

CITY COUNCIL MEETING

Council Chambers
401 E Third Street
Kewanee, Illinois 61443
Work Session starting at 6:00 p.m.
Open Meeting starting at 7:00 p.m.
Monday January 9, 2023

Posted by 6:00 p.m. January 6, 2023 New Business Amended at 6:45 p.m. January 7, 2023 to add item e

- Work Session
 - a) Requirements, Best Practices, and Reminders related to OMA, FOIA, GFOA, Personnel Policies, and Communication
- 2. Roll Call
- 3. Consent Agenda
 - a. Approval of Minutes
 - b. Payroll
 - c. Staff Reports
 - d. Bock Report
- 4. Presentation of Bills and Claims
- 5. Swearing in of new personnel (if applicable)
- 6. Public Participation
- 7. New Business
 - a) Presentation— Chamber of Commerce
 - b) **Resolution #5383** authorizing the City Manager to award façade improvement incentives to Wager Trust for improvements already made at 120 S Chestnut St.
 - c) Development and implementation of new incentive programs
 - d) Downtown TIF District— Midland Plaza
 - e) **Resolution #5384** authorizing the Mayor, City Manager, and City Clerk to execute documents that are necessary and proper to provide a loan to the Abraham Lincoln Presidential Library.
- 8. Council Communications:
- 9. Announcements:
- 10. Adjournment:

The December 27th, 2022, Council Meeting was called to order at 6:45pm with Councilmembers Baker and Komnick present as well as Mayor Moore. Councilmembers Colomer and Faber were absent.

A motion to go into closed session to discuss the Sale or Lease of Real Estate Section 2 (C) (6) was made by Councilmember Baker and seconded by Councilmember Komnick. Motion passed 3-0.

A motion to adjourn to regular session was made by Councilmember Baker and Seconded by Councilmember Komnick. Motion passed 3-0. The closed session was adjourned at 6:59am.

The December 27th, 2022, Council Meeting was called to order at 7:03pm with Councilmembers Baker and Komnick present as well as Mayor Moore. Councilmembers Colomer and Faber were absent.

The consent agenda included the following items.

- A. Minutes from the Council Meeting on December 12th.
- B. Payroll for the pay period ending December 22nd in the amount of \$204,493.74
- C. Staff Reports.

A motion to approve the consent agenda items was made by Councilmember Komnick and seconded by Councilmember Baker. Discussion: None. Motion passed 3-0.

Bills for Council Meeting of December 27th, 2022 were presented in the amount of \$257,848.95. A motion to approve the bills was made by Councilmember Komnick and seconded by Councilmember Baker. Discussion: None. Motion passed 3-0.

Public Comments: None

New Business:

A. Consideration of Resolution #5380 authorizing the City Manager to execute an agreement with ENTEC services for the project development and implementation of the Kewanee City Hall mechanical systems upgrade. Motion to approve was made by Councilmember Komnick and seconded by Councilmember Baker. Discussion: Council wanted to know this all covered. It was explained that this is for ENTEC to come to City Hall and inspect all of the current equipment and determine what HVAC & mechanical items need maintained or replaced. Everyone was in agreement that the sooner this takes place, the easier, and potentially less expensive, things may be. Motion passed 3-0.

- B. Consideration of Resolution #5381 authorizing the purchase of three trench protective systems, trench boxes, to be used in the Public Works Department from Ferguson Waterworks. Motion to approve was made by Councilmember Komnick and seconded by Councilmember Baker. Discussion: Mayor Moore asked the reasoning behind going with this company rather than the other bid from a company we do regular business with. City Manager Bradley along with Kevin Newton explained that this was a simple "apples to apples" comparison as both bids were for the exact same equipment and pieces. The Ferguson Waterworks bid came in significantly less and it was not justifiable to accept the higher bid. Mr. Newton did mention that he spoke with the other bidder and they were understanding and look forward to doing other business with us. Motion passed 3-0.
- C. Consideration of Resolution #5382 authorizing the City Manager to enter into an agreement with Michlig Energy for furnishing vehicle & equipment fuel to the City of Kewanee. Motion to approve was made by Councilmember Komnick and seconded by Councilmember Baker. Discussion: This was the only bid that came in and it was around what was expected. This locks in what we will pay for the entire year. Motion passed 3-0.
- D. Consideration of Ordinance #4120 establishing the Annual Tax Levy for 2022 payable in 2023. Motion to approve was made by Councilmember Komnick and seconded by Councilmember Baker. Discussion: City Manager Bradley indicated that the estimates for pension costs were in total about \$5,000 different than numbers subsequently provided by the actuaries. That difference was deducted from the corporate levy to balance things out. Motion passed 3-0.

Council Communications:

Councilmember Baker: Wanted to thank the Kewanee Police and Fire Departments for their services when his mother passed. The family was appreciative of how things were handled.

Councilmember Komnick: Hoped everyone enjoyed the holiday weekend however they celebrated. He then brought up some issues with snow removal from the last snow event. There were some areas/intersections that did not get addressed in a timely manner. Kevin Newton explained the process and stated that for this event, he may have waited longer than he should have to get the plows out. However, city workers would be back out taking care of side streets and areas like that during the week. City Manager Bradley suggested that the City needed to do a better job with certain aspects of snow removal, but also public relations, communication, and management of expectations regarding snow removal.

Mayor's Communications: Councilmember Faber usually asks about warming centers and if/where those are posted. The City Clerk stated that she is working on the list and unfortunately did not get that done in time for the previous cold weather. She will make it a priority to have it available for the citizens. The Mayor congratulated Jill Milroy on her retirement from the YMCA. Councilmember Faber is currently in the hospital; please keep him in your prayers. He hopes everyone had a great Christmas with their loved ones and family, and for those who may struggle during the holidays missing those who could not be near, or are no longer with us, he hopes you find peace and happiness in the New Year. If for any reason you are struggling, his phone number is public, call anytime.

Announcements: City Hall and the Transfer Station will be CLOSED Monday January 2nd. There are no changes to the trash schedule.

Motion to adjourn was made by Councilmember Komnick and seconded by Councilmember Baker. Motion passed 3-0. The meeting was adjourned at 7:36pm.



Health - Building - Zoning

Building Permits December 2022

Date BldgPerm	it# Permit Issued To	Job Address	
Job Descrip		Est Cost	Permit Fee
12/6/2022 B-22-198	IL-Solar INC	801 N Main ST	
Instalation of a roof mount	ed solar array	\$65,200.00	(\$372.00)
12/9/2022 B-22-199	FAST SIGNS GEENA CRANFORD	106 N MAIN ST	
INSTALLING UNLIT SIG	N ABOVE FRONT DOOR	\$4,280.02	(\$50.00)
12/9/2022 B-22-200	PALMETTO SOLAR LLC	1008 W MILL ST	
INSTALING SOLAR PAN	IEL ARRAY	\$8,320.00	(\$68.00)
12/15/2022 B-22-201	LEGACY SOLAR LLC	40 Edgewod DR	
Intalling a solar array		\$13,694.00	\$98.00
12/15/2022 B-22-202	LEGACY SOLAR LLC	456 Circle DR	
Intalling a solar array		\$20,639.00	\$140.00
12/15/2022 B-22-203	LEGACY SOLAR LLC	512 W Mill ST	
installing a solar array		\$12,290.00	\$92.00

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Est Co	ost Permit Fe
\$77,800.02	
\$46,623.00	
\$124,423.02	
(\$490.00)	
\$330.00	
	\$77,800.02 \$46,623.00 \$124,423.02 (\$490.00)

Job Address

BldgPermit#

Permit Issued To

Date

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Health - Building - Zoning

Electrical Permits December 2022

Date	Elec Permit#	Permit Issued To	Job Address	
Job Desci	rip	Est Cost	Permit Fee	
12/6/2022	2 E-22-097	IL-Solar INC	801 N Main ST	
Instalation o	f a roof mounted sol	ar array	\$0.00	(\$100.00)
12/9/2022	2 E-22-098	PALMETTO SOLAR LLC	1008 W MILL ST	
INSTALING	SOLAR PANEL A	RRAY	\$12,480.00	(\$50.00)
12/15/2022	2 E-22-099	LEGACY SOLAR LLC	40 Edgewod DR	
Intalling a so	olar array		\$4,565.00	\$50.00
12/15/2022	2 E-22-100	LEGACY SOLAR LLC	456 Circle DR	
Intalling a so	olar array		\$6,880.00	\$50.00
12/15/2022	2 E-22-101	LEGACY SOLAR LLC	512 W Mill ST	
installing a s	solar array		\$3,193.00	\$50.00
12/21/2022	2 E-22-102	Jorge Morales	103 S Main ST	
Building the	2 ADA bathrooms a	and connecting to the existing drain drain lines. Installing the	\$2,000.00	(\$100.00)

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Job Descrip		Est Cost	Permit Fee
Value of improvements in Enterprise Zone	\$14,480.0	0	
Value of improvements outside the Enterprise Zone	\$14,638.00	0	
Total Value of Improvements	\$29,118.00	0	
Total Value of Permit Fees waived for Enterprise Zone	(\$250.00)_	
Total Value of other Permit Fees	\$150.00	<u> </u>	
Prepared by:			

Job Address

Elec Permit# Permit Issued To

Date

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Health - Building - Zoning

Plumbing Permits December 2022

Date Plumb Permit Permit Issued To	Job Address	
Job Descrip	Est Cost	Permit Fee
12/21/2022 P-22-086 Jorge Morales	103 S Main ST	
Building the 2 ADA bathrooms and connecting to the existing drain drain lines. Installing	g the v \$4,000.00	(\$4,000.00)
Value of improvements in Enterprise Zone	\$4,000.00	
Value of improvements outside the Enterprise Zone	\$0.00	
Total Value of Improvements	\$4,000.00	
Total Value of Permit Fees waived for Enterprise Zone	_(\$4,000.00)	
Total Value of other Permit Fees	\$0.00	

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Health - Building - Zoning

Miscellaneous Permits December 2022

Date Misc Permit# Pe	rmit Issued To	Job Address	
Job Descrip		Est Cost	Permit Fee
12/15/2022 M-22-0			
			\$0.00
12/15/2022 M-22-040 Co	ок	118 Roosevelt AVE	3
Demolition of a dwelling and garage		\$8,100.00	\$0.00
12/15/2022 M-22-041 Co	DK	800 Prairie AVE	
Demolition of a dwelling		\$7,200.00	\$0.00
Value of improvements i	n Enterprise Zone	\$0.00	
Value of improvements of	nutside the Enterprise Zone	\$0.00	
Total Value of Improven	nents	\$0.00	
Total Value of Permit Fe	ees waived for Enterprise Zone	\$0.00	
Total Value of other Per	mit Fees	\$0.00	

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Community Development EOM Violation Listing

From Date: 11/01/2022
To Date: 12/31/2022

File#	Owner Name	Street#	Pre- Direction	Street Name	Street Type	Phone#	Open Date	Violation Short Description	Violation Comments	How Received
22- 000955	JAMISON, JOSEPH L & PHYLLIS H	106		GOODRICH			11/01/2022	Littering	Trash by front door	Phone
22- 000956	GRAHAM, KYLE	504		PARK	AVE		11/02/2022	Littering	Junk and trash all over yard yard clean up needed	Phone
22- 000957	GOFORTH, BRETT	846		PINE	ST		11/02/2022	Littering	, ,	Staff Initiated
22-	GOFORTH, BRETT	846		PINE	ST		11/02/2022	R-2 ONE-FAMILY DWELLING DISTRICT	Complaint concerning subject living in camper in backyard. Not permitted in R2 Zoning.	Staff Initiated
22- 000958	WESTEFER, GERALD E & CONSTANCE	516		ROCKWELL	ST		11/03/2022	Littering	'	Staff Initiated
22- 000960	WILLIAMS, DANIEL D RTR	512		FULLERTON	СТ		11/14/2022	Storage and parking of vehicles and other personal property	Junk car	Phone
22- 000962	SUNQUIST, DAVID L & MARCIA L	1029		ROSEVIEW	AVE		11/14/2022	Unsafe, Unsightly Structures		Staff Initiated
22- 000963	STINSON, KERRY L	341		WHITNEY	AVE		11/18/2022	Littering	tree branch pile	
22- 000963	STINSON, KERRY L	341		WHITNEY	AVE		11/18/2022	Littering	tree branch pile	
22- 000963	STINSON, KERRY L	341		WHITNEY	AVE		11/18/2022	Littering	tree branch pile	
22- 000965	NYERT, DANIEL L	510	EAST	9TH	ST		11/21/2022	of vehicles and		Staff Initiated

							other personal property	Car and truck at 510 e 9th need to run and have current plates	
22- 000966	WILLIAMS, DANIEL D RTR	512		FULLERTON	СТ	11/21/2022	Storage and parking of vehicles and other personal property		
22- 000966	WILLIAMS, DANIEL D RTR	512		FULLERTON	СТ	11/21/2022	Littering	Keep yard cleaned up of litter storm window items in front of garage and do not drive in yard	
000968	MCCORMICK, MICHAEL A & BEVERLY A	620	EAST	4TH	ST	11/22/2022	Unsafe, Unsightly Structures		
22- 000969	REYES, ALEJANDRO	116	SOUTH	GRACE	AVE	11/22/2022	Littering	Total yard clean up	
22- 000970	DEWOLFE, BETTY L	525		WILLOW	ST		Location of Parking Areas - For one and two family dwelling	Truck and trailer parked in yard	
000971	DEARING, ANDREW SR SUPPLEMENTAL NEEDS TR,	523	EAST	3RD	ST	11/22/2022	Storage and parking of vehicles and other personal property	Junk car	
	FITZGERREL, PAUL L & JEANETTE E	403	EAST	CHURCH	ST	12/05/2022	Littering		
22- 000973	CALLICUTT, BONNIE L	524	EAST	11TH	ST	12/06/2022	Storage and parking of vehicles and other personal property	Junk on lot with trucks	Staff Initiated
22- 000974	JOHNSON, DEREK R	612		MANCHESTER	DR	12/06/2022	Location of Parking Areas - For one and two family dwelling	Park in drive or in garage	Staff Initiated
22- 000974	JOHNSON, DEREK R	612		MANCHESTER	DR	12/06/2022	Littering	back yard needs a general clean up	Staff Initiated
22- 000975	EVANS, MICHAEL T	448		DWIGHT	ST		Location of Parking Areas - For one and two family dwelling	Park in drive or hard surface	Staff Initiated

22-	MATT STURTEVANT	827		ELMWOOD		12/06/2022	Littering	total yard clean up	
000976									
22-	ZANE, JOHN & TERRI	1206	EAST	7TH	ST	12/06/2022	Storage and parking of vehicles and other personal property	Must remove does not drive or have current plates	Staff Initiated
22- 000978	ZANE, JOHN & TERRI	1210	EAST	7ТН	ST	12/06/2022	Storage and parking of vehicles and other personal property	Must run and current plates and parked in drive	Staff Initiated
22- 000978	ZANE, JOHN & TERRI	1210	EAST	7TH	ST	12/06/2022	Littering	Junk car parts and litter around garage	Staff Initiated
22- 000979	AINLEY, RUTH A	519	EAST	9TH	ST	12/08/2022	Littering		
22- 000980	HARDY, ROBERT	218		MAPLE	AVE	12/08/2022	Littering		
22- 000981	CONLIN, MICHAEL J	120		MOSHER	AVE	12/08/2022	Littering	Trash junk on porch	
22- 000982	HUFFMAN, ADAM C & STEPHANIE A	1335		ROCKWELL	ST	12/08/2022	Storage and parking of vehicles and other personal property	truck must run with current plates trailer too needs to be parked in drive	
22- 000982	HUFFMAN, ADAM C & STEPHANIE A	1335		ROCKWELL	ST	12/08/2022	Littering	Junk around garage needs to be cleaned up	
22- 000983	JIMENEZ, MARY CRUZ	1101		ROCKWELL		12/08/2022	Abandoned Refrigerators	need to remove	Staff Initiated
22-	CLARK, MATTHEW L	600		PLEASANT	ST	12/09/2022	Storage and parking of vehicles and other personal property	must drive and have current plates if not remove	Staff Initiated
22- 000984	CLARK, MATTHEW L	600		PLEASANT	ST	12/09/2022	Littering	Trash and junk all over yard need to clean up	Staff Initiated

22-	BROWN, JOHN E SR	203		LYLE	ST	12/09/2022	Littering	Junk by garage	
000985									
22- 000985	BROWN, JOHN E SR	203		LYLE	ST	12/09/2022	Exterior Structure Property Areas, Grading and drainage	Most of front yard with no water control lack of grass for control	
22- 000986	CURRENT OWNER	807		PLEASANT VIEW	AVE	12/09/2022	Littering	9	Staff Initiated
22- 000987	RUIZ, LUCIA L	635	NORTH	WALNUT		12/12/2022	· ·	Junk piles on empty lot needs to be removed	
22- 000988	RUIZ, ROBERTO S & LUCIA LOZANO RUIZ	634	NORTH	ELM	ST	12/12/2022		trailer on empty lot remove or be towed	
22- 000989	SANCHEZ, JAVIER	623	NORTH	ADAMS		12/12/2022	Littering	Trash and junk piles all over yard must be cleaned up	Phone
22-	SANCHEZ, JAVIER	623	NORTH	ADAMS		12/12/2022	of vehicles and other personal	junk cars and trucks must drive and current plates be parked in drive way or removed can be towed	Phone
22- 000990	JOHNSON, TODD M & SARAH J	729	NORTH	MADISON	AVE	12/13/2022	Littering	Trash junk on porch please remove	
22- 000991	SANCHEZ, JOSE DE JESUS	734		MADISON	AVE	12/13/2022		Junk car no plates must drive too remove or tow	
22- 000992	VELAZQUEZ, NOEL	601	WEST	4TH	ST	12/13/2022	Littering	Junk on porch	
22-	ARNOLD, PATRICIA A	629	NORTH	ADAMS		12/13/2022		Cars trucks must drive and current plates	

22- 000993	ARNOLD, PATRICIA A	629	NORTH	ADAMS		12/13/2022	Littering	All junk and trash must be removed from yard	
22- 000994	FEUCHT, EARL W & MARGARET L	803		COLUMBUS	AVE	12/13/2022	Odors	Trash from home	
22- 000994	FEUCHT, EARL W & MARGARET L	803		COLUMBUS	AVE	12/13/2022	Littering	Trash junk all over yard	
22- 000995	MURPHY, TRAVIS J	1302		MCMULLEN	AVE	12/13/2022	Storage and parking of vehicles and other personal property	Inop cars trucks must drive and current plates	
22- 000995	MURPHY, TRAVIS J	1302		MCMULLEN	AVE	12/13/2022	Littering	loose litter in back yard	
22-	MURPHY, TRAVIS J	1302		MCMULLEN	AVE		Location of Parking Areas - For one and two family dwelling	need to park in drive way	
22- 000996	WILEY, LESLEY R	717		FLORENCE	ST	12/13/2022	Littering	Trash junk all over yard front and back yard	
22- 000997	BJ'S RENTALS LLC,	712	EAST	4TH		12/13/2022	Storage and parking of vehicles and other personal property	inoperable car needs to drive and current plates	
22- 000997	BJ'S RENTALS LLC,	712	EAST	4TH		12/13/2022	Littering	Trash in pile and bags in back yard	
22- 000998	SANCHEZ, JAVIER D	627	NORTH	ADAMS	ST	12/15/2022	of vehicles and other personal	Inoperable cars and trucks need current plates must be drivable and parked in drive way not in yard	Staff Initiated
22- 000998	SANCHEZ, JAVIER D	627	NORTH	ADAMS	ST	12/15/2022		remove any yard litter after cars	Staff Initiated
22-	CARRASCA, CHERYL & NANNINGA, ASTRID A			WILLOW	ST	12/15/2022	Littering	Pallet or wood crate in yard	Staff Initiated

22-	BAILEY, WILLIAM J	1039		TERRY	AVE	12/15/2022		Truck and trailer must run and	
001000								current plates or towed away	
							other personal		
							property		
22-	BAILEY, WILLIAM J	1039		TERRY	AVE	12/15/2022		Truck and trailer need to be	
001000							Areas - For one and	parked in drive way	
							two family dwelling		
22-	FLETCHER REAL	819		BIRCH	PL	12/19/2022		Remove fridg	
001001	ESTATE LLC,						Refrigerators		
22-	FLETCHER REAL	819		BIRCH	PL	12/19/2022	Littering	Fridg on porch	
001001	ESTATE LLC,							3 1	
22-		819		BIRCH	PL	12/19/2022	Littering	Litter in yard	
001001	ESTATE LLC,								
22-	OSMANI, DRITON &	809		BIRCH	PL	12/19/2022	Storage and parking	junk truck must drive with current	
001002	KIESEWETTER,							plates silver dodge if not need to	
001002	MIRANDA A						other personal	tow or put in garage	
							property		
22-	MELO, CYNTHIA L	430	NORTH	GROVE		12/19/2022	Storage and parking	Junk red truck must drive and	
001003							of vehicles and	current plates if not tow away	
001000							other personal		
							property		
22-	MELO, CYNTHIA L	430	NORTH	GROVE		12/19/2022	Littering	Yard clean up	
001003									
22-	MELO, CYNTHIA L	430	NORTH	GROVE		12/19/2022	Location of Parking	Code for parking	
	-, -						Areas - For one and		
001003							two family dwelling		
22-	SALL, KAREN L	328		PERKINS		12/19/2022		Inop trucks must drive and with	
001004								current plates repair or tow	
001004							other personal	away	
							property		
22-	SALL, KAREN L	328		PERKINS		12/19/2022	Littering	litter in yard yard clean up	
001004								needed	
00.007									

22-	REED, JAMES L JR	108	NORTH	ELM	ST	12/19/2022	Littering	Wrong stickers on sofas	
001005									
22- 001006	HUMPHREY, NICHOLAS J & RANDI	920	WEST	SOUTH	ST	12/20/2022	Violation Penalties	Permit required for accessory structure.	Staff Initiated
22- 001006	HUMPHREY, NICHOLAS J & RANDI	920	WEST	SOUTH	ST	12/20/2022	Unlawful Continuance	Permit required for accessory structure.	Staff Initiated
22- 001007	KEWANEE HOUSE OF PRAYER INC,	106	NORTH	MAIN	ST	12/20/2022	Unsafe, Unsightly Structures	South wall falling	Staff Initiated
22- 001007	KEWANEE HOUSE OF PRAYER INC,	106	NORTH	MAIN	ST	12/20/2022	Exterior Structure, Unsafe Conditions	Falling south wall	Staff Initiated
22- 001007	KEWANEE HOUSE OF PRAYER INC,	106	NORTH	MAIN	ST	12/20/2022	Exterior Structure, Protective Treatment	South wall	Staff Initiated
22- 001007	KEWANEE HOUSE OF PRAYER INC,	106	NORTH	MAIN	ST	12/20/2022	Exterior Structure, Exterior walls	Falling south wall	Staff Initiated
22- 001008	PEREDA-CORRAL, JOSE & PEREDA, MARIA D	446		CIRCLE	DR	12/29/2022	Location of Parking Areas - For one and two family dwelling	not parking on hard surface	
22- 001009	GEMAX LLC,	112	WEST	GARFIELD		12/29/2022	Location of Parking Areas - For one and two family dwelling	Need to park on hard surface	Staff Initiated
22- 001010	HENDRIX, BYRON J & ELEANORA E	402		MINER	ST	12/30/2022	Location of Parking Areas - For one and two family dwelling	Need to park on hard surface	Staff Initiated
22- 001011	GARMS, JACKIE M	337		WHITNEY	AVE	12/30/2022	Unsafe, Unsightly Structures	BOARDS ON ROOF FALLING UNSAFE	
22- 001012	MEDINA, JORGE	201		PAYSON	ST	12/30/2022	Storage and parking of vehicles and other personal property	Truck in back yard must drive and current plates if not remove	Staff Initiated

BOCK INC. MONTHLY REPORT FOR DECEMBER, 2022

SUBMITTED BY: SB____

IEPA SUMMARY

No communications with the IEPA for the month of November.

MAINTENANCE SUMMARY

BOCK INC. generated 33 preventive work orders for the month. All 33 work orders were completed. In addition to the preventive work orders, there was 5 corrective maintenance work orders performed.

<u>SAFETY SUMMARY</u>

Because safety is an important part of our daily practice, we have been without a loss time injury at the plant for 95 months.

OPERATIONS SUMMARY

Flow for the month averaged 2.742784 MGD with the rainfall totaling 2.54 inches.

Total KWH used for the month was 168,800.

Permit Permit #: IL0029343 Permittee: KEWANEE, CITY OF Facility: KEWANEE STP Major: Yes Permittee Address: **401 EAST THIRD STREET Facility Location:** 194 FISCHER AVENUE KEWANEE, IL 61443 KEWANEE, IL 61413 001 Discharge: 001-S Permitted Feature: External Outfall SEMI ANNUAL SAMPLING @ 001 Report Dates & Status From 07/01/22 to 12/31/22 **DMR Due Date:** 01/25/23 Status: **Monitoring Period: NetDMR Validated Considerations for Form Completion** W0730650010 **Principal Executive Officer** Title: Telephone: **First Name:** Stanley **Chief Operator** 309-852-2789 **Last Name:** Bockewitz No Data Indicator (NODI) Form NODI: Monitoring Location Season # Param. NODI **Quantity or Loading Quality or Concentration** # of Ex. Frequency of Analysis Sample Type Code Qualifier 1 Value 1 Qualifier 2 Value 2 Units Qualifier 1 Value 1 Qualifier 2 Value 2 Qualifier 3 Value 3 Sample 19 - mg/L 09/99 - See Permit GR - GRAB Req Mon DAILY MX 19 - mg/L Permit Req 09/99 - See Permit GR - GRAB 00556 **Oil & Grease** 1 - Effluent Gross 0 Value NODI GR - GRAB Sample 0.005 28 - ug/L 09/99 - See Permit Req Mon DAILY MX 28 - ug/L Permit Reg 09/99 - See Permit GR - GRAB 1 - Effluent Gross 0 00720 Cyanide, total [as CN] Value NODI Sample 0.005 28 - ug/L 09/99 - See Permit GR - GRAB Req Mon DAILY MX 28 - ug/L 09/99 - See Permit GR - GRAB Permit Req. 00722 **Cyanide, free [amenable to chlorination]** 1 - Effluent Gross 0 Value NODI 24 - COMP24 Sample 1.09 19 - mg/L 09/99 - See Permit Req Mon DAILY MX 19 - mg/L 0 Permit Reg. 09/99 - See Permit 24 - COMP24 1 - Effluent Gross 0 00951 Fluoride, total [as F] Value NODI Sample 19 - mg/L 09/99 - See Permit 24 - COMP24 **Permit Req** Req Mon DAILY MX 19 - mg/L 09/99 - See Permit 24 - COMP24 01002 Arsenic, total [as As] 1 - Effluent Gross 0 Value NODI 0.04 19 - mg/L 09/99 - See Permit 24 - COMP24 Sample Req Mon DAILY MX 19 - mg/L Permit Reg 09/99 - See Permit 24 - COMP24 1 - Effluent Gross 0 01007 Barium, total [as Ba] Value NODI Sample 0.001 19 - mg/L 09/99 - See Permit 24 - COMP24 Req Mon DAILY MX 19 - mg/L 09/99 - See Permit 24 - COMP24 Permit Req. 01027 Cadmium, total [as Cd] 1 - Effluent Gross 0 Value NODI 09/99 - See Permit GR - GRAB Sample 19 - mg/L Req Mon DAILY MX 19 - mg/L 0 Permit Req 09/99 - See Permit GR - GRAB 01032 Chromium, hexavalent [as Cr] 1 - Effluent Gross 0 Value NODI 0.004 24 - COMP24 Sample 19 - mg/L 09/99 - See Permit Req Mon DAILY MX 19 - mg/L 09/99 - See Permit 24 - COMP24 Permit Req. 01034 Chromium, total [as Cr] 1 - Effluent Gross 0 Value NODI 19 - mg/L Sample 0.0083 09/99 - See Permit 24 - COMP24 Req Mon DAILY MX 19 - mg/L 0 Permit Req 09/99 - See Permit 24 - COMP24 01042 Copper, total [as Cu] 1 - Effluent Gross 0 Value NODI Sample 0.043 19 - mg/L 09/99 - See Permit 24 - COMP24 Permit Req Req Mon DAILY MX 19 - mg/L 09/99 - See Permit 24 - COMP24 01045 Iron, total [as Fe] 1 - Effluent Gross 0 Value NODI 24 - COMP24 Sample 0.048 19 - mg/L 09/99 - See Permit Req Mon DAILY MX 19 - mg/L 0 Permit Req 09/99 - See Permit 24 - COMP24 01046 Iron, dissolved [as Fe] 1 - Effluent Gross 0 Value NODI 24 - COMP24 Sample 19 - mg/L 09/99 - See Permit Req Mon DAILY MX 19 - mg/L 09/99 - See Permit 24 - COMP24 Permit Req 01051 Lead, total [as Pb] 1 - Effluent Gross 0

Value NODI

				Sample	=	0.0012	19 - mg/L	09/99 - See Permit	24 - COMP24
01055	Manganese, total [as Mn]	1 - Effluent Gross	0	 Permit Req.		Req Mon DAILY MX	19 - mg/L 0	09/99 - See Permit	24 - COMP24
0.000			-	Value NODI					
				Sample	<		19 - mg/L	09/99 - See Permit	24 - COMP24
01067	Nickel, total [as Ni]	1 - Effluent Gross	0	 Permit Req.		Req Mon DAILY MX	19 - mg/L 0	09/99 - See Permit	24 - COMP24
0.00.	Theres, team [ac 111]		ŭ	Value NODI					
				Sample	<	0.003	19 - mg/L	09/99 - See Permit	24 - COMP24
01077	Silver, total [as Ag]	1 - Effluent Gross	0	 Permit Req.		Req Mon DAILY MX	19 - mg/L ₀	09/99 - See Permit	24 - COMP24
0.0			ŭ	Value NODI					
				Sample	=	0.022	19 - mg/L	09/99 - See Permit	24 - COMP24
01092	Zinc, total [as Zn]	1 - Effluent Gross	0	 Permit Req.		Req Mon DAILY MX	19 - mg/L ₀	09/99 - See Permit	24 - COMP24
01002	Zino, total [ao Zin]	I Lindon Croos	Ü	Value NODI					
				Sample	=	0.0038	19 - mg/L	09/99 - See Permit	24 - COMP24
01147	Selenium, total [as Se]	1 - Effluent Gross	0	 Permit Req.		Req Mon DAILY MX	19 - mg/L ₀	09/99 - See Permit	24 - COMP24
• • • • • • • • • • • • • • • • • • • •	Coloniani, total [ac co]		ŭ	Value NODI					
				Sample	<	0.005	19 - mg/L	09/99 - See Permit	GR - GRAB
32730	Phenolics, total recoverable	1 - Effluent Gross	0	 Permit Req.		Req Mon DAILY MX	19 - mg/L ₀	09/99 - See Permit	GR - GRAB
02.00	Thenenes, tetal reseverable		ŭ	Value NODI					
				Sample	<	0.5	3M - ng/L	09/99 - See Permit	GR - GRAB
71900	Mercury, total [as Hg]	1 - Effluent Gross	0	 Permit Req.		Req Mon DAILY MX	3M - ng/L	09/99 - See Permit	GR - GRAB
7 1000	mercary, total [as rig]	- Lindon Oloos	J	Value NODI					

Submission Note

If a parameter row does not contain any values for the Sample nor Effluent Trading, then none of the following fields will be submitted for that row: Units, Number of Excursions, Frequency of Analysis, and Sample Type.

Edit Check Errors

No errors.

Comments

Attachments

No attachments.

Report Last Saved By

KEWANEE, CITY OF

User: bockinc1992

Name: Stanley Bockewitz
E-Mail: stanb@bockinc.net

Date/Time: 2023-01-05 15:55 (Time Zone: -06:00)

Report Last Signed By

User: bockinc1992

Name: Stanley Bockewitz

E-Mail: stanb@bockinc.net

Date/Time: 2023-01-05 15:57 (Time Zone: -06:00)

IL0029343 Permit #:

Yes Major:

Permittee: KEWANEE, CITY OF Permittee Address:

401 EAST THIRD STREET KEWANEE, IL 61443

Facility:

194 FISCHER AVENUE KEWANEE, IL 61413 Facility Location:

KEWANEE STP

Permitted Feature: 001

External Outfall

Bockewitz

001-0 STP OUTFALL Discharge:

Report Dates & Status

DMR Due Date: Status: From 12/01/22 to 12/31/22 01/25/23 **NetDMR Validated Monitoring Period:**

Considerations for Form Completion

W0730650010; DMF LOAD LIMITS DISPLAYED

Principal Executive Officer

Telephone: Title: Chief Operator 309-852-2789 First Name: Stanley

Last Name: No Data Indicator (NODI)

	Parameter	Monitoring	Season	Param.				ntity or Lo								or Concentration		# of	Frequency of Analysis	Sample Typ
Code	Name	Location	#	NODI		Qualifier 1	Value 1	Qualifier 2	v Value 2	Units	Qualifier 1	Value 1	Qualifier 2	Value 2	Qualifie 3	er Value 3	Units	Ex.		
					Sample						=	9.6	=	9.6	=	9.13	19 - mg/L		01/07 - Weekly	GR - GRAI
300	Oxygen, dissolved [DO]	1 - Effluent Gross	1		Permit Req.						>=	5.5 MO AV MN	>=	4.0 MN WK AV	>=	3.5 DAILY MN	19 - mg/L	0	01/07 - Weekly	GR - GRAI
		01000			Value NODI															
					Sample						=	7.68			=	7.75	12 - SU		01/07 - Weekly	GR - GRA
00	рН	1 - Effluent Gross	0		Permit Req.						>=	6.0 MINIMUM			<=	9.0 MAXIMUM	12 - SU	0	01/07 - Weekly	GR - GRAE
		C1000			Value NODI															
					Sample	= 1	16.0	=	24.5	26 - lb/d			=	0.8	=	1.5	19 - mg/L		01/07 - Weekly	CP - COMPOS
30	Solids, total suspended	1 - Effluent Gross	0		Permit Req.	<= 5	500.0 MO AVG	<=	1001.0 DAILY MX	26 - lb/d			<=	12.0 MO AVG	<=	24.0 DAILY MX	19 - mg/L	0	01/07 - Weekly	CP - COMPOS
		0.000			Value NODI															
					Sample										=	8.7	19 - mg/L		01/30 - Monthly	CP - COMPOS
00	Nitrogen, total [as N]	1 - Effluent	0		Permit											Req Mon DAILY MX	19 - mg/L	0	01/30 - Monthly	CP - COMPOS
	,	Gross			Req. Value												mg/L			COMPOS
					NODI Sample	= ().2	=	0.3	26 - lb/d			_	0.013	<	0.015	19 -		01/07 - Weekly	CP -
10	Nitrogen, ammonia total [as N]	1 - Effluent	3		Permit		104.0 MO AVG	/=	179.0 DAILY MX					2.5 MO AVG		4.3 DAILY MX	mg/L 19 - mg/L	-		COMPOS CP -
•	This egon, animoma total [ao 14]	Gross			Value			1					1				mg/L		.,	COMPOS
					NODI										=	1.4	19 -		01/30 - Monthly	CP -
		1 - Effluent			Sample Permit										_		mg/L 19 -		,	COMPOS CP -
65	Phosphorus, total [as P]	Gross	0		Req. Value											Req Mon DAILY MX	mg/L	0	01/30 - Monthly	COMPOS
					NODI												40			CP -
					Sample			=	9389.0	26 - lb/d					=	540.0	19 - mg/L		01/07 - Weekly	COMPOS
40	Chloride [as Cl]	1 - Effluent Gross	0		Permit Req.			<=	20850.0 DAILY MX	26 - lb/d					<=	500.0 DAILY MX	19 - mg/L	1	01/07 - Weekly	CP - COMPOS
					Value NODI															
					Sample	= 2	2.116532	=	3.996966	03 - MGD									99/99 - Continuous	
50	Flow, in conduit or thru treatment plant	1 - Effluent Gross	0		Permit Req.		Req Mon MO AVG		Req Mon DAILY MX	03 - MGD								0	99/99 - Continuous	
	F				Value NODI															
					Sample												40		21.02	
0	Chlorine, total residual	1 - Effluent	0		Permit Req.										<=	0.038 DAILY MX	19 - mg/L		CL/OC - Chlorination/Occurances	GR - GRAB
	,	Gross			Value NODI											9 - Conditional Monitoring - Not Required This Period				

				Sample	=	24.8	=	38.9	26 - lb/d	=	1.24	=	2.28	19 - mg/L		01/07 - Weekly	CP - COMPOS
80082	BOD, carbonaceous [5 day, 20 C]	1 - Effluent Gross	0	 Permit Req.	<=	417.0 MO AVG	<=	834.0 DAILY MX	26 - lb/d	<=	10.0 MO AV	} <=	20.0 DAILY MX	19 - mg/L	0	01/07 - Weekly	CP - COMPOS
				Value NODI													

Submission Note

If a parameter row does not contain any values for the Sample nor Effluent Trading, then none of the following fields will be submitted for that row: Units, Number of Excursions, Frequency of Analysis, and Sample Type.

Edit Check Errors

		Parameter	Monitoring Logation	Field	Type	Description	Acknowledge
	Code	Name	Monitoring Location	rieiu	Туре	Description	Acknowledge
00	940	Chloride [as Cl]	1 - Effluent Gross	Quality or Concentration Sample Value 3	Soft	The provided sample value is outside the permit limit. Please verify that the value you have provided is correct.	Yes

Comments

Chlorination did not occur during this monitoring period.

Attachments

No attachments.

Report Last Saved By KEWANEE, CITY OF

User: bockinc1992
Name: Stanley Bockewitz
E-Mail: stanb@bockinc.net

Date/Time: 2023-01-05 15:31 (Time Zone: -06:00)

Report Last Signed By

User: bockinc1992
Name: Stanley Bockewitz
E-Mail: stanb@bockinc.net

Date/Time: 2023-01-05 15:56 (Time Zone: -06:00)

Date/Time:

Permit Permittee: KEWANEE, CITY OF **KEWANEE STP** Permit #: IL0029343 Facility: Yes **Facility Location:** Major: Permittee Address: 401 EAST THIRD STREET 194 FISCHER AVENUE KEWANEE, IL 61443 KEWANEE, IL 61413 003 Discharge: **Permitted Feature:** 003-0 External Outfall **EMERGENCY HIGH LEVEL OVERFLOW** Report Dates & Status **DMR Due Date:** Status: **Monitoring Period:** From 12/01/22 to 12/31/22 01/25/23 **NetDMR Validated Considerations for Form Completion** W0730650010 Principal Executive Officer Stanley Title: **Chief Operator** Telephone: **First Name:** 309-852-2789 Last Name: Bockewitz No Data Indicator (NODI) Form NODI: Monitoring Location Season # Param. NODI Quantity or Loading **Quality or Concentration** # of Ex. Frequency of Analysis Qualifier 1 Value 1 Qualifier 2 Units Qualifier 1 Value 1 Qualifier 2 Value 2 Qualifier 3 Code Value 2 Value 3 Units Sample DL/DS - Daily When Discharging GR - GRAB Opt Mon DAILY MX 19 - mg/L Permit Req. 1 - Effluent Gross 0 00310 **BOD, 5-day, 20 deg. C** C - No Discharge Value NODI Sample Permit Reg. Opt Mon DAILY MX 19 - mg/L DL/DS - Daily When Discharging GR - GRAB 00530 **Solids, total suspended** 1 - Effluent Gross 0 C - No Discharge Value NODI Sample Opt Mon DAILY MX 13 - #/100mL DL/DS - Daily When Discharging GR - GRAB Permit Req. 74055 **Coliform, fecal general** 1 - Effluent Gross 0 C - No Discharge Value NODI Sample DL/DS - Daily When Discharging Opt Mon MO TOTAL 4K - #/mo Permit Req. 74071 **Flow** 1 - Effluent Gross 0 Value NODI C - No Discharge **Submission Note** If a parameter row does not contain any values for the Sample nor Effluent Trading, then none of the following fields will be submitted for that row: Units, Number of Excursions, Frequency of Analysis, and Sample Type. **Edit Check Errors** No errors. **Comments Attachments** No attachments. Report Last Saved By **KEWANEE**, CITY OF User: bockinc1992 Name: Stanley Bockewitz E-Mail: stanb@bockinc.net Date/Time: 2023-01-05 15:32 (Time Zone: -06:00) Report Last Signed By User: bockinc1992 Name: Stanley Bockewitz E-Mail: stanb@bockinc.net

2023-01-05 15:58 (Time Zone: -06:00)

Permit

Major:

Permit #: IL0029343

Yes

Permittee: KEWANEE, CITY OF

Permittee Address: 401 EAST THIRD STREET

KEWANEE, IL 61443

Permitted Feature: 004 Discharge: 004-0 External Outfall EXCES

EXCESS FLOW LAGOON OUTFALL- EAST LAGOON

KEWANEE STP

194 FISCHER AVENUE

KEWANEE, IL 61413

Facility:

Facility Location:

Report Dates & Status

Monitoring Period: From 12/01/22 to 12/31/22 DMR Due Date: 01/25/23 Status: NetDMR Validated

Considerations for Form Completion

W0730650010; NUMBER OF DAYS OF DISCHARGE:

Principal Executive Officer

First Name: Stanley Title: Chief Operator Telephone: 309-852-2789

Last Name: Bockewitz

No Data Indicator (NODI)

Form NODI:

	Parameter	Monitoring Location	Season #	# Param. NODI			Quantity	or Loading				Quality or Concentr	ation			# of Ex. Frequency of Analysis S	Sample Type
Code	Name					Qualifier 1 Va	lue 1 Qualifier 2	Value 2	Units Qualifie	r 1 Value 1	Qualifier 2	2 Value 2	Qualifier 3	Value 3	Units		
00300	Oxygen, dissolved [DO]	1 - Effluent Gross	0		Sample Permit Req. Value NODI					Req Mon MO AV MN C - No Discharge		Req Mon MN WK AV		Req Mon DAILY MN C - No Discharge	19 - mg/L	DL/DS - Daily When Discharging G	GR - GRAB
00310	BOD, 5-day, 20 deg. C	1 - Effluent Gross	0		Sample Permit Req. Value NODI						<=	30.0 MO AVG C - No Discharge		45.0 WKLY AVG C - No Discharge	19 - mg/L	DL/DS - Daily When Discharging G	GR - GRAB
00400	рН	1 - Effluent Gross	0		Sample Permit Req. Value NODI				>=	6.0 MINIMUM C - No Discharge			<=	9.0 MAXIMUM C - No Discharge	12 - SU	DL/DS - Daily When Discharging G	GR - GRAB
00530	Solids, total suspended	1 - Effluent Gross	0		Sample Permit Req. Value NODI						<=	30.0 MO AVG C - No Discharge		45.0 WKLY AVG C - No Discharge	19 - mg/L	DL/DS - Daily When Discharging G	GR - GRAB
00610	Nitrogen, ammonia total [as N]	1 - Effluent Gross	0		Sample Permit Req. Value NODI									Req Mon DAILY MX C - No Discharge	19 - mg/L	DL/DS - Daily When Discharging G	GR - GRAB
00665	Phosphorus, total [as P]	1 - Effluent Gross	0		Sample Permit Req. Value NODI									Req Mon DAILY MX C - No Discharge	19 - mg/L	DL/DS - Daily When Discharging G	GR - GRAB
50060	Chlorine, total residual	1 - Effluent Gross	0		Sample Permit Req. Value NODI								<=	0.75 DAILY MX C - No Discharge	19 - mg/L	DL/DS - Daily When Discharging G	GR - GRAB
74055	Coliform, fecal general	1 - Effluent Gross	0		Sample Permit Req. Value NODI								<=	400.0 DAILY MX C - No Discharge	13 - #/100m	DL/DS - Daily When Discharging G	GR - GRAB
82220	Flow, total	1 - Effluent Gross	0		Sample Permit Req. Value NODI			Req Mon MO TOTAL C - No Discharge	03 - MGD							DL/DS - Daily When Discharging C	CN - CONTIN

Submission Note

If a parameter row does not contain any values for the Sample nor Effluent Trading, then none of the following fields will be submitted for that row: Units, Number of Excursions, Frequency of Analysis, and Sample Type.

Edit Check Errors

No errors.

Comments

Attachments

No attachments.

Report Last Saved By

KEWANEE, CITY OF

Jser: bockinc1992

Name: Stanley Bockewitz
E-Mail: stanb@bockinc.net

Date/Time: 2023-01-05 15:32 (Time Zone: -06:00)

Report Last Signed By

User:bockinc1992Name:StanleyBockewitzE-Mail:stanb@bockinc.net

Date/Time: 2023-01-05 15:58 (Time Zone: -06:00)

Permit

Major:

Permit #: IL0029343

Yes

Permittee: KEWANEE, CITY OF

Permittee Address: 401 EAST THIRD STREET

KEWANEE, IL 61443

Permitted Feature: 005

External Outfall

From 12/01/22 to 12/31/22

Discharge: 005-0

DMR Due Date:

Title:

EXCESS FLOW LAGOON OUTFALL-WEST LAGOON

Report Dates & Status

Monitoring Period:

01/25/23

NetDMR Validated

KEWANEE STP

194 FISCHER AVENUE

KEWANEE, IL 61413

Considerations for Form Completion

W0730650010; NUMBER OF DAYS OF DISCHARGE:

Principal Executive Officer

First Name: Stanley

Bockewitz

Chief Operator Telephone: 309-852-2789

Facility:

Status:

Facility Location:

No Data Indicator (NODI)

Last Name:

Form NODI:

	Parameter	Monitoring Location	Season #	Param. NODI			Quantity	or Loading					Quality or Concentra	ation			# of Ex.	Frequency of Analysis	Sample Type
Code	Name				Q	ualifier 1 Value 1	Qualifier 2	Value 2	Units Qua	alifier 1	Value 1	Qualifier 2	Value 2	Qualifier 3	Value 3	Units			
00300	Oxygen, dissolved [DO]	1 - Effluent Gross	0		Sample Permit Req. Value NODI						q Mon MO AV MN		Req Mon MN WK A\ C - No Discharge		Req Mon DAILY MN C - No Discharge	19 - mg/L		DL/DS - Daily When Discharging	GR - GRAB
00310	BOD, 5-day, 20 deg. C	1 - Effluent Gross	0		Sample Permit Req. Value NODI							<=	30.0 MO AVG C - No Discharge		45.0 WKLY AVG C - No Discharge	19 - mg/L		DL/DS - Daily When Discharging	GR - GRAB
00400	рН	1 - Effluent Gross	0		Sample Permit Req. Value NODI				>=		MINIMUM - No Discharge			<=	9.0 MAXIMUM C - No Discharge	12 - SU		DL/DS - Daily When Discharging	GR - GRAB
00530	Solids, total suspended	1 - Effluent Gross	0		Sample Permit Req. Value NODI							<=	30.0 MO AVG C - No Discharge		45.0 WKLY AVG C - No Discharge	19 - mg/L		DL/DS - Daily When Discharging	GR - GRAB
00610	Nitrogen, ammonia total [as N]	1 - Effluent Gross	0		Sample Permit Req. Value NODI										Req Mon DAILY MX C - No Discharge	19 - mg/L		DL/DS - Daily When Discharging	GR - GRAB
00665	Phosphorus, total [as P]	1 - Effluent Gross	0		Sample Permit Req. Value NODI										Req Mon DAILY MX C - No Discharge	19 - mg/L		DL/DS - Daily When Discharging	GR - GRAB
50060	Chlorine, total residual	1 - Effluent Gross	0		Sample Permit Req. Value NODI									<=	0.75 DAILY MX C - No Discharge	19 - mg/L		DL/DS - Daily When Discharging	GR - GRAB
74055	Coliform, fecal general	1 - Effluent Gross	0		Sample Permit Req. Value NODI	_								<=	400.0 DAILY MX C - No Discharge	13 - #/100m		DL/DS - Daily When Discharging	GR - GRAB
82220	Flow, total	1 - Effluent Gross	0		Sample Permit Req. Value NODI			Req Mon MO TOTAL C - No Discharge	03 - MGD									DL/DS - Daily When Discharging	CN - CONTIN

Submission Note

If a parameter row does not contain any values for the Sample nor Effluent Trading, then none of the following fields will be submitted for that row: Units, Number of Excursions, Frequency of Analysis, and Sample Type.

Edit Check Errors

No errors.

Comments

Attachments

No attachments.

Report Last Saved By

KEWANEE, CITY OF

User: bockinc1992

Name: Stanley Bockewitz
E-Mail: stanb@bockinc.net

Date/Time: 2023-01-05 15:33 (Time Zone: -06:00)

Report Last Signed By

User:bockinc1992Name:StanleyBockewitzE-Mail:stanb@bockinc.net

Date/Time: 2023-01-05 15:59 (Time Zone: -06:00)

E-Mail:

Date/Time:

stanb@bockinc.net

2023-01-05 16:00 (Time Zone: -06:00)

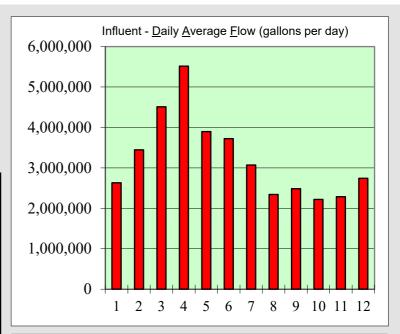
Permit IL0029343 KEWANEE, CITY OF Facility: KEWANEE STP Permit #: Permittee: Yes Permittee Address: 401 EAST THIRD STREET **Facility Location:** 194 FISCHER AVENUE Major: KEWANEE, IL 61443 KEWANEE, IL 61413 **Permitted Feature:** INF Discharge: INF-L Internal Outfall INFLUENT MONITORING Report Dates & Status **DMR Due Date:** Status: **Monitoring Period:** From 12/01/22 to 12/31/22 01/25/23 **NetDMR Validated Considerations for Form Completion** W0730650010 **Principal Executive Officer** Telephone: First Name: Stanley Title: **Chief Operator** 309-852-2789 Last Name: Bockewitz No Data Indicator (NODI) Form NODI: Season # Param. NODI **Quality or Concentration** # of Ex. Frequency of Analysis Sample Type Monitoring Location Quantity or Loading Qualifier 1 Qualifier 2 Units Qualifier 1 Value 1 Qualifier 2 Value 2 Qualifier 3 Value 3 Units Code CP - COMPOS Sample 19 - mg/L 01/07 - Weekly 19 - mg/L ₀ CP - COMPOS Reg Mon MO AVG 01/07 - Weekly Permit Req. 00310 BOD, 5-day, 20 deg. C G - Raw Sewage Influent 0 Value NODI 126.4 19 - mg/L 01/07 - Weekly CP - COMPOS Sample 19 - mg/L ₀ Permit Req. Reg Mon MO AVG 01/07 - Weekly CP - COMPOS 00530 Solids, total suspended G - Raw Sewage Influent 0 Value NODI Sample 2.742784 4.368598 03 - MGD 99/99 - Continuous Req Mon DAILY MX 03 - MGD Req Mon MO AVG 99/99 - Continuous Permit Req. 50050 Flow, in conduit or thru treatment plant G - Raw Sewage Influent 0 Value NODI If a parameter row does not contain any values for the Sample nor Effluent Trading, then none of the following fields will be submitted for that row: Units, Number of Excursions, Frequency of Analysis, and Sample Type. **Edit Check Errors** No errors. Comments Attachments No attachments. Report Last Saved By KEWANEE, CITY OF bockinc1992 User: Name: Stanley Bockewitz E-Mail: stanb@bockinc.net Date/Time: 2023-01-05 15:34 (Time Zone: -06:00) Report Last Signed By User: bockinc1992 Stanley Bockewitz Name:

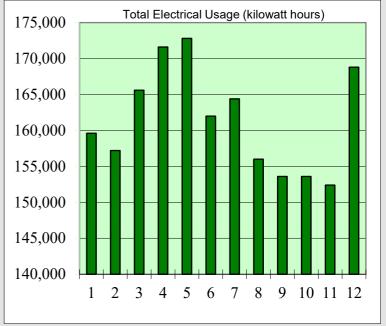
Kewanee, Illinois Wastewater Treatment Plant Twelve Month Moving Average Report Submitted by Bock Inc.

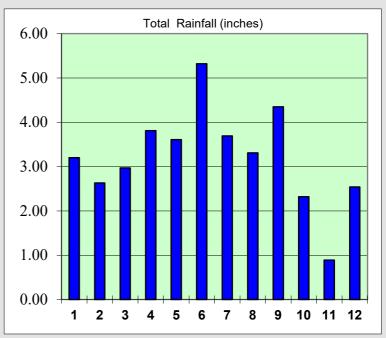
		Influent - Daily	Total	Total
		Average Flow	Electrical Usage	Rainfall
	Date	(gallons per day)	(kilowatt hours)	(inches)
1	January 2022	2,632,674	159,600	3.20
2	February 2022	3,447,745	157,200	2.63
3	March 2022	4,512,901	165,600	2.97
4	April 2022	5,517,550	171,600	3.81
5	May 2022	3,899,497	172,800	3.61
6	June 2022	3,724,918	162,000	5.32
7	July 2022	3,068,837	164,400	3.69
8	August 2022	2,342,156	156,000	3.31
9	September 2022	2,485,064	153,600	4.35
10	October 2022	2,220,222	153,600	2.32
11	November 2022	2,287,828	152,400	0.89
12	December 2022	2,742,784	168,800	2.54
	Total	38,882,176	1,937,600	38.64
	Average	3,240,181	161,467	3.22

The Plant <u>Design Average Flow is</u> 2,000,000 Gallons per Day.

The Plant <u>Design Maximum Flow is</u> 5,000,000 Gallons per Day.









401 East Third Street - Kewanee IL 614432365 - AP Invoices - Warrant List V1 (No Payroll) -

Invoice Final Update - G/L Source: C/V - Tentative G/L Register: 1064 Cash Basis Tentative G/L Date: 01/09/2023

Invoice #	Vendor #	Name	Trans Code	Trans Date	Due Date	Amount
0207576-IN	BON00	BONNELL INDUSTRIES INC	BI	12/19/22	01/09/23	\$238.14
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63416		Invoice Amount			\$238.14	
	62-45-612	8' Pro Plow		\$238.14	¢229.14	
				\$238.14	\$238.14	
021 PAYABLE-2 -Payment ID- 63438	IHM00	IH MISSISSIPPI VALLEY CREDIT UNION	ВІ	12/07/22	01/09/23	\$9,528.91
33.33	G/L Account	G/L Description		Debit	Credit	
	44-84D-710	Invoice Amount Principal Payment		\$8,596.31	\$9,528.91	
	44-84D-720	Interest		\$932.60		
				\$9,528.91	\$9,528.91	
021 PAYABLE-2	JOH37	JOHNSON THEATERS, INC	ВІ	12/07/22	01/09/23	\$70.46
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63443		Invoice Amount			\$70.46	
	44-84E-720	Interest		\$70.46	4	
				\$70.46	\$70.46	
10144214 -Payment ID-	INT02	INTERSTATE BATTERY SYSTEMS OF CENTRAL IL	ВІ	12/06/22	01/09/23	\$159.90
63441	G/L Account	G/L Description		Debit	Credit	
	04.04.654	Invoice Amount		4450.00	\$159.90	
	01-21-651	Police Speed Signs		\$159.90 \$159.90	\$159.90	
10144409 -Payment ID- 63441	INT02	INTERSTATE BATTERY SYSTEMS OF CENTRAL IL	ВІ	12/19/22	01/09/23	\$398.85
63441	G/L Account	G/L Description		Debit	Credit	
	62-45-613	Invoice Amount Stock		\$398.85	\$398.85	
	02-45-015	Stock		\$398.85	\$398.85	
112109	BIT00	MARK BITTING	ВІ	12/20/22	01/09/23	\$2,437.50
-Payment ID- 63414	G/L Account	G/L Description		Debit	Credit	
03414	57.44.574	Invoice Amount		62 427 50	\$2,437.50	
	57-44-574	Landscape Work		\$2,437.50 \$2,437.50	\$2,437.50	
11226	CVLOC	CVINDEDC DILIC II C	D.	42/20/22		6450.00
11326 -Payment ID-	CYL00	CYLINDERS PLUS LLC	BI	12/20/22	01/09/23	\$158.00
63425	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$158.00	
	62-45-612	Water Backhoe		\$158.00	Ç130.00	
				\$158.00	\$158.00	



FF00	OFFICE SPECIALISTS INC	BI	12/01/22	01/09/23	\$128.13
/L Account	G/L Description		Debit		-
	Invoice Amount			\$128.13	
2-93-652			\$128.13		
			\$128.13	\$128.13	
FF00	OFFICE SPECIALISTS INC	ВІ	01/03/23	01/09/23	\$101.68
/L Account	G/L Description		Debit	Credit	
	Invoice Amount			\$101.68	
2-93-652	Office Supplies		\$101.68		
			\$101.68	\$101.68	
REILLY	O'REILLY AUTOMOTIVE STORES, INC	ВІ	12/22/22	01/09/23	\$75.76
/L Account	G/L Description		Debit	Credit	
	Invoice Amount			\$75.76	
2-45-613	Wiper Blades & SnoW Brush		\$75.76		
			\$75.76	\$75.76	
OL14	COLWELL, BRENT	ВІ	01/01/23	01/09/23	\$50.00
/L Account	G/L Description		Debit	Credit	
	Invoice Amount			\$50.00	
2-61-549	Electrical Inspection				
			\$50.00	\$50.00	
OL14	COLWELL, BRENT	ВІ	12/27/22	01/09/23	\$50.00
/L Account	G/L Description		Debit	Credit	
	Invoice Amount		4	\$50.00	
2-61-549	ELECTRICAL INSPECTION			Å50.00	
			\$50.00	\$50.00	
AC00	HACH COMPANY	ВІ	12/01/22	01/09/23	\$144.50
/L Account	G/L Description		Debit	Credit	
	Invoice Amount			\$144.50	
2-93-652	Detergent Liquid-Nox		\$144.50		
			\$144.50	\$144.50	
OL00	GOLD STAR FS, INC	ВІ	01/03/23	01/09/23	\$541.68
/L Account	G/L Description		Debit	Credit	
	Invoice Amount			\$541.68	
4-54-571	Francis Park Lp Gas				
			\$541.68	\$541.68	
1UT03	MUTUAL OF OMAHA	BI	12/19/22	01/09/23	\$2,861.56
1UT03 /L Account	MUTUAL OF OMAHA G/L Description	ВІ	12/19/22 Debit	01/09/23 Credit	\$2,861.56
/L Account	G/L Description Invoice Amount	BI	Debit		\$2,861.56
	G/L Description	BI		Credit	\$2,861.56
	/L Account 2-93-652 FF00 /L Account 2-93-652 REILLY /L Account 2-45-613 OL14 /L Account 2-61-549 OL14 /L Account 2-61-549 AC00 /L Account 2-93-652 OL00	### Account G/L Description Invoice Amount	ALAccount G/L Description Invoice Amount PFOO OFFICE SPECIALISTS INC ALAccount G/L Description Invoice Amount Office Supplies PREILLY O'REILLY AUTOMOTIVE STORES, INC ALAccount G/L Description Invoice Amount Invoice Amount Wiper Blades & SnoW Brush OL14 COLWELL, BRENT BI ALAccount G/L Description Invoice Amount P-61-549 Electrical Inspection OL14 COLWELL, BRENT BI ALAccount G/L Description Invoice Amount P-61-549 Electrical Inspection OL14 COLWELL, BRENT BI ALAccount G/L Description Invoice Amount P-61-549 Electrical Inspection OL14 COLWELL, BRENT BI ALAccount G/L Description Invoice Amount P-61-549 Electrical Inspection OL14 COLWELL, BRENT BI ALAccount G/L Description Invoice Amount Detergent Liquid-Nox OL00 GOLD STAR FS, INC ALAccount G/L Description Invoice Amount	Account G/L Description Debit	Account G/L Description Debit Credit



1491	BI-01	BI-STATE REGIONAL COMM	ВІ	01/01/23	01/09/23	\$1,469.75
-Payment ID- 63413	G/L Account	G/L Description		Debit	Credit	
		Invoice Amount			\$1,469.75	
	01-11-561	Quarterly Membership		\$1,469.75		
				\$1,469.75	\$1,469.75	
16758	RAT00	RATLIFF BROS & CO	ВІ	12/30/22	01/09/23	\$780.00
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63456	G/E/Recount	Invoice Amount		Desir	\$780.00	
	01-41-549	Road Maintenance		\$780.00		
				\$780.00	\$780.00	
18177	WEM00	WEMPLES SALES & SERVICE	BI	12/28/22	01/09/23	\$46.25
-Payment ID-	G/L Account	G/L Description		Debit	Credit	¥ 101=0
63467	G/L Account	Invoice Amount		Debit	\$46.25	
	01-22-512	Ppv Fan Repair		\$46.25	7 101-2	
				\$46.25	\$46.25	
182765	USA01	USA BLUEBOOK	BI	11/18/22	01/09/23	\$147.86
-Payment ID-			ы			7147.00
63464	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$147.86	
	51-93-652	Clhorine Swiftest		\$147.86	Ų117.00	
				\$147.86	\$147.86	
19275	MIR00	MIROCHA'S AUTO SERVICE INC	ВІ	12/02/22	01/09/23	\$85.00
-Payment ID-			DI			\$85.00
63448	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$85.00	
	62-45-513	Alignment		\$85.00	\$65.00	
	02 10 010			\$85.00	\$85.00	
19276	MIR00	MIROCHA'S AUTO SERVICE INC	ВІ	12/02/22	01/09/23	\$185.00
-Payment ID-			DI			\$105.00
63448	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$185.00	
	62-45-513	Police Ford Tow		\$185.00	\$165.00	
				\$185.00	\$185.00	
19314	MIR00	MIROCHA'S AUTO SERVICE INC	ВІ	12/21/22	01/09/23	\$18.00
-Payment ID-			ы			\$10.00
63448	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$18.00	
	62-45-513	Tire Repair		\$18.00	\$18.00	
				\$18.00	\$18.00	
20160651	MCKOO	WCKECCUM WEDICAL CHROLOT	DI	12/20/22	01/00/22	ĊEA CO
20168651 -Payment ID-	MCK00	MCKESSON MEDICAL SURGICAL	ВІ	12/28/22	01/09/23	\$54.60
63445	G/L Account	G/L Description		Debit	Credit	
	01-22-612	Invoice Amount Trauma/Airway		\$54.60	\$54.60	
	O1 22 012	aumaj/mway		\$54.60	\$54.60	
				Ş54.00	уJ 4 .00	



МСК00	MCKESSON MEDICAL SURGICAL	ВІ	01/03/23	01/09/23	\$354.00
G/L Account	G/L Description		Debit	Credit	
	Invoice Amount			\$354.00	
01-22-612	I.V. Supply				
			\$354.00	\$354.00	
USA01	USA BLUEBOOK	ВІ	01/06/23	01/09/23	\$100.95
G/L Account	G/L Description		Debit	Credit	
.,	Invoice Amount			\$100.95	
51-42-653	Water Div. Tools		\$100.95		
			\$100.95	\$100.95	
IME02	IMEG CORPORATION	ВІ	12/12/22	01/09/23	\$7,125.00
G/L Account	G/I Description				. ,
G/E/Recount	Invoice Amount		Desir	\$7,125.00	
52-43-532.4	Frontier Comm. Permits		\$3,562.50		
51-42-532	Frontier Comm. Permits		\$3,562.50		
			\$7,125.00	\$7,125.00	
BEA07	BEA OF ILLINOIS	ВІ	12/20/22	01/09/23	\$258.00
					7-0000
G/L Account			Debit		
51-93-512	Chlorine Pump & Solenoid Relay		\$258.00	,	
			\$258.00	\$258.00	
BEA07	BEA OF ILLINOIS	ВІ	12/23/22	01/09/23	\$136,160.00
G/L Account	G/L Description		Debit	Credit	
<u> </u>	Invoice Amount			\$136,160.00	
52-93-850	Upgarde Ground System-Wwwtp		\$136,160.00		
			\$136,160.00	\$136,160.00	
CRA03	CRAWFORD. MURPHY & TILLY	ВІ	12/12/22	01/09/23	\$1,982.50
G/L Account					
G/ E / teebuilt	Invoice Amount		Desir	\$1,982.50	
23-64-549	Watermain Improvement		\$1,982.50		
			\$1,982.50	\$1,982.50	
		D.	12/12/23	01/09/23	\$6,447.50
CRA03	CRAWFORD, MURPHY & TILLY	BI			
CRA03	CRAWFORD, MURPHY & TILLY G/L Description	BI			Ç0,447.30
CRA03 G/L Account	G/L Description Invoice Amount		Debit	Credit	Ç0,447.30
	G/L Description				Ç0,447.3 0
G/L Account	G/L Description Invoice Amount	ВІ	Debit	Credit	Ç0,44713C
G/L Account 23-64-549	G/L Description Invoice Amount Hydraulic Model		\$6,447.50 \$6,447.50	\$6,447.50 \$6,447.50	
G/L Account 23-64-549 BEA07	G/L Description Invoice Amount Hydraulic Model BEA OF ILLINOIS	ВІ	\$6,447.50 \$6,447.50 11/30/22	\$6,447.50 \$6,447.50 01/09/23	\$1,262.15
G/L Account 23-64-549	G/L Description Invoice Amount Hydraulic Model BEA OF ILLINOIS G/L Description		\$6,447.50 \$6,447.50	\$6,447.50 \$6,447.50 01/09/23 Credit	
G/L Account 23-64-549 BEA07	G/L Description Invoice Amount Hydraulic Model BEA OF ILLINOIS		\$6,447.50 \$6,447.50 11/30/22	\$6,447.50 \$6,447.50 01/09/23	
	01-22-612 USA01 G/L Account 51-42-653 IME02 G/L Account 52-43-532.4 51-42-532 BEA07 G/L Account 51-93-512 BEA07 G/L Account 52-93-850 CRA03 G/L Account	Invoice Amount I.V. Supply USA01 USA BLUEBOOK G/L Account Invoice Amount 51-42-653 USA BLUEBOOK G/L Description Invoice Amount S1-42-653 IMEG CORPORATION G/L Account Invoice Amount 52-43-532.4 Frontier Comm. Permits 51-42-532 Frontier Comm. Permits BEA07 BEA OF ILLINOIS G/L Account G/L Description Invoice Amount 51-93-512 Chlorine Pump & Solenoid Relay BEA07 BEA OF ILLINOIS G/L Account G/L Description Invoice Amount 51-93-512 Chlorine Pump & Solenoid Relay CRA03 CRAWFORD, MURPHY & TILLY G/L Account G/L Description Invoice Amount Invoice Amount S2-93-850 CRAWFORD, MURPHY & TILLY G/L Account G/L Description Invoice Amount	Invoice Amount O1-22-612 USA01 USA BLUEBOOK G/L Account G/L Description Invoice Amount 51-42-653 USEC CORPORATION BI G/L Account G/L Description Invoice Amount 52-43-532.4 Frontier Comm. Permits 51-42-532 Frontier Comm. Permits BEA07 BEA OF ILLINOIS G/L Account G/L Description Invoice Amount 51-93-512 Chlorine Pump & Solenoid Relay BEA07 BEA OF ILLINOIS BI G/L Account G/L Description Invoice Amount 51-93-512 Chlorine Pump & Solenoid Relay BEA07 BEA07 BEA OF ILLINOIS BI G/L Account G/L Description Invoice Amount 52-93-850 Upgarde Ground System-Wwwtp CRA03 CRAWFORD, MURPHY & TILLY BI G/L Account G/L Description Invoice Amount Invoice Amount	Invoice Amount I.V. Supply \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$354.00 \$35	Invoice Amount



23986 -Payment ID- 63461	TRI01	TRIANGLE CONCRETE INC	ВІ	12/21/22	01/09/23	\$910.00
	G/L Account	G/L Description		Debit	Credit	
33.02	62-45-612	Invoice Amount Medical Waste Disposal		\$910.00	\$910.00	
	02-43-012	ivieuicai waste Disposai		\$910.00	\$910.00	
				70-0100	, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
23986	TUC00	TUCKER EQUIPMENT SALES	ВІ	12/21/22	01/09/23	\$89.00
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63462	60.45.640	Invoice Amount		400.00	\$89.00	
	62-45-612	Flooring Screws		\$89.00	\$89.00	
				783.00	\$85.00	
250667		MOTOR CITY CHEVROLET-BUICK-				40.00
-Payment ID-	MOT05	GMC	ВІ	12/19/22	01/09/23	\$8.10
63450	G/L Account	G/L Description		Debit	Credit	
	62.45.642	Invoice Amount		Ć0.40	\$8.10	
	62-45-613	Retainer		\$8.10	\$8.10	
				\$6.10	Ş6.10	
25108	FOS00	FOSTER COACH SALES, INC	ВІ	12/22/22	01/09/23	\$374.31
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63431		Invoice Amount			\$374.31	
	62-45-613	2-Used Ford Mirrors		\$374.31 \$374.31	6274.24	
				\$374.31	\$374.31	
2644906393	AUT03	AUTO ZONE	ВІ	12/30/22	01/09/23	\$10.99
-Payment ID-	G/L Account	G/L Description		Debit	Credit	•
63410		Invoice Amount		_	\$10.99	
	62-45-652	Meguiar Ultra Shine Protectant		\$10.99	Ć10.00	
				\$10.99	\$10.99	
28661-		ED'S HEATING, A/C, PLBG &				
-Payment ID-	EDS00	ELECTRICAL IN	ВІ	12/19/22	01/09/23	\$1,387.72
63428	G/L Account	G/L Description		Debit	Credit	
		Invoice Amount		4	\$1,387.72	
	38-71-549	Tain Station - Service Call Repair		\$1,387.72 \$1,387.72	\$1,387.72	
				Ş1,367.72	\$1,367.72	
28702		ED'S HEATING, A/C, PLBG &				
-Payment ID-	EDS00	ELECTRICAL IN	ВІ	12/21/22	01/09/23	\$575.00
63428	G/L Account	G/L Description		Debit	Credit	
	F4 F4 F40	Invoice Amount		¢575.00	\$575.00	
	54-54-549	Francis Park Hvac		\$575.00 \$575.00	\$575.00	
				\$373.00	\$373.00	
28774	EDC02	ED'S HEATING, A/C, PLBG &	Б.	42/22/22	04 /00 /22	62.45.00
-Payment ID-	EDS00	ELECTRICAL IN	ВІ	12/28/22	01/09/23	\$245.00
63428	G/L Account	G/L Description		Debit	Credit	
	01 22 514	Invoice Amount		¢24F.00	\$245.00	
	01-22-511	Fire Station #2 - Infared Heater Repair		\$245.00 \$245.00	\$245.00	
				724J.00	72 4 3.00	



3057401-00	MID20	MIDWEST WHEEL COMPANIES INC	ВІ	12/20/22	01/09/23	\$66.54
-Payment ID- 63447	G/L Account	G/L Description		Debit	Credit	
	62-45-613	Invoice Amount Mount For Semis		\$66.54	\$66.54	
	02-45-015	Would for Series		\$66.54	\$66.54	
				7000	7000	
319688	DID04	B & B LAWN EQUIPMENT &	D.I.	42/24/22	04 /00 /22	¢66.60
-Payment ID-	BandB01	CYCLERY	ВІ	12/21/22	01/09/23	\$66.69
63411	G/L Account	G/L Description		Debit	Credit	
	04 50 640	Invoice Amount		455.50	\$66.69	
	01-52-612	Hydro Tank		\$66.69	\$66.69	
				\$00.03	\$00.09	
373851	COL14	COLWELL, BRENT	ВІ	01/02/22	01/09/23	\$50.00
-Payment ID- 63419	G/L Account	G/L Description		Debit	Credit	
		Invoice Amount			\$50.00	
	02-61-549	Electrical Inspection		\$50.00		
				\$50.00	\$50.00	
373852	COL14	COLWELL, BRENT	ВІ	12/17/22	01/09/23	\$50.00
-Payment ID- 63419	G/L Account	G/L Description	5.	Debit	Credit	γ30.00
	G/E/Recount	Invoice Amount		Desir	\$50.00	
	02-61-549	Electrical Inspection		\$50.00		
				\$50.00	\$50.00	
4008292	MOO09	MOORE TIRES KEWANEE	ВІ	12/21/22	01/09/23	\$27.06
-Payment ID-	G/L Account	G/L Description	5.	Debit	Credit	Ψ27.00
63449	G/L Account	Invoice Amount		Debit	\$27.06	
	62-45-513	Repair Light Truck W362		\$27.06		
				\$27.06	\$27.06	
4008337	MOO09	MOORE TIRES KEWANEE	ВІ	12/27/22	01/09/23	\$378.02
-Payment ID-			ы			3378.02
63449	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$378.02	
	62-45-513	Trail Gator 4X2 - Francis Park		\$378.02	<u> </u>	
				\$378.02	\$378.02	
4008657	MOO09	MOORE TIRES KEWANEE	ВІ	01/03/01	01/09/23	\$24.55
4000037	1010003	IVIOURE TIRES REVVAINEE	DI	01/03/01	01/03/23	324.55
-Payment ID-	C /	C/I Description		Dahit	C	
-Payment ID- 63449	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$24.55	
•	G/L Account 62-45-513	G/L Description Invoice Amount Passanger Tire Repair Sch 989		Debit \$24.55	<u>Credit</u> \$24.55	
•	•	Invoice Amount				
63449	62-45-513	Invoice Amount Passanger Tire Repair Sch 989	DI	\$24.55 \$24.55	\$24.55	\$10.0E
63449 4011463151	62-45-513 STE17	Invoice Amount Passanger Tire Repair Sch 989 STERICYCLE. INC	ВІ	\$24.55 \$24.55 01/01/23	\$24.55 \$24.55 01/09/23	\$19.95
63449	62-45-513	Invoice Amount Passanger Tire Repair Sch 989 STERICYCLE. INC G/L Description	ВІ	\$24.55 \$24.55	\$24.55 \$24.55 01/09/23 Credit	\$19.95
63449 4011463151 -Payment ID-	62-45-513 STE17	Invoice Amount Passanger Tire Repair Sch 989 STERICYCLE. INC	ВІ	\$24.55 \$24.55 01/01/23	\$24.55 \$24.55 01/09/23	\$19.95



-Payment ID- 63436	0/1.4					
63436	G/L Account	G/L Description		Debit	Credit	
55.55	04 65 540	Invoice Amount		¢174.00	\$174.00	
	01-65-549	Liens		\$174.00 \$174.00	\$174.00	
				\$174.00	\$174.00	
4142015060	CIN00	CINTAS COPORATION #0342 0342	ВІ	12/30/22	01/09/23	\$44.30
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63418		Invoice Amount			\$44.30	
	62-45-471	Uniforms		\$44.30		
				\$44.30	\$44.30	
44753	LOC00	LOCIS	ВІ	12/23/22	01/09/23	\$625.00
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63444		Invoice Amount			\$625.00	
	01-11-537	LOCIS TRAINING		\$62.50		
	01-21-563	Locis Training		\$62.50		
	01-22-563	Locis Training		\$62.50		
	01-41-563	Locis Training		\$62.50		
	51-42-563	Locis Training		\$187.50		
	52-43-563	Locis Training		\$187.50		
				\$625.00	\$625.00	
50287102	REH00	REHRIG PACIFIC COMPANY	ВІ	01/06/23	01/09/23	\$800.00
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63457	-	Invoice Amount			\$800.00	
	57-44-537	Sanitation Software		\$800.00		
				\$800.00	\$800.00	
52393	WAG01	WAGER, DOUGLAS	ВІ	12/28/22	01/09/23	\$4,000.00
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63466	•	Invoice Amount			\$4,000.00	
	02-61-930.3	Dem. Grant Reimb. For 524 Chestnut		\$4,000.00		
				\$4,000.00	\$4,000.00	
551231284	USC00	U.S. CELLULAR	ВІ	12/18/22	01/09/23	\$289.30
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63465	-,	Invoice Amount			\$289.30	
	57-44-552	Sanitation Tablet		\$98.58		
	62-45-552	Fleet		\$190.72		
				\$289.30	\$289.30	
6361141	HAW04	HAWKINS INC	ВІ	12/15/22	01/09/23	\$40.00
-Payment ID-	G/L Account	G/L Description		Debit	Credit	-
	0, 2			Desit	\$40.00	
63435		Invoice Amount			740.00	
63435	51-93-656	Nwtp Chemicals		\$40.00	Ç40.00	



763730936663 -Payment ID-	BLU01	BLUE CROSS BLUE SHIELD OF ILLINOIS	ВІ	11/30/22	01/09/23	\$183,947.53
80000027	G/L Account	G/L Description Invoice Amount		Debit	Credit \$183,947.53	
	74-14-451	Claims		\$173,819.80	\$163,547.55	
	74-14-451	Stop/Loss		-\$20,048.44		
	74-14-451	Admin		\$30,176.17		
				\$183,947.53	\$183,947.53	
83540	SUL00	SULLIVAN DOOR COMPANY	ВІ	12/30/22	01/09/23	\$569.55
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63459		Invoice Amount	'		\$569.55	
	01-41-511	Pw Blgd Garage Door Repair		\$569.55		
				\$569.55	\$569.55	
83541	SUL00	SULLIVAN DOOR COMPANY	ВІ	12/30/22	01/09/23	\$158.75
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63459		Invoice Amount			\$158.75	
	01-41-511	Pw Blgd Garage Door Repair		\$158.75		
				\$158.75	\$158.75	
84542	MEN00	MENARD'S	ВІ	12/01/22	01/09/23	\$19.27
-Payment ID- 63446	G/L Account	G/L Description	1	Debit	Credit	
03440		Invoice Amount		***	\$19.27	
	51-93-619	Tools & Supplies		\$19.27 \$19.27	\$19.27	
						4
84788	MEN00	MENARD'S	BI	12/06/22	01/09/23	\$209.84
-Payment ID- 63446	G/L Account	G/L Description		Debit	Credit	
	52-93-619	Invoice Amount Tools & Supplies		\$209.84	\$209.84	
	32-93-019	Tools & Supplies		\$209.84	\$209.84	
				\$209.64	\$209.64	
85061	MEN00	MENARD'S	ВІ	12/12/22	01/09/23	\$5.16
-Payment ID- 63446	G/L Account	G/L Description		Debit	Credit	
03440	E4 02 CE2	Invoice Amount		ĊE 4.C	\$5.16	
	51-93-652	Fibergalss Filter		\$5.16	¢F 46	
				\$5.16	\$5.16	
85067	MEN00	MENARD'S	ВІ	12/12/22	01/09/23	\$169.52
-Payment ID- 63446	G/L Account	G/L Description		Debit	Credit	
551.15	F2 02 C10	Invoice Amount		¢160 F2	\$169.52	
	52-93-619	Pvc/Bushing/Sump Pump		\$169.52 \$169.52	\$169.52	
				Ψ103.02	Ų10310 1	
85225	MEN00	MENARD'S	BI	12/15/22	01/09/23	\$199.96
-Payment ID- 63446	G/L Account	G/L Description		Debit	Credit	
	52-93-619	Invoice Amount Mstrfrc Ext/All Weather Cor		\$199.96	\$199.96	
	32-33-013	WISHING LAYAH WEALHEL COL		\$199.96	\$199.96	
				9133.30	7133.30	



85278	MEN00	MENARD'S	BI	12/16/22	01/09/23	\$32.34
-Payment ID- 63446	G/L Account	G/L Description		Debit	Credit	
03440	F2 02 C40	Invoice Amount		ć22.24	\$32.34	
	52-93-619	Remover/Pester Sbrd		\$32.34	¢22.24	
				\$32.34	\$32.34	
85301	MEN00	MENARD'S	ВІ	12/16/22	01/09/23	\$15.27
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63446		Invoice Amount			\$15.27	
	52-93-619	Pw Office Supplies		\$15.27		
				\$15.27	\$15.27	
35543	MEN00	MENARD'S	ВІ	12/21/22	01/09/23	\$51.41
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63446	Greecount	Invoice Amount		Desic	\$51.41	
	52-43-652	Ice Melt/Odor Orange/Scooper		\$51.41		
				\$51.41	\$51.41	
35588	MEN00	MENARD'S	ВІ	12/22/22	01/09/23	\$99.94
-Payment ID- 63446			υ.			γ 55.54
	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$99.94	
	01-41-652	Snow Shovels		\$99.94	φ33.3 .	
				\$99.94	\$99.94	
35592	MEN00	MENARD'S	ВІ	12/22/22	01/09/23	\$53.76
-Payment ID-			ы			333.70
63446	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$53.76	
	52-93-652	Sand In Tube		\$53.76	733.70	
				\$53.76	\$53.76	
5815	MEN00	MENARD'S	ВІ	12/27/22	01/09/23	\$219.25
-Payment ID-			υ.	Debit		Ψ 213.23
63446	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$219.25	
	57-44-652	Diesel Can / Kerosene Heater		\$219.25	7	
				\$219.25	\$219.25	
35924	MEN00	MENARD'S	ВІ	12/29/22	01/09/23	\$66.54
-Payment ID-	G/L Account	G/L Description		Debit	Credit	Ψοσιο .
63446	G/L/Account	Invoice Amount		Desit	\$66.54	
	51-42-652	Bounty 8Tr Sas		\$66.54		
				\$66.54	\$66.54	
85939	MEN00	MENARD'S	ВІ	12/29/22	01/09/23	\$21.41
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63446	G/ E / ICCOUNT	Invoice Amount		Debit	\$21.41	
03-70	52-43-652	Stencils / Blu Mask Bulk		\$21.41	•	



85940	MEN00	MENARD'S	ВІ	01/06/23	01/09/23	\$2,741.33
-Payment ID- 63446	G/L Account	G/L Description		Debit	Credit	
03440		Invoice Amount			\$2,741.33	
	01-22-511	Fire Station#2 Flooring		\$2,741.33		
				\$2,741.33	\$2,741.33	
86688	OMN01	OMNISITE	ВІ	01/01/23	01/09/23	\$290.00
-Payment ID-	G/L Account	G/L Description		Debit	Credit	•
90000471	G/E/Recodiff	Invoice Amount		Desir	\$290.00	
	52-43-512	Annual Fee		\$290.00		
				\$290.00	\$290.00	
9970	E-Q00	E-QUANTUM CONSULTING LLC.	ВІ	01/01/23	01/09/23	\$350.00
-Payment ID-	G/L Account	G/L Description		Debit	Credit	,
63426	G/L/Account	Invoice Amount		Debit	\$350.00	
	01-11-549	Electric Consulting		\$350.00		
				\$350.00	\$350.00	
CD10024031	HUB03	HUBER TECHNOLOGY, INC	ВІ	12/08/22	01/09/23	\$400.00
-Payment ID-			Б.			4 -00.00
63437	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$400.00	
	52-93-652	Longo Pack Bag		\$400.00	,	
				\$400.00	\$400.00	
CD10077C0	CDE03	CDEATIVE DRODUCE COURCE	D.	42/24/22	04 /00 /22	ć702.00
CPI097768 -Payment ID-	CRE02	CREATIVE PRODUCR SOURCE	BI	12/21/22	01/09/23	\$793.09
63424	G/L Account	G/L Description		Debit	<u>Credit</u> \$793.09	
	01-22-658	Invoice Amount Information Magnets		\$793.09	\$793.09	
	01 22 030	mornation wegnets		\$793.09	\$793.09	
CPI097768-1	CRE02	CREATIVE PRODUCR SOURCE	ВІ	12/21/22	01/09/23	\$793.09
-Payment ID- 63424	G/L Account	G/L Description		Debit	Credit	
05-12-1	04.22.650	Invoice Amount		ć702.00	\$793.09	
	01-22-658	Public Education		\$793.09	¢702.00	
				\$793.09	\$793.09	
D01012023 PD	CAM07	CAMBRIDGE TELCOM SERVICES INC	ВІ	01/18/23	01/09/23	\$280.00
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63417		Invoice Amount			\$280.00	
	01-21-552	Fiber Internet Police		\$280.00		
				\$280.00	\$280.00	
D01032023	STA20	STATE BANK OF TOULON	ВІ	01/03/23	01/09/23	\$9,528.91
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
80000028		Invoice Amount			\$9,528.91	
	44-84E-710	Principal		\$8,596.31		
	44-84E-720	Interest		\$932.60		
				\$9,528.91	\$9,528.91	



D01032023-1	STA20	STATE BANK OF TOULON	ВІ	01/03/23	01/09/23	\$109.70
-Payment ID- 80000028	G/L Account	G/L Description		Debit	Credit	
22300020	44-84D-720	Invoice Amount Bond Interest		\$109.70	\$109.70	
	44-040-720	bond interest		\$109.70	\$109.70	
D01062023-1 -Payment ID- 63427	ECO02	THE ECONOMIC DEVELOPMENT GROUP LTD	ВІ	01/06/23	01/09/23	\$3,003.40
	G/L Account	G/L Description		Debit	Credit	
	44-84E-549	Invoice Amount Admin Fee		\$3,003.40	\$3,003.40	
		7.6		\$3,003.40	\$3,003.40	
D01062023-2 -Payment ID-	ECO02	THE ECONOMIC DEVELOPMENT GROUP LTD	ВІ	01/06/23	01/09/23	\$445.00
63427	G/L Account	G/L Description		Debit	Credit	
	44.045.540	Invoice Amount		¢445.00	\$445.00	
	44-84D-549	Admin Fee		\$445.00 \$445.00	\$445.00	
				Ş44J.00	7445.00	
D01062023-3 -Payment ID-	ECO02	THE ECONOMIC DEVELOPMENT GROUP LTD	ВІ	01/06/23	01/09/23	\$445.00
63427	G/L Account	G/L Description		Debit	Credit	
	44.046.540	Invoice Amount		Ć445.00	\$445.00	
	44-84C-549	Admin Fee		\$445.00 \$445.00	\$445.00	
D01062023-4 -Payment ID-	ECO02	THE ECONOMIC DEVELOPMENT GROUP LTD	ВІ	01/06/23	01/09/23	\$445.00
63427	G/L Account	G/L Description		Debit	Credit	
	44.040.540	Invoice Amount		¢445.00	\$445.00	
	44-84B-549	Admin Fee		\$445.00 \$445.00	\$445.00	
				Ų 1 13.00	Ų 1 13.00	
D01062023-5 -Payment ID-	ECO02	THE ECONOMIC DEVELOPMENT GROUP LTD	ВІ	01/06/23	01/09/23	\$445.00
63427	G/L Account	G/L Description		Debit	Credit	
	44.04.540	Invoice Amount		Ć445.00	\$445.00	
	44-84-549	Admin Fee		\$445.00 \$445.00	\$445.00	
				3443.00	3443.00	
D01062023-6 -Payment ID-	ECO02	THE ECONOMIC DEVELOPMENT GROUP LTD	ВІ	01/06/23	01/09/23	\$445.00
63427	G/L Account	G/L Description		Debit	Credit	
	44-84A-549	Invoice Amount Admin Fee		\$445.00	\$445.00	
	44-04A-343	Autilities		\$445.00	\$445.00	
				Ş -1- 5.00	Ç 1 1 3.00	



D01122023	STA20	STATE BANK OF TOULON	BI	01/12/23	01/09/23	\$1,895.35
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
80000028		Invoice Amount			\$1,895.35	
	58-36-710	Backhoe Prin		\$1,439.19		
	58-36-720	Backhoe Int.		\$456.16		
				\$1,895.35	\$1,895.35	
01/13/23	TMO00	T-MOBILE	ВІ	01/03/23	01/09/23	\$264.60
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63460		Invoice Amount	,		\$264.60	
	01-21-552	December Wireless Phone Bill		\$264.60		
				\$264.60	\$264.60	
D10122022.1	BOE01	BOERS, TODD	ВІ	12/08/22	01/09/23	\$740.00
-Payment ID-	G/L Account	G/L Description		Debit	Credit	,
63415	G/L ACCOUNT	Invoice Amount		Debit	\$740.00	
	62-00-159.7	125 Lyle Street		\$740.00	71.1010	
		·		\$740.00	\$740.00	
D10122022.2	BOE01	BOERS, TODD	ВІ	12/08/22	01/09/23	\$1,040.00
-Payment ID-		G/L Description	٥.	Debit		ΨΞ,0:0:00
63415	G/L Account	Invoice Amount		Debit	\$1,040.00	
	01-65-159.7	108 W. Church St		\$1,040.00	φ1,0 .0.00	
				\$1,040.00	\$1,040.00	
D44202022	4.5000	A ED ENERGY	D.I.	40/24/22	42/42/22	ć22 000 22
D11302022 -Payment ID-	AEP00	AEP ENERGY	BI	10/31/22	12/12/22	\$22,098.32
63408	G/L Account	G/L Description		Debit	Credit	
	01-21-539	Invoice Amount		\$109.90	\$22,098.32	
	62-45-571	Animal Facility Fire St 2 Electric		\$150.43		
	01-11-571	Sixth & Main Traffic		\$30.00		
	52-93-571	Lift South And Hollis		\$30.74		
	01-11-571	Siren-W Church		\$0.08		
	01-11-571	Second And Main Traffic		\$8.20		
	01-11-571	Central And Main		\$8.41		
	52-93-571	Fisher Pump Station		\$10.48		
	52-93-571	Wwtp Electric		\$7,876.14		
	62-45-571	Pw Bldg Electric		\$166.22		
	62-45-571	Shooting Range		\$17.77		
	58-36-571	Pv Cemetery Electric		\$15.98		
	52-93-571	Toc Lift St Electric		\$3.87		
	52-93-571	Sixth St Lift St		\$72.02		
	52-93-571	Cambridge Rd Lift St		\$8.29		
	52-93-571	Midland Plaza Lift St		\$19.61		
	52-93-571	Lake St Lift Station		\$61.79		
	62-45-571	Disposal		\$33.18		
	52-93-571	High & Third Lift St		\$0.68		
	52-93-571	First & Union Lift St		\$3.20		
	54-54-571	Francis Park Electric		\$82.45		
	62-45-571	Fire Storage		\$0.13		
	01-11-571	Tenney And College		\$0.04		
	01-11-571	Siren-Rr Ave		\$0.04		
	01-11-571	Esda Siren Emmons Dwight		\$0.17		
	01-11-571	Siren-Fifth & Park		\$0.08		



D11302022	62-45-571	City Hall Electric		\$2,930.42		
-Payment ID-	58-36-571	Mausoleum		\$25.09		
63408	51-93-571	Water Well 5 Electric		\$1,116.74		
	51-93-571	Water Well 3 Electric		\$1,705.21		
	51-93-571	Swtp Electric		\$2,252.23		
	51-93-571	Water		\$9.45		
	01-11-571	Third & Main Traffic		\$6.70		
	01-11-571	South And Tenney		\$20.80		
	01-11-571	Prospect And Main		\$12.98		
	01-11-571	Traffic Mcclure Tenney		\$21.78		
	01-11-571	First And Main		\$9.19		
	54-54-571	North Water Plant		\$5,074.92		
	52-93-571	Kentville Lift St		\$2.93 \$76.73		
	52-93-571	Transfer Station				
	01-11-571	N East St Signals		\$123.25	¢22.000.22	
				\$22,098.32	\$22,098.32	
D12062023-1	JAC08	JACOB & KLEIN LTD	ВІ	01/06/23	01/09/23	\$111.25
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63442		Invoice Amount			\$111.25	
	44-84B-549	Admin Fee		\$111.25		
				\$111.25	\$111.25	
D12062023-2	JAC08	JACOB & KLEIN LTD	ВІ	01/06/23	01/09/23	\$111.25
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63442		Invoice Amount			\$111.25	
	44-84A-549	Admin Fee		\$111.25		
				\$111.25	\$111.25	
D12062023-3	JAC08	JACOB & KLEIN LTD	ВІ	01/06/23	01/09/23	\$111.25
-Payment ID-			DI.			7111.23
63442	G/L Account	G/L Description Invoice Amount		Debit	<u>Credit</u> \$111.25	
	44-84-549	Admin Fee		\$111.25	\$111.25	
	44-04-343	Admiritee		\$111.25	\$111.25	
				\$111.25	\$111.25	
D12062023-4	JAC08	JACOB & KLEIN LTD	ВІ	01/06/23	01/09/23	\$111.25
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63442		Invoice Amount			\$111.25	
	44-84C-549	Admin Fee		\$111.25		
				\$111.25	\$111.25	
D12062023-5	JAC08	JACOB & KLEIN LTD	ВІ	01/06/23	01/09/23	\$111.25
-Payment ID-		G/L Description				,
63442	G/L Account	Invoice Amount		Debit	<u>Credit</u> \$111.25	
	44-84D-549	Admin Fee		\$111.25	Ų111.23	
				\$111.25	\$111.25	
D12062022 C	14.000	IACOD & WIEINITE	D.I.	01 /06 /22	01/00/22	6111 35
D12062023-6 -Payment ID-	JAC08	JACOB & KLEIN LTD	BI	01/06/23	01/09/23	\$111.25
-Payment 1D- 63442	G/L Account	G/L Description		Debit	Credit	
	44.045.540	Invoice Amount		6444.0=	\$111.25	
	44-84E-549	Admin Fee		\$111.25		
				\$111.25	\$111.25	



D12152022	COM10	COMCAST CABLE	ВІ	12/15/22	01/09/23	\$111.85
-Payment ID- 63421	G/L Account	G/L Description		Debit	Credit	
03421		Invoice Amount		4	\$111.85	
	51-93-552	Internet Vpn-Swtp		\$111.85	****	
				\$111.85	\$111.85	
12152022 - 4	COM10	COMCAST CABLE	ВІ	12/15/22	01/09/23	\$305.70
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63421		Invoice Amount			\$305.70	
	51-93-552	Internet Vpn-Swtp		\$305.70		
				\$305.70	\$305.70	
D12192022 -Payment ID- 63432	FRO00	FRONTIER COMMUNICATIONS CORPORATION	ВІ	12/19/22	01/09/23	\$218.47
03432	G/L Account	G/L Description		Debit	Credit	
		Invoice Amount			\$218.47	
	54-54-552	Parks-Local Phone		\$41.80		
	52-93-552	Wwtp-Local Phone		\$124.83		
	51-93-552	Wtp-Local Phone		\$51.84	6010.47	
				\$218.47	\$218.47	
12282022	FAR00	FARM KING OF KEWANEE	ВІ	12/28/22	01/09/23	\$33.72
-Payment ID- 63430	G/L Account	G/L Description		Debit	Credit	
		Invoice Amount			\$33.72	
	58-36-652	Tools & Supplies		\$33.72		
				\$33.72	\$33.72	
12302022	AME29	AMEREN ILLINOIS	ВІ	12/30/22	01/09/23	\$203.22
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63409		Invoice Amount			\$203.22	
	01-21-539	Pound - Electricity		\$203.22		
				\$203.22	\$203.22	
9540546	PAC01	PACE ANALYTICAL SERVICES, LLC	ВІ	12/21/22	01/09/23	\$39.10
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63455		Invoice Amount			\$39.10	
	51-93-542	Flouride By Probe		\$39.10		
				\$39.10	\$39.10	
9540905	PAC01	PACE ANALYTICAL SERVICES, LLC	ВІ	12/27/22	01/09/23	\$778.99
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63455		Invoice Amount			\$778.99	
	51-93-542	Chemicals		\$778.99		
				\$778.99	\$778.99	
N1801824	MUN07	MUNICIPAL EMERGENCY SERVICES	ВІ	12/13/22	01/09/23	\$177,502.14
-Payment ID-	G/L Account	G/L Description		Debit	Credit	•
63451	S/ E ACCOUNT	Invoice Amount		DEDIL	\$177,502.14	
	01-22-830	New Scba Packs		\$177,502.14	. ,	
				\$177,502.14	\$177,502.14	



MAIN-23 -Payment ID- 63439	ILL34	ILLINOIS ENVIRONMENTAL PROTECTION AGENCY	ВІ	12/04/22	01/09/23	\$10,005.09
03439	G/L Account	G/L Description		Debit	Credit	
		Invoice Amount			\$10,005.09	
	37-42-710	MAIN ST PRINC		\$8,943.65		
	37-42-720	MAIN ST INTEREST		\$1,061.44		
				\$10,005.09	\$10,005.09	
PARK-18 -Payment ID- 63439	ILL34	ILLINOIS ENVIRONMENTAL PROTECTION AGENCY	ВІ	12/04/22	01/09/23	\$18,594.67
	G/L Account	G/L Description		Debit	Credit	
		Invoice Amount			\$18,594.67	
	37-42-710	Park St/Water Principal		\$14,466.89		
	37-42-720	Park St Water/Int		\$4,127.78		
				\$18,594.67	\$18,594.67	
R052940 -Payment ID- 63422	COR07	CORE & MAIN LP	ВІ	12/12/22	01/09/23	\$294.12
	G/L Account	G/L Description		Debit	Credit	
		Invoice Amount			\$294.12	
	51-42-615	Waterstock		\$294.12		
				\$294.12	\$294.12	
R829545	COR07	CORE & MAIN LP	ВІ	12/12/22	01/09/23	\$7,280.06
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63422		Invoice Amount			\$7,280.06	
	33-49-850	Water Stock		\$7,280.06		
				\$7,280.06	\$7,280.06	
S052291	COR07	CORE & MAIN LP	ВІ	12/12/22	01/09/23	\$1,764.26
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63422		Invoice Amount			\$1,764.26	
	51-42-850	Sewer Stock		\$1,764.26		
				\$1,764.26	\$1,764.26	
S084015	COR07	CORE & MAIN LP	ВІ	12/12/22	01/09/23	\$429.33
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63422		Invoice Amount			\$429.33	
	51-42-615	Water Stock		\$429.33		
				\$429.33	\$429.33	
SIN04767	ENT01	ENTEC SERVICES INC	ВІ	12/21/22	01/09/23	\$630.29
-Payment ID-	G/L Account	G/L Description		Debit	Credit	•
63429	O/ E/Tecount	Invoice Amount		Debit	\$630.29	
	38-71-549	Boiler Hw Pump-1		\$630.29	•	



401 East Third Street - Kewanee IL 614432365 - AP Invoices - Warrant List V1 (No Payroll) -

T2311312 -Payment ID-	COM06	IDOIT - COMMUNICATIONS REVOLVING FUND	ВІ	12/12/23	01/09/23	\$316.70
63420	G/L Account	G/L Description		Debit	Credit	
		Invoice Amount			\$316.70	
	01-21-552	Leads Line		\$316.70		
				\$316.70	\$316.70	
UFIW8477	UNI35	UNIVERSITY OF ILLINOIS	ВІ	12/15/22	01/09/23	\$600.00
-Payment ID-	G/L Account	G/L Description		Debit	Credit	
63463		Invoice Amount			\$600.00	
	01-22-563	Riber Class		\$600.00		
				\$600.00	\$600.00	
				-	Total	\$635,844.66

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Cash Requirement Totals					
Total Invoices:	111				
Total Transactions:	9				
Total Vendors:	63				
Total Amount:	\$635,844.66				

Account	Amount
01-11-537 COMPUTER SERVICES	\$62.50
01-11-549 OTHER PROFESSION SERV	\$350.00
01-11-561 DUES & PUBLICATIONS	\$1,469.75
01-11-571 UTILITIES	\$241.72
01-21-539 ANIMAL CONTROL	\$313.12
01-21-552 TELEPHONE	\$861.30
01-21-563 TRAINING	\$62.50
01-21-651 OFFICE SUPPLIES	\$159.90
01-22-511 MAINT-SERVICE BUILDING	\$2,986.33
01-22-512 MAINT-SERVICE EQUIPMENT	\$66.20
01-22-563 TRAINING	\$662.50
01-22-612 MAINT SUPPLY-EQUIP EMS	\$408.60
01-22-658 PREVENTION EDUCATION/PR	\$1,586.18
01-22-830 EQUIPMENT	\$177,502.14
01-41-511 MAINT. SERVICE-BLDG./LEASE	\$728.30
01-41-549 OTHER PROFESSIONAL SERVICES	\$780.00
01-41-563 TRAINING	\$62.50
01-41-652 OPERATING SUPPLIES	\$99.94
01-52-612 MAINT SUPPLIES-EQUIP	\$66.69
01-65-159.7 PRE-PAID RECOVERY	\$1,040.00
01-65-549 OTHER PROFESSIONAL SERVICES	\$174.00
02-61-549 OTHER PROFESSIONAL SERVICES	\$200.00
02-61-930.3 DEMOLITION GRANT	\$4,000.00
23-64-549 OTHER PROF SERVICES	\$8,430.00
33-49-850 SEWER IMPROVEMENT	\$7,280.06
37-42-710 PRINCIPAL PAYMENT	\$23,410.54
37-42-720 INTEREST EXPENSE	\$5,189.22
38-71-549 OTHER PROFESSIONAL SERVICES	\$2,018.01
44-84-549 OTHER PROF SERVICES/KENTVILLE RD	\$556.25
44-84A-549 OTHER PROF SERVICES/LININGER PRK	\$556.25
44-84B-549 OTHER PROF SERVICES/WALWORTH TIF	\$556.25
44-84C-549 OTHER PROF SERVICE/MILL CRK TIF	\$556.25
44-84D-549 OTHER PROF SERVICE/11TH & EAST	\$556.25
44-84D-710 PRINCIPAL/11TH & EAST ST. TIF	\$8,596.31
44-84D-720 INTEREST EXP./11TH & EAST TIF	\$1,042.30
44-84E-549 OTHER PROF SERVICES/DOWNTOWN 201	\$3,114.65
44-84E-710 PRINCIPAL PAYMENT/DOWNTOWN 2014	\$8,596.31
44-84E-720 INTEREST PAYMENT/DOWNTOWN 2014	\$1,003.06
51-42-532 ENGINEERING SERVICE	\$3,562.50
51-42-563 TRAINING	\$187.50
51-42-615 MAINT SUPPLIES-UTILITY SYSTEM	\$723.45
51-42-652 OPERATING SUPPLIES	\$66.54

Fund	Amount
01	\$189,684.17
02	\$4,200.00
23	\$8,430.00
33	\$7,280.06
37	\$28,599.76
38	\$2,018.01
44	\$25,133.88
51	\$14,508.75
52	\$150,019.13
54	\$6,315.85
57	\$3,555.33
58	\$1,970.14
62	\$7,320.49
74	\$186,809.09
	\$635,844.66



51-42-653 SMALL TOOLS	\$100.95
51-42-850 UTILITY SYSTEM	\$1,764.26
51-93-512 MAINT. SERVICE EQUIP.	\$1,520.15
51-93-542 LABORATORY SERVICES	\$818.09
51-93-552 TELEPHONE	\$469.39
51-93-571 UTILITIES	\$5,083.63
51-93-619 MAINT. SUPPLIES WWP	\$19.27
51-93-652 OPERATING SUPPLIES WWP	\$153.02
51-93-656 CHEMICALS	\$40.00
52-43-512 MAINT. SERVICE-EQUIPMENT	\$290.00
52-43-532.4 ENGINEERING SERVICES (ENG)	\$3,562.50
52-43-563 TRAINING	\$187.50
52-43-652 OPERATING SUPPLIES	\$72.82
52-93-552 TELEPHONE	\$124.83
52-93-571 UTILITIES	\$8,166.48
52-93-619 MAINT SUPPLIES WWTP	\$626.93
52-93-652 OPERATING SUPPLIES	\$828.07
52-93-850 UTILITY SYSTEM	\$136,160.00
54-54-549 OTHER PROFESSIONAL SERVICES	\$575.00
54-54-552 TELEPHONE	\$41.80
54-54-571 UTILITIES	\$5,699.05
57-44-537 COMPUTER SERVICES	\$800.00
57-44-552 TELEPHONE	\$98.58
57-44-574 LANDFILL CHARGES	\$2,437.50
57-44-652 OPERATING SUPPLIES	\$219.25
58-36-571 UTILITIES	\$41.07
58-36-652 OPERATING SUPPLIES	\$33.72
58-36-710 PRINCIPAL PAYMENT	\$1,439.19
58-36-720 INTEREST PAYMENT	\$456.16
62-00-159.7 PRE-PAID RECOVERY	\$740.00
62-45-471 UNIFORM ALLOWANCE	\$44.30
62-45-513 MAINT-SERVICE-VEHICLE	\$717.63
62-45-552 TELEPHONE	\$190.72
62-45-571 UTILITIES	\$3,298.15
62-45-612 MAINT-SUPPLIES-EQUIPMENT	\$1,395.14
62-45-613 MAINT-SUPPLIES-VEHICLE	\$923.56
62-45-652 OPERATING SUPPLIES	\$10.99
74-14-451 HEALTH INSURANCE	\$183,947.53
74-14-452 LIFE INSURANCE	\$2,861.56
	\$635,844.66

Paying Accoun	t Payment Method	Count	Amount	
01-00-114.00	Check	60	\$440,073.17	
01-00-114.00	Web/Telephon e	2	\$195,481.49	
01-00-114.00	Nacha	1	\$290.00	
		,	\$635,844.66	

Vendor	Amount
CRE02	\$1,586.18
UNI35	\$600.00
STE17	\$19.95
E-Q00	\$350.00
COM06	\$316.70
LOC00	\$625.00
TMO00	\$264.60
MUN07	\$177,502.14



WEM00 \$46.25 MEN00 \$3,905.00 INT02 \$558.75 HEN01 \$174.00 AME29 \$203.22 BandB01 \$66.69 EDS00 \$2,207.72 SUL00 \$728.30 RAT00 \$780.00 BI-01 \$1,469.75 CAM07 \$280.00 BOE01 \$1,780.00 AEP00 \$22,098.32 COL14 \$200.00 WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 <	MCK00	\$408.60
INT02 \$558.75 HEN01 \$174.00 AME29 \$203.22 BandB01 \$66.69 EDS00 \$2,207.72 SUL00 \$728.30 RAT00 \$780.00 BI-01 \$1,469.75 CAM07 \$280.00 BOE01 \$1,780.00 AEP00 \$22,098.32 COL14 \$200.00 WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	WEM00	\$46.25
HEN01 \$174.00 AME29 \$203.22 BandB01 \$66.69 EDS00 \$2,207.72 SUL00 \$728.30 RAT00 \$780.00 BI-01 \$1,469.75 CAM07 \$280.00 BOE01 \$1,780.00 AEP00 \$22,098.32 COL14 \$200.00 WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	MEN00	\$3,905.00
AME29 \$203.22 BandB01 \$66.69 EDS00 \$2,207.72 SUL00 \$728.30 RAT00 \$780.00 BI-01 \$1,469.75 CAM07 \$280.00 BOE01 \$1,780.00 AEP00 \$22,098.32 COL14 \$200.00 WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	INT02	\$558.75
BandB01 \$66.69 EDS00 \$2,207.72 SUL00 \$728.30 RAT00 \$780.00 BI-01 \$1,469.75 CAM07 \$280.00 BOE01 \$1,780.00 AEP00 \$22,098.32 COL14 \$200.00 WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	HEN01	\$174.00
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SUL00 \$728.30 RAT00 \$780.00 BI-01 \$1,469.75 CAM07 \$280.00 BOE01 \$1,780.00 AEP00 \$22,098.32 COL14 \$200.00 WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	BandB01	\$66.69
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BI-01 \$1,469.75 CAM07 \$280.00 BOE01 \$1,780.00 AEP00 \$22,098.32 COL14 \$200.00 WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	SUL00	\$728.30
CAM07 \$280.00 BOE01 \$1,780.00 AEP00 \$22,098.32 COL14 \$200.00 WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	RAT00	\$780.00
BOE01 \$1,780.00 AEP00 \$22,098.32 COL14 \$200.00 WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	BI-01	\$1,469.75
AEP00 \$22,098.32 COL14 \$200.00 WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	CAM07	\$280.00
COL14 \$200.00 WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	BOE01	\$1,780.00
WAG01 \$4,000.00 CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	AEP00	\$22,098.32
CRA03 \$8,430.00 COR07 \$9,767.77 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	COL14	\$200.00
COR07 ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	WAG01	\$4,000.00
ILL34 \$28,599.76 ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	CRA03	\$8,430.00
ENT01 \$630.29 IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	COR07	\$9,767.77
IHM00 \$9,528.91 STA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	ILL34	\$28,599.76
\$TA20 \$11,533.96 JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	ENT01	\$630.29
JOH37 \$70.46 JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	IHM00	\$9,528.91
JAC08 \$667.50 ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	STA20	\$11,533.96
ECO02 \$5,228.40 PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	JOH37	\$70.46
PAC01 \$818.09 BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	JAC08	\$667.50
BEA07 \$137,680.15 FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	ECO02	\$5,228.40
FRO00 \$218.47 USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	PAC01	\$818.09
USA01 \$248.81 COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	BEA07	\$137,680.15
COM10 \$417.55 HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	FRO00	\$218.47
HAW04 \$40.00 IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	USA01	\$248.81
IME02 \$7,125.00 HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	COM10	\$417.55
HAC00 \$144.50 HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	HAW04	\$40.00
HUB03 \$400.00 OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	IME02	\$7,125.00
OFF00 \$229.81 OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	HAC00	\$144.50
OMN01 \$290.00 GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	HUB03	\$400.00
GOL00 \$541.68 USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	OFF00	\$229.81
USC00 \$289.30 BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	OMN01	\$290.00
BIT00 \$2,437.50 REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	GOL00	\$541.68
REH00 \$800.00 FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	USC00	\$289.30
FAR00 \$33.72 BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	ВІТ00	\$2,437.50
BON00 \$238.14 CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	REH00	\$800.00
CYL00 \$158.00 MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	FAR00	\$33.72
MOT05 \$8.10 AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	BON00	\$238.14
AUT03 \$10.99 CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	CYL00	\$158.00
CIN00 \$44.30 FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	MOT05	\$8.10
FOS00 \$374.31 MID20 \$66.54 MIR00 \$288.00	AUT03	\$10.99
MID20 \$66.54 MIR00 \$288.00	CIN00	\$44.30
MIR00 \$288.00	FOS00	\$374.31
	MID20	\$66.54
MOO09 \$420.63	MIR00	\$288.00
ψ429.03	MOO09	\$429.63



OREILLY	\$75.76
TRI01	\$910.00
TUC00	\$89.00
MUT03	\$2,861.56
BLU01	\$183,947.53
	\$635,844.66

Vendor	C/Y 2023 Invoices	C/Y 2023 Payments	F/Y 2023 Invoices	F/Y 2023 Payments
BI-01	(0) 0.00	(0) 0.00	(4) 4317.80	(3) 4317.80
BIT00	(0) 0.00	(0) 0.00	(1) 2700.00	(1) 2700.00
BLU01	(0) 0.00	(0) 0.00	(3) 626939.47	(3) 626939.47
COL14	(0) 0.00	(0) 0.00	(83) 3975.00	(13) 4300.00
СОМ06	(0) 0.00	(0) 0.00	(7) 2216.90	(8) 2533.60
COM10	(0) 0.00	(0) 0.00	(21) 3307.06	(20) 3441.91
COR07	(0) 0.00	(0) 0.00	(55) 86724.87	(14) 166110.37
CRA03	(0) 0.00	(0) 0.00	(20) 68493.05	(11) 73353.41
CRE02	(0) 0.00	(0) 0.00	(3) 606.24	(3) 606.24
FAR00	(0) 0.00	(0) 0.00	(7) 5345.82	(8) 6062.95
HUB03	(0) 0.00	(0) 0.00	(2) 665.00	(2) 665.00
MCK00	(0) 0.00	(0) 0.00	(70) 8477.04	(17) 9536.07
MEN00	(0) 0.00	(0) 0.00	(144) 11737.02	(14) 15913.69
OREILLY	(0) 0.00	(0) 0.00	(52) 2057.65	(4) 1400.96
PAC01	(0) 0.00	(0) 0.00	(72) 11696.29	(15) 11832.29
AEP00	(0) 0.00	(0) 0.00	(5) 216948.83	(5) 216948.83
AUT03	(0) 0.00	(0) 0.00	(21) 1102.64	(8) 1118.66
BandB01	(0) 0.00	(0) 0.00	(17) 6839.83	(9) 6839.83
BEA07	(0) 0.00	(0) 0.00	(16) 19438.31	(8) 19990.96
CIN00	(0) 0.00	(0) 0.00	(33) 1392.04	(8) 1616.47
ECO02	(0) 0.00	(0) 0.00	(1) 4894.80	(1) 4894.80
EDS00	(0) 0.00	(0) 0.00	(9) 5632.63	(7) 5632.63
ENT01	(0) 0.00	(0) 0.00	(2) 960.94	(3) 1661.23
HAW04	(0) 0.00	(0) 0.00	(14) 30792.50	(10) 35085.11
HEN01	(0) 0.00	(0) 0.00	(20) 2900.00	(9) 3902.00
JAC08	(0) 0.00	(0) 0.00	(2) 7342.20	(2) 7342.20
JOH37	(0) 0.00	(0) 0.00	(0) 0.00	(0) 0.00
LOC00	(0) 0.00	(0) 0.00	(4) 2895.00	(3) 2895.00
OFF00	(0) 0.00	(0) 0.00	(52) 8006.94	(11) 8284.47
OMN01	(0) 0.00	(0) 0.00	(0) 0.00	(0) 0.00



AME29					
E-Q00	AME29	(0) 0.00	(0) 0.00	(15) 207877.61	(16) 207997.04
HACOO (0) 0.00 (0) 0.00 (12) 1890.38 (7) 1890.38 IMEO2 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 INTO2 (0) 0.00 (0) 0.00 (0) 0.00 (11) 3779.15 (8) 3779.15 MOTO5 (0) 0.00 (0) 0.00 (0) 0.00 (4) 999.55 (3) 999.55 MUNO7 (0) 0.00 (0) 0.00 (3) 5497.75 (3) 5497.75 MUTO3 (0) 0.00 (0) 0.00 (14) 18250.95 (14) 18250.95 RATOO (0) 0.00 (0) 0.00 (11) 76397.60 (9) 76397.60 BOEO1 (0) 0.00 (0) 0.00 (12) 61735.00 (8) 61735.00 BONOO (0) 0.00 (0) 0.00 (6) 12963.02 (1) 12963.02 CYLOO (0) 0.00 (0) 0.00 (6) 12963.02 (1) 12963.02 CYLOO (0) 0.00 (0) 0.00 (8) 2263.46 (9) 3757.18 GOLOO (0) 0.00 (0) 0.00 (2) 1192.81 (2) 1192.81 IHMOO (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 ILL34 (0) 0.00 (0) 0.00 (0) 0.00 (2) 1492.81 (2) 1799.52 MIDOO (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 IMESS.256 (8) 6822.56 MIROO (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 MOOO9 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0	CAM07	(0) 0.00	(0) 0.00	(13) 3494.50	(7) 3494.50
IMEO2 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (1) 3779.15 (8) 3779.15 MOTO5 (0) 0.00 (0) 0.00 (0) 0.00 (4) 999.55 (3) 999.55 MUNO7 (0) 0.00 (0) 0.00 (3) 5497.75 (3) 5497.75 (3) 5497.75 MUTO3 (0) 0.00 (0) 0.00 (14) 18250.95 (14) 18250.95 RATO0 (0) 0.00 (0) 0.00 (11) 76397.60 (9) 76397.60 BOEO1 (0) 0.00 (0) 0.00 (11) 76397.60 (9) 76397.60 BOEO1 (0) 0.00 (0) 0.00 (11) 76397.60 (9) 76397.60 BOEO1 (0) 0.00 (0) 0.00 (11) 76397.60 (9) 76397.60 BOEO1 (0) 0.00 (0) 0.00 (11) 76397.60 (9) 76397.60 BOEO1 (0) 0.00 (0) 0.00 (11) 76397.60 (9) 76397.60 BOEO1 (0) 619397.60 (0) 76397.60 (9) 76397.60 BOEO1 (11) 76397.60 (9) 76397.60 (8) 61735.00 (8) 61735.00 (8) 61735.00 (8) 61735.00 (6) 12948.60 </td <td>E-Q00</td> <td>(0) 0.00</td> <td>(0) 0.00</td> <td>(8) 2800.00</td> <td>(8) 2800.00</td>	E-Q00	(0) 0.00	(0) 0.00	(8) 2800.00	(8) 2800.00
INTO2	HAC00	(0) 0.00	(0) 0.00	(12) 1890.38	(7) 1890.38
MOT05 (0) 0.00 (0) 0.00 (4) 999.55 (3) 999.55 MUN07 (0) 0.00 (0) 0.00 (3) 5497.75 (3) 5497.75 MUT03 (0) 0.00 (0) 0.00 (14) 18250.95 (14) 18250.95 RAT00 (0) 0.00 (0) 0.00 (11) 76397.60 (9) 76397.60 BOE01 (0) 0.00 (0) 0.00 (12) 61735.00 (8) 61735.00 BON00 (0) 0.00 (0) 0.00 (6) 12963.02 (1) 12963.02 CYL00 (0) 0.00 (0) 0.00 (5) 2940.61 (4) 2940.61 FRO00 (0) 0.00 (0) 0.00 (8) 2263.46 (9) 3757.18 GOL00 (0) 0.00 (0) 0.00 (2) 1192.81 (2) 1192.81 IHM00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 ILL34 (0) 0.00 (0) 0.00 (4) 57199.52 (2) 57199.52 MID20 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00 MR00 (0) 0.00 (0) 0.00 (0) 0.00 (0) 0.00	IME02	(0) 0.00	(0) 0.00	(0) 0.00	(0) 0.00
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(*, * * * * * * * * * * * * * * * * * *	UNI35	(0) 0.00	(0) 0.00	(1) 700.00	(1) 700.00
USA01 (0) 0.00 (0) 0.00 (12) 5169.83 (7) 5090.23	USA01	(0) 0.00	(0) 0.00	(12) 5169.83	(7) 5090.23
USC00 (0) 0.00 (0) 0.00 (8) 1251.97 (8) 1444.86	USC00	(0) 0.00	(0) 0.00	(8) 1251.97	(8) 1444.86
FOS00 (0) 0.00 (0) 0.00 (1) 43.72 (1) 43.72	FOS00	(0) 0.00	(0) 0.00	(1) 43.72	(1) 43.72

RESOLUTION NO. 5383

A RESOLUTION AUTHORIIZING THE CITY MANAGER TO AWARD FAÇADE IMPROVEMENT INCENTIVES TO WAGER TRUST FOR IMPROVEMENTS ALREADY MADE AT 120 S CHESTNUT ST.

the City of Kewanee has developed and implemented a set of incentive programs WHEREAS, to help improve residential, commercial, and industrial properties within the City, and; WHEREAS, many of these incentive programs are narrowly tailored in order to encourage certain results or activities, requiring specific approval to vary from application requirements or eligibility requirements; and Wager Trust performed an eligible project in an eligible area to an acceptable WHEREAS, standard, helping to meet the desired goals of the program; and Wager Trust subsequently provided an application that meets most but not all WHEREAS, program requirements; and WHEREAS, The City Council finds that it is in the best interests of the City of Kewanee to consider the application provided by Wager Trust and make an award for a project that has already been completed. NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF KEWANEE: Section 1 The City Manager is hereby authorized to award Façade Improvement Program Incentives to Wager Trust for improvements already made at 120 S. Chestnut. Section 2 This Resolution shall be in full force and effect immediately upon its passage and approval as provided by law. Adopted by the Council of the City of Kewanee, Illinois this 9th day of January 2023. ATTEST:

RECORD OF THE VOTE	Yes	No	Abstain	Absent
Mayor Gary Moore				
Councilmember Michael Komnick				
Councilmember Steve Faber				
Councilmember Chris Colomer				
Councilmember Tyrone Baker				

Gary Moore, Mayor

Kasey Mitchell, City Clerk

KEWANEE POOL & SPA 120 S. Chestnut

120 S. Chestnut Kewanee, IL 61443

309-854-7665

				DATE _	Rn 5	, 2	027
NAME							
ADDRESS	3				x 3		
SOLD BY	CASH	C.O.D.	ON ACCT.	MDSE. RETD.	PAID OUT		
QUANTITY			SCRIPTION	E		AMOUN	
	Sorr	y ah	out	the	lack	of	
	in form	ation	On	the r	eceipts	for	
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	Constru	ction	- 44	کن کن	wha	t he	
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	by Donnie showing they were						
	paid He let us pay for						
	most material directly to the						
	Suppli	Pr.		,			
		Thank	i fer	Your	Consid	deration	
					ý		
		1_000	jo De	avid 1	Magax		
	call with	ques	tions		TOTAL		

ALL claims and beturned goods MUST be accompanied by this bill

Rec'd by_



City of Kewanee Façade Improvement Program

General Information	
Wager Trust	Jan 5, 2023
Applicant Name	Jan 5, 2023 Date of Request 309 883-0 227 Dovid cell
120 S. Chestrut St Kewgnee	309 883-0228 Doug cell
Home Address (Street, City, State, Zip)	Phone
Business Name (if applicable)	309 854-7665 Business or Alternate Phone
120 S. Chestout St Project Address	Kpool and spa & hotmail com
Please select one:	
Tenant	
Building Owner	
Total Estimated Cost of Project 30,000.00 Narrative Description of Façade Improvements	
Add awning to west	side of building - with lights
replace 3 office windows - 2 we	side of building-with lights at facing with I picture window and
1 Co. 11 Locino	•
	on west side and sheet upper
1 .	well, sheet south side with
metal.	ha ha
a frond it would college tear	grage doors was bowing out.
2×10 lumber and frame in	for 1 14×10 overbrad garage deco-
and I walk in door and con	ver with metal
	-

Page 1



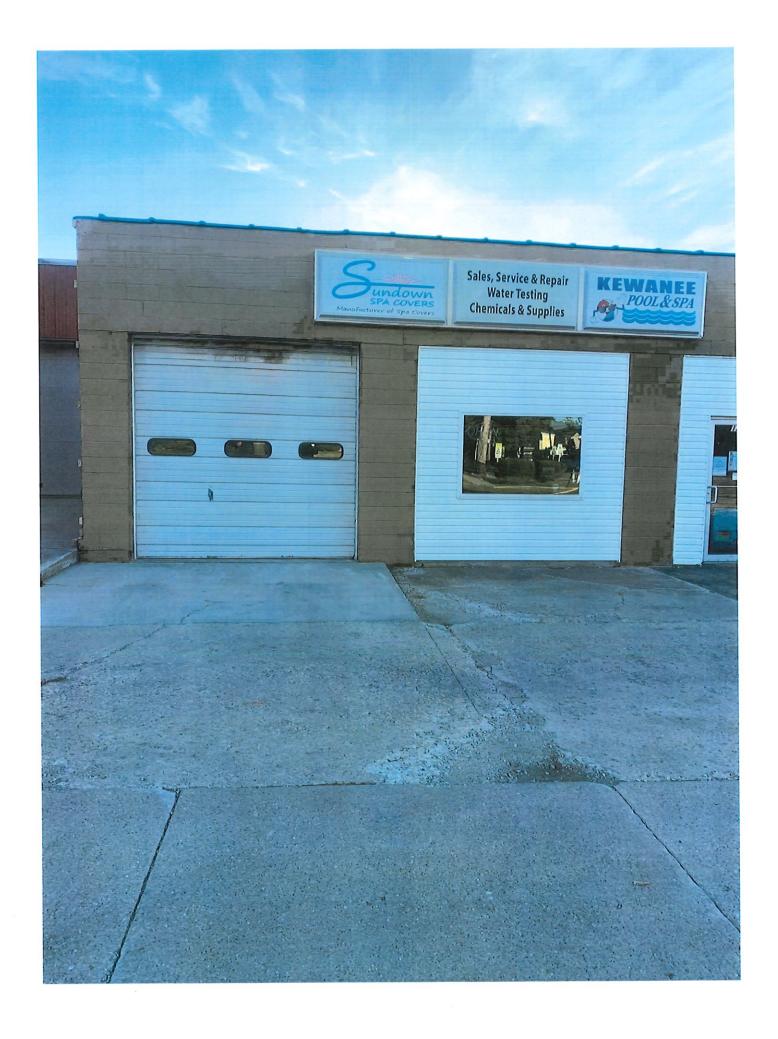
Bid/Estimate Submittal

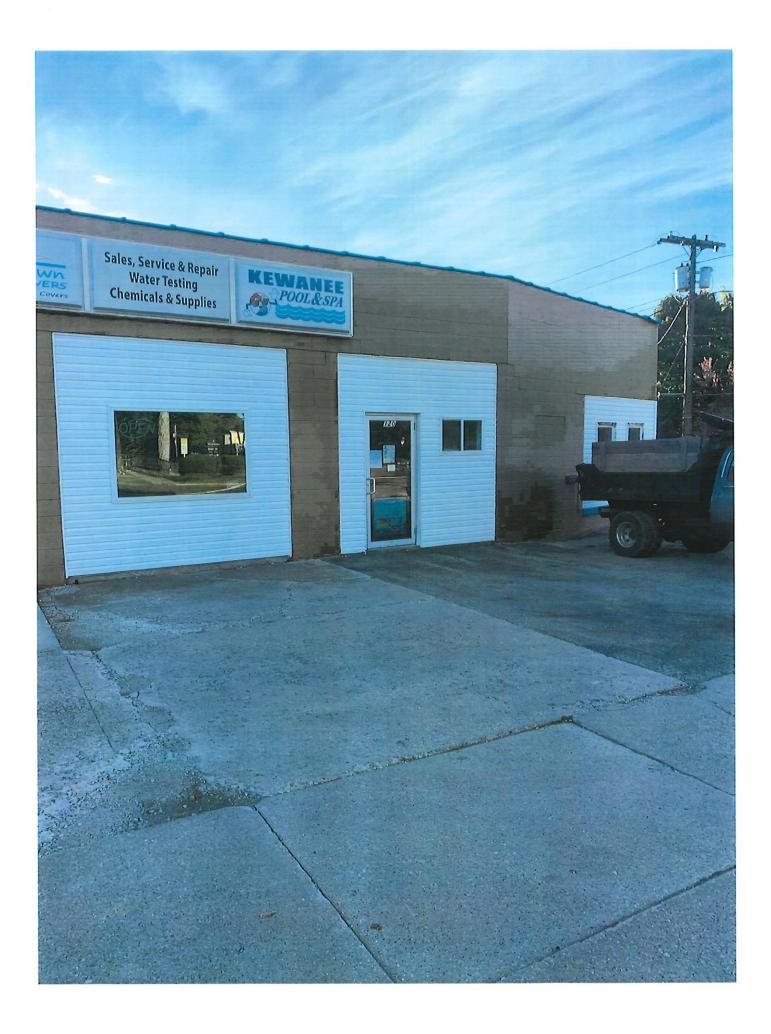
Please attach all bids/e	stimates to this application.
Description of work: _	Listed on Narrative of Facade Improvements
Bid #1: Submitted by:_	Work already completed Amounted receipts attached
	Amount
Description of work:	
	Amount
Bid #2: Submitted by:_	Amount
Description of work:	
	Amount
Bid #2: Submitted by:	Amount
	Amount
Bid #2: Submitted by:	Amount
Ple	ase CIRCLE) which bid you prefer for each description of work listed above.
	All Invoices and Receipts (Proof of Payment) will be required for reimbursement after project completion.
Building Owner Cons	ent
Building Owner Name	. Wager Trust
Building Owner Mailir	
As the legal owner of indicated on this appl that a lien will be pla	me Phone Number 309 883-0228 Deas cell 309 883-0222 Devid cell the property mentioned above, I hereby grant authorization to complete the improvements as lication. I also stipulate that I have read the entire application and applicant checklist. I understand ceed on the property for a three-year time frame, as stipulated in the incentive guidelines. I onsibilities and obligations as the property owner under this application. Ture Dougla Date Jon 5, 2027
	· ·

Page 2

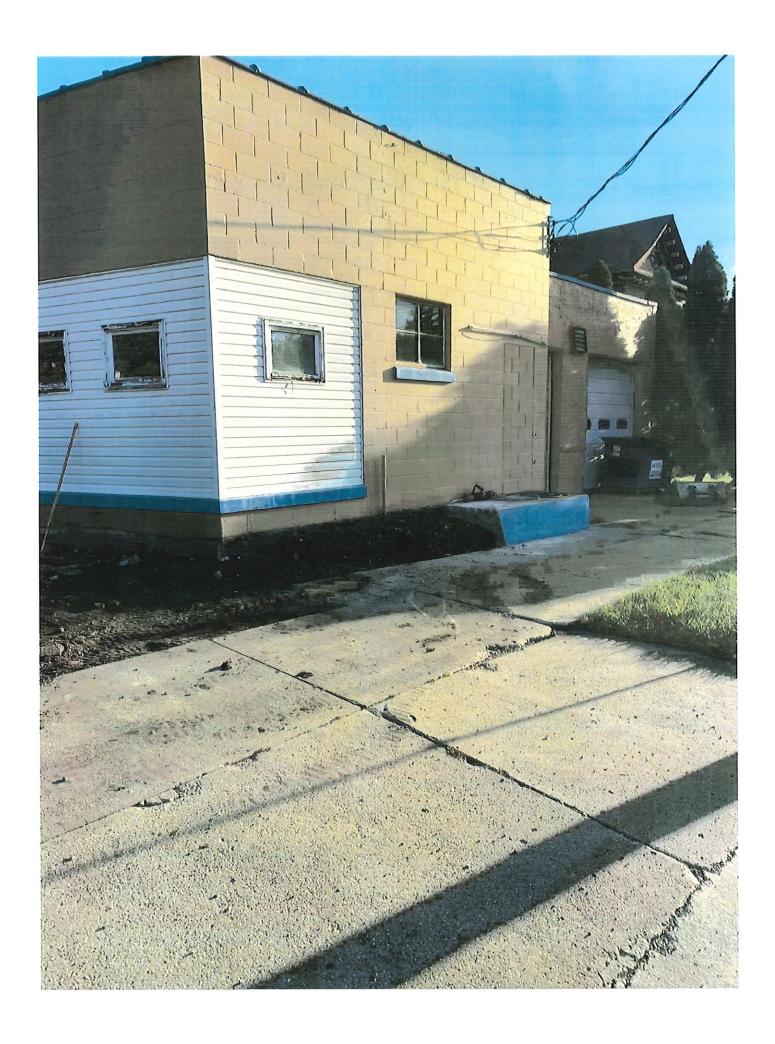


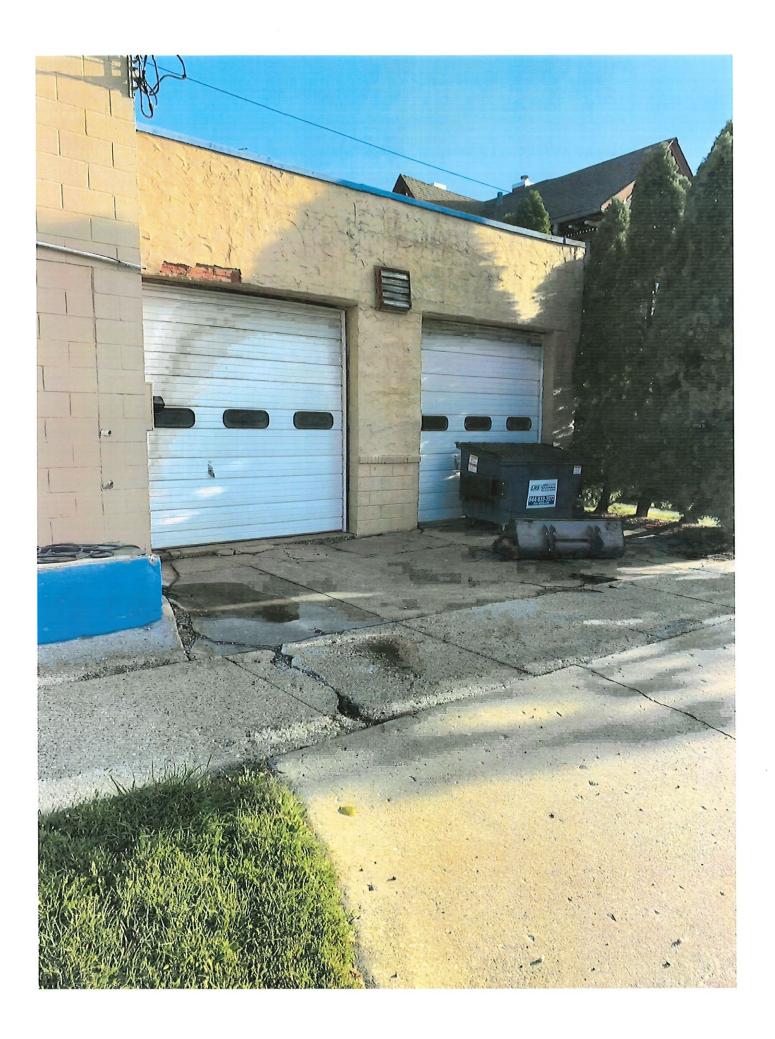
	list of Supporting Materials
Applica	ation must be completed in full with supporting materials attached for application to be processed and considered)
	Detailed Description of Work to Be Completed
	Current photos of the Building and Adjacent Properties
	Sketch, Elevation, or Rendering of Proposed Façade (showing dimensions, colors, materials, awnings, etc.)
	Copies of All Cost Estimates (two estimates required for each work item)
	*note: If façade work is part of a larger remodeling, façade work needs to be separately itemized
	Ownership Verification (warranty deed, etc.)
	Schedule of Work to be Completed (must begin within 45 days of approval and occur entirely during calendar
	year)*
	Proof of Payment of Property Taxes



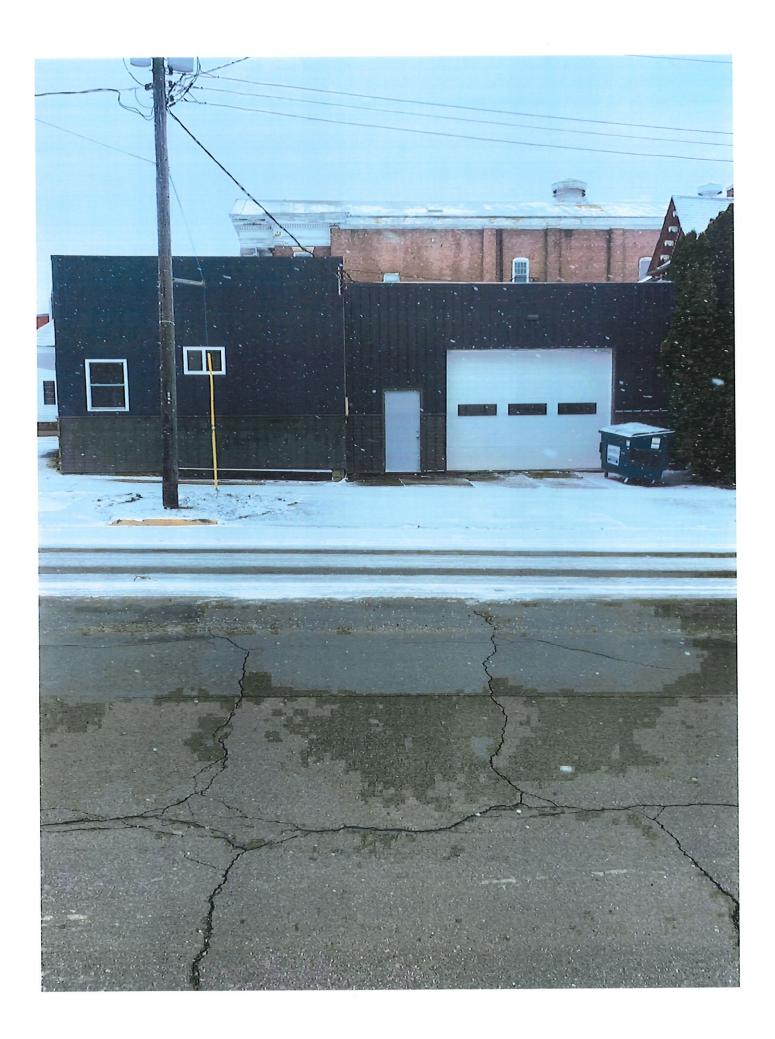












J Mac Metals Inc 1300 SE 2nd St Galva, IL 61434 11-3-22
11-3-22
11-3-22
11-3-22
11-3-22
11-3-22

Statement

Date 11/1/2022

То:	
Vandesampel Construction 1032 N. Vine St	
Kewanee, IL 61443	

				Amount Due	Amount Enc.
				\$2,419.66	
Date		Transaction		Amount	Balance
11/01/2022 11	Transaction INV #34141. Orig. Amount \$103.11. INV #34238. Orig. Amount \$2.316.55.			103.11 2.316.55	103.11 2.419.66
	4.20 DAVO DA OT	24.00 Days Days			
CURRENT	1-30 DAYS PAST DUE	31-60 DAYS PAST DUE	61-90 DAYS PAST DUE	OVER 90 DAYS PAST DUE	Amount Due
2.419.66	0.00	0.00	0.00	0.00	\$2,419.66

Invoice

1300 SE 2nd St Galva, IL 61434



Bill To:

Ship To:

Vandesampel Construction 1032 N. Vine St Kewanee, IL 61443

Invoice#	Date	P.O. Number	Terms (4)	Rep	Sign	
34238	11/1/2022	Pool & Spa	1/2% 10, Net 30		11/1/2022	
Opening	: Item Code	Description		U/M	Price Fach	
102.83	J Panel	8 - 12'10.25" Dark Blue J	Panel G-90 20GA			Α.
138.5	J Panel	12 - 11'6.5" Dark Blue J Pa	anel G-90 20GA	FT	4.00	41
4.83	J Panel	1 - 4'10" Dark Blue J Pane	1 G-90 29GA	FT	4.00	55
52.71	J Panel	11 - 4'9.5" Dark Blue J Par	1 0-30 230A	FT	4.00	1
13.94	J Panel	3 - 4'7.75" Dark Blue J Par	161 G-30 Z3GA	FT	4.00	21
4.42	J Panel	1 - 4'5" Dark Blue J Panel	E 00 30C4	FT	4.00	5
38.3	J Panel	10 - 3'10" Dark Blue J Pane	o-90 29GA	FT	4.00	1
		10 310 Dark Blue J Pani	ei G-90 29GA	FT	4.00	15
28.29	J Panel	7 - 4'0.5" Terratone J Pane	el G-90 29GA	FT	4.00	11
1	1 Screw	1" Screws w/Ultraguard 2	50/824 Taunatau			
4	1 Screw	1" Screws w/Ultraguard 2	50/bag Terratone	Bags	17.00	17
		- 10, cms wy old aguard 2.	DOV pag Dark Rine	Bags	17.00	6
3	Square Base	Square Starter Trim 10' Te	mu=4 .		1	
3	Double Angle	Double Angle 1 E' Face 10	rratone	Pieces	9.14	27
1	J Trim	Double Angle 1.5" Face 10 "J" Trim 10'2" Terratone	'2" Terratone	Pieces	9.04	27
		7 mm 10 2 Terratone		Pieces	9.14	·
3	Square Base	Squara Starts T: 4015				
26	J Trim	Square Starter Trim 10' Da	rk Blue	Pieces	9.14	27
	1	"J" Trim 10'2" Dark Blue		Pieces	9.14	237
5	SA 2 X 2 w/1 Hem	Single Angle 2" X 1" w/1 He	em 10' Dark Blue	Pieces	9.31	46
6	C Channel 16" B	Custom Roof Cap w/2 Hem	is 10' 2" Dark Blue	Pieces	40.01	į
1	Mini R&C 10	Mini Rake-Corner 10' 2" Da degree corner		Pieces	19.46	240 19
2	Rake 12	Rake-Corner 12' 2" Terrato	ne	Pieces	30.73	61

Invoice

1300 SE 2nd St Galva, IL 61434



Bill To:

Ship To:

Vandesampel Construction 1032 N. Vine St Kewanee, IL 61443

lavoice#	Date	P.O. Number	Terms (1985)	Rep	Ships	
34238	11/1/2022	Pool & Spa	1/2% 10. Net 30	The second secon	11/1/2022	
- Chapaig	· Bernicode + S	*Tax Exemption on File		. U/M.	a s Pheetad	Ацью
	77000					
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				7,000		

					77	
	-			799.76		
				Total		\$2,316.5

Invoice

1300 SE 2nd St Galva, IL 61434



Bill To:

Vandesampel Construction 1032 N. Vine St Kewanee, IL 61443 Ship To:

Don FPU

309-525-4528

34141	11/1/2022		Terms	Rep	Ship	
	11/1/2022		1/2% 10, Net 30		11/1/2022	
Quantity :	Hem:Colle	Description		.U/M	Pince Cach	
3	SA 1.5 X 5.5 No	Single Angle 1.5" X 5.5" N	o Hems 10' Terratone	Pieces	14.00	The second secon
3	SA 1.5 X 10.5 w	Single Angle 1 1/2" X 10 1 Terratone	/2" w/No Hems	Pieces	20.37	6
	90 A A A A A A A A A A A A A A A A A A A	*Tax Exemption on File				
					Type of the latest and the second an	
	The state of the s		77 77 77 77 77 77 77 77 77 77 77 77 77			

					PER	
			-			
W / W						
			-	Total		\$103

Phone: (309) 932-3001

Wager Bros Inc DBA Kewanee Pool & Spa & Sundown Spa Cover 120 S Chestout St Kewanee, IL 61440 (109) 854-7655 PAY TO THE GROSS OF JONAC MC/4/5 Jon Peoples National Bank Jonathy FOR	DATE 7 Nov 2627 DATE DOLLARS DOLLARS DOLLARS
SOULD BE SHIFT THIS BOX COMMITTEE TO BE SOUND THIS BOX THE SECURITY THE SECURITY THIS BOX THE SECURITY T	EUDONIE HEREJ MAČ MERAIS 467073 For Deposit Only CHECK FOX FOR HOSTLE/REIDTE DEPOSIT 1571 SHOW FOR INJURIAL INSTITUTION OULSE ACOUST CHOCALICAL VISH DELICATION BOX DELICATION BOX

1300 SE 2nd St Galva, IL 61434

Invoice

11-14-22



Bill

Var 1032 N. Vine St Kewanee, IL 61443

	41427 E
l То:	Ship To:
ndesampel Construction 32 N. Vine St	

Invoice#	Date	P.O. Number	Terms	Rep	Ship :	
34336	11/7/2022	Pool & Spa	1/2% 10. Net 30		11/7/2022	
Онарыту	Hem-Code	Description		U/M	. Price Lach	Amount
6	C Channel 16" B	Custom Roof Cap w/2 He Sales Tax	ms 10' 2" Dark Blue	Sal. Tax	40.01	240.06 240.06
				Total		<u>\$258.6</u> 6

Wager Bros Inc DHA Kawanee Pool & Spa & Sundown Spa Cover 120 8 Chestrut St, Kewanee, IL 61443 (309) 854-7666 PAY TO THE ONDER OF JMAC Mc Ich Propies Mattenal Parks Propies Mattenal Parks To Aumana June 19616. FOR #343360	OA4623 DOLLARS DOLLARS DOLLARS
COLOR BUSINE THIS BOY SHOULD BE THITE SHOULD BE THITE THE PLEATING HOLD FOR THE HORSE FAMILIAS FOR THE PLEATING HOLD FOR THE PLEAT	Emposit Only For Deposit Only CHECK BOX FOR NOBILE/RECOTE DEPOSIT CHICARDE OF FRANCH CHEMICAL CHEMICAL CHOMICAN CALLESTITUTION ON LITERATURE CHOMICAN Wash Defection Box

Invoice

1300 SE 2nd St Galva, IL 61434

11-21-22 19

J MAC METALS

Bill To:

Vandesampel Construction 1032 N. Vine St Kewanee, IL 61443 Ship To:

Don 309-525-4528

> Unvoice #	Date.	P.O. Number	Terms	Rep	- Ship	
34367	11/8/2022	Pool & Spa	1/2% 10, Net 30		11/9/2022	
Quantity 4	liem Code	Description		-U /M -	Price Lagin	Amount
1	Rake 14	Rake-Corner 14' 2" Terra	tone	Pieces	35.82	35.82T
1 2	Square Base J Trim	Square Starter Trim 10' T "J" Trim 10'2" Terratone	erratone	Pieces Pieces	9.14 9.14	9.14T 18.28T
2	SA 1.5 X 2 No H	Single Angle 1.5" X 2" No	Hems 10' Terratone	Pieces	9.31	18.62T
2	Flat 10.5	Flat Stock 8" Wide X 10' L	ong Terratone	Pieces	21.17	42.34T
3	SA 1.5 X 2 No H	Single Angle 1.5" X 2" No	Hems 10' Dark Blue	Pieces	9.31	27.93T
1	Flat 10.5	Flat Stock 8" Wide X 10' L Sales Tax	Flat Stock 8" Wide X 10' Long Dark Blue Sales Tax		21.17 7.75%	21.17T 13.43
			No TAX			184.73
				Total		\$186.73

OB.	Wager Bros Inc A Kewanee Pool & Spa & Sundown S 120 S Chostnut Bt Kewanee, IL 61440 (200) 854-7655		DATE 27	Nov 2021	044630 li
Om hun	Peoples National Bank J. 10-245/71)	hru Clalla	30//2	regles 0	Vago La mas
The Light Code of Angel mink to a					For Deposit Only 10 to the for sometime of perosit
Section 1997			4.		San

J Mac Metals, Inc.

Invoice

1300 SE 2nd St Galva, IL 61434 J MAC METALS

Bill To:

Vandesampel Construction 1032 N. Vine St Kewanee, IL 61443 12-8-22 44442 \$891.89

Ship To:

Vandesampel

- Involee #	Date: 35	P:0 Number	l'erms	Rép.	Ship	
34683	12/6/2022	Pool & Spa	1/2% 10, Net 30		12/6/2022	
- Quantity	Hem Code	Description		10/10	Pince-Each	Amount
23	J Panel	2 - 11'6" Dark Blue J Panel	l G-90 29GA	FT	4.00	
52.1	J Panel	5 - 10'5" Dark Blue J Panel		FT	4.00	1
20.68	J Panel	4 - 5'2" Dark Blue J Panel (FT	4.00 4.00	4001101
18.75	J Panel	4 - 4'8.25" Terratone J Par		FT	4.00	82.721
6.25	J Panel	2 - 3'1.5" Terratone J Pane		FT	4.00 4.00	75.00T 25.00T
2	J Trim	"J" Trim 10'2" Terratone		Pieces	9.14	10 20*
1	Double Angle	Double Angle 1.5" Face 10)'2" Terratone	Pieces	9.04	18.28T 9.04T
1	SA 1.5 X 13 No	Single Angle 1.25" X 12.75 Terratone	" No Hems 14'	Pieces	36.35	36.35T
2	SA 1.5 X 13 No	Single Angle 1.25" X 12.75 Terratone	" No Hems 10'	Pieces	26.09	52.18T
3	J Trim	"J" Trim 10'2" Dark Blue	•	Pieces	9.14	27.42T
3	Rake 12	Rake-Corner 12' 2" Dark B		Pieces	30.73	03.407
1	Rake 10	Rake-Corner 10' 2" Dark Bl	ue	Pieces	25.60	92.19T 25.60T
3	C Channel 20" B	Custom C Channel w/2 He 2" Dark Blue	ms 4" x 12.75" x 4" 10'	Pieces	49.22	147.66T
	_	Sales Tax			7.75%	69.02
	South side garage doer un	· N	10 1A+			491.84
				Total		\$960.96

PAY TO 145 OF	Wager Bros Inc DBA Kewanee Pool & Spa & Sundown Spa (120 & Chestnut St Kewanee, IL 61445 (309) 654-7666 TMAC Metalo Leftended metalo Peoples Hattonal Bank 70-230/751	on oldler	Douglas D. War	044642 In 1999 In 1990 In 1990 In 1990 In 1999 In 1990
The second models of the second secon			Ciscant in the state of the sta	Hacine Ileas J. Mac Metals 467073 For Deposit Only

1319 W. 6th Street Kewanee, IL 61443

Phone (309) 856-8041 Fax (309) 856-8043

Ship Date

INVOICE

Date	Invoice #
12/29/2022	83510

Bill To:	
KEWANEE POOL & SPA 120 S CHESTNUT ST KEWANEE IL 61443	

Technician

Ship Via

Ship To:	1 THE TOTAL PROPERTY OF THE PARTY OF THE PAR
SOUTH DOOR 120 S CHESTNUT ST KEWANEE IL 61443	

12/28/2022	OUR TRUCK	K BP:	ZP			· •·			
P.C), #	Terms	Rep	Due Date		Job Name/Location			
DOUG V	WAGER	Net 10 Days	KW	1/8/2023		120 S C	HESTNUT	ST/KEWANE	EE
Item		Des	cription	-		Serial#	Qty.	Price Ea.	Total
AP138	POLYURE CLIMATE S	YNOR ASPEN 13 1/8" THICK TWO S THANE INSULATI SEAL, NORMAL H DIUS. (13 R-VAL	SIDED STEE ED GARAGE EADROOM	L, DOOR WITH		3525379	1	3,450.00	3,450.00T
Windows/Sta	GLASS WI	STANDARD RANCH STYLE, DOUBLE GLAZE, CLEAR GLASS WINDOWS IN THE TOP OR 3RD SECTION. (PRICED PER WINDOW).					3	140.00	420.00T
2140996	OPENER S WITH BATT	ENTINEL 3/4 HP TERY BACKUP, C	10' BELT DE	RIVE OPENER D 2 WAY AUDIO	D.		1	845.00	845.00T
893 MAX	MANUFACT	TER UNIVERSAL LIFTMASTER® G TURED SINCE JA TMASTER AND I	ARAGE DOO NUARY 199	OR OPENERS 3. AND ALL			1	55.65	5 5.65T
Terms	INSTALLAT	ES NOT INCLUDI TON. PRICE DOE DOR OPENING O	S NOT INCL	UDE FRAMING	₹.			0.00	0.00
Dep Applied	DEPOSIT A	PPLIED FOR SAI	LES RECEIF	PT 13192	***************************************	(1	-2,500.00	-2,500.00

We Appreciate Your Business.

Thank You For Choosing Us For Your Garage Door Needs!

Down

Subtotal

4435.00 \$2,270.65

2500.0C

For Your Convenience We Accept Cash, Check, Visa, MasterCard and Discover.

Like Us On Facebook

www.sullivandoor.com

Sales Tax (0.0%) **Total**

\$0.00

Payments/Credits

\$2,270.65

\$0.00

Balance Due

\$2,270.65



Invoice Address

Cash Princeton Branch
Cash Princeton Branch, Illinois

Princeton, IL 1315 North Main Princeton, Illinois 61356 Phone: 815-875-1141

Fax: 815-872-0553

Delivery Address

Cash Princeton Branch 120 S. CHESTNUT ST (2 BLOCKS WEST OF 34) KEWANEE, Illinois

Will Call Order

Order No 2027075 Order Date 2027022

Customer +5300

Contact Name DON VAN DE SAMPEL
Contact Number 309 525 4528

Job

Your Ref EZ/22EZ000004428
Delivery By 10/20/22
Taken By Delbert Rich
Sales Rep House Account

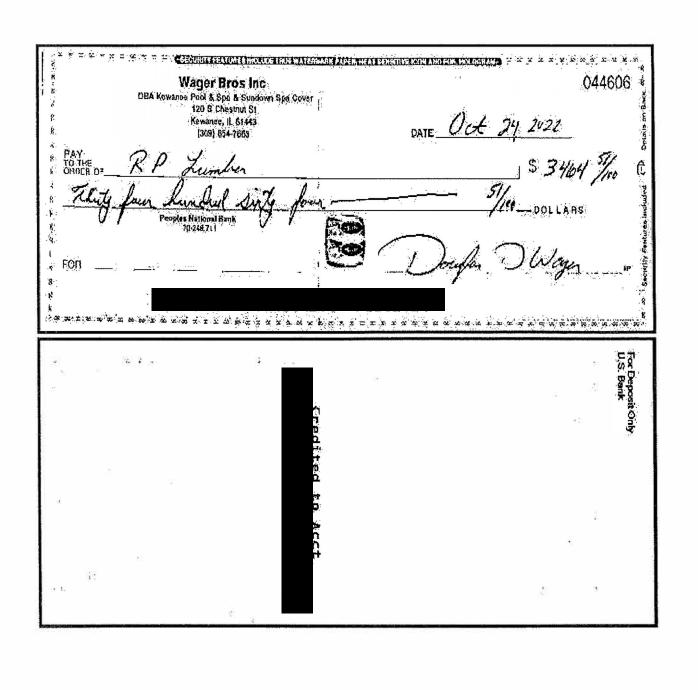
This is a reprint



Page 1 of 1 Special Instructions Notes -Line Product Code **Qty/Footage** UOM Description Total Price VRTCTRF VERSETTA TIGHT-CUT - TERRA ROSA FLAT Tる。片 1 67.99 BDL-1 2,175.68 1 31-32 BDL-1 (2/BDL) VRTCTRC VERSETTA TIGHT-CUT - TERRA ROSA CORNER BDL-1 339.95 2 5 BDL-1 67.99 (2/BDL) VERSETTA 10 STARTER STRIP - TAUPE TOOK 3 **VRSS** 27.99 83.97 -∂r ea ea BDL-2 VRWC2 VERSETTA WAINSCOT SILL - TAUPE (2/BDL) 89.99 809.91 4 9 BDL-2 5 Moffett Charge Delivery made using the Moffett Truck 55.00 Pd chick 44406 10/24/22

Goods received in good condition					
Print name					
Signature					

Total Amount	\$3,464.51	
Sales Tax	\$0.00	
Order Total	\$3,464.51	
And the Control of th		٠



KEWANEE, KEEP YOUR RECEIPT RETURN POLICY VARIES BY PRODUCT TYPE

Unless noted below allowable returns for items on this receipt will be in the form of an in store cradit woucher if the return is done after 02/27/23

If you have questions regarding the charges on your receipt, please emailus at: KENAfrontendomenards.com



Sale Transaction

Tax Exempt Certificate ID: 4289330 Exempt Type: Construction Contractor

SC COMBO ORBITKNOB/OB SN 2211921

59.99 NT 59,99

TUTAL SALE Menard Confractor Card 1060 Job # or Name : butiding

Auth Code: 181900 Chip Inserted a000000017002001

TC - 12a4ad8809e25fa1 - TOTAL NUMBER OF ITEMS =

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The Cardholder acknowledges receipt of goods/services in the total amount shown hereon and agrees to pay the care issuer according to its current terms

GUEST COPY

THIS IS YOUR CREDIT CAPO SALES SLIP PLEASE RETAIN FOR YOUR RECORDS.

Sign up for our enail program at Herants.com/Emails to receive our weekly and exclusive online offers!

DUR CASHIER, JESS 194

11/25/22 19:3344 3507

KENAT contendamenands.com



Sale Transaction

Cust name; Wager, David GLACIERMIST SPRING WATER 2 63.48 2733921

6.96 NT 30177034

SPECIAL ORDER Unline Window Store-PIEX SEO# 2 4001353 0:00 N DELIVERY

END OF DRDER OF CE TOTAL TABLE 11 8 25% 477,56 38.82 516.38 TOTAL SALE 516.38 Menard Contractor Card 1060 Job # or Name : shop Auth Code: 193150

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TOTAL NUMBER OF ITEMS =

THE FOLLOWING REBATE RECEIPTS WERE PRINTED FOR THIS TRANSACTION;

GUEST COPY

The Cardholder acknowledges receipt of goods/services in the total amount shown hereon and agrees to pay the card issuer according to its current terms.

THIS IS YOUR CREDIT CARD SALES SLIP PLEASE RETAIN FOR YOUR RECORDS

restocking fee

SELIBERATOR CONTRA

Signer for our edital program at Menards.com/Emails to receive our weekly fiver and exclusive online offers

Unless noted below allowable returns tor items on this receipt will be in the lorm of an in store credit voucher if the return is done ofter 01/13/23

> If you have questions regarding the charges on your receipt, please email us at: KEWAfrontendomenards.com



Sale Transaction Can lights 2165

Tax Exempt Certificate ID: 4289330 Exempt Type, Construction Contractor

5/6"LEO SPARTRIRO RGB100 104 93 NT 3491330

104 93 TOTAL SALE 104.93 Menard Contractor Card 1060 Job # or Name : shop

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HIS IS YOUR CREDIT CARD SALES SLIP PLEASE RETAIN FOR YOUR REDSROS.

then up for our easil program at Penaltis completables to receive our weekly flyer and exclusive online offers!

THANK YOU, YOUR CASHIER, Rita

KEEP YOUR RECEIPT REFURN PULTOY VARIES BY PRODUCT TYPE

Unless noted below allowable returns for items on this receipt will be in the form of an in store credit voucher if the return is done after 01/09/23

If you have questfors regarding the charges on your receipt, please email us at: XEMATrontendemenards.com

Sale Transaction CGM

5" IC/NON-IC AT HEN CONS 3493005 611.86 12" 801 CIRC SAN BLADE 3493005 2526639

TOTAL

26.39 110.01 80.6 TAX KENANEE-IL B.25% 119.09 119.09

83.02

TOTAL SALE Menard Contractor Card 1177 Job # or Name : shoo Auth Code: 794981

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TOTAL NUMBER OF TIBIS

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GUEST COPY

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THE IS YER CHEDIT OF BALL PLEASE RETAIN FOR YOUR SECTIONS

Sign up for our essell program of HERBITIS, CONFERMINE TO TEXT INC. THAT fiver and exclusive white are

Your Sales Receipt

Lowe's Home Improvement <do-not-reply@receipt.lowes.com>

Fri 9/23/2022 3:58 PM

To: kpoolandspa@hotmail.com < kpoolandspa@hotmail.com >

Office South window double hung central Blud



Thank You for Shopping at Lowe's

We hope you enjoy your new purchase!

Dear Douglas,

Thank you for shopping at Lowe's. The following is a copy of your sales receipt. If you have any questions, please call Lowe's Customer Care at 1-800-44-LOWES (56937).

Sincerely, Lowe's Customer Care

and the second s	and the same a second control of the same and the same an	*		
Sold To	Sold From	Order Information	* A A A A A A A A A A A A A A A A A A A	
Douglas Wager	LOWE'S OF GALESBURG, IL	Location:	907	
kpoolandspa@hotmail.com	531 WEST CARL SANDBURG DR	Order Date:		
(309) 854-7665	GALESBURG , IL 61401	Invoice #:	88833	
	(309) 342-4488	Order #:	899721259	

Item#	Item Description	Model #	Qty.	UoM	Load Indicator	Unit Price	Ext. Price
2637791	150 Series 35.5-in x 45.5-in x 4.5-in Jamb Vinyl New Construction White Double Hung Window Full Screen Included	1000009472	1	LCU	PL	\$288.00	\$288.00

Fulfillment In	formation	Tender Information	The residence of management Asset Assets against	Payment Information	
Location:	92	VISA 6148 :	\$313.20	Subtotal:	\$288.00
Sales Date:	09/23/2022	in the state of th		Shipping / Delivery:	\$0.00
Fulfillment #	96185			Total Tax:	\$25.20
A 14				Total:	\$313.20

Billing Information

Bill From 10/13 - 11/10

Total labor \$ 5,80.00

11 Materials \$ 983,10

\$ 6163.10

-\$ 272,47 Tax exempt credit

5890.63

Nov 11-22 44621 \$5890 63

Labor to install stone, sheeting & flashing west side.

Material - Flashing * caps & mise

Van De Sampel Construction

DBA Kowa	Wagar Bros Inc. Incc Pool & Spa & Sundown 120 & Chestrut S1	Spa Covar			044621
	Kewsnee, IL 61443 (309) 654-7685	i.	DATE NO	v 11, 2022	भूज्यस्य कारणः हिन्द्
PAY TO THE OR VCON	D. Sampel	Construction	, . , .	\$ 58	13
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K. P. A. S

Materials and labor 45 of 10/12/22.

Materials \$ 2901,00 labor \$ 4580.00

Total \$ 7481.00

West side

10/13/22 4460/ \$748100

material for away Awning, furring strips, anchors

1abor to install above plus new window, take sign down

Van De Sampel Construction

Wager Bros Inc DBA Kewance Pool & Spa & Sundown 120 & Chestou S1 Kewance, IL 61443 [309] 634-7665 PAY TO THE ORDER OF Van De Sampel Co	n spacover	DATE 13 Oct 2022	LARS DODGE STATE
C. The track of the control of the c		Hank 160 - Sweet of the angle	CHECK FOR TIDESTREAMENOTE DEPOSIT

K. P. 5

19 Dec 2022

144651

Total labor \$ 5460.00

\$ 7711.83

Total Mat. \$ 2304.80

Tax crid;t \$ 52.99

Total B: 11 \$ 7711.83

12/18/22

Labor - tear down south wall with double
over head doors and rebuild with
a single over head door and I walk in
door.

material for above work not including over head door

Van Dr Sompal Const.

Wager Bros Inc DBA Kewanee Pool & Spa & Bundown Spa Cover 120 & Chestaut St. Kewanee, It. 81443 1308) 854-7868 PAY TO THE OF Uan De Sgapet Construction Seven thousand Seven hundred clour dollars & 3/14 People National Bank 70210711 FOR	044651
The first care are from an incidence which, incidence with the care of the car	Deliebreak For ideal Lineinote defosit

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10



20-2102529

BARBARA M. LINK HENRY COUNTY CLERK AND RECORDER RECORDED ON: 04/23/2021 12:03 PM

RECORDING FEE RHSPS FEE 59.00 9.00

PAGES: 2

THIS DOCUMENT PREPARED BY AND PLEASE RETURN TO:

Denise Sawickis (Ph. 309-853-3333)
Peoples National Bank of Kewanee
207 N Tremont St.
Kewanee, IL 61443

RELEASE OF REAL ESTATE MORTGAGE/TRUST DEED

KNOW ALL MEN BY THESE PRESENTS:

THAT WE, PEOPLES NATIONAL BANK OF KEWANEE, BY Rebecca S. Ault, ITS

Senior V.P.-Lender, PURSUANT TO RESOLUTION OF ITS BOARD OF DIRECTORS AND

UNDER ITS CORPORATE SEAL OF THE COUNTY OF HENRY, AND STATE OF ILLINOIS,
FOR AND IN CONSIDERATION OF ONE DOLLAR, TO IT IN HAND PAID AND FOR OTHER,
GOOD AND VALUABLE CONSIDERATION, THE RECEIPT WHEREOF IS HEREBY
CONFESSED, DO HEREBY GRANT, BARGAIN, REMISE, CONVEY, RELEASE AND QUIT
CLAIM UNTO WAGER TRUST #1, DAVID WAGER & DOUGLAS WAGER, TRUSTEES OF
THE COUNTY OF HENRY, AND STATE OF ILLINOIS, ALL RIGHT, TITLE INTEREST, CLAIM
OR DEMAND WHATSOEVER, WE MAY HAVE ACQUIRED IN, THROUGH OR BY A CERTAIN
INDENTURE OR MORTGAGE, BEARING DATE THE 22ND DAY OF AUGUST A.D. 2007 AND
RECORDED ON THE 23RD DAY OF AUGUST A.D. 2007, IN THE RECORDER'S OFFICE OF
HENRY COUNTY AND STATE OF ILLINOIS, ______ AS DOCUMENT NO.
20-0707142* TO THE PREMISES THEREIN DESCRIBED AS FOLLOWS:

* THE WEST HALF (W1/2) OFLOT SIX (6) OF BLOCK NINE (9) OF TENNEY'S FIRST ADDITION TO THE CITY OF KEWANEE, HENRY COUNTY, ILLINOIS

WITNESS THE HAND THIS 16^{TH} DAY OF <u>APRIL</u> A.D. <u>2021</u>

CORPORATE SEAL

PEOPLES NATIONAL BANK OF KEWANEE

34 <u>| Je</u>

REBECCA S. AULT, SENIOR V.P.-LENDER

STATE OF ILLINOIS COUNTY OF **HENRY**, ss:

ON THIS 16TH DAY OF <u>APRIL</u>, 2021, BEFORE ME, PERSONALLY APPEARED <u>Rebecca S. Ault</u>, TO ME PERSONALLY KNOWN, WHO BEING SWORN DID SAY THAT <u>SHE</u> IS THE <u>Senior V.P.-Lender</u> OF THE <u>PEOPLES NATIONAL BANK OF KEWANEE</u>, THE CORPORATION NAMED IN AND WHICH EXECUTED THE WITHIN INSTRUMENT, AND THAT <u>SHE</u> EXECUTED THE SAME FOR AND ON BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS AND THAT THE CORPORATE SEAL AFFIXED THERETO IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND SEAL THIS 16TH DAY OF APRIL, A.D. 2021

NOTARY PUBLIC

"OFFICIAL SEAL"
BRENDA S RYAN
Notary Public, State of Illinois
My Commission Expires 1/27/2024

Impress Notary Seal Here

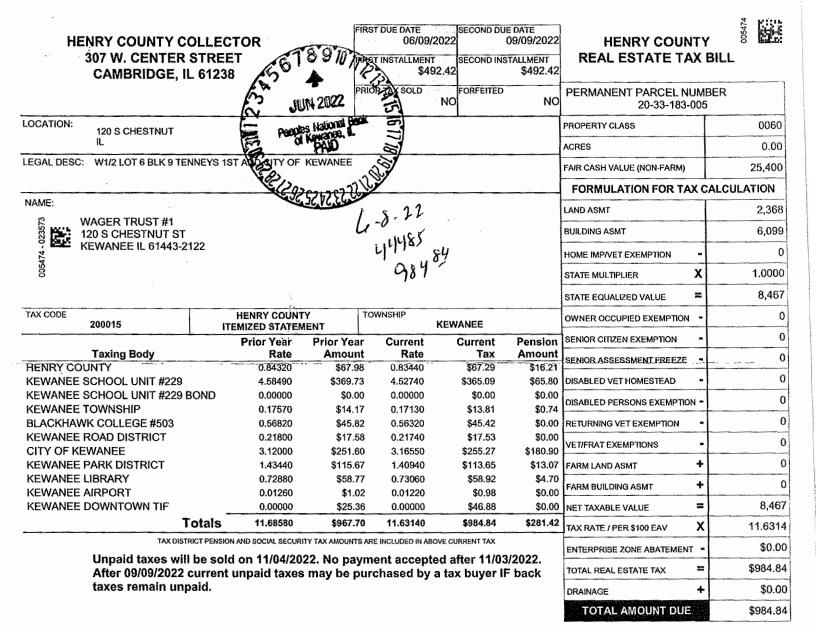


TABLE OF CONTENTS

TAX INCREMENT FINANCING (TIF) DISTRICT APPLICATION

MIDLAND PLAZA, LLC KEWANEE, ILLINOIS

Property Overview:

- 1. Executive Summary and TIF Application
- 2. Property Site Plans Current Site Plan, Redevelopment Site Plan and Legal Description
- 3. Current Redevelopment Brochure
- 4. Arby's Renderings
- 5. Arby's Construction Plans dated January 31, 2021
- 6. Arby's Civil Plans dated January 31, 2021
- 7. Arby's Construction Payouts Summary

Property Assembly Costs:

- 8. Land and Buildings (Acquisition Costs)
- 9. Site preparation, Clearing and Grading
- 10. Demolition

Professional Fees:

- 11. Planning, Engineering, Architectural
- 12. Legal
- 13. Accounting/Financial
- 14. Marketing (land only)
- 15. Other Professional Fees

Other:

- 16. Job Training and Retraining Services
- 17. Rehabilitation or Renovation
- 18. Public infrastructure Improvements (Water, Sewer, Drainage, Sidewalks, Curb, etc.)
- 19. Utilities Extension
- 20. Interest Buy-Down: Principal \$ 1,344,423 @ 4.5 % per annum for 30 years = Estimated Interest Expense x 30% = \$506,831.23
- 21. Miscellaneous/Other Costs



406 SW WASHINGTON STREET PEORIA, ILLINOIS 61602

www.cohendevelopment.com

Tel: (309) 671-1000 Fax: (309) 673-4308

7 December 2022

Via FedEx Via Email gbradlwy@cityofkewanee.net

Mr. Gary Bradley City Manager City of Kewanee 401 E. Third Street Kewanee, IL 61443

RE:

Kewanee Downtown TIF Midland Plaza LLC - Application for Eligible Reimbursements Arby's Restaurant - Initial Outlot Development

Dear Gary,

Pursuant to our recent conversations and on behalf of Midland Plaza LLC, we are pleased to enclose, for your immediate consideration, those TIF eligible costs necessary and prerequisite to the financial feasibility for the development of Arby's restaurant on Outlot 5 of the Master Redevelopment Plan for Midland Plaza.

The Arby's freestanding restaurant development is the first of multiple phases in our overall master redevelopment plan at Midland Plaza Shopping Center in Kewanee, Illinois.

This redevelopment plan which brings the potential for six new outlots -- each capable of supporting drive-through QSR restaurants, with total capacity for approximately $35{,}000$ -40,000 square feet of new restaurant or freestanding retail (including of Arby's on Outlot 5), together with an additional 20,000 square foot proposed retail expansion the main shopping center.

Thus, the master plan re-development project, once completed, could add from 75,000 – 80,000 square feet of new retail at Midland Plaza contemporaneous with simultaneously renovating and restoring the overall shopping center to a contemporary retail environment attractive and conducive to national and regional best-of-breed retail capable of entering the Kewanee, Illinois, MSA market.

We submit this TIF Application to you today for consideration for immediate reimbursement for those to eligible expenses on behalf of, and for the City of Kewanee benefits of, the development of the Arby's restaurant on Outlot 5.











Working from your TIF Application form, in summary, those costs and benefits for the Arby's application are:

Project Description: Arby's 2,669 square foot 2021

prototypical restaurant. FMS Group of Champaign Illinois – the oldest Arby's original franchisee in the country, as original operating franchisee. Full turnkey development by Midland Plaza LLC (by Cohen Development Company, as project manager) to incentivize Arby's initial

relocation into Kewanee Illinois.

Sales Tax Shift: None brand specific: Arby's is new to

the Kewanee market.

Projected new jobs to be created: 16

Projected Annual Retail Sales: \$1.6M (initial year)

Projected Total Investment (by Developer) \$2,135,768.00

Projected Total Eligible Costs \$1,421,833.00

Within all projected Total Eligible Costs, the breakdown is as follows:

Project Assembly Costs: \$82,186

Professional Fees: \$102,916

Public Infrastructure Improvements: \$572,302

Interest Buy-Down \$506,831.23

As additional project supporting materials, we've enclosed this correspondence:

1. Site Plans – including an existing conditions site plan prior to development of Arby's; an existing conditions site plan after development of Arby's; and a future conditions site plan proposed for the full master redevelopment of six out lots surrounding the property together with a 20,000 square-foot expansion of the



existing main shopping center building, showing Arby's as out lot number five within it the overall development redevelopment.

- 2. A current leasing and preliminary project redevelopment brochures.
- 3. Architectural and MEP Construction Plans for Arby's.
- 4. Civil engineering plans for the project.
- 5. A complete set of cost summary and invoices supporting all predevelopment and final development actual cost and expenses.

On behalf of Midland Plaza, LLC, we remain grateful to the City of Kewanee for all of its support of our efforts for the continued growth and development of Kewanee via our Midland Plaza Shopping Center – Kewanee's first and largest shopping center developed by us in 1970 and managed to sleep throughout these past 50 years.

Accordingly, we submit this project for your immediate consideration for TIF eligible reimbursements.

If you've any concerns or questions, please not hesitate to contact me.

your sincerely,

Les Cohen

President and CEO

LBC/em

CC:

Jack Teplitz, Esq. Julie Huddleston

Encl:

Tax Increment Financing Application Binder



TAX INCREMENT FINANCING (TIF) DISTRICT

APPLICATION FOR TIF BENEFITS RELATING TO PRIVATE (TIF) ELIGIBLE REDEVELOPMENT PROJECT COSTS

Pursuant to Section (65ILCS 5/11-74.4-4(b)) of the Tax Increment Allocation Redevelopment Act (65 ILCS 5/11-74.4 et. seq.), municipalities may make and enter into contracts with private developers to induce redevelopment projects which are necessary or incidental to the implementation and furtherance of its redevelopment plan and project. Municipalities may also, under certain conditions, incur project redevelopment cost and reimburse developers who incur redevelopment project costs which are authorized by a redevelopment agreement (65 ILCS 5/11-74.4-4(j)).

Private developers seeking reimbursement of TIF eligible redevelopment project costs are required by the municipality to complete this application allowing the municipality to adequately determine the developer's eligibility for assistance from the TIF District.

Instructions: Complete each section and return via fax (309) 856-6001 or U. S. Mail or in person to: City of Kewanee, 401 E. Third Street, Kewanee, IL 61443

PART 1: DEVELOPER INFORMATION
Developer Legal/Business Name: Midland Plaza, LLC Date: 12-6-2022 Business
type: Sole Proprietorship Partnership Corporation (State of Charter: Illinois)
Other (please describe):
Developer's Contact Information: Name: Leslie B. Cohen Title: President
Address: 406 SW Washington Street
City: Peoria State: Illinois Zip Code: 61602
Daytime Phone (309) 671-1000 Mobile: (309) 256-9000
Fax: (309) 673-4308 Email: lbc@cohendevelopment.com
PART 2: PROJECT INFORMATION
TIF District Name:
Project Name: Arby's at Midland Plaza, Kewanee, IL
Anticipated Start Date: July 2021 Anticipated Completion Date: October 2021
Project Description: Arby's Project - Out lot addition at Midland Plaza, Kewanee, IL.
Project is classified as:



Project Street Address: 157-179 W South Street and 131 W South Street, Kewanee, IL 61443 Parcel(s)

Relating	g to the above described	d project:			
1.	Property Identification Number (PIN): 25-09-226-021 and 25-09-226-023				
2.	Is this property within the TIF Boundary (or proposed boundary)?				
3.	Property Identificatio Is this property within Date property acquire	n the TIF Boun	dary (or proposed boundar	ry)? Yes or No	
4.	Date property acquire	the TIF Boun	N)	parcels on separate she	
	PHAS	SE 1: Number	of lots =	@ \$	per lot
	Calen	ıdar Year	Number of Homes or Units	Avg. Fair Market (House and L	t Value
	-			2007	
	PHAS	SE 2: Number	of lots =	@\$	per lot
	Calen	idar Year	Number of Homes or Units	Avg. Fair Market (House and L	
			please describe additiona	l phases on separate sh	eet and attach)
FOR E	NTIRE PROJECT:	·		1	,
Total Pi	rojected Investment \$_		(Land and Real E	state Improvements On	ly)
Total N	umber of Jobs Created	: 16	Number of Jobs FTE:		
Current	annual retail sales (if a	pplicable – con	nmercial projects only)	YTD (10/31/2022	2) \$ 1,229,969.42

Projected (new) annual retail sales generated by this project \$ 1,507,628.80



PART 3: ESTIMATED TIF ELIGIBLE PROJECT COSTS

Property Assembly Costs:	Phase 1:	Phase 2:
1. Land and buildings (acquisition cos	sts)	\$
2. Site preparation, clearing and gradi	ng \$ 82,186.00	\$
3. Demolition	\$	\$
Professional Fees:		
1. Planning, engineering, architectural	\$ 88,953.95	\$
2. Legal	\$ 30,455.75	\$
3. Accounting/financial	\$ 23,787.50	\$
4. Marketing (land only)	\$ 14,400.00	\$
5. Other professional fees	\$ 102,916.00	\$
Job training and retraining services	\$	\$
Rehabilitation or renovation	\$	\$
Public infrastructure improvements (Water, sewer, drainage, sidewalks, curb		\$
Utilities extension	\$	\$
Interest Buy-Down: Principal \$1,344,423.00 @ 4.5 % per ar for 15 years = Estimated Interest Expens		\$
Miscellaneous/Other (please specify):		
1. Additional Building/Project		\$
2	\$	
3	\$	\$
TOTAL ESTIMATED ELIGIBLE COST	S	\$
Additional Notes/Comments:		W-45

(please describe estimated eligible project costs for additional phases on separate sheet and attach)



PART 4: DECLARATIONS

City of Kewanee

Pursuant to the TIF Act, the City of Kewanee has the authority to make and enter into all contracts with property owners, developers, tenants, overlapping taxing bodies, and others necessary or incidental to the implementation and furtherance of its redevelopment plan and project. Furthermore, the City of Kewanee may incur project redevelopment costs and reimburse developers who incur redevelopment project costs authorized by a redevelopment agreement; provided, however, that on and after the effective date of the amendatory Act of the 91st General Assembly, no municipality shall incur redevelopment project costs (except for planning costs and any other eligible costs authorized by municipal ordinance or resolution that are subsequently included in the redevelopment plan for the area and are incurred by the municipality after the ordinance or resolution is adopted) that are not consistent with the program for accomplishing the objectives of the redevelopment plan as included in that plan and approved by the municipality until the municipality has amended the redevelopment plan as provided elsewhere in the Act.

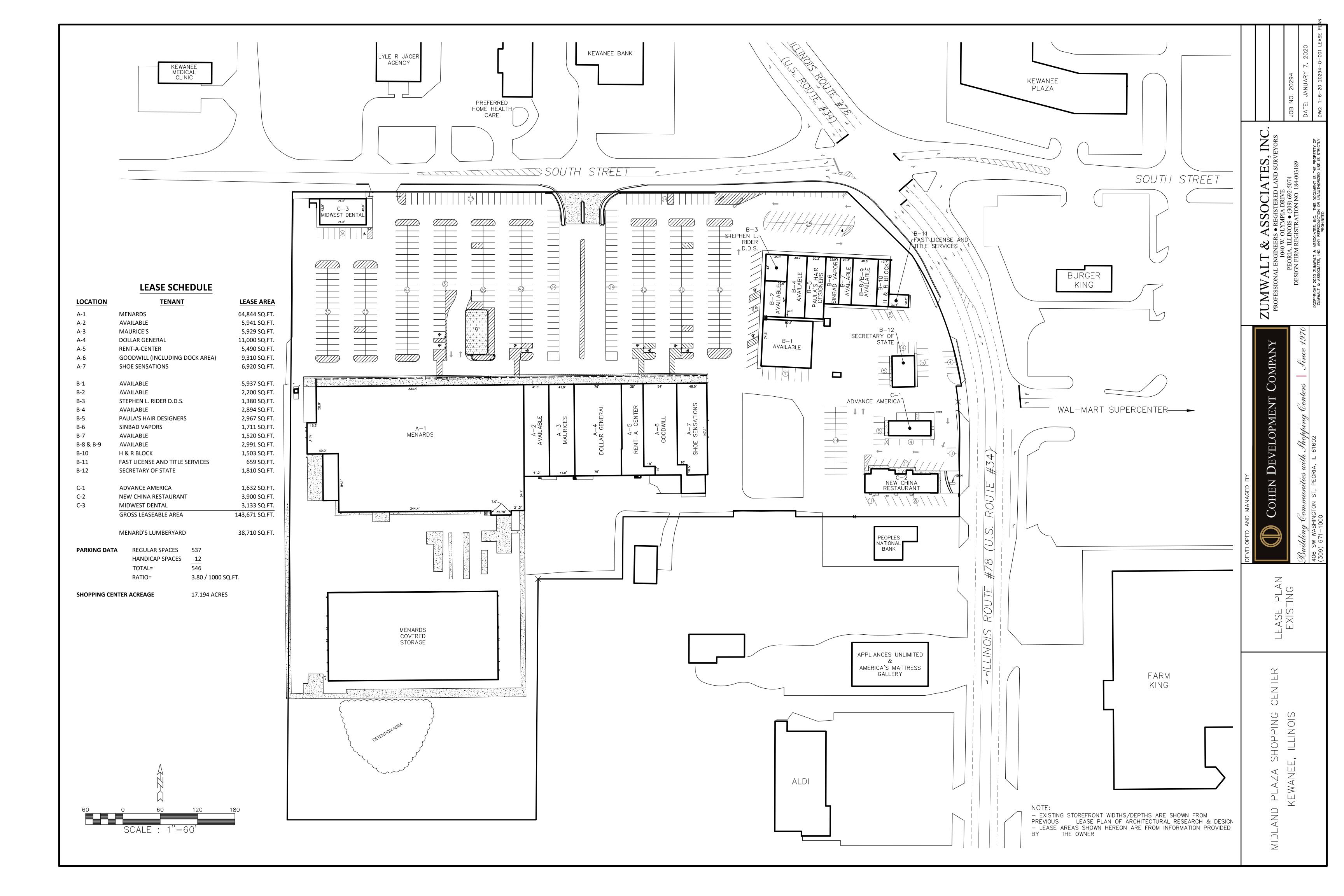
City's TIF Attorneys and/or Consultants

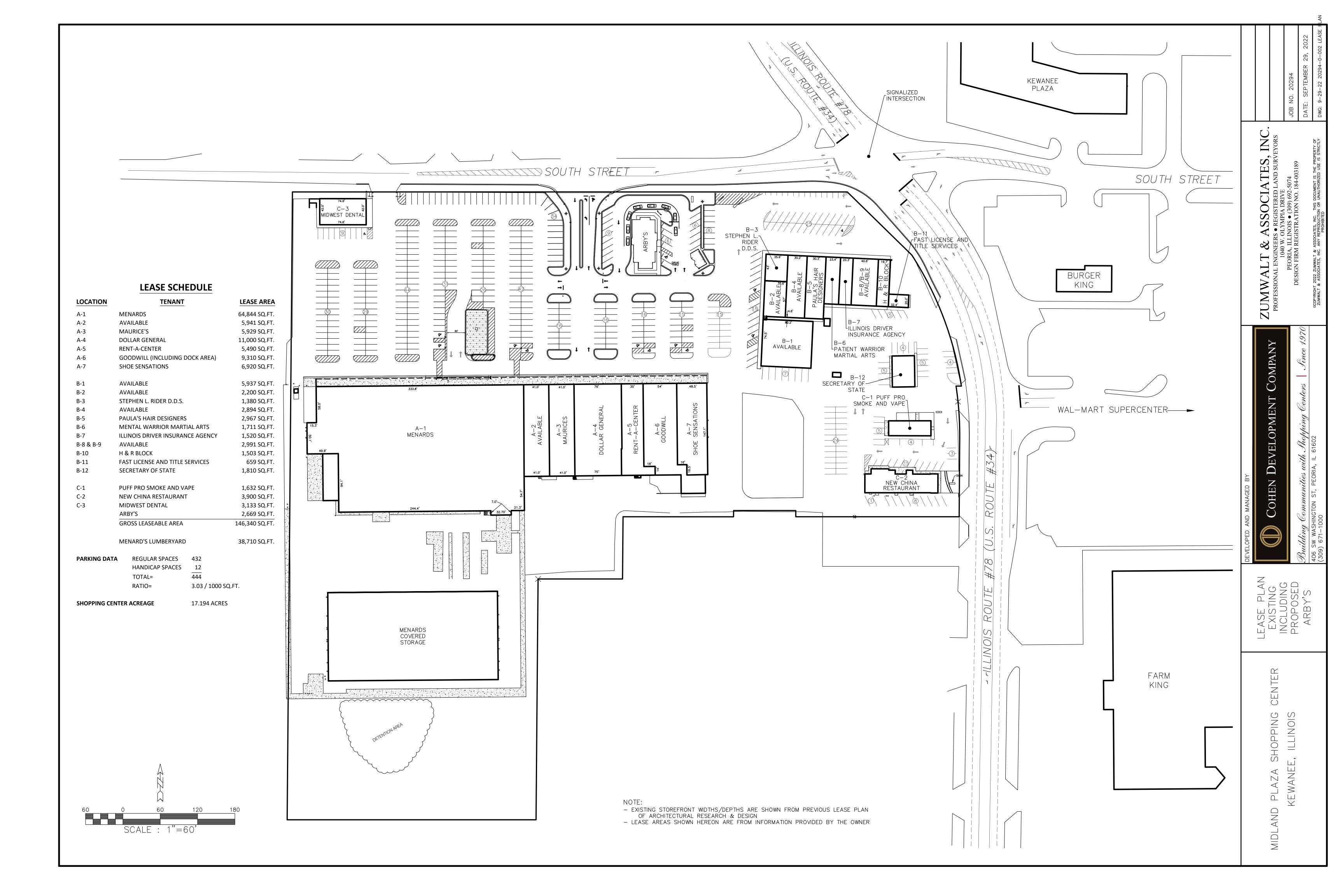
The City's TIF Attorneys and/or Consultants will rely on information and assumptions contained in the foregoing material to prepare financial projections relating to this project and the potential benefits of tax increment financing. They will not undertake an independent investigation to verify any of the information or material contained herein. No warranty, express or implied, as to the accuracy of the materials and information contained herein or the results projected in any presentation is made by the City's TIF Consultants or Attorneys, its officers or employers. The City's TIF Consultants and Attorneys specifically disclaim the accuracy of the formulas and calculations used to project potential TIF benefits and have no obligation to investigate or update, recalculate or revise the calculations. The material presented to the TIF Consultants and Attorneys, based on information provided herein, is subject to risks, trends, and uncertainties that could cause actual events to differ materially from those presented. Those persons providing information contained in this Application for Reimbursement of TIF Eligible Project Costs have represented to the City's TIF Consultants and Attorneys that, as of the date it was provided, the information was accurate to the best of their knowledge. Any person viewing, reviewing or utilizing the financial projections or other presentations based on the information contained in this Application should do so subject to all of the foregoing limitations and shall conduct independent investigation to verify assumptions and calculations presented by the City's TIF Consultants and Attorneys. By acceptance and use of any presentation created from the information contained herein, the user accepts all of the foregoing limitations and releases the City's TIF Consultants and Attorneys from any liability in connection therewith.

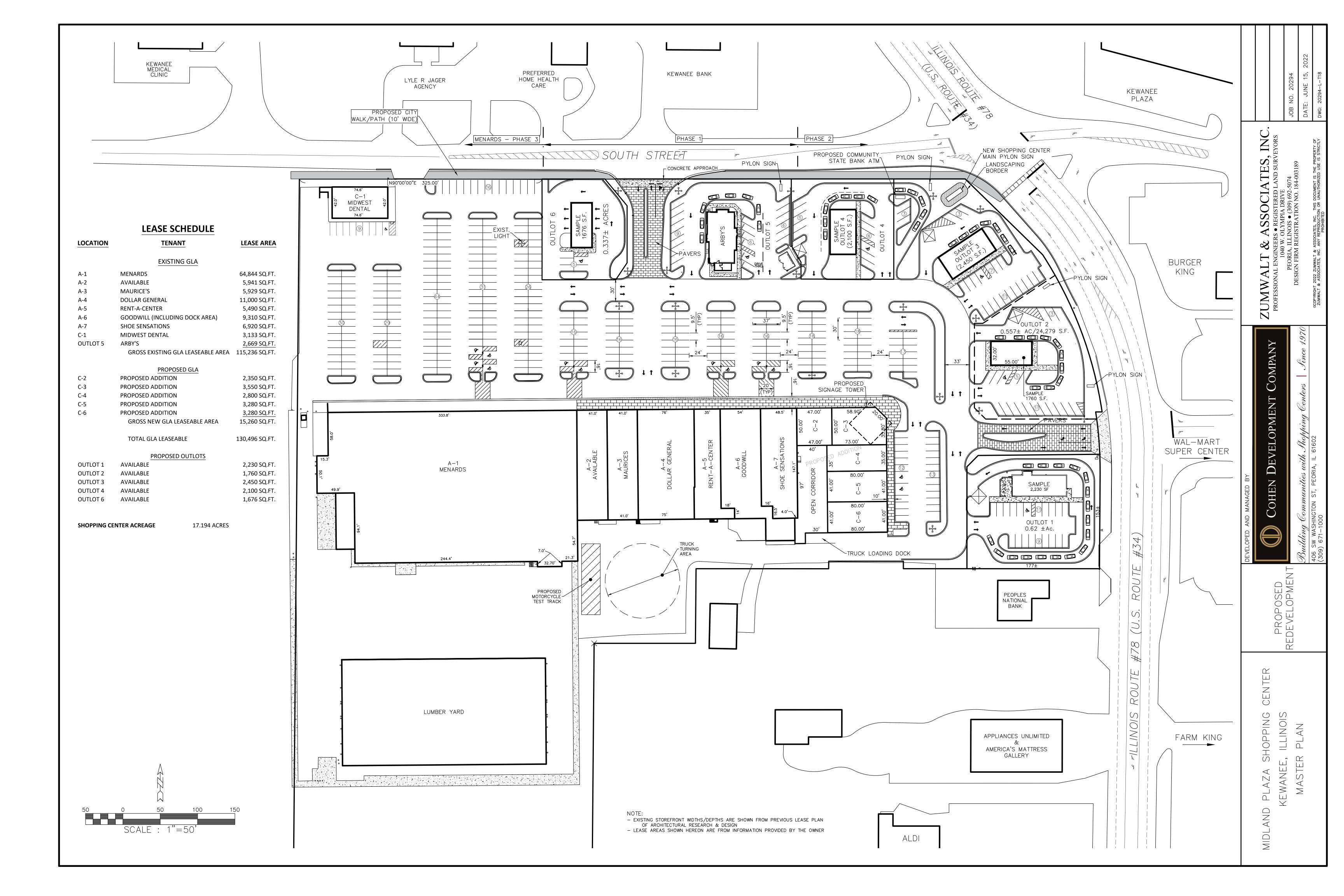
Private Developer

The Private Developer hereby asserts that this redevelopment project would not be completed without the use of tax increment financing.

The undersigned further certifies	and warrants that to the best of	his/her knowledge the information	
contained in the Application for I	Reimbursement of Private TIF I	Eligible Redevelopment Project Costs is	true,
correct and complete.			
78, C	_ husean B	Cho. 12-7-2022	٢
Private Developer	Title	Date	
Office Use Only:	555.00		
Date received:	By		









Midland Plaza Shopping Center Proposed Redevelopment -- Master Plan

Draft: December, 2021



* Rand McNally's 2013 Best of the Road Contest



Building Communities with Shopping Centers | Since 197









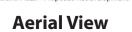




Midland Plaza Shopping Center Proposed Redevelopment -- Aerial Views

Draft: December, 2021









Satellite View -- Line-of-Sight Corridors

Drone View















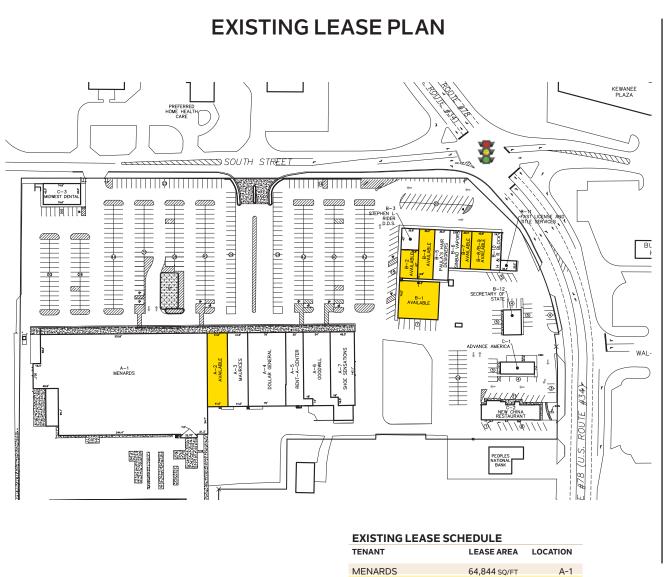




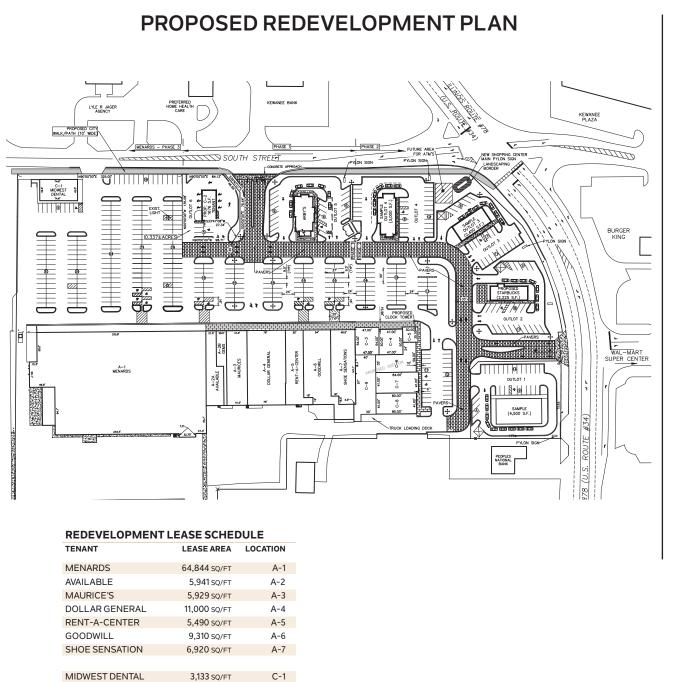
BEFORE

AFTER





EXISTING LEASE SCHEDULE					
	TENANT	LEASE AREA	LOCATION		
	MENARDS	64,844 SQ/FT	A-1		
	AVAILABLE	5,941 sq/ft	A-2		
	MAURICE'S	5,929 SQ/FT	A-3		
	DOLLAR GENERAL	11,000 SQ/FT	A-4		
	RENT-A-CENTER	5,490 sq/fT	A-5		
	GOODWILL	9,310 SQ/FT	A-6		
	SHOE SENSATION	6,920 sq/ft	A-7		
	AVAILABLE	5,937 SQ/FT	B-1		
	AVAILABLE	2,200 SQ/FT	B-2		
	STEPHEN L. RIDER D.D.S.	1,380sq/ft	B-3		
	AVAILABLE	2,894 SQ/FT	B-4		
	PAULA'S HAIR DESIGNERS	2,967 sq/ft	B-5		
	SINBAD VAPORS	1,711 sq/ft	B-6		
	AVAILABLE	1,520 SQ/FT	B-7		
	AVAILABLE	2,991 sq/ft	B-7 & B-9		
	H&R BLOCK	1,503 SQ/FT	B-10		
	FAST LICENSE & TITLE	659 sq/ft	B-11		
	IL SECRETARY OF STATE	1,810 SQ/FT	B-12		
	ADVANCE AMERICA	1,632 SQ/FT	C-1		
	NEW CHINA RESTAURANT	3,900 SQ/FT	C-2		
	MIDWEST DENTAL	3.133 SO/FT	C-3		



C-1

4,250 SQ/FT OUTLOT 1

2,450 SQ/FT OUTLOT 3

3,000 SQ/FT OUTLOT 4

2,883 SQ/FT OUTLOT 5

MIDWEST DENTAL

C-2

AVAILABLE

AVAILABLE AVAILABLE

ARBY'S

PROPOSED ADDITION 20,000 SQ/FT

PROPOSED STARBUCKS 2,225 SQ/FT OUTLOT 2



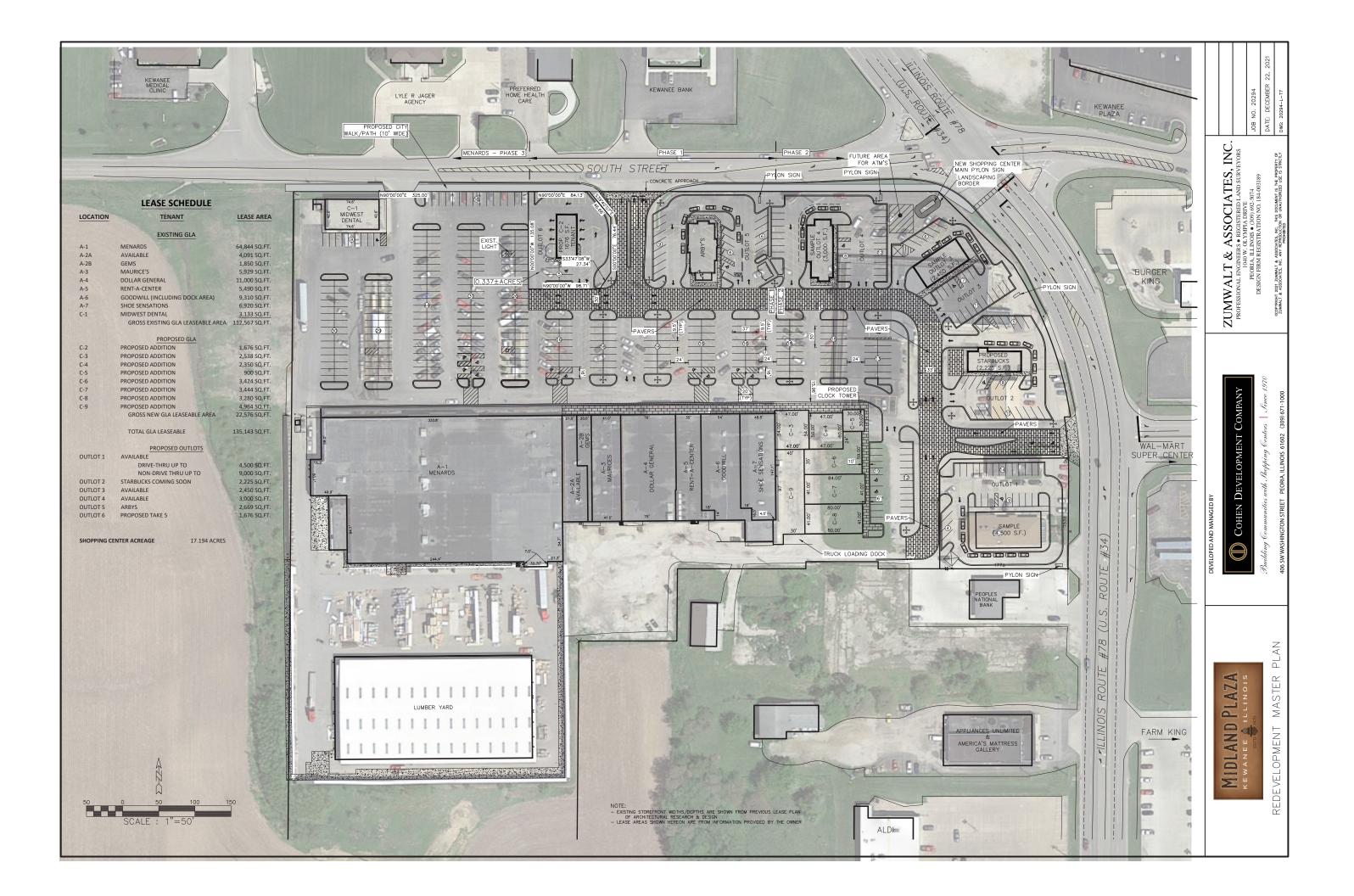




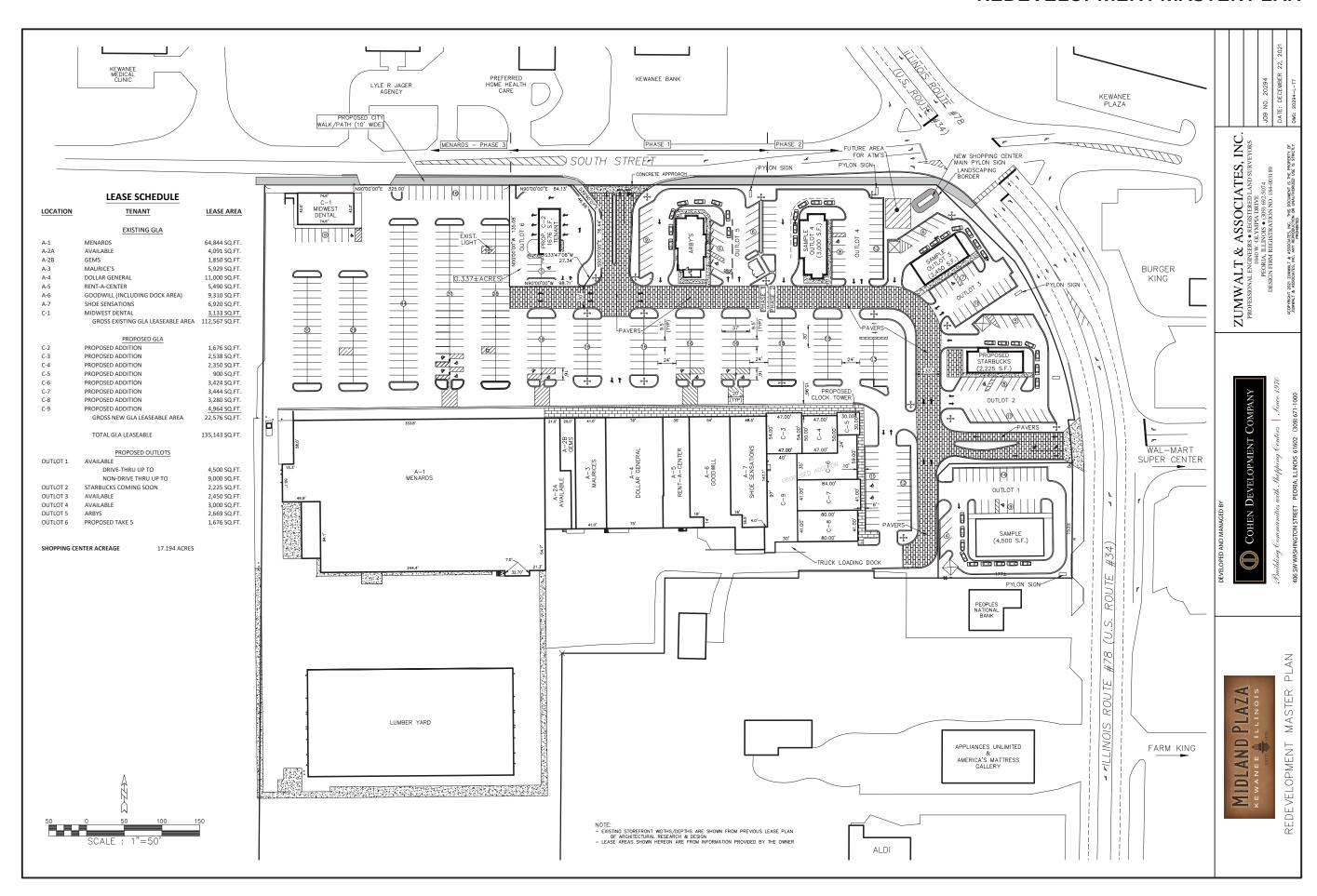








REDEVELOPMENT MASTER PLAN

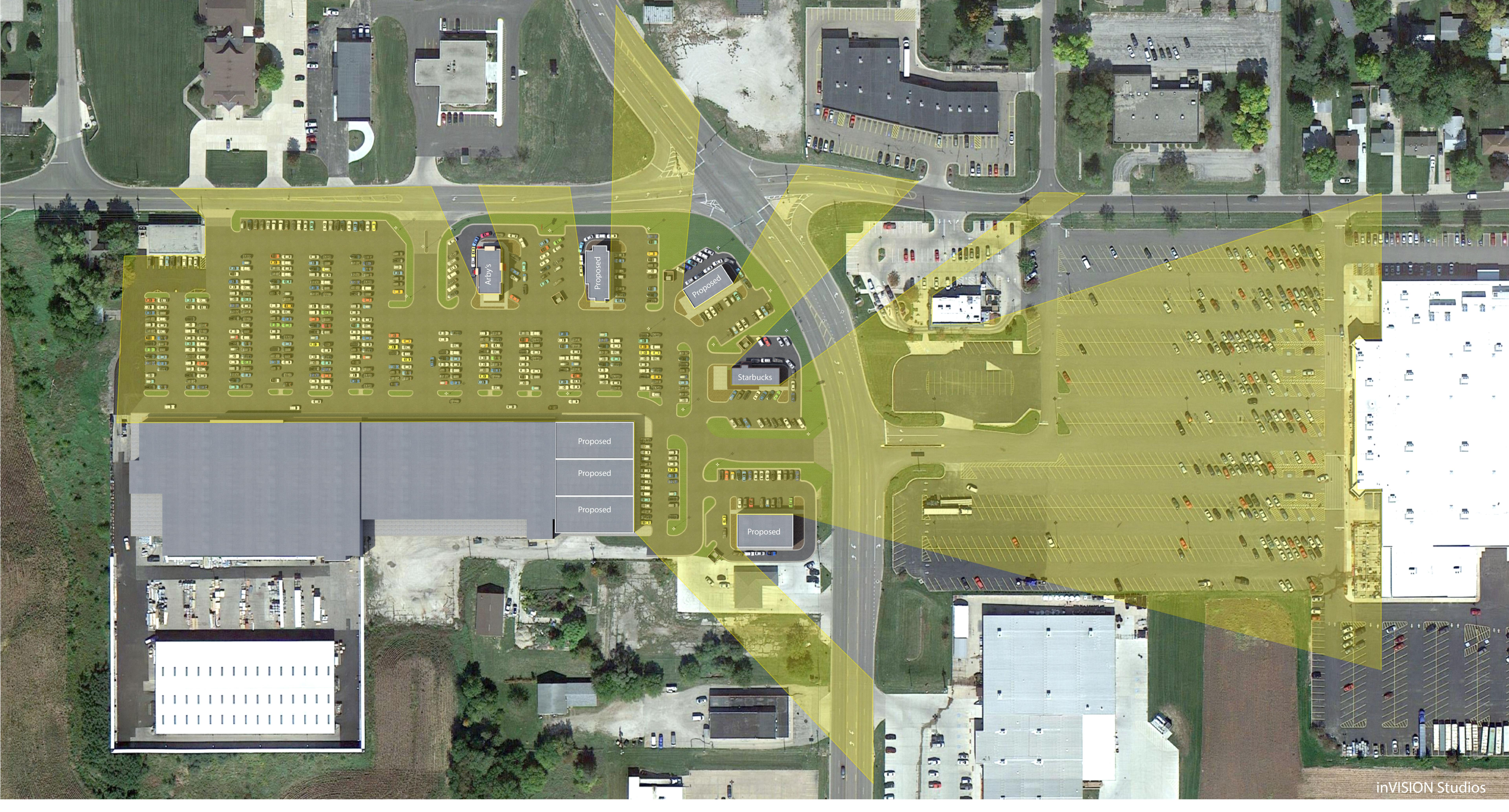












© Cohen Development, Draft 11-18-2020

Midland Plaza - Proposed Outlot Redevelopment



Midland Plaza Shopping Center Proposed Development for Arby's

Proposed Draft December, 2020











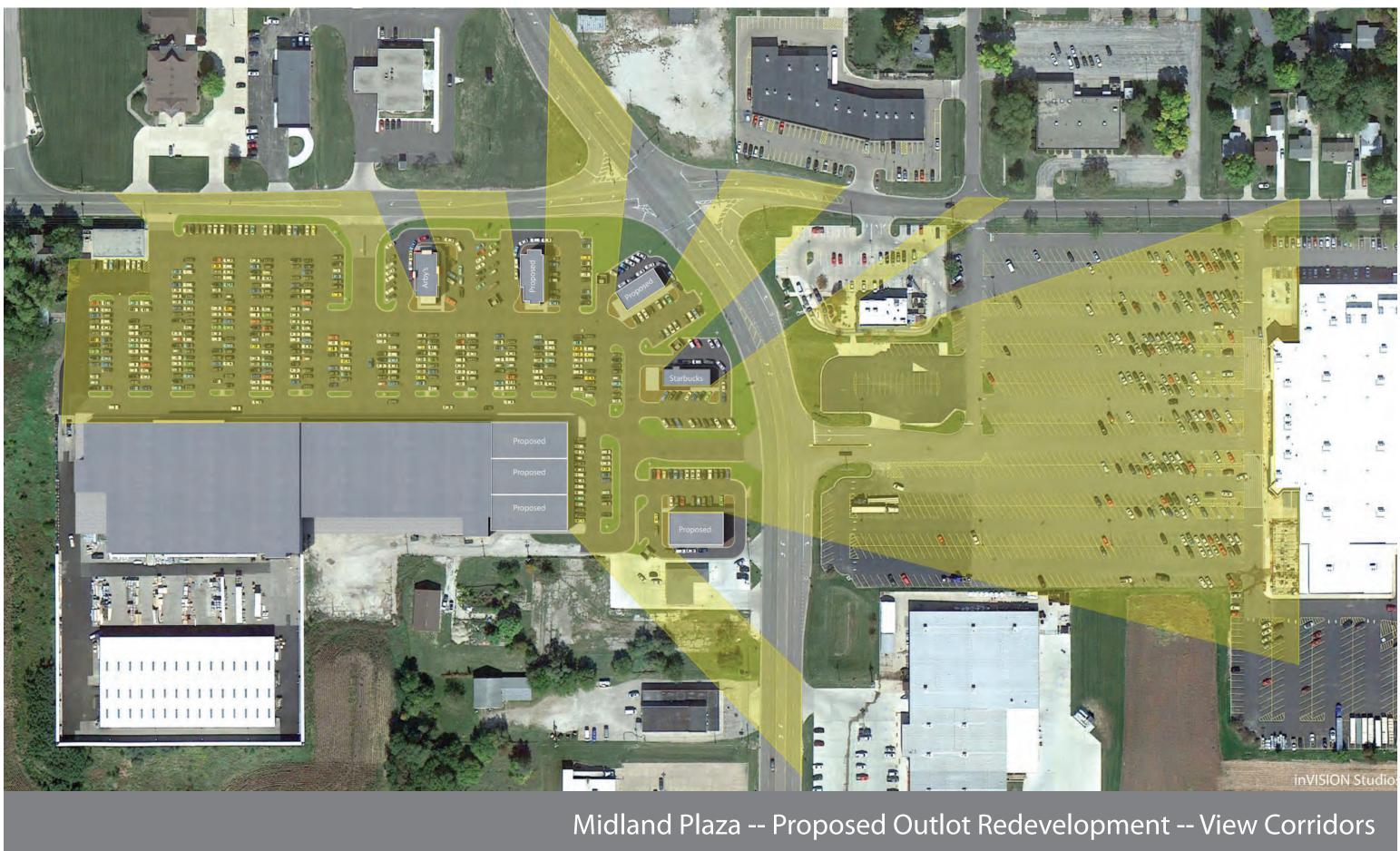




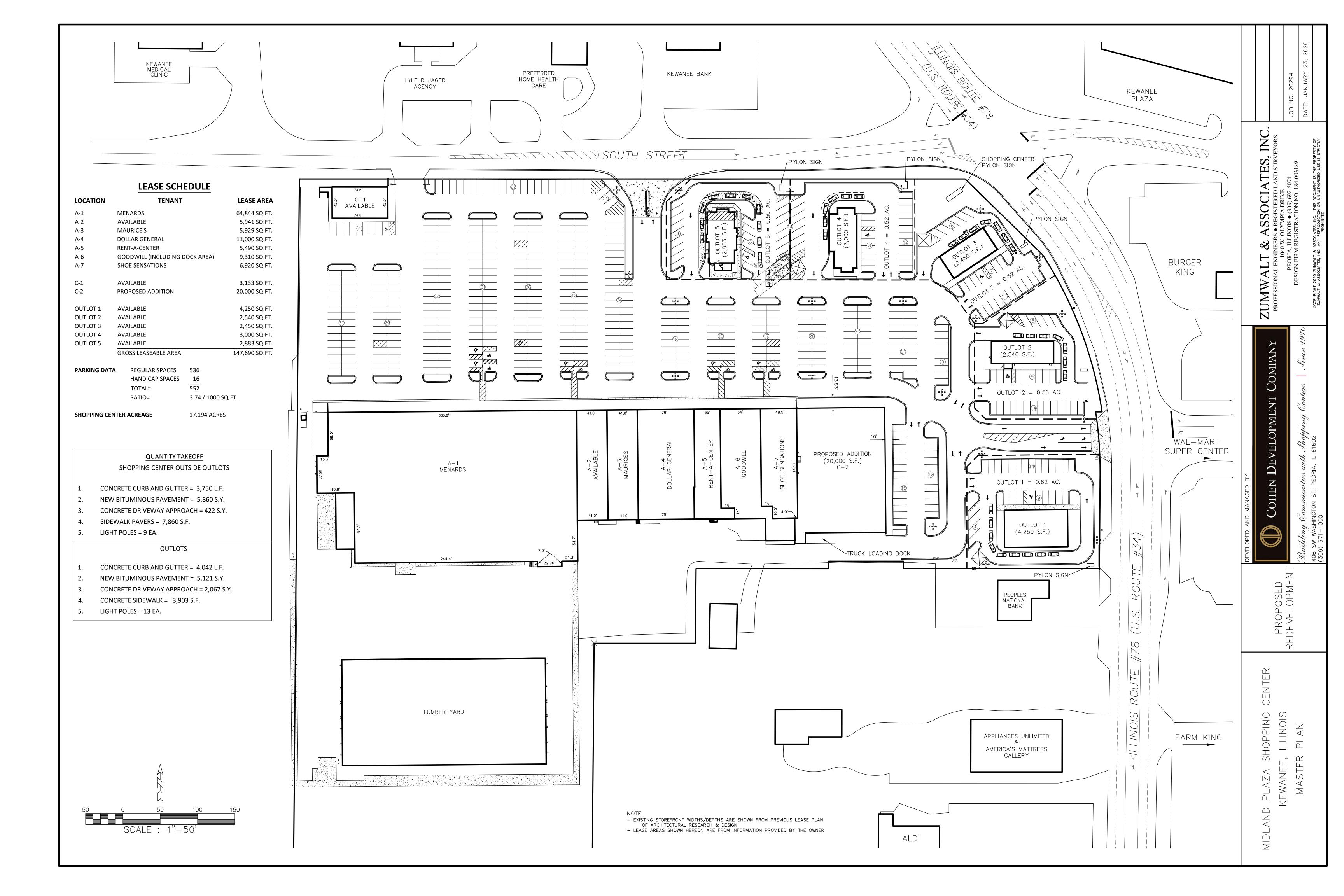






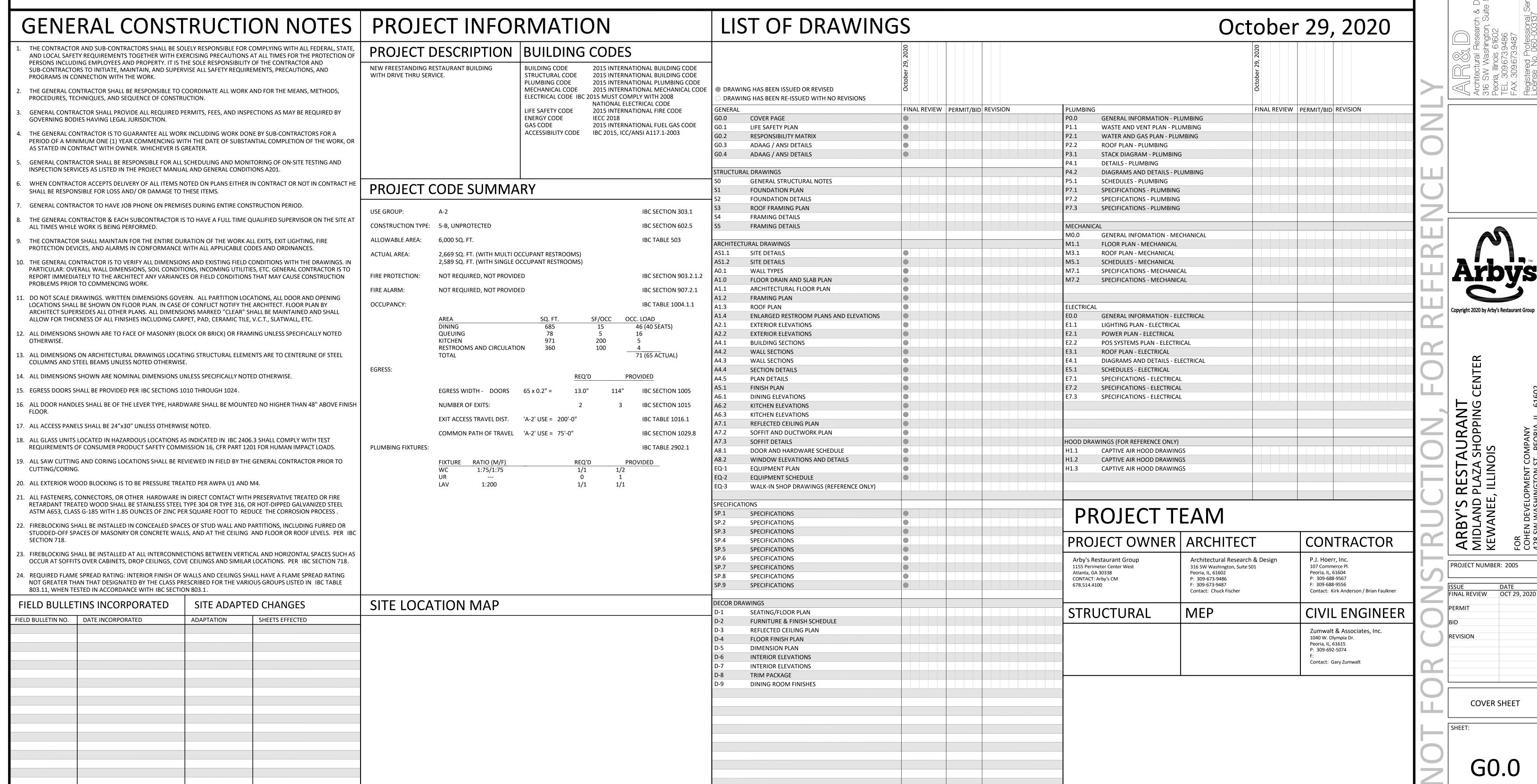




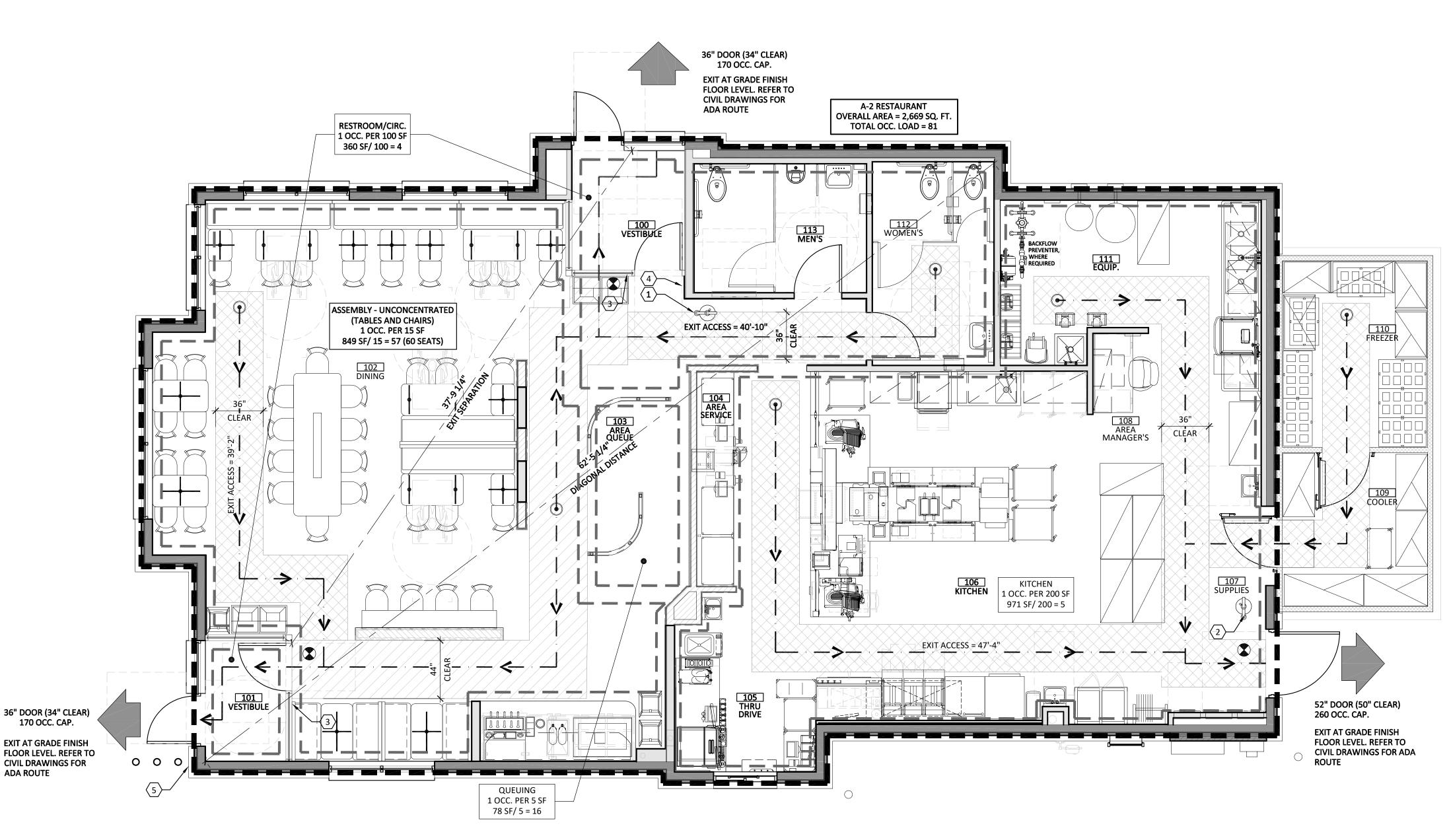


ARBY'S RESTAURANT

MIDLAND PLAZA SHOPPING CENTER KEWANEE, ILLINOIS



FINAL REVIEW OCT 29, 2020





LIFE SAFETY PLAN LEGEND						
SYMBOL	TYPE					
	EXIT ACCESS TRAVEL DISTANCE					
OCCUPANT PER EXIT	EXIT					
	MOST REMOTE POINT					
	EXIT SIGNAGE					
	EMERGENCY LIGHT					
	FIRE EXTINGUISHER					
	BUILDING AREA					
	GROSS / NET FLOOR AREA					
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	36" EXIT ACCESS					
	44" EXIT ACCESS					

CODED NOTES **(X)**

- SURFACE MOUNTED TYPE ABC FIRE EXTINGUISHER PROVIDED BY KES, MOUNT @ 44" AFF, COORDINATE FINAL LOCATIONS AND QUANTITY WITH FIRE MARSHAL
- 2. TYPE K FIRE EXTINGUISHER PROVIDED BY KES, COORDINATE FINAL LOCATIONS AND QUANTITY WITH FIRE MARSHALL. LOCATE WITHIN 30'-0" OF HOOD.
- 3. PROVIDE TACTILE EXIT SIGN. REFER TO ACCESSIBILITY SHEETS.
- 1. POST SIGNAGE LISTING THE ASSEMBLY OCCUPANT LOAD IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT DOOR FROM THE SPACE
- 5. POST THE BUILDING ADDRESS WITH A MINIMUM OF 4" NUMBERS ON A CONTRASTING BACKGROUND THAT IS VISIBLE FROM THE STREET. FIELD VERIFY REQUIREMENTS WITH LOCAL FIRE DEPARTMENT PRIOR TO START OF CONSTRUCTION.

GENERAL NOTES

- 44 INCHES REQUIRED EGRESS CORRIDOR WIDTH FOR OCCUPANCIES OF 50 AND OVER. 42 INCHES REQUIRED EGRESS AISLE WIDTH FOR OCCUPANCIES OF 50 AND OVER. 36 INCHES REQUIRED EGRESS WIDTH FOR OCCUPANCIES UNDER 50. IBC SECTION 1029.9.1.
- NO DEAD END CORRIDORS OVER 20'-0" IN LENGTH. IBC SECTION 1020.4
- MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE TO AN EXIT IS 75'-0" MEASURED AT THE MOST REMOTE POINT ALONG THE NATURAL AND UNOBSTRUCTED PATH OF HORIZONTAL AND VERTICAL TRAVEL TO THE EXIT. IBC TABLE 1006.2.1. THE COMMON PATH OF TRAVEL DISTANCE MUST BE LESS THAN 20 FEET WHERE THE PATH OF TRAVEL SERVES 50 OR MORE OCCUPANTS PER NFPA 101.
- DISTANCE BETWEEN TWO POINTS OF EGRESS (MEASURED IN A STRAIGHT LINE BETWEEN THE TWO) SHALL NOT BE LESS THAN 1/2 DIAGONAL DISTANCE OF THE SPACE BEING SERVED BY EGRESS PATH. IBC SECTION 1007.1.1.
- MAXIMUM EXIT ACCESS TRAVEL DISTANCE 200'-0" WITHOUT SPRINKLER. IBC TABLE 1017.2. MINIMUM DISTANCE BETWEEN SEATS IS 12 INCHES FOR A DISTANCE OF 12'-0" WITH AN
- 12'-0". IBC SECTION 1029.12.1.1. EGRESS ALONG SEATING IS MEASURED 19 INCHES FROM EDGE OF TABLE WHERE MOVEABLE

ADDITIONAL 1/2" WIDTH FOR EACH 1'-0" OR FRACTION THEREOF BEYOND THE ORIGINAL

- CHAIRS ARE USED, OR FROM THE EDGE OF A FIXED SEAT.
- LANDINGS SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL NOT LESS THAN
- SPACE BETWEEN TWO DOORS IN A SERIES SHALL BE 48 INCHES MIN PLUS WIDTH OF A DOOR SWINGING INTO THE SPACE. IBC SECTION 1010.1.8.
- DOORS, WHEN FULLY OPENED, SHALL NOT REDUCE THE REQUIRED MEANS OF EGRESS WIDTH BY MORE THAN 7 INCHES. DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN ONE HALF. IBC SECTION 1005.7.1.
- PROVIDE FIRE EXTINGUISHERS AS REQUIRED PER APPLICABLE CODES AND COORDINATE EXACT QUANTITY AND LOCATION WITH FIRE MARSHAL.

- L. PER IFC, THE MINIMUM FIRE EXTINGUISHER REQUIREMENT IS A 2A10BC EXTINGUISHER WITHIN 75'-0" OF TRAVEL DISTANCE OF ALL AREAS AND A MINIMUM RATED CLASS "K" FIRE EXTINGUISHER WITHIN 30'-0" OF COMMERCIAL COOKING EQUIPMENT.
- M. PROVIDE AND INSTALL OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE & LOCAL CODES. N. ALL LIGHT SWITCHES, THERMOSTATS, SECURITY ALARMS, ELECTRICAL OUTLETS, ETC. MUST BE
- MOUNTED TO MEET ALL GOVERNING ACCESSIBILITY REQUIREMENTS FOR FLOOR & HEIGHT CLEARANCES AND ONE HAND GRASPING OPERATION.
- O. ALL MEANS OF EGRESS DOOR OPENING HARDWARE SHALL BE OPERATED BY A SINGLE HAND WITHOUT MEANS OF TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST TO OPERATE. ALL DOORS EQUIPPED WITH PANIC HARDWARE MUST MAINTAIN A 32" CLEAR WIDTH. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED:
- O.B. 5.0 L.B.F. (22.2N) FOR INTERIOR DOORS

O.A. 8.5 L.B.F. (37.7N) FOR EXTERIOR DOORS

P. NFPA INSPECTION TAGS SHALL BE ATTACHED TO ALL FIRE EXTINGUISHERS.

RESTAURANT
PLAZA SHOPPING (E., ILLINOIS

PROJECT NUMBER: 2005

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FINAL REVIEW OCT 29, 2020 REVISION

LIFE SAFETY PLAN

SHEET:

G0.1

	Arby's Restaurant Group Responsibilities Schedule								
Key	Key notes:								
O/F:	F: OWNER FURNISH (also includes work by owner's vendors)								
O/I:	I: OWNER INSTALL (also includes work by owner's vendors)								
C/F:	/F: CONTRACTOR FURNISHED (includes contractor or subcontractors under his direction)								
C/I:	C/I: CONTRACTOR INSTALLED (includes contractor or subcontractors under his direction)								
S:	: REQUIRES SUBMITTAL or SHOP DWG'S								
CAT	CATEGORY / TASK O/F O/I C/F C/I S COMMENTS/REMARKS								

1000 GENERAL Builders Risk - Property Insurance Performance and payment bond Construction facilities - temporary facilities Temporary power and water Progress and final clean up Testing Survey, initial As built survey Construction staking Temporary office trailer for operations Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS Structural elements	X X	x	x x x x x x x x	x x x x		Coordinate with Owner Coordinate with Owner Electrician & Plumber GC to coordinate inspections
Builders Risk - Property Insurance Performance and payment bond Construction facilities - temporary facilities Temporary power and water Progress and final clean up Testing Survey, initial As built survey Construction staking Temporary office trailer for operations Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS	x	X	x x x	x x x		Coordinate with Owner Electrician & Plumber
Performance and payment bond Construction facilities - temporary facilities Temporary power and water Progress and final clean up Testing Survey, initial As built survey Construction staking Temporary office trailer for operations Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS	x	X	x x x	x x x		Coordinate with Owner Electrician & Plumber
Construction facilities - temporary facilities Temporary power and water Progress and final clean up Testing Survey, initial As built survey Construction staking Temporary office trailer for operations Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS	x	x	x x x	x x x		Electrician & Plumber
Temporary power and water Progress and final clean up Testing Survey, initial As built survey Construction staking Temporary office trailer for operations Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS	x	x	x x x	x x x		
Progress and final clean up Testing Survey, initial As built survey Construction staking Temporary office trailer for operations Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS	x	X	x x x x	X X		
Testing Survey, initial As built survey Construction staking Temporary office trailer for operations Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS	х	X	x x x	x		GC to coordinate inspections
Survey, initial As built survey Construction staking Temporary office trailer for operations Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS	х	X	x x	X		GC to coordinate inspections
As built survey Construction staking Temporary office trailer for operations Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS	х	X	x			
Construction staking Temporary office trailer for operations Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS		X	x			
Temporary office trailer for operations Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS	x	x	x			
Landscaping All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS	X	X	x	^		45 days prior to turnover
All site work including paving, utilities, storm, etc. 2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS						is days prior to tarrieve.
2000 DEMO 3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS				х		
3000 CONCRETE Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS				X		
Concrete at drive thru 3000 MASONRY 5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS			х	X		
5000 METALS Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS			X	X		
Structural elements Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS			х	х		
Dumpster gates, bollards, mis. Handrails 6000 WOOD AND PLASTICS						
6000 WOOD AND PLASTICS			х	х		
			х	х		
Structural elements						
			х	х	S	Truss drawings require approval by architect
6201 FINISH CARPENTRY						
Running trim and moldings	X			х		
Cabinets, countertops, etc.	X			x		Managers office, kitchen
Corian countertops	X	Х				Beverage station and sales counter
Decor, wall mounted pictures	X			Х		
FRP wall panels			X	X		
Corian window sills	X			Х		
7000 THERMAL AND MOISTURE PROTECTION						
Roofing			X	X		
Insulation Composite Wall Panels (Cement Fiber Panels)			X	X		
Sheet Metal			X	X		
Caulking & Sealants			X	X		Professional caulking subcontractor required
8210 WOOD DOORS			X	X		
8410 STOREFRONT SYSTEM			X	X		
Drive thru window	x			X		
8700 FINISH HARDWARE			х	х		
9000 FINISHES						
Floor tile			х	х		Use Arby's national accounts
Wall tile			х	х		Use Arby's national accounts
Paint			х	х		
All items attached to the ceiling to be painted			х	х		
Acoustical ceilings			х	х		Use Arby's national accounts
Wall covering - vinyl and graphic	x	х		x		
10800 TOILET ACCESSORIES						
Soap Dispensers	x					Coordinate with Owner
Hand Towel Dispensers	X			X		
Tissue Holders			X	X		
Napkin Holders			X	х		
Grab Bars			X	х		
Toilet partitions			X	х		
Restroom mirrors			X	X		
Baby changing stations	X			х		
10900 SPECIALTIES						
Safe Drive thru capany	X	X				
Drive thru canopy	X	Х				
Drive thru menu board	X			X		
Interior menu board Exterior red metal hand	X	v		Х		Electrician to provide power connections
Exterior red metal band Point of sale: conduits & pull strings	X	Х	v	v		Electrician to provide power connections
Cabling	•	v	X	х		
Final install	X	X				
Final Install Entertainment:	X	٨				
Speakers	X	х				
Signage: Interior	X	^		х		
Signage: Exterior	X	х		^		Electrician to provide power connections
CO2 equipment	X	X				2.1. 2 22 p. 0.1.00 po mer dominedations
Fire extinguishers	X	X		х		
Grease holding tank	X	х		^		
11000 EQUIPMENT	^	^				
Walk in coolers	x	х		x		Plumber & Electrician to provide utility connections. Go
	^	^		^		to anchor to slab & flash roof to building
Kitchen equipment	x	х				Plumber & Electrician to provide utility connections

CATEGORY / TASK	O/F	O/I	C/F	C/I	S	COMMENTS/REMARKS
12000 FURNISHINGS						
Booths and benches	X			X		
Tables (tops and bases)	x			X		
Chairs and stools	х			Х		
High chairs	х			х		
Shelving				^		Install by foodservice contractor
	X	X				install by loodservice contractor
Lockers	Х			X		
Office chairs	X	X				
Office file cabinet	х			Х		GC to install legs on file cabinets and install countertop
15000 MECHANICAL						
Roof top air conditioning units	х			х		Mechanical Sub- receive & install (Typical)
Roof top air conditioning curbs	Х			X		Mechanical Sub- receive & install (Typical)
Roof top make up air units	X			X		Mechanical Sub- receive & install (Typical)
Roof top make up air curbs	х			X		Mechanical Sub- receive & install (Typical)
Roof top exhaust fans	х			Х		Mechanical Sub- receive & install (Typical)
Roof top exhaust fan curbs	X			X		Mechanical Sub- receive & install (Typical)
·				^		
Roof top condensers for cooler	Х	X				Mechanical Sub- receive & install (Typical)
Roof top condensers for beverage dispensers	Х			X		
Kitchen exhaust hoods	X			X		Mechanical Sub- receive & install (Typical)
Kitchen exhaust duct & insulation & fire wrap			х	Х		
Restroom exhaust fan						
	X		_	X		
Air distribution ductwork			Х	X		
Filter replacement prior to turnover			X	X		
Thermostats and Remote Sensors	х			x		
Control wiring			х	х		
Conduit for control wiring			X	Х		
HVAC system start up						
			X	Х		a
Certified air balance/report	X	X				Coordinate with Owner
15000 PLUMBING						
Walk in coolers	х	x				
Walk in refrigeration lines	х	х				
Walk in condensate lines			х	х		
Beverage dispenser ice machine condensers	X			X		
Beverage dispenser ice machine refrigeration lines	X			X		
Three compartment sink	X	x				
Three compartment sink faucets	х			х		
Three compartment sink drain lines			х	Х		
Dishwasher supply line						Plumber to provide rough-in and make final connection
			X	X		
Dishwasher drain line			X	X		Plumber to provide rough-in
Single compartment sink	Х	X				
Single compartment sink faucets	X			X		
Single compartment sink drain lines			х	Х		
Quick disconnects & restraining devices	Х			Х		
Gas equipment regulators (for OF kitchen items)						As required
	X			X		As required
Grilles, registers, & diffusers			X	X		
Gas regulators for roof top equipment			X	X		
Gas regulators for water heater			x	X		
Water filter	х	х				
Mop sink			Х	Х		
<u> </u>			^			
Coffee/tea brewer water supply & shut off valves	X			Х		Plumber to make final connections
Water heaters			X	X		
Floor drains and floor sinks			X	Х		
Grease trap			х	х		
Handsinks	х			Х		
Handsink faucets	X			X		
Restroom lavatories			X	X		
Restroom faucets			х	X		
Backflow preventers/check valves			х	х		As required on all kitchen equipment
Ansul system	х	х				Electrical to provide conduit in wall for pull box
						, 12.12.12.11.11.11.12.12.12.12.1
16000 ELECTRICAL						
Parking lot lights	X			X		
Parking lot light bases			х	X		
Decorative light fixtures	х			х		
All light fixtures	х			х		
Light bulbs for all fixtures			x	X		
Power to roof top air conditioning units						Floatrician
<u>-</u>			X	X		Electrician
Power to make up air units			Х	X		Electrician
Power to exhaust fans			х	х		Electrician
Power to condensing units			х	х		Electrician
Power to hood system			х	х		Electrician
·			X	X		Electrician
Ansul/hood/gas shut down system wiring	_					Electrician
	1		X	X		
Conduit/wiring for fire alarm system			X	X		Electrician
Conduit/wiring for fire alarm system Power for walk in cooler/freezer				i .		let
Conduit/wiring for fire alarm system Power for walk in cooler/freezer			х	Х		Electrician
Conduit/wiring for fire alarm system Power for walk in cooler/freezer Power for all kitchen equipment			x	X		Electrician
Conduit/wiring for fire alarm system Power for walk in cooler/freezer Power for all kitchen equipment Power for water softener			х	х		Electrician
Conduit/wiring for fire alarm system Power for walk in cooler/freezer Power for all kitchen equipment Power for water softener Power for all A/V equipment						
Conduit/wiring for fire alarm system Power for walk in cooler/freezer Power for all kitchen equipment Power for water softener Power for all A/V equipment Wiring for speakers	x	X	x	x		Electrician Electrician
Conduit/wiring for fire alarm system Power for walk in cooler/freezer Power for all kitchen equipment Power for water softener Power for all A/V equipment Wiring for speakers	X	x	х	х		Electrician
Conduit/wiring for fire alarm system Power for walk in cooler/freezer Power for all kitchen equipment Power for water softener Power for all A/V equipment Wiring for speakers Power for ice machine	x	X	x	x		Electrician Electrician
Conduit/wiring for fire alarm system Power for walk in cooler/freezer Power for all kitchen equipment Power for water softener Power for all A/V equipment Wiring for speakers Power for ice machine Power for water heater	x	x	x x	X X		Electrician Electrician Electrician
Conduit/wiring for fire alarm system Power for walk in cooler/freezer Power for all kitchen equipment Power for water softener Power for all A/V equipment Wiring for speakers Power for ice machine Power for water heater Power for drive thru window	x	X	x x x	x x x		Electrician Electrician Electrician
Conduit/wiring for fire alarm system Power for walk in cooler/freezer Power for all kitchen equipment Power for water softener Power for all A/V equipment Wiring for speakers Power for ice machine Power for water heater Power for drive thru window Power for dishwasher		X	x x x x	x x x x x		Electrician Electrician Electrician Electrician
Ansul/hood/gas shut down system wiring Conduit/wiring for fire alarm system Power for walk in cooler/freezer Power for all kitchen equipment Power for water softener Power for all A/V equipment Wiring for speakers Power for ice machine Power for water heater Power for drive thru window Power for dishwasher Electrical Panels Electrical Breakers	X X X	X	x x x x	x x x x		Electrician Electrician Electrician Electrician

х

x

Light Control panel

CATEGORY / TASK	O/F	O/I	C/F	C/I	S	COMMENTS/REMARKS
16000 ELECTRICAL, CONT.						
POS wiring						
POS conduit	X	X		v		
POS junction boxes			X	X		
Telephone wiring		.,	X	X		
Telephone conduit homeruns to phone board	X	X	<u> </u>	.,		
Exterior signage			X	X		
Power for exterior signage	X	X				
			X	X		
Door bell/transformer			X	Х	_	
Panels, breakers & switches			X	X	S	
Any internal step down transformers			X	X	S	
Secondary from transformer			X	X		
Time clocks			X	X		
Photo electric cells			X	X		
Solenoid valves for refrigeration			X	X		
Control wiring for refrigeration			X	X		
Power for irrigation control			X	X		
Temporary power for construction			X	X		
Power to temporary hiring trailer			X	X		
MISCELLANEOUS						
Cleaning chemicals and equipment install	х	X				
Paper products and devices	х	х				
Phone, House	х	х		X		Electrician to run conduit & pull string
Stainless steel corners in Kitchen	х			х		
Bath room signage			Х	Х		
ADA identifying devices			Х	Х		
UTILITIES						Owner to pay all tap and impact fees for utilities
Gas service and meter			Х	X		GC to have utilities in their name until Turnover Date
Water service and meter			х	Х		GC to have utilities in their name until Turnover Date
Sewer			х	X		GC to have utilities in their name until Turnover Date
Transformer			X	X		GC to have utilities in their name until Turnover Date
Electrical service and meter			X	Х		GC to have utilities in their name until Turnover Date
Phone connections			X	X		
			—			

NOTE #1: Unless specified herein not to be provided, installed, and/or finished by General Contractor, the General Contractor or his Subcontractors are to provide install and finish all items in the construction documents and specified in the project manual.

NOTE #2: Where submittals are not required, the exact spec must be used.

NOTE:

G.C. TO CONFIRM WITH OWNER THAT ALL ITEMS WHICH ARE LISTED AS OWNER FURNISHED AND OR INSTALLED ARE ACCURATE, PRIOR TO SUBMISSION OF ANY BIDS.

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Arbys

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KBY S KESTAUKAINI DLAND PLAZA SHOPPING CEN WANEE, ILLINOIS

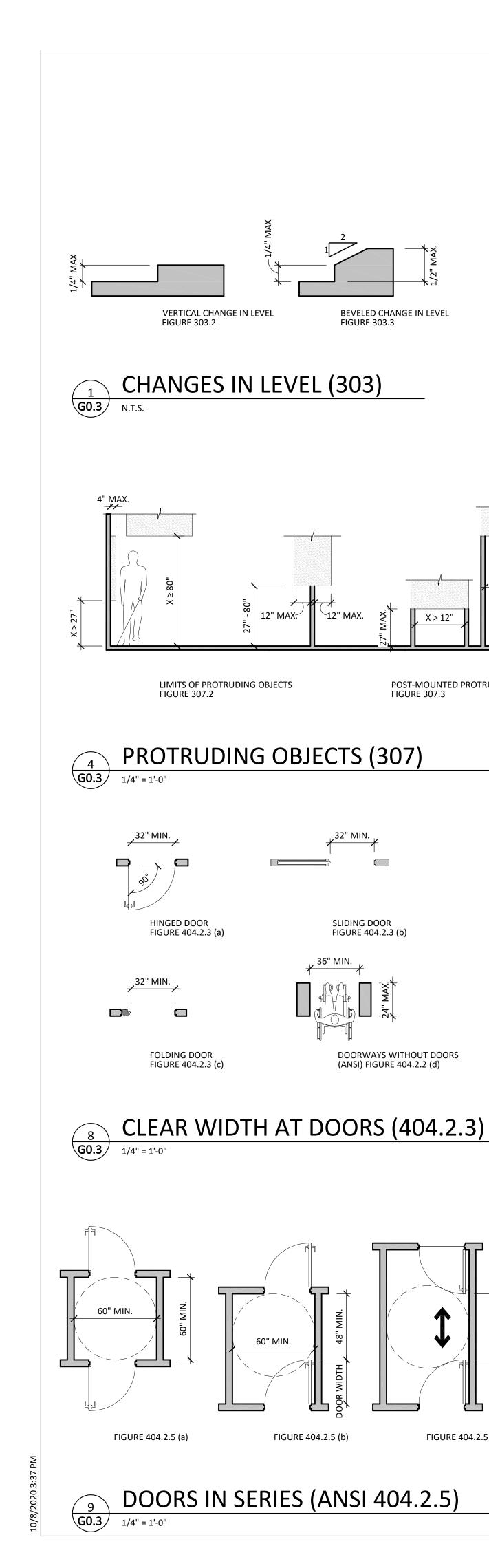
PROJECT NUMBER: 2005

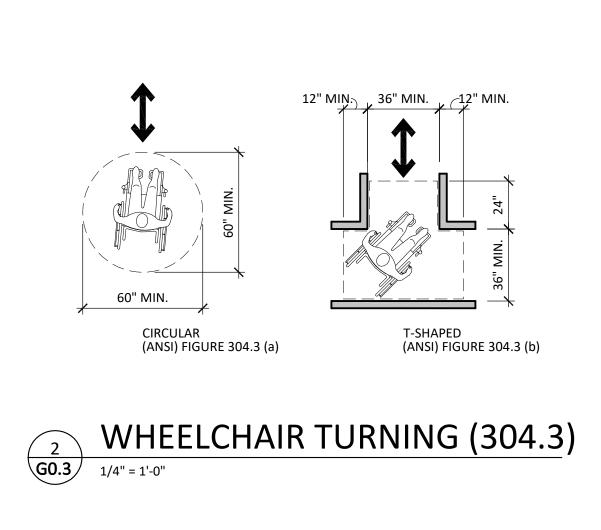
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FINAL REVIEW OCT 29, 2020
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REVISION

RESPONSIBILITY MATRIX

SHEET:

G0.2





FRONT APPROACH, PULL SIDE FIGURE 404.2.4.1 (a)

HINGE APPROACH, PULL SIDE FIGURE 404.2.4.1(d & e)

POCKET / FOLDING DOOR FRONT APPROACH

FIGURE 404.2.4.2 (a)

X = 36" MIN. IF Y = 60"

X = 42" IF Y = 54"

VERTICAL CLEARANCE

RECESSED DOOR

Y = 48" IF DOOR HAS BOTH A CLOSER AND

FIGURE 404.2.4.3 (a)

FRONT APPROACH, PULL SIDE

HINGE APPROACH, PUSH SIDE FIGURE 404.2.4.1 (f & g)

WITHOUT DOOR FRONT APPROACH

FIGURE 404.2.4.2 (a)

BEVELED CHANGE IN LEVEL

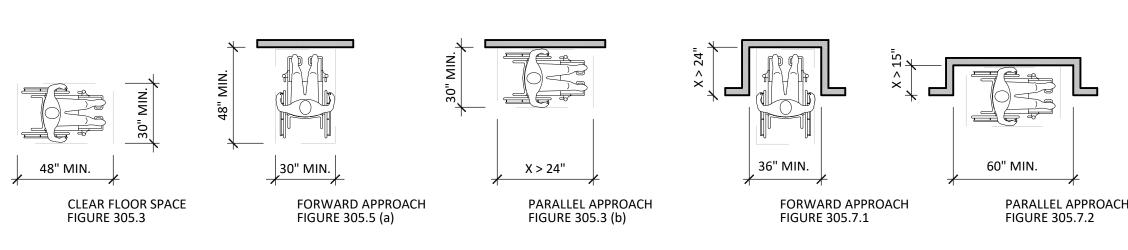
POST-MOUNTED PROTRUDING OBJECTS

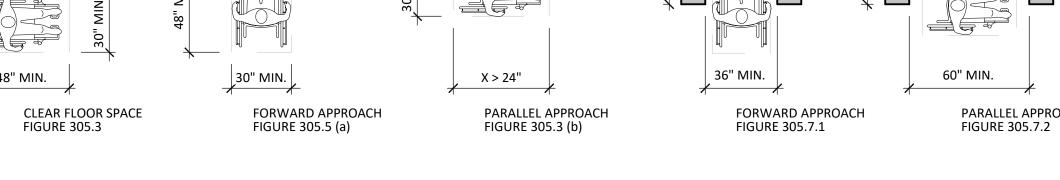
FIGURE 303.3

,32" MIN.

DOORWAYS WITHOUT DOORS (ANSI) FIGURE 404.2.2 (d)

FIGURE 404.2.5 (c)







SIDE REACH (308.3)

RECESSED DOOR

Y = 48" IF DOOR HAS

A CLOSER

X = 22" MIN.

FIGURE 404.2.4.3 (b)

FRONT APPROACH, PUSH SIDE

LATCH APPROACH, PUSH SIDE

FIGURE 404.2.4.1 (j & k)

POCKET / FOLDING DOOR POCKET OR HINGE APPROACH

FIGURE 404.2.4.2 (c)

G0.3

NOTE: X = 12" IF DOOR HAS BOTH A CLOSER AND LATCH

FRONT APPROACH, PUSH SIDE

LATCH APPROACH, PULL SIDE

FIGURE 404.2.4.1 (h & i))

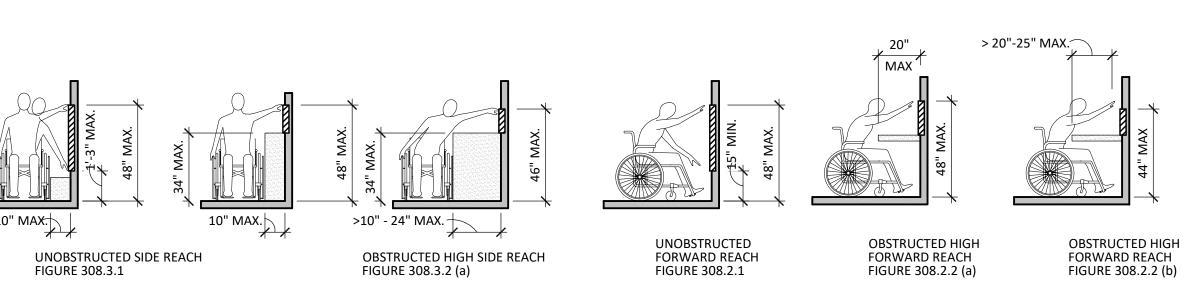
WITHOUT DOOR SIDE APPROACH

FIGURE 404.2.4.2(b)

FIGURE 404.2.4.1 (b)

Y = 54" IF DOOR HAS

A CLOSER



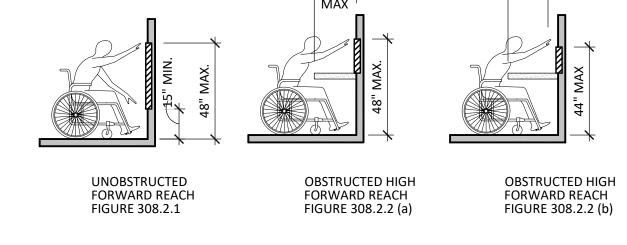
RECESSED DOOR

X = 24" MIN.

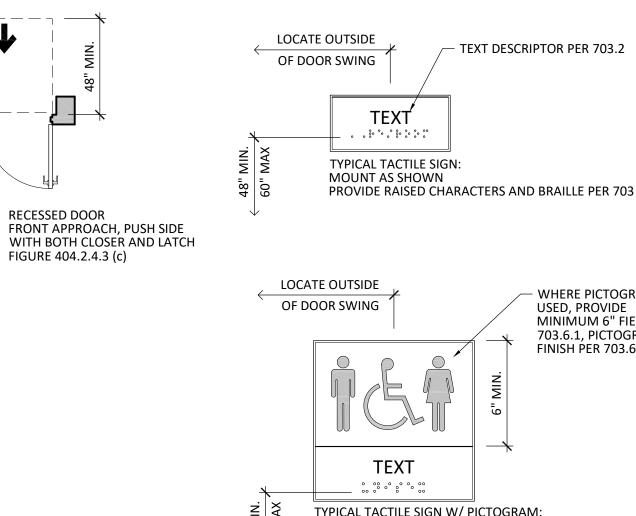
POCKET / FOLDING DOOR STOP OR LATCH APPROACH

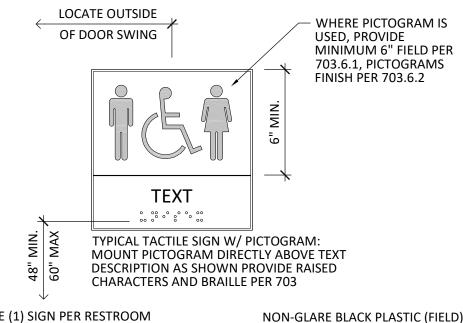
FIGURE 404.2.4.2 (d)

FIGURE 404.2.4.3 (c)









SYMBOL

PROVIDE (1) SIGN PER RESTROOM COMPLYING SECTION 703. SIGN TO HAVE RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL OF ACCESSIBILITY.

INTERNATIONAL SYMBOL OF ACCESS FOR HEARING LOSS INTERNATIONAL TDD FIGURE 703.7.2.2 FIGURE 703.7.2.4

BACKGROUND w/ WHITE RAISED

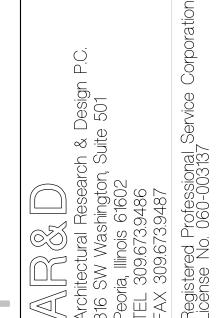
& LETTERING MUST BE RAISED OR

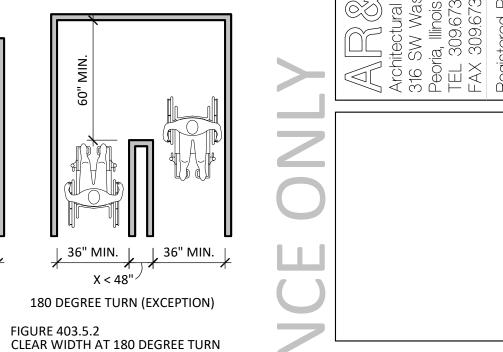
DEPRESSED MIN. 1/32" TYPICAL)

EMBLEMS (NOTE- EMBLEMS

ABOVE FINISH FLOOR

B. THE DETAILS ON SHEETS GO.3 AND GO.4 ARE BASED ON THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. HOWEVER, WHERE ICC A117.1-2009 ANSI REGULATIONS ARE MORE that that display







X < 48"

180 DEGREE TURN

24" MAX 48" MIN.

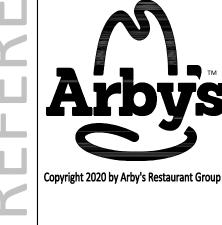
CLEAR WIDTH OF AN ACCESSIBLE ROUTE

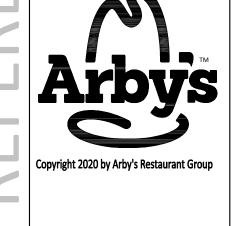
FIGURE 403.5.1

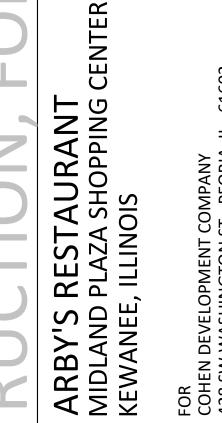
ACCESSIBILITY INFORMATION

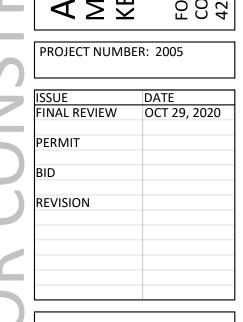
A. THE DETAILS ON SHEETS G.03 AND G0.4 ARE FOR REFERENCE ONLY.

STRICT THEY ARE FOLLOWED AND DESIGNATED AS SUCH.









ADAAG / ANSI DETAILS

FIGURE 703.2.5 **HEIGHT OF RAISED CHARACTERS** - RAISED CHARACTERS SHALL BF UPPERCASE, SANS SERIF, 5/8"-2" TALL, RAISED 1/32" N REFUGE TACTILE-

FIGURE 703.4.1 HEIGHT OF TACTILE CHARACTERS

INSTALLATION HEIGHT AND LOCATIONS (703.4)

MANEUVERING CLEARANCES AT MANUAL DOORS (404.2) 10 G0.3

SIGNS (703)

OF ACCESSIBILITY

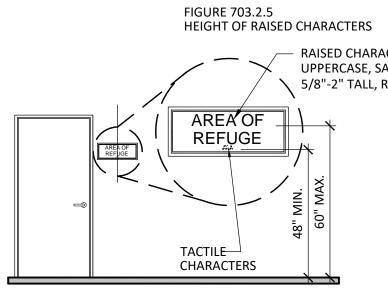
FIGURE 703.7.2.1

INTERNATIONAL SYMBOL

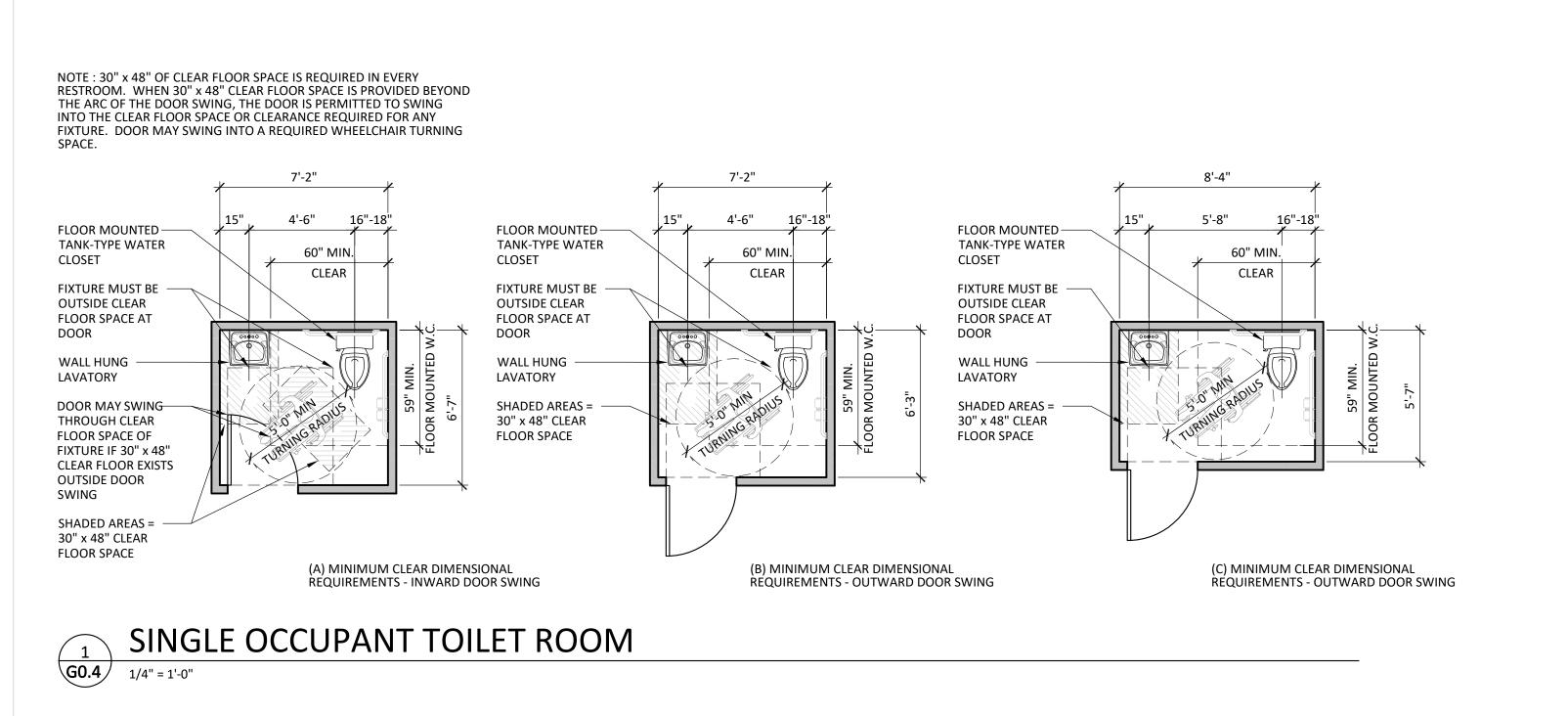
ARC OF DOOR SWING FIGURE 703.4.2 LOCATION OF TACTILE SIGNS AT DOORS

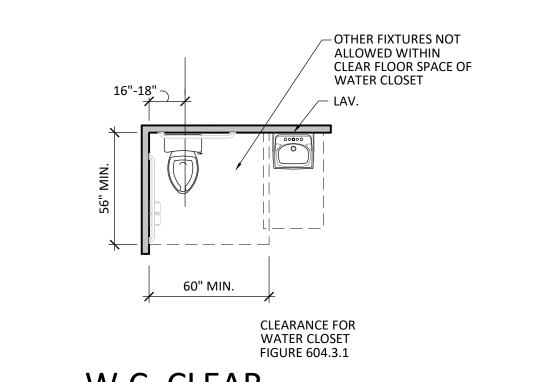
CLEAR FLOOR SPACE,
18" MIN. CENTERED ON TACTILE
CHARACTERS, OUTSIDE

OF DOOR SWING



G0.3



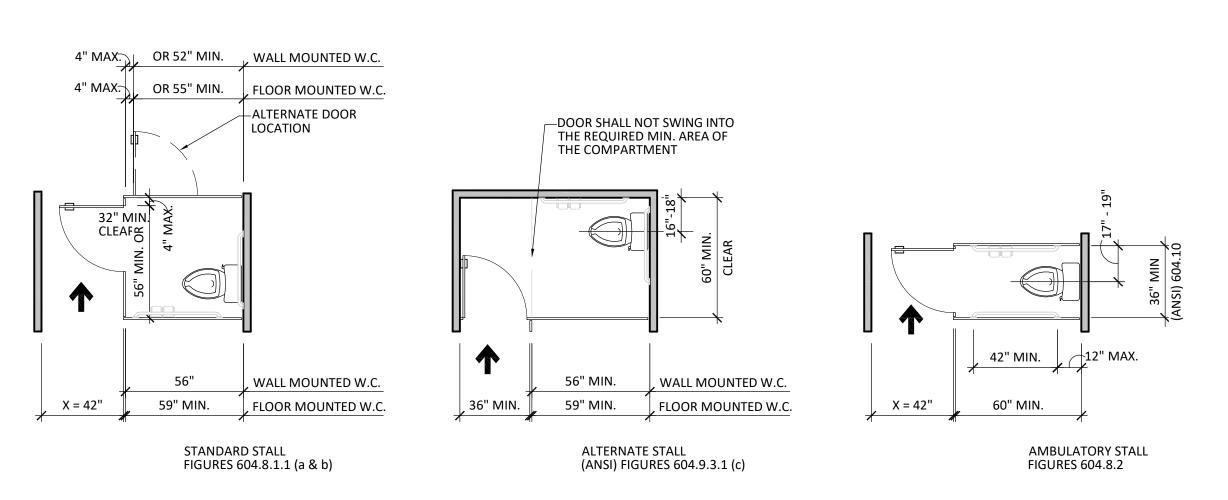




13 1/2" MIN.

WALL HUNG TYPE FIGURE 605.2 (a)

STALL TYPE FIGURE 605.2 (b)





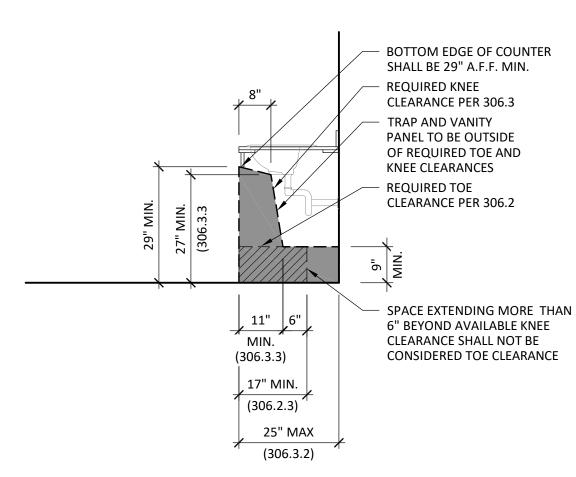
ELEVATION CHILDREN

FIGURE 604.8.1.4 (b)

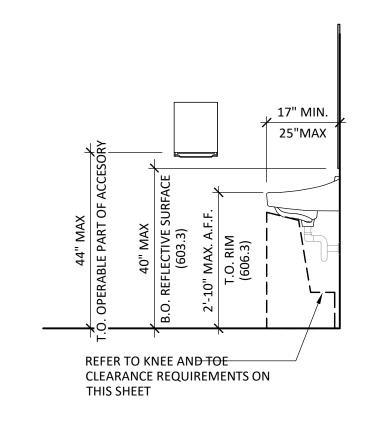
ELEVATION ADULT

6" MIN.

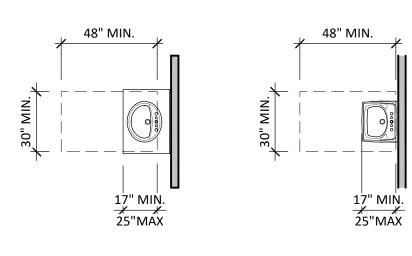
PLAN FIGURE 604.8.1.4 (c)

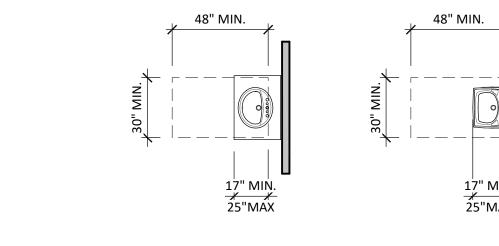


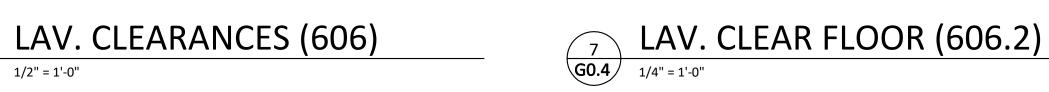


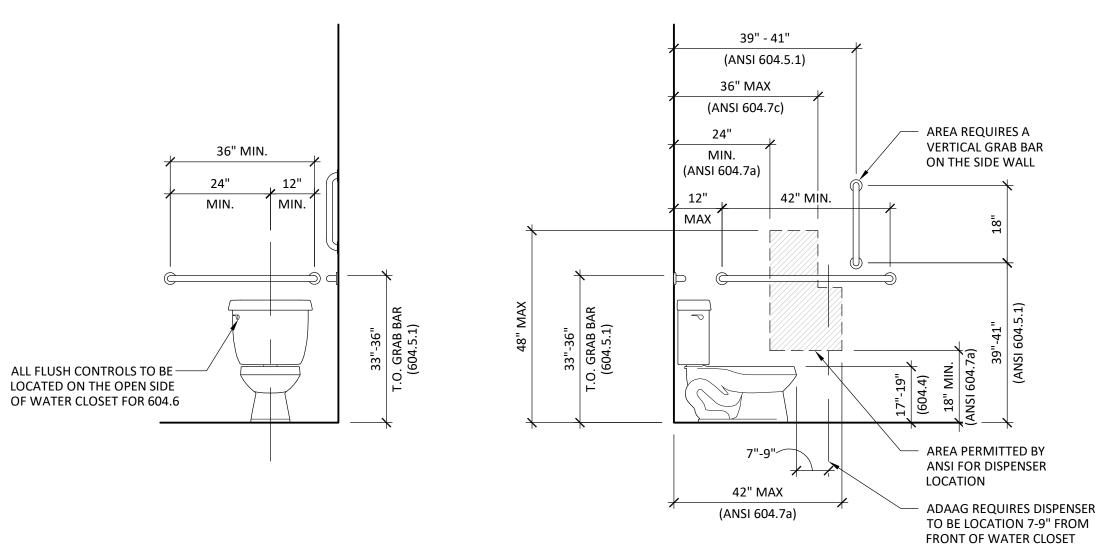


G0.4 1/2" = 1'-0"









REAR WALL FIGURE 604.5.2 SIDE WALL FIGURE 604.5.1

WATER CLOSET GRAB BARS & CONTROLS (604.5) 10 VVAI G0.4 1/2" = 1'-0"

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RESTAURANT

PLAZA SHOPPING (E, ILLINOIS

PROJECT NUMBER: 2005 ISSUE DATE FINAL REVIEW OCT 29, 2020

ADAAG / ANSI DETAILS

G0.4

TOILET COMPARTMENT SIZE (604.8.1.1)

Y = 36" WHEELCHAIR ACCESSIBLE

Y = 38" - 43" STANDING PERSONS

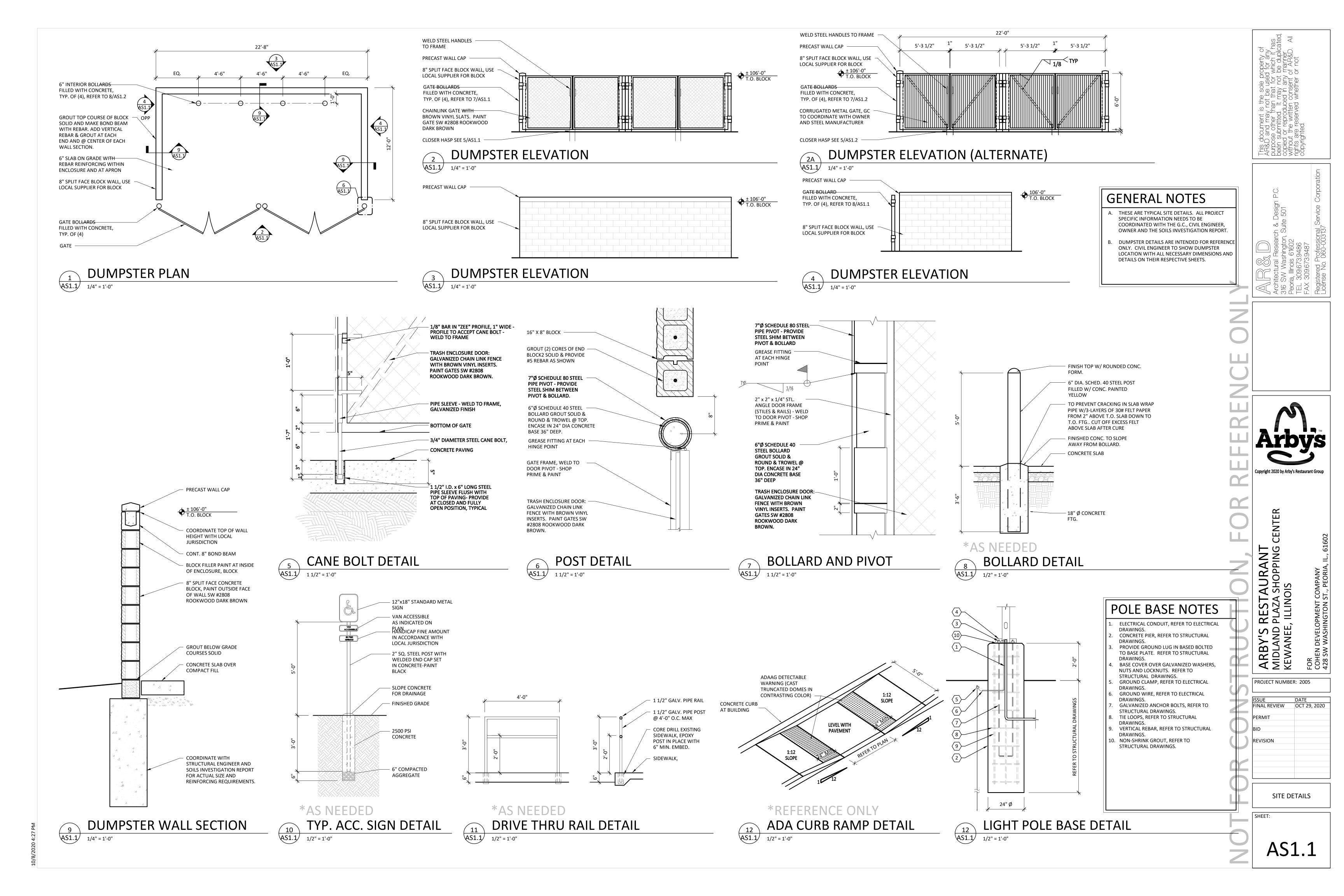
SPOUT HEIGHT AND KNEE CLEARANCE FIGURE 602.5 (b)

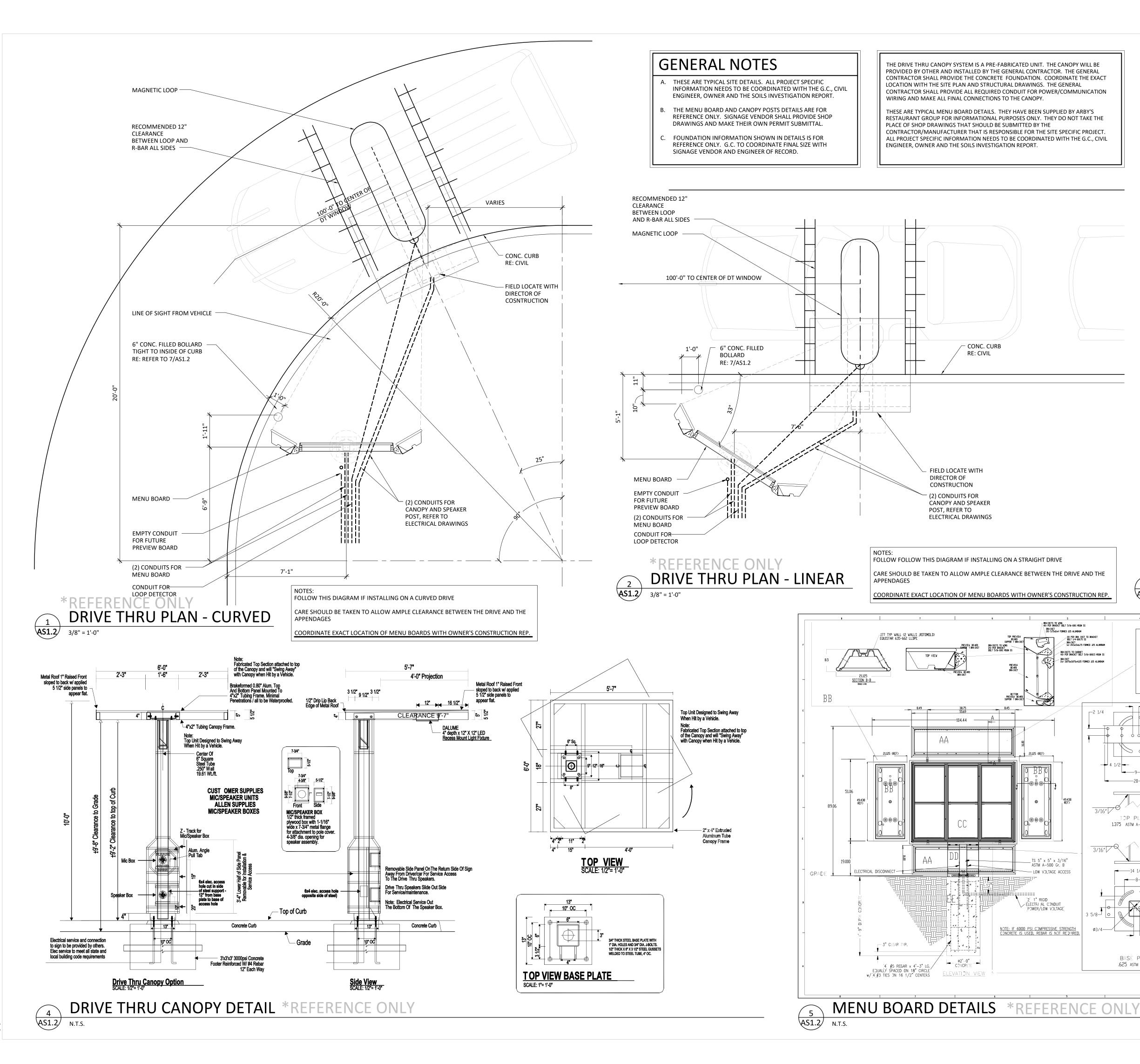
DRINKING FOUNTAINS (602)

5" MAX. 15" MIN.

REFER TO KNEE AND —

TOE CLEARANCE REQUIREMENTS ON THIS SHEET





THE DRIVE THRU CANOPY SYSTEM IS A PRE-FABRICATED UNIT. THE CANOPY WILL BE PROVIDED BY OTHER AND INSTALLED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL PROVIDE THE CONCRETE FOUNDATION. COORDINATE THE EXACT LOCATION WITH THE SITE PLAN AND STRUCTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED CONDUIT FOR POWER/COMMUNICATION WIRING AND MAKE ALL FINAL CONNECTIONS TO THE CANOPY.

THESE ARE TYPICAL MENU BOARD DETAILS. THEY HAVE BEEN SUPPLIED BY ARBY'S RESTAURANT GROUP FOR INFORMATIONAL PURPOSES ONLY. THEY DO NOT TAKE THE PLACE OF SHOP DRAWINGS THAT SHOULD BE SUBMITTED BY THE CONTRACTOR/MANUFACTURER THAT IS RESPONSIBLE FOR THE SITE SPECIFIC PROJECT. ALL PROJECT SPECIFIC INFORMATION NEEDS TO BE COORDINATED WITH THE G.C., CIVIL

ENGINEER, OWNER AND THE SOILS INVESTIGATION REPORT.

- CONC. CURB

RE: CIVIL

FIELD LOCATE WITH

DIRECTOR OF

CONSTRUCTION

POST, REFER TO

(2) CONDUITS FOR

CANOPY AND SPEAKER

ELECTRICAL DRAWINGS

OUTDOOR DRIVE THRU MENU SYSTEM

NOTE: MENU BOARD SUPPLIED BY OWNER, ASSEMBLED AND INSTALLED BY G.C.

BOARD SPECIFICATIONS:

OVERALL LIGHT BOX SIZE: OVERALL SIZE WITH BASE: SHIPPING WEIGHT:

21-1/8"W X 8.50"D X 49-1/4"H 18-7/8"W (BASE) X 7"D X 72"H 65 LBS. (PREVIEW BOARD)

23 LBS. / 11 LBS (POLE MOUNT/BASE FOR POLE) 15 LBS. (BRACKET MOUNT)

SYSTEM BASICS:

THE SYSTEM IS COMPRISED OF ONE LIGHT BOX WITH THE OPTION OF MOUNTING IT THREE DIFFERENT WAYS. IT CAN BE MOUNTED AS A FREESTANDING PREVIEW BOARD WITH OPTIONAL PEDESTAL BASE AS AN APPENDAGE PREVIEW BOARD WITH AVAILABLE HARDWARE OR AS A WALL MOUNTED PREVIEW BOARD.

EACH SYSTEM IS DESIGNED FOR EASY TRANS-LITE REMOVAL USING TWO SEPARATE DOORS. THE PANEL OPTIONS, (TWO MINI TRANSPARENCIES OR ONE LARGE

MINI TRANS-LITE IS 15.50"W X 10.50"W

TRANSPARENCY PANEL) LIFT AND DROP INTO THE CABINET WITH EASE. TRANS-LITE SIZES: FULL TRANS-LITE IS 15.75"W X 21.81"H

ELECTRICAL INFORMATION:

THE SYSTEM IS POWERED BY 110 VOLTS. 60 HERTZ ON A BASIC 15 AMP CIRCUIT. BALAST REPLACEMENT: (1) POWER LIGHTING #8G3900W RAPID START 800MA 1.6 AMPS LAMP REPLACEMENT: (2) F42T12/D/HO/42- 55 WATT FLUORESCENT

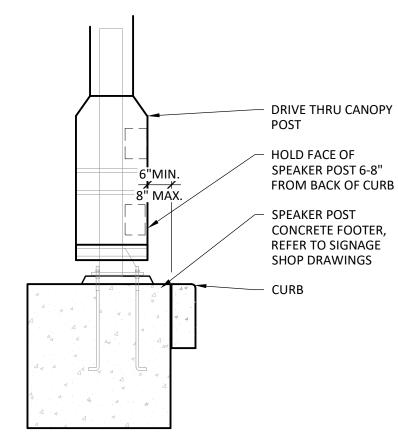
BASIC CONSTRUCTION:

ROTO MOLDED POLYETHYLENE ENCLOSURE DOOR: FORMED SHEET METAL POWDER PAINTED, HINGED DOWN ENTIRE LENGTH. WINDOWS ARE NON-GLARE ACRYLIC 1/8" THICK WITH ALLEN WRENCH

MOUNTED SCREWS. FABRICATED HEAT AND LIGHT RESISTANT ACRYLIC PLASTIC

MENU PANEL: ROTO-MOLDED POLYETHYLENE BASE

SEE MANUFACTURER'S INSTALLATION INSTRUCTIONS (BY HOWARD COMPANY, INC.) (ALTERNATE BY VISUAL GRAPHICS SYSTEMS INC.)



DRIVE THRU CANOPY BASE DETAIL

AS1.2

BRA CKETS TO VING 4XX PER BRACKET BOLT 5/16-18X1 MSQN SS BRA CKET 2XX 5.75x2x4 FORMED .125 ALUMINUM

BRA CKETS TO CABINET 4X) PER BRACKET BOLT 5/16-18X2.5 MSQN SS

1.375 ASTM A-36 STEEL

BASE PLATE DETAIL

.625 ASTM A-36 STEEL

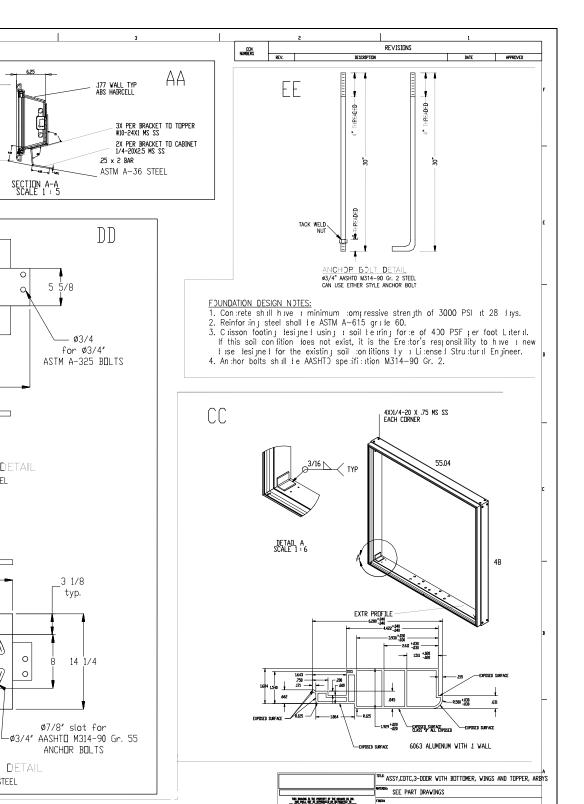
3/16"

_ TS 5" x 5" x 3/16" ASTM A-500 Gr. B

[2] 1" RIGID

ELECTRI :AL CONDUIT
[POWER/LOW VOLTAGE]

NOTE: IF 6000 PSI COMPRESSIVE STRENGTH CONCRETE IS USED, REBAR IS NOT REQUIRED.



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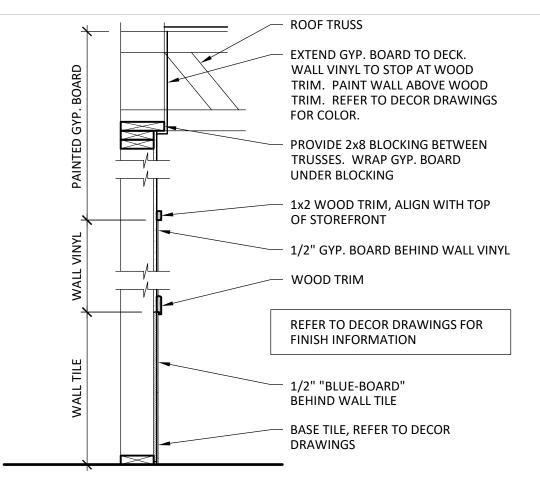
PROJECT NUMBER: 2005

ISSUE DATE FINAL REVIEW OCT 29, 2020

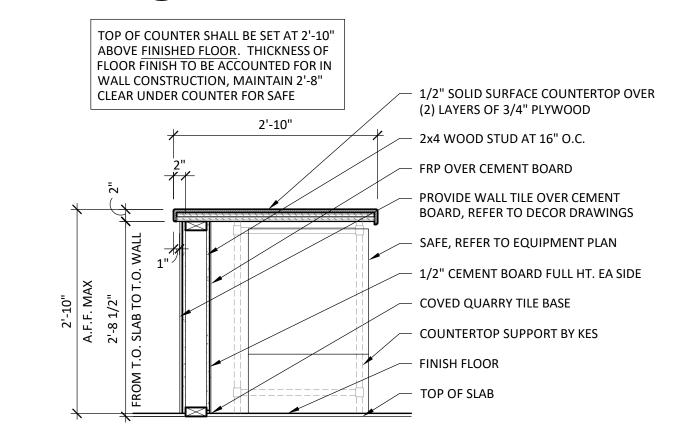
SITE DETAILS

SHEET

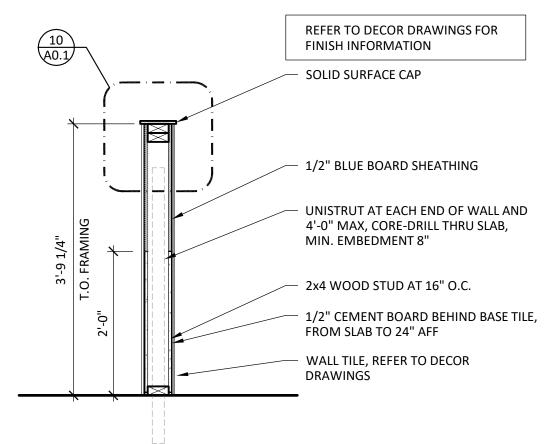
AS1.2



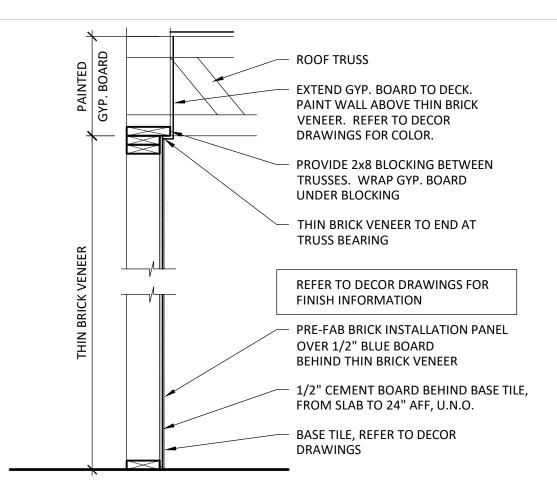
DINING ROOM WALL (W1A)



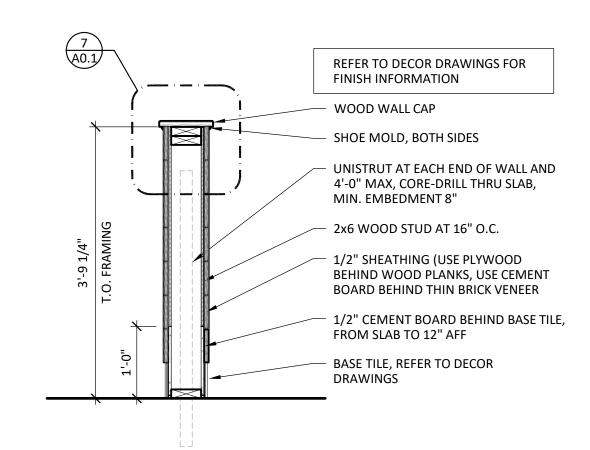
FRONT COUNTER



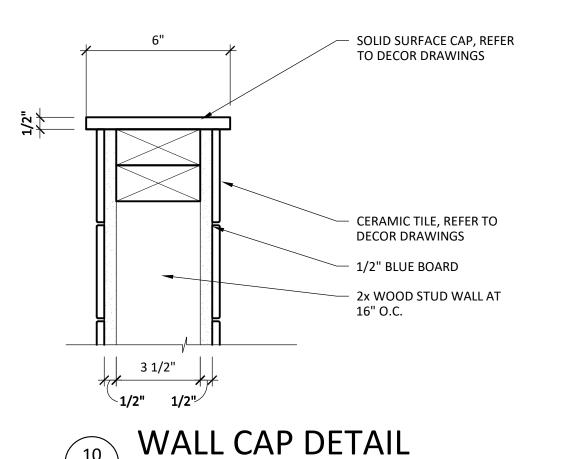


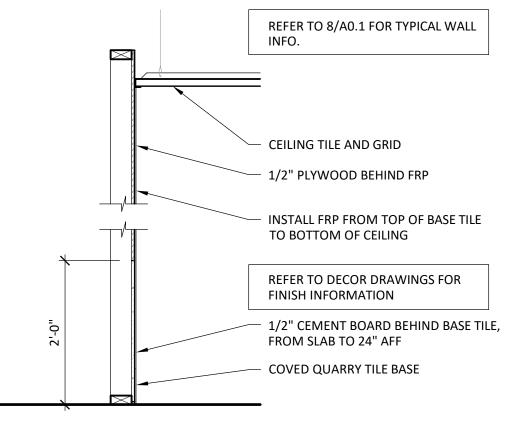


DINING ROOM WALL (W1B) **A0.1** 3/4" = 1'-0"

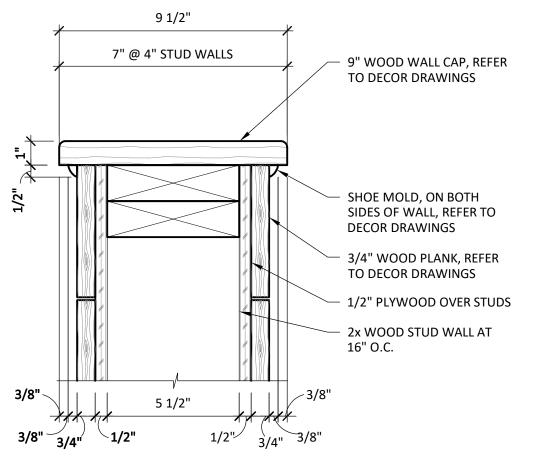


PARTIAL HEIGHT WALL

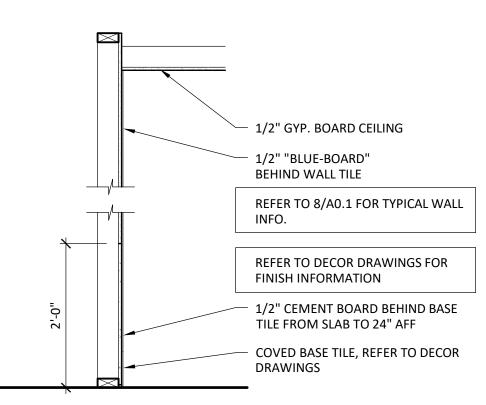




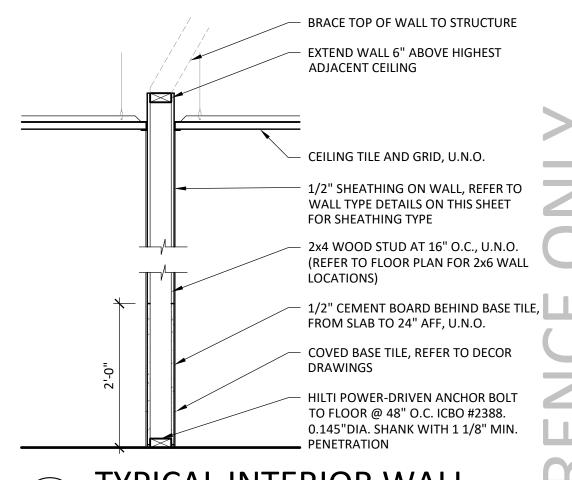
KITCHEN WALL (W2) **A0.1** 3/4" = 1'-0"



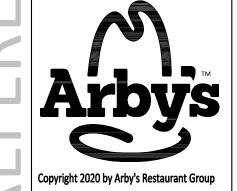




RESTROOM WALL (W3)



TYPICAL INTERIOR WALL



ш

CE

GENERAL CONSTRUCTION NOTES

- A. VERIFY ALL UNMARKED WALLS WITH ARCHITECT.
- PROVIDE 2x6 WOOD BLOCKING IN PARTITIONS TO SUPPORT ALL CASEWORK, DOOR WALL STOPS, ELECTRICAL AND MECHANICAL DEVICES, AND FIRE EXTINGUISHERS.
- EQUIPMENT AND FIRE PROTECTION PRIOR TO STARTING WORK.
- GENERAL CONTRACTOR TO PATCH ALL ROOF PENETRATIONS MADE BY THIS PROJECT WITH OWNER'S ROOFING CONTRACTOR.
- MECHANICAL EQUIPMENT. VERIFY ROOF WARRANTY REQUIREMENTS WITH
- G. SEE SECTION A4 FOR WALL SECTIONS AND DETAILS.
- SEE DECOR DRAWINGS FOR FINISH SPECIFICATIONS AND PLAN.
- SEE SHEET A7.1 FOR REFLECTED CEILING PLAN.
- SEE SHEET A8.1 FOR DOOR SCHEDULE.
- ELECTRICAL CONTRACTOR TO COORDINATE LIGHT FIXTURE LOCATIONS WITH MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
- FRAMING CONTRACTOR TO COORDINATE FRAMING AROUND HVAC DUCTS, PIPES, CONDUITS AND OTHER ITEMS LOCATED ABOVE THE CEILING.
- PROVIDE TACTILE EXIT SIGNAGE AT EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND ALL EXIT DISCHARGE POINTS.
- ALL MATERIALS SPECIFIED ARE TO BE INSTALLED IN ACCORDANCE WITH DEVIATION FROM THE INTENT OF THE CONTRACT DOCUMENTS WITHOUT ARCHITECT OR OWNER APPROVAL ARE AT THE CONTRACTOR'S OWN RISK.

- T. ALL INTERIOR WALLS ARE 3 1/2" WOOD STUDS U.N.O.
- GENERAL CONTRACTOR TO PROVIDE ALL WALLS INDICATED ON FLOOR PLAN.
- ELECTRICAL CONTRACTOR TO COORDINATE LOCATIONS OF MECHANICAL
- GENERAL CONTRACTOR TO PROVIDE ALL ROOF PATCHING AROUND

- K. SEE SHEET A8.2 FOR WINDOW SCHEDULE.
- VERIFY ALL OWNER SUPPLIED EQUIPMENT BEFORE ROUGH-INS ARE COMPLETED & GYP. BOARD IS INSTALLED.
- THERMAL AND ACOUSTICAL INSULATION IN FLOORS, WALLS AND CEILING TO COMPLY WITH STATE AND LOCAL CODE REQUIREMENTS FOR FLAME SPREAD AND SMOKE DEVELOPMENT RATINGS.
- ALL SHEATHING THAT IS TO RECEIVE FULLY ADHERED ROOF MEMBRANE IS TO BE ATTACHED TO METAL FRAMING BY THE USE OF NON-REVERSING SCREWS. NO NAIL FASTENERS ARE PERMITTED.
- MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. CONTRACTOR IS TO CONSTRUCT THE PROJECT ACCORDING TO THE CONTRACT DOCUMENTS. ANY
- ALL EXTERIOR WALLS ARE 5 1/2" WOOD STUDS U.N.O. REFER TO STRUCTURAL DRAWINGS FOR STUD TYPE AT HOOD.

VERIFY LOCATION OF ALL EQUIPMENT AND VERIFY SIZES, WALL OPENINGS, AND SUPPORT REQUIREMENTS WITH MANUFACTURER. PROVIDE REINFORCEMENT AS REQUIRED BY MANUFACTURER.

DRAWINGS.

STARTING WORK.

- V. ALL DOORS TO BE LOCATED 4" FROM ADJACENT WALL OR COUNTER, OR
- CENTERED IN WALL UNLESS OTHERWISE NOTED. W. ALL WALLS TO RECEIVE LAMINATE OR WOOD PLANKS MUST HAVE PLYWOOD BACKING IN LIEU OF GYP. BD. COORDINATE LOCATION WITH DECOR
- DO NOT INSTALL PLYWOOD ON WALLS TO RECEIVE TILE. REFER TO WALL TYPES FOR SPECIFIC SHEATHING REQUIREMENTS. REFER TO DECOR DRAWINGS FOR
- 2x2 FULL HEIGHT STAINLESS STEEL CORNER GUARDS ON ALL OUTSIDE CORNERS IN KITCHEN. PROVIDED AND INSTALLED BY GC.
- Z. THE GENERAL CONTRACTOR IS TO VERIFY SIZE, QUANTITY AND LOCATION OF FIRE EXTINGUISHERS WITH LOCAL FIRE MARSHAL PRIOR TO INSTALLATION. REFER TO LIFE SAFETY PLAN.
- AA. 2x BLOCKING TO BE PROVIDED AT ALL SINKS, GRAB BARS, MIRRORS, DISPENSERS, AND HAND DRYERS PER MFR. SPECIFICATIONS.
- AB. DO NOT SCALE OFF PLANS, CALL THE ARCHITECT FOR ADDITIONAL DIMENSIONAL INFORMATION IF REQUIRED.
- AC. WRITTEN DIMENSIONS HAVE PRECEDENT OVER SCALED DIMENSIONS IN ALL CASES. G.C. SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO
- AD. ALL DIVIDER WALL ANGLES ARE 45°, 90° OR 180° U.N.O.
- AE. G.C. IS TO LOCATE THERMOSTATS IN LOCATIONS THAT DO NOT INTERFERE WITH DECOR.
- AF. G.C. IS TO REFER TO INTERIOR ELEVATIONS FOR TYPICAL WALL FINISHES. REFER TO DECOR DRAWINGS.
- AG. REFER TO DECOR DRAWINGS FOR EXTENT OF FINISHES AND FIXTURE WORK.
- AH. PROVIDE 1/2" PLYWOOD ON WALLS TO RECEIVE FRP.
- AI. FOR THIN BRICK INSTALL DETAILS, CONTACT GABE POWERS @ EVOLUTION BRICK. 270.788.3535 PHONE, GABE@EVOLUTIONBRICK.COM.
- ALL EXPOSED SHEATHING TO BE PAINTED IN DINING ROOM SHALL BE 1/2" GYP.

*DESIGN NOTE: SELECT REGULAR OR HIGH PARAPET SHEET LAYOUT AS NEEDED AND DELETE ALTERNATE OPTION. RENAME SHEET TAB TO A0.1

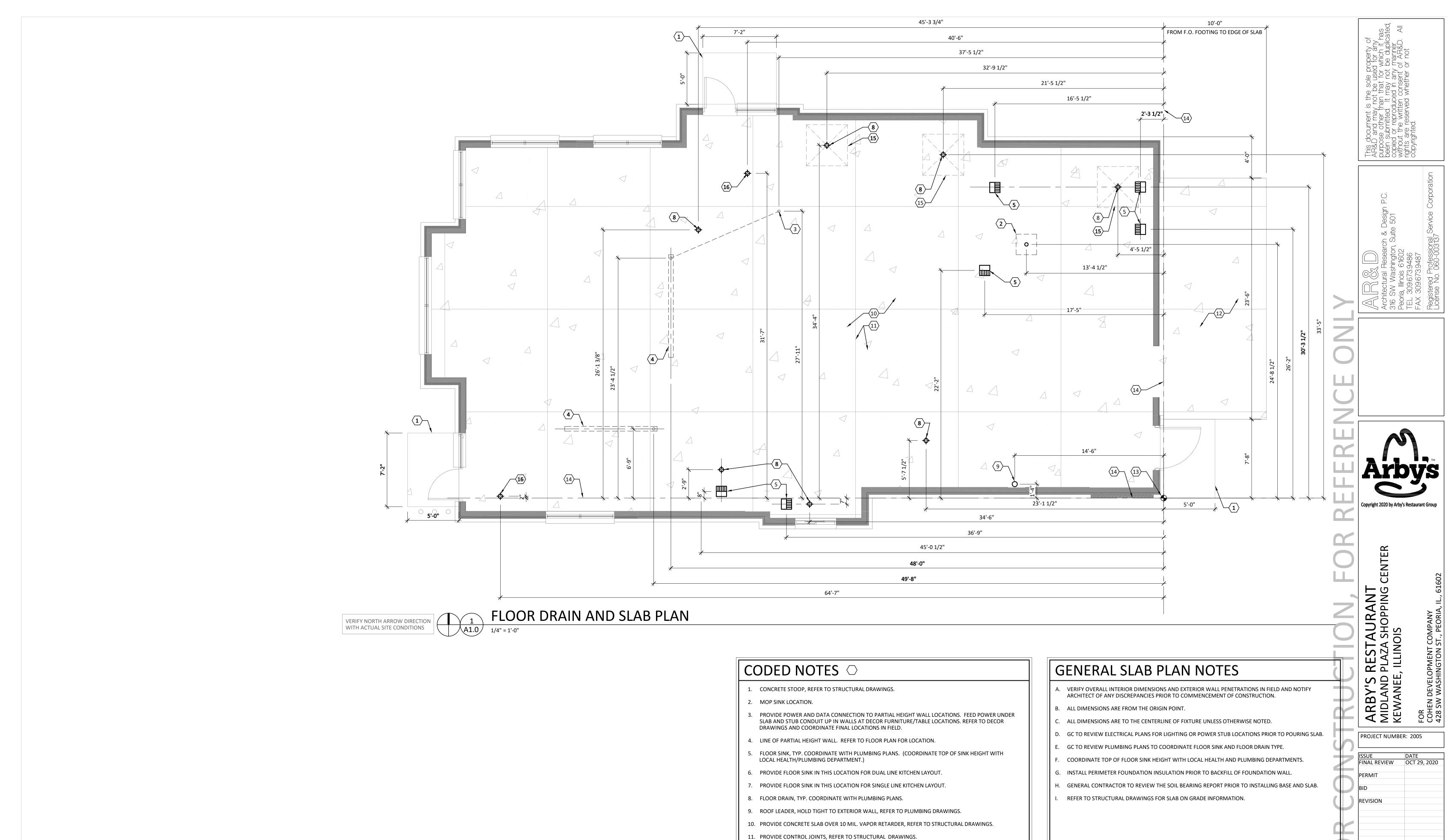
RESTAURANT

PLAZA SHOPPING (E., ILLINOIS) PROJECT NUMBER: 2005

FINAL REVIEW OCT 29, 2020 REVISION

WALL TYPES

SHEET:



12. COOLER AND FREEZER SLAB TO BE FLUSH WITH BUILDING SLAB, REFER TO STRUCTURAL DRAWINGS.

15. SLOPE FLOOR SLAB TO FLOOR DRAINS. TOP OF DRAIN TO BE SET AT 1/2" BELOW FINISH FLOOR. SLOPE

16. OPTIONAL FLOOR DRAIN LOCATION BASED ON CLIMATE ZONE. VERIFY/COORDINATE NEED FOR THIS

13. ORIGIN POINT. LOCATED ON THE OUTSIDE CORNER OF THE FOUNDATION WALL.

FLOOR WITHIN A 4'-0" x 4'-0" AREA OF EACH DRAIN.

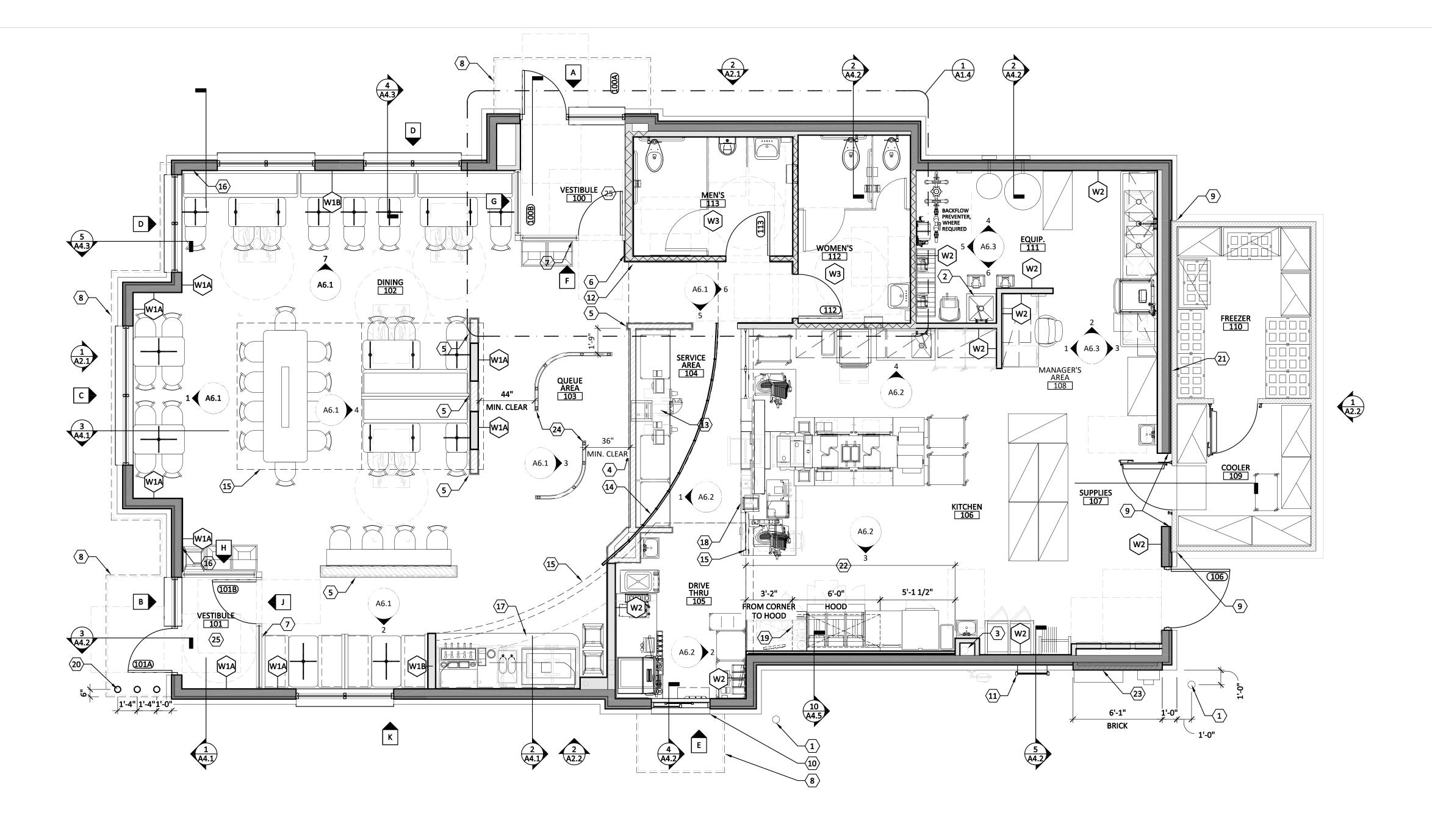
DRAIN WITH ARBY'S CONSTRUCTION MANAGER.

14. LAYOUT LINE.

FLOOR DRAIN AND SLAB PLAN

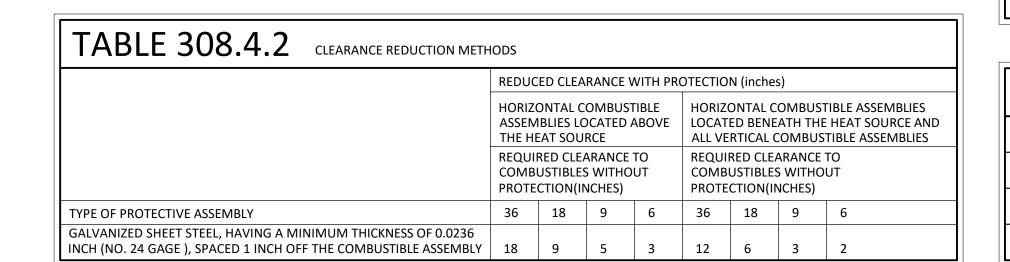
SHEET:

A1.0



VERIFY NORTH ARROW DIRECTION WITH ACTUAL SITE CONDITIONS

ARCHITECTURAL FLOOR PLAN A1.1 1/4" = 1'-0"



OWNER FURNISHED ITEM LIST

THE FOLLOWING ITEMS MAY OR MAY NOT BE SUPPLIED BY THE OWNER/FRANCHISEE. G.C. IS TO CONFIRM WITH OWNER THAT THESE ITEMS ARE BEING SUPPLIED AND/OR INSTALLED BY OWNER. PLEASE CONTACT OWNER IF YOU HAVE ANY QUESTIONS ABOUT THIS LIST. ON SHEET SP.1 IN THE ARCHITECTURAL SPECIFICATIONS THERE IS ALSO A LIST THAT OUTLINES SEVERAL OWNER SUPPLIED ITEMS THAT ARE INCLUDED IN THIS LIST, THE SAME INSTRUCTIONS APPLY TO THAT LIST.

- A. DRIVE-THRU WINDOW
- B. DRIVE-THRU MUSIC SYSTEM

SYMBOL LEGEND

WALL TYPE TAG

FLOOR PLAN CODED NOTE

(SEE SCHEDULE ON THIS SHEET)

(SEE SCHEDULE ON SHEET A8.1)

(SEE ELEVATIONS ON SHEET A8.2)

(SEE DETAILS ON SHEET A0.1)

- C. HVAC UNITS
- D. KITCHEN EQUIPMENT
- E. SMALLWARES
- F. ATS CASH MACHINE
- G. REGISTERS
- H. HOOD SYSTEM BULK CO2
- J. DRINK SYSTEM K. DRINK EQUIPMENT
- INSTALLATION L. INTERIOR MENU BOARD
- M. EXTERIOR MENU BOARD
- N. MENU BOARD CANOPY O. CANOPIES/ACCENT BAND
- P. DECOR PACKAGE a. DECOR LIGHTING
- b. SEATING c. WALL COVERINGS d. FLOORING

U. FIRE EXTINGUISHERS

Q. MAX. OCCUPANCY SIGNAGE

R. CUSTOMER BELL

S. STORE SIGNAGE

T. LOT LIGHTING

WALL LEGEND

WALL WITH SOUND BATT

PARTIAL HEIGHT WALL

WALL/PARTITION

SHEAR WALL

PROVIDE TACTILE EXIT SIGN ON LATCH SIDE OF DOOR.

OWNER THAT THIS ITEM IS TO BE PROVIDED BY OWNER.)

PARTIAL HEIGHT WALL. REFER TO DECOR DRAWINGS.

8. LINE OF CANOPY/ACCENT BAND ABOVE.

CODED NOTES ○

DETAIL 8/AS1.1

PROVIDE ACCESS PANEL.

6" Ø STEEL BOLLARD, CENTER ON FACE OF BUILDING, REFER TO

MOP SINK, REFER TO PLUMBING DRAWINGS. REFER TO 10/A6.3

SERVICE COUNTER. SET AT 34" A.F.F. MAX. REFER TO DETAIL

INSTALL MAXIMUM OCCUPANCY SIGNAGE (WHERE REQUIRED).

SIGNAGE SHALL BE INSTALLED AT 60" A.F.F. THE G.C. IS TO VERIFY

THE SIZE, QUANTITY AND LOCATION(S) OF SIGNAGE WITH LOCAL

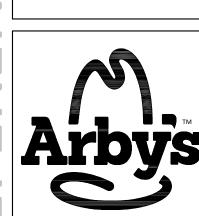
FIRE MARSHAL PRIOR TO INSTALLATION. (G.C. TO CONFIRM WITH

- STAINLESS STEEL CLOSURE PIECE PROVIDED BY COOLER MANUFACTURER. INSTALLED BY G.C. CAULK TO ADJACENT
- 10. INSTALL OWNER FURNISHED DRIVE-THRU WINDOW, REFER TO EQUIPMENT PLAN AND SCHEDULE.
- 11. ROOF ACCESS LADDER.
- 12. INSTALL OWNER FURNISHED "CUSTOMER BELL" AT 54" A.F.F.
- 13. COORDINATE THE LOCATION OF THE SECURING BOLTS FOR THE SAFE WITH THE MANUFACTURER'S REQUIREMENTS.
- 14. MENU BOARD ABOVE, REFER TO CEILING PLAN.
- 15. LINE OF SOFFIT ABOVE, REFER TO CEILING PLAN.

- INSTALL TELEVISION AND MOUNTING BRACKET. PROVIDE IN-WALI BLOCKING. REFER TO ELECTRICAL DRAWINGS FOR RECEPTACLE LOCATION. TV TO CONCEAL RECEPTACLES. COORDINATE FINAL
- INTERIOR ROOF DRAIN IN WALL, REFER TO PLUMBING DRAWINGS. 17. SELF SERVE DRINK STATION AND CONDIMENT BAR. TOP OF COUNTER TO BE SET AT 34" A.F.F. MAX. REFER TO ELECTRICAL AND PLUMBING DRAWINGS.

LOCATION WITH DECOR.

- 18. PRODUCTION COUNTER. REFER TO ELECTRICAL DRAWINGS.
- 19. HOOD ABOVE, REFER TO MECHANICAL DRAWINGS. ANSUL CABINET TO ALWAYS BE LOCATED TOWARDS THE FRONT OF THE
- 20. CANOPY POST, BY OWNER. TYP. OF (3).
- 21. DO NOT INSTALL BRICK BEHIND COOLER, PROVIDE 1" RIGID INSULATION ON WALL BEHIND COOLER. HOLD COOLER OFF INSULATION 1"
- 22. PROVIDE STAINLESS STEEL SHEET OVER 1/2" CEMENT BOARD ON METAL STUD FURRING BEHIND HOOD. EXTEND STAINLESS STEEL SHEET FROM CORNER TO CORNER, FROM SLAB TO T.O. WALL. PROVIDE 1/2" CEMENT BOARD ON METAL STUD FRAMING IN EXTERIOR WALL BEHIND HOOD. REFER TO STRUCTURAL DRAWINGS FOR EXTERIOR METAL STUD FRAMING INFORMATION. REFER TO 8/A4.5 FOR FURRING WALL CONSTRUCTION BEHIND HOOD. REFER TO TABLE 308.4.2 ON THIS SHEET.
- 23. EXTEND BRICK ABOVE WATER TABLE TO PROVIDE FLUSH CONDITIONS FOR ELECTRICAL EQUIPMENT INSTALLATION. REFER TO EXTERIOR ELEVATIONS.
- QUEUE LINE RAIL. REFER TO DECOR DRAWINGS FOR EXACT DIMENSIONS. VERIFY EXACT DIMENSIONS FOR CORE DRILLING WITH DECOR DRAWINGS PRIOR TO INSTALLATION. MAINTAIN 36" CLEAR FROM SERVICE COUNTER & DECOR WALL.
- 25. VESTIBULE IS OPTIONAL BASED ON CLIMATE ZONE. VERIFY/COORDINATE WITH ARBY'S CONSTRUCTION MANAGER.



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RESTAURANT

PLAZA SHOPPING

E, ILLINOIS

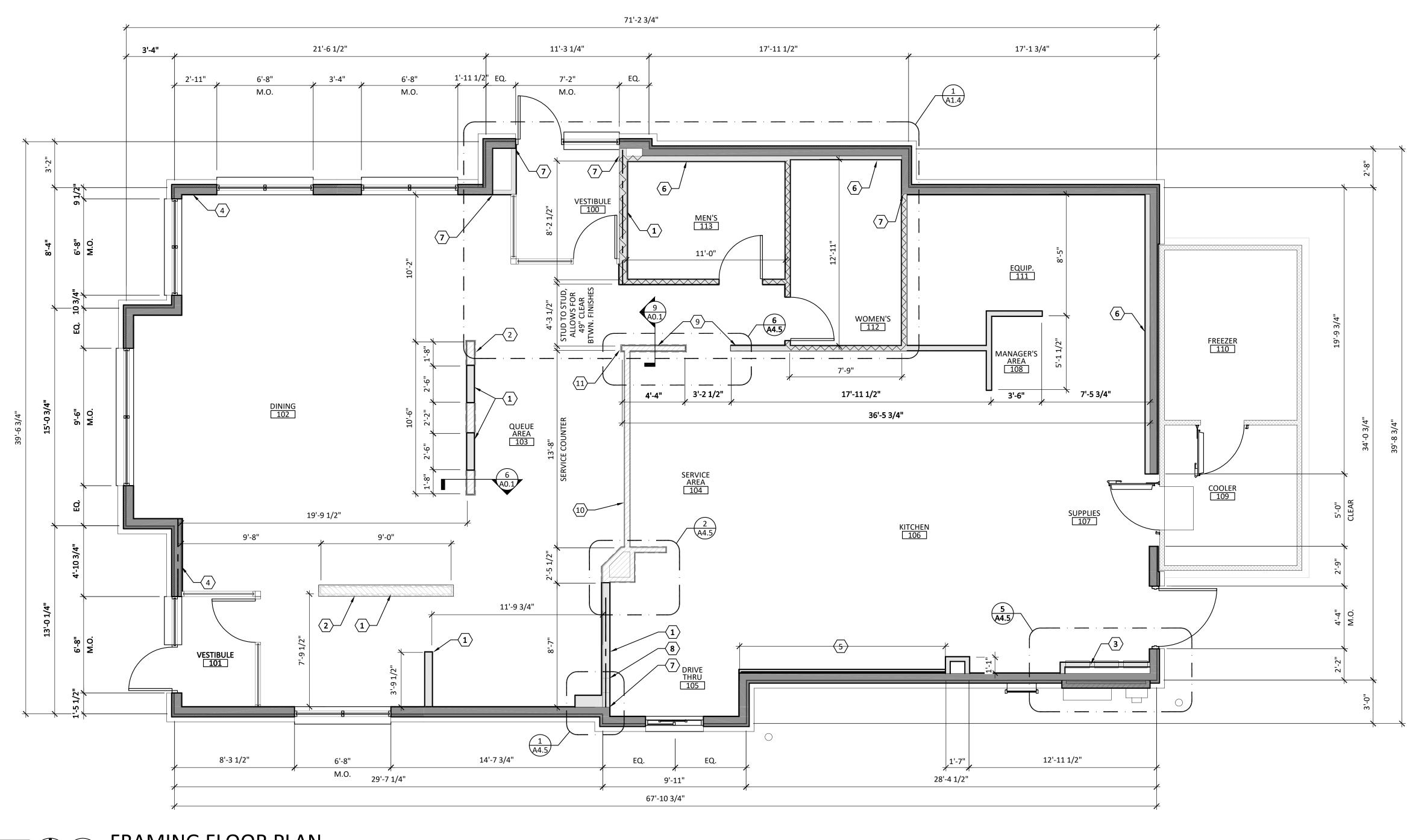
PROJECT NUMBER: 2005

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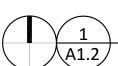
ARCHITECTURAL **FLOOR PLAN**

SHEET:

A1.1



VERIFY NORTH ARROW DIRECTION
WITH ACTUAL SITE CONDITIONS WITH ACTUAL SITE CONDITIONS



FRAMING FLOOR PLAN

SYMBOL LEGEND

?	FLOOR PLAN CODED NOTE (SEE SCHEDULE ON THIS SHEET)
(###)	DOOR TAG (SEE SCHEDULE ON SHEET A8.1)
Х	WINDOW TAG (SEE ELEVATIONS ON SHEET A8.2)
X-X	WALL TYPE TAG (SEE DETAILS ON SHEET A0.1)

WALL LEGEND							
	WALL/PARTITION						
/ ///	WALL WITH SOUND BATT						
////	PARTIAL HEIGHT WALL						

SHEAR WALL

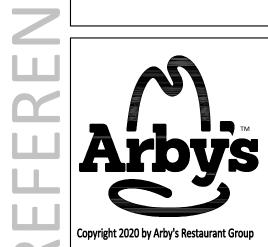
CODED NOTES

I	2x6 W[. STUD WALL	@ 16"	O.C.
ĺ	2x6 W[. STUD WALL	@	16"

- 2. PARTIAL HEIGHT WALL. INSTALL UNI-STRUT AT EACH END AND 4'-0" O.C. MAX. REFER TO DETAIL 6/A0.1.
- 3. 2 x 4 FUR OUT WALL AT ELECTRIC PANELS. REFER TO
- ELECTRICAL DRAWINGS.
- INSTALL TELEVISION AND MOUNTING BRACKET. PROVIDE IN-WALL BLOCKING. COORDINATE FINAL LOCATION WITH
- PROVIDE STAINLESS STEEL SHEET OVER 1/2" CEMENT BOARD ON METAL STUD FURRING BEHIND HOOD. EXTEND STAINLESS STEEL SHEET FROM CORNER TO CORNER, FROM SLAB TO T.O. WALL. PROVIDE 1/2" CEMENT BOARD ON METAL STUD FRAMING IN EXTERIOR WALL BEHIND HOOD. REFER TO STRUCTURAL DRAWINGS FOR EXTERIOR METAL STUD FRAMING INFORMATION. REFER TO 8/A4.5 FOR FURRING WALL CONSTRUCTION BEHIND HOOD. REFER TO TABLE 308.4.2 ON SHEET A1.1.
- FURR OUT EXTERIOR WALL WITH 2x4 WOOD STUDS FOR

ALIGN INTERIOR WALL WITH CORNER OF EXTERIOR WALL.

- PROVIDE A 12" x 12" OPENING IN WALL FOR SODA LINES. WRAP OPENING WITH FRP. REFER TO PLUMBING DRAWINGS. REFER TO DETAIL 1&3/A4.5.
- ALIGN FACES OF WALLS.
- 10. PARTIAL HEIGHT WALL LOCATION UNDER SERVICE COUNTER. REFER TO 5/A0.1.
- 11. PARTIAL HEIGHT WALL. INSTALL UNISTRUT AT EACH END AND 4'-0" O.C. MAX. REFER TO DETAIL 9/A0.1.



ARBY'S RESTAURANT MIDLAND PLAZA SHOPPING CKEWANEE, ILLINOIS

PROJECT NUMBER: 2005

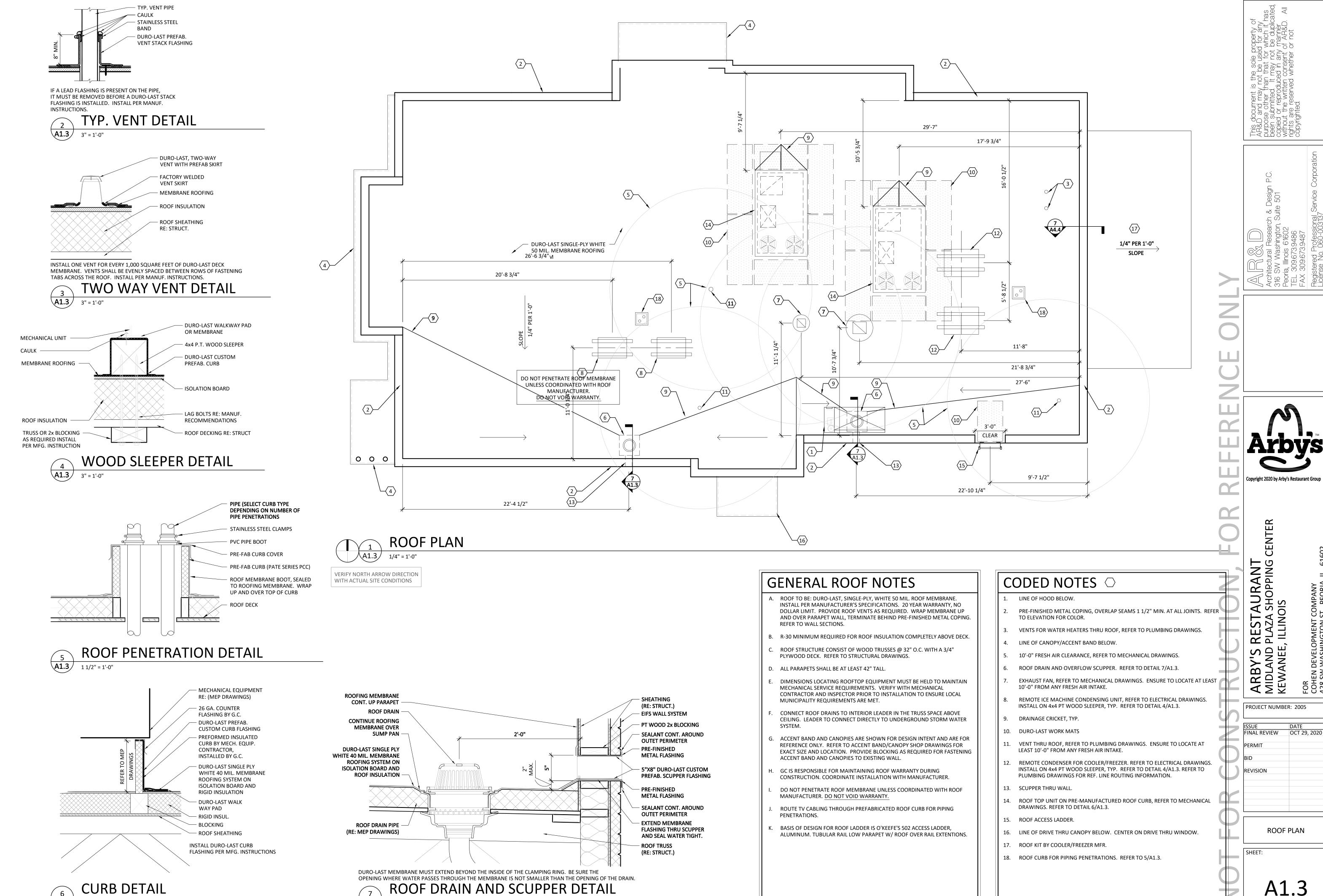
ISSUE DATE FINAL REVIEW OCT 29, 2020 REVISION

> FRAMING **FLOOR PLAN**

SHEET:

A1.2

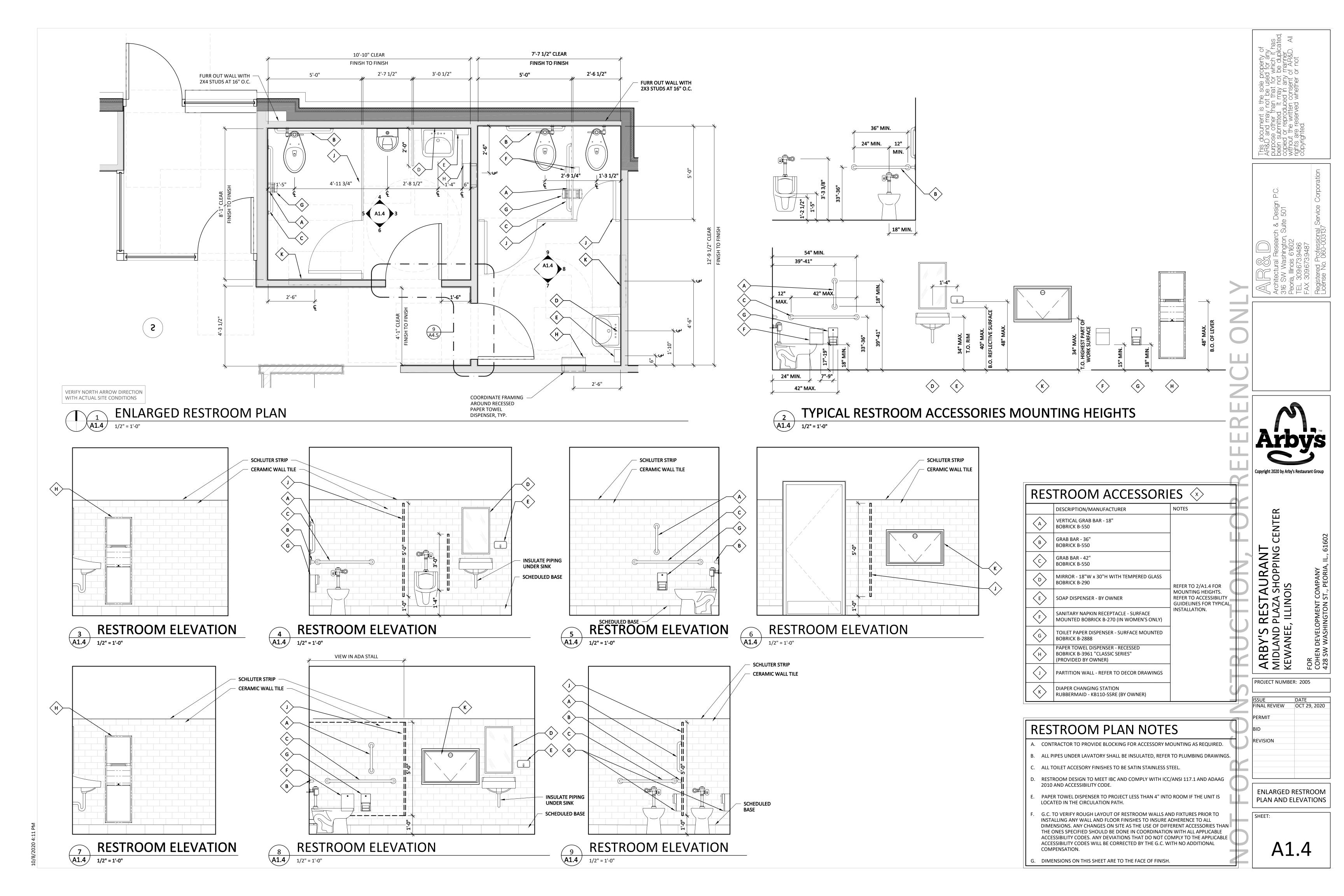
WATER PIPING.

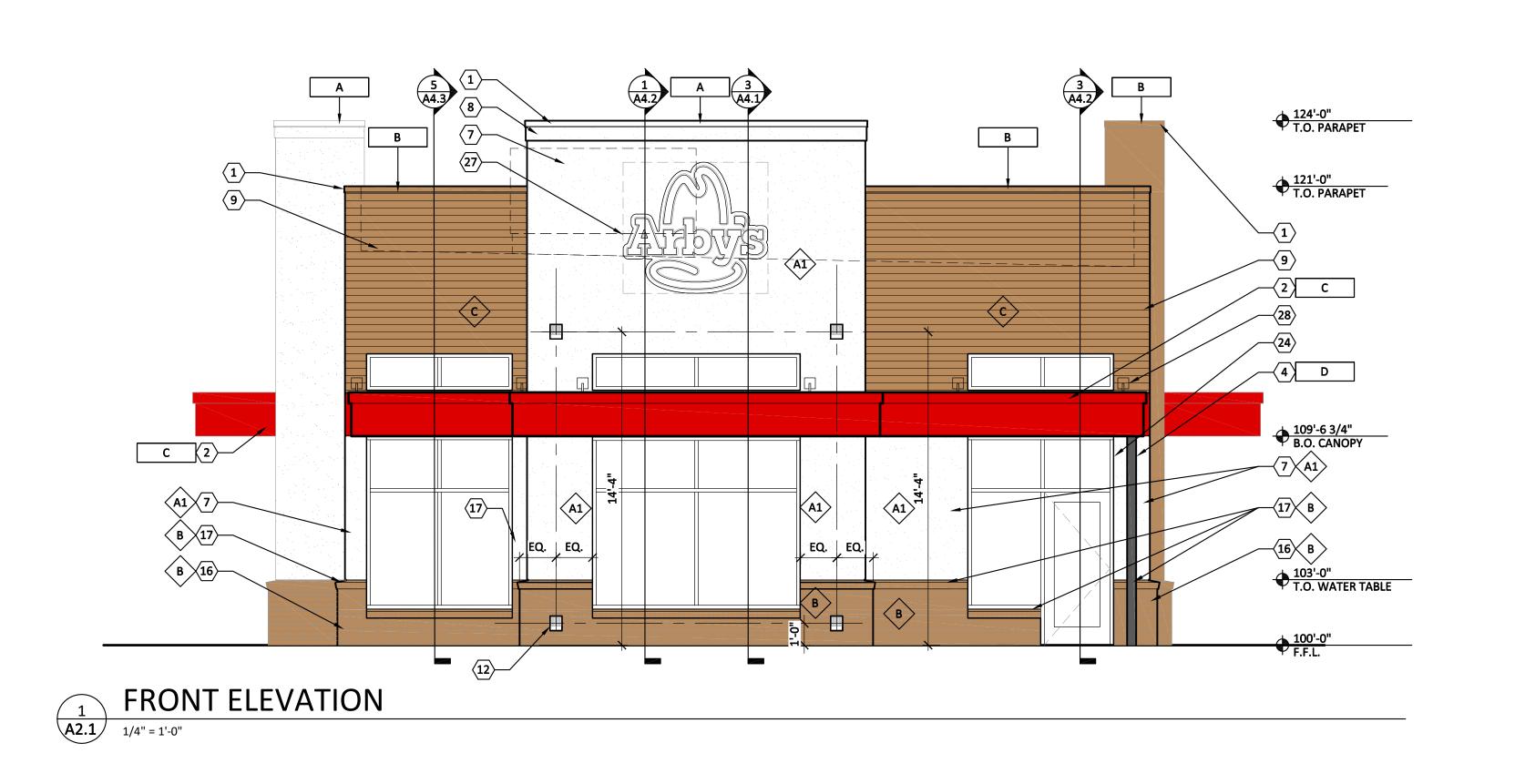


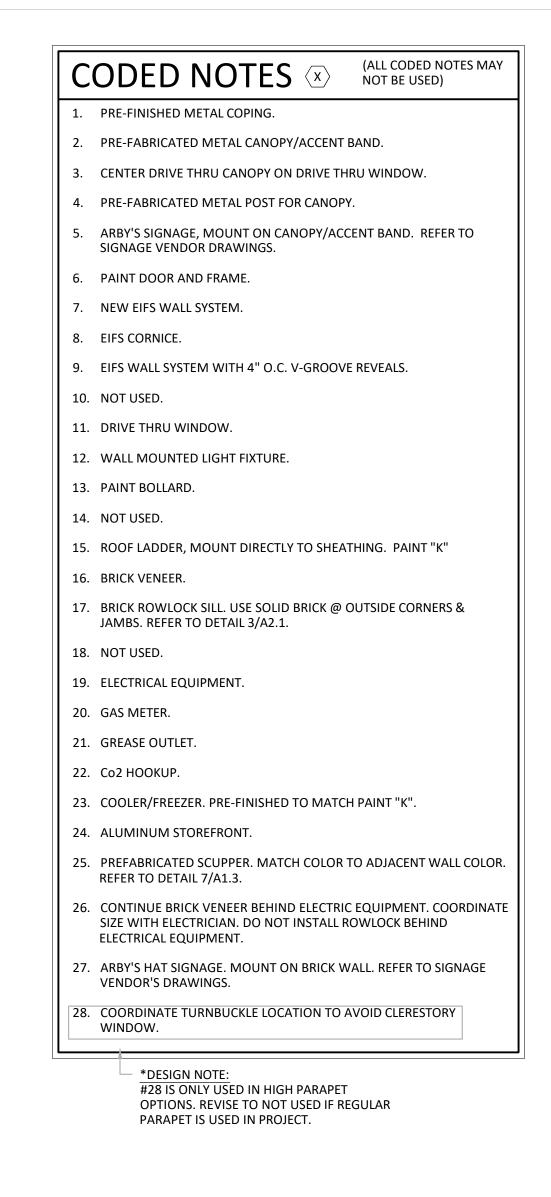
A1.3 1 1/2" = 1'-0"

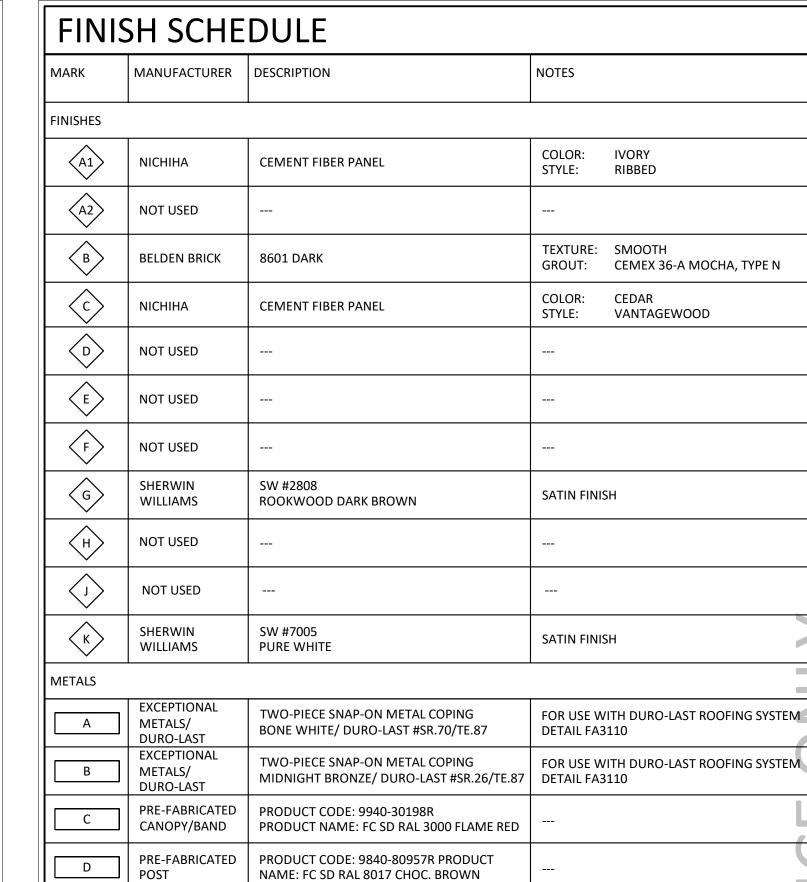
A1.3 1 1/2" = 1'-0"

A1.3









A. PAINT ALL EXPOSED GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT PAINT ELECTRIC OR GAS SERVICE EQUIPMENT.

B. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.

C. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS , SILLS, ETC.

D. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLENT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.

E. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.

F. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.

G. ALUMINUM STOREFRONT TO BE DARK BRONZE.

H. ALL GLAZING TO BE 1" INSULATED GLAZING.

BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND

SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.

K. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.

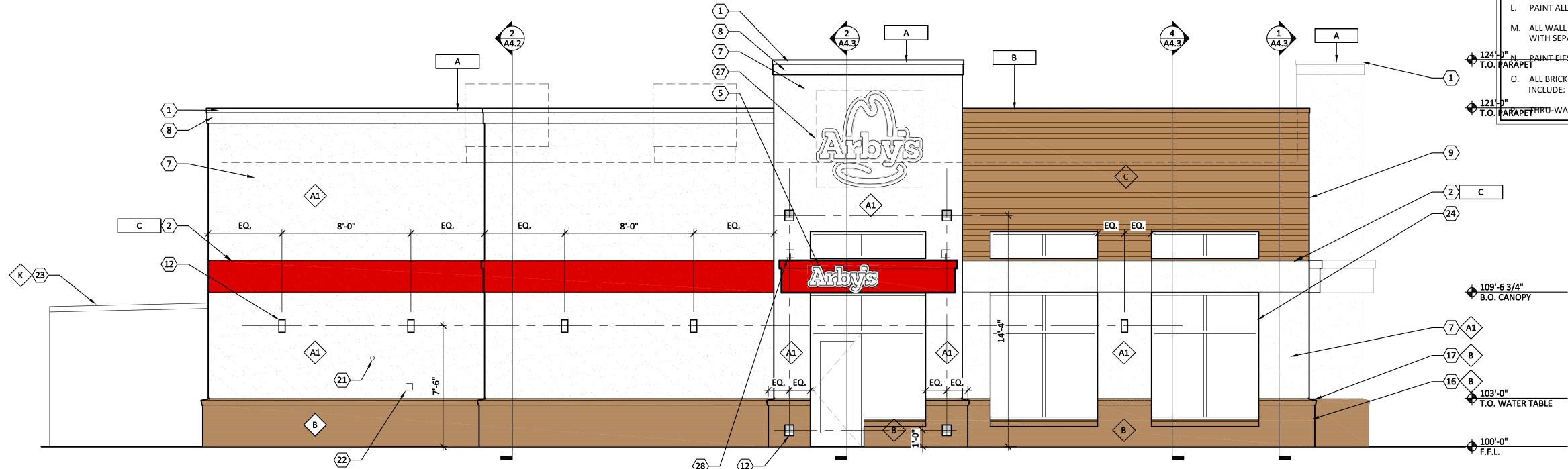
PAINT ALL EXPOSED BRICK LINTELS TO MATCH ADJACENT BRICK.

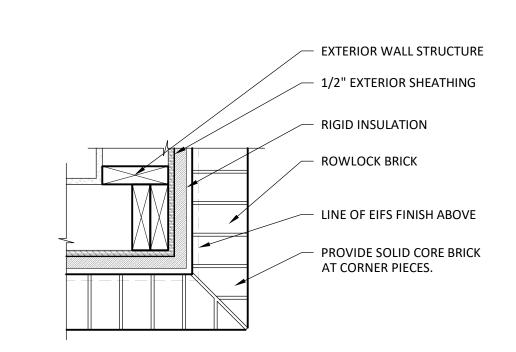
M. ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL

124 D" N. PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL.

INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE)

121'-D"
T.O. PARAPETHRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).





3 DETAIL @ BRICK CORNER
A2.1 11/2" = 1'-0"

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PLAZA SHOPPING (E, ILLINOIS PROJECT NUMBER: 2005

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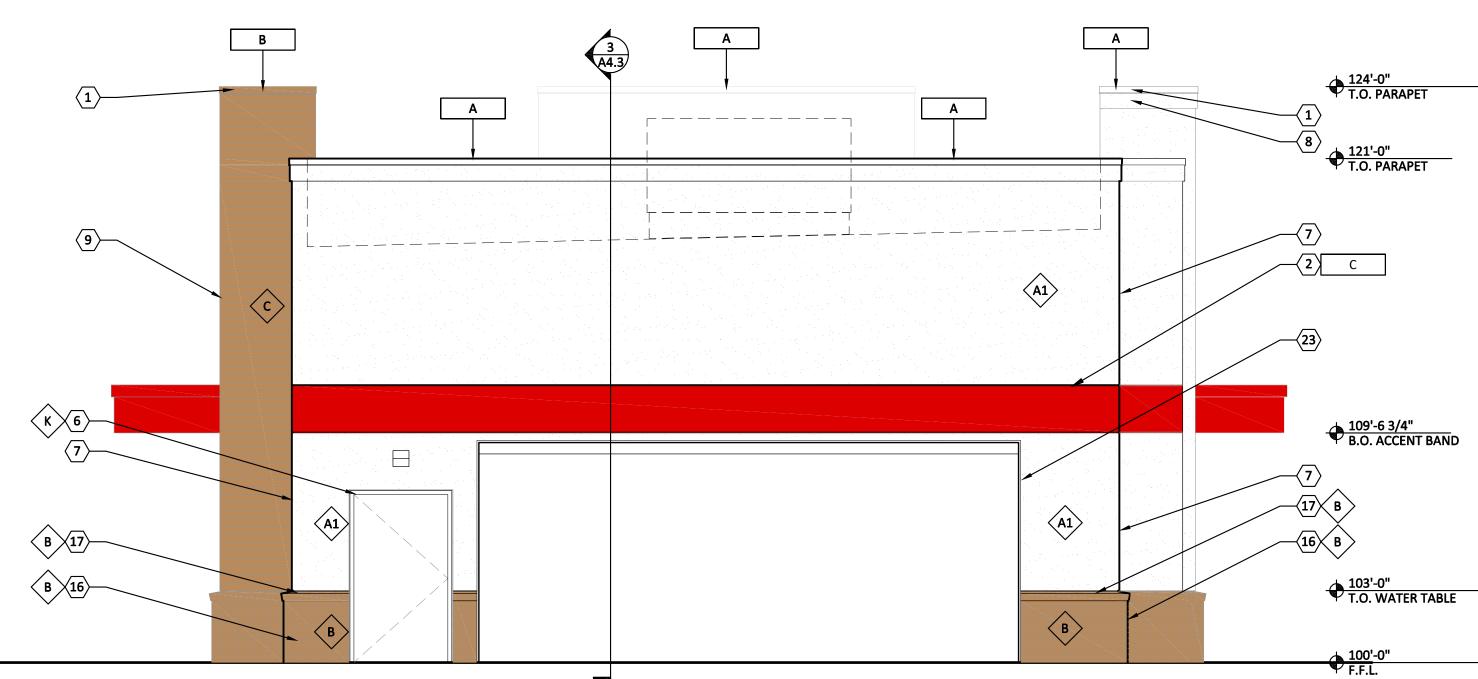
EXTERIOR ELEVATIONS

SHEET

A2.1

SIDE ELEVATION

2 SIDE A2.1 1/4" = 1'-0"



(ALL CODED NOTES MAY NOT BE USED) CODED NOTES **S** 1. PRE-FINISHED METAL COPING. 2. PRE-FABRICATED METAL CANOPY/ACCENT BAND. 3. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW. 4. PRE-FABRICATED METAL POST FOR CANOPY. ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS. 6. PAINT DOOR AND FRAME. 7. NEW EIFS WALL SYSTEM. 8. EIFS CORNICE. 9. EIFS WALL SYSTEM WITH 4" O.C. V-GROOVE REVEALS. 10. NOT USED. 11. DRIVE THRU WINDOW. 12. WALL MOUNTED LIGHT FIXTURE. 13. PAINT BOLLARD. 14. NOT USED. 15. ROOF LADDER, MOUNT DIRECTLY TO SHEATHING. PAINT "K" 16. BRICK VENEER. 17. BRICK ROWLOCK SILL. USE SOLID BRICK @ OUTSIDE CORNERS & JAMBS. REFER TO DETAIL 3/A2.1. 18. NOT USED. 19. ELECTRICAL EQUIPMENT. 20. GAS METER.

22. Co2 HOOKUP.23. COOLER/FREEZER. PRE-FINISHED TO MATCH PAINT "K".

25. PREFABRICATED SCUPPER. MATCH COLOR TO ADJACENT WALL COLOR. REFER TO DETAIL 7/A1.3.

21. GREASE OUTLET.

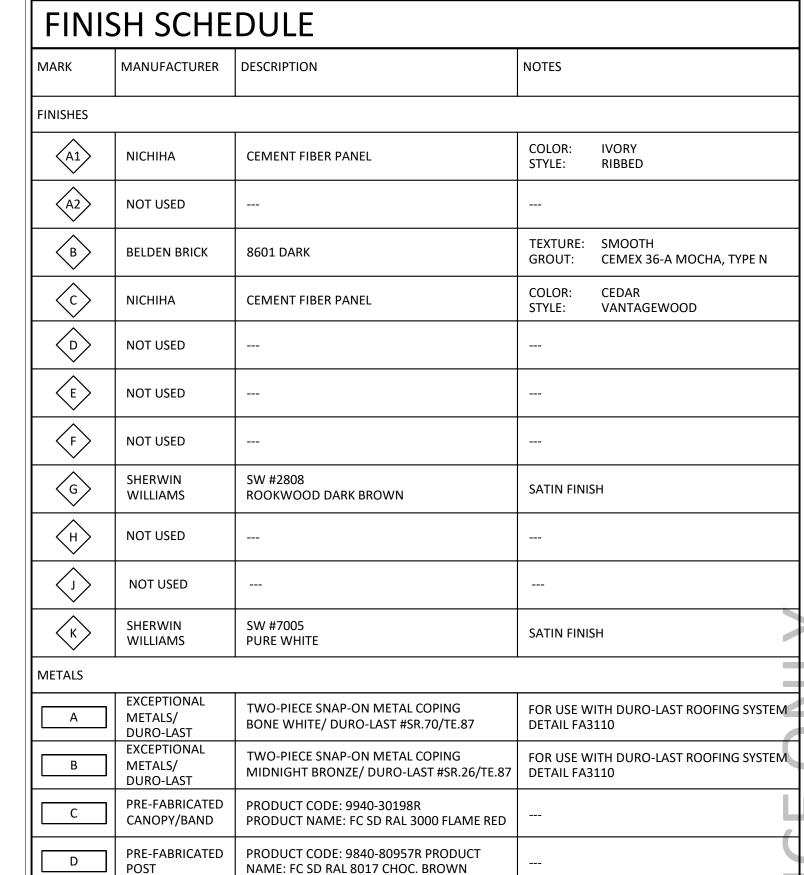
24. ALUMINUM STOREFRONT.

26. CONTINUE BRICK VENEER BEHIND ELECTRIC EQUIPMENT. COORDINATE SIZE WITH ELECTRICIAN. DO NOT INSTALL ROWLOCK BEHIND ELECTRICAL EQUIPMENT.

27. ARBY'S HAT SIGNAGE. MOUNT ON BRICK WALL. REFER TO SIGNAGE VENDOR'S DRAWINGS.

28. COORDINATE TURNBUCKLE LOCATION TO AVOID CLERESTORY WINDOW.

*DESIGN NOTE:
#28 IS ONLY USED IN HIGH PARAPET
OPTIONS. REVISE TO NOT USED IF REGULAR
PARAPET IS USED IN PROJECT.



A. PAINT ALL EXPOSED GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT PAINT ELECTRIC OR GAS SERVICE EQUIPMENT.

 ${\tt B.} \quad {\tt PROVIDE\ TEMPORARY\ MASKING\ OF\ EXPOSED\ STAINLESS\ STEEL\ DURING\ ACID\ WASHING\ OF\ MASONRY.}$

C. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS , SILLS, ETC.D. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT.

WATER REPELLENT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.

E. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.

F. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.

G. ALUMINUM STOREFRONT TO BE DARK BRONZE.

H. ALL GLAZING TO BE 1" INSULATED GLAZING.

BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.

J. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.

K. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.

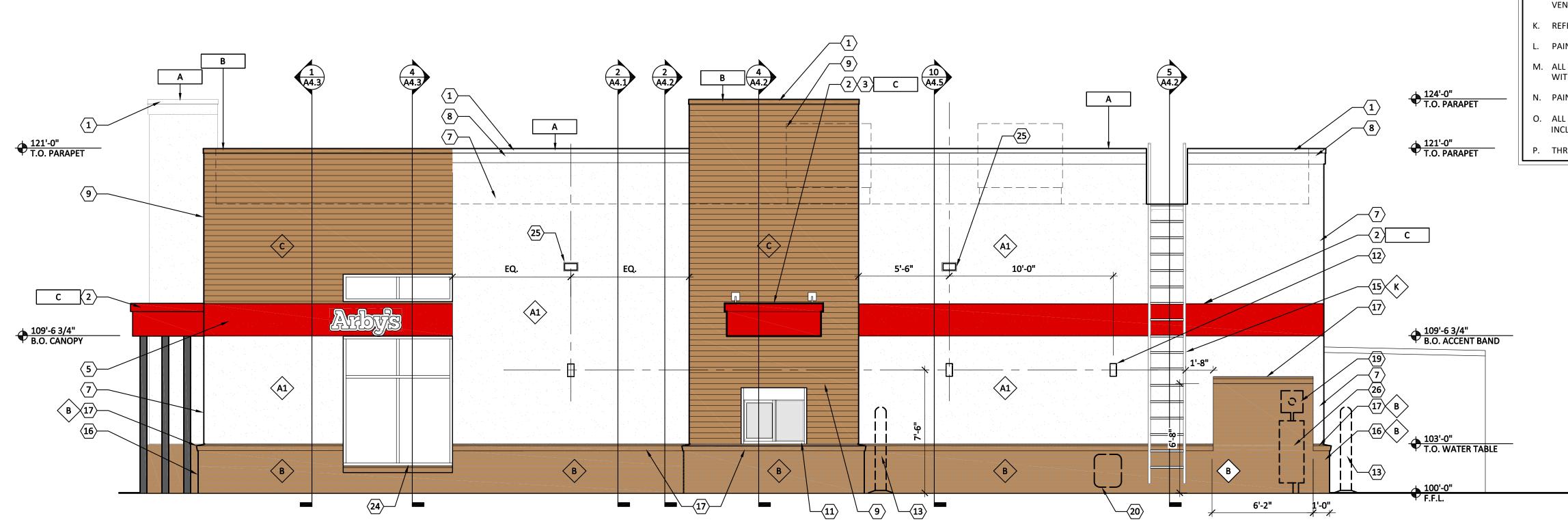
PAINT ALL EXPOSED BRICK LINTELS TO MATCH ADJACENT BRICK.

M. ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE READ OF CAULK CALLEK TO MATCH ADJACENT SURFACE

N. PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL.

ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH. U.N.O. (EXCEPTIONS

P. THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).



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"S RESTAURANT
ND PLAZA SHOPPING CENTER
JEE, ILLINOIS

PROJECT NUMBER: 2005

ISSUE DATE
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PERMIT
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REVISION

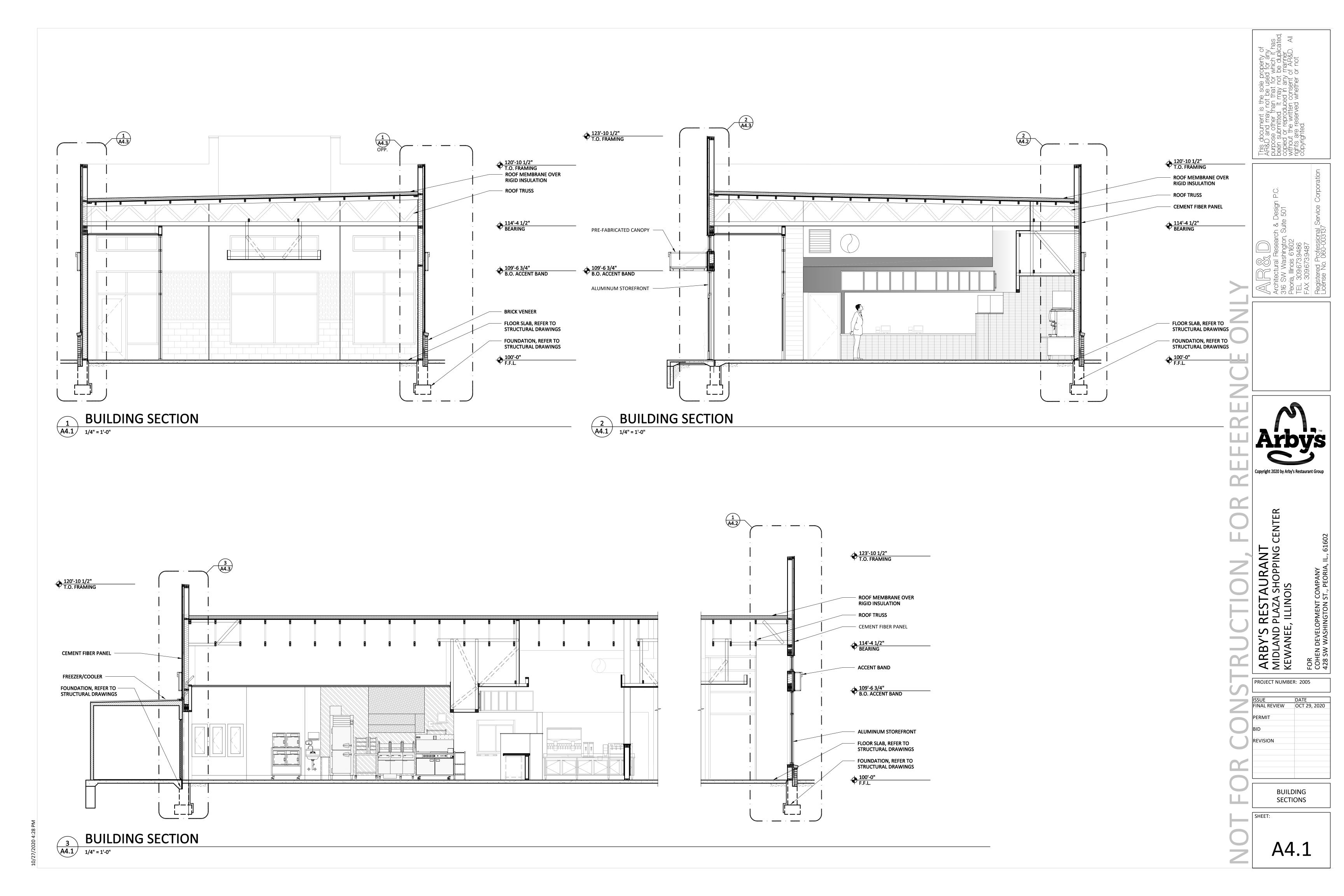
EXTERIOR ELEVATIONS

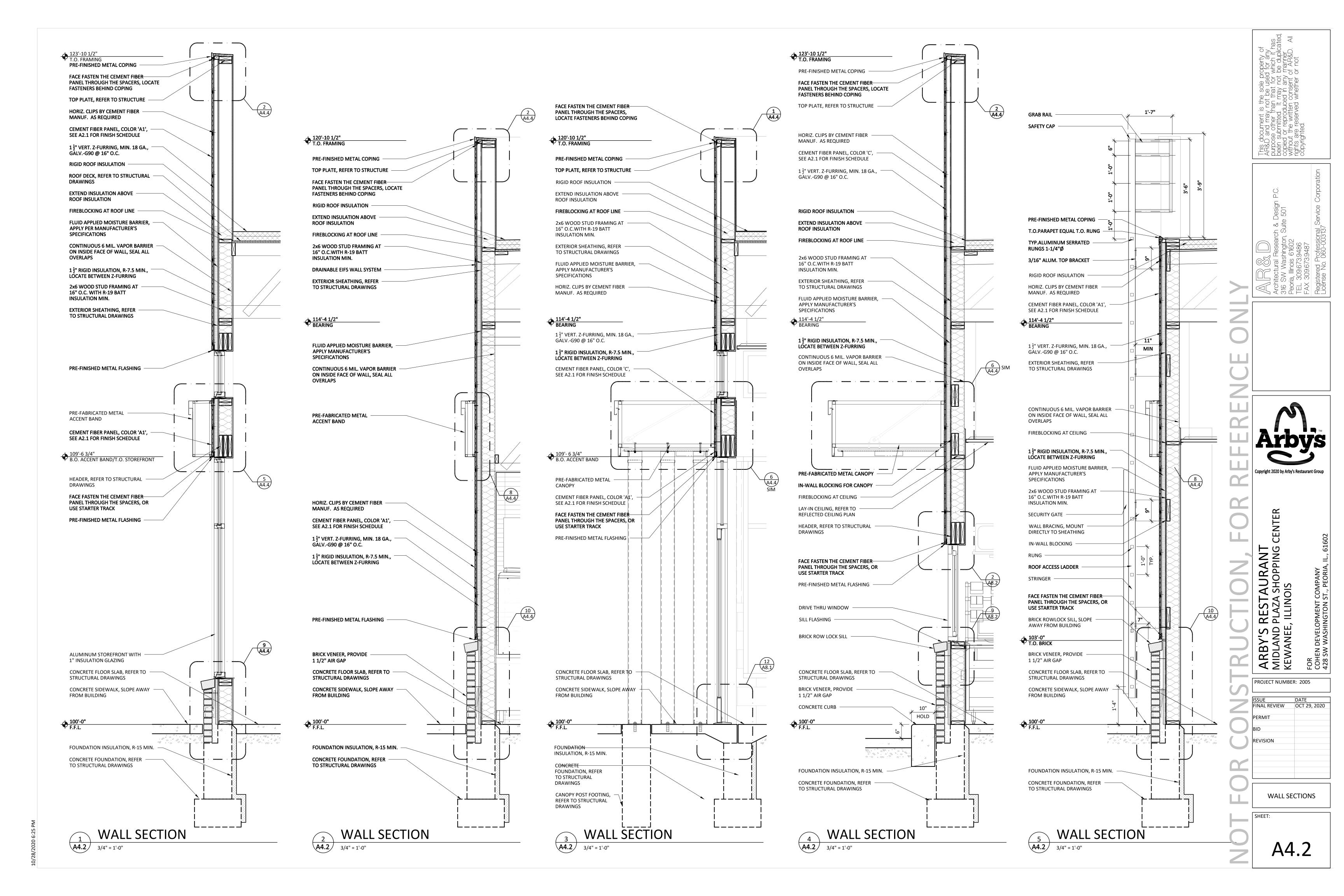
SHEET:

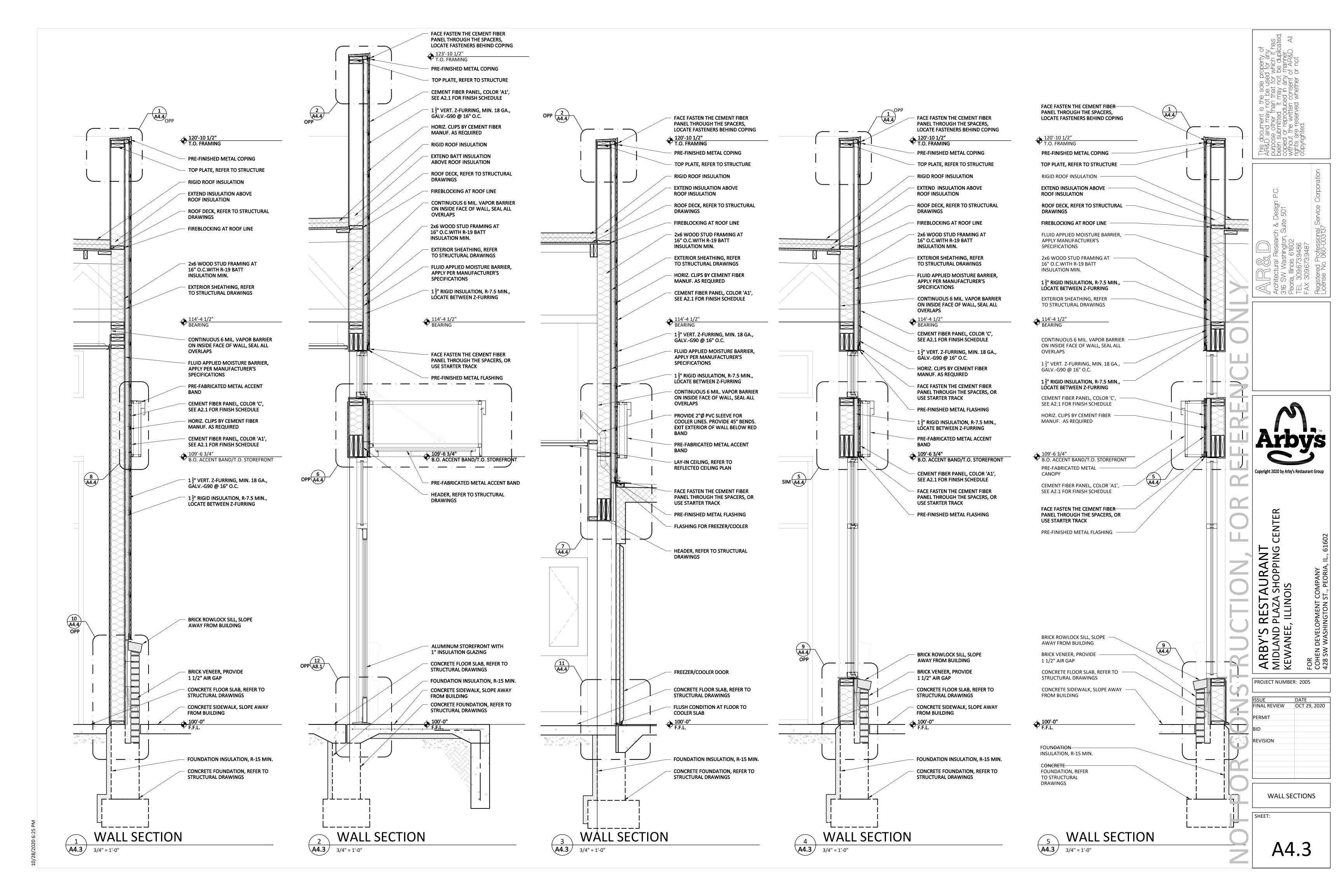
A2.2

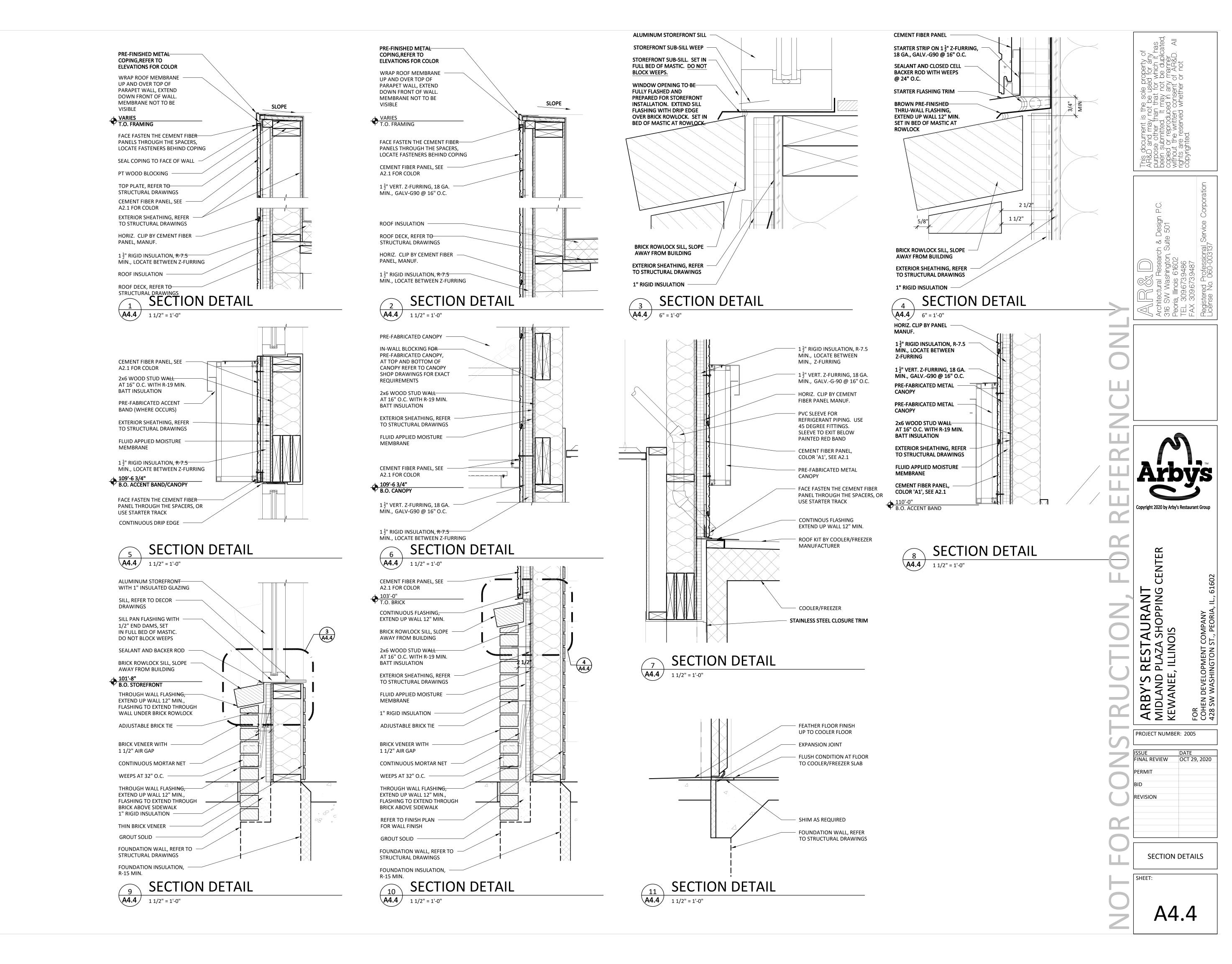
SIDE ELEVATION

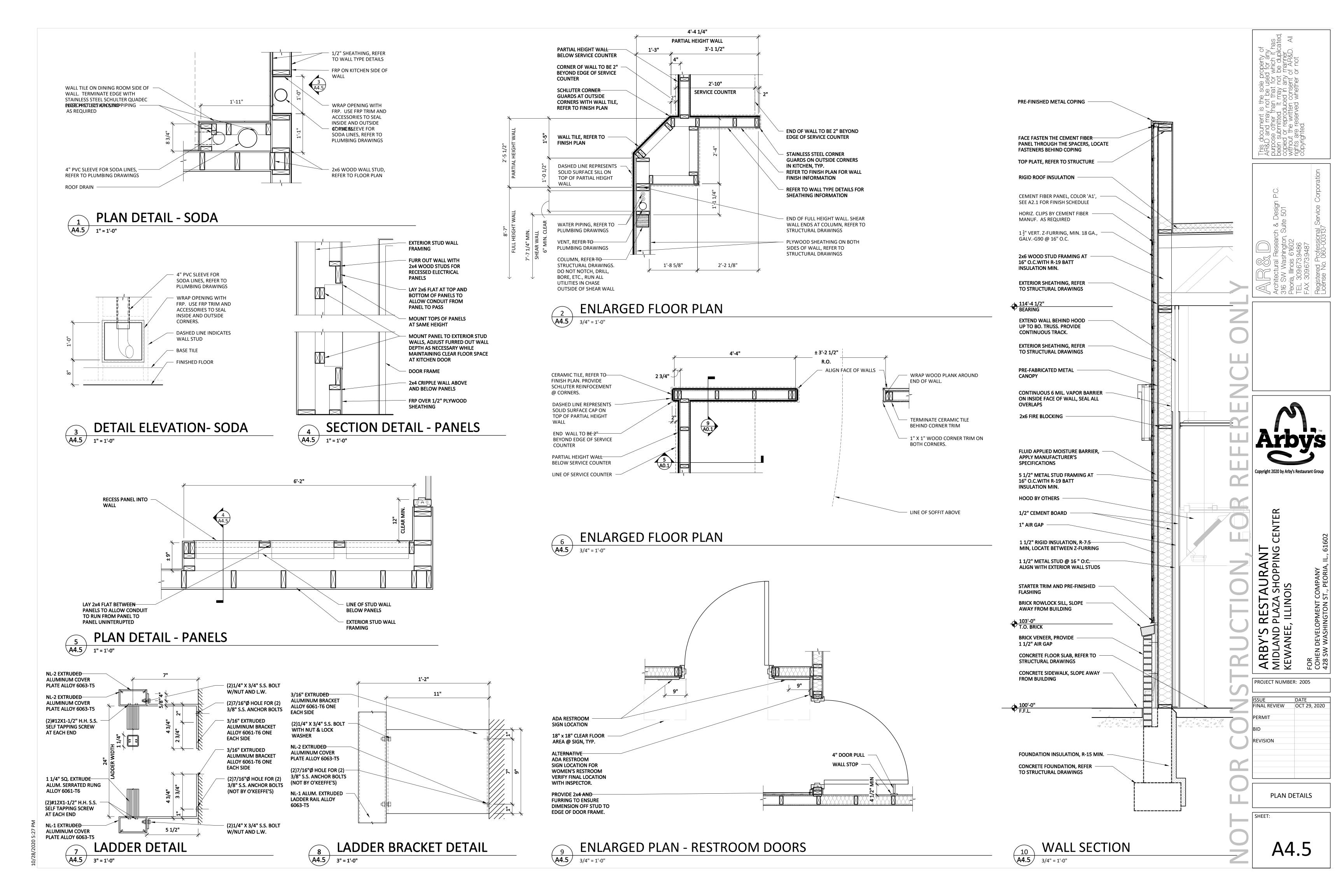
REAR ELEVATION

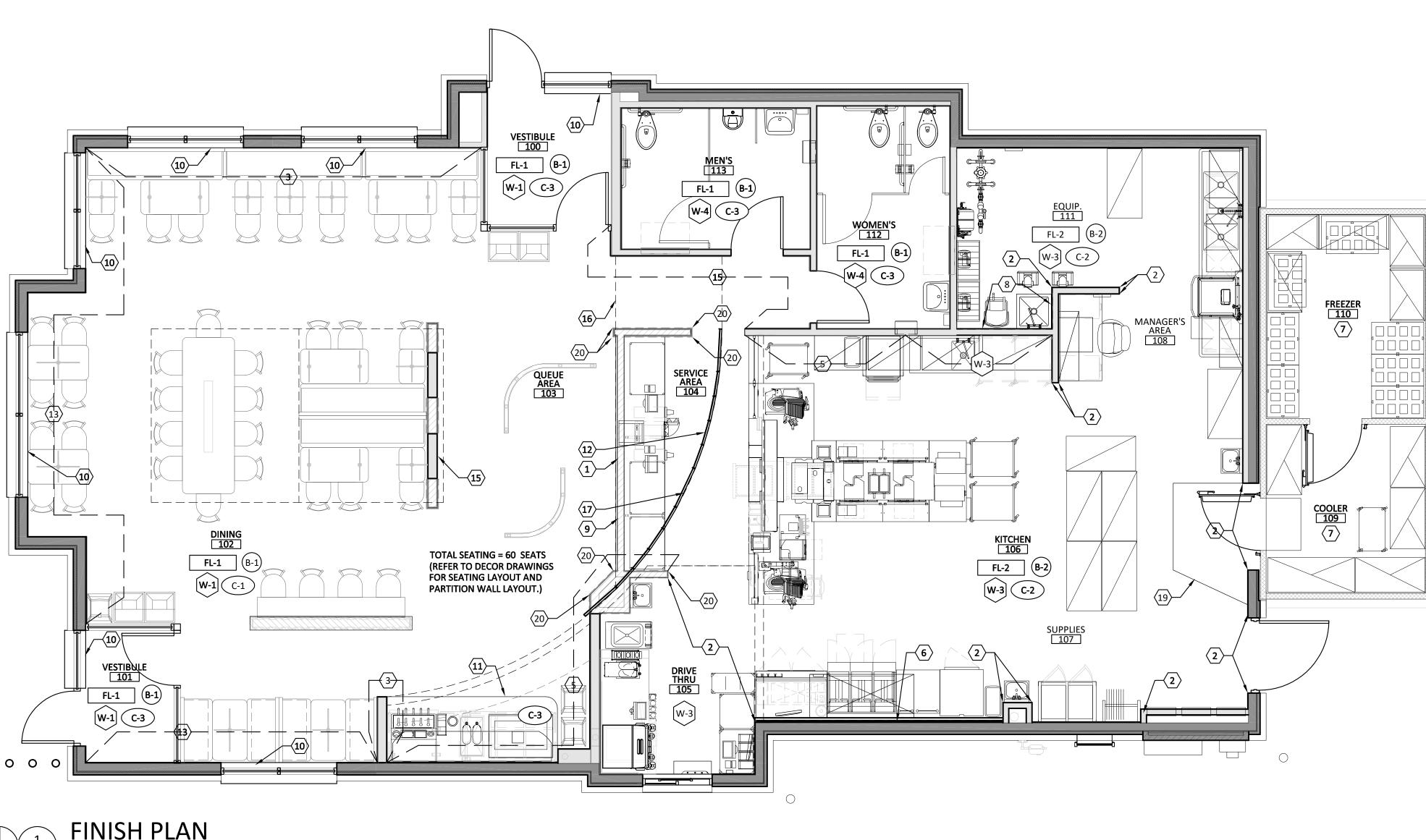












VERIFY NORTH ARROW DIRECTION WITH ACTUAL SITE CONDITIONS



SYMBOL LEGEND X CODED NOTE FL-X FLOOR FINISH TAG (SEE SCHEDULE ON THIS SHEET) B-X (SEE SCHEDULE ON THIS SHEET) W-X WALL FINISH TAG (SEE SCHEDULE ON THIS SHEET) CEILING FINISH TAG

(SEE SCHEDULE ON THIS SHEET)

CODED NOTES

- 1. ALIGN EDGE OF FLOOR TILE WITH LOW WALL.
- FULL HEIGHT STAINLESS STEEL CORNER GUARD.
- B. RED THIN BRICK WALL FINISH.
- . NOT USED.
- WHITE TILE WALL FINISH.
- HOOD EXTEND TO CORNERS. REFER TO FLOOR PLAN.

PROVIDE STAINLESS STEEL SHEET ON WALL BEHIND

- 7. INSULATED PRE-FABRICATED FLOORS WITHIN THE COOLER AND FREEZER.
- 8. PROVIDE 48" TALL STAINLESS STEEL PANEL ON WALL AT MOP SINK.
- 9. PROVIDE CERAMIC TILE ON CUSTOMER SIDE OF SERVICE COUNTER. REFER TO DECOR DRAWINGS FOR MATERIAL.
- 10. INSTALL CORIAN WINDOW SILLS FURNISHED BY KES. REFER TO DECOR DRAWINGS FOR MATERIAL.
- 11. BEVERAGE BAR PROVIDED AND INSTALLED BY OWNER. G.C. TO EXTEND FLOOR FINISH TO ADJACENT WALLS UNDER BEVERAGE BAR. INSTALL BASE TILE UNDER BEVERAGE BAR. INSTALL WALL TILE FROM TOP OF BASE TILE TO BOTTOM OF COUNTER.
- 12. MENU BOARD ABOVE.
- 13. WALL TILE UP TO 36" A.F.F. PROVIDE WALL VINYL UP TO T.O. WINDOW. PROVIDE WOOD TRIM AT MATERIAL TRANSITIONS.
- 14. NOT USED.
- 15. WOOD PLANK WALL FINISH.
- 16. GYP. BOARD SOFFIT, PAINTED RED.
- 17. GYP. BOARD BULKHEAD, PAINTED WHITE.
- 18. NOT USED.
- 19. FLOAT FLOOR UP TO WALK IN COOLER RAMP.
- 20. PROVIDE STAINLESS STEEL EDGE PROTECTION. REFER TO GENERAL NOTE Q.

MILLWORK GENERAL NOTES

- ALL.

 A. PREPARE AND SUBMIT G.C. APPROVED SHOP DRAWINGS
 FOR ALL ITEMS OF MILLWORK TO THE ARCHITECT FOR
 REVIEW.
 - 3. THE USE OF PARTICLE BOARD, HARDBOARD AND OTHER SIMILAR WOOD PRODUCTS IS PROHIBITED IN WET AREAS. USE 3/4" MARINE GRADE PLYWOOD IN THESE AREAS
 - . ALL WOOD BLOCKING PROVIDED SHALL BE OF FIRE-RETARDANT TREATED WOOD.
 - D. SPACING OF SUPPORT BRACKETS AND PROFILE FOR COUNTERTOPS SHALL BE INDICATED ON SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
 - ALL WALL MOUNTED ITEMS SHALL RECEIVE IN-WALL WOOD BLOCKING. COORDINATE LOCATIONS AND HEIGHTS PRIOR TO INSTALLATION.
 - F. SUB-CONTRACTOR SHALL FIELD VERIFY REQUIRED DIMENSIONS PRIOR TO FABRICATION.
 - G. INTERIOR ELEVATIONS AND DETAILS ARE FOR DESIGN INTENT ONLY. QUESTIONS CONCERNING DEVIATION FROM THE DESIGN INTENT SHALL BE PROVIDED TO THE ARCHITECT. SUB-CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
 - H. ALL CASEWORK TO RECEIVE PLASTIC LAMINATE ON ALL EXPOSED SURFACES. REFER TO DECOR DRAWINGS.
 - I. PROVIDE 4" BACKSPLASH AT ALL COUNTERTOP-TO-WALL TRANSITIONS.
 - J. WOOD BLOCKING FOR SHELVING SHALL BE STAGGERED BETWEEN EACH METAL STUD MIN. 4".
 - K. ANY GROMMET HOLES SHALL BE DRILLED BY THE CASEWORK FABRICATOR ONLY. COORDINATE LOCATION WITH OWNER.
 - . SEAL ALL MILLWORK TO ADJACENT SURFACES.

FINISH NOTES

- A. ALL GYP. BOARD TO BE 1/2" ABOVE FINISH FLOOR.
- B. WATER RESISTANT GYP. BOARD AT WET WALLS TO BE 4'-0" MIN. IN EACH DIRECTION.
- ALL UNDERSIDES OF GYP. BOARD SOFFITS AND HEADERS TO BE PAINTED "W-2" UNLESS OTHERWISE NOTED.
- . ALL WALLS SHALL RECEIVE (1) COAT OF PRIMER PAINT AND (2) COATS OF SPECIFIED PAINT, U.N.O. FINISH COAT TO BE APPLIED WITH A ROLLER.
- E. WALLS TO RECEIVE VINYL WALL COVERING SHALL RECEIVE (1) COAT OF WALLCOVERING PRIMER
- TRANSITION OF FLOOR MATERIAL TO OCCUR UNDER DOORS WHEN POSSIBLE.
- . SEE DOOR SCHEDULE SHEET A8.1 FOR DOOR HARDWARE INFORMATION.
- H. PROTECT ALL FINISHED FLOORING FROM DAMAGE THROUGHOUT CONSTRUCTION DURATION. COVER OR MASK SURFACES IN ACCORDANCE WITH SPECIFIC MANUFACTURER'S REQUIREMENTS.
- I. FLOORING CONTRACTOR TO REVIEW ALL INSTALLATION CONDITIONS WITH GENERAL CONTRACTOR BEFORE BEGINNING INSTALLATION.
- J. PREP FLOORS WITH THINSET AS REQUIRED TO CREATE A FLUSH TRANSITION BETWEEN FLOORING SURFACE MATERIALS. ALL THRESHOLDS TO MEET A.D.A. REQUIREMENTS.
- K. ALL SUBSTITUTES MUST BE APPROVED BY ARCHITECT AND BE OF EQUAL QUALITY.
- .. ALL INTERIOR WALL AND CEILING FINISHES TO COMPLY WITH STATE AND LOCAL CODE REQUIREMENTS FOR FLAME SPREAD AND SMOKE DEVELOPMENT RATING.
- M. ALL EXPOSED TRAPS, WATER LINES AND OTHER MISCELLANEOUS PLUMBING EQUIPMENT UNDER LAVATORIES SHALL BE COVERED OR PROTECTED.
- ALL RESTROOM WALLS TO RECEIVE SEMI-GLOSS EPOXY PAINT WHERE NO OTHER FINISH EXISTS.
- O. PROVIDE FRP ON WALLS WHERE INDICATED ON FLOOR PLANS, ELEVATIONS AND DETAILS. CONTINUOUSLY SEAL ALONG ALL JOINTS BETWEEN BASES AND PANELS. USE FRP ACCESSORIES FROM MANUFACTURER FOR COMPLETE INSTALLATION.

- P. INSTALL FRP FROM TOP OF WALL BASE TO 6" ABOVE CEILING.
- Q. PROVIDE STAINLESS STEEL SCHLUTER QUADEC EDGE PROTECTION STRIP AT 90 DEGREE OUTSIDE CORNERS AND STAINLESS STEEL SCHLUTER DECO-DE PROTECTION STRIP AT 135 DEGREE OUTSIDE CORNERS OF CERAMIC WALL TILE, REFER TO DECOR DRAWINGS.
- R. PROVIDE STAINLESS STEEL COVE BASE SCHLUTER DILEX AT FLOOR TILE TO WALL TILE TRANSITIONS IN RESTROOM.

S. ALL WALKING SURFACES TO HAVE SLIP RESISTANT

- SURFACE AND BE SECURELY ATTACHED TO SUB-FLOOR. CHANGES IN THE FLOOR ELEVATION SHALL NOT EXCEED 1/4". FLOOR FINISHES SHALL COMPLY WITH IBC SECTION 1003.4 AND ICC/ANSI 117.1.
- T. ALL INTERIOR FINISHES SHALL COMPLY WITH IBC SECTION 803 AND TABLE 803.5.
- U. SEE DECOR PACKAGE FOR EXTENT OF FINISHES AND BUILT-IN ITEMS ALL FLOOR GROUT TO BE EPOXY TYPE.V. DECOR DRAWINGS THAT CONTAIN SPECIFIC FINISH
- OWNER/FRANCHISEE.

 W. FOR ARMSTRONG STRATEGIC ACCOUNT PROGRAM PRICING, CONTACT LOUIS JOHN 877-276-7876, OPTION 8
- X. PROVIDE 1/2" PLYWOOD ON WALLS TO RECEIVE FRP.

INFORMATION WILL BE SUPPLIED BY THE

- Y. PROVIDE 1/2" CEMENT BOARD BEHIND TILE AND THIN BRICK VENEER.
- Z. EXPOSED PIPING ON WALL SHALL BE PAINTED TO MATCH WALL.
- AA. ALL INTERIOR CAULKING BY G.C.

EXTENSION 8326.

- AB. REFER TO INTERIOR ELEVATIONS FOR MORE INFORMATION.
- AC. REVIEW FINAL DECOR DRAWINGS FOR COORDINATION OF FINISHES. NOTIFY ARCHITECT IMMEDIATELY IF THERE ARE ANY DEVIATIONS.

FL-1	CERAMIC TILE	REFER TO DECOR DRAWINGS		
FL-2	QUARRY TILE	AMERICAN OLEAN SURE STEP; DOVETAIL OQ36		GROUT - CHARCOAL
BASE				-
B-1	CERAMIC TILE	REFER TO DECOR DRAWINGS		
B-2	QUARRY TILE	AMERICAN OLEAN SURE STEP; DOVETAIL OQ36		GROUT - CHARCOAL
WALLS				
W-1	WALL COVERING	REFER TO DECOR DRAWINGS		
W-2	PAINT	SHERWIN WILLIAMS WHITE SW 7005	EGGSHELL	
W-3	FRP	REFER TO DECOR DRAWINGS	PEBBLED	INSTALL WITH MFR. STANDARD ACCESSORIES AND TRIM
W-4	CERAMIC TILE	REFER TO DECOR DRAWINGS		
CEILINGS				
C-1	2' X 2' LAY-IN CLNG	REFER TO DECOR	24" X 24"	
C-2	VINYL FACED PANEL	U.S. GYPSUM VINYL FACED PANEL	24" X 48"	STIPPLE SHELL SQUARE EDGE
C-3	GYP. BOARD	REFER TO DECOR	1/2" THICK	HANG ON SUSPENDED GRID SYSTEM
		·		

MANUFACTURER/MODEL

SIZE/FINISH

NOTES

FINISH SCHEDULE

MARK

FLOORING

DOORS AND FRAMES

FRAMES

DOORS

HOLLOW METAL

PLASTIC

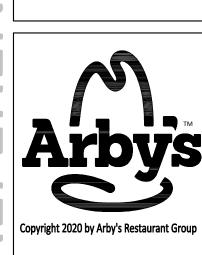
LAMINATE

PAINT

REFER TO DECOR DRAWINGS

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RBY'S RESTAURANT IDLAND PLAZA SHOPPING CENTER WANEE, ILLINOIS

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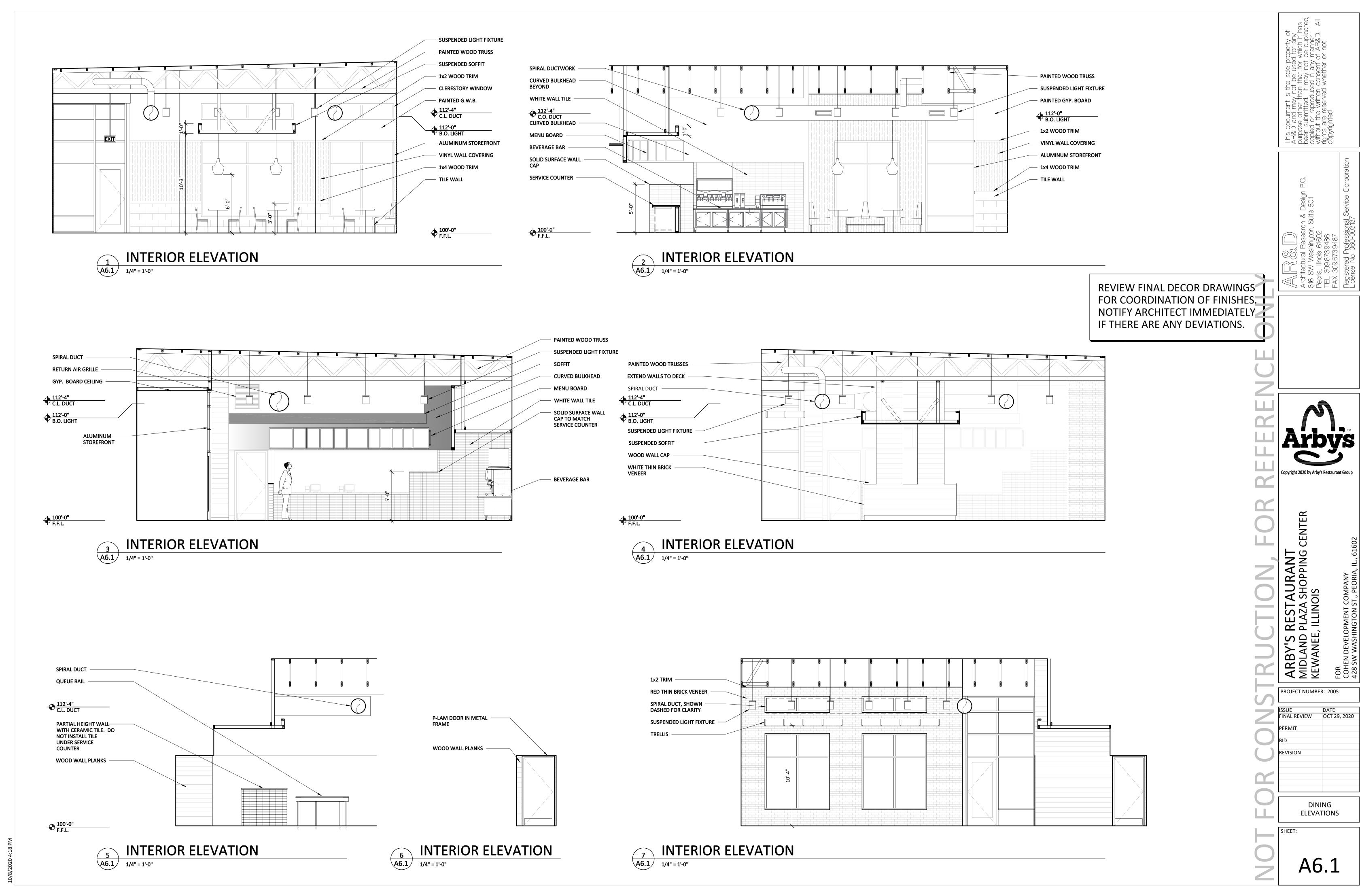
PROJECT NUMBER: 2005

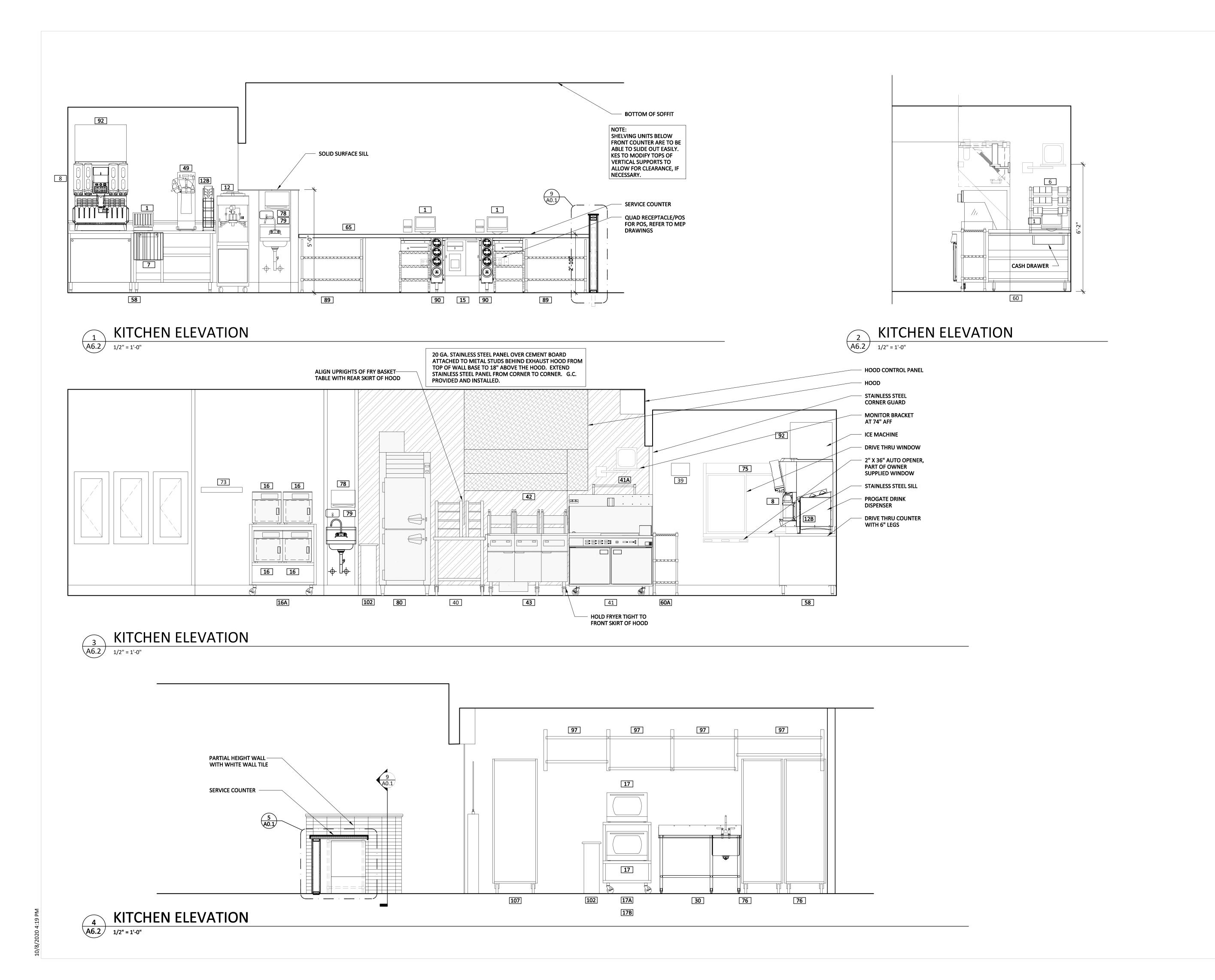
FINISH PLAN

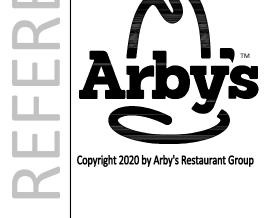
SHEET

REFER TO DECOR DRAWINGS

A5.1







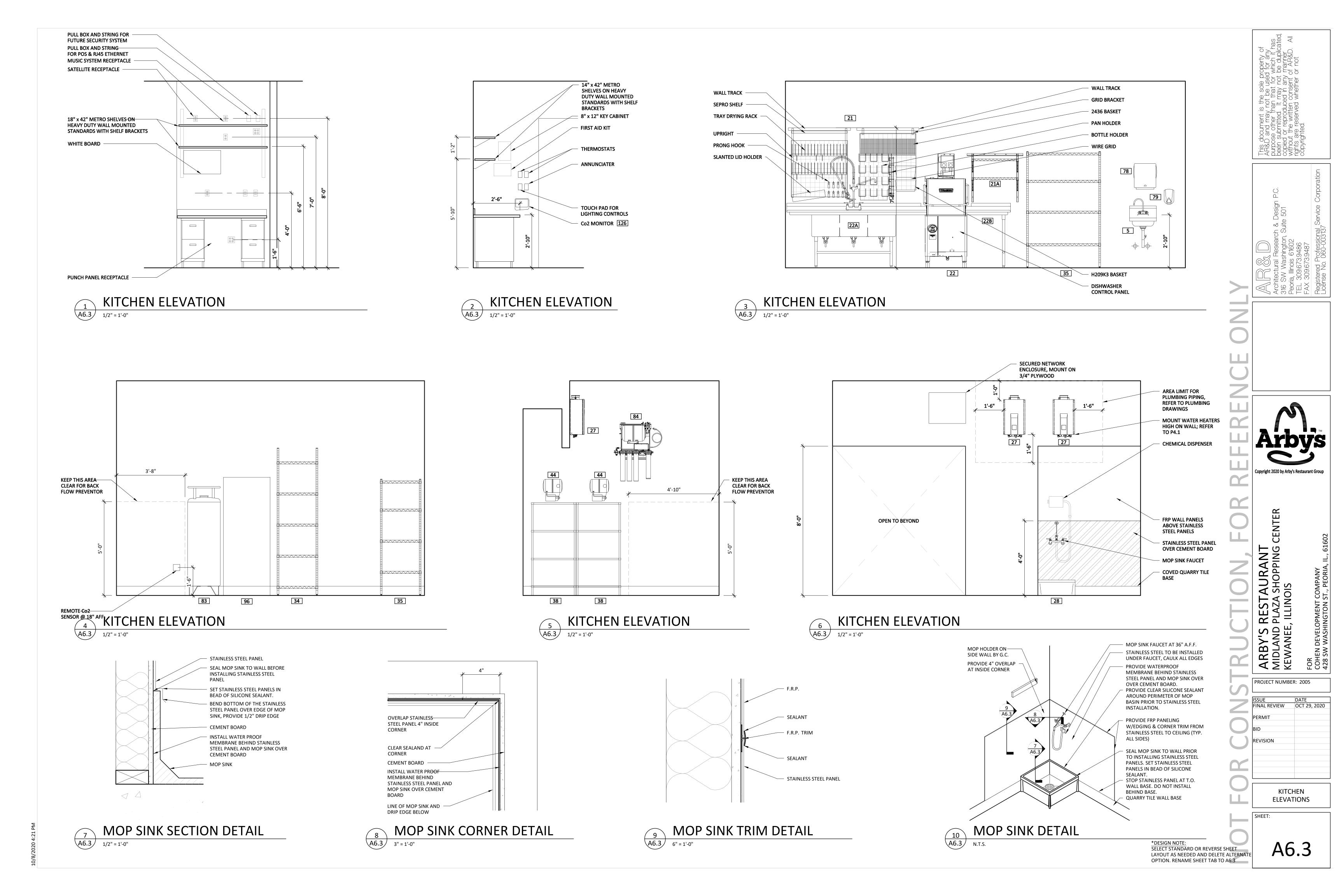
ARBY'S RESTAURANT MIDLAND PLAZA SHOPPING KEWANEE, ILLINOIS

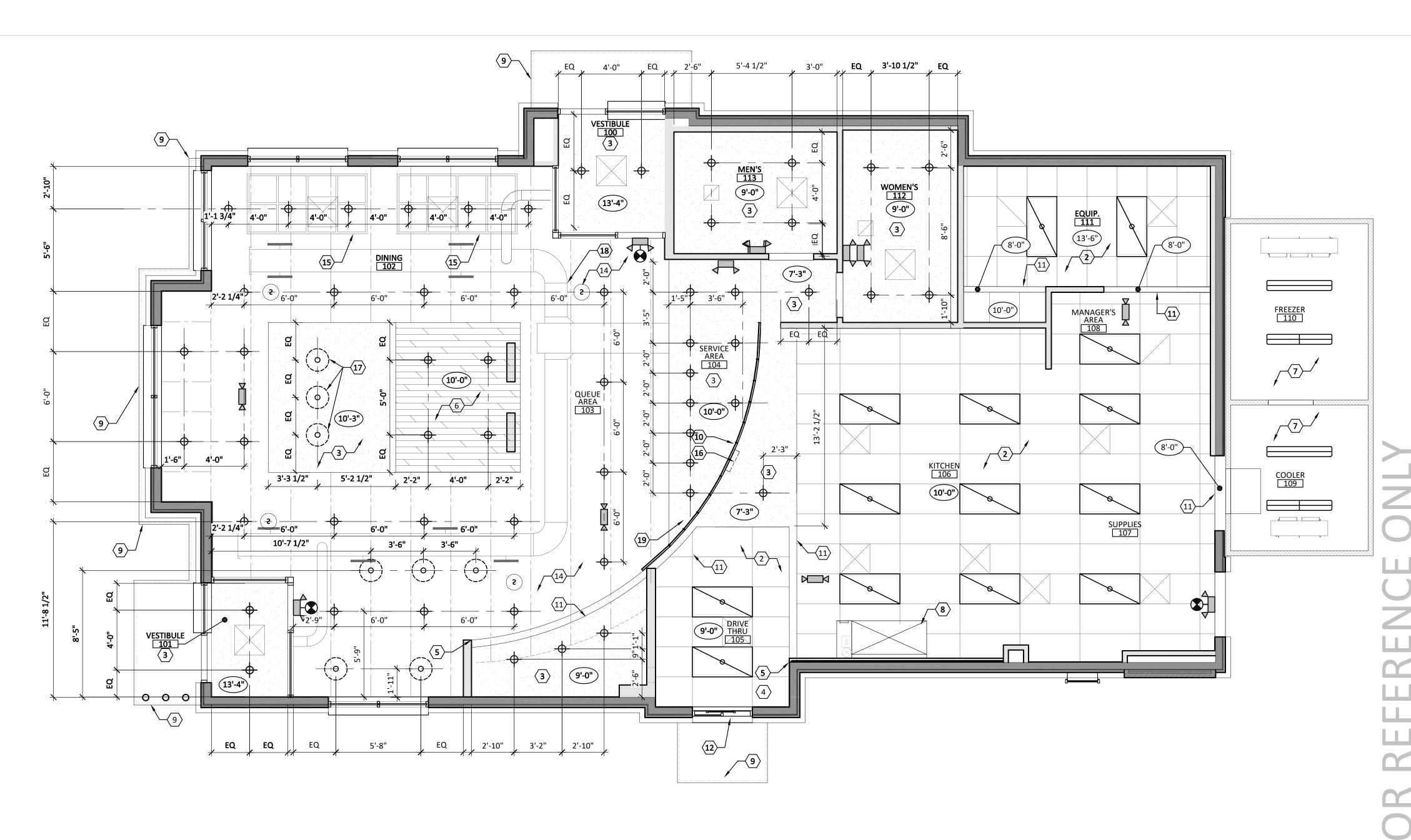
PROJECT NUMBER: 2005

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KITCHEN ELEVATIONS

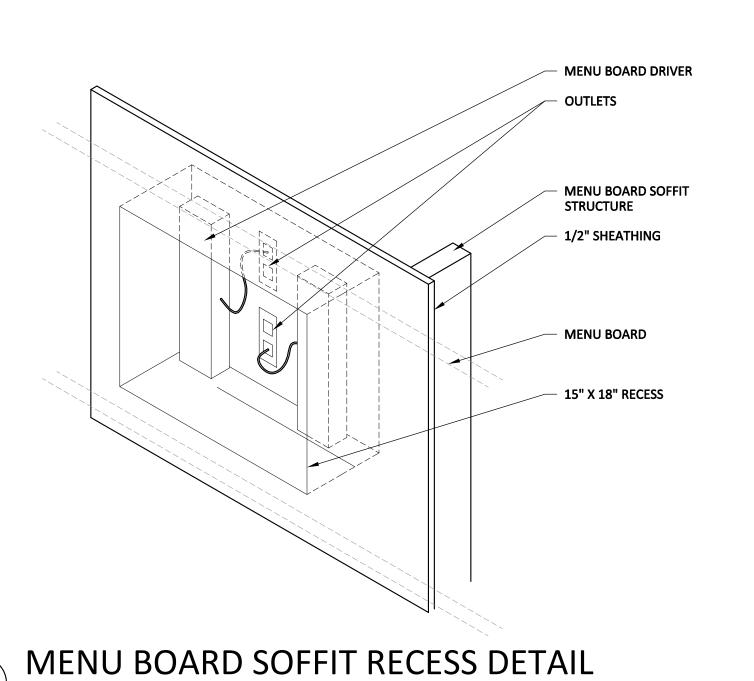
A6.2





VERIFY NORTH ARROW DIRECTION WITH ACTUAL SITE CONDITIONS

REFLECTED CEILING PLAN



RCP LEGEND						
	LAY-CEILING TILE AND GRID					
	GYPSUM BOARD CEILING					
	WOOD SOFFIT, REFER TO DECOR DRAWINGS					
Θ	EMERGENCY EXIT SIGN, CENTER ABOVE DOOR, TYP.					
4	EMERGENCY LIGHT, REFER TO ELECTRICAL DRAWINGS					
45	REMOTE HEAD, REFER TO ELECTRICAL DRAWINGS					
	LAY-IN FLUORESCENT LIGHTING FIXTURE, REFER TO ELECTRICAL DRAWINGS					
+	RECESSED LIGHTING FIXTURE, REFER TO ELECTRICAL DRAWINGS					
Q	WALL MOUNTED LIGHTING FIXTURE, REFER TO ELECTRICAL DRAWINGS					
(6)	PENDANT MOUNTED LIGHTING FIXTURE, REFER TO ELECTRICAL DRAWINGS					
S	SPEAKER, REFER TO ELECTRICAL DRAWINGS					
X	SUPPLY AIR DIFFUSER, REFER TO MECHANICAL DRAWINGS					
	RETURN AIR GRILLE, REFER TO MECHANICAL DRAWINGS					
	EXHAUST FAN, REFER TO MECHANICAL DRAWINGS					

CODED NOTES \bigcirc

- SUSPENDED ACOUSTICAL CEILING TILE. REFER TO FINISH SCHEDULE ON SHEET A5.1 FOR SPECIFICATION.
- SUSPENDED VINYL FACED CEILING TILE. REFER TO FINISH SCHEDULE ON SHEET A5.1 FOR SPECIFICATION.
- 3. GYP. BOARD CEILING, REFER TO DECOR DRAWINGS.
- 4. SEE ELECTRICAL DRAWINGS FOR EXACT LOCATIONS OF MONITORS.
- 5. ALIGN EDGE OF SOFFIT WITH CORNER OF WALL.
- 6. WOOD PLANK SOFFIT, REFER TO DECOR DRAWINGS.
- COOLER/FREEZER LIGHT FIXTURES PROVIDED BY OWNER AS PART OF COOLER/FREEZER PACKAGE, INSTALLED BY G.C.
- 8. EXHAUST HOOD WITH VAPOR PROOF LIGHTS PROVIDED BY HOOD MFR. REFER TO HOOD DRAWINGS.
- NEW CANOPY/ACCENT BAND.
- 10. MENU BOARD FURNISHED BY OWNER AND INSTALLED BY G.C. MOUNT BELOW SOFFIT.
- 11. BULKHEAD.
- 12. CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
- 13. SPEAKER WITH ADJUSTABLE VOLUME. CONCEAL ALL WIRING ABOVE CEILING.
- 14. OPEN TO DECK. EXPOSED TRUSSES.

DECOR DRAWINGS.

15. COORDINATE LOCATION OF TRELLIS WITH LIGHT. LIGHT FIXTURE TO

BE CENTERED IN TILE. REFER TO DECOR DRAWINGS.

- 16. PROVIDE 18" WIDE x 15" TALL RECESS BEHIND MENUBOARD. REFER
- TO DETAIL 2/A7.1. 17. ALIGN PENDANT FIXTURES OVER COMMUNAL TABLE, REFER TO
- 18. SPIRAL DUCT, REFER TO MECHANICAL DRAWINGS.

RCP GENERAL NOTES

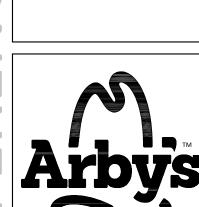
- CENTER ACOUSTIC CEILING SYSTEM GRID WITHIN EACH ROOM UNLESS NOTED OTHERWISE.
- SEE MECHANICAL AND ELECTRICAL SHEETS FOR HVAC DEVICE AND LIGHT FIXTURE LOCATIONS.

MATERIALS IN PLENUM SPACES SHALL BE

- EXPOSED INSULATION TO HAVE A FLAME SPREAD RATING
- OF 25 OR LESS & A SMOKE DEVELOPMENT RATING OF 450 OR LESS PER IBC 719.3
- CONCEALED INSULATION TO HAVE A FLAME SPREAD RATING OF 25 OR LESS & A SMOKE DEVELOPMENT RATING OF 450 OR LESS PER IBC 719.2
- OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 50 PER IMC 602.2.1. STUD CONTRACTOR TO COORDINATE FRAMING AROUND

NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX

- HVAC DUCTS, PIPES, CONDUITS AND OTHER ITEMS LOCATED ABOVE FINISHED CEILING
- . SEE ELECTRICAL DRAWINGS FOR SWITCHING AND CIRCUIT INFORMATION.
- REFER TO THE DECOR DRAWINGS PRIOR TO FRAMING THE BULKHEAD OVER THE SEATING AREA. DIMENSIONS ARE SUBJECT TO CHANGE BASED ON SEATING LAYOUT.
- ALL EDGE TRACKS OF FRP WALLS ARE TO BE SEALED TO WALL AND ALL CEILING TILE PENETRATIONS TO HAVE TRIM ALONG EDGES, TYPICAL THROUGHOUT.
- REFER TO DECOR DRAWINGS FOR ALL DECORATIVE LIGHTING LOCATIONS AND DECORATIVE CEILING TREATMENTS. G.C. IS TO CONFIRM WITH OWNER IF THESE ITEMS ARE PROVIDED BY OWNER.
- REFER TO SHEET A7.2 FOR DUCTWORK LAYOUT, SOFFIT DIMENSIONS AND CANOPY SIZES.



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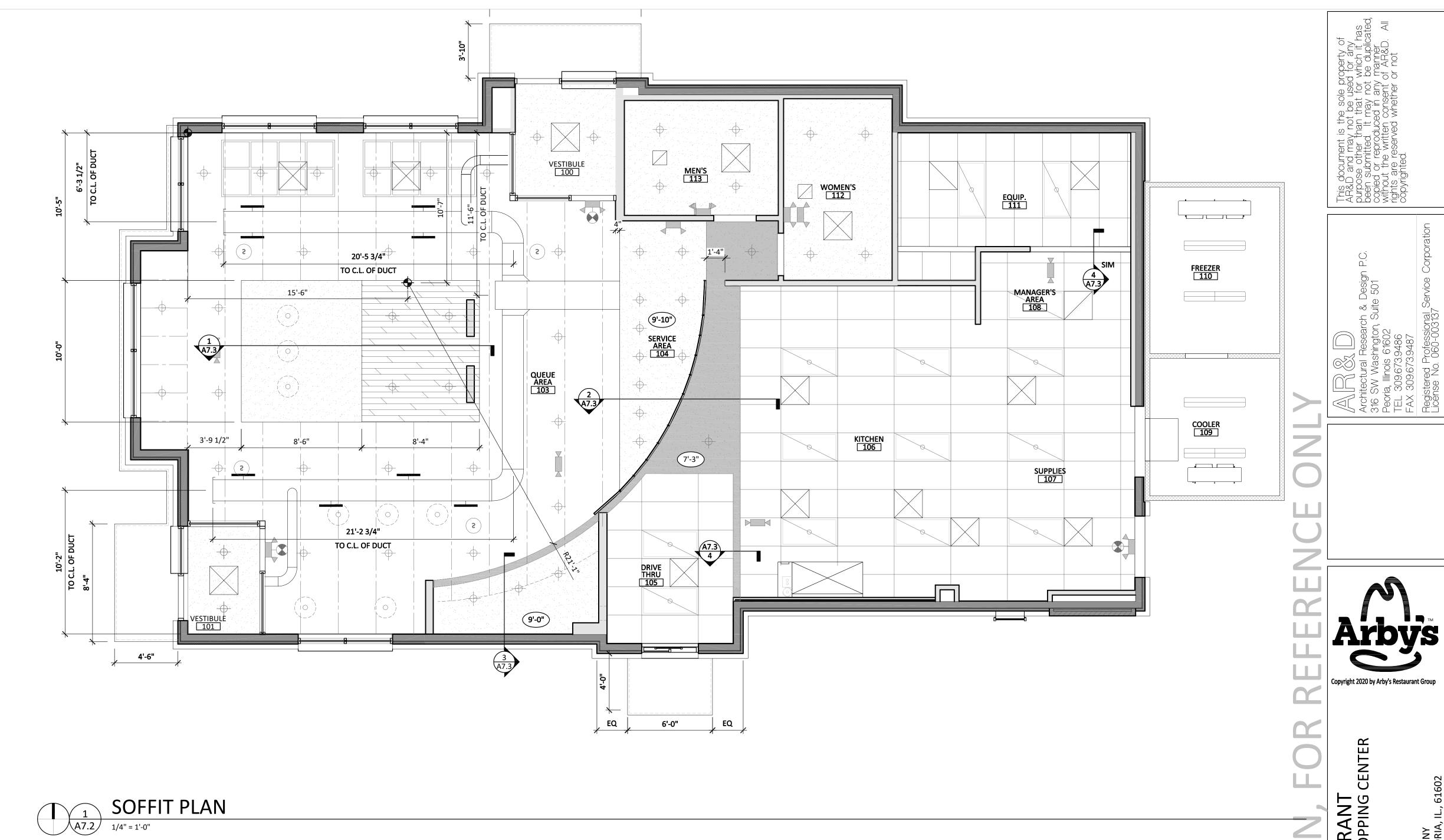
RESTAURANT
PLAZA SHOPPING (E, ILLINOIS

PROJECT NUMB	SER: 2005
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FINAL REVIEW	OCT 29, 202
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BID	

REFLECTED **CEILING PLAN**

SHEET:

A7.1





A. ACCENT BAND AND CANOPIES ARE SHOWN FOR REFERENCE ONLY. REFER TO SIGNAGE SHOP DRAWINGS FOR EXACT SIZE AND LOCATION.

ACCENT BAND AND CANOPIES SHALL BE PERMITTED UNDER SEPARATE COVER BY SIGNAGE VENDOR.

ARBY'S RESTAURANT
MIDLAND PLAZA SHOPPING CENTER
KEWANEE, ILLINOIS

PROJECT NUMBER: 2005

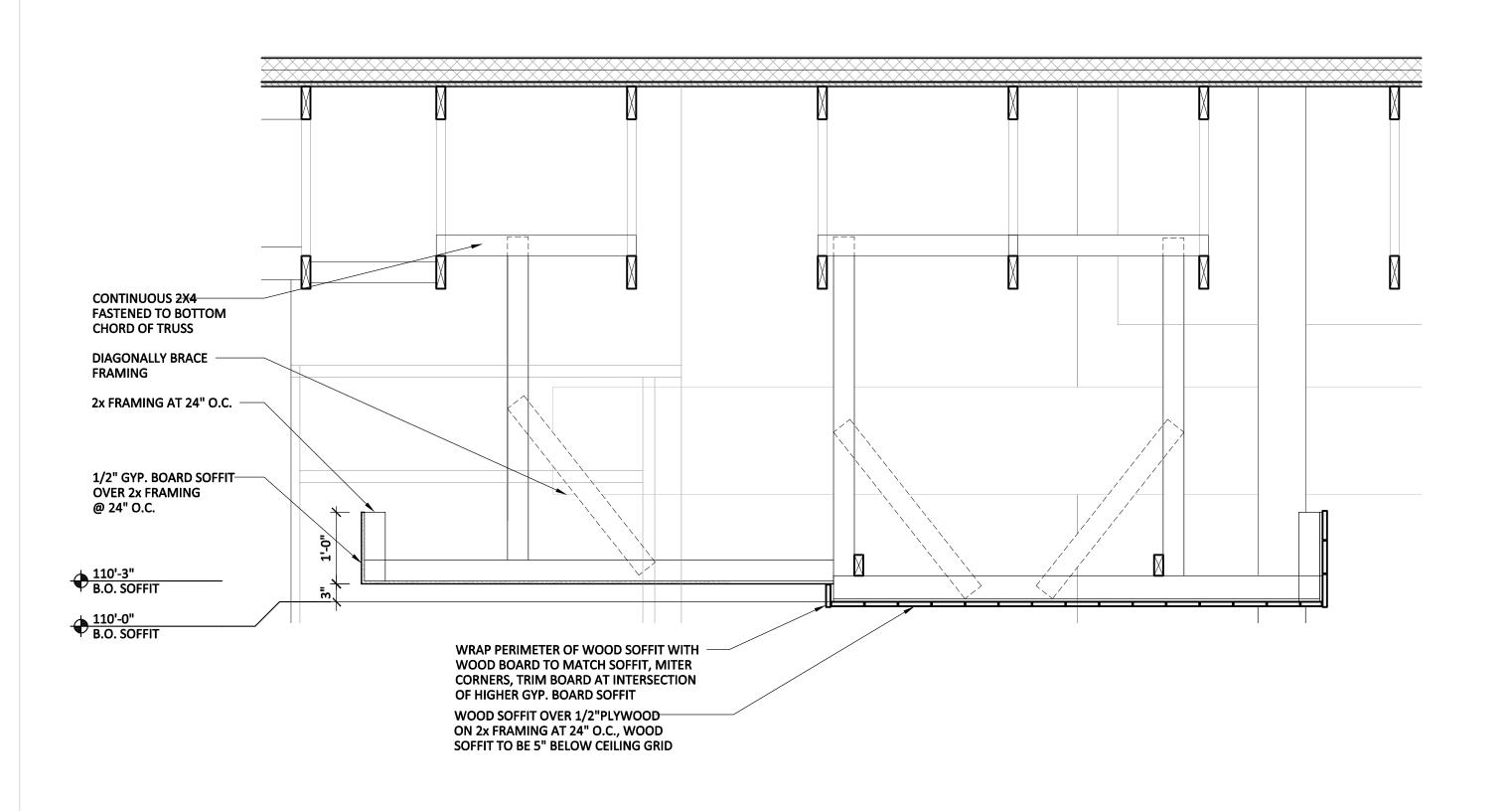
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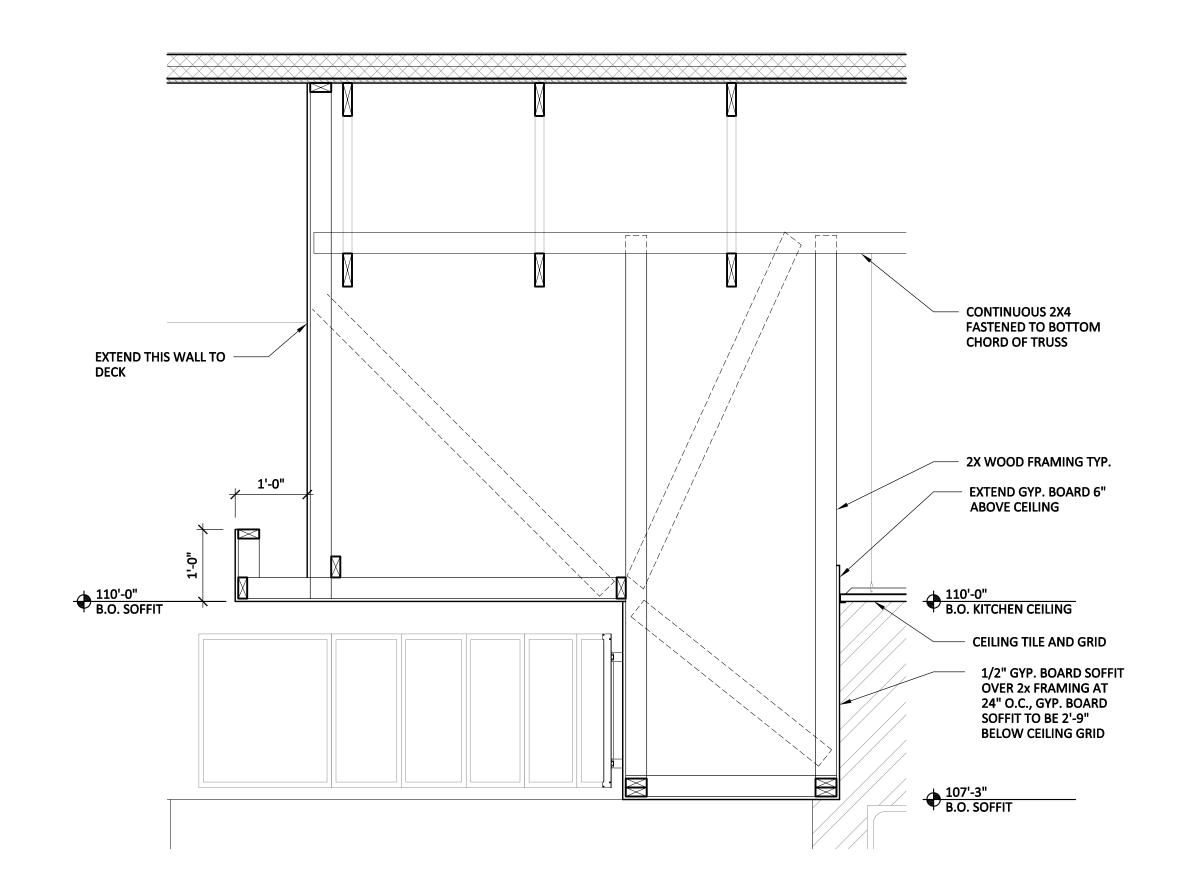
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REVISION

SOFFIT AND DUCTWORK PLAN

HEET:

A7.2

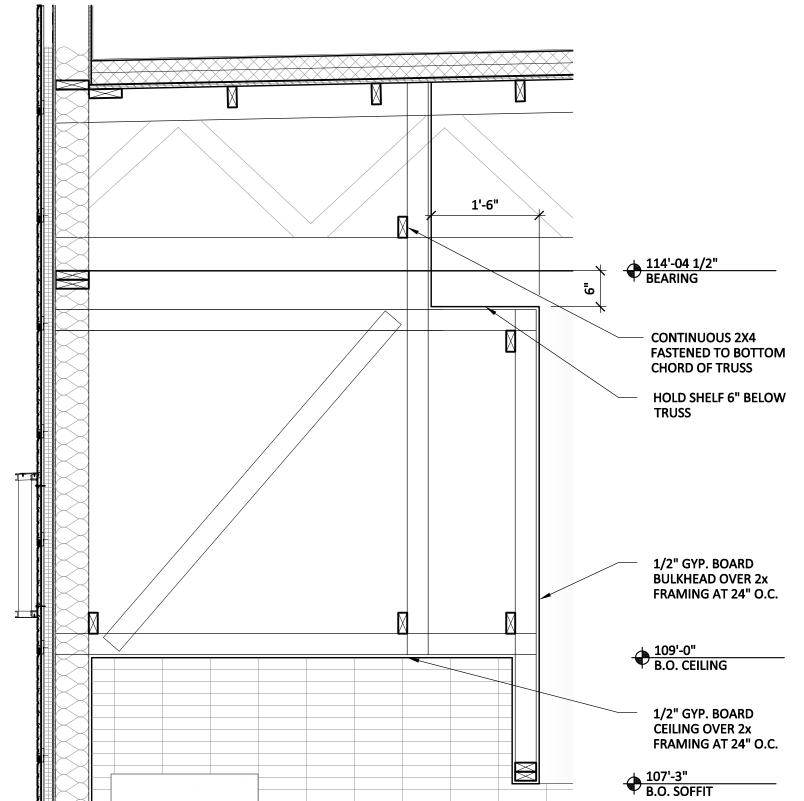




SECTION DETAIL - SOFFIT

A7.3 3/4" = 1'-0"

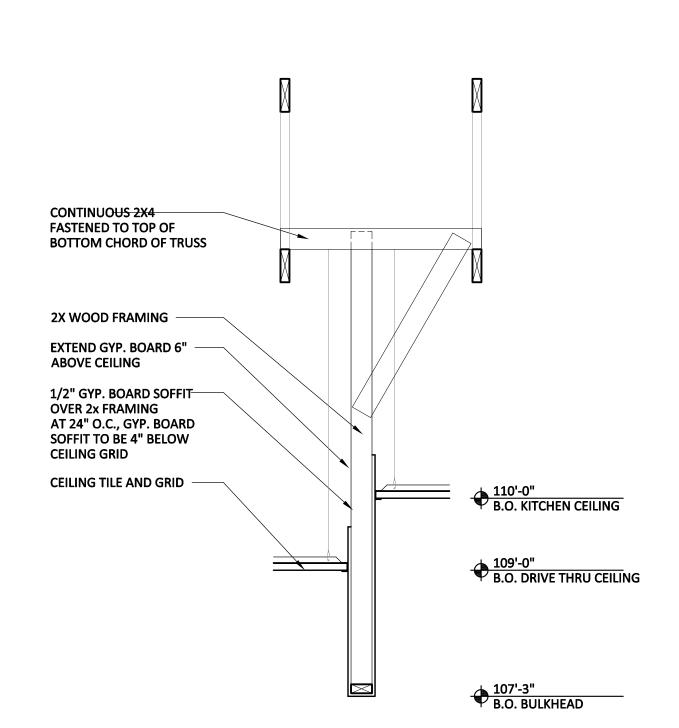
SECTION DETAIL - SOFFIT 1 SECT | A7.3 3/4" = 1'-0"



SECTION DETAIL - SOFFIT

3 SECI A7.3 3/4" = 1'-0"

SECTION DETAIL - SOFFIT 4 SECI A7.3 3/4" = 1'-0"



ARBY'S RESTAURANT MIDLAND PLAZA SHOPPING CKEWANEE, ILLINOIS

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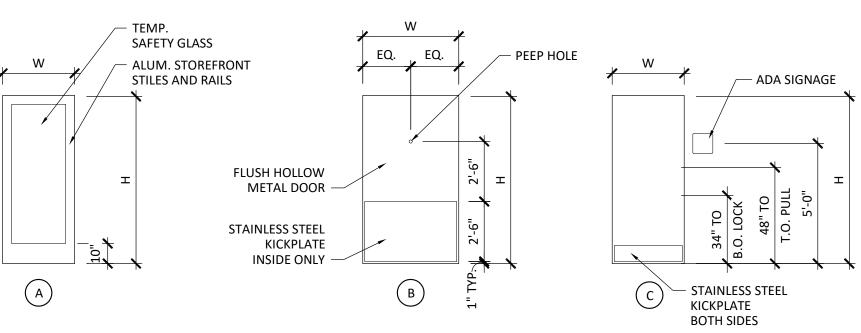
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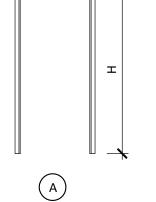
ISSUE DATE
FINAL REVIEW OCT 29, 2020

CEILING DETAILS

A7.3

*DESIGN NOTE:
SELECT REGULAR OR HIGH SHEET LAYOUT AS NEEDED AND DELETE ALTERNATE OPTION.
RENAME SHEET TAB TO A7.3







REFER TO STOREFRONT EL

REFER TO STOREFRONT ELE

REFER TO STOREFRONT EL

REFER TO STOREFRONT ELEV

REFER TO EXTERIOR ELEV

REFER TO DECOR DRAWING

REFER TO DECOR DRAWIN

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CENTE

RESTAURANT

PLAZA SHOPPING (E., ILLINOIS)

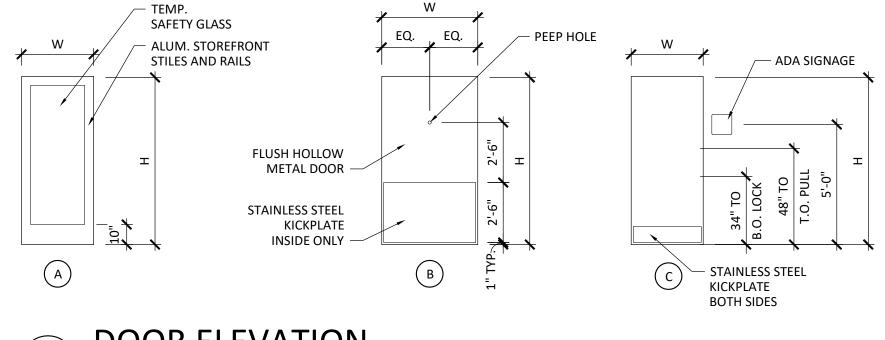
PROJECT NUMBER: 2005

FINAL REVIEW OCT 29, 2020

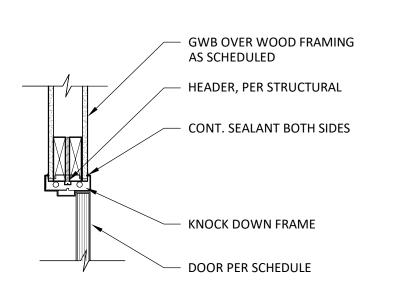
A8.1

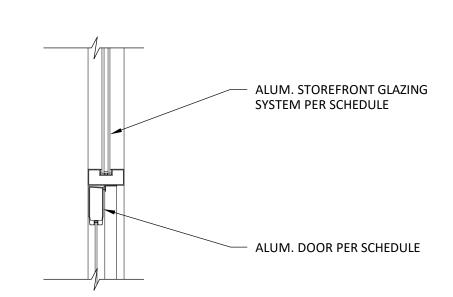
DOOR AND HARDWARE

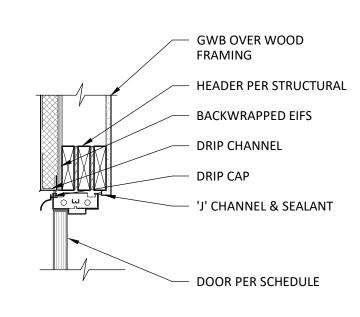
SCHEDULE







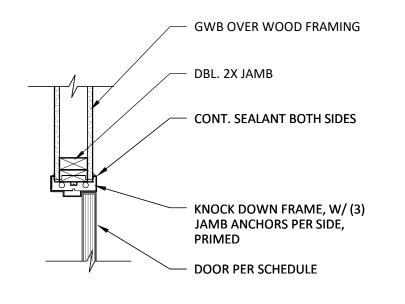


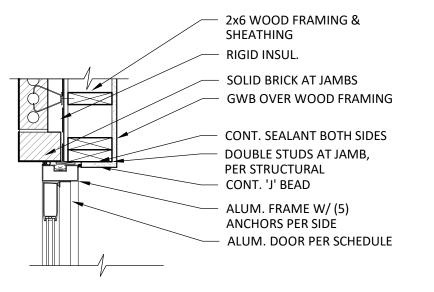


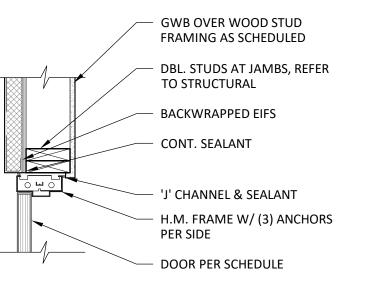






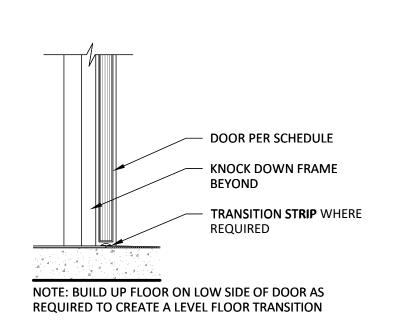


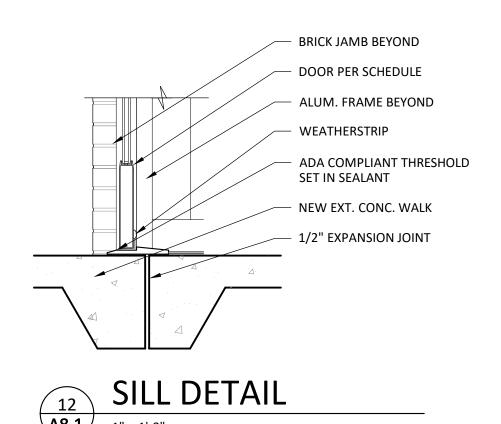


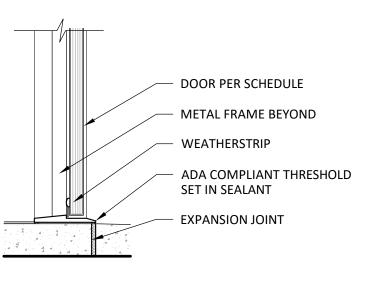




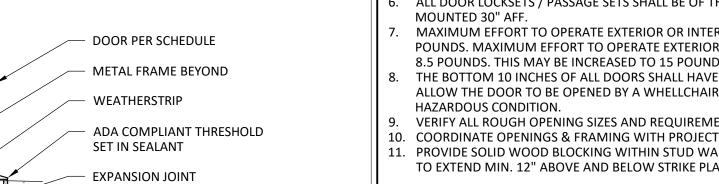
















1.	ALL EXTERIOR ALUMINUM DOOR FRAMES TO BE PROVIDED AS PART OF THE STOREFRONT SYSTEM.
	PROVIDE DOOR MANUFACTURER'S STANDARD REINFORCING AT VERTICAL/HORIZONTAL MEMBERS TO
	MEET CODE REQUIRED WIND LOADS.
2	THE EYTEDIOD SIDE OF ALL HOLLOW METAL DOOD EDAMES AND DOODS TO BE DAINTED TO MATCH

THE EXTERIOR SIDE OF ALL HOLLOW METAL DOOR FRAMES AND DOORS TO BE PAINTED TO MATCH ALL HOLLOW METAL DOOR FRAMES SHALL BE 16 GA. WITH ALL HOLLOW METAL DOORS @ 18 GA.

ALUMINUM

DOOR AND FRAME SCHEDULE

3'-0" x 7'-0" x 1 3/4"

4'-0" x 7'-0" x 1 3/4"

3'-0" x 7'-0" x 1 3/4"

3'-0" x 7'-0" x 1 3/4"

ALUM

ALUM

SCWD

SCWD

SET 3

DK. BRZ. 1A/A8.1

DK. BRZ. 1A/A8.1

DK. BRZ. 1A/A8.1

1C/A8.1

PTD

PLAM

PLAM

NO.

100A

100B

101A

101B

106

112

113

SET 1

SET 2

LOCATION

VESTIBULE

VESTIBULE

VESTIBULE

VESTIBULE

WOMEN'S RESTROOM

MEN'S RESTROOM

1 DOR-0-MATIC EXIT DEVICE 1993 26D

1 SCHLAGE RIM CYLINDER 20-022 626

1 IVES FLOOR STOP FS444 26D

1 HAGER THRESHOLD 4185 AL

1 HAGER WEATHERSTRIP 736S

1 HAGER WEATHERSTRIP 736S

1 HAGER SWEEP 7535 AL

1 IVES WALL STOP FS438 26D

1 HAGER SWEEP 7535 AL

HARDWARE SCHEDULE

1 HAGER CONTINUOUS HINGE - MATCH DOOR FINISH

1 LCN DOOR CLOSER 1371-REG-AL (TOP JAMB MOUNT)

1 HAGER CONTINUOUS HINGE - MATCH DOOR FINISH

1 LCN DOOR CLOSER 1371-REG-AL (TOP JAMB MOUNT)

1 IVES PULL-PUSH BAR 9103EZ-33-12-32D-NO

FRAME PROFILE

ALL EXTERIOR HOLLOW METAL DOOR FRAMES ARE TO BE GROUTED SOLID. COAT INTERIOR OF FRAME WITH SUNNY COAT EMULSION PRIOR TO GROUTING. PROVIDE RUST INHIBITOR COATING AND STAINLESS STEEL SCREWS/FASTENERS ON ALL HARDWARE

ITEMS PER MANUFACTURER'S SPECIFICATIONS. ALL DOOR LOCKSETS / PASSAGE SETS SHALL BE OF THE LEVER HANDLE TYPE. HARDWARE SHALL BE

POUNDS. MAXIMUM EFFORT TO OPERATE EXTERIOR HINGED DOORS WITH CLOSERS SHALL NOT EXCEED 8.5 POUNDS. THIS MAY BE INCREASED TO 15 POUNDS FOR FIRE-RATED DOORS.

THE BOTTOM 10 INCHES OF ALL DOORS SHALL HAVE A SMOOTH AND UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHELLCHAIR FOOTREST WITHOUT CREATING A TRAP OR

VERIFY ALL ROUGH OPENING SIZES AND REQUIREMENTS WITH DOOR MANUFACTURER

10. COORDINATE OPENINGS & FRAMING WITH PROJECT MANAGER BEFORE INSTALLATION OF DOORS. 11. PROVIDE SOLID WOOD BLOCKING WITHIN STUD WALL FRAMING ADJACENT TO STRIKE PLATE. BLOCKING 25. ALUMINUM DOORS AND FRAMES ARE TO BE DARK BRONZE ANODIZED

MAXIMUM EFFORT TO OPERATE EXTERIOR OR INTERIOR DOORS WITH CLOSERS SHALL NOT EXCEED 5

TO EXTEND MIN. 12" ABOVE AND BELOW STRIKE PLATE.

12. ALL LOCKSETS TO BE PROVIDED WITH REMOVABLE CONSTRUCTION CORE CYLINDERS SUPPLIED BY HARDWARE MANUFACTURER. CONTRACTOR TO PROVIDE OWNER WITH PERMANENT CORE CYLINDERS FOR MASTER KEYING BY CONTRACTOR AT THE COMPLETION OF THE PROJECT. 13. COORDINATE DOOR HARDWARE & HARDWARE INSTALLATION WITH OWNER.

14. UNDERCUT TOILET ROOM DOOR FOR AIR INTAKE. SEE MECHANICAL SHEETS. 15. ON ALL EXISTING INTERIOR DOOR/FRAME/HARDWARE TO REMAIN VERIFY DOOR AND HARDWARE ARE

IN GOOD WORKING ORDER. REPLACE DOOR AND HARDWARE AS REQUIRED. 16. ALL HARDWARE TO COMPLY WITH THE LATEST REQUIREMENTS OF ADAAG/ANSI.

17. ALL HARDWARE MATERIAL AND FUNCTION TO BE COORDINATED WITH OWNER. 18. KEYING SEQUENCE TO BE COORDINATED WITH OWNER.

19. PROVIDE EXIT SIGNAGE AT EACH EXIT DOOR. 20. ALL GLAZING WITHIN ANY DOOR SHALL BE TEMPERED.

21. DOOR THRESHOLDS TO HAVE 1/2" MAX CHANGE OF LEVEL, BEVELED WITH A SLOPE NO GREATER THAN 22. DURABLE SIGN WITH LETTERING ON A CONTRASTING BACKGROUND WILL BE PLACED OVER EXIT DOORS

STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS". 23. HANDLES, PULLS, LATCHES AND OTHER OPERATING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOESN'T REQUIRE TIGHT GRASPING, TIGHT

PINCHING OR TWISTING OF THE WRIST TO OPERATE.

24. REFER TO DECOR DRAWINGS FOR HOLLOW METAL DOOR FRAME PAINT COLOR.

HOLLOW

METAL

В

HARDWARE SET

SET 2

SET 2

SET 4

SET 4

1 ROTON 780-112HD CONTINUOUS MORTISE HINGE AL 83" CLEAR

1 HAGER ARMOR PLATE 193S (BEVELED 3 SIDES) 30" X 46" 32D

1 HAGER 267S CAST FLOOR STOP 3 1/8" H 2 1/4" BASE 26D

1 CAL-ROYAL 7700NL NIGHT LATCH TRIM/ PULL

SET 4A *USE THIS WITH SINGLE FACILITY

1 HAGER 243F LIGHT DUTY DOME STOP HIGH 26D

1 HAGER 5100 GRADE 1 HEAVY DUTY SURFACE CLOSER

1 SCHLAGE B571 COMMERCIAL RR INDICATOR DEADBOLT

1 SCHLAGE RIM CYLINDER 20-022C 626

1 HAGER 1756 185 DEGREE VIEWER 26S

1 1/2 PR. HAGER HINGES ECBB 1100 26D

1 HAGER PULL BAR 33L 26D 4" X 16"

1 HAGER PUSH PLATE 305 26D 4" X 16"

2 HAGER 190S KICK PLATES 32D 8" X 34"

1 HAGER WEATHERSTRIP 862S

1 HAGER 5100 HDHOS

3 SILENCERS PER DOOR 1 SIGN- MEN'S/WOMEN'S

1 CAL-ROYAL 7700EO RIM PANIC 48" (EQUAL TO VON DUPRIN 99) 32D

1 HAGER 541S PANIC THRESHOLD 28"X5" WIDTH W/ VINYL BUMPER STOP

INSTALL WITH TAMPER RESISTANT TORX MACHINE SCREWS (SEX BOLTS)

3A/A8.1

3A/A8.1

ALUM

3B/A8.1 KD HM

3B/A8.1 KD HM

FINISH

1J/A8.2

2A/A8.1

2A/A8.1

4/A8.1

DESIGN NOTE:

5/A8.2 | 11/A8.1

7/A8.1 11/A8.1

7/A8.1 11/A8.1

SELECT HARDWARE SET FOR FACILITIES IN DESIGN RENAME TO SET 4 AND DELETE UNUSED SET

1 1/2 PR. HAGER HINGES ECBB 1100 26D

1 HAGER PULL BAR 33L 26D 4" X 16"

3 SILENCERS PER DOOR

1 SIGN- MEN'S/WOMEN'S

1 HAGER PUSH PLATE 305 26D 4" X 16"

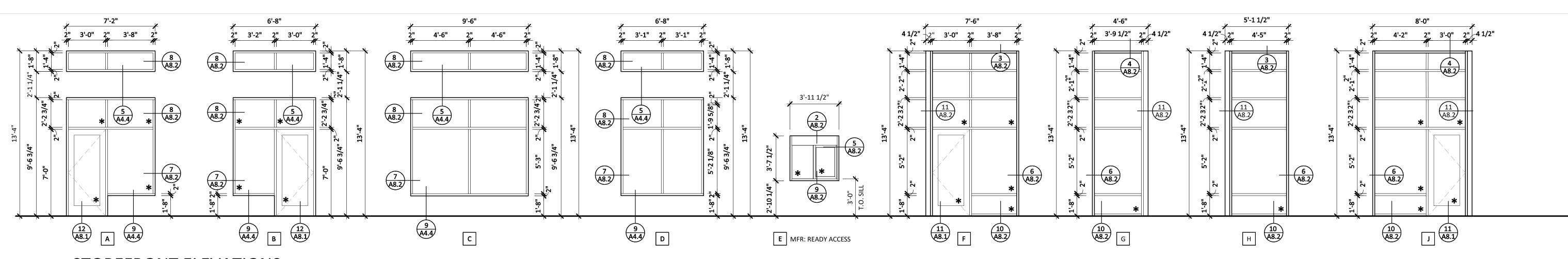
2 HAGER 190S KICK PLATES 32D 8" X 34"

SET 4B *USE THIS WITH MULTI FACILITY

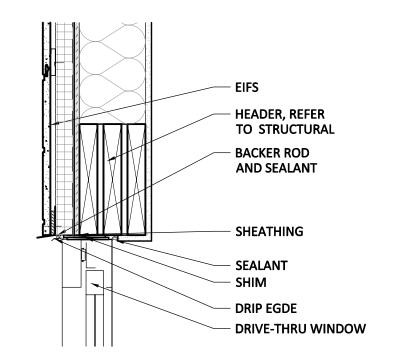
1 HAGER 243F LIGHT DUTY DOME STOP HIGH 26D

1 HAGER 5100 GRADE 1 HEAVY DUTY SURFACE CLOSER

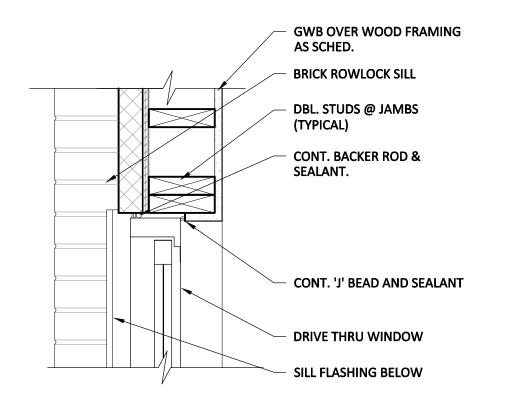
INSTALL WITH TAMPER RESISTANT TORX MACHINE SCREWS (SEX BOLTS)

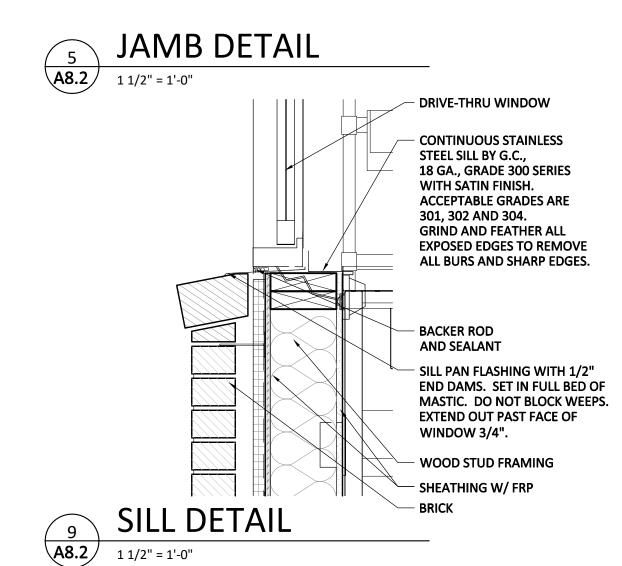


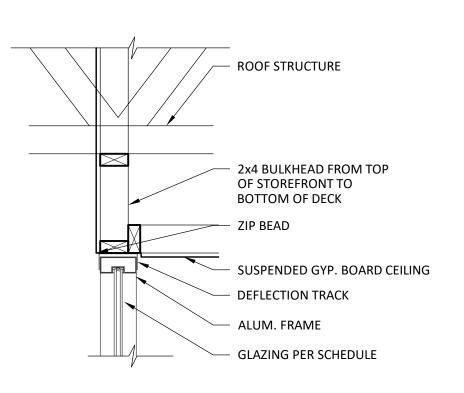
STOREFRONT ELEVATIONS A8.2 1/4" = 1'-0"



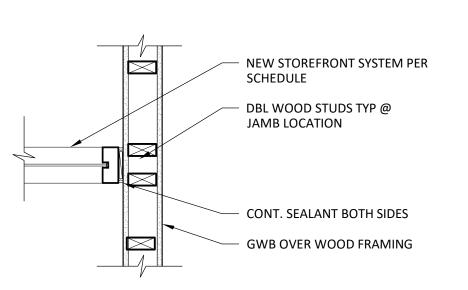




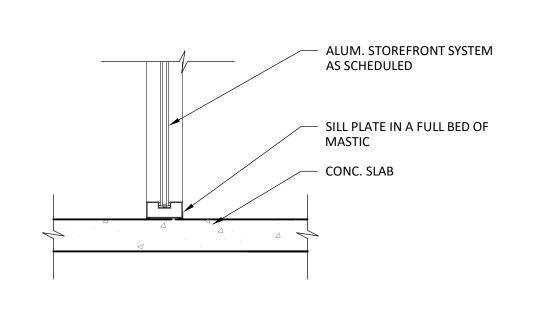




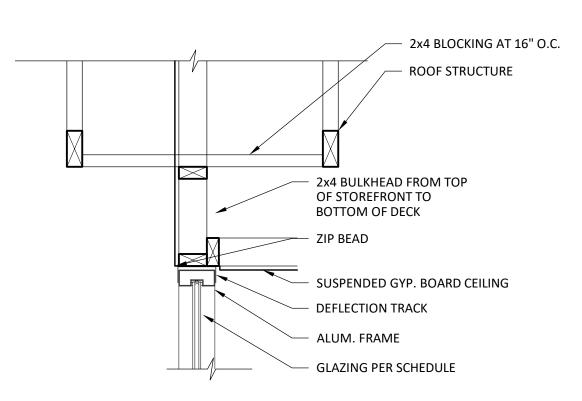




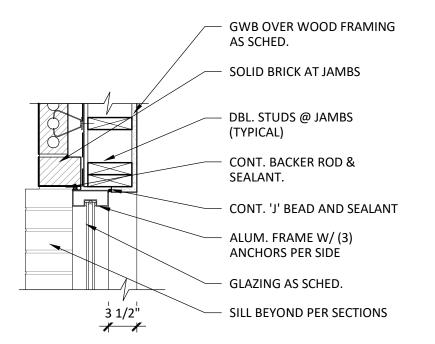




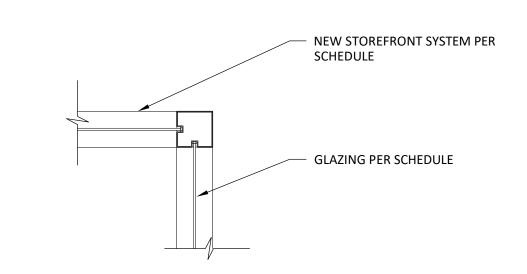




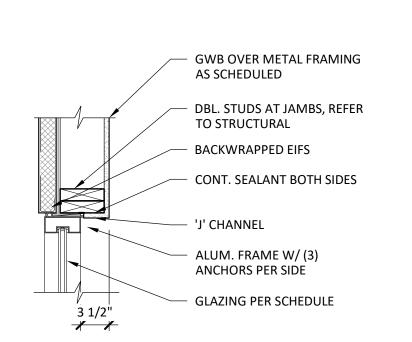












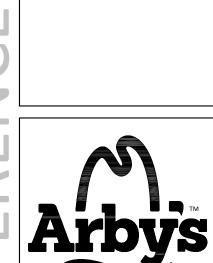


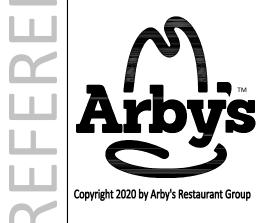


V	VIINDOVV INOTES	
1.	CONTRACTOR MUST VERIFY ALL DIMENSIONS IN FIELD.	

1.	CONTRACTOR MOST VERIFY ALL DIMENSIONS IN FIELD.
2.	COORDINATE/VERIFY ACTUAL DIMENSIONS WITH STOREFRONT MANUFACTURER'S SHOP DRAWINGS.

- CAULK AROUND WINDOW FRAMES TO BE DYMETRIC 511 (TREMCO) POLYURETHANE
- FOLLOW MANUF. SPECIFICATIONS AND INSTRUCTION
- COLOR TO BE DARK BRONZE.
- "*" INDICATES TEMPERED GLAZING.
- SEE SHEET EQ-1 AND EQ-2 FOR DRIVE THRU WINDOW SPECIFICATION.
- ALL GAPS BETWEEN ROUGH OPENING AND WINDOWS TO BE SEALED WITH EXPANDING
- GLAZING SHALL BE CLEAR 1" INSULATED GLASS SYSTEM; 1/4" CLEAR OVER 1/4" CLEAR, LOW-E ON #3 SURFACE, PPG SOLARBAN 90; TEMPERED WHERE INDICATED.
- .0. STOREFRONT SHALL BE SET IN A SILL PAN WITH 1/2" END DAMS. SET SILL PAN IN FULL_ BED OF MASTIC. DO NOT BLOCK WEEPS. FLASHING BY STOREFRONT VENDOR. FLASHING TO EXTEND 1/2" PAST OUTSIDE FACE OF MULLION.





RESTAURANT
PLAZA SHOPPING (E, ILLINOIS

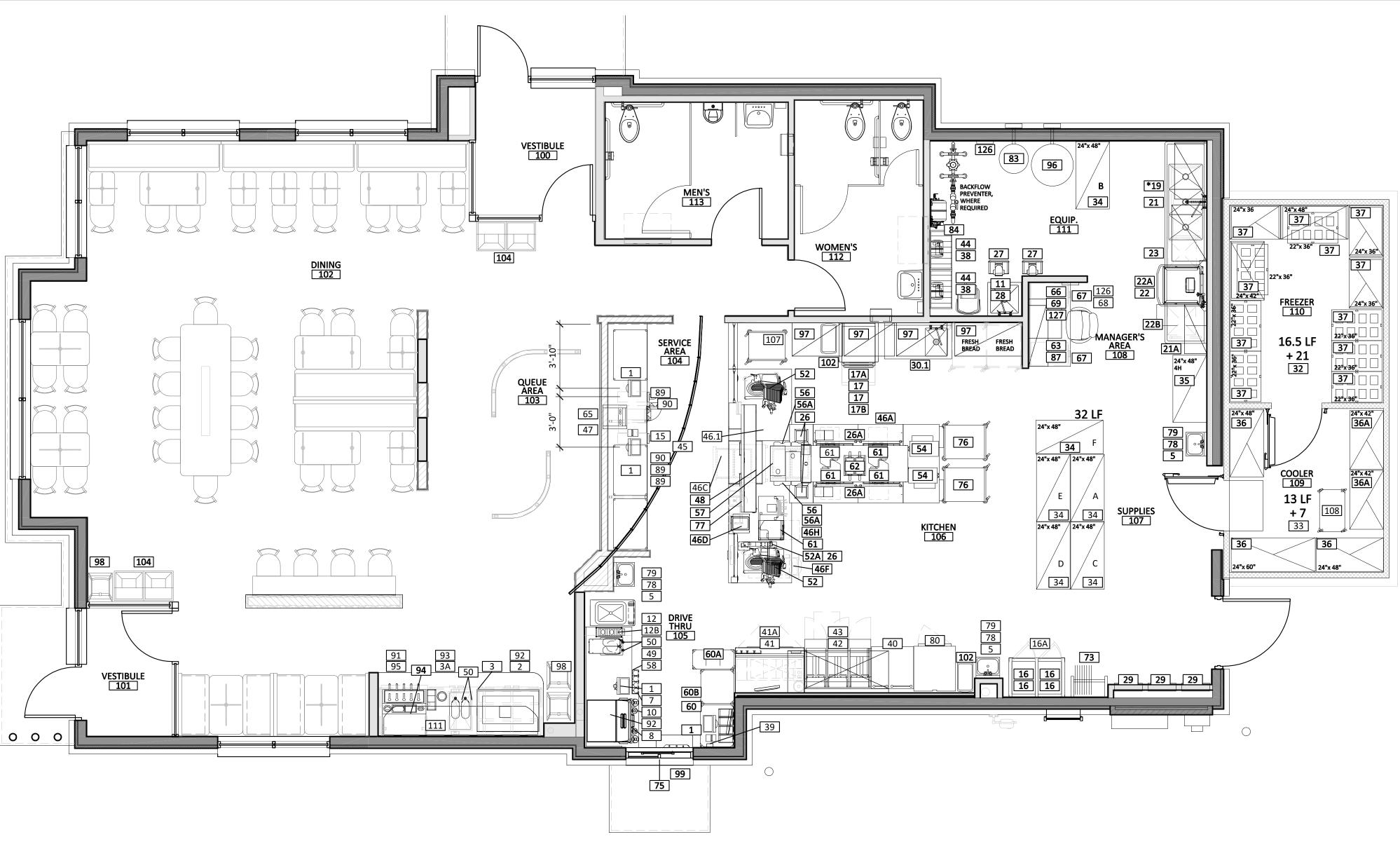
PROJECT NUMBER: 2005

ISSUE DATE FINAL REVIEW OCT 29, 2020 REVISION

WINDOW ELEVATIONS AND DETAILS

SHEET:

A8.2



EQ-1 1/4" = 1'-0"

GENERAL EQUIPMENT NOTES

- A. COUNTER TOP EQUIPMENT SHALL BE ON 4 INCH HIGH LEGS, SEALED TO COUNTER, OR PORTABLE.
- B. FLOOR MOUNTED EQUIPMENT SHALL BE ON 6 INCH HIGH LEGS, ON CASTERS OR SEALED TO THE FLOOR.
- EQUIPMENT NOT ON CASTERS SHALL BE SEALED TO THE WALL AND/OR THE ADJOINING EQUIPMENT, OR PROVIDE SPACE TO FACILITATE CLEANING.
- ALL KITCHEN EQUIPMENT IS OF COMMERCIAL QUALITY, DURABLE AND EASILY CLEANED. EVERY ITEM IS NATIONAL SANITATION FOUNDATION (NSF) APPROVED OR EQUAL. ALL FOOD PREP TABLES ARE STAINLESS STEEL. PLASTIC LAMINATE SURFACES ARE NOT TO BE USED FOR DIRECT FOOD CONTACT.
- THE WASTE OUTLET FOR EQUIPMENT DRAINING INTO FLOOR SINKS SHALL TERMINATE AT LEAST 2 INCHES ABOVE THE FLOOD RIM OF SUCH RECEPTOR. INDIRECT WASTE PIPING SHALL BE INSTALLED AS TO PERMIT READY ACCESS FOR FLUSHING AND CLEANING.
- ALL FOOD SERVICE EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND PROCEDURES AS SET FORTH BY NSF. THESE PROCEDURES ARE ILLUSTRATED IN THE INSTALLATION MANUAL FOR FOOD SERVICE EQUIPMENT DEVELOPED BY NSF. ALL SPLASH BLOCKS SHALL BE 3 INCHES AWAY FROM ADJACENT WALLS TO AVOID ANY DARK ENCLOSED AREAS OR SPLASH BLOCKS ARE TO BE SEALED TO THE WALL WITH AN APPROVED SILICONE OR SIMILAR CAULKING MATERIAL. ALL SHELVING OR SANITARY STORAGE RACKS SHALL BE LOCATED MINIMUM OF 15" ABOVE THE FLOOR AND SHALL BE 1 1/2 TO 2 INCHES FROM ADJACENT WALLS TO AID IN CLEANABLITY.
- G. BEVERAGE INSTALLER TO PROVIDE "PYTHON" FOR SYRUP LINES TO ALL BEVERAGE STATIONS.
- H. PLUMBING CONTRACTOR TO INSTALL MANIFOLD FOR OVENS.
- PROVIDE 2X2 FULL HEIGHT STAINLESS STEEL CORNER GUARDS ON ALL OUTSIDE CORNERS IN KITCHEN.
- INSTALL STAINLESS STEEL PANEL BEHIND THE FRYER HOOD AND OVEN HOOD. SEE EQUIPMENT ELEVATIONS ON SHEET A6.1 FOR SIZE AND PLACEMENT. (G.C. PROVIDED AND INSTALLED.)
- PROVIDE PLYWOOD BACKING IN LIEU OF GYP. BD. AT SHELVING AND WALL MOUNTED EQUIPMENT.
- L. REFER TO SHEET EQ-2 FOR EQUIPMENT SCHEDULE.
- M. REFER TO MEP DRAWINGS FOR EQUIPMENT CONNECTIONS.

FIELD VERIFY EXACT LOCATIONS.

N. "*" INDICATES 3-COMP SINK (#19) NEEDED WHEN WAREWASHER (#22) IS NOT INSTALLED.

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RESTAURANT
PLAZA SHOPPING (E, ILLINOIS

PROJECT NUMBER: 2005

ISSUE DATE FINAL REVIEW OCT 29, 2020 REVISION

EQUIPMENT PLAN

EQ-1

47	1	TURNOVER DISPLAY CASE	CAL-MIL, AB101	24"L x 14"D x 24"H		
48	1	SANDWICH SLIDE / ORGANIZER STAND	KES, CUSTOM FAB ITEM			
49	1	COFFEE/TEA MAKER	CURTIS, CB18323			
49	OPTL	COFFEE/TEA MAKER	BUNNOMATIC INFUSION TEA AND COFFEE BREWER #ITCB-DV 52200.0104 DUAL			
50	4	ICE TEA DISPENSER	#ITCB-DV 52200.0105 SINGLE CURTIS, TCN323			
50	OPTL	ICE TEA DISPENSER	BUNN TDO-N-3.5 39600.0001			
51	OPTL	PREP-SLICER	GLOBE G12A, MEDIUM DUTY SLICER	20 1/8"W x 24 5/8 x 20 1/4" H. THE OWNER CAN CHOOSE TO USE (1) #51 IN PLACE OF THE #52 FOR THE PREP SLICER AT THE PREP TABLE AREA.		
52	2	SLICER	GLOBE 4913N	23" W x 26.7" D x 25.1" T		
52 52A	OPTL 1	SLICER SLICER HEAT LAMP	HOBART HS9-1B MARSHAL AIR BW4B-3/DL2	24 5/8" W x 30 5/16" D x 29 5/16" T 24.875 X 28 X 24.75 STAINLESS STEEL CONSTRUCTION		
53	1	PORTION SCALE (NOT SHOWN)	TAYLOR, MODEL #THD32D	SEE SMALLWARES LIST		
53A	1	PORTION SCALE (NOT SHOWN)	TAYLOR, MODEL #THD50	SEE SMALLWARES LIST		
54	2	VERTICAL TOASTER	ANTUNES VERTICAL CONTACT TOASTER, #VCT2000	23 1/4" H x 21 1/16" W x 14 5/8"D (SECOND TOASTER IS BACKUP, STORED UNDER PREP TABLE)		
54	OPTL	MINI VERTICAL TOASTER	ANTUNES MINI VERTICAL CONTACT TOASTER, #MVCT2	25 1/1" H x 14 1/16" W x 14 5/8"D (SECOND TOASTER IS BACKUP, STORED UNDER PREP TABLE)		
56 56A	2	DUAL CHEESE PUMP WIRE SOUFFLE CUP HOLDER	STAR MFGR. #SPDE-2ARBL QUADRATEC, DISPWAR 0001	11"W x 21.3"D x 27"H COLOR: BLACK		
57	1	HEAT N' HOLD	THERMODYNE #150DNL			
58	1	DRIVE-THRU COUNTER (BEVERAGE)	KES, CUSTOM FAB ITEM	86" LONG x 39" DEEP x 36" TALL		
60	1	DRIVE-THRU CASHIER STAND	METRO, #ARB3024DT	30" x 24" DRIVE THRU CASHIER STAND		
60A	2	WORK SMART DRIVE-THRU STAGING CART	METRO, #ARB1430SC	14" X 30" X 36"H CART ON CASTERS. USED WITH WORK SMART DT CASHIER STAND		
60B	1	DRIVE-THRU STATION	METRO, #ARB1430DTBN	24" x 30" DRIVE-THRU STATION		
61	5	MICROWAVE OVEN	MENUMASTER COMMERCIAL MODEL MOC24	USED WITH WORK SMART AND FRONT LINE SLICER COUNTER		
62	1	HEATED HOLDING	MERCO, MODEL MHA32SST1W	20.4"H X 16.1"W X 14.4"D		
62 63	OPTL 1	HEATED HOLDING MUSIC SYSTEM	MARSHALL AIR, CHSF-333PTARB 3-M	19.75" H x 15.375" W x 15.625" D		
65	1	CASHIER / ORDER TAKING COUNTER	KES, CUSTOM FAB ITEM			
66	1	MANAGER DESK TOP	KES, CUSTOM FAB ITEM	28" X 60" W/ SPLASH GUARD		
67 68	1	2 DRAWER FILE CABINET DESK CHAIR	BY OWNER BY OWNER	HON #312BLK, BLACK WITH LOCK, INCLUDING CABINET FEET, #A845048 ARG		
69	1	BACK OFFICE COMPUTER SYSTEM W/ PRINTER	BY OWNER			
71	1	BULLETIN BOARD (NOT SHOWN)	BY OWNER	24" x 48"		
73 75	1	COAT RACK AUTOMATIC DRIVE THRU WINDOW	METRO, ARBCR READY ACCESS (1) SINGLE PANEL SLIDER: LEFT TO	WALL MOUNT COAT RACK, COLOR: GRAY COLOR: DARK BRONZE		
			RIGHT (STANDARD), RIGHT TO LEFT (REVERSE) QUIKSERV (1) #SS-4035E (R)	SIZE: 47 1/2" W x 43 1/2" COLOR: DARK BRONZE		
75	OPTL	AUTOMATIC DRIVE THRU WINDOW	[(1) #SS-4035E (L) FOR REVERSE LAYOUT]	SIZE: 48" W x 41"		
76	2	MOBILE BREAD RACK, ON CASTERS	METRO, #DD9678REVCO SERVER, MODEL SY 1.0 ARBY'S #85503,	30 7/8" x 24" x 74 1/2"H, 12 SHELVES		
77	1	AU JUS SERVER	1 GAL AU JUS SERVER	SEE SHEET AS 1 FOR MOUNTING DEIGHTS 1 FOR FACULDAND SINK SEE "F		
78 79	3	PAPER TOWEL DISPENSER LIQUID SOAP DISPENSER	BY OWNER BY OWNER	SEE SHEET A6.1 FOR MOUNTING HEIGHTS, 1 FOR EACH HAND SINK, SEE #5 SEE SHEET A6.1 FOR MOUNTING HEIGHTS, 1 FOR EACH HAND SINK, SEE #5		
80	1	SINGLE DOOR UPRIGHT FREEZER	TRAULSEN G12000	,		
83	1	BULK CO2	NUCO2	WITH ADAPTORS		
84	1	WATER BOOST MODULAR FILTER SYSTEM	PENTAIR SHURFLO WB6-M3-22-003-SS	INCLUDED IN BEVERAGE PACKAGE		
87	1	MUSIC SYSTEM SHELVING, EPOXY COATED	METRO 1442NK3	(2) 14 X 42 WIRE SHELVES, BOTTOM @ 80" A.F.F. SEE PLAN FOR SHELF LOCATION, EPOXY COATED		
89	LOT	FRONT COUNTER SHELVING, BRIGHT ZINC FINISH	INTERMETRO REFER TO PLAN FOR LOCATION, QUANTITY, & SIZE OF SHELVING UNITS	SEE PLAN FOR SHELF LOCATION		
90	2	UNDER COUNTER, S/S CUP DISPENSER	KES, CUSTOM FAB ITEM			
91	2	SOUFFLE CUP DISPENSER ICE MAKER	TOMLINSON KSF1003SL MANITOWOC, IY-0686C-161	CAN USE 3/4 OR 1 OZ PAPER OR PLASTIC CUPS, INTEGRATED WITH ITEM #111 UNIT MOUNTS ON DRINK DISPENSER IN DRIVE THRU <8> AND DINING ROOM <2>. REMOTE CONDENSER ON ROOF <92A>, LINE SET RC56 CONTROL WIRES FROM		
				CONDENSING UNIT TO COIL. FIELD VERIFY LENGTH OF LINE SET REQUIRED. REMOTE CONDENSER FOR ICE MAKER <92> ON DRINK DISPENSER IN DRIVE THRU		
92A	2	ICE MAKER REMOTE CONDENSING UNIT	MANITOWOC, ICVD-0696	<8> AND DINING ROOM <2>, LOCATED ON ROOF, REFER TO A1.2 & MEP DRAWINGS FOR LOCATION ICE MACHINE FOR DRINK DISPENSER IN DINING ROOM (2), WHEN SELECTED BY		
92C	OPTL	SELF CONTAINED ICE MAKER	MANITOWOC, INDIGO SEARIES 606 IY-0606A	OWNER, REPLACES (1) ICE MAKER <92> AND REMOVES (1) REMOTE CONDENSER <92A>		
93 94	2	STRAW & LID HOLDER NAPKIN DISPENSER	KES, CUSTOM FAB ITEM PROVIDED BY KES	INTEGRATED WITH #111		
95	1	DISPENSER FOR SAUCES	SERVER PRODUCTS SE-5DI (ARBY'S) 07123	INTEGRATED WITH #111 INTEGRATED WITH #111, 5 PUMP DISPENSER		
96	1	GREASE HOLDING TANK	DARLING INTERNATIONAL, 1500-H DIRECT PUMP	DIRECT CONNECTION WITH THE FRYMASTER / HENNY PENNY FRYER UNITS, SEE <43>.		
96	OPTL	GREASE HOLDING TANK	MAHONEY ENVIRONMENTAL, METRO SECURE-TRACK SYSTEM (MST)	DIRECT CONNECTION WITH THE FRYMASTER / HENNY PENNY FRYER UNITS, SEE <43>.		
97	4	WALL MOUNTED SHELVING	METRO 24x36, (2) TIER SHELVING, BRIGHT ZINC FINISH	30" WALL MOUNTED STANDARDS		
98	2	HIGH CHAIR / BOOSTER SEATS	BY OWNER			
99	1	AIR CURTAIN TRASH CONTAINER	QUIKSERV MODEL CHF-25" HEATED-CLR RUBBERMAID #3540 SLIM JIM WASTE CONTAINER	25"W X 9"D X 14 3/8"H COLOR: BROWN, ORDER #FG354000 BRN		
	2	DOUBLE TRASH UNIT	SEE DECOR DRAWINGS	55-51 51.0 1, 51.0 21. III 500-1000 51.11		
102 104		QUEUE RAIL SYSTEM	SEE DECOR DRAWINGS			
102 104 105	LOT	HEAVY DUTY PAN RACKS	WIN-HOLT METRO, MW703	18" X 30"		
102 104 105 107	1					
102 104 105		PREP CART S/S OUTSIDE CORNER GUARD (NOT	KES, CUSTOM FAB ITEM	2" x 2" x 108" 18 GAUGE. S.S. PROVIDE 2X2 FULL HEIGHT STAINLESS STEEL CORNER GUARDS ON ALL OUTSIDE CORNERS IN KITCHEN. KITCHEN EQUIPMENT		
102 104 105 107 108	1 1 LOT	PREP CART S/S OUTSIDE CORNER GUARD (NOT SHOWN)	KES, CUSTOM FAB ITEM	CORNER GUARDS ON ALL OUTSIDE CORNERS IN KITCHEN. KITCHEN EQUIPMENT SUPPLIER (KES) TO SUPPLY AND INSTALL ALL S.S. GUARDS.		
102 104 105 107 108 109	1 1 LOT	PREP CART S/S OUTSIDE CORNER GUARD (NOT SHOWN) CONDIMENT TOPPER	KES, CUSTOM FAB ITEM KES, CUSTOM FAB ITEM	CORNER GUARDS ON ALL OUTSIDE CORNERS IN KITCHEN. KITCHEN EQUIPMENT SUPPLIER (KES) TO SUPPLY AND INSTALL ALL S.S. GUARDS. HOLDS ITEMS #91, #94 AND #95 36" W X 48" T, WHITE PLASTIC POLY PEG BOARD TO BE MOUNTED ON WALL NEAR		
102 104 105 107 108	1 1 LOT	PREP CART S/S OUTSIDE CORNER GUARD (NOT SHOWN)	KES, CUSTOM FAB ITEM	CORNER GUARDS ON ALL OUTSIDE CORNERS IN KITCHEN. KITCHEN EQUIPMENT SUPPLIER (KES) TO SUPPLY AND INSTALL ALL S.S. GUARDS. HOLDS ITEMS #91, #94 AND #95		
102 104 105 107 108 109 111 123	1 1 LOT 1	PREP CART S/S OUTSIDE CORNER GUARD (NOT SHOWN) CONDIMENT TOPPER SYSTEMS BOARD (NOT SHOWN)	KES, CUSTOM FAB ITEM KES, CUSTOM FAB ITEM BY OWNER	CORNER GUARDS ON ALL OUTSIDE CORNERS IN KITCHEN. KITCHEN EQUIPMENT SUPPLIER (KES) TO SUPPLY AND INSTALL ALL S.S. GUARDS. HOLDS ITEMS #91, #94 AND #95 36" W X 48" T, WHITE PLASTIC POLY PEG BOARD TO BE MOUNTED ON WALL NEAR		

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RESTAURANT PLAZA SHOPPING ILLINOIS

PROJECT NUMBER: 2005

FINAL REVIEW OCT 29, 2020

EQUIPMENT SCHEDULE -

LINEAR DUAL SHEET

REVISION

SELECT DUAL OR STRAIGHT SHEET LAYOUT AS NEEDED AND DELETE ALTERNATE OPTION

RENAME SHEET TAB TO EQ-2

SECTION 000000 - INSTRUCTIONS TO BIDDERS

A. BID THE PROJECT EXACTLY AS DRAWN AND SPECIFIED. COMPLETE ALL PROPOSALS AND INCLUDE ALL WORK AS SHOWN AND/OR SPECIFIED AND ASREQUIRED BY ALL APPLICABLE BUILDING CODES. THE CONTRACTOR IS HELD TO HAVE FULLY EXAMINED ALL DRAWINGS AND SPECIFICATIONS, NOT ONLY OF HIS/HER PARTICULAR CONCERN BUT OF ALLIED TRADES AS WELL, AND TO BE FULLY FAMILIAR WITH CONDITIONS UNDER WHICH HE/SHE WILL ASSUME HIS/HER WORK. PARTICULAR ATTENTION IS DRAWN TO THE GENERAL CONDITIONS AND THE SUPPLEMENTARY GENERAL CONDITIONS OF THE SPECIFICATIONS. THE CONTRACT IN THE FORM OF A SINGLE, LUMP SUM OF TYPE OF AGREEMENT, 1997 EDITION OF THE "AIA A201 - STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR".

A. SEALED BID PROPOSALS WILL BE RECEIVED BY OWNER AT SUCH TIME AND PLACEDESIGNATED. SUBMIT PROPOSALS IN ACCORDANCE WITH OWNER'S "INVITATION TO BID". SIGN PROPOSALS BY LEGAL AUTHORIZED PARTIES OF COMPANIES ONLY AND STATE TITLES OF SAME. OWNER RETAINS THE RIGHT TO REJECT ANY AND/OR ALL PROPOSALS.

ACCEPTANCE OR WITHDRAWAL OF PROPOSALS:

A. ANY CONTRACTOR WHO HAS SUBMITTED A PROPOSAL TO THE OWNER MAY WITHDRAW THIS PROPOSAL AT ANY TIME PRIOR TO THE SCHEDULED TIME FOR OPENING OF SAME; HOWEVER, ONCE PROPOSALS ARE OPENED THE CONTRACTOR AGREES TO HONOR SAME FOR A MINIMUM OF THIRTY (30) DAYS AFTER SCHEDULED DATE OF OPENING.

DISCREPANCIES:

SHOULD A BIDDER FIND DISCREPANCIES OR AMBIGUITIES IN, OR OMISSIONS FROM, THE DRAWINGS AND/OR THE SPECIFICATIONS, OR BE IN DOUBT AS TO THEIR MEANING OR INTENT, NOTIFY THE CONSTRUCTION MANAGER FOR THE OWNER IN TIME TO ALLOW FOR ISSUANCE OF CLARIFICATION, BY MEANS OF ADDENDA, FOR DELIVERY IN SUFFICIENT TIME BEFORE PROPOSALS ARE DUE.

- QUALIFICATION OF CONTRACTORS THE OWNER RESERVES THE RIGHT TO REQUIRE ANY CONTRACTOR SUBMITTING A PROPOSAL TO FURNISH ANY OR ALL OF THE FOLLOWING INFORMATION PRIOR TO AWARD OF THE
 - 1. PERFORMANCE RECORD OF PROJECT COMPLETED OVER THE PREVIOUS TWO (2)
 - ADDRESS AND DESCRIPTION OF PLANT OR PERMANENT PLACE OF BUSINESS
- ADDITIONAL INFORMATION AS REQUIRED TO SATISFY THE OWNER THAT THE CONTRACTOR IS ADEQUATELY PREPARED TO FULFILL ALL REQUIREMENTS OF THE CONTRACT, SUCH AS CONTAINED IN THE 1986 EDITION OF AIA DOCUMENT A305 -CONTRACTOR'S QUALIFICATION STATEMENT.

BIDDING DOCUMENTS:

- A. THE BIDDING DOCUMENTS WILL INCLUDE, BUT NOT NECESSARILY LIMITED, TO THE FOLLOWING ITEMS:
- OWNER'S INVITATION TO BID NOTES.
- BUILDING AND CIVIL DRAWINGS AND SPECIFICATIONS.
- ALL BIDDERS SHALL BE AWARE OF AN FAMILIAR WITH THE A.I.A. "INSTRUCTION TO BIDDERS" AS CONTAINED IN THE 1997 EDITION OF A.I.A. DOCUMENT #A701. COPIES OF THIS DOCUMENT CAN BE OBTAINED FROM THE OWNER, OR THEIR DESIGNATED REPRESENTATIVE.
- INFORMATION AVAILABLE TO BIDDERS: GEOTECHNICAL REPORT
- 2. TOPOGRAPHIC AND BOUNDARY SURVEY

DISTRIBUTION OF DOCUMENTS:

CONTRACTORS DESIRING TO BID THE WORK MAY OBTAIN OWNER DRAWINGS SPECIFICATION AND SUPPLEMENTAL BIDDERS PACKAGE FROM OWNER'S CONSTRUCTION MANAGER. DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF OWNER AND ARE TO BE RETURNED COMPLETE AND IN GOOD CONDITION. USE BY UNAUTHORIZED PERSONS FOR ANY PURPOSE WHATSOEVER IS STRICTLY PROHIBITED AND IS PUNISHABLE UNDER FEDERAL COPYRIGHT LAWS.

SUBMITTAL OF A PROPOSAL BY ANY CONTRACTOR CONSTITUTES FULL ACCEPTANCE BY THAT CONTRACTOR OF ALL CONDITIONS AS HEREIN STATED.

BUILDING PACKAGE:

- A. CONTRACTOR WILL RECEIVE A NUMBER OF MISCELLANEOUS ITEMS AND INSTALL SOME AS PART OF THE GENERAL CONTRACT. THESE ITEMS ARE FOUND THROUGH THE DRAWING LABELED "OWNER". BE PREPARED TO ACCEPT DELIVERY OF THESE MISCELLANEOUS ITEMS AT THE TIME OF GROUNDBREAKING AND FURNISH ALL LABOR AND MATERIALS REQUIRED FOR THE UNLOADING, RECEIVING, SAFE GUARDING AND INSTALLATION OF THESE ITEMS.
- OWNER FURNISHED ITEMS. G.C. IS TO CONFIRM WITH OWNER IF THE FOLLOWING ITMES ARE SUPLLIED AND/OR INSTALLED BY OWNER.
 - THE OWNER SHALL FURNISH VARIOUS ITEMS OF EQUIPMENT AND/OR MATERIALS FOR INSTALLATION BY THE CONTRACTOR. THE ITEMS SHALL INCLUDE, BUT NOT NECESSARILY LIMITED TO THE FOLLOWING ITEMS: EXTERIOR MENU BOARD SYSTEM-CANOPY, SENSOR LOOP, BOARDS, AND

SPEAKER PEDESTAL

INTERIOR MENU BOARD SYSTEM DRINK TOWERS-FINAL CONNECTION BY VENDOR, PLUMBING AND ELECTRICAL BY G.C. KITCHEN EQUIPMENT

KITCHEN EXHAUST HOODS, FANS, AND CURBS **EXHAUST HOOD FIRE SUPPRESSION SYSTEM** ROOFTOP HVAC UNITS

DINING ROOM DÉCOR PACKAGE

DRIVE-UP AWNING

FIRE EXTINGUISHERS

2. THE OWNER SHALL FURNISH AND INSTALL VARIOUS ITEMS OF EQUIPMENT AND/OR MATERIALS. SUCH ITEMS SHALL INCLUDE, BUT NOT NECESSARILY LIMITED TO THE **FOLLOWING ITEMS:**

> STOREFRONT GLASS & GLAZING AWNINGS (EXCEPT DRIVE UP AWNING TO BE INSTALLED BY THE CONTRACTOR)

BUILDING AND SITE SIGNAGE SECURITY SYSTEMS POS SYSTEM

MUSIC SYSTEM

- SPECIFIC MANUFACTURERS FOR VARIOUS CONTRACTOR FURNISHED ITEMS ARE NOTED ON THE DRAWINGS. LIST OF APPROVED ALTERNATE MANUFACTURE'S PRODUCTS ARE FURNISHED, NOTE THIS INFORMATION ON THE PROPOSAL. ADDITIONALLY, PROVIDE PROPOSED SUBSTITUTIONS OF NON-APPROVED MANUFACTURERS IN COMPLIANCE WITH THE RESPECTIVE SECTION OF THE GENERAL CONDITIONS.
- IF ACCOMPANYING BID NOTES ARE PROVIDED BY OWNER, THOSE NOTES ARE TO SUPERSEDE ANY CONFLICTING INFORMATION IN THIS SECTION.

NOTICE TO PROCEED AND PRE-CONSTRUCTION MEETING:

 NO WORK WILL BE STARTED WITHOUT A PRE-CONSTRUCTION MEETING ATTENDED BY THE CONTRACTOR, OR HIS/HER REPRESENTATIVE, AND THE RECEIPT BY THE CONTRACTOR OF A FORMAL "NOTICE TO PROCEED" FROM OWNER, AND A DULY EXECUTED 1997 EDITION AIA DOCUMENT A101 STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR STIPULATED SUM.

RECORD DRAWINGS:

PRIOR TO RELEASE OF THE FINAL RETENTION, FURNISH OWNER A COMPLETE SET OF DRAWINGS REDLINED WITH ALL DEVIATIONS MADE DURING CONSTRUCTION PLUS THE PERMIT SET OF DRAWINGS AND SPECIFICATIONS MAINTAINED AT THE SITE.

SECTION 010000 - SUPPLEMENTARY CONDITIONS

- A. OWNER: THE OWNER IS DEFINED AS ARBY'S CORPORATE OR THE ARBY'S FRANCHISEE THROUGH WHICH THE "INVITATION TO BID" WAS PROVIDED. THE OWNER'S REPRESENTATIVE FOR ADMINISTRATING THE CONTRACT IS THE OWNER'S DESIGNATED
- OWNER'S TECHNICAL CONSULTANT: THE OWNER'S TECHNICAL CONSULTANT IS REFERRED TO "CONSULTANT" FOR PURPOSES OF THIS PROJECT. HE/SHE MAY BE AN ARCHITECT AND/OR ENGINEER, OR OTHER TECHNICAL REPRESENTATIVE, RESPONSIBLE FOR ASSISTING THE OWNER'S REPRESENTATIVE, IN ADMINISTRATING THE CONTRACT.
- C. CONTRACTOR: THE PERSON(S), COMPANY(IES) OR CORPORATION(S) WITH WHOM THE OWNER MAKES THE CONTRACT FOR THE WORK OR ANY PORTION THEREOF, OR FOR ANY MATERIALS OR RELATED SERVICES REQUIRED THERETO.
- SUBCONTRACTOR: ANY PERSON(S), COMPANY(IES) OR CORPORATION(S) WITH WHOM A CONTRACTOR MAKES A CONTRACT TO FURNISH LABOR AND/OR SERVICE AND/OR MATERIAL IN CONNECTION WITH THE PROJECT. WITHIN THE DRAWING AND SPECIFICATIONS, THE TERM "CONTRACTOR" IS INTERPRETED TO MEAN SUBCONTRACTOR WHERE APPLICABLE UNLESS FURTHER DEFINED.
- PROJECT: THE PROJECT IS DEFINED AS THE COMPLETE LABOR, MATERIALS AND SERVICES HIRED FOR CONSTRUCTION OF AN OWNER'S RESTAURANT AND ALL RELATED WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. INTENT OF PROJECT IS TO PROVIDE A COMPLETE FACILITY IN A COMPLETE AND USEABLE FACILITY SUITABLE FOR ITS INTENTED
- F. SITE: THE PROPERTY ON WHICH THE PROJECT IS LOCATED.
- CONTRACT DOCUMENTS: THE CONTRACT DOCUMENTS CONSIST OF (1) THE BUILDING CONSTRUCTION CONTRACT (2) THE DRAWINGS (3) THE SPECIFICATIONS (4) SOILS REPORT. INCLUDE THE DATES AND REVISION DATES OF ALL DRAWINGS AND SPECIFICATIONS ON THE PROPOSAL FORM.

- A. THE STANDARD FORM OF GENERAL CONDITIONS PUBLISHED BY THE AIA FORM A201, 1997 EDITION, IS BINDING AND THE GENERAL CONDITIONS INCLUDED HEREIN ARE SUPPLEMENTARY THERETO. IN THE EVENT OF CONFLICT, THE SUPPLEMENTARY GENERAL CONDITIONS GOVERN OVER GENERAL CONDITIONS.
- B. USE AIA CONSTRUCTION CONTRACT, CONTRACTOR'S DRAW SCHEDULE, CONTRACT CHANGE ORDER AND FINAL WAIVER OF LIEN. COPIES OF THE ABOVE FORMS ARE ON FILE AT THE
- C. IT IS ACCEPTED AS A FACT THAT ALL CONTRACTORS HAVE INSPECTED THE SITE PRIOR TO SUBMITTING THEIR BID AND NO ADDITIONAL COMPENSATION IS ALLOWED FOR FAILURE TO FULFILL THIS REQUIREMENT. IT IS TO BE CONSTRUED; HOWEVER, THAT THE CONTRACTORS HAVE INCLUDED IN THEIR BIDS AMOUNTS TO COVER UNFORESEEN CONDITIONS OR OBSTACLES OTHER THAN THOSE INDICATED ON THE DRAWINGS OR VISUALLY APPARENT AT THE SITE. SHOULD UNFORESEEN CONDITIONS ARISE, NOTIFY THE OWNER IMMEDIATELY.
- THE FOLLOWING SPECIFICATIONS ARE DIVIDED INTO CHAPTERS AND EACH CONTRACTOR IS TO FIGURE ON THAT PORTION WITH WHICH HE IS CONCERNED. IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO READ AND FAMILIARIZE HIMSELF WITH THE GENERAL CONDITIONS WHICH ARE CONSIDERED EQUALLY BINDING WITH THE REMAINING SPECIFICATIONS.
- SETTLE ANY CONTROVERSY OR CLAIM ARISING DUE TO A LABOR CONFLICT CAUSED BY THE WORDING OR ASSIGNMENT OF THESE SPECIFICATIONS IN ACCORDANCE WITH LOCAL GOVERNING LABOR PRACTICE.
- LIST ALTERNATES, WHETHER SPECIFIED BY THE OWNER OR SUGGESTED BY THE CONTRACTOR, SEPARATELY ON THE PROPOSAL. INDICATE THE COST OF MATERIALS AND LABOR REQUIRED TO COMPLETE THE ALTERNATE AND THE CREDIT DUE THE OWNER FOR ANY MATERIALS AND/OR LABOR NOT REQUIRED DUE TO THE ALTERNATE INSTALLATION.
- THE OWNER'S CONSTRUCTION MANAGER OR DESIGNATED REPRESENTATIVE IS THE OWNER'S AND THE ARCHITECT'S OR ENGINEER'S SOLE REPRESENTATIVE DURING THE ADMINISTRATION

DRAWINGS AND SPECIFICATIONS:

- EXECUTE ALL WORK ACCORDING TO THE TRUE MEANING AND INTENT OF THE DRAWINGS AND SPECIFICATIONS WHICH ARE INTENDED TO INCLUDE EVERYTHING REQUIRED AND NECESSARY FOR THE PROPER AND ENTIRE FINISHING OF THE WORK, NOTWITHSTANDING, THAT EACH AND EVERY ITEM NECESSARILY INVOLVED IN THE WORK IS NOT SPECIFICALLY MENTIONED. DELIVER THE COMPLETED WORK TO THE OWNER IN A PERFECT AND UNDAMAGED CONDITION WITHOUT EXCEPTION.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COOPERATIVE. FURNISH AND PERFORM THE WORK OR MATERIALS CALLED FOR BY THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS OR VICE-VERSA IN AS FAITHFUL A MANNER AS THOUGH TREATED BY BOTH. THE SPECIFICATIONS ARE INTENDED TO REPRESENT MINIMUM DESIGN AND ARE SUPERSEDED BY THE DRAWINGS.
- BEFORE SUBMITTING A BID PROPOSAL CAREFULLY REVIEW THE DRAWINGS AND SPECIFICATIONS AND SHOULD A CONFLICT, UNCERTAINTY OR DISCREPANCY BE FOUND. REPORT SAME TO THE OWNER IMMEDIATELY. WHO WILL MAKE A RULING ON EACH REPORT AND WILL NOTIFY ALL CONCERNED BIDDERS AS TO HIS DECISIONS. SHOULD SUCH CONFLICT, UNCERTAINTY OR DISCREPANCY, BE DISCOVERED AFTER SIGNING OF THE CONTRACT, CALL IT TO THE ATTENTION OF THE OWNER AND HIS DECISION IN REGARD THERETO IS FINAL.

PRECEDENCE OF DRAWINGS:

- A. THE ORDER OF PRECEDENCE OF DRAWINGS IS AS FOLLOWS:
- 1. ANY ADDENDA OVER ALL MATERIAL OF AN EARLIER DATE. EQUIPMENT DRAWINGS, AS MAY BE PROVIDED BY THE OWNER, OVER
- OWNER'S DRAWINGS OVER OWNER SPECIFICATIONS. ARCHITECTURAL DRAWINGS OVER MECHANICAL AND ELECTRICAL

ARCHITECTURAL AND MECHANICAL DRAWINGS OF EARLIER DATES.

- DRAWINGS
- LARGER SCALE DRAWINGS OVER SMALLER SCALE DRAWINGS. FIGURED DIMENSIONS OVER SCALE DIMENSIONS.
- SUPPLEMENTARY GENERAL CONDITIONS OVER AIA GENERAL

CONDITIONS.

A. INCLUDE IN THE PROPOSAL, THE PAYMENT OF ALL STATE AND LOCAL SALES AND OCCUPATIONAL TAXES AS MAY BE LEVIED BY THE GOVERNMENTAL AGENCIES REGARDING THE WORK.

A. ANY SUBSTITUTION MUST BE APPROVED IN ADVANCE OF CONSTRUCTION BY THE OWNER AFTER RECEIPT AND STUDY OF COMPLETE INFORMATION REGARDING SAME, INCLUDING

ANY CREDITS OR ADDITIONAL COSTS.

MATERIALS AND WORKMANSHIP:

A. UNLESS OTHERWISE PARTICULARLY STATED, FURNISH AND INSTALL ALL MATERIALS AND LABOR MENTIONED IN THESE SPECIFICATIONS AND/OR SHOWN ON THE DRAWINGS. EXECUTE ALL WORK IN A NEAT AND SKILLFUL MANNER TO THE ENTIRE SATISFACTION OF THE OWNER.

SUB-CONTRACTS:

AS REQUIRED BY THE OWNER, HAVE THE NAMES OF ALL PROPOSED SUBCONTRACTORS APPROVED BY THE OWNER PRIOR TO AWARD OF THE CONTRACT. THE SUB-CONTRACTOR IS BOUND BY THE SPECIFICATIONS. NO CONTRACTOR OR SUB-CONTRACTOR MAY SUBLET OR ASSIGN HIS CONTRACT OR ANY PART THEREOF WITHOUT THE WRITTEN APPROVAL OF THE OWNFR.

A. COMPLY IN ALL RESPECTS WITH ALL LAWS AND ORDINANCES HAVING JUURISDICTION OVER THE WORK AND/OR MATERIALS OR METHODS EMPLOYED IN PERFORMING SAME. NO ADDITIONAL COMPENSATION WILL BE ALLOWED CONTRACTORS FOR FAILURE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS UNDER WHICH THEY WILL PERFORM THEIR WORK UNLESS THESE CONDITIONS ARE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO SIGNING OF CONTRACTS, AND PROVISIONS FOR ADJUSTING COSTS ARE MADE AT THAT TIME.

PERMITS, BOND, LICENSES:

A. TAKE OUT AND PAY FOR ALL PERMITS, BONDS, LICENSES AND SIMILAR ITEMS. SHOULD SEPARATE CONTRACTS BE AWARDED, EACH CONTRACTOR IS RESPONSIBLE FOR PERMITS, FEES, BONDS, LICENSES, AND SIMILAR ITEMS AS MAY BE REQUIRED BY THE WORK, COVERED UNDER HIS/HER PORTION OF THE CONTRACT. TURN OVER RECEIPTS FOR SAME TO THE OWNER UPON ON A TIMELY BASIS. AT THE OWNER'S ELECTION, THE OWNER MAY OBTAIN ANY OF THE PERMITS.

- BARRICADE AND/OR SHELTER HIS WORK AS TO REASONABLY PROTECT IT FROM DAMAGE. ARRANGE ALL BARRICADES SO AS TO INSURE A REASONABLE VISUAL AND PHYSICAL WARNING FOR WORKMEN AND THE PUBLIC. PROVIDE FLASHING TYPE BLINKERS AND OTHER DEVICES AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- B. THE CONTRACTOR(S) IS HELD RESPONSIBLE FOR ANY DAMAGE TO HIS/HER WORK AS MAY BE DUE TO NEGLIGENCE OF THE ABOVE, OR AS MAY BE CAUSED BY ACCIDENT, WIND, RAIN, SNOW, FREEZING RAIN, RIOT, MALICIOUS MISCHIEF OR LABOR COMMOTION, THEFT, OR SIMILAR REASONS, OF DUE TO HIS/HER ACTS, OMISSIONS OR NEGLIGENCE. IF SUCH DAMAGE OCCURS, RESTORE THE WORK TO ITS PREVIOUS CONDITION AT NO COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE OR LOSS TO OWNER'S BUILDING PACKAGE OR EQUIPMENT IN SAID CONTRACTOR'S POSSESSION. AT OWNER'S ELECTION, THE COST OF REPAIR OR REPLACEMENT OF ANY MISSING ITEMS WILL BE BORNED BY SAID CONTRACTOR.
- PROTECT ALL ADJOINING PROPERTY FROM DAMAGE DURING THE COURSE OF THE WORK. IF REQUIRED BY LOCAL LAWS OR ORDINANCES, ISSUE NOTICES TO OWNER OF SAID PROPERTY. NO USE OF ADJACENT PRIVATELY OWNED PROPERTY BY CONTRACTOR, WITHOUT WRITTEN PERMISSION BY ITS OWNER IS ALLOWED.

- A. IN GENERAL, MAINTAIN SUCH INSURANCE TO PROTECT CONTRACTOR, OWNER AND THE OWNER'S AGENTS AND REPRESENTATIVES FROM ANY AND ALL CLAIMS UNDER WORKMEN'S COMPENSATION ACTS AND FROM ALL CLAIMS FOR DAMAGES BECAUSE OF BODILY INJURY, INCLUDING DEATH, AND ALL CLAIMS FOR PROPERTY DAMAGE ARISING FROM CONTRACTOR'S OPERATIONS AND/OR THE OPERATIONS OF SUBCONTRACTORS EMPLOYED BY HIM, IN THE AMOUNT STATED HEREIN. FOR SUB- CONTRACTOR(S) NOT COVERED BY THE CONTRACTOR(S) INSURANCE, PROVIDE SIMILAR INSURANCE OF THEIR OWN. OBTAIN COVERAGE FROM A COMPANY HOLDING A GENERAL RATING OF "A" OR BETTER AS SET FORTH IN THE MOST CURRENT ISSUE OF BEST'S KEY RATING INSURANCE GUIDE. WHERE REQUESTED OR REQUIRED, SUCH POLICIES SHALL NAME THE OWNER AS "ADDITIONAL
- B. "HOLD HARMLESS" CLAUSE: PROVIDE CERTIFICATE STATING THAT THIS ENDORSEMENT IS INCLUDED IN THE POLICY(IES).
- THIS CONTRACTOR ASSUMES THE LIABILITY FOR ALL LOSSES, DAMAGES(INCLUDING LOSS OF USE), EXPENSES, DEMANDS AND CLAIMS IN CONNECTION WITH OR ARISING OUT OF ANY INJURY OR ALLEGED INJURY TO PERSONS (INCLUDING DEATH) OR DAMAGES OR ALLEGED DAMAGE TO PROPERTY, SUSTAINED OR ALLEGED TO HAVE BEEN SUSTAINED, IN CONNECTION WITH OR TO HAVE ARISEN OUT OF THE PERFORMANCE OF THE WORK BY THE CONTRACTOR, HIS SUBCONTRACTORS, AND THEIR AGENTS, SERVANTS AND EMPLOYEES, INCLUDING LOSSES, EXPENSES, OR DAMAGES SUSTAINED BY THE OWNER AND THE CONSULTANTS. THE CONTRACTOR HEREBY UNDERTAKES AND AGREES TO INDEMNITY AND HOLD HARMLESS THE OWNER AND THE CONSULTANTS, THEIR AGENTS, SERVANTS, AND EMPLOYEES, FROM ANY AND ALL SUCH LOSSES, EXPENSES, DAMAGES (INCLUDING LOSS OF USE), DEMANDS AND CLAIMS, AND DEFEND ANY SUIT OR ACTION BROUGHT AGAINST ANY OF THEM, BASED ON ANY ALLEGED INJURY (INCLUDING DEATH) OR DAMAGE (INCLUDING LOSS OF USE) AND PAY ALL DAMAGES, JUDGMENTS, COSTS AND EXPENSES, INCLUDING ATTORNEY'S FEES, IN CONNECTION WITH SAID DEMANDS AND CLAIMS RESULTING
- THE ABOVE CLAUSE APPLIES IN ALL STATES UNLESS RESTRICTED BY STATE STATUTE, SHOULD THIS BE THE CASE. PROVIDE THE MAXIMUM FORM OF "HOLD HARMLESS" ALLOWED BY THE
- PROVIDE COMPREHENSIVE GENERAL LIABILITY INSURANCE INCLUDING A BROAD FORM ENDORSEMENT AND A BROAD FORM PROPERTY DAMAGE ENDORSEMENT WITH LIMITS NOT LESS THAN \$3 MILLION CSL (COMBINED SINGLE LIMIT). IF APPROPRIATE, ALSO MAINTAIN SCAFFOLDING AND DEMOLITION INSURANCE.
- PROVIDE WORKERS COMPENSATION INSURANCE IN ACCORDANCE WITH APPLICABLE STATE REQUIREMENTS.
- G. PROVIDE EMPLOYERS' LIABILITY INSURANCE IN AN AMOUNT NOT LESS THAN \$100,000.
- H. PROVIDE COMPREHENSIVE AUTOMOBILE LIABILITY INCLUDING OWNED, NON-OWNED AND HIRE COVERAGE IN AN AMOUNT NOT LESS THAN \$500,000 CSL (COMBINED SINGLE LIMIT). SATISFY ANY INSURANCE REQUIREMENTS NECESSITATED BY ANY PERTINENT
- GOVERNMENTAL AUTHORITY.
- AT OWNER'S ELECTION, MAINTAIN BUILDER'S RISK INSURANCE COVERING THE PREMISES. HAVE SUCH INSURANCE WRITTEN ON AN ALL RISK BASIS AND COVERING ALL THE WORK UNTIL OWNER'S FINAL ACCEPTANCE OF SAME.
- PROVIDE INSURANCE POLICIES IMMEDIATELY AFTER AWARD OF CONTRACT AND PRIOR TO ANY WORK BEING PERFORMED. UPON OBTAINING POLICIES, NOTIFY THE OWNER AND FILE CERTIFICATES AND/OR DUPLICATE POLICIES FROM INSURANCE COMPANIES WITH THE OWNER SHOWING POLICY NUMBERS, DATES POLICIES ARE IN EFFECT, AND ALL LIMITATIONS AND EXCLUSION. PROVIDE CERTIFICATES STATING THAT THE INSURANCE COMPANY WILL NOTIFY THE OWNER BY REGISTERED MAIL THIRTY (30) DAYS PRIOR TO THE EXPIRATION OR CANCELLATION OF ANY POLICY.

PERFORMANCE, MATERIAL AND LABOR BONDS:

WHEN REQUESTED, PROVIDE PERFORMANCE BONDS, LABOR AND MATERIAL PAYMENT BONDS TO THE OWNER, PRIOR TO START OF WORK UNLESS OTHERWISE STATED, USE THE 1984 EDITION OF AIA DOCUMENT A312 - PERFORMANCE BOND AND PAYMENT BOND.

CONTRACTOR'S QUALIFIED JOB SITE SUPERINTENDENT:

A. HAVE THE CONTRACTOR OR HIS/HER DESIGNATED AND QUALIFIED REPRESENTATIVE/JOB SUPERINTENDENT, WITH FULL AUTHORITY TO ACT ON BEHALF OF CONTRACTOR UNDER THE CONSTRUCTION CONTRACT, IN ATTENDANCE AT THE JOB SITE AND SUPERVISING SAID WORK, AT ALL TIMES DURING THE PROGRESS OF THE WORK.

- A. TAKE CHARGE OF THE PREMISES FROM THE START TO THE PROJECT AND FURNISH THE
- - 2. TEMPORARY ELECTRIC POWER, TWO TELEPHONE LINES, AND ONE CONTRACTOR PROVIDED FAX MACHINES, DURING THE PERIOD OF CONSTRUCTION. THIS DOES NOT INCLUDE PORTABLE
 - GENERATORS FOR USE OF OTHER TRADES.
- ACCEPTANCE, UNLOADING AND STORAGE OF OWNER'S EQUIPMENT
- DELIVERED TO THE SITE ARE THE RESPONSIBILITY OF THE CONTRACTOR.

COMMUNICATED IN THE BID DOCUMENTS.

- TWO ENCLOSED AND SECURED TRAILERS FOR STORAGE OF OWNER SUPPLIED ITEMS. THE MINIMUM LENGTH OF SAID TRAILERS IS TWENTY-FIVE FEET, BUT MAY RANGE TO FORTY-FEET, AT THE DISCRETION OF THE CONSTRUCTION MANAGER AS
- - OWNER, TO LAY OUT THE WORK USING ACCEPTED SURVEYING PRACTICES. 1. ESTABLISH BENCHMARKS AND CONTROL POINTS TO SET LINES AND
 - AS NEEDED TO LOCATE EACH ELEMENT OF THE PROJECT. ESTABLISH DIMENSIONS WITHIN TOLERANCES INDICATED. DO NOT
 - SCALE DRAWINGS TO OBTAIN REQUIRED DIMENSIONS. INFORM INSTALLERS OF LINES AND LEVELS TO WHICH THEY MUST
 - 4. CHECK THE LOCATION, LEVEL AND PLUMB, OF EVERY MAJOR ELEMENT AS THE WORK

 - 5. NOTIFY OWNER WHEN DEVIATIONS FROM REQUIRED LINES AND
 - LEVELS EXCEED ALLOWABLE TOLERANCES. CLOSE SITE SURVEYS WITH AN ERROR OF CLOSURE EQUAL TO OR

LESS THAN THE STANDARD ESTABLISHED BY AUTHORITIES HAVING JURISDICTION.

D. BUILDING LINES AND LEVELS: LOCATE AND LAY OUT CONTROL LINES AND LEVELS FOR STRUCTURES, BUILDING FOUNDATIONS, COLUMN GRIDS, AND FLOOR LEVELS, INCLUDING TH(SE REQUIRED FOR MECHANICAL AND ELECTRICAL WORK. TRANSFER SURVEY MARKINGS AND TWO OR MORE LOCATIONS.

E. RECORD LOG: MAINTAIN A LOG OF LAYOUT CONTROL WORK. RECORD DEVIATIONS FROM REQUIRED LINES AND LEVELS. INCLUDE BEGINNING AND ENDING DATES AND TIMES OF SURVEYS, WEATHER CONDITIONS, NAME AND DUTY OF EACH SURVEY PARTY MEMBER, \ND TYPES OF INSTRUMENTS AND TAPES USED. MAKE THE LOG AVAILABLE FOR REFERENCE BY ARCHITECT.

- A. DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR IS THE RECEIVING PART' FOR DELIVERIES OF EQUIPMENT AND MISCELLANEOUS ITEMS MADE TO THE FOB SITE BY COMMON CARRIER. IF, DURING THE RECEIPTS OF THOSE ITEMS BY THE CONTRACTOR'S REPRESENTATIVES, ANY MISSING OR DAMAGED ITEMS ARE OBSERVED, THE RECEIVING
- CALL OWNER AND ADVISE OF THE PROBLEM WITHIN 24 HOURS.

INSPECTION AND TESTS:

- A. CALL FOR ALL INSPECTIONS AS MAY BE REQUIRED BY LOCAL AUTHORITIES, ALLOWING MINIMUM OF 24 HOUR NOTICE FOR INSPECTIONS TO BE MADE.
- B. NOTIFY THE OWNER FOR THE NECESSARY INSPECTIONS ONE WEEK PRIOR TO THE INSTALLATION OF THE ITEMS SPECIFIED IN THE "INVITATION TO BID".
- C. THE OWNER HAS THE RIGHT TO ORDER TESTS AND/OR LABORATORY EXAMINATION OF ACCUPANCE. MATERIAL OR WORK USED OR PERFORMED ON THE PROJECT SHOULD HE/SHE SUSPECT SUCH MATERIAL OR WORK TO BE OF LESSER QUALITY THAN SPECIFIED HEREIN. THE COSTS OF ALL SUCH TESTS WILL BE PAID BY THE OWNER UNLESS THEY INDICATE WORK OR MATERIA .5 TO BE OF LESSER QUALITY, IN WHICH CASE THE CONTRACTOR PAYS THE COSTS ALONG WIT ANY EXPENSES INCURRED IN CORRECTION OF THE WORK.

PROGRESS MEETINGS:

- WITH PREPARATION OF PAYMENT REQUESTS.
- ATTENDEES: IN ADDITION TO REPRESENTATIVES OF OWNER AND CONSULTANTS EACH CONTRACTOR, SUBCONTRACTOR, SUPPLIER, AND OTHER ENTITY CONCERNED WITH CURRENT PROGRESS OR INVOLVED IN PLANNING, COORDINATION, OR PERFORMANCE C. FUTURE ACTIVITIES SHALL BE REPRESENTED AT THESE MEETINGS. ALL PARTICIPANTS AT THE CONFERENCE SHALL BE FAMILIAR WITH THE PROJECT AND AUTHORIZED TO CONCLUDE MATTERS RELATING TO THE WORK.
- MEETING. DETERMINE WHETHER EACH ACTIVITY IS ON TIME, AHEAD OF SCHEDULE, OR BEHIND SCHEDULE, IN RELATION TO CONTRACTOR'S CONSTRUCTION SCHEDULE. DETER MINE HOW CONSTRUCTION BEHIND SCHEDULE WILL BE EXPEDITED; SECURE COMMITMENTS ROM PARTIES INVOLVED TO DO SO. DISCUSS WHETHER SCHEDULE REVISIONS ARE REQUIRED TO ENSURE THAT CURRENT AND SUBSEQUENT ACTIVITIES WILL BE COMPLETED WITHIN THE CONTRACT TIME.

PRECEDING WORK:

A. BEFORE STARTING WORK, EXAMINE WORK PREVIOUSLY INSTALLED AND IMMEDIATELY REPORT TO THE OWNER ANY VISIBLE DEFECTS OR CONDITIONS WHICH ADVERSELY AFFI THE QUALITY AND/OR COMPLETION OF THIS WORK. IT IS ASSUMED ALL CONDITIONS A LE ACCEPTABLE IF NO SUCH REPORT IS RECEIVED.

CUTTING AND FITTING:

A. EXECUTE ALL CUTTING AND FITTING OF WORK AS MAY BE REQUIRED BY OTHER TRADES ••• AS TO INSURE AS NEAR PERFECT FIT OF MATERIALS AS POSSIBLE.

DAMAGED WORK:

A. NO ADVERTISING IS ALLOWED, UNLESS SPECIFICALLY ALLOWED BY THE OWNER.

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PROJECT NUMBER: 2005

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INAL REVIEW

SPECIFICATIONS

SHEET

TEMPORARY FACILITIES: LAYING OUT OF ALL WORK AND ESTABLISHING BUILDING LINES AND LEVELS, CONFIRM THIS INFORMATION WITH THE OWNER.

3. HEATING OF BUILDING FOR WORKING AND DRYING PURPOSES DURING THE PERIOD OF CONSTRUCTION. TEMPORARY LADDERS AS REQUIRED FOR ACCESS TO ALL WORK.

WATER FOR CONSTRUCTION USE.

TEMPORARY TOILET FACILITIES FOR WORKERS

CONSTRUCTION LAYOUT:

- A. BEFORE PROCEEDING TO LAY OUT THE WORK, VERIFY LAYOUT INFORMATION SHOWN ON DRAWINGS, IN RELATION TO THE PROPERTY SURVEY AND EXISTING BENCHMARKS. IF DISCREPANCIES ARE DISCOVERED, NOTIFY THE OWNER'S REPRESENTATIVE PROMPTLY.
- B. GENERAL: ENGAGE A LAND SURVEYOR OR PROFESSIONAL ENGINEER, ACCEPTABLE TO THE
- LEVELS AT EACH STORY OF CONSTRUCTION AND ELSEWHERE

- C. SITE IMPROVEMENTS: LOCATE AND LAY OUT SITE IMPROVEMENTS, INCLUDING PAVEMENTS, GRADING, FILL AND TOPSOIL PLACEMENT, UTILITY SLOPES, AND INVERT ELEVATIONS.
- ELEVATIONS FOR USE WITH CONTROL LINES AND LEVELS. LEVEL FOUNDATIONS AND PIERS FROM

RECEIPT OF EQUIPMENT

- MAKE A NOTATION OF THE DISCREPANCY ON THE DELIVERY TICKET.
- 3. CALL THE DELIVERY CARRIER AND/OR VENDOR TO FILE A CLAIM.

- A. CONDUCT PROGRESS MEETINGS AT REGULAR INTERVALS. COORDINATE DATES OF MEETINGS
- C. CONTRACTOR'S CONSTRUCTION SCHEDULE: REVIEW PROGRESS MADE SINCE THE LAST

A. PAY FOR REPLACEMENT OF ANY WORK DAMAGED IN CONNECTION WITH THE CONTRACT, AND PERFORM SUCH PATCHING OR REPLACEMENT BY SKILLED PERSONNEL SPECIALIZING IN THE PARTICULAR TRADE SO AS TO RESTORE DAMAGED WORK TO COMPLETELY ACCEPTABLE CONDITION. SHOULD RESPONSIBILITY FOR DAMAGE BE UNABLE TO BE DETERMINED, PRORATE THE COST OF REPAIRING SAME AMONG CONTRACTORS WORKING ON THE JO! A THE TIME THE DAMAGE OCCURRED AS DETERMINED BY THE OWNER. THE DECISION OF THE OWNER IS FINAL.

- DELIVER COMPLETED WORK AS CALLED FOR BY THE CONTRACT TO THE OWNER FREE FROM LIENS, CLAIMS OR ENCUMBRANCES OF ANY DESCRIPTION WHATSOEVER AGAINST THE OWNER. ACCEPTANCE OF SUCH WORK IS DEFINED AS APPROVAL OF FINAL PAYOUT.
- IF OWNER RECEIVES "NOTICE OF CLAIM" TO BE FILED OR IF A CLAIM IS FILED AS A RESULT OF CONTRACTOR'S NON-PAYMENT, OWNER POSSESSES THE RIGHT UNDER THE CONSTRUCTION CONTRACT TO EITHER SETTLE THE CLAIM AND DEDUCT SOME FROM THE CONTRACT SUM OR TO REQUIRE THE CONTRACTOR TO BOND OVER SUCH SMALL CLAIMS, INCLUDING ANY ASSOCIATED EXPENSES AS DEFINED IN THE CONSTRUCTION CONTRACT AND TO PROMPTLY DEFEND TO CONCLUSION OWNER AND OWNER'S INTEREST AGAINST SAID CLAIM OF CLAIMS.
- COMPLETION OF WORK ON THE PROJECT REQUIRES THE SUBMISSION BY THE CONTRACTOR OF CERTAIN DOCUMENTATION IN ORDER FOR THE FINAL RETENTION DRAW TO BE PAID TO THE CONTRACTOR. THE SUBMISSION OF THESE DOCUMENTS IS DEFINED IN THE CONSTRUCTION CONTRACT AND IS INCLUSIVE OF THE FOLLOWING ITEMS: RECORD DRAWINGS AND SPECIFICATIONS INCLUDING MICROFICHE COPIES; LIEN WAIVERS FROM CONTRACTOR AND SUB-CONTRACTORS AND MATERIAL MEN; LIST OF ALL SUBCONTRACTORS AND MATERIAL MEN; CONTRACTOR'S GUARANTEE AND COMPLETION AFFIDAVIT; FINAL SIGNED PUNCH LIST; ANY WORK ORDERS AND ASSOCIATED CONTRACT CHANGE ORDERS; CERTIFICATE OF OCCUPANCY AND ANY RELATED PUBLIC AGENCY; CERTIFICATION OF PROJECT COMPLETION; COPIES OF PROJECT INSPECTION REPORTS; PERMITTED SET OF DRAWINGS AND SPECIFRICATION; ALL WARRANTIES; ALL CERTIFICATIONS NOTED IN THE DRAWINGTS INCLUDING CIVIL DRAWINGS, THE BID DOCUMENTS AND CONSTUCTION CONTRACT; AND ANY REQUIRED TEST AND/OR ENGINEERING REPORTS.

- THROUGHOUT THE PERIOD OF CONSTRUCTION, BE RESPONSIBLE FOR SATISFACTORILY MAINTAINING THE PREMISES IN A NEAT AND CLEAN CONDITION. THIS MEANS THE TIMELY REMOVAL OF ALL REFUSE AND DEBRIS FROM THE PREMISES.
- STORE ALL EQUIPMENT AND MATERIALS IN A NEAT MANNER AND PROTECT THEM FROM ANY DAMAGE FROM THE ELEMENTS. MAINTAIN BUILDING IN A GENERALLY CLEAN CONDITION DURING THE PERIOD OF CONSTRUCTION, AND UPON FINAL COMPLETION PROVIDE A PROFESSIONAL SERVICE TO THOROUGHLY CLEAN ALL GLASS, FLOORS, FURNITURE AND EQUIPMENT

- THE OWNER, WITHOUT INVALIDATING THE CONTRACT, MAY ORDER CHANGES IN THE WORK WITHIN THE GENERAL SCOPE OF THE CONTRACT, CONSISTING OF ADDITIONS, DELETIONS, OR OTHER REVISION. THE CONTRACT SUM AND THE CONTRACT TIME WILL BE ADJUSTED ACCORDINGLY. AN OWNER CONTRACT CHANGE ORDER MAY BE ISSUED BY AN OWNER'S CONSTRUCTION MANAGER BUT MUST BE APPROVED BY THE VICE PRESIDENT FACILITY DEVELOPMENT PRIOR TO PAYMENT, FOR CORPORATE PROJECTS.
- THE COST OR CREDIT TO THE OWNER RESULTING FROM A CHANGE IN THE WORK WILL BE DETERMINED BY MUTUAL AGREEMENT. PERFORM ALL WORK UNDER THE APPLICABLE CONDITINS OF THE CONTRACT DOCUMENTS.
- OBTAIN WRITTEN AUTHORIZATION FOR CHANGES IN THE WORK (CONSTRUCTION WORK ORDER) FROM THE OWNER'S CONSTRUCTION MANAGER PRIOR TO COMPLETION OF THE

A FULLY AND UNCONDITIONALLY GUARANTEE ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED BY THE OWNER - CONTRACTOR AGREEMENT(S) FOR A PERIOD OF ONE (1) YER FROM THE DATE OF FINAL ACCEPTANCE OR THE DATE THE RESTAURANT IS OPENED FOR BUSINESS BY THE OWNER.

SECTION 030000 - CAST-IN-PLACE CONCRETE

REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATION

SECTION 047200 - CAST STONE MASONRY

- A. THIS SECTION INCLUDES THE FOLLOWING: CAST STONE TRIM.
- 1.2 SUBMITTALS
- PRODUCT DATA: INCLUDE DIMENSIONS OF INDIVIDUAL COMPONENTS SAMPLES: FOR EACH COLOR AND TEXTURE OF CAST STONE REQUIRED.
- 1.3 QUALITY ASSURANCE
- MANUFACTURER QUALIFICATIONS: A QUALIFIED MANUFACTURER OF CAST STONE UNITS SIMILAR TO THOSE INDICATED FOR THIS PROJECT, WITH SUFFICIENT PRODUCTION CAPACITY TO MANUFACTURE REQUIRED UNITS.
- MANUFACTURER IS A PRODUCING MEMBER OF THE CAST STONE INSTITUTE. PROVIDE CAST STONE UNITS COMPLYING WITH ASTM C 1364 USING THE VIBRANT DRY TAMP OR WET-CAST METHOD.
- 1.4 MANUFACTURERS
- AS SPECIFIED ON DRAWINGS.
- COLOR AND TEXTURES AS INDICATED ON THE DRAWINGS.
- 1.5 ACCESSORIES
- ANCHORS AND DOWELS: TYPE 304 STAINLESS STEEL OR HOT-DIP GALVANIZED STEEL. PROPRIETARY ACIDIC CLEANER: MANUFACTURER'S STANDARD-STRENGTH, GENERAL-PURPOSE CLEANER COMPLYING WITH REQUIREMENTS IN DIVISION 04 SECTION "UNIT MASONRY ASSEMBLIES" AND APPROVED FOR INTENDED USE BY CAST STONE MANUFACTURER AND APPROVED BY CLEANER MANUFACTURER FOR USE ON CAST STONE AND ADJACENT MASONRY MATERIALS.
- 1.6 MORTAR
- COMPLY WITH REQUIREMENTS IN DIVISION 04 SECTION "UNIT MASONRY" FOR MORTAR MATERIALS AND MIXES. FOR SETTING MORTAR, USE TYPE N.
 - FOR POINTING MORTAR, USE TYPE N PIGMENTED MORTAR: AS INDICATED ON DRAWINGS.

PART 2 - EXECUTION

- 2.1 SETTING CAST STONE IN MORTAR
- INSTALL CAST STONE UNITS TO COMPLY WITH REQUIREMENTS IN DIVISION 04 SECTION "UNIT MASONRY ASSEMBLIES."
- SET UNITS IN FULL BED OF MORTAR WITH FULL HEAD JOINTS, UNLESS OTHERWISE INDICATED.
- FILL DOWEL HOLES AND ANCHOR SLOTS WITH MORTAR. FILL COLLAR JOINTS SOLID AS UNITS ARE SET.
- BUILD CONCEALED FLASHING INTO MORTAR JOINTS AS UNITS ARE SET.
- KEEP HEAD JOINTS IN COPING AND OTHER UNITS WITH EXPOSED HORIZONTAL SURFACES OPEN TO RECEIVE SEALANT. KEEP JOINTS AT SHELF ANGLES OPEN TO RECEIVE SEALANT.
- RAKE OUT JOINTS FOR POINTING WITH MORTAR TO DEPTHS OF NOT LESS THAN 3/4 INCH (19 MM). RAKE JOINTS TO UNIFORM DEPTHS WITH SQUARE BOTTOMS AND CLEAN SIDES.
- SCRUB FACES OF UNITS TO REMOVE EXCESS MORTAR AS JOINTS ARE RAKED. TOOL EXPOSED JOINTS SLIGHTLY CONCAVE WHEN THUMBPRINT HARD, USING A JOINTER
- LARGER THAN JOINT THICKNESS, UNLESS OTHERWISE INDICATED.
- PROVIDE EXPANSION, CONTROL, AND PRESSURE-RELIEVING JOINTS OF WIDTHS AND AT
- LOCATIONS INDICATED. KEEP JOINTS FREE OF MORTAR AND OTHER RIGID MATERIALS. PREPARE JOINTS INDICATED TO RECEIVE SEALANT AND APPLY SEALANT OF TYPE AND AT LOCATIONS INDICATED TO COMPLY WITH APPLICABLE REQUIREMENTS IN DIVISION 07 SECTION "JOINT SEALANTS."

- 2.2 SETTING ANCHORED CAST STONE WITH SEALANT-FILLED JOINTS
- A. SET CAST STONE UNITS ACCURATELY IN LOCATIONS INDICATED WITH EDGES AND FACES
- INSTALL ANCHORS, SUPPORTS, FASTENERS, AND OTHER ATTACHMENTS TO SECURE UNITS IN PLACE.
- SHIM AND ADJUST ANCHORS, SUPPORTS, AND ACCESSORIES. B. FILL ANCHOR HOLES WITH SEALANT. WHERE DOWEL HOLES OCCUR AT PRESSURE-RELIEVING
- JOINTS, PROVIDE COMPRESSIBLE MATERIAL AT ENDS OF DOWELS. SET CAST STONE SUPPORTED ON CLIP OR CONTINUOUS ANGLES ON RESILIENT SETTING SHIMS. HOLD SHIMS BACK FROM FACE OF CAST STONE A DISTANCE AT LEAST EQUAL TO
- KEEP JOINTS FREE OF MORTAR AND OTHER RIGID MATERIALS. REMOVE TEMPORARY SPACERS FROM JOINTS AFTER ANCHORS AND SUPPORTS ARE SECURED IN PLACE AND CAST STONE UNITS ARE ANCHORED.
- PREPARE JOINTS AND APPLY SEALANT OF TYPE AND AT LOCATIONS INDICATED TO COMPLY WITH APPLICABLE REQUIREMENTS IN DIVISION 07 SECTION "JOINT SEALANTS."
- 2.3 ADJUSTING AND CLEANING
- A. REMOVE AND REPLACE STAINED AND OTHERWISE DAMAGED UNITS NOT MATCHING APPROVED SAMPLES. CAST STONE MAY BE REPAIRED IF METHODS AND RESULTS ARE APPROVED BY ARCHITECT.
- REPLACE UNITS IN A MANNER THAT SHOWS NO EVIDENCE OF REPLACEMENT. B. IN-PROGRESS CLEANING: CLEAN CAST STONE AS WORK PROGRESSES. REMOVE MORTAR FINS AND SMEARS BEFORE TOOLING JOINTS.
- REMOVE EXCESS SEALANT IMMEDIATELY, INCLUDING SPILLS, SMEARS, AND SPATTER. C. FINAL CLEANING: AFTER MORTAR IS THOROUGHLY SET AND CURED, CLEAN EXPOSED CAST STONE TO COMPLY WITH REQUIREMENTS IN DIVISION 04 SECTION "UNIT MASONRY."

SECTION 048100 - UNIT MASONRY

PART 1 - GENERAL

- A. THIS SECTION INCLUDES UNIT MASONRY ASSEMBLIES CONSISTING OF THE FOLLOWING: CONCRETE MASONRY UNITS.
- B. SEE DIVISION 5 SECTION "METAL FABRICATIONS" FOR FURNISHING STEEL LINTELS INSTALLED
- IN UNIT MASONRY ASSEMBLIES. SEE DIVISION 07 SECTION "SHEET METAL FLASHING AND TRIM" FOR FURNISHING MANUFACTURED REGLETS INSTALLED IN MASONRY JOINTS FOR METAL FLASHING.
- 1.2 PROJECT CONDITIONS
- A. COLD-WEATHER REQUIREMENTS: DO NOT USE FROZEN SUBSTRATES. REMOVE AND REPLACE UNIT MASONRY DAMAGED BY FROST OR BY FREEZING CONDITIONS. COMPLY WITH
- COLD-WEATHER CONSTRUCTION REQUIREMENTS CONTAINED IN ACI 530.1/ASCE 6/TMS 602. B. HOT-WEATHER REQUIREMENTS: WHEN AMBIENT TEMPERATURE EXCEEDS 100 DEG F, OR 90 DEG F WITH A WIND VELOCITY GREATER THAN 8 MPH, DO NOT SPREAD MORTAR BEDS MORE THAN 48 INCHES AHEAD OF MASONRY. SET MASONRY UNITS WITHIN ONE MINUTE OF SPREADING MORTAR. COMPLY WITH HOT-WEATHER CONSTRUCTION REQUIREMENTS CONTAINED IN ACI 530.1/ASCE 6/TMS 602.

PART 2 - PRODUCTS

- 2.1 MANUFACTURER, COLOR, AND TEXTURE
- A. AS SPECIFIED ON DRAWINGS.
- 2.2 MASONRY UNITS
- A. CONCRETE MASONRY UNITS: ASTM C 90.
- 1. UNIT COMPRESSIVE STRENGTH: 2800 PSI MINIMUM, AVERAGE NET-AREA COMPRESSIVE STRENGTH.
- 2. WEIGHT CLASSIFICATION: NORMAL WEIGHT BELOW GRADE AND ABOVE GRADE FOR EXTERIOR EXPOSURE. 3. SPECIAL SHAPES: PROVIDE FOR LINTELS, CORNERS, JAMBS, SASH, CONTROL JOINTS,
- HEADERS, BONDING, AND OTHER SPECIAL CONDITIONS. 4. INTEGRAL WATER REPELLENT: PROVIDE UNITS MADE WITH LIQUID POLYMERIC, INTEGRAL WATER REPELLENT ADMIXTURE THAT DOES NOT FLEXURAL BOND STRENGTH
- a. PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS
- ACM CHEMISTRIES; RAINBLOC
- BASF; RHEOPEL PLUS 3. W.R. GRACE & CO.; DRY-BLOCK

B. BRICK, GENERAL:

- 1. PROVIDE UNITS WITHOUT CORES OR FROGS AND WITH EXPOSED SURFACES FINISHED FOR ENDS OF SILLS AND CAPS AND FOR SIMILAR APPLICATIONS THAT WOULD OTHERWISE EXPOSE UNFINISHED BRICK SURFACES.
- 2.PROVIDE SPECIAL SHAPES FOR APPLICATIONS REQUIRING BRICK OF SIZE, FORM, COLOR, AND TEXTURE ON EXPOSED SURFACES THAT CANNOT BE PRODUCED BY SAWING.
- FACE BRICK: ASTM C 216, GRADE SW, TYPE FBS.
- 1. UNIT COMPRESSIVE STRENGTH: 4400 PSI MINIMUM AVERAGE, NET-AREA
- INITIAL RATE OF ABSORPTION: LESS THAN 20 G/30 SQ. IN. PER MINUTE WHEN TESTED
- 3. EFFLORESCENCE: WHEN TESTED PER ASTM C 67 AND BRICK IS RATED "NOT EFFLORESCED."
- 4. SURFACE COLORING: BRICK WITH SURFACE COLORING, OTHER THAN FLASHED OR SAND-FINISHED BRICK, WILL WITHSTAND 50 CYCLES OF FREEZING AND THAWING PER ASTM C 67 WITH NO OBSERVABLE DIFFERENCE IN THE APPLIED FINISH WHEN VIEWED FROM 10 FEET.
- 5. SIZE: AS INDICATED ON DRAWINGS.

2.3 MORTAR AND GROUT MATERIALS

- A. PORTLAND CEMENT: ASTM C 150, TYPE I OR II, EXCEPT TYPE III MAY BE USED FOR COLD-WEATHER CONSTRUCTION.
- HYDRATED LIME: ASTM C 207, TYPE S.
- AGGREGATE FOR MORTAR: ASTM C 144; EXCEPT FOR JOINTS LESS THAN 1/4 INCH THICK, USE AGGREGATE GRADED WITH 100 PERCENT PASSING THE NO. 16 SIEVE. AGGREGATE FOR GROUT: ASTM C 404.
- MORTAR PIGMENTS: AS SPECIFIED ON DRAWINGS.
- WATER: POTABLE.
- 2.4 REINFORCING STEEL
- UNCOATED STEEL REINFORCING BARS: ASTM A 615; ASTM A 615M. MASONRY JOINT REINFORCEMENT: ASTM A 951; MILL GALVANIZED, CARBON-STEEL WIRE FOR INTERIOR WALLS AND HOT-DIP GALVANIZED, CARBON-STEEL WIRE FOR EXTERIOR
- 4. WIRE SIZE FOR SIDE RODS: W1.7 OR 0.148-INCH DIAMETER.
- WIRE SIZE FOR CROSS RODS: W1.7 OR 0.148-INCH DIAMETER. SINGLE-WYTHE MASONRY: USE EITHER LADDER OR TRUSS TYPE WITH SINGLE PAIR OF SIDE RODS AND CROSS RODS SPACED NOT MORE THAN 16 INCHES O.C.
- 2.5 TIES AND ANCHORS
- A. MATERIALS, GENERAL: AS FOLLOWS, UNLESS OTHERWISE INDICATED. 1. GALVANIZED, CARBON-STEEL WIRE: ASTM A 82; WITH ASTM A 153, CLASS B-2
- COATING FOR EXTERIOR WALLS AND CLASS 1 COATING FOR INTERIOR WALLS. 2. GALVANIZED STEEL SHEET: ASTM A 366 COLD-ROLLED, CARBON-STEEL SHEET HOT-DIP GALVANIZED AFTER FABRICATION TO COMPLY WITH ASTM A 153 AT EXTERIOR WALLS; AND ASTM A 653, G60, COMMERCIAL-QUALITY, STEEL SHEET ZINC COATED BY HOT-DIP

OF WITHSTANDING A 100-LBF LOAD IN BOTH TENSION AND COMPRESSION WITHOUT

PROCESS ON CONTINUOUS LINES BEFORE FABRICATION AT INTERIOR WALLS. B. ADJUSTABLE MASONRY-VENEER ANCHORS 1. PROVIDE 2-PIECE ASSEMBLIES THAT ALLOW VERTICAL OR HORIZONTAL ADJUSTMENT BUT RESIST TENSION AND COMPRESSION FORCES PERPENDICULAR TO WALL, FOR ATTACHMENT OVER SHEATHING TO WOOD OR METAL STUDS, AND THAT ARE CAPABLE

DEFORMING OR DEVELOPING PLAY IN EXCESS OF 0.05 INCH.

A. CONCEALED FLASHING: FOR FLASHING PARTLY EXPOSED TO THE EXTERIOR, USE METAL

FLASHING SPECIFIED ABOVE. FOR FLASHING NOT EXPOSED TO THE EXTERIOR, USE THE

1. COPPER-LAMINATED FLASHING: MANUFACTURER'S STANDARD LAMINATED FLASHING

- CONSISTING OF 7-OZ/SQ FT. SHEET COPPER BONDED WITH ASPHALT BETWEEN 2 LAYERS OF GLASS-FIBER CLOTH.
- 2.7 MISCELLANEOUS MASONRY ACCESSORIES

FOLLOWING, UNLESS OTHERWISE INDICATED:

2.6 EMBEDDED FLASHING MATERIALS

- COMPRESSIBLE FILLER: PREMOLDED FILLER STRIPS COMPLYING WITH ASTM D 1056, GRADE 2A1; COMPRESSIBLE UP TO 35 PERCENT; FORMULATED FROM NEOPRENE.
- B. RECTANGULAR PLASTIC WEEP/VENT TUBING: CLEAR BUTYRATE, 3/8 BY 1-1/2 BY 3-1/2
- 2.8 MASONRY CLEANERS
- PROPRIETARY ACIDIC CLEANER: MANUFACTURER'S STANDARD-STRENGTH CLEANER DESIGNED FOR REMOVING MORTAR/GROUT STAINS, EFFLORESCENCE, AND OTHER NEW CONSTRUCTION STAINS FROM NEW MASONRY WITHOUT DISCOLORING OR DAMAGING SURFACES. USE PRODUCT APPROVED FOR INTENDED USE BY CLEANER MANUFACTURER AND MANUFACTURER OF MASONRY UNITS BEING CLEANED.

2.9 CAVITY DRAINAGE MATERIAL

- A. FREE-DRAINING MESH, MADE FROM POLYMER STRANDS THAT WILL NOT DEGRADE WITHIN
 - PROVIDE ONE OF THE FOLLOWING CONFIGURATIONS
 - a. STRIPS, FULL-DEPTH OF CAVITY AND 10 INCHYES (250 MM) WIDE, WITH DOVETAIL SHAPED NOTCHES 7 INCHES (175 MM) DEEP. b. STRIPS, NOT LESS THAN 1-1/2 INCHES (38 MM) THICK AND 10 INCHES (250 MM)
 - WIDE, WITH DIMPLED SURFACE DESIGNED TO CATCH MORTAR DROPPINGS AND PREVENT WEEP HOLES FROM BEING CLOGGED WITH MORTAR. c. SHEETS OR STRIPS FULL DEPTH OF CAVITY AND INSTALLED TO FULL HEIGHT OF CAVITY.
 - AVAILABLE PRODUCTS: a. ADVANCED BUILDING PRODUCTS INC.; MORTAR BREAK OR MORTAR BREAK II.
 - ARCHOVATIONS, INC.; CAVCLEAR MASONRY MAT. DAYTON SUPERIOR CORPORATION, DUR-O-WAL DIVISION; POLYTITE
- MORTARSTOP. d. MORTAR NET USA, LTD.; MORTAR NET.

REPELLENT BY SAME MANUFACTURER.

2. FACE BRICK: AS INDICATED ON DRAWINGS.

2.10 MORTAR AND GROUT MIXES

- GENERAL: DO NOT USE ADMIXTURES, UNLESS OTHERWISE INDICATED. DO NOT USE
- CALCIUM CHLORIDE IN MORTAR OR GROUT. MORTAR FOR UNIT MASONRY: COMPLY WITH ASTM C 270, PROPORTION SPECIFICATION.
- GROUT FOR UNIT MASONRY: COMPLY WITH ASTM C 476. PROVIDE GROUT WITH A SLUMP OF 8 TO 11 INCHES AS MEASURED ACCORDING TO ASTM C 143.
- WATER REPELLENT ADMIXTURE: LIQUID WATER-REPELLENT MORTAR ADMIXTURE INTENDED FOR USE WITH CMU'S CONTAINING INTEGRAL WATER

PART 3 - EXECUTION

3.1 INSTALLATION, GENERAL

- A. CUT MASONRY UNITS WITH MOTOR-DRIVEN SAWS. ALLOW UNITS CUT WITH WATER-COOLED SAWS TO DRY BEFORE PLACING, UNLESS WETTING OF UNITS IS SPECIFIED.
- INSTALL CUT UNITS WITH CUT SURFACES AND, WHERE POSSIBLE, CUT EDGES CONCEALED. SELECT AND ARRANGE UNITS FOR EXPOSED UNIT MASONRY TO PRODUCE A UNIFORM BLEND OF COLORS AND TEXTURES.
- WETTING OF BRICK: WET BRICK BEFORE LAYING IF THE INITIAL RATE OF ABSORPTION EXCEEDS 30 G/30 SQ. IN. PER MINUTE WHEN TESTED PER ASTM C 67. ALLOW UNITS TO ABSORB WATER SO THEY ARE DAMP BUT NOT WET AT TIME OF LAYING. DO NOT WET
- D. COMPLY WITH TOLERANCES IN ACI 530.1/ASCE 6/TMS 602 AND THE FOLLOWING: FOR CONSPICUOUS VERTICAL LINES, SUCH AS EXTERNAL CORNERS, DOOR JAMB REVEALS, AND EXPANSION AND CONTROL JOINTS, DO NOT VARY FROM PLUMB BY MORE
- THAN 1/4 INCH IN 20 FEET OR 1/2 INCH MAXIMUM. 2. FOR CONSPICUOUS HORIZONTAL LINES, SUCH AS LINTELS, SILLS, PARAPETS, AND REVEALS, DO NOT VARY FROM LEVEL BY MORE THAN 1/4 INCH IN 20 FEET, OR 1/2 INCH

3.2 LAYING MASONRY WALLS

- LAY OUT WALLS IN ADVANCE FOR ACCURATE SPACING OF SURFACE BOND PATTERNS WITH UNIFORM JOINT THICKNESSES AND FOR ACCURATE LOCATION OF OPENINGS, MOVEMENT-TYPE JOINTS, RETURNS, AND OFFSETS. AVOID USING LESS-THAN-HALF-SIZE UNITS, PARTICULARLY AT CORNERS, JAMBS, AND, WHERE POSSIBLE, AT OTHER LOCATIONS. 1. CONCRETE MASONRY UNITS: ONE-HALF RUNNING BOND.
- 3.3 JOINTING
- TOOL EXPOSED JOINTS SLIGHTLY CONCAVE WHEN THUMBPRINT HARD, USING A JOINTER LARGER THAN JOINT THICKNESS, UNLESS OTHERWISE INDICATED.
- KEEP CAVITIES CLEAN OF MORTAR DROPPINGS AND OTHER MATERIALS DURING
- CONSTRUCTION.
- 3.5 ANCHORING MASONRY A. ANCHOR MASONRY VENEERS TO WALL FRAMING WITH MASONRY-VENEER ANCHORS TO
- COMPLY WITH THE FOLLOWING REQUIREMENTS: 1. FASTEN EACH ANCHOR SECTION THROUGH TO WALL FRAMING WITH TWO METAL
- FASTENERS OF TYPE INDICATED. 2. SPACE ANCHORS AS INDICATED, BUT NOT MORE THAN 16 INCHES O.C. VERTICALLY AND 16 INCHES O.C. HORIZONTALLY WITH NOT LESS THAN 1 ANCHOR FOR EACH 1.77 SQ. FT. OF WALL AREA. INSTALL ADDITIONAL ANCHORS WITHIN 12 INCHES OF OPENINGS AND AT INTERVALS, NOT EXCEEDING 36 INCHES, AROUND PERIMETER.
- 3.6 FLASHING, WEEP HOLES AND VENTS
- GENERAL: INSTALL EMBEDDED FLASHING AND WEEP HOLES IN MASONRY AT SHELF ANGLES, LINTELS, LEDGES, OTHER OBSTRUCTIONS TO DOWNWARD FLOW OF WATER IN WALL, AND WHERE INDICATED.
- 1. EXTEND FLASHING 4 INCHES AT ENDS AND TURN FLASHING UP NOT LESS THAN 2 INCHES TO FORM A PAN.
- INSTALL WEEP HOLES IN THE HEAD JOINTS IN EXTERIOR WYTHES OF THE FIRST COURSE OF MASONRY IMMEDIATELY ABOVE EMBEDDED FLASHING. INSTALL VENTS IN VERTICAL HEAD JOINTS AT THE TOP OF EACH CONTINUOUS CAVITY AT SPACING INDICATED. USE RECTANGULAR PLASTIC TUBING TO FORM WEEP HOLES.
- SPACE WEEP HOLES 24 INCHES O.C. TRIM WICKING MATERIAL USED IN WEEP HOLES FLUSH WITH OUTSIDE FACE OF WALL

AFTER MORTAR HAS SET.

- CLEAN UNIT MASONRY BY DRY BRUSHING TO REMOVE MORTAR FINS AND SMEARS BEFORE TOOLING JOINTS, AS WORK PROGRESSES. AFTER MORTAR IS THOROUGHLY SET AND CURED, CLEAN EXPOSED MASONRY AS FOLLOWS:
- PROTECT ADJACENT SURFACES FROM CONTACT WITH CLEANER. WET WALL SURFACES WITH WATER BEFORE APPLYING CLEANERS; REMOVE CLEANERS PROMPTLY BY RINSING SURFACES THOROUGHLY WITH CLEAR WATER 3. CLEAN MASONRY WITH A PROPRIETARY ACIDIC CLEANER APPLIED ACCORDING TO
- 3.8 MASONRY WASTE DISPOSAL
- A. WASTE DISPOSAL: DISPOSE OF CLEAN MASONRY WASTE, INCLUDING BROKEN MASONRY UNITS, WASTE MORTAR AND EXCESS OR SOIL-CONTAMINATED SAND, AND OTHER MASONRY WASTE, AND LEGALLY DISPOSE OF OFF OWNER'S PROPERTY.

SECTION 051200 - STRUCTURAL STEEL FRAMING

REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATION

SECTION 054000 - COLD FORMED METAL FRAMING

REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATION

SECTION 055000 - METAL FABRICATIONS

PART 1 - GENERAL 1.1 SUMMARY

- A. THIS SECTION INCLUDES THE FOLLOWING:
- MISCELLANEOUS STEEL FRAMING AND SUPPORTS. LOOSE BEARING AND LEVELING PLATES.
- LOOSE STEEL LINTELS. (REFER TO STRUCTURAL DRAWINGS FOR LOOSE STEEL
- LINTEL SPECIFICATION) SHELF ANGLES.
- TRASH ENCLOSURE GATES.
- CATCH BASIN FRAME AND GRATE. (REFER TO CIVIL PLANS.) PIPE GUARDS.
- PIPE BOLLARDS
- A. METAL SURFACES, GENERAL: PROVIDE MATERIALS WITH SMOOTH, FLAT SURFACES
- WITHOUT BLEMISHES. B. FERROUS METALS:
- STEEL PIPE: ASTM A 53, STANDARD WEIGHT (SCHEDULE 40), UNLESS ANOTHER

- A. SHOP PRIMER FOR FERROUS METAL (INTERIOR APPLICATIONS): FAST-CURING, LEAD- AND CHROMATE-FREE, UNIVERSAL MODIFIED-ALKYD PRIMER COMPLYING WITH PERFORMANCE REQUIREMENTS IN FS-TT-P-664 AND COMPATIBLE WITH FINISH PAINT SYSTEMS INDICATED.
- 2.3 FABRICATION
- SHEAR AND PUNCH METALS CLEANLY AND ACCURATELY. REMOVE BURRS WELD CORNERS AND SEAMS CONTINUOUSLY. USE MATERIALS AND METHODS THAT
- IMMEDIATELY. FINISH EXPOSED WELDS SMOOTH AND BLENDED. 3. FABRICATE JOINTS THAT WILL BE EXPOSED TO WEATHER IN A MANNER TO EXCLUDE
- 4. FORM EXPOSED CONNECTIONS WITH HAIRLINE JOINTS, FLUSH AND SMOOTH, USING CONCEALED FASTENERS WHERE POSSIBLE. LOCATE JOINTS WHERE LEAST CONSPICUOUS.
- PIPE BOLLARDS: FABRICATE FROM SCHEDULE 40 STEEL PIPE. TRASH ENCLOSURE GATES. AS SPECIFIED AND DETAILED ON DRAWINGS.

WATER, OR PROVIDE WEEP HOLES.

MANUAL FOR ARCHITECTURAL AND METAL PRODUCTS" FOR RECOMMENDATIONS FOR

APPLYING AND DESIGNATING FINISHES. SHOP PRIME FERROUS-METAL ITEMS NOT

- PART 3 EXECUTION

INDICATED TO BE GALVANIZED.

- GENERAL: PROVIDE ANCHORAGE DEVICES AND FASTENERS WHERE METAL FABRICATIONS ARE REQUIRED TO BE FASTENED TO IN-PLACE CONSTRUCTION. 2. FIT EXPOSED CONNECTIONS ACCURATELY TOGETHER. WELD CONNECTIONS, UNLESS
- OTHERWISE INDICATED. DO NOT WELD, CUT, OR ABRADE GALVANIZED SURFACES.
- FILL SPACE BETWEEN AND SLEEVE SOLIDLY WITH NONSHRINK, NONMETALLIC GROUT. FILL BOLLARDS SOLIDLY WITH CONCRETE, MOUNDING TOP SURFACE. C. TOUCH UP SURFACES AND FINISHES AFTER ERECTION.

AREAS AND TOUCH UP PAINT WITH THE SAME MATERIAL AS USED FOR SHOP PAINTING.

SECTION 061000 - ROUGH CARPENTRY

- 1. WOOD FRAMING (REFER TO STRUCTURAL DRAWINGS FOR WOOD FRAMING
- SPECIFICATIONS)
- 2. WOOD SUPPORT
- 4. WOOD CANTS
- WOOD NAILERS 6. WOOD FURRING
- SPECIFICATIONS)

9. PLYWOOD BACKING PANELS

- 10.BUILDING WRAP
- PART 2 PRODUCTS
- 2.1 WOOD PRODUCTS, GENERAL A. LUMBER: DOC PS 20 AND APPLICABLE RULES OF GRADING AGENCIES CERTIFIED BY THE AMERICAN LUMBER STANDARDS COMMITTEE BOARD OF REVIEW.
- FOR EXPOSED LUMBER INDICATED TO RECEIVE A STAINED OR NATURAL FINISH, MARK GRADE STAMP ON END OR BACK OF EACH PIECE OR OMIT GRADE STAMP AND PROVIDE
- 3. PROVIDE DRY LUMBER WITH 15 PERCENT MAXIMUM MOISTURE CONTENT AT TIME OF DRESSEING FOR 2-INCH NOMINAL THICKNESS OR LESS, UNLESS OTHERWISE INDICATED.
- SHOWS COMPLIANCE WITH BUILDING CODE IN EFFECT FOR PROJECT. WOOD STRUCTURAL PANELS: 1. PLYWOOD: DOC PS 1.
- 2. ORIENTED STRAND BOARD: DOC PS 2.
- A. PRESERVATIVE TREATMENT BY PRESSURE PROCESS: AWPA C2 (LUMBER) AND AWPA C9 (PLYWOOD), EXCEPT THAT LUMBER THAT IS NOT IN CONTACT WITH THE GROUND AND IS CONTINUOUSLY PROTECTED FROM LIQUID WATER MAY BE TREATED ACCORDING TO AWPA
- PRESSURE TREAT ALL LUMBER DESIGNATED AS 'TREATED' ON THE DRAWINGS AND/OR OTHER SECTIONS OF THESE SPECIFICATIONS TO CONFORM TO AWPA STANDARD C2. THE PRESENCE OF AWPB QUALITY MARK LP2 SHALL BE ACCEPTABLE AS EVIDENCE OF CONFORMANCE TO THIS SPECIFICATION.

- 2.3 DIMENSION LUMBER
- A. GENERAL: OF GRADES INDICATED ACCORDING TO THE AMERICAN LUMBER STANDARDS
- COMMITTEE NATIONAL GRADING RULE PROVISIONS OF THE GRADING AGENCY INDICATED.
- B. NON-LOAD-BEARING INTERIOR PARTITIONS: NO. 2 GRADE AND ANY OF THE FOLLOWING
- 1. MIXED SOUTHERN PINE; SPIB.
- 2. NORTHERN SPECIES; NLGA.
- 3. WESTERN WOODS; WCLIB OR WWPA.
- 2.4 MISCELLANEOUS LUMBER A. PROVIDE MISCELLANEOUS LUMBER FOR SUPPORT OR ATTACHMENT OF OTHER
- CONSTRUCTION, INCLUDING THE FOLLOWING: ROOFTOP EQUIPMENT BASES AND SUPPORT CURBS.
- BLOCKING

MAXIMUM MOISTURE CONTENT.

- NAILERS FURRING
- GROUNDS B. FOR ITEMS OF DIMENSION LUMBER SIZE, PROVIDE NO. 2 GRADE LUMBER WITH15 PERCENT
- 2.5 ENGINEERED WOOD PRODUCTS
- PARALLEL TO MEMBER LENGTHS, MANUFACTURED WITH EXTERIOR-TYPE ADHESIVE COMPLYING WITH ASTM D 2559. ALLOWABLE DESIGN VALUES DETERMINED ACCORDING TO ASTM D 5456.

A. LAMINATED-VENEER LUMBER: COMPOSITE OF WOOD VENEERS WITH GRAIN PRIMARILY

- 2.6 PLYWOOD BACKING PANELS
- A. TELEPHONE AND ELECTRICAL EQUIPMENT BACKING PANELS: DOC PS 1, EXPOSURE 1, C-D PLUGGED, FIRE-RETARDANT TREATED, IN THICKNESS INDICATED OR, IF NOT INDICATED, NOT LESS THAN 1/2-INCH THICK.
- 2.7 MISCELLANEOUS MATERIALS

COMPLYING WITH ASTM A 153.

1. WHERE ROUGH CARPENTRY IS EXPOSED TO WEATHER, IN GROUND CONTACT, OF IN AREA OF HIGH RELATIVE HUMIDITY, PROVIDE FASTENERS WITH HOT-DIP ZINC COATING

B. METAL FRAMING ANCHORS: MADE FROM HOT-DIP, ZINC-COATED STEEL SHEET COMPLYING

- WITH ASTM A 653 G60 COATING DESIGNATION. BUILDING WRAP: AIR RETARDER SHEETING MADE FROM POLYOLEFINS; CROSS LAMINATF FILMS, WOVEN STRANDS, OR SPUN-BONDED FIBERS; COATED OR UNCOATED, WITH OR WITHOUT PERFORATIONS; AND COMPLYING WITH ASTM E 1677, TYPE 1.
- MANUFACTURERS: TYVEK COMMERCIAL WRAP, BY DUPONT COMPANY, WILMINGTON, DE. SHEATHING TAPE: PRESSURE-SENSITIVE PLASTIC TAPE FOR SEALING JOINTS AND PENETRATIONS IN SHEATHING AND RECOMMENDED BY SHEATHING MANUFACTURER FOR

F. TERMITE SHIELD: PROVIDE 20 GAGE SHEET METAL WITH A HOT-DIP ZINC COATING AT ALL

AND SIMILAR SUPPORTS TO COMPLY WITH REQUIREMENTS FOR ATTACHING OTHER

SECURELY ATTACH ROUGH CARPENTRY WORK TO SUBSTRATE BY ANCHORING AND

USE WITH TYPE OF SHEATHING REQUIRED. E. SILL-SEALER GASKETS: GLASS-FIBER-RESILIENT INSULATIN, FABRICATED IN STRIP FORM, FOR USE AS A SILL SEALER, 1-INCH NOMINAL THICKNESS, COMPRESSIBLE TO 1/32 INCH; SELFCTED FROM MANUFACTURER'S STANDARD WIDTHS TO SUIT WIDTH OF SILL MEMBERS INDIC. TED.

PART 3 - EXECUTION

3.1 INSTALLATION A. SET ROUGH CARPENTRY TO REQUIRED LEVELS AND LINES, WITH MEMBERS PLUMB, TRI E 1 J LINE, CUT, AND FITTED. FIT ROUGH CARPENTRY TO OTHER CONSTRUCTION; SCRIBE AND COPE AS NEEDED FOR ACCURATE FIT. LOCATE FURRING, NAILERS, BLOCKING, GROUND ;

EXTERIOR WALLS. MECHANICALLY BRAKE TO CONFIGURATION INDICATED.

- CONSTRUCTION B. APPLY FIELD TREATMENT COMPLYING WITH AWPA M4 TO CUT SURFACES OF PRESERVATIVE-TREATED LUMBER AND PLYWOOD.
- FASTENING AS INDICATED. D. FRAMING STANDARD: COMPLY WITH AFPA'S "MANUAL FOR WOOD FRAME CONSTRUCTION," UNLESS OTHERWISE INDICATED. FRAMING WITH ENGINEERED WOOD PRODUCTS: INSTALL ENGINEERED WOOD PRODUCTS

TO COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

F. COMPLY WITH APPLICABLE RECOMMENDATIONS CONTAINED IN APA FORM NO. E30K, "................................... DESIGN/CONSTRUCTION GUIDE: RESIDENTIAL & COMMERCIAL," FOR TYPES OF STRUCTURAL-USE PANELS AND APPLICATIONS INDICATED. G. BUILDING WRAP APPLICATION: COVER WALL SHEATHING WITH BUILDING WRAP AS

INDICATED. COVER UPSTANDING FLASHING WITH 4-INCH OVERLAP. SEAL SEAMS, EDG 55, AND PENETRATIONS WITH TAPE. INSERT STORING & TRUSS INSTALLATION FROM 24X36

SECTION 061753 - SHOP FABRICATED WOOD TRUSSES

REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATION

- SECTION 064023 INTERIOR ARCHITECTURAL WOODWORK
- 1.1 SUMMARY

3. PLASTIC LAMINATE WOOD SHELF AND BRACKETS.

APPLICATIONS STANDING AND RUNNING TRIM. SOLID-SURFACING-MATERIAL WINDOW STOOLS.

A. THIS SECTION INCLUDES INTERIOR WOODWORK INCLUDING FOR THE FOLLOWING

4. SHOP FINISHING OF WOODWORK. B. INTERIOR ARCHITECTURAL WOODWORK INCLUDES WOOD FURRING, BLOCKING, SHIMS, AND HANGING STRIPS UNLESS CONCEALED WITHIN OTHER CONSTRUCTION BEFORE WOODWORK

REMAINDER OF THE CONSTRUCTION PERIOD.

C. SEE DIVISION 9 SECTION "PAINTING" FOR FIELD FINISHING 1.2 SUBMITTALS

INSTALLATION.

- 1. LUMBER AND PANEL PRODUCTS FOR TRANSPARENT FINISH, FOR EACH SPECIES A ND CUT, FINISHED ON ONE SIDE AND ONE EDGE.
- FINISH SYSTEM AND COLOR, WITH EXPOSED SURFACE FINISHED. PLASTIC-LAMINATES, FOR EACH TYPE, COLOR, PATTERN, AND SURFACE FINISH. 4. SOLID-SURFACING MATERIALS.
- 1.3 QUALITY ASSURANCE A. QUALITY STANDARD: UNLESS OTHERWISE INDICATED, COMPLY WITH AWI'S "ARCHITECTURAL WOODWORK QUALITY STANDARDS" FOR GRADES OF INTERIOR

2. LUMBER AND PANEL PRODUCTS WITH SHOP-APPLIED OPAQUE FINISH, FOR EACH

1.4 PROJECT CONDITIONS

WOODWORK COMPLIES WITH REQUIREMENTS OF GRADES SPECIFIED.

ARCHITECTURAL WOODWORK, CONSTRUCTION, FINISHES, AND OTHER REQUIREMENTS.

PROVIDE AWI CERTIFICATION LABELS OR COMPLIANCE CERTIFICATE INDICATING THAT

A. ENVIRONMENTAL LIMITATIONS: DO NOT DELIVER OR INSTALL WOODWORK UNTIL BUILDING IS ENCLOSED, WET WORK IS COMPLETE, AND HVAC SYSTEM IS OPERATING AND MAINTAINING TEMPERATURE AND RELATIVE HUMIDITY AT OCCUPANCY LEVELS DURING THE

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SPECIFICATIONS

SHEET

MANUFACTURER'S WRITTEN INSTRUCTIONS.

- PART 2 PRODUCTS
- STEEL PLATES, SHAPES, AND BARS: ASTM A 36.
- WEIGHT IS INDICATED OR REQUIRED BY STRUCTURAL LOADS.
- A. CONNECTIONS, GENERAL: USE CONNECTIONS THAT MAINTAIN STRUCTURAL VALUE OF
 - MINIMIZE DISTORTION AND DEVELOP STRENGTH AND CORROSION RESISTANCE OF BASE METALS. OBTAIN FUSION WITHOUT UNDERCUT OR OVERLAP. REMOVE WELDING FLUX
- STEEL LADDERS: COMPLY WITH ANSI A14.3, UNLESS OTHERWISE INDICATED. CATCH BASIN FRAME AND GRATE: PROVIDE CATCH BASIN FRAME WITH TYPE "A" GRATE.
- A. FINISH METAL FABRICATIONS AFTER ASSEMBLY. COMPLY WITH NAAMM'S "METAL FINISHES
- 3.1 INSTALLATION
- ANCHOR IN CONCRETE WITH PIPE SLEEVES PRESET AND ANCHORED INTO CONCRETE.

PAINTED SURFACES: CLEAN FIELD WELDS, BOLTED CONNECTIONS, AND ABRADED

- PART 1 GENERAL
- 1.1 SUMMARY A. THIS SECTION INCLUDES THE FOLLOWING:
- 3. WOOD BLOCKING
- 7. WOOD GROUNDS 8. WOOD SHEATHING (REFER TO STRUCTURAL DRAWINGS FOR WOOD SHEATHING
- FACTORY MARK EACH PIECE OF LUMBER WITH GRADE STAMP OF GRADING AGENCY. CERTIFICATES OF GRADE COMPLIANCE ISSUED BY GRADING AGENCY.
- ENGINEERED WOOD PRODUCTS: ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION AND FOR WHICH CURRENT MODEL CODE RESEARCH OR EVALUATION REPORTS EXIST THAT
- 2.2 WOOD-PRESERVATIVE-TREATED LUMBER
- C31 WITH INORGANIC BORON (SBX).

2.1 MATERIALS

WOOD FOR TRANSPARENT FINISH:

 SPECIES AND CUT: REFER TO DÉCOR DRAWING B. WOOD FOR OPAQUE FINISH:

SPECIES: REFER TO DÉCOR DRAWING.

WOOD PRODUCTS: HARDBOARD: AHA A135.4.

MEDIUM-DENSITY FIBERBOARD: ANSI A208.2, GRADE MD-EXTERIOR GLUE.

PARTICLEBOARD: ANSI A208.1, GRADE M-2-EXTERIOR GLUE. 4. SOFTWOOD PLYWOOD: DOC PS 1, MEDIUM DENSITY OVERLAY. 5. HARDWOOD PLYWOOD AND FACE VENEERS: HPVA HP-1.

HIGH-PRESSURE DECORATIVE LAMINATE: NEMA LD 3. 1. MANUFACTURERS AND PRODUCTS: PLEASE REFER TO DÉCOR DRAWINGS. SOLID-SURFACING MATERIAL: HOMOGENEOUS SOLID SHEETS OF FILLED PLASTIC RESIN

COMPLYING WITH ANSI Z124.3, FOR TYPE 5 OR TYPE 6 MATERIAL AND PERFORMANCE REQUIREMENTS, WITHOUT A PRECOATED FINISH. 1. PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE ONE OF THE FOLLOWING:

a. DU PONT POLYMERS; CORIAN.

2.2 INSTALLATION MATERIALS

FURRING, BLOCKING, SHIMS, AND HANGING STRIPS: SOFTWOOD OR HARDWOOD LUMBER, KILN-DRIED TO LESS THAN 15 PERCENT MOISTURE CONTENT.

2.3 FABRICATION

GENERAL: COMPLETE FABRICATION TO MAXIMUM EXTENT POSSIBLE BEFORE SHIPMENT TO PROJECT SITE. WHERE NECESSARY FOR FITTING AT SITE, PROVIDE ALLOWANCE FOR SCRIBING, TRIMMING, AND FITTING.

1. INTERIOR WOODWORK GRADE: CUSTOM COMPLYING WITH THE REFERENCED QUALITY STANDARD.

2. SHOP CUT OPENINGS TO MAXIMUM EXTENT POSSIBLE. SAND EDGES OF CUTOUTS TO REMOVE SPLINTERS AND BURRS.

3. FOR TRIM ITEMS WIDER THAN AVAILABLE LUMBER, USE VENEERED CONSTRUCTION. DO NOT 4. BACKOUT OR GROOVE BACKS OF FLAT TRIM MEMBERS AND KERF BACKS OF OTHER WIDE, FLAT

MEMBERS, EXCEPT FOR MEMBERS WITH ENDS EXPOSED IN FINISHED WORK. B. SOLID-SURFACING-MATERIAL WINDOW STOOLS:

SOLID-SURFACING-MATERIAL THICKNESS: AS INDICATED ON DRAWINGS. 2. COLORS, PATTERNS, AND FINISHES: AS INDICATED ON DRAWINGS.

C. PLASTIC-LAMINATE WOOD SHELF: SIZE: AS INDICATED ON DRAWINGS.

2. COLOR AND PATTERN: AS INDICATED ON DRAWINGS.

2.4 SHOP FINISHING

FINISH ARCHITECTURAL WOODWORK AT FABRICATION SHOP. DEFER ONLY FINAL TOUCHUP, CLEANING, AND POLISHING UNTIL AFTER INSTALLATION.

BACKPRIMING: APPLY ONE COAT OF SEALER OR PRIMER, COMPATIBLE WITH FINISH COATS, TO CONCEALED SURFACES OF WOODWORK. APPLY TWO COATS TO BACK OF PANELING. TRANSPARENT FINISH: COMPLY WITH REQUIREMENTS INDICATED BELOW FOR GRADE, FINISH SYSTEM, STAINING, AND SHEEN, WITH SHEEN MEASURED ON 60-DEGREE GLOSS METER PER ASTM D 523:

GRADE: CUSTOM. AWI FINISH SYSTEM: TR-6, CATALYZED POLYURETHANE

3. STAINING: AS INDICATED ON DÉCOR DRAWINGS. SHEEN: AS INDICATED ON DÉCOR DRAWINGS.

PART 3 - EXECUTION

CONDITION WOODWORK TO AVERAGE PREVAILING HUMIDITY CONDITIONS IN INSTALLATION AREAS AND EXAMINE AND COMPLETE WORK AS REQUIRED, INCLUDING REMOVAL OF PACKING AND BACKPRIMING BEFORE INSTALLATION.

QUALITY STANDARD: INSTALL WOODWORK TO COMPLY WITH AWI SECTION 1700 FOR THE SAME GRADE SPECIFIED IN THIS SECTION FOR TYPE OF WOODWORK INVOLVED INSTALL WOODWORK LEVEL, PLUMB, TRUE, AND STRAIGHT TO A TOLERANCE OF 1/8 INCH IN

96 INCHES (3 MM IN 2400 MM). SHIM AS REQUIRED WITH CONCEALED SHIMS. SCRIBE AND CUT WOODWORK TO FIT ADJOINING WORK, AND REFINISH CUT SURFACES, AND REPAIR DAMAGED FINISH AT CUTS.

ANCHOR WOODWORK TO ANCHORS OR BLOCKING BUILT IN OR DIRECTLY ATTACHED TO SUBSTRATES. SECURE WITH COUNTERSUNK, CONCEALED FASTENERS AND BLIND NAILING AS REQUIRED FOR COMPLETE INSTALLATION. USE FINE FINISHING NAILS OR FINISHING SCREWS FOR EXPOSED FASTENING, COUNTERSUNK AND FILLED FLUSH WITH WOODWORK AND

MATCHING FINAL FINISH IF TRANSPARENT FINISH IS INDICATED. STANDING AND RUNNING TRIM: INSTALL WITH MINIMUM NUMBER OF JOINTS POSSIBLE, USING FULL-LENGTH PIECES (FROM MAXIMUM LENGTH OF LUMBER AVAILABLE) TO GREATEST EXTENT POSSIBLE. FILL GAPS, IF ANY, BETWEEN TOP OF BASE AND WALL WITH PLASTIC WOOD FILLER, SAND SMOOTH, AND FINISH SAME AS WOOD BASE IF FINISHED.

REPAIR DAMAGED OR DEFECTIVE WOODWORK WHERE POSSIBLE TO ELIMINATE FUNCTIONAL OR VISUAL DEFECTS. WHERE NOT POSSIBLE TO REPAIR, REPLACE WOODWORK. ADJUST JOINERY FOR UNIFORM APPEARANCE.

FINISHING: FIELD FINISH INTERIOR ARCHITECTURAL WOODWORK ITEMS AS SPECIFIED IN DIVISION 9 SECTION "PAINTING".

SECTION 066400 - PLASTIC PANELING

PART 1 - GENERAL

1.1 SUMMARY

SECTION INCLUDES GLASS-FIBER REINFORCED PLASTIC (FRP) WALL PANELING AND TRIM

1.2 SUBMITTALS

PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. SAMPLES: FOR PLASTIC PANELING AND TRIM ACCESSORIES.

1.3 QUALITY ASSURANCE

SURFACE-BURNING CHARACTERISTICS: AS DETERMINED BY TESTING IDENTICAL PRODUCTS ACCORDING TO ASTM E 84 BY A QUALIFIED TESTING AGENCY. IDENTIFY PRODUCTS WITH APPROPRIATE MARKINGS OF APPLICABLE TESTING AGENCY.

FLAME-SPREAD INDEX: 25 OR LESS. SMOKE-DEVELOPED INDEX: 450 OR LESS.

PART 2 - PRODUCTS

2.1 PLASTIC SHEET PANELING

GENERAL: GELCOAT-FINISHED, GLASS-FIBER REINFORCED PLASTIC PANELS COMPLYING WITH ASTM D 5319.

MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING, AVAILABLE MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

 KEMLITE COMPANY INC. b. MARLITE. c. NUDO PRODUCTS, INC.

NOMINAL THICKNESS: NOT LESS THAN 0.075 INCH (1.9 MM). SURFACE FINISH: PEBBLED.

4. COLOR: WHITE.

2.2 ACCESSORIES

A. TRIM ACCESSORIES: MANUFACTURER'S STANDARD ONE-PIECE VINYL EXTRUSIONS DESIGNED TO RETAIN AND COVER EDGES OF PANELS. PROVIDE DIVISION BARS, INSIDE CORNERS, OUTSIDE CORNERS, AND CAPS AS NEEDED TO CONCEAL EDGES. COLOR: WHITE.

B. ADHESIVE: AS RECOMMENDED BY PLASTIC PANELING MANUFACTURER. 1. VOC CONTENT: 50 G/L OR LESS WHEN CALCULATED ACCORDING TO 40 CFR 59,

SUBPART D (EPA METHOD 24). C. SEALANT: SINGLE-COMPONENT, MILDEW-RESISTANT, NEUTRAL-CURING SILICONE SEALANT RECOMMENDED BY PLASTIC PANELING MANUFACTURER AND COMPLYING WITH

REQUIREMENTS IN DIVISION 07 SECTION "JOINT SEALANTS." VOC CONTENT: 250 G/L OR LESS WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D (EPA METHOD 24).

PART 3 - EXECUTION

3.1 PREPARATION

A. CLEAN SUBSTRATES OF SUBSTANCES THAT COULD IMPAIR BOND OF ADHESIVE, INCLUDING

B. CONDITION PANELS BY UNPACKING AND PLACING IN INSTALLATION SPACE BEFORE

INSTALLATION ACCORDING TO MANUFACTURER'S WRITTEN RECOMMENDATIONS. C. LAY OUT PANELING BEFORE INSTALLING. LOCATE PANEL JOINTS TO PROVIDE EQUAL PANELS AT ENDS OF WALLS NOT LESS THAN HALF THE WIDTH OF FULL PANELS SO THAT TRIMMED PANELS AT CORNERS ARE NOT LESS THAN 12 INCHES (300 MM) WIDE.

3.2 INSTALLATION

INSTALL PLASTIC PANELING ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

INSTALL PANELS IN A FULL SPREAD OF ADHESIVE INSTALL TRIM ACCESSORIES WITH ADHESIVE AND NAILS. DO NOT FASTEN THROUGH PANELS.

FILL GROOVES IN TRIM ACCESSORIES WITH SEALANT BEFORE INSTALLING PANELS AND BED INSIDE CORNER TRIM IN A BEAD OF SEALANT. MAINTAIN UNIFORM SPACE BETWEEN PANELS AND WALL FIXTURES. FILL SPACE WITH

REMOVE EXCESS SEALANT AND SMEARS AS PANELING IS INSTALLED. CLEAN WITH SOLVENT RECOMMENDED BY SEALANT MANUFACTURER AND THEN WIPE WITH CLEAN DRY CLOTHS

UNTIL NO RESIDUE REMAINS. SECTION 072100 - THERMAL INSULATION

PART 1 - GENERAL

1.1 SUMMARY

A. THIS SECTION INCLUDES THE FOLLOWING:

PERIMETER INSULATION UNDER SLABS-ON-GRADE. CAVITY-WALL INSULATION. 3. CONCEALED BUILDING INSULATION.

VAPOR RETARDERS (BELOW SLAB). 5. SOUND ATTENUATION INSULATION.

B. FOR BUILT-UP ROOF INSULATION, REFER TO SECTION 075213.

1.2 QUALITY ASSURANCE

A. RETAIN ASTM TEST METHOD BELOW BASED ON PRODUCT AND KIND OF FIRE-RESISTANCE CHARACTERISTIC SPECIFIED FOR EACH PRODUCT IN PART 2. FIRE-TEST-RESPONSE CHARACTERISTICS: PROVIDE INSULATION AND RELATED MATERIALS WITH THE FIRE-TEST-RESPONSE CHARACTERISTICS INDICATED, AS DETERMINED BY TESTING IDENTICAL PRODUCTS PER ASTM E 84 FOR SURFACE-BURNING CHARACTERISTICS AND OTHER METHODS INDICATED WITH PRODUCT, BY UL OR ANOTHER TESTING AND INSPECTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. IDENTIFY MATERIALS WITH APPROPRIATE MARKINGS OF APPLICABLE TESTING AND INSPECTING AGENCY.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

A. IN OTHER PART 2 ARTICLES WHERE TITLES BELOW INTRODUCE LISTS, THE FOLLOWING REQUIREMENTS APPLY TO PRODUCT SELECTION: 1. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS; PROVIDE

PRODUCTS BY ONE OF THE MANUFACTURERS SPECIFIED.

2.2 FOAM-PLASTIC BOARD INSULATION

EXTRUDED-POLYSTYRENE BOARD INSULATION: ASTM C 578, TYPE IV, 1.60 LB/CU. FT. (26 KG/CU. M) WITH MAXIMUM FLAME-SPREAD AND SMOKE-DEVELOPED INDEXES OF 75 AND 450, RESPECTIVELY:

1. MANUFACTURERS: a.DOW CHEMICAL COMPANY. a. OWENS CORNING.

2.3 GLASS-FIBER BLANKET INSULATION A. MANUFACTURERS:

CERTAINTEED CORPORATION.

JOHNS MANVILLE.

3. OWENS CORNING.

B. UNFACED, GLASS-FIBER BLANKET INSULATION: ASTM C 665, TYPE I (BLANKETS WITHOUT MEMBRANE FACING); CONSISTING OF FIBERS; WITH MAXIMUM FLAME-SPREAD AND SMOKE-DEVELOPED INDEXES OF 25 AND 50, RESPECTIVELY; PASSING ASTM E 136 FOR COMBUSTION CHARACTERISTICS.

WHERE GLASS-FIBER BLANKET INSULATION IS INDICATED BY THE FOLLOWING THICKNESSES, PROVIDE BLANKETS IN BATT OR ROLL FORM WITH THERMAL RESISTANCES INDICATED:

1. 3-1/2 INCHES (89 MM) THICK WITH A THERMAL RESISTANCE OF 11 DEG F X H X SQ. FT./BTU AT 75 DEG F (1.9 K X SQ. M/W AT 24 DEG C). 2. 3-5/8 INCHES (92 MM) THICK WITH A THERMAL RESISTANCE OF 11 DEG F X H X SQ.

FT./BTU AT 75 DEG F (1.9 K X SQ. M/W AT 24 DEG C). 3. 5-1/2 INCHES (140 MM) THICK WITH A THERMAL RESISTANCE OF 19 DEG F X H X SQ. FT./BTU AT 75 DEG F (3.3 K X SQ. M/W AT 24 DEG C).

4. 6-1/2 INCHES (165 MM) THICK WITH A THERMAL RESISTANCE OF21 DEG F X H X SQ. FT./BTU AT 75 DEG F (3.7 K X SQ. M/W AT 24 DEG C).

2.4 VAPOR RETARDERS & BARRIERS

A. POLYETHYLENE VAPOR RETARDERS & BARRIERS: ASTM D 4397, 10 MILS THICK, BELOW VAPOR-RETARDER TAPE: PRESSURE-SENSITIVE TAPE OF TYPE RECOMMENDED BY VAPOR-RETARDER MANUFACTURER FOR SEALING JOINTS AND PENETRATIONS IN VAPOR

C. POLYETHYLENE VAPOR BARRIR: ASTM D 4397, 2 MILS THICK AS VAPOR BARRIER IN WALLS.

PART 3 - EXECUTION

3.1 INSTALLATION, GENERAL

A. COMPLY WITH INSULATION MANUFACTURER'S WRITTEN INSTRUCTIONS APPLICABLE TO PRODUCTS AND APPLICATION INDICATED.

B. INSTALL INSULATION THAT IS UNDAMAGED, DRY, AND UNSOILED AND THAT HAS NOT BEEN LEFT EXPOSED AT ANY TIME TO ICE, RAIN, AND SNOW. C. EXTEND INSULATION IN THICKNESS INDICATED TO ENVELOP ENTIRE AREA TO BE INSULATED.

CUT AND FIT TIGHTLY AROUND OBSTRUCTIONS AND FILL VOIDS WITH INSULATION. REMOVE PROJECTIONS THAT INTERFERE WITH PLACEMENT WATER-PIPING COORDINATION: IF WATER PIPING IS LOCATED WITHIN INSULATED EXTERIOR

WALLS, COORDINATE LOCATION OF PIPING TO ENSURE THAT IT IS PLACED ON WARM SIDE OF INSULATION AND INSULATION ENCAPSULATES PIPING. FOR PREFORMED INSULATING UNITS, PROVIDE SIZES TO FIT APPLICATIONS INDICATED AND SELECTED FROM MANUFACTURER'S STANDARD THICKNESSES, WIDTHS, AND LENGTHS. APPLY SINGLE LAYER OF INSULATION UNITS TO PRODUCE THICKNESS INDICATED UNLESS MULTIPLE LAYERS ARE OTHERWISE SHOWN OR REQUIRED TO MAKE UP TOTAL THICKNESS.

3.2 INSTALLATION OF PERIMETER AND UNDER-SLAB INSULATION

A. ON VERTICAL SURFACES, SET INSULATION UNITS IN ADHESIVE APPLIED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. USE ADHESIVE RECOMMENDED BY INSULATION

1. IF NOT OTHERWISE INDICATED, EXTEND INSULATION A MINIMUM OF 24 INCHES (610 MM) BELOW EXTERIOR GRADE LINE.

B. ON HORIZONTAL SURFACES, LOOSELY LAY INSULATION UNITS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. STAGGER END JOINTS AND TIGHTLY ABUT INSULATION UNITS.

PROTECT BELOW-GRADE INSULATION ON VERTICAL SURFACES FROM DAMAGE DURING BACKFILLING BY APPLYING PROTECTION COURSE WITH JOINTS BUTTED. SET IN ADHESIVE ACCORDING TO INSULATION MANUFACTURER'S WRITTEN INSTRUCTIONS.

D. PROTECT TOP SURFACE OF HORIZONTAL INSULATION FROM DAMAGE DURING CONCRETE WORK BY APPLYING PROTECTION COURSE WITH JOINTS BUTTED.

3.3 INSTALLATION OF GENERAL BUILDING INSULATION

A. SET VAPOR-RETARDER-FACED UNITS WITH VAPOR RETARDER BARRIER TO WARM-IN-WINTER SIDE OF CONSTRUCTION, UNLESS OTHERWISE INDICATED.

TAPE JOINTS AND RUPTURES IN VAPOR RETARDER BARRIER, AND SEAL EACH CONTINUOUS AREA OF INSULATION TO SURROUNDING CONSTRUCTION TO ENSURE AIRTIGHT INSTALLATION.

B. INSTALL MINERAL-FIBER INSULATION IN CAVITIES FORMED BY FRAMING MEMBERS ACCORDING TO THE FOLLOWING REQUIREMENTS: 1. USE INSULATION WIDTHS AND LENGTHS THAT FILL THE CAVITIES FORMED BY FRAMING

MEMBERS. IF MORE THAN ONE LENGTH IS REQUIRED TO FILL CAVITY, PROVIDE LENGTHS THAT WILL PRODUCE A SNUG FIT BETWEEN ENDS. PLACE INSULATION IN CAVITIES FORMED BY FRAMING MEMBERS TO PRODUCE A

FRICTION FIT BETWEEN EDGES OF INSULATION AND ADJOINING FRAMING MEMBERS.

3. MAINTAIN 3-INCH (76-MM) CLEARANCE OF INSULATION AROUND RECESSED LIGHTING

3.4 INSTALLATION OF INSULATION IN CEILINGS & WALLS FOR SOUND ATTENUATION

A. INSTALL 3" THICK, UNFACED GLASS-FIBER BLANKET INSULATION OVER CEILINGS SO THAT INSULATION EXTENDS OVER ENTIRE CEILING, AND INTERIOR WALLS AS INDICATED IN THE

3.5 INSTALLATION OF VAPOR RETARDERS & VAPOR BARRIERS

A. GENERAL: EXTEND VAPOR RETARDER TO EXTREMITIES OF AREAS TO BE PROTECTED FROM VAPOR TRANSMISSION. SECURE IN PLACE WITH ADHESIVES OR OTHER ANCHORAGE SYSTEM AS INDICATED. EXTEND VAPOR RETARDER TO COVER MISCELLANEOUS VOIDS IN INSULATED

SEAL VERTICAL JOINTS IN VAPOR RETARDERS OVER FRAMING BY LAPPING NOT LESS THAN TWO WALL STUDS. FASTEN VAPOR RETARDERS TO WOOD FRAMING AT TOP, END, AND BOTTOM EDGES; AT PERIMETER OF WALL OPENINGS; AND AT LAP JOINTS. SPACE FASTENERS 16 INCHES (400 MM) O.C.

C. SEAL JOINTS CAUSED BY PIPES, CONDUITS, ELECTRICAL BOXES, AND SIMILAR ITEMS PENETRATING VAPOR RETARDERS WITH VAPOR-RETARDER TAPE TO CREATE AN AIRTIGHT SEAL BETWEEN PENETRATING OBJECTS AND VAPOR RETARDER. REPAIR TEARS OR PUNCTURES IN VAPOR RETARDERS IMMEDIATELY BEFORE CONCEALMENT BY

OTHER WORK. COVER WITH VAPOR-RETARDER TAPE OR ANOTHER LAYER OF VAPOR

SECTION 074243 - COMPOSITE WALL PANELS

PART 1 - GENERAL 1.1 SECTION INCLUDES:

EXTERIOR, PANELIZED FIBER CEMENT CLADDING SYSTEM AND ACCESSORIES TO COMPLETE A DRAINED AND BACK-VENTILATED RAINSCREEN. INTERIOR FIBER CEMENT PANELIZED CLADDING SYSTEM AND ACCESSORIES.

SUBMIT UNDER PROVISIONS OF SECTION 01 00 00. PRODUCT DATA: SUBMIT MANUFACTURER'S PRODUCT DESCRIPTION, STORAGE AND

HANDLING REQUIREMENTS, AND INSTALLATION INSTRUCTIONS PRODUCT TEST REPORTS AND CODE COMPLIANCE: DOCUMENTS DEMONSTRATING PRODUCT COMPLIANCE WITH LOCAL BUILDING CODE, SUCH AS TEST REPORTS OR EVALUATION REPORTS FROM QUALIFIED. INDEPENDENT TESTING AGENCIES.

LEED CREDITS: PROVIDE DOCUMENTATION OF LEED CREDITS FOR PROJECT CERTIFICATION UNDER USGBC LEED 2009 (VERSION 3.0) OR 2012 V.4. MANUFACTURER'S DETAILS: SUBMIT DRAWINGS (.DWG, .RVT, AND/OR .PDF FORMATS), INCLUDING PLANS, SECTIONS, SHOWING INSTALLATION DETAILS THAT DEMONSTRATE PRODUCT DIMENSIONS, EDGE/TERMINATION CONDITIONS/TREATMENTS, COMPRESSION AND

CONTROL JOINTS, CORNERS, OPENINGS, AND PENETRATIONS. SAMPLES: SUBMIT SAMPLES OF EACH PRODUCT TYPE PROPOSED FOR USE.

1.3 QUALITY ASSURANCE A. MANUFACTURER QUALIFICATIONS:

PART 2- PRODUCTS

ALL FIBER CEMENT PANELS SPECIFIED IN THIS SECTION MUST BE SUPPLIED BY A MANUFACTURER WITH A MINIMUM OF 10 YEARS OF EXPERIENCE IN FABRICATING AND SUPPLYING FIBER CEMENT CLADDING SYSTEMS. A. PRODUCTS COVERED UNDER THIS SECTION ARE TO BE MANUFACTURED IN AN

ISO 9001 CERTIFIED FACILITY. PROVIDE TECHNICAL AND DESIGN SUPPORT AS NEEDED REGARDING INSTALLATION REQUIREMENTS AND WARRANTY COMPLIANCE PROVISIONS.

INSTALLER QUALIFICATIONS: ALL PRODUCTS LISTED IN THIS SECTION ARE TO BE INSTALLED BY A SINGLE INSTALLER TRAINED BY MANUFACTURER OR REPRESENTATIVE. MOCK-UP WALL: PROVIDE A MOCK-UP WALL AS EVALUATION TOOL FOR PRODUCT AND

INSTALLATION WORKMANSHIP. PRE-INSTALLATION MEETINGS: PRIOR TO BEGINNING INSTALLATION, CONDUCT CONFERENCE TO VERIFY AND DISCUSS SUBSTRATE CONDITIONS, MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WARRANTY REQUIREMENTS, AND PROJECT REQUIREMENTS.

PROVIDE MANUFACTURER'S 15-YEAR WARRANTY AGAINST MANUFACTURED DEFECTS IN FIBER CEMENT PANELS. ADDITIONAL 5-YEAR EXTENSION AVAILABLE WHEN REFINISHED IN

B. PROVIDE MANUFACTURER'S 15-YEAR WARRANTY AGAINST MANUFACTURED DEFECTS IN

WARRANTY PROVIDES FOR THE ORIGINAL PURCHASER. SEE WARRANTY FOR DETAILED

INFORMATION ON TERMS, CONDITIONS AND LIMITATIONS.

ACCEPTABLE MANUFACTURER: NICHIHA CORPORATION, 18-19 NISHIKI 2-CHOME NAKA-KU,

NAGOYA, AICHI 460-8610, JAPAN, B. ACCEPTABLE MANUFACTURER'S REPRESENTATIVE: NICHIHA USA, INC., 6465 E. JOHNS CROSSING, SUITE 250, JOHNS CREEK, GA 30097. TOLL FREE: 1.866.424.4421, OFFICE: 770.805.9466, FAX: 770.805.9467, WWW.NICHIHA.COM http://www.nichiha.com.

 NICHIHA RIBBED (COLOR - A1) PROFILE COLORS: IVORY PROFILE: EACH PANEL HAS NINE (35MM) RIBS WITH CHAMFERED EDGES, SPACED WITH 10MM GROOVES BETWEEN.

FINISH: MODERATELY TEXTURED RIBS. GROOVES ARE SMOOTH. ACCESSORY/COMPONENT OPTIONS:

MANUFACTURED CORNERS WITH 3-1/2" RETURNS FOR EACH PROFILE II. ALUMINUM TRIM OPTIONS: CORNER KEY, OPEN OUTSIDE CORNER, H-MOLD, J-MOLD, COMPRESSION JOINT, INSIDE CORNER

FINISH: CUSTOM COLOR. III. ESSENTIAL FLASHING SYSTEM: STARTER, OVERHANG. FINISH: MATTE BLACK. DIMENSIONS - AWP-3030: 455MM (17-7/8") (H) X 3,030 MM (119-5/16") (L).

PANEL THICKNESS: 16 MM (5/8"). WEIGHT: 57.32 LBS. PER PANEL. COVERAGE: 14.81 SQ. FT. PER PANEL FACTORY SEALED ON SIX [6] SIDES.

ACCESSORY/COMPONENT OPTIONS:

NICHIHA VINTAGEWOOD (COLOR - C). PROFILE COLORS: CEDAR. PROFILES: WOOD PLANK TEXTURE WITH THREE, 3/8" GROOVES RUNNING LENGTHWISE, SPACED 5-5/8" APART.

MANUFACTURED CORNERS WITH 3-1/2" RETURNS FOR EACH PROFILE ALUMINUM TRIM OPTIONS: CORNER KEY, OPEN OUTSIDE CORNER, H-MOLD, J-MOLD, COMPRESSION JOINT, INSIDE CORNER

III. ESSENTIAL FLASHING SYSTEM: STARTER, OVERHANG.

1. FINISH: MATTE BLACK. D. DIMENSIONS: AWP-1818: 455MM (17-7/8") (H) X 1,818 MM (71-9/16") (L).

AWP-3030: 455MM (17-7/8") (H) X 3,030 MM (119-5/16") (L). PANEL THICKNESS: 16 MM (5/8").

WEIGHT: AWP-1818: 35.27 LBS. PER PANEL, AWP-3030: 57.32 LBS. PER PANEL COVERAGE: 8.88 SQ. FT. PER PANEL (1818), 14.81 SQ. FT. PER PANEL (3030).

H. FACTORY SEALED ON SIX [6] SIDES. C. SUBSTITUTIONS: NOT PERMITTED.

2.2 MATERIALS FIBER CEMENT PANELS MANUFACTURED FROM A PRESSED, STAMPED, AND AUTOCLAVED MIX OF PORTLAND CEMENT, FLY ASH, SILICA, RECYCLED REJECTS, AND WOOD FIBER BUNDLES.

PANEL SURFACE PRE-FINISHED AND MACHINE APPLIED. PANELS PROFILED ALONG 3030MM EDGES SO THAT THE LONG JOINTS BETWEEN THE INSTALLED PANELS ARE SHIP-LAPPED.

FACTORY-APPLIED SEALANT GASKET ADDED TO TOP PANEL EDGE; ALL 3030MM EDGE JOINTS CONTAIN A FACTORY SEALANT.

2.3 PERFORMANCE REQUIREMENTS: A. FIBER CEMENT CLADDING - MUST COMPLY WITH ASTM C-1186, TYPE A, GRADE II

WET FLEXURAL STRENGTH: RESULT: 1418 PSI, LOWER LIMIT: 1015 PSI. WATER TIGHTNESS: NO WATER DROPLETS OBSERVED ON ANY SPECIMEN.

FREEZE-THAW: NO DAMAGE OR DEFECTS OBSERVED. WARM WATER: NO EVIDENCE OF CRACKING, DELAMINATION, SWELLING, OR OTHER DEFECTS OBSERVED. HEAT-RAIN: NO CRAZING, CRACKING, OR OTHER DELETERIOUS EFFECTS, SURFACE

OR JOINT CHANGES OBSERVED IN ANY SPECIMEN. MEAN COEFFICIENT OF LINEAR THERMAL EXPANSION (ASTM E-228): MAX 1.0*10^-5 IN./IN. F. SURFACE BURNING (CAN-ULC S102/ASTM E-84): FLAME SPREAD: 0, SMOKE DEVELOPED: 0. WIND LOAD (ASTM E-330): CONTACT MANUFACTURER FOR ULTIMATE TEST PRESSURE DATA CORRESPONDING TO FRAMING TYPE, DIMENSIONS, FASTENER TYPE, AND ATTACHMENT CLIPS.

PROJECT ENGINEER(S) MUST DETERMINE ZONE 4 AND 5 DESIGN PRESSURES BASED ON

1. MINIMUM LATERAL DEFLECTION: L/120. WATER PENETRATION (ASTM E-331): NO WATER LEAKAGE OBSERVED INTO WALL CAVITY. STEADY-STATE HEAT FLUX AND THERMAL TRANSMISSION PROPERTIES TEST (ASTM C-518): 16MM THICK PANEL THERMAL RESISTANCE R VALUE OF 0.47.

FIRE RESISTANT (ASTM E-119): THE WALL ASSEMBLY MUST SUCCESSFULLY ENDURE 60-MINUTE FIRE EXPOSURE WITHOUT DEVELOPING EXCESSIVE UNEXPOSED SURFACE TEMPERATURE OR ALLOWING FLAMING ON THE UNEXPOSED SIDE OF THE ASSEMBLY IGNITION RESISTANCE (NFPA 268): NO SUSTAINED FLAMING OF PANELS, ASSEMBLY WHEN

SUBJECTED TO A MINIMUM RADIANT HEAT FLUX OF 12.5 KW/M2 ± 5% IN THE PRESENCE OF A

PILOT IGNITION SOURCE FOR A 20-MINUTE PERIOD. FIRE PROPAGATION (NFPA 285): WALL ASSEMBLY OF NICHIHA AWP, ULTIMATE CLIPS AND STARTER TRACK, TYVEK COMMERCIAL WRAP, ½" DENSGLASS GOLD SHEATHING, 16" O.C. 18 GAUGE STEEL STUDS, MINERAL WOOL IN-CAVITY INSULATION, AND INTERIOR 5/8" TYPE X GYPSUM MET THE ACCEPTANCE CRITERIA OF NFPA 285.

STARTER TRACK, TYVEK HOUSEWRAP, 5/8" FRT PLYWOOD, 16" O.C. 2X WOOD STUDS, FIBERGLASS IN-CAVITY INSULATION, AND INTERIOR 5/8" TYPE X GYPSUM MET THE ACCEPTANCE CRITERIA OF K. DRAINED AND BACK VENTILATED RAINSCREEN (AAMA 509-14): SYSTEM CLASSIFICATIONS: W1, V1. L. FLORIDA BUILDING CODE - TEST PROTOCOL HVHZ (TAS 202, 203): HORIZONTAL APPLICATION

J. FIRE PROPAGATION (CAN/ULC S-134): WALL ASSEMBLY OF NICHIHA AWP, ULTIMATE CLIPS AND

2.4 INSTALLATION COMPONENTS

 A. ULTIMATE CLIP SYSTEM . STARTER TRACK: A. HORIZONTAL PANEL INSTALLATIONS - FA 700 - 3,030MM (L) GALVALUME COATED

DESIGN PRESSURE: 95 PSF, VERTICAL APPLICATION DESIGN PRESSURE: 85 PSF.

B. VERTICAL PANEL INSTALLATIONS (AWP-3030 ONLY) - FA 710T - 3,030MM (L) GALVALUME COATED STEEL PANEL CLIPS: JEL 778 "ULTIMATE CLIP II" (10MM RAINSCREEN FOR 16MM AWP) -

ZINC-ALUMINUM-MAGNESIUM ALLOY COATED STEEL A. JOINT TAB ATTACHMENTS (INCLUDED) - USED AT ALL AWP-1818 PANEL TO PANEL VERTICAL JOINTS - NOT USED WITH AWP-3030 INSTALLATIONS.

CORNER CLIPS: JE 777C (10MM RAINSCREEN FOR 5/8" AWP MANUFACTURED CORNERS) -- ZINC-ALUMINUM-MAGNESIUM ALLOY COATED STEEL SINGLE FLANGE SEALANT BACKER - FHK 1015 R (10MM) - 6.5' (L) FLUORINE COATED GALVALUME.

DOUBLE FLANGE SEALANT BACKER - FH 1015 R (10MM) - 10' (L) FLUORINE

CORRUGATED SPACER - FS 1005 (5MM), FS 1010 (10MM) - 4' (L) ALUMINUM TRIM (OPTIONAL): PAINT PRIMED TRIM AS SPECIFIED IN FINISH SCHEDULE. ESSENTIAL FLASHING SYSTEM (OPTIONAL) STARTER - MAIN SEGMENTS (3,030MM), INSIDE CORNERS, OUTSIDE CORNERS OVERHANG - MAIN SEGMENTS (3,030MM), INSIDE CORNERS, OUTSIDE CORNERS, JOINT

D. FASTENERS: CORROSION RESISTANT FASTENERS, SUCH AS HOT-DIPPED GALVANIZED SCREWS APPROPRIATE TO LOCAL BUILDING CODES AND PRACTICES MUST BE USED. USE STAINLESS STEEL FASTENERS IN HIGH HUMIDITY AND HIGH-MOISTURE REGIONS. PANEL MANUFACTURER IS NOT LIABLE FOR CORROSION RESISTANCE OF FASTENERS. DO NOT USE ALUMINUM FASTENERS, STAPLES OR FASTENERS THAT ARE NOT RATED OR DESIGNED FOR INTENDED USE. SEE MANUFACTURER'S INSTRUCTIONS FOR APPROPRIATE FASTENERS FOR

CONSTRUCTION METHOD USED. FLASHING: FLASH ALL AREAS SPECIFIED IN MANUFACTURER'S INSTRUCTIONS. DO NOT USE RAW ALUMINUM FLASHING. FLASHING MUST BE GALVANIZED, ANODIZED, OR PVC COATED.

PART 3- EXECUTION

3.3 INSTALLATION

COATED GALVALUME.

F. SEALANT: SEALANT SHALL COMPLY WITH ASTM C920, CLASS 35.

A. VERIFICATION OF CONDITIONS: FIBER CEMENT PANELS CAN BE INSTALLED OVER BRACED WOOD, STEEL STUDS AND SHEATHING INCLUDING PLYWOOD, OSB, PLASTIC FOAM (1" OR LESS) OR FIBERBOARD SHEATHING. FIBER CEMENT PANELS CAN ALSO BE INSTALLED OVER STRUCTURAL INSULATED PANELS (SIP'S), CONCRETE MASONRY UNITS (CMU'S) AND CONCRETE BLOCK STRUCTURES (CBS'S) WITH FURRING STRIPS, AND PRE-ENGINEERED METAL CONSTRUCTION. INSULATED CONCRETE FORMS (ICFS) REQUIRE ADDED MEASURES. CONSULT WITH NICHIHA TECHNICAL SERVICES.

ALLOWABLE STUD SPACING: 16" O.C. MAXIMUM. A WEATHER RESISTIVE BARRIER IS REQUIRED WHEN INSTALLING FIBER CEMENT PANELS. USE AN APPROVED WEATHER RESISTIVE BARRIER (WRB) AS DEFINED BY THE 2015 IBC OR IRC. REFER TO LOCAL BUILDING CODES. APPROPRIATE METAL FLASHING SHOULD BE USED TO PREVENT MOISTURE

TRANSITIONS AND PENETRATIONS. REFER TO LOCAL BUILDING CODES FOR BEST

DO NOT INSTALL PANELS OR COMPONENTS THAT APPEAR TO BE DAMAGED OR DEFECTIVE. DO

PENETRATION AROUND ALL DOORS, WINDOWS, WALL BOTTOMS, MATERIAL

PRACTICES. B. EXAMINE SITE TO ENSURE SUBSTRATE CONDITIONS ARE WITHIN ALIGNMENT TOLERANCES FOR PROPER INSTALLATION. DO NOT BEGIN INSTALLATION UNTIL UNACCEPTABLE CONDITIONS HAVE BEEN CORRECTED.

NOT INSTALL WET PANELS. WALL SURFACE PLANE MUST BE PLUMB AND LEVEL WITHIN +/- 1/4 INCH IN 20 FEET IN ANY

1. ONE LAYER OF NICHIHA 5MM (~3/16") SPACER MAY BE USED AS SHIM.

GENERAL: INSTALL PRODUCTS IN ACCORDANCE WITH THE LATEST INSTALLATION GUIDELINES OF THE MANUFACTURER AND ALL APPLICABLE BUILDING CODES AND OTHER LAWS, RULES, REGULATIONS AND ORDINANCES. REVIEW ALL MANUFACTURER INSTALLATION, MAINTENANCE INSTRUCTIONS, AND OTHER APPLICABLE DOCUMENTS BEFORE INSTALLATION. CONSULT WITH YOUR LOCAL DEALER OR NICHIHA TECHNICAL DEPARTMENT BEFORE INSTALLING ANY NICHIHA FIBER CEMENT PRODUCT ON A BUILDING HIGHER

THAN 45 FEET OR THREE STORIES OR FOR CONDITIONS NOT MATCHING PRESCRIBED

STANDARD INSTALLATION GUIDE REQUIREMENTS AND METHODS. A TECHNICAL DESIGN REVIEW (TDR) PROCESS IS AVAILABLE TO EVALUATE PROJECT FEASIBILITY. VERTICAL CONTROL/EXPANSION JOINTS ARE REQUIRED AT EACH AWP-3030 VERTICAL JOINT, OR H-MOLD TRIM MAY BE USED INSTEAD. HORIZONTAL/COMPRESSION JOINTS ARE REQUIRED FOR MULTI-STORY

MINIMUM 1/2" BREAKS. DO NOT CAULK. REFER TO INSTALLATION GUIDE(S).

WOOD FRAMED BUILDINGS OF THREE OR MORE FLOORS REQUIRE A COMPRESSION JOINT AT EACH FLOOR. STEEL FRAMED BUILDINGS (INCLUDING REINFORCED CONCRETE CORE WITH LGMF EXTERIOR WALLS) OF MORE THAN THREE FLOORS (OR 45 FEET) REQUIRE A COMPRESSION JOINT EVERY 25 FEET AT A FLOOR LINE.

INSTALLATIONS OF AWP. LOCATE JOINTS AT FLOOR LINES. JOINTS ARE FLASHED

ALWAYS CUT FIBER CEMENT PANELS OUTSIDE OR IN A WELL VENTILATED AREA.

DO NOT CUT THE PRODUCTS IN AN ENCLOSED AREA. ALWAYS WEAR SAFETY GLASSES AND NIOSH/OSHA APPROVED RESPIRATOR WHENEVER CUTTING, DRILLING, SAWING, SANDING OR ABRADING THE PRODUCTS. REFER TO MANUFACTURER SDS FOR MORE INFORMATION.

3. USE A DUST-REDUCING CIRCULAR SAW WITH A DIAMOND-TIPPED OR

CARBIDE-TIPPED BLADE. A. RECOMMENDED CIRCULAR SAW: MAKITA 7-1/4" CIRCULAR SAW WITH DUST COLLECTOR (#5057KB).

B. RECOMMENDED BLADE: TENRYU BOARD-PRO PLUS PCD BLADE (#BP-18505). SHEARS (ELECTRIC OR PNEUMATIC) OR JIG SAW CAN BE USED FOR COMPLICATED CUTTINGS, SUCH AS SERVICE OPENINGS, CURVES, RADII AND SILICA DUST WARNING: FIBER CEMENT PRODUCTS MAY CONTAIN SOME

AMOUNTS OF CRYSTALLINE SILICA, A NATURALLY OCCURRING, POTENTIALLY

HAZARDOUS MINERAL WHEN AIRBORNE IN DUST FORM. CONSULT PRODUCT SDS OR VISIT HTTPS://WWW.OSHA.GOV/DSG/TOPICS/SILICACRYSTALLINE/. https://www.osha.gov/dsg/topics/silicacrystalline/

IMMEDIATELY CLEAN DUST FROM CUT PANELS AS IT MAY BIND TO THE FINISH.

A. REVIEW MANUFACTURER GUIDELINES FOR DETAILED CARE INSTRUCTIONS.

SECTION 075213 - ATACTIC-POLYPROPYLENE (APP) MODIFIED BITUMINOUS MEMBRANE ROOFING (APPROVED ALTERNATE ROOFING. G.C. IS TO CONFIRM WITH OWNER/FRANCHISEE IF G.C. IS TO PROVIDE A BID WITH THIS OPTION. THE STANDARD ROOFING IS TO BE THE THERMOPLASTIC MEMBRANE ROOFING SPECIFIED IN SECTION 075400.)

PART 1 - GENERAL

3.4 CLEANING AND MAINTENANCE

A. THIS SECTION INCLUDES APP-MODIFIED BITUMINOUS MEMBRANE ROOFING.

A. HOT ROOFING ASPHALT: ROOFING ASPHALT HEATED TO ITS EQUIVISCOUS TEMPERATURE,

THE TEMPERATURE AT WHICH ITS VISCOSITY IS 125 CENTIPOISE FOR MOP-APPLIED ROOFING ASPHALT AND 75 CENTIPOISE FOR MECHANICAL SPREADER-APPLIED ROOFING ASPHALT, WITHIN A RANGE OF PLUS OR MINUS 25 DEG F (14 DEG C), MEASURED AT THE MOP CART OR MECHANICAL SPREADER IMMEDIATELY BEFORE APPLICATION.

A. PRODUCT DATA: FOR EACH PRODUCT INDICATED. B. SHOP DRAWINGS: INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS

C. SAMPLES: FOR EACH PRODUCT INCLUDED IN ROOFING SYSTEM.

AND TIME TO BE ESTABLISHED.

TO OTHER WORK

1.4 QUALITY ASSURANCE A. INSTALLER QUALIFICATIONS: A QUALIFIED INSTALLER, APPROVED BY MANUFACTURER TO

INSTALL MANUFACTURER'S PRODUCTS. B. SOURCE LIMITATIONS: OBTAIN COMPONENTS FOR ROOFING SYSTEM FROM ROOFING SYSTEM MANUFACTURER. C. FIRE-TEST-RESPONSE CHARACTERISTICS: PROVIDE ROOFING MATERIALS WITH THE FIRE-TEST-RESPONSE CHARACTERISTICS INDICATED AS DETERMINED BY TESTING IDENTICAL PRODUCTS PER TEST METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECT METHOD BELOW BY UL, FMG, OR ANOTHER BY UL, FMG, OR ANOTHER BELOW BY UL, FMG, OR ANOTHER BY UL, FMG, OR A

AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

1. EXTERIOR FIRE-TEST EXPOSURE: CLASS A, ASTM E 108, FOR APPLICATION AND RC OF SLOPES INDICATED. D. PREINSTALLATION CONFERENCE: CONDUCT CONFERENCE AT THE PROJECT SITE AT A DATE

PART 2 - PRODUCTS

GUARANTEE: 12. A FULL REPAIR OR REPLACEMENT, NO LIMITS GUARANTEE, FOR 12 YEARS FROM DATE OF SUBSTANTIAL COMPLETION AGAINST FAILURE OF MATERIALS OR WORKMANSHIP.

A. SPECIAL WARRANTY: US INTEC'S 'NO DOLLAR LIMIT (NDL) GUARANTEE' - NEW INTEC NILL

a. GAF MATERIALS CORP., APP TORCH APPLIED GB-2B-N (2) PLY WITH NAILABLE

2.1 MANUFACTURERS A. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: APP-MODIFIED BITUMINOUS MEMBRANE ROOFING

DECK (B-SP-400-N).

2.2 APP-MODIFIED ASPHALT-SHEET MATERIALS A. ROOFING MEMBRANE SHEET: ASTM D 6222, GRADE S, TYPE I OR II, POLYESTER-REINFORCED APP-MODIFIED ASPHALT SHEET; SMOOTH SURFACED; SUITABLE FOR APPLICATION MET 101

B. ROOFING MEMBRANE CAP SHEET: ASTM D 6222, GRADE G, TYPE I OR II,

FOR APPLICATION METHOD SPECIFIED, AND AS FOLLOWS: GRANULE COLOR: WHITE.

2.3 BASE-SHEET MATERIALS SHEATHING PAPER: RED-ROSIN TYPE, MINIMUM 3 LB/100 SQ. FT. (0.16 KG/SQ. M). BASE SHEET: ASTM D 4897, TYPE II, VENTING, NONPERFORATED, HEAVYWEIGHT, ASPHALT-IMPREGNATED AND -COATED, GLASS-FIBER BASE SHEET WITH COARSE GRANULAN

APP-MODIFIED ASPHALT SHEET; GRANULAR SURFACED; SUITABLE FOR APPLICATION

A. GENERAL: AUXILIARY MATERIALS RECOMMENDED BY ROOFING SYSTEM MANUFACTUREN

D. ASPHALT ROOFING CEMENT: ASTM D 4586, ASBESTOS FREE, OF CONSISTENCY REQUIRED BY

FASTENERS: FACTORY-COATED STEEL FASTENERS AND METAL OR PLASTIC PLATES MEE' ING

CORROSION-RESISTANCE PROVISIONS IN FMG 4470, DESIGNED FOR FASTENING ROOFIN'S

2.4 BASE FLASHING SHEET MATERIALS A. BACKER SHEET: ASTM D 6222, GRADE S, TYPE I OR II, POLYESTER-REINFORCED, APP-MODIFIED ASPHALT SHEET; SMOOTH SURFACED; SUITABLE FOR APPLICATION METIOD B. FLASHING SHEET: ASTM D 6222, GRADE G, TYPE I OR II, POLYESTER-REINFORCED,

SURFACING OR EMBOSSED VENTING CHANNELS ON BOTTOM SURFACE.

METHOD SPECIFIED, AND AS FOLLOWS: 1. GRANULE COLOR: WHITE. 2.5 AUXILIARY ROOFING MEMBRANE MATERIALS

ROOFING SYSTEM MANUFACTURER FOR APPLICATION.

FOR INTENDED USE AND COMPATIBLE WITH ROOFING MEMBRANE. ASPHALT PRIMER: ASTM D 41. C. ROOFING ASPHALT: ASTM D 312, TYPE III OR IV AS RECOMMENDED BY ROOFING SYSTEM. MANUFACTURER FOR APPLICATION.

MEMBRANE COMPONENTS TO SUBSTRATE, TESTED BY MANUFACTURER FOR REQUIRED PULLOUT STRENGTH, AND ACCEPTABLE TO ROOFING SYSTEM MANUFACTURER.

2.6 ROOF INSULATION A. POLYISOCYANURATE BOARD INSULATION: ASTM C 1289, TYPE II, FELT OR GLASS-FIBER MAT FACER ON BOTH MAJOR SURFACES.

SLOPE OF 1/4 INCH PER 12 INCHES (1:48), UNLESS OTHERWISE INDICATED. C. PROVIDE PREFORMED SADDLES, CRICKETS, TAPERED EDGE STRIPS, AND OTHER INSULATION SHAPES WHERE INDICATED FOR SLOPING TO DRAIN. FABRICATE TO SLOPES INDICATED.

B. TAPERED INSULATION: PROVIDE FACTORY-TAPERED INSULATION BOARDS FABRICATED TO

Copyright 2020 by Arby's Restaurant Group POLYESTER-REINFORCED, APP-MODIFIED ASPHALT SHEET; GRANULAR SURFACED; SUIT/ BLE

that anay

VURAI SHOPPII IS RESTA PLAZA SI ILLINOIS

 \mathbf{Z} \mathbf{m} PROJECT NUMBER: 2005

INAL REVIEW OCT 29, 2020

SPECIFICATIONS

SHEET

- FASTENERS: FACTORY-COATED STEEL FASTENERS AND METAL OR PLASTIC PLATES MEETING CORROSION-RESISTANCE PROVISIONS IN FMG 4470, DESIGNED FOR FASTENING ROOF
- INSULATION TO SUBSTRATE, AND ACCEPTABLE TO ROOFING SYSTEM MANUFACTURER. INSULATION CANT STRIPS: ASTM C 208, TYPE II, GRADE 1, CELLULOSIC-FIBER INSULATION
- WOOD NAILER STRIPS: COMPLY WITH REQUIREMENTS IN DIVISION 06 "ROUGH CARPENTRY." TAPERED EDGE STRIPS: ASTM C 208, TYPE II, GRADE 1, CELLULOSIC-FIBER INSULATION
- COVER BOARD: ASTM C 208, TYPE II, GRADE 1, CELLULOSIC-FIBER INSULATION BOARD, 1/2 INCH (13 MM) THICK.

PART 3 - EXECUTION

3.1 SUBSTRATE BOARD INSTALLATION

- INSTALL SUBSTRATE BOARDS WITH LONG JOINTS IN CONTINUOUS STRAIGHT LINES, PERPENDICULAR TO ROOF SLOPES WITH END JOINTS STAGGERED BETWEEN ROWS. BUTT SUBSTRATE BOARDS TOGETHER.
- 1. FASTEN SUBSTRATE BOARD TO TOP FLANGES OF STEEL DECK ACCORDING TO ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS.

3.2 INSULATION INSTALLATION

- COMPLY WITH ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS FOR INSTALLING ROOF INSULATION.
- INSULATION CANT STRIPS: INSTALL AND SECURE PREFORMED 45-DEGREE INSULATION CANT STRIPS AT JUNCTURES OF ROOFING MEMBRANE SYSTEM WITH VERTICAL SURFACES OR
- ANGLE CHANGES GREATER THAN 45 DEGREES. INSTALL TAPERED INSULATION UNDER AREA OF ROOFING TO CONFORM TO SLOPES
- INSTALL ONE OR MORE LAYERS OF INSULATION UNDER AREA OF ROOFING TO ACHIEVE REQUIRED THICKNESS. WHERE OVERALL INSULATION THICKNESS IS 2 INCHES (50 MM) OR GREATER, INSTALL 2 OR MORE LAYERS WITH JOINTS OF EACH SUCCEEDING LAYER STAGGERED FROM JOINTS OF PREVIOUS LAYER A MINIMUM OF 6 INCHES (150 MM) IN EACH
- INSTALL TAPERED EDGE STRIPS AT PERIMETER EDGES OF ROOF THAT DO NOT TERMINATE AT VERTICAL SURFACES.
- MECHANICALLY FASTENED AND ADHERED INSULATION: INSTALL EACH LAYER OF INSULATION AND SECURE FIRST LAYER OF INSULATION TO DECK USING MECHANICAL FASTENERS SPECIFICALLY DESIGNED AND SIZED FOR FASTENING SPECIFIED BOARD-TYPE ROOF INSULATION TO DECK TYPE. 1. INSTALL SUBSEQUENT LAYERS OF INSULATION IN A SOLID MOPPING OF HOT ROOFING
- INSTALL COVER BOARDS OVER INSULATION WITH LONG JOINTS IN CONTINUOUS STRAIGHT LINES WITH END JOINTS STAGGERED BETWEEN ROWS. LOOSELY BUTT COVER BOARDS TOGETHER AND FASTEN TO ROOF DECK.

3.3 ROOFING MEMBRANE INSTALLATION

- INSTALL ROOFING MEMBRANE SYSTEM ACCORDING TO ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS AND APPLICABLE RECOMMENDATIONS OF ARMA/NRCA'S "QUALITY
- CONTROL GUIDELINES FOR THE APPLICATION OF POLYMER MODIFIED BITUMEN ROOFING." WHERE ROOF SLOPE EXCEEDS 1/2 INCH PER 12 INCHES (1:24), INSTALL ROOFING MEMBRANE SHEETS PARALLEL WITH SLOPE.
- BACKNAIL ROOFING MEMBRANE SHEETS TO NAILER STRIPS, SUBSTRATE ACCORDING TO ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS.
- COORDINATE INSTALLING ROOFING SYSTEM SO INSULATION AND OTHER COMPONENTS OF THE ROOFING MEMBRANE SYSTEM NOT PERMANENTLY EXPOSED ARE NOT SUBJECTED TO PRECIPITATION OR LEFT UNCOVERED AT THE END OF THE WORKDAY OR WHEN RAIN IS
- SUBSTRATE-JOINT PENETRATIONS: PREVENT ROOFING ASPHALT FROM PENETRATING SUBSTRATE JOINTS, ENTERING BUILDING, OR DAMAGING ROOFING SYSTEM COMPONENTS OR ADJACENT BUILDING CONSTRUCTION.
- LOOSELY LAY ONE COURSE OF SHEATHING PAPER, LAPPING EDGES AND ENDS A MINIMUM OF 2 INCHES (50 MM) AND 6 INCHES (150 MM), RESPECTIVELY INSTALL ONE LAPPED COURSE OF BASE SHEET, EXTENDING SHEET OVER AND TERMINATING
- BEYOND CANTS. ATTACH BASE SHEET AS FOLLOWS: 1. MECHANICALLY FASTEN TO SUBSTRATE.
- INSTALL MODIFIED BITUMINOUS ROOFING MEMBRANF SHEFT AND CAP SHEFT ACCORDING TO ROOFING MANUFACTURER'S WRITTEN INSTRUCTIONS, STARTING AT LOW POINT OF ROOFING SYSTEM. EXTEND ROOFING MEMBRANE SHEETS OVER AND TERMINATE BEYOND CANTS, INSTALLING AS FOLLOWS:
- UNROLL ROOFING MEMBRANE SHEETS AND ALLOW THEM TO RELAX FOR MINIMUM TIME PERIOD REQUIRED BY MANUFACTURER.
- TORCH APPLY TO SUBSTRATE
- LAPS: ACCURATELY ALIGN ROOFING MEMBRANE SHEETS, WITHOUT STRETCHING, AND MAINTAIN UNIFORM SIDE AND END LAPS. STAGGER END LAPS. COMPLETELY BOND AND SEAL LAPS, LEAVING NO VOIDS.
- REPAIR TEARS AND VOIDS IN LAPS AND LAPPED SEAMS NOT COMPLETELY SEALED. INSTALL ROOFING MEMBRANE SHEETS SO SIDE AND END LAPS SHED WATER.

3.4 FLASHING AND STRIPPING INSTALLATION

- INSTALL BASE FLASHING OVER CANT STRIPS AND OTHER SLOPING AND VERTICAL SURFACES, AT ROOF EDGES, AND AT PENETRATIONS THROUGH ROOF, AND SECURE TO SUBSTRATES ACCORDING TO ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS.
- EXTEND BASE FLASHING UP WALLS OR PARAPETS A MINIMUM OF 8 INCHES (200 MM) ABOVE
- ROOFING MEMBRANE AND 4 INCHES (100 MM) ONTO FIELD OF ROOFING MEMBRANE. MECHANICALLY FASTEN TOP OF BASE FLASHING SECURELY AT TERMINATIONS AND PERIMETER OF ROOFING.
- INSTALL ROOFING MEMBRANE CAP-SHEET STRIPPING WHERE METAL FLANGES AND EDGINGS ARE SET ON MEMBRANE ROOFING ACCORDING TO ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS.

SECTION 075400 - THERMOPLASTIC MEMBRANE ROOFING

PART 1 - GENERAL 1.1 SUMMARY

- THIS SECTION INCLUDES MECHANICALLY FASTENED MEMBRANE ROOFING SYSTEMS. 1.2 SUBMITTALS
- PRODUCT DATA: FOR EACH PRODUCT INDICATED. SHOP DRAWINGS: INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS
- TO OTHER WORK.
- SAMPLES: FOR EACH PRODUCT INCLUDED IN MEMBRANE ROOFING SYSTEM. RESEARCH/EVALUATION REPORTS.
- MAINTENANCE DATA.
- 1.3 QUALITY ASSURANCE INSTALLER QUALIFICATIONS: A QUALIFIED INSTALLER, APPROVED BY MANUFACTURER TO
- INSTALL MANUFACTURER'S PRODUCTS.
- SOURCE LIMITATIONS: OBTAIN COMPONENTS FOR MEMBRANE ROOFING SYSTEM FROM ROOFING MEMBRANE MANUFACTURER.
- FIRE-TEST-RESPONSE CHARACTERISTICS: PROVIDE MEMBRANE ROOFING MATERIALS WITH THE FIRE-TEST-RESPONSE CHARACTERISTICS INDICATED AS DETERMINED BY TESTING IDENTICAL PRODUCTS PER TEST METHOD BELOW BY UL, FMG, OR ANOTHER TESTING AND INSPECTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- 1. EXTERIOR FIRE-TEST EXPOSURE: CLASS A; ASTM E 108, FOR APPLICATION AND ROOF SLOPES INDICATED.
- PREINSTALLATION CONFERENCE: CONDUCT CONFERENCE AT PROJECT SITE WITH A DATE AND TIME TO BE ESTABLISHED. 1.4 WARRANTY
- SPECIAL WARRANTY: MANUFACTURER'S STANDARD FORM, WITHOUT MONETARY LIMITATION, IN WHICH MANUFACTURER AGREES TO REPAIR OR REPLACE COMPONENTS OF MEMBRANE ROOFING SYSTEM THAT FAIL IN MATERIALS OR WORKMANSHIP WITHIN 20 YEARS FROM DATE OF SUBSTANTIAL COMPLETION. FAILURE INCLUDES ROOF LEAKS.

- A. IN OTHER PART 2 ARTICLES WHERE TITLES BELOW INTRODUCE LISTS, THE FOLLOWING REQUIREMENTS APPLY FOR PRODUCT SELECTION:
- 1. AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE MANUFACTURERS SPECIFIED
- MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY THE MANUFACTURERS SPECIFIED.
- 2.2 PVC ROOFING MEMBRANE
- A. PVC SHEET: ASTM D 4434, TYPE IV, FABRIC REINFORCED.
- MANUFACTURERS: a. DURO-LAST ROOFING, INC.
- THICKNESS: 50 MILS, NOMINAL 3. EXPOSED FACE COLOR: WHITE.
- 2.3 AUXILIARY MATERIALS A. GENERAL: AUXILIARY MATERIALS RECOMMENDED BY ROOFING SYSTEM MANUFACTURER FOR INTENDED USE AND COMPATIBLE WITH MEMBRANE ROOFING.
 - ADHESIVES AND SEALANTS THAT ARE USED INSIDE OF THE WEATHERPROOFING SYSTEM SHALL COMPLY WITH THE FOLLOWING LIMITS FOR VOC CONTENT WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D (EPA METHOD 24):
 - a. PLASTIC FOAM ADHESIVES: 50 G/L
 - b. GYPSUM BOARD AND PANEL ADHESIVES: 50 G/L. c. MULTIPURPOSE CONSTRUCTION ADHESIVES: 70 G/L.
 - d. FIBERGLASS ADHESIVES: 80 G/L
 - e. CONTACT ADHESIVES: 80 G/L. f. PLASTIC CEMENT WELDING COMPOUNDS: 350 G/L.
 - g. PVC WELDING COMPOUNDS: 510 G/L.
 - h. OTHER ADHESIVES: 250 G/L.
 - i. SINGLE-PLY ROOF MEMBRANE SEALANTS: 450 G/L. NONMEMBRANE ROOF SEALANTS: 300 G/L.
 - k. SEALANT PRIMERS FOR NONPOROUS SUBSTRATES: 250 G/L. I. SEALANT PRIMERS FOR POROUS SUBSTRATES: 775 G/L.
- SHEET FLASHING: MANUFACTURER'S STANDARD SHEET FLASHING OF SAME MATERIAL, TYPE,
- REINFORCEMENT, THICKNESS, AND COLOR AS PVC SHEET MEMBRANE. BONDING ADHESIVE: MANUFACTURER'S STANDARD SOLVENT-BASED BONDING ADHESIVE
- FOR MEMBRANE, AND SOLVENT-BASED BONDING ADHESIVE FOR BASE FLASHINGS. METAL TERMINATION BARS: MANUFACTURER'S STANDARD PREDRILLED STAINLESS-STEEL OR ALUMINUM BARS, APPROXIMATELY 1 BY 1/8 INCH (25 BY 3 MM) THICK; WITH ANCHORS.
- METAL BATTENS: MANUFACTURER'S STANDARD ALUMINUM-ZINC-ALLOY-COATED OR ZINC-COATED STEEL SHEET, APPROXIMATELY 1 INCH (25 MM) WIDE BY 0.05 INCH (1.3 MM) FASTENERS: FACTORY-COATED STEEL FASTENERS AND METAL OR PLASTIC PLATES MEETING
- CORROSION-RESISTANCE PROVISIONS IN FMG 4470, DESIGNED FOR FASTENING MEMBRANE TO SUBSTRATE, AND ACCEPTABLE TO MEMBRANE ROOFING SYSTEM MANUFACTURER. MISCELLANEOUS ACCESSORIES: PROVIDE POURABLE SEALERS, PREFORMED CONE AND VENT SHEET FLASHINGS, PREFORMED INSIDE AND OUTSIDE CORNER SHEET FLASHINGS, T-JOINT COVERS, TERMINATION REGLETS, COVER STRIPS, SLIP SHEET, AND OTHER ACCESSORIES.
- 2.4 ROOF INSULATION A. EXTRUDED-POLYSTYRENE BOARD INSULATION: ASTM C 578, TYPE IV, 1.6-LB/CU. FT. (26-KG/CU. M) MINIMUM DENSITY, SQUARE EDGED.
- TAPERED INSULATION: PROVIDE FACTORY-TAPERED INSULATION BOARDS FABRICATED TO
- SLOPE OF 1/4 INCH PER 12 INCHES (1:48), UNLESS OTHERWISE INDICATED. PROVIDE PREFORMED SADDLES, CRICKETS, TAPERED EDGE STRIPS, AND OTHER INSULATION SHAPES WHERE INDICATED FOR SLOPING TO DRAIN. FABRICATE TO SLOPES INDICATED.
- 2.5 INSULATION ACCESSORIES FASTENERS: FACTORY-COATED STEEL FASTENERS AND METAL OR PLASTIC PLATES MEETING
- CORROSION-RESISTANCE PROVISIONS IN FMG 4470, DESIGNED FOR FASTENING ROOF INSULATION TO SUBSTRATE, AND ACCEPTABLE TO ROOFING SYSTEM MANUFACTURER.
- COLD FLUID-APPLIED ADHESIVE: MANUFACTURER'S STANDARD COLD FLUID-APPLIED ADHESIVE FORMULATED TO ADHERE ROOF INSULATION TO SUBSTRATE. COVER BOARD: ASTM C 208, TYPE II, GRADE 2, CELLULOSIC-FIBER INSULATION BOARD, 1/2
- INCH (13 MM) THICK. 2.6 WALKWAYS A. FLEXIBLE WALKWAYS: FACTORY-FORMED, NONPOROUS, HEAVY-DUTY, SOLID-RUBBER,
- (5 MM) THICK, AND ACCEPTABLE TO MEMBRANE ROOFING SYSTEM MANUFACTURER. PART 3 - EXECUTION
- 3.1 SUBSTRATE BOARD INSTALLATION A. INSTALL SUBSTRATE BOARD WITH LONG JOINTS IN CONTINUOUS STRAIGHT LINES, PERPENDICULAR TO ROOF SLOPES WITH END JOINTS STAGGERED BETWEEN ROWS. TIGHTLY BUTT SUBSTRATE BOARDS TOGETHER.

SLIP-RESISTING, SURFACE-TEXTURED WALKWAY PADS OR ROLLS, APPROXIMATELY 3/16 INCH

- FASTEN SUBSTRATE BOARD TO TOP FLANGES OF STEEL DECK ACCORDING TO MEMBRANE ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 3.2 INSULATION INSTALLATION A. COORDINATE INSTALLING MEMBRANE ROOFING SYSTEM COMPONENTS SO INSULATION IS NOT EXPOSED TO PRECIPITATION OR LEFT EXPOSED AT THE END OF THE WORKDAY. COMPLY WITH MEMBRANE ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS
- FOR INSTALLING ROOF INSULATION INSTALL TAPERED INSULATION UNDER AREA OF ROOFING TO CONFORM TO SLOPES INDICATED.
- INSTALL ONE OR MORE LAYERS OF INSULATION UNDER AREA OF ROOFING TO ACHIEVE REQUIRED THICKNESS. WHERE OVERALL INSULATION THICKNESS IS 2 INCHES (50 MM) OR GREATER, INSTALL 2 OR MORE LAYERS WITH JOINTS OF EACH SUCCEEDING LAYER STAGGERED FROM JOINTS OF PREVIOUS LAYER A MINIMUM OF 6 INCHES (150 MM) IN EACH
- MECHANICALLY FASTENED INSULATION: INSTALL EACH LAYER OF INSULATION AND SECURE TO DECK USING MECHANICAL FASTENERS SPECIFICALLY DESIGNED AND SIZED FOR FASTENING SPECIFIED BOARD-TYPE ROOF INSULATION TO DECK TYPE.
- 1. FASTEN INSULATION TO RESIST UPLIFT PRESSURE AT CORNERS, PERIMETER, AND FIELD INSTALL COVER BOARDS OVER INSULATION WITH LONG JOINTS IN CONTINUOUS STRAIGHT
- LINES WITH END JOINTS STAGGERED BETWEEN ROWS. LOOSELY BUTT COVER BOARDS TOGETHER AND FASTEN TO ROOF DECK. FASTEN TO RESIST UPLIFT PRESSURE AT CORNERS, PERIMETER, AND FIELD OF ROOF. 3.3 MECHANICALLY FASTENED ROOFING MEMBRANE INSTALLATION
- INSTALL ROOFING MEMBRANE OVER AREA TO RECEIVE ROOFING ACCORDING TO ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS. UNROLL ROOFING MEMBRANE AND ALLOW TO RELAX BEFORE INSTALLING.
- INSTALL SHEET ACCORDING TO ASTM D 5082. MECHANICALLY OR ADHESIVELY FASTEN ROOFING MEMBRANE SECURELY AT TERMINATIONS, PENETRATIONS, AND PERIMETER OF ROOFING.
- SEAMS: CLEAN SEAM AREAS, OVERLAP ROOFING MEMBRANE, AND HOT-AIR WELD SIDE AND END LAPS OF ROOFING MEMBRANE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS TO ENSURE A WATERTIGHT SEAM INSTALLATION.
- 1. REPAIR TEARS, VOIDS, AND LAPPED SEAMS IN ROOFING MEMBRANE THAT DOES NOT MEET REQUIREMENTS. IN-SPLICE ATTACHMENT: SECURE ONE EDGE OF ROOFING MEMBRANE USING FASTENING
- PLATES OR METAL BATTENS CENTERED WITHIN MEMBRANE SPLICE AND MECHANICALLY FASTEN ROOFING MEMBRANE TO ROOF DECK. FIELD-SPLICE SEAM. THROUGH-MEMBRANE ATTACHMENT: SECURE ROOFING MEMBRANE USING FASTENING PLATES OR METAL BATTENS AND MECHANICALLY FASTEN ROOFING MEMBRANE TO ROOF

DECK. COVER BATTENS AND FASTENERS WITH A CONTINUOUS COVER STRIP.

- 3.4 BASE FLASHING INSTALLATION
- A. INSTALL SHEET FLASHINGS AND PREFORMED FLASHING ACCESSORIES AND ADHERE TO SUBSTRATES ACCORDING TO MEMBRANE ROOFING SYSTEM MANUFACTURER'S WRITTEN
- B. APPLY SOLVENT-BASED BONDING ADHESIVE TO SUBSTRATE AND UNDERSIDE OF SHEET FLASHING AT REQUIRED RATE AND ALLOW TO PARTIALLY DRY. DO NOT APPLY BONDING
- ADHESIVE TO SEAM AREA OF FLASHING. C. FLASH PENETRATIONS AND FIELD-FORMED INSIDE AND OUTSIDE CORNERS WITH SHEET
- CLEAN SEAM AREAS AND OVERLAP AND FIRMLY ROLL SHEET FLASHINGS INTO THE ADHESIVE.
- WELD SIDE AND END LAPS TO ENSURE A WATERTIGHT SEAM INSTALLATION.
- TERMINATE AND SEAL TOP OF SHEET FLASHINGS AND MECHANICALLY ANCHOR TO
- SUBSTRATE THROUGH TERMINATION BARS.
- 3.5 WALKWAY INSTALLATION FLEXIBLE WALKWAYS: INSTALL WALKWAY PRODUCTS IN LOCATIONS INDICATED. ADHERE WALKWAY PRODUCTS TO SUBSTRATE WITH COMPATIBLE ADHESIVE ACCORDING TO ROOFING SYSTEM MANUFACTURER'S WRITTEN INSTRUCTIONS.
- TESTING AGENCY: OWNER WILL ENGAGE A QUALIFIED INDEPENDENT TESTING AND
- INSPECTING AGENCY TO PERFORM ROOF TESTS AND INSPECTIONS AND TO PREPARE TEST FINAL ROOF INSPECTION: ARRANGE FOR ROOFING SYSTEM MANUFACTURER'S TECHNICAL

PERSONNEL TO INSPECT ROOFING INSTALLATION ON COMPLETION AND SUBMIT REPORT TO

REPAIR OR REMOVE AND REPLACE COMPONENTS OF MEMBRANE ROOFING SYSTEM WHERE TEST RESULTS OR INSPECTIONS INDICATE THAT THEY DO NOT COMPLY WITH SPECIFIED

SECTION 076100 - SHEET METAL ROOFING

PART 1 - GENERAL

- 1.1 SUMMARY
- A. SECTION INCLUDES:
- STANDING-SEAM METAL ROOFING. 1.2 PERFORMANCE REQUIREMENTS
- WIND-UPLIFT RESISTANCE: CAPABLE OF PRODUCING SHEET METAL ROOFING ASSEMBLIES THAT COMPLY WITH UL 580 FOR CLASS 90 WIND-UPLIFT RESISTANCE.

- A. SHOP DRAWINGS: SHOW INSTALLATION LAYOUT OF SHEET METAL ROOFING, INCLUDING PLANS, ELEVATIONS, EXPANSION JOINT LOCATIONS, AND KEYED DETAILS. DISTINGUISH BETWEEN SHOP- AND FIELD-ASSEMBLED WORK.
- INCLUDE DETAILS FOR FORMING, JOINING, AND SECURING SHEET METAL ROOFING, INCLUDING PATTERN OF SEAMS, TERMINATION POINTS, FIXED POINTS, EXPANSION JOINTS, ROOF PENETRATIONS, EDGE CONDITIONS, SPECIAL CONDITIONS, CONNECTIONS
- TO ADJOINING WORK, AND DETAILS OF ACCESSORY ITEMS. SAMPLES: FOR EACH EXPOSED PRODUCT AND FOR EACH FINISH SPECIFIED PORTABLE ROLL-FORMING EQUIPMENT CERTIFICATE: ISSUED BY UL FOR EQUIPMENT MANUFACTURER'S PORTABLE ROLL-FORMING EQUIPMENT CAPABLE OF PRODUCING PANELS

THAT COMPLY WITH UL REQUIREMENTS.

METAL MANUAL".

1.4 QUALITY ASSURANCE

- INSTALLER QUALIFICATIONS: FABRICATOR OF SHEET METAL ROOFING ROLL-FORMED SHEET METAL ROOFING FABRICATOR QUALIFICATIONS: AN AUTHORIZED
- REPRESENTATIVE OF ROLL-FORMED SHEET METAL ROOFING MANUFACTURER FOR FABRICATION AND INSTALLATION OF UNITS. C. SHEET METAL ROOFING STANDARD: COMPLY WITH SMACNA'S "ARCHITECTURAL SHEET

- SPECIAL WARRANTY ON FINISHES: MANUFACTURER'S STANDARD FORM IN WHICH MANUFACTURER AGREES TO REPAIR FINISH OR REPLACE SHEET METAL ROOFING THAT SHOWS EVIDENCE OF DETERIORATION OF FACTORY-APPLIED FINISHES WITHIN SPECIFIED WARRANTY PERIOD.
- 1. FLUOROPOLYME FINISH WARRANTY PERIOD: 20 YEARS FROM DATE OF SUBSTANTIAL COMPLETION.
- B. SPECIAL INSTALLER'S WARRANTY: SPECIFIED FORM IN WHICH ROOFING INSTALLER AGREES TO REPAIR OR REPLACE COMPONENTS OF CUSTOM- FABRICATED SHEET METAL ROOFING THAT FAIL IN MATERIALS OR WORKMANSHIP WITHIN TWO YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

PART 2 - PRODUCTS

- 2.1 ROOFING SHEET METALS
- MANUFACTURERS AND PRODUCTS:
- 1. BERRIDGE MANUFACTURING CO. METALLIC-COATED STEEL SHEET: RESTRICTED FLATNESS STEEL SHEET, METALLIC COATED BY THE HOT-DIP PROCESS AND PREPAINTED BY THE COIL-COATING PROCESS TO COMPLY WITH
- 1. ZINC-COATED (GALVANIZED) STEEL SHEET: ASTM A 653/A 653M, G90 (Z275) COATING DESIGNATION; STRUCTURAL QUALITY.
- 2. SURFACE: SMOOTH, FLAT FINISH. 3. THICKNESS: 24 GUAGE, UNLESS OTHERWISE INDICATED.
- 4. EXPOSED FINISHES: a. HIGH-PERFORMANCE ORGANIC FINISH: THREE-COAT WITH FLUOROPOLYMER COATS CONTAINING NOT LESS THAN 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN BY WEIGHT; COMPLYING WITH PHYSICAL PROPERTIES AND COATIONG

PERFORMANCE REQUIREMENTS OF AAMA 2604, EXCEPT AS MODIFIED BELOW:

- 1) HUMIDITY RESISTANCE: 2000 HOURS.
- 2) WATER RESISTANCE: 2000 HOURS. 3) COLOR: AS INDICATED ON DRAWINGS

2.2 UNDERLAYMENT MATERIALS

- POLYETHYLENE SHEET: 6-MIL- (0.15-MM-) THICK POLYETHYLENE SHEET COMPLYING WITH ASTM D 4397.
- B. FELTS: ASTM D 226, TYPE II (NO. 30), ASPHALT-SATURATED ORGANIC FELTS. 1. SELF-ADHERING, HIGH-TEMPERATURE SHEET: MINIMUM 30 TO 40 MILS (0.76 TO 1.0 MM) THICK, CONSISTING OF SLIP-RESISTING POLYETHYLENE-FILM TOP SURFACE LAMINATED TO LAYER OF BUTYL OR SBS-MODIFIED ASPHALT ADHESIVE, WITH
- RELEASE-PAPER BACKING; COLD APPLIED. C. SLIP SHEET: BUILDING PAPER, 3-LB/100 SQ. FT. (0.16-KG/SQ. M) MINIMUM, ROSIN SIZED.
- 2.3 MISCELLANEOUS MATERIALS A. FASTENERS: SELF-TAPPING SCREWS, SELF-LOCKING RIVETS AND BOLTS AND OTHER SUITABLE

FASTENERS DESIGNED TO WITHSTAND DESIGN LOADS.

FOR 15-MIL (0.4-MM) DRY FILM THICKNESS PER COAT.

- EXPOSED FASTENERS: HEADS MATCHING COLOR OF SHEET METAL ROOFING USING
- PLASTIC CAPS OR FACTORY-APPLIED COATING. 2. FASTENERS FOR FLASHING AND TRIM: BLIND FASTENERS OR SELF- DRILLING SCREWS
- WITH HEX- WASHER HEAD. BLIND FASTENERS: HIGH-STRENGTH ALUMINUM OR STAINLESS- STEEL RIVETS. B. SEALING TAPE: PRESSURE-SENSITIVE, 100 PERCENT SOLIDS, POLYISOBUTYLENE COMPOUND
- SEALING TAPE WITH RELEASE-PAPER BACKING. PROVIDE PERMANENTLY ELASTIC, NONSAG, NONTOXIC, NONSTAINING TAPE. ELASTOMERIC JOINT SEALANT: ASTM C 920, OF BASE POLYMER, TYPE, GRADE, CLASS, AND
- USE CLASSIFICATIONS REQUIRED TO PRODUCE JOINTS IN SHEET METAL ROOFING AND REMAIN WATERTIGHT.
- D. EXPANSION JOINT SEALANT: FOR HOOKED-TYPE EXPANSION JOINTS, WHICH MUST BE FREE
- TO MOVE, PROVIDE NONSETTING, NONHARDENING, NONMIGRATING, HEAVY-BODIED POLYISOBUTYLENE SEALANT.
- E. BITUMINOUS COATING: COLD-APPLIED ASPHALT MASTIC, SSPC-PAINT 12, COMPOUNDED

2.4 ACCESSORIES

- SHEET METAL ACCESSORIES: PROVIDE COMPONENTS REQUIRED FOR A COMPLETE SHEET METAL ROOFING ASSEMBLY INCLUDING TRIM, COPINGS, FASCIAE, CORNER UNITS, CLIPS, FLASHINGS, SEALANTS, GASKETS, FILLERS, METAL CLOSURES, CLOSURE STRIPS, AND SIMILAR ITEMS. MATCH MATERIAL AND FINISH OF SHEET METAL ROOFING UNLESS OTHERWISE
 - 1. CLEATS: FOR MECHANICALLY SEAMING INTO JOINTS AND FORMED FROM THE **FOLLOWING MATERIALS:**
 - a. METALLIC-COATED STEEL ROOFING: 0.0250-INCH- (0.65-MM-) THICK STAINLESS STEEL OR NYLON-COATED ALUMINUM SHEET. CLIPS: MINIMUM 0.0625-INCH- (1.6-MM-) THICK, STAINLESS-STEEL PANEL CLIPS
 - DESIGNED TO WITHSTAND NEGATIVE-LOAD REQUIREMENTS 3. CLOSURES: CLOSED-CELL, EXPANDED, CELLULAR, RUBBER OR CROSSLINKED, POLYOLEFIN FOAM OR CLOSED-CELL LAMINATED POLYETHYLENE; MINIMUM 1-INCH-(25-MM-) THICK, FLEXIBLE-CLOSURE STRIPS; CUT OR PREMOLDED TO MATCH SHEET METAL ROOFING PROFILE. PROVIDE CLOSURE STRIPS WHERE INDICATED OR NECESSARY
 - TO ENSURE WEATHERTIGHT CONSTRUCTION. 4. FLASHING AND TRIM: FORMED FROM 0.0179 INCH (0.45 MM) THICK, METALLIC COATED STEEL SHEET. PROVIDE FLASHING AND TRIM AS REQUIRED TO SEAL AGAINST WEATHER AND TO PROVIDE FINISHED APPEARANCE. LOCATIONS INCLUDE, BUT ARE NOT LIMITED TO, EAVES, RAKES, CORNERS, BASES, FRAMED OPENINGS, RIDGES, FASCIAE, AND FILLERS. FINISH FLASHING AND TRIM WITH SAME FINISH SYSTEM AS ADJACENT SHEET METAL ROOFING.

2.5 FABRICATION

- GENERAL: CUSTOM FABRICATE SHEET METAL ROOFING TO COMPLY WITH DETAILS SHOWN AND RECOMMENDATIONS IN SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL" THAT APPLY TO THE DESIGN, DIMENSIONS (PANEL WIDTH AND SEAM HEIGHT), GEOMETRY, METAL THICKNESS, AND OTHER CHARACTERISTICS OF INSTALLATION INDICATED. FABRICATE SHEET METAL ROOFING AND ACCESSORIES AT THE SHOP TO GREATEST EXTENT POSSIBLE. 1. STANDING-SEAM ROOFING: FORM STANDING-SEAM PANELS WITH FINISHED SEAM
- HEIGHT OF 1-1/2 INCHES (38 MM). GENERAL: FABRICATE ROLL-FORMED SHEET METAL ROOFING PANELS TO COMPLY WITH DETAILS SHOWN AND ROLL-FORMED SHEET METAL ROOFING MANUFACTURER'S WRITTEN
- C. FABRICATE SHEET METAL ROOFING TO ALLOW FOR EXPANSION IN RUNNING WORK SUFFICIENT TO PREVENT LEAKAGE, DAMAGE, AND DETERIORATION OF THE WORK. FORM EXPOSED SHEET METAL WORK TO FIT SUBSTRATES WITHOUT EXCESSIVE OIL CANNING, BUCKLING, AND TOOL MARKS, TRUE TO LINE AND LEVELS INDICATED, AND WITH EXPOSED EDGES FOLDED BACK TO FORM HEMS.

1. LAY OUT SHEET METAL ROOFING SO CROSS SEAMS, WHEN REQUIRED, ARE MADE IN

DIRECTION OF FLOW WITH HIGHER PANS OVERLAPPING LOWER PANS.

2. FOLD AND CLEAT EAVES AND TRANSVERSE SEAMS IN THE SHOP. 3. FORM AND FABRICATE SHEETS, SEAMS, STRIPS, CLEATS, VALLEYS, RIDGES, EDGE

TREATMENTS, INTEGRAL FLASHINGS, AND OTHER COMPONENTS OF METAL ROOFING TO

- PROFILES, PATTERNS, AND DRAINAGE ARRANGEMENTS SHOWN AND AS REQUIRED FOR LEAKPROOF CONSTRUCTION. D. METAL PROTECTION: WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER, PROTECT AGAINST GALVANIC ACTION BY PAINTING CONTACT SURFACES WITH BITUMINOUS COATING, BY APPLYING SELF-ADHERING SHEET UNDERLAYMENT TO EACH CONTACT SURFACE, OR BY
- ROOFING OR MANUFACTURERS OF THE METALS IN CONTACT. SHEET METAL ACCESSORIES: CUSTOM FABRICATE FLASHINGS AND TRIM TO COMPLY WITH RECOMMENDATIONS IN SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL" THAT APPLY TO DESIGN, DIMENSIONS, METAL, AND OTHER CHARACTERISTICS OF ITEM INDICATED. OBTAIN FIELD MEASUREMENTS FOR ACCURATE FIT BEFORE SHOP FABRICATION.

OTHER PERMANENT SEPARATION AS RECOMMENDED BY FABRICATOR OF SHEET METAL

PART 3 - EXECUTION

- 3.1 PREPARATION
- A. INSTALL FLASHINGS AND OTHER SHEET METAL TO COMPLY WITH REQUIREMENTS SPECIFIED IN DIVISION 7 SECTION "SHEET METAL FLASHING AND TRIM."

3.2 UNDERLAYMENT INSTALLATION

- A. FELT UNDERLAYMENT: INSTALL FELT UNDERLAYMENT ON ROOF SHEATHING UNDER SHEET METAL ROOFING. USE ADHESIVE FOR TEMPORARY ANCHORAGE. APPLY AT LOCATIONS INDICATED ON DRAWINGS, IN SHINGLE FASHION TO SHED WATER, WITH LAPPED JOINTS OF
- NOT LESS THAN 2 INCHES (50 MM). SELF-ADHERING SHEET UNDERLAYMENT: INSTALL SELF-ADHERING SHEET UNDERLAYMENT, WRINKLE FREE, ON ROOF SHEATHING UNDER SHEET METAL ROOFING. COMPLY WITH TEMPERATURE RESTRICTIONS OF UNDERLAYMENT MANUFACTURER FOR INSTALLATION; USE PRIMER RATHER THAN NAILS FOR INSTALLING UNDERLAYMENT AT LOW TEMPERATURES. APPLY OVER ENTIRE ROOF, IN SHINGLE FASHION TO SHED WATER, WITH END LAPS OF NOT LESS THAN 6 INCHES (150 MM) STAGGERED 24 INCHES (600 MM) BETWEEN COURSES. OVERLAP SIDE EDGES NOT LESS THAN 3-1/2 INCHES (90 MM). ROLL LAPS WITH ROLLER.
- COVER UNDERLAYMENT WITHIN 14 DAYS. 1.INSTALL FOR A MINIMUM OF 36" AT PERIMETER AND WHERE INDICATED ON

C.APPLY SLIP SHEET BEFORE INSTALLING SHEET METAL ROOFING.

- 3.3 INSTALLATION, GENERAL
- A. GENERAL: ANCHOR SHEET METAL ROOFING AND OTHER COMPONENTS OF THE WORK SECURELY IN PLACE, WITH PROVISIONS FOR THERMAL AND STRUCTURAL MOVEMENT. INSTALL FASTENERS, SOLDER, WELDING RODS, PROTECTIVE COATINGS, SEPARATORS, SEALANTS, AND OTHER MISCELLANEOUS ITEMS AS REQUIRED FOR A COMPLETE ROOFING SYSTEM AND AS RECOMMENDED BY FABRICATOR FOR SHEET METAL ROOFING.

FIELD CUTTING OF SHEET METAL ROOFING BY TORCH IS NOT PERMITTED.

MOVEMENT DUE TO THERMAL EXPANSION AND CONTRACTION. PREDRILL ROOFING. PROVIDE METAL CLOSURES AT PEAKS AND EACH SIDE OF RIDGE CAPS. 4. FLASH AND SEAL SHEET METAL ROOFING WITH WEATHER CLOSURES AT EAVES, RAKES, AND PERIMETER OF ALL OPENINGS. FASTEN WITH SELF-TAPPING SCREWS. 5. LOCATE ROOFING SPLICES OVER, BUT NOT ATTACHED TO, STRUCTURAL SUPPORTS.

2. RIGIDLY FASTEN EAVE END OF SHEET METAL ROOFING AND ALLOW RIDGE END FREE

STAGGER ROOFING SPLICES AND END LAPS TO AVOID A FOUR-PANEL LAP SPLICE 6. LAP METAL FLASHING OVER SHEET METAL ROOFING TO ALLOW MOISTURE TO RUN OVER AND OFF THE MATERIAL.

FASTENERS: USE FASTENERS OF SIZES THAT WILL NOT PENETRATE COMPLETELY THROUGH

UNDERLAYMENT TO EACH CONTACT SURFACE, OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY FABRICATOR OF SHEET METAL ROOFING OR MANUFACTURERS OF

- 1. STEEL ROOFING: USE STAINLESS-STEEL FASTENERS. METAL PROTECTION: WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC ACTION BY PAINTING CONTACT SURFACES WITH BITUMINOUS COATING, BY APPLYING RUBBERIZED-ASPHALT
- DISSIMILAR METALS. CONCEAL FASTENERS AND EXPANSION PROVISIONS WHERE POSSIBLE IN EXPOSED WORK AND LOCATE TO MINIMIZE POSSIBILITY OF LEAKAGE. COVER AND SEAL FASTENERS AND

ANCHORS AS REQUIRED FOR A TIGHT INSTALLATION.

- 3.4 ON-SITE, ROLL-FORMED SHEET METAL ROOFING INSTALLATION
- A. GENERAL: INSTALL ON-SITE, ROLL-FORMED SHEET METAL ROOFING FABRICATED FROM UL-CERTIFIED EQUIPMENT TO COMPLY WITH EQUIPMENT MANUFACTURER'S WRITTEN INSTRUCTIONS FOR UL WIND-UPLIFT RESISTANCE CLASS INDICATED. PROVIDE SHEET METAL ROOFING OF FULL LENGTH FROM EAVE TO RIDGE UNLESS OTHERWISE RESTRICTED BY
- ON-SITE OR SHIPPING LIMITATIONS. STANDING-SEAM SHEET METAL ROOFING: FASTEN SHEET METAL ROOFING TO SUPPORTS WITH CONCEALED CLIPS AT EACH STANDING-SEAM JOINT AT LOCATION, AT SPACING, AND WITH FASTENERS RECOMMENDED BY MANUFACTURER OF PORTABLE ROLL-FORMING
 - INSTALL CLIPS TO SUBSTRATE WITH SELF-TAPPING FASTENERS. BEFORE PANELS ARE JOINED, APPLY CONTINUOUS BEAD OF SEALANT TO TOP OF
- FLANGE OF LOWER PANEL. 3. SEAMED JOINT: CRIMP STANDING SEAMS WITH MANUFACTURER-APPROVED MOTORIZED SEAMER TOOL SO CLEAT, SHEET METAL ROOFING, AND FIELD-APPLIED SEALANT ARE COMPLETELY ENGAGED.

3.5 ACCESSORY INSTALLATION

- A. GENERAL: INSTALL ACCESSORIES WITH POSITIVE ANCHORAGE TO BUILDING AND WEATHERTIGHT MOUNTING AND PROVIDE FOR THERMAL EXPANSION. COORDINATE INSTALLATION WITH FLASHINGS AND OTHER COMPONENTS.
- ASSEMBLY INCLUDING TRIM, COPINGS, SEAM COVERS, FLASHINGS, SEALANTS, GASKETS, FILLERS, METAL CLOSURES, CLOSURE STRIPS, AND SIMILAR ITEMS. 2. COMPLY WITH PERFORMANCE REQUIREMENTS, MANUFACTURER'S INSTALLATIN INSTRUCTINS, AND SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL." PROVIDE CONCEALED FASTENERS WHERE POSSIBLE AND SET UNITS TRUE TO LINE AND LEVEL

AS INDICATED. INSTALL WORK WITH LAPS, JOINTS, AND SEAMS THAT WILL BE PERMANENTLY

1. INCLUDE DETAILS FOR FORMING, JOINING, SUPPORTING, AND SECURING SHEET METAL

FLASHING AND TRIM, INCLUDING PATTERN OF SEAMS, TERMINATION POINTS, FIXE

1. INSTALL COMPONENTS REQUIRED FOR A COMPLETE SHEET METAL ROOFING

3.6 CLEANING AND PROTECTION

REMOVE TEMPORARY PROTECTIVE COVERINGS AND STRIPPABLE FILMS, IF ANY, AS SHEET METAL ROOFING IS INSTALLED. ON COMPLETION OF SHEET METAL ROOFING INSTALLATION, CLEAN FINISHED SURFACES, INCLUDING REMOVING UNUSED FASTENERS, METAL FILINGS, POP RIVET STEMS, AND PIECES OF FLASHING. MAINTAIN IN A CLEAN CONDITION DURING CONSTRUCTION.

SECTION 076200 - SHEET METAL FLASHING AND TRIM

WATERTIGHT AND WEATHER RESISTANT.

- FORMED LOW-SLOPE ROOF SHEET METAL FABRICATIONS. 2. FORMED WALL SHEET METAL FABRICATIONS.
- A. SHOP DRAWINGS: SHOW INSTALLATION LAYOUTS OF SHEET METAL FLASHING AND TRIM, INCLUDING PLANS, ELEVATIONS, EXPANSION-JOINT LOCATIONS, AND KEYED DETAILS. DISTINGUISH BETWEEN SHOP- AND FIELD-ASSEMBLED WORK.
- POINTS, EXPANSION JOINTS, EXPANSION-JOINT COVERS, EDGE CONDITIONS, SPECIAL CONDITIONS, AND CONNECTIONS TO ADJOINING WORK. B. SAMPLES: FOR EACH EXPOSED PRODUCT AND FOR EACH FINISH SPECIFIED.

SHEET METAL MANUAL" UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED OR SHOWN ON DRAWINGS.

PART 2 - PRODUCTS

- 2.1 SHEET METALS A. ZINC-COATED (GALVANIZED) STEEL SHEET: ASTM A 653 G90 COATING DESIGNATION;
- STRUCTURAL QUALITY, MILL PHOSPHATIZED FOR FIELD PAINTING. ZINC-COATED (GALVANIZED) STEEL SHEET: ASTM A 653 G90 COATING DESIGNATION, Copyright 2020 by Arby's Restaurant Group STRUCTURAL QUALITY.
 - 2.EXPOSED FINISHES: APPLY THE FOLLOWING COIL COATING: a. HIGH-PERFORMANCE ORGANIC FINISH: THREE-COAT THERMOCURED SYSTEM CONTAINING NOT LESS THAN 70 PERCENT POLYVINYLIDENE FLUORIDE RESIN BY WEIGHT; COMPLYING WITH PHYSICAL PROPERTIES AND COATING PERFORMANCE
- 1) HUMIDITY AND SALT SPRAY RESISTANCE: 2000 HOURS 2) COLOR: AS SELECTED BY OWNER'S REPRESENTATIVE

CAPS OR FACTORY-APPLIED COATING.

FROM MANUFACTURER'S FULL RANGE. B. LEAD SHEET: ASTM B 749, TYPE L51121, COPPER-BEARING LEAD SHEET.

2.2 MISCELLANEOUS MATERIALS A. GENERAL: PROVIDE MATERIALS AND TYPES OF FASTENERS, SOLDER, WELDING RODS,

REQUIREMENTS OF AAMA 2604, EXCEPT AS MODIFIED FOR BELOW:

- PROTECTIVE COATINGS, SEPARATORS, SEALANTS, AND OTHER MISCELLANEOUS ITEMS AS REQUIRED FOR COMPLETE SHEET METAL FLASHING AND TRIM INSTALLATION. FELT UNDERLAYMENT: ASTM D 226, TYPE II (NO. 30), ASPHALT-SATURATED ORGANIC FF'.
- 1.SLIP SHEET: ROSIN-SIZED PAPER, MINIMUM 5 LB/100 SQ.FT. C. FASTENERS: WOOD SCREWS, ANNULAR THREADED NAILS, SELF-LOCKING RIVETS AND E DLTS, AND OTHER SUITABLE FASTENERS DESIGNED TO WITHSTAND DESIGN LOADS. a. EXPOSED FASTENERS: HEADS MATCHING COLOR OF SHEET METAL USING PLACTIC

b. FASTENERS FOR FLASHING AND TRIM: BLIND FASTENERS OR SELF-DRILLING

- BLIND FASTENERS: HIGH-STRENGTH STAINLESS-STEEL RIVETS. d. MATCH FINISH OF MATERIAL BEING FASTENED. D. SEALING TAPE: PRESSURE-SENSITIVE, 100 PERCENT SOLIDS, POLYISOBUTYLENE COMPOUND SEALING TAPE WITH RELEASE-PAPER BACKING. PROVIDE PERMANENTLY ELASTIC, NONSAG,
- NONTOXIC, NONSTAINING TAPE. E. ELASTOMERIC SEALANT: ASTM C 920, ELASTOMERIC POLYMER SEALANT AS RECOMMENDED BY SHEET METAL MANUFACTURER AND FABRICATOR OF COMPONENTS BEING SEALED, COMPLYING WITH DIVISION 7 SECTION "JOINT SEALANTS", OF TYPE, GRADE, CLASS, AN ` ' ' CLASSIFICATIONS REQUIRED TO SEAL JOINTS IN SHEET METAL FLASHING AND TRIM AND

SCREWS, GASKETED, WITH HEX WASHER HEAD.

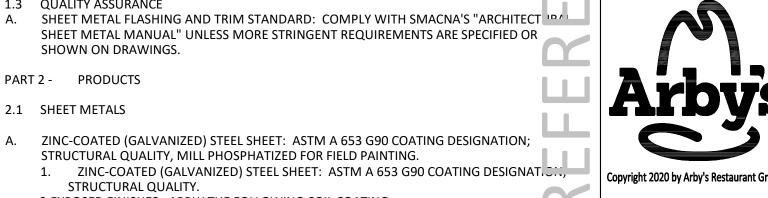
- F. BUTYL SEALANT: ASTM C 1311, SINGLE-COMPONENT, SOLVENT-RELEASE BUTYL RUBBE. SEALANT; POLYISOBUTYLENE PLASTICIZED; HEAVY BODIED FOR HOOKED-TYPE EXPANSION JOINTS WITH LIMITED MOVEMENT. G. BITUMINOUS COATING: COLD-APPLIED ASPHALT MASTIC, SSPC-PAINT 12, COMPOUNDED
 - 2.3 REGLETS

FOR 15-MIL DRY FILM THICKNESS PER COAT.

- A. REGLETS: UNITS OF TYPE, MATERIAL, AND PROFILE INDICATED, FORMED TO PROVIDE SECURE INTERLOCKING OF SEPARATE REGLET AND COUNTERFLASHING PIECES, AND COMPATIBLE WITH FLASHING INDICATED WITH FACTORY-MITERED AND -WELDED CORI ERS
- 1. MATERIAL: GALVANIZED STEEL, 0.217 INCH THICK. 2.4 FABRICATION, GENERAL

AND JUNCTIONS.

REMAIN WATERTIGHT.



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SHEET

SPECIFICATIONS

- GENERAL: CUSTOM FABRICATE SHEET METAL FLASHING AND TRIM TO COMPLY WITH RECOMMENDATIONS IN SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL" THAT APPLY TO DESIGN, DIMENSIONS, METAL AND OTHER CHARACTERISTICS OF ITEM INDICATED. SHOP FABRICATE ITEMS WHERE PRACTICABLE. OBTAIN FIELD MEASUREMENTS FOR ACCURATE FIT
- FABRICATE SHEET METAL FLASHING AND TRIM WITHOUT EXCESSIVE OIL CANNING BUCKLING, AND TOOL MARKS AND TRUE TO LINE AND LEVELS INDICATED, WITH EXPOSED EDGES FOLDED BACK TO FORM HEMS.
 - 1. SEAMS: FABRICATE NONMOVING SEAMS IN ACCESSORIES WITH FLAT-LOCK SEAMS. TIN EDGES TO BE SEAMED, FORM SEAMS, AND SOLDER.

SEALED JOINTS: FORM NONEXPANSION BUT MOVABLE JOINTS IN METAL TO ACCOMMODATE

- ELASTOMERIC SEALANT TO COMPLY WITH SMACNA RECOMMENDATIONS. EXPANSION PROVISIONS: WHERE LAPPED OR BAYONET-TYPE EXPANSION PROVISIONS IN THE WORK CANNOT BE USED, FORM EXPANSION JOINTS OF INTERMESHING HOOKED FLANGES, NOT LESS THAN 1 INCH (25 MM) DEEP, FILLED WITH ELASTOMERIC SEALANT CONCEALED WITHIN JOINTS
- CONCEALED FASTENERS AND EXPANSION PROVISIONS WHERE POSSIBLE ON EXPOSED-TO-VIEW SHEET METAL FLASHING AND TRIM, UNLESS OTHERWISE INDICATED.
- FABRICATE CLEATS AND ATTACHMENT DEVICES FROM SAME MATERIAL AS ACCESSORY BEING ANCHORED OR FROM COMPATIBLE, NONCORROSIVE METAL, AND IN THICKNESS NOT LESS THAN THAT OF METAL BEING SECURED.
- 2.5 ROOF DRAINAGE SHEET METAL FABRICATIONS
- PARAPET SCUPPERS: FABRICATE SCUPPERS OF DIMENSIONS REQUIRED WITH CLOSURE FLANGE TRIM TO EXTERIOR, 4-INCH- (100-MM-) WIDE WALL FLANGES TO INTERIOR, AND BASE EXTENDING 4 INCHES (100 MM) BEYOND CANT OR TAPERED STRIP INTO FIELD OF ROOF. FASTEN GRAVEL GUARD ANGLES TO BASE OF SCUPPER.
- 2.6 LOW-SLOPE ROOF SHEET METAL FABRICATIONS
- ROOF-EDGE FLASHING (GRAVEL STOP) AND FASCIA CAP: FABRICATE IN MINIMUM 96-INCH-(2400-MM-) LONG, BUT NOT EXCEEDING 10-FOOT- (3-M-) LONG, SECTIONS. FURNISH WITH 6-INCH- (150-MM-) WIDE, JOINT COVER PLATES. 1. FABRICATE SCUPPERS FROM PREPAINTED, METALLIC-COATED STEEL: 0.0276 INCH
- BASE FLASHING: FABRICATE FROM THE FOLLOWING MATERIAL:
- GALVANIZED STEEL: 0.0276 INCH THICK. COUNTERFLASHING AND FLASHING RECEIVERS: FABRICATE FROM THE FOLLOWING
- PREPAINTED, METALLIC-COATED STEEL: 0.0217 INCH THICK.
- ROOF-PENETRATION FLASHING: FABRICATE FROM THE FOLLOWING MATERIAL: 1. LEAD: 4.0 LB/SQ.FT., HARD TEMPERED.
- E. ROOF-DRAIN FLASHING: FABRICATE FROM THE FOLLOWING MATERIAL: 1. LEAD: 4.0 LB/SQ.FT., HARD TEMPERED.

PART 3 - EXECUTION

- 3.1 INSTALLATION, GENERAL
- GENERAL: ANCHOR SHEET METAL FLASHING AND TRIM AND OTHER COMPONENTS OF THE WORK SECURELY IN PLACE, WITH PROVISIONS FOR THERMAL AND STRUCTURAL MOVEMENT USE FASTENERS, SOLDER, WELDING RODS, PROTECTIVE COATINGS, SEPARATORS, SEALANTS, AND OTHER MISCELLANEOUS ITEMS AS REQUIRED TO COMPLETE SHEET METAL FLASHING AND TRIM SYSTEM.
- TORCH CUTTING OF SHEET METAL FLASHING AND TRIM IS NOT PERMITTED. METAL PROTECTION: WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC ACTION BY PAINTING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS
- RECOMMENDED BY FABRICATOR MANUFACTURERS OF DISSIMILAR METALS. INSTALL EXPOSED SHEET METAL FLASHING AND TRIM WITHOUT EXCESSIVE OIL
- CANNING, BUCKLING, AND TOOL MARKS. INSTALL SHEET METAL FLASHING AND TRIM TRUE TO LINE AND LEVELS INDICATED. PROVIDE UNIFORM, NEAT SEAMS WITH MINIMUM EXPOSURE OF SOLDER, WELDS, AND ELASTOMERIC
- INSTALL SHEET METAL FLASHING AND TRIM TO FIT SUBSTRATES AND TO RESULT IN WATERTIGHT PERFORMANCE. VERIFY SHAPES AND DIMENSIONS OF SURFACES TO BE COVERED BEFORE FABRICATING SHEET METAL.
- 1.SPACE CLEATS NOT MORE THAN 12 INCHES APART. ANCHOR EACH CLEAT WITH TWO
- EXPANSION PROVISIONS: PROVIDE FOR THERMAL EXPANSION OF EXPOSED FLASHING AND TRIM. SPACE MOVEMENT JOINTS AT A MAXIMUM OF 10 FEET (3 M) WITH NO JOINTS ALLOWED WITHIN 24 INCHES (600 MM) OF CORNER OR INTERSECTION. WHERE LAPPED OR BAYONET-TYPE EXPANSION PROVISIONS CANNOT BE USED OR WOULD NOT BE SUFFICIENTLY
- WATERTIGHT, FORM EXPANSION JOINTS OF INTERMESHING HOOKED FLANGES, NOT LESS THAN 1 INCH (25 MM) DEEP, FILLED WITH ELASTOMERIC SEALANT CONCEALED WITHIN FASTENERS: USE FASTENERS OF SIZES THAT WILL PENETRATE SUBSTRATE NOT LESS THAN 1-1/4 INCHES (32 MM) FOR NAILS AND NOT LESS THAN 3/4 INCH (19 MM) FOR WOOD
- SCREWS. 1.GALVANIZED OR PREPAINTED, METALLIC-COATED STEEL: USE
- STAINLESS-STEEL FASTENERS.
- SEAL JOINTS WITH ELASTOMERIC SEALANT AS REQUIRED FOR WATERTIGHT CONSTRUCTION.
- SOLDERED JOINTS: CLEAN SURFACES TO BE SOLDERED, REMOVING OILS AND FOREIGN MATTER. PRE-TIN EDGES OF SHEETS TO BE SOLDERED TO A WIDTH OF 1-1/2 INCHES (38 MM). EXCEPT WHERE PRE-TINNED SURFACE WOULD SHOW IN FINISHED WORK. 1. DO NOT SOLDER PREPAINTED METALLIC-COATED STEEL SHEET.
- PRETINNING IS NOT REQUIRED FOR LEAD.
- 3.2 ROOF DRAINAGE SYSTEM INSTALLATION
- GENERAL: INSTALL SHEET METAL ROOF DRAINAGE ITEMS TO PRODUCE COMPLETE ROOF DRAINAGE SYSTEM ACCORDING TO SMACNA RECOMMENDATIONS AND AS INDICATED. COORDINATE INSTALLATION OF ROOF PERIMETER FLASHING WITH INSTALLATION OF ROOF
- PARAPET SCUPPERS: INSTALL SCUPPERS WHERE INDICATED THROUGH PARAPET. CONTINUOUSLY SUPPORT SCUPPER, SET TO CORRECT ELEVATION, AND SEAL FLANGES TO INTERIOR WALL FACE, OVER CANTS OR TAPERED EDGE STRIPS, AND UNDER ROOFING **MEMBRANE**
- 3.3 ROOF FLASHING INSTALLATION

ELASTOMERIC SEALANT.

- GENERAL: INSTALL SHEET METAL FLASHING AND TRIM TO COMPLY WITH PERFORMANCE REQUIREMENTS AND SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL." PROVIDE CONCEALED FASTENERS WHERE POSSIBLE, SET UNITS TRUE TO LINE, AND LEVEL AS INDICATED. INSTALL WORK WITH LAPS, JOINTS, AND SEAMS THAT WILL BE PERMANENTLY WATERTIGHT.
- ROOF EDGE FLASHING: ANCHOR TO RESIST UPLIFT AND OUTWARD FORCES ACCORDING TO RECOMMENDATIONS IN FMG LOSS PREVENTION DATA SHEET 1-49. 1.INTERLOCK BOTTOM EDGE OF ROOF EDGE FLASHING WITH CONTINUOUS CLEAT ANCHORED TO SUBSTRATE AT 24-INCH CENTERS.
- C. COPINGS: ANCHOR TO RESIST UPLIFT AND OUTWARD FORCES ACCORDING TO RECOMMENDATIONS IN FMG LOSS PREVENTION DATA SHEET 1-49.
- INTERLOCK EXTERIOR BOTTOM EDGE OF COPING WITH CONTINUOUS CLEAT ANCHORED TO SUBSTRATE AT 16-INCH (400-MM) CENTERS.
- 2. ANCHOR INTERIOR LEG OF COPING WITH SCREW FASTENERS AND WASHERS AT 18-INCH CENTERS.
- D. COUNTERFLASHING: COORDINATE INSTALLATIN OF COUNTERFLASHING WITH INSTALLATION OF BASE FLASHING. INSERT COUNTERFLASHING IN REGLETS OR RECEIVERS AND FIT TIGHTLY TO BASE FLASHING. SECURE IN A WATRPROOF MANNER. EXTEND CONTERFLASHING 4 INCHES OVER BASE FLASHING. LAP COUNTERFLASHING JOINTS A MINIMUM OF 4 INCHES AND BED WITH

- ROOF-PENETRATION FLASHING: COORDINATE INSTALLATION OF ROOF-PENETRATION FLASHING WITH INSTALLATION OF ROOFING AND OTHER ITEMS PENETRATING ROOF. **INSTALL FLASHING AS FOLLOWS:**
- 1.TURN LEAD FLASHING DOWN INSIDE VENT PIPING, BEING CAREFUL NOT TO BLOCK VENT PIPING WITH FLASHING.
- 2.SEAL WITH ELASTOMERIC SEALANT AND CLAMP FLASHING TO PIPES PENETRATING ROOF EXCEPT FOR LEAD FLASHING ON VENT PIPING.

SECTION 077200 - ROOF ACCESSORIES

PART 1 - GENERAL

- A. THIS SECTION INCLUDES THE FOLLOWING:
- ROOF HATCHES.
- 1.2 SUBMITTALS
- PRODUCT DATA: FOR EACH TYPE OF ROOF ACCESSORY INDICATED. SHOP DRAWINGS: SHOW FABRICATION AND INSTALLATION DETAILS FOR ROOF
- SAMPLES: FOR EACH TYPE OF EXPOSED FACTORY-APPLIED COLOR FINISH REQUIRED AND FOR
- EACH TYPE OF ROOF ACCESSORY INDICATED, PREPARED ON SAMPLES OF SIZE TO ADEQUATELY SHOW COLOR.
- 1.3 QUALITY ASSURANCE
- A. SHEET METAL STANDARD: COMPLY WITH SMACNA'S "ARCHITECTURAL SHEET METAL MANUAL" DETAILS FOR FABRICATION OF UNITS, INCLUDING FLANGES AND CAP FLASHING TO COORDINATE WITH TYPE OF ROOFING INDICATED.

PART 2 - PRODUCTS

- 2.1 MANUFACTURERS
- A. AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE, BUT ARE NOT LIMITED TO, MANUFACTURERS LISTED IN OTHER PART 2 ARTICLES.
- 2.2 METAL MATERIALS
- GALVANIZED STEEL SHEET: ASTM A 653/A 653M, G90 (Z275) COATED AND MILL PHOSPHATIZED FOR FIELD PAINTING.

2.3 ROOF HATCHES

- A. ROOF HATCHES: FABRICATE ROOF HATCHES WITH INSULATED DOUBLE-WALL LIDS AND INSULATED DOUBLE-WALL CURB FRAME WITH INTEGRAL DECK MOUNTING FLANGE AND LID FRAME COUNTERFLASHING. FABRICATE WITH WELDED OR MECHANICALLY FASTENED AND SEALED CORNER JOINTS. PROVIDE CONTINUOUS WEATHERTIGHT PERIMETER GASKETING AND EQUIP WITH CORROSION-RESISTANT OR HOT-DIP GALVANIZED HARDWARE.
 - a. BILCO COMPANY (THE) 2. CURB AND LID MATERIAL: STAINLESS-STEEL SHEET, 0.078 INCH (1.98 MM) THICK. a. FINISH: MILL.
 - 3. INSULATION: GLASS-FIBER OR POLYISOCYANURATE BOARD.
 - 4. INTERIOR LID LINER: MANUFACTURER'S STANDARD METAL LINER OF SAME MATERIAL AND FINISH AS OUTER METAL LID.
 - 5. EXTERIOR CURB LINER: MANUFACTURER'S STANDARD METAL LINER OF SAME MATERIAL AND FINISH AS METAL CURB.
- 6. FABRICATE UNITS TO MINIMUM HEIGHT OF 12 INCHES (300 MM), UNLESS OTHERWISE
- 7. SLOPING ROOFS: WHERE SLOPE OR ROOF DECK EXCEEDS 1:48, FABRICATE HATCH CURBS WITH HEIGHT CONSTANT.
- 8. HARDWARE: GALVANIZED STEEL OR STAINLESS-STEEL SPRING LATCH WITH TURN HANDLES, BUTT- OR PINTLE-TYPE HINGE SYSTEM, AND PADLOCK HASPS INSIDE AND
- 9. LADDER SAFETY POST: MANUFACTURER'S STANDARD LADDER SAFETY POST. POST TO LOCK IN PLACE ON FULL EXTENSION. PROVIDE RELEASE MECHANISM TO RETURN POST

PART 3 - EXECUTION 3.1 INSTALLATION

- GENERAL: INSTALL ROOF ACCESSORIES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. ANCHOR ROOF ACCESSORIES SECURELY IN PLACE AND CAPABLE OF RESISTING FORCES SPECIFIED. USE FASTENERS, SEPARATORS, SEALANTS, AND OTHER MISCELLANEOUS ITEMS AS REQUIRED FOR COMPLETING ROOF ACCESSORY INSTALLATION. INSTALL ROOF ACCESSORIES TO RESIST EXPOSURE TO WEATHER WITHOUT FAILING, RATTLING, LEAKING, AND FASTENER DISENGAGEMENT.
- INSTALL ROOF ACCESSORIES TO FIT SUBSTRATES AND TO RESULT IN WATERTIGHT
- METAL PROTECTION: WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC ACTION BY PAINTING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY MANUFACTURER.
 - COAT CONCEALED SIDE OF UNCOATED ALUMINUM OR STAINLESS-STEEL ROOF ACCESSORIES WITH BITUMINOUS COATING WHERE IN CONTACT WITH WOOD, FERROUS METAL, OR CEMENTITIOUS CONSTRUCTION.
- 2. UNDERLAYMENT: WHERE INSTALLING EXPOSED-TO-VIEW COMPONENTS OF ROOF ACCESSORIES DIRECTLY ON CEMENTITIOUS OR WOOD SUBSTRATES, INSTALL A COURSE OF FELT UNDERLAYMENT AND COVER WITH A SLIP SHEET, OR INSTALL A COURSE OF POLYETHYLENE UNDERLAYMENT.
- 3. BED FLANGES IN THICK COAT OF ASPHALT ROOFING CEMENT WHERE REQUIRED BY ROOF ACCESSORY MANUFACTURERS FOR WATERPROOF PERFORMANCE.
- INSTALL ROOF ACCESSORIES LEVEL, PLUMB, TRUE TO LINE AND ELEVATION, AND WITHOUT WARPING, JOGS IN ALIGNMENT, EXCESSIVE OIL CANNING, BUCKLING, OR TOOL MARKS.
- SEAL JOINTS WITH ELASTOMERIC OR BUTYL SEALANT AS REQUIRED BY MANUFACTURER OF ROOF ACCESSORIES.
- SECTION 079200 JOINT SEALANTS

PART 1 - GENERAL

1.1 SUMMARY

- A. THIS SECTION INCLUDES JOINT SEALANTS FOR THE FOLLOWING APPLICATIONS, INCLUDING THOSE SPECIFIED BY REFERENCE TO THIS SECTION: 1. EXTERIOR JOINTS IN VERTICAL SURFACES AND HORIZONTAL NONTRAFFIC SURFACES.
- EXTERIOR JOINTS IN HORIZONTAL TRAFFIC SURFACES. 3. INTERIOR JOINTS IN VERTICAL SURFACES AND HORIZONTAL NONTRAFFIC SURFACES. 4. INTERIOR JOINTS IN HORIZONTAL TRAFFIC SURFACES.
- SEE DIVISION 32 SECTION "CONCRETE PAVING JOINT SEALANTS" FOR SEALING JOINTS IN
- PAVEMENTS, WALKWAYS, AND CURBING. SEE DIVISION 08 SECTION "GLAZING" FOR GLAZING SEALANTS.
- 1.2 PERFORMANCE REQUIREMENTS
- PROVIDE ELASTOMERIC JOINT SEALANTS THAT ESTABLISH AND MAINTAIN WATERTIGHT AND AIRTIGHT CONTINUOUS JOINT SEALS WITHOUT STAINING OR DETERIORATING JOINT

- B. PROVIDE JOINT SEALANTS FOR INTERIOR APPLICATIONS THAT ESTABLISH AND MAINTAIN AIRTIGHT AND WATER-RESISTANT CONTINUOUS JOINT SEALS WITHOUT STAINING OR DETERIORATING JOINT SUBSTRATES.
- 1.3 SUBMITTALS
- PRODUCT DATA: FOR EACH JOINT-SEALANT PRODUCT INDICATED SAMPLES: FOR EACH TYPE AND COLOR OF JOINT SEALANT REQUIRED, PROVIDE SAMPLES WITH JOINT SEALANTS IN 1/2-INCH- (13-MM-) WIDE JOINTS FORMED BETWEEN TWO 6-INCH-(150-MM-) LONG STRIPS OF MATERIAL MATCHING THE APPEARANCE OF EXPOSED SURFACES ADJACENT TO JOINT SEALANTS.
- 1.4 QUALITY ASSURANCE
- PRECONSTRUCTION FIELD-ADHESION TESTING: BEFORE INSTALLING ELASTOMERIC SEALANTS, FIELD TEST THEIR ADHESION TO PROJECT JOINT SUBSTRATES ACCORDING TO THE METHOD IN ASTM C 1193 THAT IS APPROPRIATE FOR THE TYPES OF PROJECT JOINTS.
- SPECIAL INSTALLER'S WARRANTY: INSTALLER'S STANDARD FORM IN WHICH INSTALLER AGREES TO REPAIR OR REPLACE ELASTOMERIC JOINT SEALANTS THAT DO NOT COMPLY WITH PERFORMANCE AND OTHER REQUIREMENTS SPECIFIED IN THIS SECTION WITHIN SPECIFIED WARRANTY PERIOD.
- WARRANTY PERIOD: TWO YEARS FROM DATE OF SUBSTANTIAL COMPLETION. B. SPECIAL MANUFACTURER'S WARRANTY: MANUFACTURER'S STANDARD FORM IN WHICH ELASTOMERIC SEALANT MANUFACTURER AGREES TO FURNISH ELASTOMERIC JOINT SEALANTS TO REPAIR OR REPLACE THOSE THAT DO NOT COMPLY WITH PERFORMANCE AND OTHER REQUIREMENTS SPECIFIED IN THIS SECTION WITHIN SPECIFIED WARRANTY PERIOD. WARRANTY PERIOD: 20 YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

PART 2 - PRODUCTS

- 2.1 MANUFACTURERS
- A. IN OTHER PART 2 ARTICLES WHERE SUIBPARAGRAPH TITLES BELOW INTRODUCE LISTS, THE
- FOLLOWING REQUIREMENTS APPLY FOR PRODUCT SELECTION: MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS BY ONE OF THE MANUFACTURERS SPECIFIED.
- 1. PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE THE PRODUCT OR AN EQUIVALENT PRODUCT BY ONE OF THE MANUFACTURERS SPECIFIED FOR THAT TYPE OF SEALANT.
- C. MANUFACTURERS GENERAL 1. SILICONE SEALANT: TREMCO. 2. POLYURETHANE SEALANT: TREMCO.
- 3. BUTYL RUBBER SEALANT: TREMCO. 4. AND AS SPECIFIED HEREIN.

2.2 MATERIALS, GENERAL

- COMPATIBILITY: PROVIDE JOINT SEALANTS, BACKINGS, AND OTHER RELATED MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH JOINT SUBSTRATES UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY SEALANT
- MANUFACTURER, BASED ON TESTING AND FIELD EXPERIENCE. COLORS OF EXPOSED JOINT SEALANTS: AS INDICATED ON DRAWINGS. IF NOT INDICATED, AS SELECTED BY OWNER'S REPRESENTTIVE FROM MANUFACTURERS FULL RANGE OF COLORS.
- 2.3 ELASTOMERIC JOINT SEALANTS
- A. ELASTOMERIC SEALANTS, GENERAL: ASTM C 920.
- 1. CONTINUOUS-IMMERSION SEALANTS: FOR IMMERSION IN WATER, PRODUCTS TESTED ACCORDING TO ASTM C 1247, INCLUDING INITIAL SIX-WEEK IMMERSION PERIOD AND TWO ADDITIONAL IMMERSION FOUR WEEK IMMERSION PERIOD(S), WITHOUT FAILING IN ADHESION OR COHESION WHEN TESTED WITH SUBSTRATES INDICATED.
- 2. SEALANTS FOR CONTACT WITH FOOD: COMPLY WITH 21 CFR 177.2600 LOW-MODULUS NONACID-CURING SILICONE SEALANT: DOW CORNING CORP., 790 SILICONE BUILDING SEALANT.
- TYPE AND GRADE: S (SINGLE COMPONENT) AND NS (NONSAG). 2. CLASS: 25.
- 3. ADDITIONAL MOVEMENT CAPABILITY: CAPABLE OF 100 PERCENT MOVEMENT IN EXTENSION AND 50 PERCENT MOVEMENT IN COMPRESSION WHEN TESTED FOR ADHESION AND COHESION UNDER MAXIMUM CYCLIC MOVEMENT PER ASTM C 719. 4. EXPOSURE: USE NT (NONTRAFFIC).
- 5. SUBSTRATES: USES M, G, A, AND, AS APPLICABLE TO JOINT SUBSTRATES INDICATED, O. 6. NONSTAINING TO POROUS SUBSTRATES WHEN TESTING PER ASTM C 1248 FOR SUBSTRATES INDICATED.
- MEDIUM-MODULUS NEUTRAL-CURING SILICONE SEALANT: DOW CORNING CORP., 795 SILICONE BUILDING SEALANT. TYPE AND GRADE: S (SINGLE COMPONENT) AND NS (NONSAG).
- CLASS: 25.
- EXPOSURE: USE NT (NONTRAFFIC).

MOVEMENT PER ASTM C 719.

EXPOSURE: USE T (TRAFFIC).

CLASS: 25.

- SUBSTRATES: USES M, G & A. NONSTAINING TO POROUS SUBSTRATES WHEN TESTING PER ASTM C 1248 FOR SUBSTRATES INDICATED.
- MILDEW-RESISTANT SILICONE SEALANT: DOW CORNING CORP., 786 MILDEW-RESISTANT TYPE AND GRADE: S (SINGLE COMPONENT) AND NS (NONSAG).
- EXPOSURE: USE NT (NONTRAFFIC).
- SUBSTRATES: USES G, A AND, AS APPLICABLE TO JOINT SUBSTRATES INDICATED, O. POURABLE SILICONE SEALANT: DOW CORNING CORP., 890-SL SELF-LEVELING SILICONE JOINT
- 1. TYPE AND GRADE: S (SINGLE COMPONENT) AND P (POURABLE
- 2. CLASS: 25. ADDITIONAL MOVEMENT CAPABILITY: 100 PERCENT MOVEMENT IN EXTENSION AND 50 PERCENT IN COMPRESSION WHEN TESTED FOR ADHESION AND COHESION UNDER MAXIMUM CYCLE
- SUBSTRATES: M AND, AS APPLICABLE TO JOINT SUBSTRATES INDICATED, O. MULTICOMPONENT NONSAG URETHANE SEALANT: SONNEBORN BUILDING PRODUCTS DIVISION, CHEMREX, INC., SONOLASTIC NP 2.
- TYPE AND GRADE: M (MULTICOMPONENT) AND NS (NONSAG). CLASS: 25.
- ADDITIONAL MOVEMENT CAPABILITY: 50 PERCENT MOVEMENT IN EXTENSION AND 50 PERCENT IN COMPRESSION WHEN TESTED FOR ADHESION AND COHESION UNDER MAXIMUM CYCLIC MOVEMENT PER ASTM C
- EXPOSURE: USE NT (NONTRAFFIC) AND T (TRAFFIC). SUBSTRATES: M, G, A, AND, AS APPLICABLE TO JOINT SUBSTRATES INDICATED, O. MULTICOMPONENT POURABLE URETHANE SEALANT: SONNEBORN BUILDING PRODUCTS
- DIVISION, CHEMREX, INC. SONOLASTIC SL 2. TYPE AND GRADE: M (MULTICOMPONENT) AND P (POURABLE).
- CLASS: 25. EXPOSURE: T (TRAFFIC).
- SUBSTRATE: USE M. SINGLE-COMPONENT NONSAG URETHANE SEALANT: SONNEBORN BUILDING PRODUCTS DIVISION, CHEMREX, INC., SONOLASTIC NP 1.
- TYPE AND GRADE: S (SINGLE COMPONENT) AND NS CLASS: 25.
- EXPOSURE: NT (NONTRAFFIC). SUBSTRATES: M, G, A, AND, AS APPLICABLE TO JOINT SUBSTRATES INDICATED, O.

- SINGLE-COMPONENT POURABLE URETHANE SEALANT: SONNEBORN BUILDING PRODUCTS DIVISION, CHEMREX, INC., SONOLASTIC SL 1
 - 1. TYPE AND GRADE: S (SINGLE COMPONENT) AND P (POURABLE). CLASS: 25.
 - EXPOSURE: T (TRAFFIC)
- 4. SUBSTRATE: M.

2.4 SOLVENT-RELEASE JOINT SEALANTS

- A. BUTYL-RUBBER-BASED SOLVENT-RELEASE JOINT SEALANT: ASTM C 1085, PECORA CORPORATION; BC-158 BUTYL RUBBER SEALANT
- TYPE AND GRADE: S (SINGLE COMPONENT) AND NS (NONSAG). CLASS: 25.
- 3. EXPOSURE: NT (NONTRAFFIC).
- 2.5 JOINT-SEALANT BACKING
- GENERAL: PROVIDE SEALANT BACKINGS OF MATERIAL AND TYPE THAT ARE NONSTAINING ARE COMPATIBLE WITH JOINT SUBSTRATES, SEALANTS, PRIMERS, AND OTHER JOINT FILLERS; AND ARE APPROVED FOR APPLICATIONS INDICATED BY SEALANT MANUFACTURER BASED ON FIELD EXPERIENCE AND LABORATORY TESTING.
- B. CYLINDRICAL SEALANT BACKINGS: ASTM C 1330, OF SIZE AND DENSITY TO CONTROL SEALANT DEPTH AND OTHERWISE CONTRIBUTE TO PRODUCING OPTIMUM SEALANT
- 1. TYPE: C (CLOSED-CELL MATERIAL WITH A SURFACE SKIN). C. ELASTOMERIC TUBING SEALANT BACKINGS: NEOPRENE, BUTYL, EPDM, OR SILICONE TUBING COMPLYING WITH ASTM D 1056, NONABSORBENT TO WATER AND GAS, AND CAPABLE OF REMAINING RESILIENT AT TEMPERATURES DOWN TO MINUS 26 DEG F. PROVIDE PRODUCTS WITH LOW COMPRESSION SET AND OF SIZE AND SHAPE TO PROVIDE A SECONDARY SEAL, TO

CONTROL SEALANT DEPTH, AND TO OTHERWISE CONTRIBUTE TO OPTIMUM SEALANT

- BOND-BREAKER TAPE: POLYETHYLENE TAPE OR OTHER PLASTIC TAPE RECOMMENDED BY SEALANT MANUFACTURER FOR PREVENTING SEALANT FROM ADHERING TO RIGID, INFLEXIBLE JOINT-FILLER MATERIALS OR JOINT SURFACES AT BACK OF JOINT WHERE SUCH ADHESION WOULD RESULT IN SEALANT FAILURE. PROVIDE SELF-ADHESIVE TAPE WHERE APPLICABLE.
- 2.6 MISCELLANEOUS MATERIALS
- PRIMER: MATERIAL RECOMMENDED BY JOINT-SEALANT MANUFACTURER WHERE REQUIRED FOR ADHESION OF SEALANT TO JOINT SUBSTRATES INDICATED, AS DETERMINED FROM PRECONSTRUCTION JOINT-SEALANT-SUBSTRATE TESTS AND FIELD TESTS.
 - CLEANERS FOR NONPOROUS SURFACES: CHEMICAL CLEANERS ACCEPTABLE TO MANUFACTURERS OF SEALANTS AND SEALANT BACKING MATERIALS, FREE OF OILY RESIDUES OR OTHER SUBSTANCES CAPABLE OF STAINING OR HARMING JOINT SUBSTRATES AND ADJACENT NONPOROUS SURFACES IN ANY WAY, AND FORMULATED TO PROMOTE OPTIMUM
- ADHESION OF SEALANTS TO JOINT SUBSTRATES. MASKING TAPE: NONSTAINING, NONABSORBENT MATERIAL COMPATIBLE WITH JOINT SEALANTS AND SURFACES ADJACENT TO JOINTS.

PART 3 - EXECUTION

- A. SURFACE CLEANING OF JOINTS: CLEAN OUT JOINTS IMMEDIATELY BEFORE INSTALLING JOINT
- 1. REMOVE ALL FOREIGN MATERIAL FROM JOINT SUBSTRATES THAT COULD INTERFERE
- WITH ADHESION OF JOINT SEALANT. 2. CLEAN POROUS JOINT SUBSTRATE SURFACES BY BRUSHING, GRINDING, BLAST CLEANING, MECHANICAL ABRADING, OR A COMBINATION OF THESE METHODS TO PRODUCE A CLEAN, SOUND SUBSTRATE CAPABLE OF DEVELOPING OPTIMUM BOND WITH JOINT SEALANTS. REMOVE
- LOOSE PARTICLES REMAINING AFTER CLEANING OPERATIONS ABOVE BY VACUUMING OR BLOWING OUT JOINTS WITH OIL-FREE COMPRESSED AIR. REMOVE LAITANCE AND FORM-RELEASE AGENTS FROM CONCRETE

4. CLEAN NONPOROUS SURFACES WITH CHEMICAL CLEANERS OR OTHER MEANS THAT DO

- NOT STAIN, HARM SUBSTRATES, OR LEAVE RESIDUES CAPABLE OF INTERFERING WITH ADHESION OF JOINT SEALANTS. JOINT PRIMING: PRIME JOINT SUBSTRATES, WHERE RECOMMENDED IN WRITING BY JOINT-SEALANT MANUFACTURER, BASED ON PRECONSTRUCTION JOINT-SEALANT-SUBSTRATE TESTS OR PRIOR EXPERIENCE. APPLY PRIMER TO COMPLY WITH JOINT-SEALANT
- MANUFACTURER'S WRITTEN INSTRUCTIONS. CONFINE PRIMERS TO AREAS OF JOINT-SEALANT BOND; DO NOT ALLOW SPILLAGE OR MIGRATION ONTO ADJOINING MASKING TAPE: USE MASKING TAPE WHERE REQUIRED TO PREVENT CONTACT OF SEALANT WITH ADJOINING SURFACES THAT OTHERWISE WOULD BE PERMANENTLY STAINED OR
- DAMAGED BY SUCH CONTACT OR BY CLEANING METHODS REQUIRED TO REMOVE SEALANT SMEARS. REMOVE TAPE IMMEDIATELY AFTER TOOLING WITHOUT DISTURBING JOINT SEAL. D. SEALANT INSTALLATION: COMPLY WITH RECOMMENDATIONS IN ASTM C 1193 FOR USE OF JOINT SEALANTS AS APPLICABLE TO MATERIALS, APPLICATIONS, AND CONDITIONS
- ACOUSTICAL SEALANT APPLICATION STANDARD: COMPLY WITH RECOMMENDATIONS IN ASTM C 919 FOR USE OF JOINT SEALANTS IN ACOUSTICAL APPLICATIONS AS APPLICABLE TO MATERIALS, APPLICATIONS, AND CONDITIONS INDICATED. INSTALL SEALANT BACKINGS OF TYPE INDICATED TO SUPPORT SEALANTS DURING
- APPLICATION AND AT POSITION REQUIRED TO PRODUCE CROSS-SECTIONAL SHAPES AND DEPTHS OF INSTALLED SEALANTS RELATIVE TO JOINT WIDTHS THAT ALLOW OPTIMUM SEALANT MOVEMENT CAPABILITY.
- DO NOT STRETCH, TWIST, PUNCTURE, OR TEAR SEALANT BACKINGS. 3. REMOVE ABSORBENT SEALANT BACKINGS THAT HAVE BECOME WET BEFORE SEALANT APPLICATION AND REPLACE THEM WITH DRY MATERIALS. INSTALL BOND-BREAKER TAPE BEHIND SEALANTS WHERE SEALANT BACKINGS ARE NOT USED

DO NOT LEAVE GAPS BETWEEN ENDS OF SEALANT BACKINGS.

- BETWEEN SEALANTS AND BACKS OF JOINTS. PLACE SEALANTS SO THEY DIRECTLY CONTACT AND FULLY WET JOINT SUBSTRATES. COMPLETELY FILL RECESSES IN EACH JOINT CONFIGURATION.
- PRODUCE UNIFORM, CROSS-SECTIONAL SHAPES AND DEPTHS RELATIVE TO JOINT WIDTHS THAT ALLOW OPTIMUM SEALANT MOVEMENT CAPABILITY. TOOLING OF NONSAG SEALANTS: IMMEDIATELY AFTER SEALANT APPLICATION AND BEFORE SKINNING OR CURING BEGINS, TOOL SEALANTS ACCORDING TO REQUIREMENTS SPECIFIED BELOW TO FORM SMOOTH, UNIFORM BEADS OF CONFIGURATION INDICATED; TO ELIMINATE
- AIR POCKETS; AND TO ENSURE CONTACT AND ADHESION OF SEALANT WITH SIDES OF JOINT. REMOVE EXCESS SEALANT FROM SURFACES ADJACENT TO JOINTS. USE TOOLING AGENTS THAT ARE APPROVED IN WRITING BY SEALANT MANUFACTURER
- AND THAT DO NOT DISCOLOR SEALANTS OR ADJACENT SURFACES. 3. JOINT CONFIGURATION: CONCAVE JOINT CONFIGURATION PER FIGURE 5A IN ASTM C 1193, UNLESS OTHERWISE INDICATED. INSTALLATION OF PREFORMED SILICONE-SEALANT SYSTEM.

1. APPLY MASKING TAPE TO EACH SIDE OF JOINT, OUTSIDE OF AREA TO BE COVERED BY

- SEALANT SYSTEM. COMPLETE INSTALLATION OF HORIZONTAL JOINTS BEFORE INSTALLING VERTICAL JOINTS. LAP VERTICAL JOINTS OVER HORIZONTAL JOINTS. AT END OF JOINTS, CUT SILICONE EXTRUSION WITH A RAZOR KNIFE
- CLEAN EXCESS SEALANT OR SEALANT SMEARS ADJACENT TO JOINTS AS THE WORK PROGRESSES BY METHODS AND WITH CLEANING MATERIALS APPROVED IN WRITING BY MANUFACTURERS OF JOINT SEALANTS AND OF PRODUCTS IN WHICH JOINTS OCCUR.
- 3.2 JOINT-SEALANT SCHEDULE

(NONSAG).

- A. EXTERIOR JOINTS:
- GENERAL USE: URETHANE, MULTI COMPONENT, NONSAG. WOOD/WOOD, WOOD/BRICK: URETHANE, MULTI COMPONENT,
- METAL/METAL, METAL/WOOD: URETHANE, MULTI COMPONENT, NONSAG. BRICK/BRICK: URETHANE, MULTI COMPONENT, NONSAG.
- UNDER METAL DOOR THRESHOLDS: BUTYL RUBBER, SNGL COMPONENT, HORIZONTAL WEARING SURFACES: SEE DIVISION 2 SECTION "PAVEMENT JOINT

GLAZING: SILICONE, SINGLE COMPONENT, NONSAG.

4. HORIZONTAL WEARING SURFACES: URETHANE, SINGLE

- INTERIOR JOINTS: GENERAL USE:URETHANE, SINGLE COMPONENT, NONSAG. PLUMBING FIXTURES, COUNTERTOPS, WET AREAS: SILICONE, SINGLE COMPONENT, NONSAG, MILDEW
- RESISTANT. CERAMIC TILE: SILICONE, SINGLE COMPONENT, NONSAG, MILDEW RESISTANT.
- POURABLE OR NONSAG 5. UNDER DOOR THRESHOLDS: BUTYL RUBBER, SINGLE COMPONENT, NONSAG.
- SECTION 081113 HOLLOW METAL DOORS AND FRAMES

PART 1 - GENERAL

- A. SECTION INCLUDES: STANDARD HOLLOW METAL DOORS AND FRAMES.

 A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. B. SCHEDULE: PREPARED BY OR UNDER THE SUPERVISION OF SUPPLIER, USING SAME

2.1 MANUFACTURERS

ONE OF THE FOLLOWING

A. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY

REFERENCE NUMBERS FOR DETAILS AND OPENINGS AS THOSE ON DRAWINGS.

- AMWELD BUILDING PRODUCTS, LLC. CECO DOOR PRODUCTS; AN ASSA ABLOY GROUP COMPANY.
- CURRIES COMPANY; AN ASSA ABLOY GROUP COMPANY. STEELCRAFT; AN INGERSOLL-RAND COMPANY.
- 2.2 MATERIALS
- B. METALLIC-COATED STEEL SHEET: ASTM A 653/A 653M, COMMERCIAL STEEL (CS), TYPE 5; WITH MINIMUM A40 (ZF120) METALLIC COATING. C. FRAME ANCHORS: ASTM A 591/A 591M, COMMERCIAL STEEL (CS), 40Z (12G) COATING
- DESIGNATION; MILL PHOSPHATIZED. 1. FOR ANCHORS BUILT INTO EXTERIOR WALLS, STEEL SHEET COMPLYING WITH ASTM. 1008/A 1008M OR ASTM A 1011/A 1011M, HOT-DIP GALVANIZED ACCORDING TO ASTM

A. COLD-ROLLED STEEL SHEET: ASTM A 1008/A 1008M, CS, TYPE B; SUITABLE FOR EXPOSE

- D. INSERTS, BOLTS, AND FASTENERS: HOT-DIP GALVANIZED ACCORDING TO ASTM A 153// E. GROUT: ASTM C 476, EXCEPT WITH A MAXIMUM SLUMP OF 4 INCHES (102 MM), AS
- MINERAL-FIBER INSULATION: ASTM C 665, TYPE I. G. GLAZING: DIVISION 08 SECTION "GLAZING."

A 153/A 153M, CLASS B.

2.3 STANDARD HOLLOW METAL DOORS A. GENERAL: COMPLY WITH ANSI/SDI A250.8.

MEASURED ACCORDING TO ASTM C 143/C 143M.

- DESIGN: FLUSH PANEL. CORE CONSTRUCTION: MANUFACTURER'S STANDARD POLYSTYRENE OR POLYURETHANE.
- TESTED ACCORDING TO ASTM C 1363. VERTICAL EDGES FOR SINGLE-ACTING DOORS: SQUARE EDGE. TOP AND BOTTOM EDGES: CLOSED WITH FLUSH OR INVERTED 0.042-INCH- (1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1.0-1 1
- 5. TOLERANCES: SDI 117, "MANUFACTURING TOLERANCES FOR STANDARD STEEL D DO IS B. EXTERIOR DOORS: FACE SHEETS FABRICATED FROM METALLIC-COATED STEEL SHEET.

THICK, END CLOSURES OR CHANNELS OF SAME MATERIAL AS FACE SHEETS.

a. THERMAL-RATED (INSULATED) DOORS: R-VALUE OF NOT LESS THAN 19 WHEN

- COMPLY WITH ANSI/SDI A250.8 FOR LEVEL AND MODEL AND ANSI/SDI A250.4 FOR PHYSICAL LEVEL 1 AND PHYSICAL PERFORMANCE LEVEL C (STANDARD DUTY). a. WIDTH: 1-3/4 INCHES (44.5 MM) OR AS INDICATED ON DRAWINGS.
- 2. LEVEL 3 AND PHYSICAL PERFORMANCE LEVEL A (EXTRA HEAVY DUTY), MODEL 1 (LUL) C. HARDWARE REINFORCEMENT: ANSI/SDI A250.6.
- 2.4 STANDARD HOLLOW METAL FRAMES
- A. GENERAL: COMPLY WITH ANSI/SDI A250.8. B. EXTERIOR FRAMES: FABRICATED FROM METALLIC-COATED STEEL SHEET. FABRICATE FRAMES WITH MITERED OR COPED CORNERS.
- FABRICATE FRAMES AS KNOCKED DOWN UNLESS OTHERWISE INDICATED. FABRICATE FRAMES WITH MITERED OR COPED CORNERS. FRAMES FOR WOOD DOORS: 0.067-INCH- (1.7-MM-) THICK STEEL SHEET. C. HARDWARE REINFORCEMENT: ANSI/SDI A250.6.
- A. JAMB ANCHORS: MASONRY TYPE: ADJUSTABLE STRAP-AND-STIRRUP OR T-SHAPED ANCHORS TO S'. FRAME SIZE, NOT LESS THAN 0.042 INCH (1.0 MM) THICK, WITH CORRUGATED OR PERFORATED STRAPS NOT LESS THAN 2 INCHES (50 MM) WIDE BY 10 INCHES (250 MM)
- LONG; OR WIRE ANCHORS NOT LESS THAN 0.177 INCH (4.5 MM) THICK. 2. STUD-WALL TYPE: DESIGNED TO ENGAGE STUD, WELDED TO BACK OF FRAMES; NOT LESS THAN 0.042 INCH (1.0 MM) THICK. 3. COMPRESSION TYPE FOR DRYWALL SLIP-ON FRAMES: ADJUSTABLE COMPRESSIO |
- ANCHORS. B. FLOOR ANCHORS: FORMED FROM SAME MATERIAL AS FRAMES, NOT LESS THAN 0.042 NCH (1.0 MM) THICK, AND AS FOLLOWS:

1. MONOLITHIC CONCRETE SLABS: CLIP-TYPE ANCHORS, WITH TWO HOLES TO RECEIVE

EXTERIOR DOORS: PROVIDE WEEP-HOLE OPENINGS IN BOTTOM OF EXTERIOR DC ORS.

1. WELDED FRAMES: WELD FLUSH FACE JOINTS CONTINUOUSLY; GRIND, FILL, DRESS,

FASTENERS

FRAMES TO BE GROUTED.

2.5 FRAME ANCHORS

- 2.6 FABRICATION A. TOLERANCES: FABRICATE HOLLOW METAL WORK TO TOLERANCES INDICATED IN SDI 11 /. B. HOLLOW METAL DOORS
- SEAL JOINTS IN TOP EDGES OF DOORS AGAINST WATER PENETRATION. HOLLOW METAL FRAMES: WHERE FRAMES ARE FABRICATED IN SECTIONS, PROVIDE ALIGNMENT PLATES OR ANGLES AT EACH JOINT, FABRICATED OF SAME THICKNESS MET AL / 5
- AND MAKE SMOOTH, FLUSH, AND INVISIBLE. PROVIDE COUNTERSUNK, FLAT- OR OVAL-HEAD EXPOSED SCREWS AND BOLTS FOR EXPOSED FASTENERS UNLESS OTHERWISE INDICATED. 3. GROUT GUARDS: WELD GUARDS TO FRAME AT BACK OF HARDWARE MORTISES IN
- 4. FLOOR ANCHORS: WELD ANCHORS TO BOTTOM OF JAMBS AND MULLIONS WITH AT LEAST FOUR SPOT WELDS PER ANCHOR. 5. JAMB ANCHORS: PROVIDE NUMBER AND SPACING OF ANCHORS AS FOLLOWS:

a. MASONRY TYPE: LOCATE ANCHORS NOT MORE THAN 18 INCHES (457 MM) FROM

TOP AND BOTTOM OF FRAME. SPACE ANCHORS NOT MORE THAN 32 INCHES (913)

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COMPONENT,

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URAI HOPPI IS RESTA PLAZA SHILLINOIS

> \mathbf{m} PROJECT NUMBER: 2005

INAL REVIEW OCT 29, 2020

SPECIFICATIONS SHEET

- 1) THREE ANCHORS PER JAMB FROM 60 TO 90 INCHES (1524 TO 2286 MM) HIGH STUD-WALL TYPE: LOCATE ANCHORS NOT MORE THAN 18 INCHES (457 MM) FROM TOP AND BOTTOM OF FRAME. SPACE ANCHORS NOT MORE THAN 32
- INCHES (813 MM) O.C. AND AS FOLLOWS: 1) FOUR ANCHORS PER JAMB FROM 60 TO 90 INCHES (1524 TO 2286 MM) HIGH. COMPRESSION TYPE: NOT LESS THAN TWO ANCHORS IN EACH JAMB.
- POSTINSTALLED EXPANSION TYPE: LOCATE ANCHORS NOT MORE THAN 6 INCHES (152 MM) FROM TOP AND BOTTOM OF FRAME. SPACE ANCHORS NOT MORE THAN 26 INCHES (660 MM) O.C.
- 6. DOOR SILENCERS: EXCEPT ON WEATHER-STRIPPED DOORS, DRILL STOPS TO RECEIVE
- a. SINGLE-DOOR FRAMES: THREE DOOR SILENCERS. HARDWARE PREPARATION: FACTORY PREPARE HOLLOW METAL WORK TO RECEIVE TEMPLATED MORTISED HARDWARE ACCORDING TO THE DOOR HARDWARE SCHEDULE AND TEMPLATES FURNISHED AS SPECIFIED IN DIVISION 08 SECTION "DOOR HARDWARE."
- 1. LOCATE HARDWARE AS INDICATED, OR IF NOT INDICATED, ACCORDING TO ANSI/SDI
- 2. REINFORCE DOORS AND FRAMES TO RECEIVE NONTEMPLATED, MORTISED AND SURFACE-MOUNTED DOOR HARDWARE.
- 3. COMPLY WITH APPLICABLE REQUIREMENTS IN ANSI/SDI A250.6 AND ANSI/DHI A115 SERIES SPECIFICATIONS FOR PREPARATION OF HOLLOW METAL WORK FOR HARDWARE. 4. COORDINATE LOCATIONS OF CONDUIT AND WIRING BOXES FOR ELECTRICAL
- CONNECTIONS WITH DIVISION 26 ELECTRICAL SECTIONS.

2.7 STEEL FINISHES

- PRIME FINISH: APPLY MANUFACTURER'S STANDARD PRIMER IMMEDIATELY AFTER CLEANING AND PRETREATING.
- 1. SHOP PRIMER: ANSI/SDI A250.10.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. HOLLOW METAL FRAMES: COMPLY WITH ANSI/SDI A250.11
- 1. SET FRAMES ACCURATELY IN POSITION, PLUMBED, ALIGNED, AND BRACED SECURELY UNTIL PERMANENT ANCHORS ARE SET. AFTER WALL CONSTRUCTION IS COMPLETE. REMOVE TEMPORARY BRACES, LEAVING SURFACES SMOOTH AND UNDAMAGED. a. INSTALL DOOR SILENCERS IN FRAMES BEFORE GROUTING.
- b. REMOVE TEMPORARY BRACES NECESSARY FOR INSTALLATION ONLY AFTER FRAMES HAVE BEEN PROPERLY SET AND SECURED.
- c. CHECK PLUMBNESS, SQUARENESS, AND TWIST OF FRAMES AS WALLS ARE CONSTRUCTED. SHIM AS NECESSARY TO COMPLY WITH INSTALLATION TOLERANCES
- 2. FLOOR ANCHORS: PROVIDE FLOOR ANCHORS FOR EACH JAMB AND MULLION THAT EXTENDS TO FLOOR, AND SECURE WITH POSTINSTALLED EXPANSION ANCHORS. a. FLOOR ANCHORS MAY BE SET WITH POWDER-ACTUATED FASTENERS INSTEAD OF POSTINSTALLED EXPANSION ANCHORS IF SO INDICATED AND APPROVED ON SHOP
- DRAWINGS. 3. METAL-STUD PARTITIONS: SOLIDLY PACK MINERAL-FIBER INSULATION BEHIND
- 4. MASONRY WALLS: COORDINATE INSTALLATION OF FRAMES TO ALLOW FOR SOLIDLY FILLING SPACE BETWEEN FRAMES AND MASONRY WITH GROUT.
- 5. IN-PLACE CONCRETE OR MASONRY CONSTRUCTION: SECURE FRAMES IN PLACE WITH POSTINSTALLED EXPANSION ANCHORS. COUNTERSINK ANCHORS, AND FILL AND MAKE SMOOTH, FLUSH, AND INVISIBLE ON EXPOSED FACES.
- 6. IN-PLACE GYPSUM BOARD PARTITIONS: SECURE FRAMES IN PLACE WITH POSTINSTALLED EXPANSION ANCHORS THROUGH FLOOR ANCHORS AT EACH JAMB. COUNTERSINK ANCHORS, AND FILL AND MAKE SMOOTH, FLUSH, AND INVISIBLE ON EXPOSED FACES.
- 7. INSTALLATION TOLERANCES: ADJUST HOLLOW METAL DOOR FRAMES FOR SQUARENESS, ALIGNMENT, TWIST, AND PLUMB TO THE FOLLOWING TOLERANCES:
- a. SQUARENESS: PLUS OR MINUS 1/16 INCH (1.6 MM), MEASURED AT DOOR RABBET ON A LINE 90 DEGREES FROM JAMB PERPENDICULAR TO FRAME HEAD.
- b. ALIGNMENT: PLUS OR MINUS 1/16 INCH (1.6 MM), MEASURED AT JAMBS ON A HORIZONTAL LINE PARALLEL TO PLANE OF WALL.
- TWIST: PLUS OR MINUS 1/16 INCH (1.6 MM), MEASURED AT OPPOSITE FACE CORNERS OF JAMBS ON PARALLEL LINES, AND PERPENDICULAR TO PLANE OF
- d. PLUMBNESS: PLUS OR MINUS 1/16 INCH (1.6 MM), MEASURED AT JAMBS AT
- HOLLOW METAL DOORS: FIT HOLLOW METAL DOORS ACCURATELY IN FRAMES, WITHIN
- CLEARANCES SPECIFIED BELOW. SHIM AS NECESSARY. 1. NON-FIRE-RATED STANDARD STEEL DOORS:
 - a. JAMBS AND HEAD: 1/8 INCH (3 MM) PLUS OR MINUS 1/16 INCH (1.6 MM). b. BETWEEN EDGES OF PAIRS OF DOORS: 1/8 INCH (3 MM) PLUS OR MINUS 1/16 INCH (1.6 MM).
 - c. BETWEEN BOTTOM OF DOOR AND TOP OF THRESHOLD: MAXIMUM 3/8 INCH (9.5
 - d. BETWEEN BOTTOM OF DOOR AND TOP OF FINISH FLOOR (NO THRESHOLD):
- MAXIMUM 3/4 INCH (19 MM).

3.2 ADJUSTING AND CLEANING

- FINAL ADJUSTMENTS: CHECK AND READJUST OPERATING HARDWARE ITEMS IMMEDIATELY BEFORE FINAL INSPECTION. LEAVE WORK IN COMPLETE AND PROPER OPERATING CONDITION. REMOVE AND REPLACE DEFECTIVE WORK. INCLUDING HOLLOW METAL WORK THAT IS WARPED. BOWED. OR OTHERWISE UNACCEPTABLE.
- PRIME-COAT TOUCHUP: IMMEDIATELY AFTER ERECTION, SAND SMOOTH RUSTED OR DAMAGED AREAS OF PRIME COAT AND APPLY TOUCHUP OF COMPATIBLE AIR-DRYING, RUST-INHIBITIVE PRIMER.
- METALLIC-COATED SURFACES: CLEAN ABRADED AREAS AND REPAIR WITH GALVANIZING

SECTION 081416 - FLUSH WOOD DOORS

PART 1 - GENERAL

SECTION INCLUDES:

1.1 SUMMARY

- 1. SOLID-CORE DOORS WITH MEDIUM-DENSITY-OVERLAY AND PLASTIC-LAMINATE FACES. RELATED SECTIONS:
- 1. DIVISION 08 SECTION "GLAZING" FOR GLASS VIEW PANELS IN FLUSH WOOD DOORS.

1.2 SUBMITTALS

- PRODUCT DATA: FOR EACH TYPE OF DOOR INDICATED.
- SHOP DRAWINGS: INDICATE LOCATION, SIZE, AND HAND OF EACH DOOR; ELEVATION OF EACH KIND OF DOOR; CONSTRUCTION DETAILS NOT COVERED IN PRODUCT DATA; LOCATION AND EXTENT OF HARDWARE BLOCKING; AND OTHER PERTINENT DATA.
- INDICATE DIMENSIONS AND LOCATIONS OF MORTISES AND HOLES FOR HARDWARE. C. SAMPLES: FOR PLASTIC-LAMINATE DOOR FACES.

1.3 QUALITY ASSURANCE

- MANUFACTURER QUALIFICATIONS: A QUALIFIED MANUFACTURER THAT IS CERTIFIED FOR CHAIN OF CUSTODY BY AN FSC-ACCREDITED CERTIFICATION BODY.
- QUALITY STANDARD: IN ADDITION TO REQUIREMENTS SPECIFIED, COMPLY WITH AWI'S "ARCHITECTURAL WOODWORK QUALITY STANDARDS ILLUSTRATED.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
- EGGERS INDUSTRIES.
- MARSHFIELD DOOR SYSTEMS, INC.
- MOHAWK FLUSH DOORS, INC.; A MASONITE COMPANY.
- 2.2 DOOR CONSTRUCTION, GENERAL
- LOW-EMITTING MATERIALS: PROVIDE DOORS MADE WITH ADHESIVES AND COMPOSITE WOOD PRODUCTS THAT DO NOT CONTAIN UREA FORMALDEHYDE.
- WDMA I.S.1-A PERFORMANCE GRADE: . HEAVY DUTY UNLESS OTHERWISE INDICATED.
- PARTICLEBOARD-CORE DOORS: 1. PARTICLEBOARD: ANSI A208.1, [GRADE LD-1] [OR] [GRADE LD-2] [, MADE WITH BINDER CONTAINING NO UREA-FORMALDEHYDE RESIN].

2. BLOCKING: PROVIDE WOOD BLOCKING IN PARTICLEBOARD-CORE DOORS AS NEEDED

- TO ELIMINATE THROUGH-BOLTING HARDWARE. STRUCTURAL-COMPOSITE-LUMBER-CORE DOORS:
- 1. STRUCTURAL COMPOSITE LUMBER: WDMA I.S.10.
- a. SCREW WITHDRAWAL, FACE: 700 LBF (3100 N). b. SCREW WITHDRAWAL, EDGE: 400 LBF (1780 N).

2.3 PLASTIC-LAMINATE-FACED DOORS

- A. INTERIOR SOLID-CORE DOORS
 - GRADE: CUSTOM. PLASTIC-LAMINATE FACES: HIGH-PRESSURE DECORATIVE LAMINATES COMPLYING WITH NEMA LD 3, GRADE HGS.
- COLORS, PATTERNS, AND FINISHES: AS INDICATED ON THE DÉCOR DRAWINGS.
- EXPOSED VERTICAL EDGES: PLASTIC LAMINATE THAT MATCHES FACES.
- CONSTRUCTION: THREE PLIES. STILES AND RAILS ARE BONDED TO CORE, THEN ENTIRE UNIT ABRASIVE PLANED BEFORE FACES ARE APPLIED.

- A. FACTORY FIT DOORS TO SUIT FRAME-OPENING SIZES INDICATED. COMPLY WITH CLEARANCE REQUIREMENTS OF REFERENCED QUALITY STANDARD FOR FITTING UNLESS OTHERWISE
- FACTORY MACHINE DOORS FOR HARDWARE THAT IS NOT SURFACE APPLIED. OPENINGS: CUT AND TRIM OPENINGS THROUGH DOORS IN FACTORY.
- 1. LIGHT OPENINGS: TRIM OPENINGS WITH MOLDINGS OF MATERIAL AND PROFILE 2. GLAZING: FACTORY INSTALL GLAZING IN DOORS INDICATED TO BE FACTORY FINISHED.
- COMPLY WITH APPLICABLE REQUIREMENTS IN DIVISION 08 SECTION "GLAZING." 3. LOUVERS: FACTORY INSTALL LOUVERS IN PREPARED OPENINGS.

PART 3 - EXECUTION

3.1 INSTALLATION

HARDWARE: FOR INSTALLATION, SEE DIVISION 08 SECTION "DOOR HARDWARE." INSTALLATION INSTRUCTIONS: INSTALL DOORS TO COMPLY WITH MANUFACTURER'S

DOORS, EDGES OF CUTOUTS, AND MORTISES AFTER FITTING AND MACHINING.

- WRITTEN INSTRUCTIONS AND THE REFERENCED QUALITY STANDARD, AND AS INDICATED. JOB-FITTED DOORS: ALIGN AND FIT DOORS IN FRAMES WITH UNIFORM CLEARANCES AND BEVELS; DO NOT TRIM STILES AND RAILS IN EXCESS OF LIMITS SET BY MANUFACTURER OR PERMITTED FOR FIRE-RATED DOORS. MACHINE DOORS FOR HARDWARE. SEAL EDGES OF
- 1. CLEARANCES: PROVIDE 1/8 INCH (3.2 MM) AT HEADS, JAMBS, AND BETWEEN PAIRS OF DOORS. PROVIDE 1/8 INCH (3.2 MM) FROM BOTTOM OF DOOR TO TOP OF DECORATIVE FLOOR FINISH OR COVERING UNLESS OTHERWISE INDICATED. WHERE THRESHOLD IS SHOWN OR SCHEDULED, PROVIDE 1/4 INCH (6.4 MM) FROM BOTTOM OF DOOR TO TOP OF THRESHOLD UNLESS OTHERWISE INDICATED.

SECTION 083113 - ACCESS DOORS AND FRAMES

PART 1 - GENERAL

- A. THIS SECTION INCLUDES ACCESS DOORS AND FRAMES FOR CEILINGS.
- 1.2 SUBMITTALS
- PRODUCT DATA: FOR EACH TYPE OF ACCESS DOOR AND FRAME INDICATED. SHOP DRAWINGS: INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS TO OTHER WORK.
- 1.3 QUALITY ASSURANCE
- A. SIZE AND LOCATION VERIFICATION: DETERMINE SPECIFIC LOCATIONS AND SIZES FOR ACCESS DOORS NEEDED TO GAIN ACCESS TO CONCEALED EQUIPMENT, AND INDICATE ON THE DRAWINGS.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. STEEL PLATES, SHAPES, AND BARS: ASTM A 36. HOT-DIP GALVANIZED STEEL: COAT TO COMPLY WITH ASTM A 123 FOR STEEL AND.
- IRON PRODUCTS AND ASTM A 153 FOR STEEL AND IRON HARDWARE B. STEEL SHEET:
- 1.ELECTROLYTIC ZINC-COATED: ASTM A 591 COMMERCIAL STEEL (CS) WITH CLASS C COATING AND PHOSPHATE TREATMENT TO PREPARE SURFACE FOR PAINTING. C. DRYWALL BEADS: EDGE TRIM FORMED FROM 0.0299-INCH (0.76-MM) ZINC-COATED STEEL SHEET FORMED TO RECEIVE JOINT COMPOUND AND IN SIZE TO SUIT THICKNESS OF GYPSUM WALL AND/OR CEILING PANELS INDICATED.

2.2 ACCESS DOORS AND FRAMES

- MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:
- 1. LARSEN'S MANUFACTURING COMPANY. FLUSH ACCESS DOORS AND TRIMLESS FRAMES:
- 1. MATERIAL: PRIME-PAINTED STEEL SHEET. SURFACE TYPE: GYPSUM BOARD.
- LOCATIONS: WALLS AS INDICATED.
- 4. DOOR: MINIMUM 0.060-INCH THICK SHEET METAL SET FLUSH WITH SURROUNDING
- FINISH SURFACES TO RECEIVE GYPSUM BOARD FACE. 5. FRAME: MINIMUM 0.060-INCH THICK SHEET METAL WITH BEAD FOR TYPE OF SURFACE INDICATED.
- 6. HINGES: CONTINUOUS PIANO HINGE.
- 7. LATCH: SCREWDRIVER OPERATED CAM LATCH.
- 8. LOCK: KEY-OPERATED CYLINDER LOCK.

2.3 FABRICATION

- A. LATCHING MECHANISMS: FURNISH NUMBER REQUIRED TO HOLD DOORS IN FLUSH, SMOOTH PLANE WHEN CLOSED. 1. FOR RECESSED PANEL DOORS, PROVIDE ACCESS SLEEVES FOR EACH LOCKING DEVICE.
- FURNISH PLASTIC GROMMETS AND INSTALL IN HOLES CUT THROUGH FINISH.

3.1 INSTALLATION

- A. ADVISE INSTALLERS OF OTHER WORK ABOUT SPECIFIC REQUIREMENTS RELATING TO ACCESS DOOR AND FLOOR DOOR INSTALLATION, INCLUDING SIZES OF OPENINGS TO RECEIVE ACCESS DOOR AND FRAME, AS WELL AS LOCATIONS OF SUPPORTS, INSERTS, AND ANCHORING DEVICES.
- SET FRAMES ACCURATELY IN POSITION AND ATTACH SECURELY TO SUPPORTS WITH PLANE OF FACE PANELS ALIGNED WITH ADJACENT FINISH SURFACES.
- INSTALL ACCESS DOORS WITH TRIMLESS FRAMES FLUSH WITH ADJACENT FINISH SURFACES
- OR RECESSED TO RECEIVE FINISH MATERIAL. ADJUST DOORS AND HARDWARE AFTER INSTALLATION FOR PROPER OPERATION.

SECTION 084113 - ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS

PART 1 - GENERAL

1.1 SUMMARY

A. SECTION INCLUDES: 1. EXTERIOR AND INTERIOR STOREFRONT FRAMING.

- 1.2 PERFORMANCE REQUIREMENTS A. GENERAL PERFORMANCE: ALUMINUM-FRAMED SYSTEMS SHALL WITHSTAND THE EFFECTS OF THE FOLLOWING PERFORMANCE REQUIREMENTS WITHOUT EXCEEDING PERFORMANCE CRITERIA OR FAILURE DUE TO DEFECTIVE MANUFACTURE, FABRICATION, INSTALLATION, OR
- OTHER DEFECTS IN CONSTRUCTION: MOVEMENTS OF SUPPORTING STRUCTURE INDICATED ON DRAWINGS INCLUDING, BUT NOT LIMITED TO, STORY DRIFT AND DEFLECTION FROM UNIFORMLY DISTRIBUTED AND
- CONCENTRATED LIVE LOADS 2. DIMENSIONAL TOLERANCES OF BUILDING FRAME AND OTHER ADJACENT
 - CONSTRUCTION.
- FAILURE INCLUDES THE FOLLOWING: DEFLECTION EXCEEDING SPECIFIED LIMITS.
 - b. THERMAL STRESSES TRANSFERRING TO BUILDING STRUCTURE. c. FRAMING MEMBERS TRANSFERRING STRESSES, INCLUDING THOSE CAUSED BY THERMAL AND STRUCTURAL MOVEMENTS TO GLAZING.
- d. NOISE OR VIBRATION CREATED BY WIND AND BY THERMAL AND STRUCTURAL MOVEMENTS. e. LOOSENING OR WEAKENING OF FASTENERS, ATTACHMENTS, AND OTHER
- f. FAILURE OF OPERATING UNITS. B. WIND LOADS: AS INDICATED ON DRAWINGS.

1.4 QUALITY ASSURANCE

- PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED.
- SHOP DRAWINGS: FOR ALUMINUM-FRAMED SYSTEMS. INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS TO OTHER WORK.
- INCLUDE DETAILS OF PROVISIONS FOR SYSTEM EXPANSION AND CONTRACTION AND FOR DRAINAGE OF MOISTURE IN THE SYSTEM TO THE EXTERIOR.
- C. SAMPLES: FOR EACH TYPE OF EXPOSED FINISH REQUIRED.

ACCESSIBILITY GUIDELINES AND ICC/ANSI A117.1.

- INSTALLER QUALIFICATIONS: MANUFACTURER'S AUTHORIZED REPRESENTATIVE WHO IS
- TRAINED AND APPROVED FOR INSTALLATION OF UNITS REQUIRED FOR THIS PROJECT. ENGINEERING RESPONSIBILITY: PREPARE DATA FOR ALUMINUM-FRAMED SYSTEMS, INCLUDING SHOP DRAWINGS, BASED ON TESTING AND ENGINEERING ANALYSIS OF MANUFACTURER'S STANDARD UNITS IN SYSTEMS SIMILAR TO THOSE INDICATED FOR THIS
- PRODUCT OPTIONS: INFORMATION ON DRAWINGS AND IN SPECIFICATIONS ESTABLISHES REQUIREMENTS FOR SYSTEMS' AESTHETIC EFFECTS AND PERFORMANCE CHARACTERISTICS. AESTHETIC EFFECTS ARE INDICATED BY DIMENSIONS, ARRANGEMENTS, ALIGNMENT, AND PROFILES OF COMPONENTS AND ASSEMBLIES AS THEY RELATE TO SIGHTLINES, TO ONE ANOTHER, AND TO ADJOINING CONSTRUCTION. PERFORMANCE CHARACTERISTICS ARE INDICATED BY CRITERIA SUBJECT TO VERIFICATION BY ONE OR MORE METHODS INCLUDING
- PRECONSTRUCTION TESTING, FIELD TESTING, AND IN-SERVICE PERFORMANCE ACCESSIBLE ENTRANCES: COMPLY WITH APPLICABLE PROVISIONS IN THE U.S. ARCHITECTURAL & TRANSPORTATION BARRIERS COMPLIANCE BOARD'S ADA-ABA
- SOURCE LIMITATIONS FOR ALUMINUM-FRAMED SYSTEMS: OBTAIN FROM SINGLE SOURCE FROM SINGLE MANUFACTURER. PREINSTALLATION CONFERENCE: CONDUCT CONFERENCE AT A DATE AND TIME TO BE

ESTABLISHED.

SPECIAL WARRANTY: MANUFACTURER'S STANDARD FORM IN WHICH MANUFACTURER AGREES TO REPAIR OR REPLACE COMPONENTS OF ALUMINUM-FRAMED SYSTEMS THAT DO NOT COMPLY WITH REQUIREMENTS OR THAT FAIL IN MATERIALS OR WORKMANSHIP WITHIN SPECIFIED WARRANTY PERIOD.

PART 2 - PRODUCTS

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3. GLAZING PLANE: AS INDICATED.

2.1 MANUFACTURERS A. BASIS-OF-DESIGN PRODUCT: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCT INDICATED ON DRAWINGS.

2.2 MATERIALS

- ALUMINUM: ALLOY AND TEMPER RECOMMENDED BY MANUFACTURER FOR TYPE OF USE AND FINISH INDICATED.
- SHEET AND PLATE: ASTM B 209. EXTRUDED BARS, RODS, PROFILES, AND TUBES: ASTM B 221 3. EXTRUDED STRUCTURAL PIPE AND TUBES: ASTM B 429.
- 4. STRUCTURAL PROFILES: ASTM B 308/B 308M. 5. WELDING RODS AND BARE ELECTRODES: AWS A5.10/A5.10M. STEEL REINFORCEMENT: MANUFACTURER'S STANDARD ZINC-RICH, CORROSION-RESISTANT PRIMER. COMPLYING WITH SSPC-PS GUIDE NO. 12.00: APPLIED IMMEDIATELY AFTER SURFACE PREPARATION AND PRETREATMENT. SELECT SURFACE PREPARATION METHODS ACCORDING TO RECOMMENDATIONS IN SSPC-SP COM AND PREPARE SURFACES ACCORDING
- TO APPLICABLE SSPC STANDARD. STRUCTURAL SHAPES, PLATES, AND BARS: ASTM A 36/A 36M. COLD-ROLLED SHEET AND STRIP: ASTM A 1008/A 1008M. 3. HOT-ROLLED SHEET AND STRIP: ASTM A 1011/A 1011M.
- 2.3 FRAMING SYSTEMS FRAMING MEMBERS: MANUFACTURER'S STANDARD EXTRUDED-ALUMINUM FRAMING
- MEMBERS OF THICKNESS REQUIRED AND REINFORCED AS REQUIRED TO SUPPORT IMPOSED 1. CONSTRUCTION: THERMALLY BROKEN. GLAZING SYSTEM: RETAINED MECHANICALLY WITH GASKETS ON FOUR SIDES.
- BRACKETS AND REINFORCEMENTS: MANUFACTURER'S STANDARD HIGH-STRENGTH ALUMINUM WITH NONSTAINING, NONFERROUS SHIMS FOR ALIGNING SYSTEM COMPONENTS
- FASTENERS AND ACCESSORIES: MANUFACTURER'S STANDARD CORROSION-RESISTANT, NONSTAINING, NONBLEEDING FASTENERS AND ACCESSORIES COMPATIBLE WITH ADJACENT USE SELF-LOCKING DEVICES WHERE FASTENERS ARE SUBJECT TO LOOSENING OR
- TURNING OUT FROM THERMAL AND STRUCTURAL MOVEMENTS, WIND LOADS, OR VIBRATION.
- 2. REINFORCE MEMBERS AS REQUIRED TO RECEIVE FASTENER THREADS. CONCEALED FLASHING: MANUFACTURER'S STANDARD CORROSION-RESISTANT,

NONSTAINING, NONBLEEDING FLASHING COMPATIBLE WITH ADJACENT MATERIALS.

- FRAMING SYSTEM GASKETS AND SEALANTS: MANUFACTURER'S STANDARD, RECOMMENDED BY MANUFACTURER FOR JOINT TYPE. 1. PROVIDE SEALANTS FOR USE INSIDE OF THE WEATHERPROOFING SYSTEM THAT HAVE A VOC CONTENT OF 250 G/L OR LESS WHEN CALCULATED ACCORDING TO 40 CFR 59,
- SUBPART D (EPA METHOD 24). 2.4 GLAZING SYSTEMS

- GLAZING: AS SPECIFIED IN DIVISION 08 SECTION "GLAZING." GLAZING GASKETS: MANUFACTURER'S STANDARD COMPRESSION TYPES; REPLACEABLE, MOLDED OR EXTRUDED, OF PROFILE AND HARDNESS REQUIRED TO MAINTAIN WATERTIGHT
- C. SPACERS AND SETTING BLOCKS: MANUFACTURER'S STANDARD ELASTOMERIC TYPE.

- 2.5 ENTRANCE DOOR SYSTEMS A. ENTRANCE DOORS: MANUFACTURER'S STANDARD GLAZED ENTRANCE DOORS FOR MANUAL-SWING OPERATION.
 - 1. DOOR CONSTRUCTION: 1-3/4-INCH (44.5-MM) OVERALL THICKNESS, WITH MINIMUM 0.125-INCH- (3.2-MM-) THICK, EXTRUDED-ALUMINUM TUBULAR RAIL AND STILE MEMBERS. MECHANICALLY FASTEN CORNERS WITH REINFORCING BRACKETS THAT ARE DEEPLY PENETRATED AND FILLET WELDED OR THAT INCORPORATE CONCEALED TIE
 - a. THERMAL CONSTRUCTION: HIGH-PERFORMANCE PLASTIC CONNECTORS SEPARATE ALUMINUM MEMBERS EXPOSED TO THE EXTERIOR FROM MEMBERS EXPOSED TO THE
 - DOOR DESIGN: AS INDICATED. a. ACCESSIBLE DOORS: SMOOTH SURFACED FOR WIDTH OF DOOR IN AREA WITHIN
 - 10 INCHES (255 MM) ABOVE FLOOR OR GROUND PLANE. GLAZING STOPS AND GASKETS: MANUFACTURER STANDARD, SNAP-ON, EXTRUDED-ALUMINUM STOPS AND PREFORMED GASKETS.
- a. PROVIDE NONREMOVABLE GLAZING STOPS ON OUTSIDE OF DOOR. B. ENTRANCE DOOR HARDWARE: AS SPECIFIED AND ON THE DRAWINGS AS INDICATED.
- 2.6 ENTRANCE DOOR HARDWARE
- GENERAL: PROVIDE ENTRANCE DOOR HARDWARE AND ENTRANCE DOOR HARDWARE SETS INDICATED IN DOOR AND FRAME SCHEDULE FOR EACH ENTRANCE DOOR TO COMPLY WITH REQUIREMENTS IN THIS SECTION 1. ENTRANCE DOOR HARDWARE SETS: PROVIDE QUANTITY, ITEM, SIZE, FINISH OR COLOR
 - 2. OPENING-FORCE REQUIREMENTS:

a. EGRESS DOORS: NOT MORE THAN 15 LBF (67N) TO RELEASE THE LATCH AND NOT

MORE THAN 30 LBF (133N) TO SET THE DOOR IN MOTION AND NOT MORE THAN

- 15 LBF (67N) TO OPEN THE DOOR TO ITS MINIMUM REQUIRED WIDTH. b ACCESSIBLE INTERIOR DOORS: NOT MORE THAN 5 LBF (22.2 N) TO FULLY OPEN
- 3. LATCHES AND EXIT DEVICES: NOT MORE THAN 15 LBF (67 N) REQUIRED TO RELEASE BUTT HINGES: BHMA A156.1, GRADE 1, RADIUS CORNER.

NONREMOVABLE PINS: PROVIDE SET SCREW IN HINGE BARREL THAT, WHEN

TIGHTENED INTO A GROOVE IN HINGE PIN, PREVENTS REMOVAL OF PIN WHILE ENTRANCE DOOR IS CLOSED.

EXTERIOR HINGES: AS INDICATED ON THE DRAWING.

- a. FOR DOORS UP TO 87 INCHES (2210 MM) HIGH, PROVIDE 3 HINGES PER LEAF. PANIC EXIT DEVICES: BHMA A156.3, GRADE 1, LISTED AND LABELED BY A TESTING AND INSPECTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION, FOR PANIC PROTECTION, BASED ON TESTING ACCORDING TO UL 305, AND AS INDICATED ON THE
- D. CYLINDERS: BHMA A156.5, GRADE 1.
- KEYING: MASTER KEY SYSTEM. PERMANENTLY INSCRIBE EACH KEY WITH A VISUAL KEY CONTROL NUMBER AND INCLUDE NOTATION "DO NOT DUPLICATE". STRIKES: PROVIDE STRIKE WITH BLACK-PLASTIC DUST BOX FOR EACH LATCH OR LOCK BOLT; FABRICATED FOR ALUMINUM FRAMING.
- OPERATING TRIM: BHMA A156.6. G. CLOSERS: BHMA A156.4, GRADE 1, WITH ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION, SIZED AS REQUIRED BY DOOR SIZE, EXPOSURE TO WEATHER, AND
- ANTICIPATED FREQUENCY OF USE; ADJUSTABLE TO MEET FIELD CONDITIONS AND REQUIREMENTS FOR OPENING FORCE. H. DOOR STOPS: BHMA A156.16, GRADE 1, FLOOR OR WALL MOUNTED, AS APPROPRIATE FOR
- DOOR LOCATION INDICATED, WITH INTEGRAL RUBBER BUMPER. WEATHER STRIPPING: MANUFACTURER'S STANDARD REPLACEABLE COMPONENTS. WEATHER SWEEPS: MANUFACTURER'S STANDARD EXTERIOR-DOOR BOTTOM SWEEP WITH
- CONCEALED FASTENERS ON MOUNTING STRIP. SILENCERS: BHMA A156.16, GRADE 1. THRESHOLDS: BHMA A156.21, RAISED THRESHOLDS BEVELED WITH A SLOPE OF NOT MORE THAN 1:2, WITH MAXIMUM HEIGHT OF 1/2 INCH (13 MM).
- 2.7 ACCESSORY MATERIALS

2.8 FABRICATION

- BITUMINOUS PAINT: COLD-APPLIED, ASPHALT-MASTIC PAINT COMPLYING WITH SSPC-PAINT 12 REQUIREMENTS EXCEPT CONTAINING NO ASBESTOS; FORMULATED FOR 30-MIL (0.762-MM) THICKNESS PER COAT.
- WELD IN CONCEALED LOCATIONS TO GREATEST EXTENT POSSIBLE TO MINIMIZE DISTORTION OR DISCOLORATION OF FINISH. REMOVE WELD SPATTER AND WELDING OXIDES FROM **EXPOSED SURFACES BY DESCALING OR GRINDING** FRAMING MEMBERS, GENERAL: FABRICATE COMPONENTS THAT, WHEN ASSEMBLED, HAVE
- THE FOLLOWING CHARACTERISTICS: PROFILES THAT ARE SHARP, STRAIGHT, AND FREE OF DEFECTS OR DEFORMATIONS. ACCURATELY FITTED JOINTS WITH ENDS COPED OR MITERED.
- 3. MEANS TO DRAIN WATER PASSING JOINTS, CONDENSATION WITHIN FRAMING MEMBERS, AND MOISTURE MIGRATING WITHIN THE SYSTEM TO EXTERIOR. 4 PHYSICAL AND THERMAL ISOLATION OF GLAZING FROM FRAMING MEMBERS. 5 ACCOMMODATIONS FOR THERMAL AND MECHANICAL MOVEMENTS OF GLAZING AND
- FRAMING TO MAINTAIN REQUIRED GLAZING EDGE CLEARANCES. 6. PROVISIONS FOR FIELD REPLACEMENT OF GLAZING FROM EXTERIOR. 7. FASTENERS, ANCHORS, AND CONNECTION DEVICES THAT ARE CONCEALED FROM VIEW TO
- GREATEST EXTENT POSSIBLE. MECHANICALLY GLAZED FRAMING MEMBERS: FABRICATE FOR FLUSH GLAZING WITHOUT PROJECTING STOPS

ENTRANCE DOOR FRAMES: REINFORCE AS REQUIRED TO SUPPORT LOADS IMPOSED BY

DOOR OPERATION AND FOR INSTALLING ENTRANCE DOOR HARDWARE. ENTRANCE DOORS: REINFORCE DOORS AS REQUIRED FOR INSTALLING ENTRANCE DOOR HARDWARE.

FORM OR EXTRUDE ALUMINUM SHAPES BEFORE FINISHING.

- 2.9 ALUMINUM FINISHES A. BAKED-ENAMEL OR POWDER-COAT FINISH: AAMA 2603 EXCEPT WITH A MINIMUM DRY FILM
- COLOR AND GLOSS: AS INDICATED BY MANUFACTURER'S DESIGNATIONS. HIGH-PERFORMANCE ORGANIC FINISH: 3 OR 4 COAT FLUOROPOLYMER FINISH COMPLYING WITH AAMA 2605 AND CONTAINING NOT LESS THAN 70 PERCENT PVDF RESIN BY WEIGHT IN BOTH COLOR COAT AND CLEAR TOPCOAT.
- COLOR AND GLOSS: AS INDICATED ON THE DRAWINGS. PART 3 -EXECUTION

THICKNESS OF 1.5 MILS (0.04 MM).

- 3.1 INSTALLATION
- COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. DO NOT INSTALL DAMAGED COMPONENTS. 3. FIT JOINTS TO PRODUCE HAIRLINE JOINTS FREE OF BURRS AND DISTORTION.
- 4. RIGIDLY SECURE NONMOVEMENT JOINTS. 5. INSTALL ANCHORS WITH SEPARATORS AND ISOLATORS TO PREVENT METAL CORROSION AND ELECTROLYTIC DETERIORATION.
- 6. SEAL JOINTS WATERTIGHT UNLESS OTHERWISE INDICATED. METAL PROTECTION: WHERE ALUMINUM WILL CONTACT DISSIMILAR METALS, PROTECT AGAINST GALVANIC
- ACTION BY PAINTING CONTACT SURFACES WITH PRIMER OR APPLYING SEALANT OR TAPE, OR BY INSTALLING NONCONDUCTIVE SPACERS AS RECOMMENDED BY MANUFACTURER FOR THIS PURPOSE WHERE ALUMINUM WILL CONTACT CONCRETE OR MASONRY, PROTECT AGAINST

CORROSION BY PAINTING CONTACT SURFACES WITH BITUMINOUS PAINT.

- C. INSTALL COMPONENTS TO DRAIN WATER PASSING JOINTS, CONDENSATION OCCURRING WITHIN FRAMING MEMBERS, AND MOISTURE MIGRATING WITHIN THE SYSTEM TO
- D. SET CONTINUOUS SILL MEMBERS AND FLASHING IN FULL SEALANT BED AS SPECIFIED IN
- DIVISION 07 SECTION "JOINT SEALANTS" TO PRODUCE WEATHERTIGHT INSTALLATION.
- INSTALL COMPONENTS PLUMB AND TRUE IN ALIGNMENT WITH ESTABLISHED LINES AND
- GRADES, AND WITHOUT WARP OR RACK. F. INSTALL GLAZING AS SPECIFIED IN DIVISION 08 SECTION "GLAZING."
- G. ENTRANCE DOORS: INSTALL DOORS TO PRODUCE SMOOTH OPERATION AND TIGHT FIT AT
- 1. EXTERIOR DOORS: INSTALL TO PRODUCE WEATHERTIGHT ENCLOSURE AND TIGHT FIT AT WEATHER STRIPPING.
- 2. FIELD-INSTALLED ENTRANCE DOOR HARDWARE: INSTALL SURFACE-MOUNTED ENTRANCE DOOR HARDWARE ACCORDING TO ENTRANCE DOOR HARDWARE
- MANUFACTURERS' WRITTEN INSTRUCTIONS USING CONCEALED FASTENERS TO GREATEST EXTENT POSSIBLE.
- 3.2 FIELD QUALITY CONTROL
- A. REPAIR OR REMOVE WORK IF TEST RESULTS AND INSPECTIONS INDICATE THAT IT DOES NOT COMPLY WITH SPECIFIED REQUIREMENTS. B. ALUMINUM-FRAMED ASSEMBLIES WILL BE CONSIDERED DEFECTIVE IF THEY DO NOT PASS

- COMMERCIAL DOOR HARDWARE. CYLINDERS FOR DOORS SPECIFIED IN OTHER SECTIONS.
- 1.2 SUBMITTALS A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED.
- 1. DOOR HARDWARE SETS: PREPARED BY OR UNDER THE SUPERVISION OF INSTALLER, DETAILING FABRICATION AND ASSEMBLY OF DOOR HARDWARE, AS WELL AS
- NUMBERS AS IN THE CONTRACT DOCUMENTS.
- b. CONTENT: INCLUDE THE FOLLOWING INFORMATION: 1) IDENTIFICATION NUMBER, LOCATION, HAND, FIRE RATING, AND MATERIAL OF EACH DOOR AND FRAME.
- INCLUDING NAME AND MANUFACTURER. KEYING SCHEDULE: PREPARED BY OR UNDER THE SUPERVISION OF INSTALLER,

DETAILING OWNER'S FINAL KEYING INSTRUCTIONS FOR LOCKS.

- A. INSTALLER QUALIFICATIONS: AN EMPLOYER OF WORKERS TRAINED AND APPROVED BY LO :K 1. INSTALLER'S RESPONSIBILITIES INCLUDE SUPPLYING AND INSTALLING DOOR
- ARCHITECT, AND OWNER ABOUT DOOR HARDWARE AND KEYING. B. ARCHITECTURAL HARDWARE CONSULTANT QUALIFICATIONS: A PERSON WHO IS CURRENTLY CERTIFIED BY DHI AS AN ARCHITECTURAL HARDWARE CONSULTANT AND WHO IS EXPERIENCED IN PROVIDING CONSULTING SERVICES FOR DOOR HARDWARE INSTALLATION
- THAT ARE COMPARABLE IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR 1..... KEYING CONFERENCE: CONDUCT CONFERENCE AT PROJECT SITE TO COMPLY WITH REQUIREMENTS IN DIVISION 01 SECTION "PROJECT MANAGEMENT AND COORDINATION. INCORPORATE KEYING CONFERENCE DECISIONS INTO FINAL KEYING SCHEDULE AFTER

REVIEWING DOOR HARDWARE KEYING SYSTEM.

1.4 DELIVERY, STORAGE, AND HANDLING

PACKAGE SERVICE. A. TEMPLATES: DISTRIBUTE DOOR HARDWARE TEMPLATES FOR DOORS, FRAMES, AND OT HEE

B. DELIVER KEYS AND PERMANENT CORES TO OWNER BY REGISTERED MAIL OR OVERNIGHT

- REQUIREMENTS.
- A. SPECIAL WARRANTY: MANUFACTURER'S STANDARD FORM IN WHICH MANUFACTURER AGREES TO REPAIR OR REPLACE COMPONENTS OF DOOR HARDWARE THAT FAIL IN
- PART 2 PRODUCTS

IN THIS SECTION, DOOR HARDWARE SETS INDICATED IN DOOR SCHEDULE ON THE

- DRAWINGS, AND THE DOOR HARDWARE SCHEDULE AT THE END OF PART 3. 1. DOOR HARDWARE SETS: PROVIDE QUANTITY, ITEM, SIZE, FINISH AND COLOR INDICATED AND NAMED MANUFACTURERS' PRODUCTS.
- A. GENERAL: FULL MORTISE, RADIUSED CORNERS, FIVE (5) KNUCKLE BALL BEARING, HEAVYWEIGHT, 4-1/2 BY 4-1/2 INCHES, BUTTON TIP 6 PIN. EXCEPT FOR HINGES TO BE

INSTALLED ENTIRELY (BOTH LEAVES) INTO WOOD DOORS AND FRAMES, PROVIDE ONLY

HINGE BASE METAL: AS INDICATED IN DOOR HARDWARE SCHEDULE AT THE END OF PARTICIPATION.

- EXTERIOR HINGES: STAINLESS STEEL, WITH STAINLESS-STEEL PIN. INTERIOR HINGES: STEEL, WITH STEEL PIN STAINLESS STEEL, WITH STAINLESS-STE
- C. NONREMOVABLE PINS: PROVIDE SET SCREW IN HINGE BARREL THAT PREVENTS REMOVAL OF PIN WHILE DOOR IS CLOSED; FOR OUTSWINGING EXTERIOR DOORS. D. SCREWS: PHILLIPS FLAT-HEAT SCREWS; SCREW HEADS FINISHED TO MATCH SURFACE OF
- 2.3 MECHANICAL LOCKS AND LATCHES

TEMPLATE-PRODUCED UNITS.

- A. LOCKSET DESIGN: AS SCHEDULED. B. DUMMY TRIM: MATCH LEVER LOCK TRIM AND ESCUTCHEONS.
- LOCK THROW: COMPLY WITH LABELED FIRE DOOR REQUIREMENTS. D. BACKSET: 2-3/4", UNLESS OTHERWISE INDICATED.

SHEET

REVISION

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VURAI SHOPPI IS RESTA PLAZA SHILLINOIS \mathbf{A} \mathbf{m}

PROJECT NUMBER: 2005 FINAL REVIEW OCT 29, 2020

SPECIFICATIONS

TESTS AND INSPECTIONS. SECTION 087100 - DOOR HARDWARE PART 1 - GENERAL

A. THIS SECTION INCLUDES THE FOLLOWING:

B. SEE DIVISION 08 DOOR SECTIONS FOR DOOR SILENCERS.

B. SAMPLES: FOR EACH EXPOSED FINISH. C. OTHER ACTION SUBMITTALS:

- PROCEDURES AND DIAGRAMS. a. FORMAT: USE SAME SCHEDULING SEQUENCE AND FORMAT AND USE SAME DOOR
- 2) TYPE, STYLE, FUNCTION, SIZE, QUANTITY, AND FINISH OF EACH DOOR HARDWARE ITEM. INCLUDE DESCRIPTION AND FUNCTION OF EACH LOCKSET AND EXIT DEVICE. 3) COMPLETE DESIGNATIONS OF EVERY ITEM REQUIRED FOR EACH DOOR OR OPENING
- HARDWARE AND PROVIDING A QUALIFIED ARCHITECTURAL HARDWARE CONSULTA. 'T AVAILABLE DURING THE COURSE OF THE WORK TO CONSULT WITH CONTRACTOR,
- A. DELIVER KEYS TO MANUFACTURER OF KEY CONTROL SYSTEM FOR SUBSEQUENT DELIVE RY O
- 1.5 COORDINATION WORK SPECIFIED TO BE FACTORY PREPARED FOR INSTALLING DOOR HARDWARE. CHECK SHOP DRAWINGS OF OTHER WORK TO CONFIRM THAT ADEQUATE PROVISIONS ARE MA JE

FOR LOCATING AND INSTALLING DOOR HARDWARE TO COMPLY WITH INDICATED

- 1.6 WARRANTY
- MATERIALS OR WORKMANSHIP WITHIN SPECIFIED WARRANTY PERIOD. 1. WARRANTY PERIOD: THREE YEARS FROM DATE OF SUBSTANTIAL COMPLETION.
- 2.1 SCHEDULED DOOR HARDWARE A. GENERAL: PROVIDE DOOR HARDWARE FOR EACH DOOR TO COMPLY WITH REQUIREMENTS
- 2.2 HINGES AND PIVOTS
- OR IF NOT INDICATED, PROVIDE THE FOLLOWING:
- METAL DOORS AND FRAMES. MACHINE SCREWS (DRILLED AND TAPPED HOLES). 2. WOOD DOORS AND FRAMES: WOOD SCREWS.

A. PANIC EXIT DEVICES: LISTED AND LABELED FOR PANIC PROTECTION, BASED ON TESTING

ACCORDING TO UL 305. FIRE EXIT DEVICES: COMPLYING WITH NFPA 80 THAT ARE LISTED AND LABELED FOR FIRE AND PANIC PROTECTION, BASED ON TESTING ACCORDING TO UL 305 AND NFPA 252.

DUMMY PUSH BAR: NONFUNCTIONING PUSH BAR MATCHING FUNCTIONAL PUSH BAR. OUTSIDE TRIM: PULL WITH CYLINDER; MATERIAL, FINISH AND DESIGN TO MATCH LOCKSETS

AND LATCHSETS, UNLESS OTHERWISE INDICATED. THROUGH BOLTS: FOR EXIT DEVICES AND TRIM ON METAL DOORS.

2.5 OPERATING TRIM

A. PUSH-PULL DESIGN: AS INDICATED ON DRAWINGS.

SURFACE MOUNTED CLOSERS: AS INDICATED ON DRAWINGS.

CLOSER HOLDER RELEASE DEVICES: BHMA A156.15. SIZE OF UNITS: FACTORY-SIZED, ADJUSTABLE TO MEET FIELD CONDITIONS AND REQUIREMENTS FOR OPENING FORCE.

2.7 PROTECTIVE TRIM UNITS

SIZED 2 INCHES LESS THAN DOOR WIDTH, BEVELED 3 SIDES, BY HEIGHT SCHEDULED OR INDICATED. FASTEN WITH EXPOSED MACHINE OR SELF-TAPPING SCREWS, COUNTERSUNK, FINISH TO MATCH PLATE. MATERIAL: METAL.

2.8 STOPS AND HOLDERS

STOPS AND HOLDERS: PROVIDE FLOOR STOPS FOR DOORS. UNLESS WALL OR OTHER TYPE STOPS ARE SCHEDULED OR INDICATED. DO NOT MOUNT FLOOR STOPS WHERE THEY WILL IMPEDE TRAFFIC. WHERE FLOOR OR WALL STOPS ARE NOT APPROPRIATE, PROVIDE

SILENCERS FOR DOOR FRAMES: NEOPRENE OR RUBBER; FABRICATED FOR DRILLED-IN APPLICATION TO FRAME.

2.9 DOOR GASKETING AND THRESHOLDS

DOOR GASKETING: PROVIDE CONTINUOUS POLYURETHANE WEATHER-STRIP GASKETING ON EXTERIOR DOORS AND PROVIDE SMOKE, LIGHT, OR SOUND GASKETING ON INTERIOR DOORS WHERE INDICATED OR SCHEDULED. PROVIDE NONCORROSIVE FASTENERS FOR EXTERIOR APPLICATIONS AND ELSEWHERE AS INDICATED.

1. AIR LEAKAGE: NOT TO EXCEED 0.50 CFM PER FOOT OF CRACK LENGTH FOR GASKETING OTHER THAN FOR SMOKE CONTROL, AS TESTED ACCORDING TO ASTM E 283. 2. SMOKE-LABELED GASKETING: ASSEMBLIES COMPLYING WITH NFPA 105 THAT ARE LISTED

LABELED, BASED ON TESTING ACCORDING TO UL 1784. 3. FIRE-LABELED GASKETING: ASSEMBLIES COMPLYING WITH NFPA 80 THAT ARE LISTED AND LABELED, BASED ON TESTING ACCORDING TO UL 10B OR NFPA 252. 4. SOUND-RATED GASKETING: ASSEMBLIES THAT ARE LISTED AND LABELED BASED ON

TESTING ACCORDING TO ASTM E 1408. 5. GASKETING MATERIALS: COMPLY WITH ASTM D 2000 AND AAMA 701/702.

2.10 CYLINDERS, KEYING, AND STRIKES

A. CYLINDERS: TUMBLER TYPE, CONSTRUCTED FROM BRASS OR BRONZE, STAINLESS STEEL, OR

NUMBER OF PINS: SEVEN 2. HIGH-SECURITY GRADE: BHMA GRADE 1A, LISTED AND LABELED AS COMPLYING WITH UL

B. THRESHOLDS: OF TYPE SCHEDULED OR INDICATED.

3. PERMANENT CORES: MANUFACTURER'S STANDARD; FINISH FACE TO MATCH LOCKSET; INTERCHANGEABLE CORES.

4. CONSTRUCTION CORES: PROVIDE CONSTRUCTION CORES THAT ARE REPLACEABLE BY PERMANENT CORES. PROVIDE 5 CONSTRUCTION MASTER KEYS.

a.REPLACE CONSTRUCTION CORES WITH PERMANENT CORES, AS INDICATED IN KEYING SCHEDULE AND AS DIRECTED BY OWNER.

a. FURNISH PERMANENT CORES TO OWNER FOR INSTALLATION. KEYING SYSTEM: FACTORY-REGISTERED KEYING SYSTEM; MASTER KEY SYSTEM. KEYS: PROVIDE NICKEL-SILVER KEYS PERMANENTLY INSCRIBED WITH A VISUAL KEY

CONTROL NUMBER AND "DO NOT DUPLICATE" NOTATION. IN ADDITION TO ONE EXTRA BLANK KEY FOR EACH LOCK, PROVIDE THREE CHANGE KEYS AND FIVE MASTER KEYS. KEY CONTROL SYSTEM: INCLUDE KEY-HOLDING HOOKS, LABELS, KEY TAGS WITH

SELF-LOCKING KEY HOLDERS, ENVELOPES, AND MARKERS. CONTAIN SYSTEM IN WALL-MOUNTED TYPE METAL CABINET WITH BAKED-ENAMEL FINISH. INCLUDE CROSS-INDEX SYSTEM SET UP BY KEY CONTROL MANUFACTURER, WITH CARD INDEX. STRIKES: MANUFACTURER'S STANDARD STRIKE WITH STRIKE BOX FOR EACH LATCH OR LOCK

BOLT, WITH CURVED TIP EXTENDED TO PROTECT FRAME, FINISHED TO MATCH DOOR HARDWARE SET.

2.11 FABRICATION

BASE METALS: FURNISH METALS OF A QUALITY EQUAL TO OR GREATER THAN THAT OF SPECIFIED DOOR HARDWARE UNITS AND BHMA A156.18 FOR FINISHES. DO NOT FURNISH MANUFACTURER'S STANDARD MATERIALS IF DIFFERENT FROM SPECIFIED STANDARD.

FASTENERS: PHILLIPS FLAT-HEAT SCREWS WITH FINISHED HEADS TO MATCH SURFACE OF DOOR HARDWARE, UNLESS OTHERWISE INDICATED. PROVIDE STEEL MACHINE OR WOOD SCREWS OR STEEL THROUGH BOLTS FOR FIRE-RATED APPLICATIONS.

SPACERS OR SEX BOLTS: FOR THROUGH BOLTING OF HOLLOW METAL DOORS FASTENERS FOR WOOD DOORS: COMPLY WITH REQUIREMENTS OF DHI WDHS.2,

"RECOMMENDED FASTENERS FOR WOOD DOORS."

E. FINISHES: COMPLY WITH BHMA A156.18.

HARDWARE FOR WOOD FLUSH DOORS."

PART 3 - EXECUTION

3.1 INSTALLATION

STEEL DOORS AND FRAMES: COMPLY WITH DHI A115 SERIES. DRILL AND TAP DOORS AND FRAMES FOR SURFACE-APPLIED HARDWARE ACCORDING TO SDI 107.

EXAMINE DOORS AND FRAMES FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES, LABELED FIRE DOOR ASSEMBLY CONSTRUCTION, WALL AND FLOOR CONSTRUCTION, AND OTHER CONDITIONS AFFECTING PERFORMANCE. EXAMINE ROUGHING-IN FOR ELECTRICAL POWER SYSTEMS TO VERIFY ACTUAL LOCATIONS OF WIRING CONNECTIONS BEFORE ELECTRIFIED DOOR HARDWARE INSTALLATION.

WOOD DOOR PREPARATION: COMPLY WITH DHI A115-W SERIES. MOUNTING HEIGHTS: COMPLY WITH THE FOLLOWING REQUIREMENTS, UNLESS OTHERWISE INDICATED:

1. STANDARD STEEL DOORS AND FRAMES: DHI'S "RECOMMENDED LOCATIONS FOR ARCHITECTURAL HARDWARE FOR STANDARD STEEL DOORS AND FRAMES." 2. WOOD DOORS: DHI WDHS.3, "RECOMMENDED LOCATIONS FOR ARCHITECTURAL

ADJUST AND REINFORCE ATTACHMENT SUBSTRATES AS NECESSARY FOR PROPER INSTALLATION AND OPERATION. DRILL AND COUNTERSINK UNITS THAT ARE NOT FACTORY PREPARED FOR ANCHORAGE FASTENERS. SPACE FASTENERS AND ANCHORS ACCORDING TO

THRESHOLDS: SET THRESHOLDS FOR EXTERIOR AND ACOUSTICAL DOORS IN FULL BED OF SEALANT COMPLYING WITH REQUIREMENTS SPECIFIED IN DIVISION 7 SECTION "JOINT SEALANTS." ADJUST DOOR CONTROL DEVICES TO COMPENSATE FOR FINAL OPERATION OF HEATING AND

VENTILATING EQUIPMENT AND TO COMPLY WITH ACCESSIBILITY REQUIREMENTS. 1. DOOR CLOSERS: ADJUST SWEEP PERIOD SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES (75 MM) FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.

3.2 DOOR HARDWARE SCHEDULE

A. AS INDICATED ON DRAWINGS.

SECTION 092900 - GYPSUM BOARD

PART 1 - GENERAL

A. THIS SECTION INCLUDES THE FOLLOWING: INTERIOR GYPSUM BOARD, WALL AND CEILINGS. TILE BACKING PANELS.

CEMENTITIOUS BACKER UNITS. 1.2 SUBMITTALS

A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED.

1.3 QUALITY ASSURANCE

A. FIRE-RESISTANCE-RATED ASSEMBLIES: FOR FIRE-RESISTANCE-RATED ASSEMBLIES, PROVIDE MATERIALS AND CONSTRUCTION IDENTICAL TO THOSE TESTED IN ASSEMBLY INDICATED

ACCORDING TO ASTM E 119 BY AN INDEPENDENT TESTING AGENCY. STC-RATED ASSEMBLIES: FOR STC-RATED ASSEMBLIES, PROVIDE MATERIALS AND CONSTRUCTION IDENTICAL TO THOSE TESTED IN ASSEMBLY INDICATED ACCORDING TO ASTM E 90 AND CLASSIFIED ACCORDING TO ASTM E 413 BY AN INDEPENDENT TESTING AGENCY.

PART 2 - PRODUCTS

2.1 INTERIOR GYPSUM BOARD

A. GENERAL: COMPLYING WITH ASTM C 36/C 36M OR ASTM C 1396/C 1396M, AS APPLICABLE TO TYPE OF GYPSUM BOARD INDICATED AND WHICHEVER IS MORE STRINGENT. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE

PRODUCTS BY ONE OF THE FOLLOWING: a.AMERICAN GYPSUM CO.

b.BPB AMERICA INC.

c.G-P GYPSUM. d. LAFARGE NORTH AMERICA INC.

e. NATIONAL GYPSUM COMPANY. f. PABCO GYPSUM.

g. TEMPLE. h. USG CORPORATION.

REGULAR TYPE: THICKNESS: 1/2 INCH (12.7 MM).

LONG EDGES: TAPERED. C. TYPE X:

THICKNESS: 5/8 INCH (15.9 MM). LONG EDGES: TAPERED.

D. CEILING TYPE: MANUFACTURED TO HAVE MORE SAG RESISTANCE THAN REGULAR-TYPE GYPSUM BOARD.

1. THICKNESS: 1/2 INCH (12.7 MM). LONG EDGES: TAPERED.

MOISTURE- AND MOLD-RESISTANT TYPE: WITH MOISTURE- AND MOLD-RESISTANT CORE AND SURFACES.

CORE: 5/8 INCH (15.9 MM), TYPE MR.

LONG EDGES: TAPERED. 2.2 TILE BACKING PANELS

WATER-RESISTANT GYPSUM BACKING BOARD: ASTM C 630/C 630M OR ASTM C 1396/C

1. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE

PRODUCTS BY ONE OF THE FOLLOWING: a. AMERICAN GYPSUM CO.

b. BPB AMERICA INC. c. G-P GYPSUM.

d. LAFARGE NORTH AMERICA INC.

e. NATIONAL GYPSUM COMPANY. f. PABCO GYPSUM.

g. TEMPLE. h. USG CORPORATION.

CEMENTITIOUS BACKER UNITS: ANSI A108.1. PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE ONE OF THE

CUSTOM BUILDING PRODUCTS; WONDERBOARD.

b. FINPAN. INC.: UTIL-A-CRETE CONCRETE BACKER BOARD. USG CORPORATION; DUROCK CEMENT BOARD.

THICKNESS: AS INDICATED ON DRAWINGS.

2.3 TRIM ACCESSORIES

A. INTERIOR TRIM: ASTM C 1047. MATERIAL: GALVANIZED OR ALUMINUM-COATED STEEL SHEET.

SHAPES:

CORNERBEAD

b. BULLNOSE BEAD. LC-BEAD: J-SHAPED; EXPOSED LONG FLANGE RECEIVES JOINT COMPOUND.

d. L-BEAD: L-SHAPED; EXPOSED LONG FLANGE RECEIVES JOINT COMPOUND. e. U-BEAD: J-SHAPED; EXPOSED SHORT FLANGE DOES NOT RECEIVE JOINT

f. CURVED-EDGE CORNERBEAD: WITH NOTCHED OR FLEXIBLE FLANGES.

B. ALUMINUM TRIM: EXTRUDED ACCESSORIES OF PROFILES AND DIMENSIONS INDICATED. 1. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE

PRODUCTS BY ONE OF THE FOLLOWING: FRY REGLET CORP.

b. GORDON, INC.

PITTCON INDUSTRIES.

ALUMINUM: ALLOY AND TEMPER WITH NOT LESS THAN THE STRENGTH AND DURABILITY PROPERTIES OF ASTM B 221 (ASTM B 221M), ALLOY 6063-T5.

3. FINISH: CORROSION-RESISTANT PRIMER COMPATIBLE WITH JOINT COMPOUND AND FINISH MATERIALS SPECIFIED.

2.4 JOINT TREATMENT MATERIALS

2.5 AUXILIARY MATERIALS

GENERAL: COMPLY WITH ASTM C 475/C 475M. JOINT TAPE:

INTERIOR GYPSUM WALLBOARD: PAPER.

TILE BACKING PANELS: AS RECOMMENDED BY PANEL MANUFACTURER JOINT COMPOUND FOR INTERIOR GYPSUM WALLBOARD: FOR EACH COAT USE

FORMULATION THAT IS COMPATIBLE WITH OTHER COMPOUNDS APPLIED ON PREVIOUS OR 1. PREFILLING: AT OPEN JOINTS, ROUNDED OR BEVELED PANEL EDGES, AND DAMAGED

SURFACE AREAS, USE SETTING-TYPE TAPING COMPOUND. 2. EMBEDDING AND FIRST COAT: FOR EMBEDDING TAPE AND FIRST COAT ON JOINTS, FASTENERS, AND TRIM FLANGES, USE SETTING-TYPE TAPING COMPOUND.

a. USE SETTING-TYPE COMPOUND FOR INSTALLING PAPER-FACED METAL TRIM ACCESSORIES 3. FILL COAT: FOR SECOND COAT, USE SETTING-TYPE, SANDABLE TOPPING COMPOUND.

4. FINISH COAT: FOR THIRD COAT, USE SETTING-TYPE, SANDABLE TOPPING COMPOUND. D. JOINT COMPOUND FOR TILE BACKING PANELS: WATER-RESISTANT GYPSUM BACKING BOARD: USE SETTING-TYPE TAPING COMPOUND

AND SETTING-TYPE, SANDABLE TOPPING COMPOUND. 2. CEMENTITIOUS BACKER UNITS: AS RECOMMENDED BY BACKER UNIT MANUFACTURER.

A. GENERAL: PROVIDE AUXILIARY MATERIALS THAT COMPLY WITH REFERENCED INSTALLATION STANDARDS AND MANUFACTURER'S WRITTEN RECOMMENDATIONS.

B. STEEL DRILL SCREWS: ASTM C 1002, UNLESS OTHERWISE INDICATED 1. USE SCREWS COMPLYING WITH ASTM C 954 FOR FASTENING PANELS TO STEEL MEMBERS FROM 0.033 TO 0.112 INCH (0.84 TO 2.84 MM) THICK.

2. FOR FASTENING CEMENTITIOUS BACKER UNITS, USE SCREWS OF TYPE AND SIZE RECOMMENDED BY PANEL MANUFACTURER.

C. SOUND ATTENUATION BLANKETS: ASTM C 665, TYPE I (BLANKETS WITHOUT MEMBRANE FACING) PRODUCED BY COMBINING THERMOSETTING RESINS WITH MINERAL FIBERS MANUFACTURED FROM GLASS, SLAG WOOL, OR ROCK WOOL.

1. FIRE-RESISTANCE-RATED ASSEMBLIES: COMPLY WITH MINERAL-FIBER REQUIREMENTS OF

D. ACOUSTICAL SEALANT: AS SPECIFIED IN DIVISION 07 SECTION "JOINT SEALANTS." PROVIDE SEALANTS THAT HAVE A VOC CONTENT OF 250 G/L OR LESS WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D (EPA METHOD 24).

THERMAL INSULATION: AS SPECIFIED IN DIVISION 07 SECTION "THERMAL INSULATION." VAPOR RETARDER: AS SPECIFIED IN DIVISION 07 SECTION "THERMAL INSULATION."

PART 3 - EXECUTION

3.1 APPLYING AND FINISHING PANELS, GENERAL

A. COMPLY WITH ASTM C 840.

B. EXAMINE PANELS BEFORE INSTALLATION. REJECT PANELS THAT ARE WET, MOISTURE DAMAGED, AND MOLD DAMAGED.

C. ISOLATE PERIMETER OF GYPSUM BOARD APPLIED TO NON-LOAD-BEARING PARTITIONS AT STRUCTURAL ABUTMENTS, EXCEPT FLOORS. PROVIDE 1/4- TO 1/2-INCH- (6.4- TO 12.7-MM-) WIDE SPACES AT THESE LOCATIONS, AND TRIM EDGES WITH EDGE TRIM WHERE EDGES OF PANELS ARE EXPOSED. SEAL JOINTS BETWEEN EDGES AND ABUTTING STRUCTURAL SURFACES WITH ACOUSTICAL SEALANT.

D. WOOD FRAMING: INSTALL GYPSUM PANELS OVER WOOD FRAMING, WITH FLOATING INTERNAL CORNER CONSTRUCTION. DO NOT ATTACH GYPSUM PANELS ACROSS THE FLAT GRAIN OF WIDE-DIMENSION LUMBER, INCLUDING FLOOR JOISTS AND HEADERS. FLOAT GYPSUM PANELS OVER THESE MEMBERS, OR PROVIDE CONTROL JOINTS TO COUNTERACT WOOD SHRINKAGE.

3.2 APPLYING INTERIOR GYPSUM BOARD

INSTALL INTERIOR GYPSUM BOARD IN THE FOLLOWING LOCATIONS: REGULAR TYPE: AS INDICATED ON DRAWINGS. TYPE X: AS INDICATED ON DRAWINGS. CEILING TYPE: AS INDICATED ON DRAWINGS.

4. MOISTURE- AND MOLD-RESISTANT TYPE: AS INDICATED ON DRAWINGS.

3.3 APPLYING TILE BACKING PANELS

A. WATER-RESISTANT GYPSUM BACKING BOARD: INSTALL WHERE INDICATED. INSTALL WITH 1/4-INCH (6.4-MM) GAP WHERE PANELS ABUT OTHER CONSTRUCTION OR PENETRATIONS. B. CEMENTITIOUS BACKER UNITS: ANSI A108.1, AT INDICATED TILE.

C. AREAS NOT SUBJECT TO WETTING: INSTALL REGULAR-TYPE GYPSUM WALLBOARD PANELS TO PRODUCE A FLAT SURFACE EXCEPT AT LOCATIONS INDICATED TO RECEIVE WATER-RESISTANT

D. WHERE TILE BACKING PANELS ABOUT OTHER TYPES OF PANELS IN SAME PLANE, SHIM SURFACES TO PRODUCE A UNIFORM PLANE ACROSS PANEL SURFACES.

3.4 INSTALLING TRIM ACCESSORIES

A. GENERAL: FOR TRIM WITH BACK FLANGES INTENDED FOR FASTENERS, ATTACH TO FRAMING WITH SAME FASTENERS USED FOR PANELS. OTHERWISE, ATTACH TRIM ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS

B. CONTROL JOINTS: INSTALL CONTROL JOINTS AT LOCATIONS INDICATED ON DRAWINGS, INCLUDING ARBY'S DÉCOR DRAWINGS. C. INTERIOR TRIM: INSTALL IN THE FOLLOWING LOCATIONS:

CORNERBEAD: USE AT OUTSIDE CORNERS. BULLNOSE BEAD: USE AT OUTSIDE CORNERS.

5 U-BEAD: USE AT EXPOSED PANEL EDGES WHERE INDICATED.

3. LC-BEAD: USE AT EXPOSED PANEL EDGES. 4. L-BEAD: USE WHERE INDICATED.

D. ALUMINUM TRIM: INSTALL IN LOCATIONS INDICATED ON DRAWINGS. 3.5 FINISHING GYPSUM BOARD

A. GENERAL: TREAT GYPSUM BOARD JOINTS, INTERIOR ANGLES, EDGE TRIM, CONTROL JOINTS, PENETRATIONS, FASTENER HEADS, SURFACE DEFECTS, AND ELSEWHERE AS REQUIRED TO PREPARE GYPSUM BOARD SURFACES FOR DECORATION. PROMPTLY REMOVE RESIDUAL JOINT COMPOUND FROM ADJACENT SURFACES

PREFILL OPEN JOINTS, ROUNDED OR BEVELED EDGES, AND DAMAGED SURFACE AREAS. APPLY JOINT TAPE OVER GYPSUM BOARD JOINTS, EXCEPT THOSE WITH TRIM HAVING FLANGES NOT INTENDED FOR TAPE.

D. GYPSUM BOARD FINISH LEVELS: FINISH PANELS TO LEVELS INDICATED BELOW: LEVEL 2: PANELS THAT ARE SUBSTRATE FOR TILE WHERE INDICATED ON DRAWINGS. LEVEL 3: WHERE INDICATED ON DRAWINGS.

3. LEVEL 4: AT PANEL SURFACES THAT WILL BE EXPOSED TO VIEW, UNLESS OTHERWISE a. PRIMER AND ITS APPLICATION TO SURFACES ARE SPECIFIED IN OTHER DIVISION 09 SECTIONS. CEMENTITIOUS BACKER UNITS: FINISH ACCORDING TO MANUFACTURER'S WRITTEN

3.6 APPLYING TEXTURE FINISHES

A. SURFACE PREPARATION AND PRIMER: PREPARE AND APPLY PRIMER TO GYPSUM PANELS. AND OTHER SURFACES RECEIVING FINISHES. APPLY PRIMER TO SURFACES THAT ARE CLEAN, DRY,

3.7 PROTECTION A. PROTECT INSTALLED PRODUCTS FROM DAMAGE FROM WEATHER, CONDENSATION, DIRECT

B. REMOVE AND REPLACE PANELS THAT ARE WET, MOISTURE DAMAGED, AND MOLD DAMAGED.

SUNLIGHT, CONSTRUCTION, AND OTHER CAUSES DURING REMAINDER OF THE CONSTRUCTION

INDICATIONS THAT PANELS ARE WET OR MOISTURE DAMAGED INCLUDE, BUT ARE NOT LIMITED TO, DISCOLORATION, SAGGING, OR IRREGULAR SHAPE. 2. INDICATIONS THAT PANELS ARE MOLD DAMAGED INCLUDE, BUT ARE NOT LIMITED TO, FUZZY

SECTION 093000 - TILING

PART 1 - GENERAL

1.1 SUMMARY

A. THIS SECTION INCLUDES THE FOLLOWING:

OR SPLOTCHY SURFACE CONTAMINATION AND DISCOLORATION.

QUARRY TILE. GLAZED WALL TILE. 4. METAL EDGE STRIPS INSTALLED AS PART OF TILE INSTALLATIONS.

1.2 SUBMITTALS

CERAMIC MOSAIC TILE.

PRODUCT DATA: FOR EACH PRODUCT INDICATED

B. SHOP DRAWINGS: SHOW LOCATIONS OF EACH TYPE OF TILE AND TILE PATTERN. SHOW WIDTHS, DETAILS, AND LOCATIONS OF EXPANSION, CONTRACTION, CONTROL, AND ISOLATION

EACH TYPE, COMPOSITION, COLOR, AND FINISH OF TILE AND GROUT.

1.3 EXTRA MATERIALS

A. FURNISH EXTRA MATERIALS DESCRIBED BELOW THAT MATCH PRODUCTS INSTALLED AND THAT ARE PACKAGED WITH PROTECTIVE COVERING FOR STORAGE AND IDENTIFIED WITH LABELS DESCRIBING CONTENTS.

1. TILE AND TRIM UNITS: FURNISH QUANTITY OF FULL-SIZE UNITS EQUAL TO 3 PERCENT OF AMOUNT INSTALLED, FOR EACH TYPE, COMPOSITION, COLOR, PATTERN, AND SIZE INDICATED.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

REQUIREMENTS APPLY FOR PRODUCT SELECTION: 1. AVAILABLE PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE PRODUCTS

A. IN OTHER PART 2 ARTICLES WHERE TITLES BELOW INTRODUCE LISTS, THE FOLLOWING

2.2 TILE PRODUCTS

AMERICAN OLEAN; DIV. OF DAL-TILE INTERNATIONAL CORP.

DALTILE; DIV. OF DAL-TILE INTERNATIONAL INC.

CUSTOM BUILDING PRODUCTS (GROUT). B. ANSI CERAMIC TILE STANDARD: PROVIDE STANDARD GRADE TILE THAT COMPLIES WITH ANSI A137.1, "SPECIFICATIONS FOR CERAMIC TILE," FOR TYPES, COMPOSITIONS, AND OTHER CHARACTERISTICS INDICATED.

C. PROVIDE TILE, GROUT AND OTHER ACCESSORY ITEMS AS INDICATED ON THE DRAWINGS AND ARBY'S "DÉCOR" PLANS.

2.3 ACCESSORY MATERIALS

1. LATEX-PORTLAND CEMENT PRODUCT: FLEXIBLE MORTAR WITH ACRYLIC-LATEX ADDITIVE.

1) MAPEI CORPORATION; PRP 315.

2.4 SETTING AND GROUTING MATERIALS

MANUFACTURERS:

CUSTOM BUILDING PRODUCTS. PORTLAND CEMENT MORTAR (THICKSET) INSTALLATION MATERIALS: ANSI A108.1A.

2. PREPACKAGED DRY-MORTAR MIX COMBINED WITH LIQUID-LATEX ADDITIVE.

DRY-SET PORTLAND CEMENT MORTAR (THIN SET): ANSI A118.1. FOR WALL APPLICATIONS, PROVIDE NONSAGGING MORTAR.

2) SOUTHERN GROUTS & MORTARS, INC.; SOUTHCRETE 1100.

LATEX-PORTLAND CEMENT MORTAR (THIN SET): ANSI A118.4. PREPACKAGED DRY-MORTAR MIX CONTAINING DRY ADDITIVE TO WHICH ONLY WATER MUST

FOR WALL APPLICATIONS, PROVIDE NONSAGGING MORTAR. CHEMICAL-RESISTANT, WATER-CLEANABLE, TILE-SETTING AND -GROUTING EPOXY: ANSI F. STANDARD SANDED CEMENT GROUT: ANSI A118.6, COLOR AS INDICATED ON ARBY'S

G. STANDARD UNSANDED CEMENT GROUT: ANSI A118.6, COLOR AS INDICATED ON ARBY'S

H. POLYMER-MODIFIED TILE GROUT: ANSI A118.7, COLOR AS INDICATED ON ARBY'S "DÉCOR"

1. POLYMER TYPE: DRY, REDISPERSIBLE FORM, PREPACKAGED WITH OTHER DRY INGREDIENTS. 2. POLYMER TYPE: LIQUID-LATEX FORM FOR ADDITION TO PREPACKAGED DRY-GROUT MIX.

2.5 MISCELLANEOUS MATERIALS

A. ELASTOMERIC SEALANTS: ELASTOMERIC SEALANTS OF BASE POLYMER AND

CHARACTERISTICS INDICATED THAT COMPLY WITH APPLICABLE REQUIREMENTS IN DIVISION 07 SECTION "JOINT SEALANTS." TROWELABLE UNDERLAYMENTS AND PATCHING COMPOUNDS: LATEX-MODIFIED, PORTLAND CEMENT-BASED FORMULATION PROVIDED OR APPROVED BY MANUFACTURER OF TILE-SETTING MATERIALS.

METAL EDGE STRIPS: ANGLE OR L-SHAPE, WHITE ZINC ALLOY EXPOSED-EDGE MATERIAL. GROUT SEALER: MANUFACTURER'S STANDARD SILICONE PRODUCT FOR SEALING GROUT JOINTS THAT DOES NOT CHANGE COLOR OR APPEARANCE OF GROUT.

CONTAIN SOAP, WAX, OIL, OR SILICONE, THAT ARE INCOMPATIBLE WITH TILE-SETTING MATERIALS. B. FILL CRACKS, HOLES, AND DEPRESSIONS WITH TROWELABLE LEVELING AND PATCHING COMPOUND ACCORDING TO TILE-SETTING MATERIAL MANUFACTURER'S WRITTEN INSTRUCTIONS. REMOVE PROTRUSIONS, BUMPS, AND RIDGES BY SANDING OR GRINDING

REMOVE COATINGS, INCLUDING CURING COMPOUNDS AND OTHER SUBSTANCES THAT

D. BLENDING: FOR TILE EXHIBITING COLOR VARIATIONS, USE FACTORY BLENDED TILE OR BLEND TILES AT PROJECT SITE BEFORE INSTALLING. E. FIELD-APPLIED TEMPORARY PROTECTIVE COATING: WHERE INDICATED UNDER TILE TYPE OR NEEDED TO PREVENT GROUT FROM STAINING OR ADHERING TO EXPOSED TILE SURFACES, PRECOAT THEM WITH CONTINUOUS FILM OF TEMPORARY PROTECTIVE COATING, TAKING CARE

NOT TO COAT UNEXPOSED TILE SURFACES. 3.2 INSTALLATION, GENERAL

SCHEDULES.

PART 3 - EXECUTION

A. ANSI TILE INSTALLATION STANDARDS: COMPLY WITH PARTS OF ANSI A108 SERIES "SPECIFICATIONS FOR INSTALLATION OF CERAMIC TILE" THAT APPLY TO TYPES OF SETTING AND GROUTING MATERIALS AND TO METHODS INDICATED IN CERAMIC TILE INSTALLATION SCHEDULES. B. TCA INSTALLATION GUIDELINES: TCA'S "HANDBOOK FOR CERAMIC TILE INSTALLATION." COMPLY WITH TCA INSTALLATION METHODS INDICATED IN CERAMIC TILE INSTALLATION

EXTEND TILE WORK INTO RECESSES AND UNDER OR BEHIND EQUIPMENT AND FIXTURES TO FORM COMPLETE COVERING WITHOUT INTERRUPTIONS, UNLESS OTHERWISE INDICATED. TERMINATE WORK NEATLY AT OBSTRUCTIONS, EDGES, AND CORNERS WITHOUT DISRUPTING PATTERN OR JOINT ALIGNMENTS D. ACCURATELY FORM INTERSECTIONS AND RETURNS. PERFORM CUTTING AND DRILLING OF TILE WITHOUT MARRING VISIBLE SURFACES. GRIND CUT EDGES OF TILE ABUTTING TRIM, FINISH,

OR BUILT-IN ITEMS. FIT TILE CLOSELY TO ELECTRICAL OUTLETS, PIPING, FIXTURES, AND OTHER

PENETRATIONS SO PLATES, COLLARS, OR COVERS OVERLAP TILE. E. JOINTING PATTERN: LAY TILE IN GRID PATTERN, AS INDICATED. ALIGN JOINTS WHEN ADJOINING TILES ON FLOOR, BASE, WALLS, AND TRIM ARE SAME SIZE. LAY OUT TILE WORK AND CENTER TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA. ADJUST TO MINIMIZE TILE CUTTING. PROVIDE UNIFORM JOINT WIDTHS, UNLESS OTHERWISE INDICATED. F. LAY OUT TILE WAINSCOTS TO NEXT FULL TILE BEYOND DIMENSIONS INDICATED.

DURING INSTALLATION OF SETTING MATERIALS, MORTAR BEDS, AND TILE. DO NOT SAW-CUT JOINTS AFTER INSTALLING TILES. LOCATE JOINTS IN TILE SURFACES DIRECTLY ABOVE JOINTS IN CONCRETE SUBSTRATES. PREPARE JOINTS AND APPLY SEALANTS TO COMPLY WITH REQUIREMENTS IN DIVISION

G. EXPANSION JOINTS: LOCATE EXPANSION JOINTS AND OTHER SEALANT-FILLED JOINTS

GROUT TILE TO COMPLY WITH REQUIREMENTS OF ANSI A108.10, UNLESS OTHERWISE 1. FOR CHEMICAL-RESISTANT EPOXY GROUTS, COMPLy WITH ANSI A108.6.

07 SECTION "JOINT SEALANTS."

SECTION 095113 - ACOUSTICAL PANEL CEILINGS

PART 1 - GENERAL

A. THIS SECTION INCLUDES ACOUSTICAL PANELS AND EXPOSED SUSPENSION SYSTEMS FOR

1.2 SUBMITTALS

A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. B. SAMPLES: FOR EACH EXPOSED FINISH.

1.3 QUALITY ASSURANCE

1. SURFACE-BURNING CHARACTERISTICS: ACOUSTICAL PANELS COMPLYING WITH ASTM E 1264 FOR CLASS A MATERIALS, WHEN TESTED PER ASTM E 84.

a. SMOKE-DEVELOPED INDEX: 450 OR LESS. C. SEISMIC STANDARD: COMPLY WITH THE FOLLOWING: 1. STANDARD FOR CEILING SUSPENSION SYSTEMS REQUIRING SEISMIC RESTRAINT:

COMPLY WITH ASTM E 580. CISCA'S RECOMMENDATIONS FOR ACOUSTICAL CEILINGS: COMPLY WITH CISCA'S "RECOMMENDATIONS FOR DIRECT-HUNG ACOUSTICAL TILE AND LAY-IN PANEL

3. CISCA'S GUIDELINES FOR SYSTEMS REQUIRING SEISMIC RESTRAINT: COMPLY WITH CISCA'S "GUIDELINES FOR SEISMIC RESTRAINT OF DIRECT-HUNG SUSPENDED CEILING ASSEMBLIES--SEISMIC ZONES 3 & 4." 4. ASCE 7, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES": SECTION 9,

D. PREINSTALLATION CONFERENCE: CONDUCT CONFERENCE AT PROJECT SITE AT A DATE AND TIME TO BE ESTABLISHED.

1.4 EXTRA MATERIALS

A. FURNISH EXTRA MATERIALS DESCRIBED BELOW THAT MATCH PRODUCTS INSTALLED AND THAT ARE PACKAGED WITH PROTECTIVE COVERING FOR STORAGE AND IDENTIFIED WITH

1. ACOUSTICAL CEILING PANELS: FULL-SIZE PANELS EQUAL TO 2.0 PERCENT OF QUANTITY 2. SUSPENSION SYSTEM COMPONENTS: QUANTITY OF EACH EXPOSED COMPONENT

EQUAL TO 2.0 PERCENT OF QUANTITY INSTALLED. PART 2 - PRODUCTS

LABELS DESCRIBING CONTENTS.

CEILINGS--SEISMIC ZONES 0-2."

"EARTHQUAKE LOADS."

2.1 ACOUSTICAL PANEL CEILINGS, GENERAL A. ACOUSTICAL PANEL STANDARD: COMPLY WITH ASTM E 1264.

METAL SUSPENSION SYSTEM STANDARD: COMPLY WITH ASTM C 635. C. ATTACHMENT DEVICES: SIZE FOR FIVE TIMES THE DESIGN LOAD INDICATED IN ASTM C 35, TABLE 1, "DIRECT HUNG," UNLESS OTHERWISE INDICATED. COMPLY WITH SEISMIC DESIGN

1. SIZE: SELECT WIRE DIAMETER SO ITS STRESS AT 3 TIMES HANGER DESIGN LOAD (ASTIVI

C 635, TABLE 1, "DIRECT HUNG") WILL BE LESS THAN YIELD STRESS OF WIRE, BUT

FINISH, AND COLOR AS THAT USED FOR EXPOSED FLANGES OF SUSPENSION SYSTEM

D. WIRE HANGERS, BRACES, AND TIES: ZINC-COATED CARBON-STEEL WIRE; ASTM A 641/A 641M, CLASS 1 ZINC COATING, SOFT TEMPER.

PROVIDE NOT LESS THAN 0.106-INCH- (2.69-MM-) DIAMETER WIRE. E. SEISMIC PERIMETER STABILIZER BARS, SEISMIC STRUTS, AND SEISMIC CLIPS WHERE F. METAL EDGE MOLDINGS AND TRIM: TYPE AND PROFILE INDICATED OR, IF NOT INDICATE MANUFACTURER'S STANDARD MOLDINGS FOR EDGES AND PENETRATIONS THAT COMPLY

2. USG INTERIORS, INC.

2.2 ACOUSTICAL PANELS FOR ACOUSTICAL PANEL CEILING A. PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE ONE OF THE

B. BASIS-OF-DESIGN PRODUCT: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVID : THE PRODUCT INDICATED ON DRAWINGS:

2.3 METAL SUSPENSION SYSTEM FOR ACOUSTICAL PANEL CEILING

ARMSTRONG WORLD INDUSTRIES, INC

A. PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE ONE OF THE

FOLLOWING: ARMSTRONG WORLD INDUSTRIES, INC.; PRELUDE XL 15/16 INCH EXPOSED TEE.

PART 3 - EXECUTION

3.1 INSTALLATION

A. COMPLY WITH ASTM C 636 AND SEISMIC DESIGN REQUIREMENTS INDICATED, PER

B. MEASURE EACH CEILING AREA AND ESTABLISH LAYOUT OF ACOUSTICAL PANELS TO BALANCE BORDER WIDTHS AT OPPOSITE EDGES OF EACH CEILING. AVOID USING LESS-THAN-HALF-WIDTH PANELS AT BORDERS. SUSPEND CEILING HANGERS FROM BUILDING'S STRUCTURAL MEMBERS, PLUMB AND FR. FROM CONTACT WITH INSULATION OR OTHER OBJECTS WITHIN CEILING PLENUM. SPLAY HANGERS ONLY WHERE REQUIRED AND, IF PERMITTED WITH FIRE-RESISTANCE-RATED CEILINGS, TO MISS OBSTRUCTIONS; OFFSET RESULTING HORIZONTAL FORCES BY BRACII G, COUNTERSPLAYING, OR OTHER EQUALLY EFFECTIVE MEANS. WHERE WIDTH OF DUCTS A... OTHER CONSTRUCTION WITHIN CEILING PLENUM PRODUCES HANGER SPACINGS THAT INTERFERE WITH LOCATION OF HANGERS, USE TRAPEZES OR EQUIVALENT DEVICES. WHEN STEEL FRAMING DOES NOT PERMIT INSTALLATION OF HANGER WIRES AT SPACING

REQUIRED, INSTALL CARRYING CHANNELS OR OTHER SUPPLEMENTAL SUPPORT FOR

E. INSTALL SUSPENSION SYSTEM RUNNERS SO THEY ARE SQUARE AND SECURELY INTERLO

WITH ONE ANOTHER. REMOVE AND REPLACE DENTED, BENT, OR KINKED MEMBERS.

SUSPENSION SYSTEM RUNNERS AND EDGE MOLDINGS. SCRIBE AND CUT PANELS AT

F. INSTALL ACOUSTICAL PANELS WITH UNDAMAGED EDGES AND FIT ACCURATELY INTO

MANUFACTURER'S WRITTEN INSTRUCTIONS AND CISCA'S "CEILING SYSTEMS HANDBOOK."

ATTACHMENT OF HANGER WIRES. INSTALL EDGE MOLDINGS AND TRIM OF TYPE INDICATED AT PERIMETER OF ACOUSTICAL CEILING AREA AND WHERE NECESSARY TO CONCEAL EDGES OF ACOUSTICAL PANELS. SCREW ATTACH MOLDINGS TO SUBSTRATE AT INTERVALS NOT MORE THAN 16 INCHES (400 MM) O.C. AND NOT MORE THAN 3 INCHES (75 MM) FROM ENDS, LEVELING WITH CEILING SUSPENSION SYSTEM TO A TOLERANCE OF 1/8 INCH IN 12 FEET (3.2 MM IN 3.6 M). MITER CORNERS ACCURATELY AND CONNECT SECURELY.

BORDERS AND PENETRATIONS TO PROVIDE A NEAT, PRECISE FIT. SECTION 096816 - SHEET CARPETING

PART 1 - GENERAL

1.1 SUMMARY A. THIS SECTION INCLUDES WOVEN CARPET

WITH SEISMIC DESIGN REQUIREMENTS; FORMED FROM SHEET METAL OF SAME MATER AL

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INAL REVIEW OCT 29, 2020

REVISION

SHEET

SPECIFICATIONS

 SEAM LOCATIONS 2. PATTERN TYPE, REPEAT, LOCATION, DIRECTION, AND STARTING POINT.

3. PILE DIRECTION. INSETS AND BORDERS. 5. TRANSITION, AND OTHER ACCESSORY STRIPS.

6. TRANSITION DETAILS TO OTHER FLOORING MATERIALS. 1.3 QUALITY ASSURANCE

A. INSTALLER QUALIFICATIONS: A SPECIFIED INSTALLER WHO IS CERTIFIED BY THE FLOOR COVERING INSTALLATION BOARD OR WHO CAN DEMONSTRATE COMPLIANCE WITH ITS CERTIFICATION PROGRAM REQUIREMENTS.

1.4 DELIVERY, STORAGE, AND HANDLING

A. COMPLY WITH CRI 104, SECTION 5, "STORAGE AND HANDLING."

A. GENERAL: COMPLY WITH CRI 104, SECTION 7.2, "SITE CONDITIONS; TEMPERATURE AND HUMIDITY" AND SECTION 7.12, "VENTILATION."

B. ENVIRONMENTAL LIMITATIONS: DO NOT INSTALL CARPET UNTIL WET WORK IN SPACES IS COMPLETE AND DRY, AND AMBIENT TEMPERATURE AND HUMIDITY CONDITIONS ARE MAINTAINED AT THE LEVELS INDICATED FOR PROJECT WHEN OCCUPIED FOR ITS INTENDED USE. C. DO NOT INSTALL CARPET OVER CONCRETE SLABS UNTIL SLABS HAVE CURED AND ARE SUFFICIENTLY DRY TO BOND WITH ADHESIVE AND CONCRETE SLABS HAVE PH RANGE RECOMMENDED BY MANUFACTURER.

D. WHERE PARTITIONS OR OTHER ITEMS ARE INDICATED FOR INSTALLATION ON TOP OF CARPET, INSTALL CARPET BEFORE INSTALLING THESE ITEMS.

A. SPECIAL WARRANTY FOR CARPET: MANUFACTURER'S STANDARD FORM IN WHICH MANUFACTURER AGREES TO REPLACE CARPET THAT DOES NOT COMPLY WITH REQUIREMENTS OR THAT FAILS WITHIN TEN (10) YEARS FROM DATE OF SUBSTANTIAL COMPLETION. WARRANTY DOES NOT INCLUDE DETERIORATION OR FAILURE OF CARPET FROM UNUSUAL TRAFFIC, FAILURE OF SUBSTRATE, VANDALISM, OR ABUSE. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, MORE THAN 10 PERCENT LOSS OF FACE FIBER, EDGE REAVELING, SNAGS, RUNS, AND DELAMINATION.

PART 2 - PRODUCTS

2.1 CARPET

A. PRODUCT: AS INDICATED ON DÉCOR DRAWINGS.

1. COLOR AND PATTERN: AS INDICATED ON DÉCOR DRAWINGS.

PART 3 - EXECUTION

3.1 INSTALLATION

COMPLY WITH CRI 104, SECTION 8, "DIRECT GLUE-DOWN.".

 MAINTAIN UNIFORMITY OF CARPET DIRECTION AND LAY OF PILE. AT DOORWAYS, CENTER SEAMS UNDER DOOR IN CLOSED POSITION. BIND OR SEAL CUT EDGES AS RECOMMENDED BY CARPET MANUFACTURER.

C. INSTALL PATTERN PARALLEL TO WALLS AND BORDERS.

SECTION 097200 - WALL COVERINGS

PART 1 - GENERAL

SECTION INCLUDES: VINYL WALL COVERING.

B. OWNER-FURNISHED MATERIALS: AS INDICATED ON ARBY'S "DÉCOR" DRAWINGS.

1.2 SUBMITTALS

PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. SHOP DRAWINGS: SHOW LOCATION AND EXTENT OF EACH WALL-COVERING TYPE

SAMPLES: FOR EACH TYPE OF WALLCOVERING, AND FOR EACH COLOR, TEXTURE, AND

D. MAINTENANCE DATA: FOR WALL COVERINGS TO INCLUDE IN MAINTENANCE MANUALS.

1.3 QUALITY ASSURANCE

A. FIRE-TEST-RESPONSE CHARACTERISTICS: AS DETERMINED BY TESTING IDENTICAL WALL COVERINGS APPLIED WITH IDENTICAL ADHESIVES TO SUBSTRATES ACCORDING TO TEST METHOD INDICATED BELOW BY A QUALIFIED TESTING AGENCY. IDENTIFY PRODUCTS WITH APPROPRIATE

MARKINGS OF APPLICABLE TESTING AGENCY. 1. SURFACE-BURNING CHARACTERISTICS: AS FOLLOWS, PER ASTM E 84: a. FLAME-SPREAD INDEX: 25 OR LESS.

b. SMOKE-DEVELOPED INDEX: 450 OR LESS.

FIRE-GROWTH CONTRIBUTION: TEXTILE WALL COVERINGS TESTED ACCORDING TO NFPA 265 AND COMPLYING WITH TEST PROTOCOL AND CRITERIA IN THE 2003 IBC.

1.4 EXTRA MATERIALS

A. FURNISH EXTRA MATERIALS THAT MATCH PRODUCTS INSTALLED AND THAT ARE PACKAGED WITH PROTECTIVE COVERING FOR STORAGE AND IDENTIFIED WITH LABELS DESCRIBING CONTENTS.

WALL-COVERING MATERIALS: FOR EACH TYPE, FULL-SIZE UNITS EQUAL TO 5 PERCENT OF AMOUNT INSTALLED.

PART 2 - PRODUCTS

2.1 WALL COVERINGS

A. GENERAL: PROVIDE ROLLS OF EACH TYPE OF WALL COVERING FROM SAME PRINT RUN OR DYE LOT.

2.2 VINYL WALL COVERING

A. VINYL WALL-COVERING STANDARDS: PROVIDE MILDEW-RESISTANT PRODUCTS COMPLYING WITH THE FOLLOWING:

PRODUCTS: AS INDICATED ON DÉCOR DRAWINGS. 2. FS CCC-W-408D AND CFFA-W-101-D FOR TYPE II, MEDIUM-DUTY PRODUCTS.

3. ASTM F 793 FOR STRIPPABLE WALL COVERINGS THAT QUALIFY AS CATEGORY V, TYPE II, COMMERCIAL SERVICEABILITY PRODUCT.

A. ADHESIVE: MILDEW-RESISTANT, NONSTAINING, STRIPPABLE ADHESIVE, FOR USE WITH SPECIFIC WALL COVERING AND SUBSTRATE APPLICATION; AS RECOMMENDED IN WRITING BY WALL-COVERING MANUFACTURER.

PRIMER/SEALER: MILDEW RESISTANT, COMPLYING WITH REQUIREMENTS IN DIVISION 09 SECTION "INTERIOR PAINTING" AND RECOMMENDED IN WRITING BY WALL-COVERING MANUFACTURER FOR INTENDED SUBSTRATE.

SEAM TAPE: AS RECOMMENDED IN WRITING BY WALL-COVERING MANUFACTURER.

PART 3 - EXECUTION

3.1 INSTALLATION

A. CLEAN SUBSTRATES OF SUBSTANCES THAT COULD IMPAIR BOND OF WALL COVERING, INCLUDING DIRT, OIL, GREASE, MOLD, MILDEW, AND INCOMPATIBLE PRIMERS. PREPARE SUBSTRATES TO ACHIEVE A SMOOTH, DRY, CLEAN, STRUCTURALLY SOUND SURFACE

FREE OF FLAKING, UNSOUND COATINGS, CRACKS, AND DEFECTS. 1. MOISTURE CONTENT: MAXIMUM OF 5 PERCENT ON NEW PLASTER, CONCRETE, AND CONCRETE MASONRY UNITS WHEN TESTED WITH AN ELECTRONIC MOISTURE METER. 2. GYPSUM BOARD: PRIME WITH PRIMER AS RECOMMENDED IN WRITING BY

PRIMER/SEALER MANUFACTURER AND WALL-COVERING MANUFACTURER. 3. PAINTED SURFACES: TREAT AREAS SUSCEPTIBLE TO PIGMENT BLEEDING. REMOVE HARDWARE AND HARDWARE ACCESSORIES, ELECTRICAL PLATES AND COVERS,

LIGHT FIXTURE TRIMS, AND SIMILAR ITEMS. ACCLIMATIZE WALL-COVERING MATERIALS BY REMOVING THEM FROM PACKAGING IN THE INSTALLATION AREAS NOT LESS THAN 24 HOURS BEFORE INSTALLATION. INSTALL WALL LINER, WITH NO GAPS OR OVERLAPS, WHERE REQUIRED BY WALL-COVERING

MANUFACTURER. FORM SMOOTH WRINKLE-FREE SURFACE FOR FINISHED INSTALLATION. DO NOT BEGIN WALL-COVERING INSTALLATION UNTIL WALL LINER HAS DRIED. CUT WALL-COVERING STRIPS IN ROLL NUMBER SEQUENCE. CHANGE ROLL NUMBERS AT

PARTITION BREAKS AND CORNERS. INSTALL STRIPS IN SAME ORDER AS CUT FROM ROLL.

INSTALL WALL COVERING WITH NO GAPS OR OVERLAPS, NO LIFTED OR CURLING EDGES, AND NO VISIBLE SHRINKAGE.

MATCH PATTERN 72 INCHES (1830 MM) ABOVE THE FINISH FLOOR. INSTALL SEAMS VERTICAL AND PLUMB AT LEAST 6 INCHES (150 MM) FROM OUTSIDE CORNERS AND 3 INCHES FROM INSIDE CORNERS UNLESS A CHANGE OF PATTERN OR COLOR EXISTS AT CORNER. NO HORIZONTAL SEAMS ARE PERMITTED.

FULLY BOND WALL COVERING TO SUBSTRATE. REMOVE AIR BUBBLES, WRINKLES, BLISTERS,

TRIM EDGES AND SEAMS FOR COLOR UNIFORMITY, PATTERN MATCH, AND TIGHT CLOSURE. BUTT SEAMS WITHOUT ANY OVERLAY OR SPACING BETWEEN STRIPS. REMOVE EXCESS ADHESIVE AT FINISHED SEAMS, PERIMETER EDGES, AND ADJACENT

REINSTALL HARDWARE AND HARDWARE ACCESSORIES, ELECTRICAL PLATES AND COVERS, LIGHT FIXTURE TRIMS, AND SIMILAR ITEMS.

SECTION 099113 - EXTERIOR PAINTING

PART 1 - GENERAL

A. THIS SECTION INCLUDES SURFACE PREPARATION AND THE APPLICATION OF PAINT SYSTEMS ON THE FOLLOWING EXTERIOR SUBSTRATES: 1.CONCRETE.

2.CLAY MASONRY

3. CONCRETE MASONRY UNITS (CMU).

GALVANIZED METAL.

6. ALUMINUM (NOT ANODIZED OR OTHERWISE COATED).

8. PLASTIC TRIM FABRICATIONS. EXTERIOR PORTLAND CEMENT (STUCCO).

SUBMITTALS

A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. B. SAMPLES: FOR EACH FINISH AND FOR EACH COLOR AND TEXTURE REQUIRED.

1.3 QUALITY ASSURANCE

MPI STANDARDS:

1. PRODUCTS: COMPLYING WITH MPI STANDARDS INDICATED AND LISTED IN "MPI APPROVED PRODUCTS LIST.'

2. PREPARATION AND WORKMANSHIP: COMPLY WITH REQUIREMENTS IN "MPI ARCHITECTURAL PAINTING SPECIFICATION MANUAL" FOR PRODUCTS AND PAINT SYSTEMS INDICATED.

1.4 EXTRA MATERIALS

A. FURNISH EXTRA MATERIALS DESCRIBED BELOW THAT ARE FROM SAME PRODUCTION RUN (BATCH MIX) AS MATERIALS APPLIED AND THAT ARE PACKAGED FOR STORAGE AND IDENTIFIED WITH LABELS DESCRIBING CONTENTS.

1. QUANTITY: FURNISH AN ADDITIONAL 5 PERCENT, BUT NOT LESS THAN 1 GAL. (3.8 L)

OF EACH MATERIAL AND COLOR APPLIED.

PART 2 - PRODUCTS

2.1 PAINT, GENERAL

A. MATERIAL COMPATIBILITY:

1. PROVIDE MATERIALS FOR USE WITHIN EACH PAINT SYSTEM THAT ARE COMPATIBLE WITH ONE ANOTHER AND SUBSTRATES INDICATED, UNDER CONDITIONS OF SERVICE AND APPLICATION AS DEMONSTRATED BY MANUFACTURER, BASED ON

TESTING AND FIELD EXPERIENCE.

2. FOR EACH COAT IN A PAINT SYSTEM, PROVIDE PRODUCTS RECOMMENDED IN WRITING BY MANUFACTURERS OF TOPCOAT FOR USE IN PAINT SYSTEM AND ON SUBSTRATE INDICATED.

COLORS: AS INDICATED IN THE DRAWINGS.

BLOCK FILLERS

A. INTERIOR/EXTERIOR LATEX BLOCK FILLER: MPI #4. PRIMERS/SEALERS

A. ALKALI-RESISTANT PRIMER: MPI #3. B. BONDING PRIMER (WATER BASED): MPI #17. C. BONDING PRIMER (SOLVENT BASED): MPI #69.

METAL PRIMERS

ALKYD ANTICORROSIVE METAL PRIMER: MPI #79. B. QUICK-DRYING ALKYD METAL PRIMER: MPI #76. CEMENTITIOUS GALVANIZED-METAL PRIMER: MPI #26.

WATERBORNE GALVANIZED-METAL PRIMER: MPI #134.

QUICK-DRYING PRIMER FOR ALUMINUM: MPI #95.

WOOD PRIMERS

A. EXTERIOR LATEX WOOD PRIMER: MPI #6. EXTERIOR ALKYD WOOD PRIMER: MPI #5. EXTERIOR OIL WOOD PRIMER: MPI #7.

EXTERIOR LATEX PAINTS

A. EXTERIOR LATEX (FLAT): MPI #10 (GLOSS LEVEL 1). B. EXTERIOR LATEX (SEMIGLOSS): MPI #11 (GLOSS LEVEL 5).

EXTERIOR LATEX (GLOSS): MPI #119 (GLOSS LEVEL 6, EXCEPT MINIMUM GLOSS OF 65 UNITS

2.7 EXTERIOR ALKYD PAINTS

A. EXTERIOR ALKYD ENAMEL (FLAT): MPI #8 (GLOSS LEVEL 1). B. EXTERIOR ALKYD ENAMEL (SEMIGLOSS): MPI #94 (GLOSS LEVEL 5).

C. EXTERIOR ALKYD ENAMEL (GLOSS): MPI #9 (GLOSS LEVEL 6).

ALUMINUM PAINT

A. ALUMINUM PAINT: MPI #1.

PART 3 - EXECUTION

3.1 EXAMINATION

A. EXAMINE SUBSTRATES AND CONDITIONS, WITH APPLICATOR PRESENT, FOR COMPLIANCE WITH REQUIREMENTS FOR MAXIMUM MOISTURE CONTENT AND OTHER CONDITIONS AFFECTING PERFORMANCE OF WORK.

B. MAXIMUM MOISTURE CONTENT OF SUBSTRATES: WHEN MEASURED WITH AN ELECTRONIC MOISTURE METER AS FOLLOWS: 1.CONCRETE: 12 PERCENT.

2.MASONRY (CLAY AND CMU): 12 PERCENT.

WOOD: 15 PERCENT.

4. PLASTER: 12 PERCENT C. VERIFY SUITABILITY OF SUBSTRATES, INCLUDING SURFACE CONDITIONS AND COMPATIBILITY WITH EXISTING FINISHES AND PRIMERS. D. BEGIN COATING APPLICATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN

CORRECTED AND SURFACES ARE DRY. 1.BEGINNING COATING APPLICATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SUBSTRATES AND CONDITIONS.

3.2 PREPARATION AND APPLICATION

A.COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS IN "MPI ARCHITECTURAL PAINTING SPECIFICATION MANUAL" APPLICABLE TO SUBSTRATES AND PAINT SYSTEMS INDICATED.

CLEAN SUBSTRATES OF SUBSTANCES THAT COULD IMPAIR BOND OF PAINTS, INCLUDING DIRT, OIL, GREASE, AND INCOMPATIBLE PAINTS AND ENCAPSULANTS. 1. REMOVE INCOMPATIBLE PRIMERS AND REPRIME SUBSTRATE WITH COMPATIBLE

PRIMERS AS REQUIRED TO PRODUCE PAINT SYSTEMS INDICATED. C.APPLY PAINTS TO PRODUCE SURFACE FILMS WITHOUT CLOUDINESS, SPOTTING, HOLIDAYS, LAPS, BRUSH MARKS, ROLLER TRACKING, RUNS, SAGS, ROPINESS, OR OTHER SURFACE IMPERFECTIONS. CUT IN SHARP LINES AND COLOR BREAKS.

PROTECT WORK OF OTHER TRADES AGAINST DAMAGE FROM PAINT APPLICATION. CORRECT DAMAGE TO WORK OF OTHER TRADES BY CLEANING, REPAIRING, REPLACING, AND REFINISHING, AS APPROVED BY ARCHITECT, AND LEAVE IN AN UNDAMAGED CONDITION.

AT COMPLETION OF CONSTRUCTION ACTIVITIES OF OTHER TRADES, TOUCH UP AND RESTORE DAMAGED OR DEFACED PAINTED SURFACES.

EXTERIOR PAINTING SCHEDULE - REFER TO ELEVATIONS SHEET

A. CONCRETE SUBSTRATES, NONTRAFFIC SURFACES: 1. LATEX SYSTEM: MPI EXT 3.1A.

a.PRIME COAT: EXTERIOR LATEX MATCHING TOPCOAT. b.INTERMEDIATE COAT: EXTERIOR LATEX MATCHING TOPCOAT. c.TOPCOAT: EXTERIOR LATEX (FLAT).

2. LATEX OVER ALKALI-RESISTANT PRIMER SYSTEM: MPI EXT 3.1K. a.PRIME COAT: ALKALI-RESISTANT PRIMER. b.INTERMEDIATE COAT: EXTERIOR LATEX MATCHING TOPCOAT.

c.TOPCOAT: EXTERIOR LATEX (FLAT). B. CONCRETE SUBSTRATES, TRAFFIC SURFACES:

1. LATEX FLOOR PAINT SYSTEM: MPI EXT 3.2A. a.PRIME COAT: INTERIOR/EXTERIOR LATEX FLOOR AND PORCH PAINT (LOW

b.INTERMEDIATE COAT: INTERIOR/EXTERIOR LATEX FLOOR AND PORCH PAINT

c.TOPCOAT: INTERIOR/EXTERIOR LATEX FLOOR AND PORCH PAINT (LOW GLOSS). 2. ALKYD FLOOR ENAMEL SYSTEM: MPI EXT 3.2D. a.PRIME COAT: EXTERIOR/INTERIOR ALKYD FLOOR ENAMEL (GLOSS). b.INTERMEDIATE COAT: EXTERIOR/INTERIOR ALKYD FLOOR ENAMEL (GLOSS).

c.TOPCOAT: EXTERIOR/INTERIOR ALKYD FLOOR ENAMEL (GLOSS).

C. CLAY-MASONRY SUBSTRATES: 1. LATEX SYSTEM: MPI EXT 4.1A. a.PRIME COAT: EXTERIOR LATEX MATCHING TOPCOAT. b.INTERMEDIATE COAT: EXTERIOR LATEX MATCHING TOPCOAT.

c.TOPCOAT: EXTERIOR LATEX [(FLAT)] [(SEMIGLOSS)] [(GLOSS)]. D. CMU SUBSTRATES: 1. LATEX SYSTEM: MPI EXT 4.2A. a.PRIME COAT: INTERIOR/EXTERIOR LATEX BLOCK FILLER.

b.INTERMEDIATE COAT: EXTERIOR LATEX MATCHING TOPCOAT. c.TOPCOAT: EXTERIOR LATEX [(FLAT)] [(SEMIGLOSS)] [(GLOSS)]. 2. LATEX OVER ALKALI-RESISTANT PRIMER SYSTEM: MPI EXT 4.2L. a.PRIME COAT: ALKALI-RESISTANT PRIMER. b.INTERMEDIATE COAT: EXTERIOR LATEX MATCHING TOPCOAT.

c.TOPCOAT: EXTERIOR LATEX [(FLAT)] [(SEMIGLOSS)] [(GLOSS)]. STEEL SUBSTRATES:

1. ALKYD SYSTEM: MPI EXT 5.1D. a.PRIME COAT: ALKYD ANTICORROSIVE METAL PRIMER. b.INTERMEDIATE COAT: EXTERIOR ALKYD ENAMEL MATCHING TOPCOAT. c.TOPCOAT: EXTERIOR ALKYD ENAMEL [(FLAT)] [(SEMIGLOSS)] [(GLOSS)].

F. GALVANIZED-METAL SUBSTRATES: ALKYD SYSTEM: MPI EXT 5.3B. a.PRIME COAT: CEMENTITIOUS GALVANIZED-METAL PRIMER. b.INTERMEDIATE COAT: EXTERIOR ALKYD ENAMEL MATCHING TOPCOAT.

c.TOPCOAT: EXTERIOR ALKYD ENAMEL [(FLAT)] [(SEMIGLOSS)] [(GLOSS)]. G. ALUMINUM SUBSTRATES: ALKYD SYSTEM: MPI EXT 5.4F. a.PRIME COAT: QUICK-DRYING PRIMER FOR ALUMINUM.

b.INTERMEDIATE COAT: EXTERIOR ALKYD ENAMEL MATCHING TOPCOAT. c.TOPCOAT: EXTERIOR ALKYD ENAMEL [(FLAT)] [(SEMIGLOSS)] [(GLOSS)]. DIMENSION LUMBER SUBSTRATES, NONTRAFFIC SURFACES: INCLUDING FENCING.

1. ALKYD SYSTEM: MPI EXT 6.2C. a.PRIME COAT: EXTERIOR ALKYD WOOD PRIMER. b.INTERMEDIATE COAT: EXTERIOR ALKYD ENAMEL MATCHING TOPCOAT.

c.TOPCOAT: EXTERIOR ALKYD ENAMEL (FLAT). PLASTIC TRIM FABRICATION SUBSTRATES: 1. LATEX SYSTEM: MPI EXT 6.8A.

a.PRIME COAT: BONDING PRIMER (WATER BASED). **b.INTERMEDIATE COAT: EXTERIOR LATEX MATCHING TOPCOAT.** c.TOPCOAT: EXTERIOR LATEX (FLAT). 2. ALKYD SYSTEM: MPI EXT 6.8B.

a.PRIME COAT: BONDING PRIMER (SOLVENT BASED).

c.TOPCOAT: EXTERIOR ALKYD ENAMEL (FLAT).

b.INTERMEDIATE COAT: EXTERIOR ALKYD ENAMEL MATCHING TOPCOAT.

J. STUCCO SUBSTRATES:

1. LATEX SYSTEM: MPI EXT 9.1A.

a.PRIME COAT: EXTERIOR LATEX MATCHING TOPCOAT.

b.INTERMEDIATE COAT: EXTERIOR LATEX MATCHING TOPCOAT. c. TOPCOAT: EXTERIOR LATEX (FLAT). 2. LATEX OVER ALKALI-RESISTANT PRIMER SYSTEM: MPI EXT 9.1J.

a.PRIME COAT: ALKALI-RESISTANT PRIMER. b.INTERMEDIATE COAT: EXTERIOR LATEX MATCHING TOPCOAT.

c.TOPCOAT: EXTERIOR LATEX (FLAT).

SECTION 099123 - INTERIOR PAINTING

1.1 SUMMARY

A. THIS SECTION INCLUDES SURFACE PREPARATION AND THE APPLICATION OF PAINT SYSTEMS ON THE FOLLOWING INTERIOR SUBSTRATES:

 STEEL. 2. GALVANIZED METAL.

SPRAY-TEXTURED CEILINGS.

APPROVED PRODUCTS LIST."

EACH MATERIAL AND COLOR APPLIED.

3. ALUMINUM (NOT ANODIZED OR OTHERWISE COATED). GYPSUM BOARD.

1.2 SUBMITTALS

PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. SAMPLES: FOR EACH FINISH AND FOR EACH COLOR AND TEXTURE REQUIRED.

1.3 QUALITY ASSURANCE

1. PRODUCTS: COMPLYING WITH MPI STANDARDS INDICATED AND LISTED IN "MPI

2. PREPARATION AND WORKMANSHIP: COMPLY WITH REQUIREMENTS IN "MPI ARCHITECTURAL PAINTING SPECIFICATION MANUAL" FOR PRODUCTS AND PAINT SYSTEMS INDICATED.

1.4 EXTRA MATERIALS

A. FURNISH EXTRA MATERIALS DESCRIBED BELOW THAT ARE FROM SAME PRODUCTION RUN (BATCH MIX) AS MATERIALS APPLIED AND THAT ARE PACKAGED FOR STORAGE AND IDENTIFIED WITH LABELS DESCRIBING CONTENTS.

1. QUANTITY: FURNISH AN ADDITIONAL 5 PERCENT, BUT NOT LESS THAN 1 GAL. (3.8 L) OF

PART 2 - PRODUCTS

A. MATERIAL COMPATIBILITY: 1. PROVIDE MATERIALS FOR USE WITHIN EACH PAINT SYSTEM THAT ARE COMPATIBLE WITH ONE ANOTHER AND SUBSTRATES INDICATED, UNDER CONDITIONS OF SERVICE AND

2. FOR EACH COAT IN A PAINT SYSTEM, PROVIDE PRODUCTS RECOMMENDED IN WRITING BY MANUFACTURERS OF TOPCOAT FOR USE IN PAINT SYSTEM AND ON SUBSTRATE VOC CONTENT OF FIELD-APPLIED INTERIOR PAINTS AND COATINGS: PROVIDE PRODUCTS

APPLICATION AS DEMONSTRATED BY MANUFACTURER, BASED ON TESTING AND FIELD

THAT COMPLY WITH THE FOLLOWING LIMITS FOR VOC CONTENT, EXCLUSIVE OF COLORANTS ADDED TO A TINT BASE, WHEN CALCULATED ACCORDING TO 40 CFR 59, SUBPART D (EPA METHOD 24); THESE REQUIREMENTS DO NOT APPLY TO PAINTS AND COATINGS THAT ARE APPLIED IN A FABRICATION OR FINISHING SHOP: 1. FLAT PAINTS, COATINGS, AND PRIMERS: VOC CONTENT OF NOT MORE THAN 50 G/L.

2. NONFLAT PAINTS, COATINGS, AND PRIMERS: VOC CONTENT OF NOT MORE THAN 150 3. ANTI-CORROSIVE AND ANTI-RUST PAINTS APPLIED TO FERROUS METALS: VOC NOT MORE

THAN 250 G/L. 4. FLOOR COATINGS: VOC NOT MORE THAN 100 G/L. 5. SHELLACS, CLEAR: VOC NOT MORE THAN 730 G/L

SHELLACS, PIGMENTED: VOC NOT MORE THAN 550 G/L 7. FLAT TOPCOAT PAINTS: VOC CONTENT OF NOT MORE THAN 50 G/L. 8. NONFLAT TOPCOAT PAINTS: VOC CONTENT OF NOT MORE THAN 150 G/L.

9. ANTI-CORROSIVE AND ANTI-RUST PAINTS APPLIED TO FERROUS METALS: VOC NOT MORE THAN 250 G/L. 10. FLOOR COATINGS: VOC NOT MORE THAN 100 G/L. 11. SHELLACS, CLEAR: VOC NOT MORE THAN 730 G/L.

12. SHELLACS, PIGMENTED: VOC NOT MORE THAN 550 G/L

13. PRIMERS, SEALERS, AND UNDERCOATERS: VOC CONTENT OF NOT MORE THAN 200 G/L. 14. DRY-FOG COATINGS: VOC CONTENT OF NOT MORE THAN 400 G/L. 15. ZINC-RICH INDUSTRIAL MAINTENANCE PRIMERS: VOC CONTENT OF NOT MORE THAN

16. PRE-TREATMENT WASH PRIMERS: VOC CONTENT OF NOT MORE THAN 420 G/L.

CHEMICAL COMPONENTS OF FIELD-APPLIED INTERIOR PAINTS AND COATINGS: PROVIDE TOPCOAT PAINTS AND ANTI-CORROSIVE AND ANTI-RUST PAINTS APPLIED TO FERROUS METALS THAT COMPLY WITH THE FOLLOWING CHEMICAL RESTRICTIONS; THESE REQUIREMENTS DO NOT APPLY TO PAINTS AND COATINGS THAT ARE APPLIED IN A **FABRICATION OR FINISHING SHOP:** 1. AROMATIC COMPOUNDS: PAINTS AND COATINGS SHALL NOT CONTAIN MORE THAN 1.0

PERCENT BY WEIGHT OF TOTAL AROMATIC COMPOUNDS (HYDROCARBON COMPOUNDS CONTAINING ONE OR MORE BENZENE RINGS). 2. RESTRICTED COMPONENTS: PAINTS AND COATINGS SHALL NOT CONTAIN ANY OF THE

FOLLOWING: a. ACROLEIN.

b. ACRYLONITRILE ANTIMONY d. BENZENE. e. BUTYL BENZYL PHTHALATE.

g. DI (2-ETHYLHEXYL) PHTHALATE. h. DI-N-BUTYL PHTHALATE. i. DI-N-OCTYL PHTHALATE

f. CADMIUM.

1,2-DICHLOROBENZENE k. DIETHYL PHTHALATE. I. DIMETHYL PHTHALATE.

m. ETHYLBENZENE.

n. FORMALDEHYDE. o. HEXAVALENT CHROMIUM. p. ISOPHORONE. q. LEAD.

r. MERCURY. s. METHYL ETHYL KETONE. METHYL ISOBUTYL KETONE. u. METHYLENE CHLORIDE.

v. NAPHTHALENE.

w. TOLUENE (METHYLBENZENE). x. 1,1,1-TRICHLOROETHANE. v. VINYL CHLORIDE.

COLORS: AS INDICATED ON THE DRAWINGS.

2.2 BLOCK FILLERS

A. INTERIOR/EXTERIOR LATEX BLOCK FILLER: MPI #4.

2.3 PRIMERS/SEALERS

A. INTERIOR LATEX PRIMER/SEALER: MPI #50.

B. INTERIOR ALKYD PRIMER/SEALER: MPI #45. C. WOOD-KNOT SEALER: SEALER RECOMMENDED IN WRITING BY TOPCOAT MANUFACTURER FOR USE IN PAINT SYSTEMS INDICATED.

2.4 METAL PRIMERS

A. ALKYD ANTICORROSIVE METAL PRIMER: MPI #79.

B. QUICK-DRYING ALKYD METAL PRIMER: MPI #76. RUST-INHIBITIVE PRIMER (WATER BASED): MPI #107. CEMENTITIOUS GALVANIZED-METAL PRIMER: MPI #26. WATERBORNE GALVANIZED-METAL PRIMER: MPI #134.

G. QUICK-DRYING PRIMER FOR ALUMINUM: MPI #95.

F. VINYL WASH PRIMER: MPI #80.

2.5 WOOD PRIMERS A. INTERIOR LATEX-BASED WOOD PRIMER: MPI #39.

2.6 LATEX PAINTS

A. INTERIOR LATEX (FLAT): MPI #53 (GLOSS LEVEL 1).

B. INTERIOR LATEX (LOW SHEEN): MPI #44 (GLOSS LEVEL 2). C. INTERIOR LATEX (EGGSHELL): MPI #52 (GLOSS LEVEL 3).

D. INTERIOR LATEX (SATIN): MPI #43 (GLOSS LEVEL 4). E. INTERIOR LATEX (SEMIGLOSS): MPI #54 (GLOSS LEVEL 5). F. INTERIOR LATEX (GLOSS): MPI #114 (GLOSS LEVEL 6, EXCEPT MINIMUM GLOSS OF 65 UNITS

G. HIGH-PERFORMANCE ARCHITECTURAL LATEX (LOW SHEEN): MPI #138 (GLOSS LEVEL 2).

HIGH-PERFORMANCE ARCHITECTURAL LATEX (EGGSHELL): MPI #139 (GLOSS LEVEL 3). HIGH-PERFORMANCE ARCHITECTURAL LATEX (SATIN): MPI #140 (GLOSS LEVEL 4). HIGH-PERFORMANCE ARCHITECTURAL LATEX (SEMIGLOSS): MPI #141 (GLOSS LEVEL 5).

K. EXTERIOR LATEX (FLAT): MPI #10 (GLOSS LEVEL 1). L. EXTERIOR LATEX (SEMIGLOSS): MPI #11 (GLOSS LEVEL 5). M. EXTERIOR LATEX (GLOSS): MPI #119 (GLOSS LEVEL 6, EXCEPT MINIMUM GLOSS OF 65 UNITS

A. INTERIOR ALKYD (FLAT): MPI #49 (GLOSS LEVEL 1).

2.7 ALKYD PAINTS

AT 60 DEG).

D. INTERIOR ALKYD (GLOSS): MPI #48 (GLOSS LEVEL 6). 2.8 QUICK-DRYING ENAMELS

B. INTERIOR ALKYD (EGGSHELL): MPI #51 (GLOSS LEVEL 3).

C. INTERIOR ALKYD (SEMIGLOSS): MPI #47 (GLOSS LEVEL 5).

A. QUICK-DRYING ENAMEL (SEMIGLOSS): MPI #81 (GLOSS LEVEL 5).

B. QUICK-DRYING ENAMEL (HIGH GLOSS): MPI #96 (GLOSS LEVEL 7).

A. LATEX STUCCO AND MASONRY TEXTURED COATING: MPI #42.

2.9 TEXTURED COATING

2.10 ALUMINUM PAINT

A. ALUMINUM PAINT: MPI #1.

PART 3 - EXECUTION

3.1 EXAMINATION A. EXAMINE SUBSTRATES AND CONDITIONS, WITH APPLICATOR PRESENT, FOR COMPLIANCE WITH REQUIREMENTS FOR MAXIMUM MOISTURE CONTENT AND OTHER CONDITIONS

AFFECTING PERFORMANCE OF WORK. B. MAXIMUM MOISTURE CONTENT OF SUBSTRATES: WHEN MEASURED WITH AN ELECTRONIC MOISTURE METER AS FOLLOWS: WOOD: 15 PERCENT.

VERIFY SUITABILITY OF SUBSTRATES, INCLUDING SURFACE CONDITIONS AND COMPATIE ILIT (WITH EXISTING FINISHES AND PRIMERS. D. BEGIN COATING APPLICATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED AND SURFACES ARE DRY.

1. BEGINNING COATING APPLICATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SUBSTRATES AND CONDITIONS.

2. GYPSUM BOARD: 12 PERCENT

3.2 PREPARATION AND APPLICATION A. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS N "MPI ARCHITECTURAL PAINTING SPECIFICATION MANUAL" APPLICABLE TO SUBSTRATES

B. CLEAN SUBSTRATES OF SUBSTANCES THAT COULD IMPAIR BOND OF PAINTS, INCLUDING DIRT, OIL, GREASE, AND INCOMPATIBLE PAINTS AND ENCAPSULANTS 1. REMOVE INCOMPATIBLE PRIMERS AND REPRIME SUBSTRATE WITH COMPATIBLE PRIMERS AS REQUIRED TO PRODUCE PAINT SYSTEMS INDICATED. APPLY PAINTS TO PRODUCE SURFACE FILMS WITHOUT CLOUDINESS. SPOTTING. HOLIDAYS.

LAPS, BRUSH MARKS, ROLLER TRACKING, RUNS, SAGS, ROPINESS, OR OTHER SURFACE IMPERFECTIONS. CUT IN SHARP LINES AND COLOR BREAKS. D. PAINTING MECHANICAL AND ELECTRICAL WORK: PAINT ITEMS EXPOSED IN EQUIPMENT

ROOMS AND OCCUPIED SPACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: MECHANICAL WORK a. UNINSULATED METAL PIPING.

FOR FIELD PAINTING.

FOR FIFI D PAINTING

 b. UNINSULATED PLASTIC PIPING. c. PIPE HANGERS AND SUPPORTS. d. TANKS THAT DO NOT HAVE FACTORY-APPLIED FINAL FINISHES. e. VISIBLE PORTIONS OF INTERNAL SURFACES OF METAL DUCTS, WITHOUT LINER,

BEHIND AIR INLETS AND OUTLETS. f. DUCT, EQUIPMENT, AND PIPE INSULATION HAVING COTTON OR CANVAS INSULATION COVERING OR OTHER PAINTABLE JACKET MATERIAL. g. MECHANICAL EQUIPMENT THAT IS INDICATED TO HAVE A FACTORY-PRIMED FIN SH

2. ELECTRICAL WORK: a. SWITCHGEAR. b. PANELBOARDS. c. ELECTRICAL EQUIPMENT THAT IS INDICATED TO HAVE A FACTORY-PRIMED FINIS H

E. PROTECT WORK OF OTHER TRADES AGAINST DAMAGE FROM PAINT APPLICATION. CORDECT DAMAGE TO WORK OF OTHER TRADES BY CLEANING, REPAIRING, REPLACING, AND REFINISHING, AS APPROVED BY ARCHITECT, AND LEAVE IN AN UNDAMAGED CONDITION.

F. AT COMPLETION OF CONSTRUCTION ACTIVITIES OF OTHER TRADES, TOUCH UP AND RESTORS DAMAGED OR DEFACED PAINTED SURFACES.

SHEET

REVISION

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PROJECT NUMBER: 2005 INAL REVIEW OCT 29, 2020

SPECIFICATIONS

2.1 PLASTIC-LAMINATE UNITS

A. AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY THE FOLLOWING: BOBRICK WASHROOM EQUIPMENT, INC.

PLASTIC LAMINATE: NEMA LD 3, HGS, 0.048-INCH (1.2-MM) NOMINAL THICKNESS. .. COLOR AND PATTERN: AS INDICATED ON THE DRAWINGS.

DOOR, PANEL, AND PILASTER CONSTRUCTION: PLASTIC-LAMINATE FACING SHEETS ARE PRESSURE LAMINATED TO CORE MATERIAL WITHOUT SPLICES OR JOINTS IN FACINGS OR CORES. LAMINATE IS APPLIED TO EDGES BEFORE BROAD SURFACES TO SEAL EDGES AND PREVENT LAMINATE FROM BEING PRIED LOOSE. EXPOSED CORE MATERIAL IS SEALED AT CUTOUTS TO PROTECT CORE FROM MOISTURE.

1. CORE MATERIAL: ANSI A208.1, GRADE M-2 PARTICLEBOARD WITH 45-LB (20.4-KG)

2. DOORS AND PANELS: FINISHED TO NOT LESS THAN 1 INCH (25 MM) THICK. 3. PILASTERS: PROVIDE CONSTRUCTION TO COMPLY WITH ONE OF THE FOLLOWING: a. FINISHED TO NOT LESS THAN 1-1/4 INCHES (32 MM) THICK AND WITH INTERNAL,

b. FINISHED TO NOT LESS THAN 1 INCH (25 MM) THICK AND WITH INTERNAL, 0.1196-INCH- (3.0-MM-) THICK STEEL-SHEET REINFORCEMENT.

PILASTER SHOES AND SLEEVES (CAPS): STAINLESS STEEL, ASTM A 666, TYPE 302 OR 304.

BRACKETS (FITTINGS):

0.1196-INCH- (3.0-MM-) THICK STEEL-SHEET REINFORCEMENT.

1. STIRRUP TYPE: EAR OR U-BRACKETS, STAINLESS STEEL.

2.2 ACCESSORIES

A. HARDWARE AND ACCESSORIES: MANUFACTURER'S STANDARD DESIGN, HEAVY-DUTY OPERATING HARDWARE AND ACCESSORIES. MATERIAL: STAINLESS STEEL.

OVERHEAD BRACING: MANUFACTURER'S STANDARD CONTINUOUS, EXTRUDED-ALUMINUM HEAD RAIL WITH ANTIGRIP PROFILE AND IN MANUFACTURER'S STANDARD FINISH.

ANCHORAGES AND FASTENERS: MANUFACTURER'S STANDARD EXPOSED FASTENERS OF STAINLESS STEEL FINISHED TO MATCH HARDWARE, WITH THEFT-RESISTANT-TYPE HEADS. PROVIDE SEX-TYPE BOLTS FOR THROUGH-BOLT APPLICATIONS. FOR CONCEALED ANCHORS,

USE HOT-DIP GALVANIZED OR OTHER RUST-RESISTANT, PROTECTIVE-COATED STEEL

2.3 FABRICATION

OVERHEAD-BRACED UNITS: PROVIDE MANUFACTURER'S STANDARD CORROSION-RESISTANT SUPPORTS, LEVELING MECHANISM, FASTENERS, AND ANCHORS AT PILASTERS TO SUIT FLOOR CONDITIONS. MAKE PROVISIONS FOR SETTING AND SECURING CONTINUOUS HEAD RAIL AT TOP OF EACH PILASTER. PROVIDE SHOES AT PILASTERS TO CONCEAL SUPPORTS AND

DOORS: UNLESS OTHERWISE INDICATED, PROVIDE 24-INCH- (610-MM-) WIDE IN-SWINGING DOORS FOR STANDARD TOILET COMPARTMENTS AND 36-INCH- (914-MM-) WIDE OUT-SWINGING DOORS WITH A MINIMUM 32-INCH- (813-MM-) WIDE CLEAR OPENING FOR

1. HINGES: MANUFACTURER'S STANDARD SELF-CLOSING TYPE THAT CAN BE ADJUSTED TO HOLD DOORS OPEN AT ANY ANGLE UP TO 90 DEGREES. 2. LATCH AND KEEPER: MANUFACTURER'S STANDARD SURFACE-MOUNTED LATCH UNIT DESIGNED FOR EMERGENCY ACCESS AND WITH COMBINATION RUBBER-FACED DOOR STRIKE AND KEEPER. PROVIDE UNITS THAT COMPLY WITH ACCESSIBILITY REQUIREMENTS

OF AUTHORITIES HAVING JURISDICTION AT COMPARTMENTS INDICATED TO BE ACCESSIBLE TO PEOPLE WITH DISABILITIES.

3. COAT HOOK: MANUFACTURER'S STANDARD COMBINATION HOOK AND RUBBER-TIPPED BUMPER, SIZED TO PREVENT DOOR FROM HITTING COMPARTMENT-MOUNTED **ACCESSORIES**

4. DOOR BUMPER: MANUFACTURER'S STANDARD RUBBER-TIPPED BUMPER AT OUT-SWINGING DOORS.

COMPARTMENTS INDICATED TO BE ACCESSIBLE TO PEOPLE WITH DISABILITIES.

5. DOOR PULL: MANUFACTURER'S STANDARD UNIT AT OUT-SWINGING DOORS THAT COMPLIES WITH ACCESSIBILITY REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. PROVIDE UNITS ON BOTH SIDES OF DOORS AT COMPARTMENTS INDICATED TO BE ACCESSIBLE TO PEOPLE WITH DISABILITIES.

PART 3 - EXECUTION

3.1 INSTALLATION

GENERAL: COMPLY WITH MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. INSTALL UNITS RIGID, STRAIGHT, LEVEL, AND PLUMB. SECURE UNITS IN POSITION WITH MANUFACTURER'S RECOMMENDED ANCHORING DEVICES. MAXIMUM CLEARANCES:

a. PILASTERS AND PANELS: 1/2 INCH (13 MM). b. PANELS AND WALLS: 1 INCH (25 MM).

2. STIRRUP BRACKETS: SECURE PANELS TO WALLS AND TO PILASTERS WITH NOT LESS THAN THREE BRACKETS ATTACHED AT MIDPOINT AND NEAR TOP AND BOTTOM OF PANEL. a. LOCATE WALL BRACKETS SO HOLES FOR WALL ANCHORS OCCUR IN MASONRY OR

b. ALIGN BRACKETS AT PILASTERS WITH BRACKETS AT WALLS.

HARDWARE ADJUSTMENT: ADJUST AND LUBRICATE HARDWARE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS FOR PROPER OPERATION. SET HINGES ON IN-SWINGING DOORS TO HOLD DOORS OPEN APPROXIMATELY 30 DEGREES FROM CLOSED POSITION WHEN UNLATCHED. SET HINGES ON OUT-SWINGING DOORS TO RETURN DOORS TO FULLY CLOSED POSITION.

SECTION 102800 - TOILET, BATH, AND LAUNDRY ACCESSORIES

PART 1 - GENERAL

1.1 SUMMARY

THIS SECTION INCLUDES THE FOLLOWING:

 PUBLIC-USE WASHROOM ACCESSORIES. B. OWNER-FURNISHED MATERIAL: AS INDICATED ON THE DRAWINGS.

1.2 SUBMITTALS

PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED.

1. IDENTIFY LOCATIONS USING ROOM DESIGNATIONS INDICATED ON DRAWINGS. 2. IDENTIFY PRODUCTS USING DESIGNATIONS INDICATED ON DRAWINGS.

PART 2 - PRODUCTS

2.1 PUBLIC-USE WASHROOM ACCESSORIES

MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY THE FOLLOWING:

1. BOBRICK WASHROOM EQUIPMENT, INC. B. TOILET TISSUE (ROLL) DISPENSER AS INDICATED ON THE DRAWINGS.

C. PAPER TOWEL (FOLDED) DISPENSER AS FURNISHED BY THE OWNER. WASTE RECEPTACLE AS FURNISHED BY THE OWNER.

GRAB BARS AS INDICATED ON THE DRAWINGS.

SANITARY-NAPKIN DISPOSAL UNIT AS INDICATED ON THE DRAWINGS.

MIRROR UNIT AS INDICATED ON THE DRAWINGS.

2.2 FABRICATION

A. KEYS: PROVIDE UNIVERSAL KEYS FOR INTERNAL ACCESS TO ACCESSORIES FOR SERVICING AND RESUPPLYING. PROVIDE MINIMUM OF SIX KEYS TO OWNER'S REPRESENTATIVE.

PART 3 - EXECUTION

3.1 INSTALLATION INSTALL ACCESSORIES ACCORDING TO MANUFACTURERS' WRITTEN INSTRUCTIONS, USING FASTENERS APPROPRIATE TO SUBSTRATE INDICATED AND RECOMMENDED BY UNIT MANUFACTURER. INSTALL UNITS LEVEL, PLUMB, AND FIRMLY ANCHORED IN LOCATIONS

SECTION 104416 - FIRE EXTINGUISHERS

AND AT HEIGHTS INDICATED.

PART 1 - GENERAL

1.1 SUMMARY

SECTION INCLUDES PORTABLE, HAND-CARRIED FIRE EXTINGUISHERS AND MOUNTING BRACKETS FOR FIRE EXTINGUISHERS.

1.2 SUBMITTALS

PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. OPERATION AND MAINTENANCE DATA.

WARRANTY: SAMPLE OF SPECIAL WARRANTY.

1.3 QUALITY ASSURANCE

NFPA COMPLIANCE: FABRICATE AND LABEL FIRE EXTINGUISHERS TO COMPLY WITH NFPA 10, "PORTABLE FIRE EXTINGUISHERS."

FIRE EXTINGUISHERS: LISTED AND LABELED FOR TYPE, RATING, AND CLASSIFICATION BY AN INDEPENDENT TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

SPECIAL WARRANTY: MANUFACTURER'S STANDARD FORM IN WHICH MANUFACTURER AGREES TO REPAIR OR REPLACE FIRE EXTINGUISHERS THAT FAIL IN MATERIALS OR WORKMANSHIP WITHIN SPECIFIED WARRANTY PERIOD.

1. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: a. FAILURE OF HYDROSTATIC TEST ACCORDING TO NFPA 10. b. FAULTY OPERATION OF VALVES OR RELEASE LEVERS.

2. WARRANTY PERIOD: SIX YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

PART 2 - PRODUCTS

2.1 PORTABLE, HAND-CARRIED FIRE EXTINGUISHERS

A. FIRE EXTINGUISHERS: TYPE, SIZE, AND CAPACITY FOR EACH WITH MOUNTING BRACKET 1. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING, AVAILABLE MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE, BUT ARE NOT

LIMITED TO, THE FOLLOWING

a. ANSUL INCORPORATED; TYCO INTERNATIONAL LTD. b. J. L. INDUSTRIES, INC.; A DIVISION OF ACTIVAR CONSTRUCTION PRODUCTS GROUP. c. KIDDE RESIDENTIAL AND COMMERCIAL DIVISION; SUBSIDIARY OF KIDDE PLC. d. LARSEN'S MANUFACTURING COMPANY.

2. INSTRUCTION LABELS: INCLUDE PICTORIAL MARKING SYSTEM COMPLYING WITH NFPA

MULTIPURPOSE DRY-CHEMICAL TYPE 4-A: 60-B:C, 10 LB., 4.5 KG. UL-RATED NOMINAL CAPACITY, WITH MONOAMMONIUM PHOSPHATE-BASED DRY CHEMICAL IN MANUFACTURER'S STANDARD ENAMELED CONTAINER.

2.2 MOUNTING BRACKETS

A. MOUNTING BRACKETS: MANUFACTURER'S STANDARD GALVANIZED STEEL, DESIGNED TO SECURE FIRE EXTINGUISHER TO WALL OR STRUCTURE, OF SIZES REQUIRED FOR TYPES AND CAPACITIES OF FIRE EXTINGUISHERS INDICATED, WITH PLATED OR RED BAKED-ENAMEL

B. IDENTIFICATION: LETTERING COMPLYING WITH AUTHORITIES HAVING JURISDICTION FOR LETTER STYLE, SIZE, SPACING, AND LOCATION. LOCATE AS INDICATED ON THE DRAWINGS. 1. IDENTIFY BRACKET-MOUNTED FIRE EXTINGUISHERS WITH THE WORDS "FIRE EXTINGUISHER" IN RED LETTER DECALS APPLIED TO MOUNTING SURFACE. a. ORIENTATION: VERTICAL.

PART 3 - EXECUTION

3.1 INSTALLATION

EXAMINE FIRE EXTINGUISHERS FOR PROPER CHARGING AND TAGGING.

1. REMOVE AND REPLACE DAMAGED, DEFECTIVE, OR UNDERCHARGED FIRE EXTINGUISHERS. B. INSTALL FIRE EXTINGUISHERS AND MOUNTING BRACKETS IN LOCATIONS INDICATED AND IN

COMPLIANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. 1. MOUNTING BRACKETS: 54 INCHES (1372 MM) ABOVE FINISHED FLOOR TO TOP OF FIRE EXTINGUISHER, OR AT HEIGHTS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. MOUNTING BRACKETS: FASTEN MOUNTING BRACKETS TO SURFACES, SQUARE AND PLUMB,

AT LOCATIONS INDICATED.

SECTION 114000 - FOODSERVICE EQUIPMENT

PART 1 - GENERAL

A. THIS SECTION INCLUDES EQUIPMENT FOR FOODSERVICE AND RELATED EQUIPMENT INDICATED ON THE DRAWINGS.

1.2 SUBMITTALS

A. COORDINATION DRAWINGS: FOR FOODSERVICE FACILITIES. INDICATE LOCATIONS OF FOODSERVICE EQUIPMENT AND CONNECTIONS TO UTILITIES.

. KEY EQUIPMENT USING SAME DESIGNATIONS AS INDICATED ON DRAWINGS. 3. INCLUDE PLANS AND ELEVATIONS; CLEARANCE REQUIREMENTS FOR EQUIPMENT ACCESS

AND MAINTENANCE; DETAILS OF SUPPORT FOR EQUIPMENT; AND UTILITY SERVICE CHARACTERISTICS.

1.3 QUALITY ASSURANCE

A. NSF STANDARDS: EQUIPMENT SHALL BEAR NSF CERTIFICATION MARK OR UL CLASSIFICATION MARK CERTIFYING COMPLIANCE WITH APPLICABLE NSF/ANSI STANDARDS.

UL CERTIFICATION: PROVIDE ELECTRIC AND FUEL-BURNING EQUIPMENT AND COMPONENTS THAT ARE EVALUATED BY UL FOR FIRE, ELECTRIC SHOCK, AND CASUALTY HAZARDS ACCORDING TO APPLICABLE SAFETY STANDARDS AND THAT ARE UL CERTIFIED FOR

COMPLIANCE AND LABELED FOR INTENDED USE. REGULATORY REQUIREMENTS: INSTALL EQUIPMENT TO COMPLY WITH THE FOLLOWING: ASHRAE 15, "SAFETY CODE FOR MECHANICAL REFRIGERATION." NFPA 54, "NATIONAL FUEL GAS CODE."

3. NFPA 70. "NATIONAL ELECTRICAL CODE." 4. NFPA 96, "VENTILATION CONTROL AND FIRE PROTECTION OF COMMERCIAL COOKING OPERATIONS."

PREINSTALLATION CONFERENCE: CONDUCT CONFERENCE AT PROJECT SITE AT A DATE AND TIME TO BE ESTABLISHED.

1.4 PROJECT CONDITIONS

 COORDINATE FOODSERVICE EQUIPMENT LAYOUT AND INSTALLATION WITH OTHER WORK, INCLUDING LIGHTING FIXTURES, HVAC EQUIPMENT, FIRE-SUPPRESSION SYSTEM COMPONENTS, AND UTILITY SERVICE CONNECTIONS.

PART 2 - PRODUCTS

2.1 DESCRIPTION OF WORK

A. OWNER FURNISHED EQUIPMENT IS INDICATED ON DRAWINGS AND INCLUDES THE FOLLOWING:

1. KITCHEN PREPARATION EQUIPMENT. 2. KITCHEN SERVING EQUIPMENT.

3. WALK-IN COOLER AND FREEZER.

4. EXHAUST HOOD. 5. STORAGE SHELVING.

6. MISCELLANEOUS KITCHEN EQUIPMENT.

B. A SEPARATE CONTRACT WILL BE ISSUED BY THE OWNER FOR INSTALLATION OF THE DRIVE-THRU ORDER SYSTEM. CONTRACTOR IS ONLY TO INSTALL BURIED SENSOR LOOP IN PAVEMENT.

PROTECTION FROM EXPOSURE TO WEATHER AND CONTINUING CONSTRUCTION.

B. A SEPARATE CONTRACT WILL BE ISSUED BY THE OWNER FOR INSTALLATION OF EXTERIOR SIGNAGE INCLUDING: ARBY'S POLE SIGN WITH NECESSARY FOUNDATION. DRIVE-THRU MENU BOARD AND DIRECTIONAL SIGNS WITH NECESSARY FOUNDATION.

3. ARBY'S BUILDING SIGN.

4. VEHICLE DETECTOR LOOP

. CASH REGISTERS WITH CASE DRAWERS.

PRINTER.

CABLE ASSEMBLIES.

4. VIDEO MONITORS.

2.2 PRODUCT HANDLING:

PROCESSOR.

A. UPON DELIVERY OF THE EQUIPMENT, UNLOAD AND STORE UNTIL INSTALLATION. PROVIDE

2.3 MISCELLANEOUS MATERIALS

A. INSTALLATION ACCESSORIES, GENERAL: NSF CERTIFIED FOR END-USE APPLICATION

B. ELASTOMERIC JOINT SEALANT: ASTM C 920; TYPE S (SINGLE COMPONENT), GRADE NS (NONSAG), CLASS 25, USE NT (NONTRAFFIC) RELATED TO EXPOSURE, AND USE M, G, A, OR O AS APPLICABLE TO JOINT SUBSTRATES INDICATED.

1. PUBLIC HEALTH AND SAFETY REQUIREMENTS: a. SEALANT IS CERTIFIED FOR COMPLIANCE WITH NSF STANDARDS FOR END-USE APPLICATION INDICATED.

b. WASHED AND CURED SEALANT COMPLIES WITH THE FDA'S REGULATIONS FOR USE IN AREAS THAT COME IN CONTACT WITH FOOD

2. CYLINDRICAL SEALANT BACKING: ASTM C 1330, TYPE C, CLOSED-CELL POLYETHYLENE, IN DIAMETER LARGER THAN JOINT WIDTH.

PART 3 - EXECUTION

3.1 INSTALLATION

A. INSTALL FOODSERVICE EQUIPMENT LEVEL AND PLUMB, ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

1. CONNECT EQUIPMENT TO UTILITIES.

2. PROVIDE CUTOUTS IN EQUIPMENT, NEATLY FORMED, WHERE REQUIRED TO RUN SERVICE LINES THROUGH EQUIPMENT TO MAKE FINAL CONNECTIONS. B. COMPLETE EQUIPMENT ASSEMBLY WHERE FIELD ASSEMBLY IS REQUIRED.

1. PROVIDE CLOSED BUTT AND CONTACT JOINTS THAT DO NOT REQUIRE A FILLER

MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND REQUIREMENTS OF

2. GRIND FIELD WELDS ON STAINLESS-STEEL EQUIPMENT SMOOTH, AND POLISH TO MATCH ADJACENT FINISH C. INSTALL EQUIPMENT WITH ACCESS AND MAINTENANCE CLEARANCES THAT COMPLY WITH

AUTHORITIES HAVING JURISDICTION. D. INSTALL CABINETS AND SIMILAR EQUIPMENT IN A BED OF SEALANT.

E. INSTALL CLOSURE-TRIM STRIPS AND SIMILAR ITEMS REQUIRING FASTENERS IN A BED OF

F. INSTALL JOINT SEALANT IN JOINTS BETWEEN EQUIPMENT AND ABUTTING SURFACES WITH CONTINUOUS JOINT BACKING, UNLESS OTHERWISE INDICATED. PRODUCE AIRTIGHT, WATERTIGHT, VERMIN-PROOF, SANITARY JOINTS.

3.2 CLEANING AND PROTECTING

A. AFTER COMPLETING INSTALLATION OF EQUIPMENT, REPAIR ANY DAMAGED FINISHES. B. CLEAN AND ADJUST EQUIPMENT AS REQUIRED TO PRODUCE READY-FOR-USE CONDITION C. PROTECT EQUIPMENT FROM DAMAGE DURING REMAINDER OF THE CONSTRUCTION PERIOD.

SECTION 124813 - ENTRANCE FLOOR MATS AND FRAMES

1.1 SUMMARY

A. THIS SECTION INCLUDES THE FOLLOWING:

 ENTRANCE MATS IN RECESSED FRAMES. 1.2 SUBMITTALS

A. PRODUCT DATA: FOR EACH TYPE OF FLOOR MAT AND FRAME. B. SHOP DRAWINGS: SHOW THE FOLLOWING: 1. ITEMS PENETRATING FLOOR MATS AND FRAMES.

2. DIVISIONS BETWEEN MAT SECTIONS. 3. PERIMETER FLOOR MOLDINGS. SAMPLES: FOR EACH FLOOR MAT, TREAD RAIL, AND FRAME MEMBER.

D. MAINTENANCE DATA.

1.3 QUALITY ASSURANCE A. ACCESSIBILITY REQUIREMENTS: PROVIDE INSTALLED FLOOR MATS THAT COMPLY WITH SECTION 4.5 IN THE U.S. ARCHITECTURAL & TRANSPORTATION BARRIERS COMPLIANCE BOARD'S "AMERICANS WITH DISABILITIES ACT (ADA), ACCESSIBILITY GUIDELINES FOR

BUILDINGS AND FACILITIES (ADAAG).", SECTIONS 302 AND 303 IN ICC A117.1.

2.1 ENTRANCE MATS A. MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY

THE FOLLOWING: 1. CONSTRUCTION SPECIALTIES B. CARPET-TYPE MATS: CARPET BONDED TO 1/8- TO 1/4-INCH- (3- TO 6-MM-) THICK, FLEXIBLE VINYL BACKING TO FORM MATS 3/8 OR 7/16 INCH (9.5 OR 11 MM) THICK WITH

NONRAVELING EDGES. 1. COLORS, TEXTURES, AND PATTERNS: AS INDICATED ON THE DRAWINGS.

2.2 FABRICATION

A. FLOOR MATS: SHOP FABRICATE UNITS TO GREATEST EXTENT POSSIBLE IN SIZES INDICALED UNLESS OTHERWISE INDICATED, PROVIDE SINGLE UNIT FOR EACH MAT INSTALLATION; NOT EXCEED MANUFACTURER'S RECOMMENDED MAXIMUM SIZES FOR UNITS THAT ARE REMOVED FOR MAINTENANCE AND CLEANING. WHERE JOINTS IN MATS ARE NECESSARY, SPACE SYMMETRICALLY AND AWAY FROM NORMAL TRAFFIC LANES. MITER CORNER JOINTS IN FRAMING ELEMENTS WITH HAIRLINE JOINTS OR PROVIDE PREFABRICATED CORNER UNITS WITHOUT JOINTS.

RECESSED FRAMES: AS INDICATED, FOR PERMANENT RECESSED INSTALLATION, COMPLETE WITH CORNER PINS OR REINFORCEMENT AND ANCHORAGE DEVICES. 1. FABRICATE EDGE-FRAME MEMBERS IN SINGLE LENGTHS OR, WHERE FRAME DIMEN JONS

EXCEED MAXIMUM AVAILABLE LENGTHS; PROVIDE MINIMUM NUMBER OF PIECES

POSSIBLE, WITH HAIRLINE JOINTS EQUALLY SPACED AND PIECES SPLICED TOGETHER 21/2 STRAIGHT CONNECTING PINS. C. COAT SURFACES OF ALUMINUM FRAMES THAT WILL CONTACT CEMENTITIOUS MATERIAL WITH MANUFACTURER'S STANDARD PROTECTIVE COATING.

PART 3 - EXECUTION

3.1 INSTALLATION

A. INSTALL RECESSED MAT FRAMES TO COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. SET MAT TOPS AT HEIGHT RECOMMENDED BY MANUFACTURER FOR M 25 EFFECTIVE CLEANING ACTION; COORDINATE TOP OF MAT SURFACES WITH BOTTOM OF DOORS THAT SWING ACROSS MATS TO PROVIDE CLEARANCE BETWEEN DOOR AND MAT.

3.2 PROTECTION

A. AFTER COMPLETING FRAME INSTALLATION AND CONCRETE WORK, PROVIDE TEMPORANCE FILLER OF PLYWOOD OR FIBERBOARD IN RECESSES AND COVER FRAMES WITH PLYWOOD PROTECTIVE FLOORING. MAINTAIN PROTECTION UNTIL CONSTRUCTION TRAFFIC HAS ENDF AND PROJECT IS NEAR SUBSTANTIAL COMPLETION.

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PROJECT NUMBER: 2005

FINAL REVIEW OCT 29, 2020 REVISION

SPECIFICATIONS

SHEET

c. TOPCOAT: ALUMINUM PAINT.

[(SATIN)] [(SEMIGLOSS)].

1. LATEX SYSTEM: MPI INT 6.3T.

3. ALKYD SYSTEM: MPI INT 6.3B.

[(SATIN)] [(SEMIGLOSS)].

[(SEMIGLOSS)] [(GLOSS)]

3. ALKYD SYSTEM: MPI INT 6.4B.

FIBERBOARD] [HARDBOARD]

LATEX SYSTEM: MPI INT 6.4R.

4. HIGH-PERFORMANCE ARCHITECTURAL LATEX SYSTEM: MPI INT 5.4F.

b. INTERMEDIATE COAT: HIGH-PERFORMANCE ARCHITECTURAL LATEX MATCHING

DRESSED LUMBER SUBSTRATES: INCLUDING ARCHITECTURAL WOODWORK, DOORS.

c. TOPCOAT: HIGH-PERFORMANCE ARCHITECTURAL LATEX [(LOW SHEEN)] [(EGGSHELL)]

a. PRIME COAT: QUICK-DRYING PRIMER FOR ALUMINUM.

a. PRIME COAT: INTERIOR LATEX-BASED WOOD PRIMER.

c. TOPCOAT: INTERIOR LATEX [(SEMIGLOSS)] [(GLOSS)].

c. TOPCOAT: INTERIOR LATEX [(SEMIGLOSS)] [(GLOSS)].

a. PRIME COAT: INTERIOR LATEX-BASED WOOD PRIMER.

a. PRIME COAT: INTERIOR LATEX-BASED WOOD PRIMER.

c. TOPCOAT: INTERIOR LATEX [(SEMIGLOSS)] [(GLOSS)].

2. LATEX OVER ALKYD PRIMER SYSTEM: MPI INT 6.4A.

a. PRIME COAT: INTERIOR ALKYD PRIMER/SEALER.

a. PRIME COAT: INTERIOR ALKYD PRIMER/SEALER.

b. INTERMEDIATE COAT: INTERIOR LATEX MATCHING TOPCOAT.

b. INTERMEDIATE COAT: INTERIOR LATEX MATCHING TOPCOAT.

INTERMEDIATE COAT: INTERIOR ALKYD MATCHING TOPCOAT.

c. TOPCOAT: INTERIOR LATEX [(FLAT)] [(LOW SHEEN)] [(EGGSHELL)] [(SATIN)]

c. TOPCOAT: INTERIOR ALKYD [(FLAT)] [(EGGSHELL)] [(SEMIGLOSS)] [(GLOSS)].

2. LATEX OVER ALKYD PRIMER SYSTEM: MPI INT 6.3U.

a. PRIME COAT: INTERIOR ALKYD PRIMER/SEALER.

a. PRIME COAT: INTERIOR ALKYD PRIMER/SEALER.

b. INTERMEDIATE COAT: INTERIOR LATEX MATCHING TOPCOAT.

b. INTERMEDIATE COAT: INTERIOR LATEX MATCHING TOPCOAT.

b. INTERMEDIATE COAT: INTERIOR ALKYD MATCHING TOPCOAT.

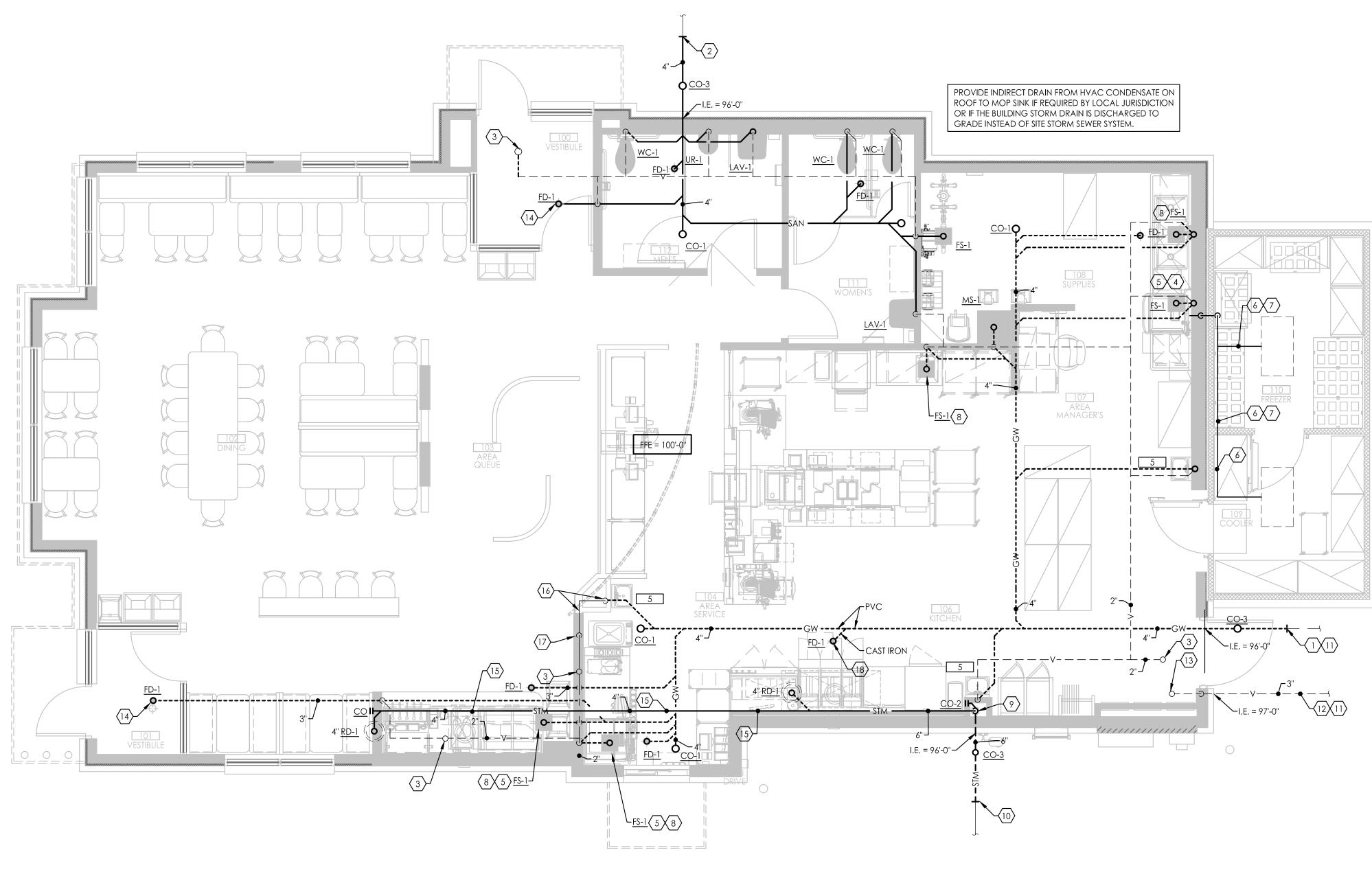
4. HIGH-PERFORMANCE ARCHITECTURAL LATEX SYSTEM: MPI INT 6.3A.

c. TOPCOAT: INTERIOR ALKYD [(EGGSHELL)] [(SEMIGLOSS)] [(GLOSS)].

WOOD PANEL SUBSTRATES: INCLUDING [PAINTED PLYWOOD] [MEDIUM-DENSITY

b. INTERMEDIATE COAT: HIGH-PERFORMANCE ARCHITECTURAL LATEX MATCHING

c. TOPCOAT: HIGH-PERFORMANCE ARCHITECTURAL LATEX [(LOW SHEEN)] [(EGGSHELL)]



WASTE AND VENT PLAN - PLUMBING

GENERAL NOTES:

- CONTRACTOR SHALL PROVIDE ALTERNATE BID FOR SURESEAL TRAP GUARD OR EQUIVALENT PRODUCT IN LIEU OF TRAP PRIMERS. CONTRACTOR SHALL VERIFY LOCAL CODE REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY EXACT CONTINUATION AND ROUTING OF SANITARY PIPING FOR A PROPER OPERATING SYSTEM. PLUMBING CONTRACTOR SHALL FIELD VERIFY INVERT ELEVATION PRIOR TO SANITARY LINE INSTALLATION AND NOTIFY ARCHITECT/ENGINEER WITH ANY DISCREPANCIES
- ALL SANITARY PIPING 2-1/2" AND SMALLER SHALL BE INSTALLED WITH A SLOPE OF 1/4" PER FOOT. ALL SANITARY PIPING 3" AND LARGER SHALL BE INSTALLED AT A SLOPE OF 1/8" PER FOOT. PROVIDE PROPER SLOPE FOR VENT PIPING TO DRAIN BACK TO DRAINAGE SYSTEM TO DRAIN ANY ACCUMULATIVE
- ALL UNDERGROUND GREASE WASTE PIPING UPSTREAM OF GREASE INTERCEPTOR SHALL BE INSTALLED WITH A SLOPE OF 1/4" PER FOOT.
- ALL UNDERGROUND GREASE WASTE PIPING TO BE PVC. CAST IRON PIPING SHALL BE USED FOR THE FLOOR DRAIN IN FRONT OF FRYER.
- ALL WASTE PIPING SHOWN IS LOCATED BELOW FINISHED FLOOR, U.N.O.
- G. ALL VENT PIPING SHOWN IS LOCATED ABOVE FINISHED CEILINGS AND INSIDE WALLS, U.N.O.
- H. ROOF OVERFLOW DRAINAGE IS BY SCUPPERS. REFER TO THE ARCHITECTURAL DRAWINGS.
- REFER TO STACK DIAGRAM AND SCHEDULES FOR COMPLETE PIPE SIZING INFORMATION.
- SMOKE ALL PLUMBING VENT PIPING PRIOR TO CLOSING WALL CAVITIES AND PRIOR TO TURN OVER.

CODED NOTES: (#)

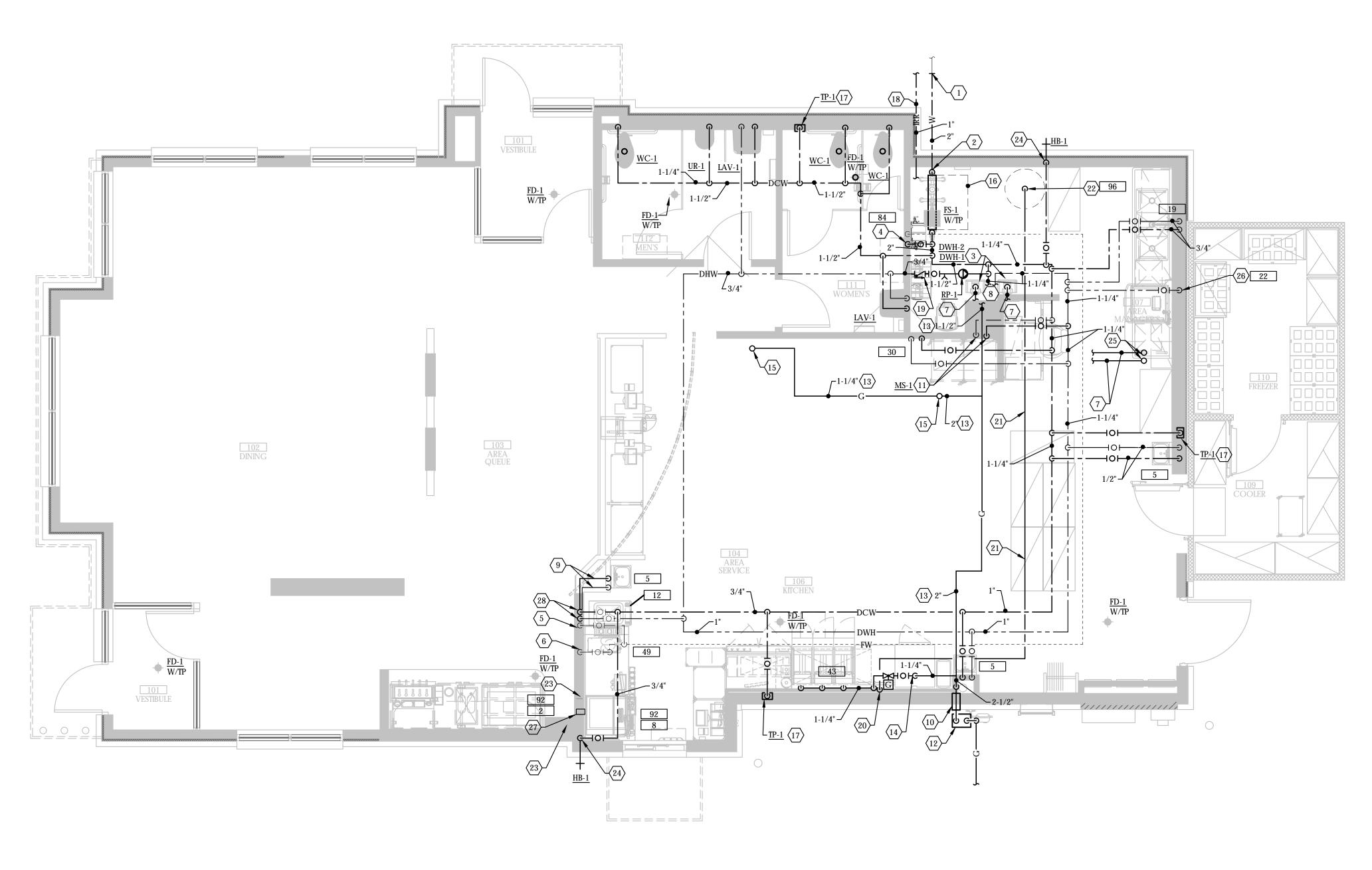
- CONNECT 4" GREASE WASTE PIPING TO SITE UTILITY CONTRACTOR PROVIDED SITE GREASE WASTE SEWER 5'-0" OUTSIDE BUILDING WALL. REFER TO CIVIL DRAWINGS FOR CONTINUATION. COORDINATE EXACT POINT-OF-CONNECTION WITH SITE UTILITY CONTRACTOR AND GENERAL TRADES CONTRACTOR.
- . CONNECT 4" SANITARY DRAINAGE PIPING TO SITE UTILITY CONTRACTOR PROVIDED SITE SANITARY SEWER 5'-0" OUTSIDE BUILDING WALL. REFER TO CIVIL DRAWINGS FOR CONTINUATION. COORDINATE EXACT POINT-OF-CONNCETION WITH SITE UTILITY CONTRACTOR AND GENERAL TRADES CONTRACTOR.
- PROVIDE 3" VTR. REFER TO DETAIL ON SHEET P4.2.
- PROVIDE 2" DRAINAGE PIPE FROM DISHWASHER (22) AND INDIRECT FULLSIZE TO FLOOR SINK WITH A MINIMUM 3" AIR GAP.
- PROVIDE DRAINAGE PIPING FROM ICE MACHINE AND BEVERAGE DISPENSER TO <u>FS-1</u> PER MANUFACTURER INSTRUCTIONS.
- 1" COPPER CONDENSATE DRAIN FROM COOLER/FREEZER EVAPORATOR. EXTEND TO FLOOR SINK. PROVIDE 3" AIR GAP. PROVIDE CORROSION RESISTANT "STAND-OFFS" TO ALLOW 1" CLEARANCE BETWEEN WALL AND PIPING. INSULATE PIPING WITH 3/4" THICK ELASTOMERIC INSULATION.
- WALK-IN COOLER VENDOR TO PROVIDE HEAT TRACING ON FREEZER DRAIN LINE. COORDINATE ELECTRICAL CONNECTION WITH ELECTRICAL CONTRACTOR.
- PROVIDE 3" (MIN.) AIR GAP AT INDIRECT CONNECTION (TYPICAL). CONTRACTOR SHALL VERIFY LOCAL CODE REQUIREMENTS.
- . EXTEND STORM PIPING DOWN IN WALL AND ROUTE BELOW SLAB. PROVIDE CLEANOUT AT 18" A.F.F.
- 0. CONNECT 6" STORM PIPING TO SITE UTILITY CONTRACTOR PROVIDED SITE STORM SEWER 5'-0" OUTSIDE BUILDING WALL. REFER TO CIVIL DRAWINGS FOR CONTINUATION BY SITE UTILITY CONTRACTOR. COORDINATE EXACT POINT-OF-CONNECTION WITH SITE UTILITY CONTRACTOR AND GENERAL TRADES CONTRACTOR.
- REFER TO CIVIL DRAWINGS FOR EXACT LOCATION OF GREASE INTERCEPTOR. INTERCEPTOR TO BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. REFER TO DETAIL ON SHEET P4.2.
- 12. PROVIDE 3" VENT FROM GREASE INTERCEPTOR INTO BUILDING BY PC.
- 13. PROVIDE 3" VENT RISER FROM GREASE INTERCEPTOR TO 3" VTR. REFER TO DETAIL ON SHEET P4.1.
- 14. PROVIDE FLOOR DRAIN UNDER ENTRY FLOOR MAT ONLY IF REQUIRED BY LOCAL CODE AUTHORITY HAVING JURISDICTION. VERIFY IF REQUIRED WITH OWNER'S CONSTRUCTION MANAGER.
- 15. PROVIDE 1/2" THICK ELASTOMETRIC INSULATION COVERED HORIZONTAL STORM PIPING IN TRUSS
- 16. PROVIDE VENT PIPING IN LOW WALL CAVITY.
- 7. PROVIDE VENT PIPING DOWN TO LOW WALL CAVITY. ROUTE PIPING IN LOW WALL CAVITY. **DO NOT** PENETRATE SHEER WALL.
- 18. PROVIDE CAST IRON DRAINAGE PIPING FROM FLOOR DRAIN TO SANITARY MAIN.

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RO **JR**/ "S RESTAU E DUAL HIGH (ST ADDRESS TATE 12345 PROJECT NUMBER:

> WASTE AND VENT PLAN -PLUMBING

SHEET:



1 WATER AND GAS PLAN - PLUMBING

GENERAL NOTES:

- A. PLUMBING CONTRACTOR SHALL PROVIDE ALTERNATE BID FOR SURESEAL TRAP GUARD OR EQUIVALENT TRAP GUARD AS OPPOSED TO TRAP PRIMERS IF LOCAL CODE PERMITS THE USE OF TRAP GUARDS.
- THE BASIS OF DESIGN FOR THE DOMESTIC COLD WATER SYSTEM SHALL BE PEX PIPING SYSTEM.
- REFER TO SCHEDULE ON SHEET P5.1 FOR ADDITIONAL PIPE SIZING INFORMATION.
- D. ROUTE PIPING UP IN TRUSS SPACE WHERE CEILING SPACE IS LIMITED.
- TRAP PRIMER/VALVES TO BE IN AN ACCESSIBLE SPACE ABOVE CEILING, IF NOT PROVIDE A MINIMUM 12"x12" ACCESS PANEL, OR LARGER IF REQUIRED TO ADEQUATELY ACCESS THE TRAP PRIMER/VALVES. REFER TO DETAIL ON SHEET P4.1.
- ALL GAS PIPING IN CONCEALED AREAS SHALL BE WELDED.

CODED NOTES: (#)

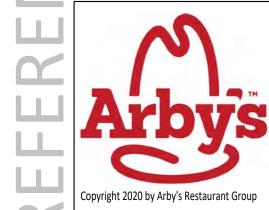
- CONNECT 2" WATER LINE TO SITE UTILITY CONTRACTOR PROVIDED WATER SERVICE LINE 5'-0" OUTSIDE BUILDING WALL AND EXTEND INTO BUILDING. COORDINATE EXACT LOCATION AND POINT-OF-CONNECTION WITH SITE UTILITY CONTRACTOR AND ARBY'S CONSTRUCTION MANAGER.
- 2. 2" DOMESTIC WATER SERVICE ENTRANCE. REFER TO DETAIL ON SHEET P4.2.
- PROVIDE WATER HEATERS ON FACE OF SOFFIT AS HIGH AS POSSIBLE. REFER TO DETAIL ON SHEET P4.1.
- 1/2" DCW WITH BALL SHUT OFF VALVE AND ASSE 1022 LISTED BFP 6" BELOW CEILING TO WATER BOOSTER FILTER SYSTEM (84). COORDINATE EXACT REQUIREMENTS WITH SODA VENDOR. REFER TO WATER FILTER SYSTEM DETAIL ON SHEET P4.2.
- CONNECT TO SODA PROVIDED FILTERED WATER LINE ABOVE CEILING AND PROVIDED1/2" FW DROP IN WALL TO 21" AFF FOR SHAKE MACHINE (12). PROVIDE BALL STOP VALVE, ASSE 1022 LISTED BFP AND FINAL CONNECTION TO EQUIPMENT. COORDINATE EXACT REQUIREMENTS WITH SODA VENDOR.
- CONNECT TO SODA PROVIDED FILTERED WATER LINE ABOVE CEILING AND PROVIDE 1/2" FW DROP DOWN IN WALL AND UNDER COUNTERTOP TO 44" AFF FOR COFFEE MAKER (49). PROVIDE BALL SHUTOFF VALVE, ASSE 1022 LISTED BFP AND FINAL CONNECTION TO EQUIPMENT. COORDINATE EXACT
- INSTALL WATER HEATER CONCENTRIC INTAKE AIR AND FLUE VENT PIPING THROUGH ROOF PER DETAIL ON SHEET P4.2.
- DCW, DHW, DHWR, AND GAS PIPING ROUTED TO WATER HEATERS. REFER TO WATER HEATER DETAIL ON
- PROVIDE 1/2" DCW AND DHW IN LOW WALL CAVITY TO SINK AND CONNECT.
- 0. ROUTE GAS PIPING INTO BUILDING AND RISE IN WALL CAVITY TO ABOVE CEILING WITHIN TRUSS SPACE. PROVIDE WATERTIGHT SEAL AT WALL PENETRATION. PAINT EXTERIOR PIPING TO MATCH EXTERIOR WALL FINISHES. COORDINATE COLOR WITH CONSTRUCTION MANAGER AND ARCHITECT.
- 11. 3/4" DCW AND 3/4" DHW DOWN IN WALL TO MOP SINK.

REQUIREMENTS WITH SODA VENDOR.

- 2. GAS METER AND SERVICE ENTRANCE, REFER TO DETAIL ON SHEET P4.1. PC SHALL COORDINATE NEW GAS SERVICE AND METER WITH LOCAL NATURAL GAS AUTHORITY. TOTAL GAS LOAD: 955 CFH; DELIVERY PRESSURE: 7" WC; TOTAL EQUIVALENT LENGTH OF PIPE: 125 FEET.
- 13. GAS PIPING ROUTED ABOVE CEILING WITHIN TRUSS SPACE.
- 14. PROVIDE 1-1/2" GAS PIPING DOWN THROUGH CEILING TO MECHANICAL GAS SHUT-OFF VALVE. MECHANICAL GAS SHUT-OFF VALVE FURNISHED BY HOOD MANUFACTURER AND INSTALLED BY THE PC MANUAL SHUT-OFF VALVE PROVIDED BY PC. INSTALL MECHANICAL VALVE AND MANUAL VALVE BELOW CEILING. REFER TO GAS RISER DIAGRAM ON THIS SHEET AND DETAIL ON SHEET P4.2.
- 15. 1-1/4" GAS PIPING ROUTED UP THROUGH ROOF. REFER TO SHEET P2.2 FOR CONTINUATION. REFER TO ROOF PENETRATION DETAIL ON SHEET P4.2.
- 16. AREA FOR WATER METER AND BACKFLOW PREVENTER ACCESS.
- 17. TRAP PRIMER. REFER TO DETAIL ON SHEET P4.2.
- 18. IF IRRIGATION SYSTEM IS REQUIRED, PROVIDE 1" TAP, METER AND ASSE 1013 BACKFLOW ASSEMBLY INSIDE BUILDING FOR IRRIGATION SYSTEM. DO NOT PROVIDE IF NOT REQUIRED. CONTRACTOR TO VERIFY REQUIREMENTS WITH CONSTRUCTION MANAGER AND LOCAL CODE AUTHORITY.
- 19. PROVIDE CHECK VALVE, BALL VALVE AND PETE'S PLUGS ABOVE CEILING IN DHWR PIPING.
- 20. PC SHALL ROUTE 3/4" GALVANIZED USED FRYER GREASE PIPING DOWN ON WALL AND HORIZONTALLY TO THE FRYERS PER MANUFACTURERS RECOMMENDATIONS. SECURE INLET PIPE TO WALL WITH STANDOFF BRACKETS AND PIPE COVER, REFER TO PIPE COVER DETAIL ON SHEET P4.1. REFER TO NOTE 22 AND 23 FOR COORDINATION.
- 1. USED FRYER GREASE PIPING ROUTED ABOVE CEILING. INSTALL PIPE PER MANUFACTURERS RECOMMENDATIONS WITH 1/8" MIN SLOPE TO ALLOW FOR RESIDUAL GREASE TO DRAIN INTO STORAGE TANK WHEN THE SYSTEM IS NOT IN USE.
- 22. USED FRYER GREASE HOLDING TANK $(\underline{96})$ BY KITCHEN EQUIPMENT SUPPLIER.
- 23. CONNECT TO SODA PROVIDED FILTERED WATER LINE ABOVE CEILING AND PROVIDE 1/2" FW DROP TO 84" AFF TO ICE MAKER (92) WITH WHIP CONNECTOR FURNISHED BY SODA VENDOR. PROVIDE BALL SHUTOFF VALVE, ASSE 1022 LISTED BFP AND FINAL CONNECTION TO EQUIPMENT. COORDINATE EXACT REQUIREMENTS WITH SODA VENDOR.
- 24. 3/4" DCW DOWN IN WALL TO EXTERIOR WALL HYDRANT. PIPE INSULATION TO RUN CONTINUOUSLY WITHIN WALL STRUCTURE. COORDINATE MOUNTING HEIGHT OF WALL HYDRANT WITH ARCHITECT AND ARBY'S CONSTRUCTION MANAGER.
- 25. INSTALL VERTICAL CONCENTRIC ROOF TERMINATION KIT FURNISHED BY WATER HEATER MANUFACTURER. REFER TO DETAIL ON SHEET P4.2.
- 26. PROVIDE 1/2" VALVED DHW DOWN IN WALL TO DISHWASHER (22) AND CONNECT. PROVIDE ASSE 1013 BACKFLOW PREVENTER ON DHW LINE IN AN ACCESSIBLE LOCATION. PROVIDE DRAIN LINE FROM BACKFLOW PREVENTER TO NEAREST DRAIN. COORDINATE EXACT LOCATION OF DRAIN WITH CONSTRUCTION MANAGER.
- 27. PROVIDE 4" CONDUIT IN WALL BETWEEN SODA DISPENSERS FOR SODA CONDUIT. PROVIDE 12X12 CUT OUT HOLE UNDER DRIVE THROUGH COUNTER TO CONNECT SODA LINES.
- 28. PROVIDE 1/2" DCW AND DHW DOWN IN WALL TO LOW WALL CAVITY. DO NOT PENETRATE SHEER WALL.

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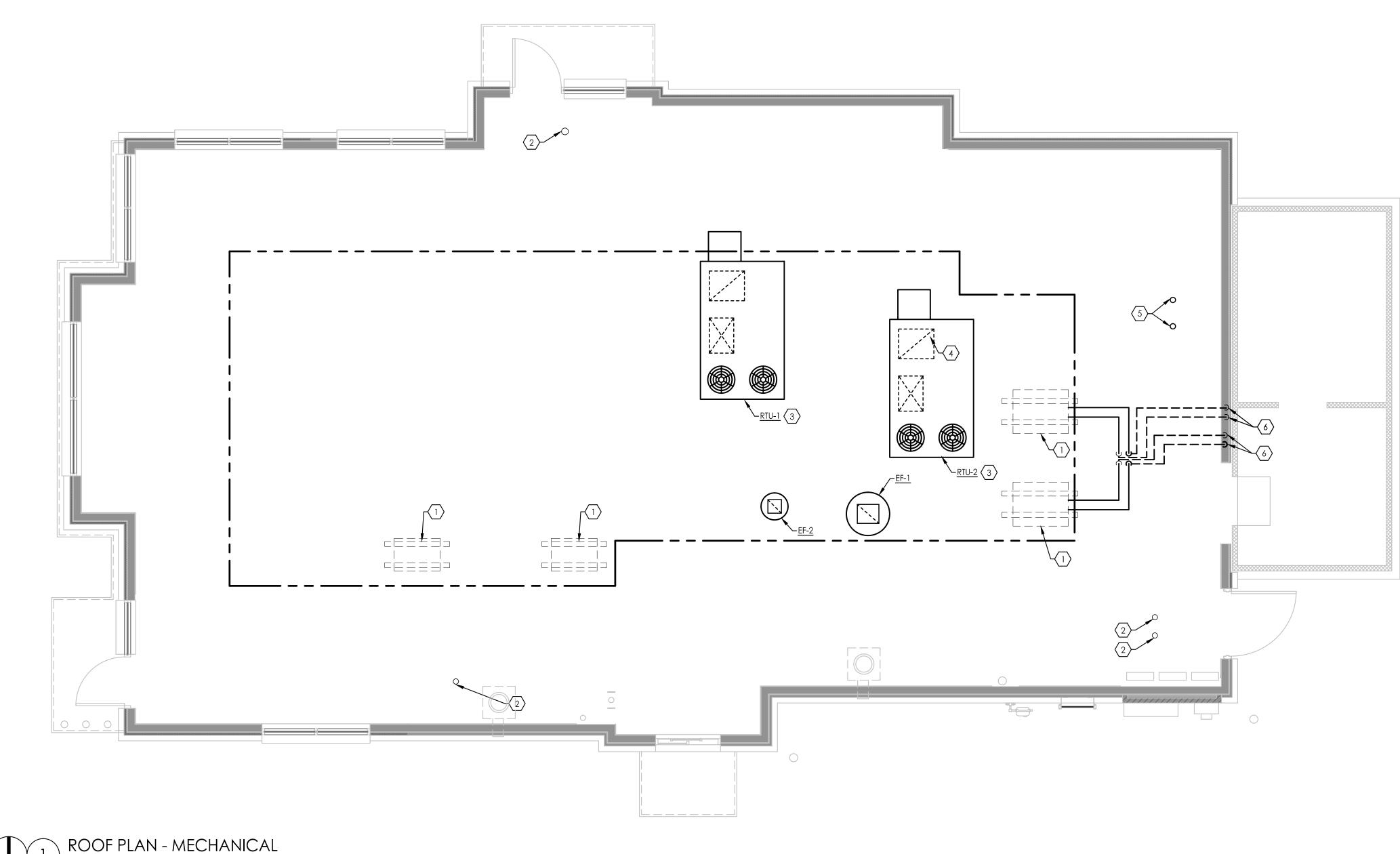
RO **JR**/

PROJECT NUMBER:

REVISION

WATER AND GAS PLAN PLUMBING

SHEET:



1) ROOF PLAN - MECHANICAL

GENERAL NOTES:

- A. MOUNT ALL HVAC EQUIPMENT ON ROOF PER DETAILS ON SHEET M5.1.
- B. CONTRACTOR TO MAINTAIN MINIMUM MANUFACTURER RECOMMENDED SERVICE CLEARANCE AROUND EACH PIECE OF EQUIPMENT.
- C. CONTRACTOR TO ENSURE A MINIMUM OF 10' CLEARANCE BETWEEN ALL OA INTAKES AND ANY EXHAUST FANS, VENTS, FLUES, ETC.
- D. CONTRACTOR TO ENSURE ALL MECHANICAL EQUIPMENT IS INSTALLED A MINIMUM OF 10' FROM THE ROOF EDGE.
- COORDINATE EXHAUST LOCATION OF RTUS WITH STRUCTURE TO ENSURE DUCT DROPS ARE LOCATED WITHIN TRUSS.

CODED NOTES:

- CONDENSING UNIT SHOWN FOR REFERENCE ONLY. EQUIPMENT AND ASSOCIATED REFRIGERANT PIPING TO BE INSTALLED BY KITCHEN EQUIPMENT SUPPLIER.
- 2. PLUMBING VENT/ FLUE PIPING SHOWN FOR REFERENCE. MAINTAIN A MINIMUM OF 10'-0"CLEARANCE TO ANY OA INTAKE.
- 3. RTU'S MOUNTED ON CURB ON ROOF. REFER TO DETAIL ON SHEET M5.1 FOR FURTHER INFORMATION.
- 4. ZONE LOCATED 10' FROM EDGES OF BUILDING SHOWN FOR REFERENCE ONLY. 5. WATER HEATER FLUE PENETRATIONS SHOWN FOR REFERENCE.
- S. WALK-IN COOLER VENDOR TO PROVIDE REFRIGERANT LINES FROM ROOF MOUNTED CONDENSING UNITS TO EVAPORATORS IN WALK-IN COOLERS. WALK-IN COOLER VENDOR TO ROUTE THRU PREFABRICATED ROOF CURB TO ABOVE THE CEILING AND DOWN THRU FURRED OUT WALL INTO THE WIC BOX. COORDINATE EXACT LOCATIONS WITH G.C. PRIOR TO INSTALLATION. G.C. TO PROVIDE SLEEVE IN WALL FROM WALK-IN COOLER ROOF UP TO CEILING SPACE ABOVE KITCHEN. REFER TO ARCHITECTURAL WALL SECTIONS.

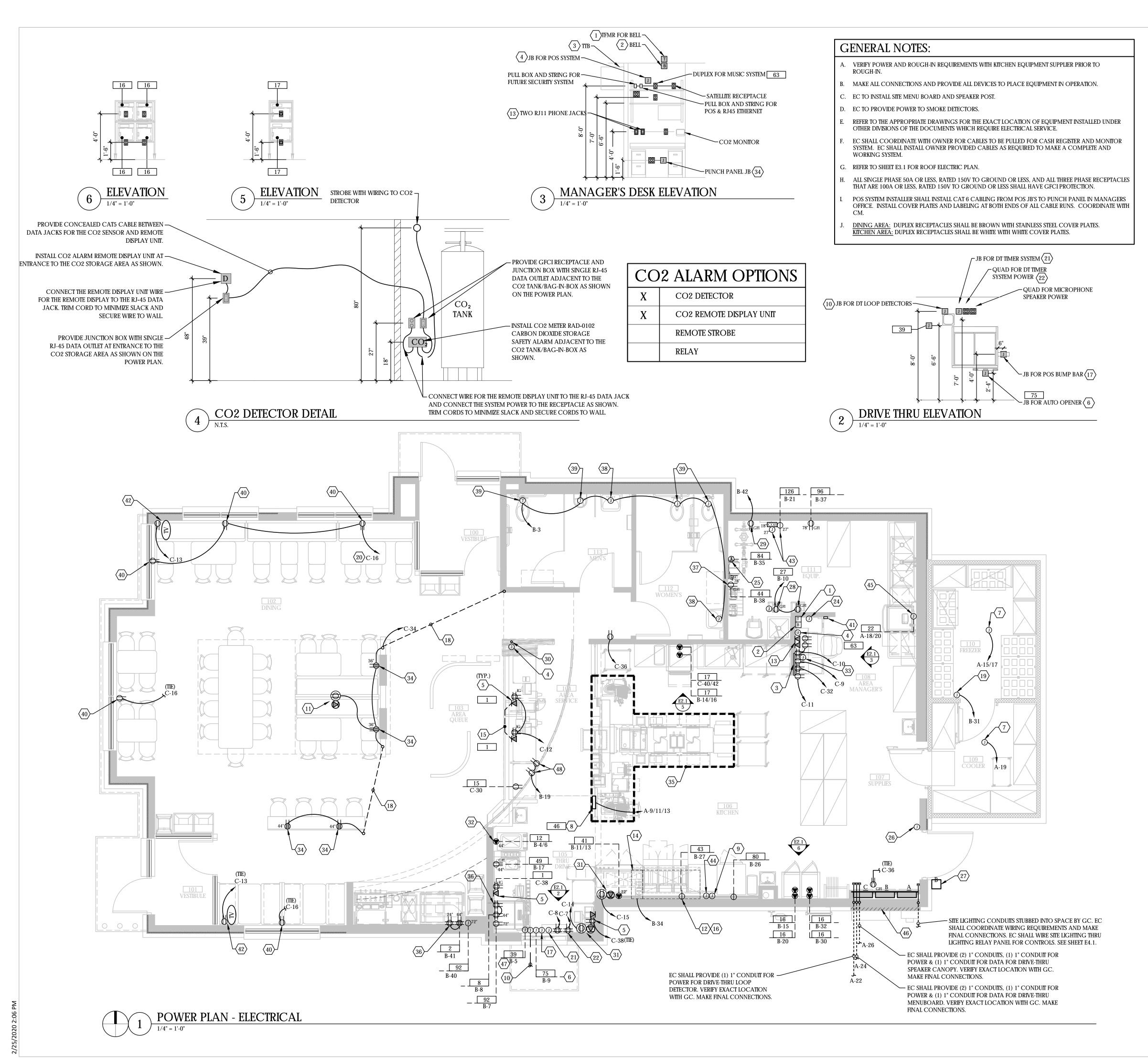
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INSPIRE DUAL HIGH 60 - REVERSE
PROJECT ADDRESS
CITY, STATE 12345
FOR
CLIENT NAME
ADDRESS CITY, CITY

PROJECT NUMBER:

ROOF PLAN MECHANICAL

SHEET:



CODED NOTES: (#)

BELL TRANSFORMER ABOVE CEILING (EDWARDS #99B)

- 2. BELL: EDWARDS #17-4. PROVIDE ALL WIRING REQUIRED TO MAKE THE COMPLETE BELL SYSTEM. INSTALL BELL SYSTEM PER MANUFACTURER'S RECOMMENDATIONS.
- 3. TELEPHONE TERMINAL BOARD: 2'-0" X 2'-0" X 3/4" FIRE RETARDANT PLYWOOD BACKBOARD ABOVE PUNCH PANEL.
 MOUNT AS HIGH AS POSSIBLE ON WALL. COORDINATE WITH GC PRIOR TO ROUGH-IN. PROVIDE A #6 GROUND WIRE
 TO BLDG GROUND.
- 4. POS SYSTEM. COORDINATE WITH POS INSTALLER PRIOR TO ROUGH IN. SEE SCHEMATIC SHEET E2.2.
- 5. POS: PROVIDE JB & DUPLEX RECEPTACLE. COORDINATE WITH POS INSTALLER PRIOR TO ROUGH IN. SHEET E2.2 FOR FURTHER INFORMATION.
- 6. PROVIDE JB UNDER DRIVE-THRU WINDOW FOR AUTO OPENER.
- . WALK IN EVAPORATOR PROVIDED BY KITCHEN EQUIPMENT SUPPLIER. MAKE FINAL CONNECTION TO MFGR PROVIDED DISC SWITCH. PROVIDE FINAL CONNECTION TO WALK IN REMOTE CONDENSER ON ROOF. COORDINATE WITH SUPPLIER.
- 8. PROVIDE CONNECTION TO FOOD PRODUCTION COUNTER PANEL (PROVIDED BY FOOD PRODUCTION COUNTER MANUFACTURER). COORDINATE CONNECTION WITH FOOD PRODUCTION COUNTER WITH MANUFACTURER PRIOR TO ROUGH-IN. MAKE CONNECTION PER MANUFACTURER'S RECOMMENDATIONS. SEE ONE-LINE RISER DIAGRAM ON SHEET E4.1
- 9. GAS SOLENOID VALVE: PROVIDE JB ABOVE CEILING (COORDINATE EXACT LOCATION WITH HOOD SUPPLIER PRIOR TO ROUGH IN). INTERLOCK SOLENOID VALVE TO HOOD SUPPRESSION SYSTEM/MASTER CONTROL PANEL AS NORMALLY OPEN SO THAT GAS APPLIANCES WILL NOT OPERATE WITHOUT HOOD EXHAUST IN USE.
- 10. PROVIDE DRIVE THRU LOOP DETECTORS AT THE MENU BOARD CANOPY AND OUTSIDE THE DRIVE THRU WINDOW. PROVIDE A 1" EMPTY CONDUIT WITH PULLSTRING FOR DRIVE THRU WINDOW LOOP THROUGH THE CURB, FOUNDATION AND FLOOR SLAB, AND UP THE DRIVE-THRU WINDOW WALL TO ABOVE THE CEILING. CONDUIT SHALL NOT BE EXPOSED TO THE EXTERIOR. COORDINATE WITH ARBY'S CM PRIOR TO ROUGH IN.
- 11. FUTURE WIFI: PROVIDE DUPLEX RECEPTACLE AND JB WITH PULL STRING AND (1) "8P8C" CONNECTOR ABOVE CEILING. SECURE TO LOBBY SIDE OF TRUSS.
- 12. HOOD MASTER CONTROL PANEL (FURNISHED BY HOOD SUPPLIER/INSTALLED BY E.C). AUTOMATICALLY ACTIVATE EXHAUST FAN WHEN COOKING OPERATIONS OCCUR. REFER TO FP OPTION SENSOR INSTALLATION DETAIL BY KEC FOR ADDITIONAL INFORMATION. PROVIDE CONTROL WIRING REQUIRED FOR CONNECTION OF SENSOR TO CONTROL PANEL. EXTEND WIRING FROM CONTACTS AND CONNECT DEVICES UNDER HOOD TO CONTACTORS FOR SHUNT TRIP (SEE WIRING DETAIL SHT. E0.0). REFER TO HOOD CONTROL WIRING SCHEMATIC BY KEC FOR ADDITIONAL INFORMATION.
- 13. PROVIDE JB AND (2) 3/4" EMPTY CONDUITS WITH PULLSTRING TO ABOVE ACCESSIBLE CEILING FOR (2) "RJ11" PHONE JACKS (BY OTHERS)
- 14. START/STOP SWITCH WITH PILOT LIGHT (PROVIDED WITH HOOD) FOR HOOD EXHAUST FAN AND LIGHTING. MAKE FINAL CONNECTIONS AS REQUIRED.
- 15. ROUTE POS CABLES INSIDE CASEWORK. COORDINATE WITH ARBY'S CM BEFORE INSTALLATION.
- 16. ROUTE CIRCUIT FOR HOOD EXHAUST FAN (EF-1) THROUGH HOOD MASTER CONTROL PANEL FOR CONTROL. SEE ROOF POWER PLAN, SHEET E3.1 FOR COORDINATION.
- 7. POS BUMP BAR: PROVIDE EMPTY 3/4" CONDUIT WITH PULL STRING FROM JB TO ABOVE CEILING. COORDINATE MOUNTING HEIGHT WITH ARBY'S CM PRIOR TO ROUGH IN.
- 18. EC SHALL RUN CONDUIT FOR POWER TO ISLAND UNDER SLAB.
- 19. PROVIDE FINAL CONNECTION TO HEAT TRACE FURNISHED BY OTHERS.
- 20. THRU RELAY PANEL/TIMER.
- 21. DRIVE-THRU TIMER SYSTEM: PROVIDE JB AND 3/4" EMPTY CONDUIT WITH PULLSTRING TO ABOVE ACCESSIBLE CEILING. SEE MANUFACTURER'S INSTRUCTIONS FOR DRIVE-THRU TIMER SYSTEM.
- 22. DRIVE-THRU TIMER SYSTEM POWER: LOCATE ABOVE DRIVE-THRU WINDOW. SEE MANUFACTURER'S INSTRUCTIONS FOR DRIVE-THRU TIMER SYSTEM. SEE SHEET A6.1 FOR ELEVATION.
- 23. NOT USED.
- 24. PROVIDE JB FOR FUTURE SECURITY MONITOR.
- 25. BAG-IN-BOX: LOCATE 6" BELOW CEILIN
- 26. ANSUL PULL STATION: PROVIDE A 4" OCTAGON JB AT 44" A.F.F. LOCATE AT A MINIMUM OF 10'-0", NOT TO EXCEED 25'-0", FROM THE HOOD ON THE EXIT PATH. REFER TO DETAIL ON SHEET E4.1.
- 27. BELL PUSH BUTTON: "EDWARDS #B-52" MOUNT AT 44" A.F.F.
- 28. WATER HEATER CIRCULATION PUMP SHALL BE CONTROLLED BY TIME CLOCK (INTERMATIC T101). COORDINATE FINAL LOCATION WITH PC PRIOR TO ROUGH IN. PROVIDE SIGNAGE AT CIRCULATION PUMP DISCONNECT TO STATE, "CONTROLLED BY CIRCULATION PUMP TIME CLOCK."
- 29. PROVIDE JB AND 3/4" EMPTY CONDUIT ABOVE CEILING FOR FUTURE AIR CURTAIN
- 30. PROVIDE EMPTY 2" CONDUIT WITH PULLSTRING FROM 4X4 JB TO ABOVE ACCESSIBLE CEILING FOR POS SYSTEM CABLES. SEE SCHEMATIC SHEET E2.2.
- 31. PROVIDE CEILING MOUNTED DUPLEX RECEPTACLE AND EMPTY JB FOR CEILING MOUNTED MONITOR. COORDINATE EXACT LOCATION IN THE FIELD WITH ARBY'S CM PRIOR TO ROUGH-IN. POS INSTALLER SHALL PROVIDE MONITOR BRACKET.
- 32. PROVIDE NEMA 6-20R RECEPTACLE.
- 33. PROVIDE JB FOR PHONE/DATA PUNCH PANEL LOCATED BELOW TTB.
- 34. EC SHALL PROVIDE COPPER USB CHARGER/TAMPER RESISTANT DUPLEX RECEPTACLE (#TR7740W ON TILE, #TR7740BK ON WOOD) MOUNT HORIZONTAL AT HEIGHT SHOWN WITH STAINLESS STEEL COVERPLATE.
- 35. ALL DEVICES LOCATED IN THIS AREA SHALL BE WIRED FROM PRODUCTION COUNTER PANEL.
- 36. RECEPTACLE FOR SODA EQUIPMENT. WIRE INTO SODA DISPENSER CIRCUIT AND MAKE FINAL CONNECTIONS.
- 37. CARBONATOR FIELD VERIFY EXACT LOCATION PRIOR TO ROUGH IN.
- 38. INFRARED FAUCET SENSOR (ABOVE CEILING). COORDINATE WITH PLUMBING CONTRACTOR AND MAKE FINAL CONNECTIONS.
- 39. AUTOMATIC VALVE SENSOR (ABOVE CEILING.) COORDINATE WITH PLUMBING CONTRACTOR AND MAKE FINAL CONNECTIONS.
 40. SHOW WINDOW RECEPTACLE: INSTALL AT NO MORE THAN 18" ABOVE WINDOW. PROVIDE CEILING BOX HANGER AND

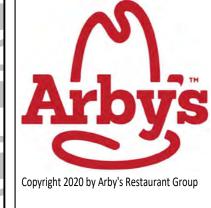
COVERPLATE TO MATCH CEILING TILE. INSTALL CONDUIT ABOVE CEILING AND ROUTE CIRCUIT THROUGH TIMECLOCK

- CONTROLLED CONTACTOR. REFER TO DETAIL ON SHEET E4.1.

 41. HOT WATER HEATER CONTROL PANEL: PROVIDE EMPTY 3/4" CONDUIT WITH PULLSTRING TO ABOVE ACCESSIBLE CEILING.
- 42. TELEVISION: PROVIDE QUAD RECEPTACLE AND QUAD GANG JB AND MOUNT AT 9'-0" A.F.F. PULL 3/4" EMPTY CONDUIT WITH PULLSTRING FROM JB TO ABOVE ACCESSIBLE CEILING AND STUB.
- 43. CO2 MONITORING SYSTEM. EC SHALL PROVIDE JB FOR REMOTE SENSOR AT 18" A.F.F. LOCATED AT CO2 TANKS. EC SHALL PROVIDE JB WITH 3/4" EMPTY CONDUIT WITH PULLSTRING TO ABOVE ACCESSIBLE CEILING FOR MONITORING CABLING. PROVIDE BACKBOX AT MANAGERS DESK FOR MONITORING DISPLAY. ALL SYSTEM CONTROL WIRING PROVIDED BY CO2 SYSTEMS INSTALLER. COORDINATE EXACT LOCATIONS OF DEVICES WITH CO2 SYSTEMS INSTALLER PRIOR TO ROUGH-IN. SEE SHEET E0.0 FOR DETAIL.
- 44. EC SHALL PROVIDE JB ABOVE CEILING FOR ANSUL SYSTEM AUDIO / VISUAL DEVICE. COORDINATE FINAL LOCATION WITH FIRE MARSHALL AND ANSUL INSTALLER.
- 45. DISHWASHER: PROVIDE JB AT 24".
- 46. PROVIDE CONDUITS AND FEEDERS FROM CT CABINET TO PANELS SHALL PENETRATE THROUGH THE BRICH FACADE. REFER TO SHEET A.2.2 FOR MORE INFORMATION. COORDINATE WITH CM.
- 47. MOUNT JUNCTION BOX AT 66" A.F.F.
- 48. PROVIDE ELECTRICAL OUTLETS IN WALL RECESS FOR MENU BOARD. REFER TO ARCHITECTURAL DRAWINGS (SHEET A7.2) FOR MORE INFORMATION.

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STAURANT GROUP L HIGH 60 - REVERSE ORESS

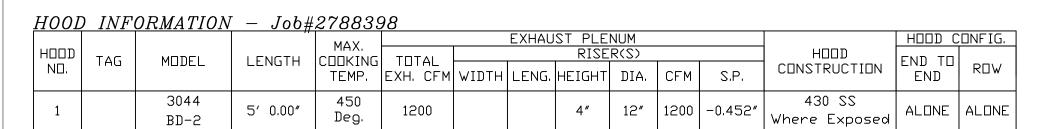
INSPIRE DUAL HIGH (PROJECT ADDRESS CITY, STATE 12345

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POWER PLAN ELECTRICAL

SHEE

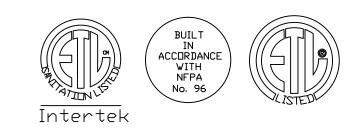
E2.1



H00	D INF	ORMATION													
			FILTER(S)			LIGHT(S)					UTILITY CABINET(S)			FIRE	HOOD
HOOD	TAG			EFFICIENCY @ 9			WIRE			FI	RE SYSTEM	ELECTRICAL	SWITCHES		4HANGING
N□.	I AG	TYPE	QTY. HEIGHT LENGTH	MICRONS	QTY.	TYPE	GUARD	LOCATION	SIZE	TYPE	SIZE	MODEL #		PIPING	
1		SS Baffle with Handle	s 3 16" 16"	30%	2	Screw In Compact	ND	Left	12"×30"×24"	Ansul R102	3.0			YES	280 LBS

HOOD	OPT	'IONS							
HDDD ND.	TAG	OPTION							
		FIELD WRAPPER 31.00" High Front, Left, Right							
		BACKSPLASH 63.00" High X 72.00" Long 430 SS Vertical							
1		BACKSPLASH 114.00" High X 18.00" Long 430 SS Vertical							
1		BACKSPLASH 114.00" High X 18.00" Long 430 SS Vertical							
		RIGHT QUARTER END PANEL 20" Top Width, 0" Bottom Width, 20	" High	430 SS					
		LEFT QUARTER END PANEL 20" Top Width, 0" Bottom Width, 20"	High	430 SS					

CAPTIVE-AIRE HOODS ARE UNLESS SPECIFICALLY NOTED: BUILT IN COMPLIANCE WITH



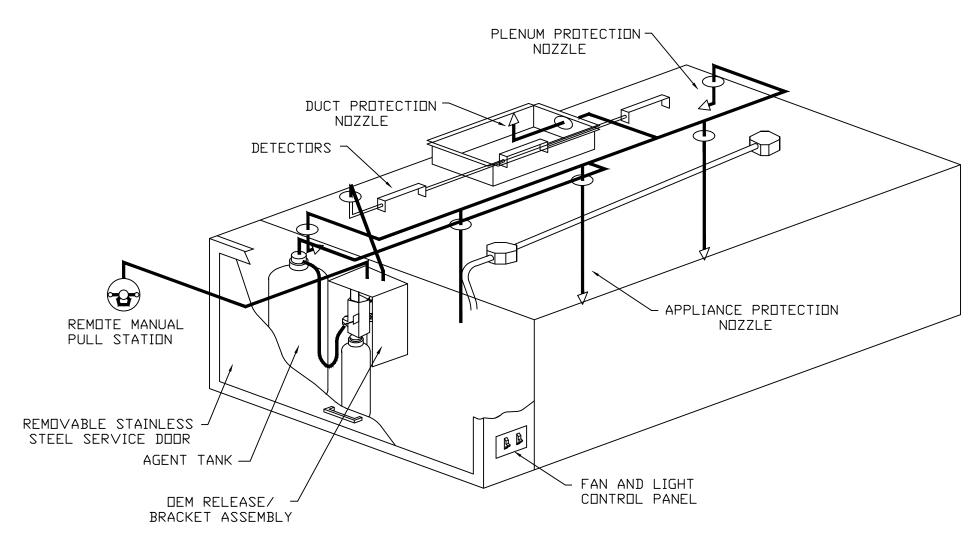
NFPA #96

UL 710 & ULC710 STANDARDS E.T.L. LISTED 3054804-001

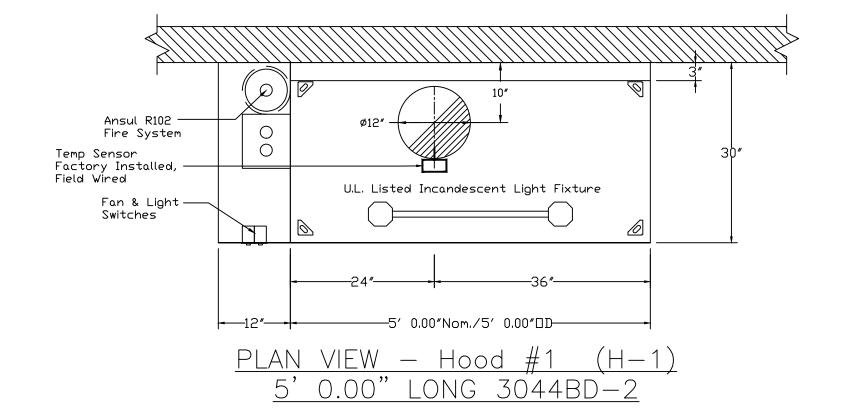
THE MODEL BD-2 HOOD IS LISTED WITH A MINIMUM SIDE OVERHANG TO THE COOKING EQUIPMENT SURFACE OF 0", AND A MINIMUM FRONT OVERHANG OF -3". FOR 450°F APPLICATIONS, THE MINIMUM EXHAUST RATE IS 150 CFM/FT.

SPECIFICATIONS

- THE RESTAURANT FIRE SUPPRESSION SYSTEM SHALL BE THE PRE-ENGINEERED TYPE WITH A FIXED NOZZLE AGENT DISTRIBUTION NETWORK. IT SHALL BE LISTED WITH UNDERWRITERS LABORATORIES, INC. (UL)
- THE SYSTEM SHALL BE CAPABLE OF AUTOMATIC DETECTION AND ACTUATION WITH LOCAL OR REMOTE MANUAL ACTUATION. ACCESSORIES SHALL BE AVAILABLE FOR MECHANICAL OR ELECTRICAL GAS LINE SHUT-OFF APPLICATIONS.
- THE EXTINGUISHING AGENT SHALL BE A POTASSIUM CARBONATE, POTASSIUM ACETATE-BASED FORMULATION DESIGNED FOR FLAME KNOCKDOWN AND SECUREMEN OF GREASE RELATED FIRES. IT SHALL BE AVAILABLE IN PLASTIC CONTAINERS
- THE REGULATED RELEASE MECHANISM SHALL BE COMPATIBLE WITH A FUSIBLE LINK DETECTION SYSTEM. THE FUSIBLE LINK SHALL BE SELECTED AND INSTALLED ACCORDING TO THE OPERATING TEMPERATURE IN THE VENTILATING SYSTEM. THE FUSIBLE LINK SHALL BE SUPPORTED BY A DETECTOR BRACKET/LINKAGE ASSEMBLY.



TYPICAL ANSUL R-102 SYSTEM LAYOUT

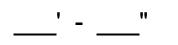


HVAC DISTRIBUTION NOTE

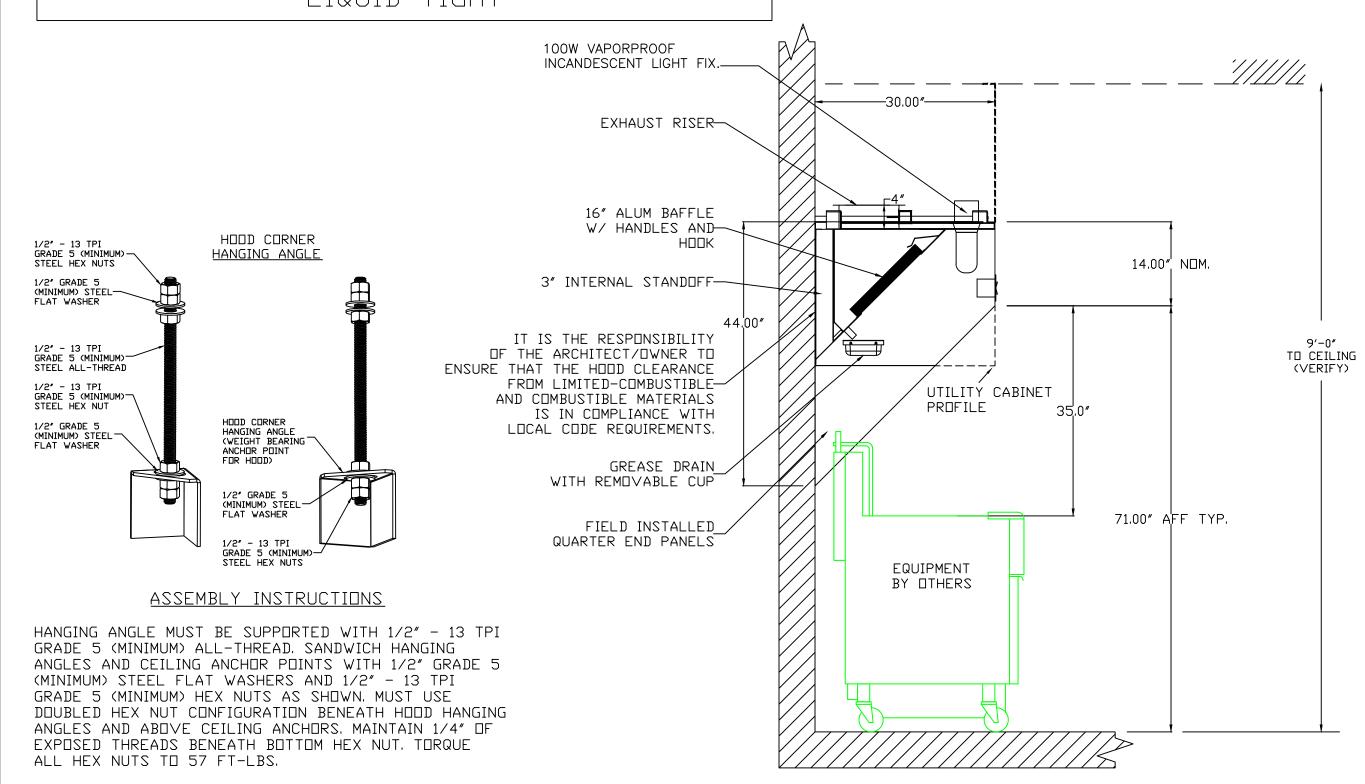
IT IS RECOMMENDED NOT TO INSTALL HIGH VELOCITY DIFFUSERS OR HVAC RETURNS WITHIN TEN (10) FEET OF THE EXHAUST HOOD, PERFORATED DIFFUSERS ARE RECOMMENDED.

CAPTIVEAIRE SYSTEMS RECOMMENDS THE USE OF LISTED, PRE-FABRICATED ROUND GREASE EXHAUST DUCT TO REDUCE STATIC PRESSURE IN THE SYSTEM, MINIMIZE INSTALLATION AND INSPECTION TIMES, AND ENSURE DUCT IS LIQUID TIGHT

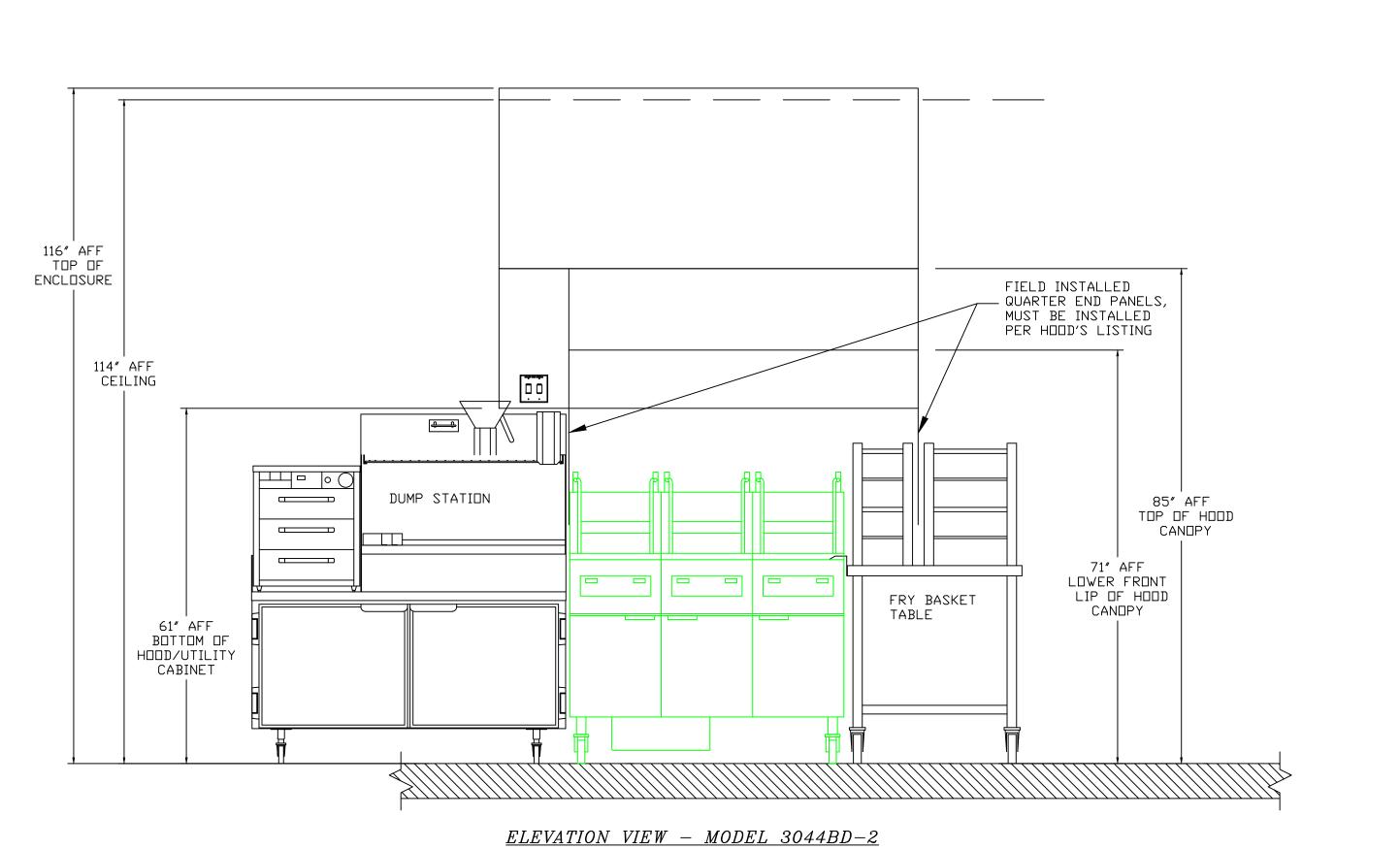
VERIFY CEILING HEIGHT



HEIGHT REQUIRED TO VERIFY THAT HOOD FITS SPACE AND TO SIZE THE ENCLOSURE PANELS



SECTION VIEW - MODEL 3044BD-2 w/ PSP



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ARBY'S RESTAURANT GROINSPIRE DUAL HIGH 60 - REVERSE ROJECT ADDRESS ITY, STATE 12345

PROJECT NUMBER:

PROJECT NUMBER:

ISSUE DATE
PRELIMINARY

PERMIT

BID

SCALE: 3/4" = 1'-0" ASTER DRAWING

MASTER DRAWING

REVISIONS

SHEET NO.

DATE: 9/28/2016

2788398

DRAWN BY: WAH-50

H1 1

20 10:50 AM

EXHAUST FAN INFORMATION - Job#2788398 WEIGHT (LBS.) UNIT FAN UNIT MODEL # ESP. RPM H.P. B.H.P. Ø V□LT N□. 1 | EF-1 DU50HFA 1200 | 0.750 | 1320 | 0.500 | 0.2560 | 1 65

2	EF-2	DR10HFA	350	0.250	1111	0.060	0.0270	1
FAN	<u>OPTIC</u>)NS						
FAN UNIT ND.	TAG	OPTION (Qty De	:scr.)				
1	EF-1	1 - Grease Box						

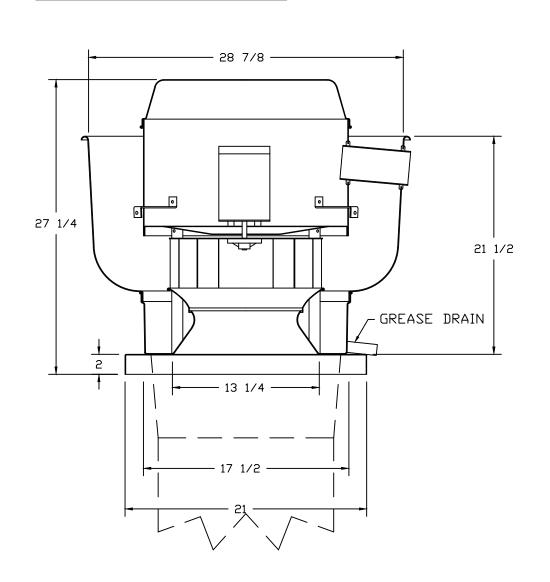
\overline{FAN}	ACCES	SORIE	7S							
FAN UNIT			EXHAUST	SUPPLY						
ND.	THU	GREASE CUP	GRAVITY DAMPER	SIDE DISCHARGE	GRAVITY DAMPER	MOTORIZED DAMPER	WALL MOUNT			
1	EF−1	YES								

CIIRR	ASSEMBLIES
CUIU	TOOLINDIII

2 EF-2

N□.	□N FAN	WEIGHT	ITEM	SIZE
1	# 1	31 LBS	Curb	19.500"W x 19.500"L x 20.000"H Vented Hinged
2	# 2	16 LBS	Curb	17.500″W × 17.500″L × 12.000″H

FAN #1 DU50HFA - EXHAUST FAN (EF-1)



FEATURES:

- DIRECT DRIVE CONSTRUCTION (NO BELTS/PULLEYS) - ROOF MOUNTED FANS

33

- RESTAURANT MODEL
- UL705 AND UL762 - VARIABLE SPEED CONTROL
- INTERNAL WIRING
- WEATHERPROOF DISCONNECT - THERMAL OVERLOAD PROTECTION (SINGLE PHASE)
- HIGH HEAT OPERATION 300°F (149°C) - GREASE CLASSIFICATION TESTING

NORMAL TEMPERATURE TEST

EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING AIR AT 300°F (149°C) UNTIL ALL FAN PARTS HAVE REACHED THERMAL EQUILIBRIUM, AND WITHOUT ANY DETERIORATING EFFECTS TO THE FAN WHICH WOULD CAUSE UNSAFE OPERATION.

ABNORMAL FLARE-UP TEST

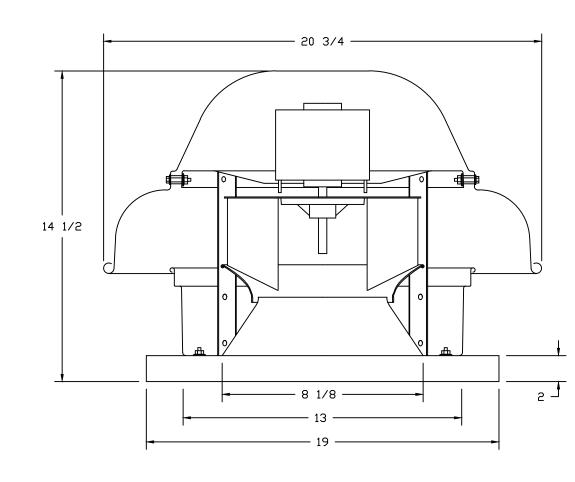
EXHAUST FAN MUST OPERATE CONTINUOUSLY WHILE EXHAUSTING BURNING GREASE VAPORS AT 600°F (316°C) FOR A PERIOD OF 15 MINUTES WITHOUT THE FAN BECOMING DAMAGED TO ANY EXTENT THAT COULD CAUSE AN UNSAFE CONDITION.

<u>OPTIONS</u>

GREASE BOX

· VENTED 20 GAUGE STEEL CONSTRUCTION ─ 3″ FLANGE - ROOF OPENING 17 1/2 1/2 DIMENSIONS

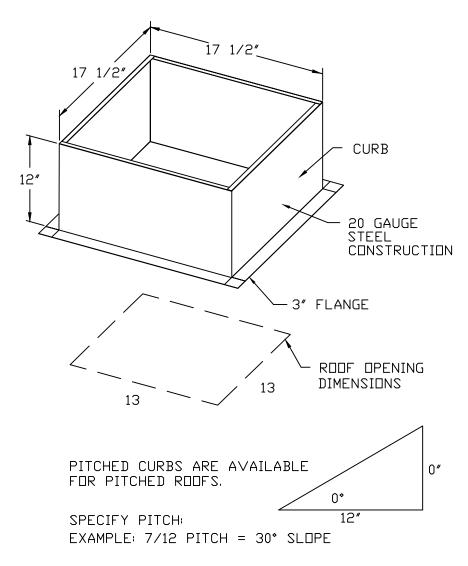
<u>FAN #2 DR10HFA - EXHAUST FAN (EF-2)</u>

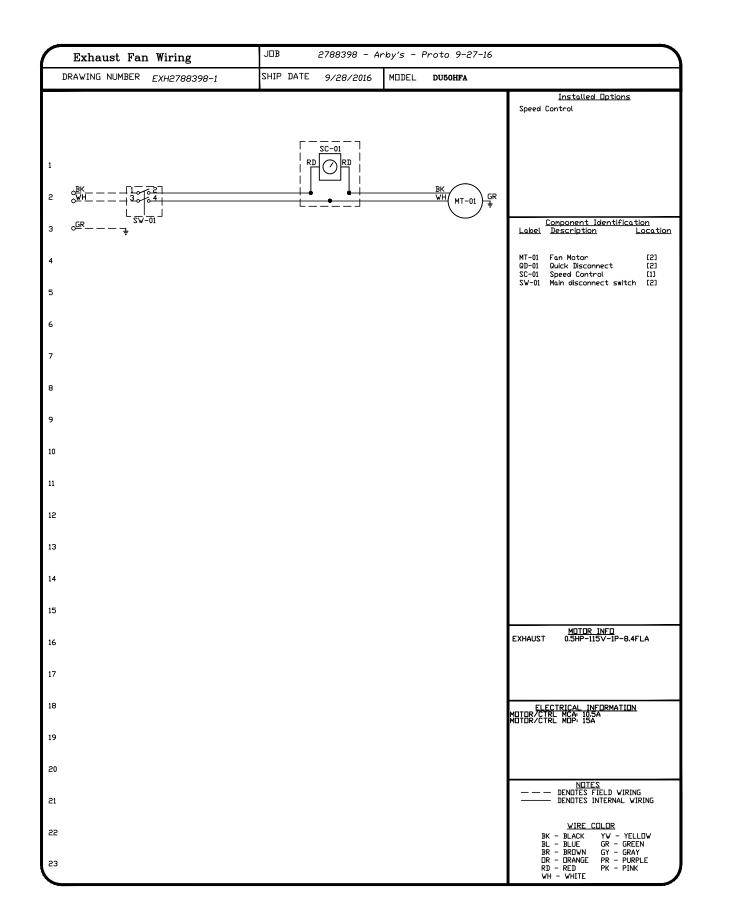


<u>FEATURES:</u>

- DIRECT DRIVE CONSTRUCTION
- (NO BELTS/PULLEYS) - ROOF MOUNTED FANS
- SAFETY DISCONNECT
- STANDARD BIRD SCREEN
- SPEED CONTROL

- UL705



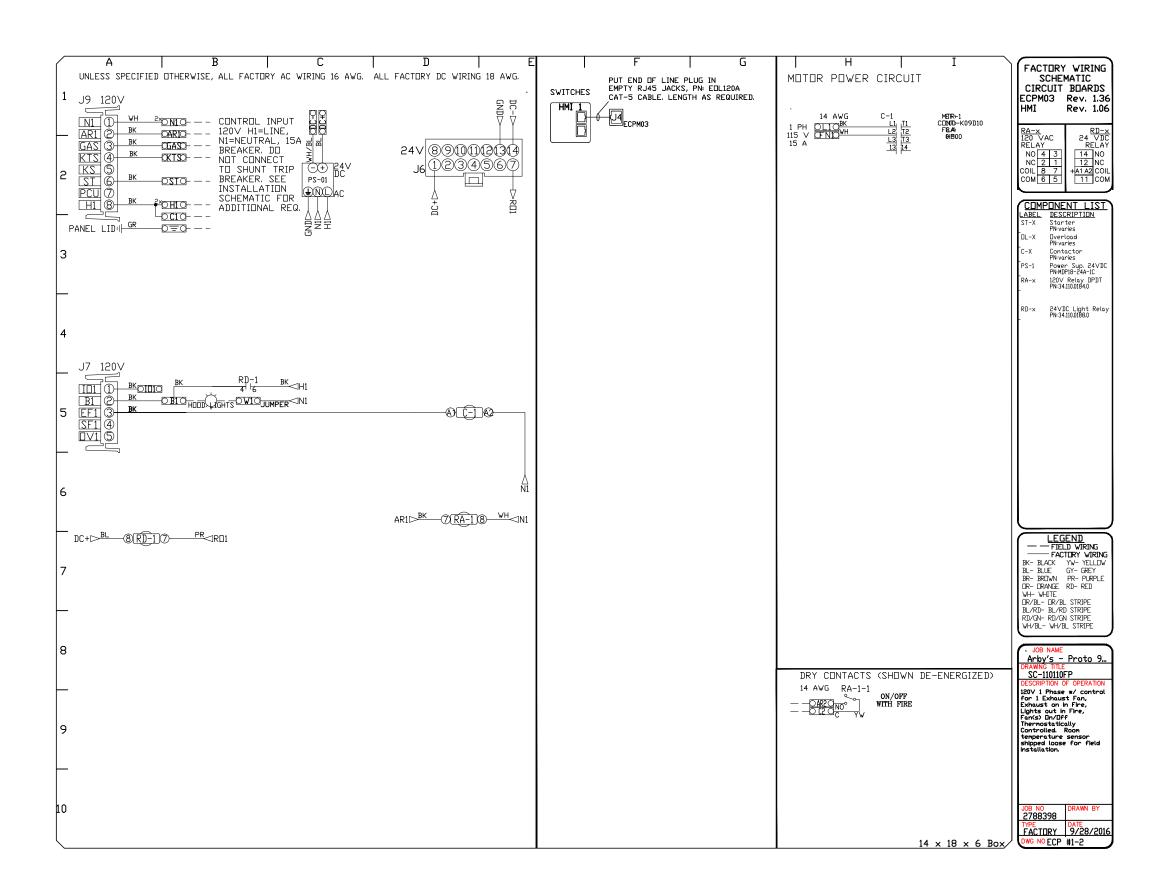


Exhaust Fan Wiring	JOB	2788398 - A	rbv's - F	Proto 9-27-16	
DRAWING NUMBER EXH2788398-2	SHIP DATE	9/28/2016	MODEL	DR10HFA	
	Ĺ–		1		<u>Installed Options</u> Speed Control
cBK	RD RD	RD		BK WH MT-01 GR	Component Identification
Ç -					Label Description Location MT-01 Fan Motor [2] QD-01 Quick Disconnect [2] SC-01 Speed Control [1] SW-01 Main disconnect switch [2]
					<u>MOTOR INFO</u> EXHAUST 0.06HP−115V−1P−1.1FLA
					ELECTRICAL INFORMATION MBTDR/CTRL MGP: 15A
					NOTES
					WIRE COLOR BK - BLACK YW - YELLOW BL - BLUE GR - GREEN BR - BROWN GY - GRAY OR - DRANGE PR - PURPLE RD - RED PK - PINK

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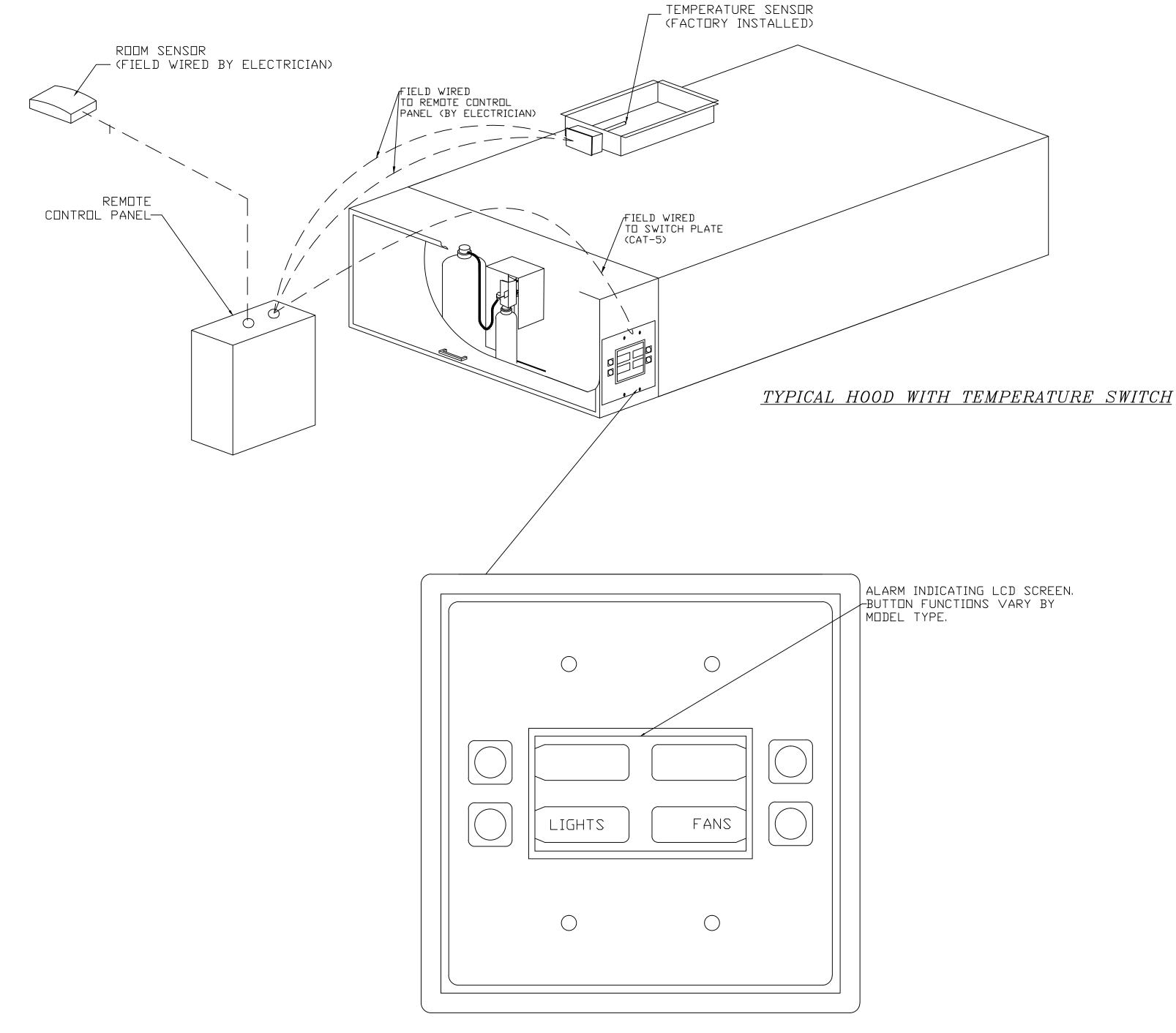
REVISIONS DESCRIPTION DATE:

JOB NO MODEL NUMBER SC_11			DRAWN BY SCHEMATIC TYPE	DESCRIPTION OF OPERATION:	
2788398	JOR NAME	JOB NAME		INSTALL DWG NO	120V 1 Phase w/ control for 1 Exhaust Fan, Exhaust on in Fire, Lights out in Fire, Fan(s) Dn/Dff Thermostatically Controlled. Roon temperature sensor shipped loose for field installation.
1	Arby's - Proto 9-27-16		9/28/2016	ECP #1-1	
BREAKER PANEL TO Responsibility BREAKER SIZE SHOWN IS T BREAKER PANEL BREAKER 1PH 120 V 15 A CONTROL POWER. TO SHUNT TRIP BREAKER 1ST HOOD LIGHT BREAKER CONTROL POWER. SWITCH 115 V	Electrician HE MAXIMUM ALLOWED CONTROL PANEL	IF MORE THAN DNE ANSUL CARTRIDGE SW, WIRE IN SERIES AS SHOWN CONTROL VIRE	/ SIGNAL THROUGH / SIGNAL THROUGH / SUITCH CLOSED IN NORMAL DPEN IN ALARM.	BLACK 1:G BLACK KILL SHOULD STATE CR-2 L 1:G	NSUL IDGE SW PAND AND AND AND AND
- 10.5 A EF-1		REMOTE PL	5 CONNECTION ACE END OF LINE F EMPTY JACK, PN: E	JL120A EUL120A	LIGHTS 1
CONTROL PANEL CONTROL PANEL		HOOD PANEL BIO TO WIO HOOD LIGHTS GNDO VIRE	TO J-BOX ON TOP	BLACK WHITE GREEN OF HOOD	Q-¬
Load Wiring TIO LEG. 1 / HOT C-1 TZO LEG. 2 / NEUTRAL WIRE DIRECT GNDO TO STARTER	FAN: 01 EF-1 FLAB4 HP: 0.500 VILT: 115 V VIRE TO DISCONNECT	SENSOR FROM HODD PANEL T2AO	TO CONTROL BOARI OR MOUNTED IN ROO HEAT SOURCES. SEI	M AWAY	
		DUCT SENSOR SENS	TO CONTROL BOARI OR MOUNTED IN EXH		TIOD TISER 1
CONTROL PANEL TO A Responsibility CONTROL PANEL		REG	E FOLLOWING CON MAY OR MAY NO DUIRED BASED ON SPECIFICATION	T BE JOBSITE 4S	NT. CDIL
	MALLY CLOSED (2).		HOT TO S NEUTRAL FROM S TERMINAL IS ENEF FIRE CONDITION.	HUNT COIL -	
C1 TO ARI SHOUL CONTINUITY WHEN IF MORE THAN DNE FIRE SYSTEM, WIRE IN SERIES AS SHOWN ARI ARI ARI ARI ARI ARI ARI AR		SPARE FIRE OARCO SPAR SYSTEM DRY SYST CONTACT (NOT WHICE THE TOTAL	NORME E CONTACTS USED V EM DISCHARGES TO MENT OR PROVIDE FOR BUILDING FIRE H MUST BE WIRED I HE ANSUL ALARM IN CH LOCATED IN ANS	ALLY DPEN THEN FIRE DISABLE SIGNALS. ALARM IRECTLY	
-	1 1				
-					



TEMPERATURE SENSOR INTERLOCK

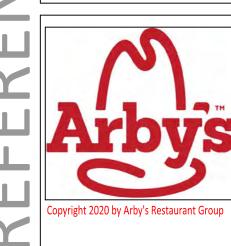
The Temperature Sensor Interlock option complies with IMC 2006 507.2.1.1 and NFPA 96 11.1.1 by interlocking with cooking appliances through means of a heat sensor to automatically activate exhaust fans during cooking operations.



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REVISIONS
DESCRIPTION DATE:



BY'S RESTAURANT GROUNES INTER DUAL HIGH 60 - REVERSE

PROJECT NUMBER:

DATE: 9/28/2016

DWG.#:
2788398

DRAWN WAH-50

SCALE:
3/4" = 1'-0"

MASTER DRAWING

SHEET NO.

SHEET:

H1.3

CONSTRUCTION PLANS

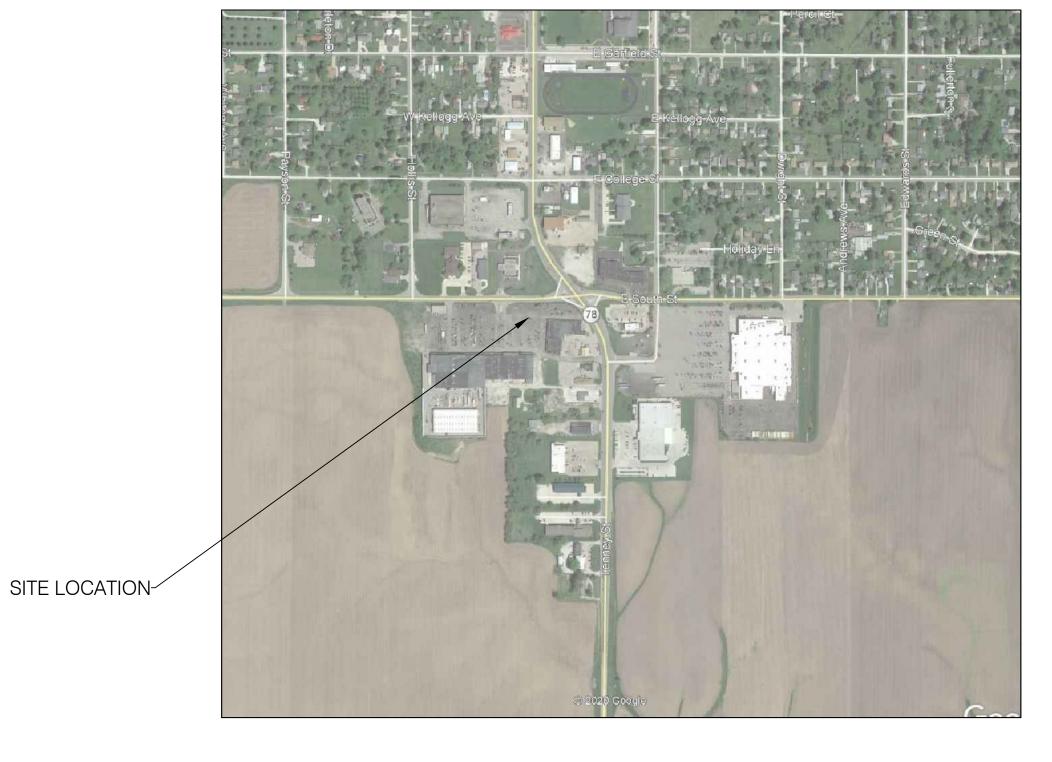
FOR

ARBY'S RESTAURANT - MIDLAND PLAZA

KEWANEE, ILLINOIS

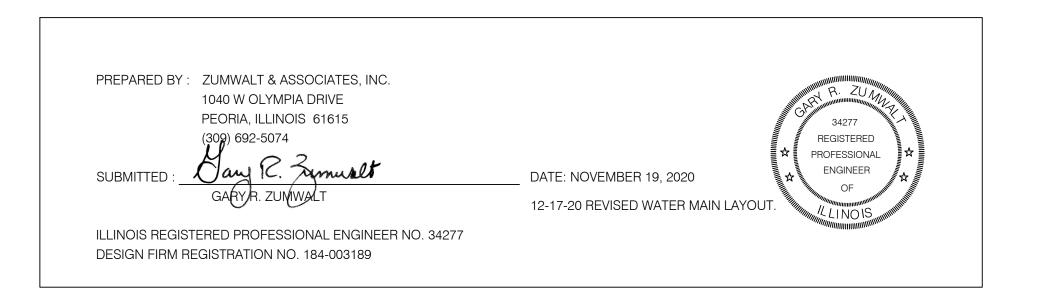
Sheet List Table

C-0	COVER SHEET	
C-1	EXISTING TOPOGRAPY AND UTILITY SURVEY	
C-2	OVERALL SITE PLAN AND GENERAL NOTES	
C-3	SITE REMOVAL PLAN	
C-4	SITE LAYOUT PLAN AND DETAILS	
C-5	PAVEMENT DESIGN	
C-6	SITE GRADING PLAN	
C-7	SITE UTILITY PLAN, SANITARY AND WATER LAYOUT	
C-8	C-8 STORM WATER POLLUTION PREVENTION PLAN	
C-9	STORM WATER POLUUTION PREVENTION PLAN DETAILS	





UTILITY INFORMATION				
UTILITY	COMPANY	PHONE NO.		
CABLE	COMCAST	866-553-4448		
ELECTRIC / GAS	AMEREN IP	800-755-5000		
SANITARY SEWER	KEWANEE PUBLIC WORKS	309-852-2611 EXT 232		
STORM SEWER	KEWANEE PUBLIC WORKS	309-852-2611 EXT 232		
WATER	KEWANEE PUBLIC WORKS	309-852-2611 EXT 232		





PREPARED FOR: MIDLAND PLAZA, LLC
406 SW WASHINGTON STREET
PEORIA, ILLINOIS 60602
PHONE (309) 671-1000
ATTENTION: MR. LES COHEN

DEVELOPED AND MANAGED BY

COHEN DEVELOPMENT COMPANY

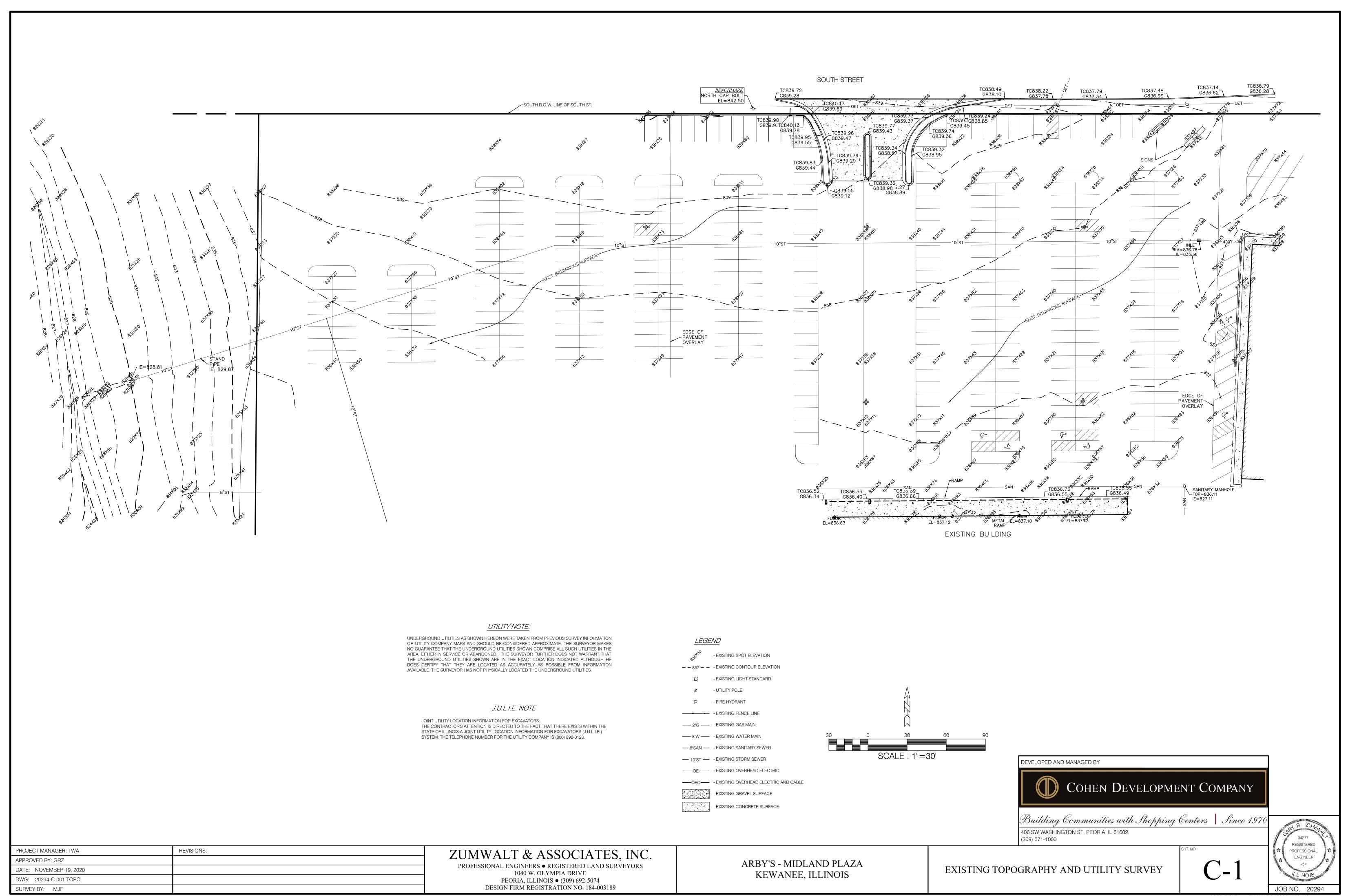
Building Communities with Shopping Centers | Since 1970

406 SW WASHINGTON ST, PEORIA, IL 61602

JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT THERE EXISTS WITHIN THE STATE OF ILLINOIS A JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS (J.U.L.I.E.) SYSTEM. THE TELEPHONE NUMBER FOR THE UTILITY COMPANY IS (800) 892-0123.

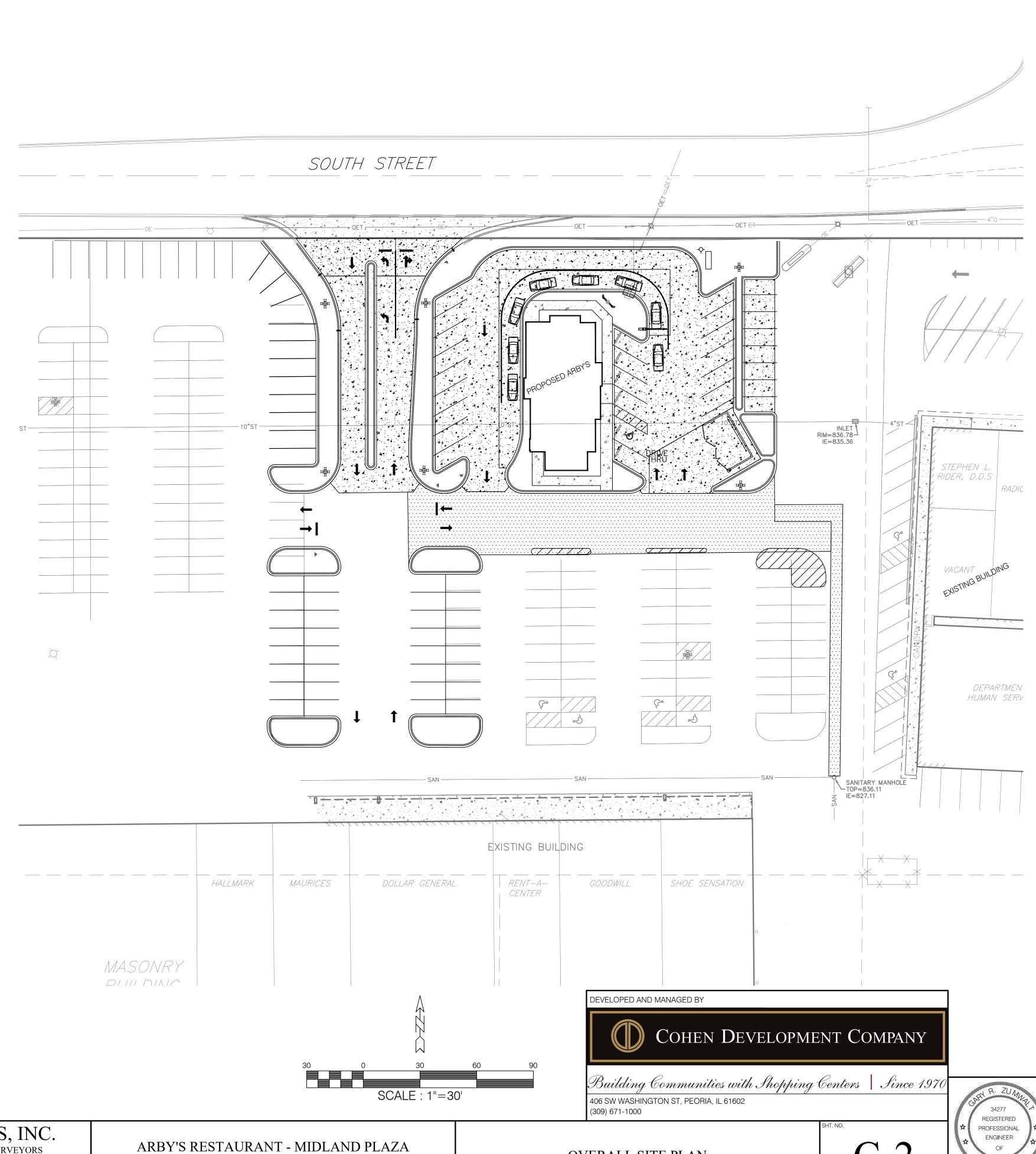
(309) 671-1000

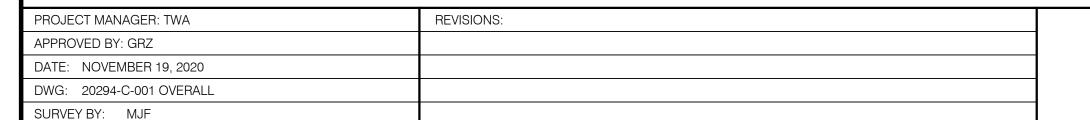


GENERAL NOTES

- SEE CONSTRUCTION NOTES ON OTHER "C" DRAWINGS FOR OTHER CONDITIONS AFFECTING CONSTRUCTION WORK.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL NOT COMMENCE ANY PROPOSED WORK ON ADJOINING PROPERTIES UNTIL THE OWNER HAS OBTAINED CONSTRUCTION EASEMENTS OR AGREEMENTS FOR SAID WORK. THE CONTRACTOR SHALL ACQUIRE ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AUTHORITIES AND ALL CONSTRUCTION WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS OF ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS, REGULATIONS AND RULES.
- 5. ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH:
 - A. CITY OF KEWANEE AND THE KEWANEE DEPARTMENT OF PUBLIC WORKS REQUIREMENTS B. STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - C. STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS
 - D. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS, SECTION 370.350 E. WHITNEY & ASSOCIATES SOILS REPORT AND SITE DEVELOPMENT RECOMMENDATIONS, DATED AUGUST 21, 2020.
- STORM WATER POLLUTION PREVENTION PLAN: CONTRACTOR SHALL PROVIDE EROSION CONTROL PROTECTION DURING UTILITY AND CONSTRUCTION WORK IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN, EROSION CONTROL DETAILS AND NOTES SHOWN ON SHEETS C-8 AND C-9.
- EXCAVATION PLACED IN STRUCTURAL FILL AREAS AND SUBGRADES IN PAVEMENT AREAS SHALL BE COMPACTED TO 98 PERCENT AS DETERMINED BY STANDARD PROCTOR.
- PAVEMENT DESIGN: SEE SHEET C-5 FOR PAVEMENT DESIGN. APPROXIMATELY 8 INCHES OF TOP SOIL SHALL BE STRIPPED IN ALL STRUCTURAL AREAS. THE EXACT AMOUNT TO BE DETERMINED BY THE OWNER'S REPRESENTATIVE. A MINIMUM OF 24 INCHES OF TOPSOIL SHALL BE PLACED IN ALL
- DISTURBED AREAS. AFTER CONSTRUCTION OF CURB AND GUTTER, BEHIND CURBS AND CURBED ISLANDS SHALL BE BACKFILLED WITH TOPSOIL AND SHALL BE GRADED TO DRAIN. 10. CONTRACTOR SHALL REQUEST AND RECEIVE WRITTEN APPROVAL FROM THE OWNER FOR ANY ADDITIONAL WORK PRIOR TO COMMENCEMENT OF SAID WORK. NO ADDITIONAL WORK BY THE CONTRACTOR WILL BE AUTHORIZED UNTIL A CHANGE ORDER IS SIGNED BY THE OWNER.
- 11. DUST CONTROL SHALL BE PROVIDED BY WATERING OR OTHER MEANS TO KEEP DUST TO A MINIMUM DURING CONSTRUCTION. 12. ALL EXISTING ADJACENT AREAS AND PROPERTY SHALL BE PROPERLY PROTECTED FROM DAMAGE AND LEFT UNDAMAGED FROM THE OPERATIONS OF THE CONTRACTOR. ANY OF THE SURROUNDING PROPERTY DAMAGED BY THE
- CONTRACTOR SHALL BE REPLACED TO AN EQUAL OR BETTER CONDITION THAN WHAT EXISTED PRIOR AT THE CONTRACTOR'S EXPENSE. 13. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE OF ANY PROPOSED CONSTRUCTION WORK.
- 14. ALL P.C.C. RAMPS SHALL BE CONSTRUCTED PER ILLINOIS ACCESSIBILITY CODE. ALL RAMPS SHALL BE CONSTRUCTED PER IDOT STANDARD # 424001-06 (CURB RAMPS FOR SIDEWALKS).
- 15. ALL UTILITY TRENCHES IN STRUCTURAL AREAS SHALL RECEIVE TRENCH BACKFILL AND SHALL BE COMPACTED TO 98 PERCENT AS DETERMINED BY STANDARD PROCTOR.
- 16. ALL PRECAUTIONS SHALL BE TAKEN TO PREVENT TRACKING OF MATERIAL ONTO EXISTING ROADS DURING ALL PHASES OF CONSTRUCTION. THIS SHALL INCLUDE CLEANING OF MUD AND SEDIMENT OFF OF TRUCKS BEFORE LEAVING THE SITE AND CLEANING EXISTING PAVEMENT OF ALL DIRT, MUD AND DEBRIS AT THE END OF EACH DAYS WORK. CLEANING PAVEMENTS MORE FREQUENTLY SHALL ALSO OCCUR WHEN NECESSARY.
- A. PARKING SPACE LINES AND DISABLED PARKING SYMBOLS SHALL BE LOCATED AS SHOWN IN THESE PLANS.

 B. PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 780 OF THE STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- C. PAINT SHALL BE APPLIED IN TWO COATS TO A CLEAN DRY SURFACE USING TEMPLATE OR A STRIPING MACHINE. STRIPES SHALL BE A UNIFORM WIDTH OF FOUR INCHES (4") WIDE, UNLESS OTHERWISE NOTED.
- D. DISABLED PARKING SPACES, STRIPING AND SYMBOLS SHALL BE A HIGH QUALITY YELLOW PAINT AND SHALL BE IN ACCORDANCE WITH ILLINOIS ACCESSIBILITY CODE, CHAPTER I, SECTION 400.310, SUBCHAPTER B. THE COLOR OF ALL OTHER STRIPING SHALL BE PER OWNER'S REPRESENTATIVE REQUIREMENTS.
- 18. SEE ARCHITECTURAL PLANS FOR INFORMATION ON THE PROPOSED BUILDING, BUILDING DIMENSIONS, SIGNAGE, DUMPSTER ENCLOSURE AND SITE LIGHTING.
- NO DIMENSIONS SHALL BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATIONS ANY DISCREPANCIES DISCOVERED WITHIN THE PLANS, EXISTING OR PROPOSED SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 21. ALL MANHOLES, VALVES AND UTILITY STRUCTURES THAT ARE LOCATED IN PROPOSED PAVEMENT OR REGRADED AREAS SHALL BE ADJUSTED SO THAT TOPS MATCH THE PROPOSED SURFACE OR FINISH GRADE.
 22. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION TESTING AND TESTING REPORTS AS REQUIRED BY THE CITY KEWANEE. WHERE TESTS REVEAL NON-COMPLIANCE, THE CONTRACTOR SHALL BEAR THE COST OF SUBSEQUENT REWORK AND TESTING UNTIL THE REQUIRED SPECIFICATION COMPLIANCE IS OBTAINED.
- 23. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH THE CITY OF KEWANEE AND ILLINOIS DEPARTMENT OF TRANSPORTATION REQUIREMENTS FOR ANY WORK IN OR ALONG RIGHT OF WAY AREAS. 24. WHERE PROPOSED CURB IS CONSTRUCTED ADJACENT TO EXISTING BITUMINOUS PAVEMENT, THE AREA BETWEEN THE PROPOSED CURB AND PAVEMENT SHALL BE PATCHED WITH 4" BITUMINOUS PAVEMENT OVER 8" OF CA6 TYPE "B" BASE COURSE. COST TO BE INCLUDED IN PRICE BID FOR CURBS.





ZUMWALT & ASSOCIATES, INC. PROFESSIONAL ENGINEERS • REGISTERED LAND SURVEYORS 1040 W. OLYMPIA DRIVE PEORIA, ILLINOIS ● (309) 692-5074 DESIGN FIRM REGISTRATION NO. 184-003189

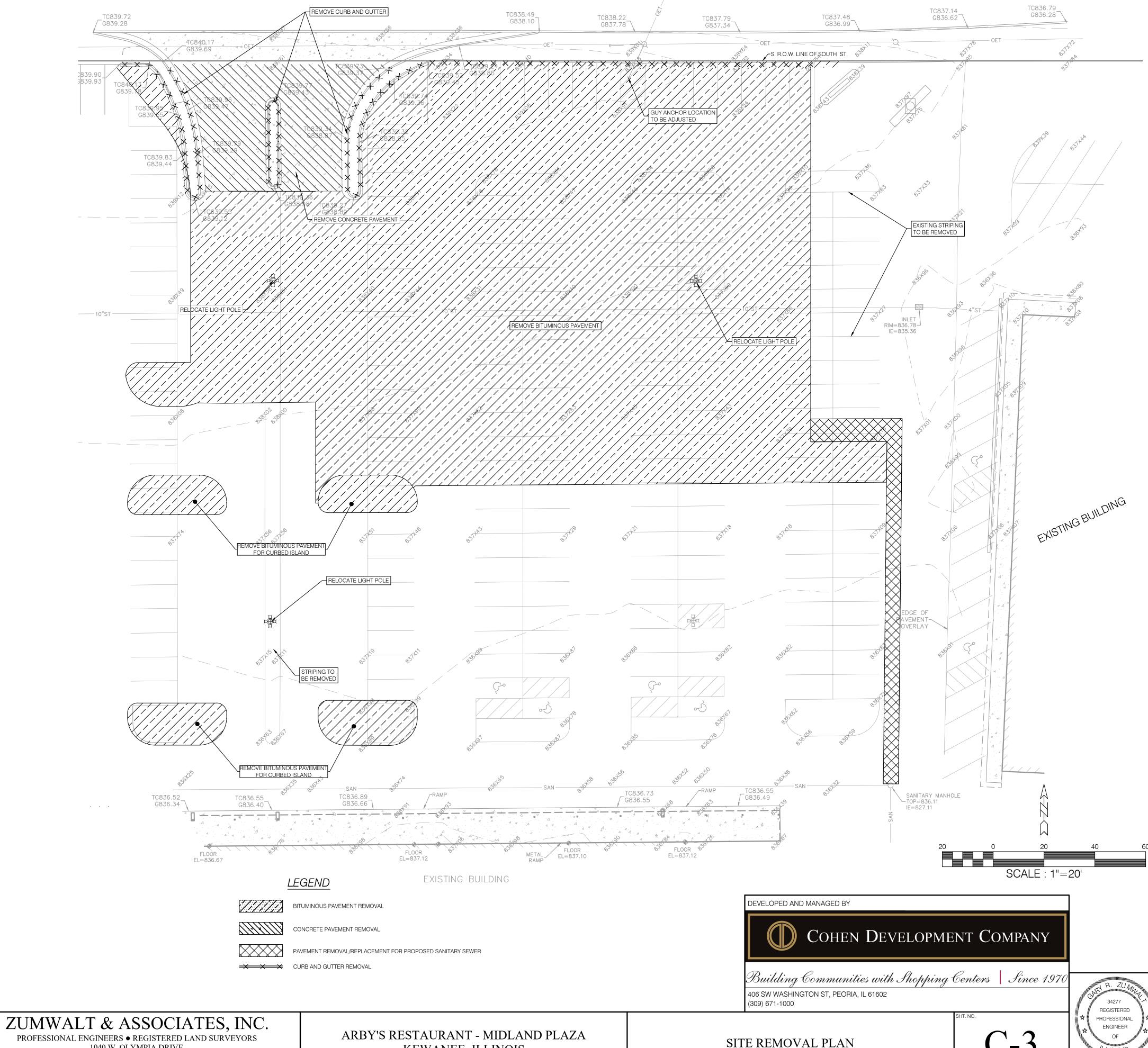
KEWANEE, ILLINOIS

OVERALL SITE PLAN

REMOVAL NOTES

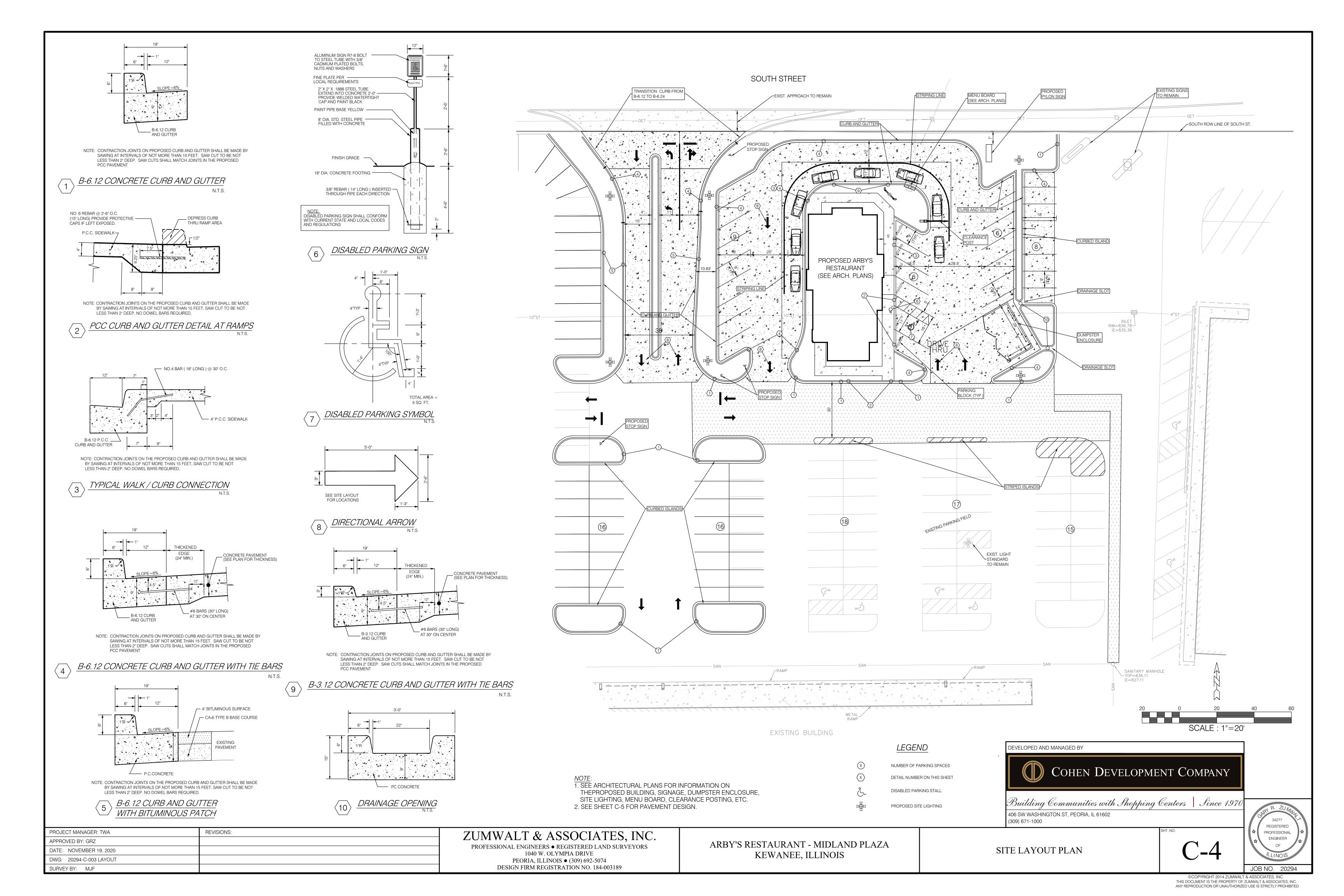
- 1. SEE GENERAL NOTES ON SHEET C-2 FOR OTHER CONDITIONS AFFECTING THE CONSTRUCTION WORK.
- 2. ALL REMOVAL ITEMS SHALL BE PROPERLY DISPOSED OF OFFSITE AT A LOCATION ACQUIRED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- 3. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL FOR ANY WORK IN OR ALONG THE ROAD RIGHT OF WAY AREAS.

 4. BITUMINOUS PAVEMENT/CONCRETE PAVEMENT REMOVAL SHALL INCLUDE COMPLETELY REMOVING THE PAVEMENT AND BASE COURSE DOWN TO SUBGRADE IN THE AREAS INDICATED. SOME EXISTING AGGREGATE BASE CURSE MATERIALS MAY BE ALLOWED TO REMAIN AND RE-COMPACTED IF APPROVED BY OWNER'S REPRESENTATIVE. (SEE WHITNEY'S REPORT DATED AUGUST 21, 2020. 5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AT THE SITE PRIOR TO COMMENCING WORK.
- 6. EXISTING LIGHT POLES, NOTED HEREON, SHALL BE REMOVED AND RELOCATED TO LOCATION DETERMINED BY OWNER'S REPRESENTATIVE. 7. BITUMINOUS PAVEMENT SHALL BE SAWCUT AND REMOVED AS NECESSARY TO CONSTRUCT PROPOSED SANITARY SEWER, BITUMINOUS PATCH/REPLACEMENT SHALL BE AS FOLLOWS:
- 4" BITUMINOUS SURFACE COURSE 8" C.A. 6 TYPE B GRAVEL BASE COURSE
- 8. ALL UTILITY TRENCHES IN STRUCTURAL AREAS SHALL RECEIVE TRENCH BACKFILL AND BE COMPACTED TO 98% AS DETERMINED BY STANDARD
- 9. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, BARRICADES, AND ANY OTHER SAFETY MEASURES NECESSARY TO INSURE PEDESTRIAN AND VEHICULAR SAFETY DURING THE COURSE OF ALL CONSTRUCTION WORK.



SOUTH STREET

JOB NO. 20294



CONSTRUCTION NOTES

- SEE GENERAL NOTES ON OTHER "C" DRAWINGS FOR OTHER CONDITIONS AFFECTING PROJECT.
 EXCAVATION PLACED IN STRUCTURAL FILL AREAS AND SUBGRADES IN PAVEMENT AREAS SHALL BE COMPACTED TO 98 PERCENT AS DETERMINED BY STANDARD PROCTOR.
- STANDARD PROCTOR.

 3. PAVEMENT DESIGN:
- BITUMINOUS PAVEMENT FULL DEPTH:
- 2" HMA SURFACE COURSE, MIX D, N50 2" HMA BINDER COURSE, IL-19.0, N50 INCLUDING PRIME
- 8" CA-6, TYPE B BASE COURSE
 B. PC CONCRETE PAVEMENT PLAIN
- 7" THICK PCC PAVEMENT PLAIN 4" CA-6, TYPE B BASE COURSE
- C. PC CONCRETE PAVEMENT:

 7" THICK PCC PAVEMENT INCLUDING 6" X 6" W2.9 X W2.9 WELDED WIRE MESH

 4" CA-6, TYPE B BASE COURSE
- D. PC CONCRETE SIDEWALK:
- 4" THICK SIDEWALK
- 2" CA-6 TYPE B BASE COURSE
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF ILLINOIS "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION",
- CURRENT EDITION AND SUPPLEMENTAL SPECIFICATIONS.

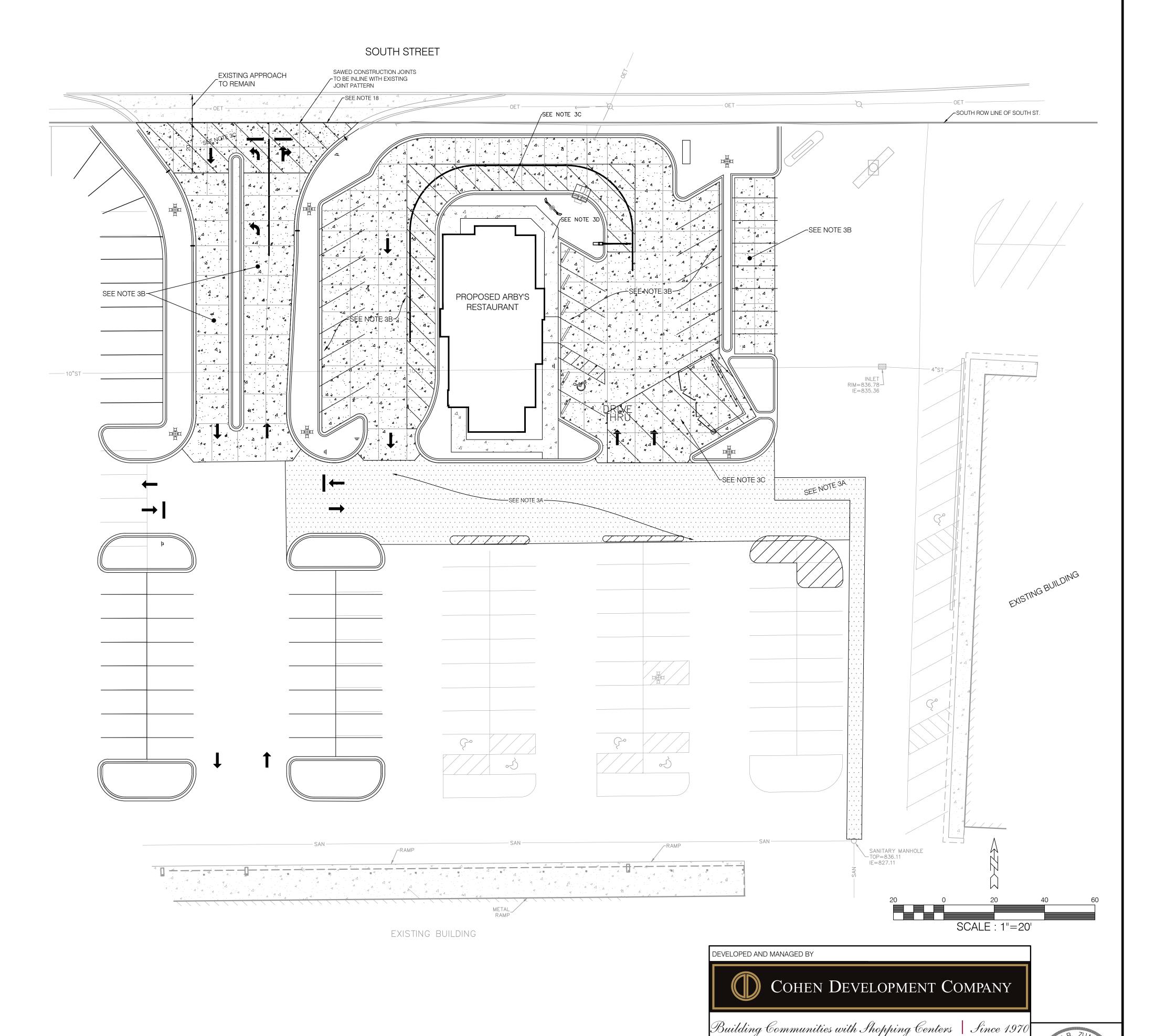
 5. EXCAVATION PLACED IN STRUCTURAL FILL AREAS AND SUBGRADE IN PAVEMENT AREAS SHALL BE COMPACTED TO 98 % AS DETERMINED BY STANDARD
- 6. ALL PCC PAVEMENT JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH I.D.O.T. HIGHWAY STANDARDS. PCC PAVEMENT ROUNDOUTS SHALL BE CONSTRUCTED AT ALL EXISTING AND PROPOSED STRUCTURES WITHIN PROPOSED PCC PAVEMENT AREA IN ACCORDANCE WITH I.D.O.T. HIGHWAY STANDARD
- 420111-03.
 ALL CONCRETE SHALL BE CLASS PV AND HAVE A MINIMUM ALLOWABLE COMPRESSIVE STRENGTH OF 4000 P.S.I. (28 DAYS). ALL CONCRETE PAVING WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 420 OF THE STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
- 8. TWO APPLICATIONS OF PROTECTIVE COAT SHALL BE APPLIED IN ACCORDANCE WITH ARTICLE 420.18 OF THE STANDARD SPECIFICATIONS. PROTECTIVE COAT SHALL BE APPLIED 30 DAYS AFTER COMPLETION OF ALL PAVEMENTS. THE CONTRACTOR SHALL COORDINATE WITH AN OWNER'S REPRESENTATIVE FOR SCHEDULING. COST TO BE INCLUDED IN THE PRICE BID FOR CONCRETE PAVEMENT.
- 9. CURING OF THE CONCRETE PAVEMENT SHALL BE DONE IN ACCORDANCE WITH ARTICLE 1020.13 OF THE STANDARD SPECIFICATIONS. ARTICLE 1020.13(4)
 SHALL BE REVISED TO ALLOW THE USE OF MEMBRANE CURING WHEN A PROTECTIVE COAT IS SPECIFIED.
- THE PAVEMENT SHALL HAVE A TYPE "B" FINAL FINISH, OBTAINED IN ACCORDANCE WITH ARTICLE 420.09(E)(2) OF THE STANDARD SPECIFICATIONS.
 PORTLAND CEMENT CONCRETE PROVIDED SHALL BE PRODUCED FROM BATCH PLANTS THAT CONFORM TO THE REQUIREMENTS OF ARTICLE 1103.03 (A) AND (B) OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEMI-AUTOMATIC BATCHING WILL NOT BE ALLOWED. THE BATCHING PLANT SHALL BE A COMPUTERIZED PLANT INTERFACED WITH A PRINTER AND SHALL PRINT ACTUAL BATCH WEIGHTS, ADDED WATER, TEMPERING WATER, MIXING TIME, AND AMOUNT OF EACH ADDITIVE PER BATCH. TRUCK DELIVERY TICKETS WILL STILL BE REQUIRED AS PER ARTICLE 1020.11 (A)(7).
- 12. ALL JOINTS SHALL BE SAWED AS SOON AS CONDITIONS PERMIT. RANDOM CRACKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. PAVEMENT REMOVAL AND REPLACEMENT SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF ARTICLE 420.05 AND SECTION 440 OF THE STANDARD SPECIFICATIONS AND AS DIRECTED BY THE ENGINEER AND AT THE CONTRACTOR'S EXPENSE. IF A RANDOM CRACK APPEARS WITHIN A PAVEMENT PANEL, THE ENTIRE PANEL SHALL BE REMOVED AND REPLACED, AT THE CONTRACTOR'S EXPENSE.
- 13. CONCRETE JOINT SEALING IN PAVEMENT AND IN CURBS SHALL BE DONE USING HOT POUR CRACK FILLER AND SHALL MEET THE REQUIREMENTS OF SEC. 420.12 OF THE STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 14. WHERE CONCRETE IS PLACED ABUTTING EXISTING PAVEMENTS OR STRUCTURES, A BOND BREAKER CONSISTING OF 1" THICK P.J.F. AND ELASTOMERIC JOINT SEALANT SHALL BE USED FULL DEPTH UNLESS OTHERWISE NOTED.
- 15. CONTRACTOR SHALL SUBMIT FINAL CONRETE JOINT LAYOUT TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION.
 16. JOINTS IN SIDEWALK SHALL BE TOOLED AT 5' MAXIMUM INTERVALS UNLESS INDICATED OTHERWISE.
- 17. A FROST STOOP SHALL BE CONSTRUCTED AT EACH ENTRANCE AND EXIT DOOR. SEE ARCHITECTURAL PLANS FOR DETAIL.

 18. TIE BARS SHALL BE DRILLED AND INSTALLED WHERE PROPOSED PAVEMENT BUTTS TO THE EXISTING CONCRETE PAVEMENT. TIE BARS SHALL BE #6 BARS (30"

LONG) AT 30" CENTERS. COST TO BE INCLUDED IN PRICE BID FOR CONCRETE PAVEMENT.

PAVEMENT DESIGN BITUMINOUS PAVEMENT - 2" HMA SURFACE COURSE MIX D, N50 - 2" HMA BINDER COURSE IL-19.0 N50 INCLUDING PRIME - 8" C.A. 6 TYPE "B" BASE COURSE CONCRETE PAVEMENT - 7" P.C. CONCRETE PLAIN - 4" C.A. 6 TYPE "B" GRAVEL BASE CONCRETE PAVEMENT - 7" P.C. CONCRETE W/ 6" x 6" W2.9 xW2.9 WELDED WIRE MESH - 4" C.A. 6 TYPE "B" GRAVEL BASE CONCRETE SIDEWALK - 4" CONCRETE WALK

- 2" C.A. 6 TYPE "B" GRAVEL BASE COURSE



PROJECT MANAGER: TWA REVISIONS:

APPROVED BY: GRZ

DATE: NOVEMBER 19, 2020

DWG: 20294-C-004 PAVEMENT DESIGN

SURVEY BY: MJF

ZUMWALT & ASSOCIATES, INC.

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DESIGN FIRM REGISTRATION NO. 184-003189

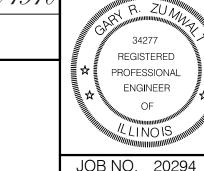
ARBY'S RESTAURANT - MIDLAND PLAZA KEWANEE, ILLINOIS

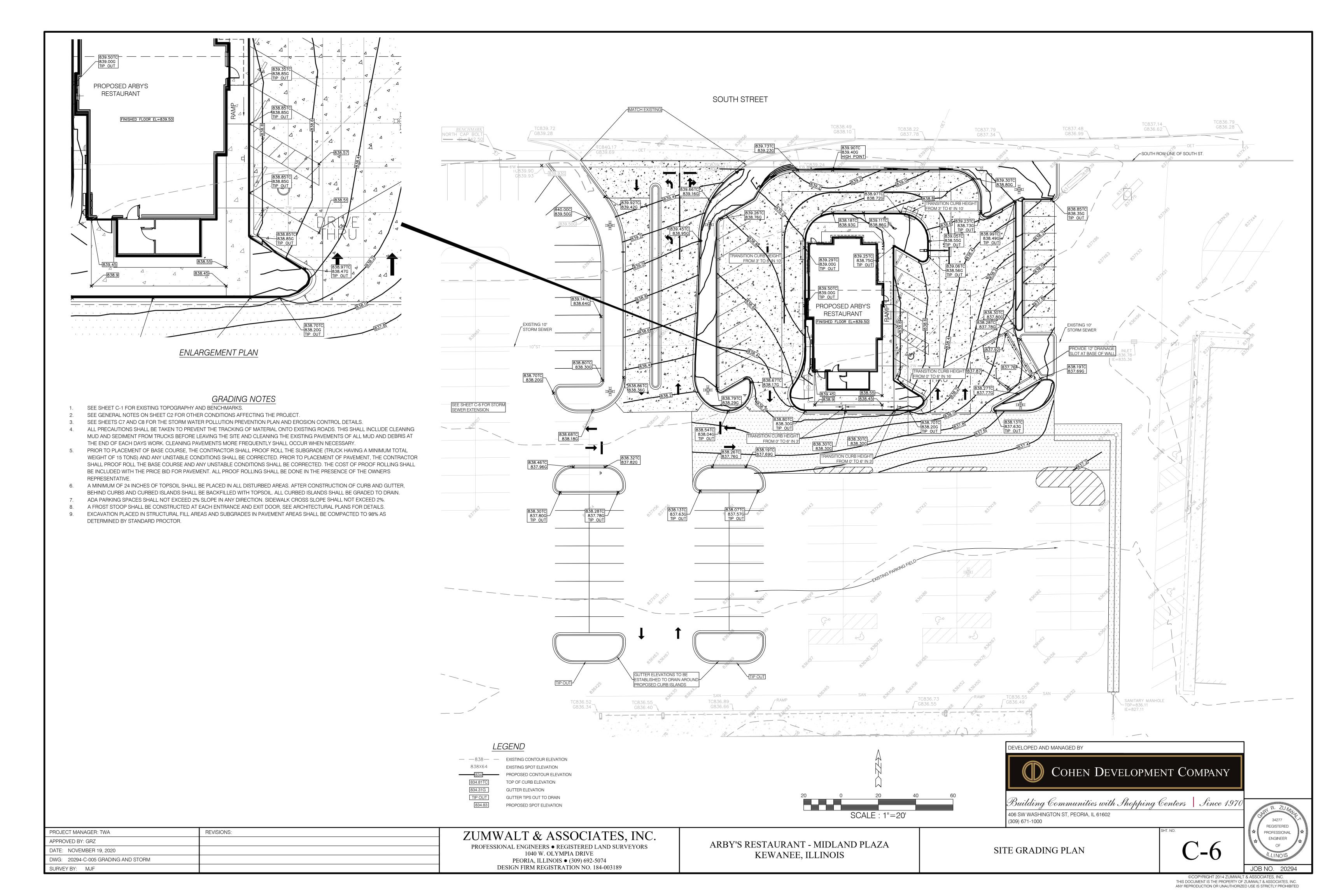
PAVEMENT DESIGN

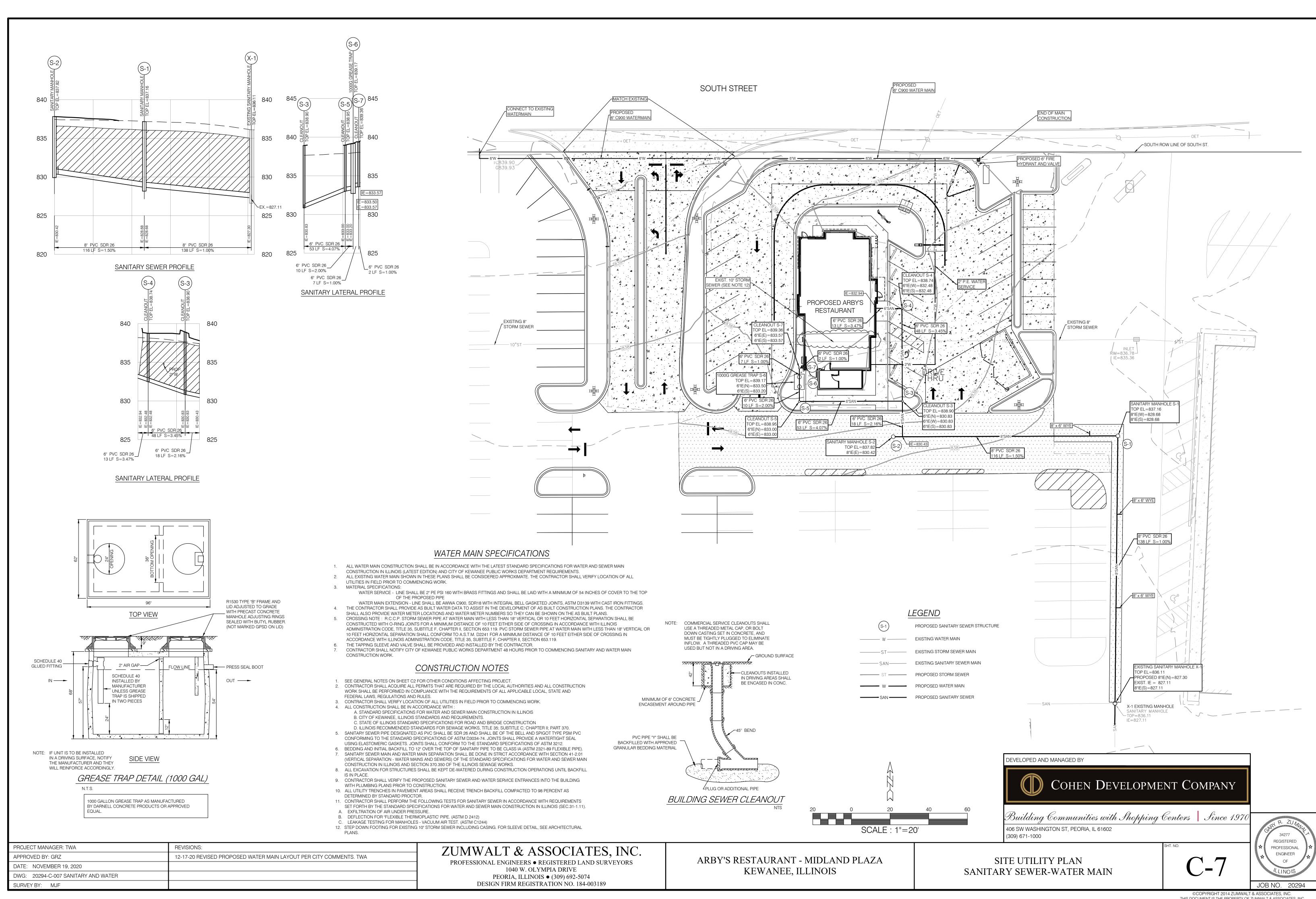
(309) 671-1000

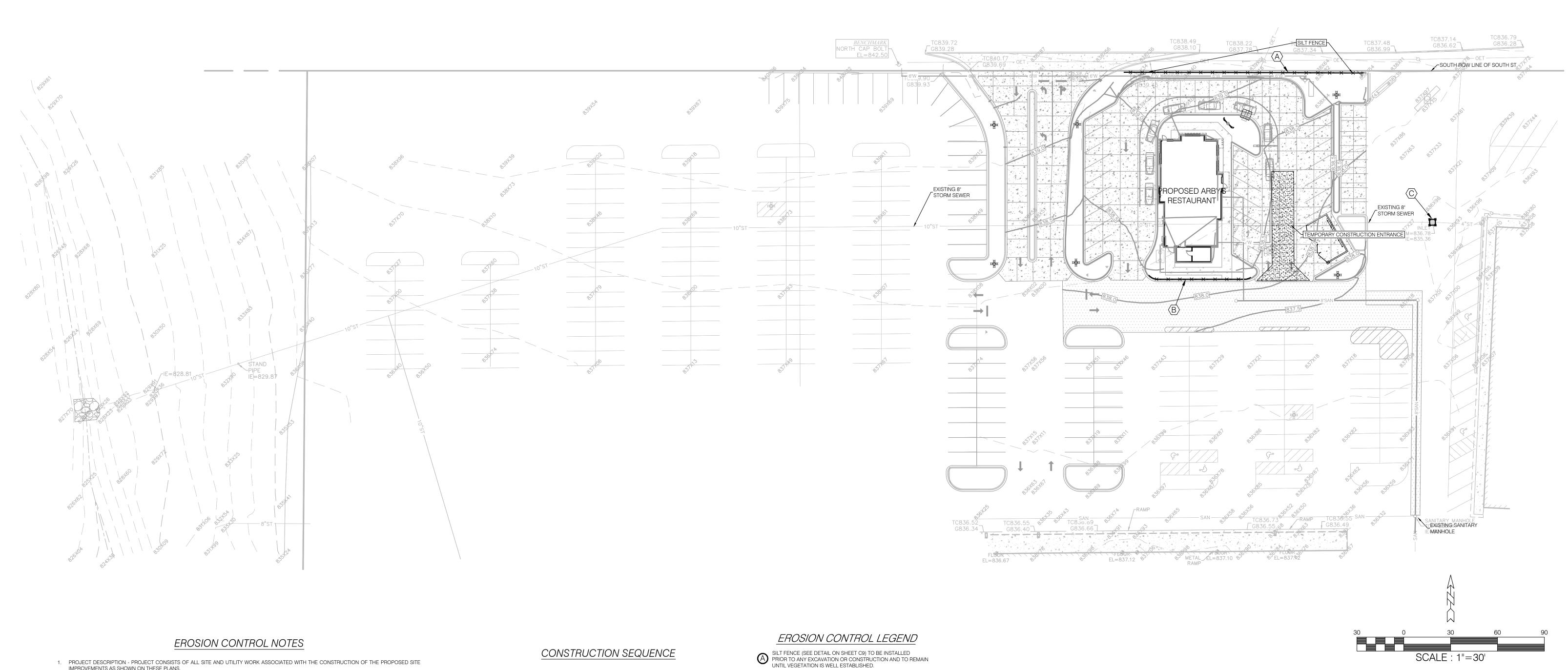
406 SW WASHINGTON ST, PEORIA, IL 61602

C-5









- IMPROVEMENTS AS SHOWN ON THESE PLANS.
- 2. APPROXIMATE SITE AREA TO BE GRADED OR EXCAVATED = 0.98 ACRES \pm
- 3. EROSION AND SEDIMENT CONTROL MEASURES: A. SILT FENCE SHALL BE PLACED WHERE SHOWN ON THIS PLAN.
 - B. PROVIDE TEMPORARY PIT OR BERMED AREA AT LOCATION TO BE DETERMINED BY OWNER'S REPRESENTATIVE FOR WASHOUT OF CONCRETE TRUCKS, TOOLS, MORTAR MIXES, ETC.
- C. ALL PRECAUTIONS SHALL BE TAKEN TO PREVENT THE TRACKING OF MATERIAL ONTO EXISTING ROADS. THIS SHALL INCLUDE CLEANING
- MUD AND SEDIMENT OFF OF TRUCKS BEFORE LEAVING THE SITE AND CLEANING EXISTING PAVEMENTS OF ALL DIRT, MUD AND DEBRIS AT THE END OF EACH DAYS WORK. CLEANING PAVEMENTS MORE FREQUENTLY SHALL ALSO OCCUR WHEN NECESSARY. D. DUST CONTROL SHALL BE PROVIDED BY WATERING OR OTHER MEANS TO KEEP DUST TO A MINIMUM DURING CONSTRUCTION.
- 4. CONSTRUCTION WASTE: ALL CONSTRUCTION WASTE MATERIALS WILL BE COLLECTED AT REGULAR INTERVALS AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE WASTE MANAGEMENT REGULATIONS. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR CONSTRUCTION WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION OFFICE.
 - 1. HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER.
 - 2. SANITARY WASTE: ALL SANITARY WASTE WILL BE COLLECTED FROM PORTABLE UNITS BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATIONS.
- 5. MAINTENANCE AND INSPECTION: ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE PER WEEK AND FOLLOWING ANY STORM EVENT OF 1/2 INCH OR GREATER. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF REPAIR IS NECESSARY, IT WILL BE MADE AS SOON AS PRACTICAL AFTER DAMAGE OCCURS. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. INSPECTION SERVICES TO BE PROVIDED BY THE CONTRACTOR.
- 6. COPIES OF THE STORM WATER POLLUTION PREVENTION PLAN WILL BE RETAINED ONSITE BY THE CONTRACTOR AT ALL TIMES.
- 7. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION WORK. 8. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED, AND MULCHED AS FOLLOWS:
- A. SEEDING SHALL BE CLASS 1 IN ACCORDANCE WITH THE STATE OF ILLINOIS "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE
- B. FERTILIZING FOR THE SEEDING AREAS SHALL HAVE A RATIO OF 12N-12P-12K AND SHALL BE APPLIED AT THE RATE OF 270 POUNDS PER ACRE. (90 POUNDS EACH NITROGEN, PHOSPHORUS, AND POTASSIUM)
- C. MULCH SHALL BE METHOD 1, STATE OF ILLINOIS STANDARDS.

- 1. INSTALLATION OF PRECONSTRUCTION EROSION
- **MEASURES** 2. SITE DEMOLITION WORK
- 3. INITIAL GRADING AND EXCAVATION
- 4. CONSTRUCT STORM SEWER 5. CONSTRUCT SANITARY SEWER
- 6. CONSTRUCT WATER SERVICE
- 7. INSTALL CURB AND GUTTER
- 8. INSTALL SIDEWALKS
- 9. INSTALL BASE COURSE AND PAVEMENT
- FINAL GRADING
- 11. SEEDING, FERTILIZING AND MULCHING

- SILT FENCE (SEE DETAIL ON SHEET C9) TO BE INSTALLED AFTER CURB IS INSTALLED AND SHALL REMAIN UNTIL VEGETATION IS WELL ESTABLISHED.
- INLET PROTECTION, SILT SACK OR APPROVED EQUAL (SEE DETAILS ON SHEET C-9) TO BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL REMAIN LINTIL VEGETATION IS WELL FOR THE VIOLENCE OF SHALL REMAIN UNTIL VEGETATION IS WELL ESTABLISHED.

XXX SILT FENCE

INLET PROTECTION

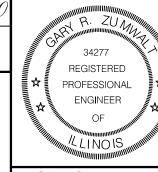
- - DISTURBED AREA LIMITS



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STORM WATER POLLUTION PREVENTION PLAN

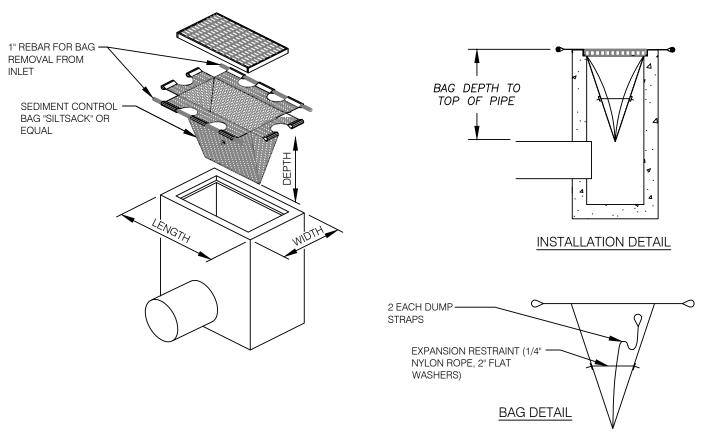


PROJECT MANAGER: TWA **REVISIONS:** APPROVED BY: GRZ DATE: NOVEMBER 19, 2020 DWG: 20294-C-008 SWPPP SURVEY BY: MJF

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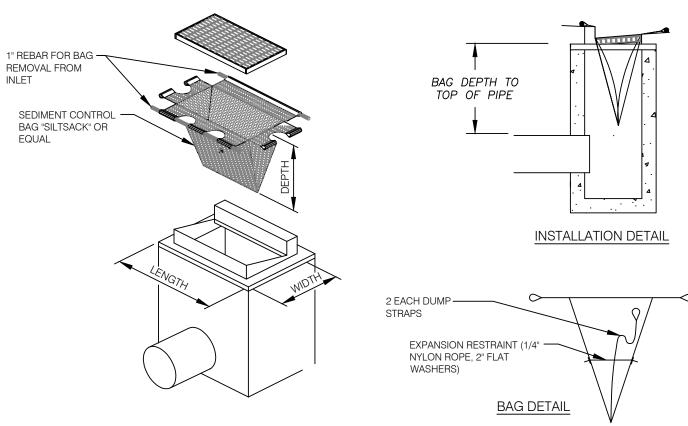
ARBY'S RESTAURANT - MIDLAND PLAZA KEWANEE, ILLINOIS

SILT SACK - TYPE A



- 1. THE SEDIMENT CONTROL DEVICE SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED A MINIMUM ONCE PER MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT. FILTER SHALL BE CLEANED IN A MANNER WHICH ENSURES THAT ALL
- SUBSTITUTION OF A SHEET OF FILTER FABRIC PLACED OVER THE OPENING OF THE INLET IS NOT APPROVED. 3. THE FILTER SHALL BE REPLACED OR CLEANED WHEN THE BAG BECOMES HALF FULL.

SILT SACK - TYPE B



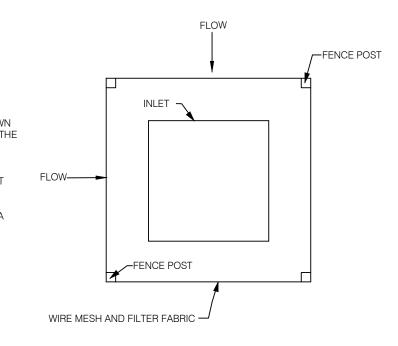
MESH SUPPORT 6" SQUARE (MAX.)

- 1. THE SEDIMENT CONTROL DEVICE SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED A MINIMUM ONCE PER MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT. FILTER SHALL BE CLEANED IN A MANNER WHICH ENSURES THAT ALL
- 2. SUBSTITUTION OF A SHEET OF FILTER FABRIC PLACED OVER THE OPENING OF THE INLET IS NOT APPROVED.
- 3. THE FILTER SHALL BE REPLACED OR CLEANED WHEN THE BAG BECOMES HALF FULL.

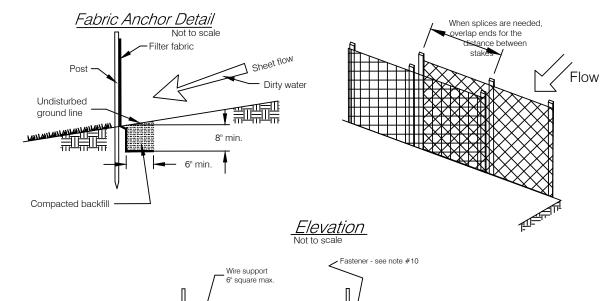
INLET PROTECTION DETAIL

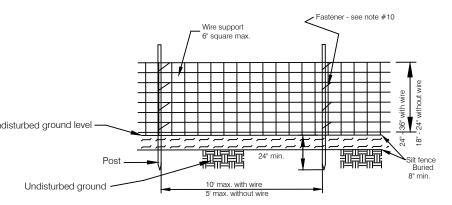
NOTES:

- 1. TOP AND BOTTOM WIRES OF MESH SUPPORT SHALL BE MIN. GAGE NO. 9.
- 2. INTERMEDIATE WIRES OF MESH SUPPORTS SHALL BE MIN. GAGE NO. 11.
- 3. TEMPORARY INLET PROTECTION SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED AS NOTED.
- 4. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE (ILL. URBAN MANUAL) TABLE 1 OR 2, CLASS T WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
- 5. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM SECTIONAL AREA 3.0 SQ. IN.
- 6. THE MESH SUPPORT MAY BE OMITTED IF A MAXIMUM OF 5' IS USED FOR POST



SILT FENCE DETAIL





opening shall be six inches.

height of 24 inches is used.

1. Silt fences shall be installed prior to the clearing of existing vegetation or site

- 2. Filter fabric shall meet the requirements of Illinois Urban Manual Material Specification 592--Geotextile, Table 1 or 2, Class I.
- 3. Top and bottom wires of the wire support shall be a minimum of 9 gauge; intermediate wires shall be a minimum of 11 gauge. The maximum wire
- 4. Fence posts shall be standard (T or U) steel posts or wood with a minimum cross sectional area of 3.0 square inches. Posts shall be a minimum of 60 inches long.
- 5. The posts shall be driven a minimum of 24 inches into the ground. Post spacing shall be a maximum of every 10 feet for standard silt fence.

spacing of five feet and a minimum height of 18 inches and a maximum

6. The height of a standard silt fence shall be a minimum of 24 inches and a maximum of 36 inches above the original ground surface. 7. The wire support may be omitted for standard silt fence if a maximum post

9. The silt fence shall be entrenched to a minimum depth of 8 inches, with an additional 6 inches extending along the bottom of the trench in the up-slope direction. The trench shall be backfilled and the soil compacted over the fabric.

10. The filter fabric and wire support, if used, must be securely fastened to the posts using one inch long heavy duty wire staples, tie wires, or hog rings. The fabric shall not be stapled to trees. 11. The fence shall be installed as close to the contour as possible, with the ends extending up-slope. The area below the silt fence must be undisturbed or

with a minimum overlap equal to the distance between posts.

8. When splices are necessary, the fabric shall be spliced between support posts,

Applicability

A standard sheet flow silt fence is a temporary barrier of entrenched filter fabric stretched across and attached to supporting posts. It is used to catch dirty runoff from small drainage areas of disturbed soil. This practice shall only be installed in areas where runoff is in the form of sheet flow. The purpose of this practice is to cause dirt to drop out of the water and prevent it from leaving disturbed areas.

1. The maximum allowable slope lengths contributing to a standard sheet flow silt



2. When the disturbed slope is longer than the maximum spacing, add additional parallel rows of silt fence to the slope so that the distance is in the allowable Silt fence may be used where long-term effectiveness is required.

Operation and Maintenance

- 1. Silt fences shall be inspected immediately after each rainfall and at least once a day
- during prolonged rainfall.

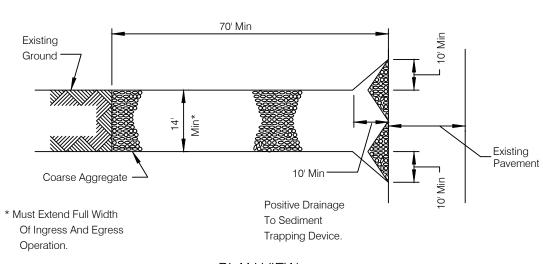
 2. Dirt should be removed after each rainfall; it MUST be removed when it reaches
- one-half the fence height. 3. Erosion resulting from end-runs or under-cuts shall be repaired immediately.
- 4. All loose fence material or failing posts shall be repaired immediately.5. Silt fences shall remain in place and be fully functional until the area being protected is permanently stabilized.

6. Any dirt deposits remaining in place after the silt fence is no longer required shall be dressed to conform to the existing grade, a seedbed prepared, and the site vegetated.

Inspection Checklist

- 1. Verify that the silt fence is installed in the appropriate location -- down-slope of the disturbed area. Check to see if all necessary areas (where runoff leaves the site)
- 2. Verify that the silt fence is installed as close to the contour as practical. 3. Check to see if the splices (when needed) overlap a minimum of one post length and
- are secured tightly. 4. Check post spacing: Fabric only -- 5 ft. maximum: Fabric with wire support -- 10
- 5. Check the height of the fence: ..Without wire With wire....
- 24 inches min.... ...18 inches min.
- 36 inches max... ...24 inches max. 6. Check to see that the fabric is entrenched a minimum of eight inches, with an additional six inches of fabric extending uphill (buried). 7. Check to see if maintenance is needed.

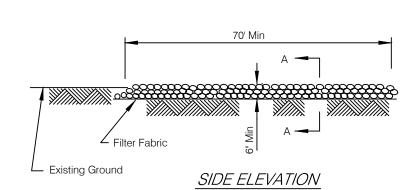
STABILIZED CONSTRUCTION ENTRANCE PLAN

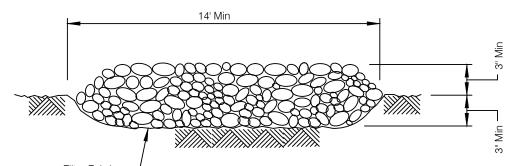


- 1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table I or 2, Class I, II or IV and shall be placed
- over the cleared area prior to the placing of rock. 2. Rock or reclaimed concrete shall meet one of the following IDOT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class III compaction.
- 3. If wash racks are used they shall be installed according to the manufactures specifications.

SECTION A-A

PLAN VIEW





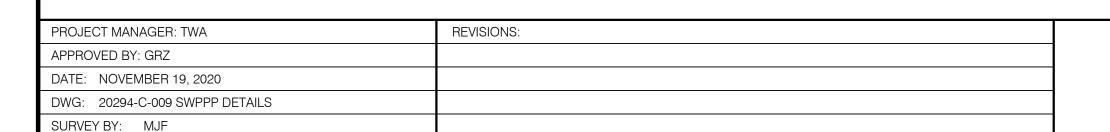
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ARBY'S RESTAURANT - MIDLAND PLAZA KEWANEE, ILLINOIS

STORM WATER POLLUTION PREVENTION PLAN DETAILS REGISTERED

PROFESSIONAL ENGINEER

CONSTRUCTION PLANS

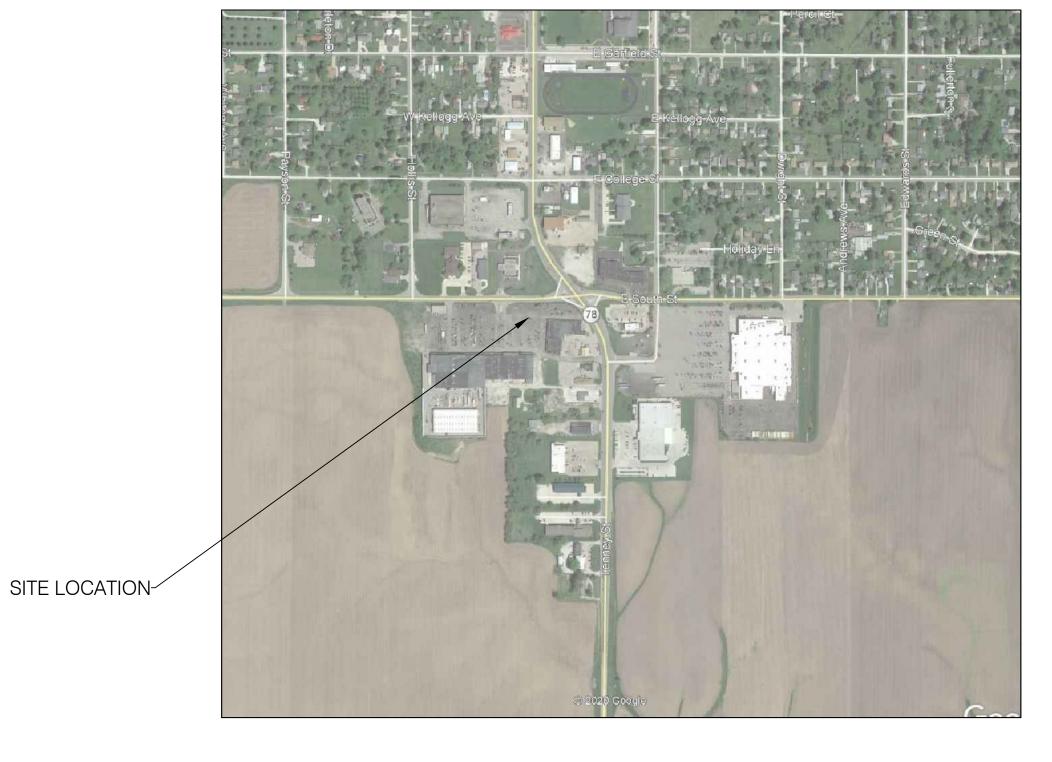
FOR

ARBY'S RESTAURANT - MIDLAND PLAZA

KEWANEE, ILLINOIS

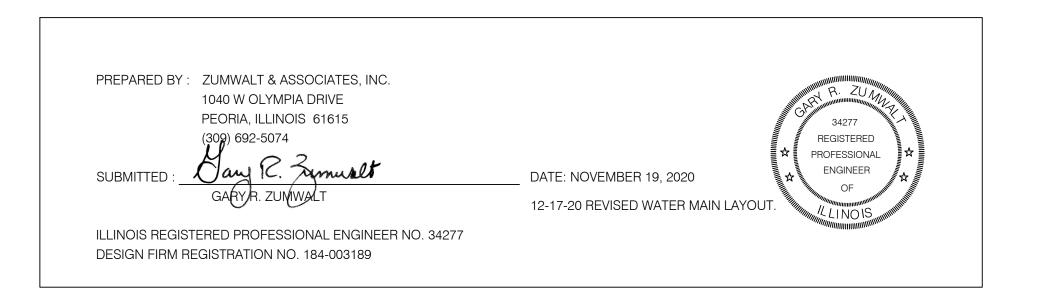
Sheet List Table

C-0	COVER SHEET	
C-1	EXISTING TOPOGRAPY AND UTILITY SURVEY	
C-2	OVERALL SITE PLAN AND GENERAL NOTES	
C-3	SITE REMOVAL PLAN	
C-4	SITE LAYOUT PLAN AND DETAILS	
C-5	PAVEMENT DESIGN	
C-6	SITE GRADING PLAN	
C-7	SITE UTILITY PLAN, SANITARY AND WATER LAYOUT	
C-8	C-8 STORM WATER POLLUTION PREVENTION PLAN	
C-9	STORM WATER POLUUTION PREVENTION PLAN DETAILS	





UTILITY INFORMATION				
UTILITY	COMPANY	PHONE NO.		
CABLE	COMCAST	866-553-4448		
ELECTRIC / GAS	AMEREN IP	800-755-5000		
SANITARY SEWER	KEWANEE PUBLIC WORKS	309-852-2611 EXT 232		
STORM SEWER	KEWANEE PUBLIC WORKS	309-852-2611 EXT 232		
WATER	KEWANEE PUBLIC WORKS	309-852-2611 EXT 232		





PREPARED FOR: MIDLAND PLAZA, LLC
406 SW WASHINGTON STREET
PEORIA, ILLINOIS 60602
PHONE (309) 671-1000
ATTENTION: MR. LES COHEN

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COHEN DEVELOPMENT COMPANY

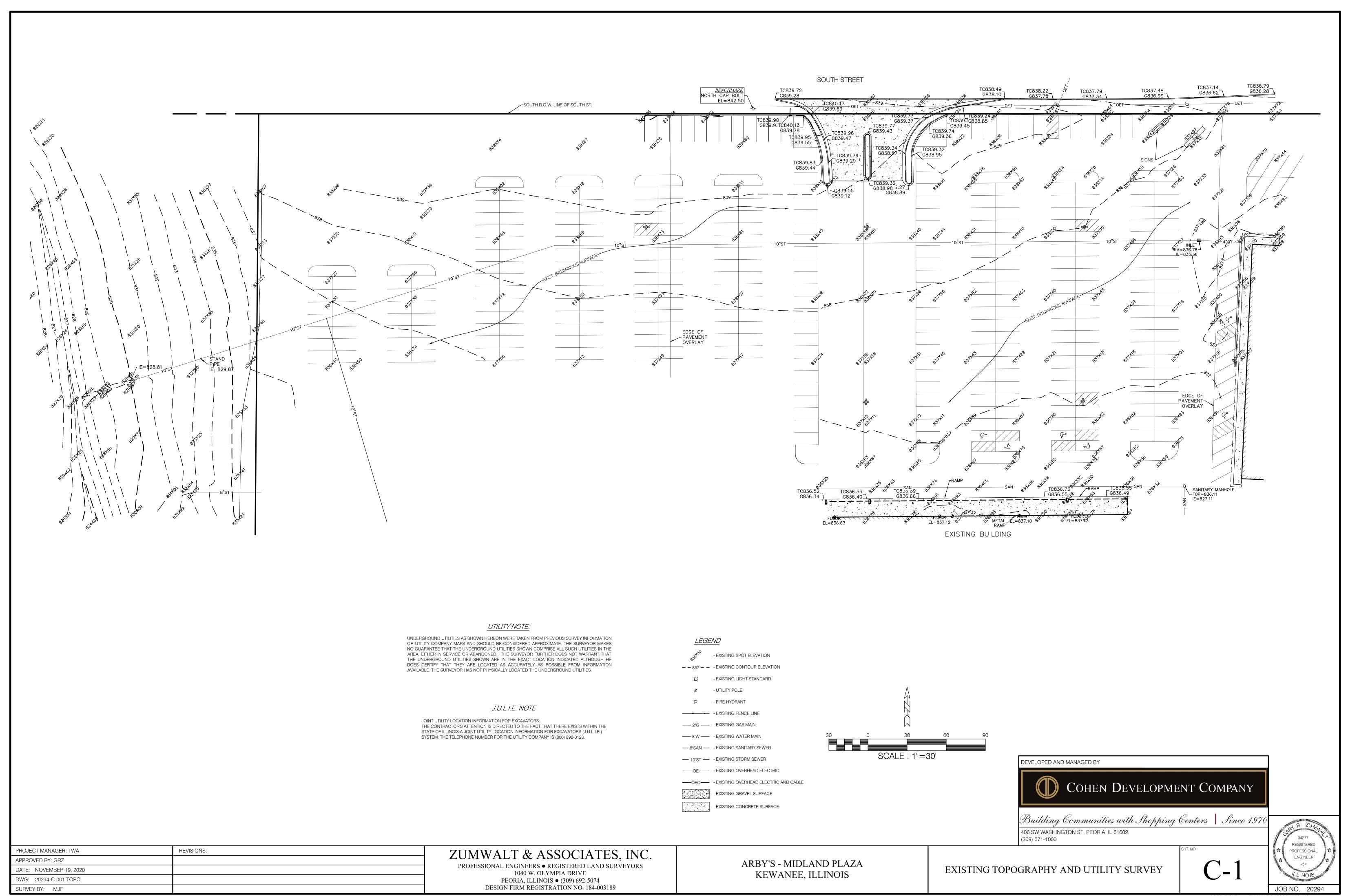
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406 SW WASHINGTON ST, PEORIA, IL 61602

JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS

THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT THERE EXISTS WITHIN THE STATE OF ILLINOIS A JOINT UTILITY LOCATION INFORMATION FOR EXCAVATORS (J.U.L.I.E.) SYSTEM. THE TELEPHONE NUMBER FOR THE UTILITY COMPANY IS (800) 892-0123.

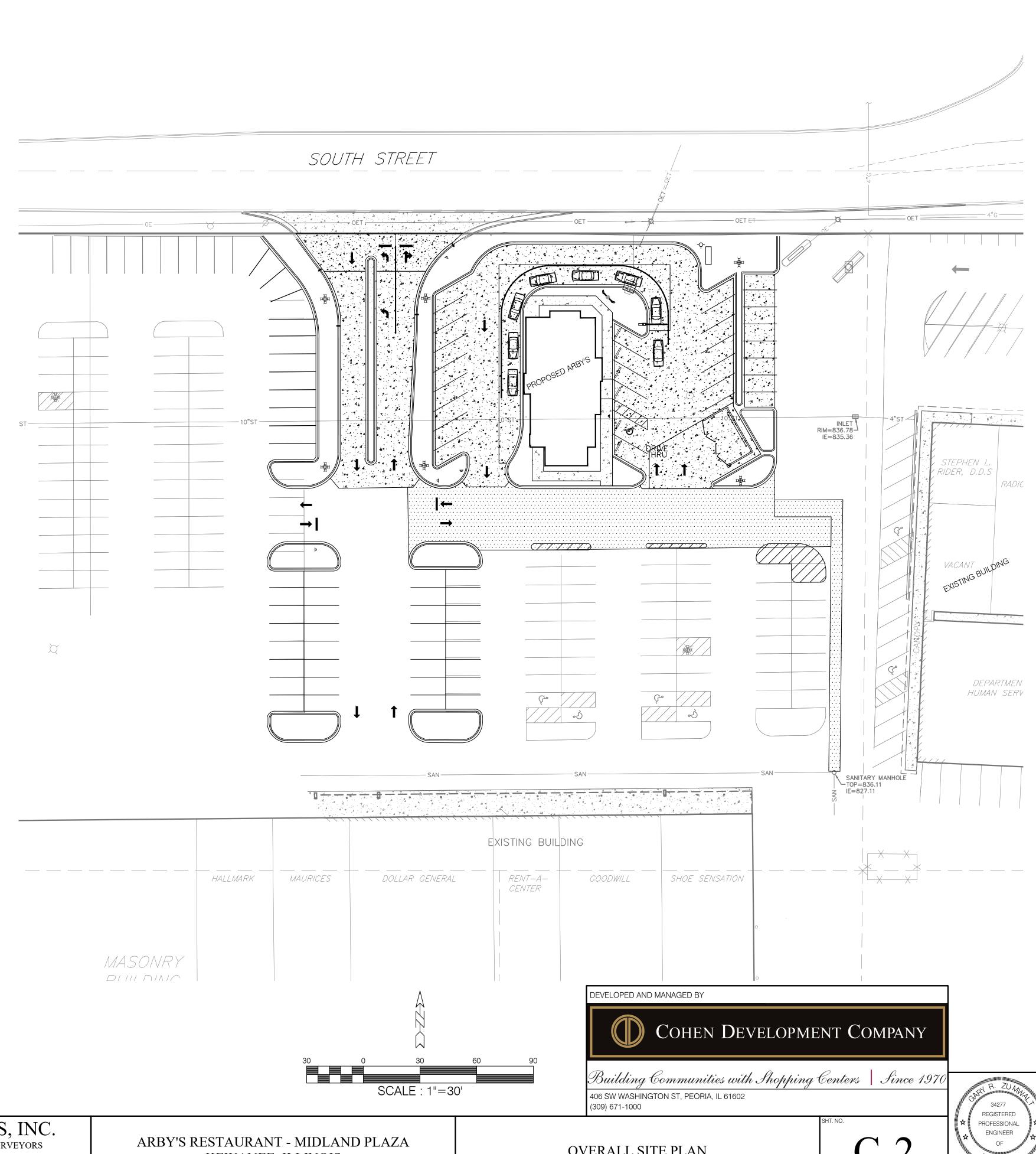
(309) 671-1000



GENERAL NOTES

- SEE CONSTRUCTION NOTES ON OTHER "C" DRAWINGS FOR OTHER CONDITIONS AFFECTING CONSTRUCTION WORK.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL NOT COMMENCE ANY PROPOSED WORK ON ADJOINING PROPERTIES UNTIL THE OWNER HAS OBTAINED CONSTRUCTION EASEMENTS OR AGREEMENTS FOR SAID WORK. THE CONTRACTOR SHALL ACQUIRE ALL PERMITS THAT ARE REQUIRED BY THE LOCAL AUTHORITIES AND ALL CONSTRUCTION WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE REQUIREMENTS OF ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS, REGULATIONS AND RULES.
- 5. ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH:
 - A. CITY OF KEWANEE AND THE KEWANEE DEPARTMENT OF PUBLIC WORKS REQUIREMENTS B. STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - C. STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS
 - D. ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS, SECTION 370.350 E. WHITNEY & ASSOCIATES SOILS REPORT AND SITE DEVELOPMENT RECOMMENDATIONS, DATED AUGUST 21, 2020.
- STORM WATER POLLUTION PREVENTION PLAN: CONTRACTOR SHALL PROVIDE EROSION CONTROL PROTECTION DURING UTILITY AND CONSTRUCTION WORK IN ACCORDANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN, EROSION CONTROL DETAILS AND NOTES SHOWN ON SHEETS C-8 AND C-9.
- EXCAVATION PLACED IN STRUCTURAL FILL AREAS AND SUBGRADES IN PAVEMENT AREAS SHALL BE COMPACTED TO 98 PERCENT AS DETERMINED BY STANDARD PROCTOR.
- PAVEMENT DESIGN: SEE SHEET C-5 FOR PAVEMENT DESIGN. APPROXIMATELY 8 INCHES OF TOP SOIL SHALL BE STRIPPED IN ALL STRUCTURAL AREAS. THE EXACT AMOUNT TO BE DETERMINED BY THE OWNER'S REPRESENTATIVE. A MINIMUM OF 24 INCHES OF TOPSOIL SHALL BE PLACED IN ALL
- DISTURBED AREAS. AFTER CONSTRUCTION OF CURB AND GUTTER, BEHIND CURBS AND CURBED ISLANDS SHALL BE BACKFILLED WITH TOPSOIL AND SHALL BE GRADED TO DRAIN. 10. CONTRACTOR SHALL REQUEST AND RECEIVE WRITTEN APPROVAL FROM THE OWNER FOR ANY ADDITIONAL WORK PRIOR TO COMMENCEMENT OF SAID WORK. NO ADDITIONAL WORK BY THE CONTRACTOR WILL BE AUTHORIZED UNTIL A CHANGE ORDER IS SIGNED BY THE OWNER.
- 11. DUST CONTROL SHALL BE PROVIDED BY WATERING OR OTHER MEANS TO KEEP DUST TO A MINIMUM DURING CONSTRUCTION. 12. ALL EXISTING ADJACENT AREAS AND PROPERTY SHALL BE PROPERLY PROTECTED FROM DAMAGE AND LEFT UNDAMAGED FROM THE OPERATIONS OF THE CONTRACTOR. ANY OF THE SURROUNDING PROPERTY DAMAGED BY THE
- CONTRACTOR SHALL BE REPLACED TO AN EQUAL OR BETTER CONDITION THAN WHAT EXISTED PRIOR AT THE CONTRACTOR'S EXPENSE. 13. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE 48 HOURS IN ADVANCE OF ANY PROPOSED CONSTRUCTION WORK.
- 14. ALL P.C.C. RAMPS SHALL BE CONSTRUCTED PER ILLINOIS ACCESSIBILITY CODE. ALL RAMPS SHALL BE CONSTRUCTED PER IDOT STANDARD # 424001-06 (CURB RAMPS FOR SIDEWALKS).
- 15. ALL UTILITY TRENCHES IN STRUCTURAL AREAS SHALL RECEIVE TRENCH BACKFILL AND SHALL BE COMPACTED TO 98 PERCENT AS DETERMINED BY STANDARD PROCTOR. 16. ALL PRECAUTIONS SHALL BE TAKEN TO PREVENT TRACKING OF MATERIAL ONTO EXISTING ROADS DURING ALL PHASES OF CONSTRUCTION. THIS SHALL INCLUDE CLEANING OF MUD AND SEDIMENT OFF OF TRUCKS BEFORE LEAVING THE SITE AND CLEANING EXISTING PAVEMENT OF ALL DIRT, MUD AND DEBRIS AT THE END OF EACH DAYS WORK. CLEANING PAVEMENTS MORE FREQUENTLY SHALL ALSO OCCUR WHEN NECESSARY.
- A. PARKING SPACE LINES AND DISABLED PARKING SYMBOLS SHALL BE LOCATED AS SHOWN IN THESE PLANS.

 B. PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS SPECIFIED IN SECTION 780 OF THE STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- C. PAINT SHALL BE APPLIED IN TWO COATS TO A CLEAN DRY SURFACE USING TEMPLATE OR A STRIPING MACHINE. STRIPES SHALL BE A UNIFORM WIDTH OF FOUR INCHES (4") WIDE, UNLESS OTHERWISE NOTED. D. DISABLED PARKING SPACES, STRIPING AND SYMBOLS SHALL BE A HIGH QUALITY YELLOW PAINT AND SHALL BE IN ACCORDANCE WITH ILLINOIS ACCESSIBILITY CODE, CHAPTER I, SECTION 400.310, SUBCHAPTER B. THE COLOR OF ALL OTHER STRIPING SHALL BE PER OWNER'S REPRESENTATIVE REQUIREMENTS.
- 18. SEE ARCHITECTURAL PLANS FOR INFORMATION ON THE PROPOSED BUILDING, BUILDING DIMENSIONS, SIGNAGE, DUMPSTER ENCLOSURE AND SITE LIGHTING.
- NO DIMENSIONS SHALL BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATIONS ANY DISCREPANCIES DISCOVERED WITHIN THE PLANS, EXISTING OR PROPOSED SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 21. ALL MANHOLES, VALVES AND UTILITY STRUCTURES THAT ARE LOCATED IN PROPOSED PAVEMENT OR REGRADED AREAS SHALL BE ADJUSTED SO THAT TOPS MATCH THE PROPOSED SURFACE OR FINISH GRADE.
 22. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION TESTING AND TESTING REPORTS AS REQUIRED BY THE CITY KEWANEE. WHERE TESTS REVEAL NON-COMPLIANCE, THE CONTRACTOR SHALL BEAR THE COST OF SUBSEQUENT REWORK AND TESTING UNTIL THE REQUIRED SPECIFICATION COMPLIANCE IS OBTAINED.
- 23. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH THE CITY OF KEWANEE AND ILLINOIS DEPARTMENT OF TRANSPORTATION REQUIREMENTS FOR ANY WORK IN OR ALONG RIGHT OF WAY AREAS. 24. WHERE PROPOSED CURB IS CONSTRUCTED ADJACENT TO EXISTING BITUMINOUS PAVEMENT, THE AREA BETWEEN THE PROPOSED CURB AND PAVEMENT SHALL BE PATCHED WITH 4" BITUMINOUS PAVEMENT OVER 8" OF CA6 TYPE "B" BASE COURSE. COST TO BE INCLUDED IN PRICE BID FOR CURBS.



PROJECT MANAGER: TWA	REVISIONS:
APPROVED BY: GRZ	
DATE: NOVEMBER 19, 2020	
DWG: 20294-C-001 OVERALL	
SURVEY BY: MJF	

ZUMWALT & ASSOCIATES, INC. PROFESSIONAL ENGINEERS • REGISTERED LAND SURVEYORS 1040 W. OLYMPIA DRIVE PEORIA, ILLINOIS ● (309) 692-5074 DESIGN FIRM REGISTRATION NO. 184-003189

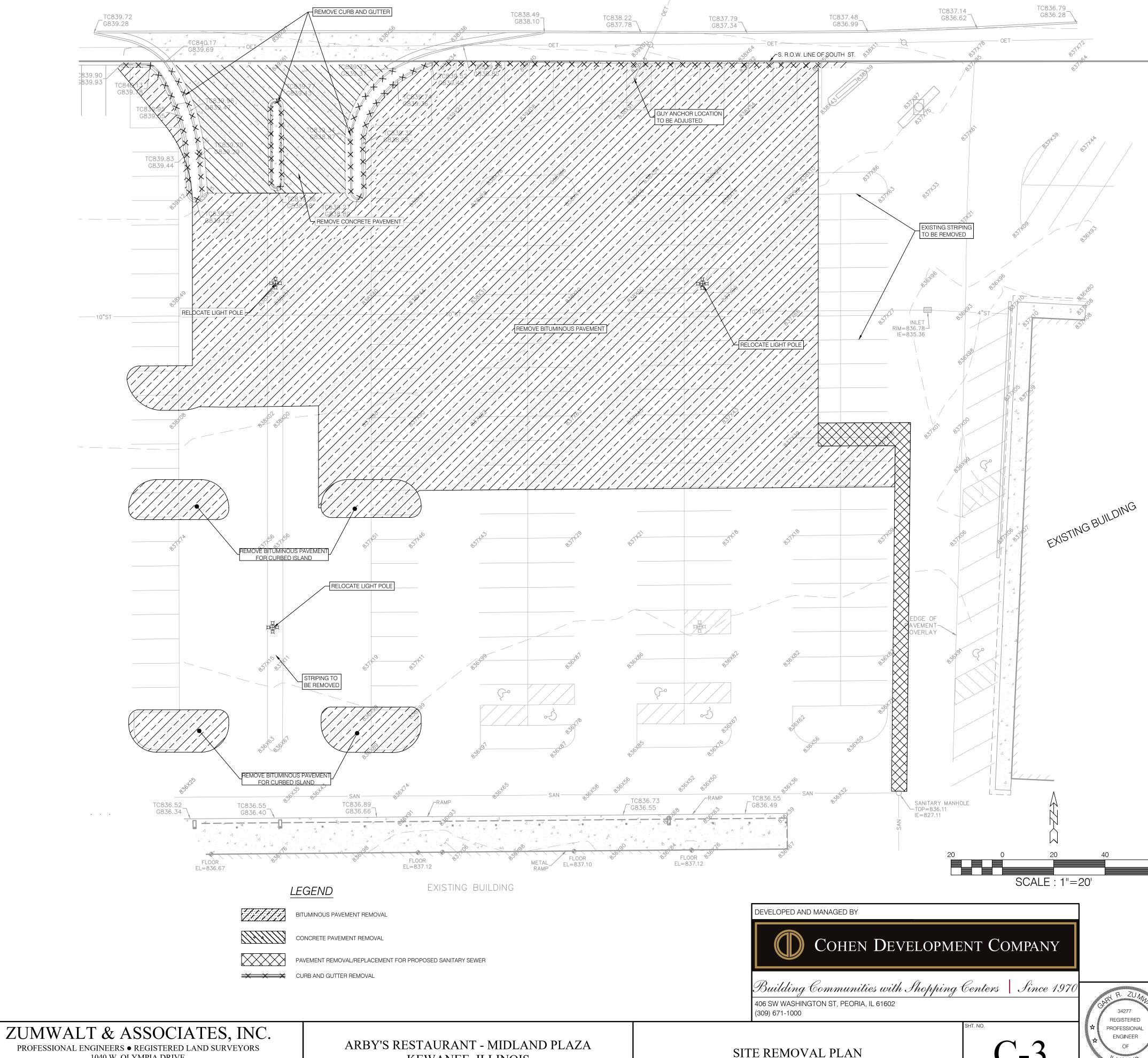
KEWANEE, ILLINOIS

OVERALL SITE PLAN

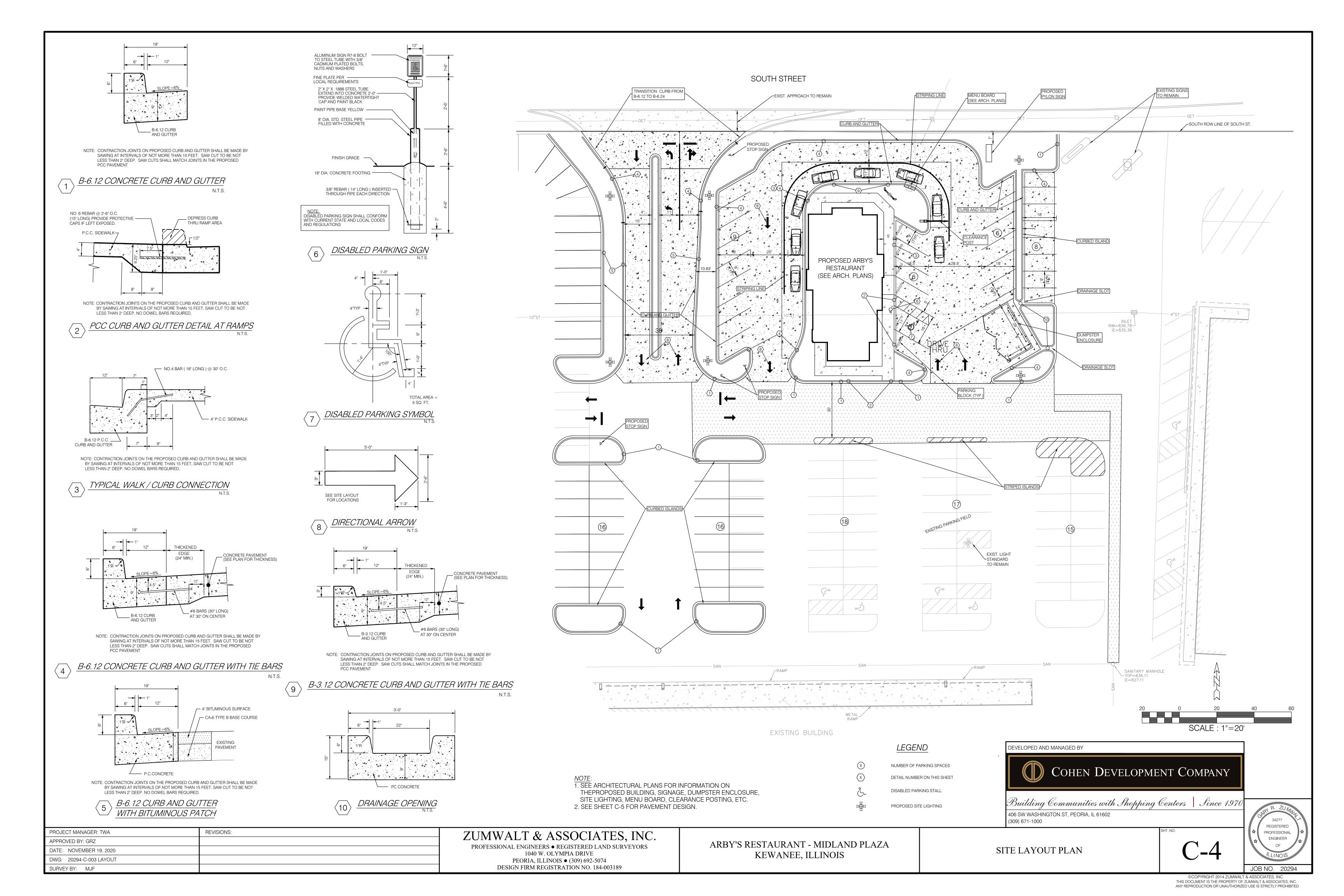
REMOVAL NOTES

- 1. SEE GENERAL NOTES ON SHEET C-2 FOR OTHER CONDITIONS AFFECTING THE CONSTRUCTION WORK.
- 2. ALL REMOVAL ITEMS SHALL BE PROPERLY DISPOSED OF OFFSITE AT A LOCATION ACQUIRED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- 3. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL FOR ANY WORK IN OR ALONG THE ROAD RIGHT OF WAY AREAS.

 4. BITUMINOUS PAVEMENT/CONCRETE PAVEMENT REMOVAL SHALL INCLUDE COMPLETELY REMOVING THE PAVEMENT AND BASE COURSE DOWN TO SUBGRADE IN THE AREAS INDICATED. SOME EXISTING AGGREGATE BASE CURSE MATERIALS MAY BE ALLOWED TO REMAIN AND RE-COMPACTED IF APPROVED BY OWNER'S REPRESENTATIVE. (SEE WHITNEY'S REPORT DATED AUGUST 21, 2020. 5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AT THE SITE PRIOR TO COMMENCING WORK.
- 6. EXISTING LIGHT POLES, NOTED HEREON, SHALL BE REMOVED AND RELOCATED TO LOCATION DETERMINED BY OWNER'S REPRESENTATIVE. 7. BITUMINOUS PAVEMENT SHALL BE SAWCUT AND REMOVED AS NECESSARY TO CONSTRUCT PROPOSED SANITARY SEWER, BITUMINOUS PATCH/REPLACEMENT SHALL BE AS FOLLOWS:
- 4" BITUMINOUS SURFACE COURSE 8" C.A. 6 TYPE B GRAVEL BASE COURSE
- 8. ALL UTILITY TRENCHES IN STRUCTURAL AREAS SHALL RECEIVE TRENCH BACKFILL AND BE COMPACTED TO 98% AS DETERMINED BY STANDARD
- 9. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, BARRICADES, AND ANY OTHER SAFETY MEASURES NECESSARY TO INSURE PEDESTRIAN AND VEHICULAR SAFETY DURING THE COURSE OF ALL CONSTRUCTION WORK.



SOUTH STREET



CONSTRUCTION NOTES

- SEE GENERAL NOTES ON OTHER "C" DRAWINGS FOR OTHER CONDITIONS AFFECTING PROJECT. EXCAVATION PLACED IN STRUCTURAL FILL AREAS AND SUBGRADES IN PAVEMENT AREAS SHALL BE COMPACTED TO 98 PERCENT AS DETERMINED BY STANDARD PROCTOR.
- PAVEMENT DESIGN:
- BITUMINOUS PAVEMENT FULL DEPTH
- 2" HMA SURFACE COURSE, MIX D, N50 2" HMA BINDER COURSE, IL-19.0, N50 INCLUDING PRIME
- 8" CA-6, TYPE B BASE COURSE PC CONCRETE PAVEMENT PLAIN
- 7" THICK PCC PAVEMENT PLAIN 4" CA-6, TYPE B BASE COURSE
- PC CONCRETE PAVEMENT:
 7" THICK PCC PAVEMENT INCLUDING 6" X 6" W2.9 X W2.9 WELDED WIRE MESH 4" CA-6, TYPE B BASE COURSE
- PC CONCRETE SIDEWALK:
- 4" THICK SIDEWALK
- 2" CA-6 TYPE B BASE COURSE ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATE OF ILLINOIS "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION",
- CURRENT EDITION AND SUPPLEMENTAL SPECIFICATIONS. EXCAVATION PLACED IN STRUCTURAL FILL AREAS AND SUBGRADE IN PAVEMENT AREAS SHALL BE COMPACTED TO 98 % AS DETERMINED BY STANDARD
- ALL PCC PAVEMENT JOINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH I.D.O.T. HIGHWAY STANDARDS. PCC PAVEMENT ROUNDOUTS SHALL BE CONSTRUCTED AT ALL EXISTING AND PROPOSED STRUCTURES WITHIN PROPOSED PCC PAVEMENT AREA IN ACCORDANCE WITH I.D.O.T. HIGHWAY STANDARD
- ALL CONCRETE SHALL BE CLASS PV AND HAVE A MINIMUM ALLOWABLE COMPRESSIVE STRENGTH OF 4000 P.S.I. (28 DAYS). ALL CONCRETE PAVING WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 420 OF THE STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
- TWO APPLICATIONS OF PROTECTIVE COAT SHALL BE APPLIED IN ACCORDANCE WITH ARTICLE 420.18 OF THE STANDARD SPECIFICATIONS. PROTECTIVE COAT SHALL BE APPLIED 30 DAYS AFTER COMPLETION OF ALL PAVEMENTS. THE CONTRACTOR SHALL COORDINATE WITH AN OWNER'S REPRESENTATIVE FOR
- SCHEDULING. COST TO BE INCLUDED IN THE PRICE BID FOR CONCRETE PAVEMENT. 9. CURING OF THE CONCRETE PAVEMENT SHALL BE DONE IN ACCORDANCE WITH ARTICLE 1020.13 OF THE STANDARD SPECIFICATIONS. ARTICLE 1020.13(4) SHALL BE REVISED TO ALLOW THE USE OF MEMBRANE CURING WHEN A PROTECTIVE COAT IS SPECIFIED.
- THE PAVEMENT SHALL HAVE A TYPE "B" FINAL FINISH, OBTAINED IN ACCORDANCE WITH ARTICLE 420.09(E)(2) OF THE STANDARD SPECIFICATIONS. PORTLAND CEMENT CONCRETE PROVIDED SHALL BE PRODUCED FROM BATCH PLANTS THAT CONFORM TO THE REQUIREMENTS OF ARTICLE 1103.03 (A) AND (B) OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. SEMI-AUTOMATIC BATCHING WILL NOT BE ALLOWED. THE BATCHING PLANT SHALL BE A COMPUTERIZED PLANT INTERFACED WITH A PRINTER AND SHALL PRINT ACTUAL BATCH WEIGHTS, ADDED WATER, TEMPERING WATER, MIXING TIME, AND AMOUNT OF EACH ADDITIVE PER BATCH. TRUCK DELIVERY TICKETS WILL STILL BE REQUIRED AS PER ARTICLE 1020.11 (A)(7).
- ALL JOINTS SHALL BE SAWED AS SOON AS CONDITIONS PERMIT. RANDOM CRACKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. PAVEMENT REMOVAL AND REPLACEMENT SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE PORTIONS OF ARTICLE 420.05 AND SECTION 440 OF THE STANDARD SPECIFICATIONS AND AS DIRECTED BY THE ENGINEER AND AT THE CONTRACTOR'S EXPENSE. IF A RANDOM CRACK APPEARS WITHIN A PAVEMENT PANEL, THE ENTIRE PANEL SHALL BE REMOVED AND REPLACED, AT THE CONTRACTOR'S EXPENSE.
- 13. CONCRETE JOINT SEALING IN PAVEMENT AND IN CURBS SHALL BE DONE USING HOT POUR CRACK FILLER AND SHALL MEET THE REQUIREMENTS OF SEC. 420.12 OF THE STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- WHERE CONCRETE IS PLACED ABUTTING EXISTING PAVEMENTS OR STRUCTURES, A BOND BREAKER CONSISTING OF 1" THICK P.J.F. AND ELASTOMERIC JOINT SEALANT SHALL BE USED FULL DEPTH UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SUBMIT FINAL CONRETE JOINT LAYOUT TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION. 16. JOINTS IN SIDEWALK SHALL BE TOOLED AT 5' MAXIMUM INTERVALS UNLESS INDICATED OTHERWISE.
- A FROST STOOP SHALL BE CONSTRUCTED AT EACH ENTRANCE AND EXIT DOOR. SEE ARCHITECTURAL PLANS FOR DETAIL.
- 18. TIE BARS SHALL BE DRILLED AND INSTALLED WHERE PROPOSED PAVEMENT BUTTS TO THE EXISTING CONCRETE PAVEMENT. TIE BARS SHALL BE #6 BARS (30" LONG) AT 30" CENTERS. COST TO BE INCLUDED IN PRICE BID FOR CONCRETE PAVEMENT.

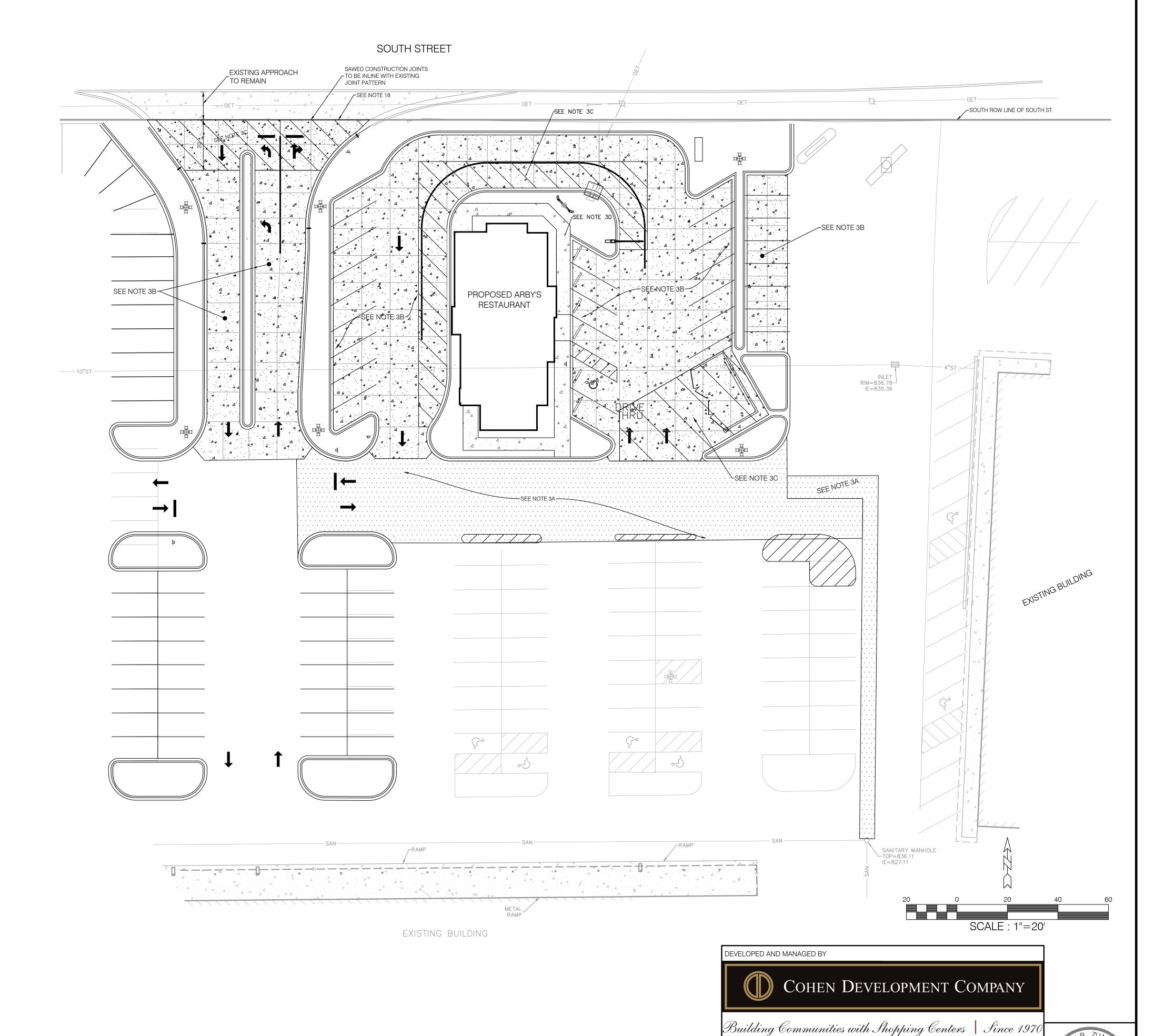
PAVEMENT DESIGN

BITUMINOUS PAVEMENT - 2" HMA SURFACE COURSE MIX D, N50 - 2" HMA BINDER COURSE IL-19.0 N50 INCLUDING PRIME - 8" C.A. 6 TYPE "B" BASE COURSE

CONCRETE PAVEMENT - 7" P.C. CONCRETE PLAIN - 4" C.A. 6 TYPE "B" GRAVEL BASE

CONCRETE PAVEMENT - 7" P.C. CONCRETE W/ 6" x 6" W2.9 xW2.9 WELDED WIRE MESH - 4" C.A. 6 TYPE "B" GRAVEL BASE

- 4" CONCRETE WALK - 2" C.A. 6 TYPE "B" GRAVEL BASE COURSE



PROJECT MANAGER: TWA **REVISIONS:** APPROVED BY: GRZ DATE: NOVEMBER 19, 2020 DWG: 20294-C-004 PAVEMENT DESIGN SURVEY BY: MJF

ZUMWALT & ASSOCIATES, INC. PROFESSIONAL ENGINEERS • REGISTERED LAND SURVEYORS 1040 W. OLYMPIA DRIVE PEORIA, ILLINOIS ● (309) 692-5074 DESIGN FIRM REGISTRATION NO. 184-003189

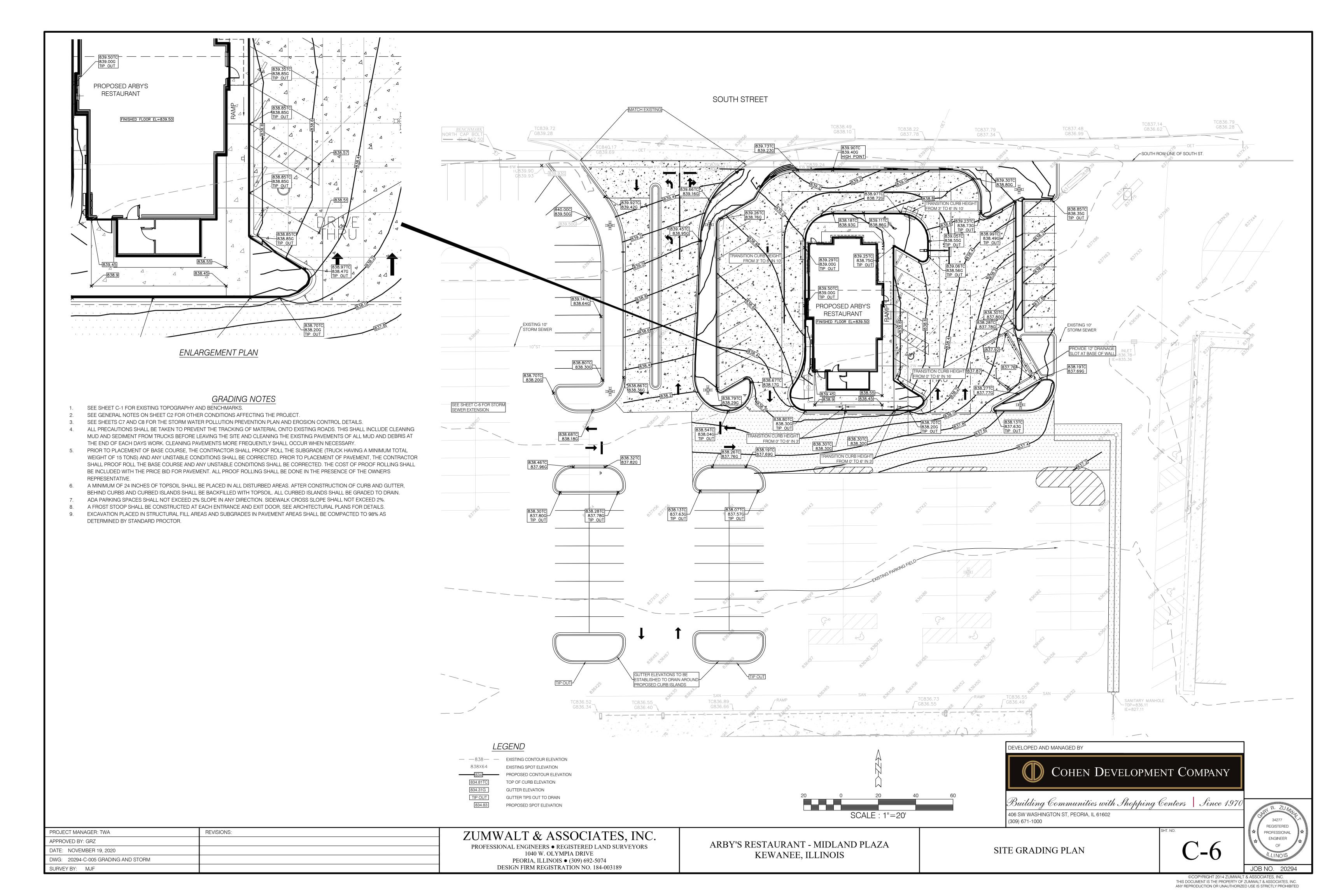
ARBY'S RESTAURANT - MIDLAND PLAZA KEWANEE, ILLINOIS

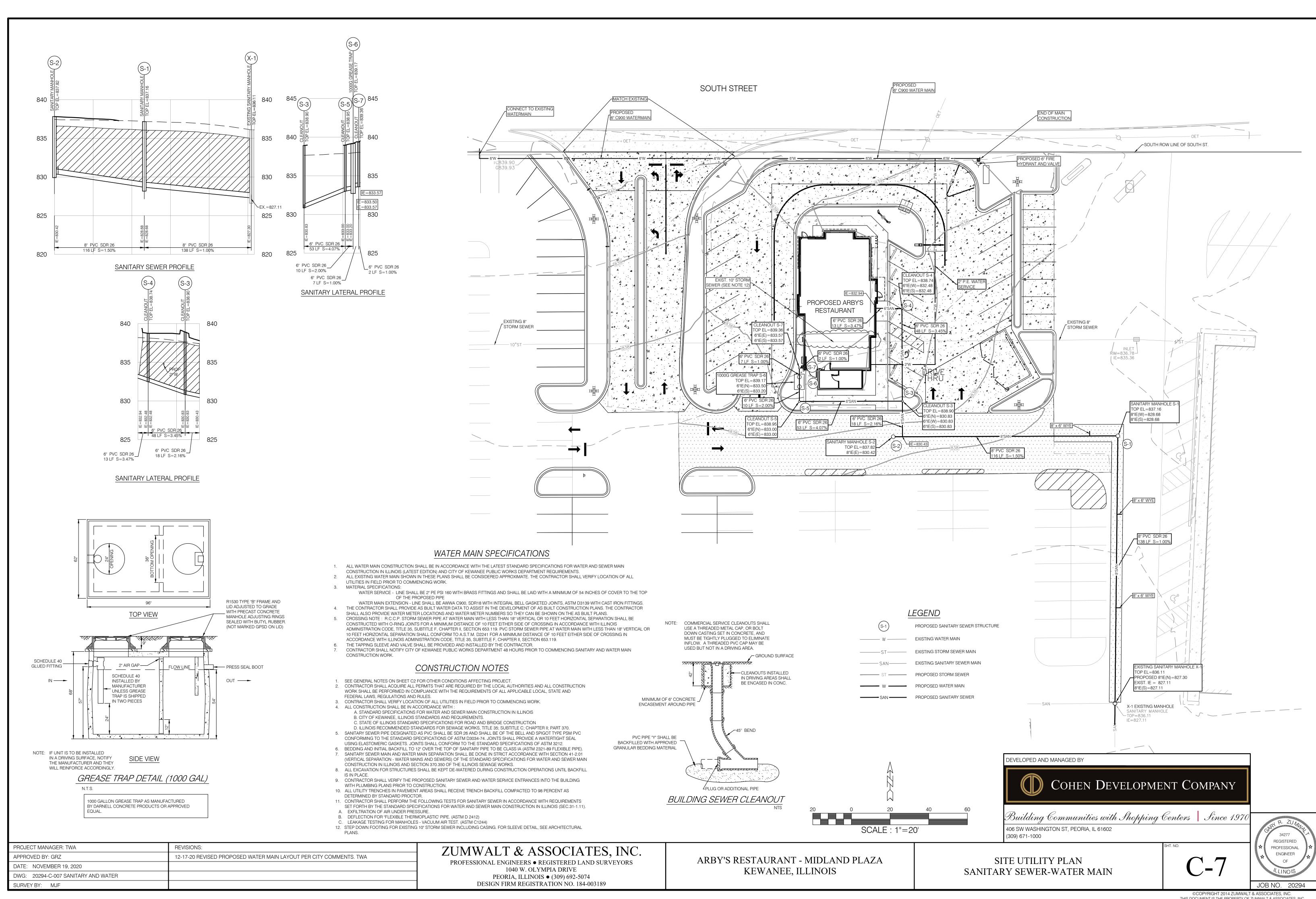
PAVEMENT DESIGN

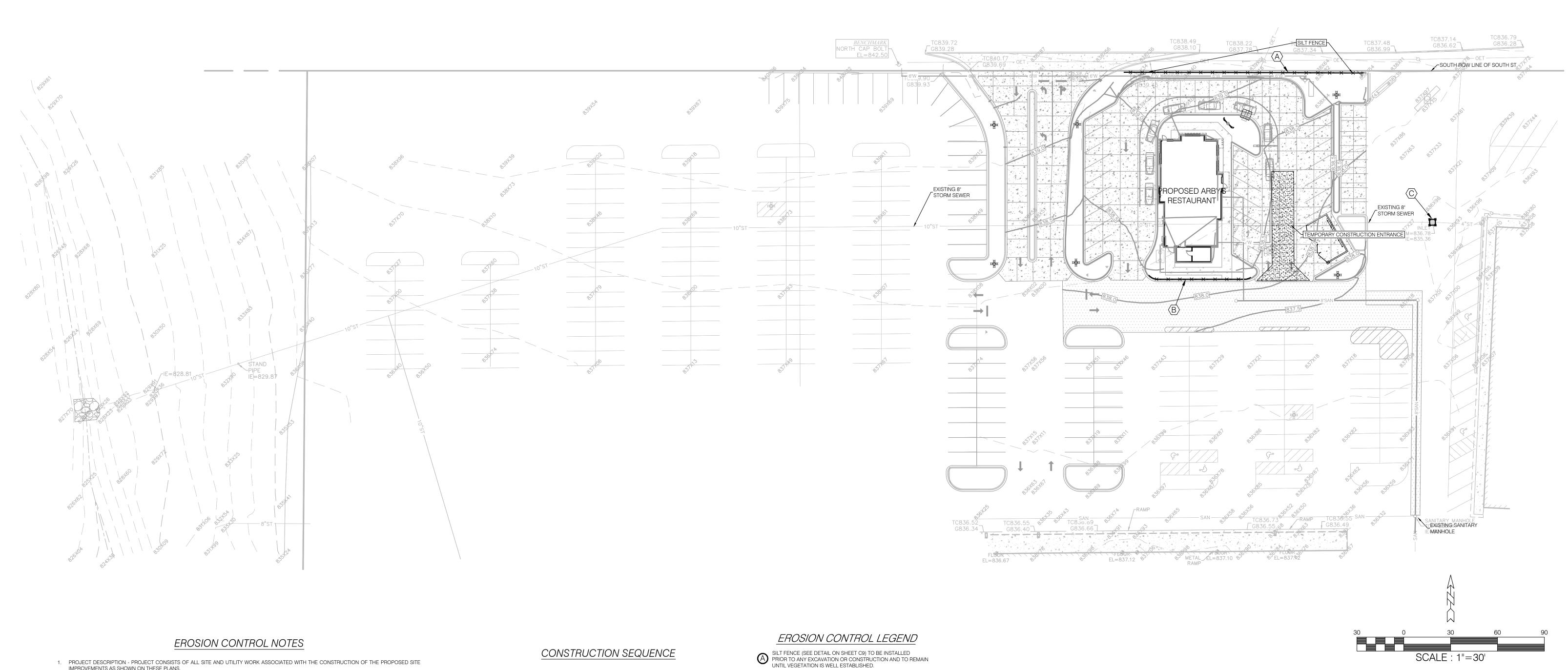
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JOB NO. 20294







- IMPROVEMENTS AS SHOWN ON THESE PLANS.
- 2. APPROXIMATE SITE AREA TO BE GRADED OR EXCAVATED = 0.98 ACRES \pm
- 3. EROSION AND SEDIMENT CONTROL MEASURES: A. SILT FENCE SHALL BE PLACED WHERE SHOWN ON THIS PLAN.
 - B. PROVIDE TEMPORARY PIT OR BERMED AREA AT LOCATION TO BE DETERMINED BY OWNER'S REPRESENTATIVE FOR WASHOUT OF CONCRETE TRUCKS, TOOLS, MORTAR MIXES, ETC.
- C. ALL PRECAUTIONS SHALL BE TAKEN TO PREVENT THE TRACKING OF MATERIAL ONTO EXISTING ROADS. THIS SHALL INCLUDE CLEANING
- MUD AND SEDIMENT OFF OF TRUCKS BEFORE LEAVING THE SITE AND CLEANING EXISTING PAVEMENTS OF ALL DIRT, MUD AND DEBRIS AT THE END OF EACH DAYS WORK. CLEANING PAVEMENTS MORE FREQUENTLY SHALL ALSO OCCUR WHEN NECESSARY. D. DUST CONTROL SHALL BE PROVIDED BY WATERING OR OTHER MEANS TO KEEP DUST TO A MINIMUM DURING CONSTRUCTION.
- 4. CONSTRUCTION WASTE: ALL CONSTRUCTION WASTE MATERIALS WILL BE COLLECTED AT REGULAR INTERVALS AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE WASTE MANAGEMENT REGULATIONS. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR CONSTRUCTION WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE CONSTRUCTION OFFICE.
 - 1. HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER.
 - 2. SANITARY WASTE: ALL SANITARY WASTE WILL BE COLLECTED FROM PORTABLE UNITS BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATIONS.
- 5. MAINTENANCE AND INSPECTION: ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE PER WEEK AND FOLLOWING ANY STORM EVENT OF 1/2 INCH OR GREATER. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF REPAIR IS NECESSARY, IT WILL BE MADE AS SOON AS PRACTICAL AFTER DAMAGE OCCURS. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. INSPECTION SERVICES TO BE PROVIDED BY THE CONTRACTOR.
- 6. COPIES OF THE STORM WATER POLLUTION PREVENTION PLAN WILL BE RETAINED ONSITE BY THE CONTRACTOR AT ALL TIMES.
- 7. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION WORK. 8. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED, AND MULCHED AS FOLLOWS:
- A. SEEDING SHALL BE CLASS 1 IN ACCORDANCE WITH THE STATE OF ILLINOIS "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE
- B. FERTILIZING FOR THE SEEDING AREAS SHALL HAVE A RATIO OF 12N-12P-12K AND SHALL BE APPLIED AT THE RATE OF 270 POUNDS PER ACRE. (90 POUNDS EACH NITROGEN, PHOSPHORUS, AND POTASSIUM)
- C. MULCH SHALL BE METHOD 1, STATE OF ILLINOIS STANDARDS.

- 1. INSTALLATION OF PRECONSTRUCTION EROSION
- **MEASURES** 2. SITE DEMOLITION WORK
- 3. INITIAL GRADING AND EXCAVATION
- 4. CONSTRUCT STORM SEWER 5. CONSTRUCT SANITARY SEWER
- 6. CONSTRUCT WATER SERVICE
- 7. INSTALL CURB AND GUTTER
- 8. INSTALL SIDEWALKS
- 9. INSTALL BASE COURSE AND PAVEMENT FINAL GRADING
- 11. SEEDING, FERTILIZING AND MULCHING

- SILT FENCE (SEE DETAIL ON SHEET C9) TO BE INSTALLED AFTER CURB IS INSTALLED AND SHALL REMAIN UNTIL VEGETATION IS WELL ESTABLISHED.
- INLET PROTECTION, SILT SACK OR APPROVED EQUAL (SEE DETAILS ON SHEET C-9) TO BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL REMAIN LINTIL VEGETATION IS WELL FOR THE VIOLENCE OF SHALL REMAIN UNTIL VEGETATION IS WELL ESTABLISHED.

XXX SILT FENCE

INLET PROTECTION

- - DISTURBED AREA LIMITS



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ARBY'S RESTAURANT - MIDLAND PLAZA KEWANEE, ILLINOIS



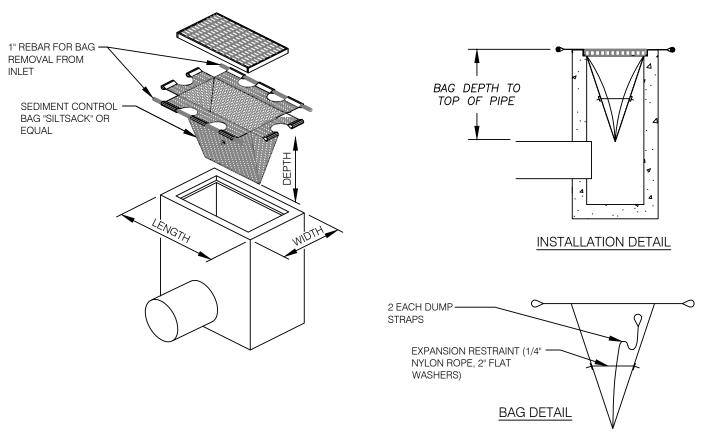


PROJECT MANAGER: TWA **REVISIONS:** APPROVED BY: GRZ DATE: NOVEMBER 19, 2020 DWG: 20294-C-008 SWPPP SURVEY BY: MJF

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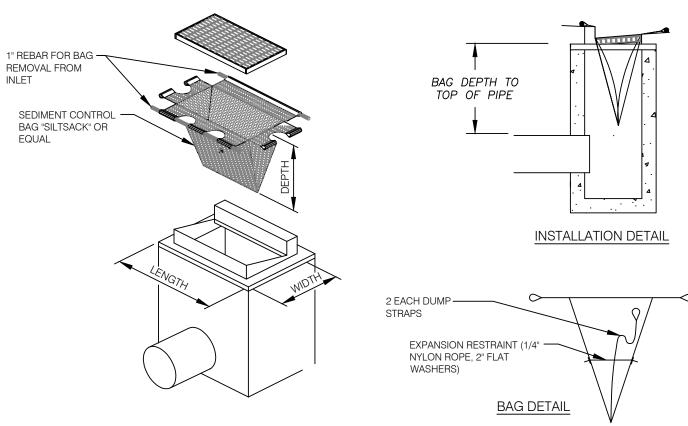
STORM WATER POLLUTION PREVENTION PLAN

SILT SACK - TYPE A



- 1. THE SEDIMENT CONTROL DEVICE SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED A MINIMUM ONCE PER MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT. FILTER SHALL BE CLEANED IN A MANNER WHICH ENSURES THAT ALL
- SUBSTITUTION OF A SHEET OF FILTER FABRIC PLACED OVER THE OPENING OF THE INLET IS NOT APPROVED. 3. THE FILTER SHALL BE REPLACED OR CLEANED WHEN THE BAG BECOMES HALF FULL.

SILT SACK - TYPE B



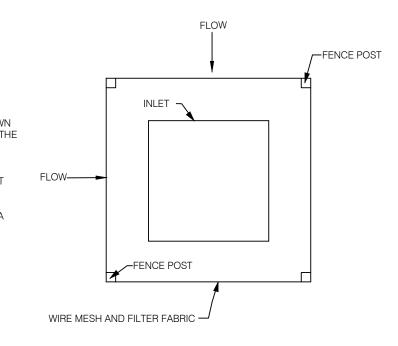
MESH SUPPORT 6" SQUARE (MAX.)

- 1. THE SEDIMENT CONTROL DEVICE SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED A MINIMUM ONCE PER MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT. FILTER SHALL BE CLEANED IN A MANNER WHICH ENSURES THAT ALL
- 2. SUBSTITUTION OF A SHEET OF FILTER FABRIC PLACED OVER THE OPENING OF THE INLET IS NOT APPROVED.
- 3. THE FILTER SHALL BE REPLACED OR CLEANED WHEN THE BAG BECOMES HALF FULL.

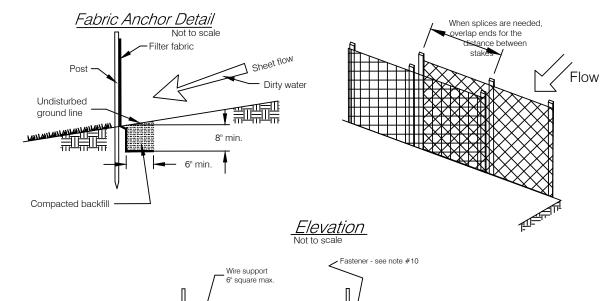
INLET PROTECTION DETAIL

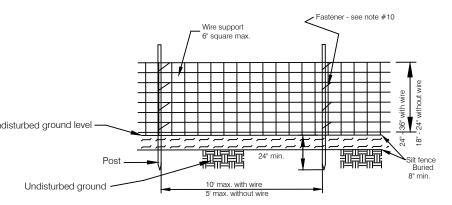
NOTES:

- 1. TOP AND BOTTOM WIRES OF MESH SUPPORT SHALL BE MIN. GAGE NO. 9.
- 2. INTERMEDIATE WIRES OF MESH SUPPORTS SHALL BE MIN. GAGE NO. 11.
- 3. TEMPORARY INLET PROTECTION SHALL BE INSTALLED AT THE LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED AS NOTED.
- 4. FILTER FABRIC SHALL MEET THE REQUIREMENTS OF MATERIAL SPECIFICATION 592 GEOTEXTILE (ILL. URBAN MANUAL) TABLE 1 OR 2, CLASS T WITH EQUIVALENT OPENING SIZE OF AT LEAST 30 FOR NONWOVEN AND 50 FOR WOVEN.
- 5. FENCE POSTS SHALL BE EITHER STANDARD STEEL POST OR WOOD POST WITH A MINIMUM SECTIONAL AREA 3.0 SQ. IN.
- 6. THE MESH SUPPORT MAY BE OMITTED IF A MAXIMUM OF 5' IS USED FOR POST



SILT FENCE DETAIL





opening shall be six inches.

height of 24 inches is used.

1. Silt fences shall be installed prior to the clearing of existing vegetation or site

- 2. Filter fabric shall meet the requirements of Illinois Urban Manual Material
- Specification 592--Geotextile, Table 1 or 2, Class I. 3. Top and bottom wires of the wire support shall be a minimum of 9 gauge; intermediate wires shall be a minimum of 11 gauge. The maximum wire
- 4. Fence posts shall be standard (T or U) steel posts or wood with a minimum cross sectional area of 3.0 square inches. Posts shall be a minimum of 60 inches long.
- 5. The posts shall be driven a minimum of 24 inches into the ground. Post spacing shall be a maximum of every 10 feet for standard silt fence.

spacing of five feet and a minimum height of 18 inches and a maximum

6. The height of a standard silt fence shall be a minimum of 24 inches and a maximum of 36 inches above the original ground surface. 7. The wire support may be omitted for standard silt fence if a maximum post

- - 8. When splices are necessary, the fabric shall be spliced between support posts, with a minimum overlap equal to the distance between posts. 9. The silt fence shall be entrenched to a minimum depth of 8 inches, with an
 - additional 6 inches extending along the bottom of the trench in the up-slope direction. The trench shall be backfilled and the soil compacted over the fabric. 10. The filter fabric and wire support, if used, must be securely fastened to the posts using one inch long heavy duty wire staples, tie wires, or hog rings.
 - The fabric shall not be stapled to trees. 11. The fence shall be installed as close to the contour as possible, with the ends extending up-slope. The area below the silt fence must be undisturbed or

Applicability

A standard sheet flow silt fence is a temporary barrier of entrenched filter fabric stretched across and attached to supporting posts. It is used to catch dirty runoff from small drainage areas of disturbed soil. This practice shall only be installed in areas where runoff is in the form of sheet flow. The purpose of this practice is to cause dirt to drop out of the water and prevent it from leaving disturbed areas.

1. The maximum allowable slope lengths contributing to a standard sheet flow silt



2. When the disturbed slope is longer than the maximum spacing, add additional parallel rows of silt fence to the slope so that the distance is in the allowable

Silt fence may be used where long-term effectiveness is required.

- Operation and Maintenance 1. Silt fences shall be inspected immediately after each rainfall and at least once a day
- during prolonged rainfall.

 2. Dirt should be removed after each rainfall; it MUST be removed when it reaches
- one-half the fence height. 3. Erosion resulting from end-runs or under-cuts shall be repaired immediately.
- 4. All loose fence material or failing posts shall be repaired immediately.5. Silt fences shall remain in place and be fully functional until the area being protected is permanently stabilized.
- 6. Any dirt deposits remaining in place after the silt fence is no longer required shall be dressed to conform to the existing grade, a seedbed prepared, and the site vegetated.

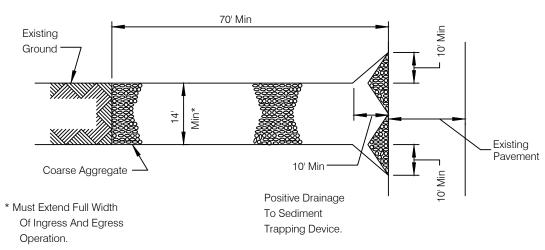
Inspection Checklist

- 1. Verify that the silt fence is installed in the appropriate location -- down-slope of the disturbed area. Check to see if all necessary areas (where runoff leaves the site)
- 2. Verify that the silt fence is installed as close to the contour as practical.
- 3. Check to see if the splices (when needed) overlap a minimum of one post length and are secured tightly. 4. Check post spacing: Fabric only -- 5 ft. maximum: Fabric with wire support -- 10
- 5. Check the height of the fence: ..Without wire With wire....
- 24 inches min.... ...18 inches min.

7. Check to see if maintenance is needed.

36 inches max... ...24 inches max. 6. Check to see that the fabric is entrenched a minimum of eight inches, with an additional six inches of fabric extending uphill (buried).

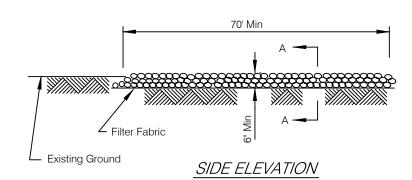
STABILIZED CONSTRUCTION ENTRANCE PLAN

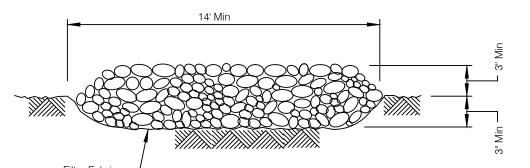


- 1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table I or 2, Class I, II or IV and shall be placed
- over the cleared area prior to the placing of rock. 2. Rock or reclaimed concrete shall meet one of the following IDOT coarse aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 ROCKFILL using placement Method 1 and Class III compaction.
- 3. If wash racks are used they shall be installed according to the manufactures specifications.

SECTION A-A

PLAN VIEW





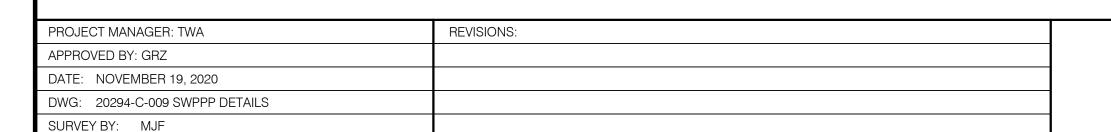
DEVELOPED AND MANAGED BY



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406 SW WASHINGTON ST, PEORIA, IL 61602 (309) 671-1000





ZUMWALT & ASSOCIATES, INC. PROFESSIONAL ENGINEERS • REGISTERED LAND SURVEYORS 1040 W. OLYMPIA DRIVE PEORIA, ILLINOIS ● (309) 692-5074 DESIGN FIRM REGISTRATION NO. 184-003189

ARBY'S RESTAURANT - MIDLAND PLAZA KEWANEE, ILLINOIS

STORM WATER POLLUTION PREVENTION PLAN DETAILS REGISTERED

PROFESSIONAL ENGINEER

JOB NO. 20294



Bloomington/Normal Office: 117 Merle Lane, Normal, IL 61761 ● Phone: 309.888.9567 ● Fax: 309.888.9556

Arby's Kewanee Price Breakdown

February 9, 2021

Building Breakdown	Totals
Building - general conditions	\$ 51,105
Masonry	\$ 30,500
Steel	\$ 16,002
Rough carpentry	\$ 105,292
Finish carpentry	\$ 10,715
Roofing	\$ 50,400
Doors, frames, hardware	\$ 5,869
Glazing	\$ 35,843
Drywall, ceilings, EIFS	\$ 79,016
Painting	\$ 10,900
Flooring	\$ 61,500
Specialties	\$ 12,887
Furnishings	\$ 5,886
Fire protection	\$ 5,312
Plumbing	\$ 76,800
HVAC	\$ 46,550
Electrical	\$ 113,886
Tenant contract	\$ (57,956)
Building overhead and fee	\$ 52,760
Building general liability insurance	\$ 668
Subtotal - Building	\$ 713,935

Sitework and Infrastructure Breakdown

Sitework and Infrastructure - general conditions	\$ 69,117
Earthwork	\$ 82,186
Concrete	\$ 305,238
Asphalt	\$ 40,000
Site water	\$ 34,706
Site sanitary	\$ 69,668
Sitework and Infrastructure - overhead and fee	\$ 52,790
Sitework and infrastructure general liability insurance	\$ 783

Subtotal - Sitework and Infrastructure

\$ 654,488

Total Building and Sitework and Infrastructure

\$ 1,368,423



Bloomington/Normal Office: 117 Merle Lane, Normal, IL 61761 ● Phone: 309.888.9567 ● Fax: 309.888.9556

May 14, 2021

MIDLAND PLAZA, LLC

Attention: Les Cohen, Cohen Development Co.

406 Sw Washington Peoria, IL 61602

Re: ARBY'S RESTAURANT KEWANEE

131 W. South Street Kewanee, IL 61443 PJHI Project No. 10879

Application No. 1; Invoice No. C21181

Dear Les Cohen:

Enclosed is a copy of our first billing for the ARBY'S RESTAURANT KEWANEE project listed above. Also enclosed is our waiver of lien for the net amount of the application. Please process for payment.

Feel free to call upon the Project Manager, Dave Wilson, or myself should you have any questions or require any further information.

Very truly,

Sara Bryant, Project Coordinator

Sara E- Byant

P. J. HOERR, INC.

Enclosures: Billing Application #1 - 1 copy

Waiver of Lien





Bloomington/Normal Office: 117 Merle Lane, Normal, IL 61761 • Phone: 309.888.9567 • Fax: 309.888.9556

PARTIAL WAIVER OF LIEN - MATERIAL OR LABOR

STATE OF ILLINOIS)
) S.S.
PEORIA COUNTY)

TO ALL WHOM IT MAY CONCERN:

PJHI Project No.: 10879

Application No.: 1

Invoice No.: C21181

Federal Tax ID No.: 20-3852082

May 14, 2021

WHEREAS, we the undersigned P. J. HOERR, INC. have been employed by MIDLAND PLAZA, LLC to furnish Labor and Materials for the project known as ARBY'S RESTAURANT KEWANEE, Located at 131 W. South Street, Situated in the City of Kewanee, County of Henry, State of Illinois.

NOW THEREFORE, KNOW YE, That we the undersigned, for and in consideration of **ONE HUNDRED SEVENTY-FIVE THOUSAND NINE HUNDRED FIVE AND XX / 100** [\$175,905.00] Dollars, the receipt whereof is hereby acknowledged, do hereby waive and release any and all lien, or claim, or right of lien on said above described building and premises under "An Act to Revise the Law in Relation to Mechanic's Liens," approved May 18, 1903, in force July 1, 1903, together with all amendments thereto and all the lien laws of the State of Illinois, on account of labor or materials, or both, furnished or which may be furnished by the undersigned to or on account of the said MIDLAND PLAZA, LLC for said building premises.

Given under our hand and seal this 14th day of May, 2021

By:

Kirk Anderson, President

State of: Illinois

County of: Peoria

ara C Buyans

Subscribed and affirmed to before me this 14th day of May, 2021

Notary Public:

My Commission expires: February 20, 2024

OFFICIAL SEAL
SARA E. BRYANT
NOTARY PUBLIC - STATE OF ILLINOIS
MY COMMISSION EXPIRES 2-20-2024

APPL	ICATION AND CEI	RTIFICATE	FOR PAYMENT	Application No. 1	Invoice #: C21181
To Owner:	MIDLAND PLAZA, LLC C/O Cohen Development Compa 406 Sw Washington Peoria IL 61602		ARBY'S RESTAURANT R 131 W. South Street Kewanee, IL 61443	XEWANEE Period To: 4/30/2021	Copies: Distribution to : Construction Manager Architect Owner
From Contract Contract For	ctor: P. J. HOERR, INC. Dave Wilson, Project Manag 107 N. Commerce Place Peoria, IL 61604 r:	er I	MIDLAND PLAZA, LLC Les Cohen, Cohen Develope 106 Sw Washington Peoria, IL 61602	ment Co. PJHI Project No.: 10879 Contract Date:	Bill Override Address
CONT	RACTOR'S APPLICA	TION FOR PA	VMENT	The undersigned Contractor certifies that to the best of the Con	trootor's knowledge
Application	on is made for payment, as shown ion Sheet is attached.			information, and belief, the work covered by this Application for completed in accordance with the Contract Documents. That all by the Contractor for Work for which previous Certificates for payments received from the Owner, and that current payments	or Payment has been I amounts have been paid Payment were issued and
1. Origin	al Contract Sum	\$	1,368,423.00	CONTRACTOR: P. J. HOERR, INC.	
2. Net Cl	hange By Change Order		0.00		
3. Contra	act Sum To Date	<u>\$</u>	1,368,423.00	By:	Date: 05/14/2021
4. Total (Completed and Stored To Date		195,450.00	Dave Wilson, Project Manager	
5. Retain a. 10	.0% of Completed Work	\$ 19,545.00		State of: ILLINOIS County of: Subscribed and sworn to before me this 14th day of May, 2021	Peoria
b0	.0% of Stored Material	\$ 0.00		Notary Public: Son a S Bus S	OFFICIAL SEAL
Tot	al Retainage	<u>\$</u>	19,545.00	My Commission expires: February 20, 2024	SARA E. BRYANT NOTARY PUBLIC - STATE OF ILLIN
6. Total	Earned Less Retainage		175,905.00	ARCHITECT'S CERTIFICATE FOR PAYMENT	MY COMMISSION EXPIRES 2-20-
7. Less P	Previous Certificates For Payme	ent	0.00	In accordance with the Contract Documents, based on on-site observat the above application, the Architect certifies to the Owner that to the be	est of the Architect's knowledge,
8. Curre	ent Payment Due		175,905.00	information, and belief, the Work has progressed as indicated, the qual with the Contract Documents, and the Contractor is entitled to paymen	
9. Balane	ce To Finish, Plus Retainage .		1,192,518.00	AMOUNT CERTIFIED \$ 175,905.00	
				(Attach explanation if amount certified differs from the amount applied	l. Initial all figures on this
CHANGE	E ORDER SUMMARY	Additions	Deductions	Application and on the Continuation Sheet that are changed to conform	n with the amount certified.)
Total cha	inges approved ous months by Owner	\$ 0.00	\$ 0.00	ARCHITECT / OWNERS' REPRESENTATIVE:	
Total Ap	proved this Month	\$ 0.00	\$ 0.00	Ву: Г	Date:
	TOTALS	\$ 0.00	\$ 0.00	This Certificate is not negotiable. The AMOUNT CERTIFIED	
Net Cha	anges By Change Order	\$	0.00	Contractor named herein. Issuance, payment, and acceptance o prejudice to any rights of the Owner or Contractor under this C	

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

Invoice #: C21181 PJHI Job No.: 108

Application No.: 1

Application Date: 5/14/2021

To: 4/30/2021

Architect's Project No.:

PJHI Project No.: 10879

_A	В	C	D	E	F	G		H	I
Item	Description of Work	Scheduled	Work Con	pleted	Materials Presently	Total Completed	%	Balance	
No.	Description of Work	Value	From Previous Application	This Period In Place	Presently Stored	Completed and Stored To Date	(G / C)	To Finish	Retainage
		Value	(D+E)	In Flace	(Not in D or E)	(D+E+F)	(470)	(C-G)	
	ARBY'S RESTAURANT KEWANEE								
	Division 01 - General Conditions								
0105	РЈН	120,222.00	0.00	24,044.00		24,044.00	20.0%	96,178.00	included the Building St. (B. 40-47-47-47-47-47-47-47-47-47-47-47-47-47-
	Division 03 - Building Concrete & Sitework								
0305	ICCI	387,424.00	0.00	95,479.00		95,479.00	24.6%	291,945.00	
	Division 04 - Masonry								
0405	Summit Masonry	30,000.00	0.00			0.00	0.0%	30,000.00	
	Division 05 - Steel								
0505	Steel Ladder/Bollards - PJH	5,557.00	0.00			0.00	0.0%	5,557.00	
	Division 06 - Carpentry								
0605	Rough Framing Materials - Carver Lumber	106,588.00	0.00			0.00	0.0%	106,588.00	
0610	Rough Carpentry Labor - PJH	36,500.00	0.00	25,000.00		25,000.00	68.5%	11,500.00	
0615	Fasteners/Hold Downs	5,000.00	0.00	5,000.00		5,000.00	100.0%	0.00	
0620	Siding Install Labor - PJH	22,000.00	0.00			0.00	0.0%	22,000.00	
	Division 07 - Roofing								
0705	Sterling Roofing	55,402.00	0.00			0.00	0.0%	55,402.00	
	Division 08 - Opening								
0805	Glass/Glazing - EMG	34,657.00	0.00	500.00		500.00	1.4%	34,157.00	
0810	Door/Hardware - S&S	5,230.00	0.00			0.00	0.0%	5,230.00	
		808,580.00	0.00	150,023.00	0.00	150,023.00	18.6%	658,557.00	15,002.

PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

Invoice #: C21181

PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

Application No.: 1

Application Date: 5/14/2021

To: 4/30/2021

Architect's Project No.:

A	В	С	D	. E	F	G		Н	1
Item	Description of Work	Scheduled	Work Con	npleted	Materials Presently Stored	Total Completed	%	Balance	
No.	Description of Work	Value	From Previous Application (D+E)	This Period In Place	Stored (Not in D or E)	Completed and Stored To Date (D+E+F)	(G / C)	To Finish (C-G)	Retainage
	Division 09 - Finishes		(= _/		(1.00.00.2)	(2.2.1)		(0 0)	
0905	GYP-WWIS	32,935.00	0.00			0.00	0.0%	32,935.00	
0910	Tile Floor - MSTT	67,900.00	0.00			0.00	0.0%	67,900.00	
0915	Painting - McClanahan	11,490.00	0.00			0.00	0.0%	11,490.00	~~~~
	Division 10 - Specialties								
1005	Specialties Material - PJH	6,011.00	0.00			0.00	0.0%	6,011.00	
1010	Labor - PJH	4,992.00	0.00			0.00	0.0%	4,992.00	
	Division 12 - Owner Furnished Install Items								
1205	Labor - PJH	5,886.00	0.00			0.00	0.0%	5,886.00	
	Division 21 - Fire Protection								·
2105	Connect Ansul System	5,312.00	0.00			0.00	0.0%	5,312.00	
	Division 22 - Plumbing								
2205	Meister Plumbing	179,374.00	0.00	35,000.00		35,000.00	19.5%	144,374.00	
	Division 23 - HVAC								
2305	Garber Heating	39,413.00	0.00			0.00	0.0%	39,413.00	
2310	RTUs	12,990.00	0.00			0.00	0.0%	12,990.00	
	Division 26 - Electrical								
2605	Zeller Electric	137,585.00	0.00	4,317.00		4,317.00	3.1%	133,268.00	
	Division 32 - Exterior Improvement								
		1,312,468.00	0.00	189,340.00	0.00	189,340.00	14.4%	1,123,128.00	18,934.0

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

Invoice #: C21181

PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

Application No.:

Application Date: 5/14/2021

To: 4/30/2021

Architect's Project No.:

A	В	С	D	E	F	G		Н	I
Item	Description of Work	Scheduled	Work Con	npleted	Materials Presently Stored	Total Completed and Stored To Date	%	Balance To Finish	Retainage
No.		Value	From Previous Application (D+E)	This Period In Place	(Not in D or E)	To Date (D+E+F)	(G / C)	(C-G)	Retainage
3205	Dumpster Enclosure - Hohulin	12,958.00	0.00			0.00	0.0%	12,958.00	
4600	G&L Insurance	1,451.00	0.00	290.00		290.00	20.0%	1,161.00	
5000	OH & P	41,546.00	0.00	5,820.00		5,820.00	14.0%	35,726.00	
:									
i							:		
	* **								
		1,368,423.00	0.00	195,450.00	0.00	195,450.00	14.3%	1,172,973.00	19,545.00



Bloomington/Normal Office: 117 Merle Lane, Normal, IL 61761 • Phone: 309.888.9567 • Fax: 309.888.9556

June 15, 2021

MIDLAND PLAZA, LLC

Attention: Les Cohen, Cohen Development Co.

406 Sw Washington Peoria, IL 61602

Re: ARBY'S RESTAURANT KEWANEE

131 W. South Street Kewanee, IL 61443 PJHI Project No. 10879

Application No. 2; Invoice No. C21247

Dear Les Cohen:

Enclosed is a copy of our current billing for the ARBY'S RESTAURANT KEWANEE project listed above. Also enclosed is our waiver of lien for the net amount of the application. Please process for payment.

Feel free to call upon the Project Manager, Dave Wilson, or myself should you have any questions or require any further information.

Very truly,

Sara Bryant, Project Coordinator

Sara E. Byant

P. J. HOERR, INC.

Enclosures: Billing Application #2 - 1 copy

Waiver of Lien





Bloomington/Normal Office: 117 Merle Lane, Normal, IL 61761 ● Phone: 309.888.9567 ● Fax: 309.888.9556

PARTIAL WAIVER OF LIEN - MATERIAL OR LABOR

STATE OF ILLINOIS)
S.S.
PEORIA COUNTY)

TO ALL WHOM IT MAY CONCERN:

PJHI Project No.: 10879

Application No. : 2

Invoice No.: C21247

Federal Tax ID No.: 20-3852082

June 15, 2021

WHEREAS, we the undersigned P. J. HOERR, INC. have been employed by MIDLAND PLAZA, LLC to furnish Labor and Materials for the project known as ARBY'S RESTAURANT KEWANEE, Located at 131 W. South Street, Situated in the City of Kewanee, County of Henry, State of Illinois.

NOW THEREFORE, KNOW YE, That we the undersigned, for and in consideration of **ONE HUNDRED THIRTEEN THOUSAND FOUR HUNDRED SIXTEEN AND 87 / 100 [\$113.416.87]** Dollars, the receipt whereof is hereby acknowledged, do hereby waive and release any and all lien, or claim, or right of lien on said above described building and premises under "An Act to Revise the Law in Relation to Mechanic's Liens," approved May 18, 1903, in force July 1, 1903, together with all amendments thereto and all the lien laws o the State of Illinois, on account of labor or materials, or both, furnished or which may be furnished by the undersigned to or on account of the said MIDLAND PLAZA, LLC for said building premises.

Given under our hand and seal this 15th day of June, 2021

By:

Kirk Anderson, President

State of: Illinois

County of: Peoria

Subscribed and affirmed to before me this 15th day of June, 2021

Sara E. Byant

Notary Public:

My Commission expires: February 20, 2024

CELEBRATING 100 YEARS
CONSTRUCTION WITH CREATIVITY

OFFICIAL SEAL
SARA E. BRYANT
NOTARY PUBLIC - STATE OF ILLINOIS
MY COMMISSION EXPIRES 2-20-2024

APPL	ICATION AND CEI	RTIFICA	TE F	OR P	AYMENT	Γ		Application No. 2	Invoice #	: C21247
To Owner:	MIDLAND PLAZA, LLC C/O Cohen Development Compa 406 Sw Washington Peoria IL 61602	uny	Site: 1		RESTAURANT uth Street	KEWANEE	Period To: 5/3	1/2021	Copies: Distrib Construct Architect Owner	ution to : ion Manage
From Contra Contract Fo	Dave Wilson, Project Manag 107 N. Commerce Place Peoria, IL 61604	er	Le 40		-	pment Co.	PJHI Project No Contract Date:	o.: 10879	Owner's F	Representative
	RACTOR'S APPLICAT	TION FO	R PAY	MEN	Γ	The undersigned Con	tractor certifies t	hat to the best of the Con	tractor's knowlede	oe .
Applicati	on is made for payment, as shown tion Sheet is attached.					information, and belic completed in accorda by the Contractor for	ef, the work cove ince with the Cor Work for which	ered by this Application for tract Documents. That all previous Certificates for	or Payment has be Il amounts have be Payment were issu	een een paid ued and
1. Origi	nal Contract Sum		\$	1,3	68,423.00	payments received from	om the Owner at P. J. HOER	nd that current payment si	hown herein is no	w due.
2. Net C	Change By Change Order		., \$		0.00		~			
3. Contr	act Sum To Date		\$	1,3	68,423.00	By: \	77		Date: 06 /1	15/2021
4. Total	Completed and Stored To Date		\$	3	21,468.75	Dave Wilson, Pro	oject Manager			
5. Retain	nage: 0.0% of Completed Work	\$ 32,146	.88			State of: ILLINOIS		County of: 5th day of June, 2021	Peoria	
b	0.0% of Stored Material	\$ 0	.00			1				OFFICIAL SEAL
То	tal Retainage		\$		32,146.88	Notary Public: My Commission expire	SE February 200	1	NOTARY P	ARA E. BRYANT UBLIC - STATE OF ILLING
6. Total	Earned Less Retainage		\$	2	89,321.87	ARCHITECT'S CE			MY COMM	ISSION EXPIRES 2-20-20
7. Less	Previous Certificates For Paymo	ent	\$	1	75,905.00	In accordance with the comprising	Contract Documen	ts, based on on-site observat		
8. Curr	ent Payment Due		·· <u>\$</u>	11	13,416.87	• • •		es to the Owner that to the book ork has progressed as indicated		
9. Balar	nce To Finish, Plus Retainage .		·· <u>\$</u>	1,0	79,101.13	AMOUNT CERTIFIED	\$ 113,4	16.87		
								fers from the amount applied		
	E ORDER SUMMARY	Additio	ns	Dec	ductions	this Application and on	the Continuation S	Sheet that are changed to co	njorm with the amou	ini
Total ch in previ	anges approved ous months by Owner	\$	0.00	\$	0.00	ARCHITECT / OW	NERS' REPRE	ESENTATIVE:		
	pproved this Month	\$	0.00	\$	0.00	By:			Date:	
	TOTALS	\$	0.00	\$	0.00	This Certificate is no	ot negotiable. The	AMOUNT CERTIFIED	is payable only to	the .
Net Ch	nanges By Change Order	\$		0.00				ayment, and acceptance or Contractor under this C		thout

CONTINUATION SHEET

Application and Certification for Payment, containing

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

Invoice #: C21247

PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

2 Application No.:

Application Date: 6/15/2021

5/31/2021 To:

Architect's Project No.:

A	В	С	D	E	F	G		н	I
T		California d	Work Con	pleted	Materials	Total	%	Balance	
Item No.	Description of Work	Scheduled Value	From Previous Application	This Period In Place	Presently Stored	Completed and Stored To Date	(G / C)	To Finish	Retainage
			(D+E)		(Not in D or E)	(D+E+F)		(C-G)	
	ARBY'S RESTAURANT KEWANEE								
	Division 01 - General Conditions					9			
0105	РЈН	120,222.00	24,044.00	24,044.00		48,088.00	40.0%	72,134.00	
	Division 03 - Building Concrete & Sitework								
0305	ICCI	387,424.00	95,479.00			95,479.00	24.6%	291,945.00	
	Division 04 - Masonry								
0405	Summit Masonry	30,000.00	0.00			0.00	0.0%	30,000.00	
	Division 05 - Steel								
0505	Steel Ladder/Bollards - PJH	5,557.00	0.00			0.00	0.0%	5,557.00	
	Division 06 - Carpentry								
0605	Rough Framing Materials - Carver Lumber	106,588.00	0.00	66,693.00		66,693.00	62.6%	39,895.00	
0610	Rough Carpentry Labor - PJH	36,500.00	25,000.00	7,500.00		32,500.00	89.0%	4,000.00	
0615	Fasteners/Hold Downs	5,000.00	5,000.00			5,000.00	100.0%	0.00	
0620	Siding Install Labor - PJH	22,000.00	0.00			0.00	0.0%	22,000.00	
	Division 07 - Roofing								
0705	Sterling Roofing	55,402.00	0.00			0.00	0.0%	55,402.00	
	Division 08 - Opening								
0805	Glass/Glazing - EMG	34,657.00	500.00			500.00	1.4%	34,157.00	
0810	Door/Hardware - S&S	5,230.00	0.00			0.00	0.0%	5,230.00	
		808,580.00	150,023.00	98,237.00	0.00	248,260.00	30.7%	560,320.00	24,826.0

CONTINUATION SHEET

Application and Certification for Payment, containing

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

Invoice #: C21247

PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

Application No.:

: 2

Application Date: 6/15/2021

10879

To: 5/31/2021

Architect's Project No.:

Α	В	C	D	E	F	G		Н	
Item	5	Scheduled	Work Com	pleted	Materials	Total Completed	%	Balance	
No.	Description of Work	Value	From Previous Application	This Period In Place	Presently Stored	Completed and Stored To Date	(G / C)	To Finish	Retainage
		value	(D+E)	III Flace	(Not in D or E)	(D+E+F)	(070)	(C-G)	
	Division 09 - Finishes								
0905	GYP - WWIS	32,935.00	0.00			0.00	0.0%	32,935.00	
0910	Tile Floor - MSTT	67,900.00	0.00			0.00	0.0%	67,900.00	
0915	Painting - McClanahan	11,490.00	0.00			0.00	0.0%	11,490.00	
	Division 10 - Specialties								
1005	Specialties Material - PJH	6,011.00	0.00			0.00	0.0%	6,011.00	
1010	Labor - PJH	4,992.00	0.00			0.00	0.0%	4,992.00	
	Division 12 - Owner Furnished Install Items							-	
1205	Labor - PJH	5,886.00	0.00			0.00	0.0%	5,886.00	
	Division 21 - Fire Protection								
2105	Connect Ansul System	5,312.00	0.00			0.00	0.0%	5,312.00	
	Division 22 - Plumbing								
2205	Meister Plumbing	179,374.00	35,000.00			35,000.00	19.5%	144,374.00	
	Division 23 - HVAC								
2305	Garber Heating	39,413.00	0.00	13,300.00		13,300.00	33.7%	26,113.00	
2310	RTUs	12,990.00	0.00			0.00	0.0%	12,990.00	
	Division 26 - Electrical								
2605	Zeller Electric	137,585.00	4,317.00	11,191.75		15,508.75	11.3%	122,076.25	
	Division 32 - Exterior Improvement								
	<u> </u>	1,312,468.00	189,340.00	122,728.75	0.00	312,068.75	23.8%	1,000,399.25	31,206.8

CONTINUATION SHEET

Application and Certification for Payment, containing

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply. PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

Invoice #: C21247

Application No.:

Application Date: 6/15/2021

5/31/2021 To:

Architect's Project No.:

A	В	С	D	E	F	G		Н	I
Item No.	Description of Work	Scheduled	Work Con	This Period In Place	Materials Presently Stored	Total Completed and Stored To Date	%	Balance To Finish	Retainage
		Value	Application (D+E)	In Place	(Not in D or E)	(D+E+F)	(G / C)	(C-G)	
3205	Dumpster Enclosure - Hohulin	12,958.00	0.00	-		0.00	0.0%	12,958.00	
4600	G&L Insurance	1,451.00	290.00	290.00		580.00	40.0%	871.00	
5000	OH & P	41,546.00	5,820.00	3,000.00		8,820.00	21.2%	32,726.00	
							<u>'</u>		
			!						
		1,368,423.00	195,450.00	126,018.75	0.00	321,468.75	23.5%	1,046,954.25	32,146.8



Bloomington/Normal Office: 117 Merle Lane, Normal, IL 61761 • Phone: 309.888.9567 • Fax: 309.888.9556

July 14, 2021

MIDLAND PLAZA, LLC

Attention: Les Cohen, Cohen Development Co.

406 Sw Washington Peoria, IL 61602

Re: ARBY'S RESTAURANT KEWANEE

131 W. South Street Kewanee, IL 61443 PJHI Project No. 10879

Application No. 3; Invoice No. C21317

Dear Les Cohen:

Enclosed is a copy of our current billing for the ARBY'S RESTAURANT KEWANEE project listed above. Also enclosed is our waiver of lien for the net amount of the application. Please process for payment.

Feel free to call upon the Project Manager, Dave Wilson, or myself should you have any questions or require any further information.

Very truly,

Sara Bryant, Project Coordinator

Sara E. Bujant

P. J. HOERR, INC.

Enclosures: Billing Application #3 - 1 copy

Waiver of Lien





Bloomington/Normal Office: 117 Merle Lane, Normal, IL 61761 ● Phone: 309.888.9567 ● Fax: 309.888.9556

PARTIAL WAIVER OF LIEN - MATERIAL OR LABOR

STATE OF ILLINOIS)
S.S.
PEORIA COUNTY)

TO ALL WHOM IT MAY CONCERN:

PJHI Project No.: 10879

Application No.: 3

Invoice No.: C21317

Federal Tax ID No.: 20-3852082

July 14, 2021

WHEREAS, we the undersigned P. J. HOERR, INC. have been employed by MIDLAND PLAZA, LLC to furnish Labor and Materials for the project known as ARBY'S RESTAURANT KEWANEE, Located at 131 W. South Street, Situated in the City of Kewanee, County of Henry, State of Illinois.

NOW THEREFORE, KNOW YE, That we the undersigned, for and in consideration of **TWO HUNDRED SEVENTY THOUSAND EIGHT HUNDRED THIRTY AND 16 / 100 [\$270.830.16]** Dollars, the receipt whereof is hereby acknowledged, do hereby waive and release any and all lien, or claim, or right of lien on said above described building and premises under "An Act to Revise the Law in Relation to Mechanic's Liens," approved May 18, 1903, in force July 1, 1903, together with all amendments thereto and all the lien laws of the State of Illinois, on account of labor or materials, or both, furnished or which may be furnished by the undersigned to or on account of the said **MIDLAND PLAZA**, **LLC** for said building premises.

Given under our hand and seal this 14th day of July, 2021

By

Kirk Anderson, President

State of: Illinois

County of: Peoria

Subscribed and affirmed to before me this 14th day of July, 2021

Notary Public:

My Commission expires: February 20, 2024

P.J. HOERR, INC.
CELEBRATING 100 YEARS
CONSTRUCTING WITH CHARKITY

OFFICIAL SEAL
SARA E. BRYANT
NOTARY PUBLIC - STATE OF ILLINOIS
MY COMMISSION EXPIRES 2-20-2024

APPLICATION AND	CERTIFICA	TE FOR PAYMEN	TT	Application No. 3	Invoice #: C21317
To Owner: MIDLAND PLAZA, LLC C/O Cohen Development C 406 Sw Washington Peoria IL 61602		Project: ARBY'S RESTAURAN' Site: 131 W. South Street Kewanee, IL 61443		: 6/30/2021	Copies: Distribution to : Construction Manager Architect Owner
From Contractor: P. J. HOERR, INC. Dave Wilson, Project M 107 N. Commerce Place Peoria, IL 61604 Contract For:	Manager	Via: MIDLAND PLAZA, LLC Les Cohen, Cohen Devel 406 Sw Washington Peoria, IL 61602	DILII Deni		Owner's Representative
Application is made for payment, as si Continuation Sheet is attached. 1. Original Contract Sum 2. Net Change By Change Order 3. Contract Sum To Date 4. Total Completed and Stored To	hown below, in conne	\$ 1,368,423.00 \$ 0.00 \$ 1,368,423.00	The undersigned Contractor certification, and belief, the work completed in accordance with the by the Contractor for Work for w payments received from the Own CONTRACTOR: P. J. HO	covered by this Application for Contract Documents. That all hich previous Certificates for er, and that current payment si ERR, INC.	or Payment has been I amounts have been paid Payment were issued and
5. Retainage: a. 10.0% of Completed Work b. 0.0% of Stored Material Total Retainage	\$ 62,239.1 \$ 0.0	12 00 \$ 62,239.12	State of: ILLINOIS Subscribed and sworn to before me to Notary Public: My Commission expires: February	County of: his 14th day of July, 2021 By a NOT	OFFICIAL SEAL SARA E. BRYANT
6. Total Earned Less Retainage7. Less Previous Certificates For F8. Current Payment Due	ayment	. \$ 289,321.87	ARCHITECT'S CERTIFICAT In accordance with the Contract Documents, and belief, the Work has with the Contract Documents, and the	E FOR PAYMENT uments, based on on-site observativertifies to the Owner that to the best progressed as indicated, the quality	est of the Architect's knowledge, ity of the Work is in accordance
9. Balance To Finish, Plus Retaina	ge	\$ 808,270.97	(Attach explanation if amount certifie	0,830.16	l. Initial all figures on this
CHANGE ORDER SUMMARY Total changes approved in previous months by Owner	Addition \$ 0	Deductions .00 \$ 0.00	Application and on the Continuation ARCHITECT / OWNERS' RE		n with the amount certified.)
Total Approved this Month		.00 \$ 0.00	Ву:	E	Date:

CHANGE ORDER SUMMARY	1	Additions	Ded	uctions
Total changes approved in previous months by Owner	\$	0.00	\$	0.00
Total Approved this Month	\$	0.00	\$	0.00
TOTALS	\$	0.00	\$	0.00
Net Changes By Change Order		\$	0.00	

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment, and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

Invoice #: C21317

PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

Application No.: 3

Application Date: 7/14/2021

To: 6/30/2021

Architect's Project No.:

<u>A</u>	В	С	D	<u>E</u>	F	G		H	I
Item	Description of Work	Scheduled	Work Con	npleted	Materials Presently	Total Completed	%	Balance	
No.		Value	From Previous Application (D+E)	This Period In Place	Presently Stored (Not in D or E)	Completed and Stored To Date (D+E+F)	(G / C)	To Finish (C-G)	Retainage
	ARBY'S RESTAURANT KEWANEE								
	Division 01 - General Conditions								
0105	РЈН	120,222.00	48,088.00	24,044.00		72,132.00	60.0%	48,090.00	
	Division 03 - Building Concrete & Sitework								
0305	ICCI	387,424.00	95,479.00			95,479.00	24.6%	291,945.00	
	Division 04 - Masonry								
0405	Summit Masonry	30,000.00	0.00	30,000.00		30,000.00	100.0%	0.00	`
	Division 05 - Steel								
0505	Steel Ladder/Bollards - PJH	5,557.00	0.00			0.00	0.0%	5,557.00	
	Division 06 - Carpentry	00,15							
0605	Rough Framing Materials - Carver Lumber	66,693.00	66,693.00			66,693.00	100.0%	0.00	
0610	Rough Carpentry Labor - PJH	36,500.00	32,500.00	4,000.00		36,500.00	100.0%	0.00	
0615	Fasteners/Hold Downs	5,000.00	5,000.00			5,000.00	100.0%	0.00	
0620	Siding Install Labor - PJH	22,000.00	0.00	2,000.00		2,000.00	9.1%	20,000.00	
0625	Siding Material - PJH	39,895.00	0.00	29,000.00		29,000.00	72.7%	10,895.00	
	Division 07 - Roofing								
0705	Sterling Roofing	55,402.00	0.00	50,779.00		50,779.00	91.7%	4,623.00	
	Division 08 - Opening								
0805	Glass/Glazing - EMG	34,657.00	500.00	8,706.00		9,206.00	26.6%	25,451.00	
0810	Door/Hardware - S&S	5,230.00	0.00			0.00	0.0%	5,230.00	
		808,580.00	248,260.00	148,529.00	0.00	396,789.00	49.1%	411,791.00	39,678.

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

Invoice #: C21317

PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

Application No.:

Application Date: 7/14/2021

To: 6/30/2021

3

Architect's Project No.:

A	В	С	D	E	F	G		н	I
Item	Description of Work	Scheduled	Work Con	pleted	Materials	Total	0,	% Balance	
No.	2 conspicular work	Value	From Previous	This Period In Place	Presently Stored	Completed and Stored	1 1	To Finish	Retainage
		Value	Application (D+E)	In Flace	(Not in D or E)	To Date (D+E+F)	(G / C)	(C-G)	
	Division 09 - Finishes			-					
0905	GYP - WWIS	32,935.00	0.00	8,386.40		8,386.40	25.5%	24,548.60	
0910	Tile Floor - MSTT	67,900.00	0.00			0.00	0.0%	67,900.00	
0915	Painting - McClanahan	11,490.00	0.00			0.00	0.0%	11,490.00	
	Division 10 - Specialties								
1005	Specialties Material - PJH	6,011.00	0.00			0.00	0.0%	6,011.00	
1010	Labor - PJH	4,992.00	0.00			0.00	0.0%	4,992.00	-777000
	Division 12 - Owner Furnished Install Items			V-7					
1205	Labor - PJH	5,886.00	0.00			0.00	0.0%	5,886.00	
	Division 21 - Fire Protection								
2105	Connect Ansul System	5,312.00	0.00			0.00	0.0%	5,312.00	
	Division 22 - Plumbing								
2205	Meister Plumbing	179,374.00	35,000.00	86,168.00		121,168.00	67.6%	58,206.00	
	Division 23 - HVAC								
2305	Garber Heating	39,413.00	13,300.00			13,300.00	33.7%	26,113.00	
2310	RTUs	12,990.00	0.00	12,990.00		12,990.00	100.0%	0.00	
-	Division 26 - Electrical								
2605	Zeller Electric	137,585.00	15,508.75	36,759.00		52,267.75	38.0%	85,317.25	
		1,312,468.00	312,068.75	292,832.40	0.00	604,901.15	46.1%	707,566.85	60,490.1

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

Invoice #: C21317

PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

Application No.:

Application Date: 7/14/2021

To: 6/30/2021

3

Architect's Project No.:

A	В	С	D	E	F		G		Н	ĭ
.		T	Work Con			ls	Total			
Item No.	Description of Work	Scheduled Value	From Previous Application (D+E)	This Period In Place	Material Presentl Stored (Not in D o		Completed and Stored To Date (D+E+F)	% (G / C)	Balance To Finish (C-G)	Retainage
	Division 32 - Exterior Improvement									
3205	Dumpster Enclosure - Hohulin	12,958.00	0.00	777			0.00	0.0%	12,958.00	
4600	G&L Insurance	1,451.00	580.00	290.00			870.00	60.0%	581.00	
5000	OH & P	41,546.00	8,820.00	7,800.00			16,620.00	40.0%	24,926.00	
		1 260 422 00	221 470 55	300.033.40		0.00	(30 201 17	AE 50/	74603107	(2.220.42
_		1,368,423.00	321,468.75	300,922.40	I.	0.00	622,391.15	45.5%	746,031.85	62,239.12



Bloomington/Normal Office: 117 Merle Lane, Normal, IL 61761 • Phone: 309.888.9567 • Fax: 309.888.9556

October 26, 2021

MIDLAND PLAZA, LLC Attention: Les Cohen, Cohen Development Co. 406 Sw Washington Peoria, IL 61602

Re: ARBY'S RESTAURANT KEWANEE

131 W. South Street Kewanee, IL 61443 PJHI Project No. 10879

Application No. 3; Invoice No. C21510

Dear Les Cohen:

Enclosed is a copy of our final billing for the ARBY'S RESTAURANT KEWANEE project listed above. Also enclosed our final waiver, in the full adjusted contract amount. Please process for payment.

Feel free to call upon the Project Manager, Dave Wilson, or myself should you have any questions or require any further information.

Very truly,

Sara Bryant, Project Coordinator

P. J. HOERR, INC.

Enclosures: Billing Application #3 - 1 copy

Final Waiver of Lien





Bloomington/Normal Office: 117 Merle Lane, Normal, IL 61761 ● Phone: 309.888.9567 ● Fax: 309.888.9556

FINAL WAIVER OF LIEN - MATERIAL OR LABOR

STATE OF ILLINOIS)
S.S.
PEORIA COUNTY)

TO ALL WHOM IT MAY CONCERN:

PJHI Project No.: 10879

Application No.: 3

Invoice No.: C21510

Federal Tax ID No.: 20-3852082

October 26, 2021

WHEREAS, we the undersigned P. J. HOERR, INC. have been employed by MIDLAND PLAZA, LLC to furnish Labor and Materials for the project known as ARBY'S RESTAURANT KEWANEE, Located at 131 W. South Street, Situated in the City of Kewanee, County of Henry, State of Illinois.

NOW THEREFORE, KNOW YE, That we the undersigned, for and in consideration of **ONE MILLION**THREE HUNDRED FORTY-FOUR THOUSAND FOUR HUNDRED TWENTY-THREE AND
XX / 100 [\$1,344,423.00] Dollars, the receipt whereof is hereby acknowledged, do hereby waive and release any and all lien, or claim, or right of lien on said above described building and premises under "An Act to Revise the Law in Relation to Mechanic's Liens," approved May 18, 1903, in force July 1, 1903, together with all amendments thereto and all the lien laws of the State of Illinois, on account of labor or materials, or both, furnished or which may be furnished by the undersigned to or on account of the said MIDLAND PLAZA,
LLC for said building premises.

Given under our hand and seal this 26th day of October, 2021

State of: Illinois

County of: Peoria

Kirk Anderson, President

Subscribed and affirmed to before me this 26th day of October, 2021

Notary Public:

My Commission expires: February 20, 2024

ATING 100

OFFICIAL SEAL SARA E. BRYANT NOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES 2-20-2024

APPLI	CATION AND CE	RTIFICATE	FOR PAYMENT	•	Application No. 3	Invoice #: C21510		
	MIDLAND PLAZA, LLC C/O Cohen Development Compa 406 Sw Washington Peoria IL 61602		ARBY'S RESTAURANT I 131 W. South Street Kewanee, IL 61443		То: 10/31/2021	Copies: Distribution to: Construction Manager Architect Owner		
From Contract Contract For:	or: P. J. HOERR, INC. Dave Wilson, Project Manag 107 N. Commerce Place Peoria, IL 61604	ger I	MIDLAND PLAZA, LLC Les Cohen, Cohen Develop 06 Sw Washington Peoria, IL 61602	menr C.O.	roject No.: 10879 ct Date:	Owner's Representative		
Application Continuation 1. Origina	n is made for payment, as shown on Sheet is attached. Il Contract Sum	below, in connection	1,368,423.00	The undersigned Contractor ce information, and belief, the wo completed in accordance with by the Contractor for Work for payments received from the Ox CONTRACTOR: P. J. Ho	ork covered by this Application the Contract Documents. That a which previous Certificates fo wner, and that current payment	for Payment has been all amounts have been paid r Payment were issued and		
4. Total C	ompleted and Stored To Date	_		By: Dave Wilson, Project Man	ager	Date: 10/26/2021		
5. Retaina	ge : % of Completed Work	\$ 0.00		State of: ILLINOIS Subscribed and sworn to before m		Peoria		
Tota	of Stored Material Retainage	_		Notary Public: Sura E	Byant NOT	OFFICIAL SEAL SARA E. BRYANT ARY PUBLIC - STATE OF ILLINOIS COMMISSION EXPIRES 2-20-2024		
6. Total Earned Less Retainage \$ 1,344,423.00 7. Less Previous Certificates For Payment \$ 289,321.87 8. Current Payment Due \$ 1,055,101.13				ARCHITECT'S CERTIFICATE FOR PAYMENT In accordance with the Contract Documents, based on on-site observations and the data comprising the above application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information, and belief, the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.				
9. Balance	e To Finish, Plus Retainage .	<u>\$</u>	0.00	AMOUNT CERTIFIED \$ 1,0	055,101.13			
CHANGE	ORDER SUMMARY	Additions	Deductions	(Attach explanation if amount cert Application and on the Continuati				
Total chan	ges approved s months by Owner	\$ 0.00	\$ 0.00	ARCHITECT / OWNERS' R	REPRESENTATIVE:			
Total Appr	roved this Month	\$ 0.00	\$ (24,000.00)	Ву:		Date:		

TOTALS |\$ 0.00 \$ (24,000.00) Net Changes By Change Order (24,000.00)

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment, and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

Invoice #: C21510

PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

Application No. :

Application Date: 10/26/2021

To: 10/31/2021

Architect's Project No.:

A	В	C	D	E	F	G		Н	I
Item	Description of Work Scheduled		· .	Work Completed M		Materials Total Presently Completed Stored and Stored	%	Balance	,,,,,
No.		Value	From Previous Application	This Period In Place	Stored	and Stored To Date	(G / C)	To Finish	Retainage
			(D+E)		(Not in D or E)	(D+E+F)		(C-G)	
	ARBY'S RESTAURANT KEWANEE								1
	Division 01 - General Conditions								
0105	PJH	120,222.00	48,088.00	72,134.00		120,222.00	100.0%	0.00	
	Division 03 - Building Concrete & Sitework								
0305	ICCI	387,424.00	95,479.00	291,945.00		387,424.00	100.0%	0.00	
	Division 04 - Masonry								
0405	Summit Masonry	30,000.00	0.00	30,000.00		30,000.00	100.0%	0.00	
	Division 05 - Steel								
0505	Steel Ladder/Bollards - PJH	5,557.00	0.00	5,557.00		5,557.00	100.0%	0.00	
	Division 06 - Carpentry								
0605	Rough Framing Materials - Carver Lumber	66,693.00	66,693.00			66,693.00	100.0%	0.00	
0610	Rough Carpentry Labor - PJH	36,500.00	32,500.00	4,000.00		36,500.00	100.0%	0.00	
0615	Fasteners/Hold Downs	5,000.00	5,000.00			5,000.00	100.0%	0.00	
0620	Siding Install Labor - PJH	22,000.00	0.00	22,000.00		22,000.00	100.0%	0.00	
0625	Siding Material - PJH	39,895.00	0.00	39,895.00		39,895.00	100.0%	0.00	
	Division 07 - Roofing	7110207000							
0705	Sterling Roofing	55,402.00	0.00	55,402.00		55,402.00	100.0%	0.00	
	Division 08 - Opening								
0805	Glass/Glazing - EMG	34,657.00	500.00	34,157.00		34,657.00	100.0%	0.00	
0810	Door/Hardware - S&S	5,230.00	0.00	5,230.00		5,230.00	100.0%	0.00	
		808,580.00	248,260.00	560,320.00	0.00	808,580.00	100.0%	0.00	0.0

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

Invoice #: C21510 PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

Application No.: 3

Application Date: 10/26/2021

To: 10/31/2021

Architect's Project No.:

A	В	С	D	E	F	G		Н	I
Item	Description of Work	Scheduled	Work Cor	npleted	Materials	Total	0.4	Balance	-
No.	Description of 1102 is	Value	From Previous Application (D+E)	This Period In Place	Presently Stored (Not in D or E)	Completed and Stored To Date (D+E+F)	% (G / C)	To Finish (C-G)	Retainage
	Division 09 - Finishes			100			**		
0905	GYP-WWIS	32,935.00	0.00	32,935.00		32,935.00	100.0%	0.00	
0910	Tile Floor - MSTT	67,900.00	0.00	67,900.00		67,900.00	100.0%	0.00	- 1.22
0915	Painting - McClanahan	11,490.00	0.00	11,490.00		11,490.00	100.0%	0.00	
	Division 10 - Specialties								
1005	Specialties Material - PJH	6,011.00	0.00	6,011.00		6,011.00	100.0%	0.00	
1010	Labor - PJH	4,992.00	0.00	4,992.00		4,992.00	100.0%	0.00	
	Division 12 - Owner Furnished Install Items								
1205	Labor - PJH	5,886.00	0.00	5,886.00		5,886.00	100.0%	0.00	
	Division 21 - Fire Protection								
2105	Connect Ansul System	5,312.00	0.00	5,312.00		5,312.00	100.0%	0.00	1 - 10 - 1 - 20 - 20 - 20 - 20 - 20 - 20
	Division 22 - Plumbing								
2205	Meister Plumbing	179,374.00	35,000.00	144,374.00		179,374.00	100.0%	0.00	
	Division 23 - HVAC								
2305	Garber Heating	39,413.00	13,300.00	26,113.00		39,413.00	100.0%	0.00	
2310	RTUs	12,990.00	0.00	12,990.00		12,990.00	100.0%	0.00	
Ţ.	Division 26 - Electrical								
2605	Zeller Electric	137,585.00	15,508.75	122,076.25		137,585.00	100.0%	0.00	
		1,312,468.00	312,068.75	1,000,399.25	0.00	1,312,468.00	100.0%	0.00	0.00

Contractor's signed certification is attached.

Invoice #: C21510

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

Application No. :

Application Date: 10/26/2021

To: 10/31/2021

Architect's Project No.:

PJHI Project No.: 10879

A	В	С	D	E	F	G		Н	I
Item No.	Description of Work	Scheduled	Work Cor From Previous		Materials Presently Stored	Total Completed and Stored	%	Balance To Finish	Detainers
140.		Value	Application (D+E)	This Period In Place	(Not in D or E)	To Date (D+E+F)	(G / C)	(C-G)	Retainage
	Division 32 - Exterior Improvement								
3205	Dumpster Enclosure - Hohulin	12,958.00	0.00	12,958.00		12,958.00	100.0%	0.00	
4600	G&L Insurance	1,451.00	580.00	871.00		1,451.00	100.0%	0.00	
5000	OH & P	41,546.00	8,820.00	32,726.00		41,546.00	100.0%	0.00	
	Owner Change Order No. 01						-		
5101	Phase I: Sitework Not Completed	(24,000.00)	0.00	(24,000.00)		(24,000.00)	100.0%	0.00	
				÷					
		1,344,423.00	321,468.75	1,022,954.25	0.00	1,344,423.00	100.0%	0.00	0.00

PJHI Job No.: 10879 - ARBY'S RESTAURANT KEWANEE

MIDLAND PLAZA, L.L.C. Planning, Engineering Architectural

Туре	Date	Name	Memo	Debit
Bill	01/15/2020	AR & D	Center Expansion / Outlot Developments - #2014.02.2	9,219.00
Bill	05/17/2021	AR & D	Architectural plans for Arby's - #2020.05.1	8,750.00
Bill	11/21/2021	AR & D	Kewanee Site Master plan - Space A	1,311.00
Bill	11/21/2021	AR & D	Kewanee space A subdivision	938.00
Bill	01/23/2022	AR & D	Architectural plans for Arby's - #2020.05.1	8,750.00
				28,968.00
Bill	04/12/2018	Invision Studios, Inc.	I-1417 master plan layout design	1,425.00
Bill	12/31/2020	Invision Studios, Inc.	Site Aerial Visual - #I-1542	3,850.00
Bill	03/09/2021	Invision Studios, Inc.	Arby's Renderings - #I-1550	1,800.00
Bill	07/12/2021	Invision Studios, Inc.	14-015 MPL	3,700.00
				10,775.00
Bill	09/06/2018	Zumwalt & Associates	#20294 - Midalnd Sidewalk	224.00
Bill	06/07/2019	Zumwalt & Associates	Determination of pavement areas - #20294	126.00
Bill	08/03/2019	Zumwalt & Associates	Boundary Survey - #20294	628.55
Bill	09/13/2019	Zumwalt & Associates	Parking Lot Striping plans - 20294	1,432.00
Bill	10/04/2019	Zumwalt & Associates	Arby's Layout - #20294	290.80
Bill	06/04/2020	Zumwalt & Associates	Preliminary Outlot layouts - 20294	3,144.00
Bill	06/04/2020	Zumwalt & Associates	Topography Survey / Site Design - #20294	9,768.50
Bill	07/01/2020	Zumwalt & Associates	Review of legal descriptions - #20294	168.00
Bill	07/09/2020	Zumwalt & Associates	Outlot redevelopment plan - #20294	4,744.00
Bill	09/09/2020	Zumwalt & Associates	Site Plans - #20294	6,748.50
Check	04/27/2021	Zumwalt & Associates	Inv. 20.294 - Arby's	9,830.50
Bill	05/28/2021	Zumwalt & Associates	Arby's	3,456.60
Bill	06/25/2021	Zumwalt & Associates	IL Civil Contractors Quote, Arbys, Take 5	2,268.50
Bill	07/26/2021	Zumwalt & Associates	Take Five	962.50
Bill	08/18/2021	Zumwalt & Associates	Arbys	818.00
Bill	10/19/2021	Zumwalt & Associates	Starbucks	2,962.50
Bill	11/21/2021	Zumwalt & Associates	Kewanee Site Plans	876.00
Bill	01/18/2022	Zumwalt & Associates	Arby's	762.00
				49,210.95
				88,953.95

Mr. Les Cohen Cohen Development Company 406 SW Washington Street Peoria, IL 61602

Midland Shopping Center Kewanee IL Invoice # 2014.02.2

November 5, 2019

Invoice in connection with masterplanning for shopping center expansion / outlot developments

Time Frame	Activity	Hours	Billed Amount
February, 2019	Site plan design for addition to main shopping center to replace existing Bracken Building & present outlots and planning for future construction of 4 outlots. Development of alternative option for rotated outlot development to enhance view corridors into center.	33.75	\$4,219
July, 2019	Multiple revisions to outlot masterplanning and changing building addition to smaller footprint. Study to include Arby's prototype layout adjacent existing North entrance keeping existing Bracken Building and present outlots (to East) in place.	23.50	\$2,938
September, 2019	Revisions to Arby's outlot to enhance parking remaining for existing center. Masterplanning of site with proposed Arby's development and future replacement of existing Bracken Building.	16.50	\$2,063
	Total A/E Fee:		\$9,219
	Less Previous Invoices		\$0
	Total Now Due RECEIVED Cohen Development Company		\$9,219

Mr. Les Cohen

Cohen Development Company 406 SW Washington Street Peoria, IL 61602

Arby's Outlot Development **Midland Shopping Center** Kewanee IL Invoice # 2020.05.1

February 2, 2021

Invoice in connection with architectural plans for freestanding restaurant

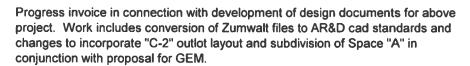
Phase / Task	Scheduled Value	Amount Complete
Fixed Fee (per proposal):	\$17,500	\$17,500
Total A/E Fee:	\$17,500	\$17,500
Less Previous Invoices		\$0
Total Now Due		\$17,500



Mr. Les Cohen Cohen Development Company 406 SW Washington Street Peoria, IL 61602

Kewanee Site Master Plan Midland Shopping Center, Kewanee IL Invoice # 2021.16.1

November 5, 2021



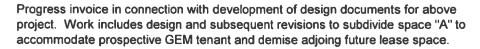
Phase / Task	Scheduled Value	Amount Complete
Hourly Expenses to Date:	\$1,311	\$1,311
Total A/E Fee:	\$1,311	\$1,311
Less Previous Invoices		\$0
Total Now Due		\$1,311



Mr. Les Cohen Cohen Development Company 406 SW Washington Street Peoria, IL 61602

Kewanee Space "A" Subdivision Midland Shopping Center, Kewanee IL Invoice # 2021.13.1

November 5, 2021







Mr. Les Cohen

Cohen Development Company 406 SW Washington Street Peoria, IL 61602

Arby's Outlot Development Midland Shopping Center Kewanee IL Invoice # 2020.05.1

February 2, 2021

Invoice in connection with architectural plans for freestanding restaurant

Phase / Task	Scheduled Value	Amount Complete
Fixed Fee (per proposal):	\$17,500	\$17,500
Total A/E Fee:	\$17,500	\$17,500
Less Previous Invoices		\$0
Total Now Due		\$17,500



Invision Studios, Inc.

13705 North Ivy Lake Road Chillicothe, IL 61523 309-579-3500 www.invisionstudios.com

Bill To	
Midland Plaza LLC 406 SW Washington Peoria, IL 61602	

Invoice

Date	Invoice #	
4/2/2018	I-1433	

Account #	Project Due		Due Date	Terms
14-015 MPL	14-015 M	14-015 MPL (Midland Plaza, Kewanee) 4/17/20		Net 15
Date	Item	Description		Amount
2/21/2018	Production (Hourly R	CG Production: New master plan layout wi	th Wendy's and "Line of	1,425.0
Thank you for your business.		Paym	ents/Credits	\$0.0
··· <u>·</u>		Bala	nce Due	\$1,425.00

Note: Please remit payment for the full amount of this invoice by due date. A finance charge of 1.5% per month will be charded to accounts not paid per terms.

inVISION Studios Inc.

13705 North Ivy Lake Road Chillicothe, IL 61523 309-579-3500 www.invisionstudios.com

Bill To		
Midland Plaza LLC 406 SW Washington Peoria, IL 61602		

Invoice

Date	Invoice #
12/22/2020	I-1542

Account #	Project		Terms
14-015 MPL	14-015 MPL (Midland Plaza, Kewanee)	1/6/2021	Net 15

Date	Item	Description	Amount
12/5/2020	Production Hourly	Production Services per agreement: Produce updated site for extended anchors and outlots for site O-022. Produce Line of Site aerial visual. Detailed model of Arbys and surrounding site Revised model of Starbucks and surrounding site Ground level "beauty shots" of Starbucks and Arby's	3,850.00
		REGEIVED 12 23 20 CM Cohen Development Company	

Payments/Credits

\$0.00

Thank you for your business.

Balance Due

\$3,850.00

Note: Please remit payment for the full amount of this invoice by due date. A finance charge of 1.5% per month will be charged to accounts not paid per terns.

inVISION Studios Inc.

13705 North Ivy Lake Road Chillicothe, IL 61523 309-579-3500 www.invisionstudios.com

Bill To
Midland Plaza LLC 406 SW Washington Peoria, IL 61602

Invoice

Date	Invoice #
3/3/2021	I-1550

Account #	Project	Due Date	Terms
14-015 MPL	14-015 MPL (Midland Plaza, Kewanee)	3/18/2021	Net 15

Date	Item	Description	on	Amount
3/3/2021	Production Rate	Production Services per agreeme Visualization Production / Render	nt: Conceptual Design /	1,800.00
		RECEIV 342 (Cohen Developmen	m	>
Payments/Cred	its			\$0.00
Thank you for your be	usiness.		Balance Due	\$1,800.00

Note: Please remit payment for the full amount of this invoice by due date. A finance charge of 1.5% per month will be charged to accounts not paid per terns.

inVISION Studios Inc.

13705 North Ivy Lake Road Chillicothe, IL 61523 309-579-3500 www.invisionstudios.com

Bill To	
Midland Plaza LLC 406 SW Washington Peoria, IL 61602	

Invoice

Date	Invoice #
6/25/2021	I-1558

Account #	Project	Due Date	Terms
14-015 MPL	14-015 MPL (Midland Plaza, Kewanee)	7/10/2021	Net 15

Date	Item	Descripti	on	Amount
6/15/2021	Production Rate	Production Services per agreeme Visualization Production / Render - 6/15/21	nt: Conceptual Design /	3,700.00
RECEIV Q2 Cohen Developme	321			
Payments/Credit	s			\$0.00
			Balance Due	\$3,700.00

Note: Please remit payment for the full amount of this invoice by due date. A finance charge of 1.5% per month will be charged to accounts not paid per terms.

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
9-06-18	Charges thru August 31, 2018 for the following services: 1. Determination of sidewalk area adjacent to Menard's Storefront excepting fenced in area. Transmittal to Client; 8-09-18. 2. Determination of sidewalk quantities in front of Menard's broken down into 2 areas; Transmittal to Client; 8-22-18. 3. Preparation of mark-up plan showing separate sidewalk areas/quantities for replacement. Transmittal to Client; 8-27-18. For Above Services	\$ 224.00		\$ 224.00

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
5-01-19	Charges thru April 30, 2019 for the following services: 1. Determination of pavement areas for Midland Plaza as highlighted by client. 2. Determination of additional pavement areas as highlighted by client. 4-25-19.	•		
	For Above Services	\$ 126.00		\$ 126.00
	School Development Company			

PLEASE PAY LAST AMOUNT IN THE END COLUMN

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
5-01-19	Charges thru April 30, 2019 for the following services:			
	1. Determination of pavement areas for Midland Plaza as highlighted by client.		Ş	
	2. Determination of additional pavement areas as highlighted by client. 4-25-19.			
	For Above Services	\$ 126.00		
6-10-19	Rebill			\$ 126.00 \$ 126.00
6-21-19	Charges from May 1, 2019 thru June 18, 2019 for the following services:			
	1. Boundary survey for west line of Midland Plaza; 6-17-19.			
	2. Expense (mileage, materials).			
	For Above Services	\$ 628.55		
	Grand Total Amount Now Due			\$ 754.55
	Cohen Development Consens			

PLEASE PAY LAST AMOUNT IN THE END COLUMN

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
6-26-19	Previous Invoice Balance	\$ 628.55		
8-03-19	Charges thru July 31, 2019 for the following services:	7.		:
	 Meeting reviews with Scott Hoerr, (3), with regard to parking lot striping layout and 2015 Improvement plans. Preparation of modified Site layout plans revisions to Site plan for proposed striping, and reviews with Client. Transmittals to Client; 7/09/19; 7/17/19; 7/18/19; 7/19/19. Review of Arby's Prototype conceptional options. Preparation of Preliminary Site layout plan for proposed Arby's Outlot; Transmittal to Client; 7/23/19. Review with Chuck Fischer concerning Arby's Site layout conceptual plan. 			
	For Above Services	\$ 1,432.00		
	Grand Total Amount Now Due			\$ 2,060.55
	RECEIVED OTHER Development Company			

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
8-03-19	Previous Invoice Balance	\$ 2,060.55		
8-24-19	Payment - Ck. No. 6555	*	\$ 628.55	\$ 1,432.00
9-14-19	Charges from August 1, 2019 thru September 10, 2019 for the following services:			\$ 1,432.00
	 Meeting review with Kirk Anderson, Chuck Fischer, and Client regarding Arby's layout and future Outlot layouts; 9-04-19. Transmittal of 2015 Site layout plans to Chuck Fischer. Expense (mileage). 			
	For Above Services	\$ 290.80		
	Grand Total Amount Now Due			\$ 1,722.80
	Q RECEIVED Collen Development Company			

PLEASE PAY LAST AMOUNT IN THE END COLUMN

1-1/2% Per Month which is the equivalent of 18% Annual on Amounts 30 days Past Due

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current
				Balance
11/20/19	Charges from September 11, 2019 thru November 12, 2019 for the following services:			
	Review of C. Fischer preliminary outlot layouts.	*		
	Meeting review with Client regarding overall layout for Center.			
	3. Review with Gary Bradley, City Manager regarding zoning, setbacks, etc.			
	4. Preparation of Preliminary Site layout plan for Outlot 1; preparation of overlay of proposed plan onto existing site plan.		ļ	
	5. Revisions to layout for Outlot 1 per Client's review comments.			
	6. Preparation of Site layout plan for Outlots 1, 2, 3, 4, 5, and proposed building addition east of A-7. Revisions to parking layout / islands per Client's comments.			
	7. Revisions to Site plan L-16 in accordance with Client's review comments.			
	8. Transmittals to Client; 11-06-19, 11-11-19, 11-12-19.			
,	For Above Services	\$ 3,144.00		
	RECEIVED 11/26/9 m Cohen Development Company			\$ 3,144.00

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

				. 20,294
Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
11/20/19	Previous Invoice Balance	\$ 3,144.00		
01/03/20	Charges from November 13, 2019 thru January 2, 2020 for the following services:			
	I. Topography Survey			
	 A. Topography Survey over westerly portion of subject property to drainage way on adjoining property to the west. B. Preparation of Base Topography Survey Plat. C. Expense, (mileage). 			
	For Above Services in Item I	\$ 1,822.50		
	II. Preliminary Site Design and Preparation of Preliminary Site Civil Design Plans.			
	 A. Preparation of Preliminary Site Layout Plan. B. Preparation of mark-up layout for optional dumpster location and transmittal to Client. C. Preparation of Preliminary Site Removal Plan. D. Site Grade Design and preparation of Preliminary Site Grade Design Plan. E. Storm Sewer Design / Preparation of Preliminary Storm Sewer Plan. F. Preparation of Preliminary Sanitary and Water Layout Plan. G. Transmittal of CAD files to Arby's. 		RECEIVI V 2 2 C	
	H. Revisions to Site Layout Plan per Arby's revised Building prototype and layout plan.			

 I. Revisions to Overall Master Site Plan. J. Transmittal of Preliminary Set of Site Civil plans to Client; 1-02-20. For Above Services in Item II 	\$ 7,946.00		
Grand Total Amount Now Due			\$ 12,912.50
		:	

PLEASE PAY LAST AMOUNT IN THE END COLUMN 1-1/2% Per Month which is the equivalent of 18% Annual on Amounts 30 days Past Due

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
2-10-20	Previous Invoice Balance	\$17,656.50		
3-07-20	Charges thru March 3, 2020 for the following services:	2		
	 Review of legal descriptions and tax bills sent by Client; 3-03-20. Transmittal and response to Client. 			
	For Above Services	\$ 168.00		
	Grand Total Amount Now Due			\$ 17,824.50

				:
	RECEIVED 3/10/20 Cm Cohen Development Company			

PLEASE PAY LAST AMOUNT IN THE END COLUMN

1-1/2% Per Month which is the equivalent of 18% Annual on Amounts 30 days Past Due

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Data	John Midland Bloggy Kawanga Illinois	Charge	Credits	. 20,294 Current
Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Balance
11/20/19	Previous Invoice Balance	\$ 3,144.00		
- 2/ - 0/ - 2		,,		
01/03/20	Charges from November 13, 2019 thru			
	January 2, 2020 for the following services:			
	I. Topography Survey			
	A. Topography Survey over westerly portion			
	of subject property to drainage way on			
	adjoining property to the west.			
	B. Preparation of Base Topography Survey			
	Plat.			
	C. Expense, (mileage).			
		# 1 000 FO		
	For Above Services in Item I	\$ 1,822.50		
	II. Preliminary Site Design and Preparation of			
	Preliminary Site Civil Design Plans.			
	A. Preparation of Preliminary Site Layout			
	Plan.			
	B. Preparation of mark-up layout for optional			
	dumpster location and transmittal to Client. C. Preparation of Preliminary Site Removal			
	Plan.		·	
	D. Site Grade Design and preparation of			
	Preliminary Site Grade Design Plan.			
	E. Storm Sewer Design / Preparation of		RECEIVED	
	Preliminary Storm Sewer Plan.	1 1 2	12700	m 1
	F. Preparation of Preliminary Sanitary and	Cohe		ompany
	Water Layout Plan.	1 30113		
	G. Transmittal of CAD files to Arby's.			
	H. Revisions to Site Layout Plan per Arby's revised Building prototype and layout plan.]	
	levised building prototype and layout plan.			

	I. Revisions to Overall Master Site Plan.J. Transmittal of Preliminary Set of Site Civil plans to Client; 1-02-20.		
	For Above Services in Item II Grand Total Amount Now Due	\$ 7,946.00	\$ 12,912.50
2-10-20	Charges from January 3, 2020 thru February 4, 2020 for the following services:		
	1. Preparation of updated Midland Plaza Leasing Plan for existing conditions and for proposed Outlot Redevelopment Plan. Transmitted to Client; 1-07-20.		
	2. Revisions to Redevelopment plan per Client's comments; Transmittal to Client; 1-14-20 and 1-15-20.		
	3. Review of P.J. Hoerr's Site work cost estimate.		
	4. Transmittal of CAD file of Redevelopment		
	plan to Chuck Fischer; 1-22-20.		
	5. Quantity takeoffs and Tabulation of quantities for Outlot Development Parcels (5) and Shopping Center Improvements outside of outlots.		
	6. Preparation of Preliminary Engineer's estimate of costs for Improvements to five outlots and shopping center improvements outside of outlots; Transmitted to Client; 1-22-20.		
	7. Add summary of Improvement quantities to Site Master plan; Transmitted to Client; 1-23-20.		
	8. Revised Site Plan for changes to B-1 and B-11.		
	For Above Services	\$ 4,744.00	
	Grand Total Amount Now Due		\$ 17,656.50
L	DI FACE D	AVIASTAMOL	NT IN THE END COLUMN

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
9-03-20	Charges thru August 31, 2020 for the following services: 1. Transmittal of current Master Plan and Redevelopment Plan to Client: 7-22-20. 2. Added Menard's Lumberyard information to Site plan lease schedule; Transmittal to Client; 7-23-20. 3. Review and transmittal of preliminary Site plan to Whitney & Associates. 4. Mark-up preparation for proposed pothole locations for existing storm sewer. Transmittal to Kirk Anderson; 8-06-20. 5. Review and transmittal of preliminary site plan to Chuck Fischer; 8-05-20.			Balance
	6. Review of Architectural Research and Design as-built plans for Center. 7. Preparation of revised Master Redevelopment plan showing proposed Arby's and proposed outlot parcels. Takeoff for permeable paver quantities and add to site plan. 8. Preparation of revised leasing plan with added Arby's site layout and revisions to lease schedule. 9. Transmittal of revised plans to Client; 8-15-20. 10. Partial Site Construction plan preparations until work suspension on 8-03-20.	110121	EIVED Sompany	
	11. Expense (copies). For Above Services	\$ 6,748.50		\$ 6,748.50

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294 A

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
12/02/20	Charges from September 7, 2020 thru November 30, 2020 for the following services: 1. Determination of pavement quantities for outlots. Transmittal of Master Site plan with pavement quantities to Client; 11-04-20 and 11-06-20. 2. Preparation of revised Master Site plan; Transmittal to Client; 11-13-20. 3. Meeting with Les Cohen for review of Site plans. 4. Additional revisions to Site plan from meeting review; Transmittal to Client; 11-18-20. 5. Preparation of Starbucks site layout on Outlot 2. 6. Review with IDOT concerning underdrain connection to South St. storm sewer. 7. Conference call with Les Cohen, Chuck Fischer, Kirk Anderson, and Arbys. 8. Site Utility plan reviews with Chuck Fischer concerning Utility entry locations, downspouts and dumpster detail / dimensional. 9. Reviews with City of Kewanee for proposed water main extension. 10. Revisions to Site Layout Plan and Removal Plan. 11. Revisions to Site Grading Plan and Utility Plan. 12. Pavement Design – Preparation of concrete joint layout plan / specifications.			Burance

	13. Submittal of Site Civil Design Plans to City of Kewanee.14. Expense (copies).For Above Services	\$ 6,842.50	\$ 6,842.50
2/02/21	 Charges from December 1, 2020 thru January 31, 2021 for the following services: Transmittal of enlargement Site plan for proposed Starbucks' area to Client; 12-02-20. Revisions to Site Design Plans per City of Kewanee comments; Resubmittal to City. Transmittal of dimensional and sq. ft. data for Starbucks outlot to Client; 12-15-20. Transmittal of current Site Civil Design plans to Client; 12-22-20 and 1-13-21. Transmittal of Master Site plan to Client; Quantity takeoffs, estimate of costs and review of PJ Hoerr and ICCI Sitework cost estimate. Preparation of Sanitary Sewer Main IEPA Permit application. Preparation and transmittal to Client. Submittal of Sanitary and Water Permit Applications to City of Kewanee for signatures; 1-29-21. 		
	For Above Services	\$ 2,988.00	\$ 9,830.50

PLEASE PAY LAST AMOUNT IN THE END COLUMN
1-1/2% Per Month which is the equivalent of 18% Annual on Amounts 30 days Past Due

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294 E

Date	Job: Midland Plaza; Kewanee, Illinois Topography Survey – E. side of Center	Charge	Credits	Current Balance
3-25-21	Charges from March 1, 2021 thru March 23, 2021 for the following services: 1. Topography Survey of easterly side of Shopping Center. 2. Acquisition of available utility information from City of Kewanee. 3. Preparation of Topography and Utility Survey Plat. 4. Transmittal of Survey plat to Client; 3-15-21. 5. Expense (mileage). For Above Services	\$ 3,456.60		\$ 3,456.60

PLEASE PAY LAST AMOUNT IN THE END COLUMN

1-1/2% Per Month which is the equivalent of 18% Annual on Amounts 30 days Past Due

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen



Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
6-08-21	Charges from April 1, 2021 thru June 4, 2021 for the following services:			
	 Review of Illinois Civil Contractor's Bid quote as sent to PJ Hoerr. Review of client's Site plan comments; 5-11-21. Transmittal of Arby's Civil plans and preliminary overall plan to Bruce Brown; 5-18-21. Meeting / Site plan reviews with client; 5-22-21. Preparation of preliminary site layout plan for Take 5 Auto. Preparation of revised overall master plan for requested changes; transmittal to client; 5-26-21. 			
	 Preparation of revised layout plan for Take 5 Auto. Preparation of revised overall Site plan per Client's additional comments; 5-28-21. Preparation of additional revised Site plan Transmittal to client; 6-01-21. Added updated lease schedule information to Site plan; transmittal to client; 6-02-21. For Above Services	\$ 2,268.50		\$ 2,268.50

PLEASE PAY LAST AMOUNT IN THE END COLUMN

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
7-17-21	 Charges from June 5, 2021 thru July 13, 2021 for the following services: Transmittal of Master Site plan to P.J. Hoerr, and review with Kirk Anderson. Preparation of proposed mark-up bounds of proposed Take 5 parcel; transmittal to Les Cohen; 7-08-21. Calculation of bounds of Take 5 parcel, and area acreage. Preparation of metes and bounds legal description for Take 5 parcel. Preparation of updated master site plan with added Take 5 parcel and boundary calls. Transmittal of updated master site plan and legal description to Les Cohen; 7-09-21. Review of Chris Joos paver bid proposal. 			
	For Above Services RECEIVED Concor Development Company	\$ 962.50		\$ 962.50

PLEASE PAY LAST AMOUNT IN THE END COLUMN

1-1/2% Per Month which is the equivalent of 18% Annual on Amounts 30 days Past Due

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
	Previous Invoice Balance – 7-17-21	\$ 962.50		:
8-09-21	Charges from July 14, 2021 thru August 6, 2021 for the following services:			
	 Review of Culver's layout for workability in outlots to east of Arbys. Preparation of Preliminary Site Layout plans O-001 and O-002 for proposed outlot area west of entrance drive. Transmittal of Preliminary Site layout plans to client; 7-27-21. 			
	For Above Services Grand Total Amount Now Due	\$ 818.00		\$ 1,780.50
	RECEIVED 24 Cohen Development Company		1	

PLEASE PAY LAST AMOUNT IN THE END COLUMN

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
10-01-21	Charges from August 7, 2021 thru September 30, 2021 for the following services:			
	Reviews with Chuck Fischer for proposed			
	Starbucks outlot site plan.	1		
	2. Overlay of proposed Starbucks layout	1		
	on to existing topography survey for			
	easterly outlot area.	1		
	3. Transmittal of Starbucks updated Site plan			
	to Chuck Fischer; 8-12-21 and 9-08-21.			1
	4. Meeting review with Les Cohen.			
	5. Preparation of Site plan for Phase 1,			
	Phase 2, Phase 3 and updated Site plan			
	showing pavers and landscape islands.			
	6. Quantity takeoffs for Phase 1 quantities.			
	7. Transmittal of Site plan with quantities			
	to client; 9-13-21.			
	8. Revisions to Site plan and re-transmittal		3	
	to client; 9-14-21.			
	9. Review with Kirk Anderson concerning			
	proposed landscape islands in Phase 1.			
	10. Preparation of revised Culver's layout on			
	Outlot west of main entrance from South	1		
	St.; transmittal to client – 9-15-21.			
	11. Revision and transmittal of revised Site			
	plan to client; 9-16-21.			
	12. Preparation of Site plan for both existing		R	ECEIVED
	improvements and proposed improvements		,,,	10. H. 115-
	at east entrance drive and extension;		Cohen Di	evelopment Compa
	transmittal to client; 9=20-21.		Concilia	a construction of the second
	13. Revision to Site plan for proposed east			
	entrance drive in concrete. Quantity			
	takeoffs for proposed concrete pavement			
	and curb and gutter. Transmittal to	I.	I	1

	client; 9-24-21. 14. Expense (copies).		
	For Above Services	\$ 2,962.50	\$ 2,962.50
:			

PLEASE PAY LAST AMOUNT IN THE END COLUMN 1-1/2% Per Month which is the equivalent of 18% Annual on Amounts 30 days Past Due

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

10/01/21 Previous Invoice Balance \$ 2,962.50 Charges from October 1, 2021 thru October 22, 2021 for the following services: 1. Review of Kewanee site plans with Chuck Fischer. 2. Transmittal of CAD files for Master Development plan / layouts to Chuck Fischer; 10-05-21. 3. Site plan review for East entrance road along north side of Outlot 1. 4. Transmittal of Topography survey and exhibit plats for East entrance road to client. 5. Preparation of overlay of Outlot 1 bounds onto existing Improvement location survey. Transmittal to client; 10-15-21. 6. File review and transmittal of previous Site plans / Master plan to Mohr & Kerr Engineering; 10-04-21. For Above Services \$ 876.00	Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current Balance
Charges from October 1, 2021 thru October 22, 2021 for the following services: 1. Review of Kewanee site plans with Chuck Fischer. 2. Transmittal of CAD files for Master Development plan / layouts to Chuck Fischer; 10-05-21. 3. Site plan review for East entrance road along north side of Outlot 1. 4. Transmittal of Topography survey and exhibit plats for East entrance road to client. 5. Preparation of overlay of Outlot 1 bounds onto existing Improvement location survey. Transmittal to client; 10-15-21. 6. File review and transmittal of previous Site plans / Master plan to Mohr & Kerr Engineering; 10-04-21. For Above Services \$ 876.00	10/01/21	Previous Invoice Balance	\$ 2,962.50		
Total Amount Now Due \$ 3,838.50	10/25/21	 October 22, 2021 for the following services: Review of Kewanee site plans with Chuck Fischer. Transmittal of CAD files for Master Development plan / layouts to Chuck Fischer; 10-05-21. Site plan review for East entrance road along north side of Outlot 1. Transmittal of Topography survey and exhibit plats for East entrance road to client. Preparation of overlay of Outlot 1 bounds onto existing Improvement location survey. Transmittal to client; 10-15-21. File review and transmittal of previous Site plans / Master plan to Mohr & Kerr Engineering; 10-04-21. 	\$ 876.00	10.9	15 Dent Company \$ 3,838.50

PLEASE PAY LAST AMOUNT IN THE END COLUMN

1-1/2% Per Month which is the equivalent of 18% Annual on Amounts 30 days Past Due

ZUMWALT & ASSOCIATES, INC.

Professional Engineers, Consultants, Registered Land Surveyors

1040 W. Olympia Drive, Peoria, IL 61615 - (309) 692-5074

Midland Plaza LLC 406 S.W. Washington St. Peoria, Illinois 61602 Attention: Les Cohen

Job No. 20,294

Date	Job: Midland Plaza; Kewanee, Illinois	Charge	Credits	Current
	**************************************			Balance
12/30/21	 Charges from October 23, 2021 thru December 28, 2021 for the following services: Transmittal of CAD files of Arby's Site plans to Bruce Brown of Farnsworth Group. 10-26-21. Transmittal of revised Redevelopment Site plan to Client; 11-17-21. Transmittal of Master Site plan with Take 5 layout on west side of main entrance to Client. 12-13-21. Revisions to Midland Master Site plan per Client's comments. Revisions to Tenant Data Box. Transmittal to Client. 12-17-21. Add preliminary Site layout for 4500 sq. ft. building with drive-thru on Outlot 1; miscellaneous additional revisions. transmittal to Client; 12-22-21. 			
	For Above Services	\$ 762.00		\$ 762.00
	RECEIVED Onhen Development Company			
			A.	
			10	

PLEASE PAY LAST AMOUNT IN THE END COLUMN

1-1/2% Per Month which is the equivalent of 18% Annual on Amounts 30 days Past Due

MIDLAND PLAZA, L.L.C. Legal Fees

Туре	Date	Name	Memo	Debit
Check	02/13/2020	Jack B. Teplitz & Associates	TIF Consultancy	2,000.00
Check	08/02/2020	Jack B. Teplitz & Associates	TIF Consultancy	2,000.00
Bill	08/20/2020	Miller, Hall & Triggs	Arby's - #36510144M1	4,474.50
Bill	09/09/2020	Miller, Hall & Triggs	Arby's - #36510144M2	1,838.25
Bill	11/09/2020	Miller, Hall & Triggs	Arby's - #36510144M3	1,510.50
Bill	11/23/2020	Miller, Hall & Triggs	Arby's - #36510144M4	2,821.50
Bill	12/14/2020	Miller, Hall & Triggs	Arby's - #3651-0144M5	1,838.25
Bill	02/01/2021	Miller, Hall & Triggs	Arby's	1,966.50
Bill	03/09/2021	Miller, Hall & Triggs	Arby's - #36510144M7	3,281.25
Bill	09/20/2021	Miller, Hall & Triggs	Arby's	50.00
Bill	01/18/2022	Miller, Hall & Triggs	Arby's - #3651-0144M16	175.00
Check	03/08/2022	Jack B. Teplitz & Associates	TIF Consulting	1,000.00
Check	06/14/2022	Jack B. Teplitz & Associates	Cosulting - Redevelopment Fee	3,000.00
Check	07/01/2022	Jack B. Teplitz & Associates	Cosulting - Redevelopment Fee	2,000.00
Check	09/09/2022	Jack B. Teplitz & Associates	TIF Consultancy	2,500.00
				30,455.75



TKL: 309-637-3800 FAN: 309-637-3888

BILL TO Midland Plaza LLC 406 SW Washington St Peoria, IL 61602

DATE 02/13/2020 DUE

DATE 03/23/2020

TERMS Net 10

RE:

TIF Consultancy

United States

DATE DESCRIPTION

02/13/2020

TIF Consultancy

1 2,000.00

Thank you for your business!

PAYMENT
BALANCE DUE

\$0.00



TEL: 309-637-3800 FAN: 309-637-3888

BILL TO

Midland Plaza LLC 406 SW Washington St Peoria, IL 61602 United States DATE 08/02/2020
DUE DATE 08/12/2020
TERMS Net 10

RE:

TIF Consultancy

Thank you for you	r business!	PAYMENT BALANCE DUE			2,000.00	
08/02/2020	TIF Consultancy		1	2,000.00	2,000.00	
DATE	DESCRIPTION		QTY	RATE	AMOUNT	

MILLER, HALL & TRIGGS

TELEPHONE: 309-671-9600

416 MAIN STREET
Suite 1125
PEORIA, ILLINOIS 61602-1161

EMP.ID.NO. 37-1242916

Page: 1

Cohen Development Co.

406 SW Washington Street

Peoria IL 61602

ACCOUNT NO: 3651-0144M

STATEMENT NUMBER: 1

ATTN: Les Cohen

07/15/2020		HOURS	
RCH	Emails to ad from Les Cohen and Eliza Mast; telephone conference Les Cohen regarding alternative's for outlet development; work on review of materials	1.00	285.00
07/18/2020 RCH	Continue work regarding revised lease; emails to and from Les Cohen	0.85	242.25
07/19/2020 RCH	Emails to and from Les Cohen and Eliza Mast; review additional lease materials from Eliza Mast	0.65	185.25
07/20/2020 RCH	Emails to and from Les Cohen; work regarding new lease	0.60	171.00
07/22/2020 RCH	Work on lease revisions 8/RECEIVED	0.50	142.50
07/23/2020 RCH	Cohin Development Company Continue work on lease; emails to and from Les Cohen	1.85	527.25
07/24/2020 RCH	Continue work regarding lease; emails to and from Les Cohen	2.00	570.00
07/27/2020 RCH	Continue work regarding new proposed lease	2,20	627,00
07/28/2020 RCH	Continue preparing new revised build-to-suit lease; emails to and from Les Cohen; review Letter of Intent revisions from tenant	2.40	684.00
07/29/2020 RCH	Emails to and from Les Cohen regarding Letter of Intent revisions and financial statements; review and analysis of foregoing; continue work on		

Cohen Development Co.

ACCOUNT NO: STATEMENT NUMBER:

Page: 2 08/05/2020 3651-0144M

	lease	HOURS 1.15	327.75
07/30/2020 RCH	Continue analysis regarding differences in new Letter of Intent terms; continue work on new build to suit lease	1.50	427.50
07/31/2020 RCH	Emails to and from Les regarding guaranty issues; continue work on lease and revisions to it per Letter of Intent change	1.00 15.70	285.00 4,474.50
	FOR CURRENT SERVICES RENDERED	15.70	4,474.50
	TOTAL CURRENT WORK		4,474.50
	BALANCE DUE		\$4,474.50

MILLER, HALL & TRIGGS

TELEPHONE: 309-671-9600

416 MAIN STREET Suite 1125 PEORIA, ILLINOIS 61602-1161

EMP.ID.NO. 37-1242916

Cohen Development Co. 406 SW Washington Street Peoria IL 61602 Page: 1 09/03/2020 ACCOUNT NO: 3651-0144M STATEMENT NUMBER: 2

ATTN: Les Cohen

08/04/2020		HOURS	
08/04/2020 RCH	Continue work on proposed lease; emails to and from Les Cohen and Eliza Mast	4.00	1,140.00
08/07/2020 RCH	Review Les Cohen revisions to lease	0.50	142.50
08/11/2020 RCH	Work on additional suggested lease revisions	0.50	142.50
08/13/2020 RCH	Review and compare lease revisions from Les; emails to and from Les Cohen and Eliza Mast	0.65	185.25
08/17/2020 RCH	Review emails and revised Letter of Intent from Randy Tucker	0.40	114.00
08/31/2020 RCH	Review and analysis of materials from Les Cohen and Eliza Mast	0.40 6.45	114.00 1,838.25
	FOR CURRENT SERVICES RENDERED	6.45	1,838.25
	PREVIOUS BALANCE QLRECEIVED		\$4,474.50
	TOTAL CURRENT WORK Coheh Davdiopment Company		1,838.25
08/27/2020	Copen Development Company RECEIVED		-4,474.50
	BALANCE DUE		\$1,838.25

MILLER, HALL & TRIGGS

TELEPHONE: 309-671-9600

416 MAIN STREET Suite 1125 PEORIA, ILLINOIS 61602-1161

EMP.ID.NO. 37-1242916

Cohen Development Co. 406 SW Washington Street Peoria IL 61602 10/05/2020 ACCOUNT NO: 3651-0144M

Page: 1

STATEMENT NUMBER:

ATTN: Les Cohen

	y .	HOURS	
09/01/2020 RCH	Review Letter of Intent revisions; work on lease revisions for foregoing	0.65	185.25
09/16/2020 RCH	Emails to and from Les Cohen; analysis regarding further lease revisions	0.50	142.50
09/27/2020 RCH	Review and analysis of revised lease from tenant's attorney	2.65	755.25
09/28/2020 RCH	Prepare proposed additional lease revisions; transmittal and summary email regarding foregoing to Les Cohen	1.50 5.30	427.50 1,510.50
	FOR CURRENT SERVICES RENDERED	5.30	1,510.50
	PREVIOUS BALANCE		\$1,838.25
	TOTAL CURRENT WORK		1,510.50
09/15/2020	Fee payment		-1,838.25
	BALANCE DUE RECEIVED 10 13 20 000 School Development Company		\$1,510.50

MILLER, HALL & TRIGGS

TELEPHONE: 309-671-9600

416 MAIN STREET Suite 1125 PEORIA, ILLINOIS 61602-1161

EMP.ID.NO. 37-1242916

Cohen Development Co. 406 SW Washington Street Peoria IL 61602 ACCOUNT NO: STATEMENT NUMBER: Page: 1 11/04/2020 3651-0144M

ATTN: Les Cohen

Midland Plaza - Arby's

Cohen Development Company

40/00/0000		HOURS	
10/02/2020 RCH	Review and analysis of additional lease revisions from Attorney Jeff Davis; emails to and from Les Cohen regarding foregoing	0.90	256.50
10/08/2020 RCH	Review and reply to emails of Eliza Mast regarding status with revised lease	0.25	71.25
10/12/2020 RCH	Emails to and from Les Cohen; emails to and from Eliza Mast	0.65	185.25
10/14/2020 RCH	Prepare additional proposed revisions to draft of lease; transmittal and summary email regarding foregoing to Attorney Jeffrey Davis; emails to and from Eliza Mast	1.00	285.00
10/20/2020 RCH	Review final lease version from Arby's attorney; procedures with Eliza Mast regarding providing the execution version of lease to Arby's; review and analysis of exhibits for lease	0.70	199.50
10/21/2020 RCH	Continue work with Eliza regarding execution of final revisions of lease; emails to and from Les Cohen	0.60	171.00
10/22/2020 RCH	Review email from Eliza Mast; review and analysis of proposed new Exhibits A and B to lease; emails to Eliza Mast and Les Cohen regarding foregoing	0.90	256.50
10/27/2020 RCH	Review email from Randy Tucker; review lease statues; emails to and from Eliza Mast; begin work regarding new lease revisions; emails to and from Randy Tucker and others at Arby's	2.15	612.75

Cohen Development Co.

ACCOUNT NO: STATEMENT NUMBER:

Page: 2 11/04/2020 3651-0144M

		HOURS	
10/28/2020 RCH	Continue review of materials and exhibits from Randy Tucker; emails to and from Les Cohen and Eliza Mast; work on resolution of open issues with final version of lease for execution	1.75	498.75
10/31/2020 RCH	Review proposed construction plans to tenant; work on lease revisions regarding foregoing	1.00 9.90	285.00 2,821.50
	FOR CURRENT SERVICES RENDERED	9.90	2,821.50
	PREVIOUS BALANCE		\$1,510.50
	TOTAL CURRENT WORK		2,821.50
	BALANCE DUE		\$4,332.00

MILLER, HALL & TRIGGS

TELEPHONE: 309-671-9600

416 MAIN STREET **Suite 1125** PEORIA, ILLINOIS 61602-1161

EMP.ID.NO. 37-1242916

Cohen Development Co. 406 SW Washington Street Peoria IL 61602

ACCOUNT NO:

Page: 1 12/04/2020 3651-0144M

STATEMENT NUMBER:

ATTN: Les Cohen

44/40/0000		HOURS	
11/12/2020 RCH	Telephone conference Chuck Fischer; review emails from Chuck Fischer		
	and Les Cohen; begin additional work on lease construction plan finalization	0.90	256.50
11/17/2020 RCH	Work regarding lease revisions; emails to and from Eliza Mast	0.50	142.50
11/18/2020			
RCH	Review emails between parties regarding understanding for plan procedures; work on lease revisions regarding foregoing; transmittal and summary email regarding foregoing to Les Cohen and others	2.85	812.25
11/19/2020 RCH	Continue work regarding additional lease revisions	0.70	199.50
11/20/2020 RCH	Review email from Chuck Fischer regarding suggested lease revisions;		
	email to Les Cohen regarding foregoing; multiple emails to and from Les Cohen regarding plans and procedures with tenant	1.50	427.50
		6.45	1,838.25
	FOR CURRENT SERVICES RENDERED	6.45	1,838.25
	PREVIOUS BALANCE		\$4,332.00
	TOTAL CURRENT WORK		1,838.25
11/13/2020	Fee payment RECEIVED 12 9 20 Company		-1,510.50
	BALANCE DUE		\$4,659.75

Cohen Development Co.

ACCOUNT NO: STATEMENT NUMBER:

Page: 2 12/04/2020 3651-0144M

LAW OFFICES OF

MILLER, HALL & TRIGGS

TELEPHONE: 309-671-9600

416 MAIN STREET Suite 1125 PEORIA, ILLINOIS 61602-1161

EMP.ID.NO. 37-1242916

Cohen Development Co. 406 SW Washington Street Peoria IL 61602

ACCOUNT NO: STATEMENT NUMBER:

Page: 1 01/07/2021 3651-0144M

ATTN: Les Cohen

40144/0000		HOURS	
12/11/2020 RCH	Review materials from Les Cohen and Chuck Fischer; emails to and from Chuck Fischer	1.50	427.50
12/14/2020 RCH	Review email and materials from Les Cohen; work on revisions and analyze proposed additions by Les Cohen; review and reply to email of Chuck Fischer	1.50	427.50
12/15/2020 RCH	Review email of Les Cohen; summary email regarding proposed strategy and procedures to finalize lease	1.10	313.50
12/16/2020 RCH	Emails to and from Les Cohen; telephone conference Eliza Mast; make final lease revisions; transmittal/summary email regarding revised lease to Jeff Davis, Randy Fischer and others at Arby's	2.20	627.00
12/18/2020 RCH	Review and analysis of email letters and other materials from Randy Tucker; emails to and from Les Cohen	0.60 6.90	171.00 1,966.50
	FOR CURRENT SERVICES RENDERED	6.90	1,966.50
	PREVIOUS BALANCE		\$4,659.75
	TOTAL CURRENT WORK		1,966.50
12/08/2020 12/18/2020	Fee payment Fee payment TOTAL PAYMENTS Collen Development Company		-2,821.50 -1,838.25 -4,659.75

Cohen Development Co.

ACCOUNT NO: STATEMENT NUMBER:

Page: 2 01/07/2021 3651-0144M

Midland Plaza - Arby's

BALANCE DUE

\$1,966.50

LAW OFFICES OF

MILLER, HALL & TRIGGS

TELEPHONE: 309-671-9600

416 MAIN STREET Suite 1125 PEORIA, ILLINOIS 61602-1161

EMP.ID.NO. 37-1242916

Cohen Development Co. 406 SW Washington Street Peoria IL 61602

ACCOUNT NO: STATEMENT NUMBER:

Page: 1 02/03/2021 3651-0144M

ATTN: Les Cohen



	Copen Derector	HOURS	
01/05/2021 CDO	Review of e-mails concerning Arby's contract; review of lease and project plans	0.80	192.00
01/10/2021 RCH	Review and analysis of materials and emails from Randy Tucker and Kirk Anderson; analysis of remaining items needed for execution version of lease	0.50	142.50
01/11/2021 RCH	Review and analysis of emails and materials from Kirk Anderson and Les Cohen	0.50	142.50
01/13/2021 RCH	Work on revisions and finalization of lease for execution; work on new lease exhibit's; transmittal/summary email regarding foregoing to Les Cohen and Eliza Mast; review email regarding construction issues from Randy Tucker	3.15	897.75
01/14/2021 RCH	Continue work on finalization of lease for execution; review and analysis of emails from Randy Tucker and Les Cohen	0.60	171.00
01/18/2021 RCH	Review and reply to emails of Les Cohen and Eliza Mast regarding finalization of lease; telephone conference and compiling with Eliza Mast of final lease and exhibits for signing	0.90	256.50
01/19/2021 RCH	Review and analysis of proposed final version of lease for signing; emails to and from Eliza Mast regarding foregoing; wok on last minute revisions; send new redlined lease to Randy Tucker; procedures with Eliza for sending pdf (Drop Box) new final version	2.70	769.50

Cohen Development Co.

ACCOUNT NO:

Page: 2 02/03/2021 3651-0144M

STATEMENT NUMBER:

000		HOURS	
CDO	Review of emails and information concerning Arby's construction agreement; email with Eliza Mast	0.30	72.00
01/22/2021 RCH	Procedures with Eliza Mast regarding follow up for final lease execution	0.30	85.50
01/26/2021 CDO	Draft Construction Agreement with PJ Hoerr for Arby's at Midland Plaza	1.80	432.00
01/27/2021 CDO	Finalize Arby's Agreement and send to client and Kirk Anderson	0.50 12.05	120.00 3,281.25
	FOR CURRENT SERVICES RENDERED	12.05	3,281.25
	TOTAL CURRENT WORK		3,281.25
	PREVIOUS BALANCE		\$1,966.50
	BALANCE DUE		\$5,247.75

LAW OFFICES OF

MILLER, HALL & TRIGGS

TELEPHONE: 309-671-9600

416 MAIN STREET Suite 1125 PEORIA, ILLINOIS 61602-1161

EMP.ID.NO. 37-1242916

Cohen Development Co. 406 SW Washington Street Peoria IL 61602

ACCOUNT NO: STATEMENT NUMBER:

Page: 1 09/03/2021 3651-0144M

ATTN: Les Cohen



09/40/2024		HOURS	
08/10/2021 CDO	Telephone conference with LBC and Kirk Anderson; forward construction contract with exhibits and send change order form	0.20 0.20	50.00 50.00
	FOR CURRENT SERVICES RENDERED	0.20	50.00
	TOTAL CURRENT WORK		50.00
	BALANCE DUE		\$50.00

LAW OFFICES OF

MILLER, HALL & TRIGGS

TELEPHONE: 309-671-9600

416 MAIN STREET
Suite 1125
PEORIA, ILLINOIS 61602-1161

EMP.ID.NO. 37-1242916

Cohen Development Co. 406 SW Washington Street Peoria IL 61602

ACCOUNT NO:

Page: 1 01/05/2022 3651-0144M

STATEMENT NUMBER:

16

ATTN: Les Cohen

12/08/2021			HOURS	
CDO	Telephone conference with Ken Davies concerning payments to Pu Hoerr; discuss with Attorney Hall	J	0.50	125.00
12/14/2021 CDO	Email from Ken Davies and forward to LBC regarding payment on Kewanee Arby's	1,	0.20 0.70	50.00 175.00
	FOR CURRENT SERVICES RENDERED		0.70	175.00
	TOTAL CURRENT WORK			175.00
	BALANCE DUE			\$175.00



TKI:: 309-637-3808 FAX: 309-637-3888

BILL TO Midland Plaza LLC 406 SW Washington St Peoria, IL 61602

DATE 03/08/2022 DUE

DATE 03/18/2022

TERMS Net 10

RE:

TIF Consultancy

United States

Thank you for yo	ur business!	PAYMENT		1,000.00	
Thank you for yo	ur business!	PAYMENT BALANCE DUE		1,000.00	



BILL TO Midland Plaza LLC 406 SW Washington St Peoria, IL 61602

DATE 06/14/2022 DUE

DATE 06/24/2022

TERMS Net 10

RE:

TIF Consultancy

United States

DATE	DESCRIPTION		QTY	RATE	AMOUNT	
06/148/2022	TIF Consultancy		1	3,000.00	3,000.00	
Thank you for y	our business!	PAYMENT			3,000.00	
		BALANCE DUE			\$0.00	



TEL: 309-637-3808 FAN: 309-637-3888

BILL TO

Midland Plaza LLC 406 SW Washington St Peorla, IL 61602 United States DATE 07/01/2022 DUE

DATE 07/11/2022

TERMS Net 10

RE:

TIF Consultancy

DATE	DESCRIPTION		QTY	RATE	AMOUNT	
07/01/2022	TIF Consultancy		1	2,000.00	2,000.00	
Thank you for	r your business!	PAYMENT BALANCE DUE			2,000.00	



TEL: 309-637-3800 FAN: 309-637-3688

BILL TO Midland Plaza LLC 406 SW Washington St Peoria, IL 61602

DATE 09/09/2022 DUE

DATE 07/19/2022

TERMS Net 10

RE:

TIF Consultancy

United States

Thank you for	your business!	PAYMENT BALANCE DUE			2,500.00	
09/09/2022	TIF Consultancy		1	2,500.00	2,500.00	
DATE	DESCRIPTION		QTY	RATE	AMOUNT	

MIDLAND PLAZA, L.L.C. Accounting/Financial

Date	Name	Memo	Debit
03/01/2020	Community State Bank	check #6737 interest due	6,376.44
	Equanimity, LLC	Accounting Services	3,787.50
01/19/2022	CBRE	Appraisal Fee	5,000.00
01/19/2022	Community State Bank	Loan Origination Fee	15,000.00
			30,163.94
			30,163.94

EQUANIMITY LLC

Chief Financial Officer Services Financial Analysis Services Tax Consulting Services

Cohen Development Company Midland Plaza LLC 406 SW Washington Street Peoria, IL 61602

01/07/22	Midland Plaza LLC Services Midland NOI updates and include TIF projections	\$300.00
01/21/22	Midland Plaza LLC Services Midland Loan information, compiled reviewed, entered into Accounting software	\$412.50
2/25/22	Midland Plaza LLC Services Prep letters and invoices for mailing/emailing to tenants Overview of financials	\$375.00
4/8/22	Midland Plaza LLC Services Meeting regarding financials, review emails and Information pertaining to same Tenant common area review	\$600.00
4/25/22	Midland Plaza LLC Services Phone calls and tenant emails Common Area finalized to tenants	\$375.00
6/17/22	Midland Plaza LLC Services Meeting with external accountants regarding year end tax Review QB entity information for submittal to external	\$450.00

	Accountants Arby's work completed 2021, meeting regarding correct tax Allocation for building exterior vs interior and tenant work	
7/22/22	Midland Plaza LLC Services Midland tax return prep	\$300.00
9/9/22	Midland Plaza LLC Services Tenant information review and letters regarding RET	\$318.75
10/22/22	Midland Plaza LLC Services Kewanee TIF Application, binder information compilation Reports and invoices compilation	\$656.25

Total for Services Rendered

<u>\$3,787.50</u>

Chicago Title and Trust Company

6901 N. Knoxville Ave., Suite 102, Peoria, IL 61614 Phone: (309)692-2854 | Fax: (309)692-4876

BORROWER'S STATEMENT

Settlement Date: January 19, 2022

Escrow Number: 5245-2200034

Disbursement Date: January 19, 2022

Escrow Officer: Stephanie Roof

Borrower: Midland Plaza, L.L.C.

Email: Stephanie.Roof@ctt.com

406 SW Washington St

Peoria, IL 61602

Property: 157 W. South Street

Kewanee, IL 61443

Lender: Community State Bank

625 SE 2nd Street Galva, IL 61434

		\$	DEBITS	\$ CREDITS
FINANCIAL CONSIDERATION				
Loan Amount				4,150,000.00
NEW LOAN CHARGES - Communication Charges: \$20,094.00	inity State Bank			
Loan origination fee	Community State Bank		15,000.00	
Tax service fee	Community State Bank		70.00	
Flood cert	Flood Plain Consultants		17.00	
Flood monitoring	Flood Plain Consultants		7.00	
Appraisal fee	CBRE		5,000.00	
TITLE & ESCROW CHARGES				
Title - CPL Fee to Borrower	Chicago Title Insurance Company		50.00	
Title - CPL Fee to Lender	Chicago Title Insurance Company		25.00	
Title - Lender's Title Insurance	Chicago Title Company		5,395.00	
Title - Recording Service Fees	Chicago Title Company		15.00	
Title - Search and Exam Fee	Chicago Title Company		1,000.00	
Title - Settlement/Closing Fees - Borrower	Chicago Title and Trust Company		1,200.00	
Title - State of Illinois Policy Registration Fee	Chicago Title Company		3.00	
Title - Wire Transfer Service Fee	Chicago Title and Trust Company		70.00	
Policies to be issued:				
Loan Policy	n: \$5,395.00 Version: ALTA Loan Policy 2006			
GOVERNMENT CHARGES	iii. qui,uuu voi didiii. Ale A Loui ii olidy 2000			
Recording Fees	Henry County Recorder		204.00	
MISCELLANEOUS CHARGES	Herry County Recorder		204.00	
Commission	Bluemound Realty Corp.		62,916.00	
Payment	PJ Hoerr, Inc.		755,101.13	
-	, , , , , , , , , , , , , , , , , , ,	^		
Payoff 31388	Community State Bank	2	,040,579.22	
Payoff 205659	Community State Bank		150,250.00	
Payoff 33511	Community State Bank		301,440.25	
Payoff 33551	Community State Bank		300,440.25	

MIDLAND PLAZA, L.L.C. Marketing

Туре	Date	Name	Memo	Debit
Check	09/15/2020	Carnahan, Scott	marketing services	600.00
Check	09/30/2020	Carnahan, Scott	marketing services	600.00
Check	10/15/2020	Carnahan, Scott	marketing services	600.00
Check	10/28/2020	Carnahan, Scott	marketing services	600.00
Check	11/15/2020	Carnahan, Scott	marketing services	600.00
Check	11/30/2020	Carnahan, Scott	marketing services	600.00
Check	12/15/2020	Carnahan, Scott	marketing services	600.00
Check	12/28/2020	Carnahan, Scott	marketing services	600.00
Check	01/15/2021	Carnahan, Scott	marketing services	600.00
Check	01/30/2021	Carnahan, Scott	marketing services	600.00
Check	02/15/2021	Carnahan, Scott	marketing services	600.00
Check	02/28/2021	Carnahan, Scott	marketing services	600.00
Check	03/15/2021	Carnahan, Scott	marketing services	600.00
Check	03/31/2021	Carnahan, Scott	marketing services	600.00
Check	04/15/2021	Carnahan, Scott	marketing services	600.00
Check	04/30/2021	Carnahan, Scott	marketing services	600.00
Check	05/15/2021	Carnahan, Scott	marketing services	600.00
Check	05/31/2021	Carnahan, Scott	marketing services	600.00
Check	06/15/2021	Carnahan, Scott	marketing services	600.00
Check	06/30/2021	Carnahan, Scott	marketing services	600.00
Check	07/15/2021	Carnahan, Scott	marketing services	600.00
Check	07/30/2021	Carnahan, Scott	marketing services	600.00
Check	08/15/2021	Carnahan, Scott	marketing services	600.00
Check	08/31/2021	Carnahan, Scott	marketing services	600.00
				14,400.00



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

9/30/2020

September 15, 2020 \$600.00

Midland Plaza Marketing Services

September 30, 2020 \$600.00

Midland Plaza Marketing Services



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

10/30/2020

Midland Plaza Marketing Services

October 15, 2020 \$600.00

Midland Plaza Marketing Services

October 30, 2020 \$600.00



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

11/30/2020

November 15, 2020 \$600.00

Midland Plaza Marketing Services

November 30, 2020 \$600.00

Midland Plaza Marketing Services



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

12/30/2020

December 15, 2020 \$600.00

Midland Plaza Marketing Services

December 30, 2020 \$600.00

Midland Plaza Marketing Services



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

\$1,200.00

2/28/2021

Total:

Midland Plaza Marketing Services

February 15, 2021 \$600.00 Midland Marketing Services

February 28, 2021 \$600.00



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

1/30/2021

January 15, 2021 \$600.00
Midland Plaza Marketing Services

January 30, 2021 \$600.00
Midland Plaza Marketing Services



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

3/30/2021

March 15, 2021 \$600.00

Midland Plaza Marketing Services

March 30, 2021 \$600.00

Midland Plaza Marketing Services



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

4/30/2021

April 15, 2021 \$600.00

Midland Plaza Marketing Services

April 30, 2021 \$600.00

Midland Plaza Marketing Services



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

5/30/2021

May 15, 2021 \$600.00

Midland Plaza Marketing Services

May 30, 2021 \$600.00

Midland Plaza Marketing Services



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

6/30/2021

June 15, 2021 \$600.00

Midland Plaza Marketing Services

June 30, 2021 \$600.00

Midland Plaza Marketing Services



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

7/30/2021

July 15, 2021 \$600.00 Midland Plaza Marketing Services

July 30, 2021 \$600.00



Midland Plaza, LLC 406 SW Washington Street Peoria, Illinois 61602

8/30/2021

August 15, 2021 \$600.00 Midland Plaza Marketing Services

August 30, 2021 \$600.00 Midland Plaza Marketing Services

MIDLAND PLAZA, L.L.C. Other Professional Fees

Type	Date	Name	Memo	Debit
Check	02/22/2021	Cohen, Les B.	partial Arby's Development fee	20,000.00
Check	12/28/2021	Cohen, Les B.	Development fee	20,000.00
Check	01/19/2022	Bluemound Realty Corp	Lease Commissions	62,916.00
				102,916.00
				102,916.00

Bluemound Realty Corp.

17890 Wessex Dr.
Brookfield, Wisconsin 53045
414-659-3988
FAX 262-373-0554
EMAIL larryboe@bluemoundrealty.com

March 16, 2021

Leslie B. Cohen Midland Plaza, LLC c/o Cohen Development Company 406 S.W. Washington Street Peoria, IL 61602 lbc@cohendevelopment.com

INVOICE

Fee due per Agreement dated July 26, 2019 for a lease between Midland Plaza, LLC and FMS Group, Inc. for a to-be-built Arby's restaurant on West South Street in Kewaunee, Illinois.

Rent – Years 1-5	\$399,150
Rent – Years 6-10	\$419,112
Rent – Years 11-15	\$440,065
Total	\$1,258,327
x 5% =	\$ 62,916

LOAN AMORTIZATION SCHEDULE

ENTER VALUES	
Loan amount	\$1,344,423.00
Annual interest rate	4.50%
Loan period in years	15
Number of payments per year	12
Start date of loan	12/1/2022

LOAN SUMMARY	
Scheduled payment	\$10,284.75
Scheduled number of pa	yments 180
Actual number of payme	nts 180
Total early payments	\$0.00
Total interest	\$506,831.23

Optional extra payments	\$0.00	LENDER NAME	Community State Bank
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PMT NO	PAYMENT DATE	BEGINNING BALANCE	SCHEDULE D PAYMENT	EXTRA PAYM FNT	TOTAL PAYMENT	PRINCIPAL	INTEREST	ENDING BALANCE	CUMULATIVE INTEREST
1	12/1/2022	\$1,344,423.00	\$10,284.75	\$0.00	\$10,284.75	\$5,243.16	\$5,041.59	\$1,339,179.84	\$5,041.59
2	1/1/2023	\$1,339,179.84	\$10,284.75	\$0.00	\$10,284.75	\$5,262.82	\$5,021.92	\$1,333,917.02	\$10,063.51
3	2/1/2023	\$1,333,917.02	\$10,284.75	\$0.00	\$10,284.75	\$5,282.56	\$5,002.19	\$1,328,634.46	\$15,065.70
4	3/1/2023	\$1,328,634.46	\$10,284.75	\$0.00	\$10,284.75	\$5,302.37	\$4,982.38	\$1,323,332.10	\$20,048.08
5	4/1/2023	\$1,323,332.10	\$10,284.75	\$0.00	\$10,284.75	\$5,322.25	\$4,962.50	\$1,318,009.85	\$25,010.57
6	5/1/2023	\$1,318,009.85	\$10,284.75	\$0.00	\$10,284.75	\$5,342.21	\$4,942.54	\$1,312,667.64	\$29,953.11
7	6/1/2023	\$1,312,667.64	\$10,284.75	\$0.00	\$10,284.75	\$5,362.24	\$4,922.50	\$1,307,305.39	\$34,875.61
8	7/1/2023	\$1,307,305.39	\$10,284.75	\$0.00	\$10,284.75	\$5,382.35	\$4,902.40	\$1,301,923.04	\$39,778.01
9	8/1/2023	\$1,301,923.04	\$10,284.75	\$0.00	\$10,284.75	\$5,402.53	\$4,882.21	\$1,296,520.51	\$44,660.22
10	9/1/2023	\$1,296,520.51	\$10,284.75	\$0.00	\$10,284.75	\$5,422.79	\$4,861.95	\$1,291,097.72	\$49,522.17
11	10/1/2023	\$1,291,097.72	\$10,284.75	\$0.00	\$10,284.75	\$5,443.13	\$4,841.62	\$1,285,654.59	\$54,363.79
12	11/1/2023	\$1,285,654.59	\$10,284.75	\$0.00	\$10,284.75	\$5,463.54	\$4,821.20	\$1,280,191.05	\$59,184.99
13	12/1/2023	\$1,280,191.05	\$10,284.75	\$0.00	\$10,284.75	\$5,484.03	\$4,800.72	\$1,274,707.02	\$63,985.71
14	1/1/2024	\$1,274,707.02	\$10,284.75	\$0.00	\$10,284.75	\$5,504.59	\$4,780.15	\$1,269,202.42	\$68,765.86
15	2/1/2024	\$1,269,202.42	\$10,284.75	\$0.00	\$10,284.75	\$5,525.24	\$4,759.51	\$1,263,677.19	\$73,525.37
16	3/1/2024	\$1,263,677.19	\$10,284.75	\$0.00	\$10,284.75	\$5,545.96	\$4,738.79	\$1,258,131.23	\$78,264.16
17	4/1/2024	\$1,258,131.23	\$10,284.75	\$0.00	\$10,284.75	\$5,566.75	\$4,717.99	\$1,252,564.48	\$82,982.15
18	5/1/2024	\$1,252,564.48	\$10,284.75	\$0.00	\$10,284.75	\$5,587.63	\$4,697.12	\$1,246,976.85	\$87,679.27
19	6/1/2024	\$1,246,976.85	\$10,284.75	\$0.00	\$10,284.75	\$5,608.58	\$4,676.16	\$1,241,368.26	\$92,355.43
20	7/1/2024	\$1,241,368.26	\$10,284.75	\$0.00	\$10,284.75	\$5,629.61	\$4,655.13	\$1,235,738.65	\$97,010.56
21	8/1/2024	\$1,235,738.65	\$10,284.75	\$0.00	\$10,284.75	\$5,650.73	\$4,634.02	\$1,230,087.92	\$101,644.58
22	9/1/2024	\$1,230,087.92	\$10,284.75	\$0.00	\$10,284.75	\$5,671.92	\$4,612.83	\$1,224,416.01	\$106,257.41
23	10/1/2024	\$1,224,416.01	\$10,284.75	\$0.00	\$10,284.75	\$5,693.19	\$4,591.56	\$1,218,722.82	\$110,848.97
24	11/1/2024	\$1,218,722.82	\$10,284.75	\$0.00	\$10,284.75	\$5,714.54	\$4,570.21	\$1,213,008.29	\$115,419.18
25	12/1/2024	\$1,213,008.29	\$10,284.75	\$0.00	\$10,284.75	\$5,735.96	\$4,548.78	\$1,207,272.32	\$119,967.96
26	1/1/2025	\$1,207,272.32	\$10,284.75	\$0.00	\$10,284.75	\$5,757.47	\$4,527.27	\$1,201,514.85	\$124,495.24
27	2/1/2025	\$1,201,514.85	\$10,284.75	\$0.00	\$10,284.75	\$5,779.07	\$4,505.68	\$1,195,735.78	\$129,000.92
28	3/1/2025	\$1,195,735.78	\$10,284.75	\$0.00	\$10,284.75	\$5,800.74	\$4,484.01	\$1,189,935.05	\$133,484.93
29	4/1/2025	\$1,189,935.05	\$10,284.75	\$0.00	\$10,284.75	\$5,822.49	\$4,462.26	\$1,184,112.56	\$137,947.18
30	5/1/2025	\$1,184,112.56	\$10,284.75	\$0.00	\$10,284.75	\$5,844.32	\$4,440.42	\$1,178,268.23	\$142,387.60
31	6/1/2025	\$1,178,268.23	\$10,284.75	\$0.00	\$10,284.75	\$5,866.24	\$4,418.51	\$1,172,401.99	\$146,806.11
32	7/1/2025	\$1,172,401.99	\$10,284.75	\$0.00	\$10,284.75	\$5,888.24	\$4,396.51	\$1,166,513.75	\$151,202.62
33	8/1/2025	\$1,166,513.75	\$10,284.75	\$0.00	\$10,284.75	\$5,910.32	\$4,374.43	\$1,160,603.44	\$155,577.04
34	9/1/2025	\$1,160,603.44	\$10,284.75	\$0.00	\$10,284.75	\$5,932.48	\$4,352.26	\$1,154,670.95	\$159,929.31
35	10/1/2025	\$1,154,670.95	\$10,284.75	\$0.00	\$10,284.75	\$5,954.73	\$4,330.02	\$1,148,716.22	\$164,259.32

NO 36	PAYMENT DATE	BEGINNING	SCHEDULE	PAYM	TOTAL	PRINCIPAL	INTEREST	ENDING	CUMULATIVE
		BALANCE	D PAYMENT	FNT	PAYMENT	FRINCIPAL	INTLICEST	BALANCE	INTEREST
	11/1/2025	\$1,148,716.22	\$10,284.75	\$0.00	\$10,284.75	\$5,977.06	\$4,307.69	\$1,142,739.16	\$168,567.01
37	12/1/2025	\$1,142,739.16	\$10,284.75	\$0.00	\$10,284.75	\$5,999.47	\$4,285.27	\$1,136,739.69	\$172,852.28
38	1/1/2026	\$1,136,739.69	\$10,284.75	\$0.00	\$10,284.75	\$6,021.97	\$4,262.77	\$1,130,717.72	\$177,115.05
39	2/1/2026	\$1,130,717.72	\$10,284.75	\$0.00	\$10,284.75	\$6,044.55	\$4,240.19	\$1,124,673.16	\$181,355.25
40	3/1/2026	\$1,124,673.16	\$10,284.75	\$0.00	\$10,284.75	\$6,067.22	\$4,217.52	\$1,118,605.94	\$185,572.77
41	4/1/2026	\$1,118,605.94	\$10,284.75	\$0.00	\$10,284.75	\$6,089.97	\$4,194.77	\$1,112,515.97	\$189,767.54
42	5/1/2026	\$1,112,515.97	\$10,284.75	\$0.00	\$10,284.75	\$6,112.81	\$4,171.93	\$1,106,403.16	\$193,939.48
43	6/1/2026	\$1,106,403.16	\$10,284.75	\$0.00	\$10,284.75	\$6,135.73	\$4,149.01	\$1,100,267.42	\$198,088.49
44	7/1/2026	\$1,100,267.42	\$10,284.75	\$0.00	\$10,284.75	\$6,158.74	\$4,126.00	\$1,094,108.68	\$202,214.49
45	8/1/2026	\$1,094,108.68	\$10,284.75	\$0.00	\$10,284.75	\$6,181.84	\$4,102.91	\$1,087,926.84	\$206,317.40
46	9/1/2026	\$1,087,926.84	\$10,284.75	\$0.00	\$10,284.75	\$6,205.02	\$4,079.73	\$1,081,721.82	\$210,397.13
47	10/1/2026	\$1,081,721.82	\$10,284.75	\$0.00	\$10,284.75	\$6,228.29	\$4,056.46	\$1,075,493.53	\$214,453.58
48	11/1/2026	\$1,075,493.53	\$10,284.75	\$0.00	\$10,284.75	\$6,251.64	\$4,033.10	\$1,069,241.89	\$218,486.68
49	12/1/2026	\$1,069,241.89	\$10,284.75	\$0.00	\$10,284.75	\$6,275.09	\$4,009.66	\$1,062,966.80	\$222,496.34
50	1/1/2027	\$1,062,966.80	\$10,284.75	\$0.00	\$10,284.75	\$6,298.62	\$3,986.13	\$1,056,668.18	\$226,482.47
51	2/1/2027	\$1,056,668.18	\$10,284.75	\$0.00	\$10,284.75	\$6,322.24	\$3,962.51	\$1,050,345.94	\$230,444.97
52	3/1/2027	\$1,050,345.94	\$10,284.75	\$0.00	\$10,284.75	\$6,345.95	\$3,938.80	\$1,043,999.99	\$234,383.77
53	4/1/2027	\$1,043,999.99	\$10,284.75	\$0.00	\$10,284.75	\$6,369.75	\$3,915.00	\$1,037,630.25	\$238,298.77
54	5/1/2027	\$1,037,630.25	\$10,284.75	\$0.00	\$10,284.75	\$6,393.63	\$3,891.11	\$1,031,236.61	\$242,189.88
55	6/1/2027	\$1,031,236.61	\$10,284.75	\$0.00	\$10,284.75	\$6,417.61	\$3,867.14	\$1,024,819.00	\$246,057.02
56	7/1/2027	\$1,024,819.00	\$10,284.75	\$0.00	\$10,284.75	\$6,441.67	\$3,843.07	\$1,018,377.33	\$249,900.09
57	8/1/2027	\$1,018,377.33	\$10,284.75	\$0.00	\$10,284.75	\$6,465.83	\$3,818.91	\$1,011,911.50	\$253,719.01
58	9/1/2027	\$1,011,911.50	\$10,284.75	\$0.00	\$10,284.75	\$6,490.08	\$3,794.67	\$1,005,421.42	\$257,513.67
59	10/1/2027	\$1,005,421.42	\$10,284.75	\$0.00	\$10,284.75	\$6,514.42	\$3,770.33	\$998,907.01	\$261,284.00
60	11/1/2027	\$998,907.01	\$10,284.75	\$0.00	\$10,284.75	\$6,538.84	\$3,745.90	\$992,368.16	\$265,029.91
61	12/1/2027	\$992,368.16	\$10,284.75	\$0.00	\$10,284.75	\$6,563.37	\$3,721.38	\$985,804.80	\$268,751.29
62	1/1/2028	\$985,804.80	\$10,284.75	\$0.00	\$10,284.75	\$6,587.98	\$3,696.77	\$979,216.82	\$272,448.05
63	2/1/2028	\$979,216.82	\$10,284.75	\$0.00	\$10,284.75	\$6,612.68	\$3,672.06	\$972,604.14	\$276,120.12
64	3/1/2028	\$972,604.14	\$10,284.75	\$0.00	\$10,284.75	\$6,637.48	\$3,647.27	\$965,966.66	\$279,767.38
65	4/1/2028	\$965,966.66	\$10,284.75	\$0.00	\$10,284.75	\$6,662.37	\$3,622.37	\$959,304.29	\$283,389.76
66	5/1/2028	\$959,304.29	\$10,284.75	\$0.00	\$10,284.75	\$6,687.35	\$3,597.39	\$952,616.93	\$286,987.15
67	6/1/2028	\$952,616.93	\$10,284.75	\$0.00	\$10,284.75	\$6,712.43	\$3,572.31	\$945,904.50	\$290,559.46
68	7/1/2028	\$945,904.50	\$10,284.75	\$0.00	\$10,284.75	\$6,737.60	\$3,547.14	\$939,166.90	\$294,106.60
69	8/1/2028	\$939,166.90	\$10,284.75	\$0.00	\$10,284.75	\$6,762.87	\$3,521.88	\$932,404.03	\$297,628.48
70	9/1/2028	\$932,404.03	\$10,284.75	\$0.00	\$10,284.75	\$6,788.23	\$3,496.52	\$925,615.79	\$301,125.00
71	10/1/2028	\$925,615.79	\$10,284.75	\$0.00	\$10,284.75	\$6,813.69	\$3,471.06	\$918,802.11	\$304,596.05
72	11/1/2028	\$918,802.11	\$10,284.75	\$0.00	\$10,284.75	\$6,839.24	\$3,445.51	\$911,962.87	\$308,041.56
73	12/1/2028	\$911,962.87	\$10,284.75	\$0.00	\$10,284.75	\$6,864.88	\$3,419.86	\$905,097.99	\$311,461.42
74	1/1/2029	\$905,097.99	\$10,284.75	\$0.00	\$10,284.75	\$6,890.63	\$3,394.12	\$898,207.36	\$314,855.54
75	2/1/2029	\$898,207.36	\$10,284.75	\$0.00	\$10,284.75	\$6,916.47	\$3,368.28	\$891,290.89	\$318,223.82
76	3/1/2029	\$891,290.89	\$10,284.75	\$0.00	\$10,284.75	\$6,942.40	\$3,342.34	\$884,348.48	\$321,566.16
77	4/1/2029	\$884,348.48	\$10,284.75	\$0.00	\$10,284.75	\$6,968.44	\$3,316.31	\$877,380.05	\$324,882.47
78	5/1/2029	\$877,380.05	\$10,284.75	\$0.00	\$10,284.75	\$6,994.57	\$3,290.18	\$870,385.47	\$328,172.64
79	6/1/2029	\$870,385.47	\$10,284.75	\$0.00	\$10,284.75	\$7,020.80	\$3,263.95	\$863,364.67	\$331,436.59
80	7/1/2029	\$863,364.67	\$10,284.75	\$0.00	\$10,284.75	\$7,047.13	\$3,237.62	\$856,317.55	\$334,674.20
81	8/1/2029	\$856,317.55	\$10,284.75	\$0.00	\$10,284.75	\$7,073.55	\$3,211.19	\$849,243.99	\$337,885.39
82	9/1/2029	\$849,243.99	\$10,284.75	\$0.00	\$10,284.75	\$7,100.08	\$3,184.66	\$842,143.91	\$341,070.06

NO PAYMENT DATE BALANCE D PAYMENT PA	PMT PAYMEN	BEGINNI	ING SCHEDULE	EXTRA	TOTAL			ENDING	CUMULATIVE
83 10/1/2029 \$842_143.91 \$10_284.75 \$0.00 \$10_284.75 \$7,16.71 \$3,158.04 \$835_017_20 \$344_228 \$10_284.75 \$0.00 \$10_284.75 \$7,153.43 \$3.131.31 \$827_83.77 \$347_359 \$85 12/1/2029 \$827_863.77 \$10_284.75 \$0.00 \$10_284.75 \$7,153.43 \$3.131.31 \$827_863.77 \$347_359 \$86 11/1/2030 \$820_683.52 \$10_284.75 \$0.00 \$10_284.75 \$7,180.26 \$3,104.49 \$820_683.52 \$350_463 \$10_284.75 \$0.00 \$10_284.75 \$7.207_18 \$3.077_56 \$813_476_33 \$353_541 \$721_2030 \$813_476_33 \$10_284.75 \$0.00 \$10_284.75 \$7.207_18 \$3.077_56 \$813_476_33 \$353_541 \$731_2030 \$806_242.12 \$10_284.75 \$0.00 \$10_284.75 \$7.234_21 \$3,050_54 \$806_242_12 \$356_592 \$89_41/2030 \$798_980.79 \$10_284.75 \$0.00 \$10_284.75 \$7.234_21 \$3,050_54 \$806_242_12 \$366_592 \$90_51_284.75 \$0.00 \$10_284.75 \$7.288_57 \$2.996.18 \$791_692_22 \$362_611 \$90_51/2030 \$791_692_22 \$10_284.75 \$0.00 \$10_284.75 \$7.315.90 \$2.968_85 \$784_376_32 \$365_580 \$91_61/2030 \$791_692_22 \$10_284.75 \$0.00 \$10_284.75 \$7.315.90 \$2.968_85 \$784_376_32 \$365_580 \$91_61/2030 \$777_032_98 \$310_284.75 \$0.00 \$10_284.75 \$7.315.90 \$2.968.85 \$784_376_32 \$365_580 \$91_61/2030 \$776_263_60 \$777_032_98 \$366_521 \$0.00 \$10_284.75 \$7.308_51 \$2.808_52 \$7.238_51 \$2.808_52 \$7.238_51 \$2.808_52 \$7.238_51 \$2.808_52 \$7.238_51 \$2.238_52 \$7.238_51 \$2.238_52 \$7.238_51 \$2.238_52 \$7.238_51 \$2.238_52 \$7.238_51 \$2.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_52 \$7.238_						PRINCIPAL	INTEREST		INTEREST
85 12/1/2029 \$827,863.77 \$10,284.75 \$0.00 \$10,284.75 \$7,180.26 \$3,104.49 \$820,683.52 \$350,463 86 1/1/2030 \$820,683.52 \$10,284.75 \$0.00 \$10,284.75 \$7,207.18 \$3,075.56 \$813,476.33 \$353,541 87 2/1/2030 \$80,6242.12 \$10,284.75 \$0.00 \$10,284.75 \$7,284.21 \$3,050.54 \$806,242.12 \$366,592 88 3/1/2030 \$806,242.12 \$10,284.75 \$0.00 \$10,284.75 \$7,284.57 \$2,906.18 \$791,890.79 \$359,615 89 4/1/2030 \$791,692.22 \$10,284.75 \$0.00 \$10,284.75 \$7,315.90 \$2,968.85 \$791,896.79 \$366,580 91 6/1/2030 \$791,692.22 \$10,284.75 \$0.00 \$10,284.75 \$7,313.93 \$2,968.85 \$784,376.32 \$366,580 91 6/1/2030 \$769,662.11 \$10,284.75 \$0.00 \$10,284.75 \$7,343.33 \$2,941.41 \$777,032.88 \$368,521 \$374,421 92 7/	83 10/1/2029	29 \$842,143	3.91 \$10,284.75		\$10,284.75	\$7,126.71	\$3,158.04	\$835,017.20	\$344,228.10
66 1/1/2030 \$820,683.52 \$10,284.75 \$0.00 \$10,284.75 \$7,207.18 \$3,077.56 \$813,476.33 \$365,591 88 3/1/2030 \$806,242.12 \$10,284.75 \$0.00 \$10,284.75 \$7,234.21 \$3,050.54 \$806,242.12 \$356,592 89 4/1/2030 \$798,980.79 \$10,284.75 \$0.00 \$10,284.75 \$7,261.34 \$3,023.41 \$799,980.79 \$359,615 90 \$71/2030 \$798,980.79 \$10,284.75 \$0.00 \$10,284.75 \$7,361.50 \$2,968.85 \$784,376.32 \$365,580 91 6/1/2030 \$794,692.22 \$10,284.75 \$0.00 \$10,284.75 \$7,315.90 \$2,968.85 \$784,376.32 \$365,580 91 6/1/2030 \$777,032.98 \$10,284.75 \$0.00 \$10,284.75 \$7,308.71 \$2,913.87 \$769,662.11 \$371,432 92 7/1/2030 \$762,263.60 \$10,284.75 \$0.00 \$10,284.75 \$7,308.51 \$2,886.23 \$762,837.34 \$371,337.40 \$371,338.24 \$10,284.75 \$0.00 <td>84 11/1/2029</td> <td>29 \$835,017</td> <td>7.20 \$10,284.75</td> <td>\$0.00</td> <td>\$10,284.75</td> <td>\$7,153.43</td> <td>\$3,131.31</td> <td>\$827,863.77</td> <td>\$347,359.41</td>	84 11/1/2029	29 \$835,017	7.20 \$10,284.75	\$0.00	\$10,284.75	\$7,153.43	\$3,131.31	\$827,863.77	\$347,359.41
87 2/1/2030 \$813,476.33 \$10,284.75 \$0.00 \$10,284.75 \$7,234.21 \$3,050.54 \$806,242.12 \$366,592 88 3/1/2030 \$806,242.12 \$10,284.75 \$0.00 \$10,284.75 \$7,261.34 \$3,023.41 \$798,980.79 \$359,615 89 4/1/2030 \$798,980.79 \$10,284.75 \$0.00 \$10,284.75 \$7,261.34 \$3,023.41 \$798,980.79 \$359,615 \$98,941/2030 \$791,692.22 \$10,284.75 \$0.00 \$10,284.75 \$7,261.34 \$3,023.41 \$798,980.79 \$359,615 \$0.00 \$1/2030 \$791,692.22 \$10,284.75 \$0.00 \$10,284.75 \$7,315.90 \$2,968.85 \$784,376.32 \$365,580 \$10,1/2030 \$784,376.32 \$10,284.75 \$0.00 \$10,284.75 \$7,315.90 \$2,968.85 \$784,376.32 \$365,580 \$10,284.75 \$0.00 \$10,284.75 \$7,370.87 \$2,913.87 \$769,662.11 \$371,432 \$10,284.75 \$0.00 \$10,284.75 \$7,370.87 \$2,913.87 \$769,662.11 \$371,432 \$10,284.75 \$0.00 \$10,284.75 \$7,398.51 \$2,866.23 \$762,263.60 \$374,321 \$10,284.75 \$0.00 \$10,284.75 \$7,398.51 \$2,866.23 \$762,263.60 \$374,321 \$10,284.75 \$0.00 \$10,284.75 \$7,426.26 \$2,856.49 \$754,837.34 \$377,180 \$10,284.75 \$0.00 \$10,284.75 \$7,426.26 \$2,856.49 \$754,837.34 \$377,180 \$10,284.75 \$0.00 \$10,284.75 \$7,482.06 \$2,802.69 \$739,901.18 \$382,813 \$10,284.75 \$0.00 \$10,284.75 \$7,482.06 \$2,802.69 \$739,901.18 \$382,813 \$10,284.75 \$0.00 \$10,284.75 \$7,582.28 \$2,746.47 \$724,852.78 \$388,334 \$10,284.75 \$0.00 \$10,284.75 \$7,582.28 \$2,746.47 \$724,852.78 \$388,334 \$10,284.75 \$0.00 \$10,284.75 \$7,582.28 \$2,746.47 \$724,852.78 \$388,334 \$10,284.75 \$0.00 \$10,284.75 \$7,582.28 \$2,746.47 \$724,852.78 \$388,334 \$10,284.75 \$0.00 \$10,284.75 \$7,582.28 \$2,746.47 \$724,852.78 \$388,334 \$10,284.75 \$0.00 \$10,284.75 \$7,584.20 \$2,868.82 \$770,691.31 \$393,742 \$100 \$10,284.75 \$0.00 \$10,284.75 \$7,584.92 \$2,689.82 \$770,691.31 \$393,374 \$10,284.75 \$0.00 \$10,284.75 \$7,661.59 \$2,718.20 \$717,286.23 \$391,053 \$10,284.75 \$0.00 \$10,284.75 \$7,661.59 \$2,689.82 \$770,691.31 \$393,374 \$10,284.75 \$0.00 \$10,284.75 \$7,661.59 \$2,689.82 \$70,691.31 \$393,374 \$10,284.75 \$0.00 \$10,284.75 \$7,661.59 \$2,689.82 \$709,691.31 \$393,374 \$10,284.75 \$0.00 \$10,284.75 \$7,661.59 \$2,669.82 \$709,691.31 \$396,404 \$10,284.75 \$0.00 \$10,284.75 \$7,661.59 \$2,663.55 \$60,042.47 \$40,246 \$10,284.75 \$0.00 \$10,284.75 \$7,784.	85 12/1/2029	29 \$827,863	3.77 \$10,284.75	\$0.00	\$10,284.75	\$7,180.26	\$3,104.49	\$820,683.52	\$350,463.90
88 3/1/2030 \$806,242.12 \$10,284.75 \$0.00 \$10,284.75 \$7,281.34 \$3,023.41 \$798,980.79 \$359,615 89 4/1/2030 \$798,980.79 \$10,284.75 \$0.00 \$10,284.75 \$7,288.57 \$2,996.18 \$791,692.22 \$356,280 90 \$1/1/2030 \$791,692.22 \$10,284.75 \$0.00 \$10,284.75 \$7,315.90 \$2,968.85 \$794,376.32 \$365,280 91 6/1/2030 \$784,376.32 \$10,284.75 \$0.00 \$10,284.75 \$7,343.33 \$2,941.41 \$777,032.98 \$368,621 92 7/1/2030 \$777,032.98 \$10,284.75 \$0.00 \$10,284.75 \$7,398.51 \$2,918.87 \$769,662.11 \$374,435 93 8/1/2030 \$769,662.11 \$10,284.75 \$0.00 \$10,284.75 \$7,398.51 \$2,886.23 \$762,263.60 \$374,71,435 94 9/1/2030 \$762,263.60 \$10,284.75 \$0.00 \$10,284.75 \$7,482.66 \$2,886.84 \$74,837.34 \$377,180 95 10/1/2030 <th< td=""><td>86 1/1/2030</td><td>\$820,683</td><td>3.52 \$10,284.75</td><td>\$0.00</td><td>\$10,284.75</td><td>\$7,207.18</td><td>\$3,077.56</td><td>\$813,476.33</td><td>\$353,541.47</td></th<>	86 1/1/2030	\$820,683	3.52 \$10,284.75	\$0.00	\$10,284.75	\$7,207.18	\$3,077.56	\$813,476.33	\$353,541.47
89 41//2030 \$798,980.79 \$10,284.75 \$0.00 \$10,284.75 \$7,286.57 \$2,996.18 \$791,692.22 \$362,611 90 5/1/2030 \$791,692.22 \$10,284.75 \$0.00 \$10,284.75 \$7,315.90 \$2,968.85 \$784,376.32 \$365,580 91 6/1/2030 \$784,376.32 \$10,284.75 \$0.00 \$10,284.75 \$7,343.33 \$2,941.41 \$777,032.98 \$368,521 92 7/1/2030 \$777,032.98 \$10,284.75 \$0.00 \$10,284.75 \$7,398.51 \$2,886.23 \$762,63.60 \$371,435 93 8/1/2030 \$769,662.11 \$10,284.75 \$0.00 \$10,284.75 \$7,398.51 \$2,886.23 \$762,263.60 \$374,321 94 9/1/2030 \$754,837.34 \$10,284.75 \$0.00 \$10,284.75 \$7,482.66 \$2,886.23 \$754,837.34 \$377,911 \$2,830.64 \$747,383.24 \$380,011 95 10/1/2030 \$754,837.34 \$10,284.75 \$0.00 \$10,284.75 \$7,482.06 \$2,802.69 \$739,901.18 \$382,434 <td>87 2/1/2030</td> <td>\$813,476</td> <td>5.33 \$10,284.75</td> <td>\$0.00</td> <td>\$10,284.75</td> <td>\$7,234.21</td> <td>\$3,050.54</td> <td>\$806,242.12</td> <td>\$356,592.00</td>	87 2/1/2030	\$813,476	5.33 \$10,284.75	\$0.00	\$10,284.75	\$7,234.21	\$3,050.54	\$806,242.12	\$356,592.00
90 5/1/2030 \$791,692.22 \$10,284.75 \$0.00 \$10,284.75 \$7,315.90 \$2,968.85 \$784,376.32 \$365,580 91 6/1/2030 \$784,376.32 \$10,284.75 \$0.00 \$10,284.75 \$7,343.33 \$2,941.41 \$777,032.98 \$368,521 92 7/1/2030 \$769,662.11 \$10,284.75 \$0.00 \$10,284.75 \$7,370.87 \$2,913.87 \$769,662.11 \$371,435 94 9/1/2030 \$762,263.60 \$10,284.75 \$0.00 \$10,284.75 \$7,398.51 \$2,886.23 \$762,263.60 \$374,331 95 10/1/2030 \$754,837.34 \$10,284.75 \$0.00 \$10,284.75 \$7,462.6 \$2,858.49 \$754,837.34 \$377,180 96 11/1/2030 \$754,837.34 \$10,284.75 \$0.00 \$10,284.75 \$7,462.66 \$2,858.49 \$739,901.18 \$382,813 97 12/1/2030 \$739,901.18 \$10,284.75 \$0.00 \$10,284.75 \$7,510.12 \$2,774.63 \$732,901.06 \$382,813 98 1/1/2031 \$	88 3/1/2030	\$806,242	2.12 \$10,284.75	\$0.00	\$10,284.75	\$7,261.34	\$3,023.41	\$798,980.79	\$359,615.41
91 6/1/2030 \$784,376.32 \$10,284.75 \$0.00 \$10,284.75 \$7,343.33 \$2,941.41 \$777,032.98 \$368,521 \$22,000 \$7/1/2030 \$777,032.98 \$10,284.75 \$0.00 \$10,284.75 \$7,370.87 \$2,913.87 \$769,662.11 \$371,435 \$93 8/1/2030 \$762,263.60 \$10,284.75 \$0.00 \$10,284.75 \$7,398.51 \$2,886.23 \$762,263.60 \$374,321 \$94 9/1/2030 \$762,263.60 \$10,284.75 \$0.00 \$10,284.75 \$7,398.51 \$2,886.23 \$762,263.60 \$374,321 \$95 10/1/2030 \$754,837.34 \$10,284.75 \$0.00 \$10,284.75 \$7,462.66 \$2,858.49 \$754,837.34 \$377,180 \$95 10/1/2030 \$754,837.34 \$10,284.75 \$0.00 \$10,284.75 \$7,454.11 \$2,830.64 \$747,383.24 \$380,011 \$96 11/1/2030 \$734,383.24 \$10,284.75 \$0.00 \$10,284.75 \$7,454.11 \$2,830.64 \$747,383.24 \$380,011 \$97 12/1/2030 \$739,901.18 \$10,284.75 \$0.00 \$10,284.75 \$7,510.12 \$2,774.63 \$732,391.06 \$385,588 \$98 1/1/2031 \$732,391.06 \$10,284.75 \$0.00 \$10,284.75 \$7,510.12 \$2,774.63 \$732,391.06 \$385,588 \$98 1/1/2031 \$732,391.06 \$10,284.75 \$0.00 \$10,284.75 \$7,538.28 \$2,746.47 \$724,852.78 \$388,334 \$99 2/1/2031 \$724,852.78 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 \$10,284.75 \$0.00 \$10,284.75 \$7,561.99 \$2,632.75 \$694.415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694.415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056 \$10,284.75 \$7,661.99 \$2,632.75 \$694,415.92 \$399,056	89 4/1/2030	\$798,980).79 \$10,284.75	\$0.00	\$10,284.75	\$7,288.57	\$2,996.18	\$791,692.22	\$362,611.59
92 7/1/2030 \$777,032.98 \$10,284.75 \$0.00 \$10,284.75 \$7,370.87 \$2,913.87 \$769,662.11 \$371,435 93 8/1/2030 \$769,662.11 \$10,284.75 \$0.00 \$10,284.75 \$7,398.51 \$2,886.23 \$762,263.60 \$374,321 95 10/1/2030 \$762,263.60 \$10,284.75 \$0.00 \$10,284.75 \$7,462.66 \$2,858.49 \$754,837.34 \$377,180 95 10/1/2030 \$754,837.34 \$10,284.75 \$0.00 \$10,284.75 \$7,454.11 \$2,830.64 \$747,383.24 \$380,011 96 11/1/2030 \$747,383.24 \$10,284.75 \$0.00 \$10,284.75 \$7,454.11 \$2,830.64 \$747,383.24 \$380,011 96 11/1/2031 \$732,391.01 \$10,284.75 \$0.00 \$10,284.75 \$7,452.06 \$2,802.69 \$739,901.18 \$382,813 97 12/1/2031 \$732,391.06 \$10,284.75 \$0.00 \$10,284.75 \$7,538.28 \$2,774.63 \$732,391.06 \$385,588 99 2/1/2031 \$724,852.78 \$10,284.75 \$0.00 \$10,284.75 \$7,558.28 \$2,718.20 \$717,286.23 \$391,053 100 3/1/2031 \$717,286.23 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 100 3/1/2031 \$717,286.23 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 101 4/1/2031 \$709,691.31 \$10,284.75 \$0.00 \$10,284.75 \$7,663.40 \$2,661.34 \$702,067.91 \$393,742 102 \$7/1/2031 \$709,691.31 \$10,284.75 \$0.00 \$10,284.75 \$7,651.99 \$2,652.75 \$694,415.92 \$399,036 103 6/1/2031 \$709,691.31 \$10,284.75 \$0.00 \$10,284.75 \$7,661.99 \$2,652.75 \$694,415.92 \$399,036 103 6/1/2031 \$694,415.92 \$10,284.75 \$0.00 \$10,284.75 \$7,661.99 \$2,652.75 \$694,415.92 \$399,036 103 6/1/2031 \$694,415.92 \$10,284.75 \$0.00 \$10,284.75 \$7,661.99 \$2,575.26 \$679,025.74 \$404,216 104 7/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,769.49 \$2,575.26 \$679,025.74 \$404,216 104 7/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 107 10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,785.49 \$2,575.26 \$679,025.74 \$404,216 104 7/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,785.49 \$2,575.26 \$679,025.74 \$404,216 104 7/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,785.59 \$2,488.20 \$665,723.38 \$411,768 11/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,785.59 \$2,488.20 \$665,723.38 \$411,768 11/1/2032 \$664,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,885.59 \$2,400.16 \$632,1	90 5/1/2030	\$791,692	2.22 \$10,284.75	\$0.00	\$10,284.75	\$7,315.90	\$2,968.85	\$784,376.32	\$365,580.43
93 8/1/2030 \$769,662.11 \$10,284.75 \$0.00 \$10,284.75 \$7,398.51 \$2,886.23 \$762,263.60 \$374,321 94 9/1/2030 \$762,263.60 \$10,284.75 \$0.00 \$10,284.75 \$7,426.26 \$2,858.49 \$754,837.34 \$377.180 95 \$10/1/2030 \$754,837.34 \$10,284.75 \$0.00 \$10,284.75 \$7,461.11 \$2,830.64 \$747,383.24 \$380,011 96 \$11/1/2030 \$739,901.18 \$10,284.75 \$0.00 \$10,284.75 \$7,510.12 \$2,774.63 \$732,391.06 \$385,588 98 \$1/1/2031 \$732,391.06 \$10,284.75 \$0.00 \$10,284.75 \$7,510.12 \$2,774.63 \$732,391.06 \$385,588 98 \$1/1/2031 \$732,391.06 \$10,284.75 \$0.00 \$10,284.75 \$7,506.55 \$2,718.20 \$717,286.23 \$391,053 100 \$3/1/2031 \$717,286.23 \$10,284.75 \$0.00 \$10,284.75 \$7,594.92 \$2,689.82 \$709,691.31 \$393,742 101 \$4/1/2031	91 6/1/2030	\$784,376	3.32 \$10,284.75	\$0.00	\$10,284.75	\$7,343.33	\$2,941.41	\$777,032.98	\$368,521.85
94 9/1/2030 \$762,263.60 \$10,284.75 \$0.00 \$10,284.75 \$7,426.26 \$2,858.49 \$754,837.34 \$377,180 \$95 10/1/2030 \$754,837.34 \$10,284.75 \$0.00 \$10,284.75 \$7,454.11 \$2,830.64 \$747,383.24 \$380,011 \$96 11/1/2030 \$747,383.24 \$10,284.75 \$0.00 \$10,284.75 \$7,482.06 \$2,802.69 \$739,901.18 \$382,813 \$97 12/1/2030 \$739,901.18 \$10,284.75 \$0.00 \$10,284.75 \$7,510.12 \$2,774.63 \$732,391.06 \$385,588 \$98 1/1/2031 \$732,391.06 \$10,284.75 \$0.00 \$10,284.75 \$7,510.12 \$2,746.63 \$732,391.06 \$385,588 \$98 1/1/2031 \$732,391.06 \$10,284.75 \$0.00 \$10,284.75 \$7,538.28 \$2,746.47 \$724,852.78 \$388,334 \$99 2/1/2031 \$724,852.78 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 \$100 3/1/2031 \$717,286.23 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 \$101 4/1/2031 \$709,691.31 \$10,284.75 \$0.00 \$10,284.75 \$7,623.40 \$2,661.34 \$702,067.91 \$396,404 \$102 \$5/1/2031 \$702,067.91 \$10,284.75 \$0.00 \$10,284.75 \$7,651.99 \$2,632.75 \$694,415.92 \$399,036 \$6/1/2031 \$702,067.91 \$10,284.75 \$0.00 \$10,284.75 \$7,651.99 \$2,632.75 \$694,415.92 \$399,036 \$6/1/2031 \$694,415.92 \$10,284.75 \$0.00 \$10,284.75 \$7,680.69 \$2,604.06 \$686,735.23 \$401,641 \$7/1/2031 \$686,735.23 \$10,284.75 \$0.00 \$10,284.75 \$7,680.69 \$2,604.06 \$686,735.23 \$401,641 \$7/1/2031 \$668,735.23 \$10,284.75 \$0.00 \$10,284.75 \$7,67,42 \$2,517.33 \$663,519.93 \$409,279 \$107 \$10/1/2031 \$671,287.34 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 \$107 \$10/1/2031 \$665,723.38 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 \$107 \$10/1/2031 \$665,723.38 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,488.20 \$655,723.38 \$411,768 \$10.284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 \$10 \$1/1/2032 \$664,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 \$10 \$1/1/2032 \$664,243.73 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$663,2157.88 \$419,056 \$110,284.75 \$7,943.83 \$2,340.91 \$663,2157.88 \$419,056 \$110,284.75 \$7,943.83 \$2,340.91 \$666,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$666,299.90 \$423,768 \$10,284.75 \$7,943.8	92 7/1/2030	\$777,032	2.98 \$10,284.75	\$0.00	\$10,284.75	\$7,370.87	\$2,913.87	\$769,662.11	\$371,435.72
95 10/1/2030 \$754,837.34 \$10,284.75 \$0.00 \$10,284.75 \$7,454.11 \$2,830.64 \$747,383.24 \$380,011 96 11/1/2030 \$747,383.24 \$10,284.75 \$0.00 \$10,284.75 \$7,482.06 \$2,802.69 \$739,901.18 \$382,813 97 12/1/2030 \$739,901.18 \$10,284.75 \$0.00 \$11,284.75 \$7,510.12 \$2,774.63 \$732,391.06 \$385,588 98 1/1/2031 \$732,391.06 \$10,284.75 \$0.00 \$10,284.75 \$7,501.12 \$2,746.63 \$732,391.06 \$385,588 99 2/1/2031 \$724,852.78 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 \$100 3/1/2031 \$717,286.23 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 \$100 3/1/2031 \$717,286.23 \$10,284.75 \$0.00 \$10,284.75 \$7,594.92 \$2,689.82 \$709,691.31 \$393,742 \$101 4/1/2031 \$709,691.31 \$10,284.75 \$0.00 \$10,284.75 \$7,623.40 \$2,661.34 \$702,067.91 \$396,404 \$102 5/1/2031 \$702,067.91 \$10,284.75 \$0.00 \$10,284.75 \$7,651.99 \$2,632.75 \$694,415.92 \$399,036 \$10/284.75 \$7,651.99 \$2,632.75 \$694,415.92 \$399,036 \$10/284.75 \$7,680.69 \$2,604.06 \$686,735.23 \$401,641 104 7/1/2031 \$663,735.23 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 \$105 8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 \$105 8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,764.2 \$2,517.33 \$663,519.93 \$401,6762 \$107 10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,764.2 \$2,517.33 \$663,519.93 \$401,6762 \$107 10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,765.5 \$2,488.20 \$655,723.38 \$401,6762 \$107 10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 \$108 11/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 \$110 1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 \$110 1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 \$110 1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 \$110 1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 \$110 1/1/2032 \$664,042.47 \$10,284.75 \$0.00 \$10	93 8/1/2030	\$769,662	2.11 \$10,284.75	\$0.00	\$10,284.75	\$7,398.51	\$2,886.23	\$762,263.60	\$374,321.95
96	94 9/1/2030	\$762,263	3.60 \$10,284.75	\$0.00	\$10,284.75	\$7,426.26	\$2,858.49	\$754,837.34	\$377,180.44
97 12/1/2030 \$739,901.18 \$10,284.75 \$0.00 \$10,284.75 \$7,510.12 \$2,774.63 \$732,391.06 \$385,588 98 1/1/2031 \$732,391.06 \$10,284.75 \$0.00 \$10,284.75 \$7,538.28 \$2,746.47 \$724,852.78 \$388,334 99 2/1/2031 \$724,852.78 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 \$101 4/1/2031 \$709,691.31 \$10,284.75 \$0.00 \$10,284.75 \$7,594.92 \$2,689.82 \$709,691.31 \$393,742 \$101 4/1/2031 \$709,691.31 \$10,284.75 \$0.00 \$10,284.75 \$7,623.40 \$2,661.34 \$702,067.91 \$396,404 \$102 5/1/2031 \$702,067.91 \$10,284.75 \$0.00 \$10,284.75 \$7,651.99 \$2,632.75 \$694,415.92 \$399,036 \$103 6/1/2031 \$694,415.92 \$10,284.75 \$0.00 \$10,284.75 \$7,680.69 \$2,604.06 \$686,735.23 \$401,641 \$104 7/1/2031 \$686,735.23 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 \$105 8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 \$105 8/1/2031 \$671,287.34 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,517.33 \$663,519.93 \$409,279 \$107 10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 \$107 10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,766.42 \$2,517.33 \$663,519.93 \$409,279 \$107 10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,765.55 \$2,488.20 \$655,723.38 \$411,768 \$11/2031 \$664,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 \$10.284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 \$110 1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 \$110 1/1/2032 \$6640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,845.59 \$2,400.16 \$632,157.88 \$419,056 \$112 2/1/2032 \$6640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$664,99.90 \$423,768 \$113 4/1/2032 \$661,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$664,99.90 \$423,768 \$10,284.75 \$7,943.83 \$2,340.91 \$664,99.90 \$423,768 \$10,284.75 \$7,943.83 \$2,340.91 \$664,99.90 \$423,768 \$10,284.75 \$7,943.83 \$2,340.91 \$666,99.90 \$423,768 \$10,284.75 \$7,943.83 \$2,340.91 \$666,99.90 \$423,768 \$	95 10/1/2030	30 \$754,837	7.34 \$10,284.75	\$0.00	\$10,284.75	\$7,454.11	\$2,830.64	\$747,383.24	\$380,011.08
98 1/1/2031 \$732,391.06 \$10,284.75 \$0.00 \$10,284.75 \$7,538.28 \$2,746.47 \$724,852.78 \$388,334 99 2/1/2031 \$724,852.78 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 100 3/1/2031 \$717,286.23 \$10,284.75 \$0.00 \$10,284.75 \$7,594.92 \$2,689.82 \$709,691.31 \$393,742 101 4/1/2031 \$709,691.31 \$10,284.75 \$0.00 \$10,284.75 \$7,653.40 \$2,661.34 \$702,067.91 \$396,404 102 5/1/2031 \$702,067.91 \$10,284.75 \$0.00 \$10,284.75 \$7,651.99 \$2,632.75 \$694,415.92 \$399,036 103 6/1/2031 \$694,415.92 \$10,284.75 \$0.00 \$10,284.75 \$7,680.69 \$2,604.06 \$686,735.23 \$401,641 104 7/1/2031 \$686,735.23 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 105 8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 105 8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,738.40 \$2,546.35 \$671,287.34 \$406,762 106 9/1/2031 \$671,287.34 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 107 10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 107 10/1/2031 \$665,723.38 \$10,284.75 \$0.00 \$10,284.75 \$7,865.5 \$2,488.20 \$655,723.38 \$411,768 108 11/1/2031 \$667,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 109 12/1/2031 \$647,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 110 1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59 \$2,400.16 \$632,157.88 \$419,056 111 2/1/2032 \$632,157.88 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$661,299.90 \$423,768 112 3/1/2032 \$624,243.73 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$661,299.90 \$423,768 113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 114 2/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 115 4/1/2032 \$616,299.90 \$10,	96 11/1/2030	30 \$747,383	3.24 \$10,284.75	\$0.00	\$10,284.75	\$7,482.06	\$2,802.69	\$739,901.18	\$382,813.77
99 2/1/2031 \$724,852.78 \$10,284.75 \$0.00 \$10,284.75 \$7,566.55 \$2,718.20 \$717,286.23 \$391,053 \$100 3/1/2031 \$717,286.23 \$10,284.75 \$0.00 \$10,284.75 \$7,594.92 \$2,689.82 \$709,691.31 \$393,742 \$101 4/1/2031 \$709,691.31 \$10,284.75 \$0.00 \$10,284.75 \$7,623.40 \$2,661.34 \$702,067.91 \$396,404 \$102 5/1/2031 \$702,067.91 \$10,284.75 \$0.00 \$10,284.75 \$7,651.99 \$2,632.75 \$694,415.92 \$399,036 \$103 6/1/2031 \$694,415.92 \$10,284.75 \$0.00 \$10,284.75 \$7,680.69 \$2,604.06 \$686,735.23 \$401,641 \$105 8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 \$105 8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,738.40 \$2,546.35 \$671,287.34 \$406,762 \$106 9/1/2031 \$671,287.34 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 \$107 10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,796.55 \$2,488.20 \$655,723.38 \$411,768 \$11/1/2031 \$665,723.38 \$10,284.75 \$0.00 \$10,284.75 \$7,796.55 \$2,488.20 \$655,723.38 \$411,768 \$11/1/2031 \$667,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59 \$2,458.96 \$647,897.60 \$414,227 \$109 12/1/2031 \$647,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59 \$2,458.96 \$647,897.60 \$414,227 \$109 12/1/2031 \$647,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59 \$2,400.16 \$632,157.88 \$410,656 \$110 1/1/2032 \$632,157.88 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 \$113 4/1/2032 \$624,243.73 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 \$113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 \$113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 \$113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 \$113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 \$113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 \$113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 \$113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7	97 12/1/2030	\$739,901	1.18 \$10,284.75	\$0.00	\$10,284.75	\$7,510.12	\$2,774.63	\$732,391.06	\$385,588.40
100 3/1/2031 \$717,286.23 \$10,284.75 \$0.00 \$10,284.75 \$7,594.92 \$2,689.82 \$709,691.31 \$393,742 101 4/1/2031 \$709,691.31 \$10,284.75 \$0.00 \$10,284.75 \$7,623.40 \$2,661.34 \$702,067.91 \$396,404 102 \$1/2031 \$702,067.91 \$10,284.75 \$0.00 \$10,284.75 \$7,651.99 \$2,632.75 \$694,415.92 \$399,036 103 6/1/2031 \$694,415.92 \$10,284.75 \$0.00 \$10,284.75 \$7,680.69 \$2,604.06 \$686,735.23 \$401,641 104 7/1/2031 \$686,735.23 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 105 \$8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 106 \$9/1/2031 \$671,287.34 \$10,284.75 \$0.00 \$10,284.75 \$7,738.40 \$2,546.35 \$671,287.34 \$406,762 107 \$10/1/2031	98 1/1/2031	1 \$732,391	1.06 \$10,284.75	\$0.00	\$10,284.75	\$7,538.28	\$2,746.47	\$724,852.78	\$388,334.86
101 4/1/2031 \$709,691.31 \$10,284.75 \$0.00 \$10,284.75 \$7,623.40 \$2,661.34 \$702,067.91 \$396,404 102 \$5/1/2031 \$702,067.91 \$10,284.75 \$0.00 \$10,284.75 \$7,651.99 \$2,632.75 \$694,415.92 \$399,036 103 6/1/2031 \$694,415.92 \$10,284.75 \$0.00 \$10,284.75 \$7,680.69 \$2,604.06 \$686,735.23 \$401,641 104 7/1/2031 \$686,735.23 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 105 \$8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,738.40 \$2,546.35 \$671,287.34 \$406,762 106 \$9/1/2031 \$671,287.34 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 107 \$10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,488.20 \$655,723.38 \$411,768 108 \$1/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,865.55	99 2/1/2031	1 \$724,852	2.78 \$10,284.75	\$0.00	\$10,284.75	\$7,566.55	\$2,718.20	\$717,286.23	\$391,053.06
102 5/1/2031 \$702,067.91 \$10,284.75 \$0.00 \$10,284.75 \$7,651.99 \$2,632.75 \$694,415.92 \$399,036 103 6/1/2031 \$694,415.92 \$10,284.75 \$0.00 \$10,284.75 \$7,680.69 \$2,604.06 \$686,735.23 \$401,641 104 7/1/2031 \$686,735.23 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 105 \$8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,738.40 \$2,546.35 \$671,287.34 \$406,762 106 \$9/1/2031 \$671,287.34 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 107 \$10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,796.55 \$2,488.20 \$655,723.38 \$411,768 108 \$11/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,825.78 \$2,458.96 \$647,897.60 \$414,227 109 \$12/1/2031	100 3/1/2031	1 \$717,286	5.23 \$10,284.75	\$0.00	\$10,284.75	\$7,594.92	\$2,689.82	\$709,691.31	\$393,742.88
103 6/1/2031 \$694,415.92 \$10,284.75 \$0.00 \$10,284.75 \$7,680.69 \$2,604.06 \$686,735.23 \$401,641 104 7/1/2031 \$686,735.23 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 105 \$8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,738.40 \$2,546.35 \$671,287.34 \$406,762 106 \$9/1/2031 \$667,1,287.34 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 107 \$10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,796.55 \$2,488.20 \$655,723.38 \$411,768 108 \$11/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,825.78 \$2,488.20 \$655,723.38 \$411,768 109 \$12/1/2031 \$6647,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,458.96 \$647,897.60 \$414,227 100 \$1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59	101 4/1/2031	1 \$709,691	1.31 \$10,284.75	\$0.00	\$10,284.75	\$7,623.40	\$2,661.34	\$702,067.91	\$396,404.23
104 7/1/2031 \$686,735.23 \$10,284.75 \$0.00 \$10,284.75 \$7,709.49 \$2,575.26 \$679,025.74 \$404,216 105 8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,738.40 \$2,546.35 \$671,287.34 \$406,762 106 9/1/2031 \$6671,287.34 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 107 \$10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,796.55 \$2,488.20 \$655,723.38 \$411,768 108 \$11/1/2031 \$655,723.38 \$10,284.75 \$0.00 \$10,284.75 \$7,865.57 \$2,488.20 \$655,723.38 \$411,768 109 \$12/1/2031 \$6647,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 110 \$1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59 \$2,400.16 \$632,157.88 \$419,056 111 \$2/1/2032 <td>102 5/1/2031</td> <td>1 \$702,067</td> <td>7.91 \$10,284.75</td> <td>\$0.00</td> <td>\$10,284.75</td> <td>\$7,651.99</td> <td>\$2,632.75</td> <td>\$694,415.92</td> <td>\$399,036.98</td>	102 5/1/2031	1 \$702,067	7.91 \$10,284.75	\$0.00	\$10,284.75	\$7,651.99	\$2,632.75	\$694,415.92	\$399,036.98
105 8/1/2031 \$679,025.74 \$10,284.75 \$0.00 \$10,284.75 \$7,738.40 \$2,546.35 \$671,287.34 \$406,762 106 9/1/2031 \$671,287.34 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 107 \$10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,796.55 \$2,488.20 \$655,723.38 \$411,768 108 \$11/1/2031 \$655,723.38 \$10,284.75 \$0.00 \$10,284.75 \$7,825.78 \$2,458.96 \$647,897.60 \$414,227 109 \$12/1/2031 \$647,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 110 \$1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59 \$2,400.16 \$632,157.88 \$419,056 111 \$2/1/2032 \$632,157.88 \$10,284.75 \$0.00 \$10,284.75 \$7,914.15 \$2,370.59 \$624,243.73 \$421,427 112 \$3/1/2032 \$624,243.73 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 <	103 6/1/2031	1 \$694,415	5.92 \$10,284.75	\$0.00	\$10,284.75	\$7,680.69	\$2,604.06	\$686,735.23	\$401,641.04
106 9/1/2031 \$671,287.34 \$10,284.75 \$0.00 \$10,284.75 \$7,767.42 \$2,517.33 \$663,519.93 \$409,279 107 10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,796.55 \$2,488.20 \$655,723.38 \$411,768 108 \$11/1/2031 \$655,723.38 \$10,284.75 \$0.00 \$10,284.75 \$7,825.78 \$2,458.96 \$647,897.60 \$414,227 109 \$12/1/2031 \$647,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 110 \$1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59 \$2,400.16 \$632,157.88 \$419,056 111 \$2/1/2032 \$632,157.88 \$10,284.75 \$0.00 \$10,284.75 \$7,914.15 \$2,370.59 \$624,243.73 \$421,427 112 \$3/1/2032 \$624,243.73 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 113 \$4/1/2032 <td>104 7/1/2031</td> <td>1 \$686,735</td> <td>5.23 \$10,284.75</td> <td>\$0.00</td> <td>\$10,284.75</td> <td>\$7,709.49</td> <td>\$2,575.26</td> <td>\$679,025.74</td> <td>\$404,216.30</td>	104 7/1/2031	1 \$686,735	5.23 \$10,284.75	\$0.00	\$10,284.75	\$7,709.49	\$2,575.26	\$679,025.74	\$404,216.30
107 10/1/2031 \$663,519.93 \$10,284.75 \$0.00 \$10,284.75 \$7,796.55 \$2,488.20 \$655,723.38 \$411,768 108 11/1/2031 \$655,723.38 \$10,284.75 \$0.00 \$10,284.75 \$7,825.78 \$2,458.96 \$647,897.60 \$414,227 109 12/1/2031 \$647,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 110 1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59 \$2,400.16 \$632,157.88 \$419,056 111 2/1/2032 \$632,157.88 \$10,284.75 \$0.00 \$10,284.75 \$7,914.15 \$2,370.59 \$624,243.73 \$421,427 112 3/1/2032 \$624,243.73 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,973.62 \$2,311.12 \$608,326.27 \$426,079	105 8/1/2031	1 \$679,025	5.74 \$10,284.75	\$0.00	\$10,284.75	\$7,738.40	\$2,546.35	\$671,287.34	\$406,762.65
108 11/1/2031 \$655,723.38 \$10,284.75 \$0.00 \$10,284.75 \$7,825.78 \$2,458.96 \$647,897.60 \$414,227 109 12/1/2031 \$647,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 110 1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59 \$2,400.16 \$632,157.88 \$419,056 111 2/1/2032 \$632,157.88 \$10,284.75 \$0.00 \$10,284.75 \$7,914.15 \$2,370.59 \$624,243.73 \$421,427 112 3/1/2032 \$624,243.73 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,973.62 \$2,311.12 \$608,326.27 \$426,079	106 9/1/2031	1 \$671,287	7.34 \$10,284.75	\$0.00	\$10,284.75	\$7,767.42	\$2,517.33	\$663,519.93	\$409,279.97
109 12/1/2031 \$647,897.60 \$10,284.75 \$0.00 \$10,284.75 \$7,855.13 \$2,429.62 \$640,042.47 \$416,656 110 1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59 \$2,400.16 \$632,157.88 \$419,056 111 2/1/2032 \$632,157.88 \$10,284.75 \$0.00 \$10,284.75 \$7,914.15 \$2,370.59 \$624,243.73 \$421,427 112 3/1/2032 \$624,243.73 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,973.62 \$2,311.12 \$608,326.27 \$426,079	107 10/1/2031	31 \$663,519	9.93 \$10,284.75	\$0.00	\$10,284.75	\$7,796.55	\$2,488.20	\$655,723.38	\$411,768.17
110 1/1/2032 \$640,042.47 \$10,284.75 \$0.00 \$10,284.75 \$7,884.59 \$2,400.16 \$632,157.88 \$419,056 111 2/1/2032 \$632,157.88 \$10,284.75 \$0.00 \$10,284.75 \$7,914.15 \$2,370.59 \$624,243.73 \$421,427 112 3/1/2032 \$624,243.73 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,973.62 \$2,311.12 \$608,326.27 \$426,079	108 11/1/2031	31 \$655,723	3.38 \$10,284.75	\$0.00	\$10,284.75	\$7,825.78	\$2,458.96	\$647,897.60	\$414,227.14
111 2/1/2032 \$632,157.88 \$10,284.75 \$0.00 \$10,284.75 \$7,914.15 \$2,370.59 \$624,243.73 \$421,427 112 3/1/2032 \$624,243.73 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,973.62 \$2,311.12 \$608,326.27 \$426,079	109 12/1/2031	31 \$647,897	7.60 \$10,284.75	\$0.00	\$10,284.75	\$7,855.13	\$2,429.62	\$640,042.47	\$416,656.75
112 3/1/2032 \$624,243.73 \$10,284.75 \$0.00 \$10,284.75 \$7,943.83 \$2,340.91 \$616,299.90 \$423,768 113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,973.62 \$2,311.12 \$608,326.27 \$426,079	110 1/1/2032	\$640,042	2.47 \$10,284.75	\$0.00	\$10,284.75	\$7,884.59	\$2,400.16	\$632,157.88	\$419,056.91
113 4/1/2032 \$616,299.90 \$10,284.75 \$0.00 \$10,284.75 \$7,973.62 \$2,311.12 \$608,326.27 \$426,079	111 2/1/2032	2 \$632,157	7.88 \$10,284.75	\$0.00	\$10,284.75	\$7,914.15	\$2,370.59	\$624,243.73	\$421,427.50
	112 3/1/2032	2 \$624,243	3.73 \$10,284.75	\$0.00	\$10,284.75	\$7,943.83	\$2,340.91	\$616,299.90	\$423,768.42
11/1 5/1/2032 \$608 326 27 \$10 28/1 75 \$0.00 \$10 28/1 75 \$8.003 52 \$2.281 22 \$600 222 75 \$420 260	113 4/1/2032	2 \$616,299	9.90 \$10,284.75	\$0.00	\$10,284.75	\$7,973.62	\$2,311.12	\$608,326.27	\$426,079.54
1	114 5/1/2032	\$608,326	5.27 \$10,284.75	\$0.00	\$10,284.75	\$8,003.52	\$2,281.22	\$600,322.75	\$428,360.76
115 6/1/2032 \$600,322.75 \$10,284.75 \$0.00 \$10,284.75 \$8,033.54 \$2,251.21 \$592,289.22 \$430,611	115 6/1/2032	2 \$600,322	2.75 \$10,284.75	\$0.00	\$10,284.75	\$8,033.54	\$2,251.21	\$592,289.22	\$430,611.98
	116 7/1/2032	2 \$592,289	9.22 \$10,284.75	\$0.00	\$10,284.75	\$8,063.66	\$2,221.08	\$584,225.56	\$432,833.06
117 8/1/2032 \$584,225.56 \$10,284.75 \$0.00 \$10,284.75 \$8,093.90 \$2,190.85 \$576,131.66 \$435,023	117 8/1/2032	2 \$584,225	5.56 \$10,284.75	\$0.00	\$10,284.75	\$8,093.90	\$2,190.85	\$576,131.66	\$435,023.91
118 9/1/2032 \$576,131.66 \$10,284.75 \$0.00 \$10,284.75 \$8,124.25 \$2,160.49 \$568,007.40 \$437,184	118 9/1/2032	2 \$576,131	1.66 \$10,284.75	\$0.00	\$10,284.75	\$8,124.25	\$2,160.49	\$568,007.40	\$437,184.40
119 10/1/2032 \$568,007.40 \$10,284.75 \$0.00 \$10,284.75 \$8,154.72 \$2,130.03 \$559,852.69 \$439,314	119 10/1/2032	32 \$568,007	7.40 \$10,284.75	\$0.00	\$10,284.75	\$8,154.72	\$2,130.03	\$559,852.69	\$439,314.43
120 11/1/2032 \$559,852.69 \$10,284.75 \$0.00 \$10,284.75 \$8,185.30 \$2,099.45 \$551,667.39 \$441,413	120 11/1/2032	32 \$559,852	2.69 \$10,284.75	\$0.00	\$10,284.75	\$8,185.30	\$2,099.45	\$551,667.39	\$441,413.87
121 12/1/2032 \$551,667.39 \$10,284.75 \$0.00 \$10,284.75 \$8,215.99 \$2,068.75 \$543,451.39 \$443,482	121 12/1/2032	32 \$551,667	7.39 \$10,284.75	\$0.00	\$10,284.75	\$8,215.99	\$2,068.75	\$543,451.39	\$443,482.63
	122 1/1/2033	\$543,451	1.39 \$10,284.75	\$0.00	\$10,284.75	\$8,246.80	\$2,037.94		\$445,520.57
123 2/1/2033 \$535,204.59 \$10,284.75 \$0.00 \$10,284.75 \$8,277.73 \$2,007.02 \$526,926.86 \$447,527	123 2/1/2033	\$535,204	1.59 \$10,284.75	\$0.00	\$10,284.75	\$8,277.73	\$2,007.02	\$526,926.86	\$447,527.59
124 3/1/2033 \$526,926.86 \$10,284.75 \$0.00 \$10,284.75 \$8,308.77 \$1,975.98 \$518,618.09 \$449,503	124 3/1/2033	\$526,926	3.86 \$10,284.75	\$0.00	\$10,284.75	\$8,308.77	\$1,975.98	\$518,618.09	\$449,503.56
125 4/1/2033 \$518,618.09 \$10,284.75 \$0.00 \$10,284.75 \$8,339.93 \$1,944.82 \$510,278.17 \$451,448	125 4/1/2033	\$518,618	3.09 \$10,284.75	\$0.00	\$10,284.75	\$8,339.93	\$1,944.82	\$510,278.17	\$451,448.38
126 5/1/2033 \$510,278.17 \$10,284.75 \$0.00 \$10,284.75 \$8,371.20 \$1,913.54 \$501,906.96 \$453,361	126 5/1/2033	\$510,278	3.17 \$10,284.75	\$0.00	\$10,284.75	\$8,371.20	\$1,913.54	\$501,906.96	\$453,361.92
	127 6/1/2033	\$501,906	5.96 \$10,284.75	\$0.00	\$10,284.75	\$8,402.59		\$493,504.37	\$455,244.07
128 7/1/2033 \$493,504.37 \$10,284.75 \$0.00 \$10,284.75 \$8,434.10 \$1,850.64 \$485,070.26 \$457,094	128 7/1/2033	\$493,504	1.37 \$10,284.75	\$0.00	\$10,284.75	\$8,434.10	\$1,850.64	\$485,070.26	\$457,094.72
129 8/1/2033 \$485,070.26 \$10,284.75 \$0.00 \$10,284.75 \$8,465.73 \$1,819.01 \$476,604.53 \$458,913	129 8/1/2033	\$485,070).26 \$10,284.75	\$0.00	\$10,284.75	\$8,465.73	\$1,819.01	\$476,604.53	\$458,913.73

PMT	PAYMENT DATE	BEGINNING	SCHEDULE	EXTRA PAYM	TOTAL	PRINCIPAL	INTEREST	ENDING	CUMULATIVE
NO	PATMENT DATE	BALANCE	D PAYMENT	FNT	PAYMENT	PRINCIPAL	INTEREST	BALANCE	INTEREST
130	9/1/2033	\$476,604.53	\$10,284.75	\$0.00	\$10,284.75	\$8,497.48	\$1,787.27	\$468,107.05	\$460,701.00
131	10/1/2033	\$468,107.05	\$10,284.75	\$0.00	\$10,284.75	\$8,529.34	\$1,755.40	\$459,577.71	\$462,456.40
132	11/1/2033	\$459,577.71	\$10,284.75	\$0.00	\$10,284.75	\$8,561.33	\$1,723.42	\$451,016.38	\$464,179.81
133	12/1/2033	\$451,016.38	\$10,284.75	\$0.00	\$10,284.75	\$8,593.43	\$1,691.31	\$442,422.94	\$465,871.13
134	1/1/2034	\$442,422.94	\$10,284.75	\$0.00	\$10,284.75	\$8,625.66	\$1,659.09	\$433,797.29	\$467,530.21
135	2/1/2034	\$433,797.29	\$10,284.75	\$0.00	\$10,284.75	\$8,658.01	\$1,626.74	\$425,139.28	\$469,156.95
136	3/1/2034	\$425,139.28	\$10,284.75	\$0.00	\$10,284.75	\$8,690.47	\$1,594.27	\$416,448.81	\$470,751.22
137	4/1/2034	\$416,448.81	\$10,284.75	\$0.00	\$10,284.75	\$8,723.06	\$1,561.68	\$407,725.74	\$472,312.91
138	5/1/2034	\$407,725.74	\$10,284.75	\$0.00	\$10,284.75	\$8,755.77	\$1,528.97	\$398,969.97	\$473,841.88
139	6/1/2034	\$398,969.97	\$10,284.75	\$0.00	\$10,284.75	\$8,788.61	\$1,496.14	\$390,181.36	\$475,338.02
140	7/1/2034	\$390,181.36	\$10,284.75	\$0.00	\$10,284.75	\$8,821.57	\$1,463.18	\$381,359.80	\$476,801.20
141	8/1/2034	\$381,359.80	\$10,284.75	\$0.00	\$10,284.75	\$8,854.65	\$1,430.10	\$372,505.15	\$478,231.30
142	9/1/2034	\$372,505.15	\$10,284.75	\$0.00	\$10,284.75	\$8,887.85	\$1,396.89	\$363,617.30	\$479,628.19
143	10/1/2034	\$363,617.30	\$10,284.75	\$0.00	\$10,284.75	\$8,921.18	\$1,363.56	\$354,696.12	\$480,991.75
144	11/1/2034	\$354,696.12	\$10,284.75	\$0.00	\$10,284.75	\$8,954.64	\$1,330.11	\$345,741.48	\$482,321.87
145	12/1/2034	\$345,741.48	\$10,284.75	\$0.00	\$10,284.75	\$8,988.22	\$1,296.53	\$336,753.27	\$483,618.40
146	1/1/2035	\$336,753.27	\$10,284.75	\$0.00	\$10,284.75	\$9,021.92	\$1,262.82	\$327,731.34	\$484,881.22
147	2/1/2035	\$327,731.34	\$10,284.75	\$0.00	\$10,284.75	\$9,055.75	\$1,228.99	\$318,675.59	\$486,110.21
148	3/1/2035	\$318,675.59	\$10,284.75	\$0.00	\$10,284.75	\$9,089.71	\$1,195.03	\$309,585.88	\$487,305.25
149	4/1/2035	\$309,585.88	\$10,284.75	\$0.00	\$10,284.75	\$9,123.80	\$1,160.95	\$300,462.08	\$488,466.19
150	5/1/2035	\$300,462.08	\$10,284.75	\$0.00	\$10,284.75	\$9,158.01	\$1,126.73	\$291,304.07	\$489,592.93
151	6/1/2035	\$291,304.07	\$10,284.75	\$0.00	\$10,284.75	\$9,192.36	\$1,092.39	\$282,111.71	\$490,685.32
152	7/1/2035	\$282,111.71	\$10,284.75	\$0.00	\$10,284.75	\$9,226.83	\$1,057.92	\$272,884.89	\$491,743.24
153	8/1/2035	\$272,884.89	\$10,284.75	\$0.00	\$10,284.75	\$9,261.43	\$1,023.32	\$263,623.46	\$492,766.55
154	9/1/2035	\$263,623.46	\$10,284.75	\$0.00	\$10,284.75	\$9,296.16	\$988.59	\$254,327.30	\$493,755.14
155	10/1/2035	\$254,327.30	\$10,284.75	\$0.00	\$10,284.75	\$9,331.02	\$953.73	\$244,996.28	\$494,708.87
156	11/1/2035	\$244,996.28	\$10,284.75	\$0.00	\$10,284.75	\$9,366.01	\$918.74	\$235,630.27	\$495,627.61
157	12/1/2035	\$235,630.27	\$10,284.75	\$0.00	\$10,284.75	\$9,401.13	\$883.61	\$226,229.14	\$496,511.22
158	1/1/2036	\$226,229.14	\$10,284.75	\$0.00	\$10,284.75	\$9,436.39	\$848.36	\$216,792.75	\$497,359.58
159	2/1/2036	\$216,792.75	\$10,284.75	\$0.00	\$10,284.75	\$9,471.77	\$812.97	\$207,320.98	\$498,172.55
160	3/1/2036	\$207,320.98	\$10,284.75	\$0.00	\$10,284.75	\$9,507.29	\$777.45	\$197,813.69	\$498,950.00
161	4/1/2036	\$197,813.69	\$10,284.75	\$0.00	\$10,284.75	\$9,542.94	\$741.80	\$188,270.74	\$499,691.81
162	5/1/2036	\$188,270.74	\$10,284.75	\$0.00	\$10,284.75	\$9,578.73	\$706.02	\$178,692.01	\$500,397.82
163	6/1/2036	\$178,692.01	\$10,284.75	\$0.00	\$10,284.75	\$9,614.65	\$670.10	\$169,077.36	\$501,067.92
164	7/1/2036	\$169,077.36	\$10,284.75	\$0.00	\$10,284.75	\$9,650.71	\$634.04	\$159,426.66	\$501,701.96
165	8/1/2036	\$159,426.66	\$10,284.75	\$0.00	\$10,284.75	\$9,686.90	\$597.85	\$149,739.76	\$502,299.81
166	9/1/2036	\$149,739.76	\$10,284.75	\$0.00	\$10,284.75	\$9,723.22	\$561.52	\$140,016.54	\$502,861.33
167	10/1/2036	\$140,016.54	\$10,284.75	\$0.00	\$10,284.75	\$9,759.68	\$525.06	\$130,256.86	\$503,386.39
168	11/1/2036	\$130,256.86	\$10,284.75	\$0.00	\$10,284.75	\$9,796.28	\$488.46	\$120,460.57	\$503,874.86
169	12/1/2036	\$120,460.57	\$10,284.75	\$0.00	\$10,284.75	\$9,833.02	\$451.73	\$110,627.56	\$504,326.58
170	1/1/2037	\$110,627.56	\$10,284.75	\$0.00	\$10,284.75	\$9,869.89	\$414.85	\$100,757.66	\$504,741.44
171	2/1/2037	\$100,757.66	\$10,284.75	\$0.00	\$10,284.75	\$9,906.90	\$377.84	\$90,850.76	\$505,119.28
172	3/1/2037	\$90,850.76	\$10,284.75	\$0.00	\$10,284.75	\$9,944.06	\$340.69	\$80,906.70	\$505,459.97
173	4/1/2037	\$80,906.70	\$10,284.75	\$0.00	\$10,284.75	\$9,981.35	\$303.40	\$70,925.36	\$505,763.37
174	5/1/2037	\$70,925.36	\$10,284.75	\$0.00	\$10,284.75	\$10,018.78	\$265.97	\$60,906.58	\$506,029.34
175	6/1/2037	\$60,906.58	\$10,284.75	\$0.00	\$10,284.75	\$10,056.35	\$228.40	\$50,850.24	\$506,257.74
176	7/1/2037	\$50,850.24	\$10,284.75	\$0.00	\$10,284.75	\$10,094.06	\$190.69	\$40,756.18	\$506,448.43

PMT NO	PAYMENT DATE	BEGINNING BALANCE	SCHEDULE D PAYMENT	EXTRA PAYM FNT	TOTAL PAYMENT	PRINCIPAL	INTEREST	ENDING BALANCE	CUMULATIVE INTEREST
177	8/1/2037	\$40,756.18	\$10,284.75	\$0.00	\$10,284.75	\$10,131.91	\$152.84	\$30,624.27	\$506,601.26
178	9/1/2037	\$30,624.27	\$10,284.75	\$0.00	\$10,284.75	\$10,169.90	\$114.84	\$20,454.36	\$506,716.10
179	10/1/2037	\$20,454.36	\$10,284.75	\$0.00	\$10,284.75	\$10,208.04	\$76.70	\$10,246.32	\$506,792.81
180	11/1/2037	\$10,246.32	\$10,284.75	\$0.00	\$10,246.32	\$10,207.90	\$38.42	\$0.00	\$506,831.23

RESOLUTION NO. 5384

A RESOLUTION AUTHORIIZING THE MAYOR, CITY MANAGER, AND CITY CLERK TO EXECUTE DOCUMENTS THAT ARE NECESSARY AND PROPER TO PROVIDE A LOAN TO THE ABRAHAM LINCOLN PRESIDENTIAL LIBRARY.

WHEREAS,	upon his death, Fred Francis bequeathed his home and a significant amount of personal property to the City of Kewanee; and					
WHEREAS,	the Abraham Lincoln Presidential Library will have an almost year-long exhibit featuring a select few early residents of Illinois; and					
WHEREAS,	Fred Francis is among the small group of Illinoisans who will be showcased in thupcoming event; and					
WHEREAS,	the Library has requested a loan of Fred Francis bicycle, as it is emblematic of Fred Francis and his story; and					
WHEREAS,	the Library has Hundreds of thousands of visitors per year and provides an excellent platform to increase awareness of his home, Francis Park, and the City's efforts to preserve the historic property; and					
WHEREAS,	The City Council finds that it is in the best interests of the City of Kewanee to loan the bicycle entrusted by Mr. Francis into the City's care to the Abraham Lincoln Presidential Library consider the application provided by Wager Trust and make an award for a project that has already been completed.					
NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF KEWANEE:						
Section 1	The Mayor, City Manager, and City Clerk are hereby authorized to execute documents that are necessary and proper to provide a loan to the Abraham Lincoln Presidential Library.					
Section 2	This Resolution shall be in full force and effect immediately upon its passage and approval as provided by law.					
Adopted	d by the Council of the City of Kewanee, Illinois this 9th day of January 2023.					
ATTES	ST:					
Kasey Mitchell, City Clerk Gary Moore, Mayor						
	RECORD OF THE VOTE Yes No Abstain Absent					

RECORD OF THE VOTE	Yes	No	Abstain	Absent
Mayor Gary Moore				
Councilmember Michael Komnick				
Councilmember Steve Faber				
Councilmember Chris Colomer				
Councilmember Tyrone Baker				



January 5, 2023

Mr. Gary Bradley, City Manager City of Kewanee, IL 401 E. Third Street Kewanee, IL 61443-2365

Dear Mr. Bradley,

The Abraham Lincoln Presidential Library and Museum is working on a temporary exhibit with a working title of *Here I have Lived: Home in Illinois* which will run from March 23, 2023, through January 21, 2024. The exhibit will explore how people have experienced concepts of home throughout Illinois' history and reflects a key component of our mission to inspire civic engagement through the diverse lens of Illinois history. To tell these stories, we are highlighting specific people who represent a diverse range of experience of home. We are pairing each person with an object to enhance their story.

One of the highlighted individuals is Fred Francis. We respectfully request the loan of Mr. Francis' bicycle which was used as his primary means of transportation, as well as, moving building materials and supplies, and carrying his wife on the front seat he added to the front of the bike. We would request the loan to be from February 23, 2023 through February 21, 2024. We carry wall-to-wall insurance on loans. A certificate of insurance would be sent to you prior to the beginning date of the loan.

Attached to this request is the General Facility Report. If you have any questions, please feel free to contact me. I look forward to working with you on this loan.

Sincerely, ala Dmith

Carla Smith Registrar

Attachment