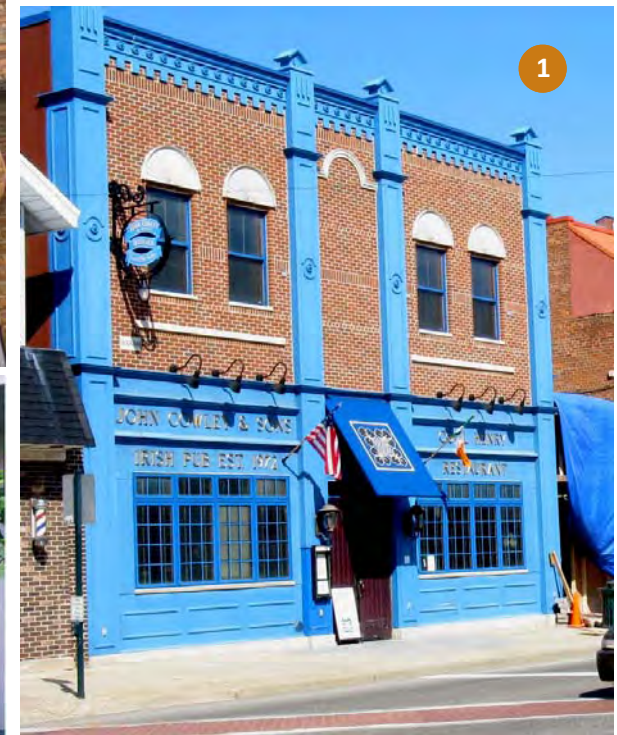
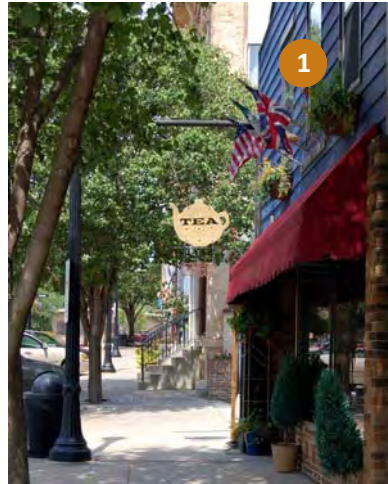
1. Integral design: Signage shall be integrally designed with the building façade and convey a positive image of the business.
2. Sign Band: The sign band is the location on the front façade of a building intended for signs. It is between the first and second floors, a maximum of two (2) feet in vertical dimension, is centered on the façade, and may occupy up to a width of 80% of the building façade.
3. Illumination: External signs shall not be translucent, but may be externally lit.
4. Rear Entry Signage: One additional wall sign not exceeding 15 sq. ft. is permitted at the ground floor for the purpose of identifying rear building entrances.



Signs are placed on the sign band, which is the area between the first and second floor of a building, up to 2 ft in height, and up to 80% of width and centered on the building façade.

Examples

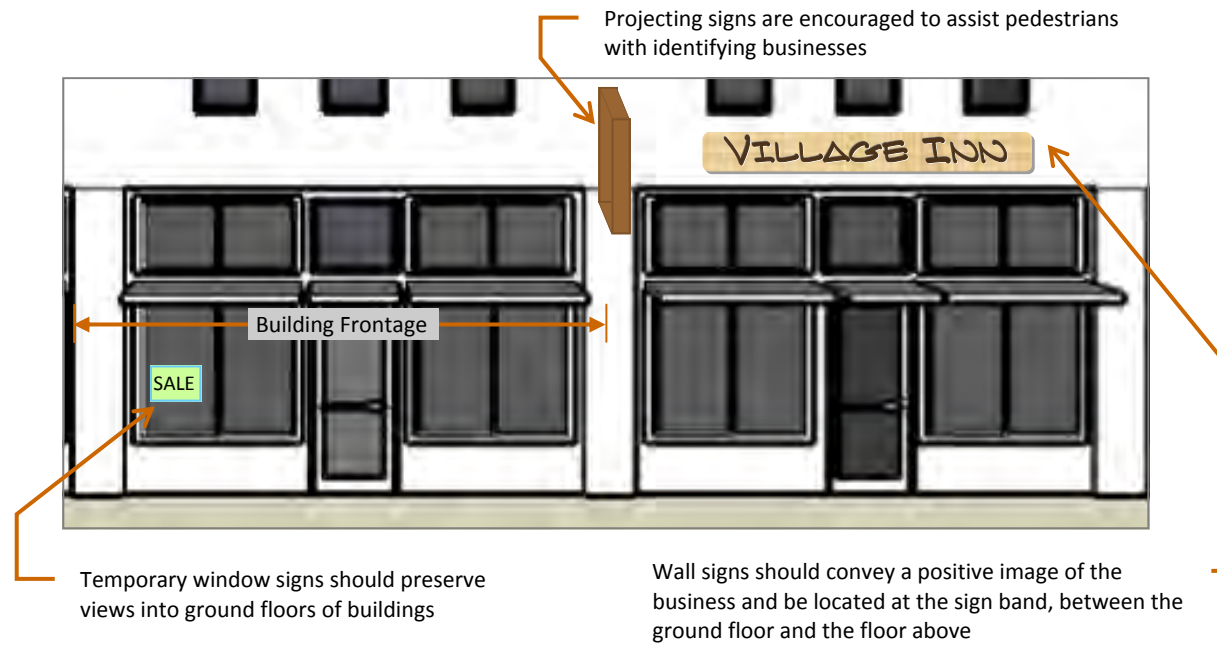
- 1 Signs should be an integral part of building design & convey a positive message about the business
- 2 A sign band helps define the ground floor of a building and is a natural place for signage
- 3 A building design should include lighting for signage, enhancing the overall façade
- 4 Rear entrances are often used by customers, so rear signage, while smaller, should also make a good impression





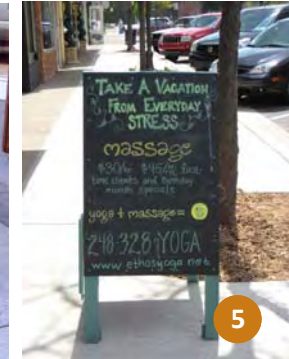
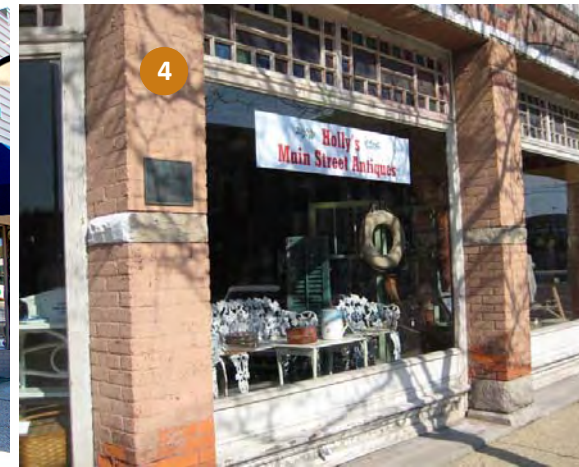
Guidelines: Sign types

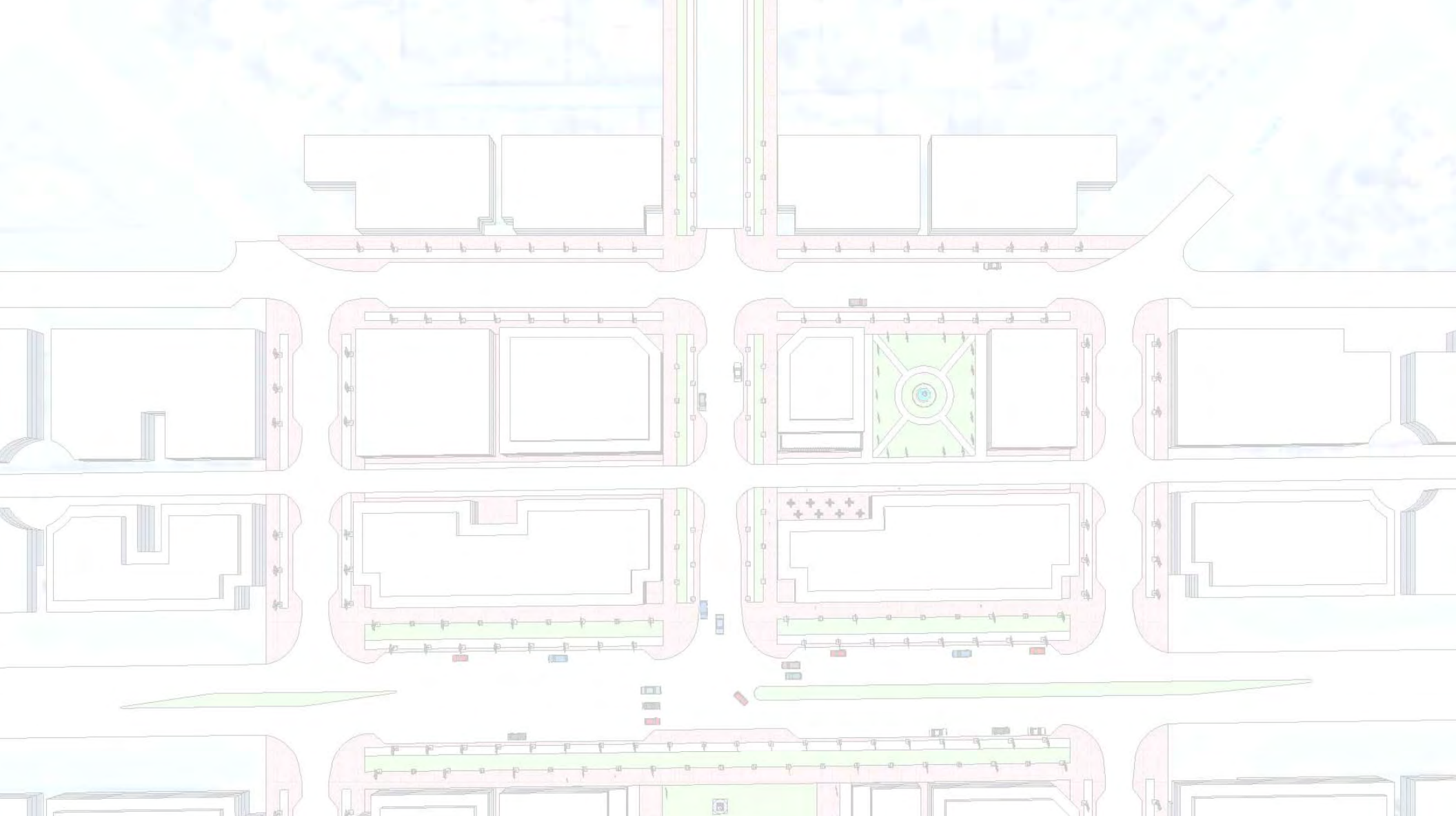
1. Projecting Signs located perpendicular to the building façade are encouraged. One sign per business is permitted, at a maximum of 8 sq ft per side. These signs should not project more than 4 ft, and be spaced no less than 20 ft apart horizontally, or 10 ft apart vertically.
2. Wall Signs shall not exceed one square foot for each linear foot of building frontage, shall be located at the sign band, and complement the building façade.
3. On windows, letters may be painted or stenciled with a maximum area of 1.5 ft high and 4 ft wide.
4. If used, temporary opaque window signs should comprise a small portion (no more than 0.4 square feet of sign per each linear foot of building frontage, in addition to painted or stenciled letters) of ground floor display windows, so as to keep views clear.
5. A-Frame Signage or Sandwich signs may be used in front of businesses to encourage traffic, but should be compatible with the building façade and complement the building. Plastic changeable copy signs are not permitted. A-Frame signs shall keep 4 ft. clearance for pedestrian passage and be located at least 20 ft. from any other A-Frame sign.



Examples

- 1 Projecting Signs can be easily seen by pedestrians.
- 2 Wall Signs shall be located at the sign band and complement the building façade.
- 3 Letters stenciled or painted on windows adds identification without blocking views
- 4 Window signs should be placed to preserve views into ground floor businesses and window displays
- 5 A-Frame or sandwich signs create interest for pedestrians when compatible with building facades





City of Lathrup Village

Design Guidelines

Village Center District