

No.	DRAWING NAME
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CERTIFICATION

LOCATION MAP NO SCALE



ZONING DISTRICT : R-5

MAX GFA FOR R5 ZONE = 2,300 S.F. + 10% OF AREA ABOVE
5,000 S.F.
EXISTING LOT AREA = 6,614.16 S.F.
0% X 1,614.16 S.F. = 161.42 S.F. + 2,300 S.F. = 2,461.42 S.F.
MAX. GFA PERMITTED

** DENOTES VARIANCE RECEIVED

SIDE YARD SETBACK ADJACENT TO STREET
REQUIRED - 14 FT.
PROPOSED - 10.23 FT.
MAX. GROSS FLOOR AREA (GFA)
2,461.42 S.F. PERMITTED
0,075.00 S.F. PROPOSED (EXCLUSIVE OF GARAGE (400 s.f.))

DWGS ISSUED

PROJECT NAME :
"AS-BUILT" SITE PLAN FOR:

DWG. TITLE:
AS BUILT AND IMPERVIOUS
SURFACE SITE PLANS

150 White Plains Road
Suite 103
Tarrytown, NY 10591
Tel : 914-909-5143
Fax : 914-909-5144

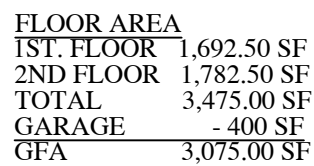
BY :	C.R.P.
CHECKED BY :	
SCALE :	
AS NOTED	
PROJECT NO :	160504
START DATE :	09-11-18



NOTE: FINAL SITE INFORMATION FOR "AS BUILT" SITE PLAN WAS TAKEN FROM
NEW SURVEY PREPARED BY ROGUSKI LAND SURVEYING, P.C. REV. No. 1
DATED SEPTEMBER 12, 2018

PROPOSED ALTERATIONS FOR:
THE STRICKER RESIDENCE

51 JOYCE ROAD, EASTCHESTER, NEW YORK



*** DENOTES VARIANCES REQUIRED

1	MINIMUM FRONT YARD SETBACK TO FRONT PORCH
2	26 FT. REQUIRED
3	23.01 FT. TO FRONT PORCH PROPOSED (AS BUILT)
4	MAXIMUM IMPERVIOUS COVERAGE
5	3,153.54 S.F. MAXIMUM COVERAGE PERMITTED
6	3,482.4 S.F. COVERAGE PROPOSED (AS-BUILT WITH
7	PROPOSED REDUCTION) (52.65% OF LOT)
8	DRIVEWAY WIDTH
9	20'-0" PERMITTED
10	29.65' PROPOSED (AS-BUILT)

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5,000 S.F.
EXISTING LOT AREA = 6,614.16 S.F.
0% X 1,614.16 S.F. = 161.42 S.F. + 2,300 S.F. = 2,461.42 S.F.
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SIDE YARD SETBACK ADJACENT TO STREET
REQUIRED - 14 FT.
PROPOSED - 10.23 FT.
MAX. GROSS FLOOR AREA (GFA)
2,461.42 S.F. PERMITTED
0,075.00 S.F. PROPOSED (EXCLUSIVE OF GARAGE (400 s.f.))

DRAWINGS AND SPECIFICATIONS

AS INSTRUMENTS OF

PROFESSIONAL SERVICE ARE AND

SHALL REMAIN THE PROPERTY OF

ANY REVISIONS TO THESE

WHOLE OR IN PART, WITHOUT THE

WRITTEN AUTHORIZATION OF

DAVID A. BARBUTI, ARCHITECT, PC

IS PROHIBITED.

THIS DOCUMENT IS INTENDED

SOLELY FOR THE CONSTRUCTION

AND SHALL NOT BE USED BY ANY

OTHER PARTIES FOR ANY OTHER

CONSTRUCTION WITHOUT THE

WRITTEN CONSENT OF DAVID A.

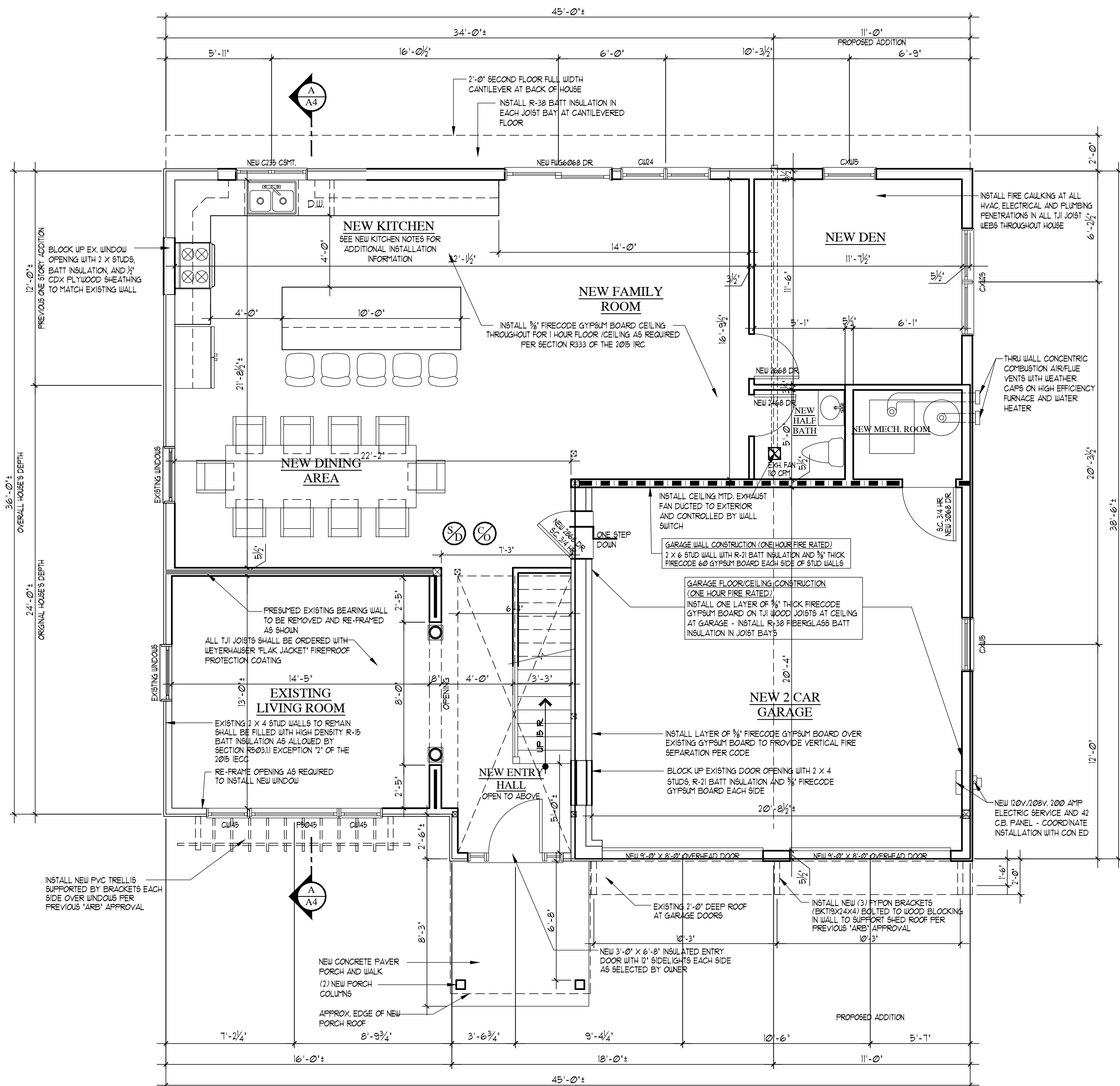
BARBUTI, ARCHITECT, PC.

PROJECT NAME:
AS-BUILT DRAWINGS FOR:

THE STRICKER RESIDENCE

51 JOYCE ROAD
EASTCHESTER, NEW YORKDWG. TITLE:
AS-BUILT FIRST FLOOR PLAN
WITH PROPOSED CHANGESDavid A. Barbuti
Architect, PC150 White Plains Road
Suite 103
Tarrytown, NY 10591
Tel : 914-909-5143
Fax : 914-909-5144

Architect's Seal

DRAWN BY: C.R.P.
CHECKED BY:
SCALE: AS NOTED
PROJECT NO: 160504
START DATE: 05-27-16

2015 INTERNATIONAL ENERGY CONSERVATION CODE
CHAPTER 5 - EXISTING BUILDINGS
R501 SCOPE: THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE ALTERATION, REPAIR, ADDITION AND CHANGE OF OCCUPANCY OF EXISTING BUILDINGS AND STRUCTURES.
R503.1 BUILDING ENVELOPE: BUILDING ENVELOPE ASSEMBLIES THAT ARE PART OF AN ALTERATION SHALL COMPLY WITH SECTION R402.12 OR R402.14, SECTIONS R402.13 THROUGH R402.19, R402.21, R402.23, R402.25, R402.27, AND R402.29, EXCEPT, THE FOLLOWING ALTERATIONS NEED NOT COMPLY WITH THE REQUIREMENTS FOR NEW CONSTRUCTION PROVIDED THE ENERGY USE OF THE BUILDING IS NOT INCREASED.
1. STORM WINDOWS INSTALLED OVER EXISTING FENESTRATION.
2. EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION.
3. CONSTRUCTION WHERE EXISTING ROOF, WALL OR FLOOR CAVITY IS NOT EXPOSED.
4. ROOF RECOVER.
5. ROOFS WITHOUT INSULATION IN A CAVITY AND WHERE THE SHEATHING OR INSULATION IS EXPOSED DURING REROOFING SHALL BE INSULATED EITHER ABOVE OR BELOW THE SHEATHING.
6. SURFACE APPLIED WINDOW FILM INSTALLED ON EXISTING SINGLE PANE FENESTRATION ASSEMBLIES TO REDUCE SOLAR HEAT GAIN PROVIDED THE CODE DOES NOT REQUIRE THE GLAZING OR FENESTRATION ASSEMBLY TO BE REPLACED.

KITCHEN LAYOUT NOTE:
KITCHEN CABINETRY LAYOUT IS SCHEMATIC AND FOR BASIC GUIDANCE ONLY - OWNER IS TO RETAIN THE SERVICES OF A KITCHEN DESIGNER TO SELECT FINAL CABINETRY LAYOUT, STYLE, FEATURES AND OPTIONS

KITCHEN FINISHES NOTE:
ALL CABINETRY, COUNTERTOPS, FINISHES, APPLIANCES, PLUMBING AND LIGHT FIXTURES ARE TO BE SELECTED AND PURCHASED SEPARATELY BY OWNER AND INSTALLED BY GENERAL, PLUMBING AND ELECTRICAL CONTRACTORS - G.C. TO COORDINATE THESE ITEMS WITH OWNER

KITCHEN ELECTRICAL NOTE:
ALL EXISTING KITCHEN ELECTRIC SHALL BE REMOVED IN ITS ENTIRETY AND NEW DEDICATED ELECTRIC BRANCH CIRCUITS FOR COUNTERTOP GFCI RECEPTACLES, LIGHTING AND APPLIANCES SHALL BE INSTALLED PER CURRENT RESIDENTIAL CODE OF NY'S - ELECTRICAL CONTRACTOR SHALL INVESTIGATE EXISTING ELECTRICAL SERVICE PANEL AND UPGRADE PANEL TO MEET CODE IF REQUIRED

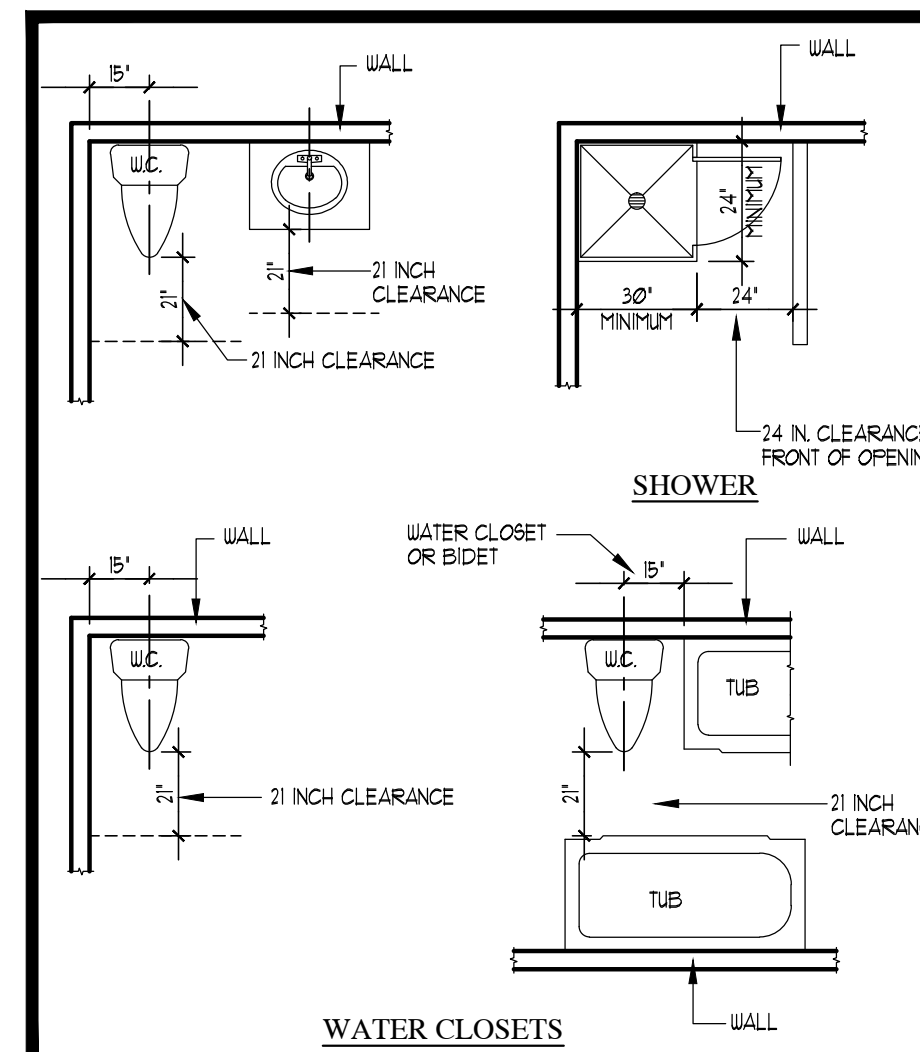
KITCHEN FINISHING NOTE:
PLUMBING CONTRACTOR SHALL INSTALL NEW WASTE, VENT, HOT AND COLD WATER SUPPLY PIPING TO NEW OR RELOCATED SINKS, DISHWASHER(S), REFRIGERATOR ICE MAKERS PER CURRENT RESIDENTIAL CODE OF NY'S BASED ON NEW KITCHEN LAYOUT AND OWNER'S REQUIREMENTS

NEW BATHROOM CONSTRUCTION NOTES:
EACH NEW BATHROOM AS SHOWN OF THE DRAWING SHALL BE INSTALLED AS FOLLOWS:

1. INSTALL NEW SOUND ATTENUATION BATT INSULATION IN FLOORS, WALLS AND CEILING.
2. INSTALL NEW 1/2" WATER AND MOLD RESISTANT (GREEN BOARD) GYPSUM BOARD ON WALLS EXCEPT AT BATHTUB AND/OR SHOWER SURROUNDS.
3. INSTALL 1/2" DUROCK OR EQUAL CEMENT BOARD OR DENS-SHIELD BACKER BOARDS ON WALLS AROUND BATH TUB AND/OR SHOWER SURROUND READY TO EXCEPT CERAMIC TILE.
4. INSTALL NEW FLOOR CERAMIC OR PORCELAIN TILE AS SELECTED BY OWNER OVER SCHLUTER DITRA-1 ISOLATION MEMBRANE WITH SCHLUTER KERDI WATER PROOFING AT INTERSECTION OF FLOOR AND WALLS.
5. INSTALL SCHLUTER SHOWER PAN SYSTEM AT SHOWER FLOOR.
6. INSTALL SCHLUTER KERDI WATERPROOF MEMBRANE ON WALLS OF BATH TUB AND SHOWER.
7. INSTALL NEW CERAMIC OR PORCELAIN WALL TILES AS SELECTED BY OWNER AT TUB SURROUND AND SHOWERS.
8. IF OWNER SELECTS ONE OR THREE PIECE FIBERGLASS BATH TUB OR SHOWER PAN AND SURROUNDS, THAN CONTRACTOR SHALL INSTALL THOSE SURROUND PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
9. GYPSUM BOARD WALLS AND CEILING SHALL BE PREPARED FOR PAINT AND PAINTED ONE COAT OF PRIMER AND TWO COATS OF SEMI-GLOSS LATEX PAINT, COLOR TO BE SELECTED BY OWNER.
10. NEW PLUMBING FIXTURES SHALL BE AS SELECTED BY OWNER AND INSTALLED BY PLUMBING CONTRACTOR.
11. INSTALL NEW 20A CIRCUIT WITH NEW GFCI RECEPTACLE PER ELECTRICAL CODE.
12. INSTALL NEW CEILING AND WALL SCONCE LIGHTING FIXTURES RATED FOR DAMP LOCATIONS AS SELECTED BY OWNER.
13. INSTALL NEW CEILING MTD. EXHAUST FAN(S) DUCTED TO EXTERIOR PER EXHAUST FAN NOTES.
14. INSTALL NEW BATHROOM ACCESSORIES (IE, MEDICINE CABINETS, TOILET BARS, SHOWER ROD AND CURTAIN, GLASS SHOWER ENCLOSURES, ETC. PER OWNER'S SELECTION.

EXHAUST FAN NOTE:
INSTALL CEILING MTD. ULTRA QUIET EXHAUST FANS IN EACH NEW OR RENOVATED BATHROOM OR ANY OTHER ROOMS AS SHOWN ON THE PLANS. EXHAUST FANS TO BE BROWN, NITONE, PANASONIC OR EQUAL WITH MAX. OF 68 SONES - CONTROLLED BY WALL SWITCH AND DUCTED TO EXTERIOR WITH 4" INSULATED FLEXIBLE OR RIGID METAL DUCT WITH EITHER A WALL OR ROOF WEATHERCAP TYPICAL - SEE PLANS FOR CFM REQUIREMENTS AND SPECIFIC LOCATIONS

SMOKE ALARMS/CARBON MONOXIDE ALARMS NOTE:
HOUSE SHALL HAVE INTERCONNECTED, HARD WIRED SMOKE DETECTOR (ALARMS WITH BATTERY BACK UP IN COMPLIANCE WITH THE RESIDENTIAL CODE OF NY'S (RONY'S) SECTION R303.1 IN THE FOLLOWING LOCATIONS:
• INSIDE EACH SLEEPING ROOM
• OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
• ON EACH FLOOR LEVEL OF THE DWELLING.
HOUSE SHALL HAVE HARD WIRED CARBON MONOXIDE DETECTOR/ALARMS IN COMPLIANCE WITH RONY'S SECTION R303.4 IN THE FOLLOWING LOCATIONS:
• WITHIN EACH DWELLING UNIT IN EACH STORY CONTAINING A SLEEPING AREA WITHIN 15 FEET OF SLEEPING AREA.
• ON ANY STORY OF A DWELLING UNIT THAT CONTAINS A CARBON MONOXIDE SOURCE.
CONTRACTOR TO INSTALL NEW SMOKE ALARMS/CARBON MONOXIDE ALARMS AS SHOWN AND AS REQUIRED FOR FULL COMPLIANCE TO THE RONY'S.



MINIMUM FIXTURE CLEARANCES PER
FIGURE R307.1 OF THE
2015 INTERNATIONAL RESIDENTIAL CODE

GENERAL NOTES:
1. CONTRACTOR SHALL FIELD VERIFY EXISTING FLOOR AND ROOF FRAMING SIZES AND SPACINGS SUPERIOR AND SHEATHING THICKNESS PRIOR TO START OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FRAMING.
2. CONTRACTOR SHALL ALIGN NEW FIRST AND SECOND SUB FLOORS WITH EXISTING SUB FLOORS.
3. ALL NEW FINISHES TO BE SELECTED BY OWNER.
4. INSTALL 1/2" A-C PLYWOOD UNDERLAMENT OVER NEW SUB FLOORS IF OWNER SELECT CARPETING IN NEW ADDITION

SPECIFICATIONS NOTE:
SEE GENERAL NOTES SHEETS 'GN1' AND 'GN2' FOR ADDITIONAL CONSTRUCTION INFORMATION - THE CONTRACTOR AND ALL SUB CONTRACTORS ARE TO READ ALL CONSTRUCTION NOTES AND BE FAMILIAR WITH WORK OF OTHER TRADES.

DIMENSION NOTE:
ALL DIMENSIONS INDICATED AT NEW ADDITIONS ARE ROUGH FRAMING DIMENSIONS - DIMENSION INDICATED WITHIN EXISTING DWELLING ARE EITHER FINISH TO FINISH DIMENSIONS OR FINISH TO ROUGH FRAMING DIMENSIONS - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINISH TO FINISH DIMENSIONS IN THE FIELD FOR PURPOSES OF FINISHED CABINETRY WORK, APPLIANCE CLEARANCE REQUIREMENTS AND INTERIOR MILLWORK.

ENTRY AND/OR EXTERIOR DOOR SPECIFICATIONS:
NEW FRONT ENTRY AND/OR OTHER EXTERIOR DOOR WHERE SHOWN ON THESE PLANS ARE FOR BASE GUIDE ONLY. FRONT ENTRY DOOR SHALL BE MINIMUM OF 3'-0" WIDE OF A STYLE AND MANUFACTURER AS SELECTED BY OWNER. SIDELIGHTS AND/OR TRANSOMS MAY BE PART OF ENTRY DOOR SYSTEM. DOOR SHALL BE INSULATED AND FULLY WEATHERSTRIPPED. LOCKSET HARDWARE TO BE SELECTED BY THE OWNER - THE CONTRACTOR SHALL COORDINATE WITH OWNER ACTUAL DOOR SELECTION FOR REQUIRED ROUGH OPENING DIMENSIONS.

INTERIOR DOOR SPECIFICATIONS:
BASE SPECIFICATION FOR NEW INTERIOR DOORS SHALL BE 1 3/8" THICK X 6'-8" HIGH 6 PANEL MASONITE DOORS PRE-FINISH IN PAINT GRADE JAMBES IN SIZES NOTED ON PLANS OR DOOR SCHEDULE. AT OWNER'S OPTION, NEW DOORS MAY MATCH EXISTING DOORS OR BE UPGRADED AS SELECTED BY OWNER. REVIEW DOOR SELECTION WITH OWNER PRIOR TO ORDERING DOORS. DOORS AT GARAGES AND MECHANICAL ROOMS SHALL BE 1 3/4" THICK 3-1/4 HOUR FIRE RATED LABELED DOORS WITH SELF CLOSING SPRING HINGES.

WINDOW & GLAZED DOOR SPECIFICATION:

1. ALL NEW WINDOWS ARE TO BE 'ANDERSEN' SERIES 400 WINDOWS WITH CLAD EXTERIOR OF TYPES AND SIZES AS CALLED FOR ON PLANS.
2. ALL NEW GLAZED DOORS ARE TO BE 'ANDERSEN' SERIES 400 FRENCHWOOD GLIDING DOORS AND/OR FRENCHWOOD HINGED PATIO DOORS WITH CLAD EXTERIOR OF TYPES AND SIZES AS CALLED FOR ON PLANS.
3. WINDOW MANUFACTURER SUBSTITUTIONS: IF CONTRACTOR WANTS TO SUBSTITUTE A DIFFERENT WINDOW AND GLASS DOOR MANUFACTURER THAN ONE SPECIFIED, CONTRACTOR SHALL SUBMIT TO ARCHITECT WINDOW SPECIFICATIONS AND SIZES SHOWING COMPLIANCE TO BUILDING CODE AND EGRESS WINDOW REQUIREMENTS FOR APPROVAL.
4. ALL GLAZING TO BE DOUBLE PANE HIGH PERFORMANCE LOW E GLASS WITH ARGON.
5. GLAZING IN GLIDING AND PATIO DOORS, SIDELIGHTS AND ALL WINDOWS WHERE GLAZING IS WITHIN 18" OF FINISHED FLOORS ARE TO HAVE TEMPERED SAFETY GLASS.
6. MINIMUM DP RATING FOR WINDOWS AND GLAZED DOORS AREA AS FOLLOWS:
 - CASEMENTS: DP-40
 - AWNINGS: DP-30
 - TILT-WASH DOUBLE HUNG: DP-30
 - GLIDING WINDOWS: DP-30
 - FRENCHWOOD GLIDING DOORS: DP35-40
 - FRENCHWOOD HINGED PATIO DOORS: DP40-60
6. MINIMUM EMERGENCY EGRESS WINDOW SIZES ARE AS FOLLOWS:
 - DOUBLE HUNG: TUB246 - 5'10" SF OPENING, 33 7/8" WIDTH, 24 1/4" HEIGHT IN FULL OPEN POSITION
 - CASEMENT: QUB35 - 5'10" SF OPENING, 22 3/4" WIDTH, 36 3/4" HEIGHT IN FULL OPEN POSITION WITH STRAIGHT AWNING
 - FRENCHWOOD WINDOW: G44 - 6'0" SF OPENING, 20 3/4" WIDTH, 45 1/2" HEIGHT IN FULL OPEN POSITION
 - SEE PLANS FOR ACTUAL EGRESS WINDOW SIZES SPECIFIED.

1. THE CONTRACTOR SHALL COORDINATE WITH OWNER ALL FINISHES AND COLOR OPTIONS OF WINDOWS, HARDWARE AND SCREENS PRIOR TO PLACING WINDOW ORDER.
8. THE CONTRACTOR SHALL VERIFY ALL REQUIRED ROUGH OPENING SIZES FOR SINGLE UNITS AND PULLED UNITS INDICATED.

STRUCTURAL NOTE:
NEW STRUCTURAL INFORMATION MAY BE SHOWN ON ARCHITECTURAL PLANS OR SEPARATE STRUCTURAL PLANS - CONTRACTOR SHALL COORDINATE BETWEEN ARCHITECTURAL PLANS AND SEPARATE STRUCTURAL PLANS (IF PROVIDED) AS REQUIRED

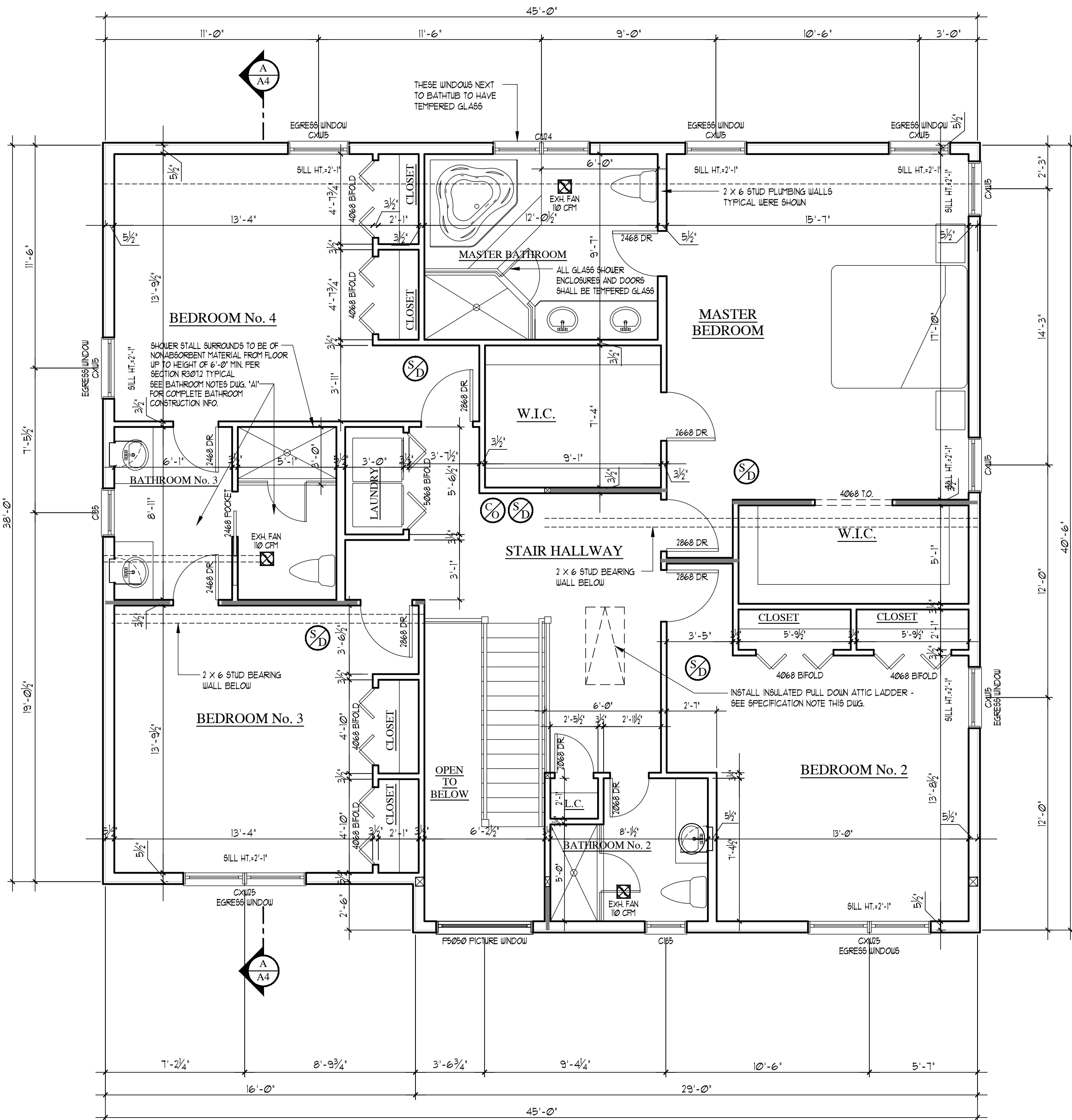
SOUND ATTENUATION BARRIER NOTE:
CONTRACTOR IS TO INSTALL 3" SOUND ATTENUATION BATT INSULATION IN WALLS AND CEILING OF NEW LAUNDRY ROOM, ALL NEW BATHROOMS, ALL NEW BEDROOMS AND AS NOTED ON THE DRAWINGS

CLOSET NOTES:
CONTRACTOR TO PROVIDE AND INSTALL ONE CLOTHES ROD AND 1" DEEP WOOD SHELF MTD. 1-64" AFF. IN ALL NEW CLOSETS EXCEPT LINEN CLOSETS AND MASTER BEDROOM CLOSET.
PROVIDE AND INSTALL (4) 1" DEEP WOOD SHELVES ON ADJUSTABLE STANDARDS IN NEW LINEN CLOSETS.
NEW MASTER BEDROOM CLOSET TO HAVE CUSTOM SHELVING/STORAGE SYSTEMS INSTALLED (TO BE SELECTED BY OWNER)

RESIDENTIAL LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALL OR PARTITION TO REMAIN
	EXISTING WALL OR PARTITION TO BE REMOVED
	NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION - SEE PLANS FOR THICKNESS
	NEW 2 X 4 OR 2 X 6 WOOD STUD ONE HOUR FIRE RATED PARTITION
	NEW 2 X 4 OR 2 X 6 WOOD STUD BEARING WALL
	RECESSED CEILING MTD. EXHAUST FAN DUCTED TO EXTERIOR - CONTROLLED BY WALL SWITCH - SEE PLAN FOR CFM REQUIREMENTS
	SMOKE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW
	CARBON MONOXIDE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW
	HEAT DETECTOR/ALARM - INTERCONNECTED AND HARDWIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW

FROM SECTION R303.1 - EXCEPTION: INTERCONNECTION IS NOT REQUIRED WHERE SMOKE DETECTOR/ALARMS AND CARBON MONOXIDE DETECTOR/ALARMS ARE PERMITTED TO BE BATTERY OPERATED PER SECTION 303.2 WHEN INSTALLING IN BUILDINGS WITHOUT PERMANENT POWER OR IN BUILDINGS THAT UNDERGO REPAIR, ALTERATION, CHANGE OF OCCUPANCY, ADDITION OR RELOCATION IN ACCORDANCE WITH APPENDIX J.



AS-BUILT SECOND FLOOR PLAN

1,782.50 SQ. FT. GROSS FLOOR AREA

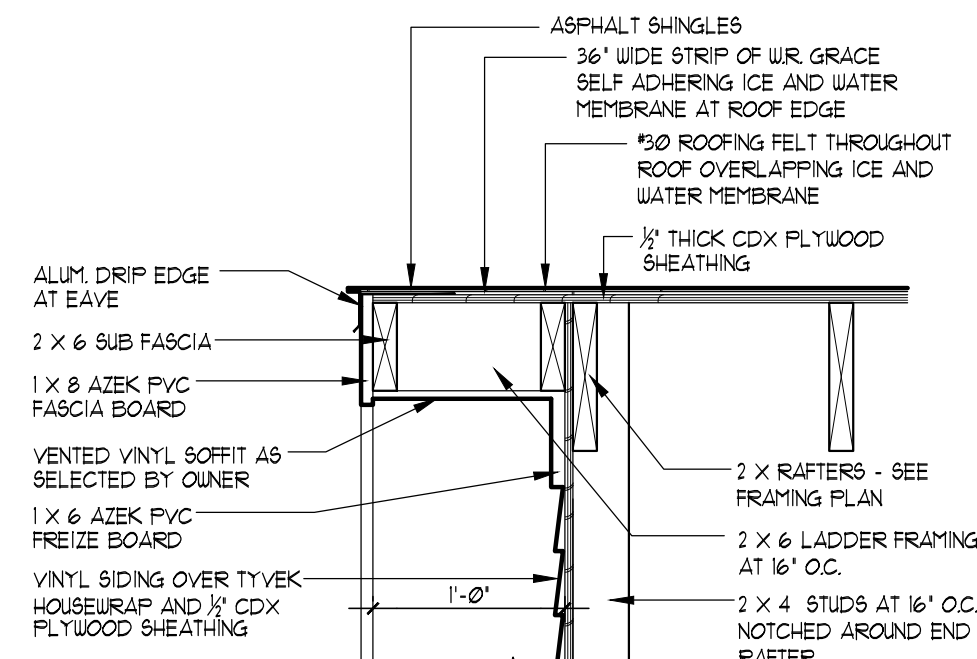
SCALE: 1/4"= 1'-0"

BATHROOM NOTE:
SEE BATHROOM NOTES DWG. 'A1' FOR
BATHROOM CONSTRUCTION INFORMATION

PULL DOWN ATTIC LADDER SPECIFICATION
PULL DOWN ATTIC LADDER SHALL BE THE 'PRESTIGE' LINE OF
TELESCOPING ATTIC STAIRS AS MANUFACTURED BY RAINBOW ATTIC
STAIRS.
ATTIC STAIR TO BE MODEL No. M354 25" WIDE X 54" LONG WITH 350 LB.
CAPACITY. THE ATTIC STAIRS SHALL COME WITH POWDER COATED STEEL
SISBOBS, SAFETY HANDLES, 4'-0" LONG HANDRAIL, 2" THICK R-15
STYROFOAM DOOR CORE, DOUBLE WEATHER STRIPPING, PROTECTIVE
FLOOR BURNERS, STEEL FRAME WITH BUILT IN TRIM, MELAMINE FINISHED
DOOR AND 14" WIDE TREADS.
PULL DOWN ATTIC LADDER SHALL COMPLY WITH SECTION 40224 'ACCESS
HATCHES AND DOORS' OF THE 2015 INTERNATIONAL ENERGY
CONSERVATION CODE.

ROOF PLAN

SCALE: 1/4"= 1'-0"



SECTION DETAIL

SCALE: 1"= 1'-0"

1
A2

RESIDENTIAL LEGEND

SYMBOL	DESCRIPTION
	EXISTING WALL OR PARTITION TO REMAIN
	EXISTING WALL OR PARTITION TO BE REMOVED
	NEW 2 X 4 OR 2 X 6 WOOD STUD PARTITION - SEE PLANS FOR THICKNESS
	NEW 2 X 4 OR 2 X 6 STUD ONE HOUR FIRE RATED PARTITION
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	RECESSED CEILING MTD. EXHAUST FAN DUCTED TO EXTERIOR - CONTROLLED BY WALL SWITCH - SEE PLAN FOR CFM REQUIREMENTS
	SMOKE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW
	CARBON MONOXIDE DETECTOR/ALARM - INTERCONNECTED AND HARD WIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW
	HEAT DETECTOR/ALARM - INTERCONNECTED AND HARDWIRED WITH AUXILIARY BATTERY BACKUP UNLESS EXCEPT - SEE NOTE BELOW

FROM SECTION R301.1 - EXCEPTION: INTERCONNECTION IS NOT REQUIRED WHERE
SMOKE DETECTOR/ALARMS AND CARBON MONOXIDE DETECTOR/ALARMS ARE
PERMITTED TO BE BATTERY OPERATED PER SECTION 301.2 WHEN INSTALLING IN
BUILDINGS WITHOUT PERMANENT POWER OR IN BUILDINGS THAT UNDERGO REPAIR,
ALTERATION, CHANGE OF OCCUPANCY, ADDITION OR RELOCATION IN
ACCORDANCE WITH APPENDIX J.

STRUCTURAL NOTE:
NEW STRUCTURAL INFORMATION MAY BE SHOWN ON ARCHITECTURAL PLANS OR
SEPARATE STRUCTURAL PLANS - CONTRACTOR SHALL COORDINATE BETWEEN
ARCHITECTURAL PLANS AND SEPARATE STRUCTURAL PLANS (IF PROVIDED) AS
REQUIRED

SOUND ATTENUATION BLANKET NOTE:
CONTRACTOR IS TO INSTALL 3" SOUND ATTENUATION BATT INSULATION IN
WALLS AND CEILING OF NEW LAUNDRY ROOM. ALL NEW BATHROOMS, ALL NEW
BEDROOMS AND AS NOTED ON THE DRAWINGS

CLOSET NOTES:
CONTRACTOR TO PROVIDE AND INSTALL ONE CLOTHES ROD AND 1" DEEP
WOOD SHELF MTD. 164" AFF. IN ALL NEW CLOSETS EXCEPT LINEN CLOSETS
AND MASTER BEDROOM CLOSETS.
NEW MASTER BEDROOM CLOSETS TO HAVE CUSTOM SHELVING/STORAGE
SYSTEMS INSTALLED (TO BE SELECTED BY OWNER).

WINDOW & GLAZED DOOR SPECIFICATION:
1. ALL NEW WINDOWS ARE TO BE 'ANDERSEN' SERIES 400 WINDOWS WITH
CLAD EXTERIOR OF TYPES AND SIZES AS CALLED FOR ON PLANS.
2. ALL NEW GLAZED DOORS ARE TO BE 'ANDERSEN' SERIES 400
FRENCHWOOD GLIDING DOORS AND/OR FRENCHWOOD HINGED PATIO
DOORS WITH CLAD EXTERIOR OF TYPES AND SIZES AS CALLED FOR ON
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3. WINDOW MANUFACTURER SUBSTITUTIONS: IF CONTRACTOR WANTS TO
SUBSTITUTE A DIFFERENT WINDOW AND GLASS DOOR MANUFACTURER
THAN ONE SPECIFIED, CONTRACTOR SHALL SUBMIT TO ARCHITECT
WINDOW SPECIFICATIONS AND SIZES SHOWING COMPLIANCE TO BUILDING
CODES AND EGRESS WINDOW REQUIREMENTS FOR APPROVAL.
4. ALL GLAZING TO BE DOUBLE PANE HIGH PERFORMANCE LOW E GLASS
WITH ARGON.
5. GLAZING IN GLIDING AND PATIO DOORS, SIDELIGHTS AND ALL WINDOWS
WHERE GLAZING IS WITHIN 18" OF FINISHED FLOORS ARE TO HAVE
TEMPERED SAFETY GLASS.
6. MINIMUM DP RATING FOR WINDOWS AND GLAZED DOORS AREA AS
FOLLOWS:
• CASEMENTS - DP-40
• AWNINGS - DP-30
• TILT-WASH DOUBLE HINGES - DP-30
• GLIDING WINDOWS - DP-30
• FRENCHWOOD GLIDING DOORS - DP35-40
• FRENCHWOOD HINGED PATIO DOORS - DP40-60
7. MINIMUM EMERGENCY EGRESS WINDOW SIZES ARE AS FOLLOWS:
• DOUBLE HUNG - TUB246 - 5'10" SF OPENING, 33 7/8" WIDTH, 24 1/4"
HEIGHT IN FULL OPEN POSITION
• CASEMENT - QUB35 - 5'10" SF OPENING, 22 3/4" WIDTH, 36 3/8" HEIGHT
IN FULL OPEN POSITION WITH STRAIGHT AWNING
• GLIDING WINDOW - G44 - 6'0" SF OPENING, 20 3/4" WIDTH, 40 3/4"
HEIGHT IN FULL OPEN POSITION
• SEE PLANS FOR ACTUAL EGRESS WINDOW SIZES SPECIFIED.
8. THE CONTRACTOR SHALL COORDINATE WITH OWNER ALL FINISHES AND
COLOR OPTIONS OF WINDOWS, HARDWARE AND SCREENS PRIOR TO
PLACING WINDOW ORDER.
9. THE CONTRACTOR SHALL VERIFY ALL REQUIRED ROUGH OPENING SIZES
FOR SINGLE UNITS AND PULLED UNITS INDICATED.

INTERIOR DOOR SPECIFICATIONS:
BASE SPECIFICATION FOR NEW INTERIOR DOORS SHALL BE 1 3/8" THICK X 6'-8"
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NOTED ON PLANS OR DOOR SCHEDULE. AT OWNER'S OPTION, NEW DOORS MAY
MATCH EXISTING DOORS OR BE UPGRADED AS SELECTED BY OWNER. REVIEW
DOOR SELECTION WITH OWNER PRIOR TO ORDERING DOORS. DOORS AT
GARAGES AND MECHANICAL ROOMS SHALL BE 1 3/4" THICK 3/4 HOUR FIRE
RATED LABELED DOORS WITH SELF CLOSING SPRING HINGES.

ENTRY AND/OR EXTERIOR DOOR SPECIFICATIONS:
NEW FRONT ENTRY AND/OR OTHER EXTERIOR DOOR WHERE SHOWN ON THESE
PLANS ARE FOR BASE GUIDE ONLY. THE CONTRACTOR SHALL COORDINATE WITH
OWNER SIDE LIGHTS AND/OR TRANSOMS MAY BE PART OF ENTRY DOOR SYSTEM. DOOR
SHALL BE INSULATED AND FULLY LEATHERSTRIPPED. LOCKSET HARDWARE TO
BE SELECTED BY THE OWNER - THE CONTRACTOR SHALL COORDINATE WITH
OWNER ACTUAL DOOR SELECTION FOR REQUIRED ROUGH OPENING DIMENSIONS.

DIMENSION NOTE:
ALL DIMENSIONS INDICATED AT NEW ADDITIONS ARE ROUGH FRAMING
DIMENSIONS - DIMENSION INDICATED WITHIN EXISTING DWELLING ARE EITHER
FINISH TO FINISH DIMENSIONS OR FINISH TO ROUGH FRAMING DIMENSIONS -
CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINISH TO FINISH DIMENSIONS
IN THE FIELD FOR PURPOSES OF FINISHED CABINETRY WORK, APPLIANCE
CLEARANCE REQUIREMENTS AND INTERIOR MILLWORK.

SPECIFICATIONS NOTE:
SEE GENERAL NOTES SHEETS 'G1' AND 'G2' FOR ADDITIONAL CONSTRUCTION
INFORMATION - THE CONTRACTOR AND ALL SUB CONTRACTORS ARE TO READ
ALL CONSTRUCTION NOTES AND BE FAMILIAR WITH WORK OF OTHER TRADES.

GENERAL NOTES:
1. CONTRACTOR SHALL FIELD VERIFY EXISTING FLOOR AND ROOF FRAMING
SIZES AND SPACINGS, SUB FLOOR AND SHEATHING THICKNESS PRIOR TO START
OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FRAMING.
2. CONTRACTOR SHALL ALIGN NEW FIRST AND SECOND SUB FLOORS WITH
EXISTING SUB FLOORS.
3. ALL NEW FINISHES TO BE SELECTED BY OWNERS.
4. INSTALL 1/2" A-C PLYWOOD UNDERLAMENT OVER NEW SUB FLOORS IF
OWNERS SELECT CARPETING IN NEW ADDITION.

PROJECT NAME:
AS-BUILT DRAWINGS FOR:
THE STRICKER RESIDENCE
51 JOYCE ROAD
EASTCHESTER, NEW YORK

DWG. TITLE:
**AS-BUILT SECOND FLOOR AND ROOF
PLANS WITH PROPOSED CHANGES**

150 White Plains Road
Suite 103
Tarrytown, NY 10591
Tel : 914-909-5143
Fax : 914-909-5144

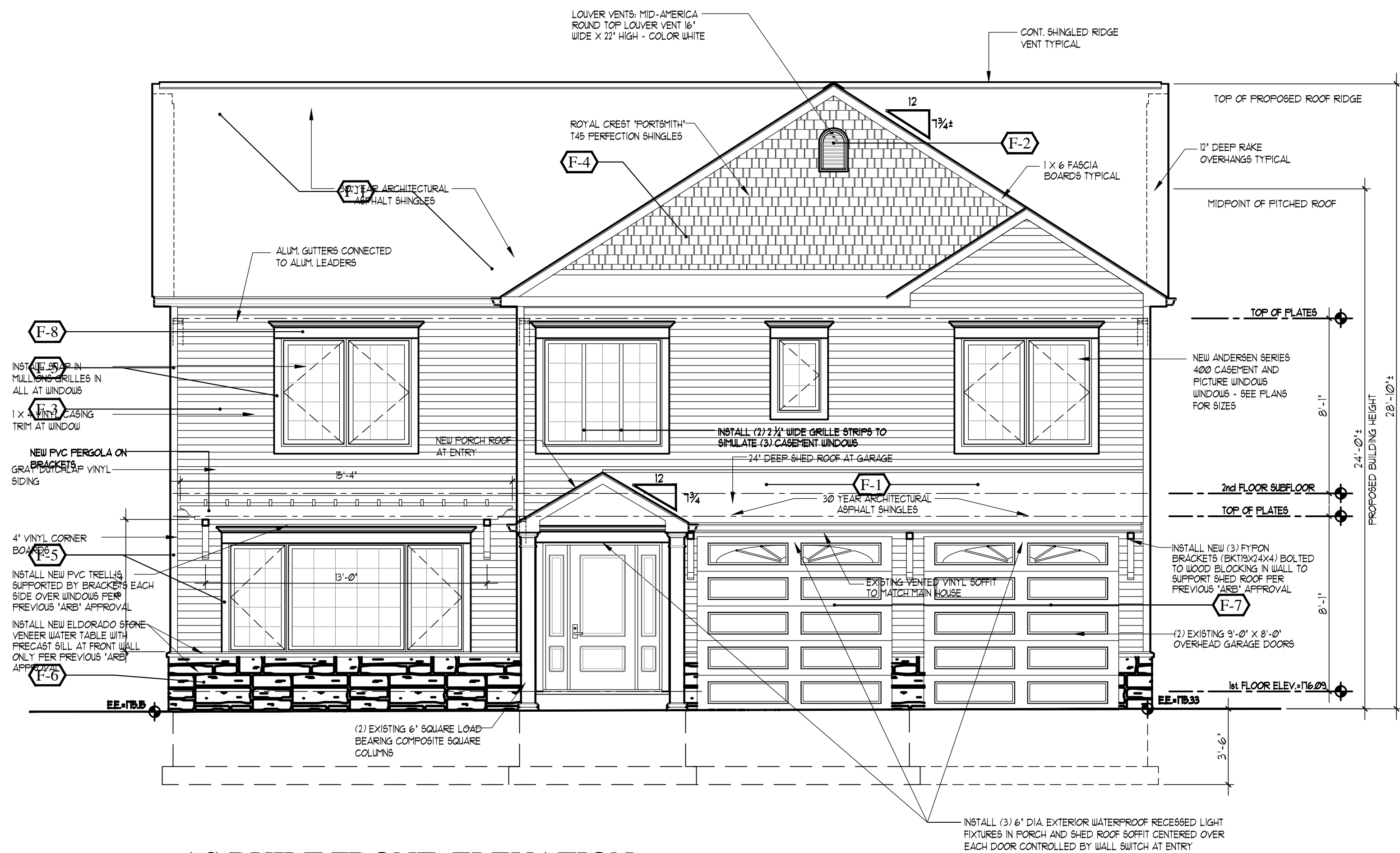
DRAWN BY: C.R.P.
CHECKED BY:
SCALE: AS NOTED
PROJECT NO: 160504
START DATE: 05-27-16

Architect's Seal

ADDED WINDOW & DOOR CASING & HEAD TRIM. REVISED LARGE PICTURE WINDOW'S GRILLE PATTERN. REVISED GARAGE DOOR STYLE TO REFLECT THE ACTUAL DOORS CHANGES REQUESTED BY ABB FOR APPROVAL.	11-27-19	C.P.	DATE	DESCRIPTION
REVISED FLOOR PLANS AND ELEVATIONS TO REVISED FLOOR PLANS AND ELEVATIONS TO SHOW AS-BUILT CONDITIONS AND PROPOSED CHANGES TO GET NEW ABB APPROVAL.	10-21-19	C.P.	DATE	DESCRIPTION
REVISED ELEVATIONS TO SHOW PROPOSED CHANGES REQUESTED BY ABB FOR APPROVAL.	11-27-19	C.P.	DATE	DESCRIPTION
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REVISIONS

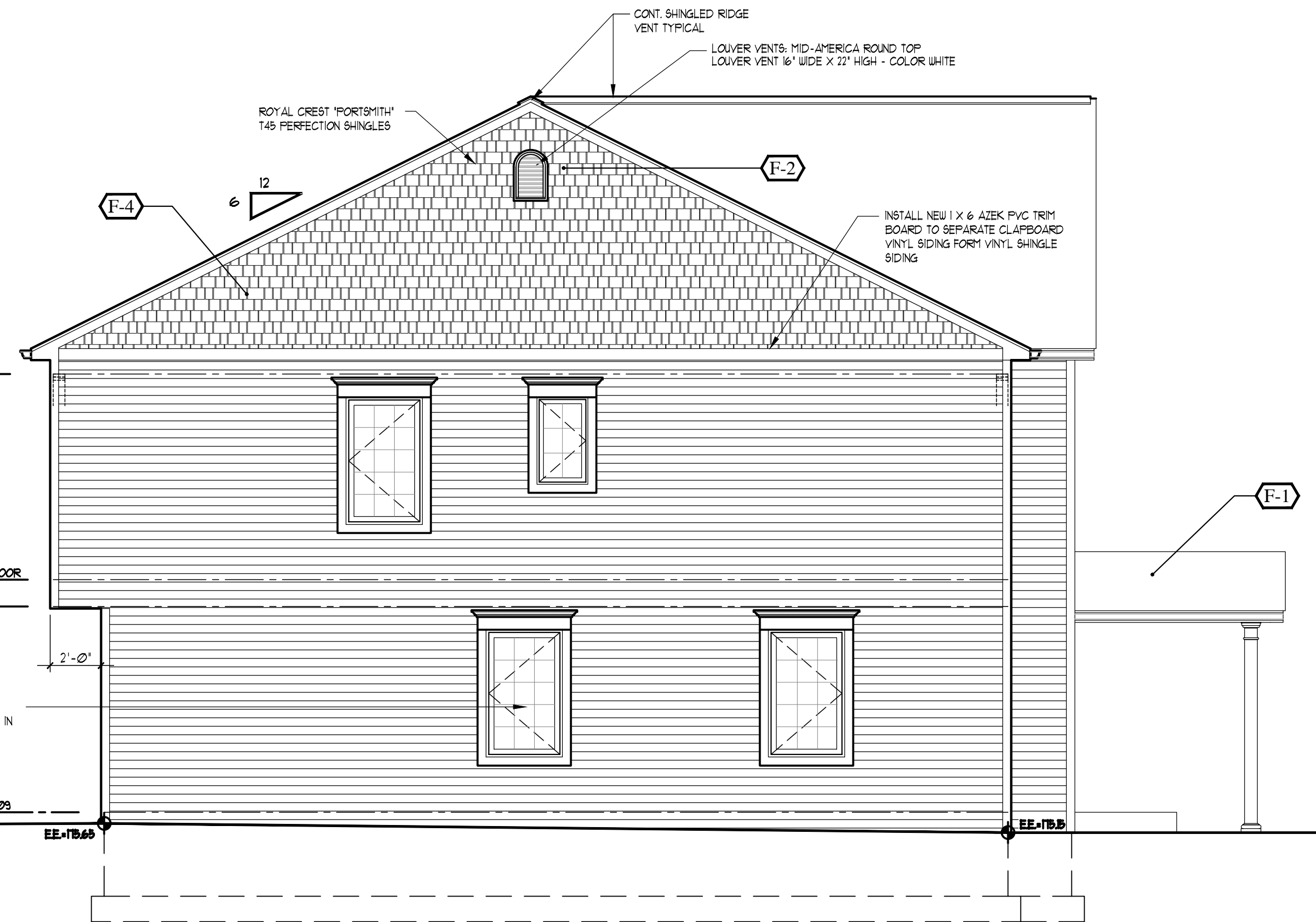
DWGS ISSUED



AS BUILT FRONT ELEVATION (WITH PROPOSED CHANGES)

SCALE: 1/4"= 1'-0"

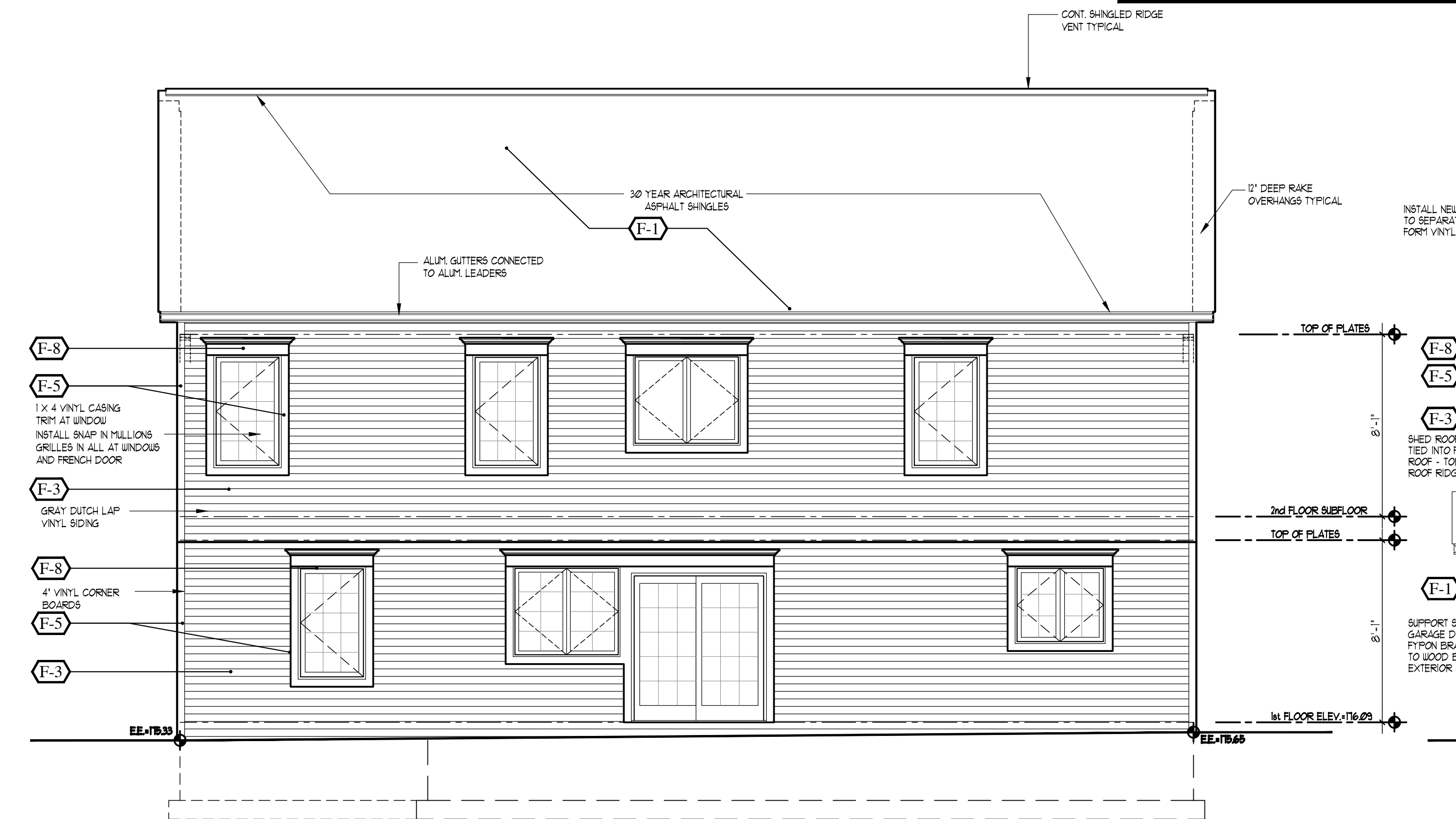
PROPOSED CHANGES TO AS-BUILT PLAN



AS BUILT LEFT SIDE ELEVATION (WITH PROPOSED CHANGES)

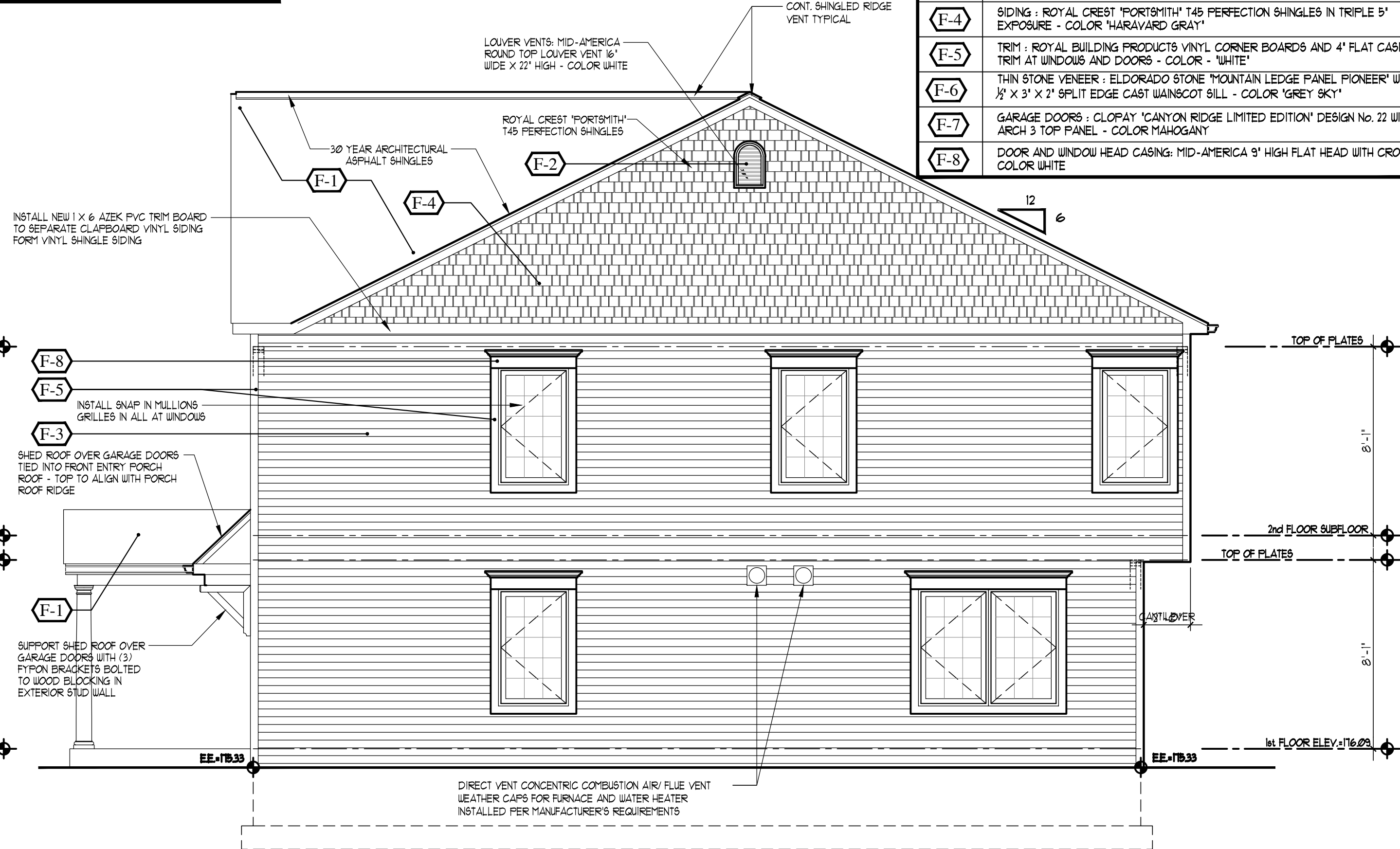
SCALE: 1/4"= 1'-0"

EXTERIOR FINISHES LEGEND	
KEY	FINISH DESCRIPTION
F-1	ROOFING : GAF "TIMBERLINE" NATURAL SHADOW ARCHITECTURAL ASPHALT SHINGLE - COLOR : "PEWTER GRAY"
F-2	LOUVER VENTS: MID-AMERICA ROUND TOP LOUVER VENT 16" WIDE X 22" HIGH - COLOR WHITE
F-3	SIDING : ROYAL CREST DOUBLE 5" TRADITIONAL EXPOSURE VINYL SIDING - COLOR "HARVARD GRAY"
F-4	SIDING : ROYAL CREST "PORTSMITH" T45 PERFECTION SHINGLES IN TRIPLE 5" EXPOSURE - COLOR "HARVARD GRAY"
F-5	TRIM : ROYAL BUILDING PRODUCTS VINYL CORNER BOARDS AND 4" FLAT CASING TRIM AT WINDOWS AND DOORS - COLOR : "WHITE"
F-6	THIN STONE VENEER : ELDORADO STONE "MOUNTAIN LEDGE PANEL PIONEER" WITH 2 1/2" X 3" X 2" SPLIT EDGE CAST WAINSCOT SILL - COLOR "GREY SKY"
F-7	GARAGE DOORS : CLOPAY "CANYON RIDGE LIMITED EDITION" DESIGN No. 22 WITH ARCH 3 TOP PANEL - COLOR MAHOGANY
F-8	DOOR AND WINDOW HEAD CASING: MID-AMERICA 9" HIGH FLAT HEAD WITH CROWN - COLOR WHITE



AS BUILT REAR ELEVATION (WITH PROPOSED CHANGES)

SCALE: 1/4"= 1'-0"



AS BUILT RIGHT SIDE ELEVATION (WITH PROPOSED CHANGES)

SCALE: 1/4"= 1'-0"

SHEET No.

A3B

REVISIONS

DWGS ISSUED

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AS-BUILT ELEVATIONS
WITH PROPOSED CHANGES

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