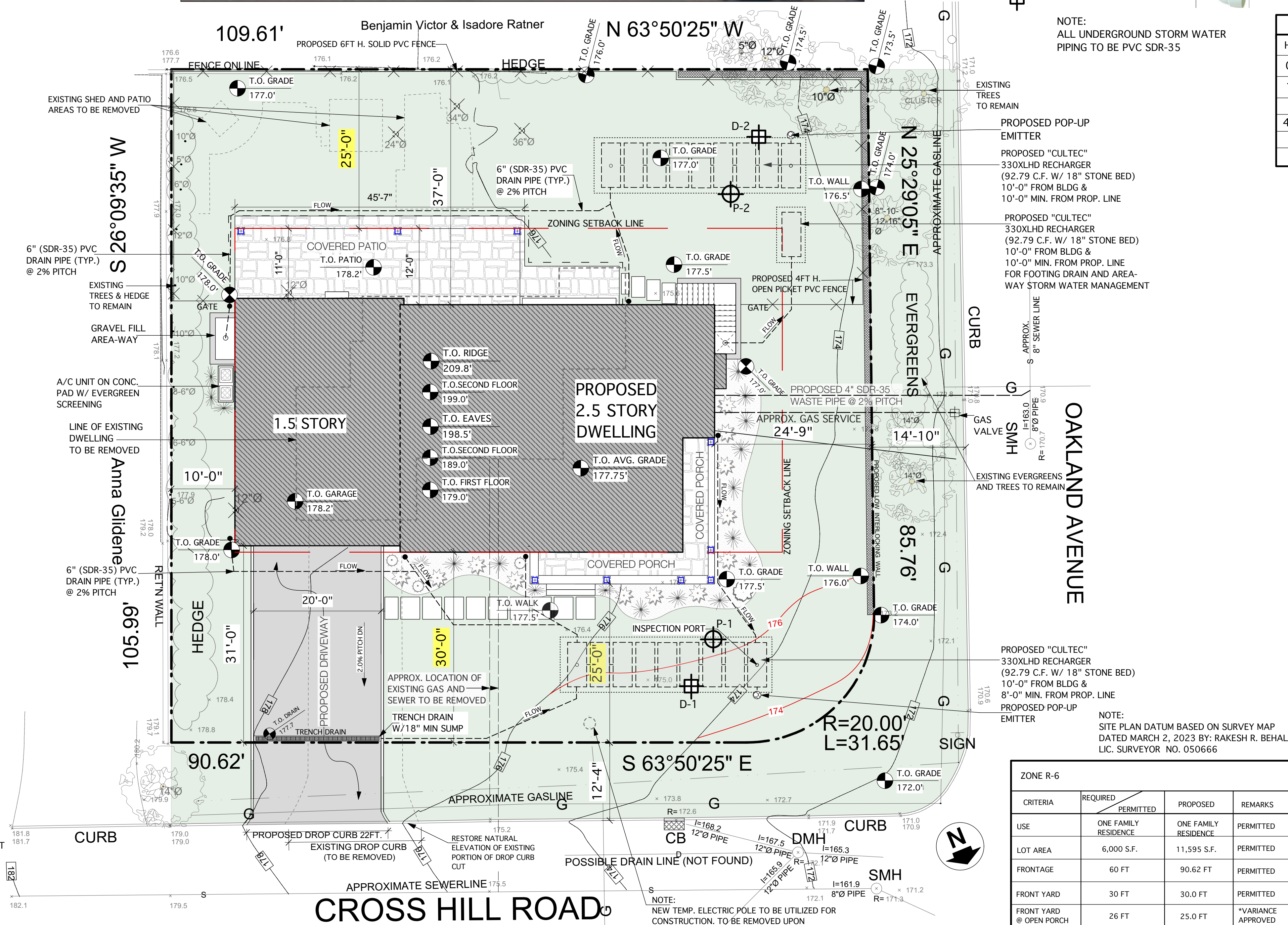
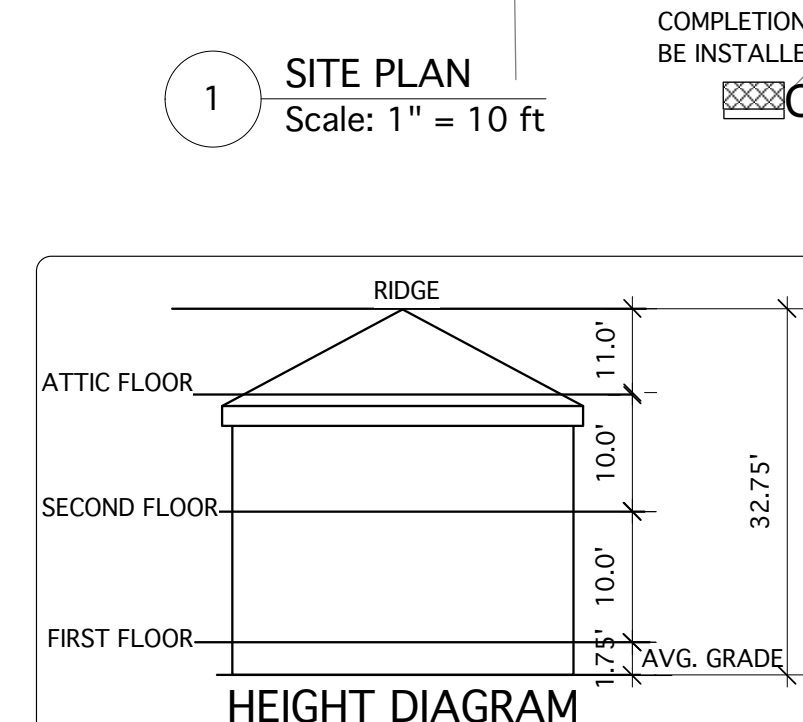
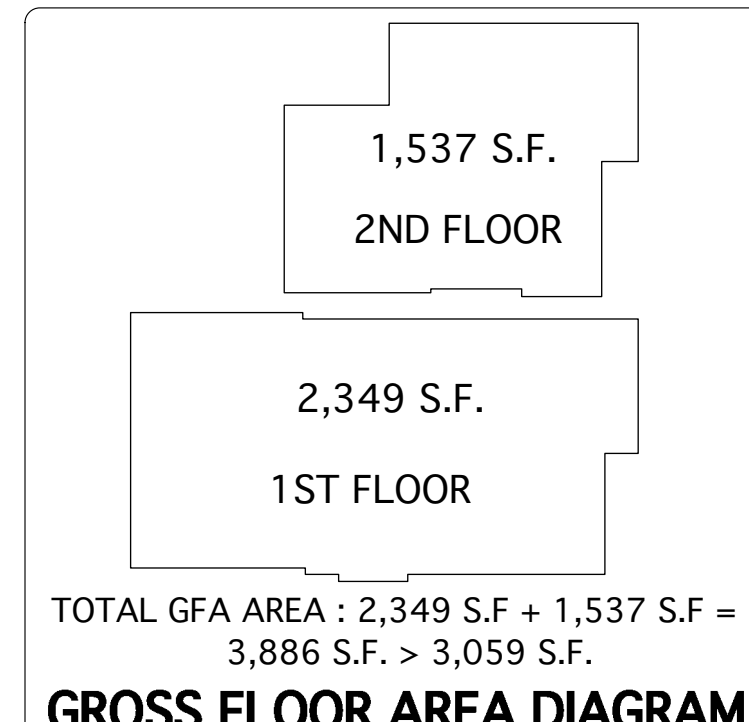
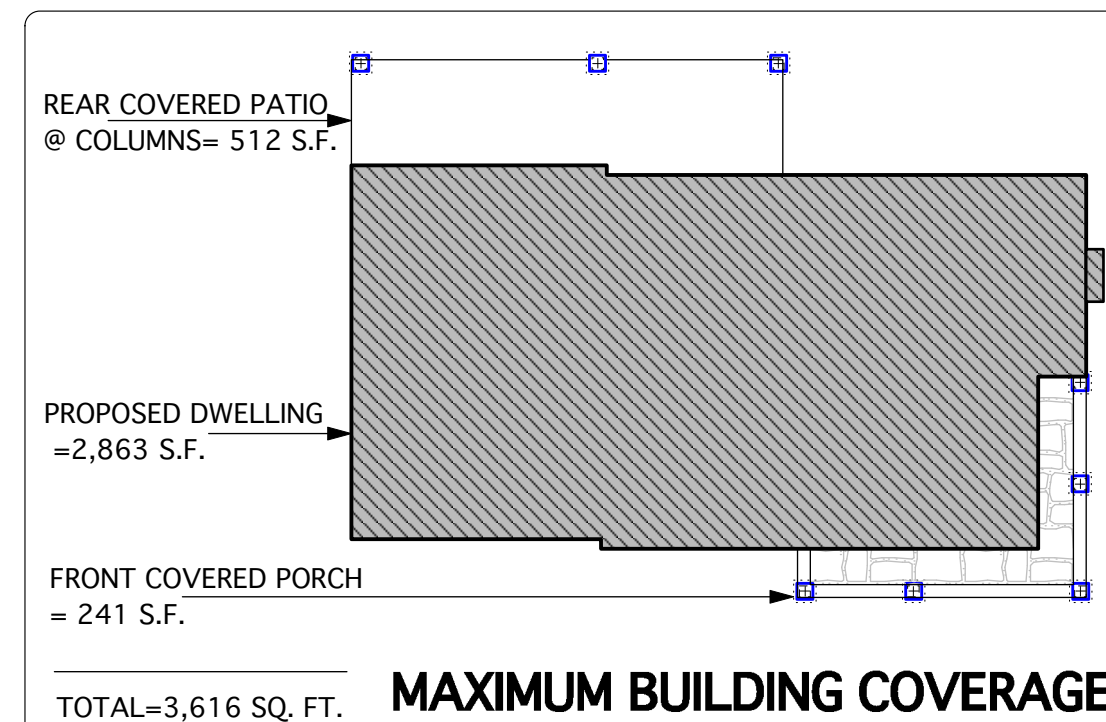


NOTE:  
TO OBTAIN ENGINEERING APPROVAL  
BEFORE THE ISSUING OF ANY BUILDING PERMIT

NOTE:  
ALL RESTORATION AND UTILITY WORK IN THE  
R.O.W. TO BE DONE IN COMPLIANCE WITH THE  
TOWN OF EASTCHESTER HIGHWAY DEPARTMENT  
STANDARDS AND SPECIFICATIONS.



PERCOLATION TESTS- RUN DATE: 05-21-2024 (MORNING)						
HOLE NO.	RUN #	ELAPSE TIME (MINUTES)	DEPTH OF WATER FROM GROUND SURFACE		WATER LEVEL DROP IN INCHES	SOIL RATE MIN/IN DROP
			START INCHES	STOP INCHES		
P-1 HOLE DEPTH 48"	1	6:00	33"	30"	3"	
	2	9:00	33"	30"	3"	
	3	12:00	33"	30"	3"	
P-2 HOLE DEPTH 48"	1	26:00	36"	33"	3"	
	2	40:00	36"	33"	3"	
	3	46:00	36"	33"	3"	

NOTE: ALL HOLES THOROUGHLY PRE-SOAKED 05-21-2024 (MORNING).



 DEEP TEST LOCATION



NOTE:  
ALL UNDERGROUND STORM WATER  
PIPING TO BE PVC SDR-35

FIELD TEST RESULTS / DEEP TETS				
HOLE # D-1		HOLE # D-2		SOIL TYPE
0	12"	0	10"	TOP SOIL
12"	48"	46"	70"	GRAVEL SAND MIX
		10"	46"	SANDY CLAY MIX
48"	132"	70"	132"	MIX SAND W/ SOME ROCKS



**PROPOSED NEW SINGLE  
FAMILY RESIDENCE  
2 CROSS HILL RD  
EASTCHESTER, NY 10709**

**PROPERTY OWNER:**  
**MR & MRS MARTIN**  
2 CROSS HILL RD  
EASTCHESTER NY, 10709

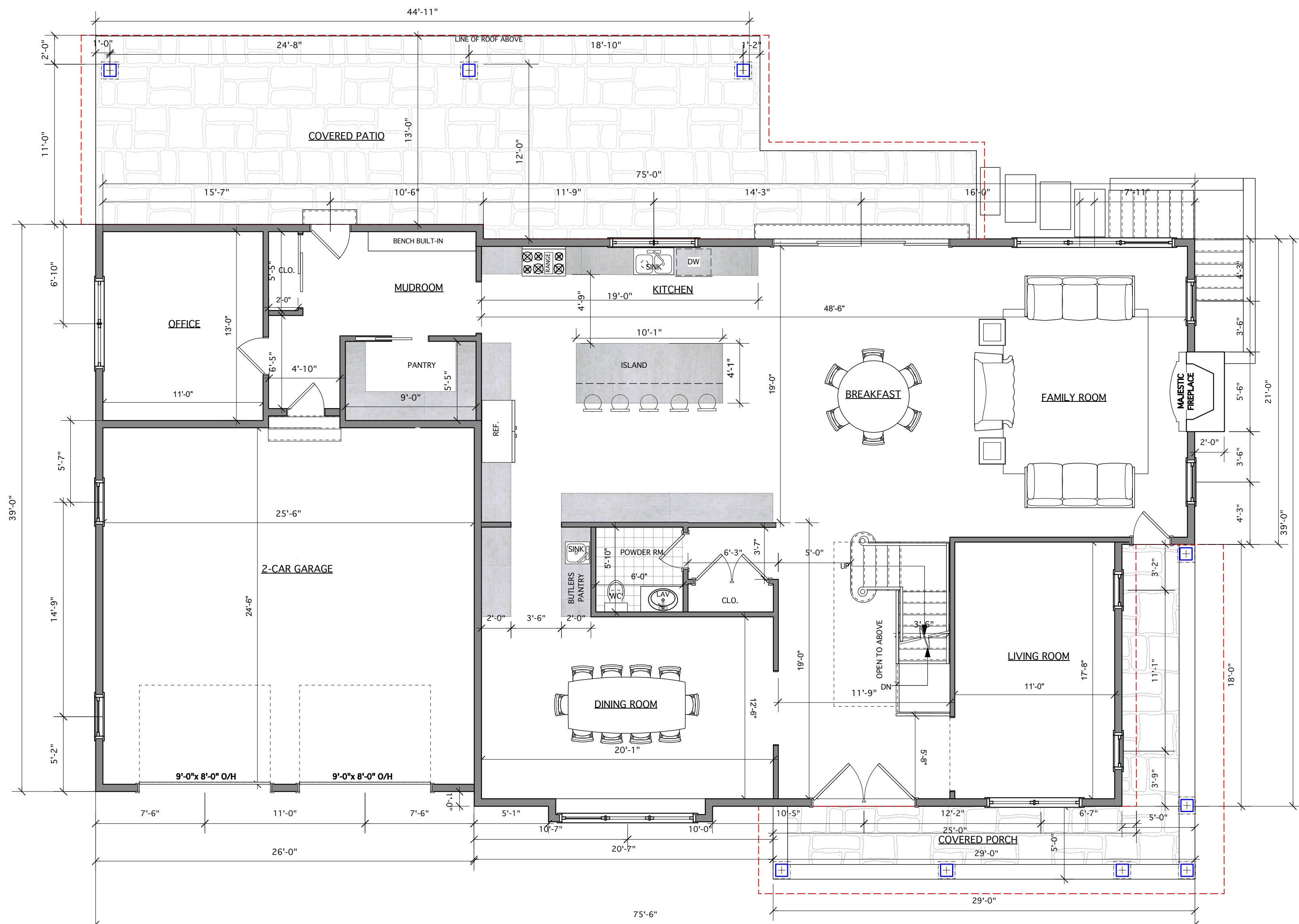
**SITE PLAN, NOTES, &  
DETAILS**

NO.	REVISION	DATE	PROJECT ID/DATE : 23 / 5.1.23
			SHEET SCALE: AS NOTED
			<h1>SP.1</h1>
			DRAWN BY: <u>AM</u> CHECKED BY: <u>MM</u>
			SUBMISSION DATE: 5/23/24

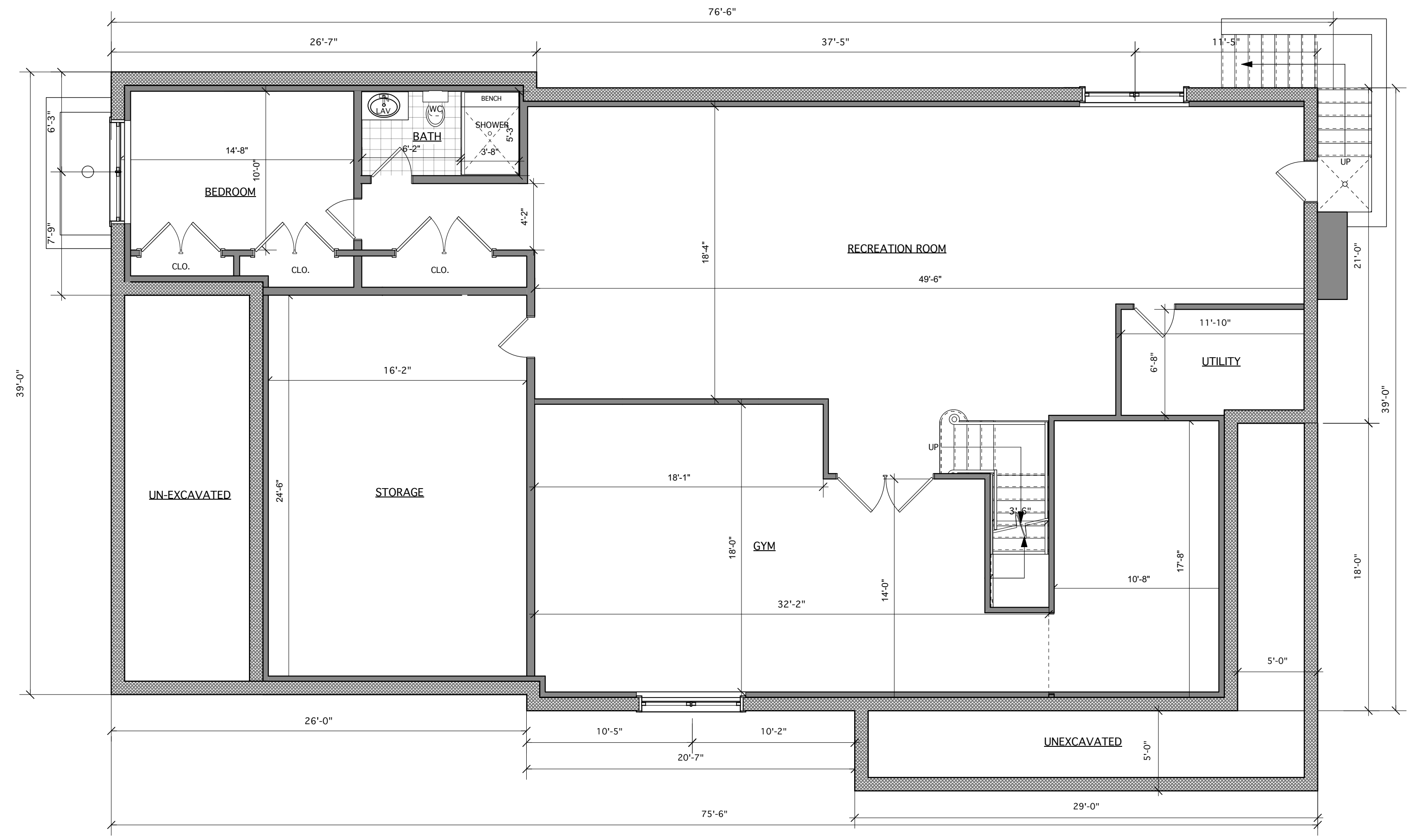
## SP.1

RAWN BY: AM CHECKED BY: MM  
SUBMISSION DATE: 5/21/24





1 FIRST FLOOR PLAN  
A.1 Scale: 3/16" = 1'-0"

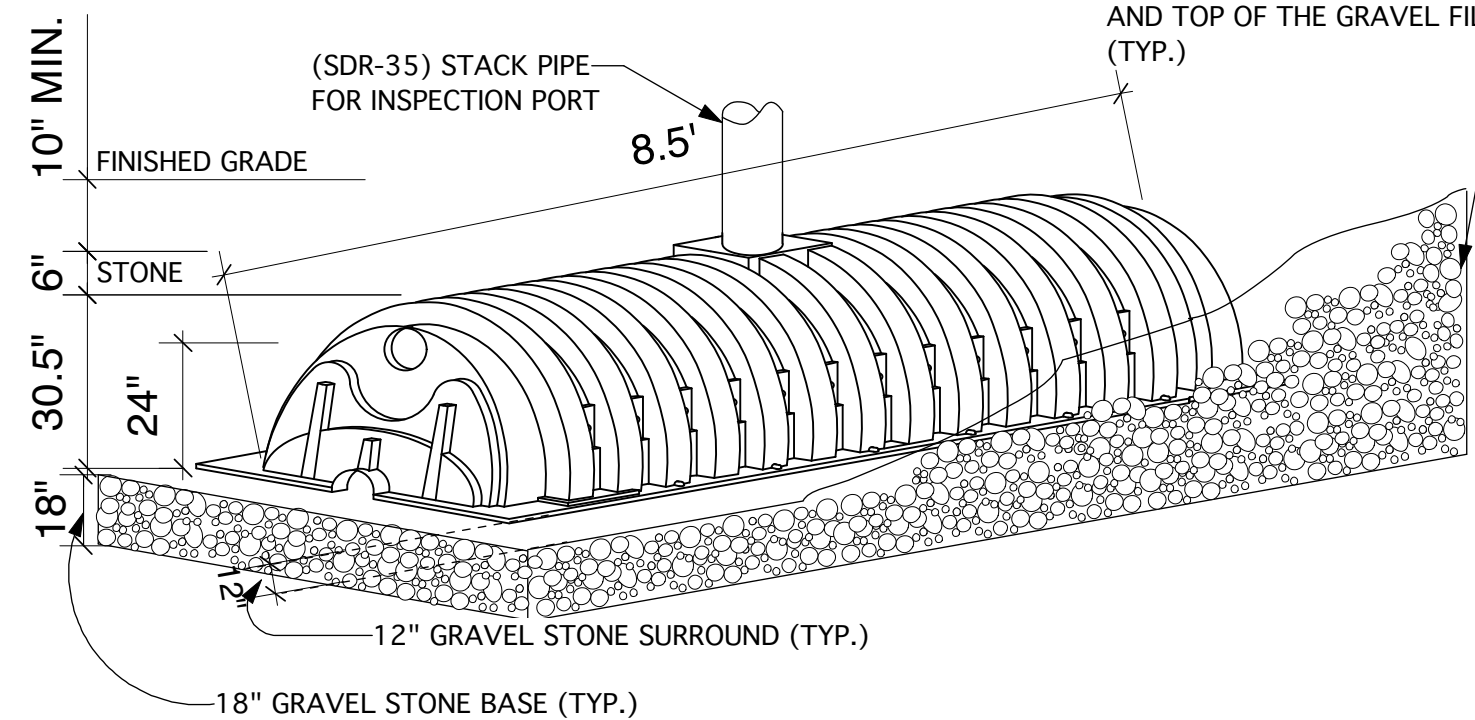


2 BASEMENT FLOOR PLAN  
A.1 Scale: 3/16" = 1'-0"

**SOIL EROSION NOTES:**  
1. PRIOR TO STARTING ANY CONSTRUCTION, TEMPORARY SILT TRAPS, SEDIMENTATION FENCES AND OTHER APPROVED SOIL CONTROL MEASURES SHALL BE PLACED AS REQUIRED. ADDITIONAL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED WHERE DEEMED NECESSARY TO SUPPLEMENT THE EROSION CONTROL DETAILS AS SHOWN ON THIS DRAWING.  
2. CONTRACTOR SHALL TAKE EXTRA CARE WITH RESPECT TO LAND EXPOSED DURING DEVELOPMENT. THE EXPOSED LAND AREA SHALL BE KEPT TO A MIN. TIME PERIOD. PERMANENT SITE IMPROVEMENT METHODS AND STRUCTURES SHALL TAKE PLACE AT THE EARLIEST POSSIBLE OPPORTUNITY.  
3. CONTRACTOR SHALL ENSURE THE MAINTENANCE OF SOIL EROSION FENCES AS PER REQUIREMENTS OF MUNICIPAL AUTHORITIES HAVING JURISDICTION THEREOF.  
4. CONTRACTOR SHALL KEEP ALL PUBLIC AND PRIVATE ADJOINING AREAS CLEAR OF SEDIMENTATION DEBRIS. HE SHALL BRUSH CLEAN ALL DEBRIS FROM SIDEWALKS AND STREETS AT THE END OF EACH WORK DAY.  
5. METHODS FOR OPEN EXCAVATION EMBANKMENTS NOT REQUIRING SILT FENCES OR STRAW BALES CAN BE EMPLOYED SUBJECT TO SOIL CONDITIONS AND WHERE SLOPES DO NOT EXCEED A PITCH OF 3" IN 12". LOOSE STONE AND ROCK SHALL BE REMOVED FROM SITE. COMPACTED AND SEEDDED TOP SOIL SHALL BE INSTALLED FOR SOIL PROTECTION.  
6. THIS ARCHITECT AND OR ENGINEER HAS NOT BEEN RETAINED FOR CONSTRUCTION ADMINISTRATION RELATED TO THE WORK THEREOF.  
7- ALL WORK SHALL MEET THE WESTCHESTER COUNTY REQUIREMENTS

**DEMOLITION:**  
1- CONTRACTOR SHALL DO ALL DEMOLITION REQUIRED FOR THE COMPLETION OF WORK SHOWN ON DRAWINGS.  
2- HE SHALL ALLOW NO DEBRIS TO ACCUMULATE AND SHALL HAUL AWAY FROM SITE ALL DEBRIS AT CONTRACTOR'S EXPENSE.  
3- HE SHALL PROVIDE PROTECTION OF ALL ADJACENT OR NEIGHBOURING PROPERTY FROM DAMAGE, INJURY AND DISCOMFORT CAUSED BY DUST. HE SHALL PROTECT UTILITY LINES AS REQUIRED.  
**SHORING AND BRACING:**  
1- CONTRACTOR SHALL PROTECT SITE FROM CAVING AND SOIL MOVEMENT HE SHALL LOCATE SYSTEMS TO CLEAR PERMANENT CONSTRUCTION AND TO PERMIT FORMING AND FINISHING OF CONCRETE SURFACES.  
2- CONTRACTOR SHALL LOCATE BRACING TO CLEAR COLUMNS, FLOOR FRAMING CONSTRUCTION, AND OTHER PERMANENT WORK. INSTALL NEW BRACE PRIOR TO REMOVING OLD BRACE.

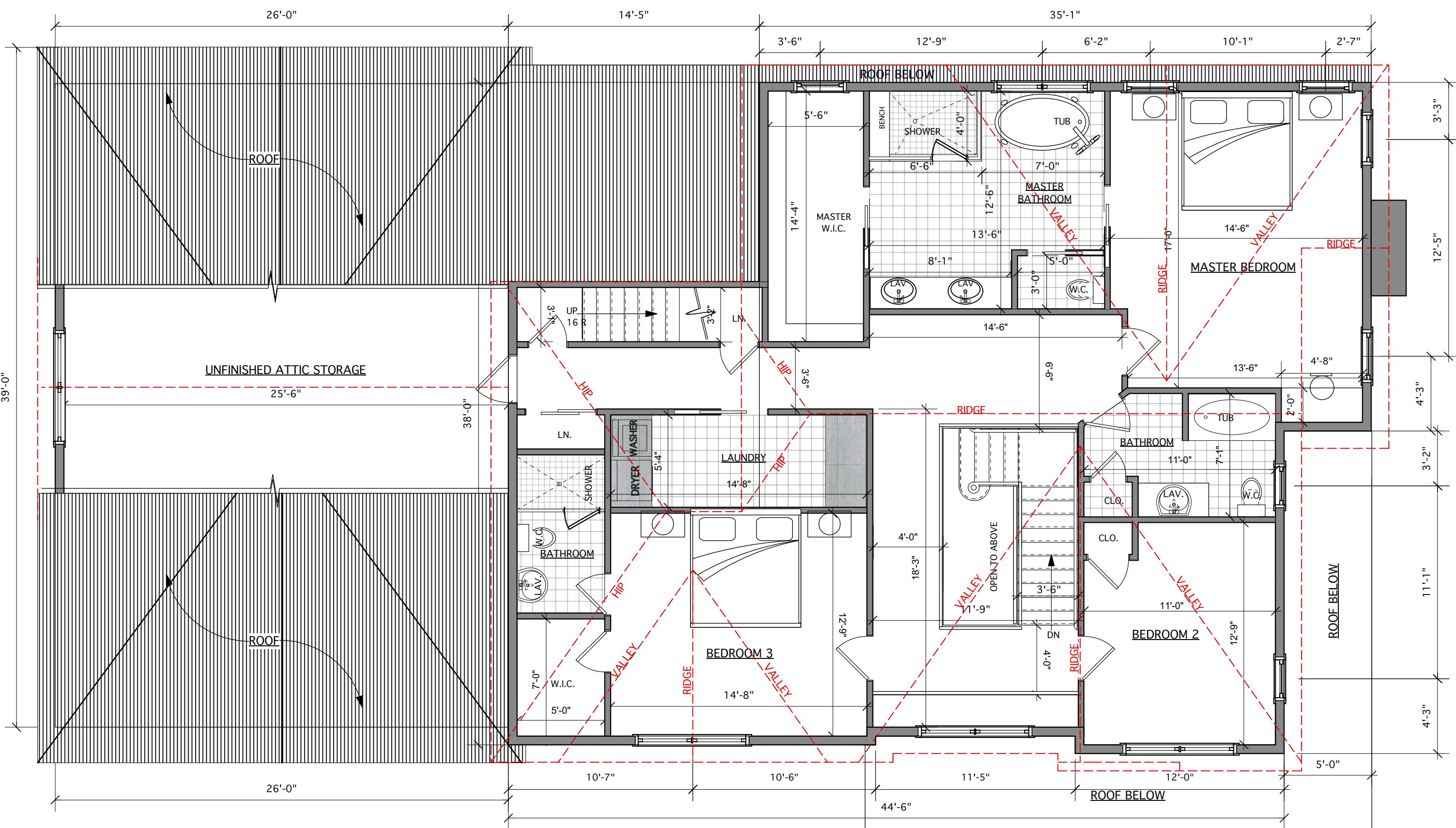
FILTER FABRIC TO BE INSTALLED ON THE EXTERIOR AND TOP OF THE GRAVEL FILL (TYP.)



6 DRYWELL DETAIL  
A.1 "CULTEC" RECHARGER 330XLHD

TO UTILIZE 6" XHC1 SOLID COVER CAP AT STACK PIPE IN DRIVEWAY FOR INSPECTION PORT. IN COMPLIANCE WITH H-20 VEHICLE LOADING

RECHARGER 330 XLHD SPECIFICATIONS	
LENGTH	8.5'
INSTALLED LENGTH	7.0'
WIDTH	52"
HEIGHT	30.5"
INLET	24"
CHAMBER STORAGE	79.26 FT <sup>3</sup>
MIN. STORAGE WITH 18" STONE BASE	92.79 FT <sup>3</sup>



3 SECOND FLOOR PLAN  
A.1 Scale: 3/16" = 1'-0"

**PARTITION LEGEND**

[Symbol]	= MASONRY WALL
[Symbol]	= BEARING WD PARTITION WALLS
[Symbol]	= 2"x6" PARTITIONS W/ R-20 BATT INSULATION
[Symbol]	= WD PARTITIONS

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**PROPOSED NEW SINGLE FAMILY RESIDENCE**  
2 CROSS HILL RD  
EASTCHESTER, NY 10709  
SECTION:65N BLOCK 5 LOT(S):103 ZONE: R-6

**PROPERTY OWNER:**  
MR & MRS MARTIN  
2 CROSS HILL RD  
EASTCHESTER NY, 10709

**BASEMENT, FIRST, & SECOND FLOOR PLANS**  
ARB - SET

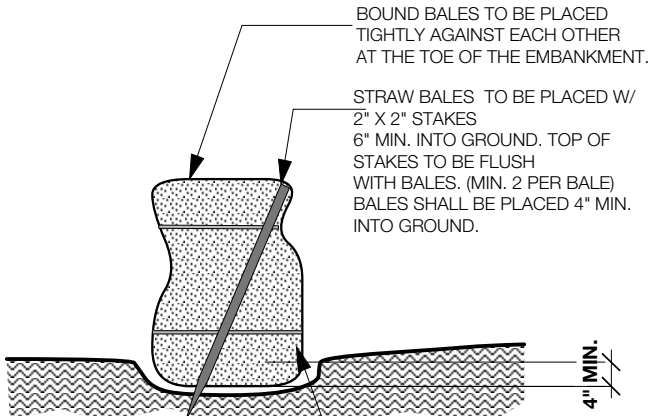
NO.	REVISION	DATE

PROJECT ID/DATE: 23 / 5.1.23  
SHEET SCALE: AS NOTED

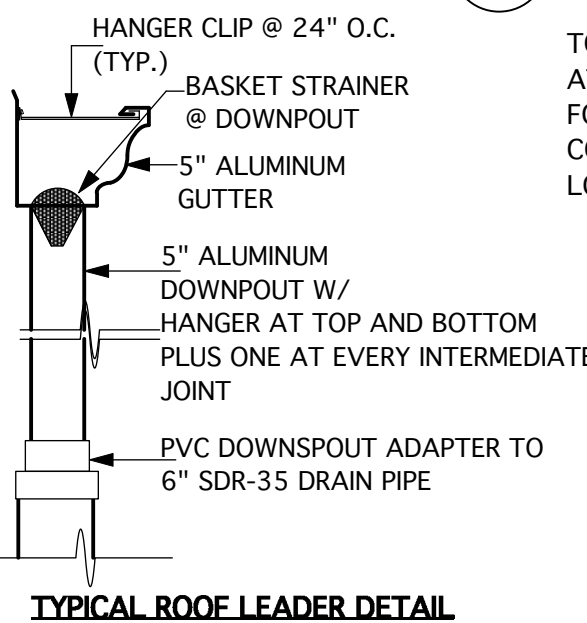
**A-1**

DRAWN BY: AM CHECKED BY: MM  
SUBMISSION DATE: 5/21/24

4 SILT FENCE DETAIL  
A.1 NOT TO SCALE



5 STRAW BALE PLACEMENT DETAIL  
A.1 NOT TO SCALE



TYPICAL ROOF LEADER DETAIL





RENDER VIEW FROM CORNER OF CROSS HILL RD AND OAKLAND AVE



RENDER VIEW FROM CROSS HILL RD (FRONT ELEVATION)



RENDER VIEW FROM CROSS HILL RD (WEST VIEW)

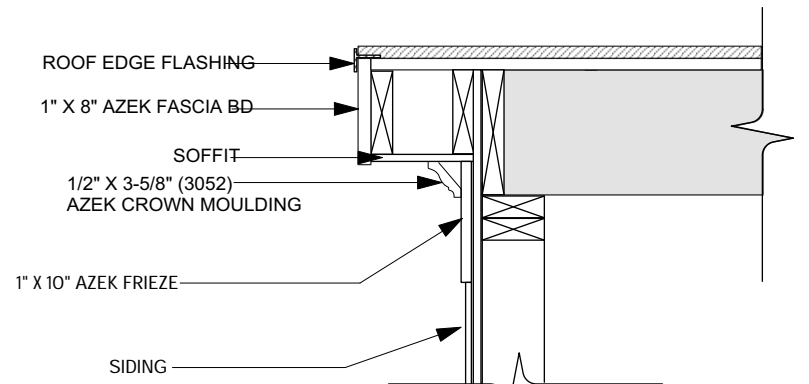


2 RIGHT SIDE ELEVATION  
A.2 Scale: 1/4" = 1'-0"



1 FRONT ELEVATION  
A.2 Scale: 1/4" = 1'-0"

ELEVATION NOTE KEY	
1	CUSTOM ENTRY DOOR: AUTHENTIC RUSTIC WOOD GRAIN, BLACK FINISH (2)3'-6" X 7'-0"
2	"AZEK" TRIM BOARD- WHITE
3	JAMES HARDIE FIBER CEMENT SIDING SMOOTH (7" EXPOS.) OVER BLDG. PAPER AND 1/2"CDX EXT-GRADE PLYWOOD SHEATHING OVER 2X6 STUDS W/ 16" OC - DBL. TOP PLATES R-20 BATT INSUL. 1/2" GYP. BOARD INTERIOR (TYP) COLOR- ARCTIC WHITE
4	WHITE SEAMLESS ALUM. GUTTER TO LEADER TO STORM
5	LIFETIME. GAF ARCHITECTURAL SHINGLES OVER 30# BUILDING PAPER OVER 5/8" TH. EXT.GR. PLWD SHEATHING OVER 2X12 WD RAFTERS @ 16" OC. COLOR- CHARCOAL
6	AZEK FASCIA & SOFFIT-WHITE
7	REAL THIN STONE VENEER. SILVER RIDGE SQUARE /RECTANGLE
8	RECESSED EXTERIOR HI-HATT LIGHTING
9	CLOPAY 9'-0" X 8'-0" GARAGE DOOR -(BLACK) MULTI LAYERED STEEL AND INSULATION TOPPED WITH A WOODGRAIN TEXTURED COMPOSITE OVERLAY
10	FYPON BRACKET
11	1" STUCCO (W/ WWF.)
12	ANDERSON 400 SERIES DBL HUNG WINDOWS W/ SDL DIVIDED LIGHT GRILLE
13	3'-0" H. PAINTED MET. RAILING W/ BALUSTERS NO MORE THAN 4" APART
14	WALL SCONCE
15	STANDING SEAM METAL ROOF BY PAC-CLAD ALUMINUM OR APPROVED EQUAL (WEATHERED ZINC)
16	AZEK COLUMN WRAP
17	"AZEK" 1/2" X 3-5/8" (3052) CROWN MOULDING



5 CORNICE DETAIL  
A.3 Scale: 3/4" = 1'-0"



**PROPOSED NEW SINGLE FAMILY RESIDENCE**  
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EASTCHESTER, NY 10709  
SECTION:65N BLOCK 5 LOT(S):103 ZONE: R-6

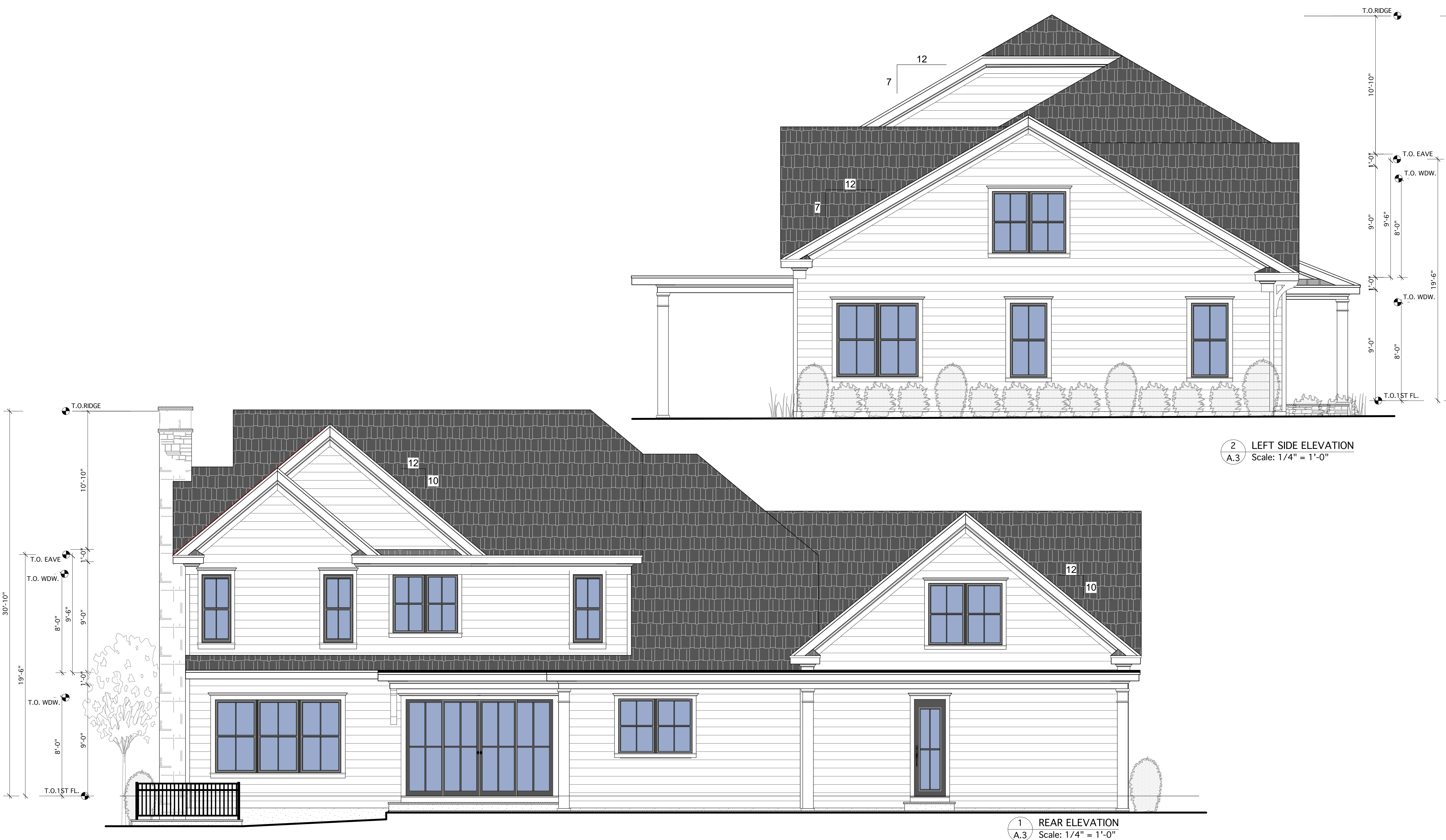
**PROPERTY OWNER:**  
MR & MRS MARTIN  
2 CROSS HILL RD  
EASTCHESTER NY, 10709

**ELEVATIONS**  
ARB - SET  
SEAL

NO.	REVISION	DATE

PROJECT ID/DATE : 23 / 5.1.23  
SHEET SCALE: AS NOTED  
**A-2**  
DRAWN BY: AM CHECKED BY: MM  
SUBMISSION DATE: 5/21/24





ELEVATION NOTE KEY		
1	CUSTOM ENTRY DOOR: AUTHENTIC RUSTIC WOOD GRAIN, BLACK FINISH 3'-6" X 7'-0"	
2	"AZEK" TRIM BOARD- WHITE	
3	JAMES HARDIE FIBER CEMENT SIDING SMOOTH (7" EXPOS.) OVER BLDG. PAPER AND 1/2"CDX EXT-GRADE PLYWOOD SHEATHING OVER 2X6 STUDS W/ 16" OC - DBL. TOP PLATES R-20 BATT INSUL. 1/2" GYP. BOARD INTERIOR (TYP) COLOR- ARCTIC WHITE	
4	WHITE SEAMLESS ALUM. GUTTER TO LEADER TO STORM	
5	LIFETIME. GAF ARCHITECTURAL SHINGLES OVER 30# BUILDING PAPER OVER 5/8" TH. EXT.GR. PLWD SHEATHING OVER 2X12 WD RAFTERS @ 16" OC. COLOR- CHARCOAL	
6	AZEK FASCIA & SOFFIT-WHITE	
7	REAL THIN STONE VENEER. SILVER RIDGE ASHLAR/LEDGE	
8	RECESSED EXTERIOR HI-HATT LIGHTING	
9	CLOPAY 9'-0" X 8'-0" GARAGE DOOR -(BLACK) MULTI LAYERED STEEL AND INSULATION TOPPED WITH A WOODGRAIN TEXTURED COMPOSITE OVERLAY	
10	FYPON BRACKET	
11	1" STUCCO (W/ WWF.)	
12	ANDERSON 400 SERIES DBL HUNG WINDOWS W/ SDL DIVIDED LIGHT GRILLE	
13	3'-0" H. PAINTED MET. RAILING W/ BALUSTERS NO MORE THAN 4" APART	
14	WALL SCONCE	
15	STANDING SEAM METAL ROOF BY PAC-CLAD ALUMINUM OR APPROVED EQUAL (WEATHERED ZINC)	
16	AZEK COLUMN WRAP	
17	"AZEK" 1/2" X 3-5/8" (3052) CROWN MOULDING	

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EASTCHESTER, NY 10709  
SECTION:65N BLOCK 5 LOT(S):103 ZONE: R-6

**PROPERTY OWNER:**  
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EASTCHESTER NY, 10709

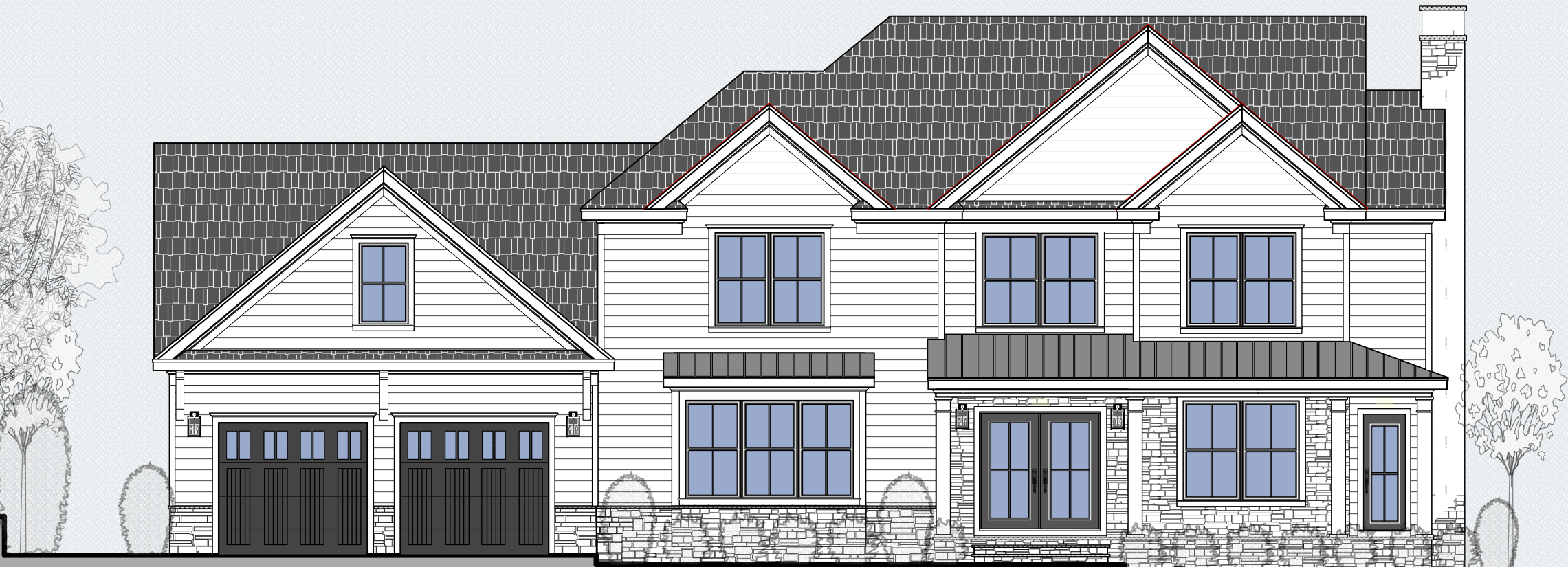
**ELEVATIONS**  
ARB - SET

NO.	REVISION	DATE

PROJECT ID/DATE : 23 / 5.1.23  
SHEET SCALE: AS NOTED

**A-3**

DRAWN BY: AM CHECKED BY: MM  
SUBMISSION DATE: 5/21/24



STREETSCAPE





1 PROJECT LOCATION: R-6 ZONE



2 10 CROSS HILL RD: R-6 ZONE



3 12 CROSS HILL RD: R-6 ZONE



4 14 CROSS HILL RD: R-6 ZONE



5 16 CROSS HILL RD: R-6 ZONE



6 18 CROSS HILL RD: R-6 ZONE



7 175 OAKLAND AVE R-7.5 ZONE



8 173 OAKLAND AVE R-6 ZONE



9 2 KNOLLWOOD RD R-7.5 ZONE



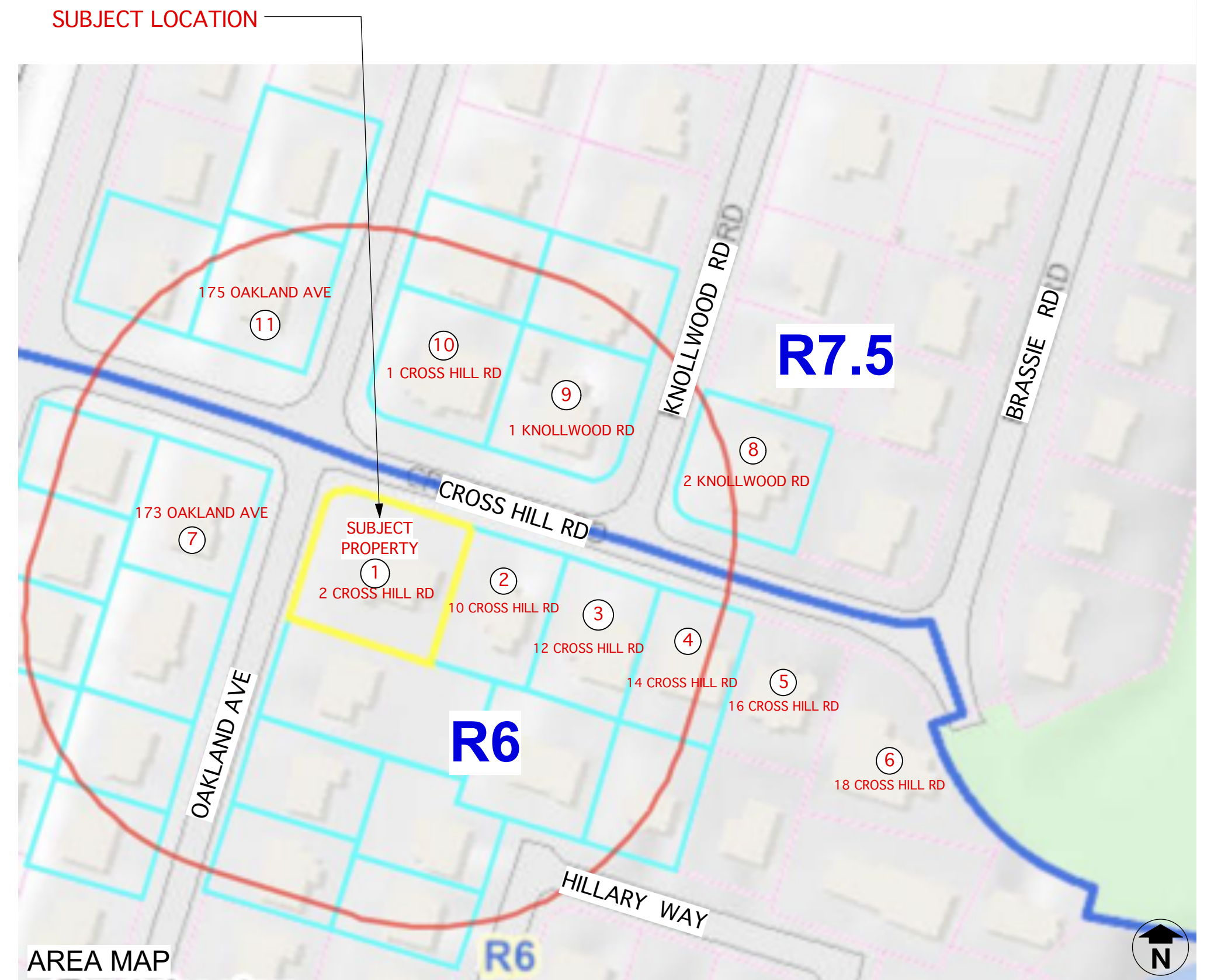
10 1 CROSS HILL RD R-7.5 ZONE



11 1 KNOLLWOOD RD R-7.5 ZONE



4 EXISTING SITE NORTH WEST VIEW



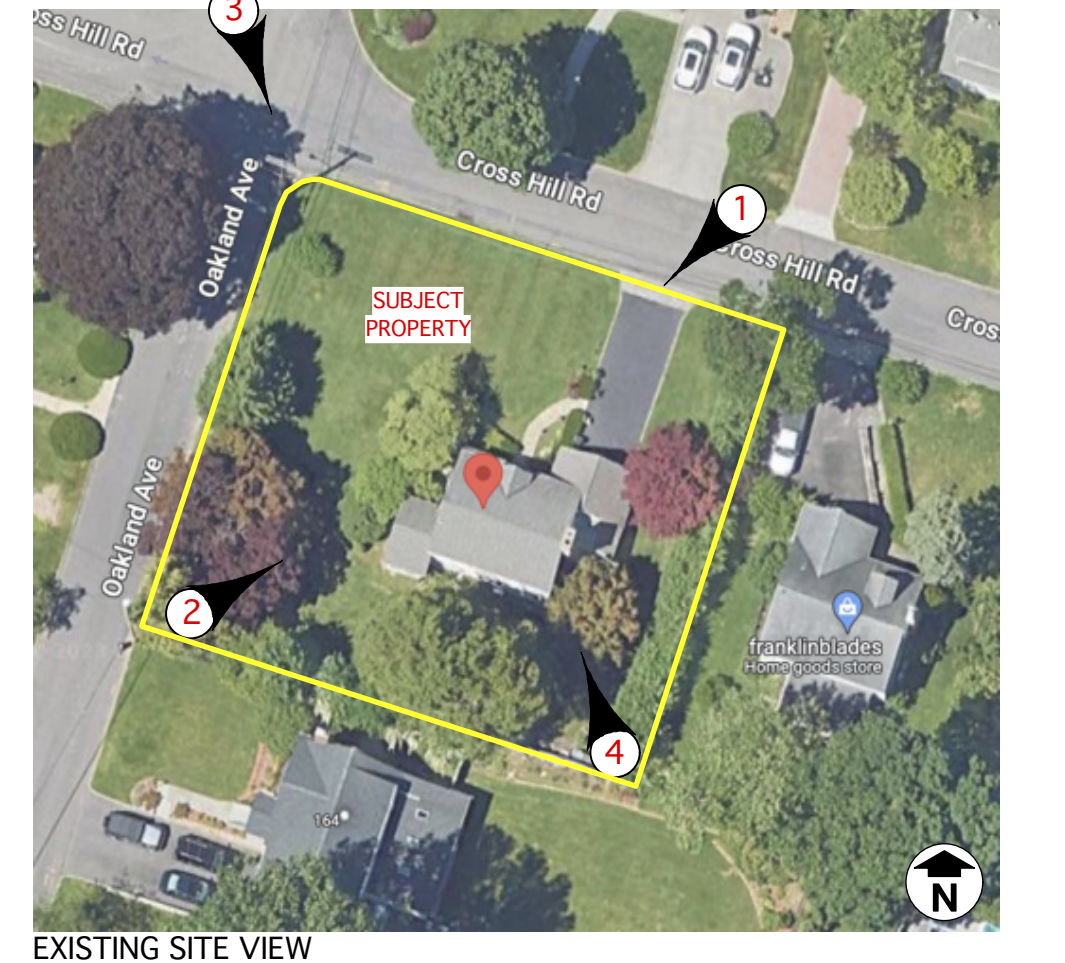
1 EXISTING SITE SOUTH WEST VIEW



2 EXISTING SITE NORTH EAST VIEW



3 EXISTING SITE SOUTH EAST VIEW



EXISTING SITE VIEW

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EASTCHESTER, NY 10709  
SECTION:65N BLOCK 5 LOT(S):103 ZONE: R-6

PROPERTY OWNER:  
MR & MRS MARTIN  
2 CROSS HILL RD  
EASTCHESTER NY, 10709

VICINITY PICTURES  
ARB - SET  
SEAL

NO.	REVISION	DATE

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SHEET SCALE: AS NOTED  
**A.4**  
DRAWN BY: AM CHECKED BY: MM  
SUBMISSION DATE: 5/21/24