

Peter F. Gaito & Associates Architects | Engineers | Planners

WHITE PLAINS

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James Barry CM, LEED AP April 16, 2024

Eastchester Building Department Town of Eastchester 40 Mill Road Eastchester, NY 10709

Re: Satyajit Ratan

751 White Plains Road Eastchester, NY 10583

Dear Architectural Review Board Officials,

Submitted on behalf of Satyajit Ratan's Deli on 751 White Plains Road (Zoning District RB).

Sal's Market and Deli needs to expand their current space for a new cooler to further assist the public. The acceptance of this will be a tremendous help for Mr. Ratan and his business and the customer he serves.

Please note: We listened to the ARB Board comments and have made numerous updates based on the suggestions and conversations at the April 4th ARB meeting. Please find updated materials submitted for this application which include the following:

- 1. Adjusted the exterior materials to match the existing building
- 2. Adjusted the roof to match the existing building (flat)
- 3. Updated notes on landscaping
- 4. Updated notes on the fence and gate
- 5. Updated lighting information
- 6. Included notes to repair, clean and paint the building
- 7. Included notes to repair, clean and paint the existing driveway
- 8. Included notes to keep the site clear from containers, etc.
- 9. Location Map showing the project site and all properties within 200 feet.
- 10. Included in the set are updated color photographs, site maps, plans, elevations

Sincerely,

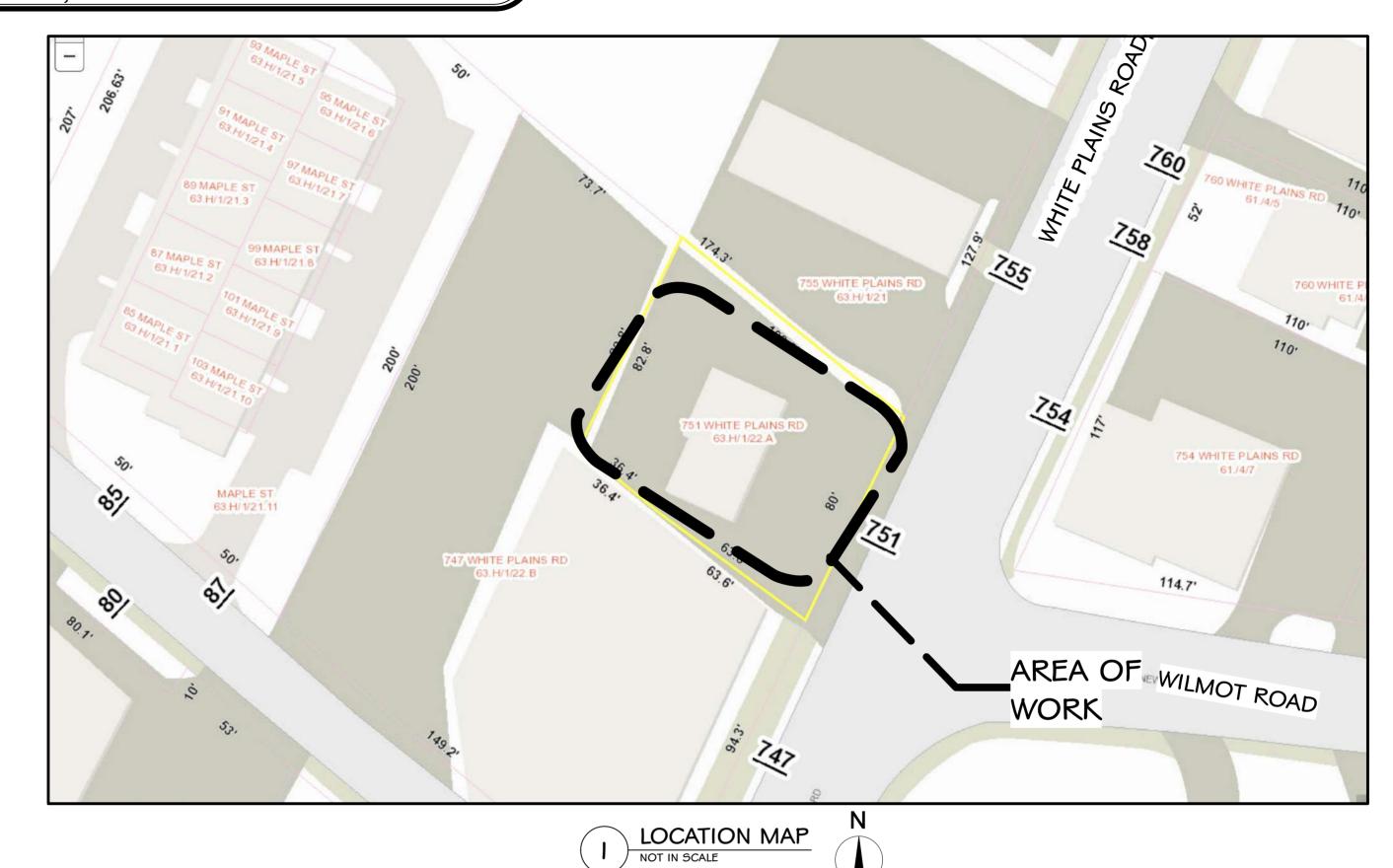
Peter F Gaito AI

SAL'S MARKET AND PIZZERIA **ADDITION**

751 WHITE PLAINS ROAD EASTCHESTER, NY 10583

A/C	AIR CONDITIONER	ID	INSIDE DIAMETER
ACI	AMERICAN CONCRETE INSTITUTE	IM	INSULATED METAL
ACT ADD	ACOUSTICAL CEILING TILE ADDENDUM	INCAND INCL	INCANDESCENT INCLUDE(D), (ING)
ADD'L	ADDITIONAL	INFO	INFORMATION
ADJ	ADJACENT or ADJUSTABLE	INSUL	INSULATE(D), (ING), (TION)
ADMIN AFF	ADMINISTRATION ABOVE FINISHED FLOOR	INV EL	INVERT INVERT ELEVATION
ALUM or AL	ALUMINUM	INV EL	INVERT ELEVATION
APPROX	APPROXIMATE	JB	JUNCTION BOX
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	JC	JANITOR'S CLOSET
BD	BOARD	JST JT	JOIST
BLK	BLOCK	JI	JOINT
BLKG	BLOCKING	LAM	LAMINATE
ВМ	BEAM	LAV	LAVATORY
B.O. or BO	BOTTOM OF	LLC LP	LEAD COATED COPPER LOW POINT
ВР	BASE PLATE	LP	LOW POINT
CAB	CABINET	MAS	MASONRY
СВ	CATCH BASIN	MAX	MAXIMUM
C.I.	CAST IRON	MC	MISCELLANEOUS CHANNEL
C.J.	CONTROL JOINT CENTER LINE	MECH MFGR	MECHANIC(AL) MANUFACTURE(R)
CLG	CEILING	MIN	MINIMUM
CLR	CLEAR(ANCE)	MISC	MISCELLANEOUS
CMU	CONCRETE MASONRY UNIT	MO	MASONRY OPENING
COL	CLEAN OUT COLUMN	MR MTD	MACHINE ROOM MOUNTED
CONC	CONCRETE	MTG	MEETING
CONFR	CONFERENCE	MTL	METAL
CONT	CONTINUOUS or CONTINUE		
CTP	CERAMIC TILE	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CTR	CENTER	NIC	NOT IN CONTRACT
D.C.	DROPPED CURB	NOM	NOMINAL
DEPT	DEPARTMENT	NTS	NOT TO SCALE
DF	DRINKING FOUNTAIN	00	ON OFFITES
DIA	DRAINAGE INLET DIAMETER	OC OD	ON CENTER OUTSIDE DIAMETER
DIAG	DIAGONAL	ОН	OVERHEAD
DIFF	DIFFUSER	OPP	OPPOSITE
DIM	DIMENSION		
DISP DN	DISPENSER DOWN	PD	POLICE DEPARTMENT
DR	DRAIN	PL PNL	PLATE PANEL
DTL	DETAIL	PNT/PT'D	PAINT(ED)
DWG	DRAWING	PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
EA E.J.	EACH EXPANSION JOINT	PVC	POLYVINYL CHLORIDE or COATING
EL	ELEVATION	QT	QUARRY TILE
ELEC	ELECTRICAL or ELECTRIC	QUANT/QTY	QUANTITY
ELEV	ELEVATOR		
EMER EP	EMERGENCY ELECTRIC PANEL	R RA	RADIUS or RISER RETURN AIR
EPDM	ETHYLENE PROPYLENE DIENE MONOME		RADIUS or RADIATOR
EQ	EQUAL	RD	ROOF DRAIN
EQUIP	EQUIPMENT	REINF	REINFORCEMENT
ETC	ETCETERA	REQD	REQUIRED
EX or EXIST EXH	EXISTING EXHAUST	RET REF	RETURN REFER
	LATINGET	RM	ROOM
FA	FIRE ALARM	RO	ROUGH OPENING
FAA	FIRE ALARM ANNUNCIATOR		
F.A.I. FCU	FRESH AIR INTAKE FAN COIL UNIT	SAN	SANITARY STORM DRAIN
FD FD	FLOOR DRAIN or FIRE DAMPER	SD SECT	STORM DRAIN SECTION
FDN	FOUNDATION	SF	SQUARE FOOT
FE	FIRE EXTINGUISHER	SFCC	STEEL FACED CONCRETE CURB
FEC FF	FIRE EXTINGUISHER CABINET FINISH FLOOR	SIM	SIMILAR
FIN	FINISH FLOOR FINISH	SPEC SST/ST. STL	SPECIFICATION STAINLESS STEEL
FLR	FLOOR	ST/STOR	STAINLESS STEEL STORAGE
FLUOR	FLUORESCENT	STL	STEEL
FP	FIRE PROOF	STRUCT	STRUCTURAL
FT FTG	FOOT or FEET FOOTING	SW	SWITCH
	10011110	T	TREAD
GA	GAUGE	THK	THICK
GALV	GALVANIZED	T.O. or T/O	TOP OF
GC	GENERAL CONTRACTOR	TOS	TOP OF STEEL OR SLAB
GL GWB	GLASS or GLAZING GYPSUM WALL BOARD	TYP	TYPICAL
GYP	GYPSUM WALL BOARD	U.N.O.	UNLESS NOTED OTHERWISE
НВ	HOSE BIB	VB	VINYL BASE
HC or H/C	HANDICAPPED	VCT	VIDEO CAMERA
HDWR HM or H/M	HARDWARE HOLLOW METAL	VCT VIF	VINYL COMPOSITION TILE VERIFY IN FIELD
HP HM OF H/M	HIGH POINT	v II	VEINI I IIVI ILLU
HVAC	HEATING VENTILATING AIR CONDITIONING	WC	WATER CLOSET
		WD	WOOD
		WH	WATER HEATER
		WO WP	WINDOW OPENING WATERPROOF
		WPF	WATERPROOF WATER PER FLUSH

SYMBOLS	<u>LEGEND</u>		
	EXISTING PARTITION / WALL CONSTRUCTION TO BE REMOVED	Name □13	-ROOM NAME -ROOM NUMBER
	EXISTING PARTITION / WALL CONSTRUCTION TO REMAIN	0.00 S.F. ◄	-ROOM AREA IN SQ. FT.
	NEW DRYWALL PARTITION, REFER TO PLAN FOR TYPE (small scale)	D-100	DOOR NUMBER
	NEW FURRED DRYWALL PARTITION, REFER TO PLAN FOR	W-100	WINDOW NUMBER
4. · · · · · · · · · · · · · · · · · · ·	TYPE NEW CONCRETE WALL	•	ELEVATION MARK
	AREA OF EXCAVATION	1 A100	-SECTION DESIGNATION -DRAWING NUMBER
	PATCH AND REPAIR EXISTING CONSTRUCTION TO RECEIVE NEW WORK		-ELEVATION
	GLASS	A100	-DRAWING NUMBER
	FINISH WOOD	1 A100	-DETAIL DESIGNATION -DRAWING NUMBER
	BLOCKING or ROUGH WOOD		HC ACCESSIBLE
	PLYWOOD (small scale)		REVISION CLOUD
	BATT INSULATION	2	REVISION DESIGNATIO
	RIGID INSULATION	-ELEVA	TION NUMBER
		543	INTERIOR ELEVATION DESIGNATION
	REPAIR EXISTING WALL WHERE CUT	•	



PROJECT DATA		
ADDRESS	751 WHITE PLAINS ROAD EASTCHESTER, NEW YORK 10583	
ZONING DISTRICT	RB	
TAX ID	63.H/I/22.A	
BLOCK	I	
SECTION	63.H	
LOT:	22A	
LOT AREA	7,864 SQ.FT. +/- (0.18 ACRES +/-)	
USE	BUSINESS	
OCCUPANCY	II .	

	ZONING A	ANALYSIS		
	REQUIRED/PERMITTED	EXISTING	PROPOSED/ PROVIDED	VARIANCE REQUIRED
MAXIMUM BUILDING COVERAGE	60%	17.2%	20.2%	-
REQUIRED MINIMUM FRONT YARD	10'-0"	39.9'	NO CHANGE	-
REQUIRED MINIMUM SIDE YARDS (BOTH)	20'-0" (IO'-0" EACH SIDE)	17.4' / 8.8'	NO CHANGE	EXISTING NON-COMPLIANT CONDITION
REQUIRED MINIMUM REAR YARD	30'-0"	29.6'	19.5'	YES
MAXIMUM BUILDING HEIGHT	4 STORIES (45 FEET)	I STORY (12'-3")	2 STORIES (23'-10")	-
MINIMUM BUILDING HEIGHT	I STORY (13'-6")	I STORY (12'-3")	2 STORIES (23'-10")	-
ACCESSORY STRUCTURE (MAXIUMUM HEIGHT)	I STORY (I2' IF FLAT OR MANSARD I5' TO RIDGE IF SLOPED)	-	-	-

MINIMUM PARKING REQUIREMENTS	REQUIRED/PERMITTED	EXISTING	PROPOSED/ PROVIDED	VARIANCE REQUIRED
FOOD SERVICE ESTABLISHMENT: I SPACE FOR EACH I50 SQFT OF GROSS FLOOR AREA	$\frac{1,240 \text{ SQFT}}{150 \text{ SQFT}} = 8.3$ $\frac{240 \text{ SQFT}}{100000000000000000000000000000000000$	6 SPACES	IO SPACES	
OFFICE: I SPACE FOR EACH 200 SQFT OF GROSS FLOOR AREA	200 SQFT TOTAL = 10 SPACES			

SCOPE OF WORK:

THE NEW BUILDING ADDITION IS FOR A NEW WALK-IN COOLER (STORAGE) AND TWO PRIVATE OFFICES FOR EXISTING TENANT. THERE IS NO CHANGE IN USE OR OCCUPANCY. TOTAL NUMBER OCCUPANTS STILL THE SAME

Drawing List

	•
T-100	COVER SHEET
A-OIO	SITE PLAN \$ SURVEY
A-100	EXISTING/ DEMO, FOUNDATION, PARTIAL FIRST FLOOR PLAN AND RCP
A-IOI	SECOND FLOOR PLAN, RC, AND ROOF PLAN
A-300	BUILDING ELEVATIONS
A-30I	MATERIAL LEGEND
A-302	EXISTING PHOTOS
A-303	ADJACENT BUILDINGS \$EXISTING STREETSCAPE
A-304	STREETSCAPE

2020 EXISTING BUILDING CODE OF NEW YORK STATE 2017 NATIONAL ELECTRICAL CODE 2020 PCNYS (PLUMBING CODE OF NEW YORK STATE) 2020 FCNYS (FIRE CODE OF NEW YORK STATE) 2020 BUILDING CODE OF NEW YORK STATE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

APPLICABLE CODES

NEW 2-STORY GROSS FLOOR AREA: 475 SF LINE (TYP.) EXISTING I-STORY -GROSS FLOOR AREA: -1350 SF

GROSS FLOOR AREA DIAGRAM Scale: I/I6" = I'-0"

PETER F. GAITO & ASSOCIATES ARCHITECTS | ENGINEERS | PLANNERS

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No. Date Revisions / Submissions 09-28-22 BUILDING DEPT. SUBMISSION

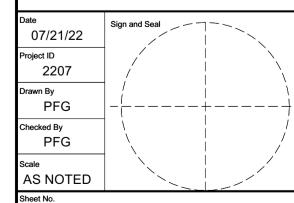
- 04-24-23 ZBA SUBMISSION
- 08-29-23 ZBA RE-SUBMISSION
- 4 03-16-24 ARB SUBMISSION 5 04-16-24 ARB SUBMISSION

GENERAL NOTE EACH CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER TRADES AND THE GENERAL CONTRACTOR, FOR ALL WORK. HE IS TO EXAMINE ALL DRAWINGS AND SPECIFICATIONS OF ALL OTHER TRADES PRIOR TO INSTALLATION OF HIS WORK. IF ANY OF HIS WORK IS CALLED FOR ON ANY OTHER DRAWINGS AND SPECIFICATIONS, IT IS THEIR RESPONSIBILITY TO PROVIDE THAT WORK WHETHER

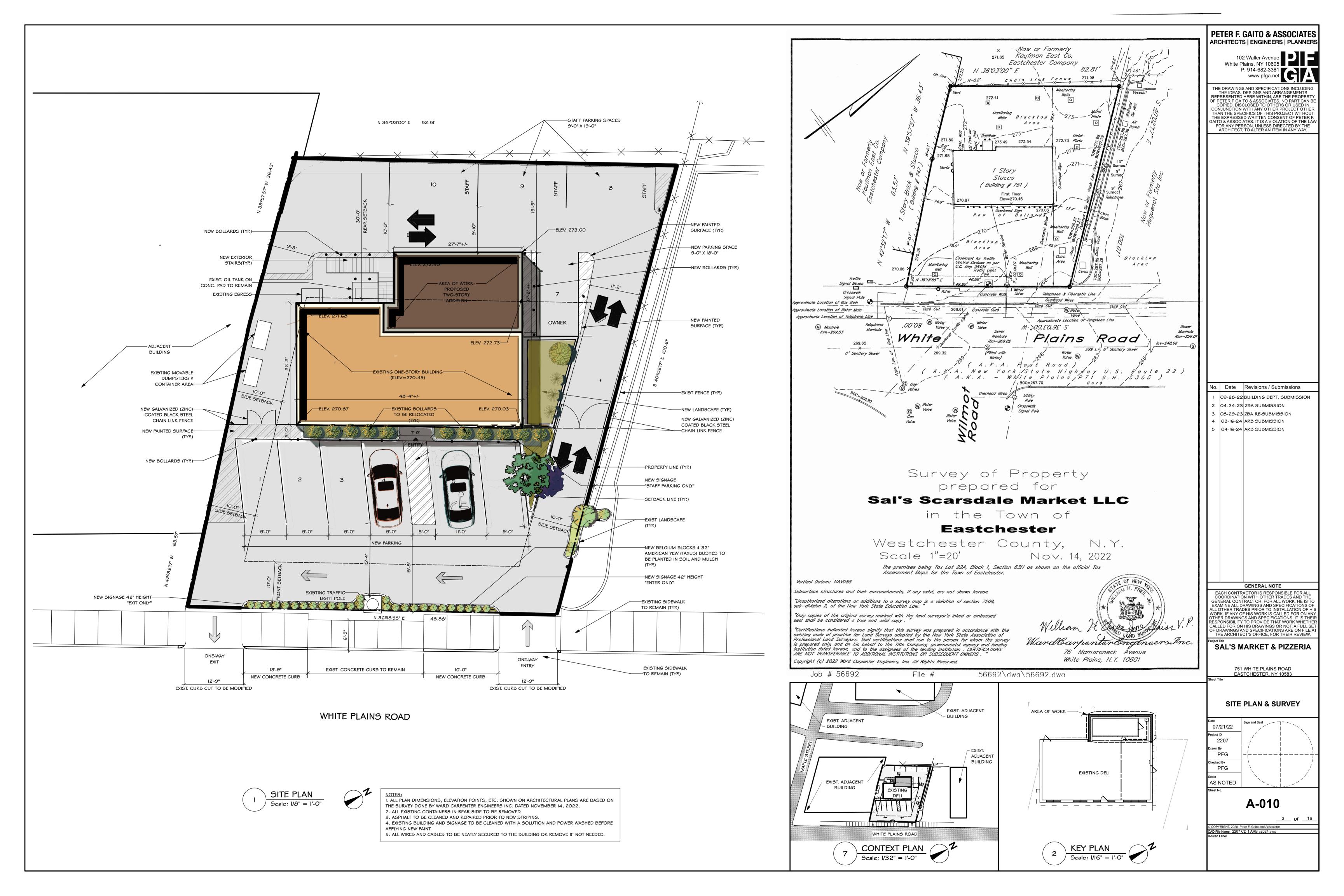
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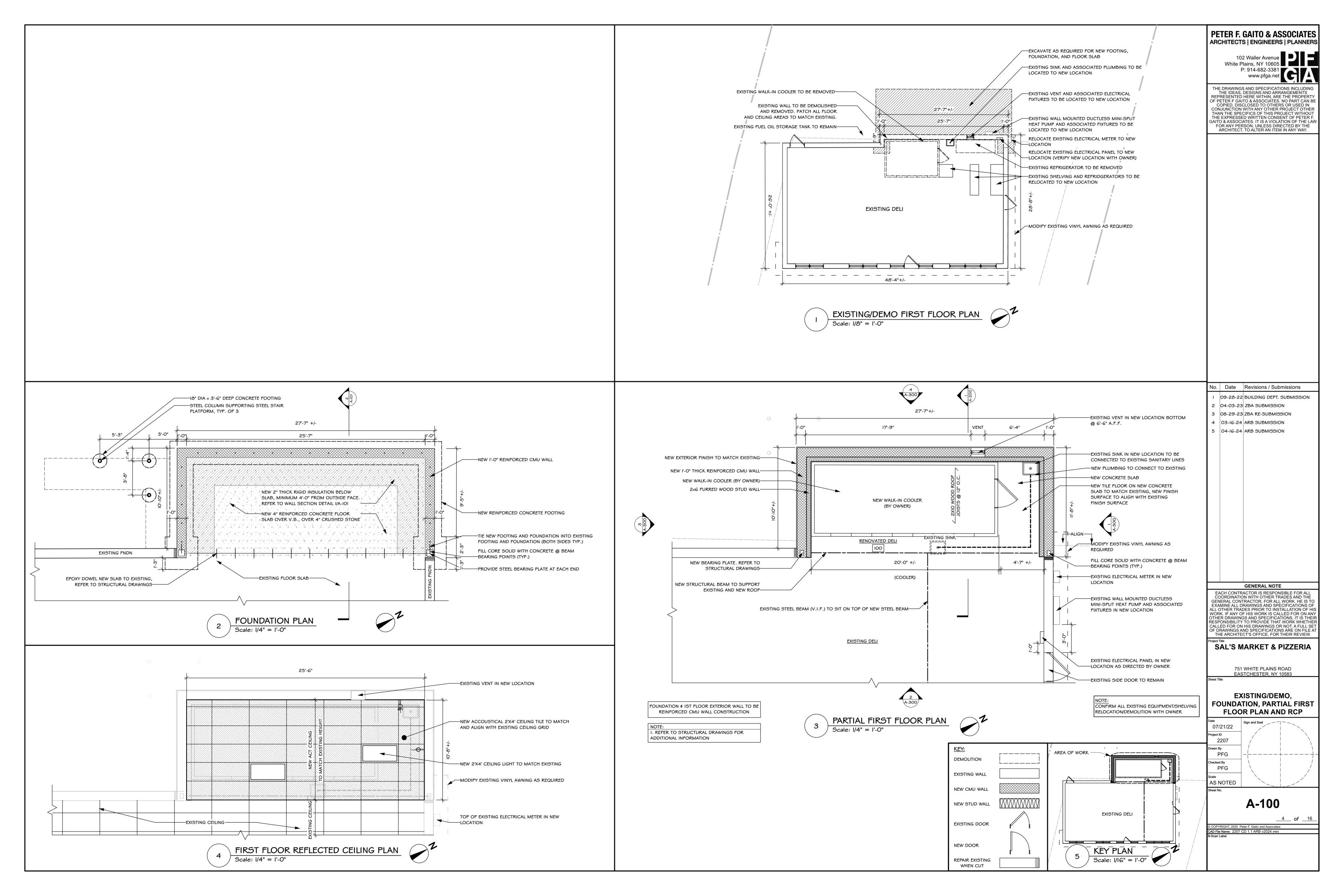
751 WHITE PLAINS ROAD EASTCHESTER, NY 10583

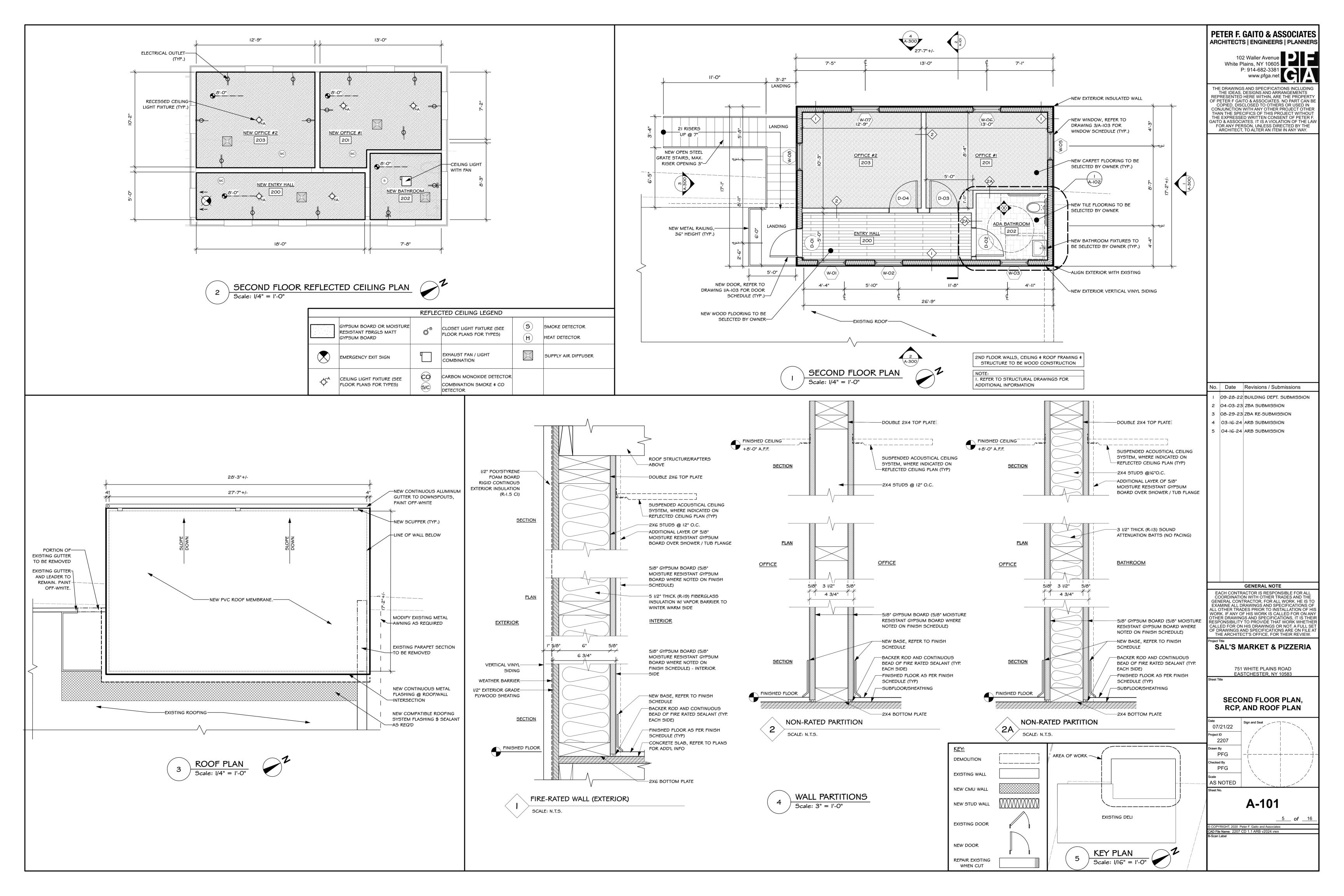
COVER SHEET

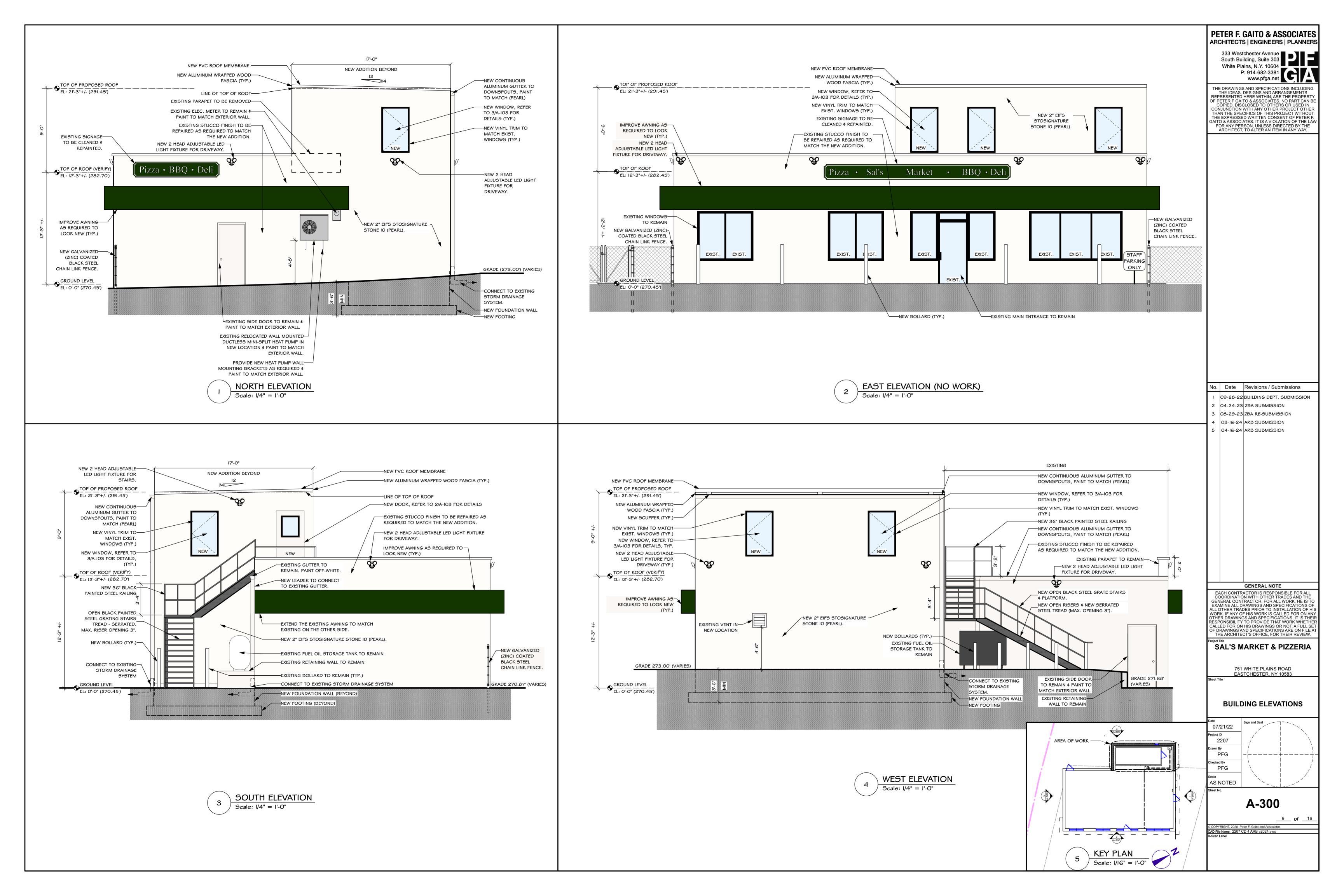


T-100









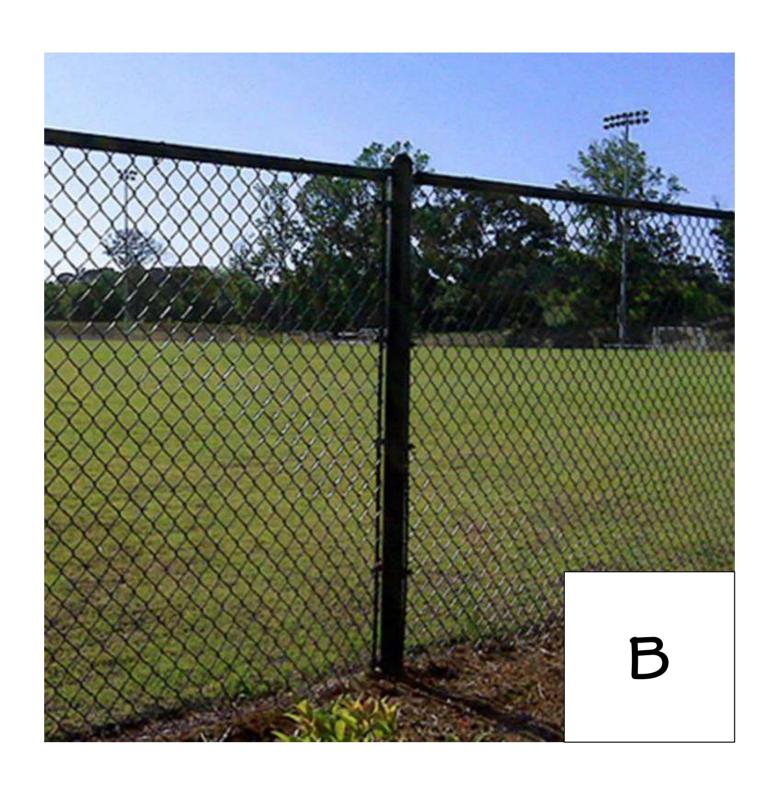


A - DEFIANT - 2-HEAD ADJUSTABLE LED LIGHT FIXTURE FOR DRIVEWAY



<u>D</u> - 32" AMERICAN YEW (TAXUS) PLANTED WITH SOIL AND MULCH.

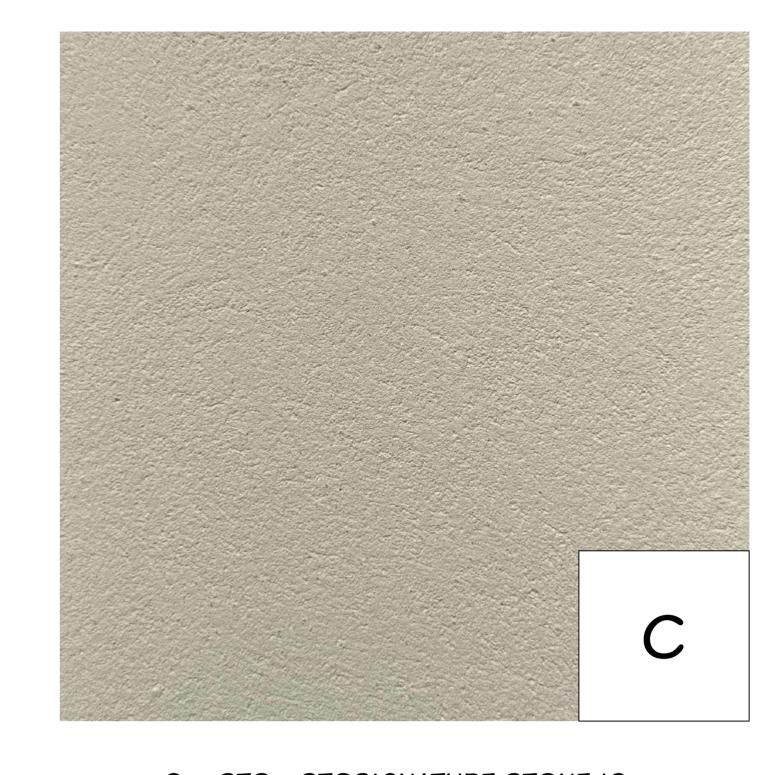
The American Yew is a low-growing evergreen shrub that is native to North America. It grows 3-6 feet tall with twice the spread and is widely used in landscaping. The shrub has flat, dark green needle-like leaves and produces bright red berries. It lends an attractive color combination of green and red that freshens up the façade of your house. The evergreen shrub is commonly used in hedges and topiaries for its bushy appearance. It has a hardy nature and is not susceptible to blight fungus. Growing preferences are full sun to part shade with dry to moist soil conditions. However, it is not drought resistant and may need additional protection from heavy winds and extreme heat. The silver lining is that the plant is almost pest-free!



<u>B</u> - MASTER HALCO - GALVANIZED (ZINC) COATED BLACK STEEL CHAIN LINK



<u>E</u> - WINDOWS TRIM TO MATCH EXISTING -BLACK VINYL COMPOSITE TRIM



<u>C</u> - STO - STOSIGNATURE STONE IO - PEARL



<u>F</u> - SIKA - SARNAFIL G410-15 PVC MEMBRANE - ENERGYSMART WHITE

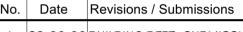
MATERIAL LEGEND:

- A DEFIANT 2-HEAD ADJUSTABLE LED LIGHT FIXTURE FOR DRIVEWAY.
- B MASTER HALCO GALVANIZED (ZINC) COATED BLACK STEEL CHAIN LINK C STO STOSIGNATURE STONE IO PEARL.
- D 32" AMERICAN YEW (TAXUS) PLANTED WITH SOIL AND MULCH.
- E WINDOWS TRIM TO MATCH EXISTING BLACK VINYL COMPOSITE TRIM. F SIKA SARNAFIL G410-15 PVC MEMBRANE ENERGYSMART WHITE.

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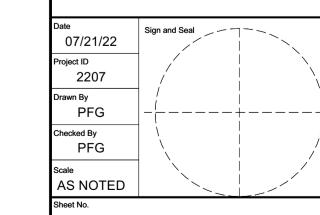
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roject Title
SAL'S MARKET & PIZZERIA

751 WHITE PLAINS ROAD

MATERIAL LEGEND



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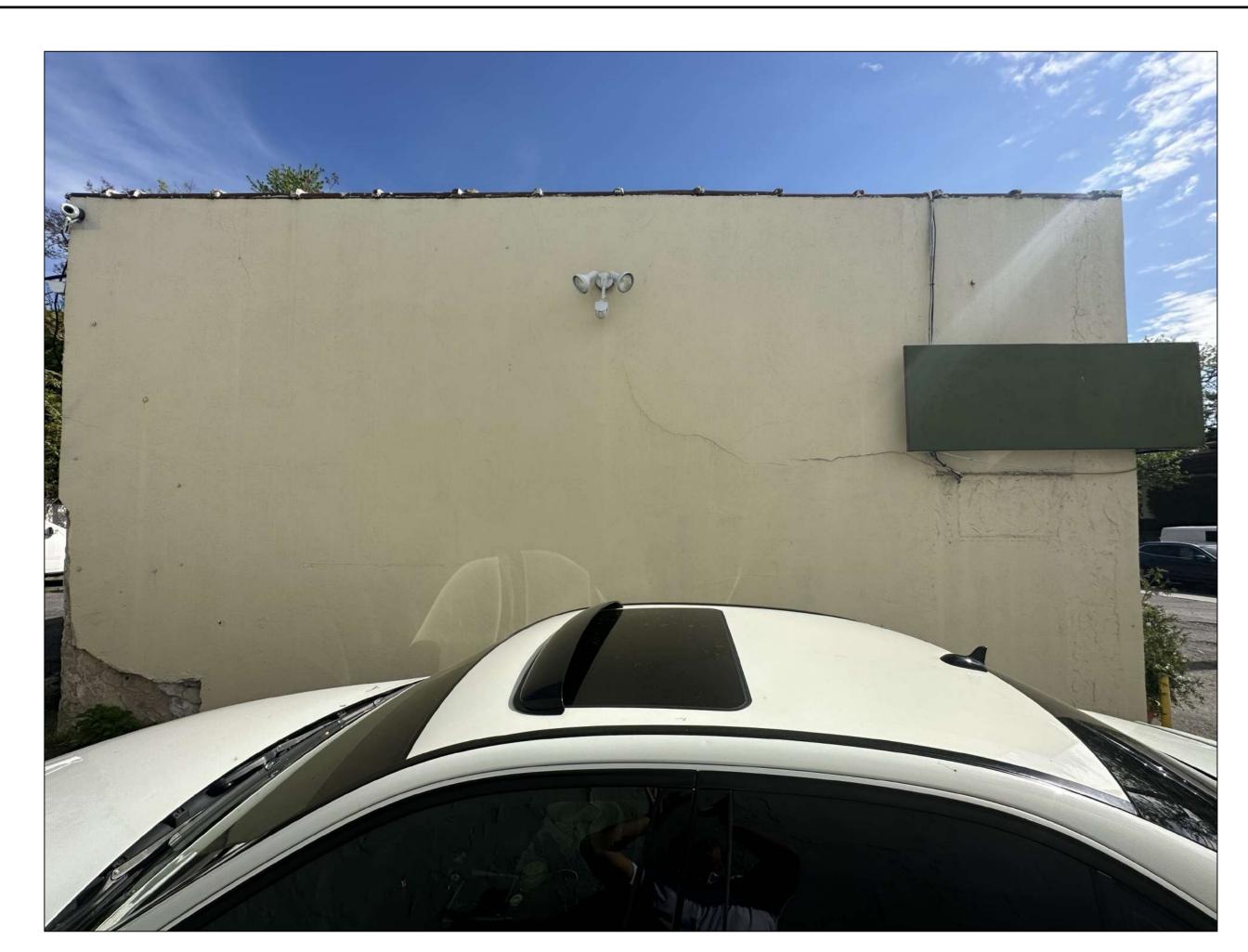
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B-Scan Label



PROJECT SITE - WEST ELEVATION

Scale: NTS



3 PROJECT SITE - SOUTH ELEVATION
Scale: NTS



PROJECT SITE - EAST ELEVATION

Scale: NTS



PROJECT SITE - NORTH ELEVATION

Scale: NTS

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No. Date Revisions / Submissions

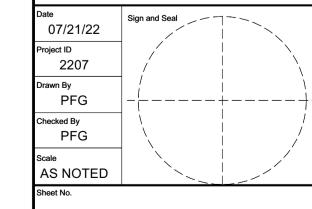
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EXISTING PHOTOS

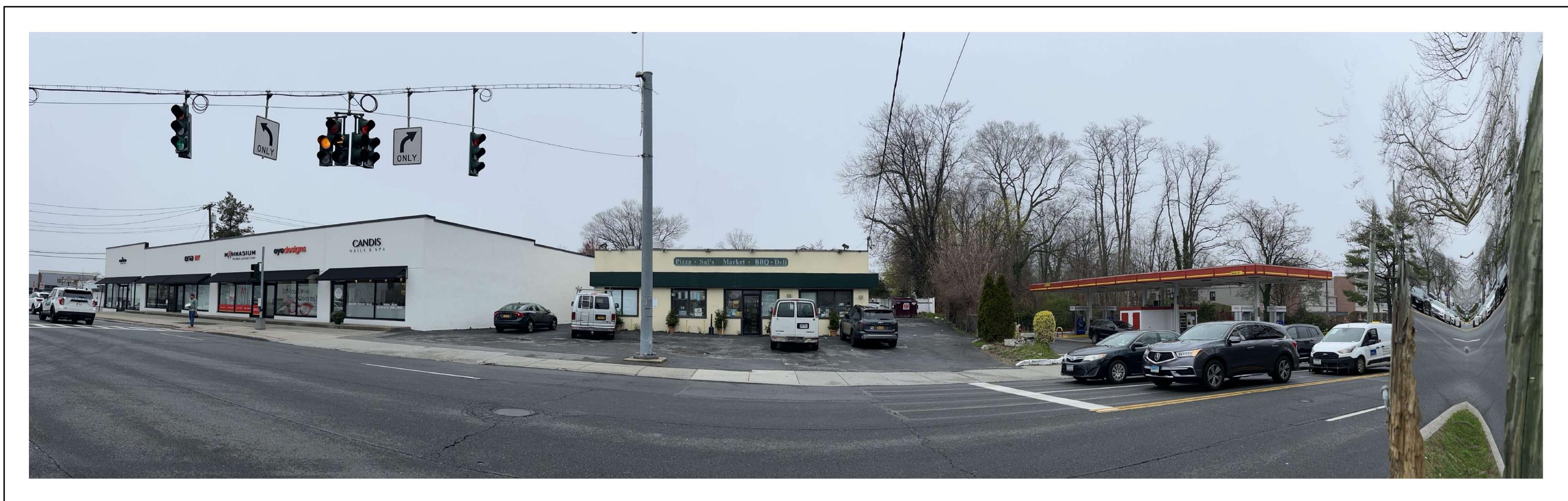


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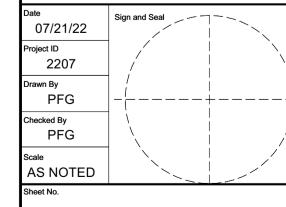
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751 WHITE PLAINS ROAD EASTCHESTER, NY 10583

ADJACENT BUILDINGS & EXISTING STREETSCAPE



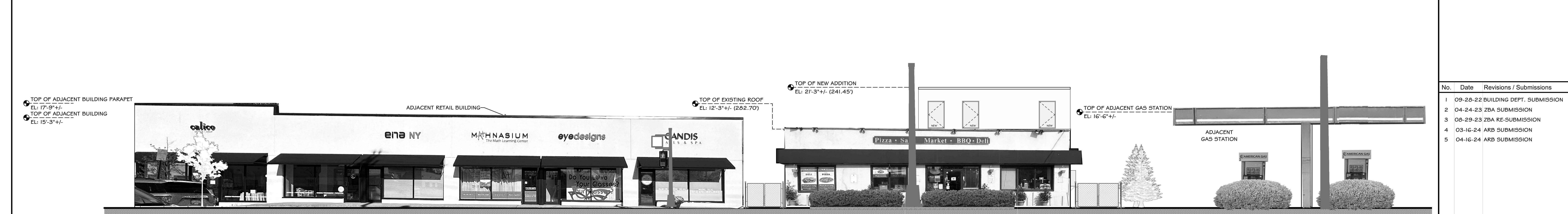
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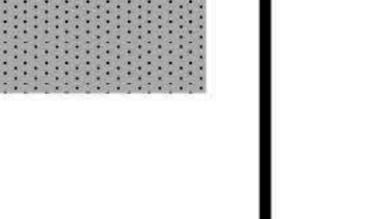
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