

LIST OF ABBREVIATIONS

ABV	ABOVE	JC	JANITOR CLOSET
AFF	ABOVE FINISHED FLOOR	JT	JOINT
ACC	ACCESS	JB	JUNCTION BOX
AD	ACCESS DOOR	KO	KNOCK OUT
AP	ACCESS PANEL		
ACT	ACOUSTICAL TILE		
ADD	ADDENDUM		
ADJ	ADJACENT or ADJUSTABLE	LAM	LAMINATE
AGGR	AGGREGATE	LAV	LAVATORY
A/C	AIR CONDITIONER	LH	LEFT HAND
ALUM/AL	ALUMINUM	LKR	LOCKER
ACI	AMERICAN CONCRETE INSTITUTE	L.P.	LOW POINT
ADA	AMERICANS W/ DISABILITIES ACT		
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	MH	MANHOLE
AWG	AMERICAN WIRE GAGE	MFR	MANUFACTURE(R)
APPROX	APPROXIMATE	MAS	MASONRY
		MO	MASONRY OPENING
		M.E.	MATCH EXISTING
		MAT	MATERIAL
		MAX	MAXIMUM
BB	BASEBOARD	MECH	MECHANIC(AL)
BP	BASE PLATE	MC	MEDICINE CABINET
BM	BEAM	MBR	MEMBER
BRG	BEARING	MTL	METAL
B.M.	BENCH MARK	MN	MINIMUM
BTWN	BETWEEN	MR	MIRROR
BLK	BLOCK		
BLKG	BLOCKING	MISC	MISCELLANEOUS
BD	BOARD	MC	MISCELLANEOUS CHANNEL
B.O.	BOTTOM OF	MTD	MOUNTED
		MOV	MOVABLE
		MUL	MULLION
CAB	CABINET		
C.I.	CAST IRON		
C.H.	CEILING HEIGHT		
C8	CATCH BASIN	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CLG	CEILING		
CEM	CEMENT	NRC	NOISE REDUCTION COEFFICIENT
CL	CENTER LINE	NOM	NOMINAL
CT	CERAMIC TILE	N.I.C.	NOT IN CONTRACT
CO	CLEAN OUT	NTS	NOT TO SCALE
CLR	CLEAR(ANCE)	OC	ON CENTER
CW	COLD WATER	OPNG	OPENING
COL	COLUMN	OPP	OPPOSITE
CONC	CONCRETE	OPH	OPPOSITE HAND
CMU	CONCRETE MASONRY UNIT	OD	OUTSIDE DIAMETER
CONT	CONTINUOUS or CONTINUE	OZ	OUNCE
CONV	CONVECTOR	OA	OVERALL
CG	CORNER GUARD	OH	OVERHEAD
DP	DAMPPOOFING		
DEG	DEGREE	PNT/PT(D)	PAINT(ED)
DTL	DETAIL	PR	PAIR
DIAG	DIAGONAL	PNL	PANEL
DF	DIFFUSER	PTN	PARTITION
DM	DIMENSION	PLAS	PLASTER
DISP	DISPENSER	PLAM	PLASTIC LAMINATE
DBL	DOUBLE	PL	PLATE
DN	DOWN	PLWD	PLYWOOD
DWG	DRAWING	PVC	POLYVINYL CHLORIDE or COATING
DF	DRINK FOUNTAIN	PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
EA	EACH		
ELEC	ELECTRICAL or ELECTRIC	QUANT/QT	QUANTITY
EP	ELECTRIC PANEL	QT	QUARRY TILE
E.W.C	ELECTRIC WATER COOLER		
	ELEVATION	RAD	RADIUS or RADIATOR
ELEV	ELEVATOR	REF	REFERENCE
EMER	EMERGENCY	REINF	REINFORCEMENT
EQ	EQUAL	REQD	REQUIRED
EQUIP	EQUIPMENT	RET	RETURN
EXH	EXHAUST	RD	ROOF DRAIN
EXIST	EXISTING	RO	ROUGH OPENING
F.A.I.	FRESH AIR INTAKE	SAD	SADDLE
F.O.	FACE OF	SAN	SANITARY
F.B.R.	FACE OF BRICK	SCHED	SCHEDULE
F.O.C	FACE OF CONCRETE	SECT	SECTION
F.O.M	FACE OF MASONRY		
F.O.S	FACE OF STUDS	SIM	SIMILAR
FIN	FINISH	STC	SOUND TRANSMISSION COEFFICIENT
FA	FIRE ALARM	SPKR	SPEAKER
FAA	FIRE ALARM ANNUNCIATOR	SPEC	SPECIFICATION
FHVC	FIRE HOSE VALVE CABINET	SF	SQUARE FOOT
F.D.	FLOOR DRAIN or FIRE DAMPER	SST/ST. STL	STAINLESS STEEL
		SD	STORM DRAIN
FE	FIRE EXTINGUISHER	S.F.	STRUCTURAL FACED TILE
FP	FIRE PROOF	SW	SWITCH
FLUOR	FLUORESCENT		
FT	FOOT or FEET		
FTG	FOOTING	TEL	TELEPHONE
FDN	FOUNDATION	TV	TELEVISION
F.A.I.	FRESH AIR INTAKE	TEMP	TEMPERED
FLR	FLOOR	TERR	TERRAZZO
		THK	THICK
GA	GAUGE	T.O.	TOP OF
GALV	GALVANIZED	TYP	TYPICAL
GEN	GENERAL		
GL	GLASS or GLAZING	U.L.	UNDERWRITERS LABORATORY
GB	GRAB BAR	UC	UNDERCUT
		UNEX	UNEXCAVATED
GND	GROUND	U.C.C.	UNIFORM CONSTRUCTION CODE
GYP	GYP SUM	U.O.N.	UNLESS OTHERWISE NOTED
GW8/	GYP SUM WALL BOARD		
GYP.BD			
HC	HANDICAPPED	V.I.F.	VERIFY IN FIELD
HR	HAND RAIL	VCT	VINYL COMPOSITION TILE
HDWR	HARDWARE	VVC	VINYL WALL COVERING
HWD	HARDWOOD	VB	VINYL BASE
HVAC	HEATING VENTILATING AIR CONDITIONING	VOL	VOLUME
	HEIGHT	WC	WATER CLOSET
HM	HOLLOW METAL	WD	WOOD
	HOSE BIBB	WH	WATER HEATER
H.P.	HIGH POINT	WP	WATER PROOF
		WWF	WELDED WIRE MESH
INCAND	INCANDESCENT	WT	WEIGHT
INCL	INCLUDE(D), (ING)	WO	WINDOW OPENING
	INTERIOR DIAMETER	W/	WITH
INSUL	INSULATE(D), (ING), (TION)	W/O	WITH OUT
INV	INVERT	WGL	WIRE GLASS
INV EL	INVERT ELEVATION		

GENERAL NOTES

ALL WORK SHALL CONFORM TO THE 2020 UNIFORM FIRE PREVENTION AND BUILDING CODE OF NEW YORK STATE (THE UNIFORM CODE) AND ALL RULES AND REGULATIONS OF ALL DEPARTMENTS HAVING JURISDICTION. ALL WORK SHALL CONFORM TO THE 2020 NYS RESIDENTIAL CODE AND SCARSDALE MUNICIPAL CODE.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS AND JOB CONDITIONS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION SHALL BE IN ACCORDANCE WITH OSHA REGULATIONS AND STANDARDS AND ALL LOCAL REQUIREMENTS.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO FOLLOW ALL SAFE EXCAVATION PRACTICES AND CALL "DIG-SAFELY" AT LEAST 3 WORKING DAYS IN ADVANCE TO MARK UP ANY UNDERGROUND UTILITIES. NO EXCAVATION WORK OR DIGGING OF ANY KIND SHALL START OTHERWISE.

ALL WORK SHALL BE PERFORMED IN A WORKMAN-LIKE MANNER BY QUALIFIED JOURNEYMEN OR MASTERS OF EACH TRADE.

ALL MATERIAL HANDLING AND INSTALLATION SHALL BE STRICTLY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE, AND PAY FOR ALL TESTS, INSPECTIONS, ETC. AS REQUIRED BY THE BUILDING DEPARTMENT AND ANY OTHER DEPARTMENTS HAVING JURISDICTIONS.

GENERAL CONTRACTOR SHALL VISIT THE SITE AND MAKE HIMSELF FAMILIAR WITH THE WORK AND THE LOCAL CONDITIONS PRIOR TO SUBMITTING A PRICE TO THE OWNER.

ALL SURFACES ADJACENT TO THE WORK AREA, WHICH IS DAMAGED DURING CONSTRUCTION BY THE FORCES OF THE GENERAL CONTRACTOR, SHALL BE REPAIRED TO MATCH SURROUNDING SURFACES TO SATISFACTION OF THE OWNER AND ARCHITECT AT NO ADDITIONAL COST.

THE CONTRACTOR SHALL REMOVE FROM THE ALL DEBRIS CREATED BY HIS WORK AND SHALL DISPOSE OF THEM IN A LEGAL MANNER ON A WEEKLY BASIS OR SOONER AS CONDITIONS WARRANTS.

AT COMPLETION OF THE WORK THE SITE SHALL BE CLEARED OF ALL DEBRIS AND REMAINING MATERIALS AND THE PREMISES SHALL BE LEFT BROOM CLEAN.

THE ENGINEER SHALL BE THE SOLE JUDGE AS TO THE ADEQUACY OF THE WORK PERFORMED. HE SHALL HAVE THE RIGHT TO ORDER REMOVAL OF DEFECTIVE WORK AND MATERIALS.

ANY DEVIATION FROM THESE DRAWINGS SHALL CAUSE THE WORK TO CEASE IN THE AFFECTED AREAS UNTIL THE ENGINEER HAS APPROVED THE CHANGES.

NO DRAWINGS SHALL BE USED ON JOB UNLESS THEY BEAR THE STAMP: ISSUED FOR CONSTRUCTION.

ENGINEER OF RECORD NOT RESPONSIBLE FOR ANY AND ALL BOARD APPROVALS.

CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATION OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK. SHOULD HE BECOME AWARE OF ANY SITUATION THAT REQUIRES FURTHER INVESTIGATION (SUCH AS CRACKS IN MASONRY AND PARTITIONS, ADDITIONAL OR EXCESSIVE DEFLECTION, ETC.) HE SHALL NOTIFY THE ENGINEER.

CONSTRUCTION NOTES

TEMPORARY SHORING: PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.

DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, SUCH AS, DUCT AND PIPE INTERIORS, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.

LOCATE EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.

PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE DURING DEMOLITION.

OWNER APPROVAL IS REQUIRED PRIOR TO PROPOSED INSTALLATION OF THE CONSTRUCTION FENCE ON ADJACENT PROPERTIES.

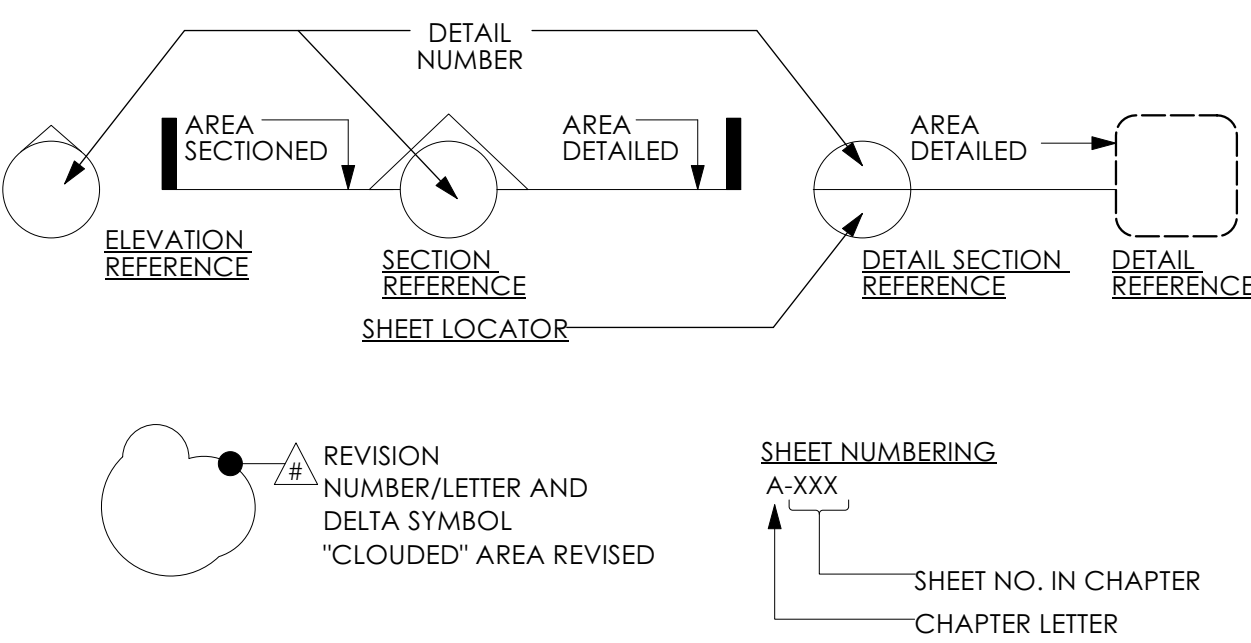
A QUALIFIED ENGINEER SHALL BE ON SITE FOR ANY REQUIRED CONTROL INSPECTION AND TO SURVEY CONDITIONS OF BUILDING OR STRUCTURE TO BE REMOVED AND DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION OPERATIONS.

BEFORE STARTING OPERATIONS, PROVIDE THE NECESSARY PROTECTIVE ELEMENTS, WHERE REQUIRED, IN STRICT ACCORDANCE WITH OSHA RULES AND REGULATIONS, COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION AND ALL EXPRESSED IN THE NOTES. COMPLY WITH NFPA 241.

SCOPE OF WORK:

1. NEW STORMWATER MANAGEMENT FOR NEW COMMERCIAL BUILDING

SYMBOL KEY



STORMWATER MANAGEMENT SYSTEM
122 MONTGOMERY STREET
SCARSDALE, NEW YORK 10583

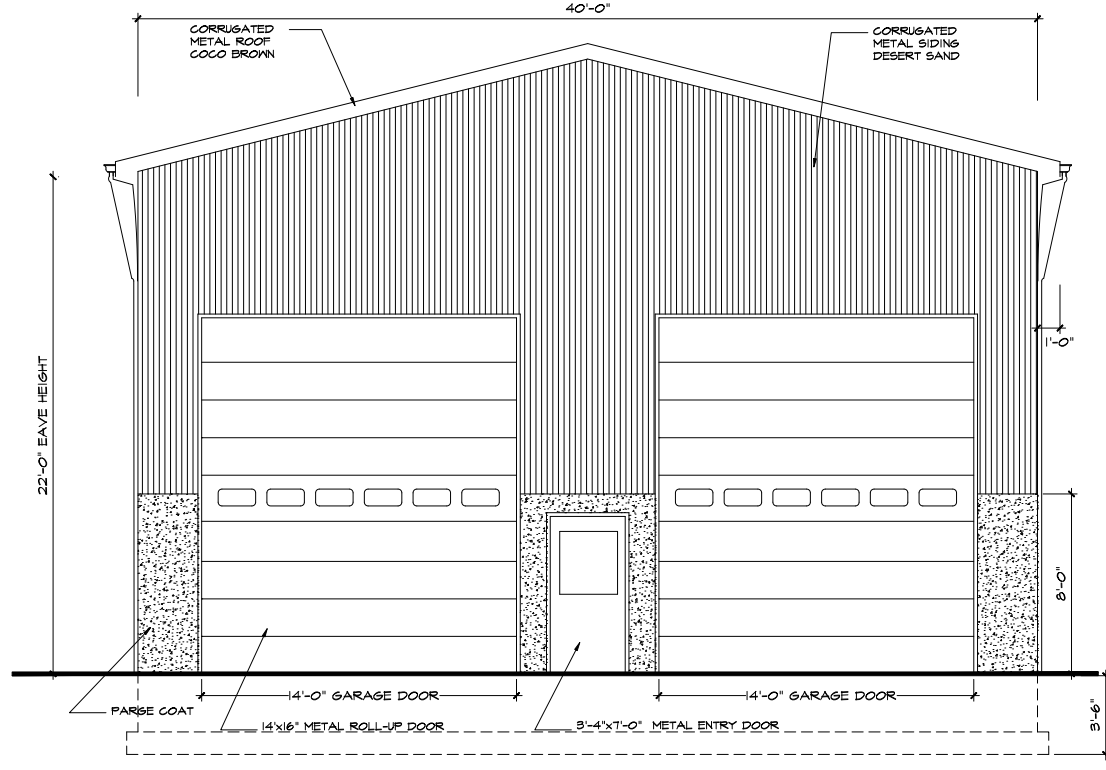
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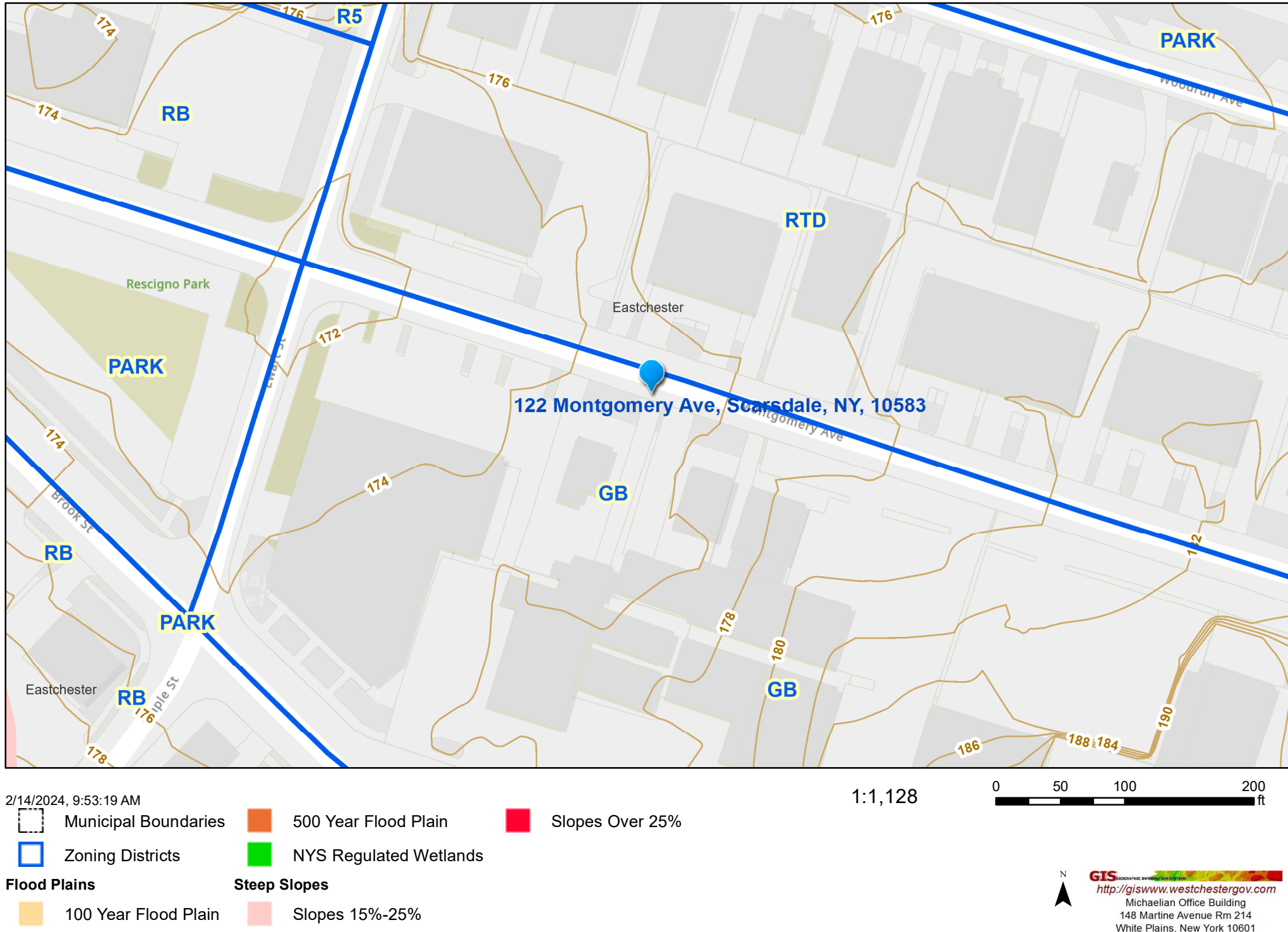
DRAWING NAME

L-001.00	GENERAL NOTES, GIS & FLOOD MAP
L-100.00	EXISTING & PROPOSED SITE PLAN
L-101.00	IMPERVIOUS SURFACE AREA DIAGRAMS
L-200.00	STORMWATER MANAGEMENT PLAN
L-300.00	EROSION CONTROL PLAN

PROPOSED FRONT BUILDING ELEVATION

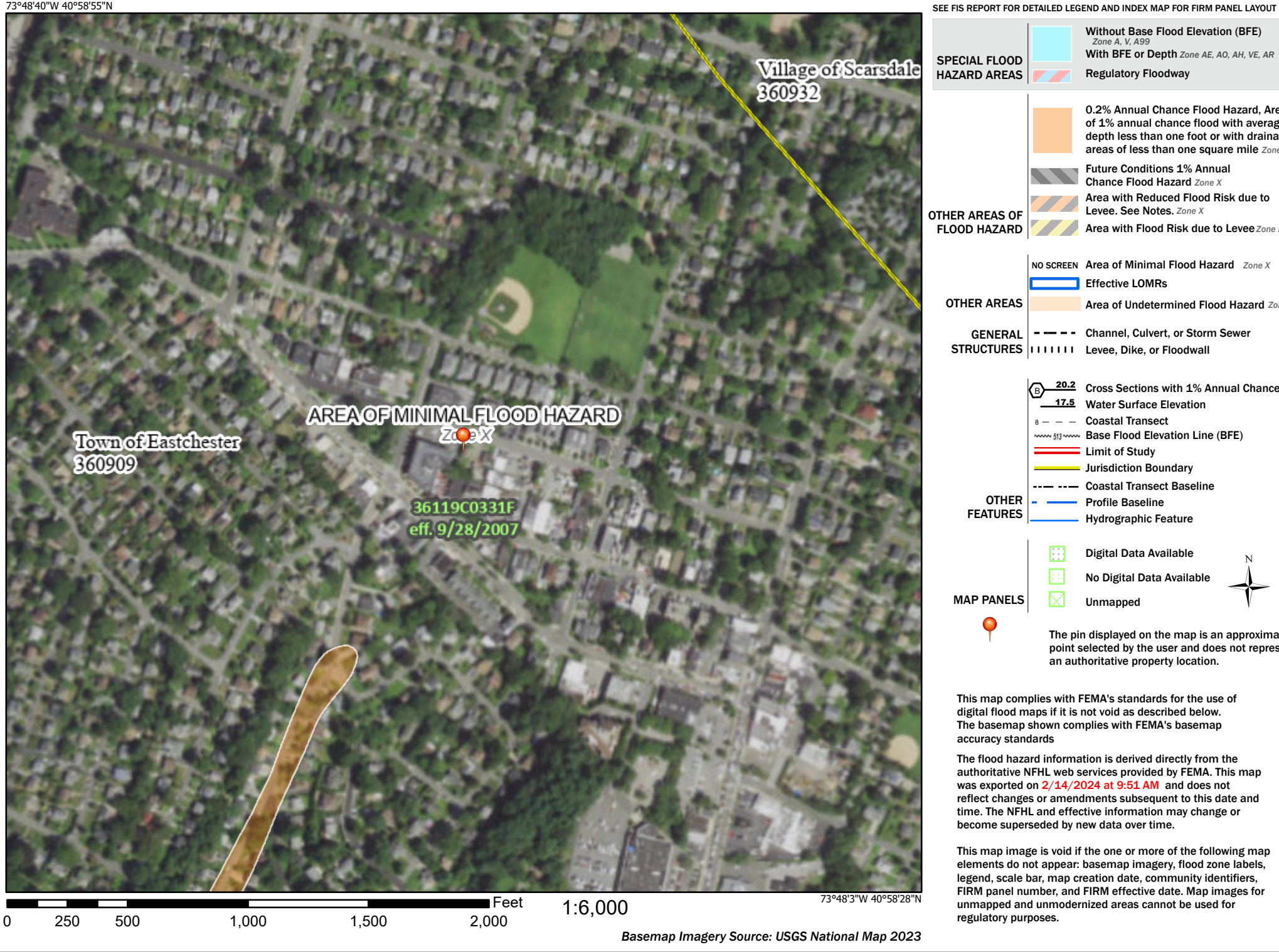


Mapping Westchester County



WESTCHESTER GIS MAP

National Flood Hazard Layer FIRMette



BADALY

ENGINEERING DESIGN:

BADALY ENGINEERING PLLC
2 WILSON PLACE, MT. VERNON, NY 10550
(914) 465-9010 BADALY.COM

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ISSUE:

#	DATE	DESCRIPTION

REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:

122 MONTGOMERY STREET
SCARSDALE, NY 10583

BLOCK: 5

LOT: 7

DRAWING TITLE:

GENERAL NOTES, GIS
& FLOOD MAP

SCALE:

AS NOTED

DATE:

07/10/2023

JOB NO:

23312

DRAWN BY:

RI

CHECKED BY:

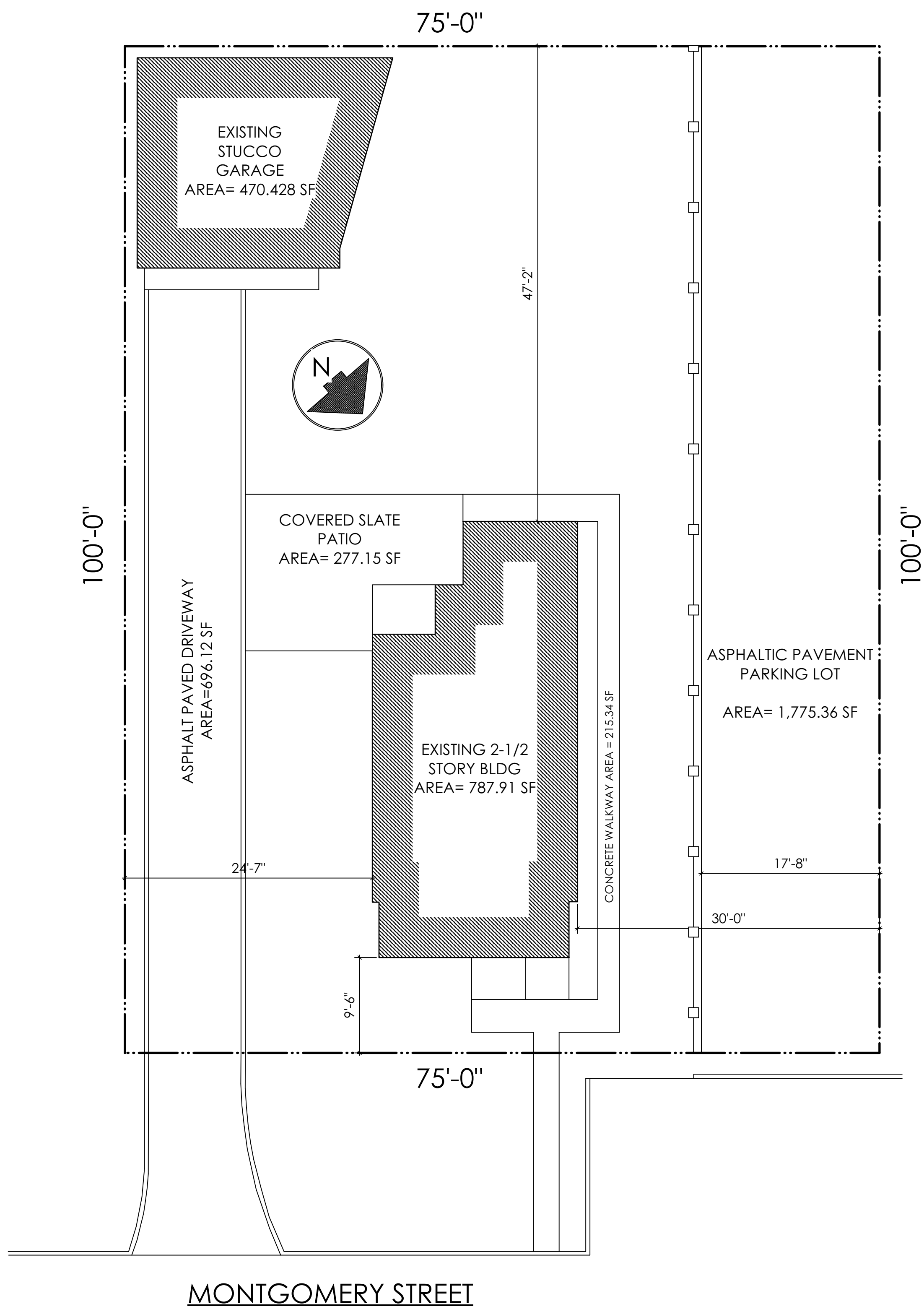
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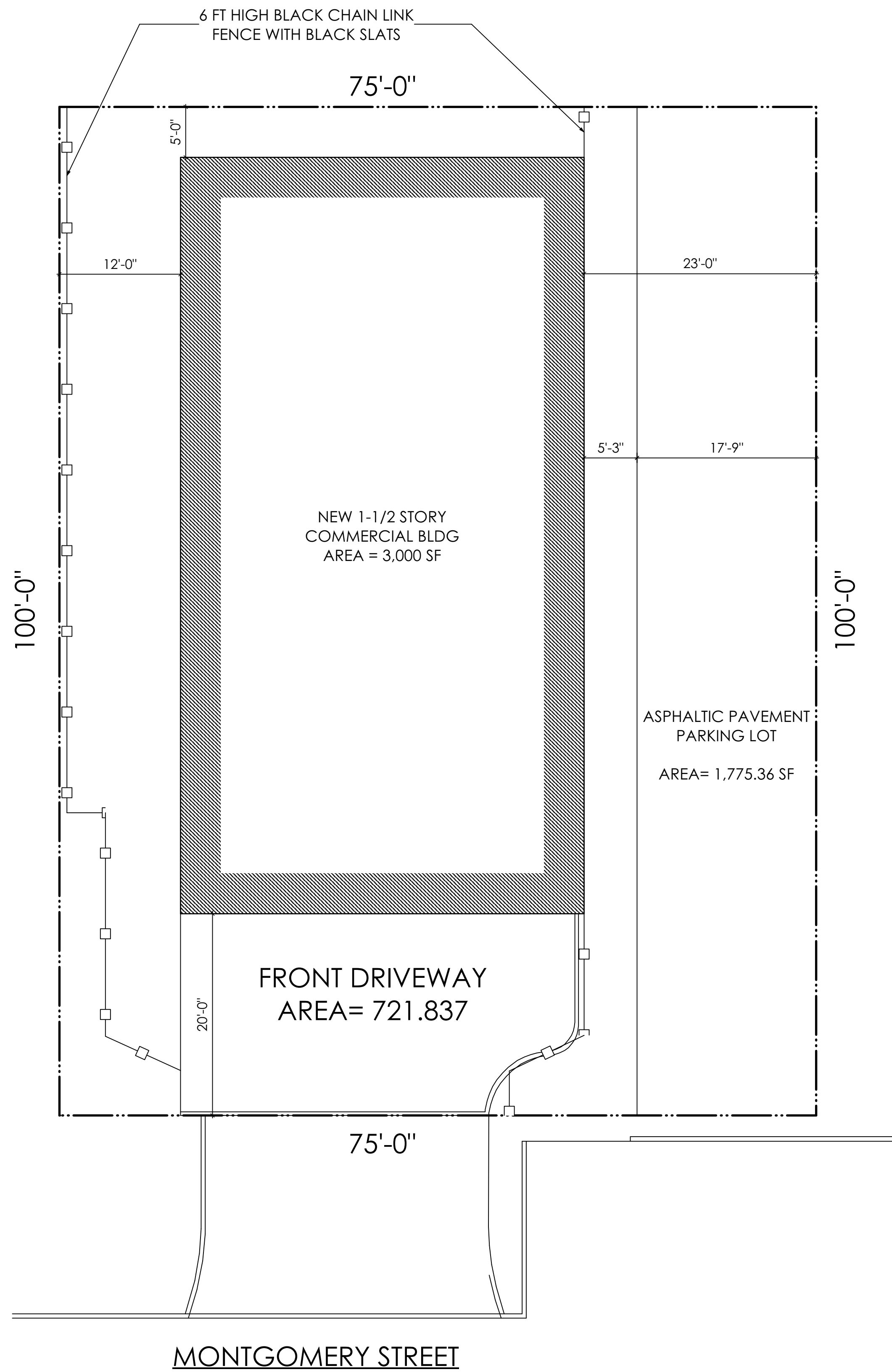
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1 OF 5



1 EXISTING SITE PLAN
Scale: 1/8" = 1'-0"



2 PROPOSED SITE PLAN
Scale: 1/8" = 1'-0"

ISSUE:

#	DATE	DESCRIPTION

REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:

122 MONTGOMERY STREET
SCARSDALE, NY 10583

BLOCK: 5

LOT: 7

DRAWING TITLE:

EXISTING & PROPOSED SITE PLAN

SCALE:

AS NOTED

DATE:

07/10/2023

JOB NO:

23312

DRAWN BY:

RI

CHECKED BY:

SB

SEAL AND SIGNATURE:



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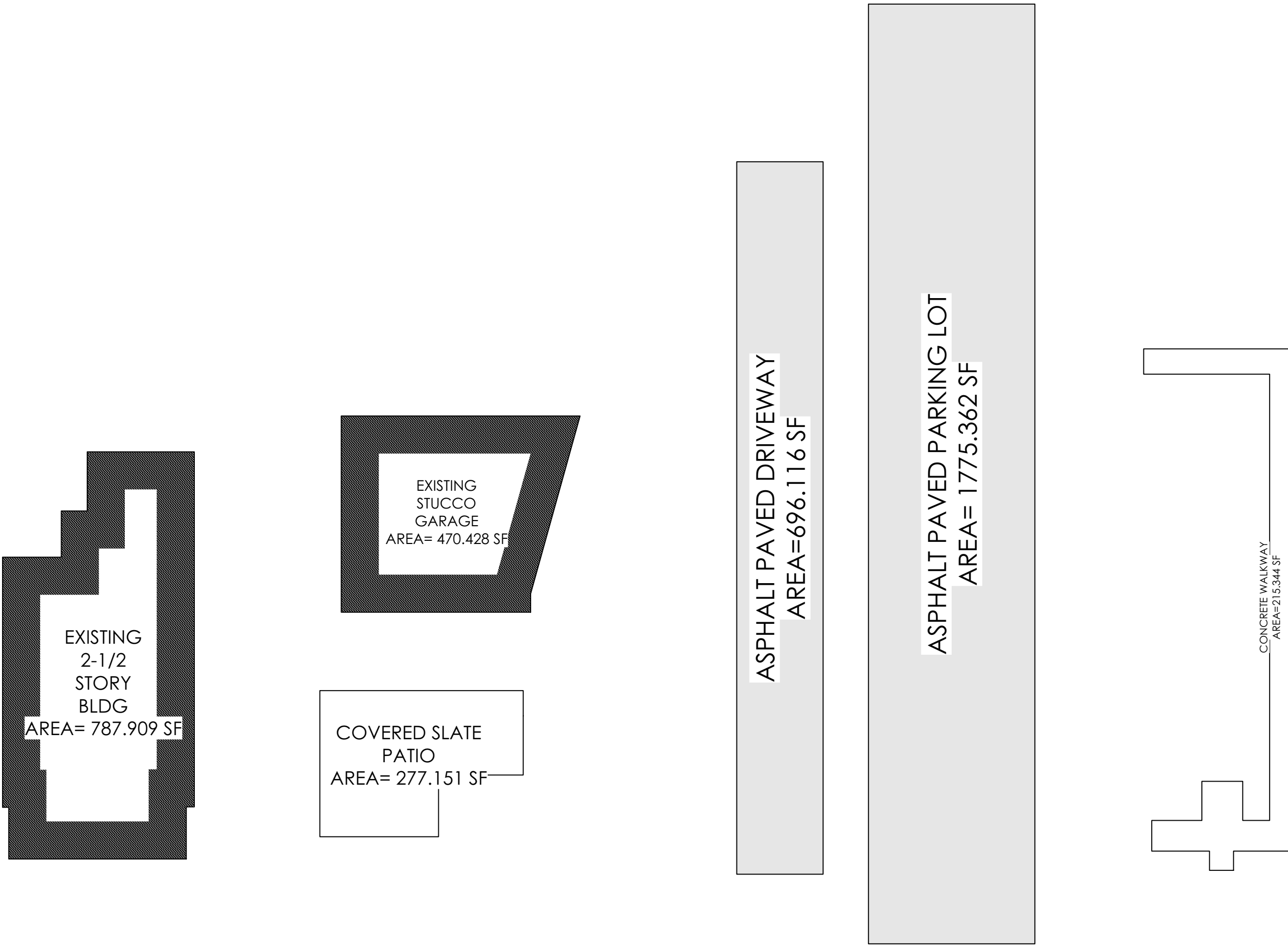
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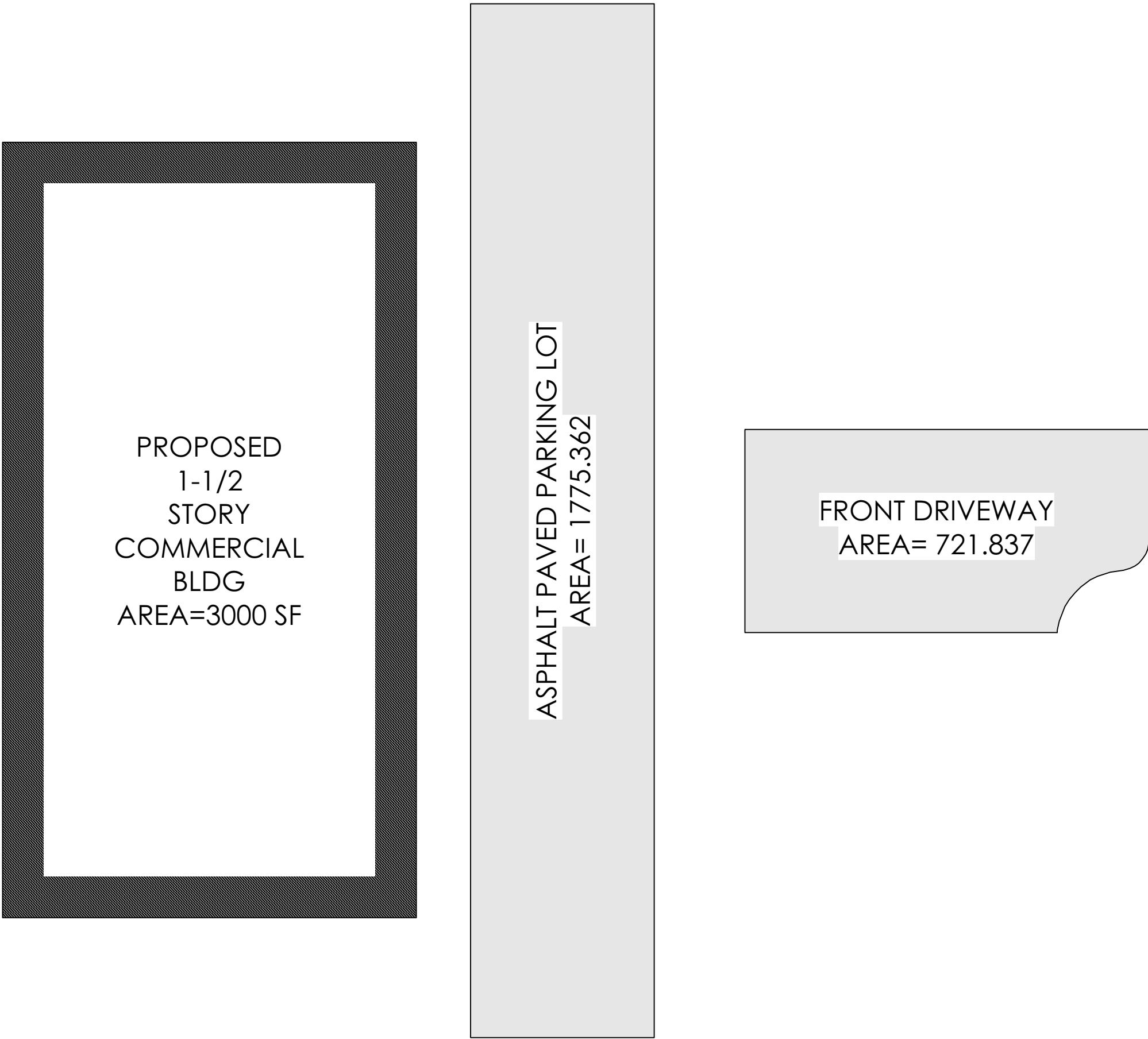
EXISTING IMPERVIOUS SURFACE TABULATION

LOT AREA	= 7,500 SF
MAX. BUILDING COVERAGE	= 0.50 X 7,500 SF = 3,750 SF
EXISTING PRINCIPAL BUILDING	= 787.909 SF
EXISTING PATIO	= 277.151 SF
EXISTING GARAGE	= 470.428 SF
EXISTING PAVEMENT	= 2466.116 SF
EXISTING CONCRETE WALKWAY	= 215.344 SF
TOTAL EXISTING COVERAGE	= 4,218.948 SF
EXISTING LOT COVERAGE	= 56.25 %



PROPOSED IMPERVIOUS SURFACE TABULATION

LOT AREA	= 7,500 SF
MAX. BUILDING COVERAGE	= 0.50 X 7,500 SF = 3,750 SF
NEW PRINCIPAL BUILDING	= 3000 SF
EXISTING PAVEMENT	= 1775.362 SF
NEW FRONT DRIVEWAY	= 721.837 SF
TOTAL EXISTING COVERAGE	= 5497.199 SF
EXISTING LOT COVERAGE	= 73.3 %



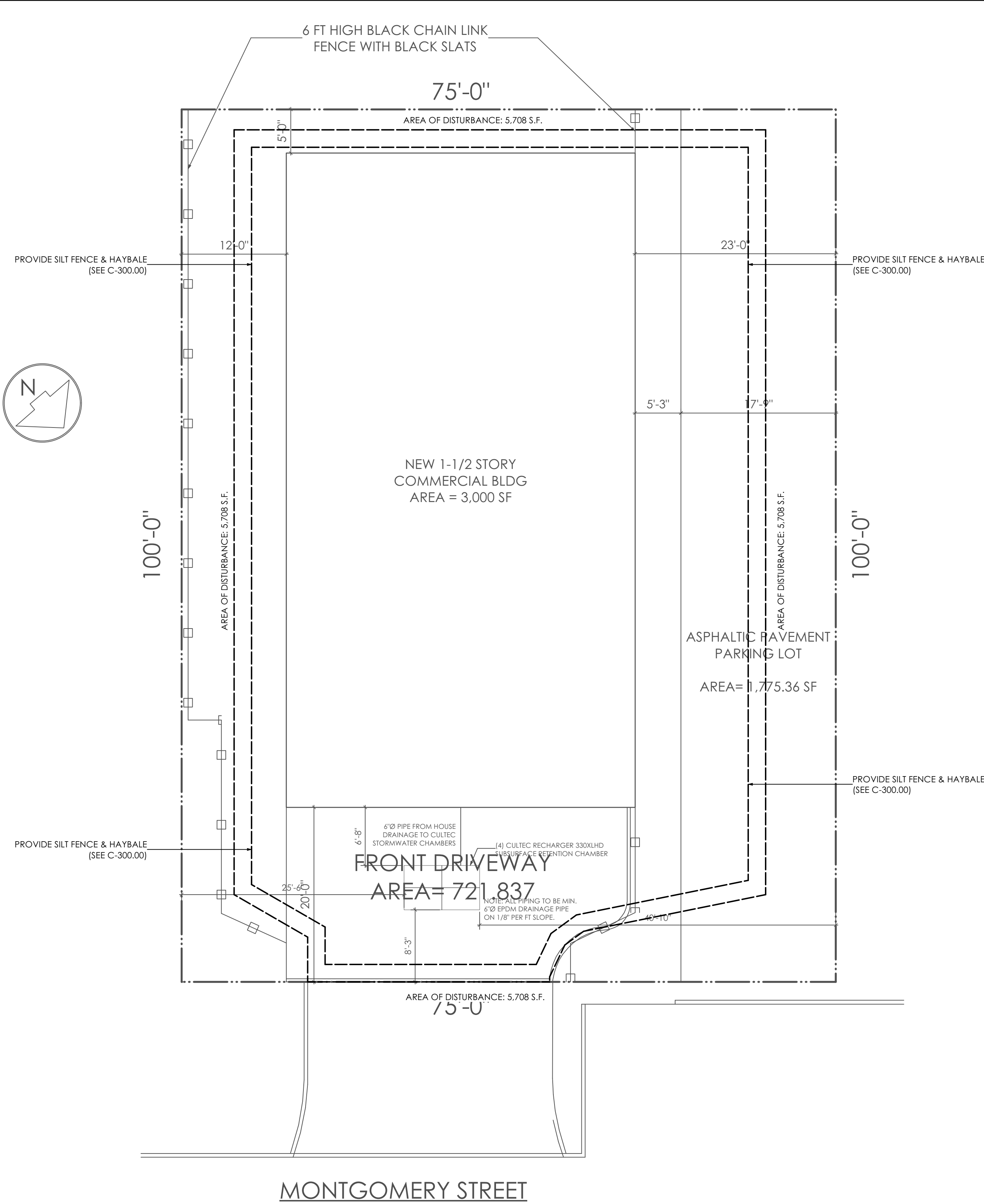
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#	DATE DESCRIPTION

PROJECT TITLE:
122 MONTGOMERY STREET
SCARSDALE, NY 10583
BLOCK: 5 LOT: 7

DRAWING TITLE:
IMPERVIOUS SURFACE AREA DIAGRAM

SCALE: AS NOTED	SEAL AND SIGNATURE:
DATE: 07/10/2023	
JOB NO.: 23312	
DRAWN BY: RI	
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3 OF 5



1 EROSION CONTROL PLAN

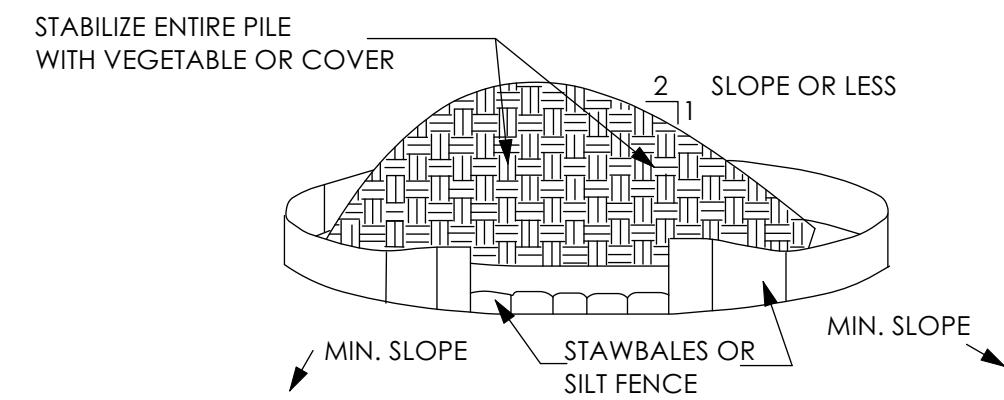
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EROSION CONTROL NOTES:

- PRIOR TO THE START OF CONSTRUCTION EROSION CONTROL DEVICES SHALL BE IN PLACE AS SHOWN ON THESE PLANS.
- FINAL GRADES SHALL BE ESTABLISHED AS SOON AS POSSIBLE AND TOP SOILED AND SEEDED TO PROVIDE A TURF, WHICH WILL STABILIZE SLOPES AND PREVENT EROSION.
- SLOPES TO REMAIN OPEN FOR MORE THAN THREE WEEKS SHALL BE PROTECTED WITH TEMPORARY SEEDING OR STAKED NETTING.
- EROSION CONTROL DEVICES SHALL BE INSPECTED AFTER EACH RAINFALL AND SHALL BE CLEANED, REPAIRED OR REPLACED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL.
- THE ENGINEER MAY AT HIS DISCRETION REQUIRE ADDITIONAL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION TO MITIGATE UNFORESEEN EROSION AND SILTATION.

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING TRAFFIC IN THE IMMEDIATE VICINITY OF CONSTRUCTION. ALL WORK SHALL BE PERFORMED IN SUCH A MANNER AND SEQUENCED AS TO PROVIDE MAXIMUM PROTECTION TO TRAFFIC AND PEDESTRIANS. CONTROLS SHALL BE CONSISTENT WITH THE TYPE OF WORK BEING PERFORMED.
- THE CONTRACTOR MUST CLEAN MUD, DIRT OR DEBRIS TRACKED ONTO EXISTING STREETS BY ANY VEHICLE THAT EXITS THE SITE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN THE AREA A MINIMUM OF 48 HOURS PRIOR TO ANY POWER EXCAVATION. IN ANY RIGHT-OF-WAY OR EXISTING EASEMENT AS REQUIRED BY NY STATE INDUSTRIAL CODE 53.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE REQUIRED SECURITY TO PROTECT HIS OWN PROPERTY, EQUIPMENT, AND WORK IN PROGRESS.
- FOR OVERHEAD POWER LINES EXISTING IN THE AREA OF THE PROJECT. THE CONTRACTOR SHALL COMPLY WITH FEDERAL REGULATIONS, TITLE 29, PART 1910.180(L) AND PART (1926.550(A)(15). A MINIMUM OF TEN (10) FEET FROM THESE FACILITIES WHERE CONTRACTOR MUST WORK NEAR OVERHEAD POWER LINES IS REQUIRED.
- THE CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND STATE OF NEW YORK LAW CONCERNING EXCAVATION, TRENCHING AND SHORING.
- THE DRAWINGS SHOW AS MUCH INFORMATION AS CAN BE REASONABLY OBTAINED FROM THE SURVEY REGARDING THE TOPOGRAPHIC FEATURES, ELEVATIONS AS WELL AS THE LOCATION AND NATURE OF PIPELINES, NATURAL GAS LINES, UNDERGROUND CABLES, UTILITIES, ETC.. HOWEVER, THE ACCURACY OF OR COMPLETENESS OF ANY SUCH INFORMATION IS NOT GUARANTEED.
- IN THE EVENT OF DAMAGE TO UNDERGROUND UTILITIES OR FACILITIES, WHETHER SHOWN ON THE DRAWINGS OR IDENTIFIED IN THE FIELD, THE CONTRACTOR SHALL MAKE THE NECESSARY REPAIRS TO REPLACE THE UTILITY OR FACILITY BACK IN SERVICE AT NO INCREASE IN THE CONTRACT PRICE AND ALL SUCH REPAIRS SHALL CONFORM TO THE REQUIREMENTS OF THE COMPANY OR AGENCY SERVICING THE FACILITY.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR MAINTAINING A SAFE PROJECT SITE 24 HOURS A DAY. AS A MINIMUM, THE GUIDELINES SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES SHALL BE OBSERVED.
- INGRESS AND EGRESS SHALL BE PROVIDED AT ALL TIMES FOR THE PROPERTY OWNERS AND BUSINESSES OF THE ADJUTING PROPERTIES AND THE CROSS STREETS WHICH ARE AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
- CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY UPON COMPLETION OF JOB SHALL BE AS GOOD OR BETTER THAN PRIOR TO STARTING WORK.
- ANY WORK IN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED TO THE STANDARDS OF THE AUTHORITY HAVING JURISDICTION.

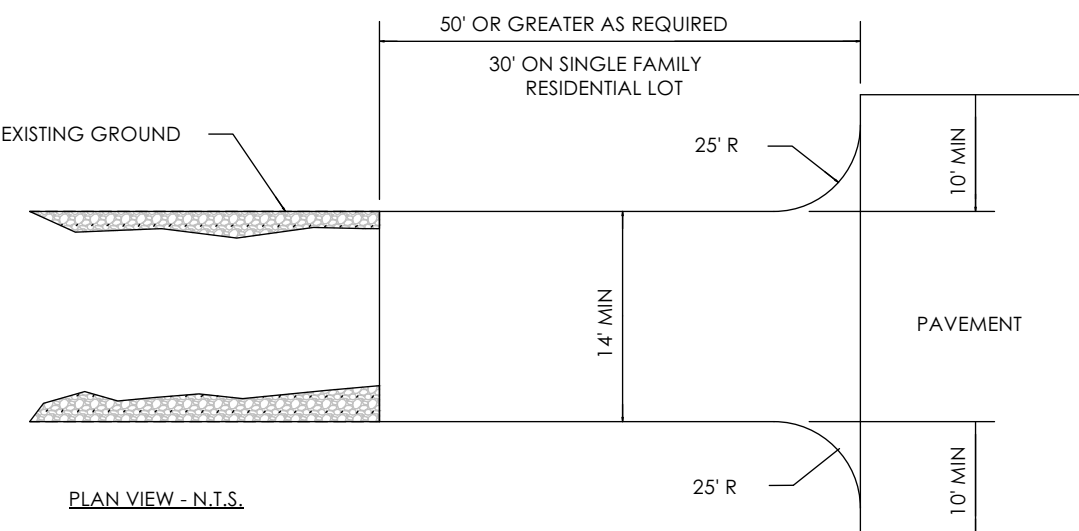
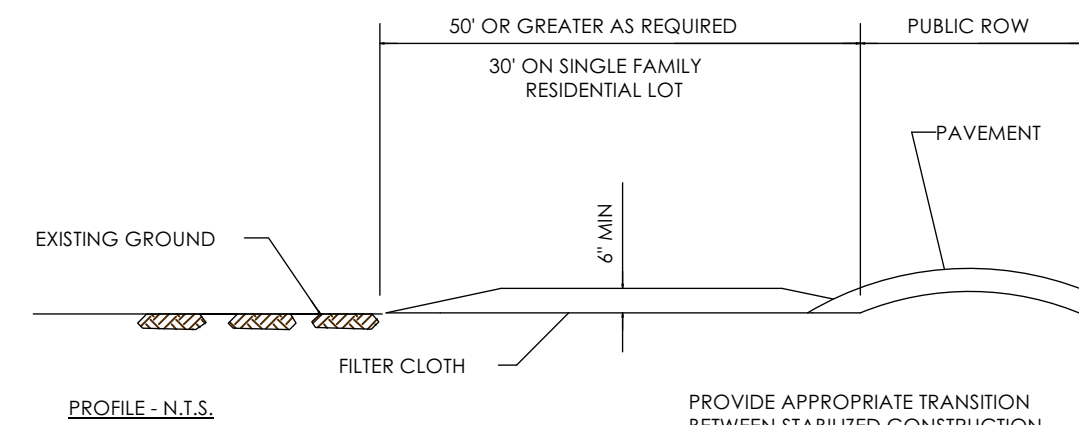


INSTALLATION NOTES:

- AREA CHOSEN FOR STOCKPILED OPERATIONS SHALL BE DRY AND STABLE.
- SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTION OF SITE WITH ADEQUATE SETBACKS FROM TEMPORARY DRAINAGE SWALES.
- MAXIMUM SLOPE STOCKPILE SHALL BE 1 TO 2.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETABLE OR COVERED.
- STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
- SEE SPECIFICATIONS AND DETAILS FOR INSTALLATION OF SILT FENCE.

1 SOIL STOCKPILE DETAIL

N.T.S.

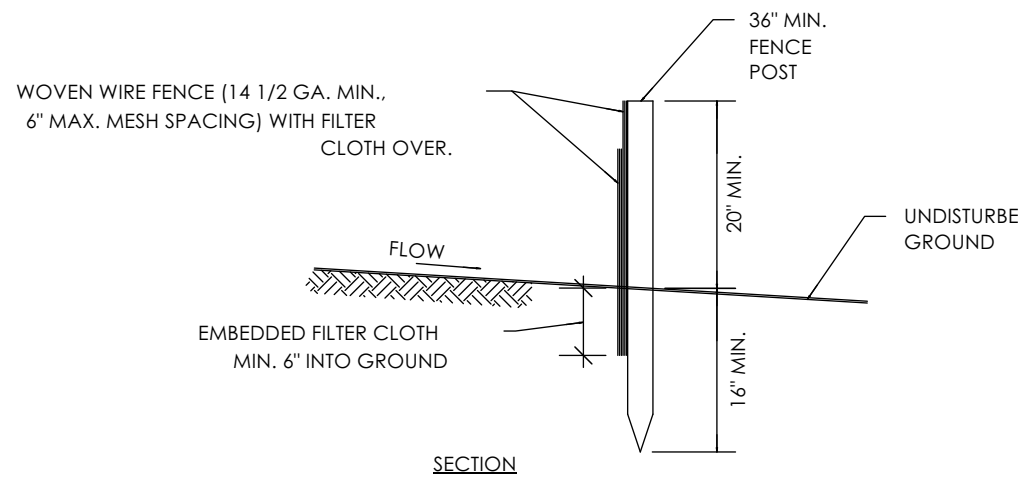
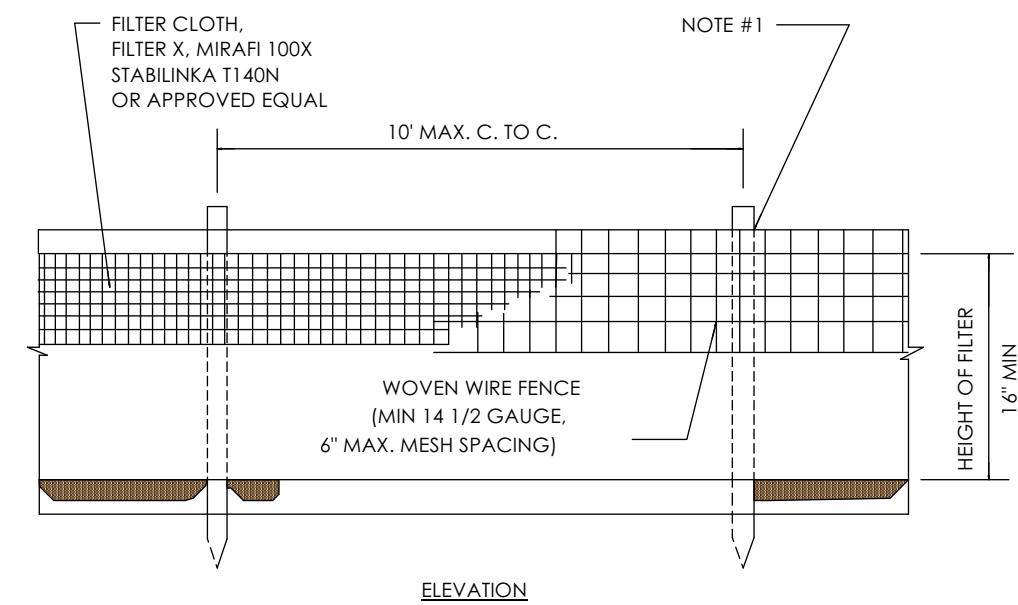


CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SIGHT
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

4 STABILIZED CONSTRUCTION ENTRANCE

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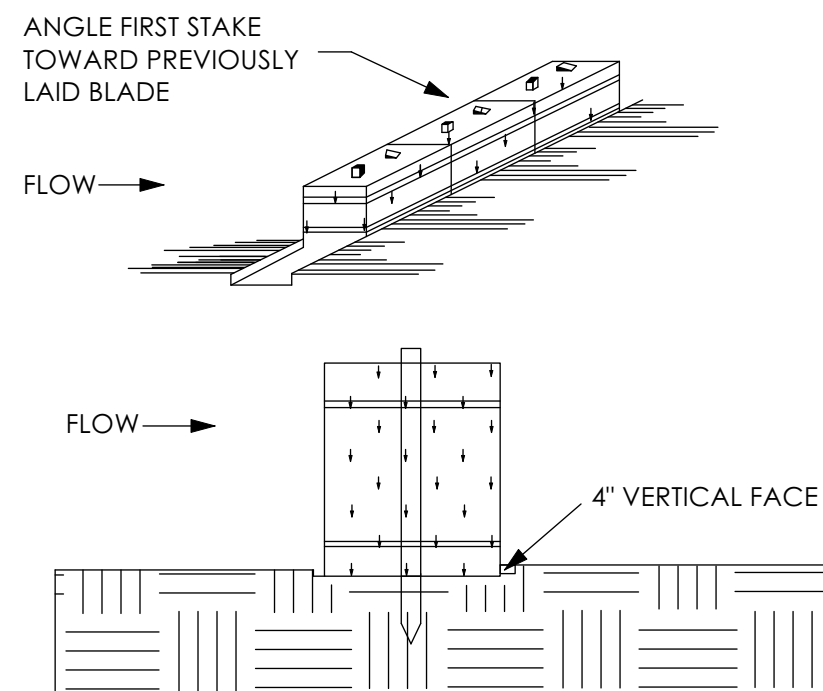


CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- 3/4" MIN. STEEL POSTS, EITHER T OR U TYPE OR 2" HARDWOOD POSTS, DRIVEN MIN. 16" INTO GROUND.
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- CONTRACTOR MAY USE PREFABRICATED UNITS, AS MANUFACTURED BY GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.

2 SILT FENCE DETAIL

N.T.S.



NOTES

- BALES SHALL BE PLACED AT THE TOE OF THE SLOPE OR ON THE CONTOUR AND IN A ROW WITH END TIGHTLY ABUTTING IN ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES AND PLACED SO THE BINDING ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE MADE FREQUENTLY AND REPAIR SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

3 HAYBALE DETAIL

N.T.S.

BADALY

ENGINEERING DESIGN

BADALY ENGINEERING PLLC
2 WILSON PLACE, MT. VERNON, NY 10550
(914) 465-9010 BADALY.COM

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ISSUE:

#	DATE	DESCRIPTION

REVISIONS:

#	DATE	DESCRIPTION

PROJECT TITLE:

122 MONTGOMERY STREET
SCARSDALE, NY 10583

BLOCK: 5

LOT: 7

DRAWING TITLE:

EROSION CONTROL PLAN

SCALE:

AS NOTED

DATE:

07/10/2023

JOB NO:

23312

DRAWN BY:

RI

CHECKED BY:

SB

DRAWING NO.:

L-300.00

SHEET NO.:

5 OF 5