

City of Greenfield
The Commonwealth of Massachusetts

Received by City Clerk:

GREENFIELD, MASS

2024 JAN 18 AM 9:35

OFFICE OF THE
CITY CLERK

Zoning Board of Appeals

**APPLICATION FOR SPECIAL
PERMIT**

Name of Applicant: William Martin Mailing Address: 91 Main Street, Greenfield, MA 01301

Phone Number: 413-219-8648 Name of Agent if not the Applicant: _____

Mailing Address of Agent: 91 Main Street, Greenfield, MA 01301 Phone Number: 413-219-8648

Location of Project (Street Number & Name): 107 Fairview Street - East, Greenfield, MA 01301 R24- 6 A-F [lots]

Zoning District property is located in:
RA

Name and Mailing Address of PROPERTY OWNER if not the applicant:
Ijaz Estates LLC, 65 West Street, Amherst, MA 01002

Applicant is (Circle One): Agent, Owner, Tenant, Licensee, Prospective Purchaser, Other

Application is hereby made for a Special Permit as under Section(s) CH. 200-6.11 (D) of the
Zoning Ordinance in order to:

provide access to currently zoned duplex lots, with proper frontage and individual access, in an improved manner to preserve greenery,
reduce street access by 50%, increase vehicular and pedestrian safety, accommodate individual utility infrastructure and provide
each dwelling with first responder access.

Property Deed recorded under Book 8196 Page 344 Plan Book 150 Page 24

Has there been a previous variance, special permit, and/or site plan requested for this property (confirm with
the City Clerk's records)? Yes If yes, what was the date of the decision?

7/20/2021 Planning Board ANR

The following information must be submitted to the Planning Department to consider the application
complete:

☒ 1 original application form filled out in entirety

☒ 12 copies of the proposed plans

☒ 1 copy of a certified list of abutters within 300' of the subject property obtained through the City's
public records request portal Next Request: <https://greenfield.nextrequest.com/>

Revised May 11, 2021

☒ A notarized statement from the property owner authorizing action by the applicant

☒ A check made payable to "City of Greenfield" as indicated in the Fee Schedule

☒ A completed "Site Plan Submittal Checklist"

I hereby request a hearing before the Planning Board with reference to the above noted application.

Signed: William Martin

Title: Agent

Signed: _____

Title: _____

For Office Use Only

Received by City Clerk:

Date: Jan. 18, 2024

Time: 9:36 AM

Signature: [Signature]

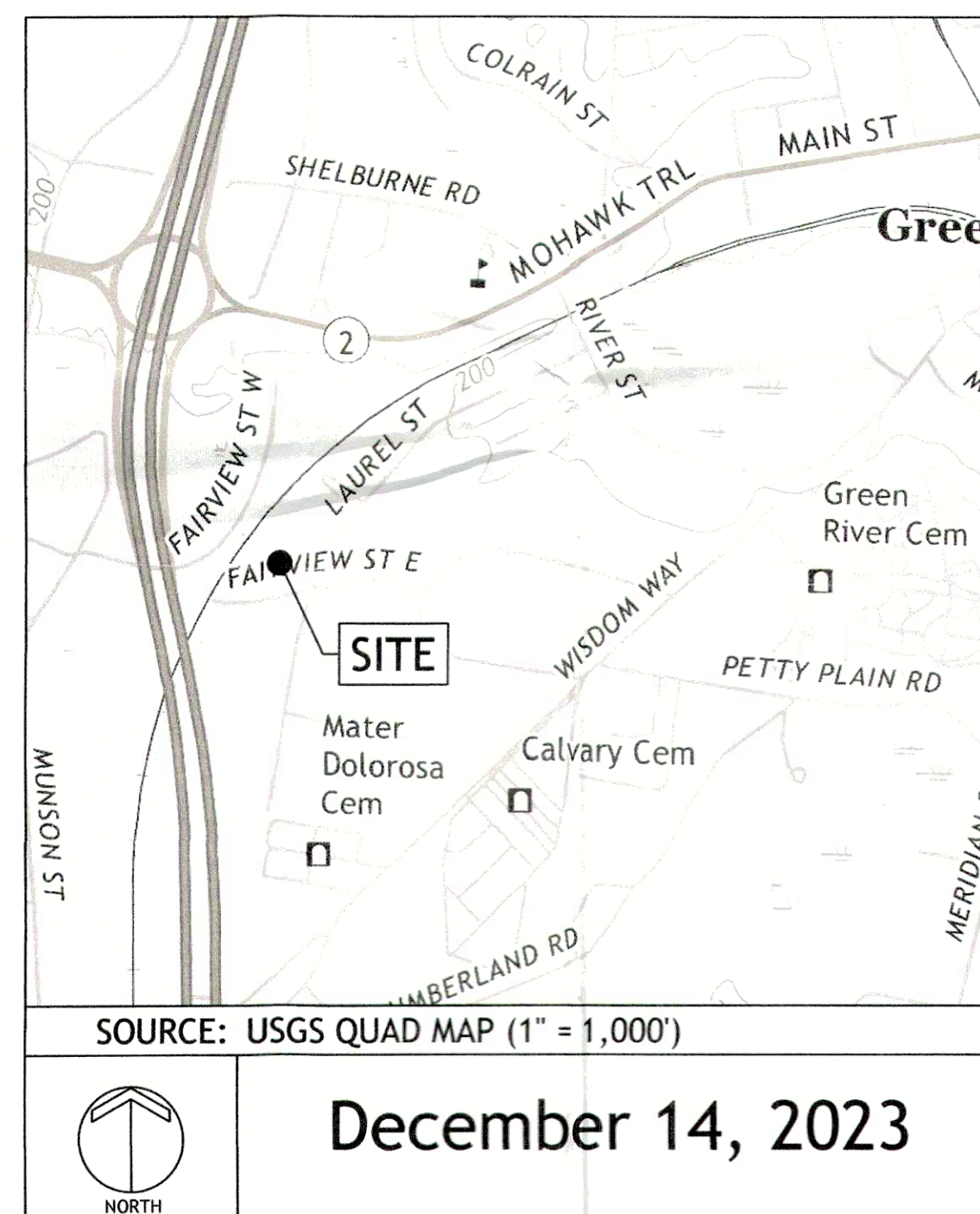
Filing Fee Received: by Dept. of Planning & Development

Map & Lot Number: R24, Lot 6 (A-F) Book & Page Number 8196 - 344

Site Plans for

PROPOSED RESIDENTIAL DEVELOPMENT

107 Fairview Street East
Greenfield, Massachusetts
Assessor's Map R24 Parcel 6, 6A, 6B, 6C, 6D, 6E, & 6F



AS PREPARED FOR:

Hummad Ijaz
Ijaz Estates LLC

65 West Street
Amherst, MA 01002

BY:

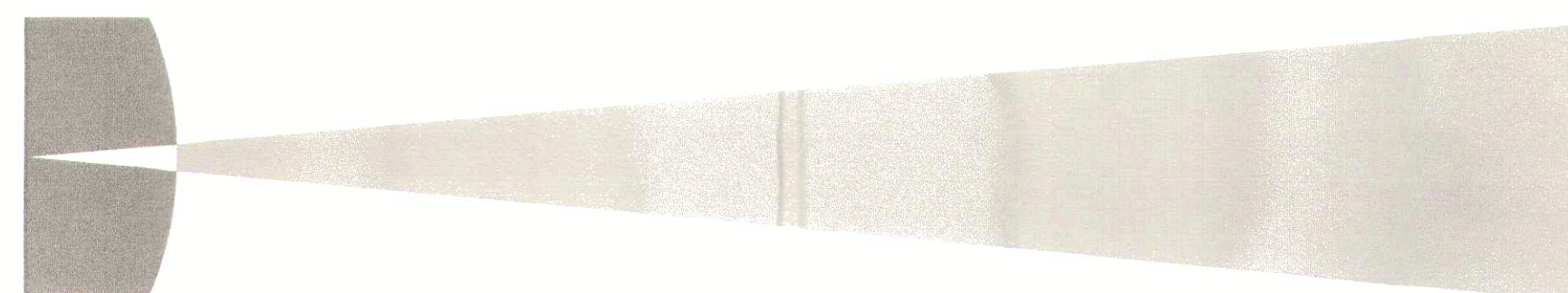
DRAWING INDEX			
SHEET NO.	SHEET NAME	ISSUE DATE	REVISION DATE
T-1	TITLE SHEET	12/14/23	
EX-1	EXISTING CONDITIONS PLAN	12/14/23	
C-1	LAYOUT PLAN	12/14/23	
C-2	GRADING & STORMWATER MANAGEMENT PLAN	12/14/23	
D-1	CONSTRUCTION DETAILS	12/14/23	

PIONEER LAND PLANNING

CIVIL ENGINEERS & LAND SURVEYORS *for* SITE DESIGN & PROPERTY MAPPING

334 Linden Street, Holyoke, MA 01060 phone: (413) 588-8765

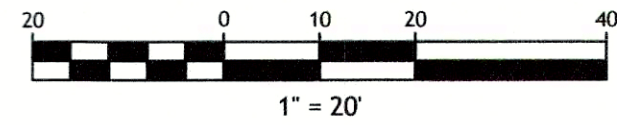
web:pioneerlandplanning.com email:info@pioneerlandplanning.com



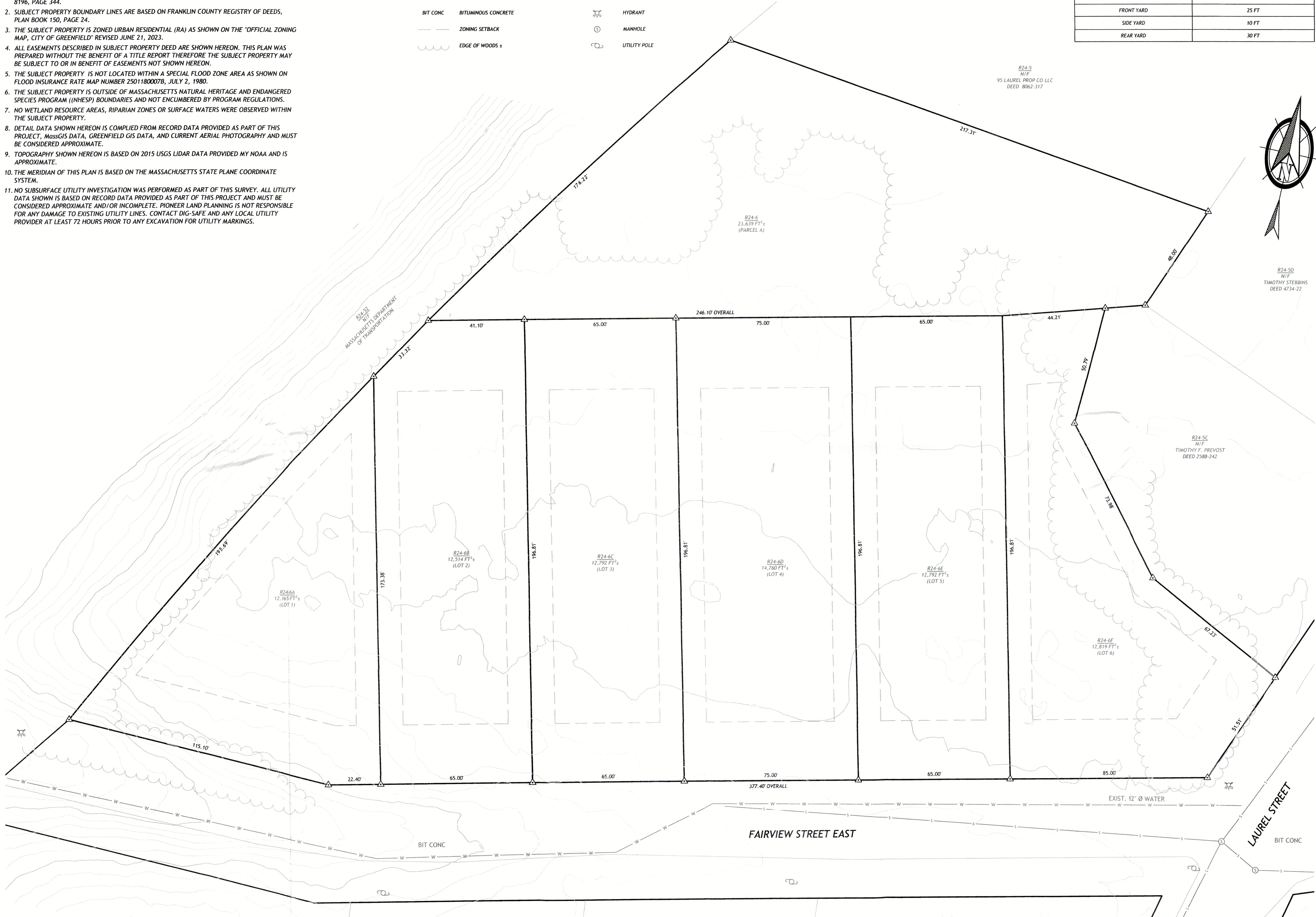
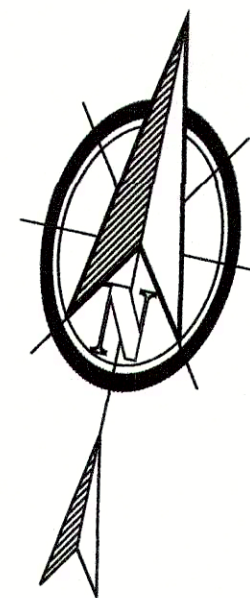
SURVEY NOTES

1. THE RECORD OWNER OF THE SUBJECT PROPERTY (ASSESSOR'S MAP: 24R LOTS: 6, 6A, 6B, 6C, 6D, 6E & 6F) IS IJAZ ESTATES LLC. FOR TITLE SEE FRANKLIN COUNTY REGISTRY OF DEEDS, DEED BOOK 8196, PAGE 344.
2. SUBJECT PROPERTY BOUNDARY LINES ARE BASED ON FRANKLIN COUNTY REGISTRY OF DEEDS, PLAN BOOK 150, PAGE 24.
3. THE SUBJECT PROPERTY IS ZONED URBAN RESIDENTIAL (RA) AS SHOWN ON THE "OFFICIAL ZONING MAP, CITY OF GREENFIELD" REVISED JUNE 21, 2023.
4. ALL EASEMENTS DESCRIBED IN SUBJECT PROPERTY DEED ARE SHOWN HEREON. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT THEREFORE THE SUBJECT PROPERTY MAY BE SUBJECT TO OR IN BENEFIT OF EASEMENTS NOT SHOWN HEREON.
5. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD ZONE AREA AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 2501180007B, JULY 2, 1980.
6. THE SUBJECT PROPERTY IS OUTSIDE OF MASSACHUSETTS NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM ((NHESP) BOUNDARIES AND NOT ENCUMBERED BY PROGRAM REGULATIONS.
7. NO WETLAND RESOURCE AREAS, RIPARIAN ZONES OR SURFACE WATERS WERE OBSERVED WITHIN THE SUBJECT PROPERTY.
8. DETAIL DATA SHOWN HEREON IS COMPLIED FROM RECORD DATA PROVIDED AS PART OF THIS PROJECT, MassGIS DATA, GREENFIELD GIS DATA, AND CURRENT AERIAL PHOTOGRAPHY AND MUST BE CONSIDERED APPROXIMATE.
9. TOPOGRAPHY SHOWN HEREON IS BASED ON 2015 USGS LIDAR DATA PROVIDED BY NOAA AND IS APPROXIMATE.
10. THE MERIDIAN OF THIS PLAN IS BASED ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM.
11. NO SUBSURFACE UTILITY INVESTIGATION WAS PERFORMED AS PART OF THIS SURVEY. ALL UTILITY DATA SHOWN IS BASED ON RECORD DATA PROVIDED AS PART OF THIS PROJECT AND MUST BE CONSIDERED APPROXIMATE AND/OR INCOMPLETE. PIONEER LAND PLANNING IS NOT RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITY LINES. CONTACT DIG-SAFE AND ANY LOCAL UTILITY PROVIDER AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION FOR UTILITY MARKINGS.

LEGEND			
N/F	NOW OR FORMERLY	△	CALCULATED POINT
BIT CONC	BITUMINOUS CONCRETE	⊗	HYDRANT
---	ZONING SETBACK	⊙	MANHOLE
~~~~~	EDGE OF WOODS ±	⊕	UTILITY POLE



URBAN RESIDENTIAL DISTRICT (RA) DIMENSIONAL REGULATIONS	
LOT SIZE (MIN)	10,000 FT ² (2 FAMILY)
FRONTAGE/ WIDTH	65 FT
FRONT YARD	25 FT
SIDE YARD	10 FT
REAR YARD	30 FT



EXISTING CONDITIONS PLAN

107 FAIRVIEW STREET EAST  
GREENFIELD, MASSACHUSETTS  
ASSESSOR'S ID: R24-6, 6A, 6B, 6C, 6D, 6E & 6F

Issued: December 14, 2023  
Revision:                      Date:                     






Scale: 1" = 20'  
Project: 111123

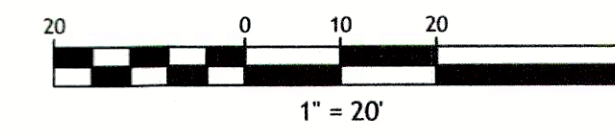
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Sheet	Revision
EX-1	-

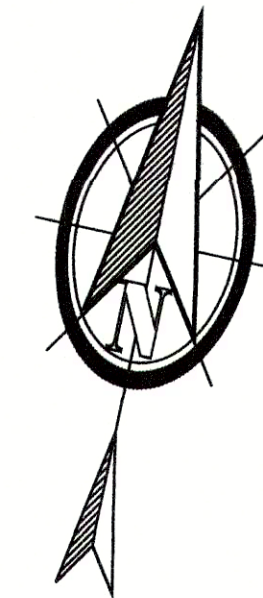


1. THE PROPOSED COMMON DRIVEWAYS MUST MAINTAIN A MINIMUM WIDTH OF 20'.
2. THE PROPOSED COMMON DRIVEWAYS MUST MAINTAIN A MINIMUM CENTERLINE RADIUS OF 50' TO ACCOMMODATE EMERGENCY VEHICLES.
3. PROPOSED SIDE YARD SETBACK REDUCTION OF 20% ARE REQUESTED AS SHOWN HEREON AND APPROVED BY THE CITY OF GREENFIELD ZONING REGULATIONS.
4. SEE ARCHITECTURAL PLANS SUBMITTED HEREWITH FOR BUILDING DETAILS.

LEGEND			
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BIT CONC	BITUMINOUS CONCRETE		HYDRANT
— — —	ZONING SETBACK		MANHOLE
	EDGE OF WOODS ±		UTILITY POLE



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**prepared by:**

# PIONEER LAND PLANNING

**CIVIL ENGINEERS & LAND SURVEYORS**  
*for*  
**SITE DESIGN & PROPERTY MAPPING**

phone: (413) 200-8551  
334 Linden Street  
Holyoke, MA 01060  
web: [pioneerlandplanning.com](http://pioneerlandplanning.com)  
email: [info@pioneerlandplanning.com](mailto:info@pioneerlandplanning.com)

## PROFESSIONAL CERTIFICATION



*prepared for:*

Ijaz Estates LLC  
c/o Hummad Ijaz  
65 West Street  
Amherst, MA 01002

## LAYOUT PLAN

107 FAIRVIEW STREET EAST  
GREENFIELD, MASSACHUSETTS  
ASSESSOR'S ID: R24-6, 6A, 6B, 6C, 6D, 6E & 6F

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Sheet	Revision
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C-1



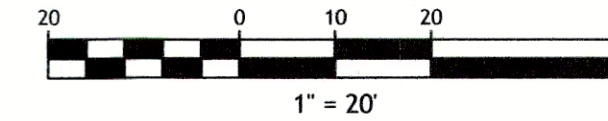


GRADING & DRAINAGE NOTES

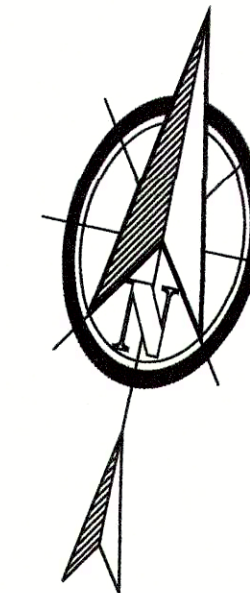
1. THE PROPOSED COMMON DRIVEWAYS MUST MAINTAIN A MINIMUM SLOPE OF 1% AND A MAXIMUM SLOPE OF 10%.
2. ALL ROOF RUNOFF SHALL BE DIRECTED TO THE UNIT DRYWELL AS SHOWN HEREON.
3. PAVEMENT RUNOFF MUST BE DIRECTED TO THE BIORETENTION FEATURES SHOWN HEREON.
4. THE PROPOSED STORMWATER MANAGEMENT SYSTEM(S) SHOWN HEREON ARE DESIGNED TO INFILTRATE ALL CAPTURED STORMWATER GENERATED FROM THE 5-YEAR, 24 HOUR STORM EVENT (3.02").
5. ALL INFILTRATION STRUCTURE MUST BE EQUIPPED WITH AN EMERGENCY OUTFALL, DIRECTED DOWNGRADIENT, IN THE EVENT OF SYSTEM INUNDATION OR MALFUNCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL EMERGENCY OUTFALLS ARE PROPERLY STABILIZED AND ARMORED TO REDUCE EROSION AND SCOUR.

LEGEND

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---	ZONING SETBACK	⊙	MANHOLE
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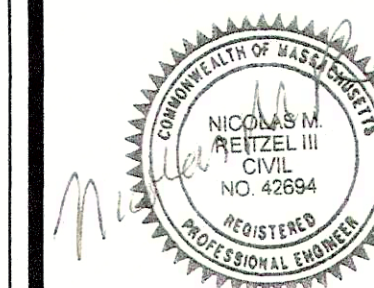
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PROFESSIONAL CERTIFICATION



prepared for:

Ijaz Estates LLC
c/o Hummad Ijaz
65 West Street
Amherst, MA 01002

GRADING & STORMWATER MANAGEMENT PLAN

107 FAIRVIEW STREET EAST
GREENFIELD, MASSACHUSETTS
ASSESSOR'S ID: R24-6, 6A, 6B, 6C, 6D, 6E & 6F

Issued: December 14, 2023

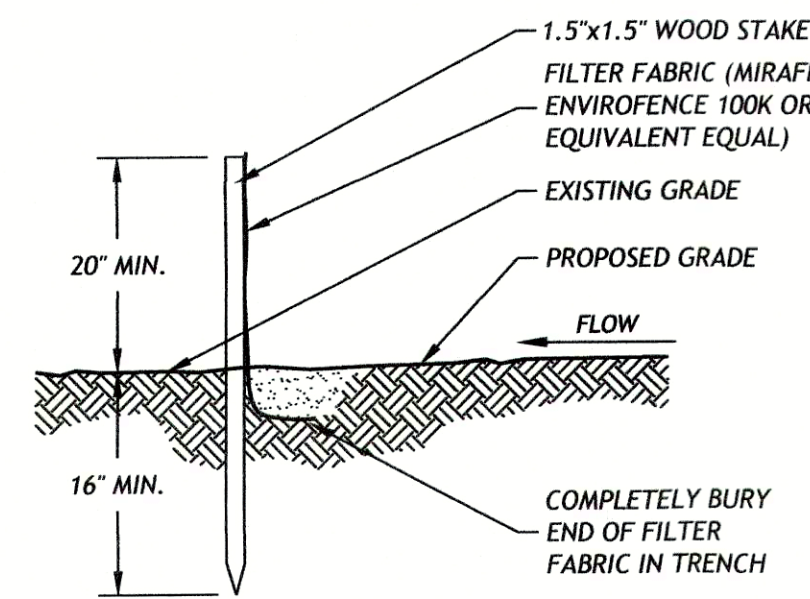
Revision:	Date:

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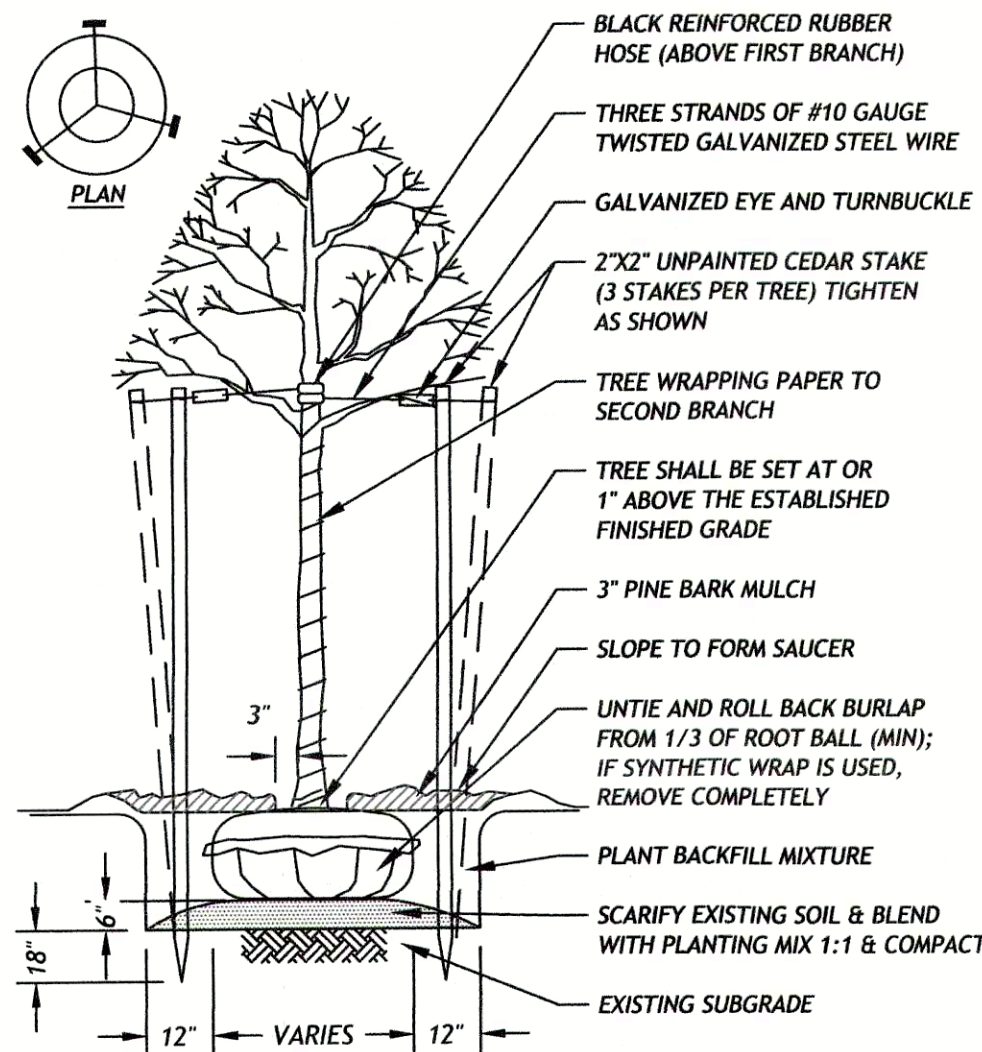
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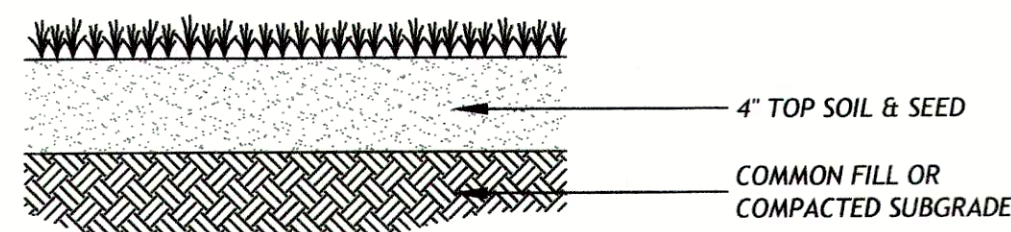
Sheet	Revision
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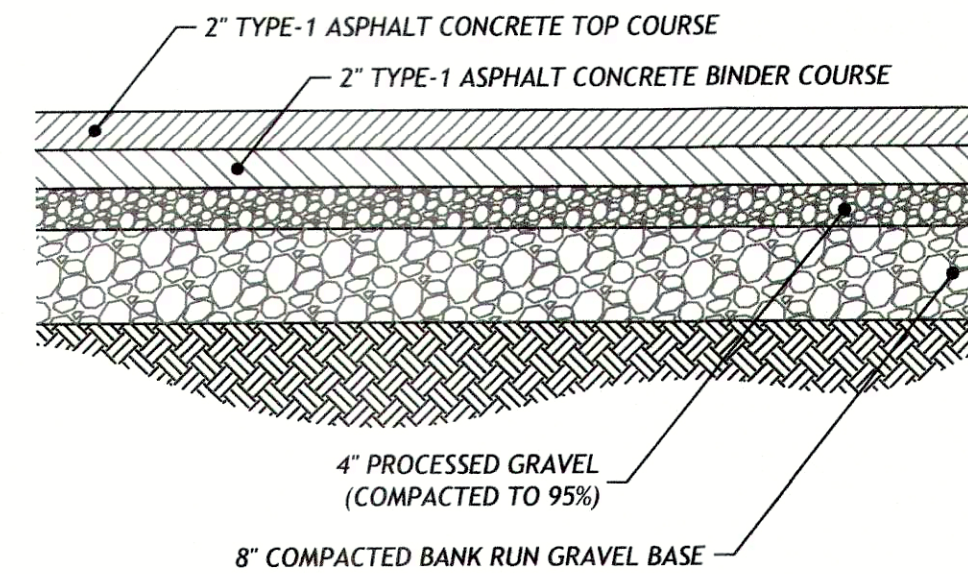
SILT FENCE DETAIL
NOT TO SCALE



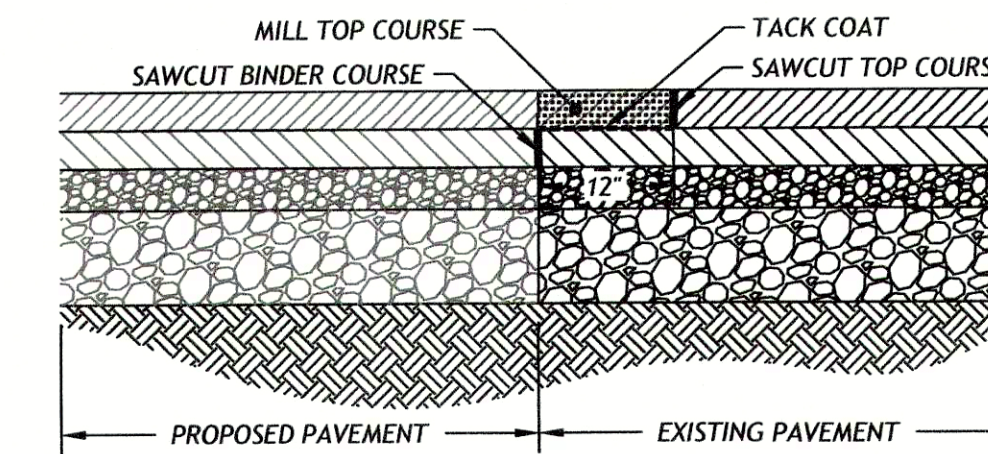
TREE PLANTING DETAIL
NO SCALE



GRASSED AREA REPAIR
NO SCALE

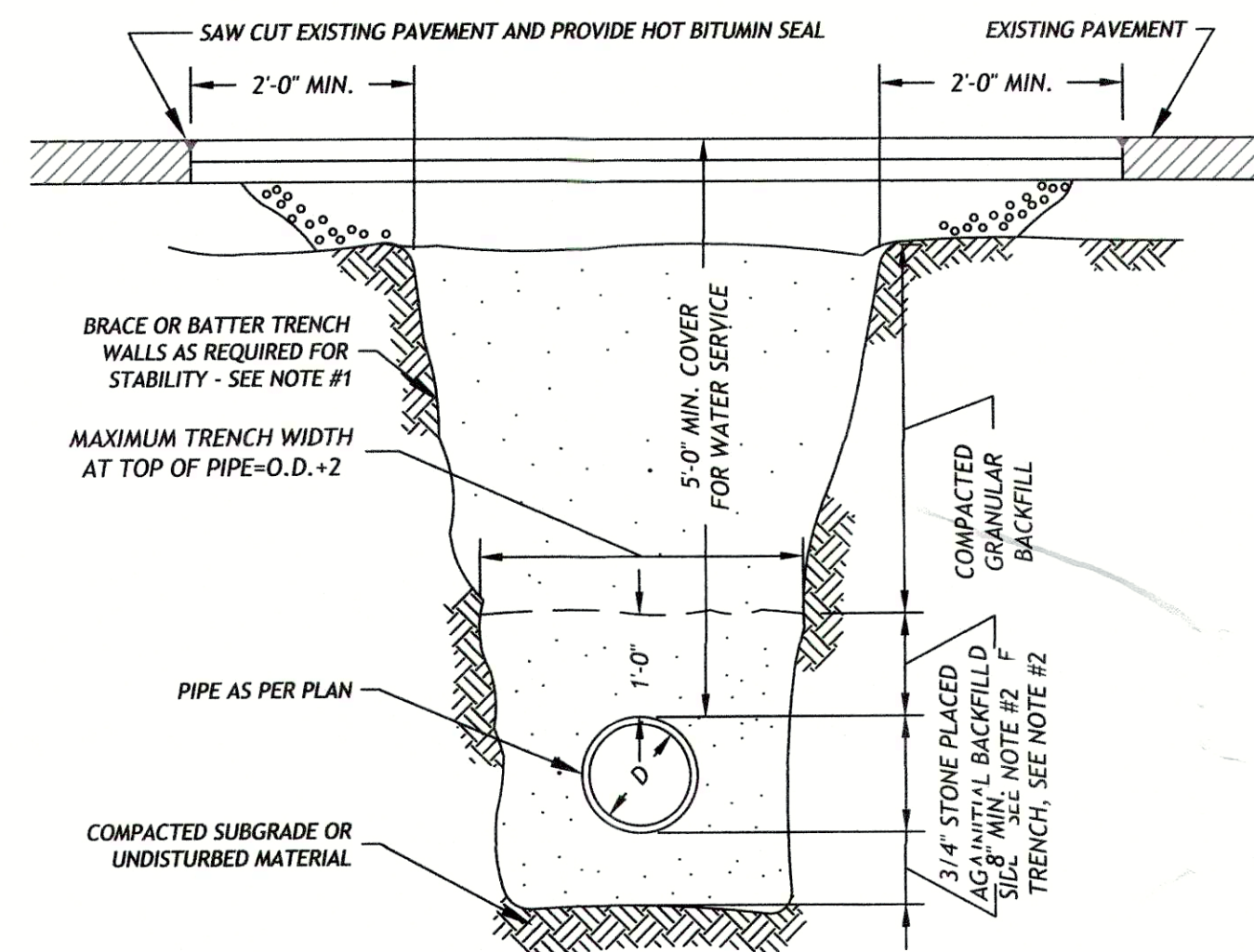


BITUMINOUS CONCRETE PAVING DETAIL
NOT TO SCALE



- OPENING OF SEAM:**
1. SAWCUT OUTER EDGE OF SEAM
 2. MILL TO REMOVE TOP COURSE
 3. SAWCUT INNER SEAM EDGE
- CLOSING OF SEAM:**
1. TACK AREA OF MILLING
 2. REPLACE TOP COARSE
 3. SEAL EDGE WITH HOT POURED RUBBERIZED ASPHALT SEALANT

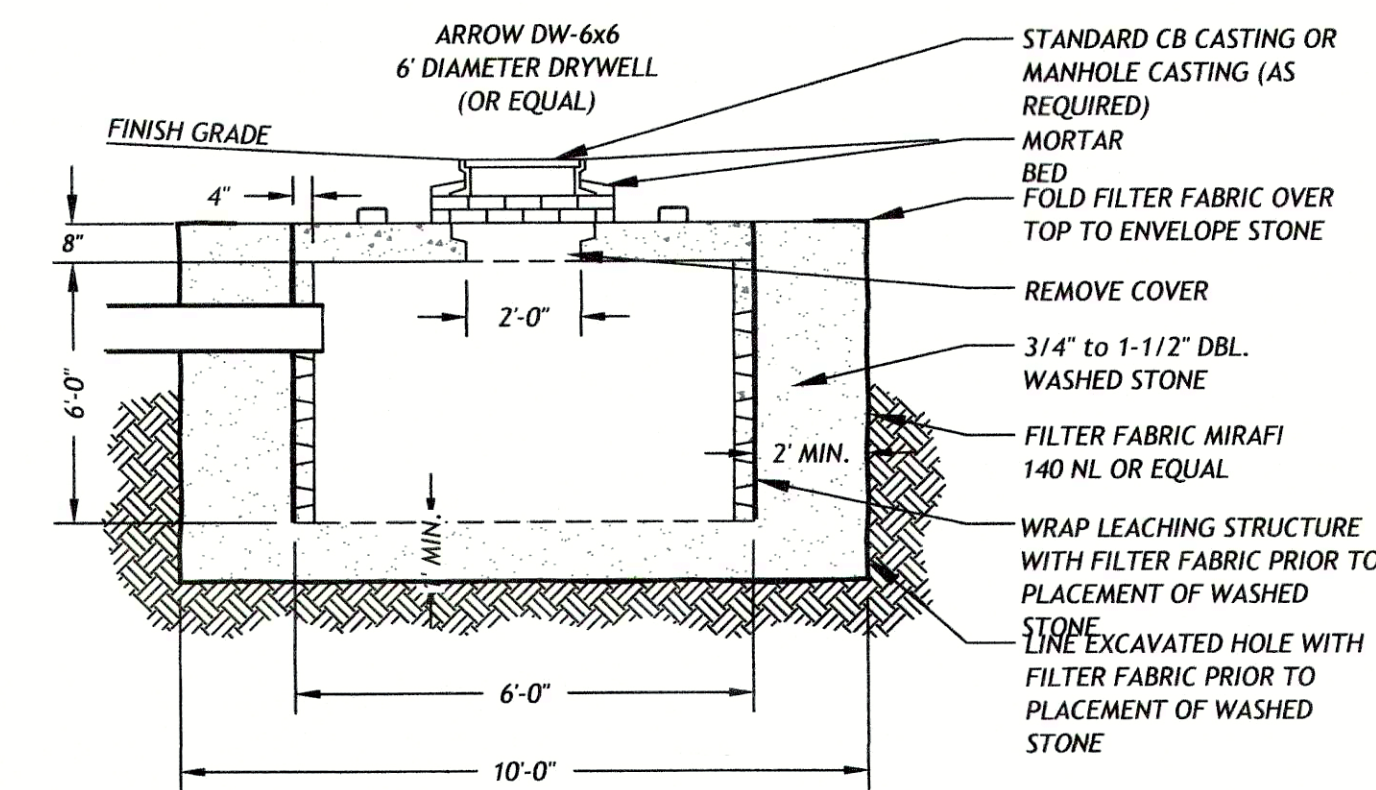
BITUMINOUS CONCRETE SEAM DETAIL
NOT TO SCALE



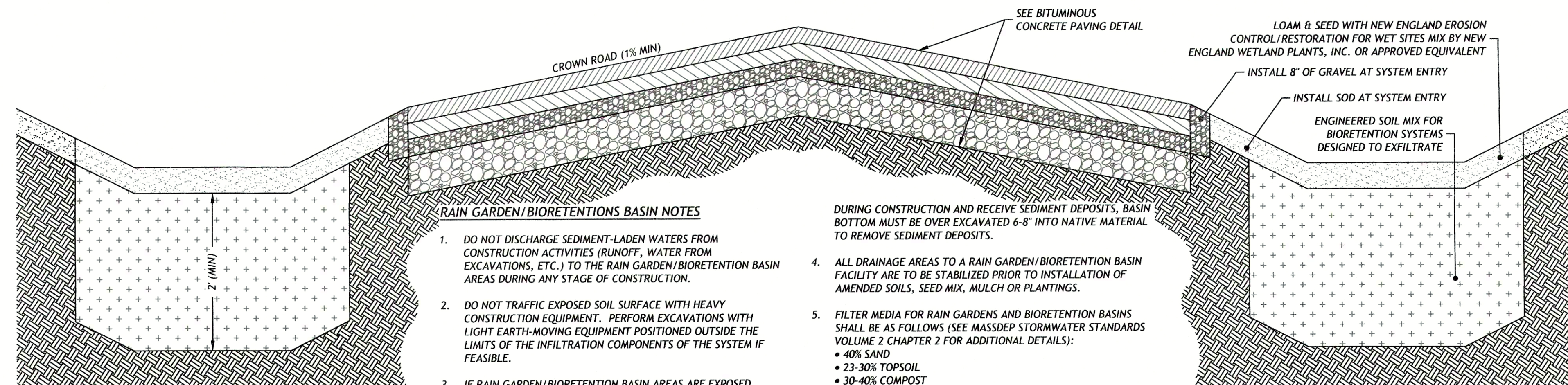
PIPE TRENCH DETAIL (STANDARD)
NO SCALE

TRENCH NOTES

1. SHEETING, WHEN REQUIRED TO BE CUT OFF AT LEAST 5 FT. BELOW STREET AND A MINIMUM OF 1 FT. ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER. FOR P.V.C. PIPE, ALL SHEETING DRIVEN BELOW MID-DIAMETER SHALL BE LEFT IN PLACE.
2. SELECTED COMMON FILL, HAND PLACED, FROM MID-DIAMETER OF PIPE TO 12" ABOVE, TOP OF PIPE.
3. TRENCHES LOCATED ON THE ROAD SHOULDER OR GRASSED AREA SHALL BE TREATED THE SAME AS STREET EXCEPT FOR PAVING.
4. PROVIDE AT LEAST ONE IMPERVIOUS DAM IN GRAVEL BEDDING BETWEEN EACH MANHOLE WHERE DIRECTED, OR EVERY 300 FT., WHICHEVER IS LESS.
5. COMPACT ALL BACKFILL MATERIAL WITH VIBRATORY PLATE EQUIPMENT (MINIMUM TWO PASSES) TO A MINIMUM DENSITY OF 95 PERCENT OF THE STANDARD PROCTOR DENSITY AS DETERMINED BY ASTM D698.
6. PLACE BACKFILL MATERIALS IN MAXIMUM ONE FOOT LIFTS.



PRECAST CONCRETE DRYWELL DETAIL
NO SCALE



TYPICAL ROAD CROSS SECTION DETAIL
NO SCALE



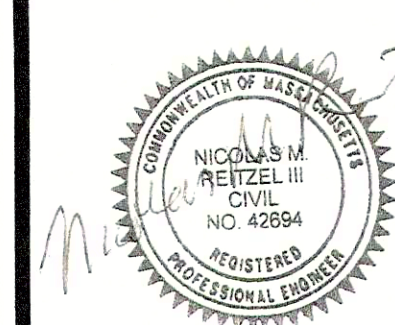
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